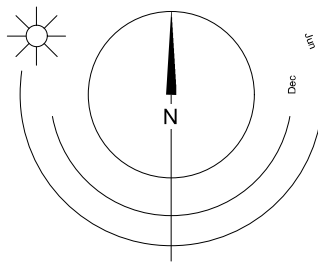




1055 Alston Street



Site Analysis



Drawing List

- A001 Project Data
- A002 Survey
- A004 Street View
- A007 Shadow Studies
- A101 Site Plan Overall
- A102 Site Plan - Circulation
- A103 Site Plan - Grading
- A201 Lower Commercial / Industrial - Tyee Rd
- A203 Parkade - Alston Street
- A204 Level 1
- A205 Level 2
- A206 Level 3
- A207 Level 4
- A208a Roof Amenity Space
- A208b Roof Drainage
- A301 Building Elevation
- A302 Building Elevation
- A303 Building Elevation
- A304 Building Elevation
- A401 Building Section - Looking North

PROJECT DIRECTORY

REGISTERED OWNER

Ryves Holdings Corp
1055 Alston Street
Victoria, BC
V9A 3S6

PROJECT DEVELOPER

Ironclad Developments Inc.
Suite 101, 57158 Symington Rd
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R2J 4L6

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V8V 3K3

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Evoke
Suite 102 - 814 Broughton St
Victoria, BC V8W 1E4

Chris Raudoy
craudo@evokebuildings.com
250.415.8141

PROJECT DESCRIPTION

CIVIC ADDRESS:

1055 Alston Street
Victoria, BC V9A 3S6

LEGAL DESCRIPTION:

LOT 105, DISTRICT LOT 119, ESQUIMALT
DISTRICT, PLAN 3237 INCLUDED IN PLAN 4010

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:

Basement: Industrial Use (F-2 and 3)
1st Storey: Storage Garage (Group F-2 and 3)
2nd - 5th Storeys: Residential Dwelling Units (Group C)

USES: Industrial and Residential

EXISTING ZONE: M2-S, Songhees Light Industrial District

PROPOSED ZONE: TBC

SITE AREA: 1406 m² (15,134 s.f.)

SITE COVERAGE: 80%

OPEN SITE SPACE: 11%

FLOOR AREAS

TOTAL PROPOSED: 3108 m²

FLOOR SPACE RATIO: 2.21 FSR

GRADE OF BUILDING: 16.35 m (GEODETTIC)
See Site Plan for Grade Calculation

HEIGHT OF BUILDING: 21.46 m

NUMBER OF STOREYS: 6

RESIDENTIAL PARKING: 19 stalls (incl. 1 accessible, 1 accessible van, 2 visitor)

COMMERCIAL PARKING: 2 stalls (incl. 1 accessible)

TOTAL CAR PARKING: 21

BICYCLE PARKING: 65 Class 1 + 6 short term (rack)

SETBACKS:

FRONT (West): 4.15 m

REAR (East): 2.77 m

SIDE (North): 0 m

SIDE (South): 0.3 m

COMBINED SIDE: 0.3 m

SUITE COMPOSITION:

Studio: 28

1 Bed: 24

2 Bed: 4

TOTAL: 56 SUITES

Minimum Unit Floor Area 34 m²

Building Code Summary

Referenced Document: BCBC 2024 - Part 3

	CRU (Level) 1	Residential (Levels 2 through 6)
Occupancy	Potentially A-2, D, E, F-3	C
Building Area (m ²)	1120m ²	
Building Height (storeys)	6	
Sprinklered	Yes	
Construction Article	3.2.2.51 (3.2.2.60 if contains Group D)	3.2.2.51*
Maximum Building Area Permitted (m2)	1500m ²	
Type of Construction Permitted	Combustible	Combustible
Floor Assembly Fire Rating (h)	1	1
Roof Fire Rating (h)	1	1

Major Occupancy Classification - Group C Residential
- 1st Storey (proposed): CRU (allowable): Assembly (A-2), Business and Personal Services (D) Mercantile (E), and/or Industrial Use (F-3)
- 2nd Storey (proposed): Storage Garage (Group F-3, associated with residential use above). Open-air storage garage.
- 3rd - 6th Storeys (proposed): Residential Dwelling Units (Group C)

Annotations Legend

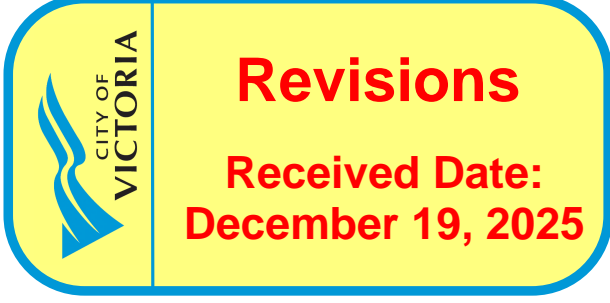
The following annotations are used on architectural drawings and details:

BEDROOM	ROOM NAME & ROOM NUMBER
201	
101a	DOOR NUMBER See Door Schedule
W-10	WINDOW NUMBER See Window Schedule
W1	WALL TYPE See Assemblies Schedule
2.0 hr	RATED WALL DESIGNATION
00.00	ELEVATION DATUM
2440	CEILING HEIGHT
	AREA OF DROP CEILING
1	KEYNOTE SYMBOL
12	MATERIAL TAG
A901	INTERIOR ELEVATION REFERENCE
W1 C1 F1 B1	ROOM FINISHES

List of Abbreviations

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	T/D	Tempered / Double Glazed
C/L	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	OH	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	OW	Operable Window	TLGL	Translucent Glass
C/W	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOO	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOC	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FD	Floor Drain	PTD/W	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNF	Unfinished (for GWB means lapped and filled by not sanded to minimum ULC requirements where applicable)
FFE	Finished Floor Elevation	RA	Rubber Base	UNO	Unless Noted Otherwise
FG	Finished Grade	RES	Resilient Flooring	US	Underside of...
GB	Glass Bar	RD	Roof Drain	VCT	Vinyl Composition Tile
GBL	Glass Block	RD-P	Roof Drain - Planter	VI	Vinyl Glass
GL	Glass	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
GWG	Georgian Wire Glass	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
GWVB	Gypsum Wallboard	SCW	Solid Core Wood	VWC	Vinyl Wall Covering
HC	Hollow Core	SD	Soap Dispenser	WC	Water Closet
HCW	Hollow Core Wood	SL	Sealer	WO	Wood
H/C	Handicap	SP	Spandrel Glass	WPM	Waterproof Membrane
HM	Hollow Metal	SPC	Solid Particleboard Core	WRC	Water Repellent Coating



11	25-12-12	IFC Draft
10	25-11-06	Issued for BP
9	25-10-30	DDP Issued
8	25-10-30	DDP Revisions Rev2
7	25-05-02	DDP Revisions
6	24-06-27	DP / Rezoning Rev. 6
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	11	25-12-12	Description	IFC Draft
Plot Date	10/30/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Project Data



dhKarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
V8V 3K3 T 1-250-658-3367

BC LAND SURVEYORS SITE PLAN OF:

Civic: 1055 Alston Street

Legal Lot 105, District Lot 119, Esquimalt District,
Plan 3237 Included Within Plan 4010

Parcel Identifier: 002-094-550
in the City of Victoria

LEGEND

Elevations are geodetic and referenced
to the CVD288C datum.

+ - denotes - existing elevation

Tree diameters are in centimetres.

Lot Area = 1406 m2

Scale 1:150 Distances are in meters



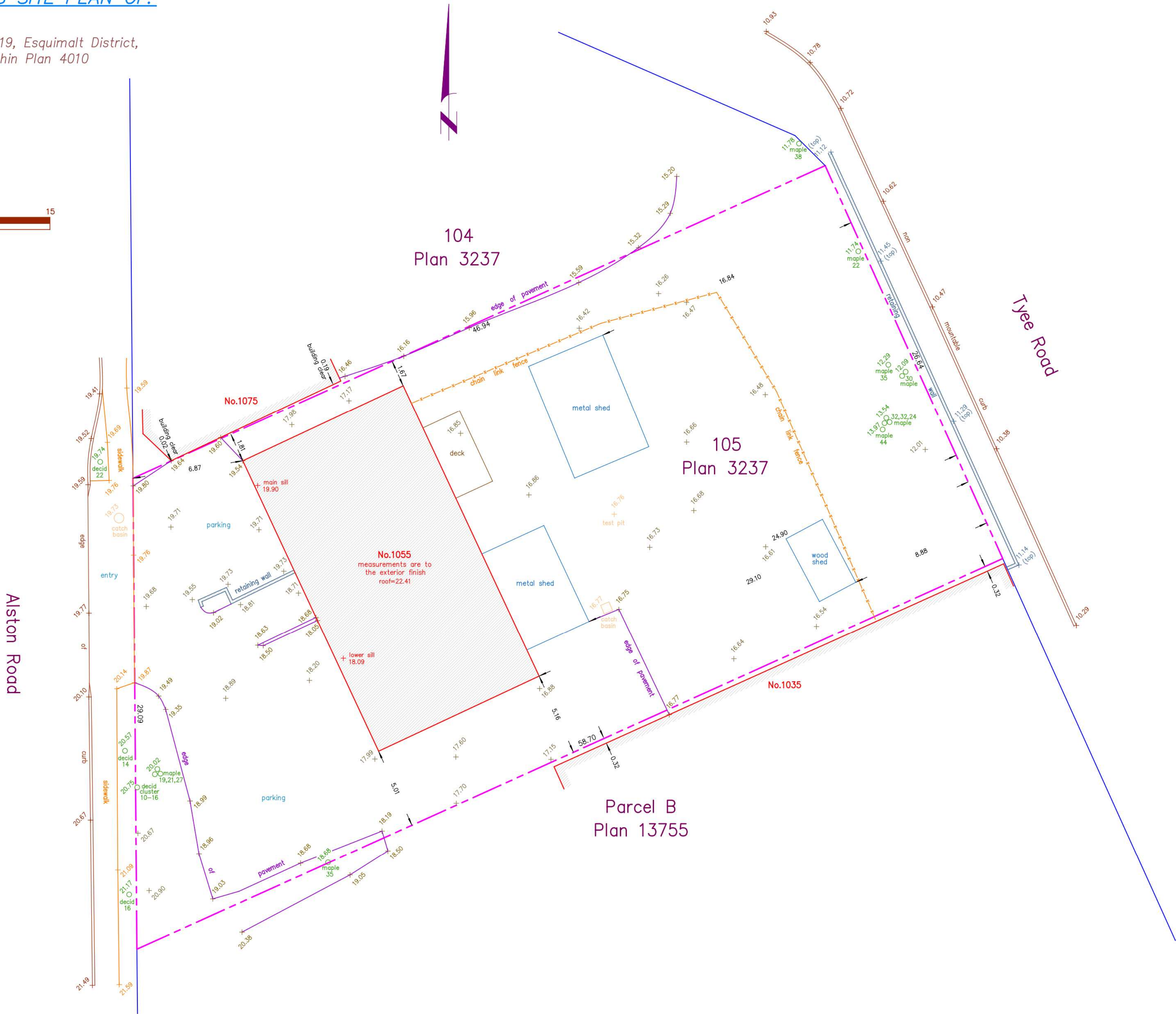
The intended print size is 24" by 18"

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

Property Lines and setbacks shown may
vary upon completion of a lot reposting
and preparation of a legal survey plan.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.



Date	August 9, 2022
File	13,819-23
POWELL & ASSOCIATES	
BC Land Surveyors	
250-2950 Douglas Street	
Victoria, BC V8T 4N4	
phone (250) 382-8855	

Rev	4	25-12-12	IFC Draft
	3	25-11-06	Issued for BP
	2	25-10-30	DOP Issued
	1	23-03-25	CALLUC

Rev	4	25-12-12	Description	IFC Draft
Pkt Date	10/15/25		Project Status	DD
Drawn By	SWS		Checked By	CRK
Scale			Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Survey



A002

dHk Architects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
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1075 Alston Street

1055 Alston Street

Alston Street View



736 Tyee Road

740 Tyee Road

790 Tyee Road

Tyee Street View

Rev	5	25-10-30	DDP Revisions Rev2
	4	25-05-02	DDP Revisions
	3	23-06-15	DP / Rezoning Rev. 1
	2	23-03-30	DP / Rezoning
	1	23-03-25	CALUC

Rev	5	25-10-30	Description	DDP Revisions Rev2
Plot Date	06/15/23		Project Status	DD
Drawn By	SWS		Checked By	CRK
Scale	1 : 3		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Street View

