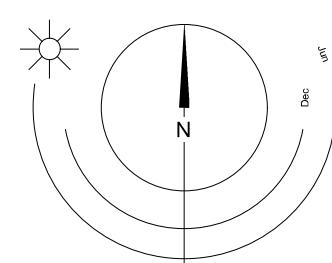




1055 Alston Street



Site Analysis



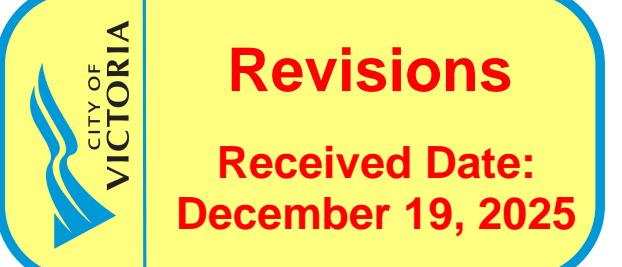
Drawing List

- A001 Project Data
- A002 Survey
- A004 Street View
- A007 Shadow Studies
- A101 Site Plan Overall
- A102 Site Plan - Circulation
- A103 Site Plan - Grading
- A201 Lower Commercial / Industrial - Tyee Rd
- A203 Parkade - Alston Street
- A204 Level 1
- A205 Level 2
- A206 Level 3
- A207 Level 4
- A208a Roof Amenity Space
- A208b Roof Drainage
- A301 Building Elevation
- A302 Building Elevation
- A303 Building Elevation
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- A401 Building Section - Looking North

List of Abbreviations

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL.	Insulated	STNT	Stone Tile
BG	Building Grade	LAM.	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	S/V	Sheet Vinyl Flooring
Cone	Cone	MDFB	Medium Density Fibreboard Base	T/D	Tempered / Double Glazed
CBK	Concrete Block	MR	Mirror	TLAM	Tempered Laminated Glass
CIL	Centerline	MP	Metal Panel	TGL	Tempered Glass
CPT	Carpet	O/H	Overhead	TGL	Translucence Glass
OT	Overall	OW	Open Window	TOC	Top of Concrete
C/W	Complete With	PF	Prefinished	TOD	Top of Drain
DD	Deck Drain	PLAM	Plastic Laminate	TOI	Top of Insulation
EL	Elevation	PLS	Plaster	TOP	Top of Parapet
EPO	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOS	Top of Stub
EXP AGG	Expanded Aggregate	PT	Pull	TOW	Top of Wall
EXT	Exterior	PTD	Paper Towel Dispenser	TP	Toilet Paper
FD	Floor Drain	PTD/W	Paper Towel Dispenser / Waste	UNF	Unfinished or GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FEC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNO	Unless Noted Otherwise
FFE	Finish Floor Elevation	RA	Rock	U/S	Underside of...
FG	Finished Grade	RB	Rubber Base	VCT	Vinyl Composition Tile
GB	Grab Bar	RES	Resilient Flooring	VI	Vinyl Glass
GBL	Glass Block	RD	Rod Drain	VIS	Vinyl Impact Sheet
GL	Glass	RSP	Rod Drain - Planter	VT	Vinyl Tile
GWG	Gorean Wire Glass	RWL	Rock Water Leader	VWC	Vinyl Wall Covering
GWB	Gypsum Wallboard	SAFI	Spray Applied Fibrous Insulation	WC	Water Closet
HC	Hollow Core	SCW	Solid Core Wood	WD	Wood
HCW	Hollow Core Wood	SD	Soap Dispenser	WPM	Waterproof Membrane
H/C	Handicap	SL	Seat	WRC	Water Repellent Coating
HM	Hollow Metal	SP	Spandrel Glass		
		SPC	Solid Particleboard Core		



PROJECT DIRECTORY

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Major Occupancy Classification - Group C Residential

- 1st Storey (proposed) CRU (dwelling) Assembly (A-2), Business and Personal Services (D) Mercantile (E), and/or Industrial Use (F-3)

- 2nd Storey (proposed) Storage Garage (Group F-3, associated with residential use above). Open-air storage garage.

- 3rd - 6th Storeys (proposed) Residential Dwelling Units (Group C)

PROJECT DESCRIPTION

CIVIC ADDRESS:
1055 Alston Street
Victoria, BC V9A 3S6

LEGAL DESCRIPTION:
LOT 105, DISTRICT LOT 119, ESQUIMALT
DISTRICT, PLAN 3237 INCLUDED IN PLAN 4010

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
Basement: Industrial Use (F-2 and 3)
1st Storey: Storage Garage (Group F-2 and 3)
2nd - 6th Storeys: Residential Dwelling Units (Group C)

USES: Industrial and Residential

EXISTING ZONE: M2-S, Songhees Light Industrial District

PROPOSED ZONE: TBC

SITE AREA: 1406 m² (15,134 s.f.)

SITE COVERAGE: 80%

OPEN SITE SPACE: 11%

FLOOR AREAS

TOTAL PROPOSED: 3108 m²

FLOOR SPACE RATIO: 2.21 FSR

GRADE OF BUILDING: 16.35 m (GEODETIC)
See Site Plan for Grade Calculation

HEIGHT OF BUILDING: 21.46 m

NUMBER OF STOREYS: 6

RESIDENTIAL PARKING: 19 stalls (incl. 1 accessible, 1 accessible van, 2 visitor)

COMMERCIAL PARKING: 2 stalls (incl. 1 accessible)

TOTAL CAR PARKING: 21

BICYCLE PARKING: 65 Class 1 + 6 short term (rack)

SETBACKS:

FRONT (West): 4.15 m
REAR (East): 2.77 m
SIDE (North): 0 m
SIDE (South): 0.3 m
COMBINED SIDE: 0.3 m

SUITE COMPOSITION:

Studio: 28
1 Bed: 24
2 Bed: 4
TOTAL: 56 SUITES

Minimum Unit Floor Area 34 m²

Building Code Summary

Referenced Document: BCBC 2024 - Part 3

CRU (Level 1) **Residential (Levels 2 through 6)**

Occupancy Potentially A-2, D, E, F-3 C

Building Area (m²) 1120m²

Building Height (storeys) 6

Sprinklered Yes

Construction Article 3.2.2.51 (3.2.2.60 if contains Group D) 3.2.2.51*

Maximum Building Area Permitted (m²) 1500m²

Type of Construction Permitted Combustible Combustible

Floor Assembly Fire Rating (h) 1 1 1

Roof Fire Rating (h) 1 1 1

Major Occupancy Classification - Group C Residential

- 1st Storey (proposed) CRU (dwelling) Assembly (A-2), Business and Personal Services (D) Mercantile (E), and/or Industrial Use (F-3)

- 2nd Storey (proposed) Storage Garage (Group F-3, associated with residential use above). Open-air storage garage.

- 3rd - 6th Storeys (proposed) Residential Dwelling Units (Group C)

11	25-12-12	IFC Draft
10	25-11-06	Issued for BP
9	25-10-30	DDP Issued
8	25-10-30	DDP Rezoning Rev 2
7	25-05-02	DDP Revisions
6	24-06-27	DP / Rezoning Rev. 6
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	11	25-12-12	Description	IFC Draft
Pilot Date	10/30/25	Project Status	DD	
Drawn By		Checked By	CRK	
Scale	As Indicated	Project Number	2304	
NOTE:	All dimensions are shown in millimeters.			

Alston

**1055 Alston Street
Victoria, BC
Project Data**





1075 Alston Street

1055 Alston Street

Alston Street View



736 Tyee Road

740 Tyee Road

790 Tyee Road

Tyee Street View

5 25-10-30 DDP Revisions Rev2
4 25-05-02 DDP Revisions
3 23-06-15 DP / Rezoning Rev. 1
2 23-03-30 DP / Rezoning
1 23-03-25 CALUC

Rev 5 25-10-30 Description DDP Revisions Rev2
Plot Date 06/15/23 Project Status DD
Drawn By SWS Checked By CRK
Scale 1 : 3 Project Number 2304

NOTE: All dimensions are shown in millimeters.

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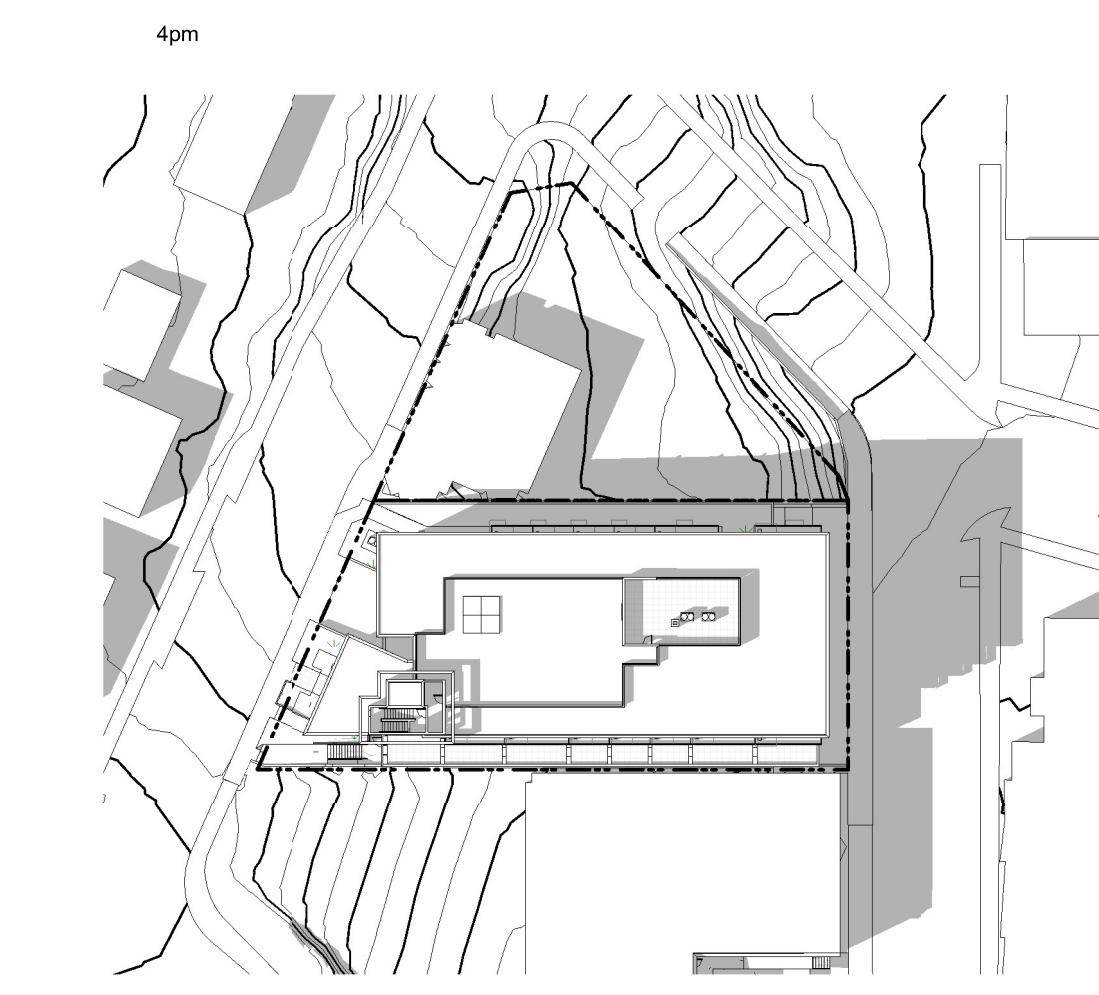
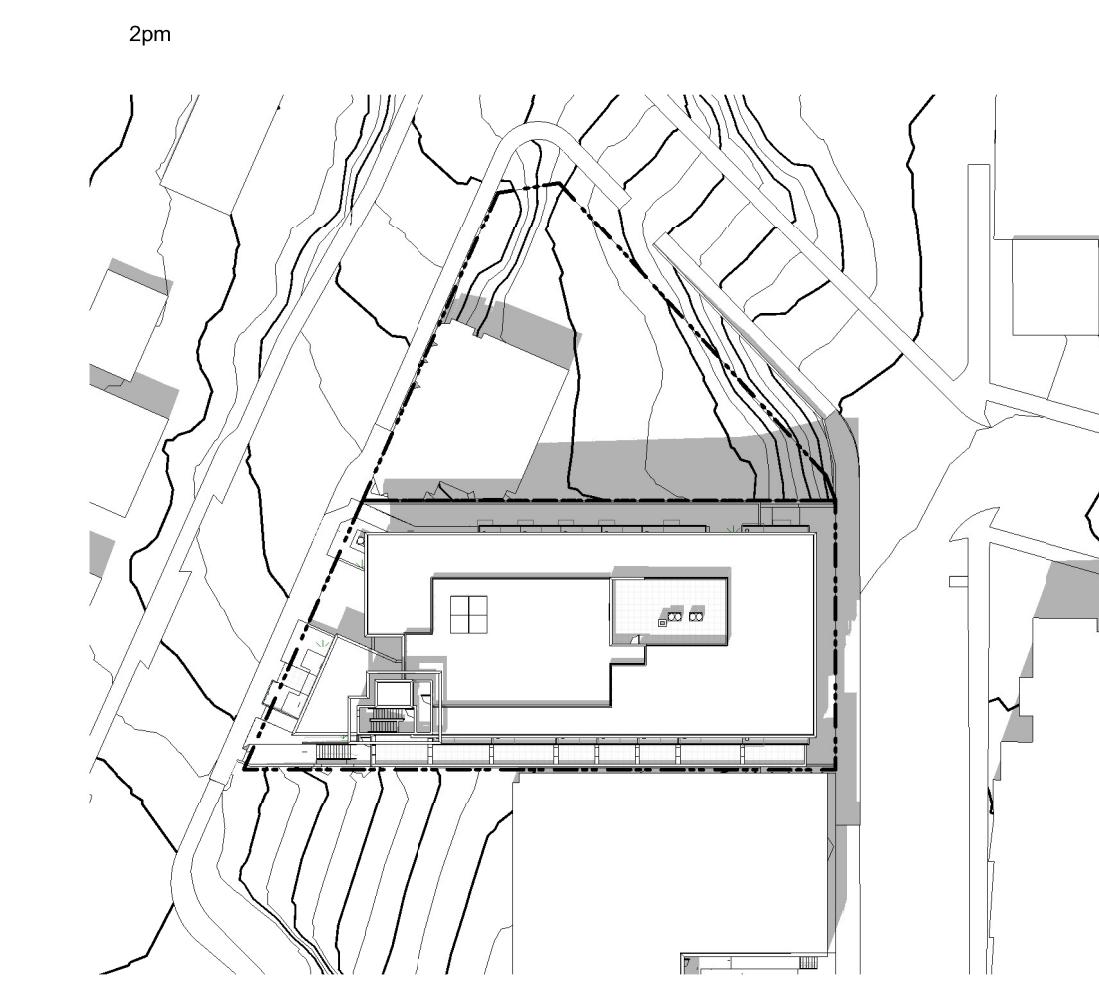
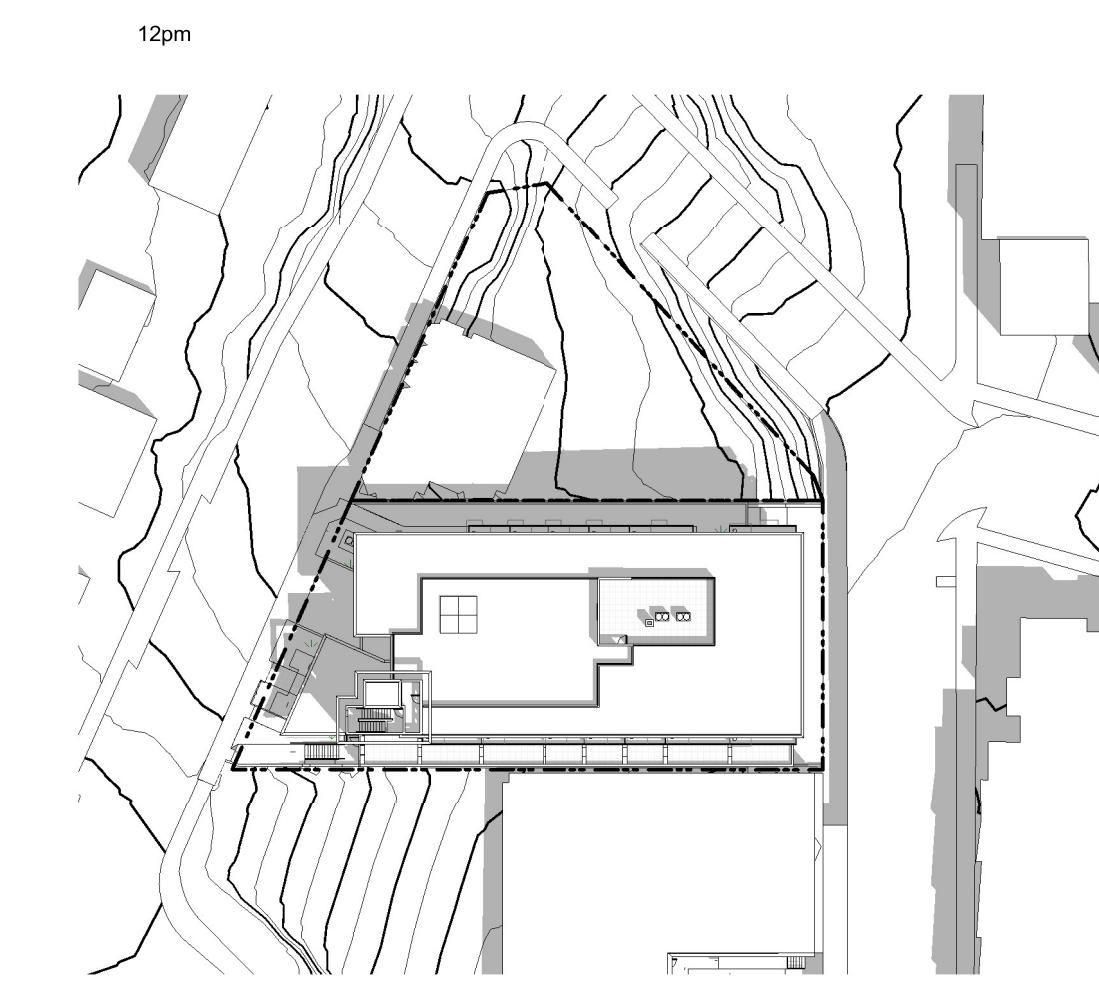
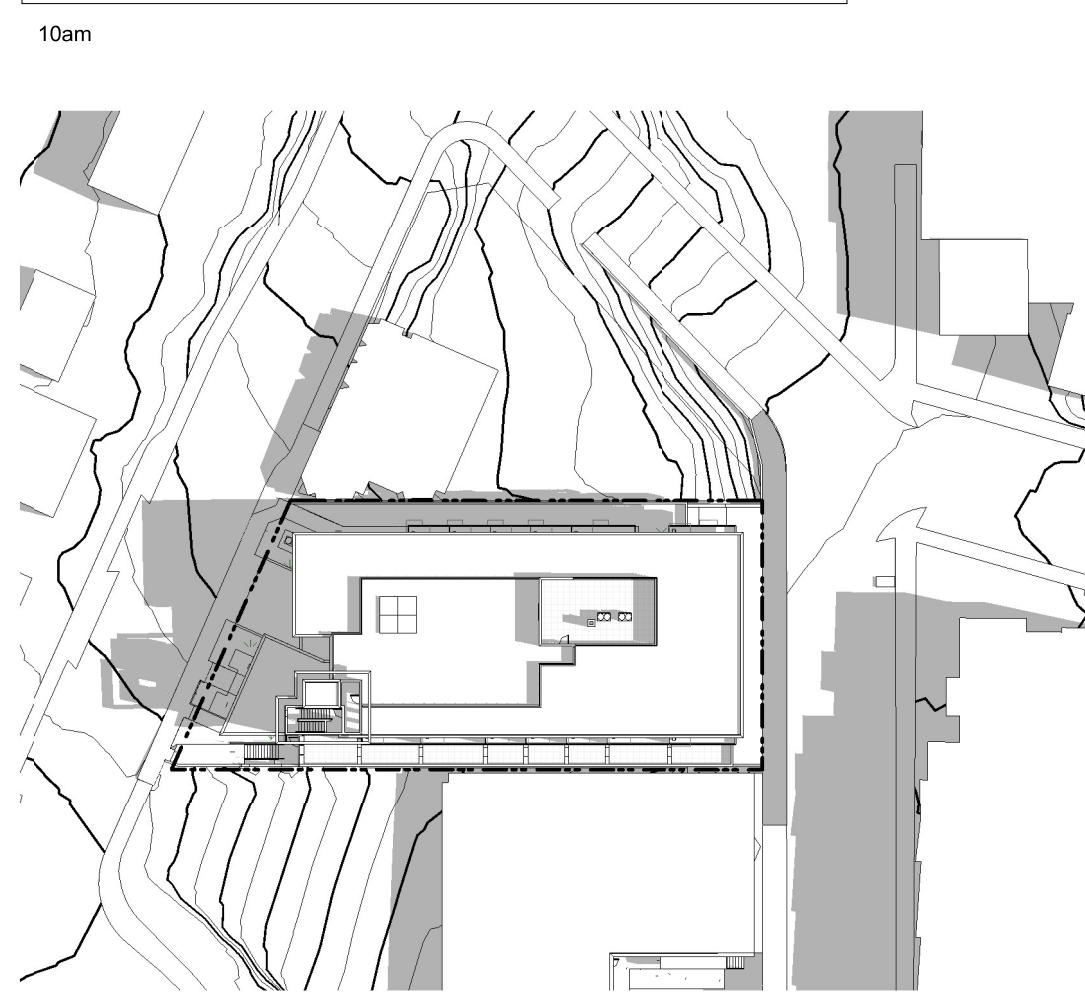
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Victoria, BC
Street View

