

PROJECT INFO & SITE DATA

OWNER	NORM FOSTER PROPERTIES
DESIGNER	ZEBRA DESIGN
CIVIC ADDRESS	1514 & 1520 FOUL BAY RD.
LEGAL ADDRESS	LOTS 9 & 10, BLOCK 1, SECTION T6, VICTORIA DISTRICT, PLAN 273, EXCEPT PART IN PLAN 15172
CURRENT ZONING	R1-B
PROPOSED ZONING	SITE SPECIFIC
PROJECT DESCRIPTION	PROPOSED 8-UNIT RESIDENTIAL TOWNHOUSE DEVELOPMENT

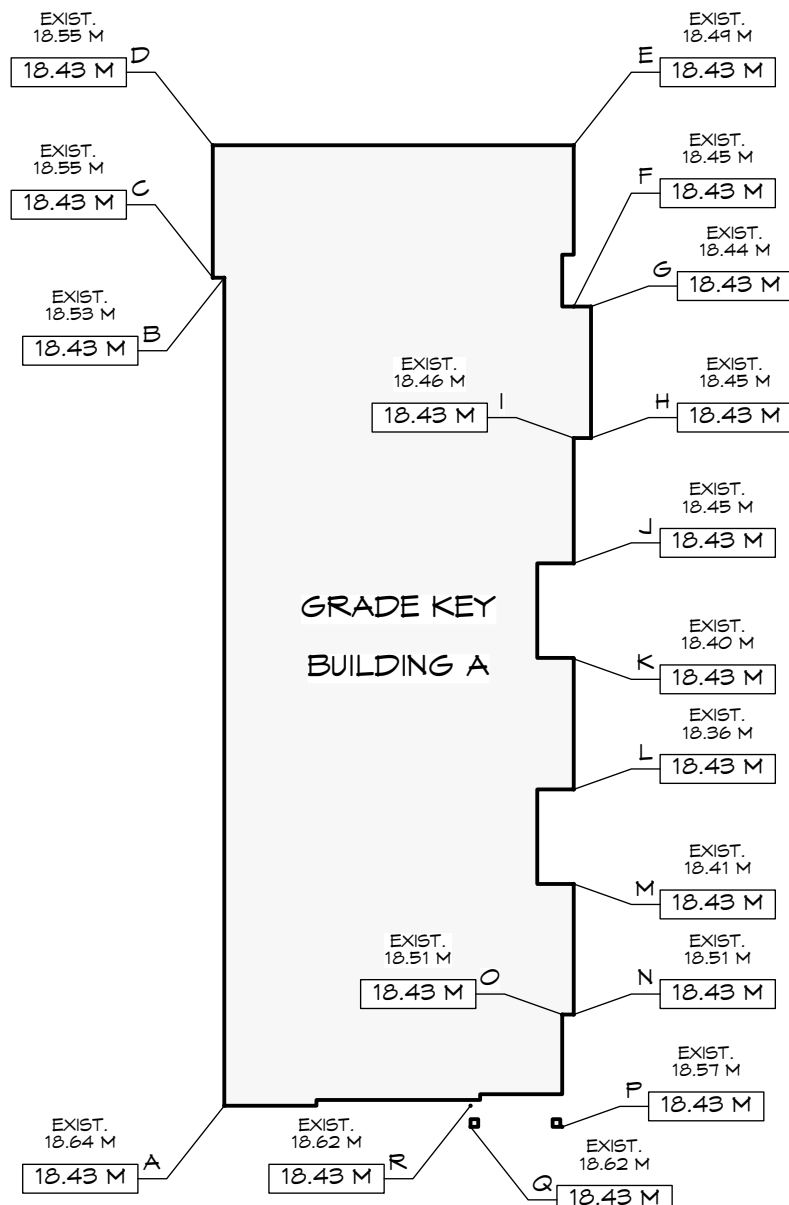
ADDITIONAL CONSULTANTS

CIVIL	JIE ANDERSON & ASSOCIATES
ARBORIST	SOUTHSORE FOREST CONSULTANTS
GEOTECHNICAL	TBD
STRUCTURAL	TBD
MECHANICAL	VILLA PLUMBING & HEAT
ELECTRICAL	CL ELECTRICAL
LANDSCAPE	ZEBRA DESIGN
ENERGY ADVISOR	BALANCED HOME ENERGY
SOLAR ADVISOR	HIGH TIDE ENERGY, TE BURNS ENGINEERING

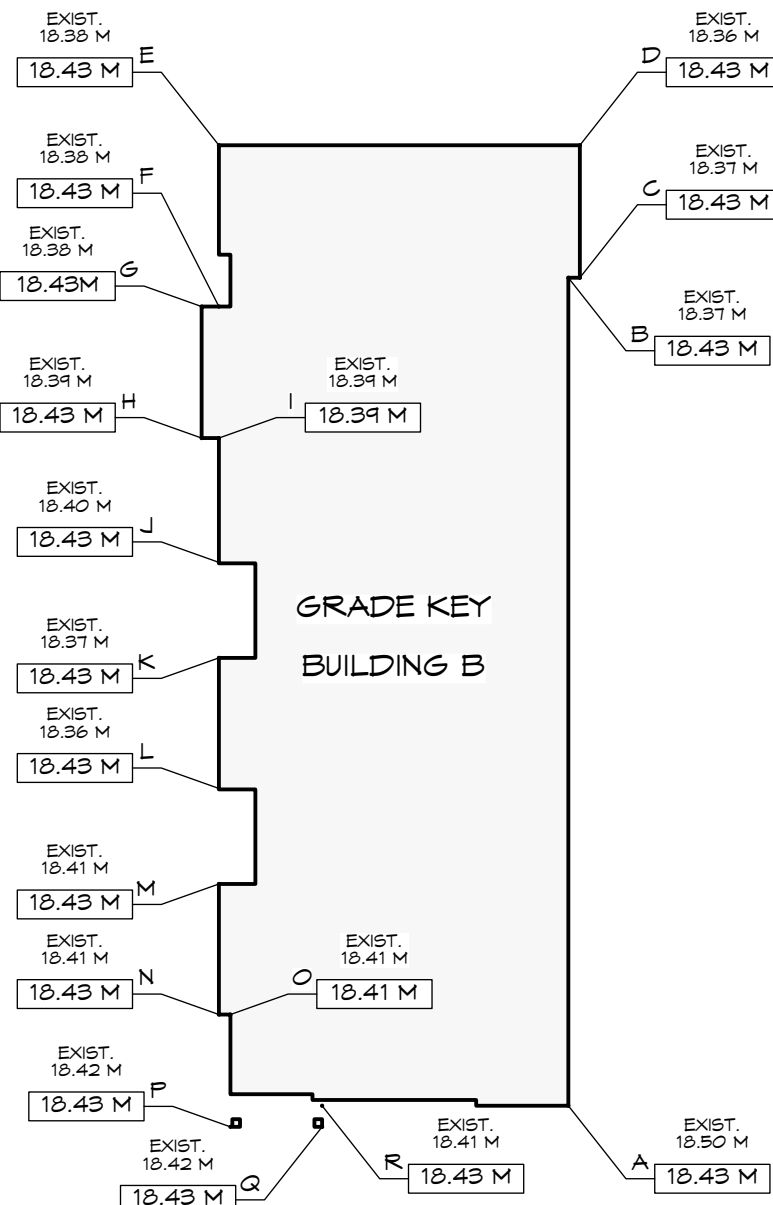
LOT AREA* * INCLUDING SRM AREA	SITE (COMBINED)	
FRONT YARD AREA	1070.57 M ² (11523.55 FT ²)	
LOT WIDTH	146.01 M ² (1571.68 FT ²)	
LOT DEPTH (AVG)	32.34 M (106.10')	
SETBACKS	33.11 M (108.63')	
EAST - FOUL BAY RD.	4.48 M (14.70')	TO BLDG B ENTRY
WEST - REAR	2.04 M (6.69')	TO BLDG A
NORTH - INT. SIDE	2.64 M (8.66')	TO BLDG B
SOUTH - INT. SIDE	2.64 M (8.66')	TO BLDG A
SEPARATION BTN BLDGS	7.00M	
SIDE/SIDE (N/S)		
AVG. GRADE		
BLDG A	18.42 M (60.43')	
BLDG B	18.39 M (60.33')	
STOREYS	2 & 3 STOREYS	
BUILDING HEIGHT		
BLDG A	10.94 M (35.89')	
BLDG B	10.98 M (36.02')	
FLOOR AREA		
3RD FLOOR	303.00 M ² (3261.48 FT ²) = 70.58 % OF 2ND FLOOR AREA	
2ND FLOOR	432.56 M ² (4656.00 FT ²)	
1ST FLOOR	280.84 M ² (3022.94 FT ²)	
GARAGE	147.77 M ² (1590.54 FT ²)	
ALLOWANCES:		
VEHICLE PARKING STALL (UP TO -18.60 M ² PER UNIT)	-147.77 M ² (1590.54 FT ²)	
TOTAL FLOOR AREA	1016.40M ² (10940.42 FT ²)	
FLOOR AREA RATIO	0.949	
SITE COVERAGE	45.81 % (490.48 M ²)	
OPEN SITE SPACE - TOTAL	35.20 % (376.88 M ²)	
OPEN SITE SPACE - FRONT YARD	80.50 % (117.54 M ²)	
PARKING	8 VEHICLE STALLS	
VEHICLE STALL - RESIDENTIAL	8	
VEHICLE STALL - VISITOR	0	
BICYCLE - LONG TERM	8 (PRIVATE - IN GARAGES)	
BICYCLE - SHORT TERM	6 (1 RACK)	
TOTAL NUMBER OF UNITS	8	
UNIT TYPE	3 BEDROOM	
# OF BUILDINGS	2	
# OF UNITS PER BLDG	4	
MINIMUM UNIT FLOOR AREA	114.55 M ² UNITS 4 & 8	
SITE AREA PER UNIT	133.82 M ² (1440.44 FT ²)	

LOCATION MAP
(not to scale)

Building A - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	18.43	18.43	18.43	21.91	403.80	1325.50	71.94	18.425	
BC	18.43	18.43	18.43	0.30	5.53				
CD	18.43	18.43	18.43	3.51	64.69				
DE	18.43	18.43	18.43	9.55	176.01				
EF	18.43	18.43	18.43	4.27	78.70				
FG	18.43	18.43	18.43	0.46	8.48				
GH	18.43	18.43	18.43	3.48	64.14				
HI	18.43	18.43	18.43	0.46	8.48				
IJ	18.43	18.43	18.43	3.29	60.63				
JK	18.43	18.40	18.42	2.53	46.59				
KL	18.40	18.36	18.38	3.45	63.41				
LM	18.36	18.41	18.39	2.50	45.96				
MN	18.41	18.43	18.42	3.45	63.55				
NO	18.43	18.43	18.43	0.30	5.53				
OP	18.43	18.43	18.43	2.97	54.74				
PQ	18.43	18.43	18.43	2.43	44.78				
QR	18.43	18.43	18.43	0.56	10.32				
RA	18.43	18.43	18.43	6.52	120.16				
			TOTAL	71.94	1325.50			AVERAGE GRADE 18.43	



Building B - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	18.43	18.37	18.40	21.91	403.14	1323.18	71.94	18.393	
BC	18.37	18.37	18.37	0.30	5.51				
CD	18.37	18.36	18.37	3.51	64.46				
DE	18.36	18.39	18.37	9.55	175.43				
EF	18.38	18.38	18.38	4.27	78.48				
FG	18.38	18.38	18.38	0.46	8.45				
GH	18.38	18.39	18.39	3.48	63.98				
HI	18.39	18.39	18.39	0.46	8.46				
IJ	18.39	18.40	18.40	3.29	60.52				
JK	18.40	18.37	18.39	2.50	45.96				
KL	18.37	18.36	18.37	3.45	63.36				
LM	18.36	18.41	18.39	2.53	46.51				
MN	18.41	18.41	18.41	3.45	63.51				
NO	18.41	18.41	18.41	0.30	5.52				
OP	18.41	18.42	18.42	2.97	54.69				
PQ	18.42	18.42	18.42	2.43	44.76				
QR	18.42	18.41	18.42	0.56	10.31				
RA	18.41	18.43	18.42	6.52	120.10				
			TOTAL	71.94	1323.18			AVERAGE GRADE 18.39	



DRAWING LIST:

ARCHITECTURAL

A100	PROJECT INFO
A101	SITE PLAN
A102	SURVEY PLAN (EXISTING)
A201	BUILDING A FLOOR PLANS
A202	BUILDING B FLOOR PLANS
A301	BUILDING A ELEVATIONS
A302	BUILDING B ELEVATIONS
A401	STREETSCAPE & SECTIONS
A501	SHADOW STUDY

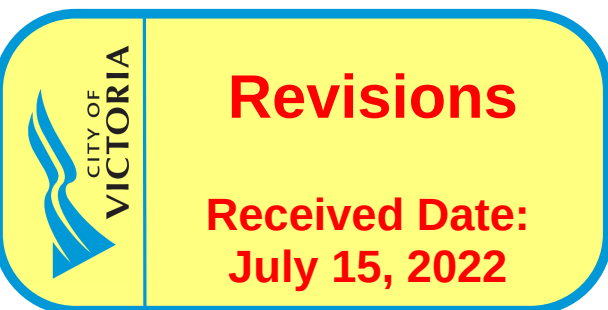
JIE ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
Eng. Project No. 32657

NOTE: FOR ROAD/
SIDEWALK/ DRIVEWAY,
GRADING & SERVICING
DETAILS SEE CIVIL PLANS
BY JIE ANDERSON



1608 Camosun Street, Victoria BC V8S 3E6
info@biophiliacollective.ca 250.590.1158

NOTE: FOR LANDSCAPE
DETAILS SEE PLANS BY
BIOPHILIA



RE-ISSUED FOR
REZONING
2022.07.04

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: c.c.

Date: JUNE 24, 2022

Scale: AS NOTED

Project:

PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

Title:
PROJECT INFO

REV. NO.	DESCRIPTION	DATE
1	1. SITE DATA REVISED 2. AVERAGE GRADE CALCULATIONS REVISED 3. SHADOW STUDY ADDED TO DRAWING PACKAGE	07.04.22

Revision:

CALC NOV. 12/20

REZONE/DP JAN. 07/21

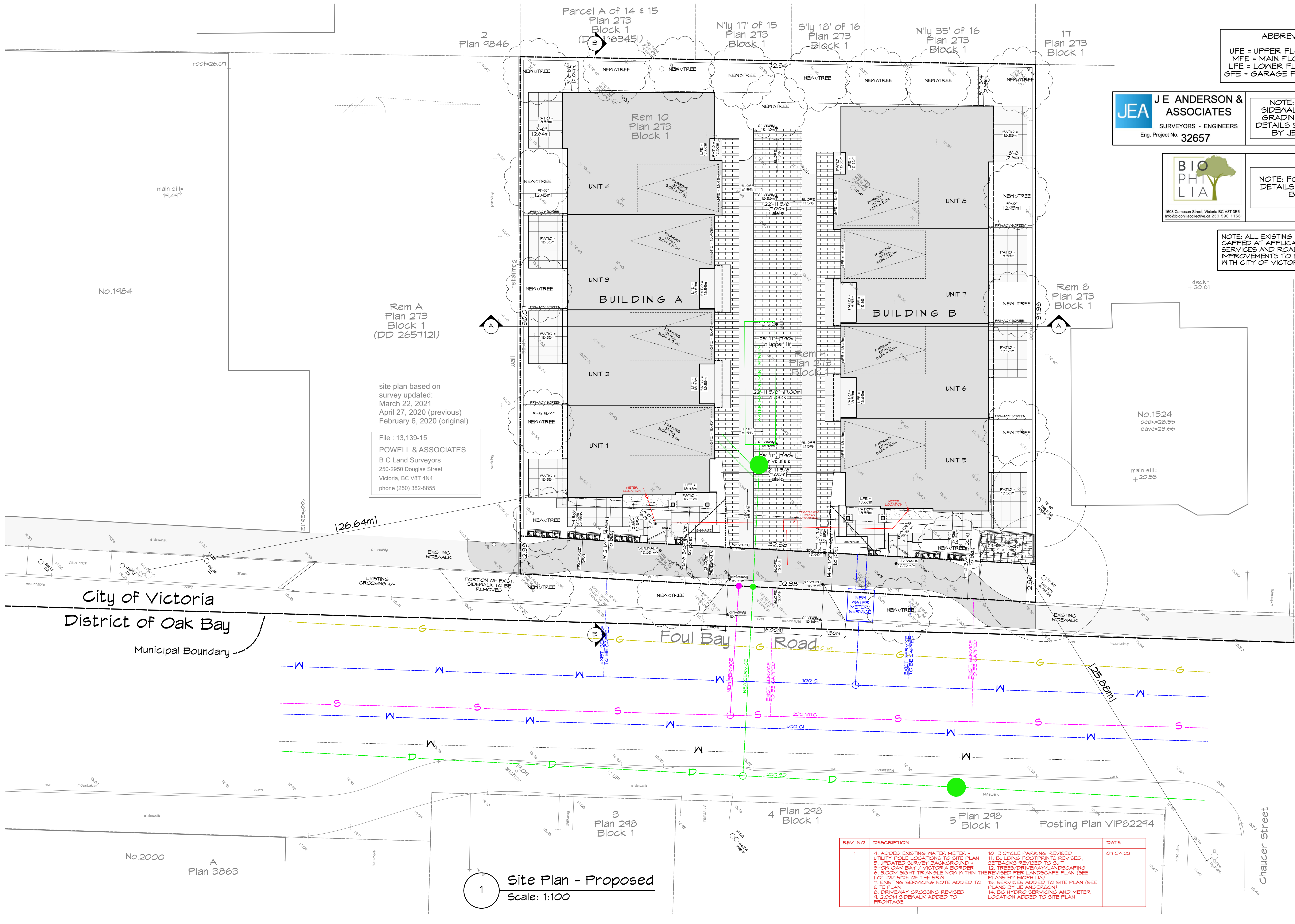
REZONE/DP JUL. 4/22

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Proj.No. TBD



ABBREVIATIONS:
UFE = UPPER FLOOR ELEVATION
MFE = MAIN FLOOR ELEVATION
LFE = LOWER FLOOR ELEVATION
GFE = GARAGE FLOOR ELEVATION

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
Eng. Project No. 32657

NOTE: FOR ROAD/
SIDEWALK/ DRIVEWAY,
GRADING & SERVICING
DETAILS SEE CIVIL PLANS
BY JE ANDERSON



NOTE: FOR LANDSCAPE
DETAILS SEE PLANS BY
BIOPHILIA

NOTE: ALL EXISTING SERVICES TO BE
CAPPED AT APPLICANTS EXPENSE. NEW
SERVICES AND ROADSIDE
IMPROVEMENTS TO BE COORDINATED
WITH CITY OF VICTORIA.

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REZONING
2022.07.04

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Phone: (250) 360-2144
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Drawn By: c.c.
Date: JUNE 24, 2022
Scale: AS NOTED
Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

Title:
SITE PLAN

Revision:
CALIC
NOV. 12/20
REZONE/DP
JAN. 07/21
REZONE/DP
JUL. 4/22

Sheet:
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101
Proj.No. TBD

REV. NO.	DESCRIPTION	DATE
1	4. ADDED EXISTING WATER METER + UTILITY POLE LOCATIONS TO SITE PLAN 5. UPDATED SURVEY BACKGROUND + SHOWN OAK BAY + VICTORIA BORDER 6. 3.00M SIGHT TRIANGLE NOW WITHIN THE REVISED PER LANDSCAPE PLAN (SEE PLANS BY BIOPHILIA) 7. EXISTING SERVICING NOTE ADDED TO SITE PLAN 8. DRIVEWAY CROSSING REVISED 9. 2.00M SIDEWALK ADDED TO FRONTAGE 10. BICYCLE PARKING REVISED 11. BUILDING FOOTPRINTS REVISED, SETBACKS REVISED TO SUIT 12. TREES/DRIVEWAY/LANDSCAPING REVISED PER LANDSCAPE PLAN (SEE PLANS BY BIOPHILIA) 13. SERVICES ADDED TO SITE PLAN (SEE PLANS BY JE ANDERSON) 14. BC HYDRO SERVICING AND METER LOCATION ADDED TO SITE PLAN	07.04.22

1 Site Plan - Proposed
Scale: 1:100

BC LAND SURVEYORS SITE PLAN OF:

Civic: 1520 & 1514 Foul Bay Road

Legal Lots 9 & 10, Block 1, Section 76,
Victoria District, Plan 273, except
part in Plan 15172

Parcel Identifier Lot 9: 009-194-673
Parcel Identifier Lot 10: 009-194-649
in the City of Victoria

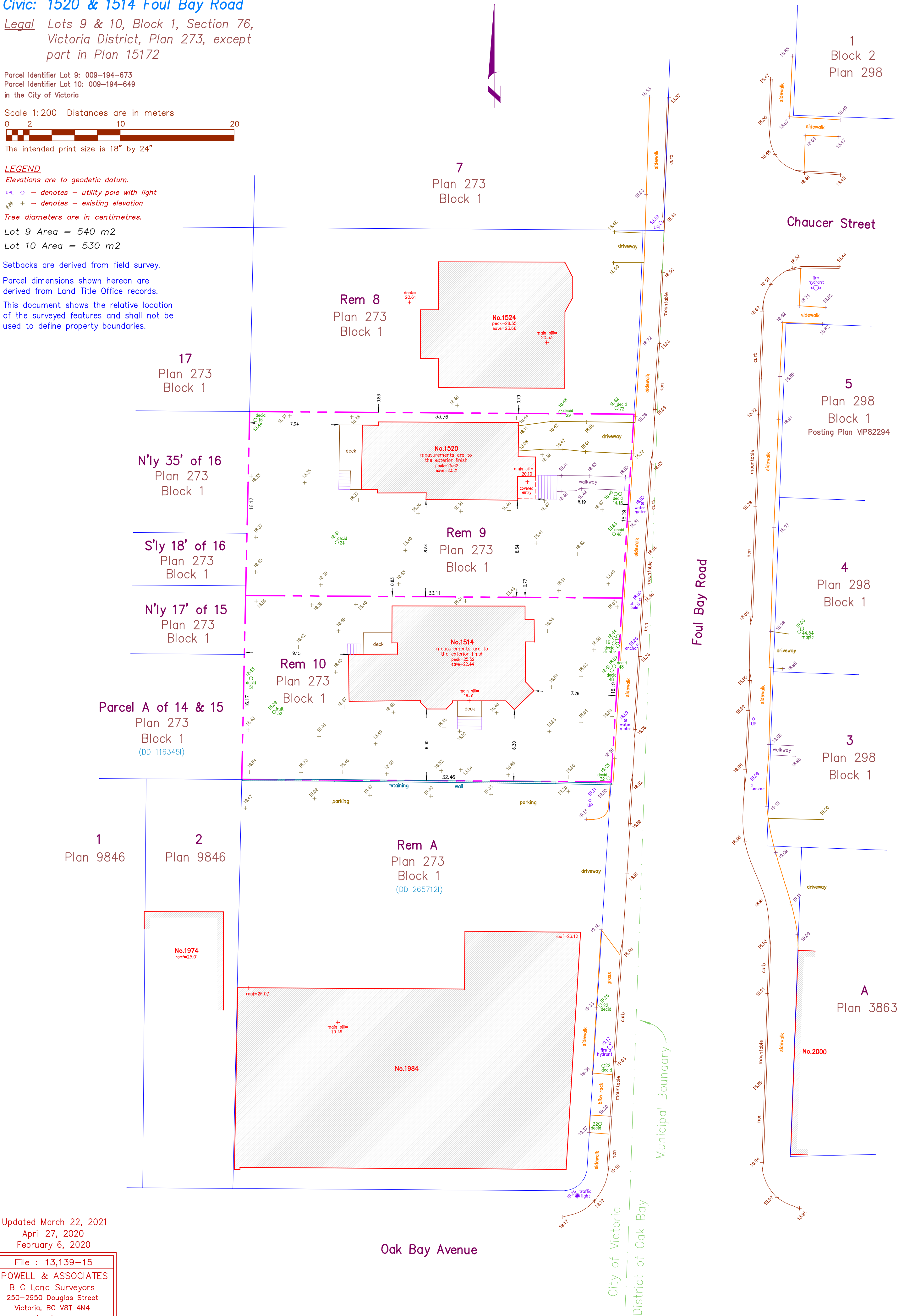
Scale 1:200 Distances are in meters
0 2 10 20
The intended print size is 18" by 24"

LEGEND
Elevations are to geodetic datum.
UPL O - denotes - utility pole with light
+ - denotes - existing elevation
Tree diameters are in centimetres.
Lot 9 Area = 540 m2
Lot 10 Area = 530 m2

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.