dHka

A004

dHKarchitects

Victoria

977 Fort Street

Nanaimo

V8V 3K3

T 1-250-658-3367

V9T 0H2

T 1-250-585-5810

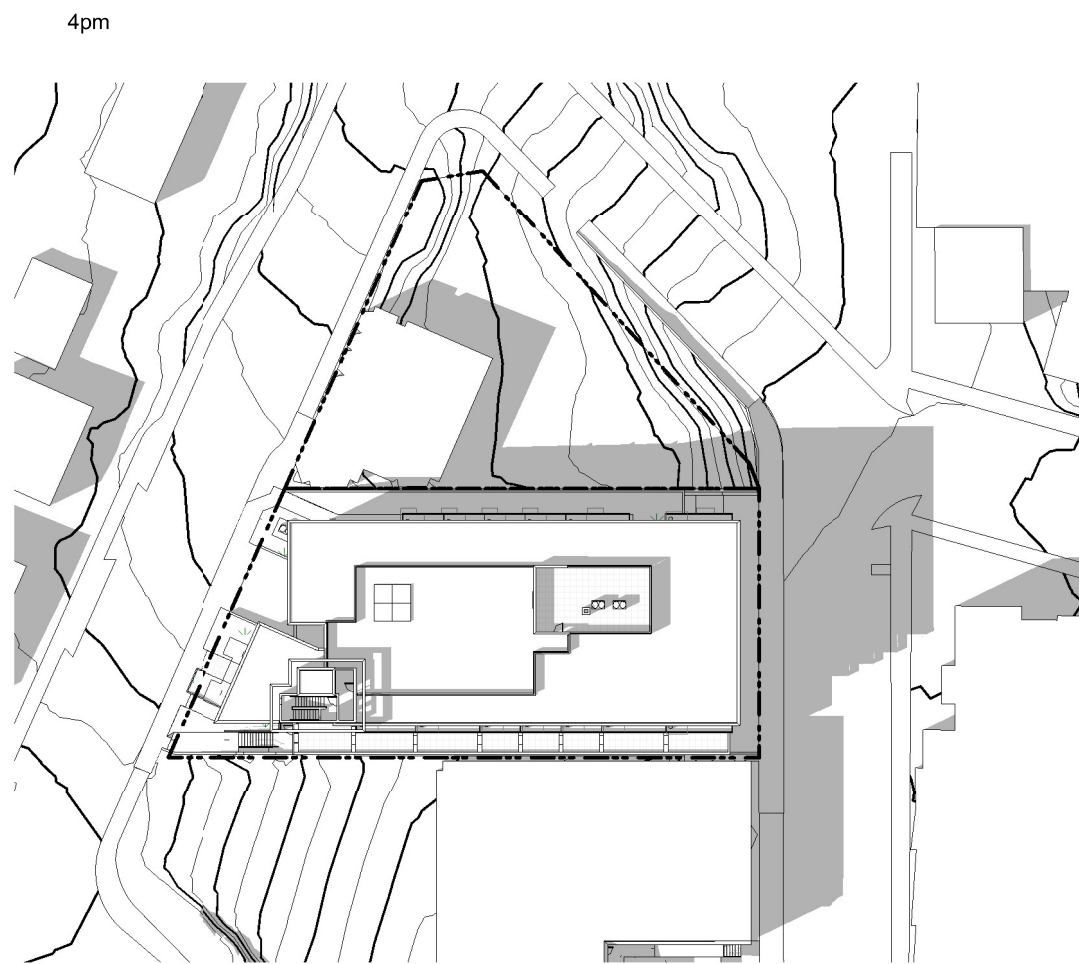
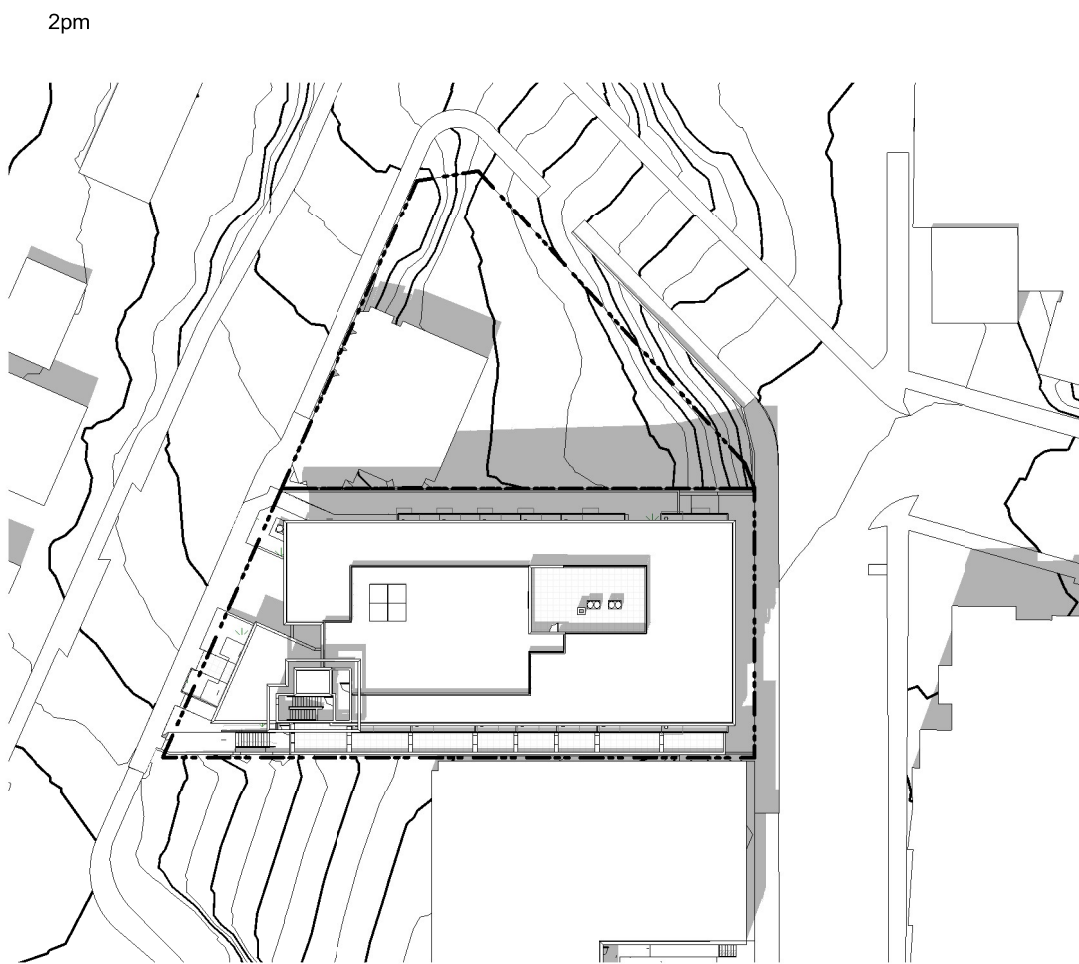
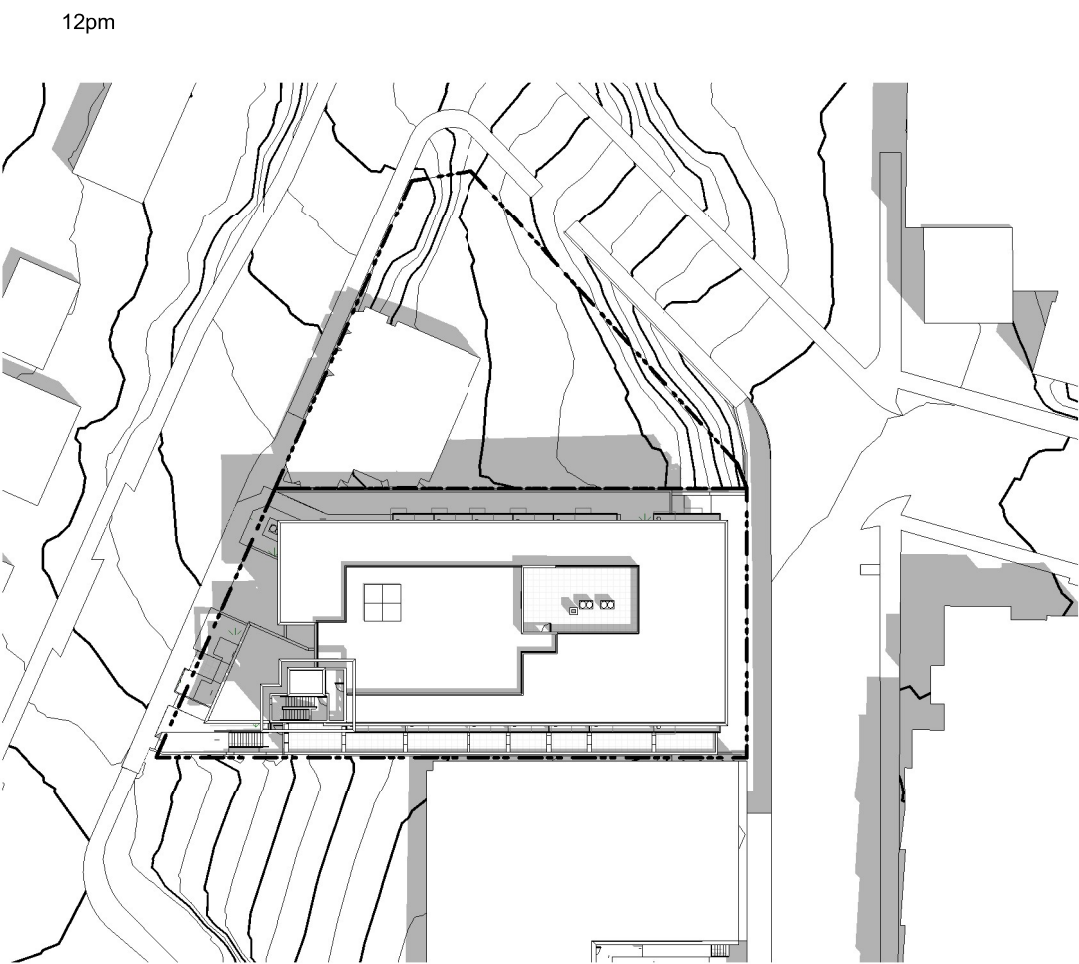
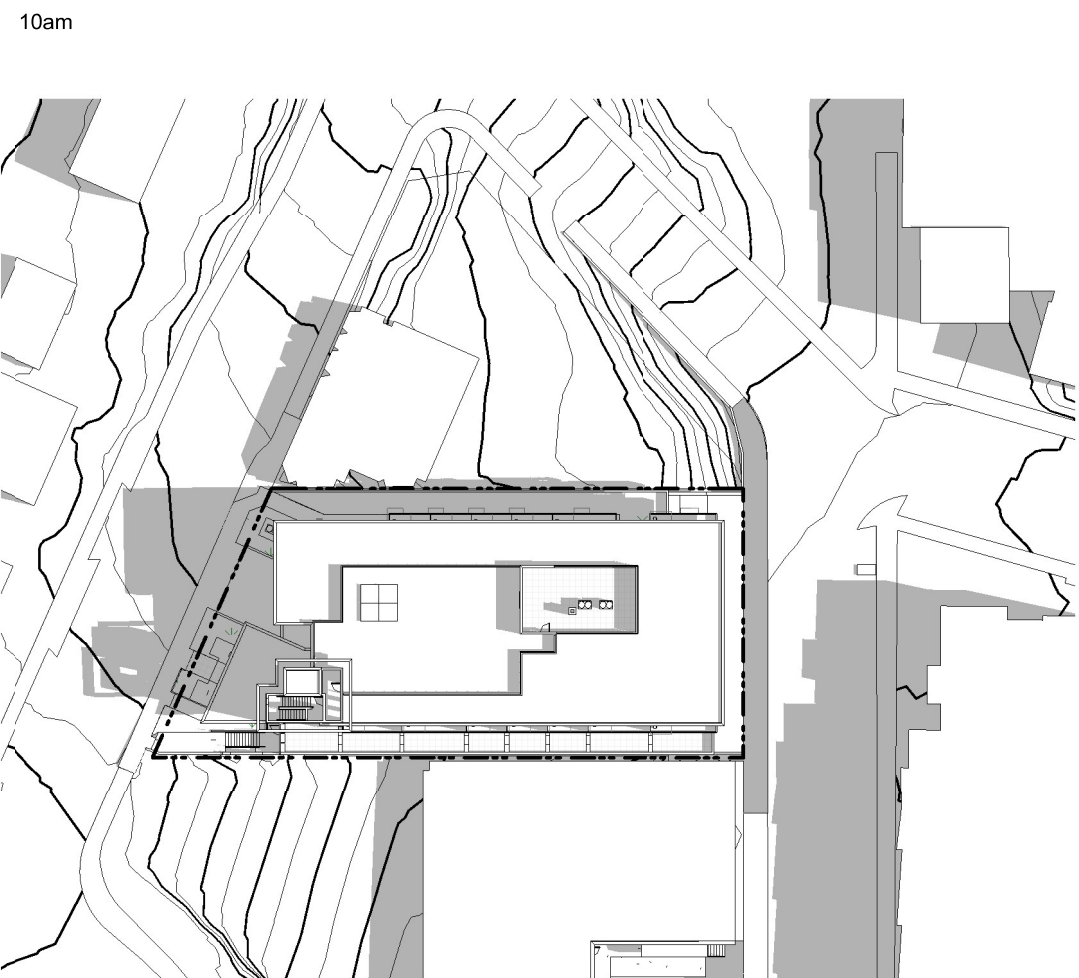
REGISTERED ARCHITECT

BRITISH COLUMBIA

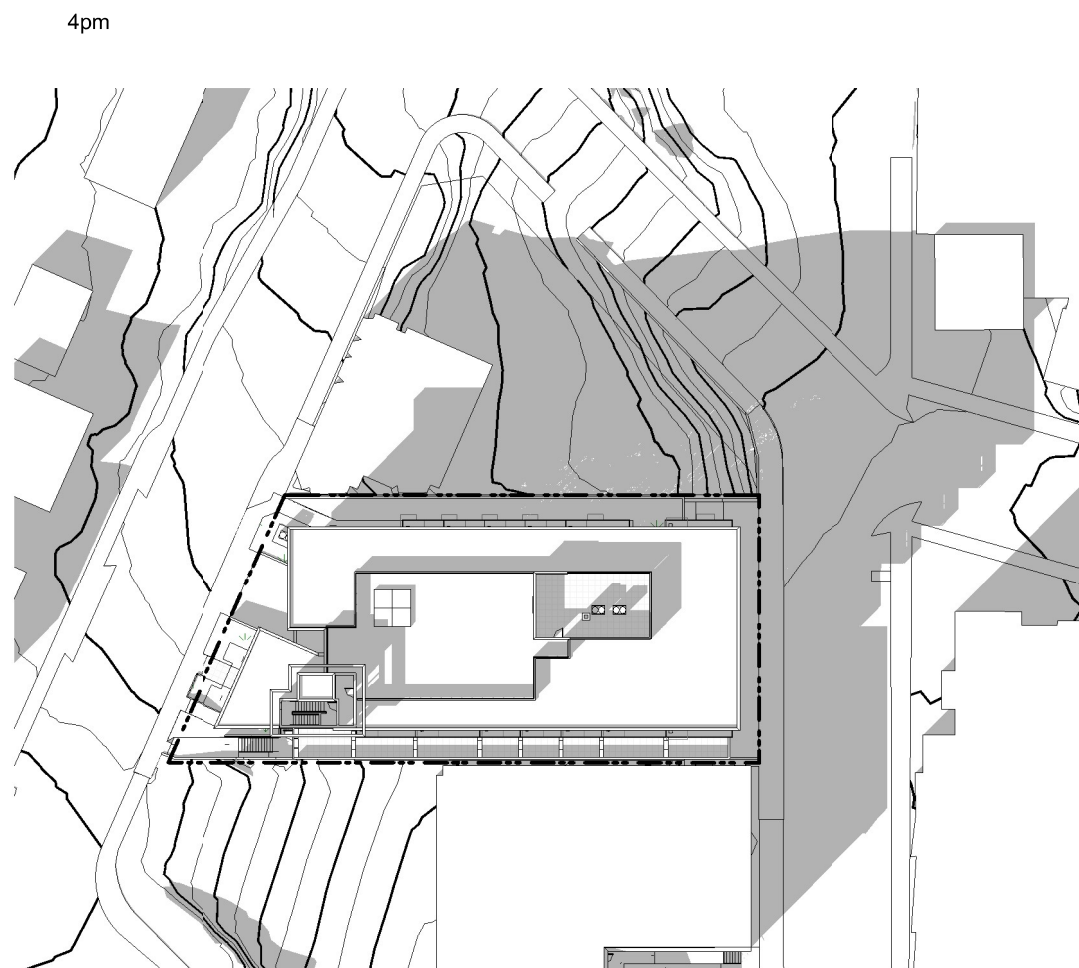
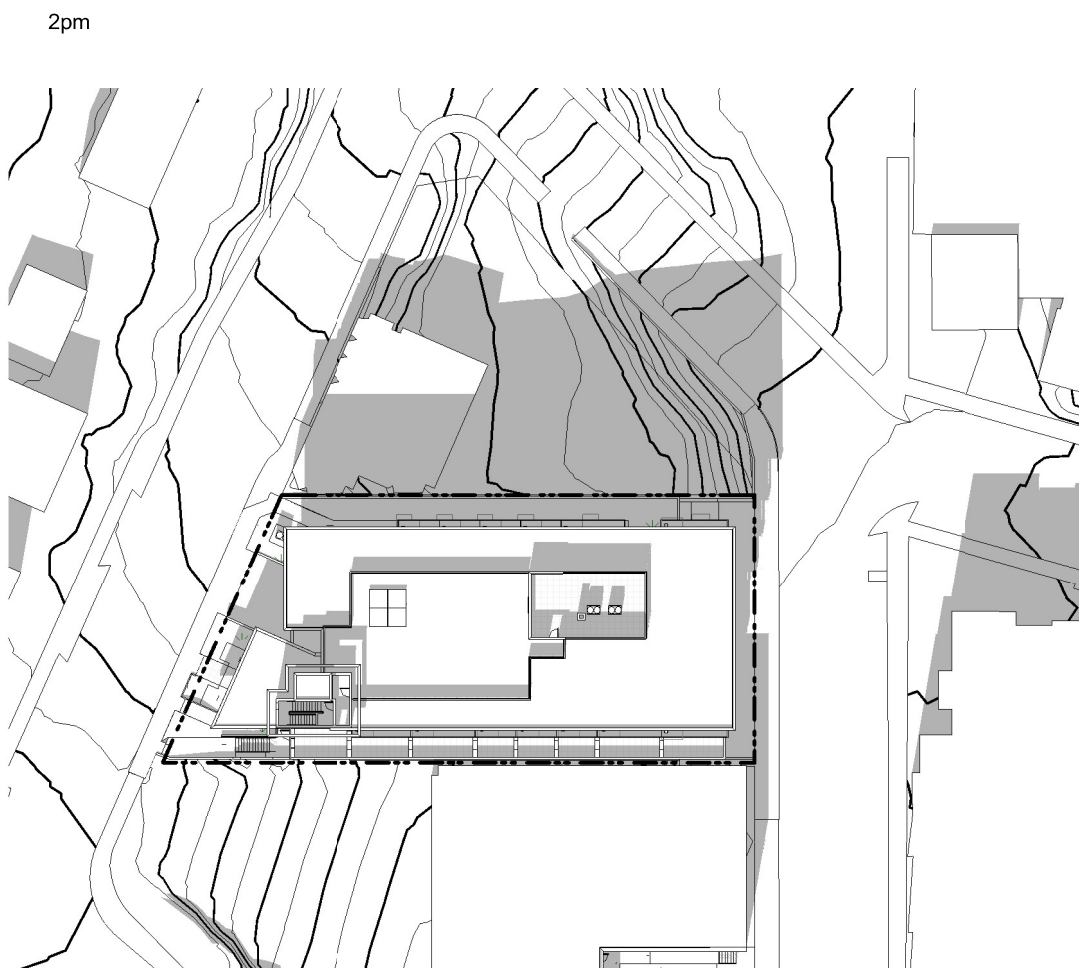
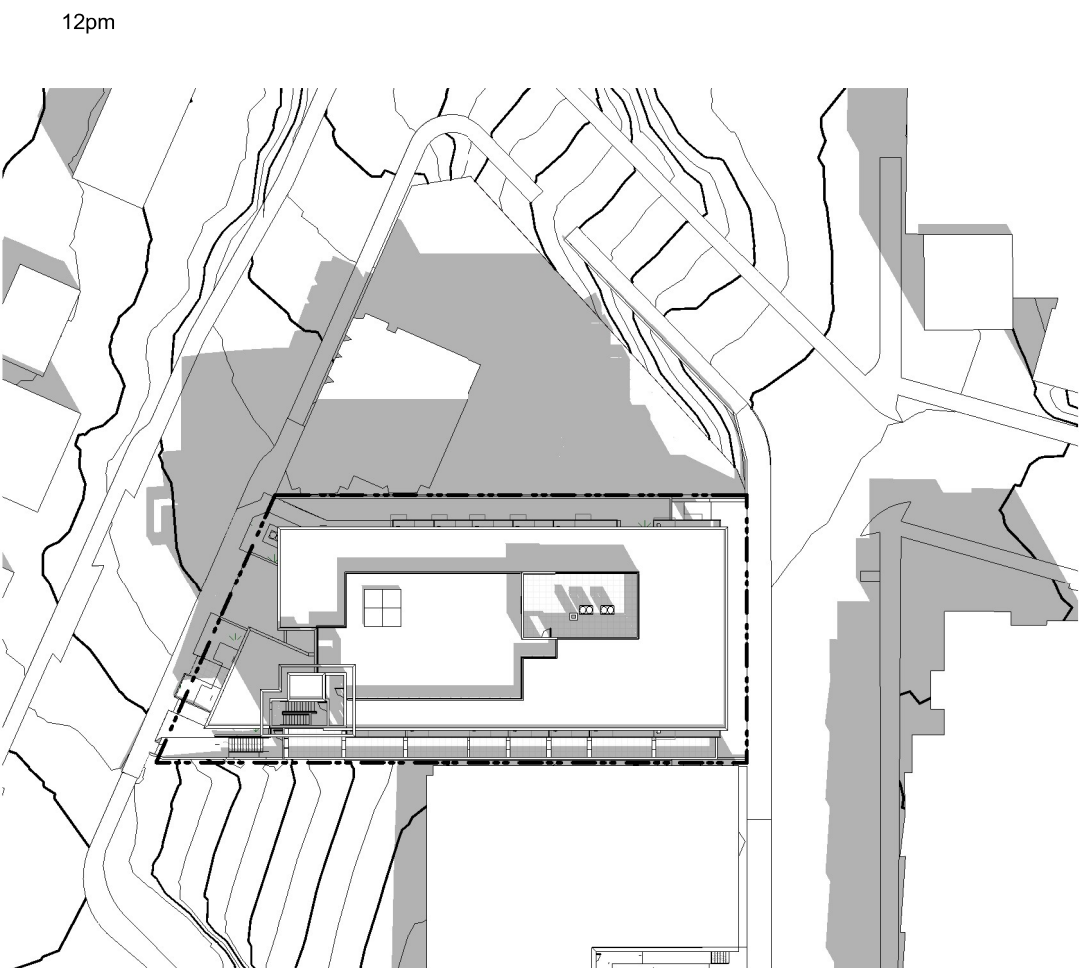
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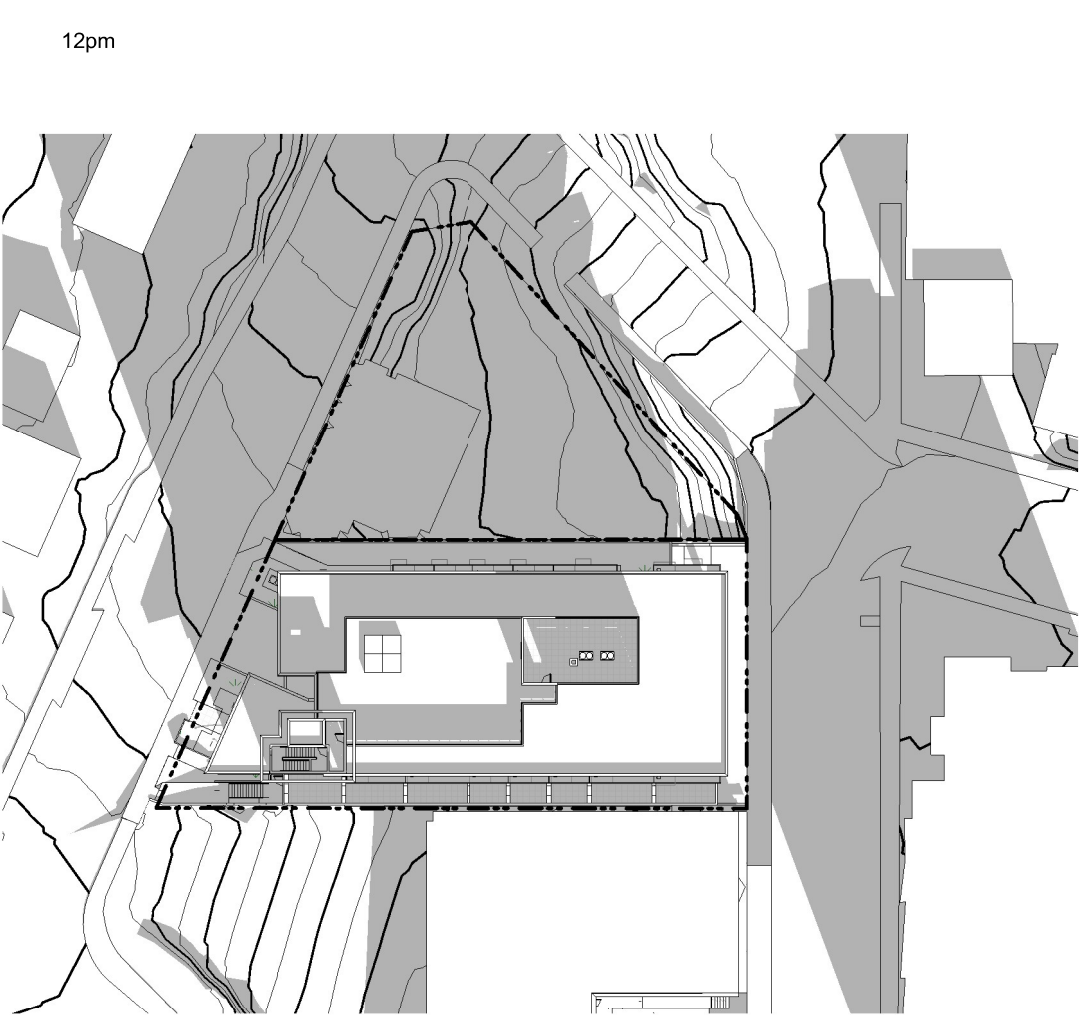
Summer Solstice