dHKa A004

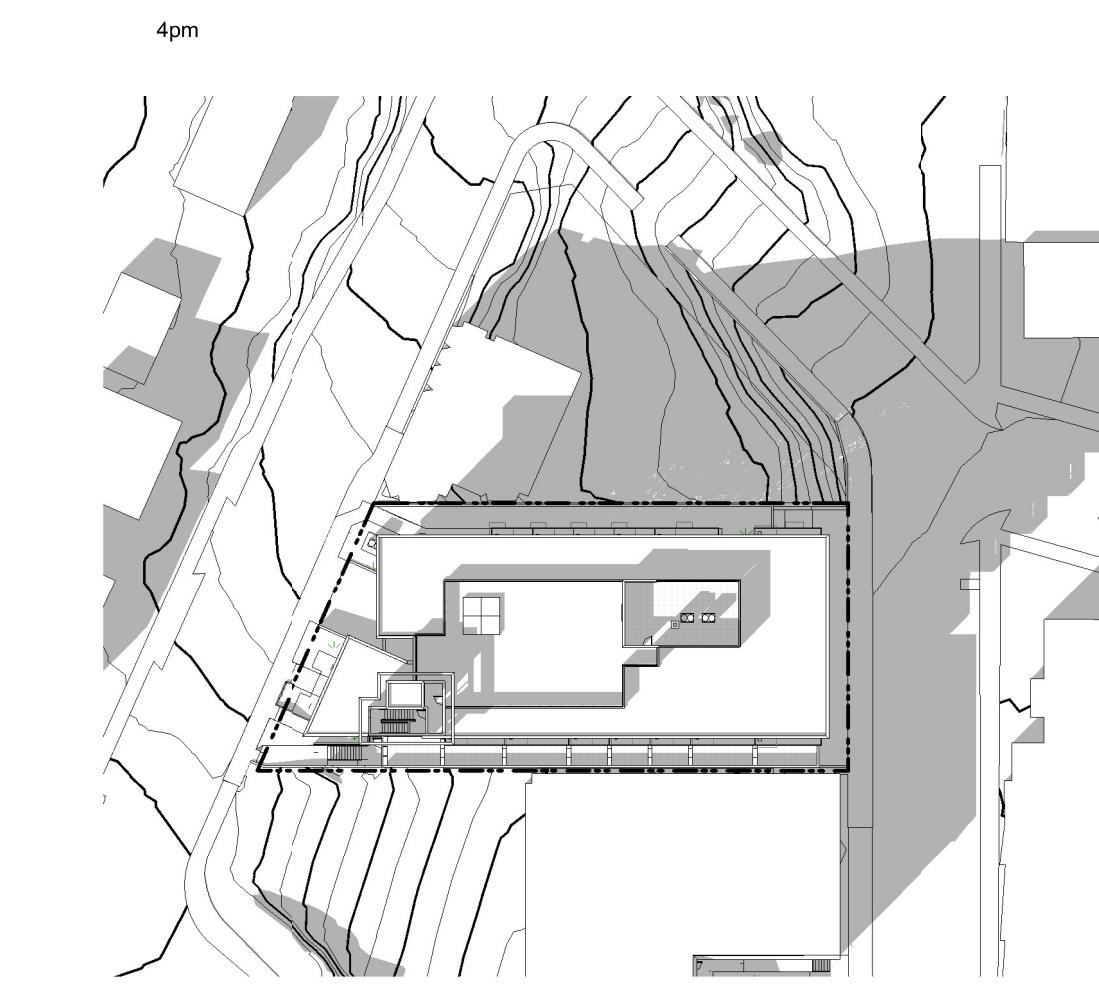
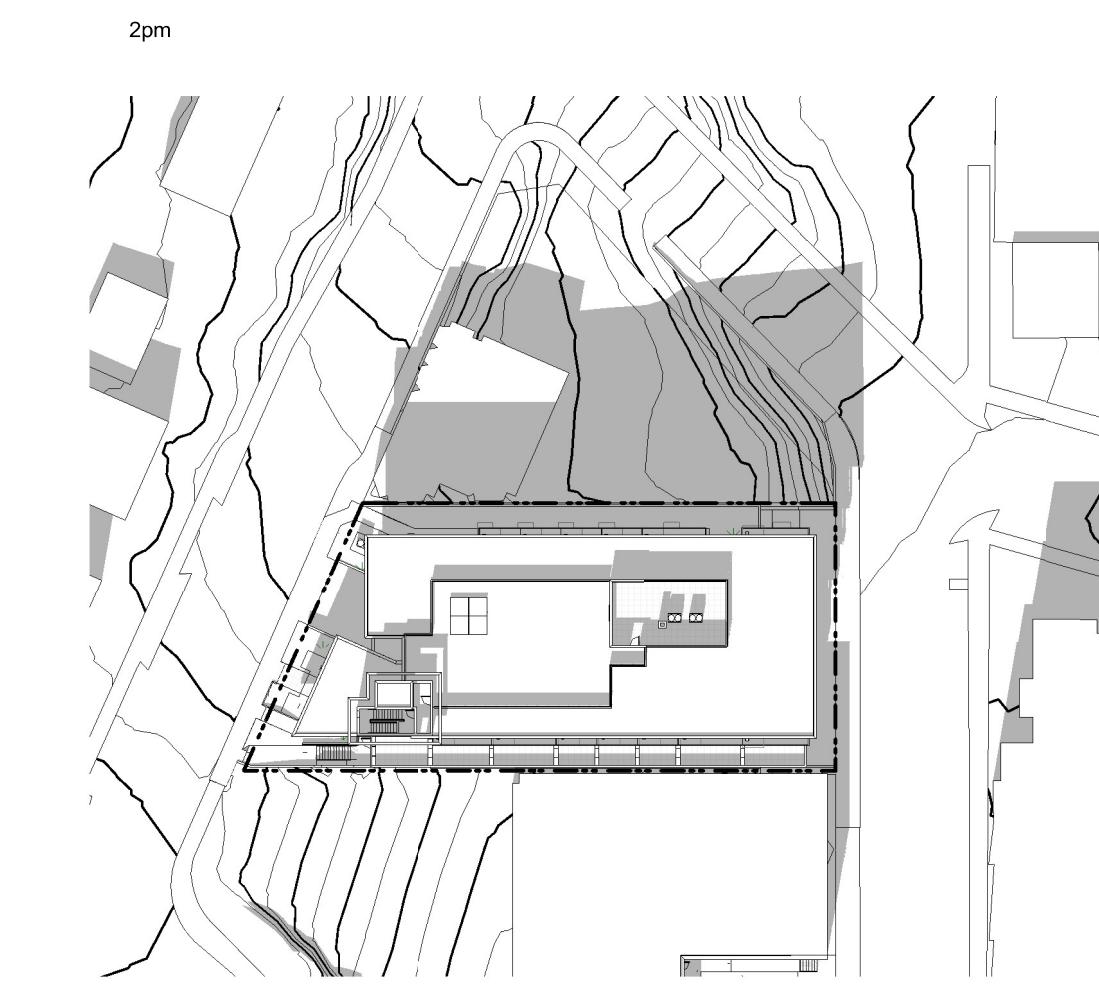
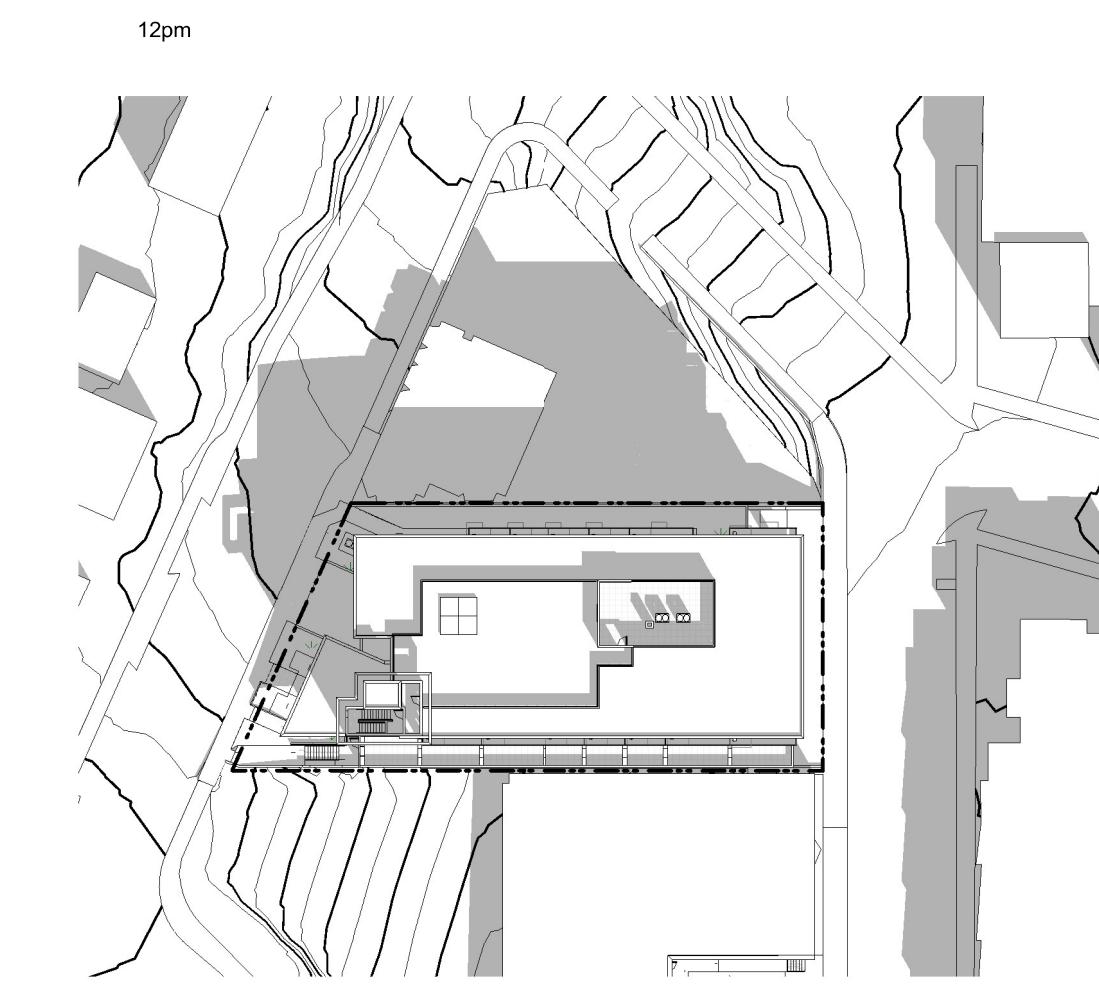


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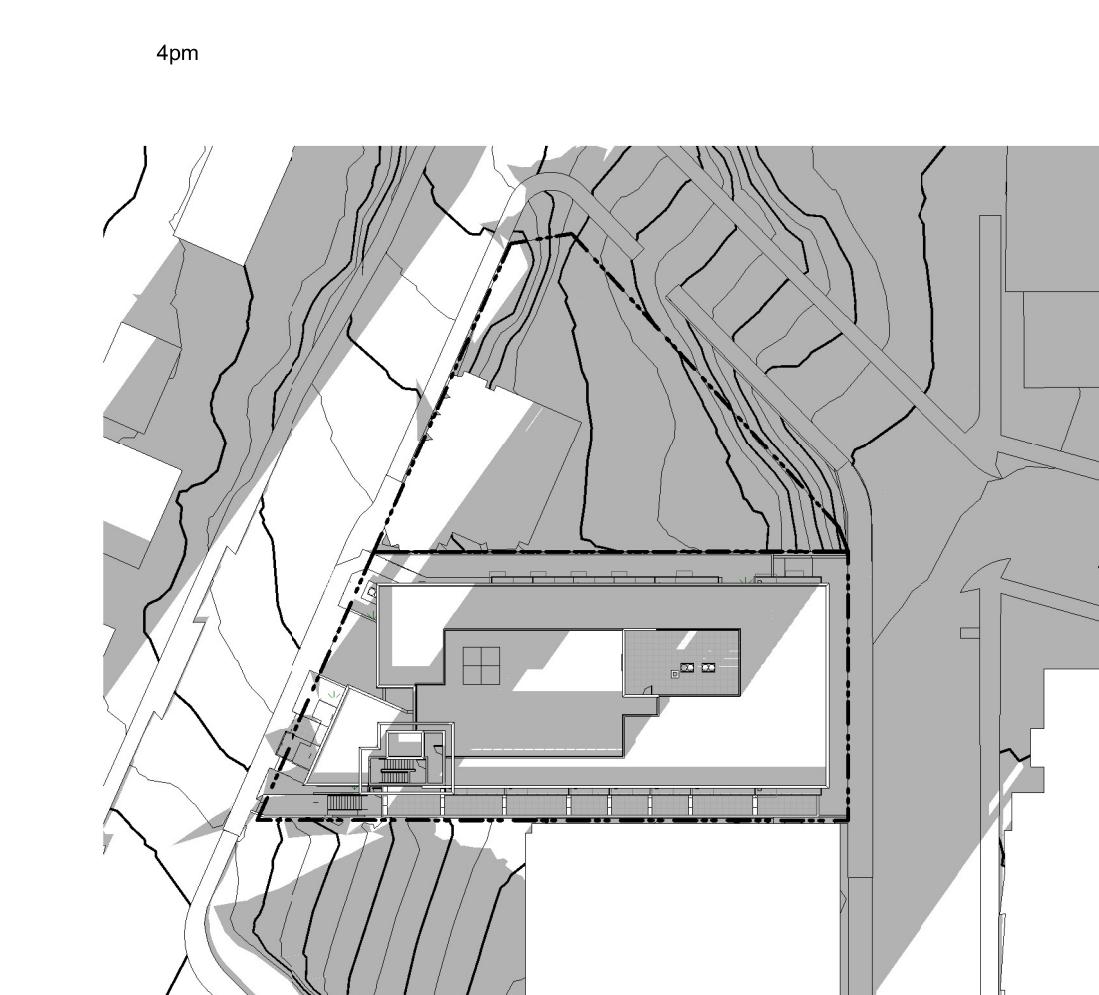
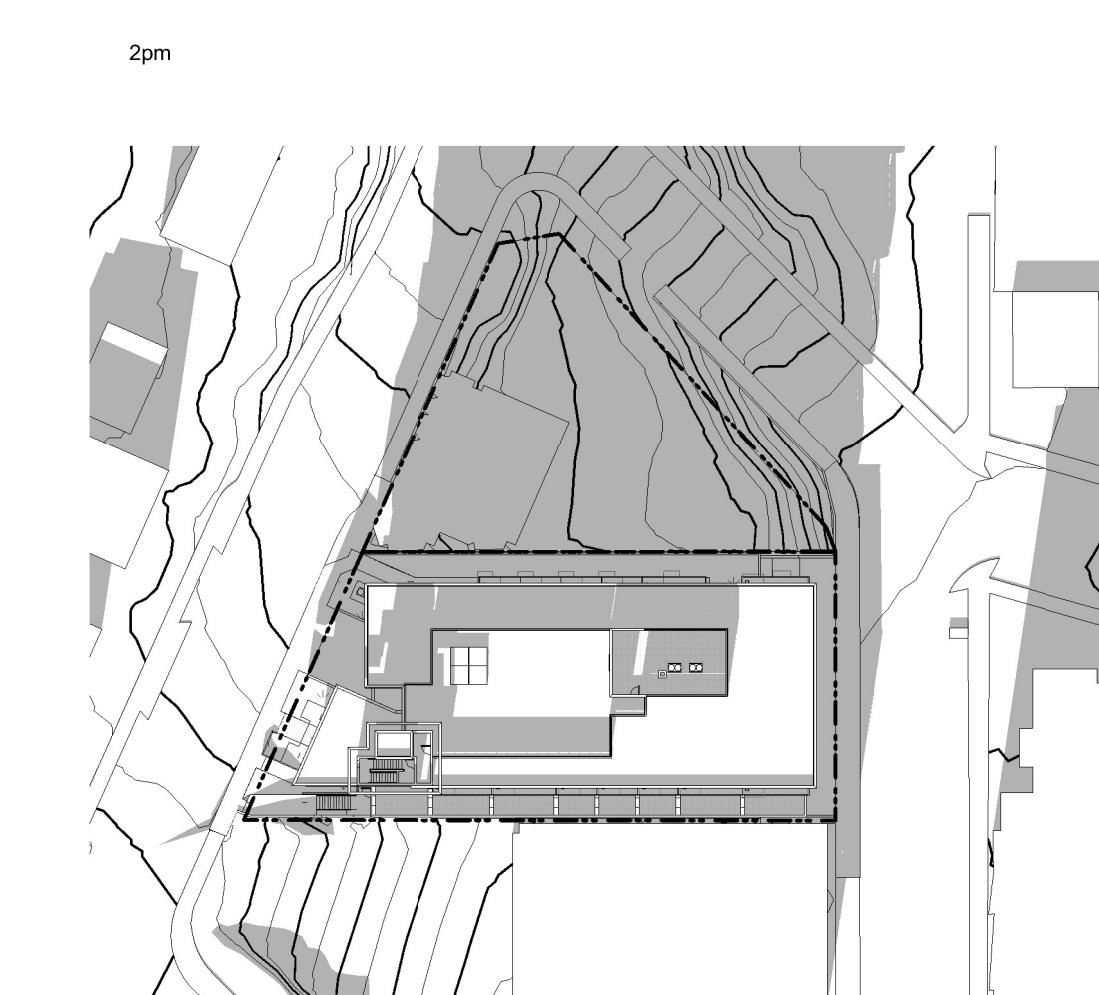
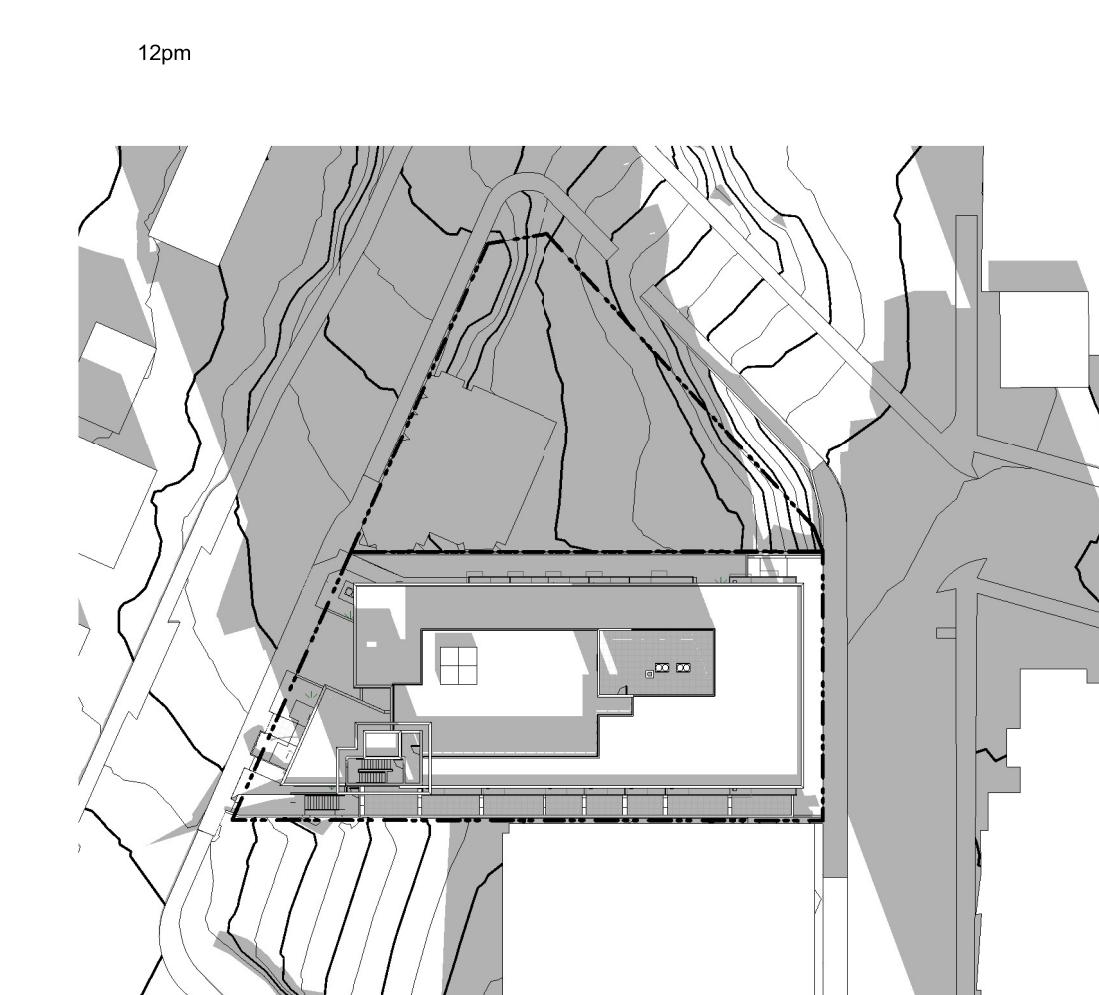
Summer Solstice