Updated March 22, 2021
April 27, 2020
February 6, 2020

File : 13,139-15
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

REV. NO.	DESCRIPTION	DATE
1	15. SURVEY UPDATED	07.04.22

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Fax: (250) 360-2115

Drawn By: c.c.

Date: JUNE 24, 2022

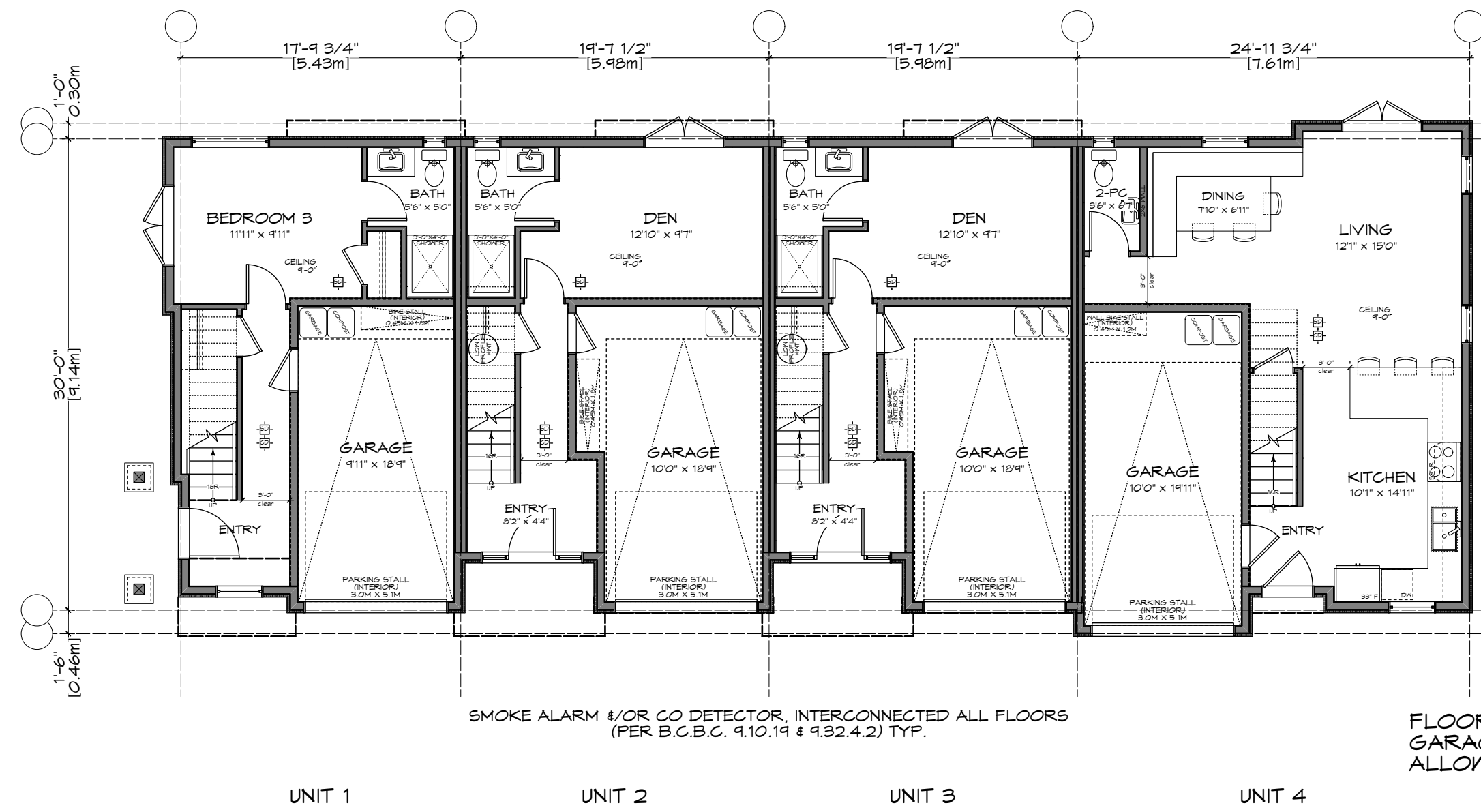
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Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

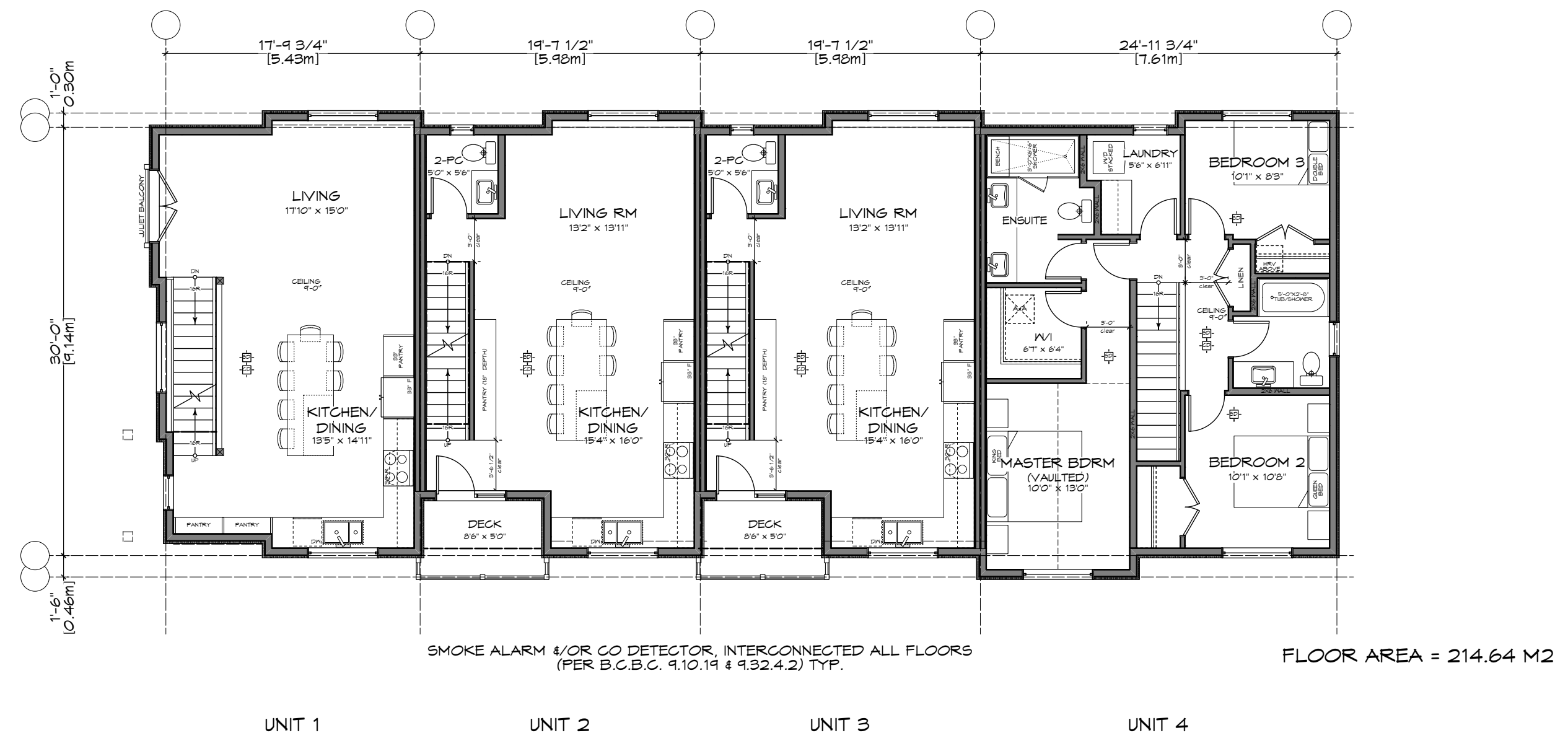
Title:
SURVEY PLAN
(EXISTING)

Revision:
CALUC
NOV. 12/20
REZONE/DP
JAN. 07/21
REZONE/DP
JUL. 4/22

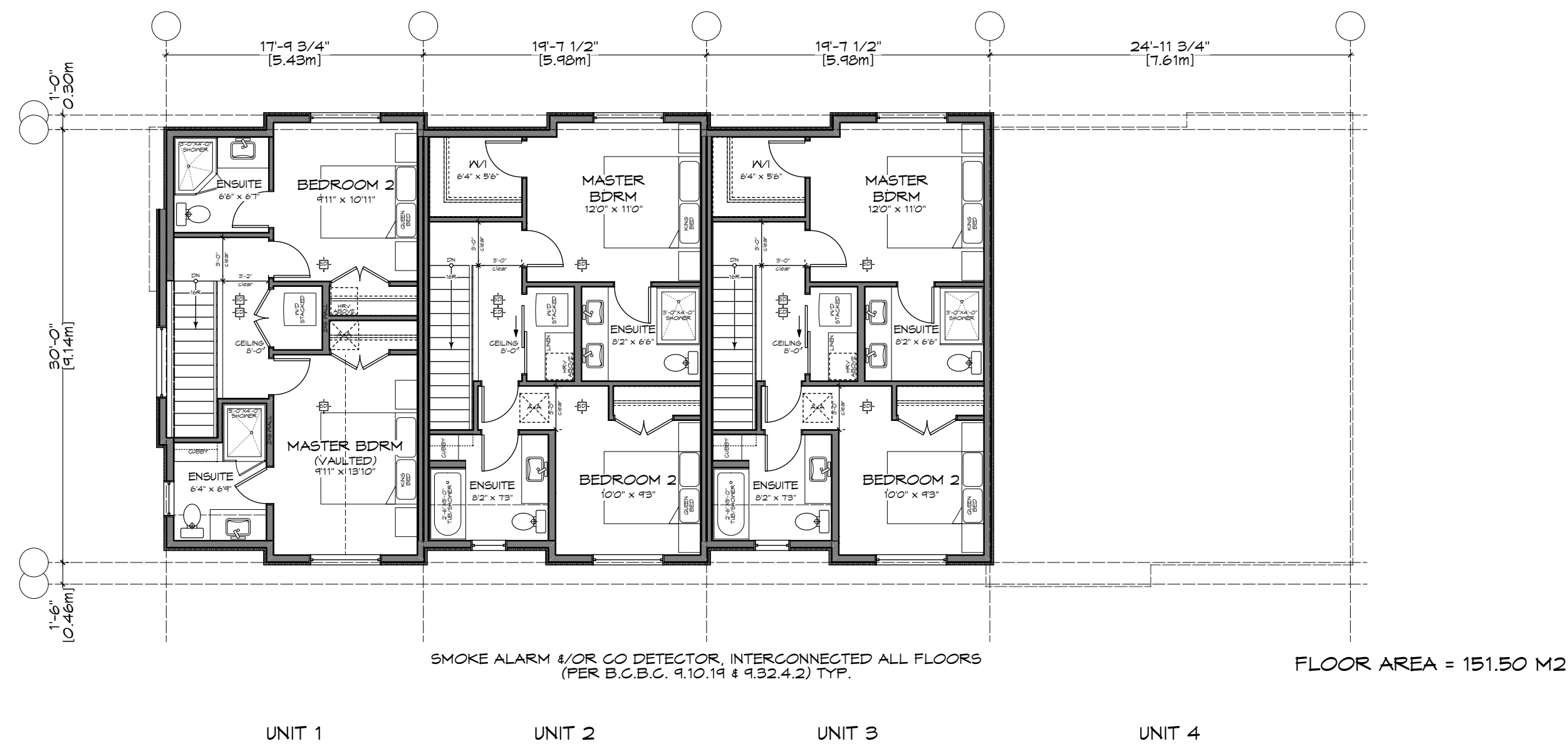
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102
Proj.No. TBD



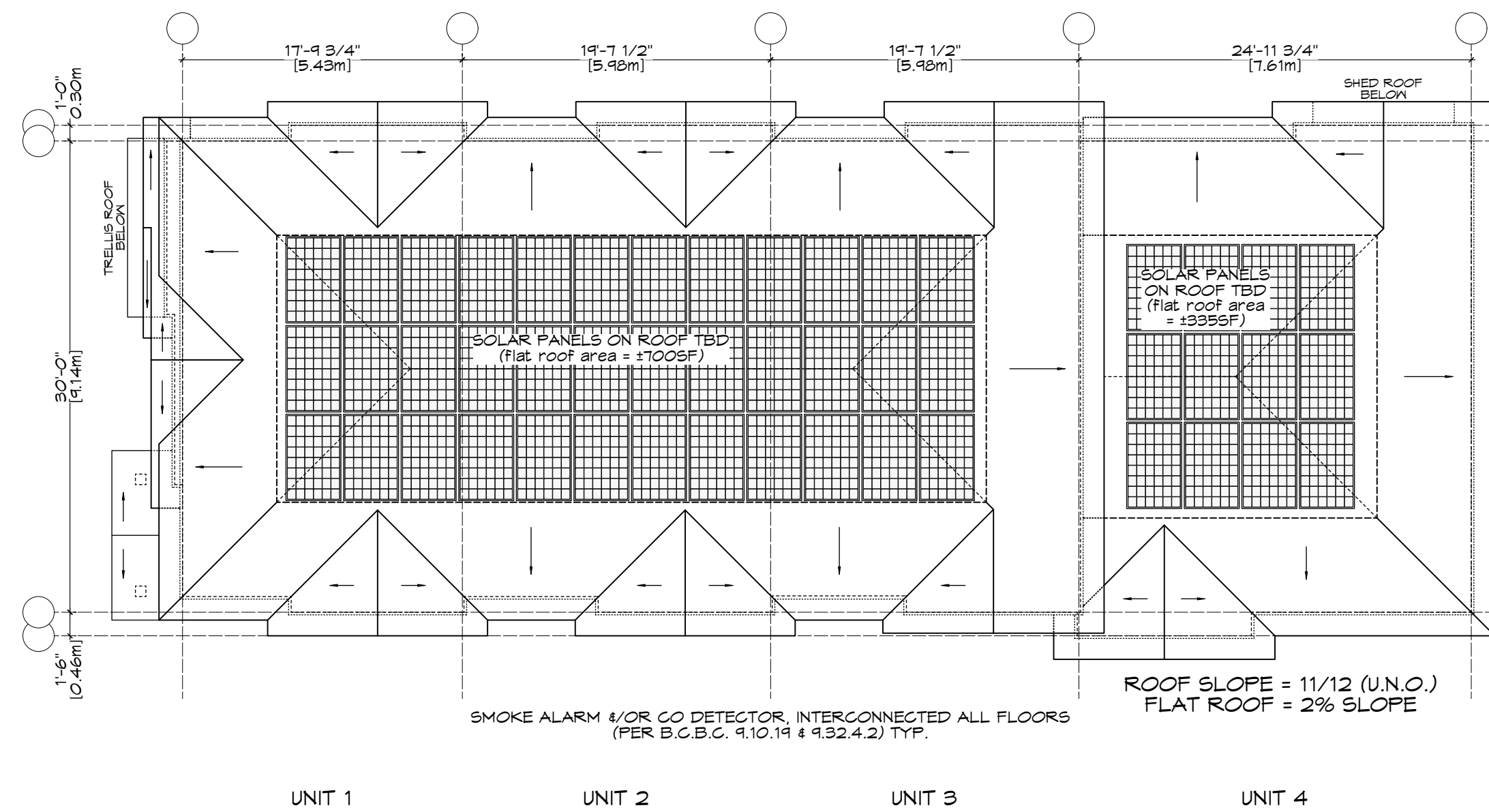
1 Lower Floor Plan - Bldg A
Scale: 1:100



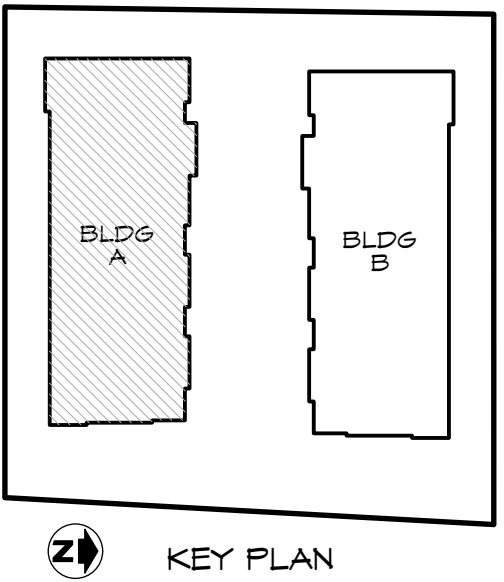
2 Main Floor Plan - Bldg A
Scale: 1:100



3 Upper Floor Plan - Bldg A
Scale: 1:100



4 Roof Plan - Bldg A
Scale: 1:100



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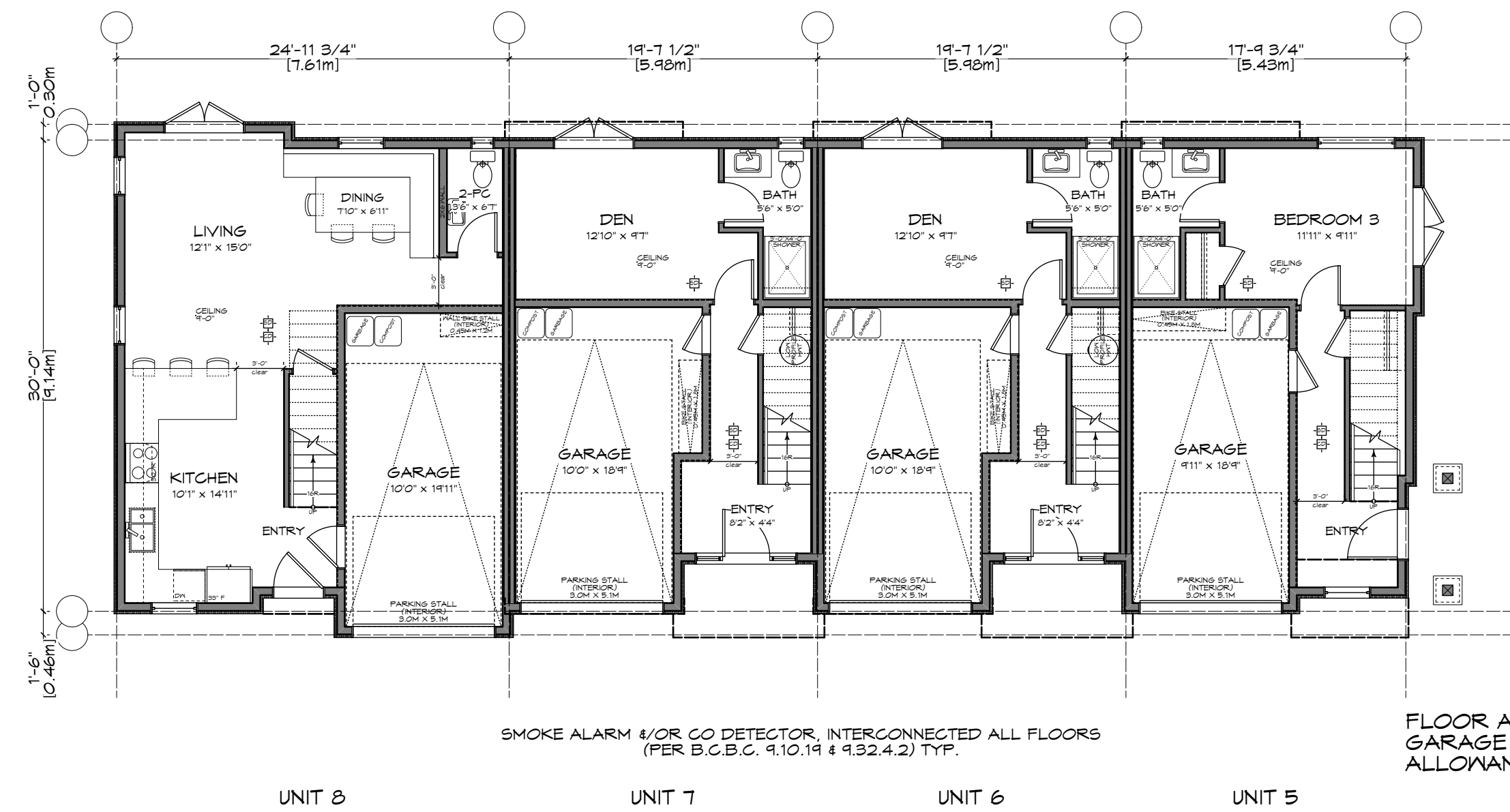
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Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