Equinox



Winter Solstice



Rev	3	25-10-30	DDP Revisions Rev2
	2	25-05-02	DDP Revisions
	1	23-03-30	DP / Rezoning

Rev	3	25-10-30	Description	DDP Revisions Rev2
Pkt Date		06/15/23	Project Status	DD
Drawn By		Author	Checked By	Checker
Scale		1 : 750	Project Number	2304

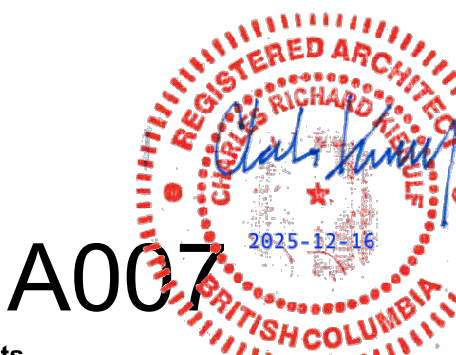
NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Shadow Studies

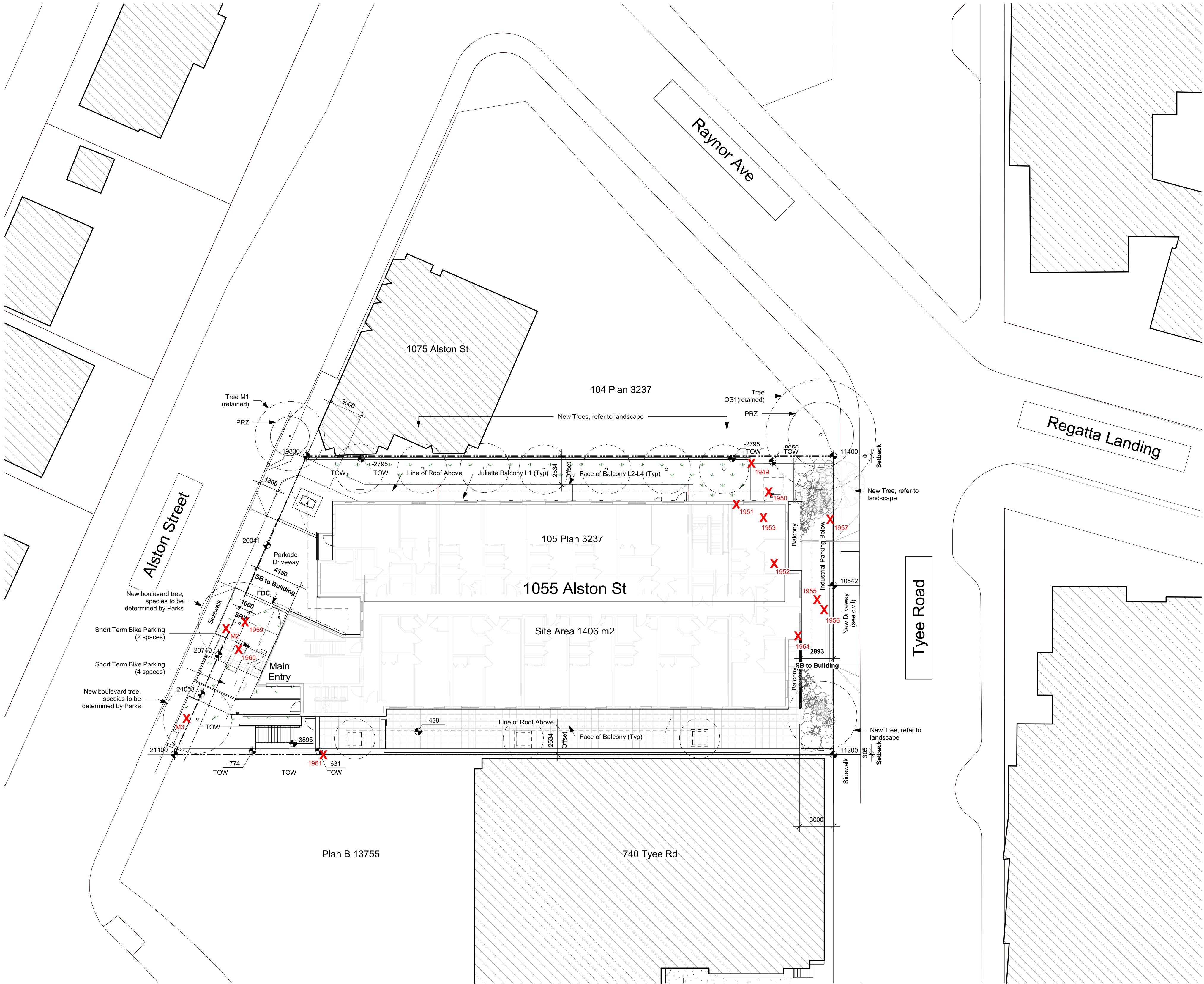
dHk Architects

Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810



A007

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- General Notes:**
1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
 2. Refer to Landscape drawings for all hard and soft landscaping on site.

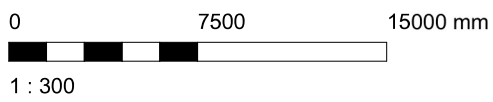
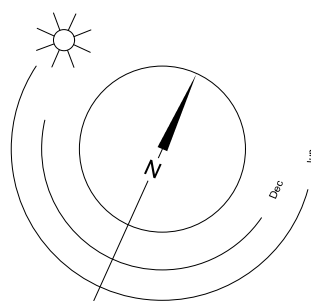
11	25-12-12	IFC Draft
10	25-11-06	Issued for BP
9	25-10-30	DDP Revisions Rev2
8	24-07-22	DP / Rezoning Rev. 7
7	24-06-27	DP / Rezoning Rev. 6
6	24-04-11	DP / Rezoning Rev. 5
5	24-02-14	DP / Rezoning Rev. 4
4	23-10-26	DP / Rezoning Rev. 3
3	23-07-25	DP / Rezoning Rev. 2
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	11	25-12-12	Description	IFC Draft
Plot Date	10/15/25		Project Status	DD
Drawn By	SWS		Checked By	CRK
Scale	1 : 200		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Site Plan Overall



A101

dHKarchitects
Victoria
977 Fort Street
Nanaimo

V8V 3K3

T 1-250-658-3367

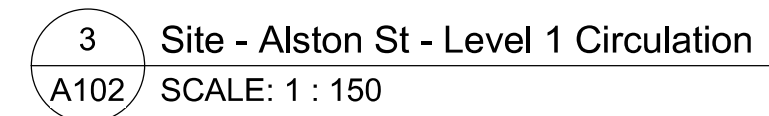
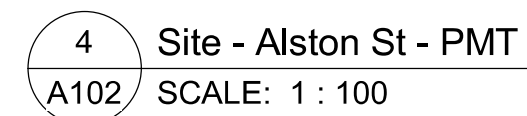
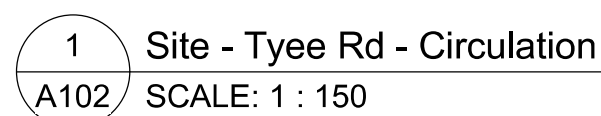
102-5190 Dublin Way

V9T 0H2

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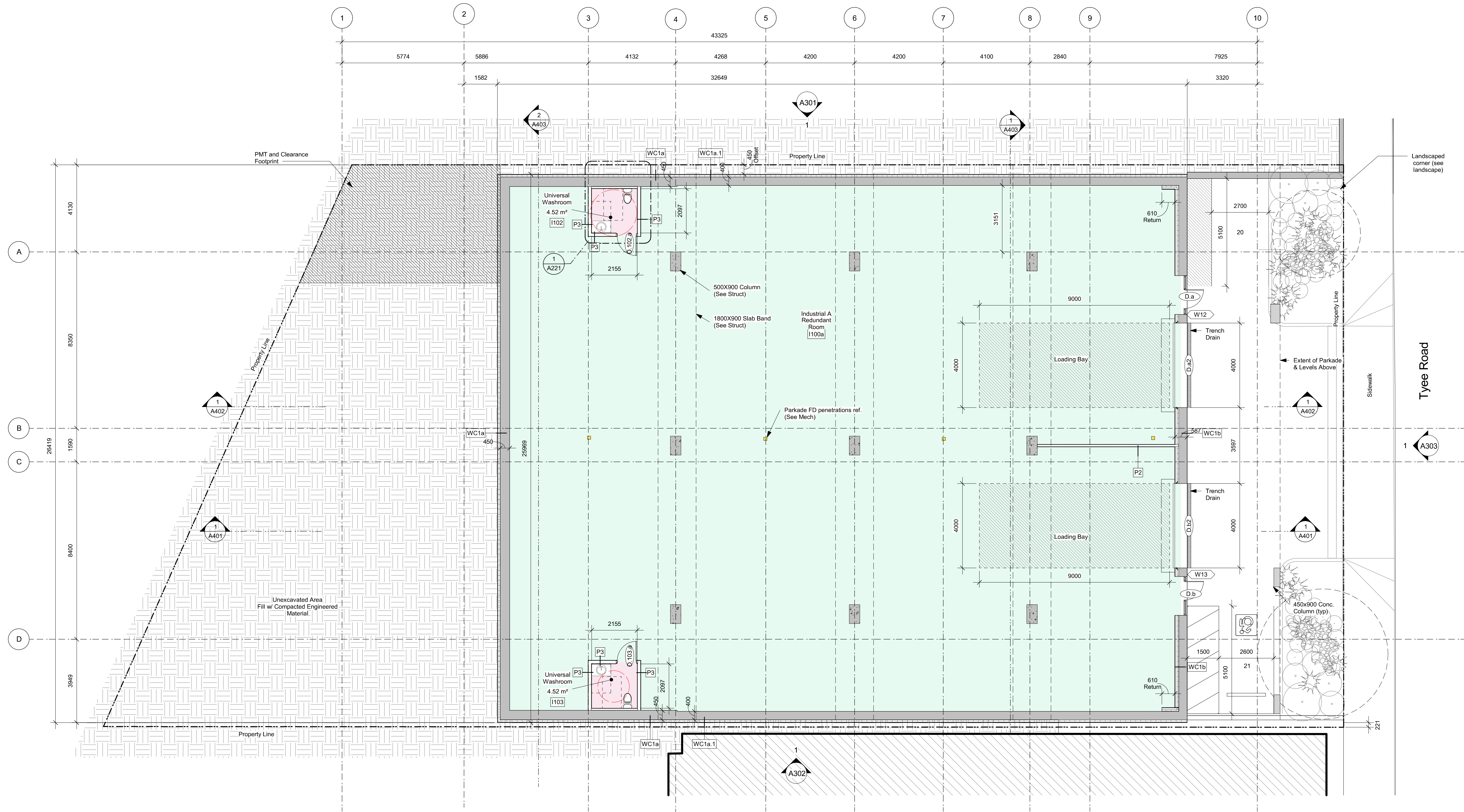


Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

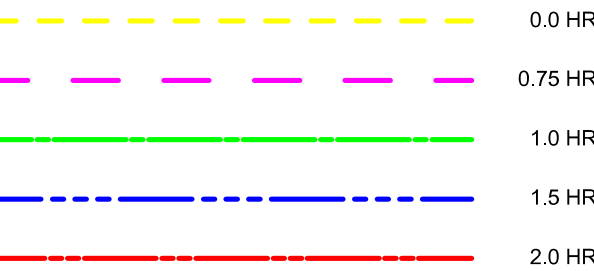
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1 Industrial - Tyee Rd
A201 SCALE: 1 : 100



Fire Separation Legend



10	25-12-12	IFC Draft
9	25-11-06	Issued for BP
8	25-10-30	DDP Revisions Rev2
7	25-05-02	DDP Revisions
6	24-07-22	DP / Rezoning Rev. 7
5	24-06-27	DP / Rezoning Rev. 6
4	23-10-26	DP / Rezoning Rev. 3
3	23-07-25	DP / Rezoning Rev. 2
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	10	25-12-12	Description	IFC Draft
Plot Date	10/15/25		Project Status	DD
Drawn By	AM/AW/VE		Checked By	AM
Scale	As indicated		Project Number	2304

NOTE: All dimensions are shown in millimeters.

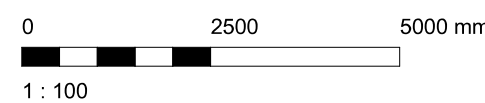
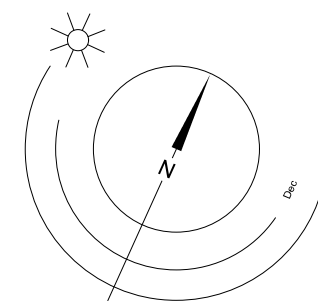
Alston

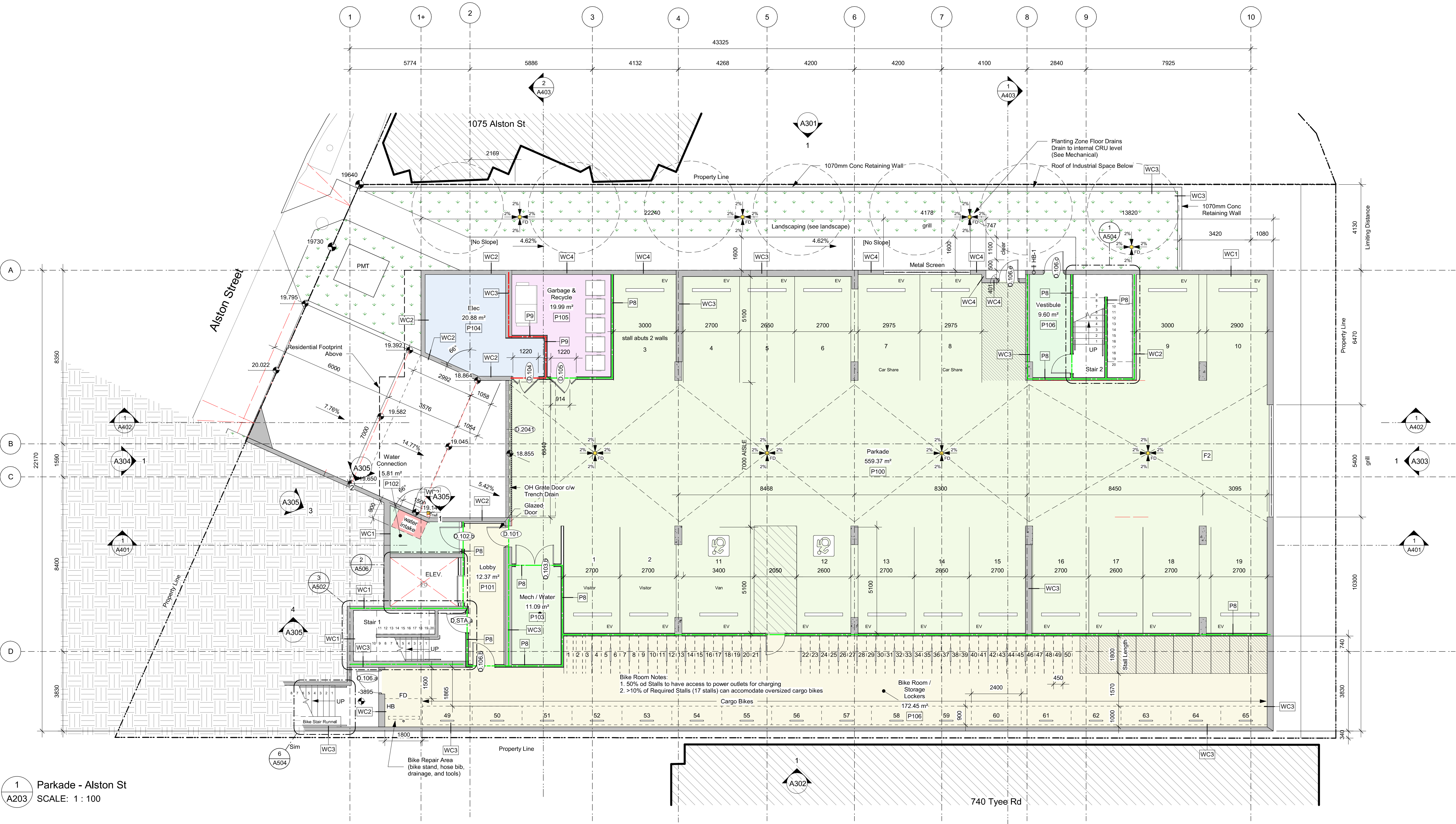
1055 Alston Street
Victoria, BC
Lower Commercial /
Industrial - Tyee Rd