Equinox



Winter Solstice



3 25-10-30 DDP Revisions Rev2
2 25-05-02 DDP Revisions
1 23-03-30 DP / Rezoning

Rev 3 25-10-30 Description DDP Revisions Rev2
Plot Date 06/15/23 Project Status DD
Drawn By Author Checked By Checker
Scale 1:750 Project Number 2304

NOTE: All dimensions are shown in millimeters.

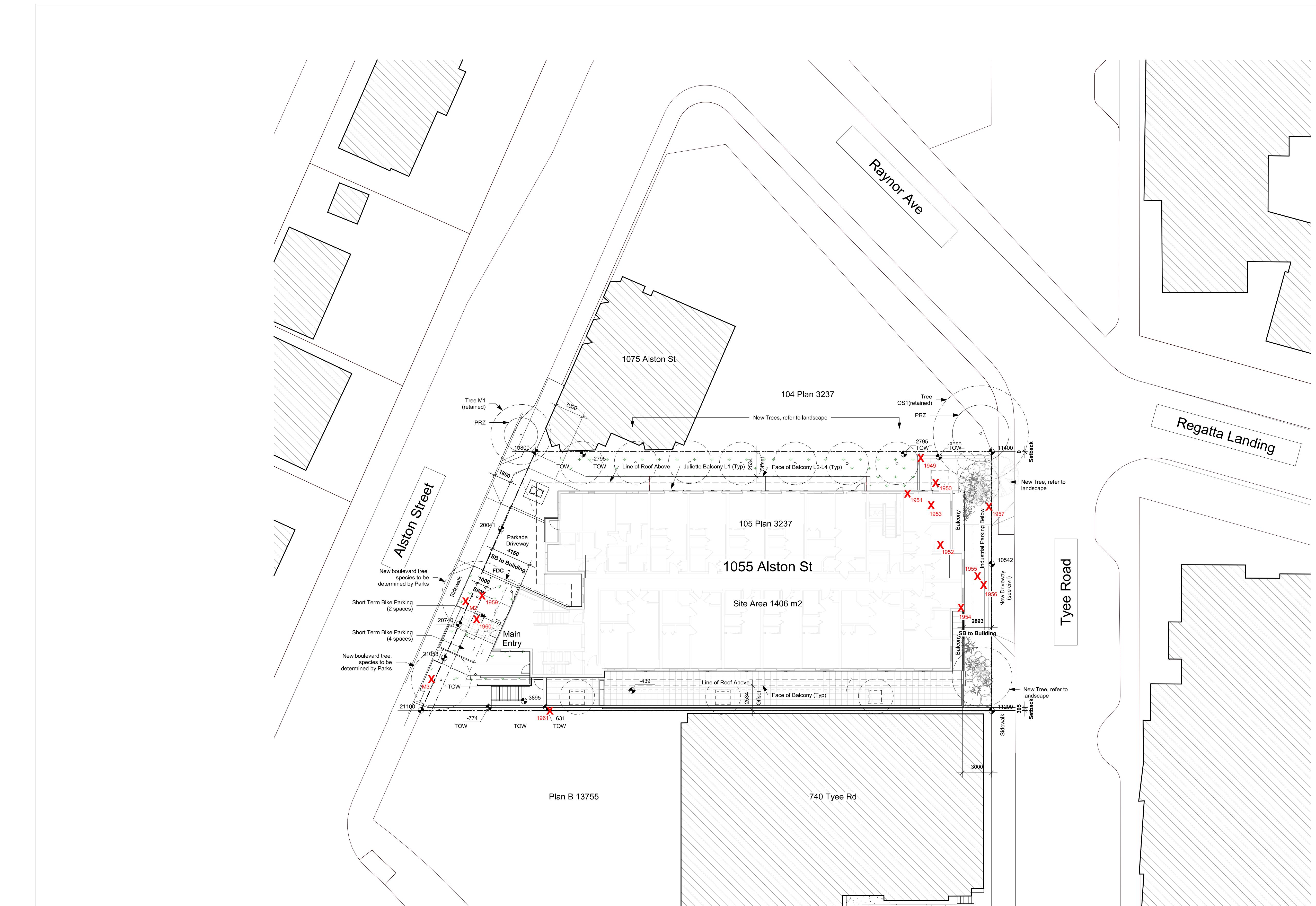
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Victoria, BC
Shadow Studies



A007

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General Notes:

1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site.

9	25-10-30	DDP Revisions F
8	24-07-22	DP / Rezoning Re
7	24-06-27	DP / Rezoning Re
6	24-04-11	DP / Rezoning Re
5	24-02-14	DP / Rezoning Re
4	23-10-26	DP / Rezoning Re
3	23-07-25	DP / Rezoning Re
2	23-03-30	DP / Rezo
1	23-03-25	CAI