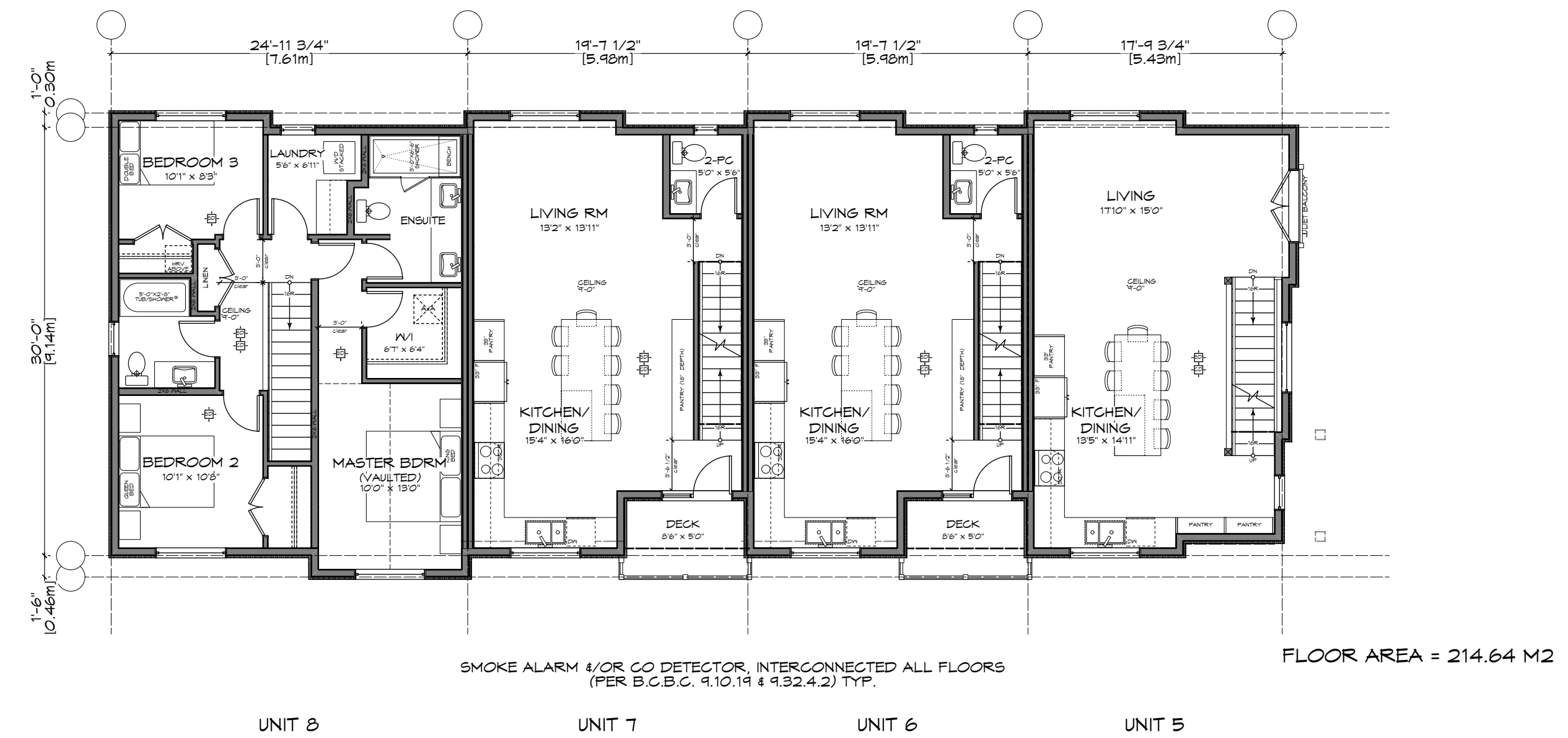
Title:
FLOOR PLANS -
BUILDING A

REV. NO.	DESCRIPTION	DATE
1	16. GARBAGE AND RECYCLING LOCATION REVISED (OUTSIDE OF PARKING STALL) 17. MIDDLE UNITS REVISED (FLOOR AREAS REVISED TO SUIT) 18. FRENCH DOORS ADDED TO MAIN FLOOR 19. DECK REMOVED	07.04.22

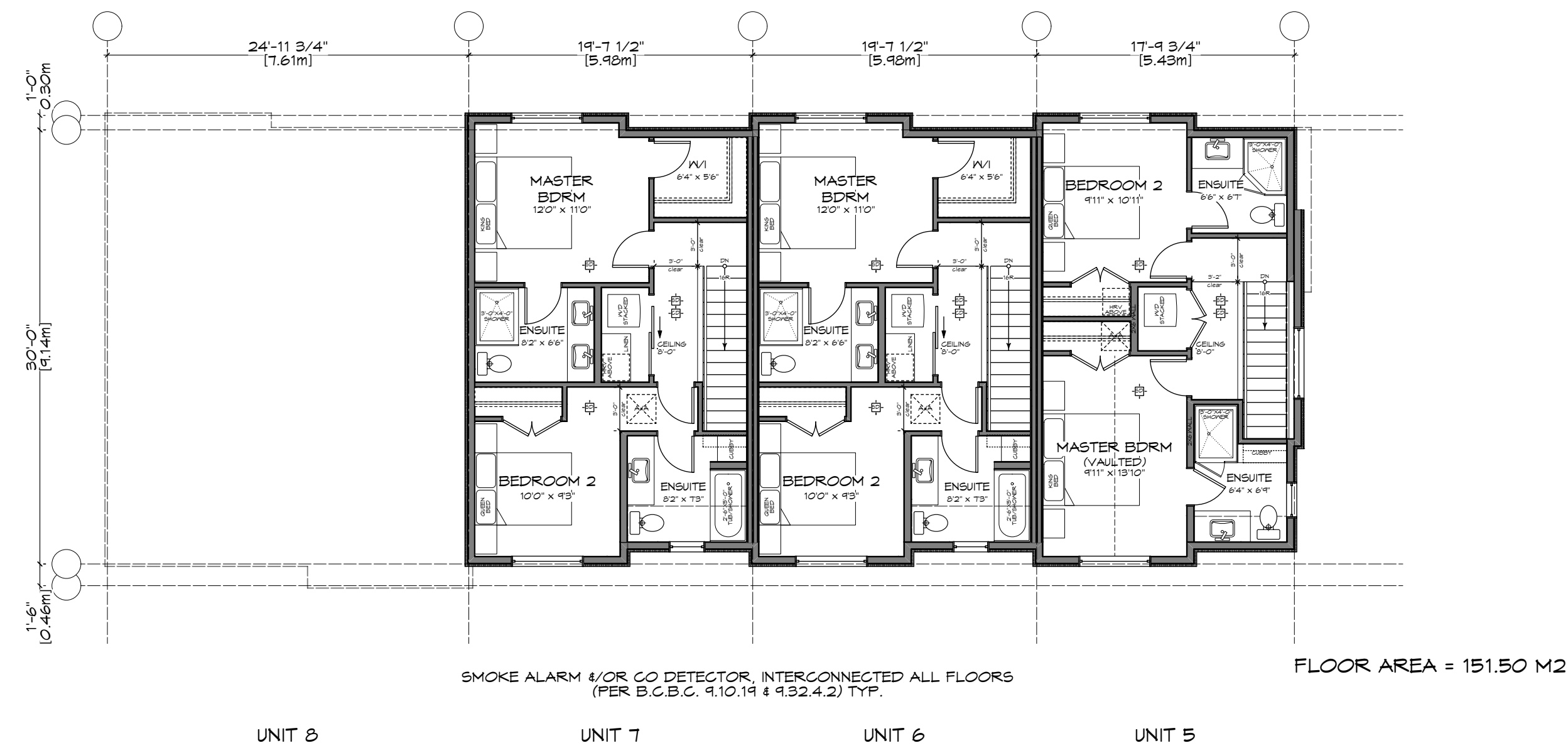
Revision: CALUC NOV. 12/20 REZONE/DP JAN. 07/21 REZONE/DP JUL. 4/22	Sheet: A 201 Proj.No. TBD
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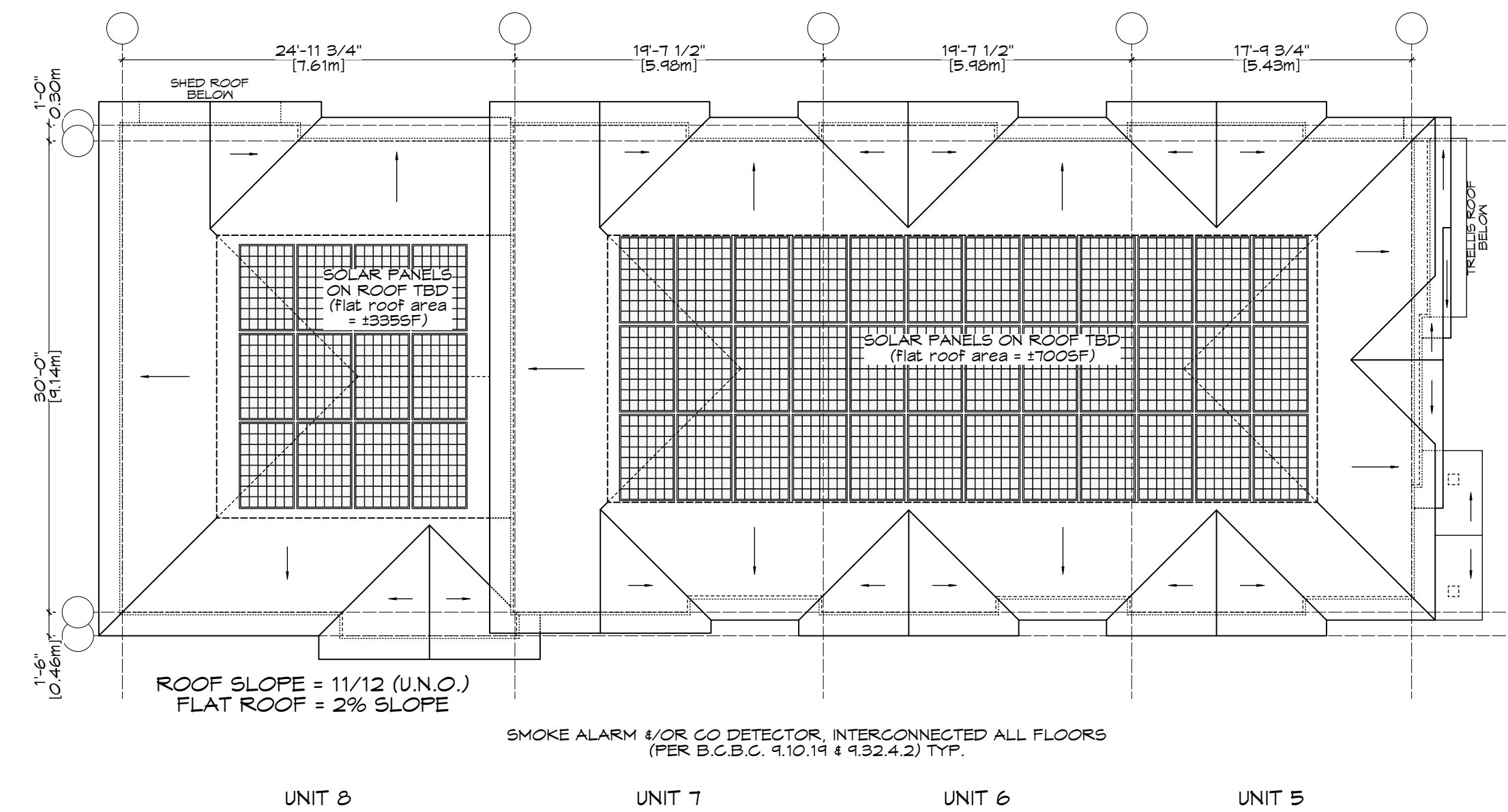
1 Lower Floor Plan - Bldg B
Scale: 1:100



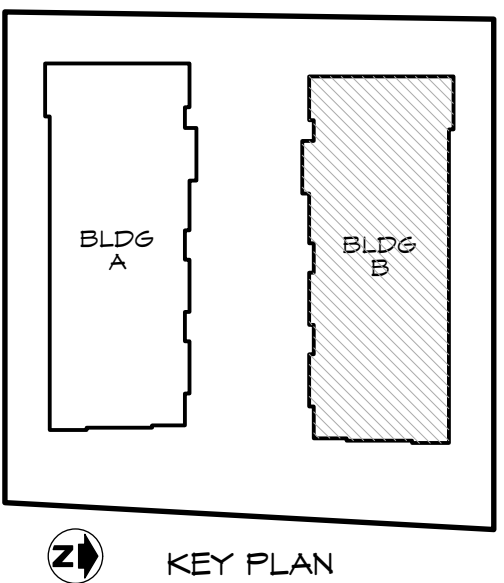
2 Main Floor Plan - Bldg B
Scale: 1:100



3 Upper Floor Plan - Bldg B
Scale: 1:100



4 Roof Plan - Bldg B
Scale: 1:100



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Drawn By: c.c.

Date: JUNE 24, 2022

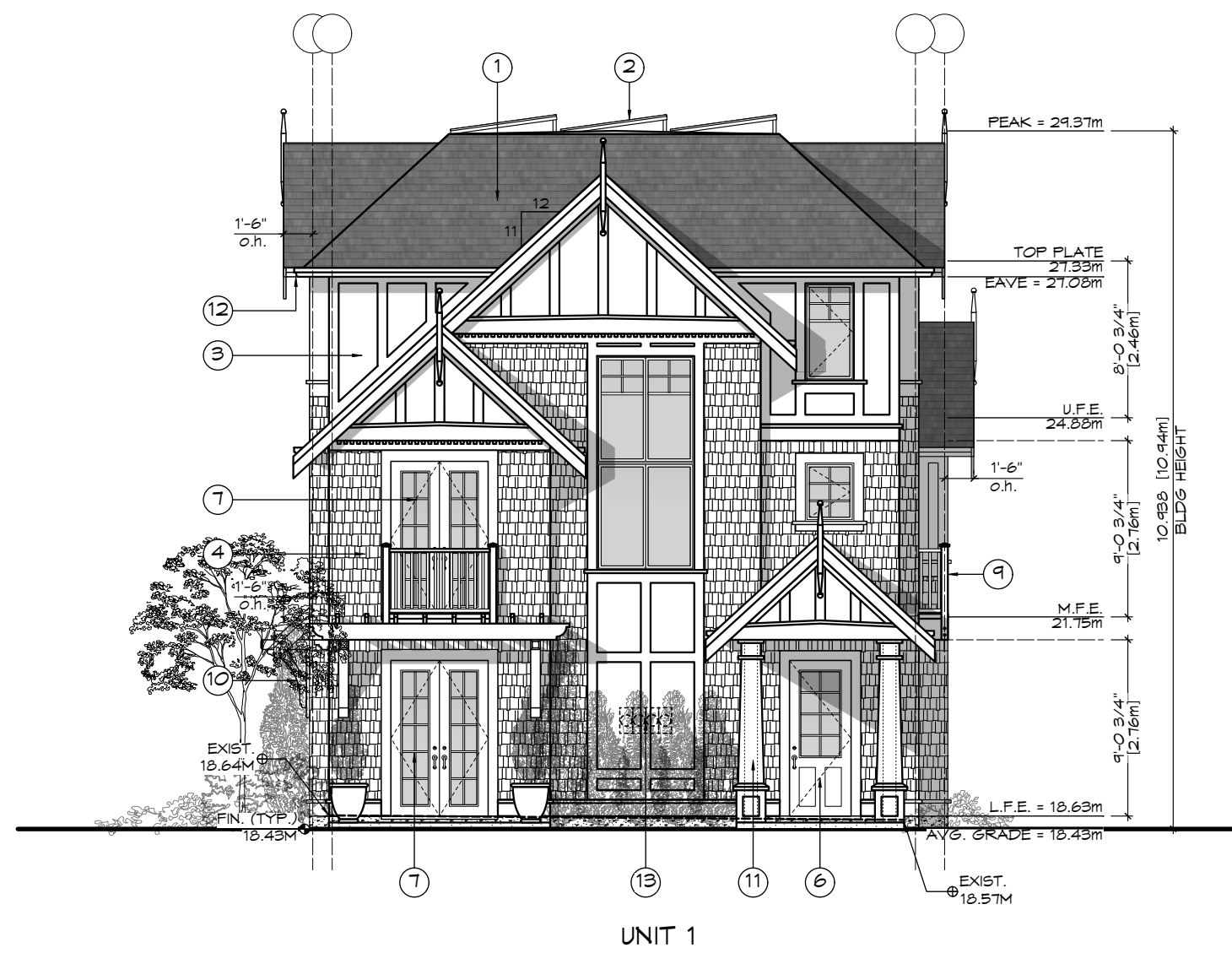
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Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

Title:
FLOOR PLANS -
BUILDING B

Revision: Sheet:
CALUC NOV. 12/20 A
REZONE/DP JAN. 07/21 202
REZONE/DP JUL. 4/22
Proj.No. TBD

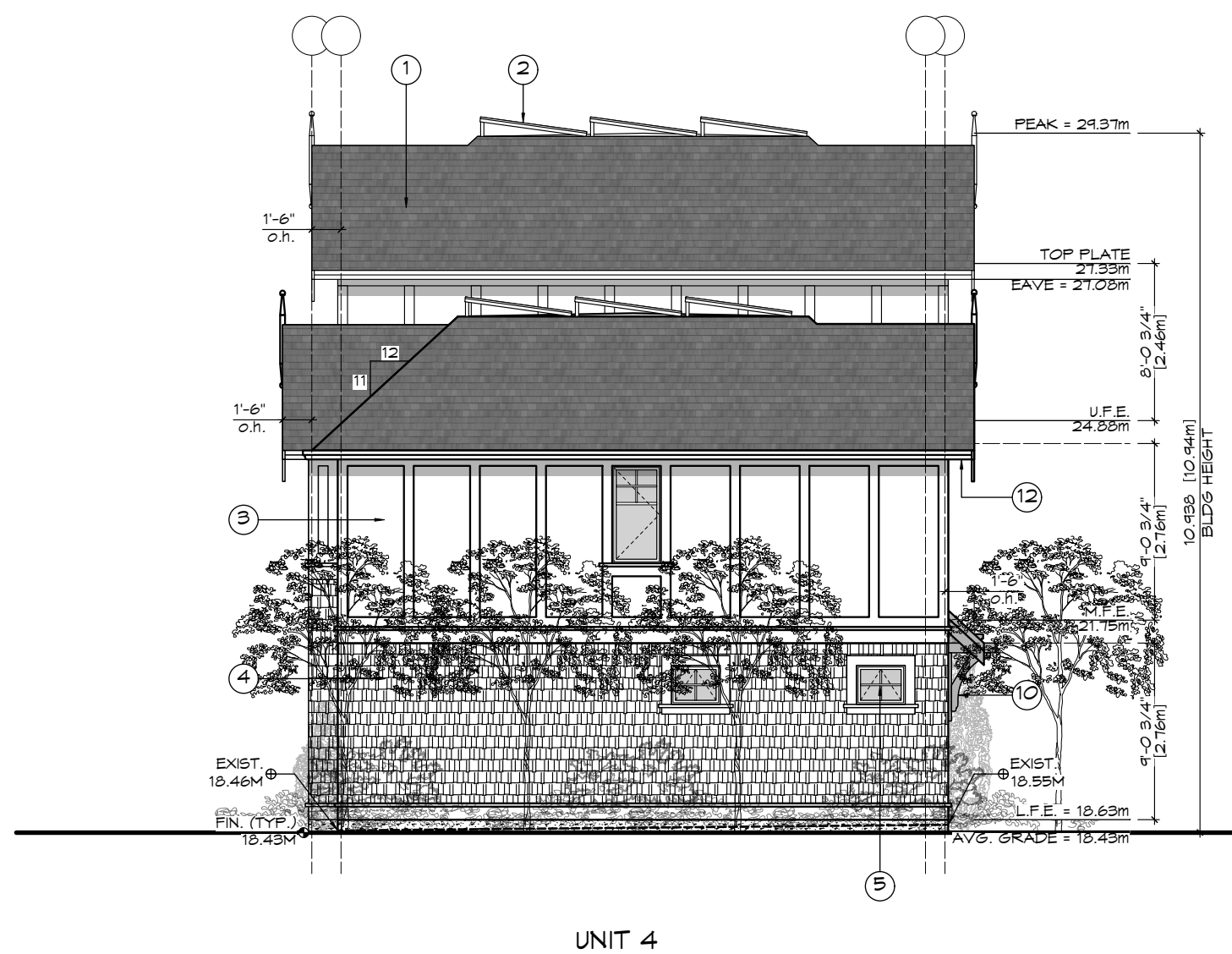
REV. NO.	DESCRIPTION	DATE
1	20. GARBAGE AND RECYCLING LOCATION REVISED (OUTSIDE OF PARKING STALL) 21. MIDDLE UNITS REVISED (FLOOR AREAS REVISED TO SUIT) 22. FRENCH DOORS ADDED TO MAIN FLOOR 23. DECK REMOVED	07.04.22