dHk Architects

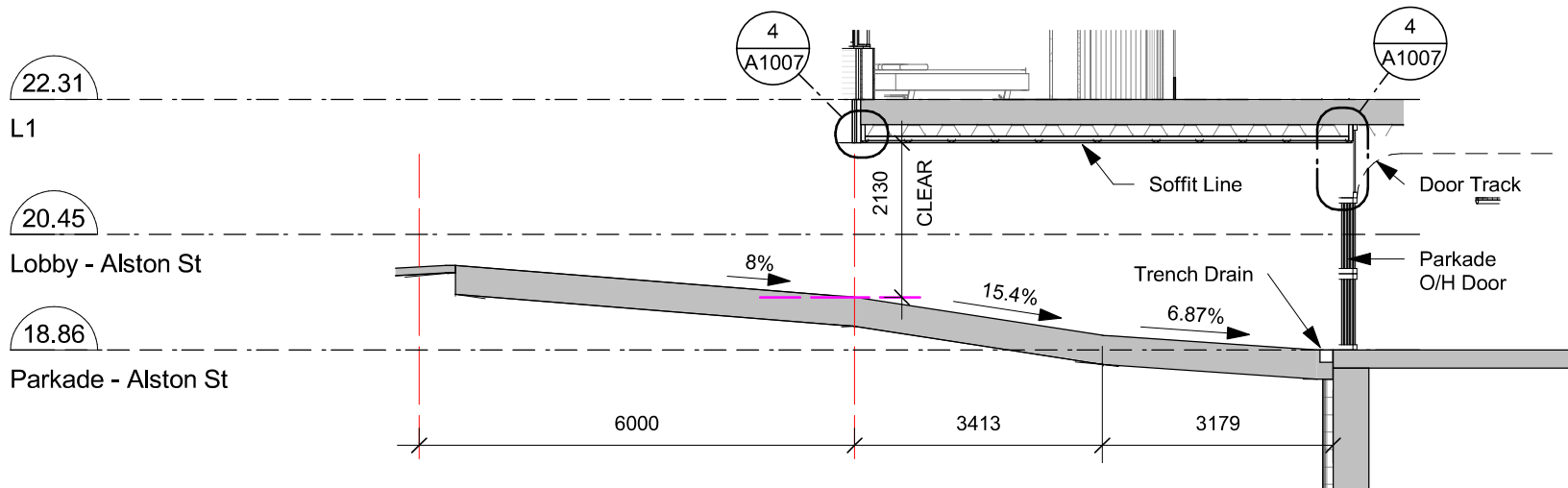
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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1 Parkade - Alston St
A203 / SCALE: 1 : 100



2 Section Thru Parkade Ramp CL
A203 / SCALE: 1 : 100

PARKING NOTES

Bike Parking P1: Total 65 Class 1 ground mounted (48 std size, 17 oversized)

Car Parking P1: Total 19 (2 Accessible, Each Stall to have EV Charging)

- Occupancy
- Bike Room / Storage Lockers
 - Elec
 - Garbage & Recycle
 - Lobby
 - Mech / Water
 - Parkade
 - Vestibule
 - Water Connection

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

12	25-12-12	IFC Draft
11	25-11-06	Issued for BP
10	25-10-30	DDP Revisions Rev2
9	25-05-02	DDP Revisions
8	24-07-22	DP / Rezoning Rev. 7
7	24-04-11	DP / Rezoning Rev. 5
6	24-02-14	DP / Rezoning Rev. 4
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	12	25-12-12	Description	IFC Draft
Pkt Date		10/15/25	Project Status	DD
Drawn By		AM/AW/V/E	Checked By	AM
Scale		As indicated	Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC

**Parkade - Alston
Street**



dHk Architects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way

V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810

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Occupancy

- A1
- A1a
- A1b
- A2
- B1
- Comm
- D1
- Elec
- Industrial A
- Main Lobby

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

10	25-12-12	IFC Draft
9	25-11-06	Issued for BP
8	25-10-30	DDP Revisions Rev2
7	25-07-03	L1 Balcony Rev1
6	25-05-02	DDP Revisions
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	10	25-12-12	Description	IFC Draft
Pkt Date	10/15/25		Project Status	DD
Drawn By	AM/AW/V/E		Checked By	AM
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NOTE: All dimensions are shown in millimeters.

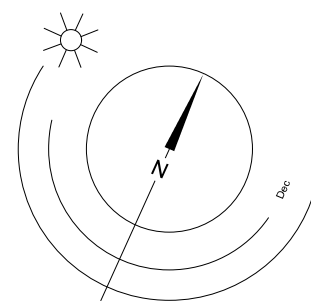
Alston

1055 Alston Street
Victoria, BC
Level 1

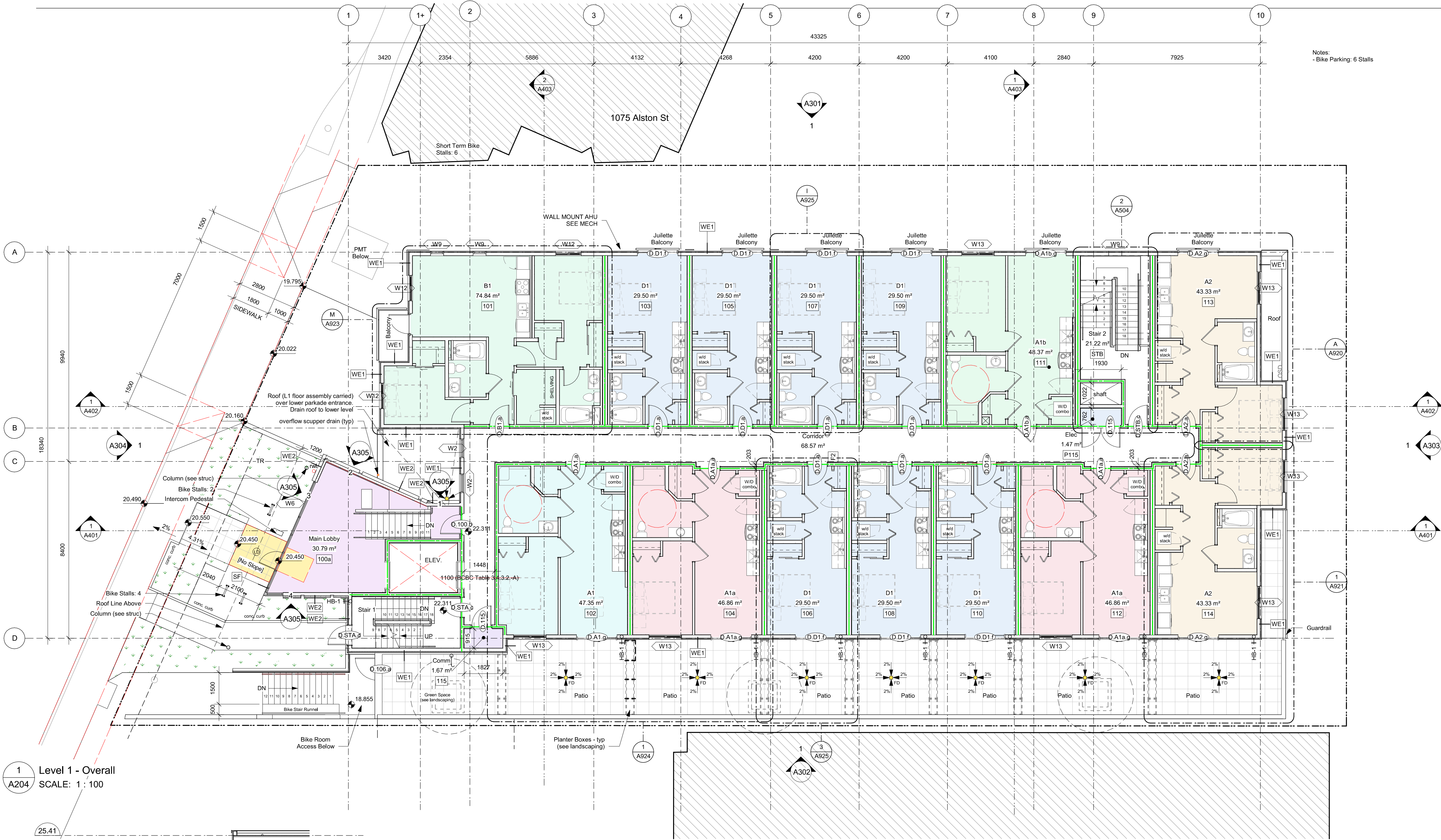


A204

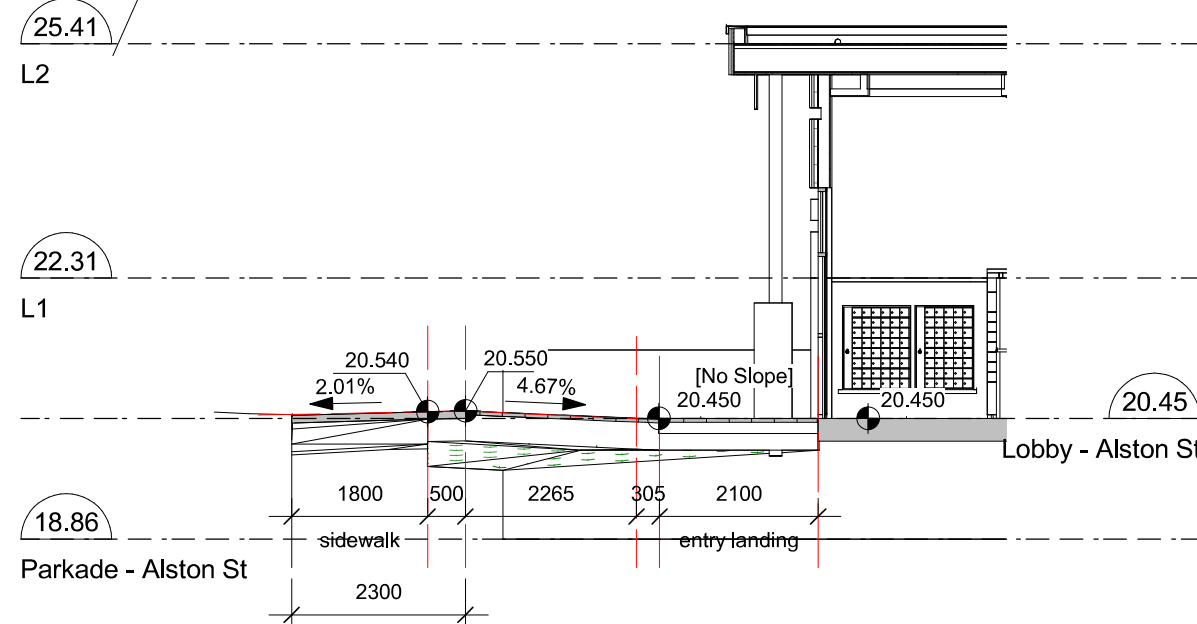
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V8V 3K3 T 1-250-658-3367
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0 2500 5000 mm
1 : 100



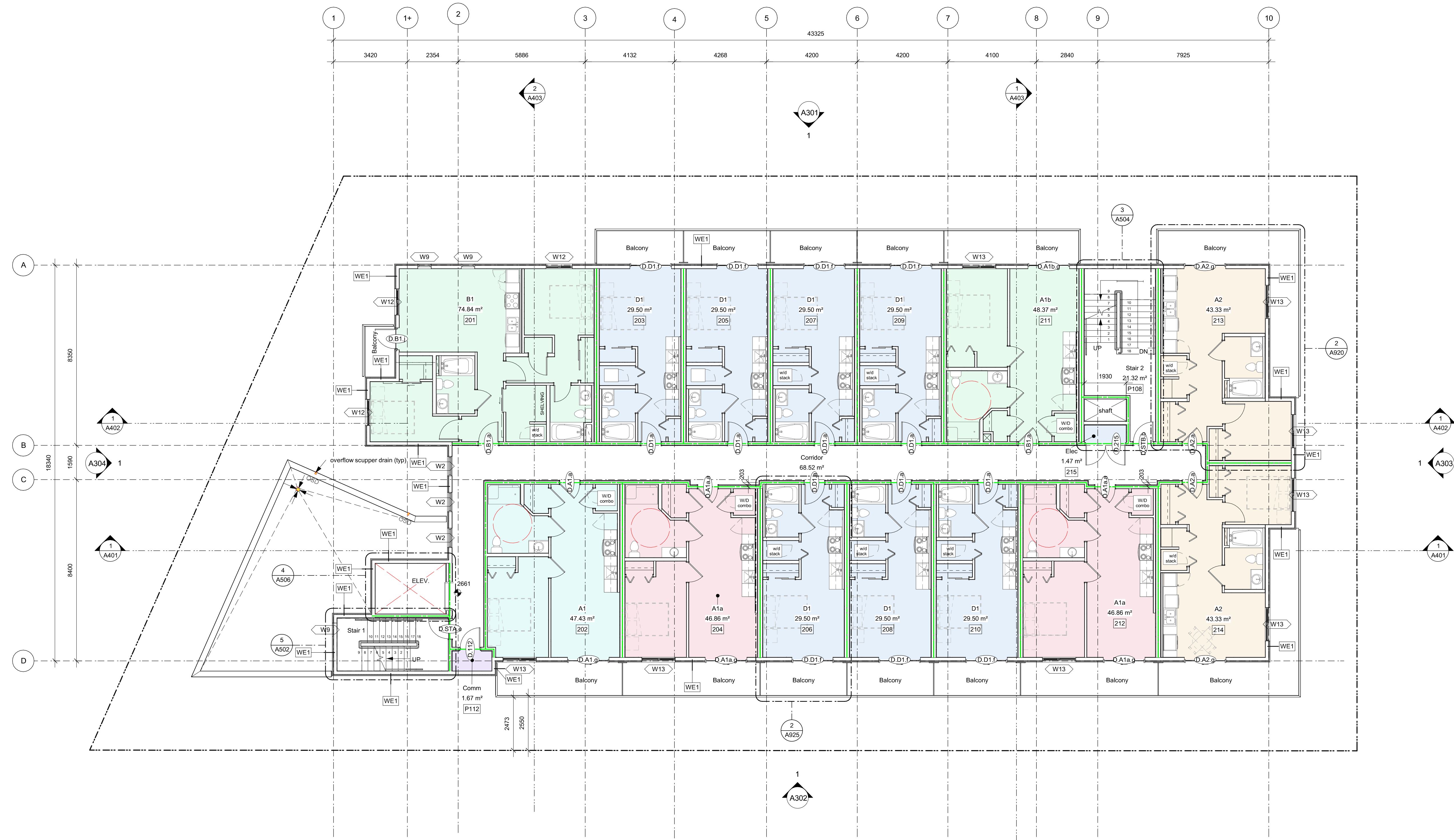
1 Level 1 - Overall
A204 SCALE: 1 : 100



2 Cross Section - Thru Main Entrance (Alston)
A204 SCALE: 1 : 100

Plan B 13755 / Parking

740 Tyee Rd



1 Level 2 - Overall
A205 SCALE: 1 : 100

Occupancy

- A1
- A1a
- A1b
- A2
- B1
- Comm
- D1
- Elec

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

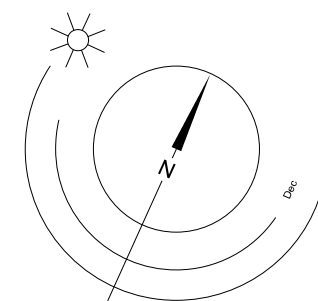
6	25-12-12	IFC Draft
5	25-11-06	Issued for BP
4	25-10-30	DDP Revisions Rev2
3	25-05-02	DDP Revisions
2	23-03-30	DP / Reasoning
1	23-03-25	CALUC

Rev	6	25-12-12	Description	IFC Draft
Pkt Date	10/15/25		Project Status	DD
Drawn By	AM/AW/VE		Checked By	AM
Scale	As indicated		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Level 2



0 2500 5000 mm
1 : 100

dHka

A205

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1 Level 3 - Overall
A206 SCALE: 1 : 100

- Occupancy
- A1
 - A1a
 - A1b
 - A2
 - B1
 - Comm
 - D1
 - Elec

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

6	25-12-12	IFC Draft
5	25-11-06	Issued for BP
4	25-10-30	DDP Revisions Rev2
3	25-05-02	DDP Revisions
2	23-03-30	DP / Reasoning
1	23-03-25	CALUC

Rev	6	25-12-12	Description	IFC Draft
Pkt Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/VE	Checked By	AM	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