Alston

1055 Alston Street Victoria, BC

Site Plan Overall

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ka

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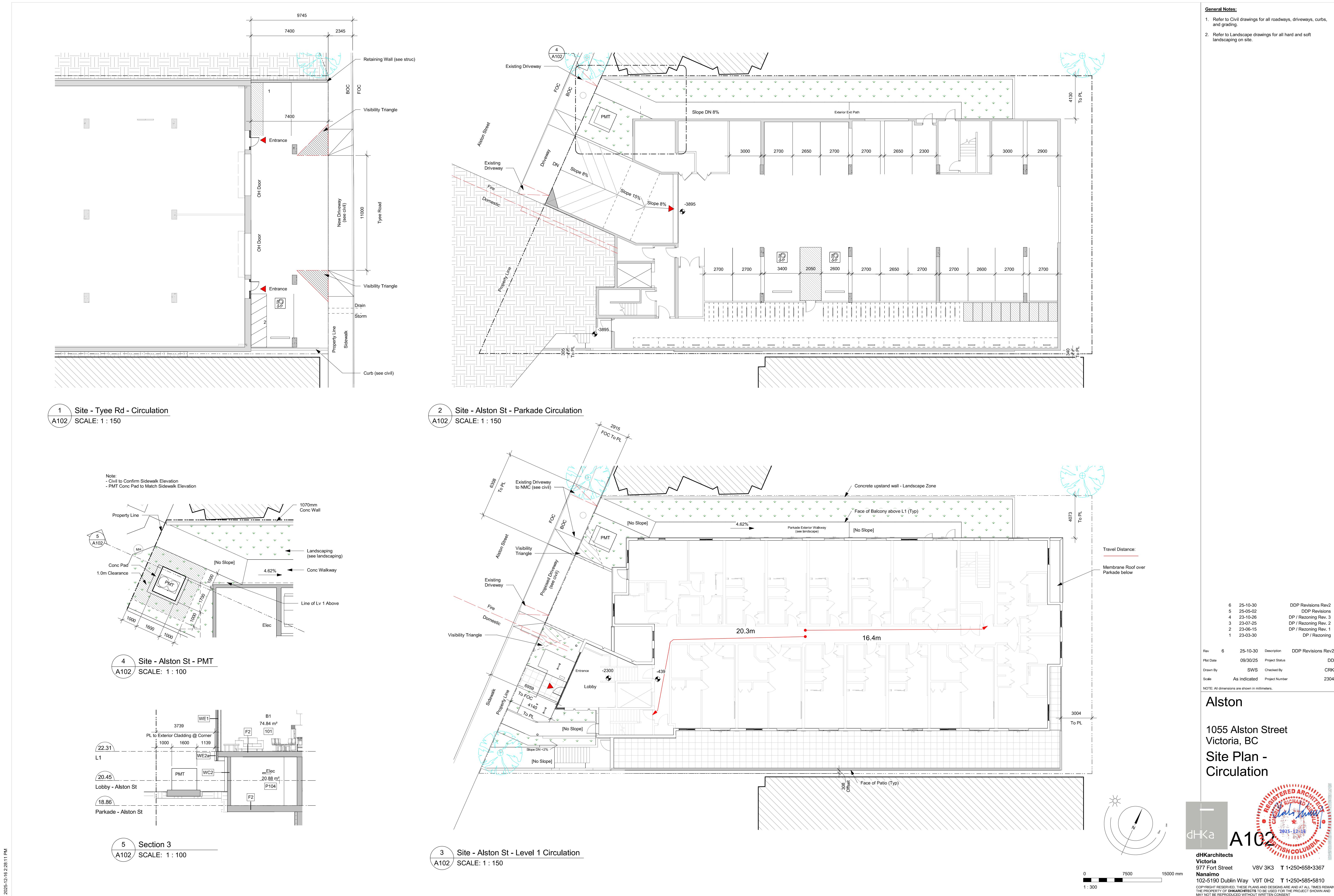
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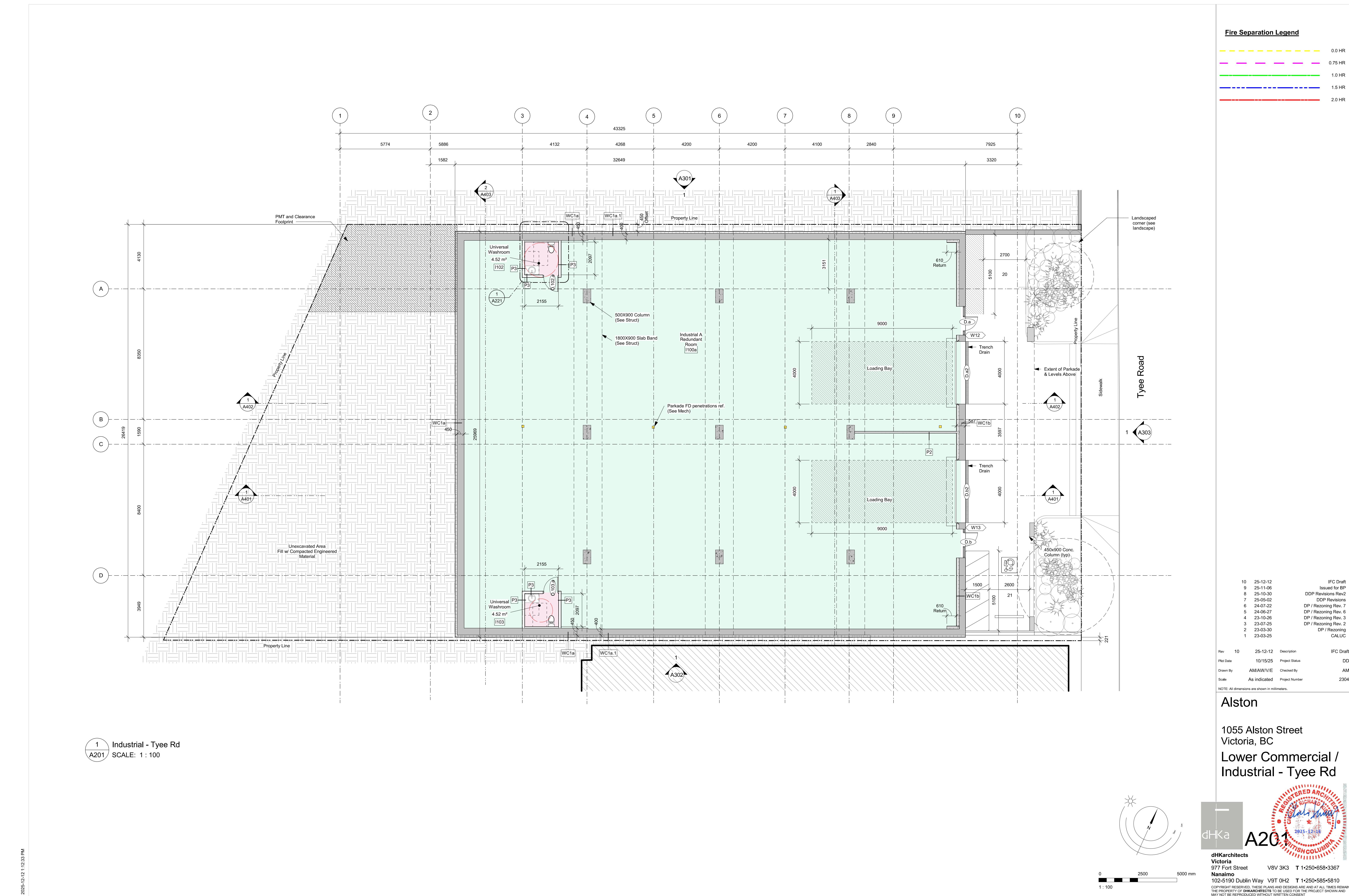
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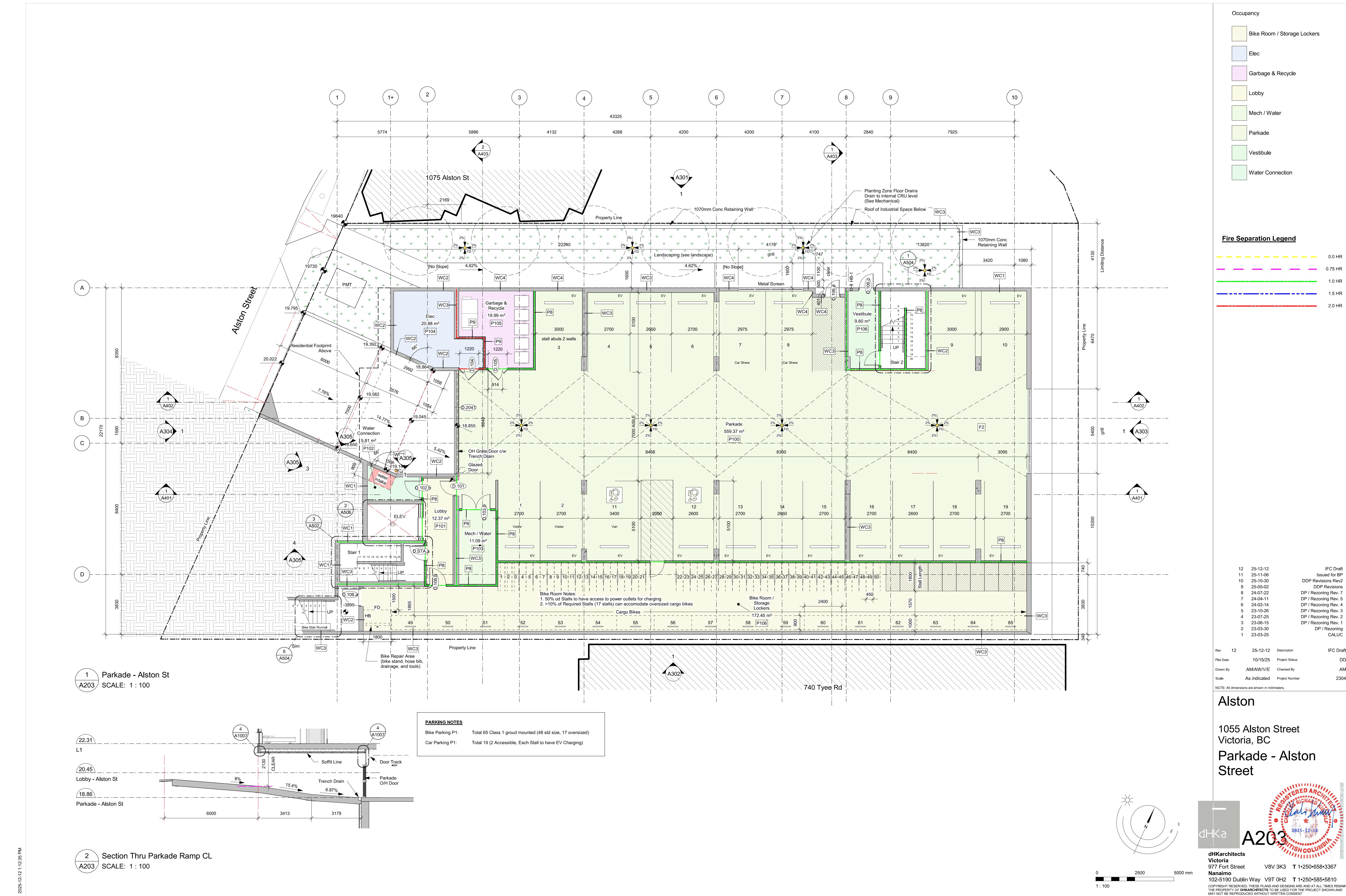
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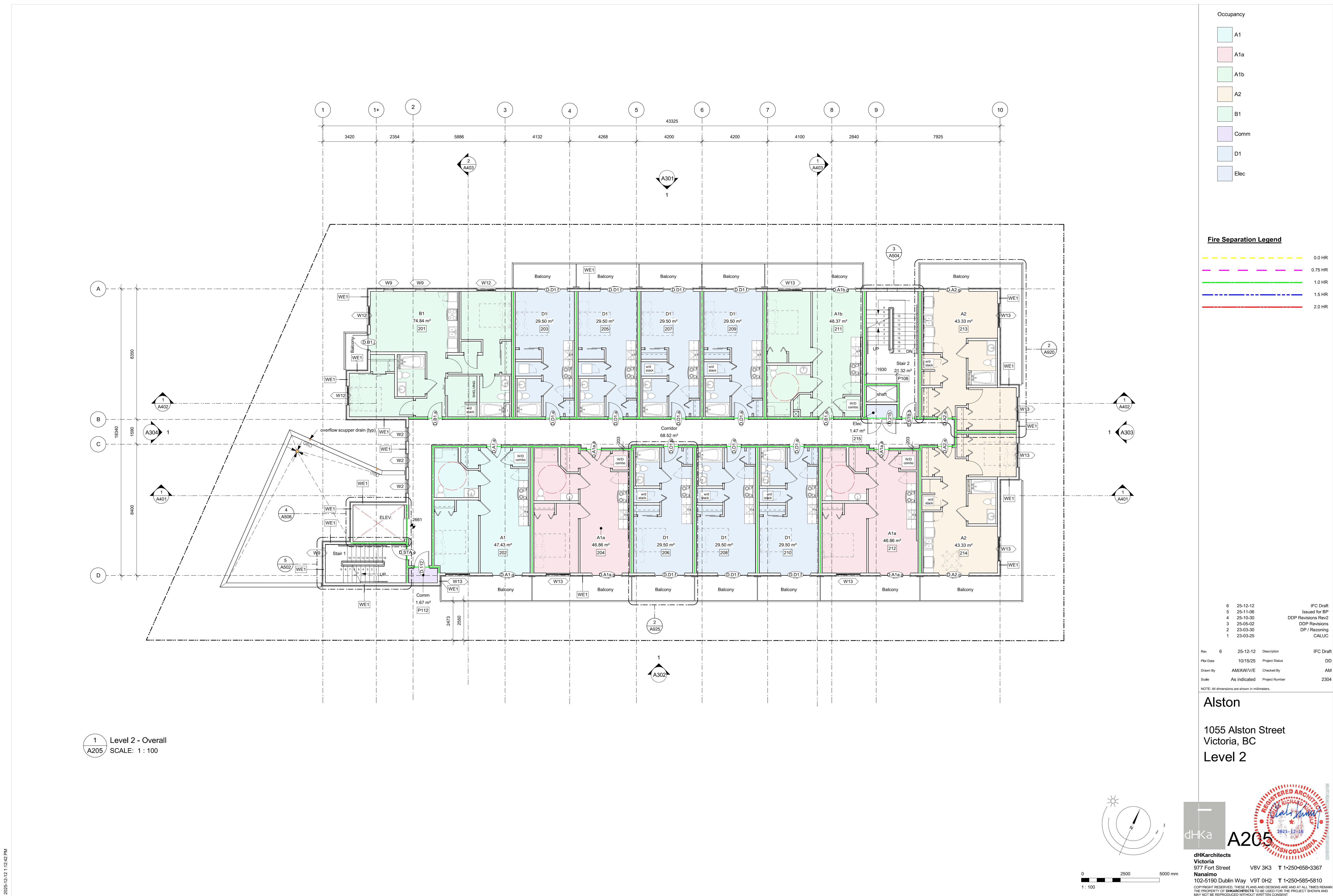
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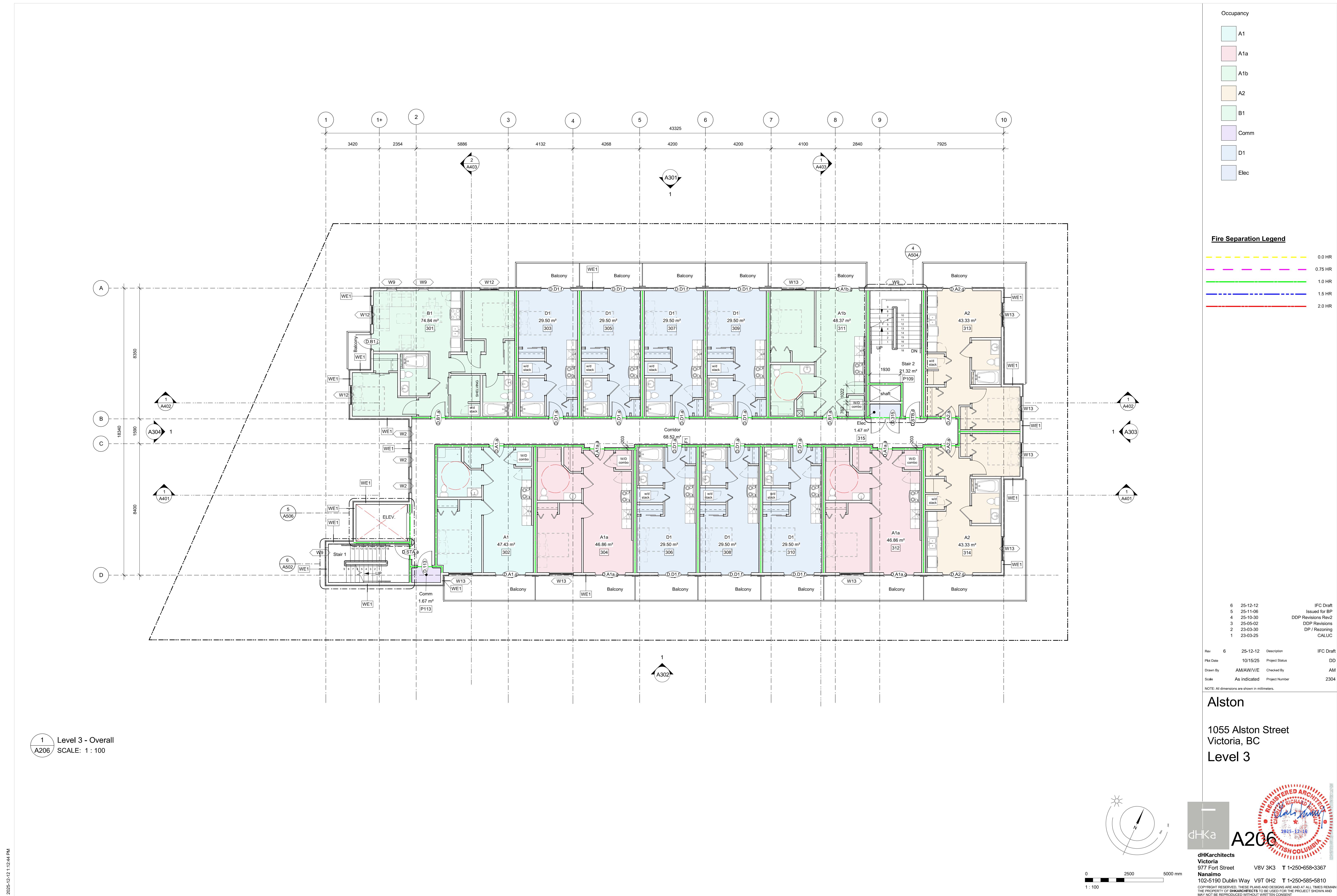
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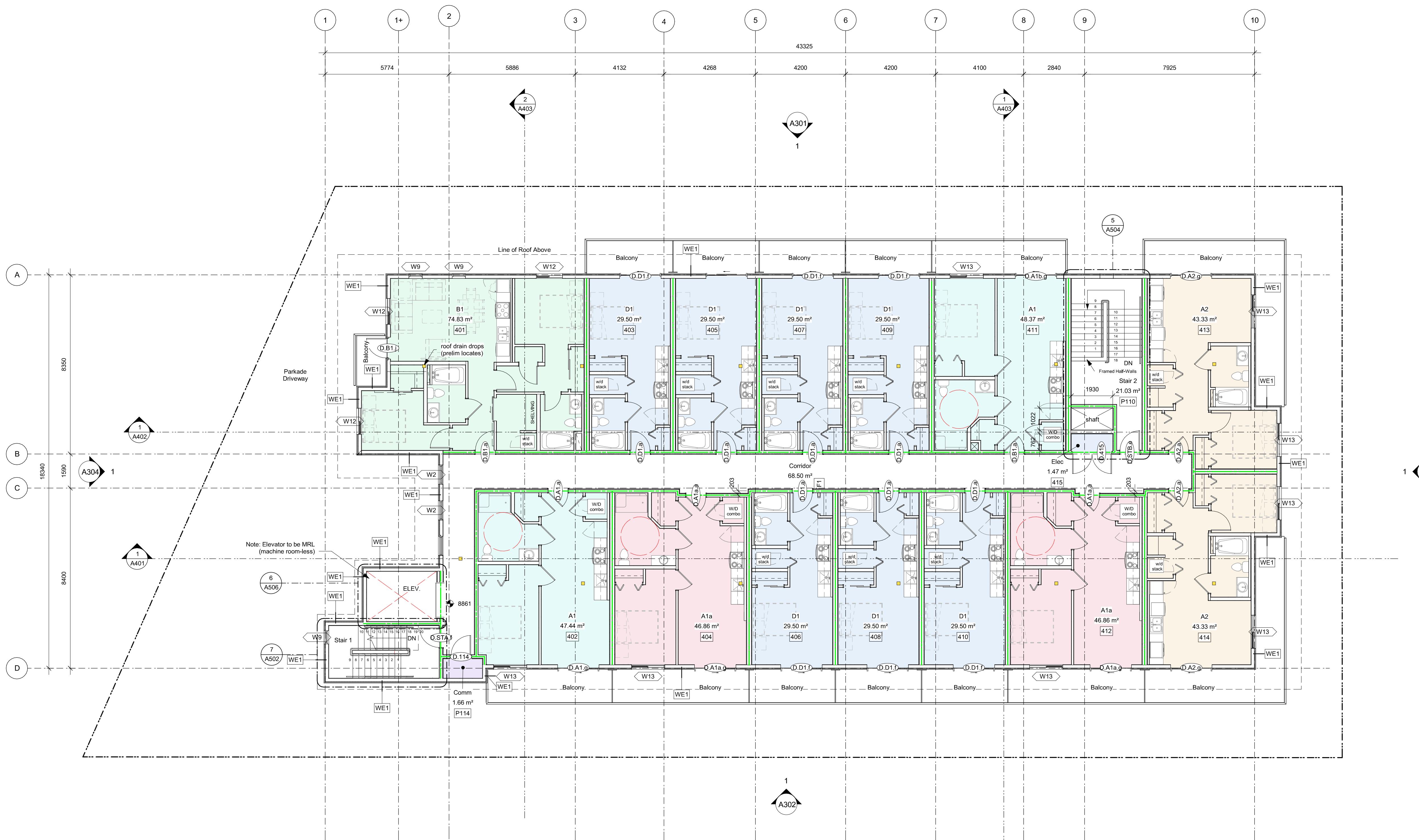












1
A207
Level 4 - Overall
SCALE: 1 : 100

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Occupancy

A vertical stack of six colored rectangles with labels to their right: A1 (light blue), A1a (pink), A2 (orange), B1 (light green), Comm (purple), D1 (light blue), and Elec (light blue).

Fire Separation Legend

6	25-12-12	IFC Draft
5	25-11-06	Issued for BP
4	25-10-30	DDP Revisions Rev2
3	25-05-02	DDP Revisions
2	23-03-30	DP / Rezoning

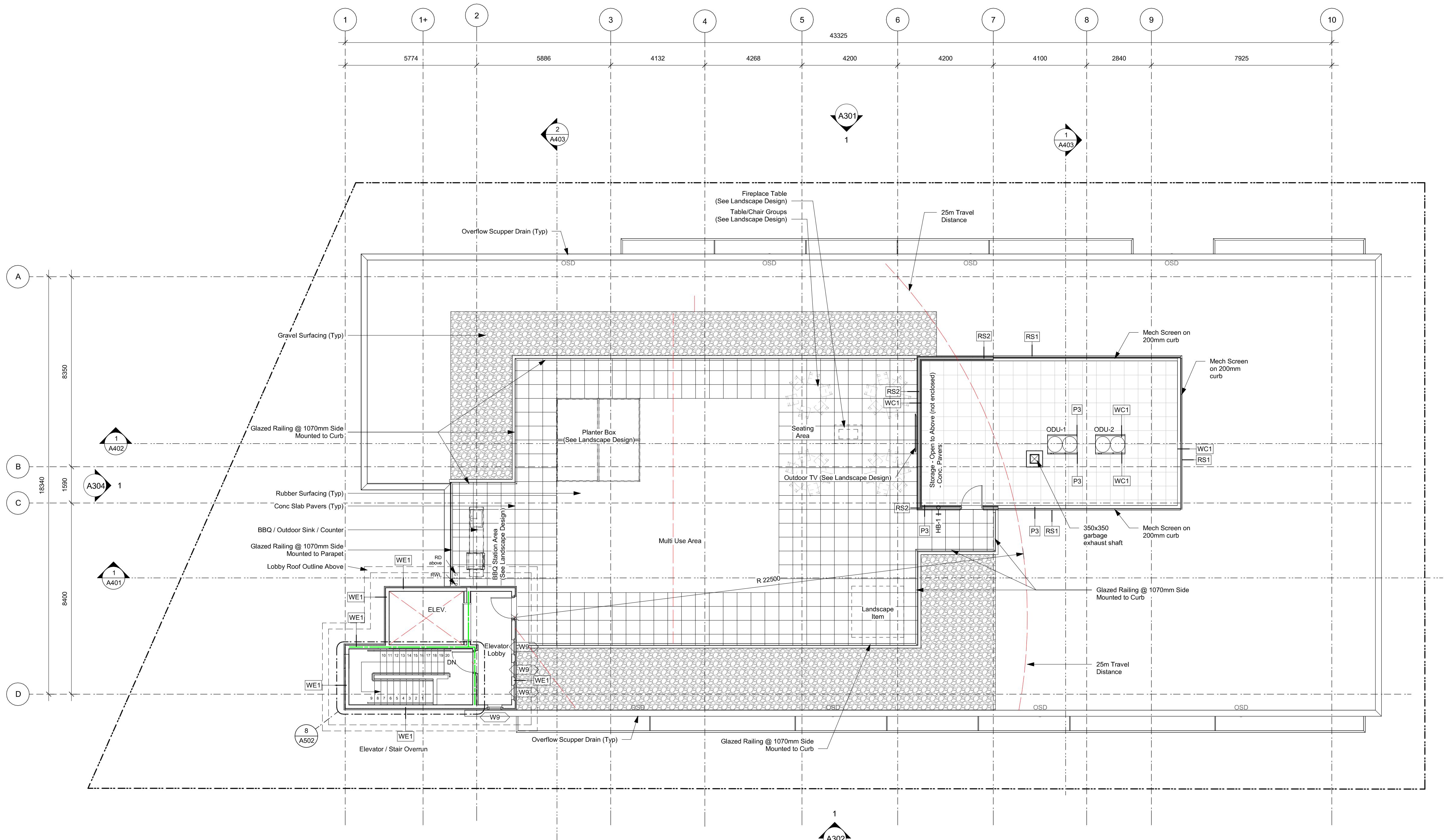
All dimensions are shown in mm

955 Alston Street
Victoria, BC
Level 4

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1 Roof Amenity Space
A208a
SCALE: 1 : 100

5 25-12-12 IFC Draft
4 25-11-06 Issued for BP
3 25-10-30 DDP Revisions Rev2
2 25-05-02 DDP Revisions
1 23-06-15 DP / Rezoning Rev. 1

Rev 5 25-12-12 Description IFC Draft
Plot Date 10/15/25 Project Status DD
Drawn By AM/AV/VE Checked By AM
Scale As indicated Project Number 2304
NOTE: All dimensions are shown in millimeters.