1 Front (Foul Bay) Elevation - Bldg A
Scale: 1:100



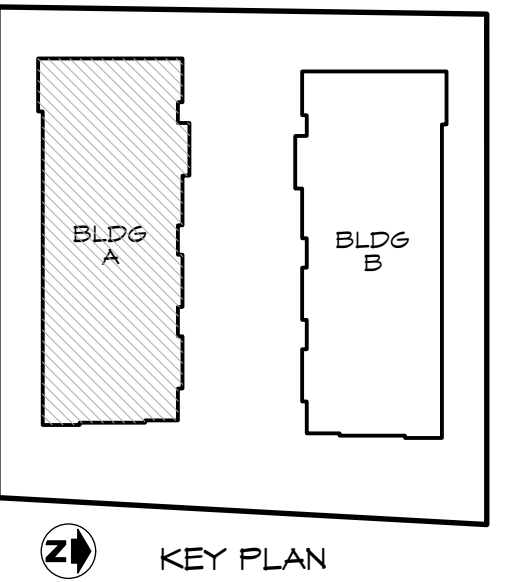
2 Side (Drive-aisle) Elevation - Bldg A
Scale: 1:100



3 Rear (W) Elevation - Bldg A
Scale: 1:100



4 Side (S) Elevation - Bldg A
Scale: 1:100



- FINISH SCHEDULE KEY**
- ① FIBERGLASS SHINGLE ROOFING
 - ② SOLAR PANELS ON FLAT ROOF
 - ③ CEMENTITIOUS PANELS & TRIM
 - ④ SHINGLE FINISH
 - ⑤ VINYL WINDOW
 - ⑥ WOOD ENTRY DOOR
 - ⑦ COMPOSITE FRENCH DOOR
 - ⑧ COMPOSITE GARAGE DOOR
 - ⑨ METAL RAILING
 - ⑩ WOOD BRACKETS
 - ⑪ WOOD POST
 - ⑫ SOFFIT & U/S OF BALCONIES - PREFIN. VENTED METAL
 - ⑬ LOCATION OF HYDRO METERS (LANDSCAPE SCREENED)

Bldg A		Unit 1		Unit 2		Unit 3		Unit 4	
Glazing Area Calc.									
West (rear)		N/A		N/A		N/A		Imperial Metric	
limit distance								6.69 2.04	
building face area								655.64 60.91	
glazing area								16.15 1.50	
percentage								2.46%	
max allowed								9.18% ok	
South (side)		Imperial Metric		Imperial Metric		Imperial Metric		Imperial Metric	
limit distance		8.66 2.64		8.66 2.64		8.66 2.64		8.66 2.64	
building face area		550.39 51.13		573.00 53.23		573.00 53.23		499.36 46.39	
glazing area		63.00 5.85		68.00 6.32		68.00 6.32		61.00 5.67	
percentage		11.45%		11.87%		11.87%		12.22%	
max allowed		11.88% ok		11.88% ok		11.88% ok		15.76% ok	
East (front/street)		N/A		N/A		N/A		N/A	
limit distance		faces street							
building face area									
glazing area									
percentage									
max allowed									
North (driveaisle)		Imperial Metric		Imperial Metric		Imperial Metric		Imperial Metric	
limit distance		12.96 3.95		12.96 3.95		12.96 3.95		11.48 3.50	
building face area		553.02 51.38		573.21 53.25		562.00 52.21		507.54 47.15	
glazing area		77.00 7.15		89.00 8.27		89.00 8.27		65.00 6.04	
percentage		13.92%		15.53%		15.84%		12.81%	
max allowed		17.78% ok		17.78% ok		17.78% ok		23.50% ok	

REV. NO.	DESCRIPTION	DATE
1	24. MIDDLE UNITS REVISED 25. WINDOWS REVISED; 3RD STOREY EGRESS NOTE ADDED TO PLAN 26. GLAZING CALCULATIONS REVISED 27. BUILDING HEIGHT TAKEN TO TOP OF FLAT PORTION OF ROOF 28. DECK REMOVED 29. WINDOW CHANGED TO FRENCH DOORS 30. TREES REVISED PER LANDSCAPE PLAN (SEE PLANS BY BIOPHILIA) 31. SOFFIT NOTE REVISED	07.04.22

RE-ISSUED FOR
REZONING
2022.07.04

ZEBRADESIGN



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Victoria, B.C. V8S 5E6
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Drawn By: c.c.

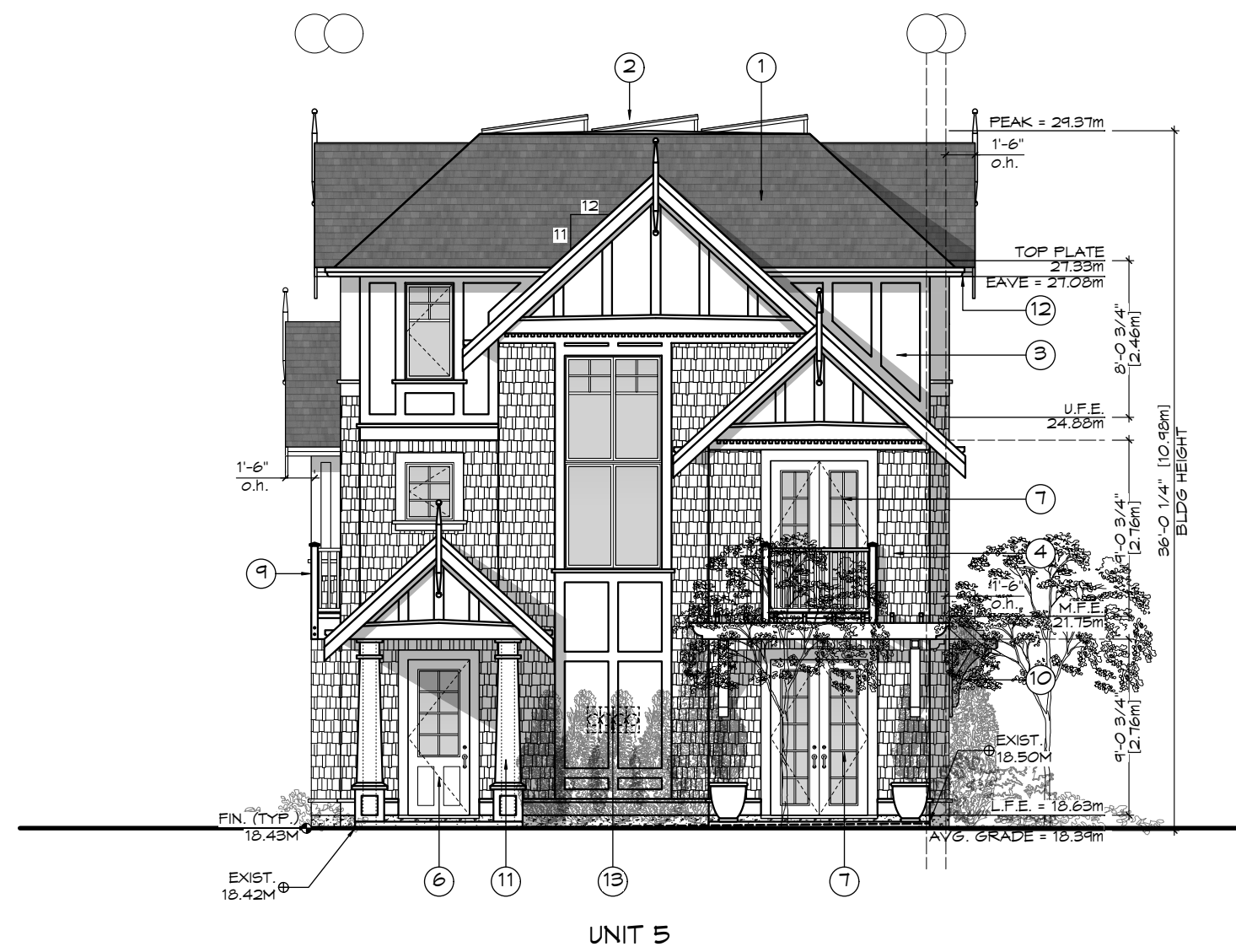
Date: JUNE 24, 2022

Scale: AS NOTED

Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

Title:
ELEVATIONS -
BUILDING A

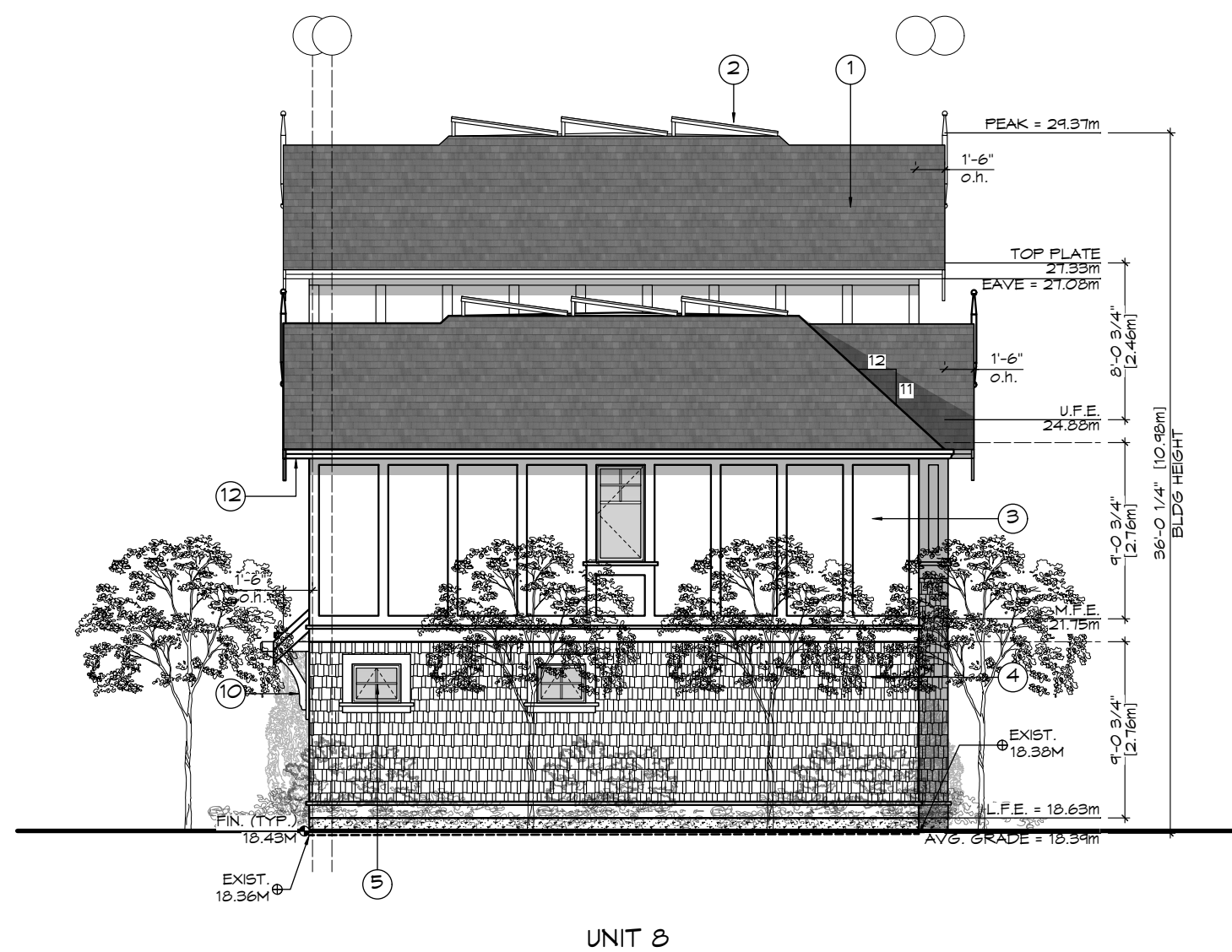
Revision: Sheet:
CALUC NOV. 12/20 A
REZONE/DP JAN. 07/21 301
REZONE/DP JUL. 4/22
Proj.No. TBD



1 Front (Foul Bay) Elevation - Bldg B
Scale: 1:100



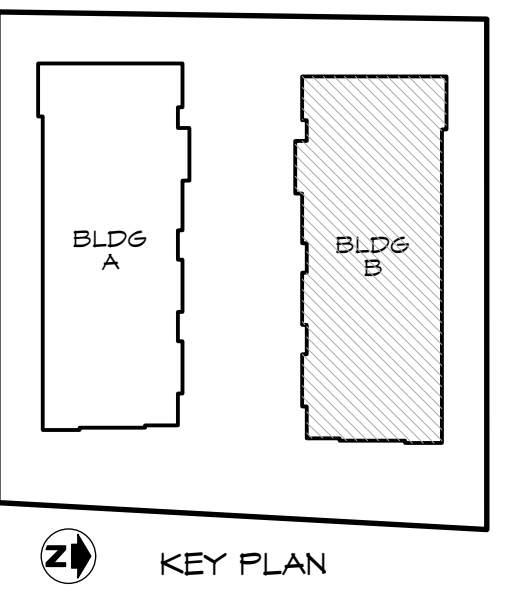
2 Side (Drive-aisle) Elevation - Bldg B
Scale: 1:100



3 Rear (W) Elevation - Bldg B
Scale: 1:100



4 Side (N) Elevation - Bldg B
Scale: 1:100



- FINISH SCHEDULE KEY**
- ① FIBERGLASS SHINGLE ROOFING
 - ② SOLAR PANELS ON FLAT ROOF
 - ③ CEMENTITIOUS PANELS & TRIM
 - ④ SHINGLE FINISH
 - ⑤ VINYL WINDOW
 - ⑥ WOOD ENTRY DOOR
 - ⑦ COMPOSITE FRENCH DOOR
 - ⑧ COMPOSITE GARAGE DOOR
 - ⑨ METAL RAILING
 - ⑩ WOOD BRACKETS
 - ⑪ WOOD POST
 - ⑫ SOFFIT & U/S OF BALCONIES - PREFIN. VENTED METAL
 - ⑬ LOCATION OF HYDRO METERS (LANDSCAPE SCREENED)

Bldg B								
Glazing Area Calc.	Unit 5		Unit 6		Unit 7		Unit 8	
South (driveaisle)	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric
limit distance	12.96	3.95	12.96	3.95	12.96	3.95	11.48	3.50
building face area	553.02	51.38	573.00	53.23	562.00	52.21	507.54	47.15
glazing area	77.00	7.15	89.00	8.27	89.00	8.27	65.00	6.04
percentage	13.92%		15.53%		15.84%		12.81%	
max allowed	17.78% ok		17.78% ok		17.78% ok		23.50% ok	
East (front/street)	N/A		N/A		N/A		N/A	
limit distance	faces street							
building face area								
glazing area								
percentage								
max allowed								
North (side)	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric
limit distance	8.66	2.64	8.66	2.64	8.66	2.64	8.66	2.64
building face area	550.39	51.13	573.00	53.23	573.00	53.23	499.36	46.39
glazing area	63.00	5.85	68.00	6.32	68.00	6.32	62.12	5.77
percentage	11.45%		11.87%		11.87%		12.44%	
max allowed	11.88% ok		11.88% ok		11.88% ok		15.76% ok	
West (rear)	N/A		N/A		N/A		Imperial	Metric
limit distance							8.63	2.63
building face area							655.64	60.91
glazing area							16.15	1.50
percentage							2.46%	
max allowed							11.84% ok	

REV. NO.	DESCRIPTION	DATE
1	32. MIDDLE UNITS REVISED 33. WINDOWS REVISED; 3RD STOREY EGRESS NOTE ADDED TO PLAN 34. GLAZING CALCULATIONS REVISED 35. BUILDING HEIGHT TAKEN TO TOP OF FLAT PORTION OF ROOF 36. DECK REMOVED 37. WINDOW CHANGED TO FRENCH DOORS 38. TREES REVISED PER LANDSCAPE PLAN (SEE PLANS BY BIOPHILIA) 39. SOFFIT NOTE REVISED	07.04.22

RE-ISSUED FOR
REZONING
2022.07.04

ZEBRADESIGN



1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: c.c.

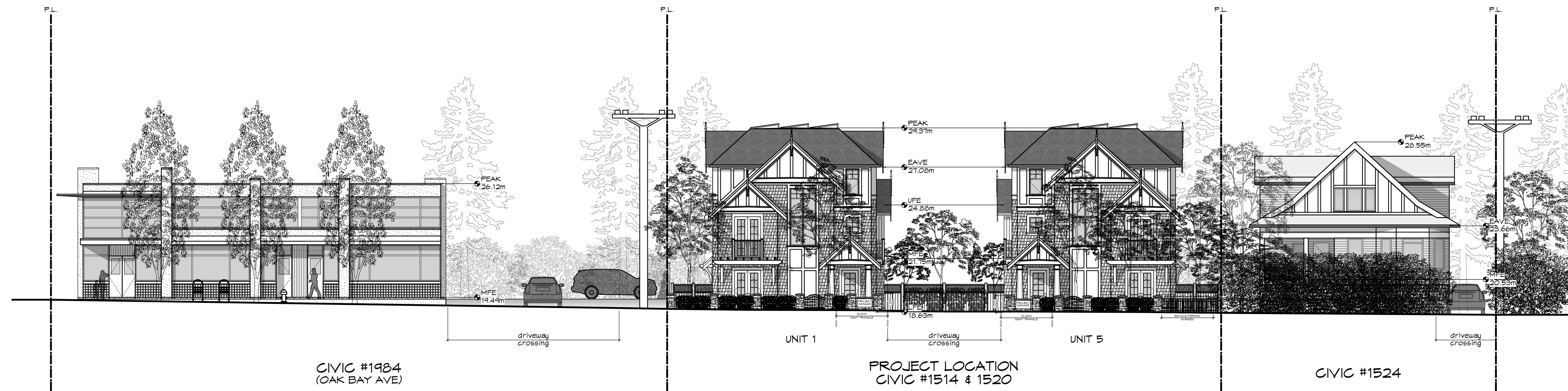
Date: JUNE 24, 2022

Scale: AS NOTED

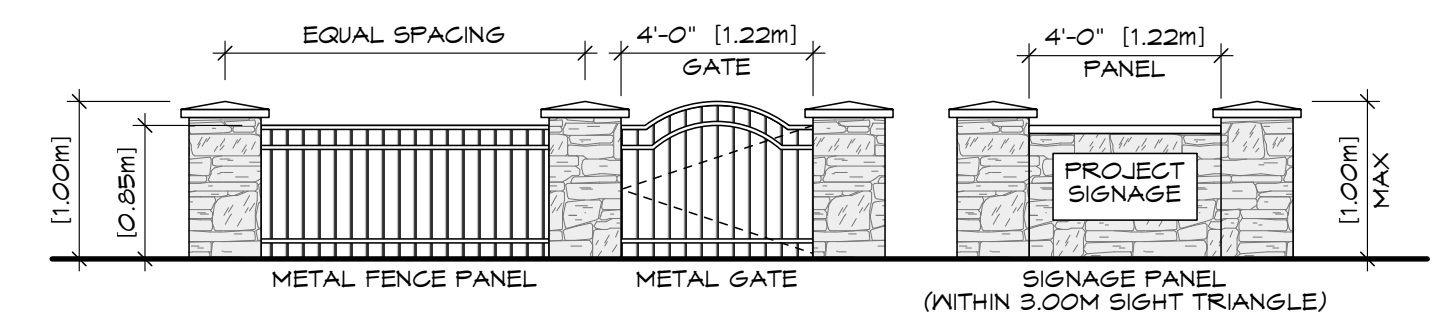
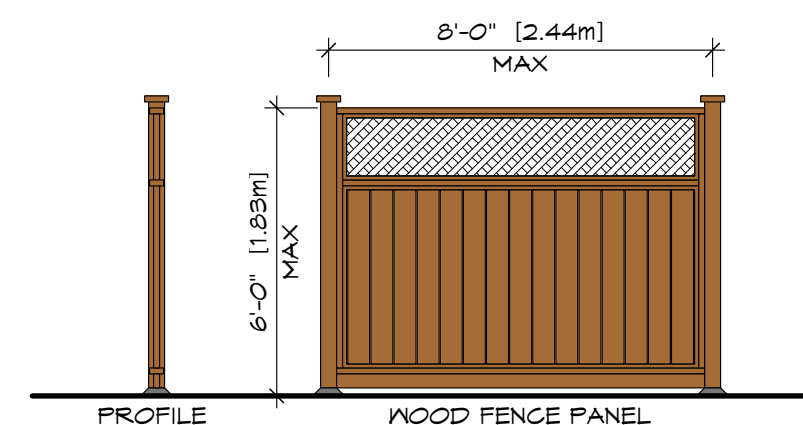
Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