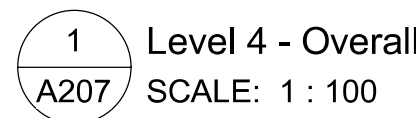
Alston

1055 Alston Street
Victoria, BC
Level 3

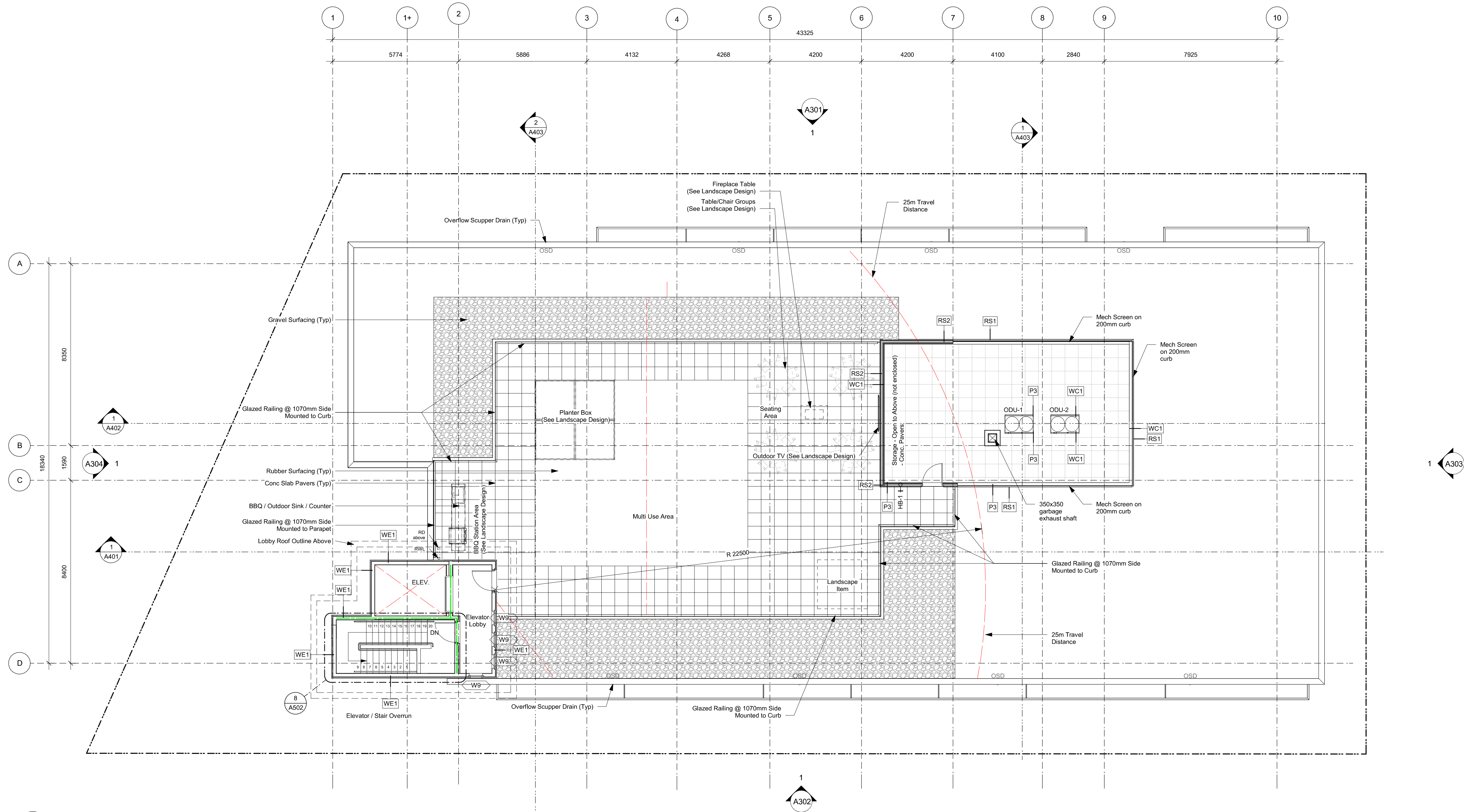


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2025-12-12 1:12:47 PM



1 Roof Amenity Space
A208a SCALE: 1 : 100

Fire Separation Legend

---	0.0 HR
---	0.75 HR
---	1.0 HR
---	1.5 HR
---	2.0 HR

Rev	5	25-12-12	Description	IFC Draft
Rev	4	25-11-06	Issued for BP	
Rev	3	25-10-30	DDP Revisions Rev2	
Rev	2	25-05-02	DDP Revisions	
Rev	1	23-06-15	DP / Rezoning Rev. 1	

Rev	5	25-12-12	Description	IFC Draft
Rev	4	25-11-06	Issued for BP	
Rev	3	25-10-30	DDP Revisions Rev2	
Rev	2	25-05-02	DDP Revisions	
Rev	1	23-06-15	DP / Rezoning Rev. 1	

NOTE: All dimensions are shown in millimeters.

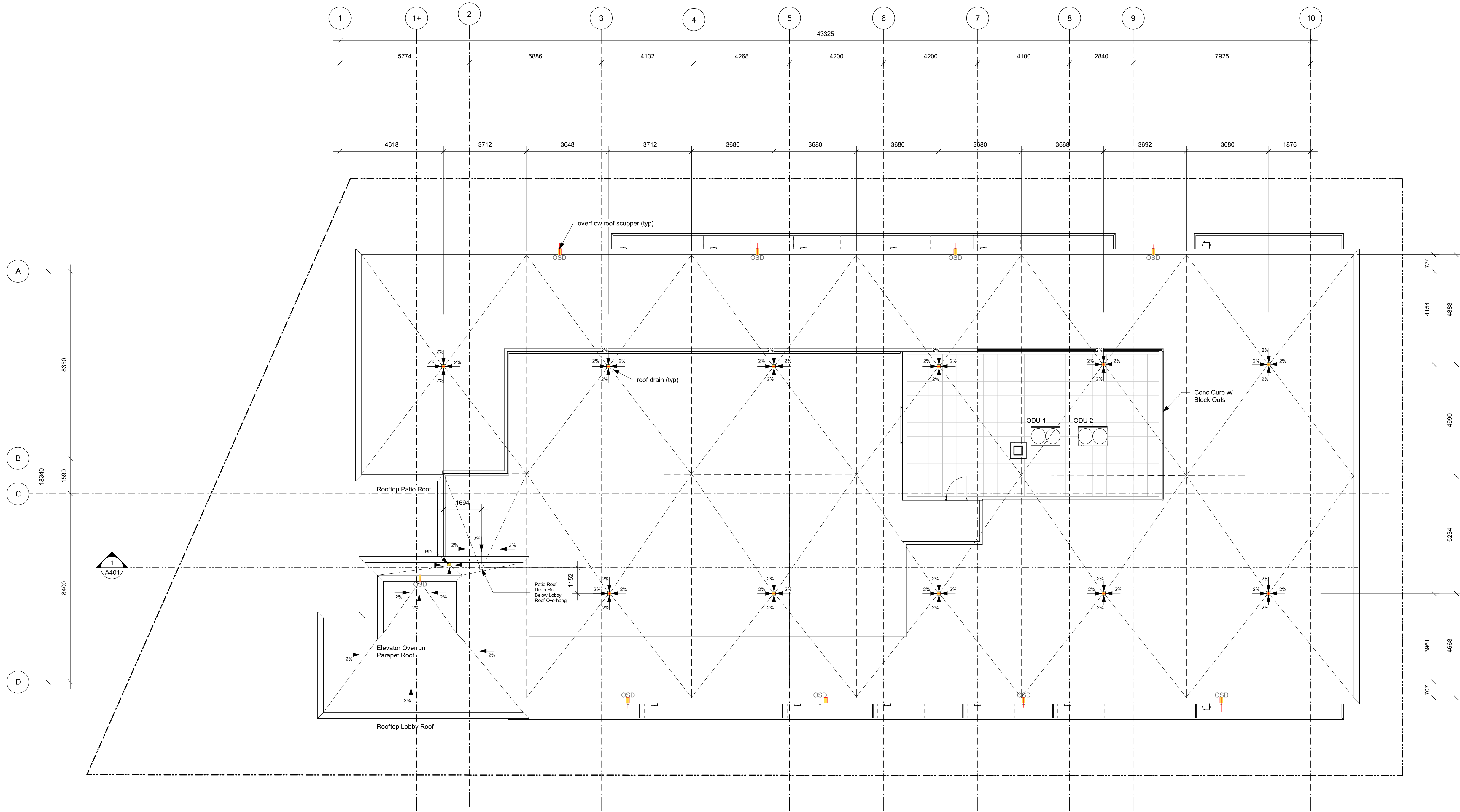
Alston

1055 Alston Street
Victoria, BC
Roof Amenity Space

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REGISTERED ARCHITECT
RICHARD J. HARRIS
7825-12-2018
BRITISH COLUMBIA

A208a



Rev	4	25-12-12	Description	IFC Draft
	3	25-11-06	Issued for BP	
	2	25-10-30	DDP Revisions Rev 2	
	1	23-06-15	DP / Rezoning Rev. 1	

Rev	4	25-12-12	Description	IFC Draft
Plt Date	09/30/25		Project Status	DD
Drawn By	AM/AW/VE		Checked By	AM
Scale	1 : 100		Project Number	2304

NOTE: All dimensions are shown in millimeters.

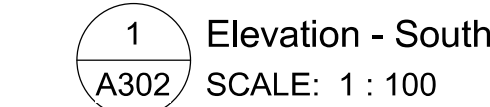
Alston

1055 Alston Street
Victoria, BC
Roof Drainage




























A2085
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Nanaimo
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102-5190 Dublin Way V8V 3K3 T 1-250-585-5810





Materials Legend

	Pre-finished Aluminum Flashing - Grey
	Parapet - Metal Composite Panel - Grey
	Guardrail - Tempered Glass w/ Aluminum Rails - Black
	Corrugated Metal Panel - Vertical Orientation - Grey and Black
	Corrugated Metal Panel - Horizontal Orientation - Grey and Black
	Balcony / Patio Sliding Door - Black
	Vinyl Frame Window - Black
	Planter - (see landscaping)
	1070mm Guard - Concrete
	Parkade Wall - Architectural Concrete
	Perforated Metal Screen
	Retaining Wall - Concrete
	Metal Panel - Grey and Red
	Metal Door - Black
	Anodized Aluminum Storefront - Glazing w/ Doors - Black
	Overhead Door - Black
	Canopy Structural Column (see structural) - Black
	Lobby Canopy / Roof - Metal Composite Panel - Grey
	Eyebrow Roof - Metal Composite Panel - Red
	Architectural Concrete
	RWL Guard
	Signage
	Juliette Balcony Railing System
	AHU - Wall Mount
	Concrete Facing Insulation Panels

9	25-12-12	IFC Draft
8	25-11-06	Issued for BP
7	25-10-30	DDP Revisions Rev2
6	25-05-02	DDP Revisions
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	9	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

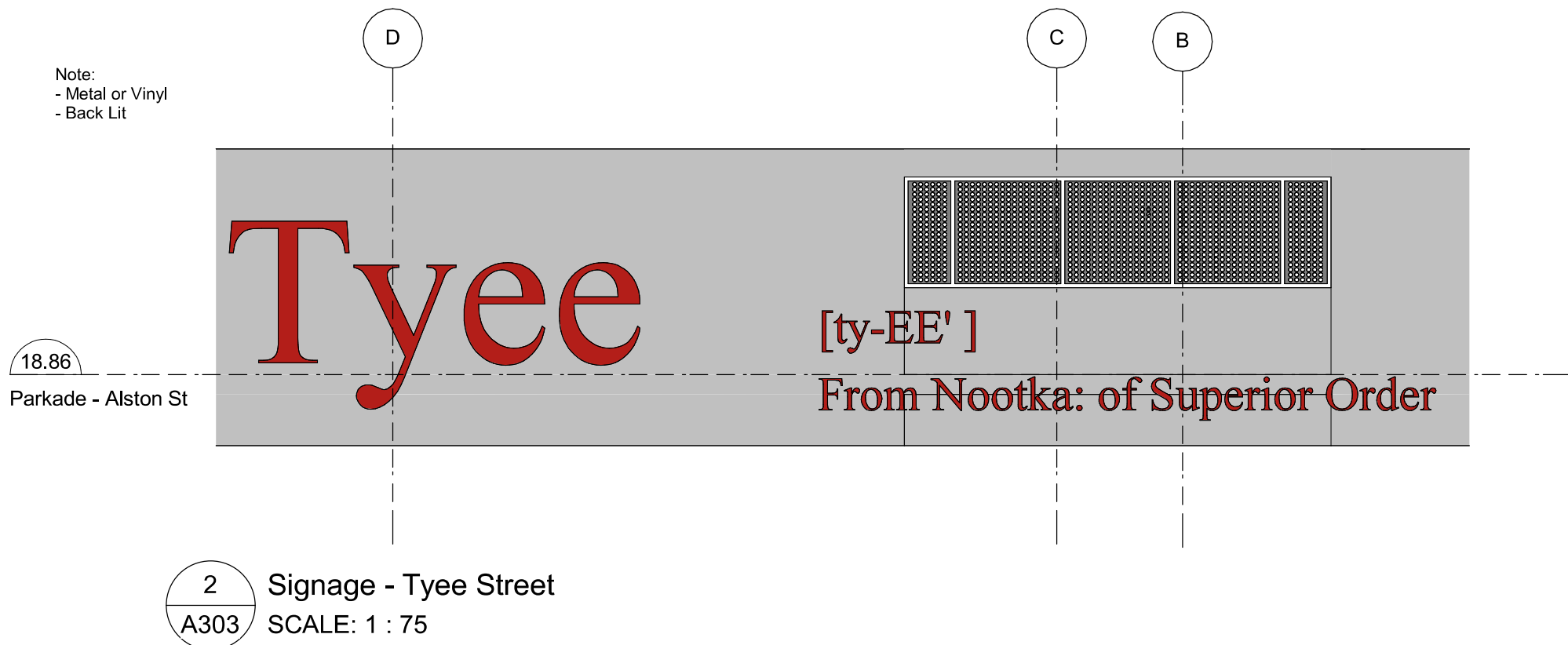
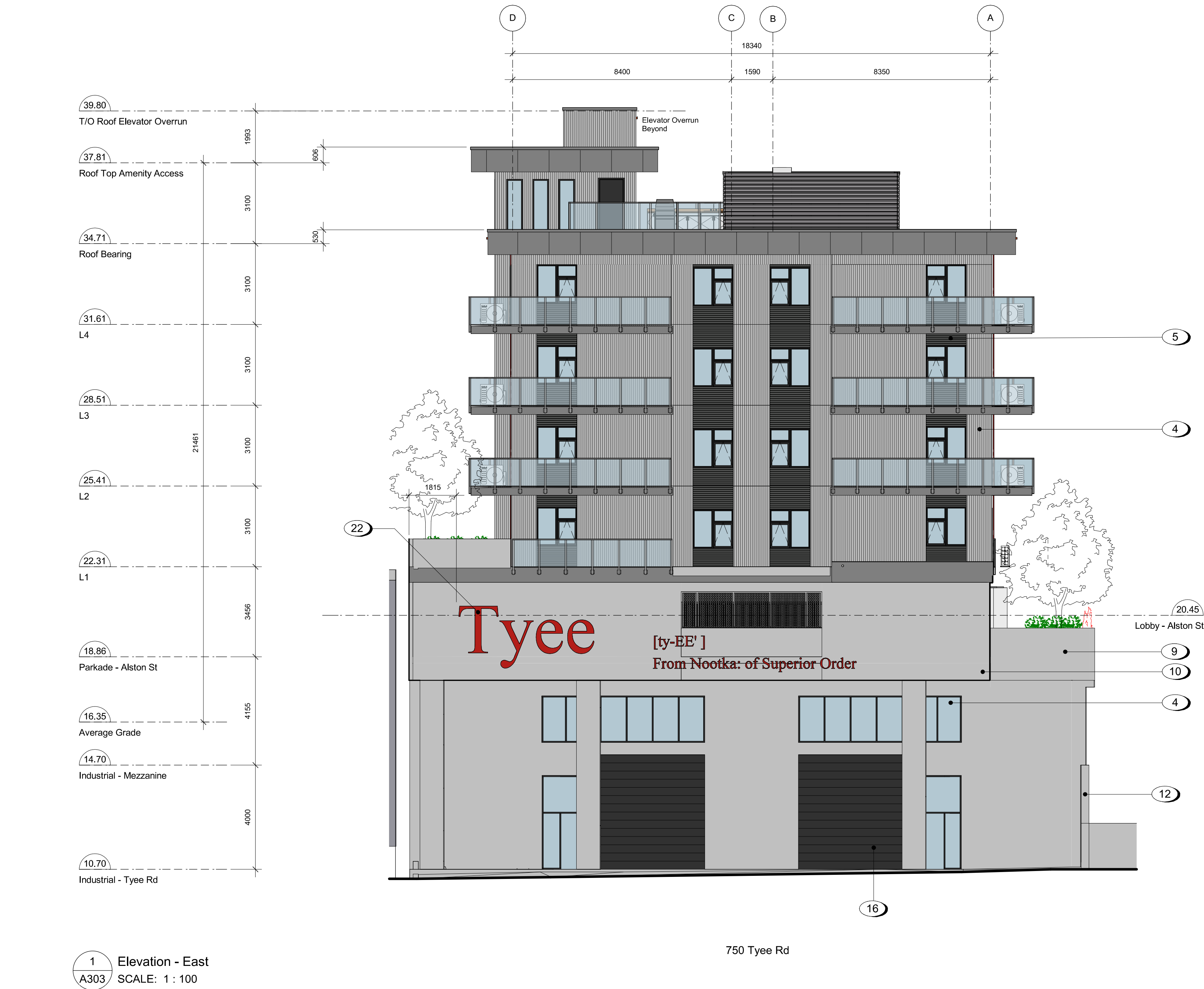
Alston

1055 Alston Street
Victoria, BC
Building Elevation



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Material Board

Material #	Material	Colour
4	7/8" Corrugated Metal Panel	Ebony 9822 (28ga)
5		Light Pewter 2897 (24ga)
2	Metal Composite Panel	Neon Red
13		Nissan Grey
18		Brushed Carbon
19		

1	Aluminum Flashing	
20	Architectural Concrete	

Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
- 10 Parkade Wall - Architectural Concrete
- 11 Perforated Metal Screen
- 12 Retaining Wall - Concrete
- 13 Metal Panel - Grey and Red
- 14 Metal Door - Black
- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage
- 23 Juliette Balcony Railing System
- 24 AHU - Wall Mount
- 25 Concrete Facing Insulation Panels

9	25-12-12	IFC Draft
8	25-11-06	Issued for BP
7	25-10-30	DDP Revisions Rev2
6	25-05-02	DDP Revisions
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	9	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Building Elevation