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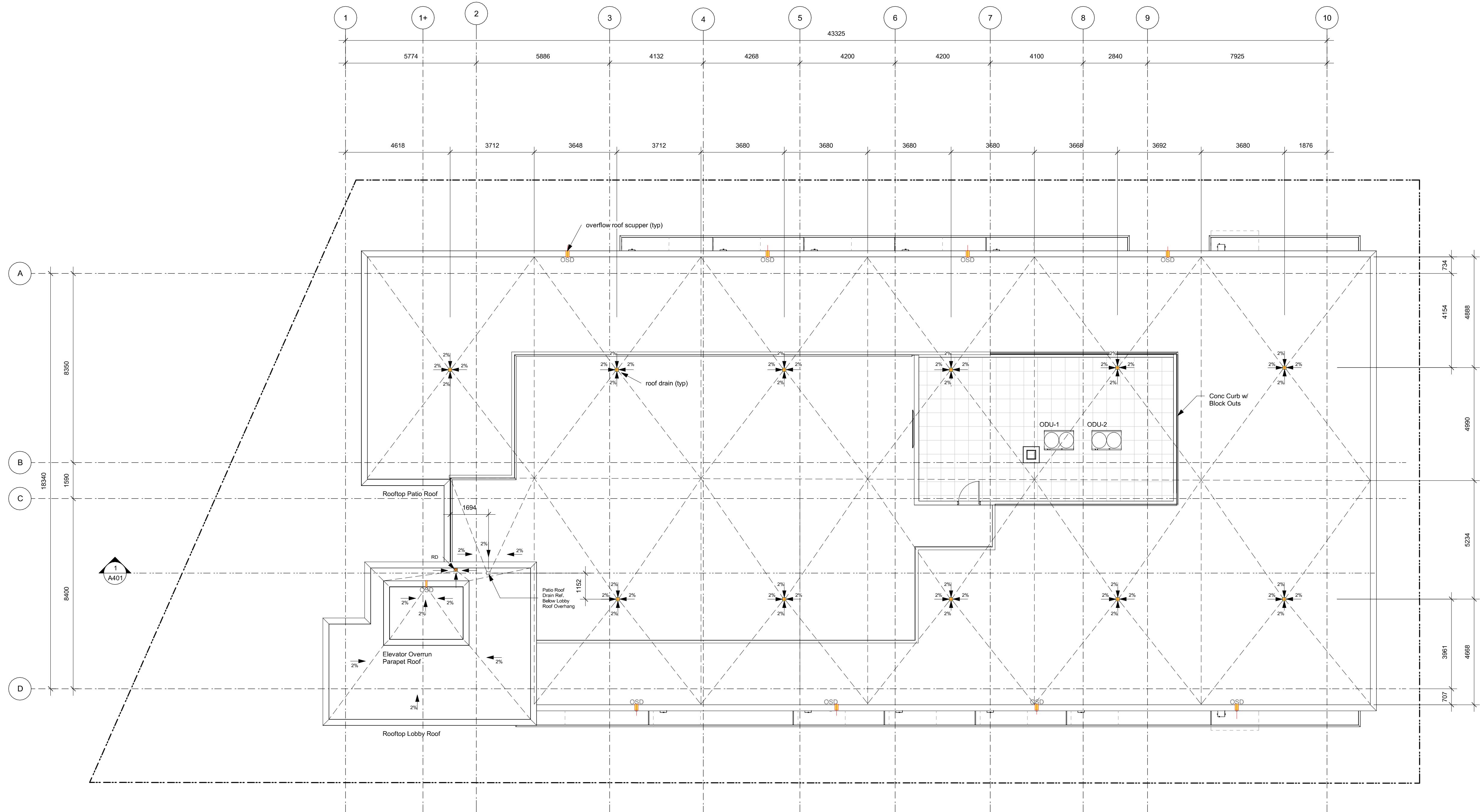
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Victoria, BC

Roof Amenity Space



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A208a

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 3 25-11-06 Issued for BP
 2 25-10-30 DDP Revisions Rev2
 1 23-06-15 DDP / Rezoning Rev. 1

Rev 4 25-12-12 Description IFC Draft
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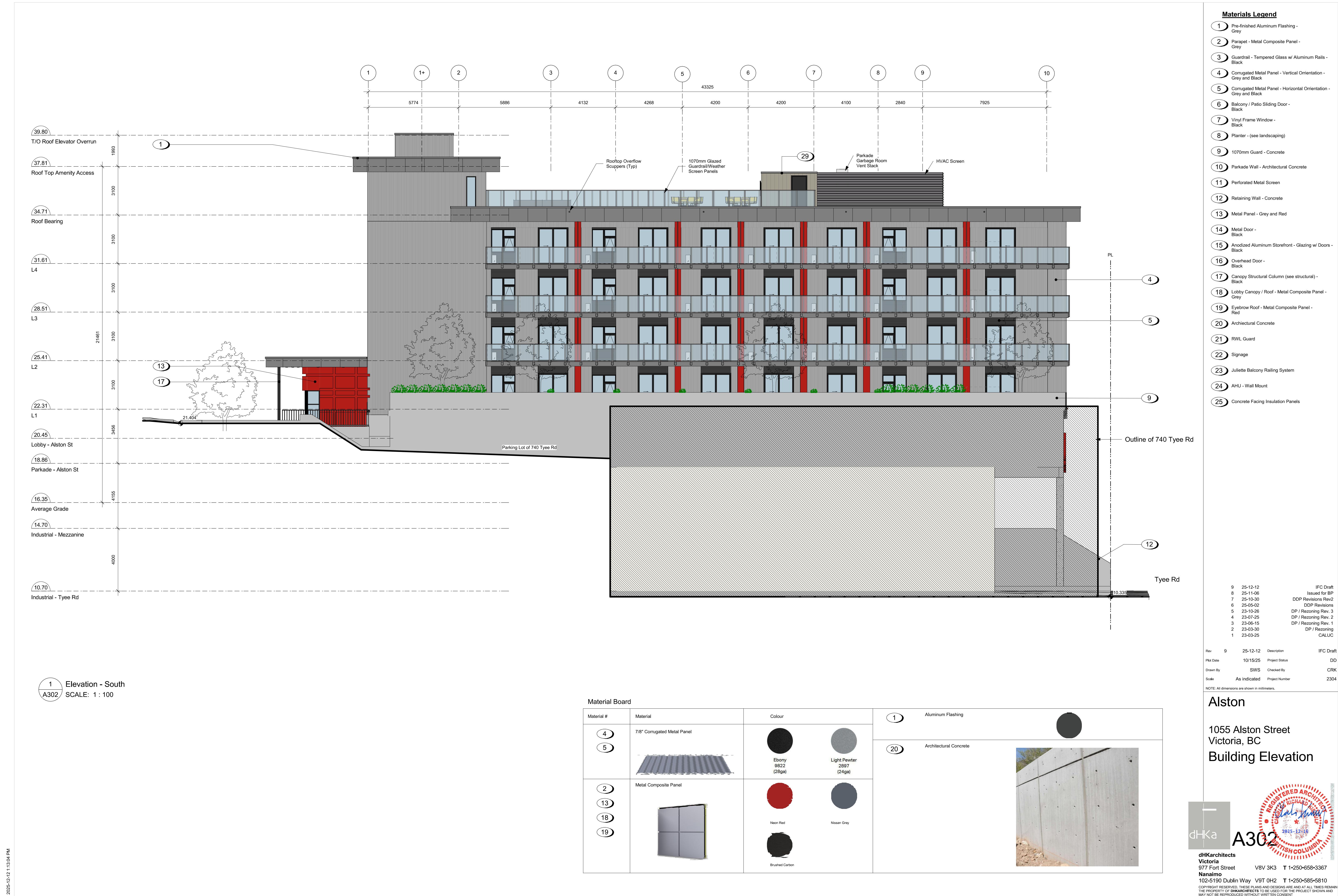
1055 Alston Street
 Victoria, BC
 Roof Drainage

dHKa A208b

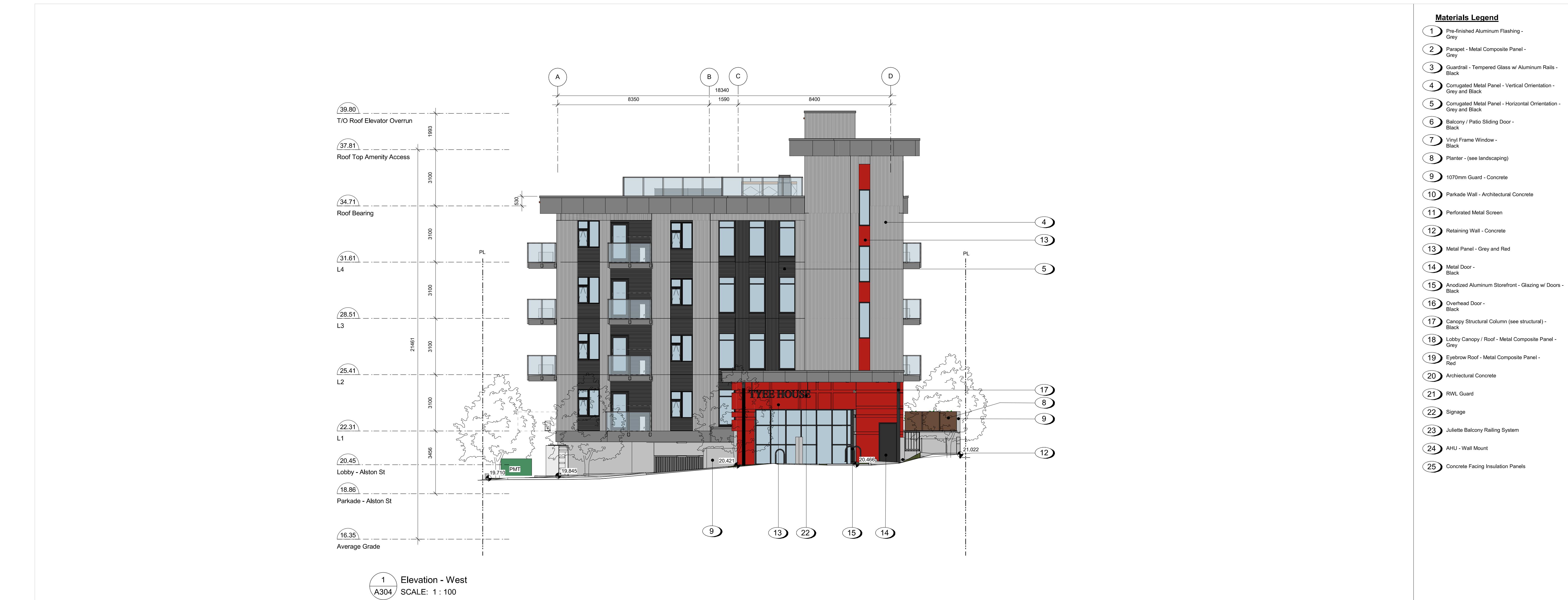
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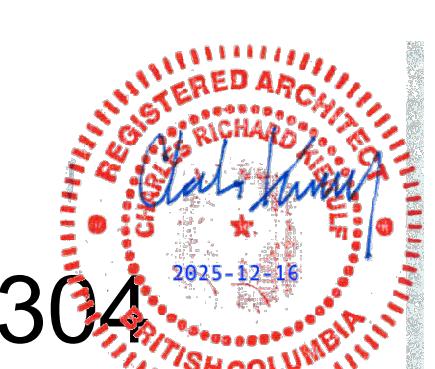






Material Board		
Material #	Material	Colour
4	7/8" Corrugated Metal Panel	Ebony 9822 (28ga)
5		Light Pewter 2897 (24ga)
2	Metal Composite Panel	Neon Red
13		Nissan Grey
18		Brushed Carbon
19		

Alston
1055 Alston Street
Victoria, BC
Building Elevation



A304

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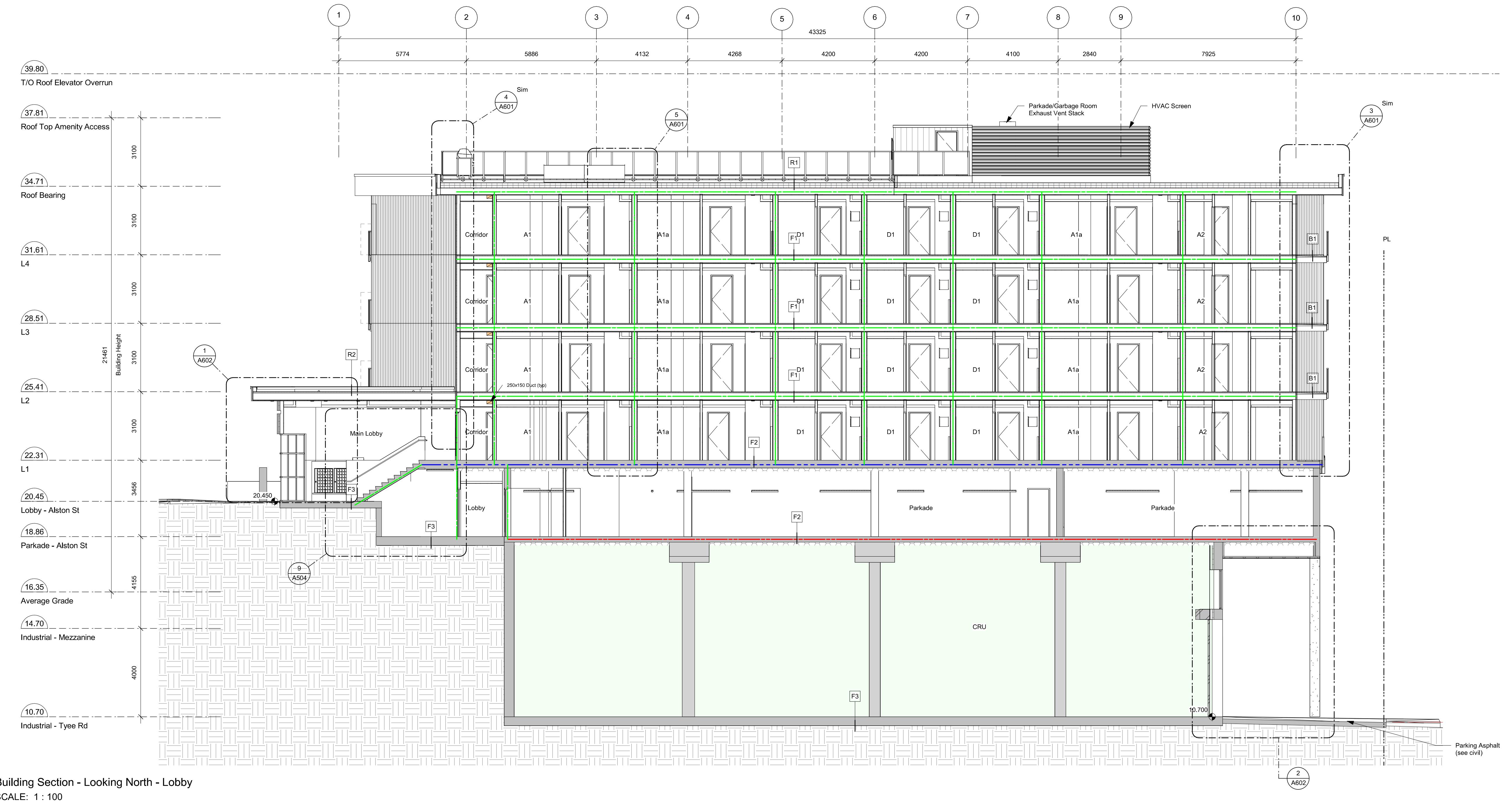
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2025-12-

Fire Separation Legend

0.0 HR
0.75 HR
1.0 HR
1.5 HR
2.0 HR



7 25-12-12 IFC Draft
 6 25-11-06 Issued for BP
 5 25-10-30 DDP Revisions Rev2
 4 25-05-02 DDP Revisions
 3 23-10-26 DP / Rezoning Rev. 3
 2 23-07-25 DP / Rezoning Rev. 2
 1 23-06-15 DP / Rezoning Rev. 1

Rev 7 25-12-12 Description IFC Draft
 Plot Date 10/15/25 Project Status DD
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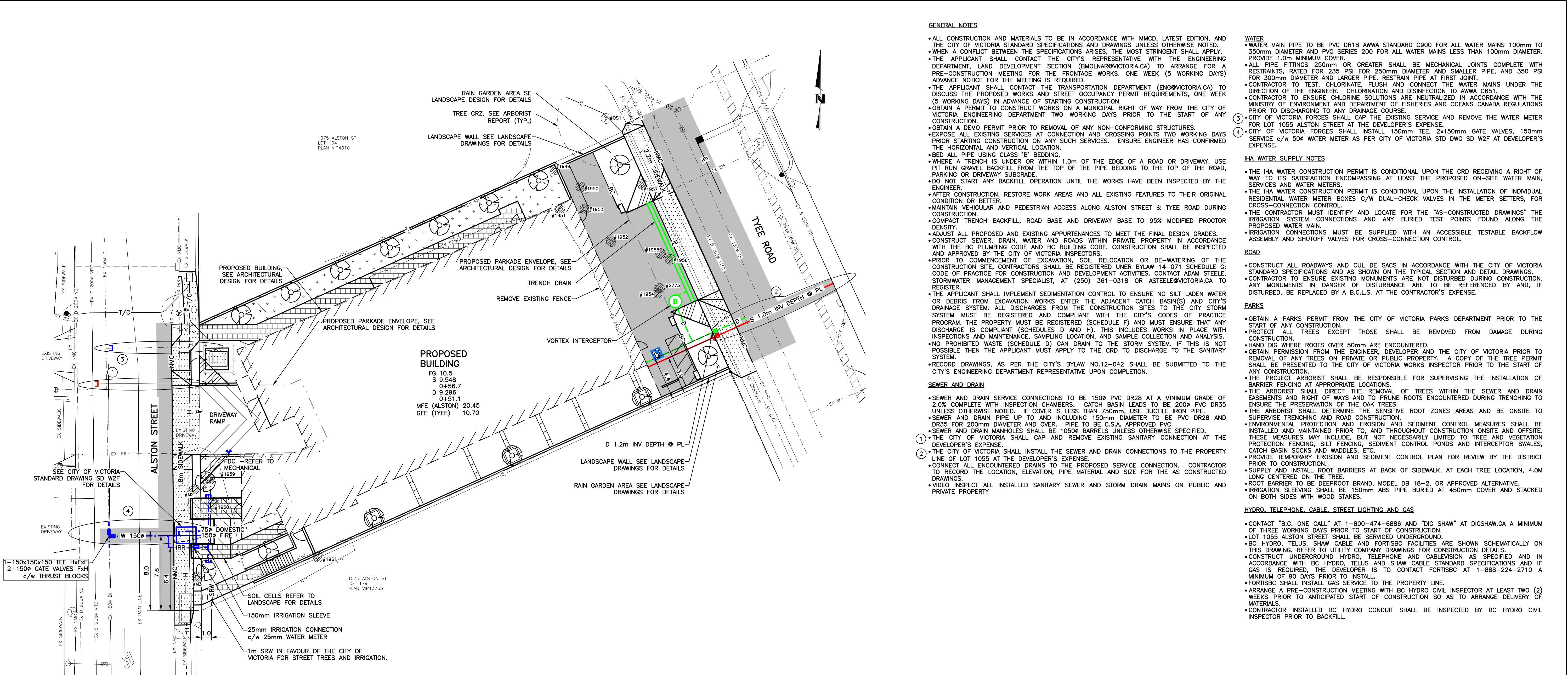
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1055 Alston Street
 Victoria, BC