Title:
ELEVATIONS -
BUILDING B

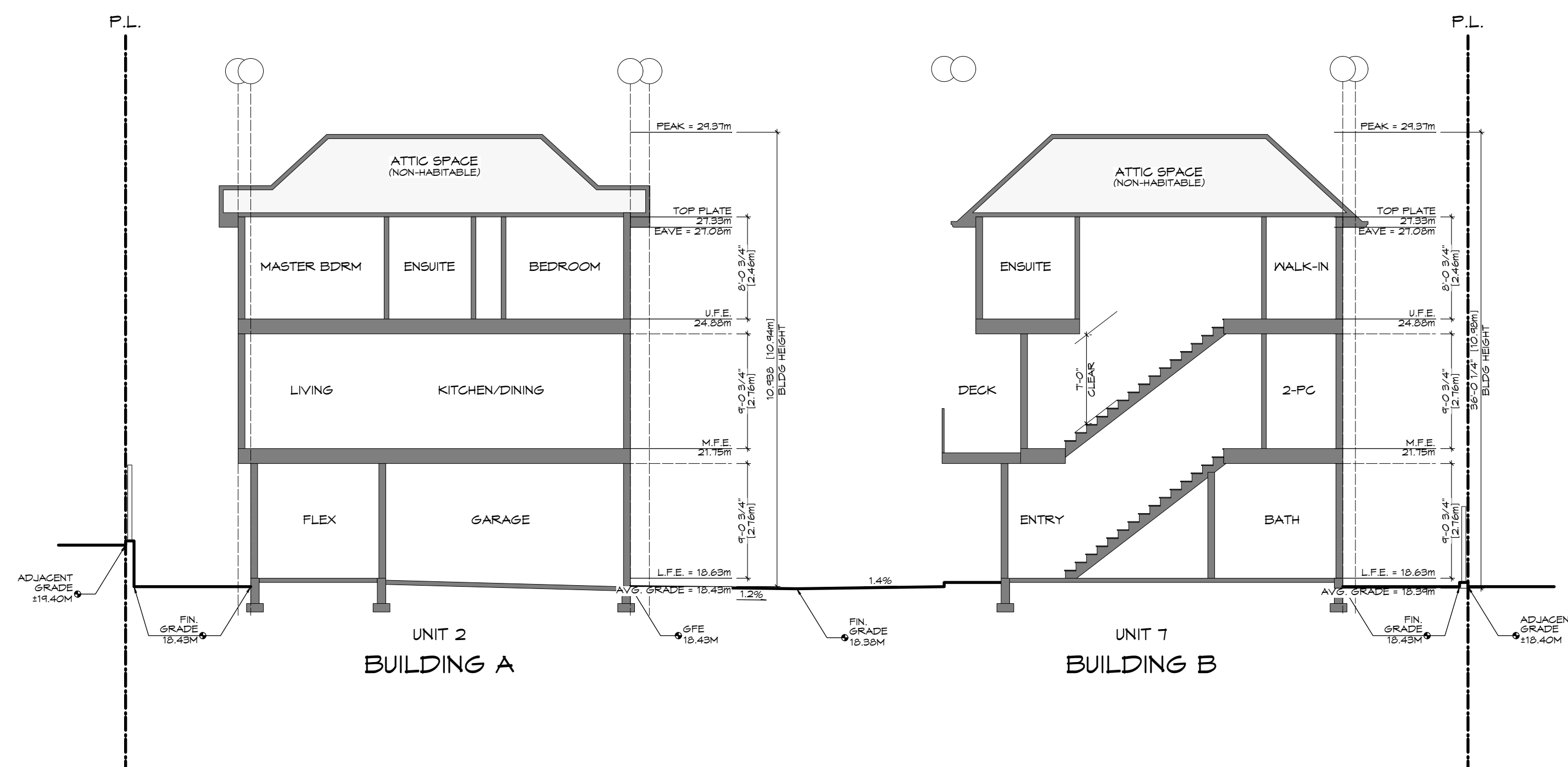
Revision: CALUC NOV. 12/20	Sheet: A 302
REZONE/DP JAN. 07/21	Proj.No. TBD
REZONE/DP JUL. 4/22	



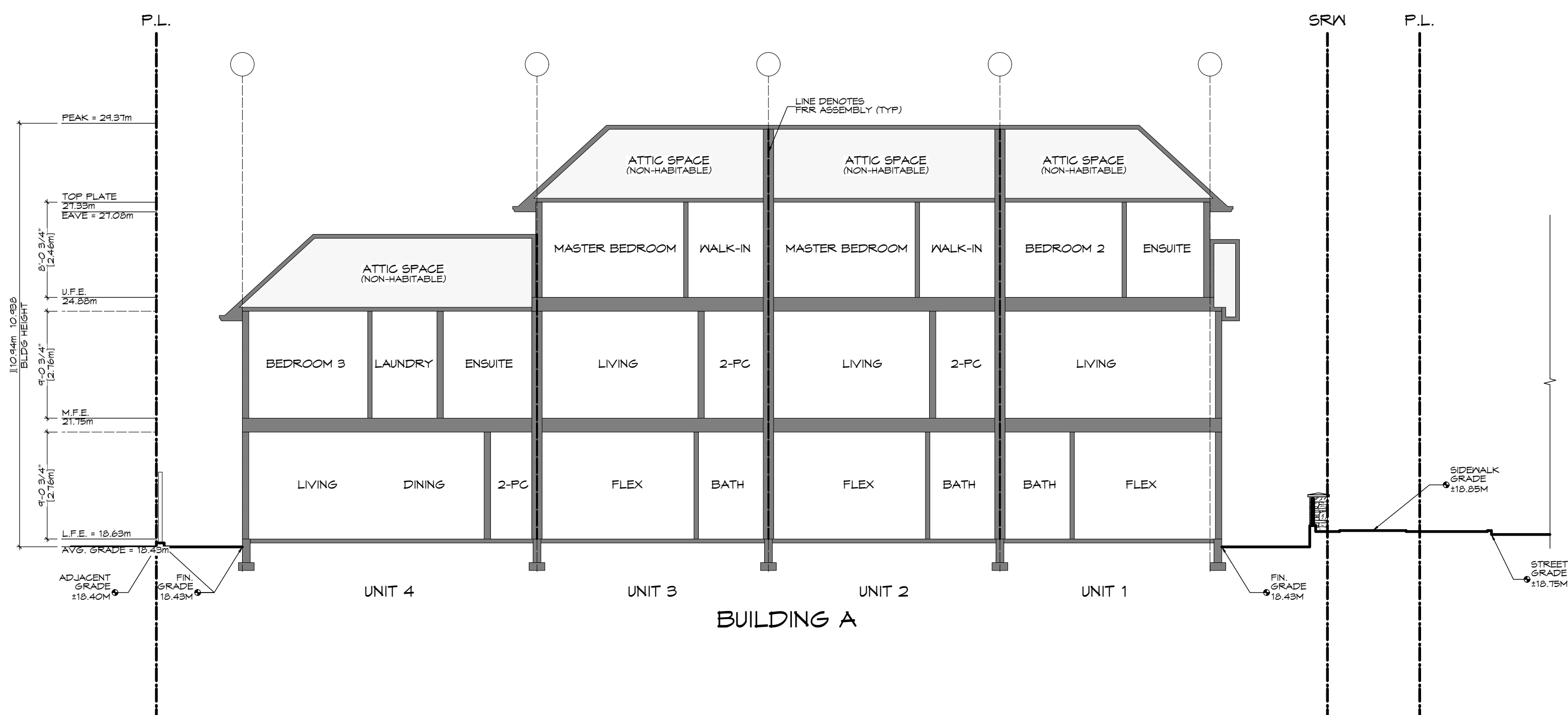
1 Streetscape
Scale: 1:150



4 Fence Design
Scale: 1/4" = 1'-0"



2 Site Section A
Scale: 1:100



3 Site Section B
Scale: 1:100

RE-ISSUED FOR
REZONING
2022.07.04

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Date: JUNE 24, 2022

Scale: AS NOTED

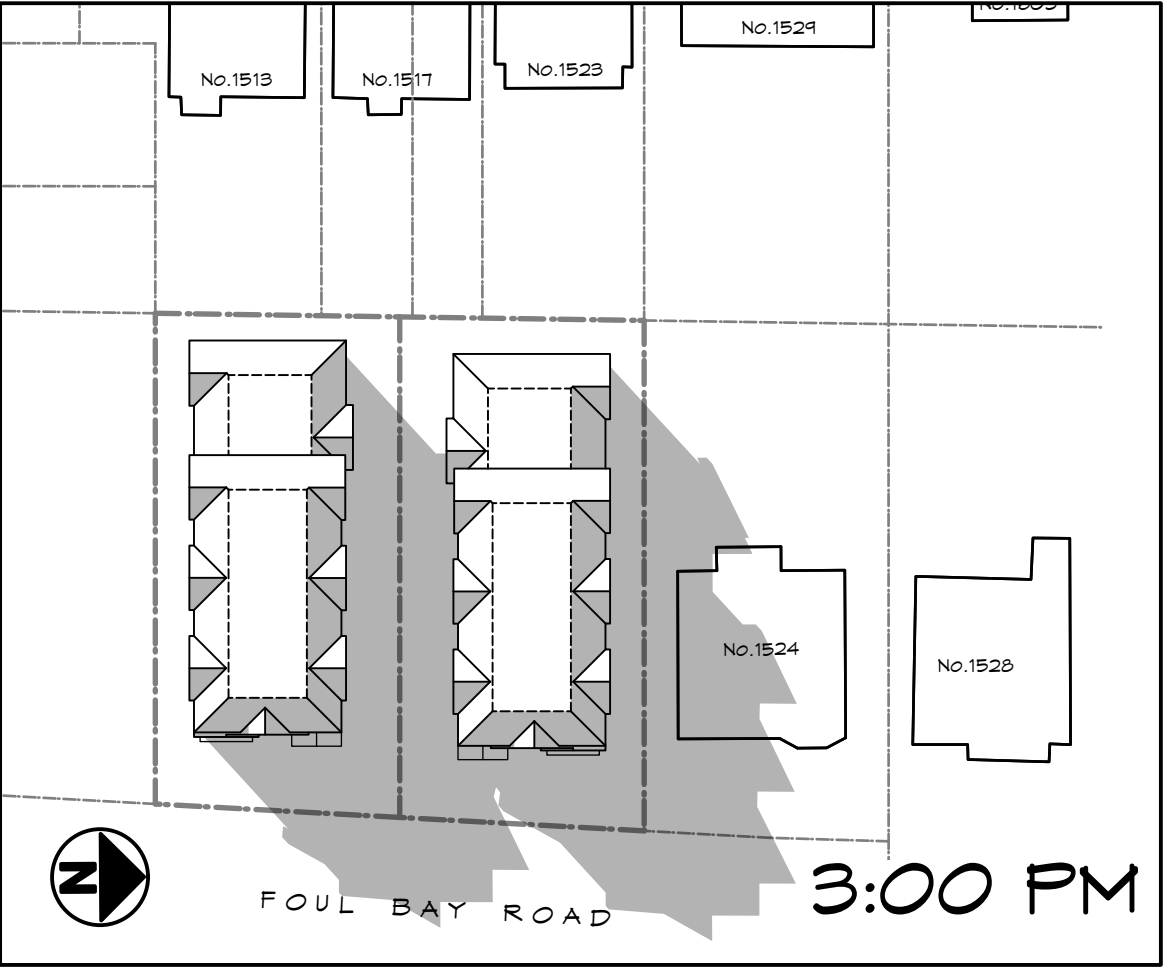
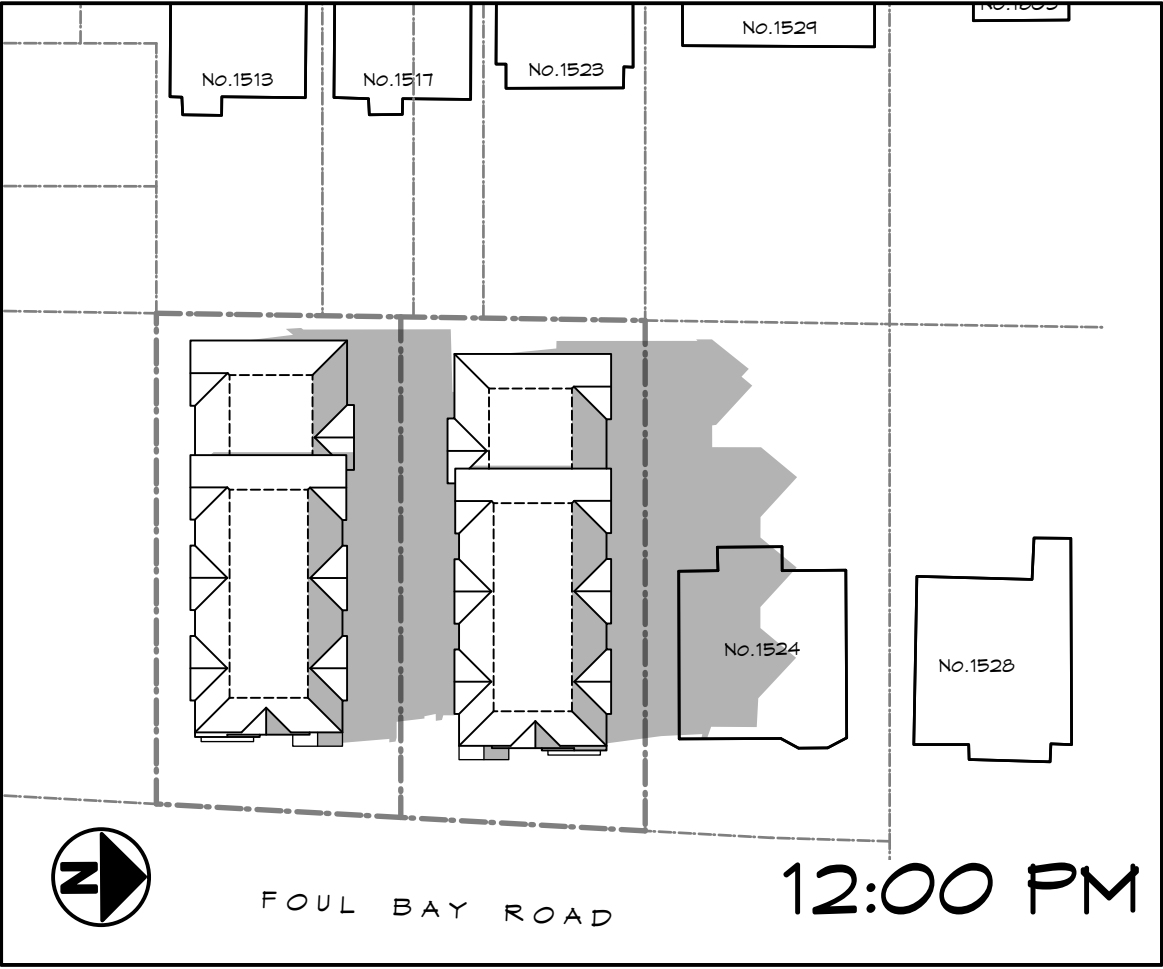
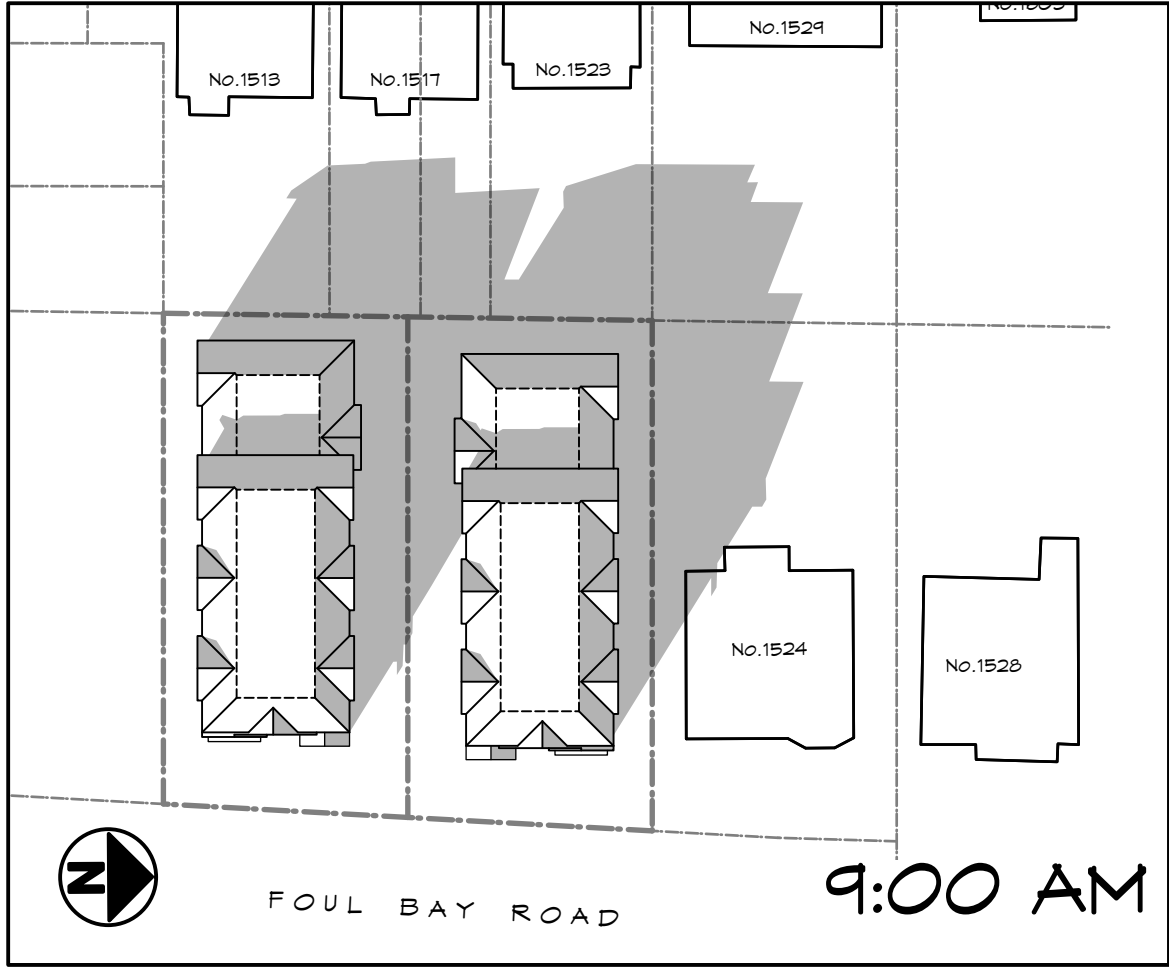
Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