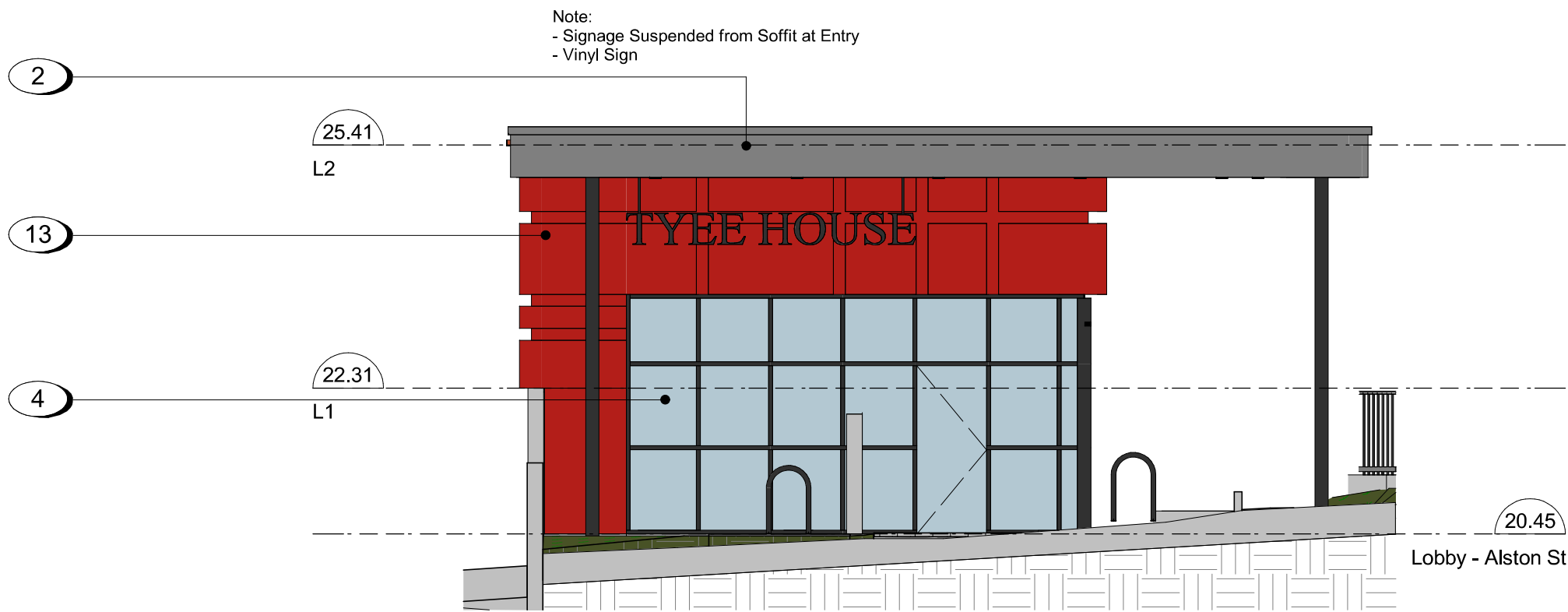
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V9T 0H2
T 1-250-658-3367
T 1-250-585-5810

REGISTERED ARCHITECT
BRITISH COLUMBIA
2025-12-12

A303



1 Elevation - West
A304 SCALE: 1 : 100



2 Signage - Alston Street
A304 SCALE: 1 : 75

Material Board

Material #	Material	Colour	
4	7/8" Corrugated Metal Panel		
5			
2	Metal Composite Panel		
13			
18			
19			
1	Aluminum Flashing		
20	Architectural Concrete		

Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
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- 11 Perforated Metal Screen
- 12 Retaining Wall - Concrete
- 13 Metal Panel - Grey and Red
- 14 Metal Door - Black
- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage
- 23 Juliette Balcony Railing System
- 24 AHU - Wall Mount
- 25 Concrete Facing Insulation Panels

Rev	8	25-12-12	IFC Draft
7	25-11-06	Issued for BP	
6	25-10-30	DDP Revisions Rev2	
5	25-05-02	DDP Revisions	
4	23-07-25	DP / Rezoning Rev. 2	
3	23-06-15	DP / Rezoning Rev. 1	
2	23-03-30	DP / Rezoning	
1	23-03-25	CALUC	

Rev	8	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Building Elevation

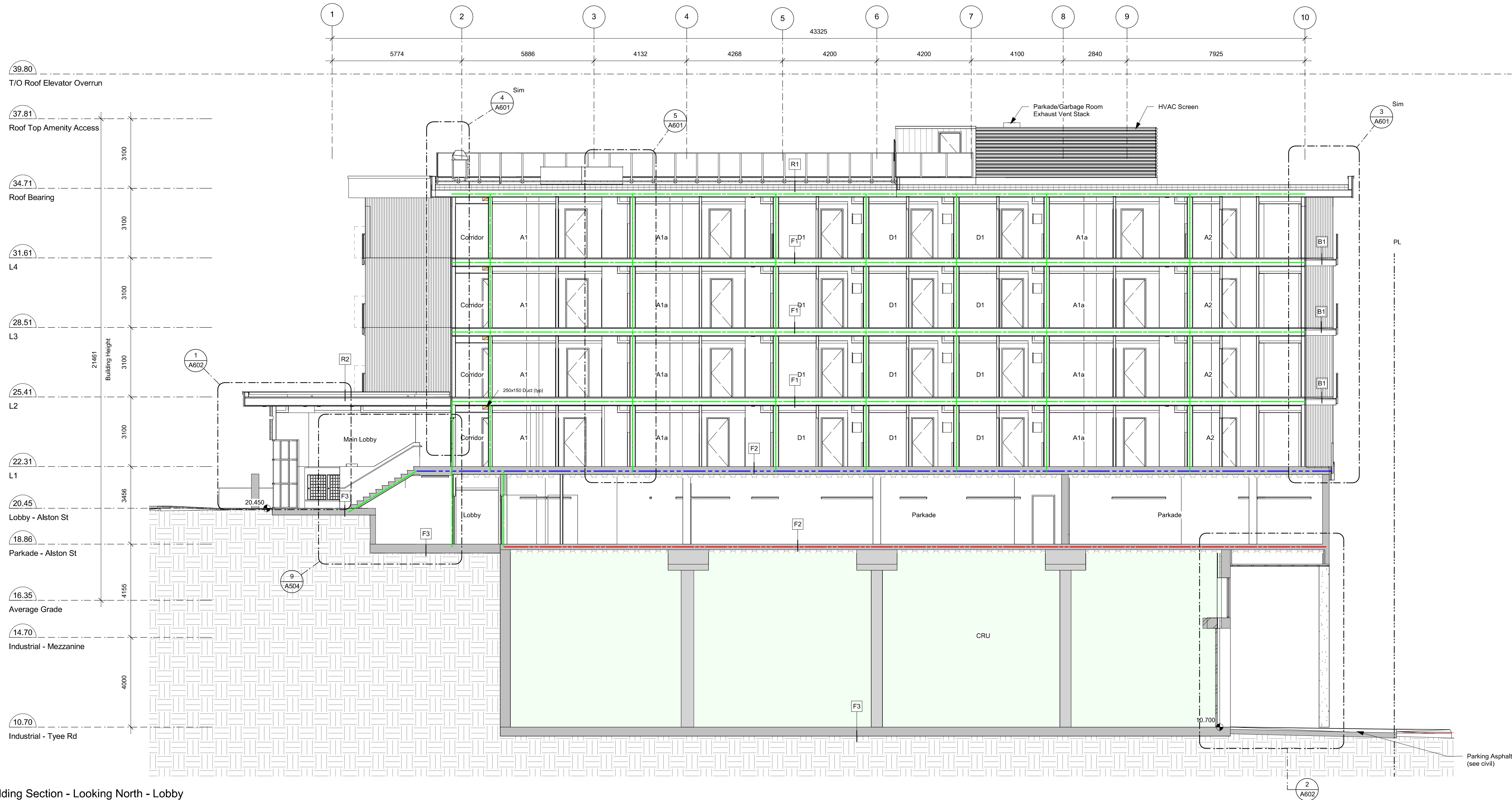
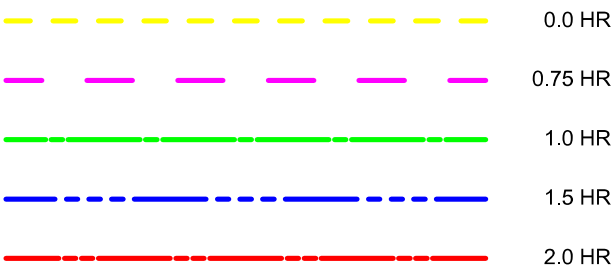
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Nanaimo
102-5190 Dublin Way
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T 1-250-658-3367
V9T 0H2
T 1-250-585-5810

REGISTERED ARCHITECT
RICHARD J. HARRIS
2025-12-31
BRITISH COLUMBIA

A304

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Fire Separation Legend



7	25-12-12	IFC Draft
6	25-11-06	Issued for BP
5	25-10-30	DDP Revisions Rev2
4	25-05-02	DDP Revisions
3	23-10-26	DP / Rezoning Rev. 3
2	23-07-25	DP / Rezoning Rev. 2
1	23-06-15	DP / Rezoning Rev. 1

Rev	7	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/VE	Checked By	AM	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC

Building Section -
Looking North

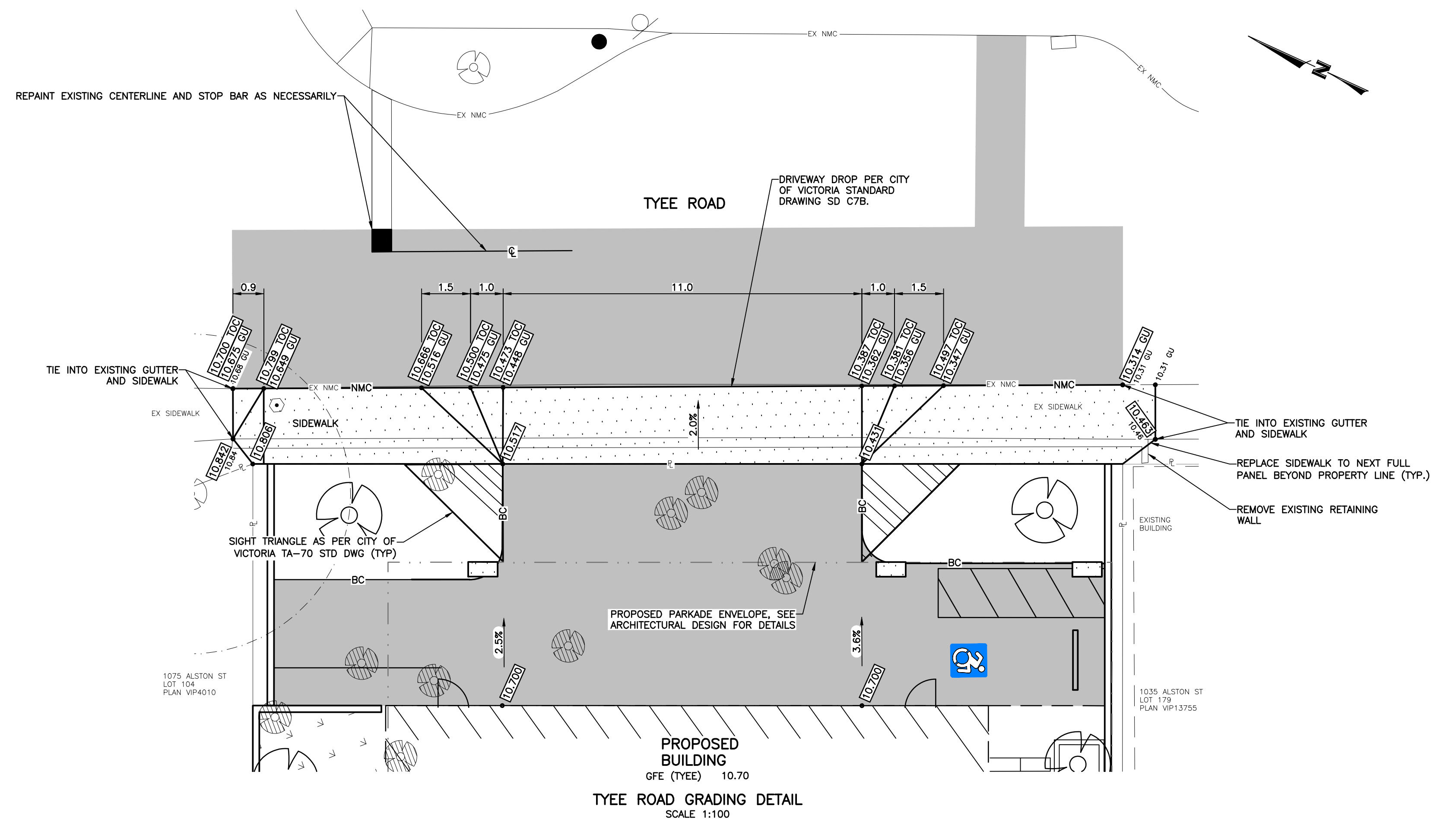
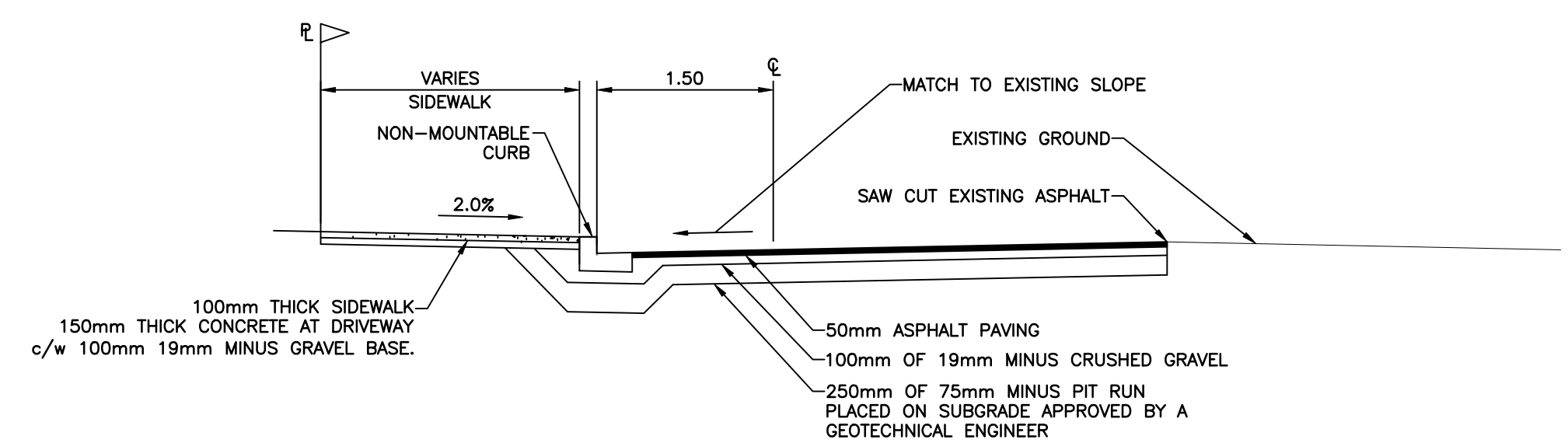
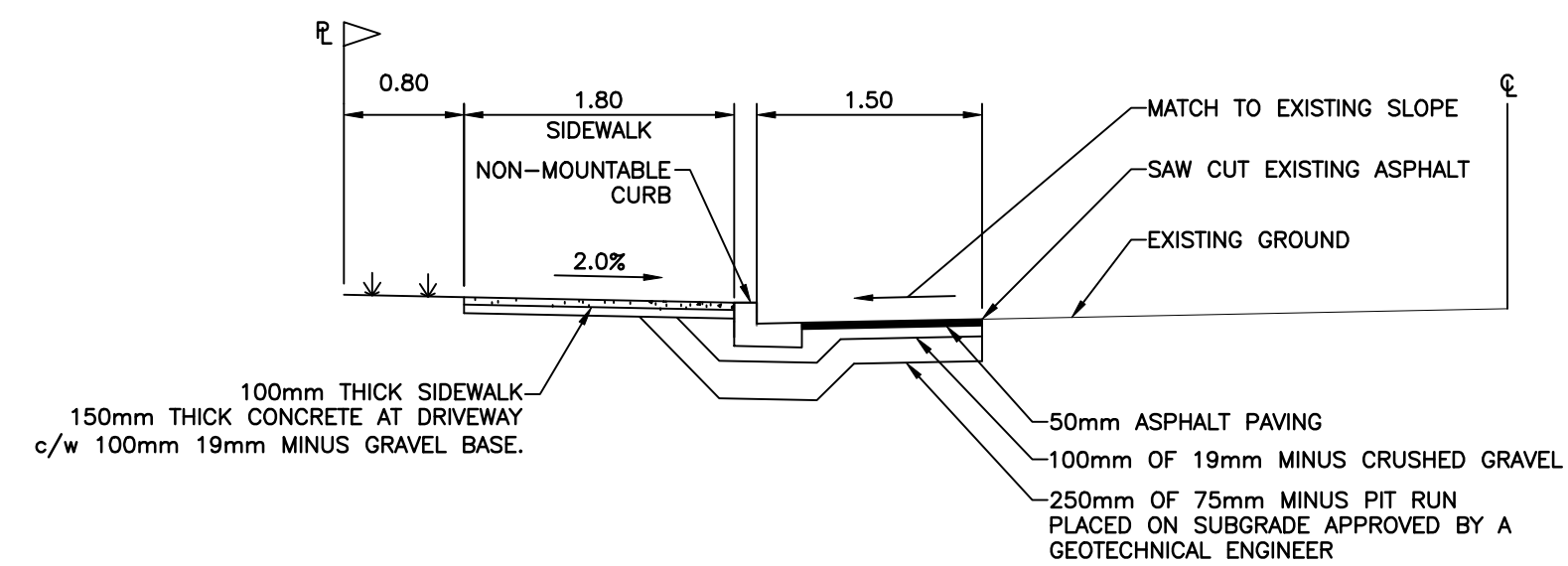
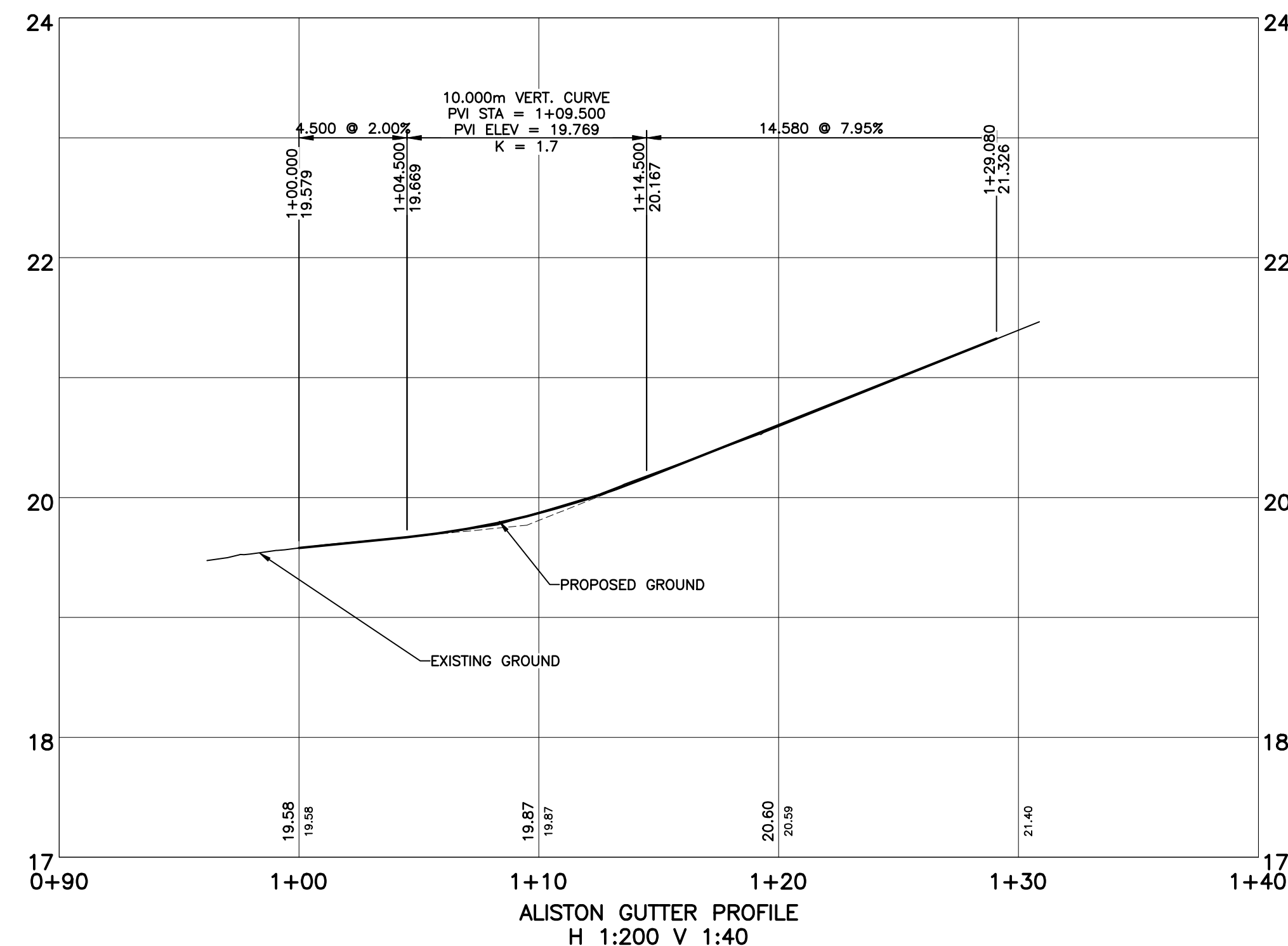
dHka