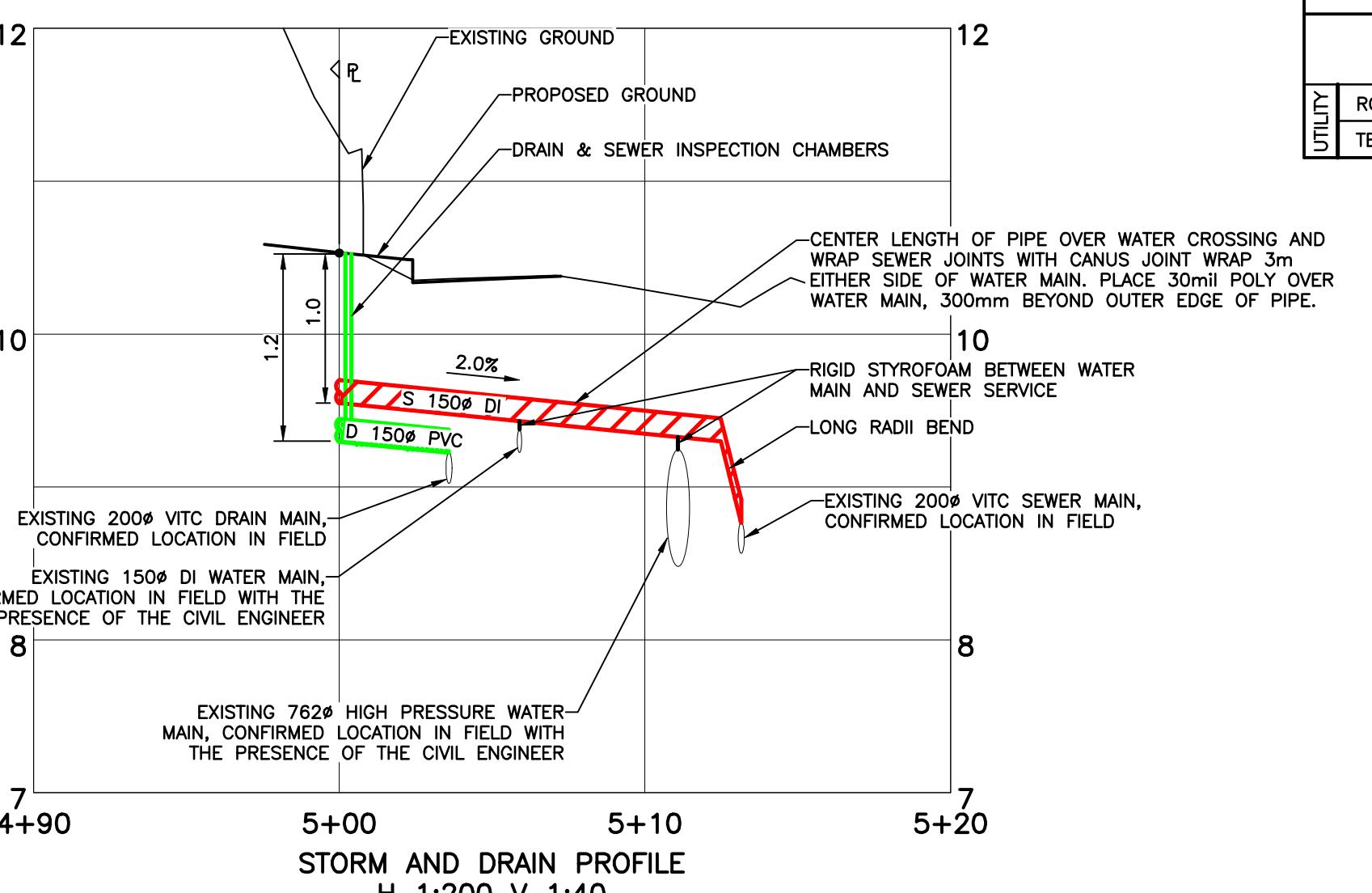
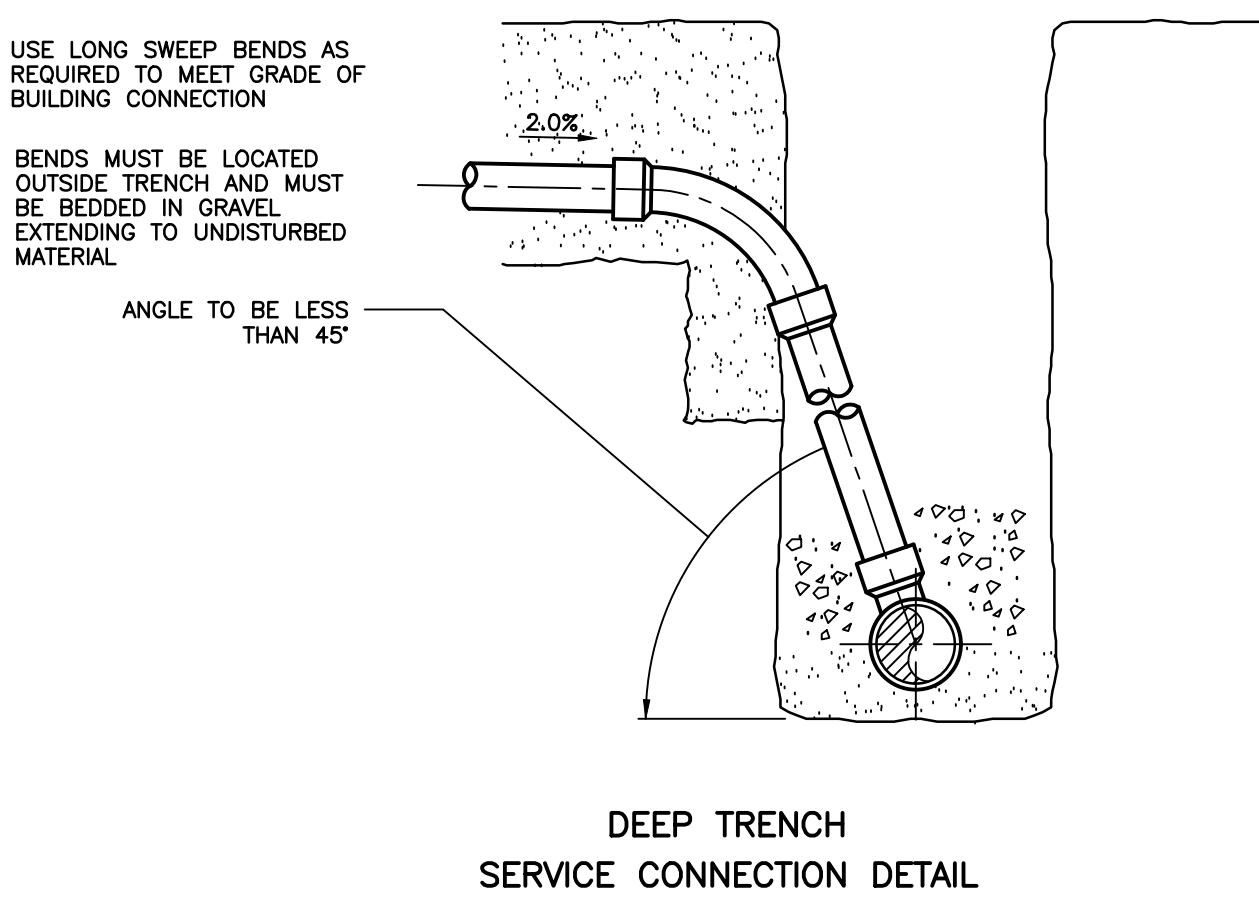
**Building Section -
 Looking North**

A401
 dHKArchitects
 Victoria
 977 Fort Street V8V 3K3 T 250-658-3367
 Nanaimo 102-5190 Dublin Way V9T 0H2 T 250-585-5810
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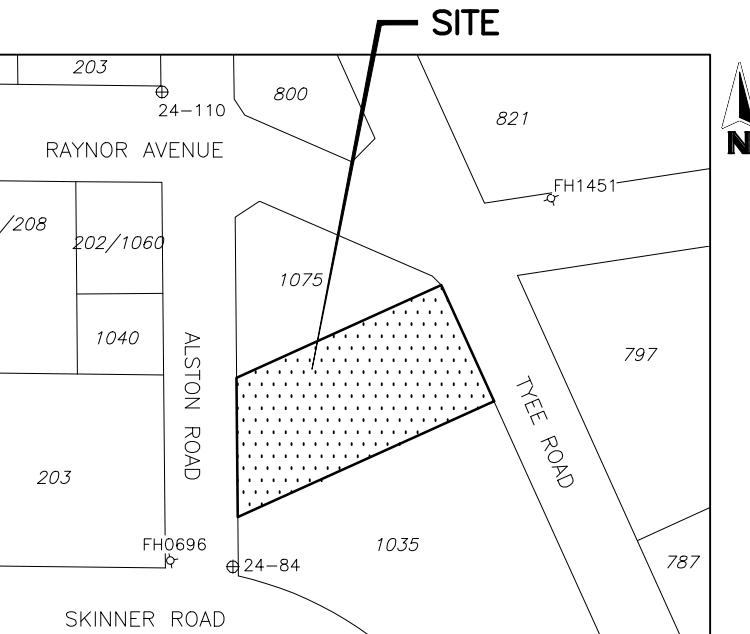
1055 ALSTON STREET SITE PLAN

SCALE: 1:200

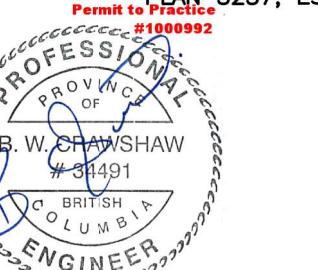


WORKS AND SERVICES CHECK TABLE			
COMPANY	AUTHORIZED REPRESENTATIVE		DATE
	NAME	SIGNATURE	
ROGERS TELUS			

LEGEND	
APPROXIMATE EXTENT OF ASPHALT PAVING	EXISTING TREE TO REMAIN
PROPOSED CONCRETE DRIVEWAY/SIDEWALK	EXISTING TREE TO BE REMOVED
SIGHT TRIANGLE	PROPOSED TREE REFER TO LANDSCAPE
ON SITE PAVING, SEE ARCHITECTURAL DESIGN FOR DETAILS	FINISHED GROUND @ INSPECTION CHAMBERS
TOPSOIL / STRUCTURAL SOIL AREA SEE LANDSCAPE DESIGN FOR DETAILS	GARAGE FLOOR ELEVATION
SOIL CELLS REFER TO LANDSCAPE FOR DETAILS	MAIN FLOOR ELEVATION

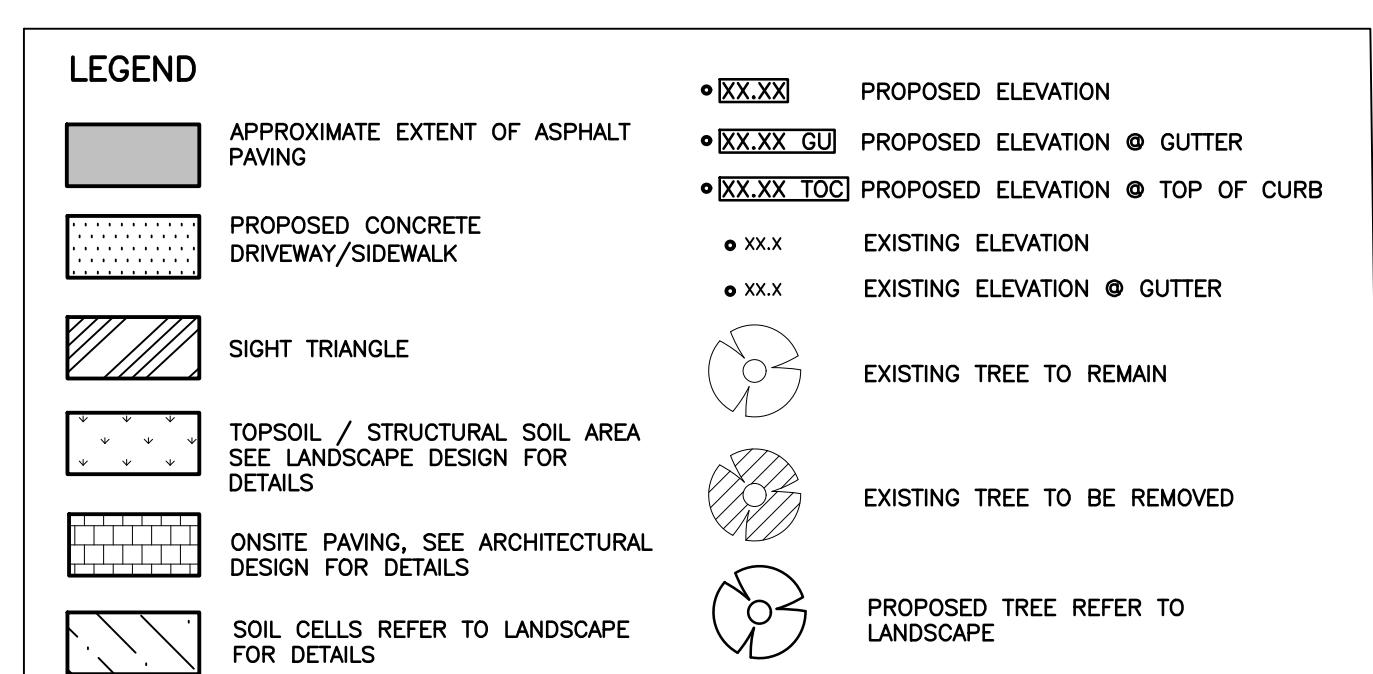
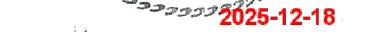
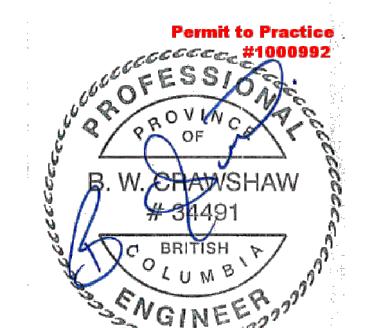
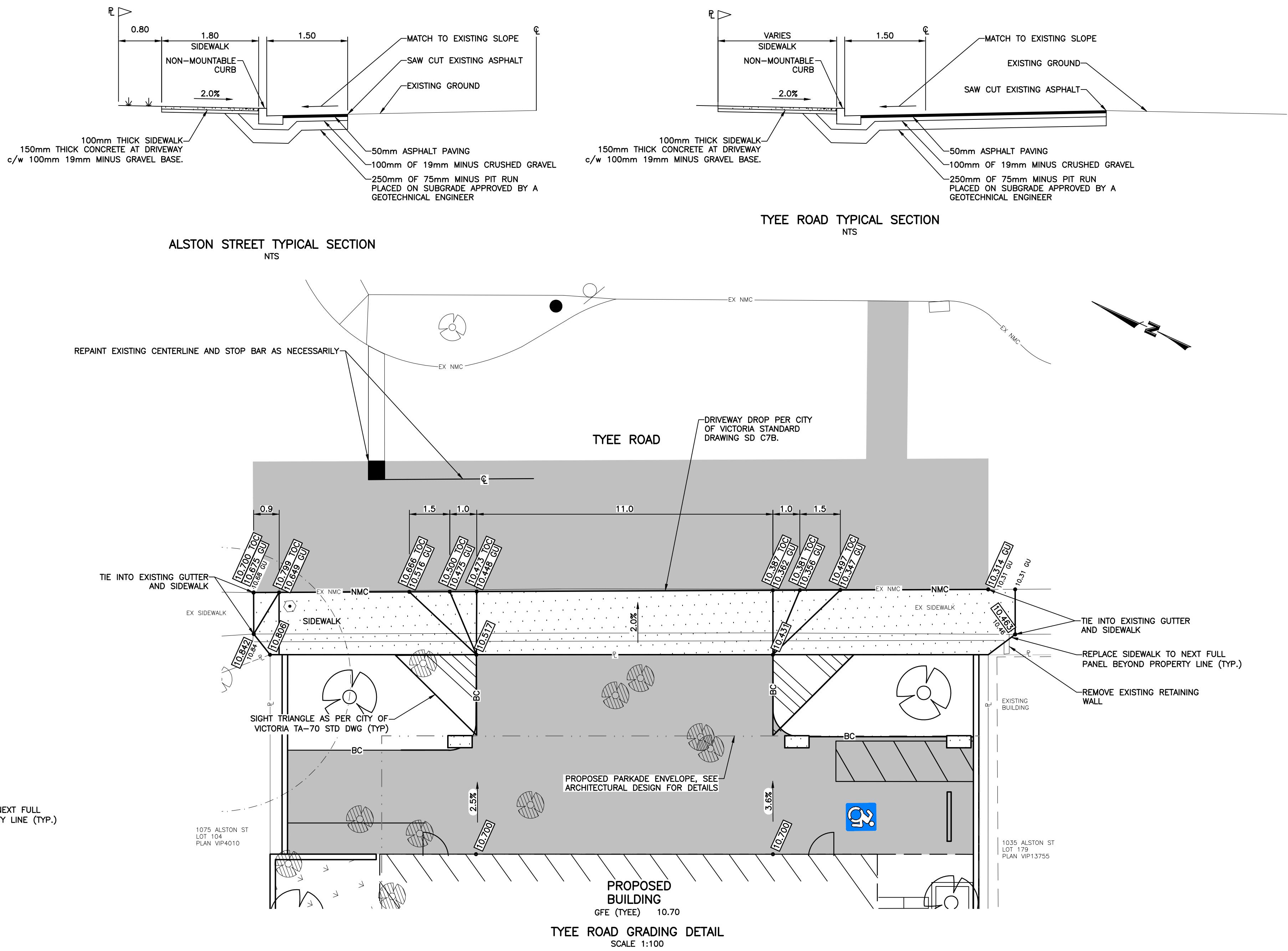
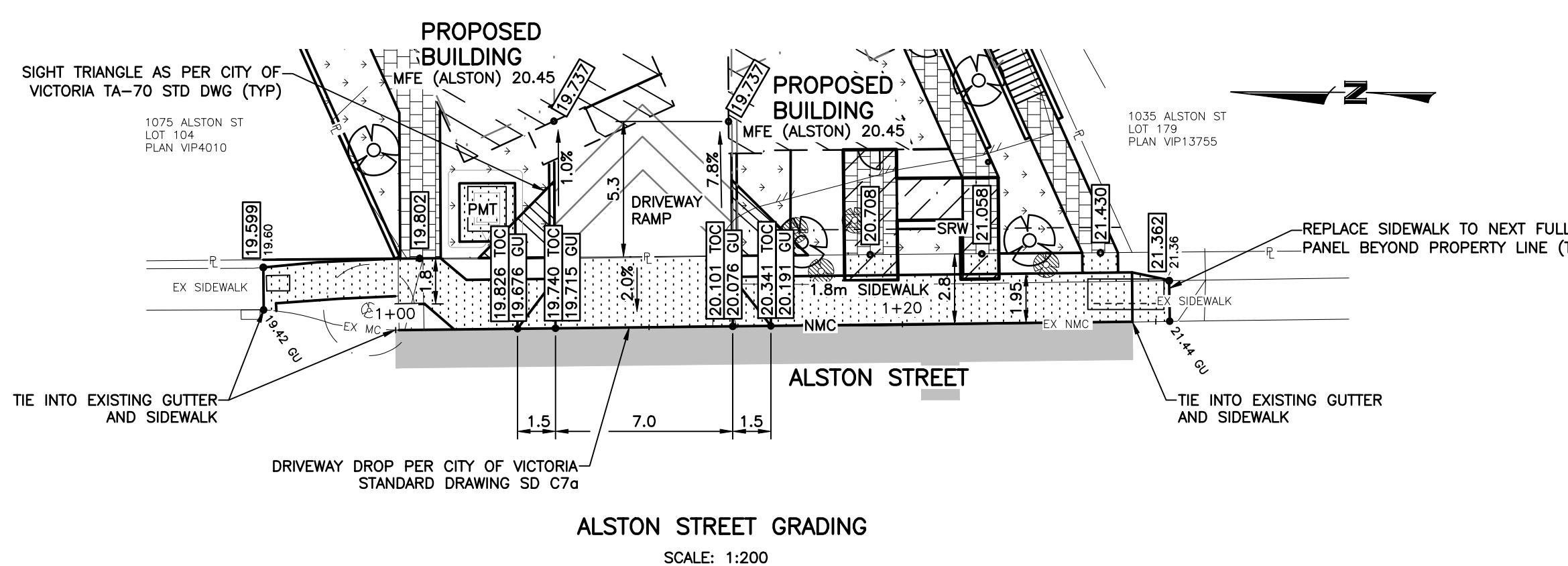
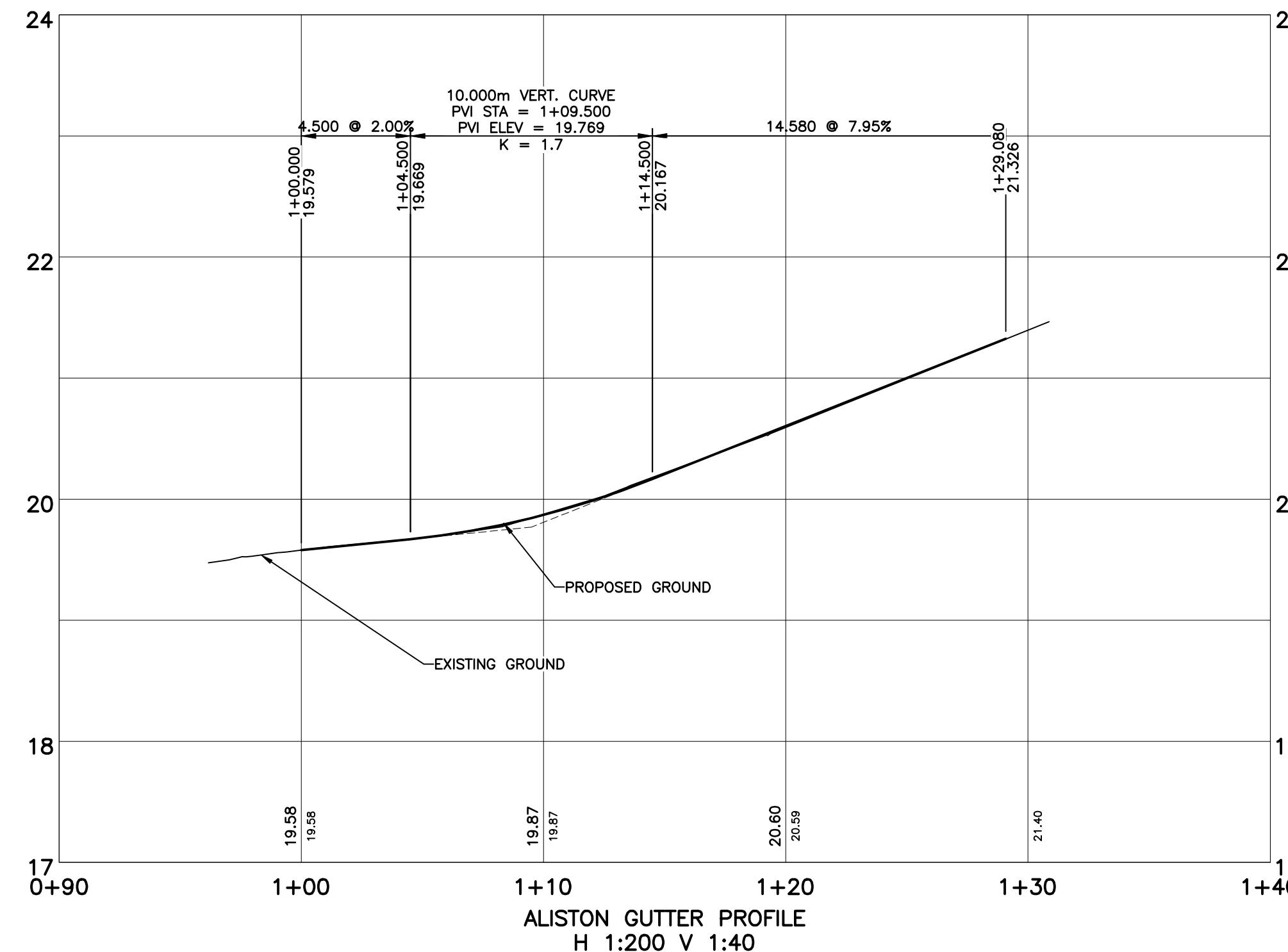