Title:
STREETSCAPE &
SITE SECTIONS

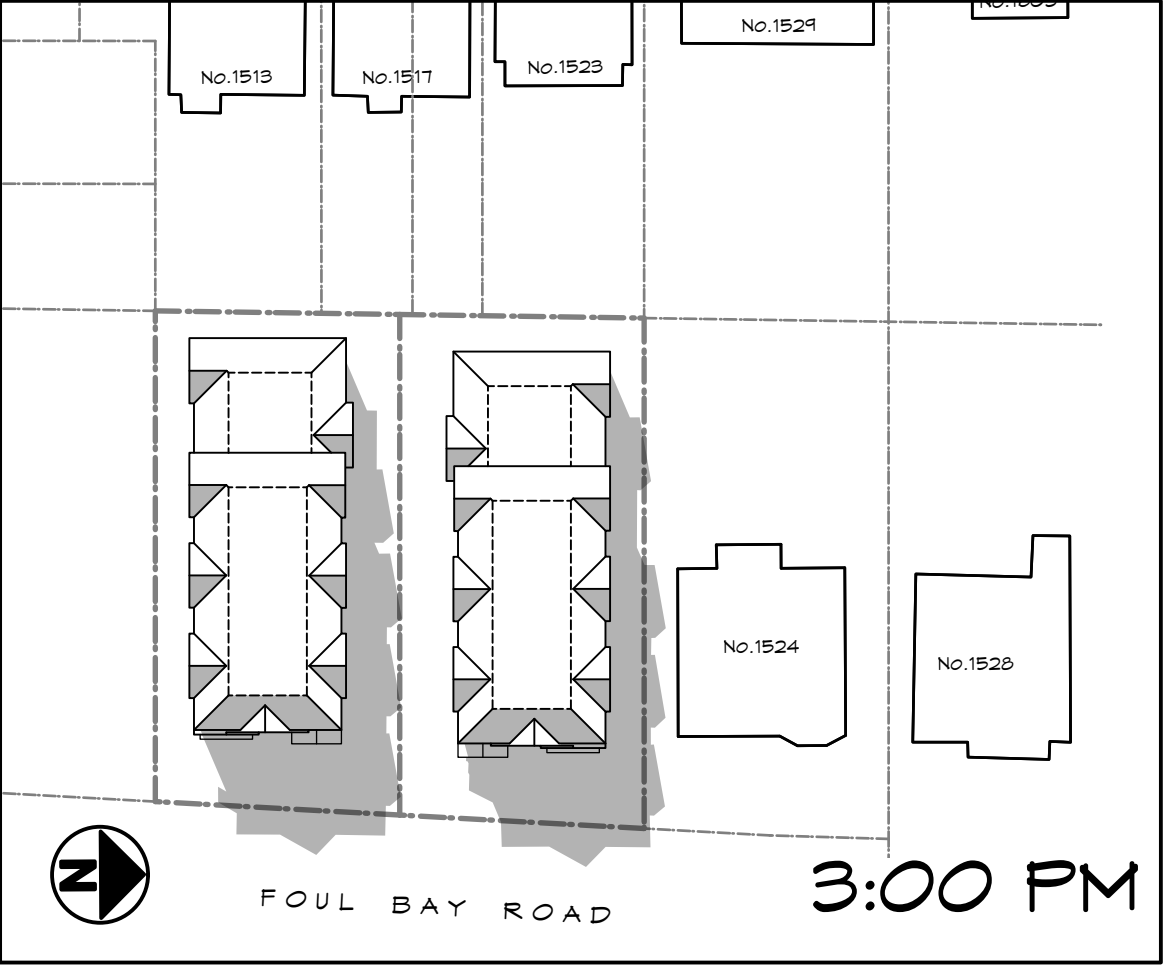
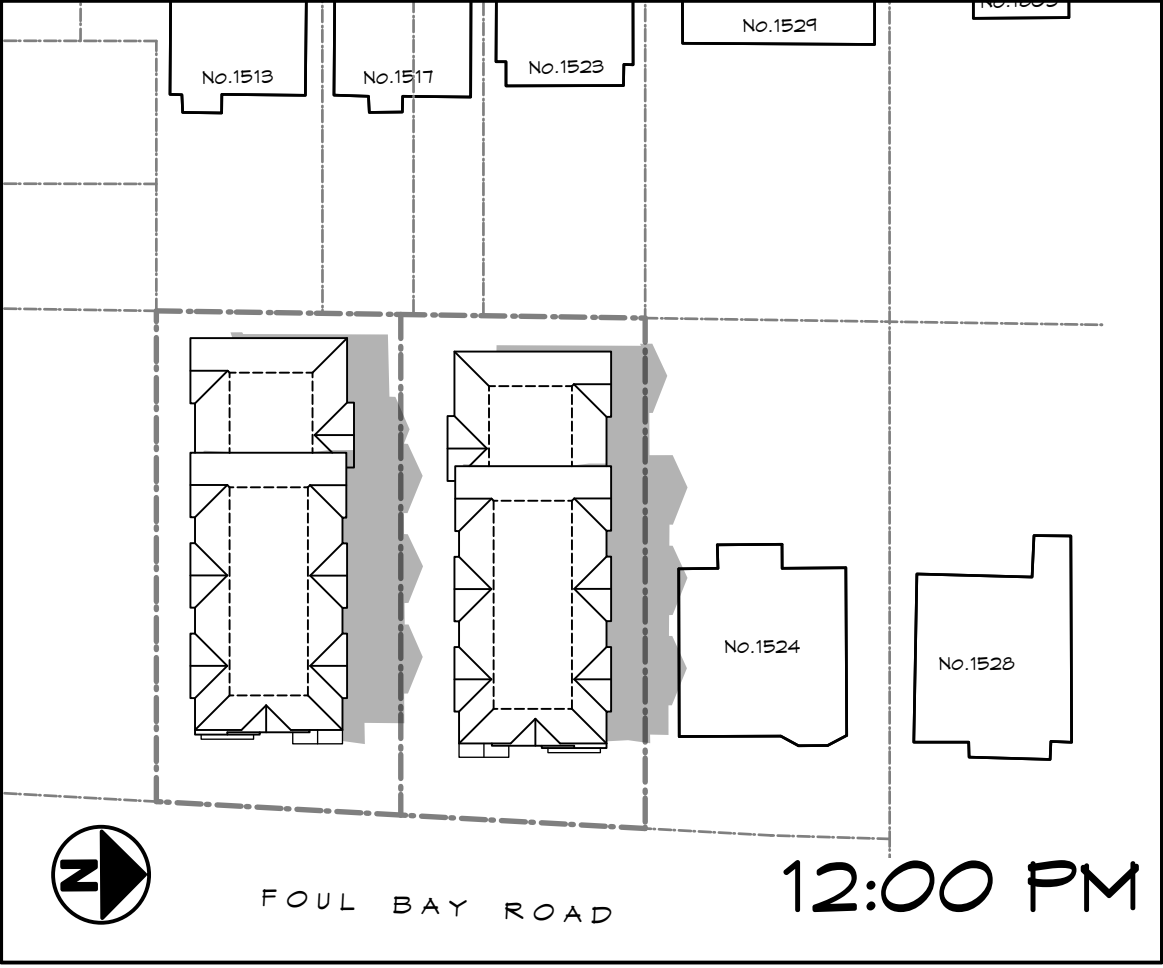
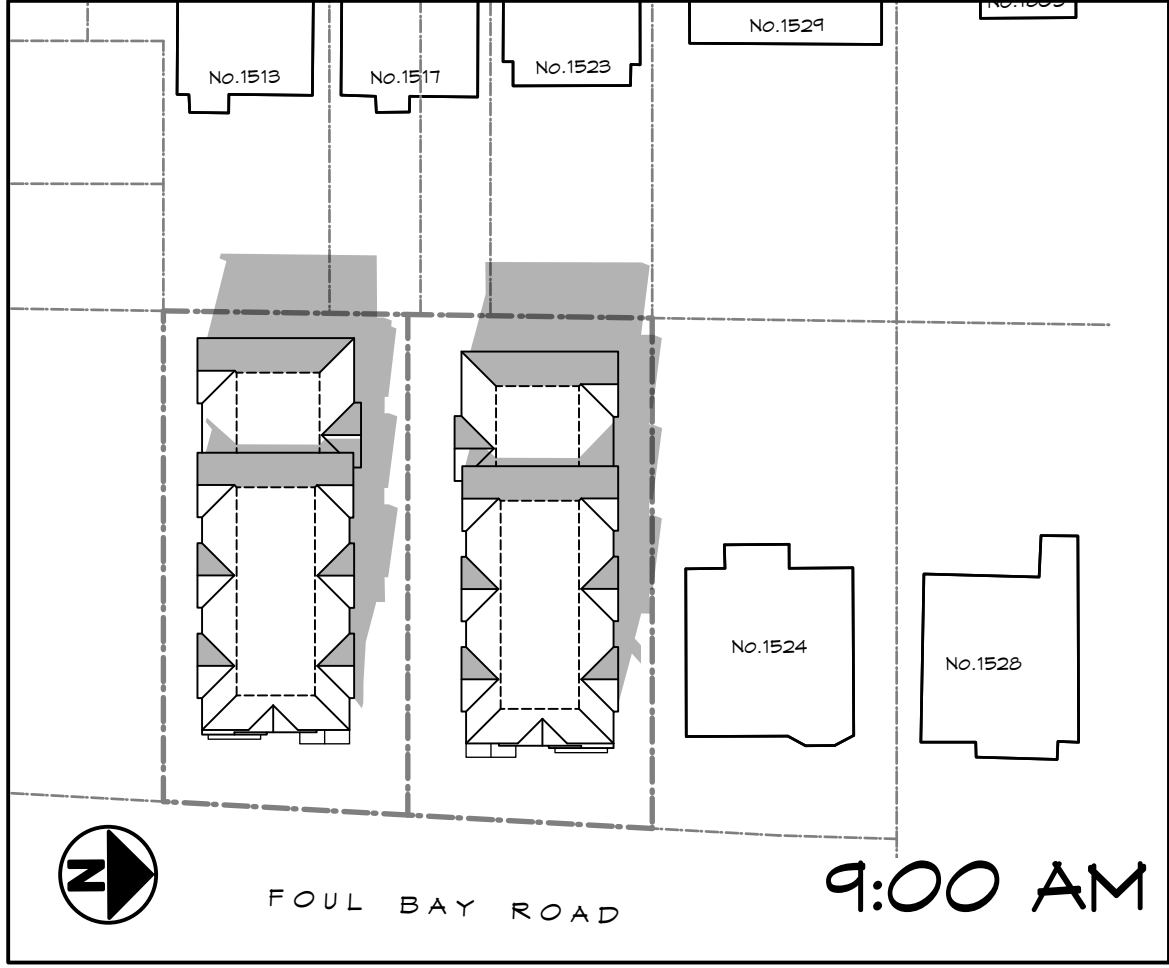
Revision: Sheet:
CALUC NOV. 12/20
REZONE/DP JAN. 07/21
REZONE/DP JUL. 4/22
A
401
Proj.No. TBD

REV. NO.	DESCRIPTION	DATE
1	40. SECTIONS REVISED TO SUIT CHANGES 41. FENCE DESIGN REVISED 42. STREETSCAPE REVISED TO SUIT CHANGES	07.04.22

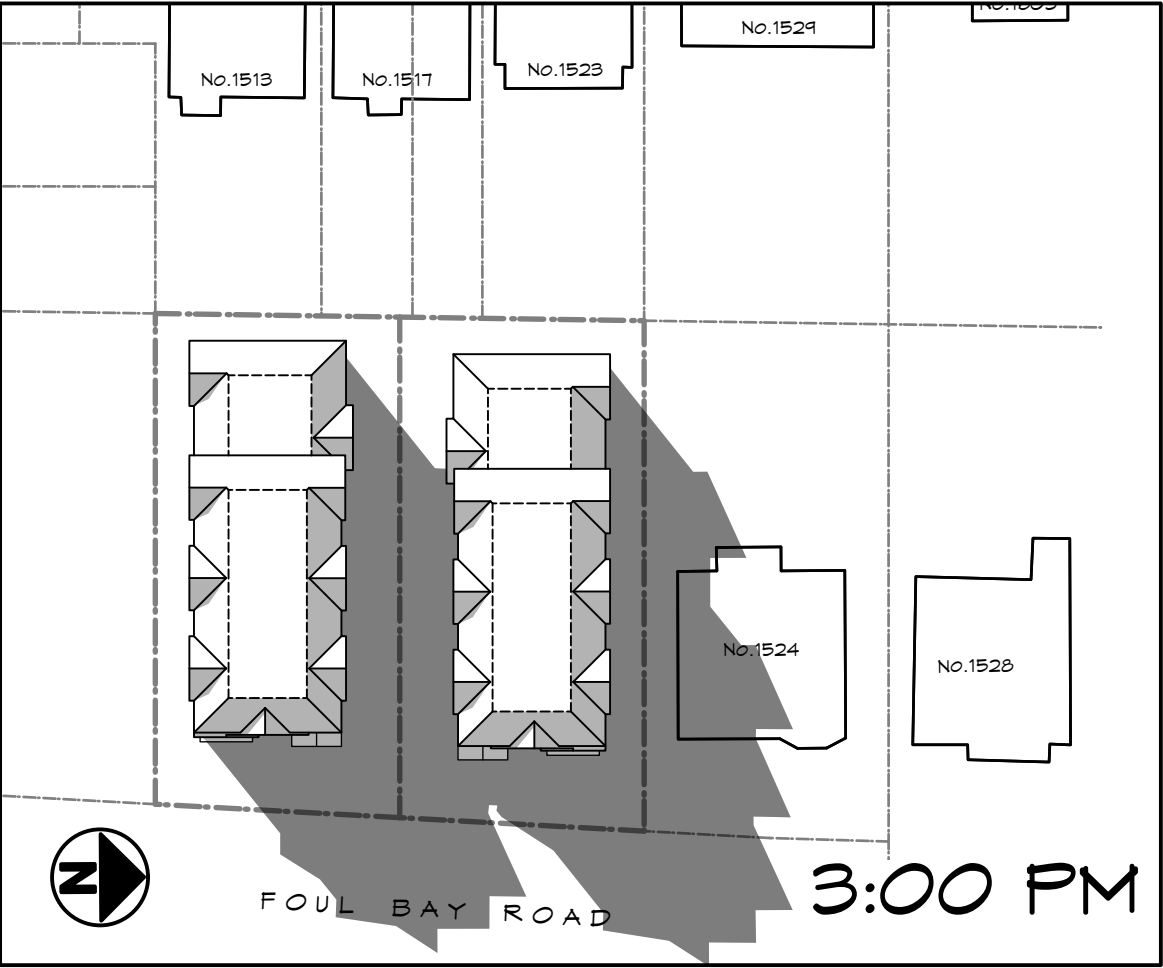
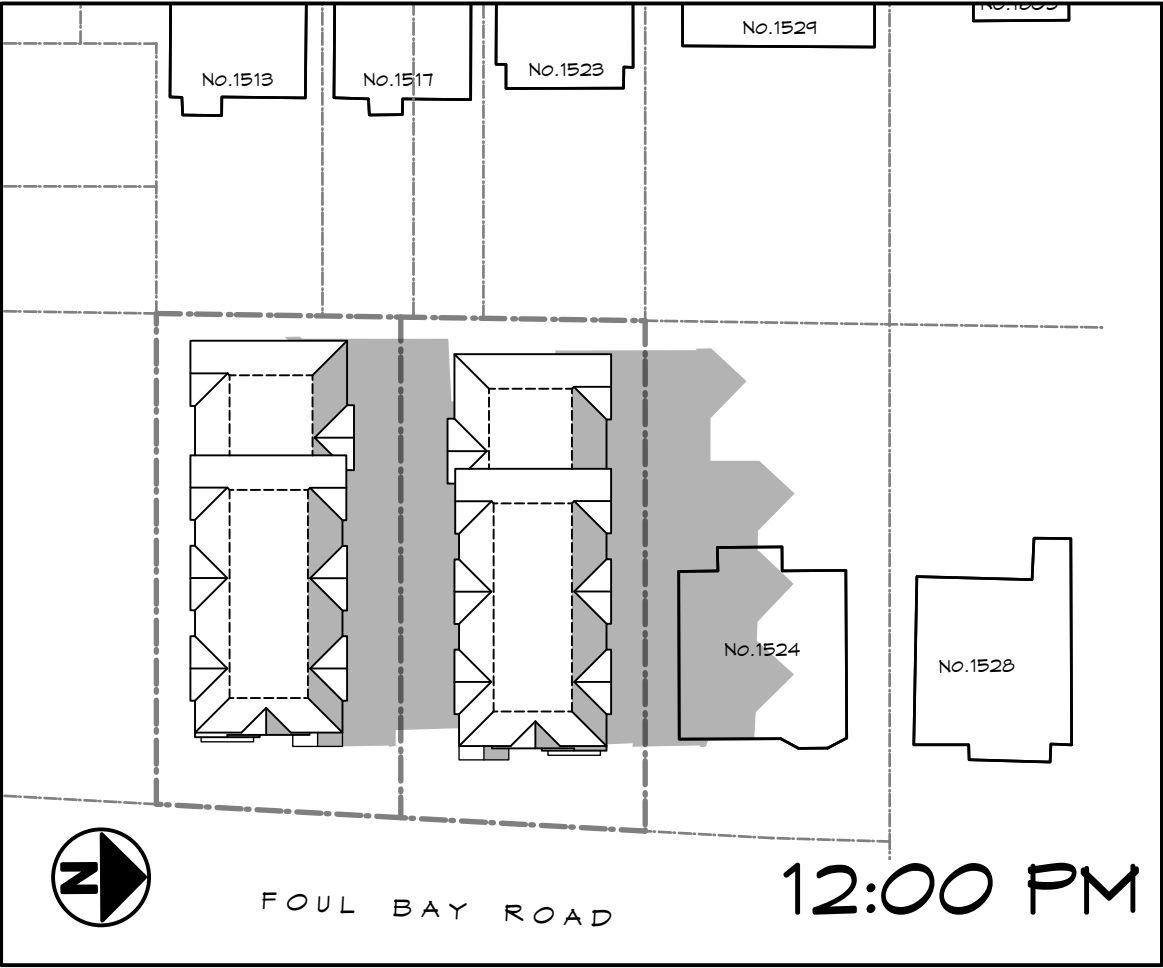
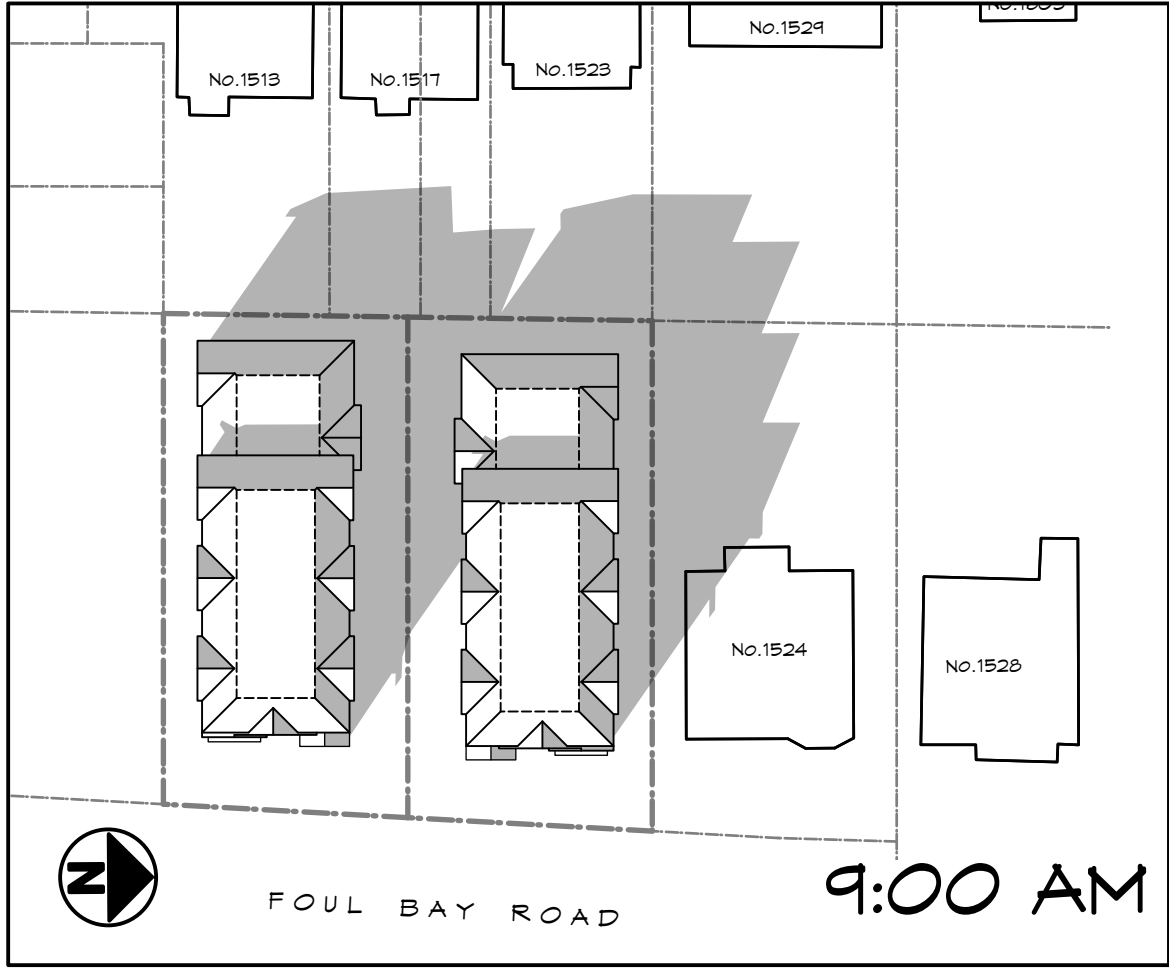
MARCH 20
(EQUINOX)