A401





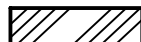





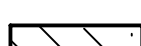



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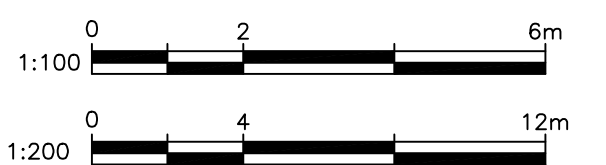
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LEGEND

	APPROXIMATE EXTENT OF ASPHALT PAVING		PROPOSED ELEVATION
	PROPOSED CONCRETE DRIVEWAY/SIDEWALK		PROPOSED ELEVATION @ GUTTER
	SIGHT TRIANGLE		PROPOSED ELEVATION @ TOP OF CURB
	TOPSOIL / STRUCTURAL SOIL AREA SEE LANDSCAPE DESIGN FOR DETAILS		EXISTING ELEVATION
	ONSITE PAVING, SEE ARCHITECTURAL DESIGN FOR DETAILS		EXISTING ELEVATION @ GUTTER
	SOIL CELLS REFER TO LANDSCAPE FOR DETAILS		EXISTING TREE TO REMAIN
			EXISTING TREE TO BE REMOVED
			PROPOSED TREE REFER TO LANDSCAPE



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS.	LEGEND										REVISIONS				DESIGNED BC DRAWN NC		 WESTBROOK Consulting Ltd. #115 - 866 Goldstream Ave., Victoria, BC V9B 0J3 Telephone: 250-391-8592 Facsimile: 250-391-8593	PROJECT 1055 ALSTON ROAD SAKURA PROPERTY DEVELOPMENT GRADING PLAN AND TYPICAL SECTIONS	WESTBROOK PROJECT No. 4091	
	WATER — W —	GAS — G —	EXISTING U/G UTL. —	MANHOLE —	HYDRANT —	MONUMENT —	6	ISSUED FOR DEVELOPMENT PERMIT	251210	BC	CHECKED JS	GOVERNING AUTHORITY FILE No.								
	SEWER — S —	CURB — C —	PROPOSED U/G UTL. —	CLEANOUT —	VALVE —	LOT PIN —	5	ISSUED FOR BUILDING PERMIT	251021	NC	DATE 23.03.14	SHEET 2 OF 2 REV. 6								
	DRAIN — D —	SIDEWALK — S/W —	LIGHT STANDARD —	CATCHBASIN —	METER —	LEAD PLUG —	4	DRAFT BUILDING PERMIT	250815	JS	B.M. 24—84	WESTBROOK DRAWING No. 4091-02								
	DITCH —	EDGE PAVE. —	POWER POLE —	ROAD SIGN —	REDUCER —		3	REISSUED FOR DEVELOPMENT PERMIT	240722	NC	ELEV. 22.250									
	CULVERT —	BUSHLINE —	ANCHOR —				2	REISSUED FOR DEVELOPMENT PERMIT	240627	NC	SCALE Horiz. 1:200 Vert. 1:40									
HEADWALL —	TREE —					No.	DESCRIPTION	DATE	SIGN											

STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 1.5 CM ABOVE GROUND, A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND AND BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P4 (TREE PLANTING IN BOULEVARD) OR SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.

A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

NOTE: AT LEAST 30% OF ALL PLANTINGS ON SITE SHALL BE NATIVE PLANTS.

●---● SUGGESTED IRRIGATION SLEEVE LOCATION

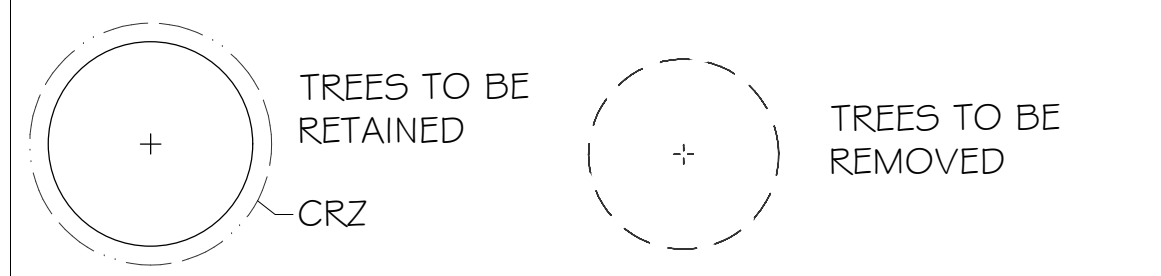
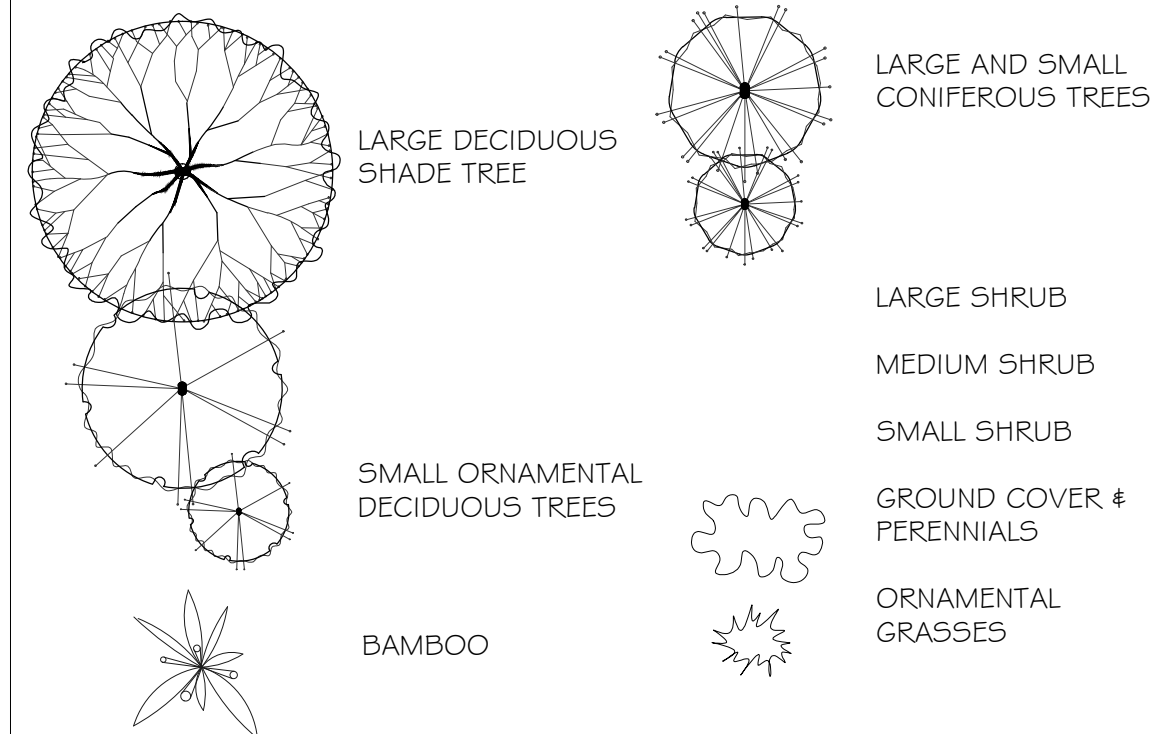
NOTE:
- CONTRACTOR SHALL ENGAGE THE SERVICES OF A BRITISH COLUMBIA CERTIFIED IRRIGATION DESIGN PROFESSIONAL IN ACCORDANCE WITH THE IABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS, MOST RECENT EDITION.

SUGGESTED PLANT LIST

	Key	Common Name	Latin Name	Size	Native Plant
Trees	QUER (7)	Columar English Oak	Quercus robur var. 'Fastigata'	6 cm Cal.	
	STYR (3)	Japanese Siroisii	Styrax japonica	6 cm Cal.	
	IRON (2)	Ironwood	Ostrya virginiana	7 cm Cal.	<input checked="" type="checkbox"/>
	JMAP (1)	Japanese Maple	Acer palmatum var. 'Bloodgood'	6 cm Cal.	
	KAT(2)	Katsura Tree	Cercidiphyllum japonicum	6 cm Cal.	
Large Shrubs	PIER	Jay of the Valley Shrub	Pieris japonica var. 'Forest Flame'	#5 Pot	
	PHYL	Golden Bamboo	Phyllostachys Aurea	#7 Pot	
	MAH	Oregon Grapes	Mahonia aquifolium	#5 Pot	<input checked="" type="checkbox"/>
	THUL	Upright Cedar	Thuja occidentalis var. 'Smaragd'	#7 Pot	
	BRH	Pacific Rhododendron	Rhododendron Macrophyllum	#7 Pot	<input checked="" type="checkbox"/>
Medium Shrubs	LRHB	Rhododendron	Rhododendron var. 'Gomer Watereri'	#7 Pot	
	MRHA	Rhododendron	Rhododendron var. 'Christmas Cheer'	#5 Pot	
	MRHB	Rhododendron	Rhododendron var. 'Unsped'	#5 Pot	
	VACC	Evergreen Huckleberry	Vaccinium ovatum	#5 Pot	<input checked="" type="checkbox"/>
	OTTO	Otto Luyken Laurel	Prunus laurocerasus var. 'Otto Luyken'	#2 Pot	
Small Shrubs	ALAT	Dwarf Burning Bush	Eonymus alata var. 'Compacta'	#5 Pot	
	TAXU	Upright Yew	Taxus baccata	#5 Pot	
	RIBE	Red Flowering Currant	Ribes sanguinum	#2 Pot	<input checked="" type="checkbox"/>
	DWPI	Dwarf Lily of the Valley Shrub	Pieris japonica var. 'Debutante'	#1 Pot	
	EUPF	Creeping Eonymus	Eonymus fortunei var. 'Emerald & Gold'	#1 Pot	
Ground Covers	AZAP	Evergreen Azalea	Azalea japonica var. 'Gumpo Pink'	#2 Pot	
	ADOG	Dwarf Red Tinge Dogwood	Cornus sericea var. 'Kelsey'	#2 Pot	<input checked="" type="checkbox"/>
	ILDK	False Holly	Ilex crenata convexa	#2 Pot	
	POLY	Polystichum Fern	Polystichum montanum	#1 Pot	<input checked="" type="checkbox"/>
	DWRH	Dwarf Rhododendron	Rhododendron var. 'Bow Belle' & 'Jock'	#1 Pot	<input checked="" type="checkbox"/>
Perennials & Grasses	SPHR	Shirohara Spirea	Spirea japonica var. 'Shirohara'	#1 Pot	<input checked="" type="checkbox"/>
	BEAR	Bearberry	Arctostaphylos uva-ursi var. 'Vancouver Jade'	SP4	
	BERG	Heartleaf Bergenia	Bergenia cordifolia var. 'Bressingham Ruby'	SP5	
	VITI	Mountain Cranberry	Vaccinium vitis-idaea	SP4	<input checked="" type="checkbox"/>
	AJUG	Bugleweed	Ajuga reptans var. 'Bronze Beauty'	SP4	
Perennials	TEST	Flame Sedge	Carex testacea	#1 Pot	
	KARL	Feather Reed Grass	Calamagrostis acutifolia var. 'Karl Foerster'	#2 Pot	
	COHE	Purple Coneflower	Magnum echinacea	#1 Pot	
	AGAS	Hummingbird Mint	Agastache var. 'Fall Fiesta'	SP5	
	SALV	Meadow Sage	Salvia sylvestris var. 'May Night'	SP5	<input checked="" type="checkbox"/>
Vines	PINK	Cottage Pinks	Dianthus var. 'Kanon Pink'	SP5	
	IRIS	Vanegated Iris	Iris pallida var. 'Vanegata Gold'	#1 Pot	<input checked="" type="checkbox"/>
	RUBR	Black Eyed Susan	Rudbeckia hirta var. 'Goldstrum'	SP5	
	JUNC	Scovener Rush	Juncus effusus	SP7	<input checked="" type="checkbox"/>
	CLEM	Montana Clematis	Clematis montana var. 'Jackman' & 'Elizabeth'	#5 Pot	
Vines	ROSA	Climbing Austin Rose	Rosa var. 'Claire Austin'	#5 Pot	

Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification.
- All areas to be irrigated with an automatic underground system.



LEGEND



TREE REQUIREMENTS

TREES REMOVED: 7
REPLACEMENT TREES REQUIRED: 7
REPLACEMENT TREES PROVIDED: 7

USABLE PLANTING SOIL VOLUME
REQUIRED AREA FOR SOIL CELLS TO ACHIEVE REQUIRED SOIL VOLUMES

				Replacement Trees Proposed			Soil Volume Required (m³)			
Planting Area ID	Area (m²)	Soil Volume Multiplier*	A	B	C	D	B	C	D	Total**
			Estimated Soil Vol (m³)	# Small	# Medium	# Large	# Small	# Medium	# Large	
ONSITE										
	105	1.0M	108			7			105	105
	93	1.0M	93			2			60	60

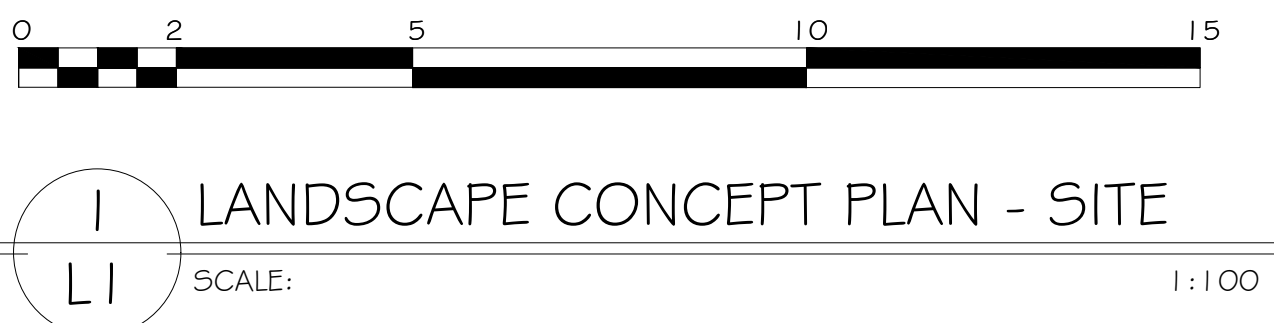
Notes:
(1) All soil volume calculations are for replacement trees only
(2) All replacement trees are ONSITE
(3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
(4) All replacement trees meet soil volume requirements for this project.

IRRIGATION TO BOULEVARD AREAS SHALL BE PROVIDED BY A SEPARATE WATER METER FROM BUILDING & INSTALLED TO IABC & CITY OF VICTORIA SPECIFICATIONS

STREET TREES TO BE IRRIGATED USING DOUBLE RING DRIP SYSTEM (W/ DOUBLE CHECK VALVE)

SYSTEM DESIGN TO BE REVIEWED & APPROVED BY SAANICH PARKS.

SCALE BAR



NOTE:
INSTALL ROOT BARRIER UB 24-2 (1.0M DEPTH) DEEP ROOT CANADA CORP. 1-800-561-3883. PLACE SO THAT IT EXTENDS 3.65m BEYOND TREE TRUNK (6 PANELS @ 610mm LONG PANEL.) INSTALL AS PER MANUFACTURERS INSTRUCTIONS.

REPLACEMENT TREE SPACING*		
ROW #	TREE SIZE	MIN. SPACING
1	SMALL TREE (SCHEDULE "E", PART 2)	2.0M
2	MEDIUM TREES (SCHEDULE "E", PART 1)	4.0M
3	LARGE TREES (SCHEDULE "E", PART 1)	6.0M

SOIL VOLUME REQUIREMENTS*

ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

*NOTE: PROJECT COMPLIES WITH TREE SPACING AND SOIL VOLUME REQUIREMENTS.

4★SITE
LANDSCAPE ARCHITECTURE
AND SITE PLANNING 250.508.7885

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ARCH. STAMP



1055 ALSTON STREET
VICTORIA, BC

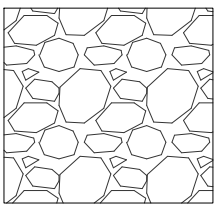
CLIENT

IRONCLAD
DEVELOPMENTS INC.