PROPOSED DEVELOPMENT OF LOT 105, DISTRICT LOT 119, PLAN 3237, ESQUIMALT DISTRICT INCLUDED WITH PLAN 4010.



2025-12-18

PROJECT	WESTBROOK PROJECT No.
1055 ALSTON ROAD	4091
SAKURA PROPERTY DEVELOPMENT	
SERVICING PLAN, DETAILS AND, GENERAL NOTES	
GOVERNING AUTHORITY FILE No.	WESTBROOK DRAWING No.
1 2 REV. 6	4091-01



#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND							
WATER	—W—	GAS	—G—	EXISTING U/G UTL.	MANHOLE	◎	HYDRANT
SEWER	—S—	CURB	—C—	PROPOSED U/G UTL.	CLEANOUT	◎	VALVE
DRAIN	—D—	SIDEWALK	<u>S/W</u>	LIGHT STANDARD	CATCHBASIN	□	METER
DITCH	→ →	EDGE PAVE.		POWER POLE	ROAD SIGN	▶	REDUCER
CULVERT	—X—	BUSHLINE		ANCHOR	—→		
HEADWALL	—Y—	TREE					

REVISIONS				DESIGNED	BC
				DRAWN	NC
6	ISSUED FOR DEVELOPMENT PERMIT	251210	IY	CHECKED	JS
5	ISSUED FOR BUILDING PERMIT	251021	PC	DATE	23.03.14
4	DRAFT BUILDING PERMIT	250815	JS	B.M.	24-84
3	REISSUED FOR DEVELOPMENT PERMIT	240722	NC	ELEV.	22.250
2	REISSUED FOR DEVELOPMENT PERMIT	240627	NC	SCALE	Horz. 1:200
1	REISSUED FOR BUILDING PERMIT	240627	NC	VIEW	1:100

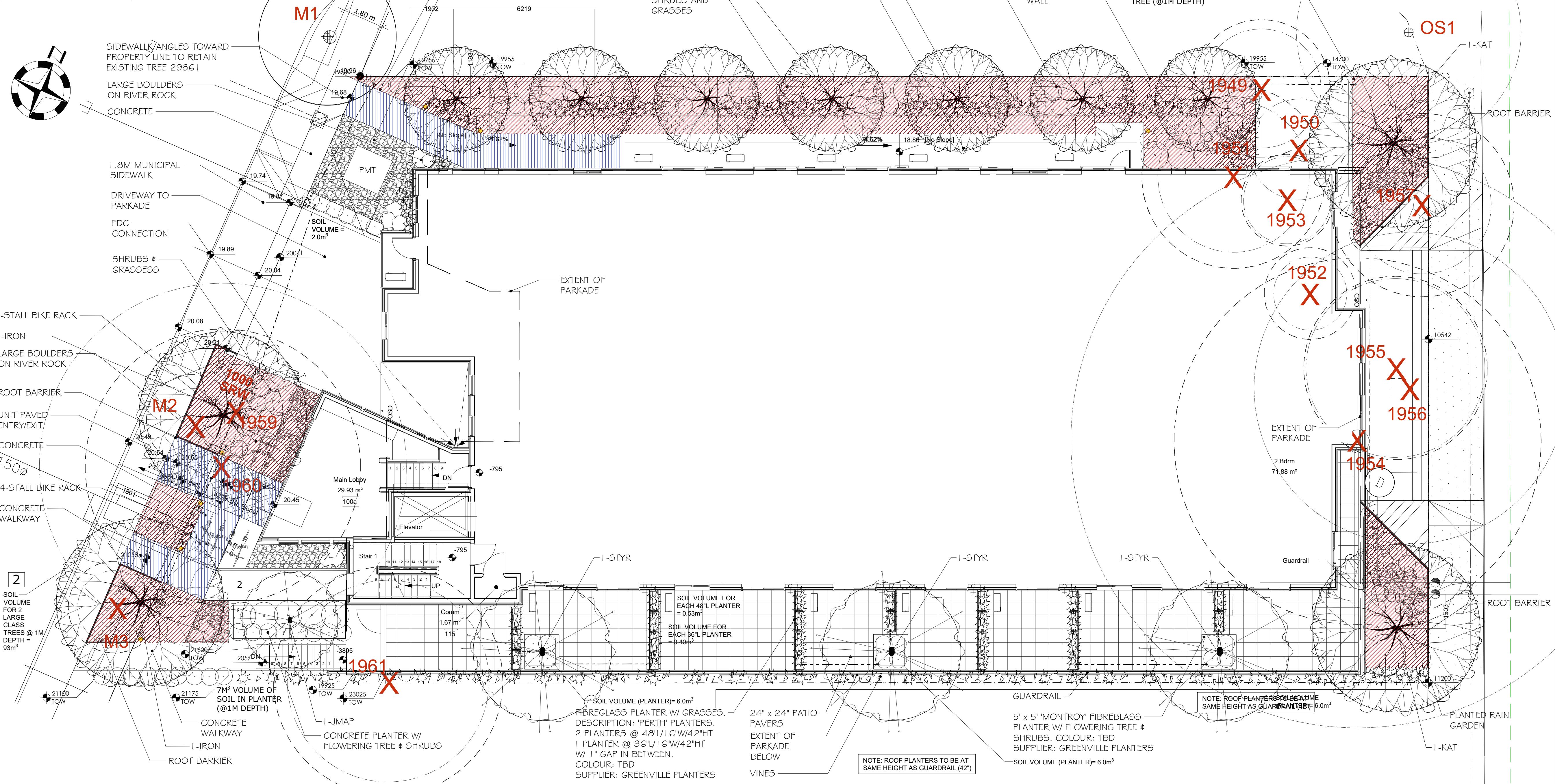
PROJECT
1055 ALSTON ROAD
SAKURA PROPERTY DEVELOPMENT
GRADING PLAN
AND TYPICAL SECTIONS

WESTBROOK PROJECT No.	
4091	
GOVERNING AUTHORITY FILE No.	
SHEET	OF
2	2
REV. 6	
WESTBROOK DRAWING No.	
4091-02	

STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND AND BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P4 (TREE PLANTING IN BOULEVARD) OR SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.

A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

NOTE: AT LEAST 30% OF ALL PLANTINGS ON SITE SHALL BE NATIVE PLANTS.

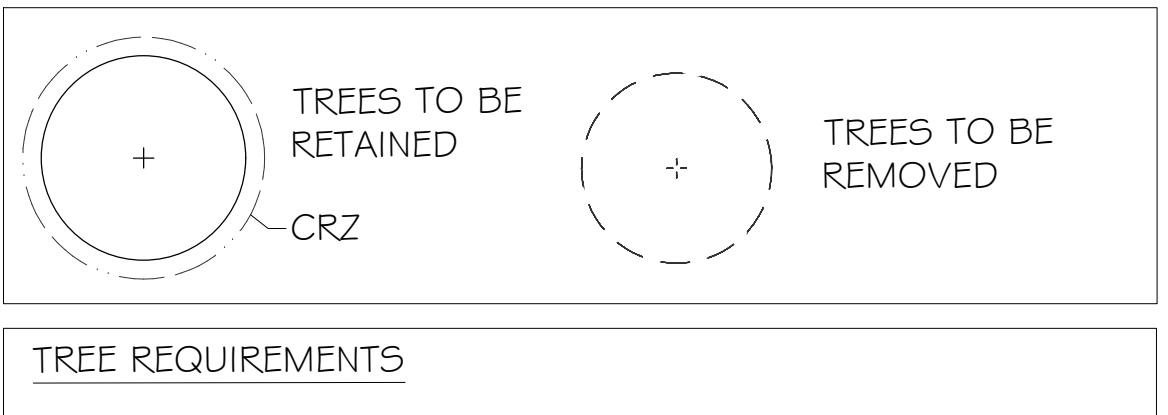
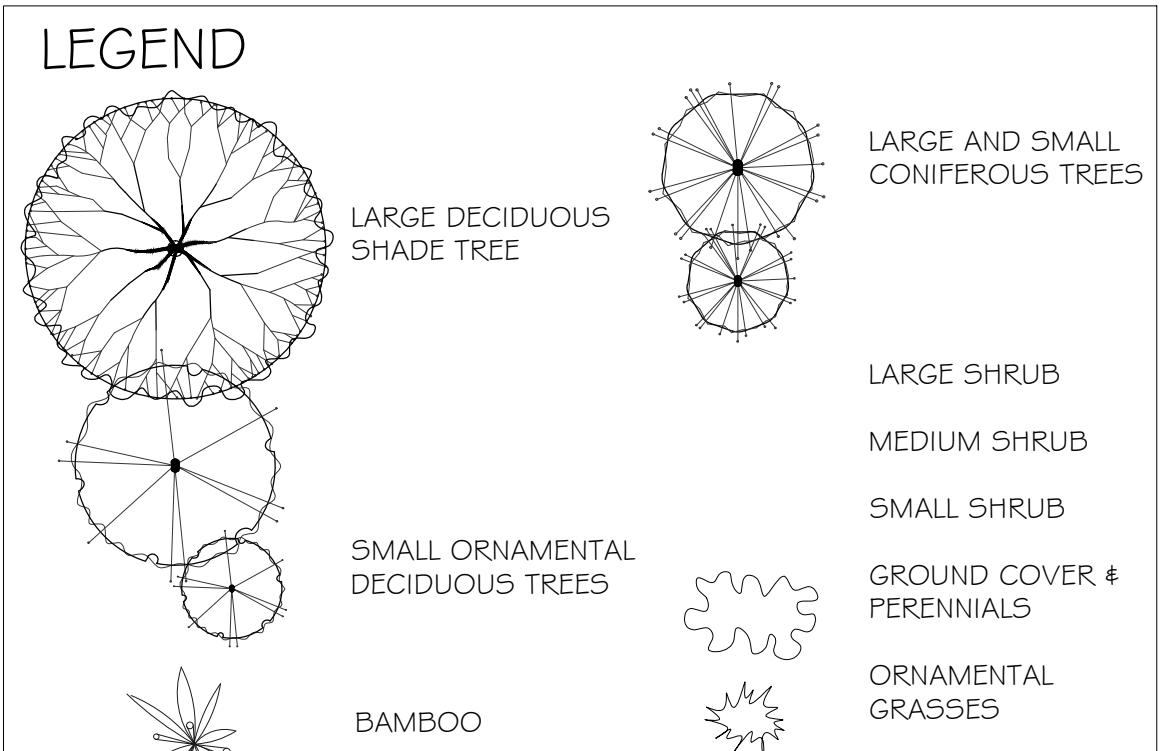


SUGGESTED IRRIGATION SLEEVE LOCATION

NOTE:
- CONTRACTOR SHALL ENGAGE THE SERVICES OF A BRITISH COLUMBIA CERTIFIED IRRIGATION DESIGN PROFESSIONAL IN ACCORDANCE WITH THE IABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS, MOST RECENT EDITION.

SUGGESTED PLANT LIST					
Key	Common Name	Latin Name	Size	Native Plant	
Trees	OLP4 (7)	Columnar English Oak	6 cm Cal.		
	STYR (8)	Japanese Snowbell	6 cm Cal.		
IRON (2)	Ironwood	Acer virginiana	7 cm Cal.		
JMAP (1)	Japanese Maple	Acer palmatum var. 'Bloodgood'	6 cm Cal.		
KAT(2)	Katsura Tree	Cercidiphyllum japonicum	8cm Cal		
LARGE SHRUBS	PIER	Lily of the Valley Shrub	#5 Pot		
	PTYL	Golden Bamboo	#7 Pot		
MAH	Oregon Grape	Mahonia aquifolium	#5 Pot	☒	
THU	Upright Cedar	Thuja occidentalis var. 'Smaraq'	#7 Pot		
LRHA	Paula Rhododendron	Rhododendron 'Paula'	#7 Pot		
LRHB	Rhododendron	Rhododendron 'Morphina'	#7 Pot		
MEDIUM SHRUBS	MRHA	Rhododendron	Rhododendron var. 'Christmas Cheer'	#5 Pot	
	MRHB	Rhododendron	Rhododendron var. 'Unique'	#5 Pot	
SMALL SHRUBS	DWPD	Dwarf Lily of the Valley Shrub	#1 Pot		
	EUOP	Creeping Euonymus	#1 Pot		
	AZAP	Evergreen Azalea	#2 Pot		
	ADOG	Dwarf Red Twig Dogwood	#2 Pot	☒	
	ILEX	False Holly	#2 Pot		
	POLY	Sword Fern	Polystichum munitum	#1 Pot	☒
	DWRH	Dwarf Rhododendron	Rhododendron var. 'Bow Belle' & 'Jock'	#1 Pot	
	BRP	Strawberry Tree	Sympetrum japonica var. 'Shimaphana'	#1 Pot	☒
GROUND COVERS	BEAR	Bearberry	Arctostaphylos uva-ursi var. 'Vancouver Jade'	#P4	☒
	BERG	Heather Bergenia	Bergenia cordifolia var. 'Bressingham Ruby'	#P5	
	VITI	Mountain Cranberry	Vaccinium vitis-idaea	#P4	☒
	AJUG	Bugleweed	Ajuga reptans var. 'Bronze Beauty'	#P4	
PERENNIALS & GRASSES	TSST	Flame Sedge	Carex testacea	#1 Pot	
	KRAB	Feather Reed Grass	Calamagrostis acutiflora var. 'Karl Foerster'	#1 Pot	
	COIR	Monkshood	Mertensia paniculata	#P5	
	AGAB	Hummingbird Mint	Agastache var. 'Fall Fiesta'	#P5	
	SALV	Meadow Sage	Salvia elegans var. 'May Night'	#P5	☒
	PINK	Cottage Pink	Dianthus var. 'Kahon Pink'	#P5	
	IRIS	Vanessa Iris	Iris pallida var. 'Vanessa Gold'	#1 Pot	
	RUDB	Black Eyed Susan	Rudbeckia fulgida var. 'Goldsturm'	#P7	☒
	JUNC	Scouler's Rush	Juncus effusus	#P7	
VINES	CLFM	Montana Clematis	Clematis montana var. 'Jackmanii' & 'Elizabeth'	#5 Pot	
	ROSA	Climbing Austin Rose	Rosa var. 'Austin Austin'	#5 Pot	

Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification.
- All areas to be irrigated with an automatic underground system.



TREE REQUIREMENTS

TREES REMOVED: 7
REPLACEMENT TREES REQUIRED: 7
REPLACEMENT TREES PROVIDED: 7

USABLE PLANTING SOIL VOLUME REQUIRED AREA FOR SOIL CELLS TO ACHIEVE REQUIRED SOIL VOLUMES

Planting Area ID	Area (m ²)	Soil Volume Multiplier*	Estimated Soil Vol. (m ³)	Replacement Trees Proposed		Soil Volume Required (m ³)			
				A	B	C	D	Total**	
1	105	1.0M	108	7		105		105	
2	93	1.0M	93		2	60		60	

Notes:
(1) All soil volume calculations are for replacement trees only
(2) All replacement trees are ON SITE
(3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
(4) All replacement trees meet soil volume requirements for this project.

IRRIGATION TO BOULEVARD AREAS SHALL BE PROVIDED BY A SEPARATE WATER METER FROM BUILDING # INSTALLED TO IABC & CITY OF VICTORIA SPECIFICATIONS

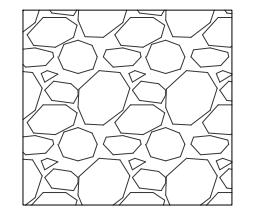
STREET TREES TO BE IRRIGATED USING DOUBLE RING DRIP SYSTEM (W/ DOUBLE CHECK VALVE)

SYSTEM DESIGN TO BE REVIEWED & APPROVED BY SAANICH PARKS.