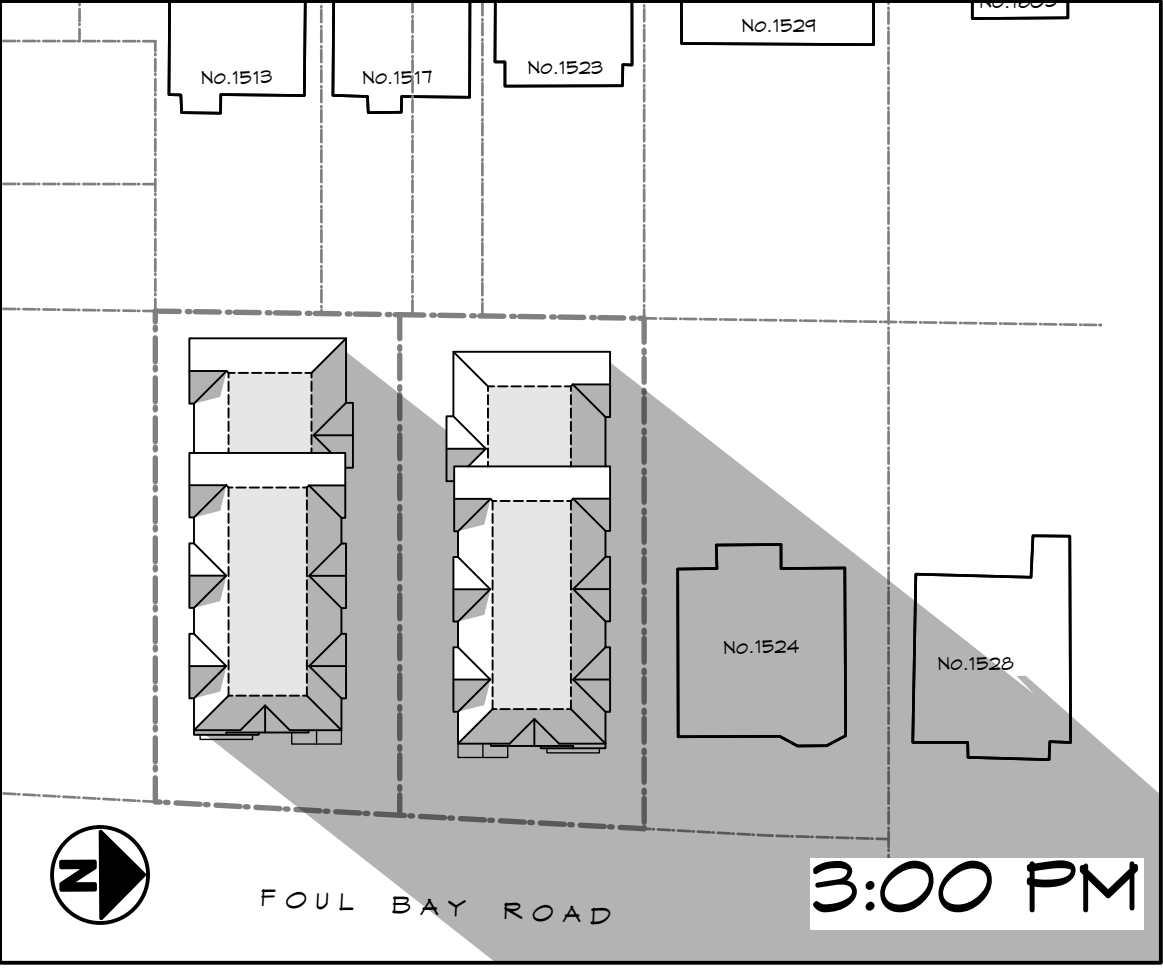
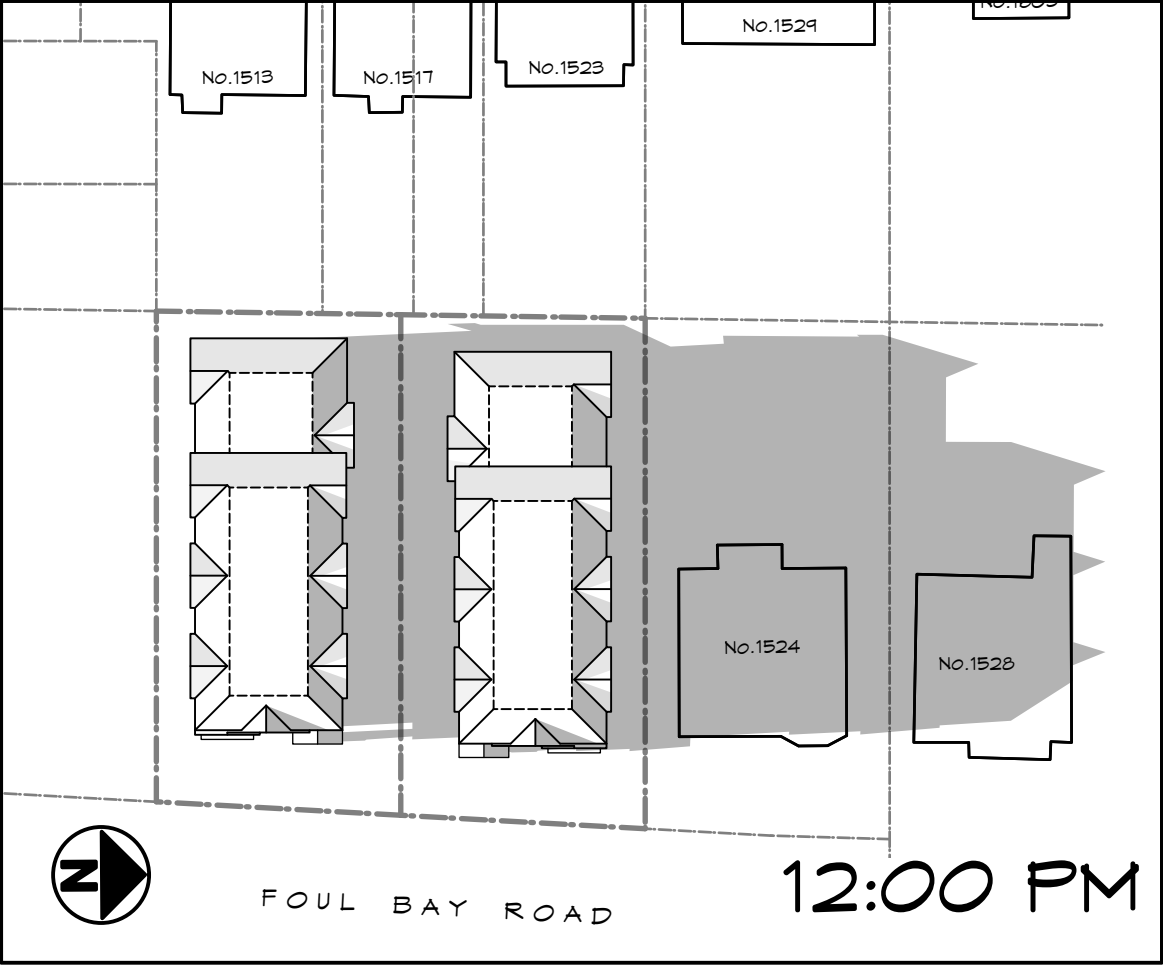
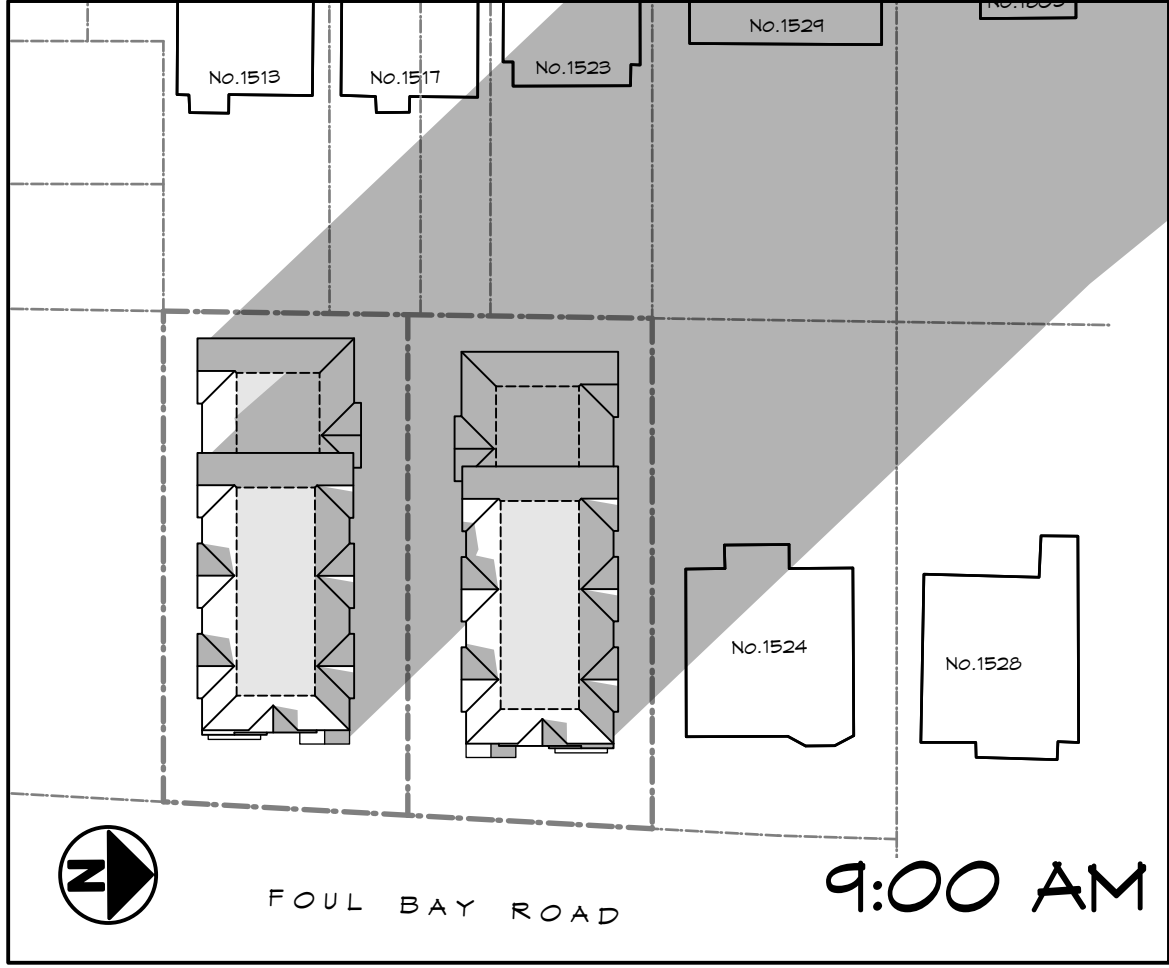
JUNE 21
(SOLSTICE)



SEPT. 23
(EQUINOX)



DEC. 22
(SOLSTICE)



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1161 NEWPORT AVE
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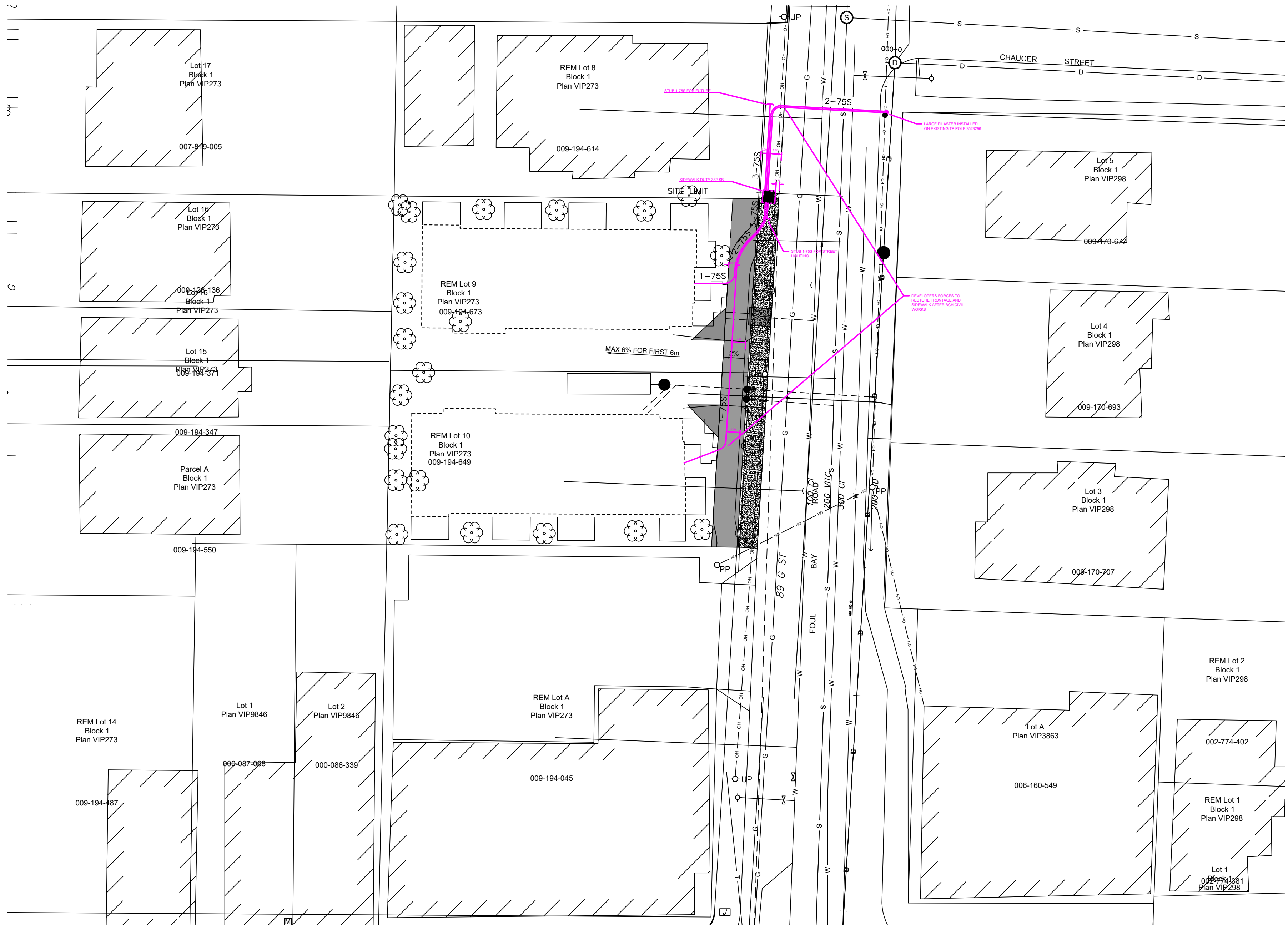
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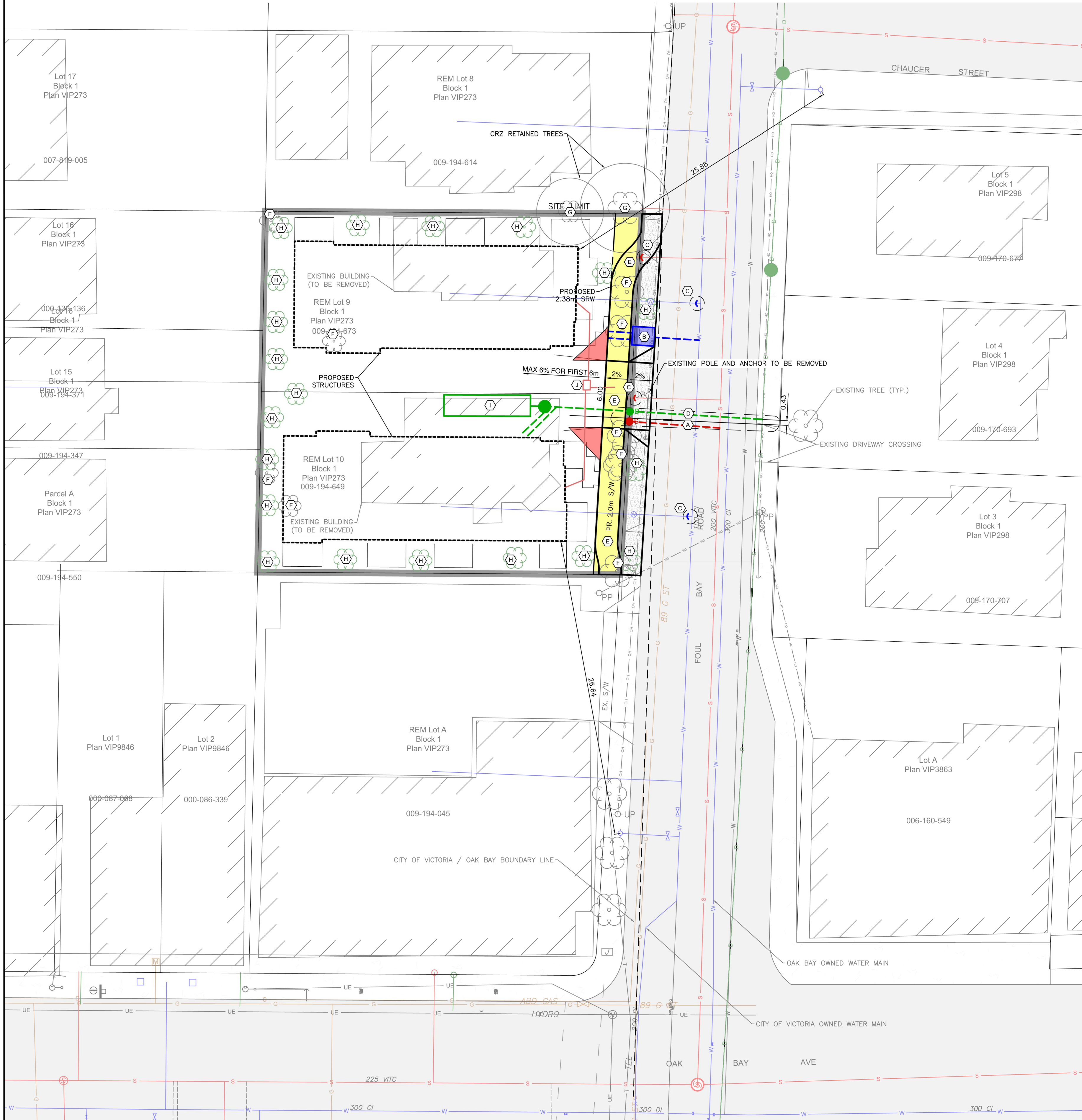
Scale: AS NOTED

Project:
PROPOSED
TOWNHOUSES
@ 1514/1520
FOUL BAY RD

Title:
SHADOW STUDY

Revision:	Sheet:
CALUC	NOV. 12/20
REZONE/DP	JAN. 07/21
REZONE/DP	JUL. 4/22
1	43. SHADOW STUDY ADDED TO DRAWING PACKAGE
07.04.22	
Proj.No. TBD	





SHEET NOTES:

- (A) CITY OF VICTORIA TO INSTALL SEWER SERVICE AT DEVELOPERS EXPENSE.
- (B) CITY OF VICTORIA WATER TO INSTALL WATER SERVICE AND METER AT DEVELOPERS EXPENSE.
- (C) CITY OF VICTORIA TO CAP AND ABANDON EXISTING SERVICE AT DEVELOPERS EXPENSE.
- (D) DISTRICT OF OAK BAY TO INSTALL DRAIN SERVICE AT DEVELOPERS EXPENSE.
- (E) CONTRACTOR TO CONSTRUCT 2.0m SEPARATED SIDEWALK WITH CURB AND GUTTER COMPLETE WITH 6.0m WIDE DRIVEWAY AS PER CITY OF VICTORIA STANDARDS. CONTRACTOR TO TIE IN PROPOSED SIDEWALK TO EXISTING.
- (F) EXISTING TREE TO BE REMOVED.
- (G) EXISTING TREE TO BE RETAINED. ALL WORK WITHIN CRZ TO BE UNDER SUPERVISION OF PROJECT ARBORIST.
- (H) PROPOSED TREE LOCATION. SEE LANDSCAPE PLANS FOR DETAILS.
- (I) PROPOSED ONSITE STORM WATER MANAGEMENT SYSTEM COMPLETE WITH FLOW CONTROL MANHOLE. CONFIRMATION OF STORAGE VOLUME TO BE COMPLETED AT BUILDING PERMIT. ALTERNATE STORAGE MAY BE PROVIDED VIA RAIN GARDEN.
- (J) PROPOSED HYDRO SERVICING AS PER BCH REDLINE.

STORAGE SIZING — SITE
TOTAL IMPERMEABLE SURFACE AREA = 608m²

REQUIRED STORAGE = 100m³/ha OF IMPERVIOUS AREA
= 100m³/ha x [0.061]ha
= 6.1m³

STORAGE PROVIDED BY 3 STORMTECH SC-780 CHAMBERS. SEE DETAIL BELOW. EACH STORMTANK PROVIDES 1.3m³ OF STORAGE VOLUME. THE FLOW CONTROL MANHOLE (FCMH) IS 1050mm² CONCRETE MANHOLE WHICH ALSO PROVIDED AN ADDITIONAL 0.86m³ OF STORAGE VOLUME. THE VOIDS IN THE 0.3m WIDE GRAVEL SURROUNDING THE CHAMBERS PROVIDES FURTHER STORAGE VOLUME.

VOLUME OF CHAMBERS = 3 CHAMBERS x 1.3m³/CHAMBER = 3.9m³

TOTAL VOLUME = 2.8m WIDE x 4.8m LONG x 0.91m HIGH = 12.2m³

VOLUME OF DRAIN ROCK SURROUND = (12.2-3.9)x30% = 2.5m³

PROVIDED STORAGE = VOLUME OF RELOCATED CHAMBERS + VOLUME RELOCATED OF FCMH
= 3.9m³ + 2.5m³ + 0.86m³
= 7.3m³

NOTE:
EXISTING FIRE HYDRANTS ARE WITHIN 45m OF PROPOSED STRUCTURE

LEGEND					
LAMP STANDARD	LS	LS	CLEANOUT		DITCH
POLE(Hydro, Tel.)	PP	PP	CATCHBASIN		METER
U/G WIRING	UE		MANHOLE		FLUSH VALVE
GAS	G		SERVICE RISER		VALVE
WATER	W		MOUNTABLE CURB	MC	REDUCER
SEWER	S		NON-MOUNT. CURB	NMC	HYDRANT
DRAIN			EDGE ASPHALT		AIR VALVE



1514/1520 FOUL BAY ROAD
PRELIMINARY SERVICING
PLAN

Scale
horiz. 1:200
vert. N/A

Sheet 1 of 1

Eng. Project No. 32657

JEA J E ANDERSON &
ASSOCIATES

SURVEYORS - ENGINEERS

VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

CONCEPTUAL SITE SERVICING PLAN

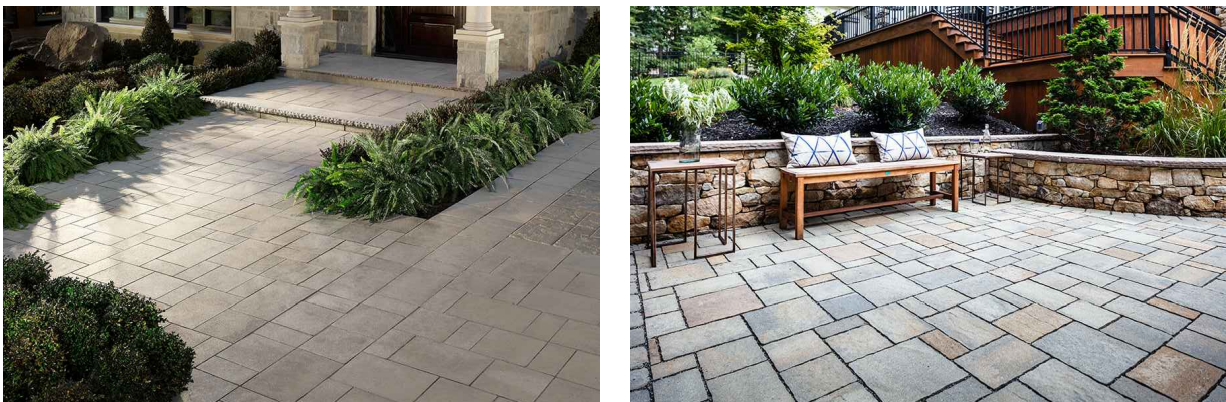


LEGEND

- PROPERTY LINE
- ON-SITE LANDSCAPE AREA
- RAIN GARDEN
- CONCRETE
- PERMEABLE PAVER DRIVEWAY
- PATIO PAVER
- GRAVEL
- MUNICIPAL BOULEVARD
- MUNICIPAL SIDEWALK
- BIKE RACK
- RETAINING WALL
- PRIVACY FENCE
- PRIVACY SCREEN



DRIVEWAY PERMEABLE PAVER



PATIO PAVER OPTIONS



PRIVACY FENCING



RAIN GARDEN



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilicollective.ca 250 590 1156

PROJECT NAME:
VILLAGE LANDING

PROJECT ADDRESS:
1514+ 1520 FOUL BAY RD

DESIGNED BY: BIANCA BODLEY
DRAWN BY: KIM TANG

NO.	ISSUED FOR	YYMMDD
1	REZONING	2021-12-03
2	REVIEW	2022-06-06
3	REVISED & REISSUED FOR REZONING	2022-07-04

SEAL

NORTH ARROW

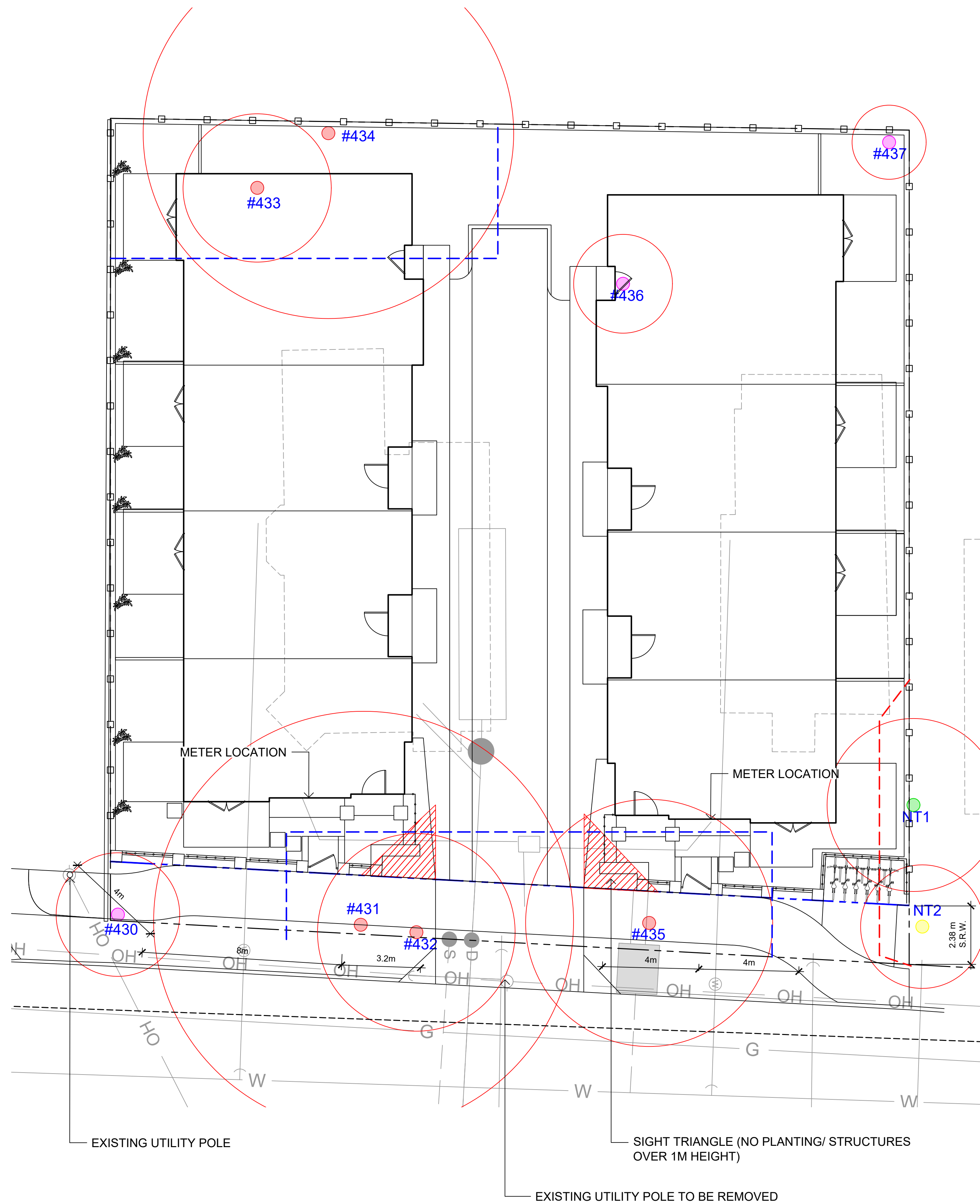


DRAWING TITLE:
LANDSCAPE PLAN

DWG NO:

SCALE: 1:100

L1



TREE STATUS LEGEND

#

EXISTING TREE TAG

EXISTING TREE PROTECTED ROOT ZONE

TREE PROTECTION FENCING

- TO OUTSIDE OF DRIP LINE WHERE POSSIBLE (AS SHOWN)
- TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
- TO MUNICIPAL STANDARD

TREE PROTECTION FENCING

- REQUIRED DURING THE DP STAGE

ROOT BARRIER

PROTECTED TREE FOR REMOVAL

TREE FOR REMOVAL

PROTECTED TREE TO RETAIN

TREE TO BE RETAINED

CITY OF VICTORIA

SUPPLEMENTARY STANDARD
DETAIL DRAWINGS

TREE PROTECTION FENCING

1.