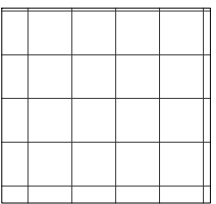
REV. DATE	NUMBER	DESCRIPTION
10-26-23	5	REV. LANDSCAPE CONCEPT PLAN
02-13-24	6	RE-ISSUED FOR DP
04-15-24	7	RE-ISSUED FOR DP
06-25-24	8	REVISED
07-16-24	9	REVISED
04-30-25	10	REVISED
05-05-25	11	DDP AMENDMENTS
09-05-25	12	DDP AMENDMENTS
10-27-25	13	DDP AMENDMENTS
12-05-25	14	DDP AMENDMENTS

DATE	DECEMBER 05, 2025	LANDSCAPE CONCEPT PLAN
SCALE	1:100	
DRAWN BY	BF/RF	L1

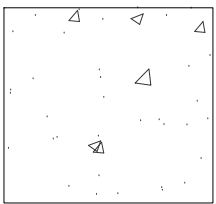
MATERIALS



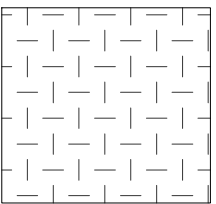
RIVER
ROCK



UNIT
PAVERS



CONCRETE
WALKWAY



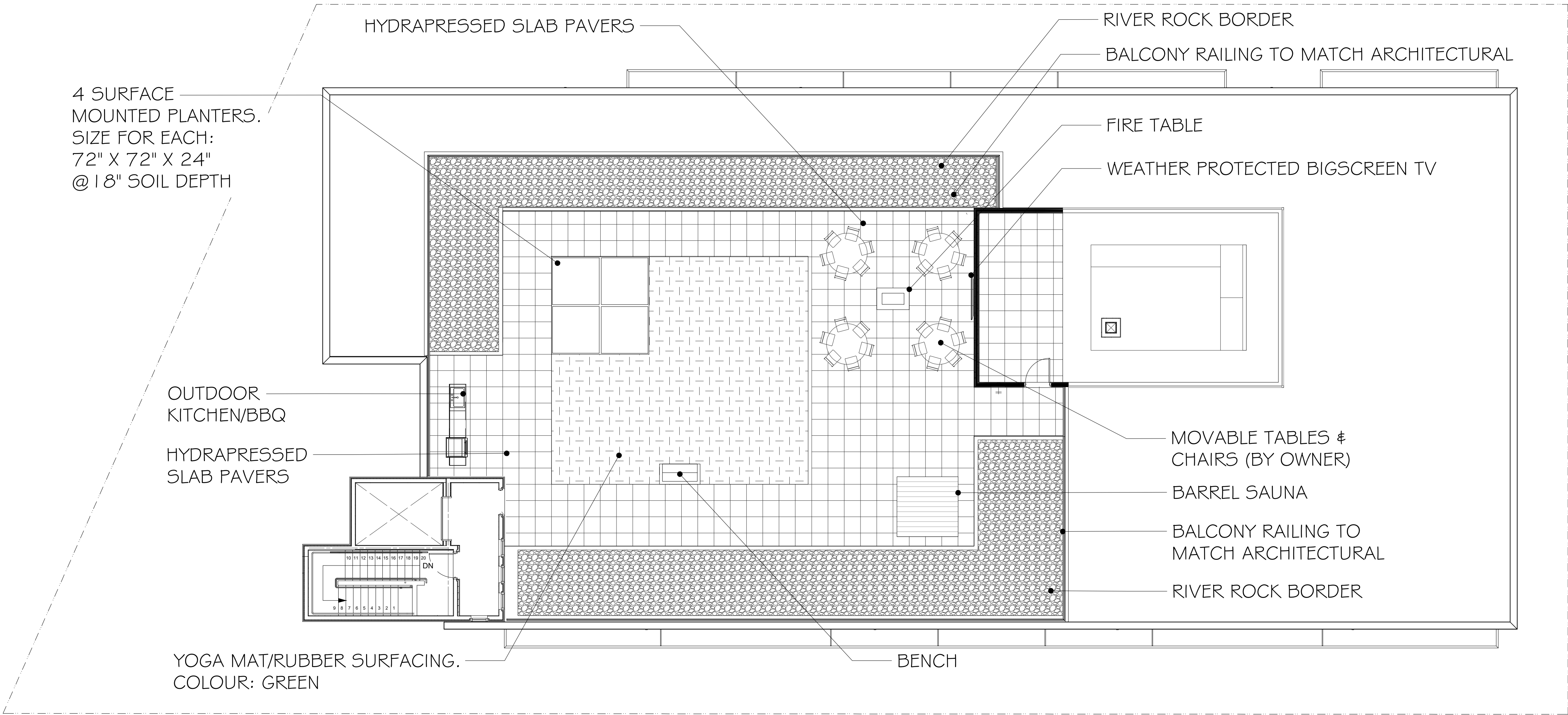
OUTDOOR
YOGA MAT



BARREL SAUNA



CORTEN STEEL ROOF TOP PLANTERS



BENCHES

RECTANGULAR FIBERGLASS PLANTER

NAME: TRADITIONAL STRATUS MODERN BENCH
MODEL #: CAL-718
SIZE : 78 3/4"L x 21 1/4"W x 32 1 1/16"H
QUANTITY: 1
SUPPLIER: CAANAN SITE FURNISHINGS

PAVERS

DESCRIPTION (TYPE 2):

NAME: 'TERRACE' SLAB PAVER
SIZE: 24" x 24"
PATTERN: STACK BOND (90° TO BUILDING FACE)
COLOUR: STERLING
SUPPLIER: BARKMAN CONCRETE PRODUCTS

REV. DATE	NUMBER	DESCRIPTION
10-26-23	5	REV. LANDSCAPE CONCEPT PLAN
02-13-24	6	RE-ISSUED FOR DP
04-15-24	7	RE-ISSUED FOR DP
06-25-24	8	REVISED
07-16-24	9	REVISED
04-30-25	10	REVISED
05-05-25	11	DDP AMENDMENTS
09-05-25	12	DDP AMENDMENTS
10-27-25	13	DDP AMENDMENTS
12-05-25	14	DDP AMENDMENTS

DATE	DECEMBER 05, 2025
SCALE	1:100
DRAWN BY	BF/RF

PREPARATION NOTES:

1. CONTAINER GROWN:
REMOVE COMPLETELY FROM
CONTAINER
2. BURLAP & ROPE:
REMOVE TOP 1/2 OF COVERING
3. WIRE & BURLAP:
REMOVE TOP 1/2 OF WIRE, ROPE &
BURLAP COVERING WITHOUT
DAMAGING ROOT BALL. REMOVE ALL
TWINE.
- 40 MM NYLON WEBBING

1.0 M DIAMETER BARK
MULCH RING SAUCER OVER
ROOTBALL 150 MM DEPTH

GROWING MEDIA SHALL MEET
B.C. LANDSCAPE STANDARD
TABLES 6-3 (SECTION 32 91 21
- MMCD 2009) ALL SOIL
PROPERTIES MUST MEET THIS
STANDARD. DEPTH GROWING
MEDIA TO BE PLACED AND
TRAMPED IN 100 MM LIFTS

ASPHALT
ROADWAY. REFER
TO CIVIL DRAWINGS

ROOT BARRIER
450 MM x 4.0 M
LENGTH

COMPACTED SUBGRADE
TO 98% S.P.D.

SCARIFY BOTTOM OF PIT

TREES MUST BE PLANTED
WITH NO MORE THAT A
50 MM DEPTH FROM
FINISHED GRADE TO THE
TOP OF THE ROOT BALL

GRASS BOULEVARD

ROOT BARRIER
450 MM x 4.0 M LENGTH

BROOM FINISHED
CONCRETE SIDEWALK

700 MM COMPACTED
STRUCTURAL SOIL TO
THE APPROVAL OF THE
GEOTECHNICAL
ENGINEER

DO NOT PRUNE LEADER.
PRUNE ONLY DEAD OR
DAMAGED BRANCHES

2-2 1/2" (64MM) ROUND
PRESSURE TREATED STAKES
@ 8' 0" (2440MM) LENGTH.
STAKE AT EDGES OF THE
ROOTBALL IN LINE WITH
ROADWAY. ON EXPOSED
SITES STAKE IN LINE WITH
PREVAILING WIND. VERTICAL
STAKES TO BE DRIVEN 600
MM INTO GROUND.

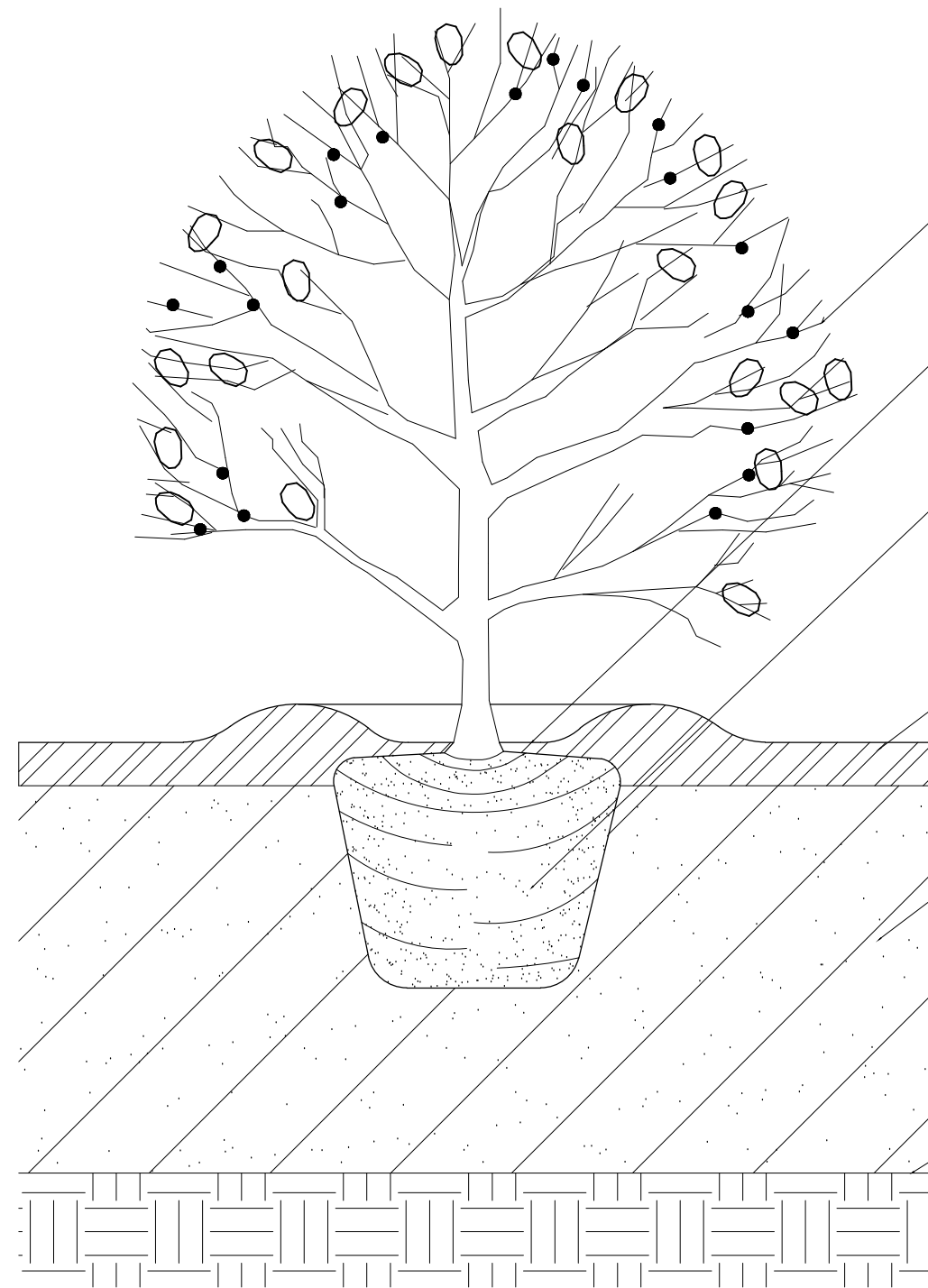
NOTES:

ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA TREE SPECIFICATIONS.

ROOT BARRIER REQUIRED ON BLVD 2.0 M OR LESS WIDE OR AS SPECIFIED BY THE DIRECTOR OR PARKS.

ROOT BARRIER REQUIRED PENDING TREE SPECIES & OR BOULEVARD WIDTH.

1 BOULEVARD TREE PLANTING
L2 SCALE 3/4" = 1' - 0"



PRUNE ONLY TO REMOVE
DEAD OR DAMAGED TWIGGS.

FORM SAUCER WITH CONTINUOUS
RIM OF MOUNDED MULCH.

REMOVE ENTIRE CONTAINER FROM
ROOTBALL, PLANT AT SAME DEPTH
AS IN CONTAINER, BURY ANY
GRAFTING POINTS AT ROOT.

MULCH LAYER - REFER TO
LANDSCAPE SPECIFICATIONS
FOR TYPE AND DEPTH.

TOPSOIL MIX, COMPACT BASE
AND BACKFILL IN LAYERS, TAMPING
EACH PROGRESSIVE LAYER TO
TO REMOVE AIR POCKETS. REFER
TO LANDSCAPE SPECIFICATIONS.

SCARIFY SURFACE OF SUBGRADE
PRIOR TO SOIL PLACEMENT.

3 SHRUB PLANTING
L2 SCALE 1" = 1' - 0"

- NOTE PREPARATION:
1.) CONTAINER GROWN -REMOVE
COMPLETELY FROM CONTAINER.
2.) BURLAP & ROPE - REMOVE
TOP 1/3 OF COVERING.
3.) WIRE & BURLAP - REMOVE TOP
1/3 OF COVERING "WITHOUT
DAMAGING ROOTBALL.

2" (50mm) NYLON WEBBING

BARK MULCH - SAUCER
OVER ROOTBALL 6" DEPTH.

SCARIFY BOTTOM AND
SIDES OF TREE PIT.

TOPSOIL MIX - COMPACT
BASE & TAMP IN LAYERS.

DO NOT PRUNE LEADER.
PRUNE ONLY DEAD OR
DAMAGED BRANCHES.

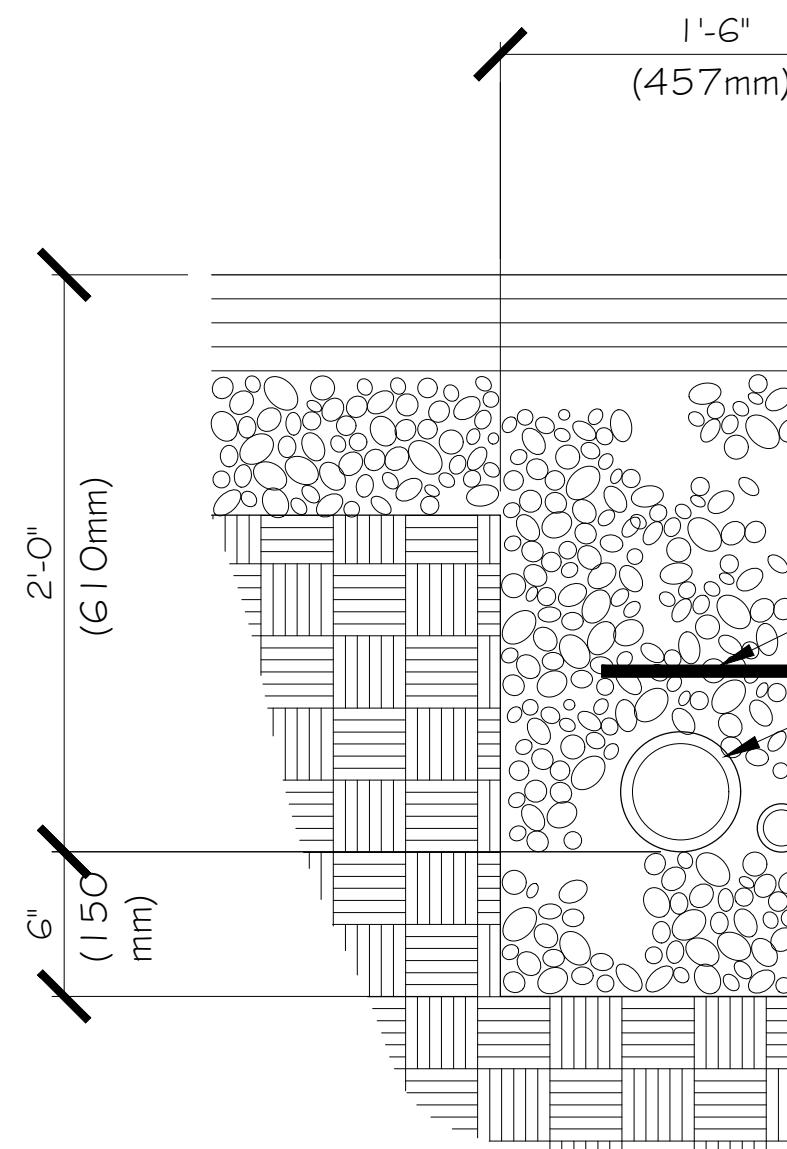
3" (75mm) ROUND OR 2" X 3"
(50 X 75mm) PRESSURE
TREATED STAKES @ 8'-0"
(2440mm) LENGTH. 2 STAKES
PER TREE. STAKE AT EDGE OF
ROOTBALL ON PREVAILING
WIND SIDE OF TREE. VERTICAL
STAKES TO BE DRIVEN 2'-0"
(610mm) INTO GROUND.

TOP OF ROOTBALL TO BE
SET 1" LOWER THAN IT
STOOD IN THE NURSERY.

REMOVE BURLAP, WIRE
BASKET & ROPE FROM
TOP THIRD OF ROOTBALL.

COMPACTED SUBGRADE
TO 98% S.P.D.

2 TREE PLANTING
L2 SCALE 1" = 1' - 0"



FINISH GRADE - REFER
TO DRAWING # L1A
FOR SURFACING.

CRUSHED GRAVEL BACKFILL
COMPACT TO 98% S.P.D.

CONTINUOUS WARNING
TAPE FOR ELECTRICAL.

4" I.D. PVC SLEEVE FOR
IRRIGATION LINES REFER
TO L-1 FOR LOCATIONS.

DIRECT BURIAL CONDUIT.
REFER TO ELECTRICAL FOR
LOCATIONS.

COMPACTED SUBGRADE
TO 98% S.P.D.

4 IRRIGATION SLEEVE
L2 SCALE 1-1/2" = 1' - 0"

REV. DATE	NUMBER	DESCRIPTION
12-05-25	1	DDP AMENDMENTS

DATE	DECEMBER 05, 2025
SCALE	AS NOTED
DRAWN BY	BF/RF