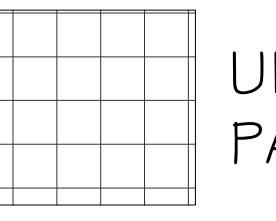
DATE	DECEMBER 05, 2025	LANDSCAPE CONCEPT PLAN			
SCALE	1:100				
DRAWN BY					
BF/RF					

REV. DATE	NUMBER	DESCRIPTION
10-26-23	5	REV. LANDSCAPE CONCEPT PLAN
02-13-24	6	RE-ISSUED FOR DP
04-15-24	7	RE-ISSUED FOR DP
06-25-24	8	REVISED
07-16-24	9	REVISED
04-30-25	10	REVISED
05-05-25	11	DDP AMENDMENTS
09-05-25	12	DDP AMENDMENTS
10-27-25	13	DDP AMENDMENTS
12-05-25	14	DDP AMENDMENTS

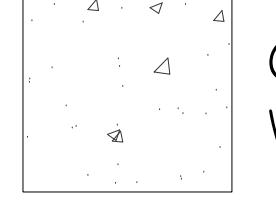
MATERIALS



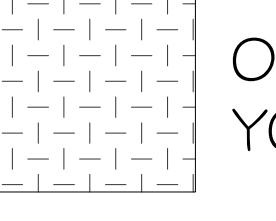
RIVER
ROCK



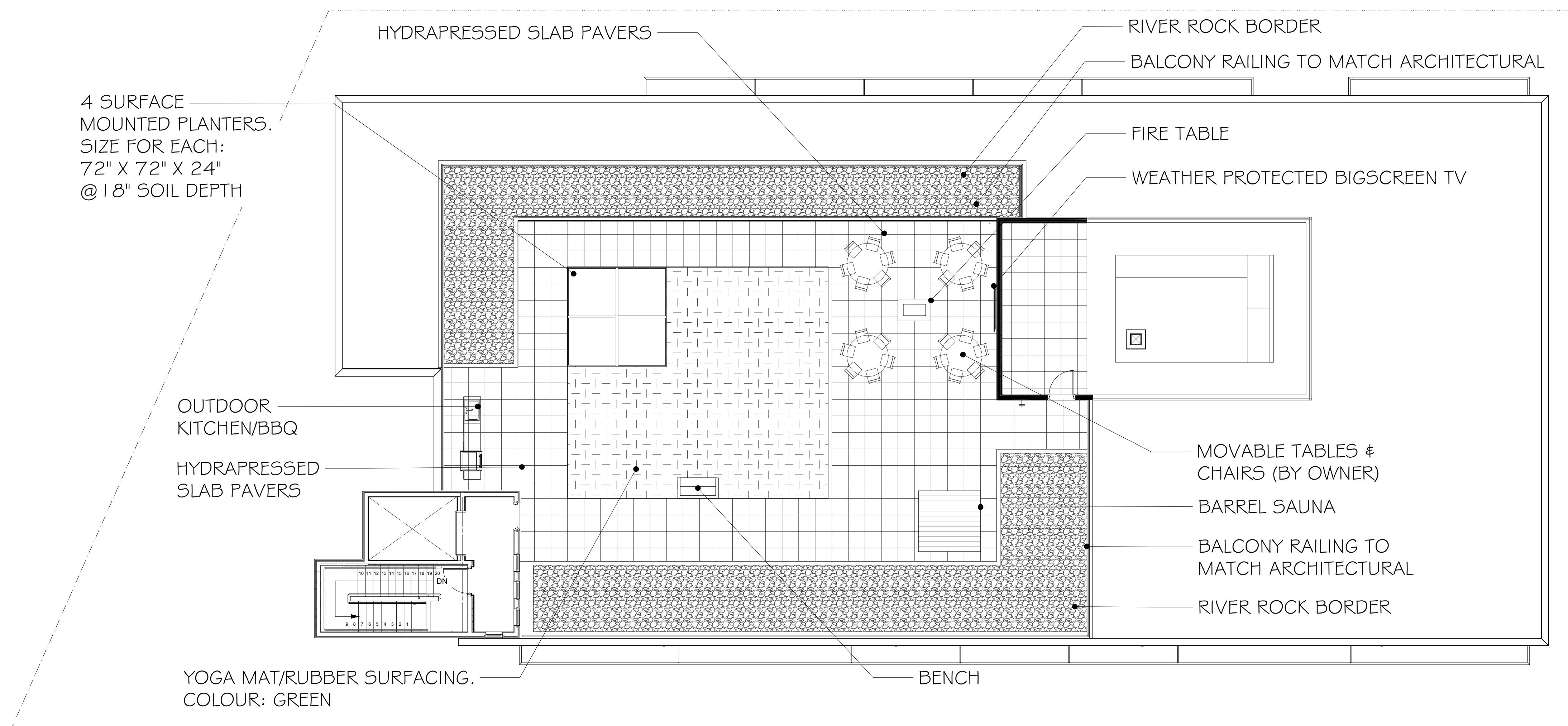
UNIT
PAVERS



CONCRETE
WALKWAY



OUTDOOR
YOGA MAT



BENCHES

RECTANGULAR FIBERGLASS PLANTER

NAME: TRADITIONAL STRATUS MODERN BENCH
MODEL #: CAL-718
SIZE : 78 3/4" L x 21 1/4" W x 32 11/16" H
QUANTITY: 1
SUPPLIER: CAANAN SITE FURNISHINGS

PAVERS

DESCRIPTION (TYPE 2):

NAME: 'TERRACE' SLAB PAVER
SIZE: 24" x 24"
PATTERN: STACK BOND (90° TO BUILDING FACE)
COLOUR: STERLING
SUPPLIER: BARKMAN CONCRETE PRODUCTS



BARREL SAUNA



CORTEN STEEL ROOF TOP PLANTERS

PREPARATION NOTES:

1. CONTAINER GROWN: REMOVE COMPLETELY FROM CONTAINER.
2. BURLAP & ROPE: REMOVE TOP 1/3 OF COVERING.
3. WIRE & BURLAP: REMOVE TOP 1/3 OR WIRE, ROPE & BURLAP COVERING WITHOUT DAMAGING ROOT BALL. REMOVE ALL TWINE.
4. 40 MM NYLON WEBBING -
5. 1.0 M DIAMETER BARK MULCH RING SAUCER OVER ROOTBALL 150 MM DEPTH.
6. GROWING MEDIA SHALL MEET B.C. LANDSCAPE STANDARD TABLES 6-3 (SECTION 32 91 21) - MMCD 2009 ALL SOIL PROPERTIES MUST MEET THIS STANDARD. DEPTH GROWING MEDIA TO BE PLACED AND TRAMPED IN 100 MM LIFTS.
7. ASPHALT ROADWAY. REFER TO CIVIL DRAWINGS.
8. ROOT BARRIER 450 MM x 4.0 M LENGTH.
9. COMPACTED SUBGRADE TO 98% S.P.D.
10. SCARIFY BOTTOM OF PIT.
11. 2-2 1/2" (64MM) ROUND PRESSURE TREATED STAKES @ 8' 0" (2440MM) LENGTH. STAKE AT EDGES OF THE ROOTBALL IN LINE WITH ROADWAY ON EXPOSED SITES STAKE IN LINE WITH PREVAILING WIND. VERTICAL STAKES TO BE DRIVEN 600 MM INTO GROUND.
12. GRASS BOULEVARD.
13. ROOT BARRIER 450 MM x 4.0 M LENGTH.
14. BROOM FINISHED CONCRETE SIDEWALK.
15. 700 MM COMPACTED STRUCTURAL SOIL TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER.

NOTES:

ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA TREE SPECIFICATIONS.
ROOT BARRIER REQUIRED ON BLVD 2.0 M OR LESS WIDE OR AS SPECIFIED BY THE DIRECTOR OR PARKS.
ROOT BARRIER REQUIRED PENDING TREE SPECIES & OR BOULEVARD WIDTH.

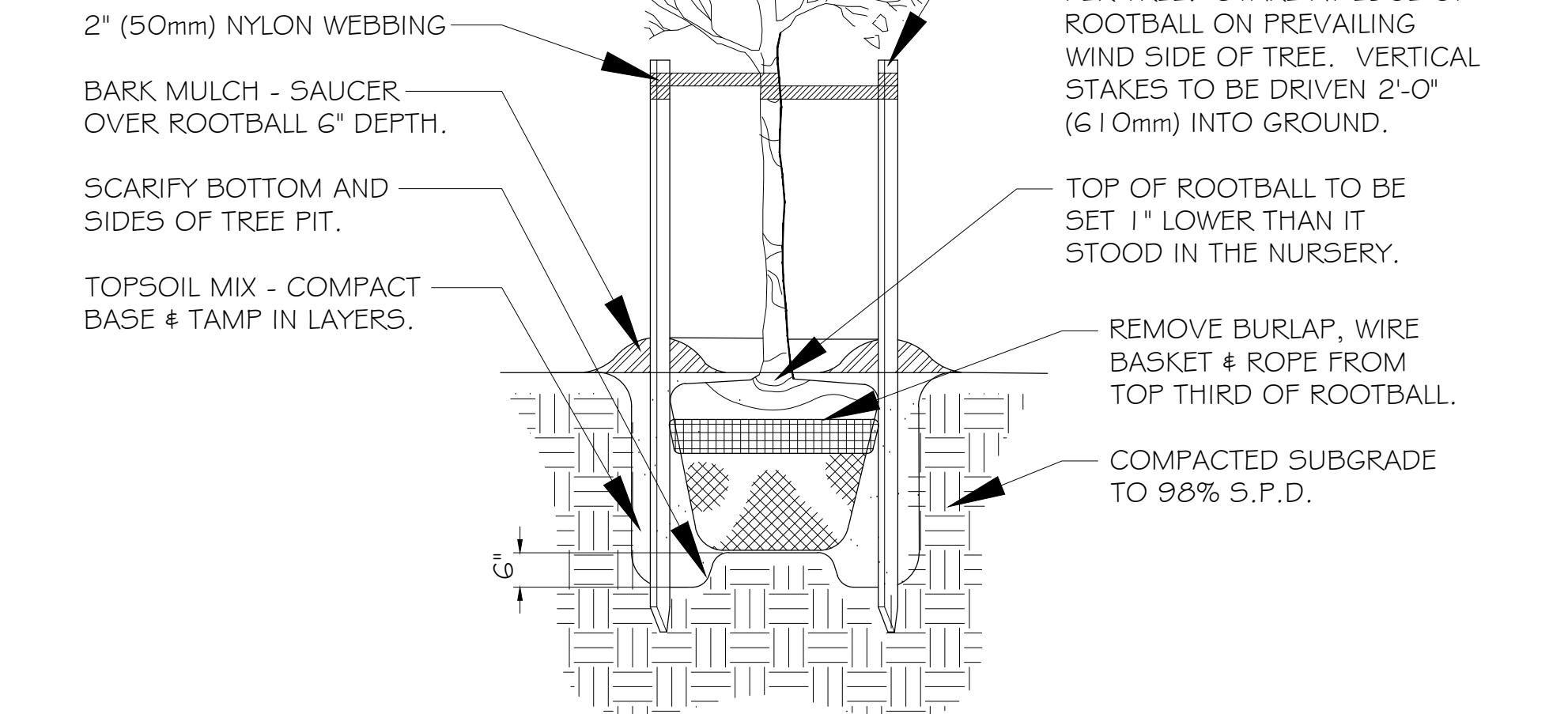
1 BOULEVARD TREE PLANTING

L2 SCALE

3/4" = 1' - 0"

NOTE PREPARATION:

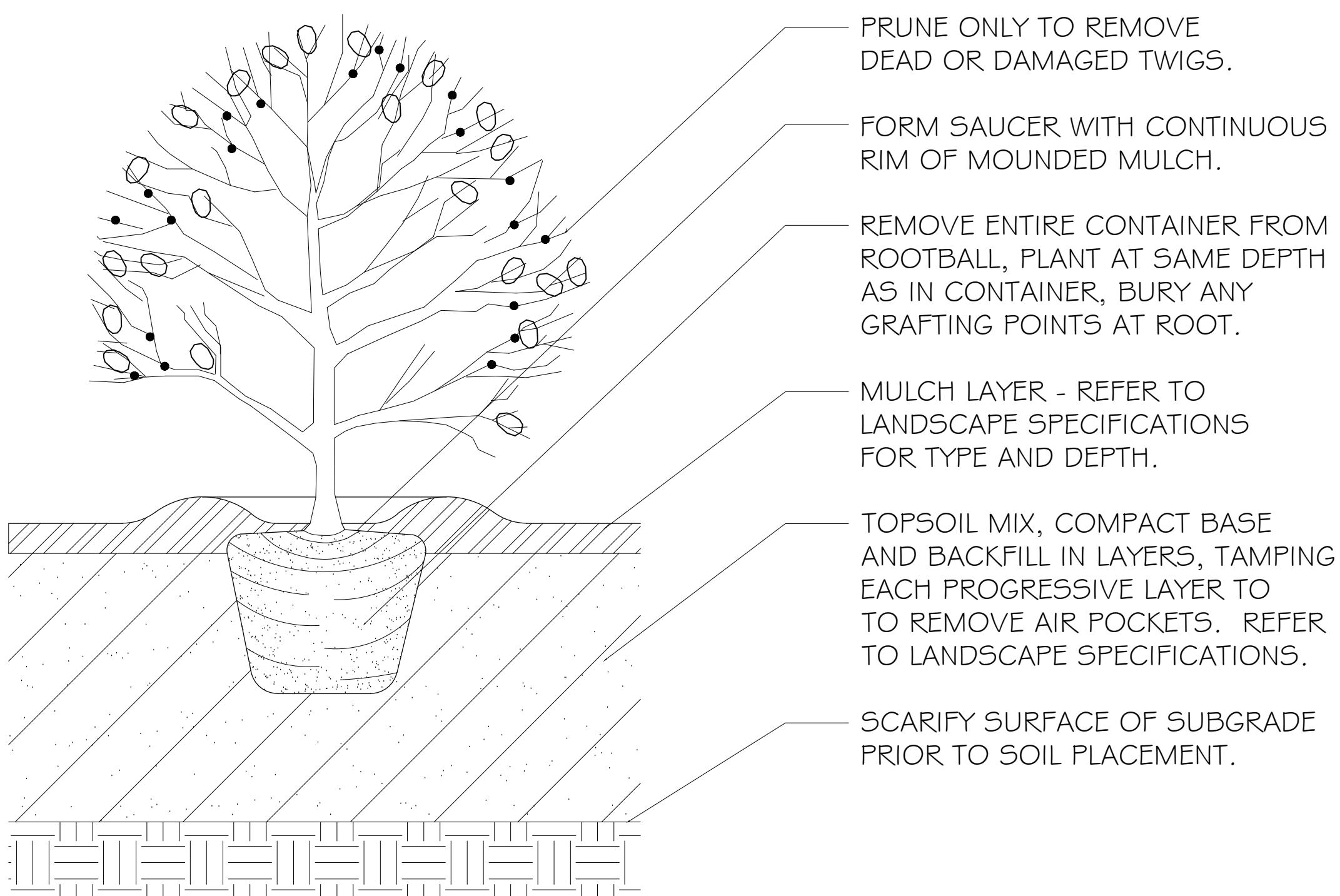
- 1.) CONTAINER GROWN - REMOVE COMPLETELY FROM CONTAINER.
- 2.) BURLAP & ROPE - REMOVE TOP 1/3 OF COVERING.
- 3.) WIRE & BURLAP - REMOVE TOP 1/3 OF COVERING *WITHOUT DAMAGING ROOTBALL.



2 TREE PLANTING

L2 SCALE

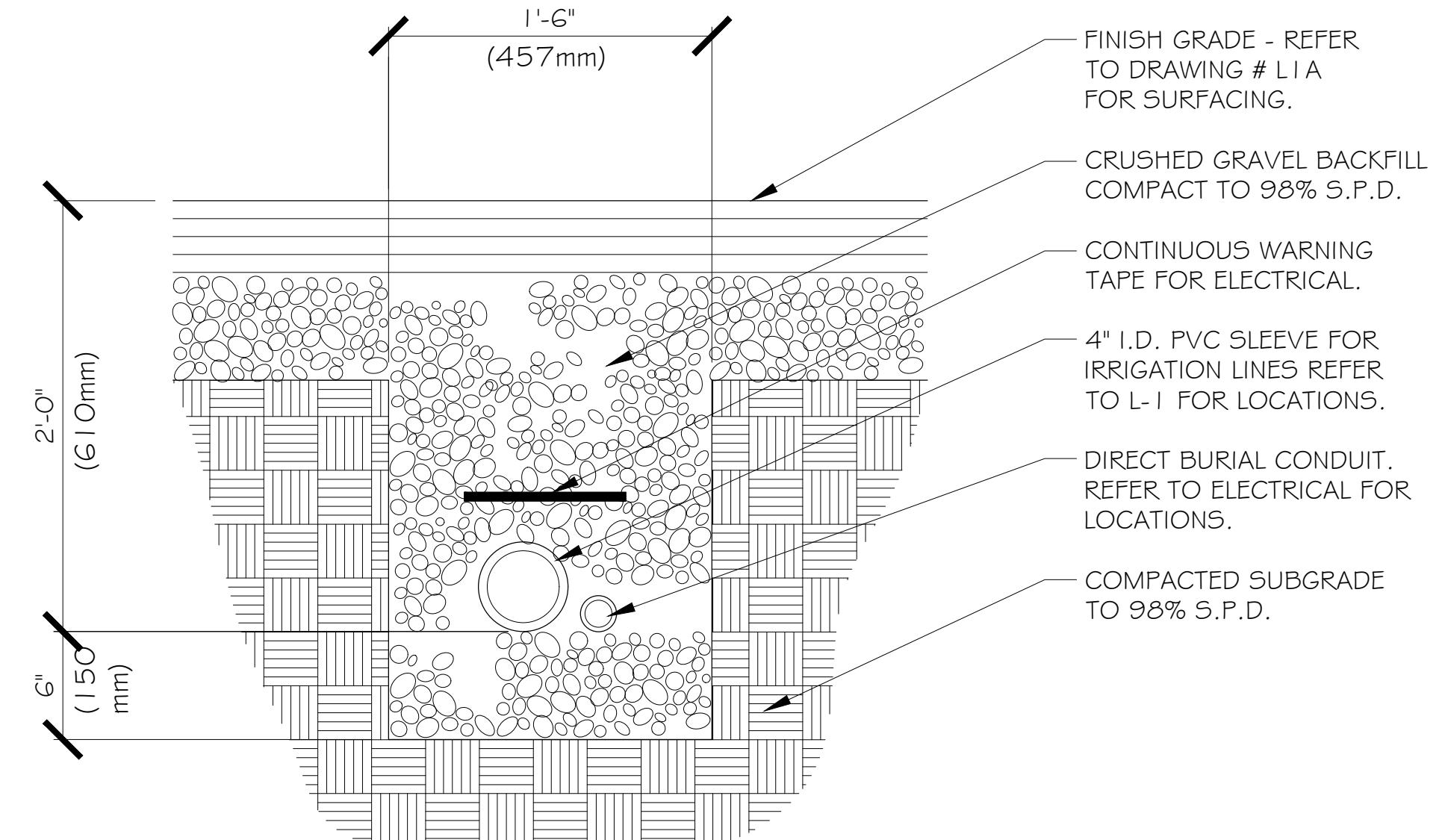
1" = 1' - 0"



3 SHRUB PLANTING

L2 SCALE

1" = 1' - 0"



4 IRRIGATION SLEEVE

L2 SCALE

1-1/2" = 1' - 0"

REV. DATE	NUMBER	DESCRIPTION
12-05-25	1	DDP AMENDMENTS

DATE	DECEMBER 05, 2025
SCALE	AS NOTED
DRAWN BY	
BF/RF	