FENCE WILL BE CONSTRUCTED USING 38 mm X 89mm WOOD FRAME: TOP, BOTTOM AND POSTS * USE ORANGE SNOW-FENCING MESH AND SECURE THE WOOD FRAME WITH*ZIP* TIES OR GALVANIZED STAPLES.

2.

ATTACH A 500mm X 500mm SIGN WITH THE FOLLOWING WORDING: WARNING- TREE PROTECTION AREA. THIS SIGN MUST BE AFFIXED ON EVERY FENCE OR AT LEAST EVERY 10 LINEAR METERS.

*

IN ROCKY AREAS, METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED

2011

TREE PROTECTION FENCING
AND SIGNAGE DETAIL

REVISIONS

DRAWING NUMBER:
SD P1

Tree Inventory

Tree#	Tree Species	Ownership Onsite - O/S Offsite - OF/S Muni - M	DBH (cm)	Height (M)	PRZ (M)	Tree Condition G, F, P	Impact L, M, H	Retain	Remove	Bylaw Protected
430	S maple	O/S	27	9	5	F/F	M/H		X	no
431	S maple	O/S	95	12	17	F/P	H		X	yes
432	S maple	O/S	50	12	8	F/P	H		X	yes
433	Apple	O/S	35	4	6	P/P	H		X	yes
434	PL plum	O/S	85	8	15	F/P-P	H		X	yes
435	Apple	O/S	53	8	10	F/P-P	H		X	yes
NT3	Lilac	O/S	25	3	5	P/P	H		X	no
NT1	Laurel	OF/S	39	5	7	F/P	M	X		yes
NT2	S maple	OF/S	29	10	5	F/F-P	M	X		no
436	Apple	O/S	22	5	4	Dead	H		X	no
437	S maple	O/S	17	7	3	F/P	M		X	no
N/T	S maple	OF/S	110	22	20	F-F/P	L	X		yes

SouthShore Forest Consultants

PROJECT NAME:
VILLAGE LANDING

PROJECT ADDRESS:
1514+ 1520 FOUL BAY RD

DESIGNED BY: BIANCA BODLEY
DRAWN BY: KIM TANG

NO.	ISSUED FOR	YYMMDD
1	REZONING	2021-12-03
2	REVIEW	2022-06-06
3	REVISED & REISSUED FOR REZONING	2022-07-04

SEAL

NORTH ARROW

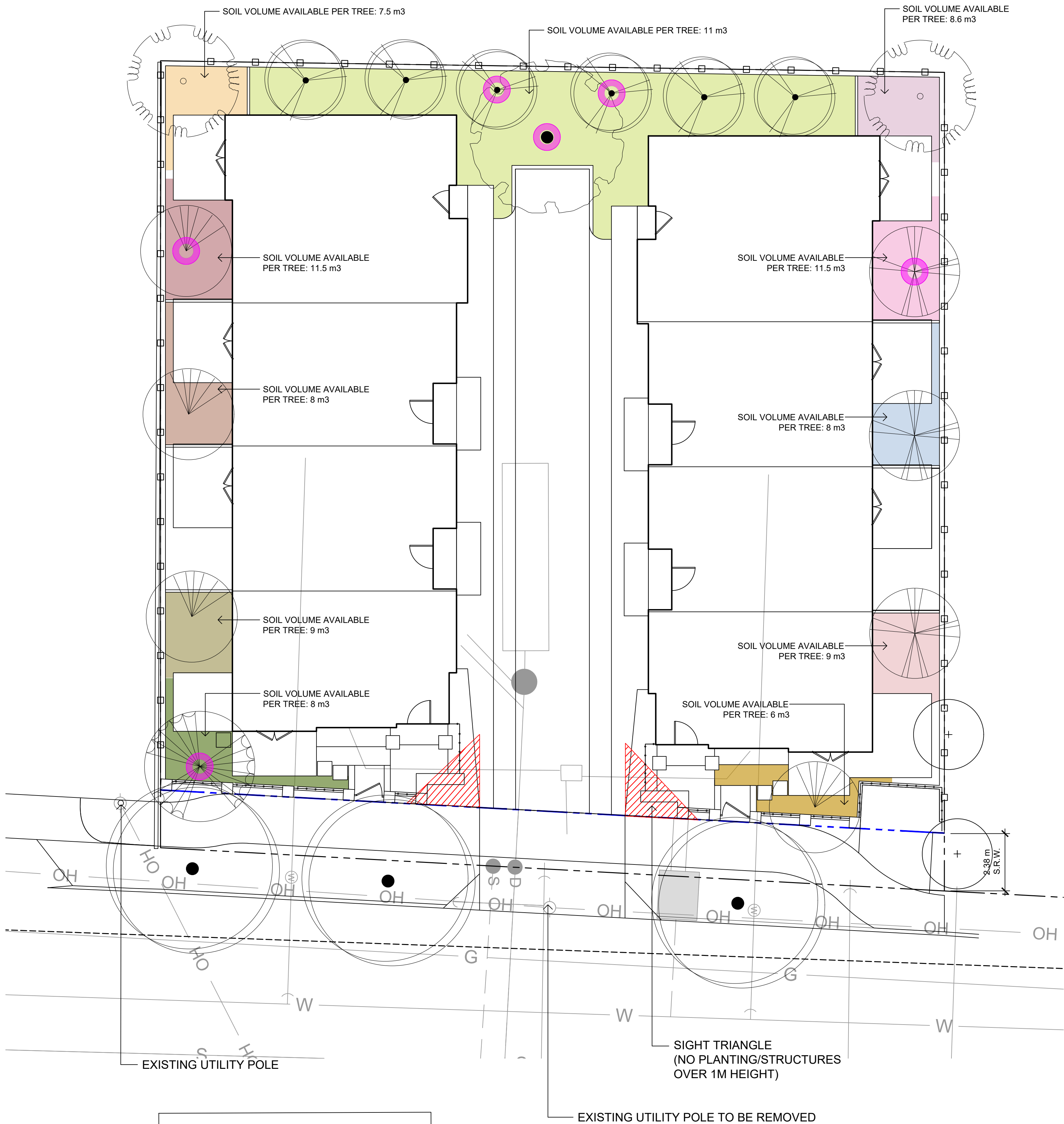


DRAWING TITLE:
**TREE REMOVAL &
PROTECTION PLAN**

DWG NO:

SCALE: 1:100

L2



LEGEND

REPLACEMENT TREES

PROTECTED TREES TO BE REMOVED ON SITE: 5

REPLACEMENT TREES NEEDED: 10

REPLACEMENT TREES PROPOSED: 6

TREE SCHEDULE								
Quantity	Symbol	Latin Name	Common Name	Container	Caliper	Native	Height at Maturity (m)	Spread at Maturity (m)
3		Cornus Venus	Venus® Dogwood	B&B		Y	4.5000	4.5000
6		Amelanchier alnifolia	Serviceberry	B&B		Y	6	6
3		Cornus nuttallii	Pacific Dogwood	B&B		Y	15	3
1		Cercidiphyllum	Japanese Katsura	B&B		N	15	9
2		Magnolia x brooklynensis	Yellow Bird Magnolia	B&B		N	12	9
1		Quercus palustris	Pin Oak	B&B		N	20	12
2		TBD BY CITY	N/A	N/A	N/A	N/A	N/A	N/A
NOTES: 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION. 2. PARKS WILL REQUIRE (3) INSPECTIONS FOR TREE PLANTING: 1) INSPECTION OF SOIL AND PLANTING AREA 2) INSPECTION OF STOCK UPON DELIVERY 3) INSPECTION OF INSTALLED TREE WITH MULCH AND STAKING. THE TREE (S) MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 5-8 CM DIAMETER, CALIPER MEASURED 15 CM ABOVE GROUND, WELL BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M-2.5 M ABOVE GROUND, PLANTED AS PER PLANTING OF TREES, SHRUBS AND GROUND COVERS (32 93 01 MMCD 2009 AND CITY OF VICTORIA SUPPLEMENTAL DRAWINGS SD P4 AND SD P5).								



SERVICEBERRY



VENUS FLOWERING DOGWOOD



PACIFIC DOGWOOD



JAPANESE KATSURA



YELLOWBIRD MAGNOLIA



PIN OAK



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilicollective.ca 250 590 1156

PROJECT NAME:
VILLAGE LANDING

PROJECT ADDRESS:
1514+ 1520 FOUL BAY RD

DESIGNED BY: BIANCA BODLEY
DRAWN BY: KIM TANG

NO.	ISSUED FOR	YYMM/DD
1	REZONING	2021-12-03
2	REVIEW	2022-06-06
3	REVISED & REISSUED FOR REZONING	2022-07-04

SEAL

NORTH ARROW

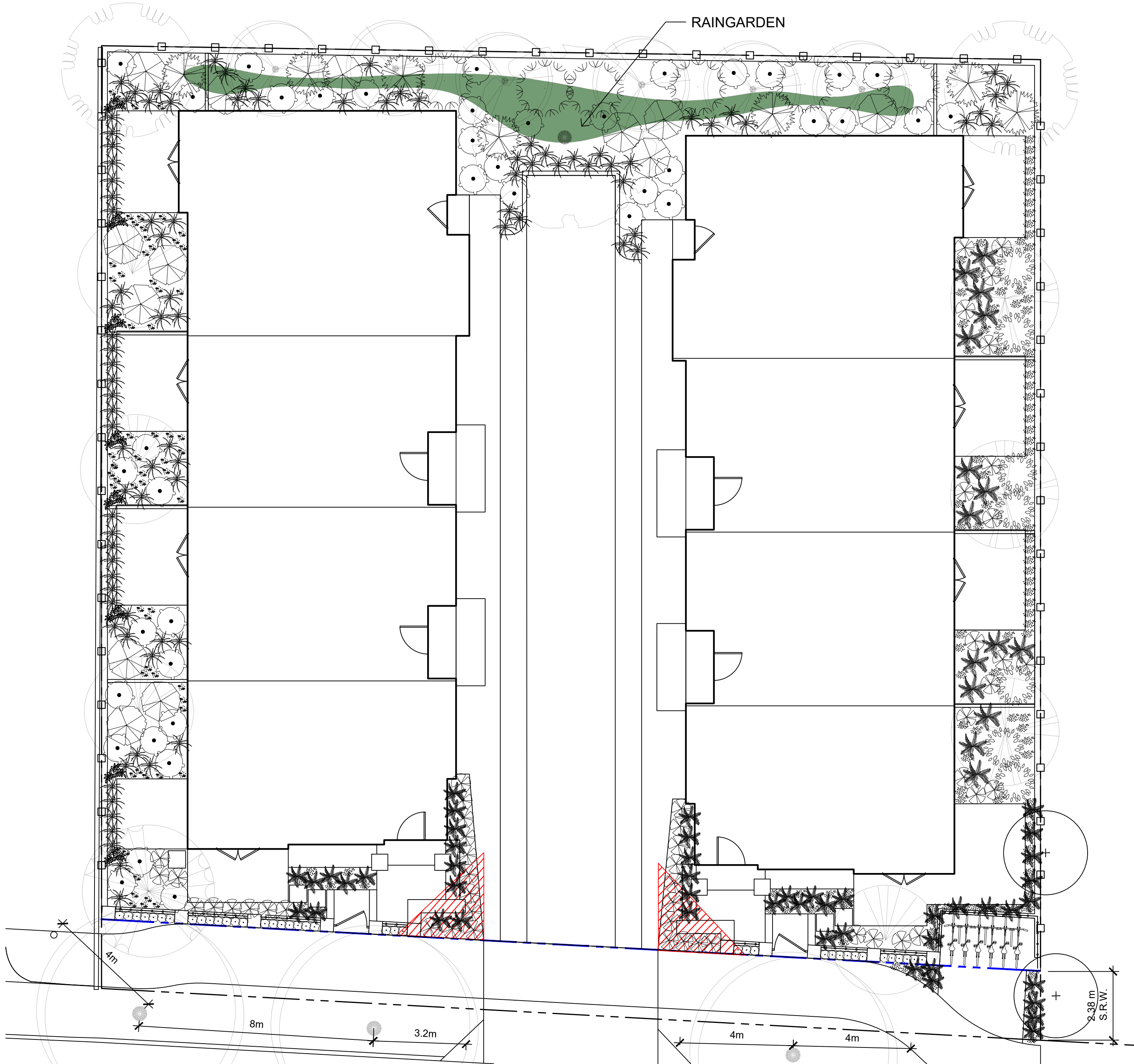


DRAWING TITLE:
TREE PLANTING PLAN

DWG NO:

SCALE: 1:100

L3



PLANT SCHEDULE									
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator	Height at Maturity (m)	Spread at Maturity (m)	Notes
SHADE PLANTING									
145		Asarum canadense	Wild ginger	Flat	Y		0.1-0.15	0.15-0.3	
46		Buxus sinica var. insularis 'Green Velvet'	Green Velvet boxwood	#2			0.9-1.2	0.9-1.2	clipped hedge to be kept below 1.0 m ht and within planting bed width - resistant to Boxwood Blight and bronzing in winter
57		Plyostichum munitum	Western sword fern	#1	Y		0.6-1.2	0.6-1.2	
51		Sarcococca humilis	Dwarf Sweetbox	#1		Y	0.6	0.6	
7		Vaccinium ovatum	Evergreen huckleberry	#1	Y	Y	0.5-4.6m	1.5m	
SUN PLANTING									
60		Arctostaphylos uva-ursi 'Massachusetts'	Massachusetts Kinnikinnick	Flat		Y	0.3	3-4.5	
8		Jasminum polyanthum	White Jasmine	#1		Y	4.9-9	2.1-4.5	
7		Myrica californica	Pacific Wax Myrtle	#3	Y		6	6	
7		Oemleria cerasiformis	June Plum	#2	Y		2.4	2.4	
13		Ribes sanguineum	Red Flowering Currant	#1	Y	Y	1.5	1.5	
97		Stipa arundinacea	New Zealand Wind Grass	#1			0.6-0.9	0.6-0.9	
41		Symphoricarpos albus	Common Snowberry	#1	Y		0.9-1.8	0.9-1.8	
NOTES: 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.									

SHADE PLANTING PALETTE



SUN PLANTING PALETTE



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

PROJECT NAME:
VILLAGE LANDING
PROJECT ADDRESS:
1514+ 1520 FOUL BAY RD

DESIGNED BY: BIANCA BODLEY
DRAWN BY: KIM TANG

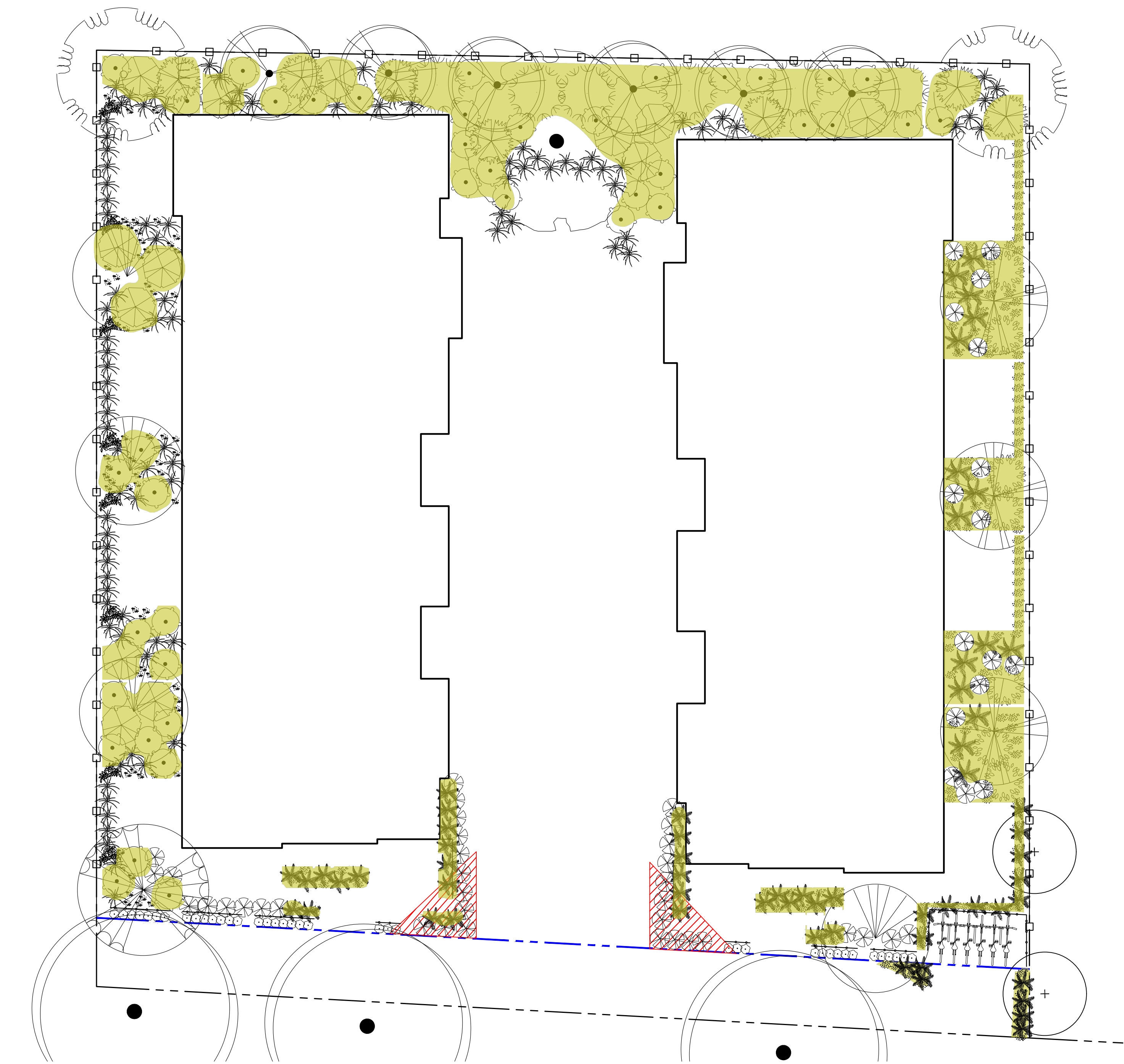
NO.	ISSUED FOR	YYMMDD
1	REZONING	2021-12-03
2	REVIEW	2022-06-06
3	REVISED & REISSUED FOR REZONING	2022-07-04

SEAL



DRAWING TITLE:
PLANTING PLAN

DWG NO:
SCALE: 1:100
L4.1



LEGEND

NATIVE & POLLINATOR PLANT AREA

- TOTAL PLANTED AREA = 194 m²
- TOTAL NATIVE & POLLINATOR PLANTED AREA = 143 m²
- TOTAL % NATIVE & POLLINATOR SPECIES = 74%



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DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **KIM TANG**

NO.	ISSUED FOR	YYMMDD
1	REZONING	2021-12-03
2	REVIEW	2022-06-06
3	REVISED & REISSUED FOR REZONING	2022-07-04

SEAL

NORTH ARROW



DRAWING TITLE:
**NATIVE PLANT
PERCENTAGE**

DWG NO:

SCALE: **1:100**

L4.2