

Mixed Use Seniors Residential & Commercial Development

829-899 Fort Street & 846-856 Broughton Street, Victoria, B.C.

parc
retirement
living

PACIFIC ARBOUR SIX RESIDENCES LTD

bfa studio
architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)

600 - 355 Burrard Street T 604 662 8544

Vancouver, BC V6C 2G8 F 604 662 4060

www.bfastudioarchitects.com



ARCHITECTURAL DRAWING INDEX

A000 PROJECT STATISTICS / CODE ANALYSIS SUMMARY	A410 FORT (NORTH) STREETSCAPE / PARTIAL SECTION
A001 ZONING DATA	A411 QUADRA (EAST) STREETSCAPE / PARTIAL SECTION
A002 PROJECT STATISTICS	A412 QUADRA (EAST) STREETSCAPE / PARTIAL SECTION
A003 PROJECT STATISTICS	A413 QUADRA (EAST) STREETSCAPE / PARTIAL SECTION
A004 AREA DIAGRAMS	A414 BROUGHTON (SOUTH) STREETSCAPE / PARTIAL SECTION
A005 COMPARISON DIAGRAM - LEVEL 1	A415 BROUGHTON (SOUTH) STREETSCAPE / PARTIAL SECTION
A006 3D PERSPECTIVES	A501 BUILDING SECTION A
A007 3D PERSPECTIVES	A502 BUILDING SECTION B
A008 3D PERSPECTIVES	A503 BUILDING SECTION C
A009 3D PERSPECTIVES	A504 BUILDING SECTION D
A010 FORM OF DEVELOPMENT - MASSING	A505 BUILDING SECTION E
A011 FORM OF DEVELOPMENT - STREETSCAPE	A506 BUILDING SECTION F
A012 FORM OF DEVELOPMENT - MAIN LEVEL SETBACKS	A507 BUILDING SECTION G
A013 FORM OF DEVELOPMENT - TYPICAL LEVEL SETBACKS	A508 BUILDING SECTION H
A014 FORM OF DEVELOPMENT - ENVELOPE / PASSIVE DESIGN STRATEGIES	A509 BUILDING SECTION J
A100 AERIAL	A510 BUILDING SECTION K
A101 CONTEXT PLAN	O01 LEVEL 1 AREA OVERLAY
A102 CONTEXT 3D VIEWS	O02 MECHANICAL LEVEL AREA OVERLAY
A103 CONTEXT 3D VIEWS	O03 LEVEL 2 AREA OVERLAY
A104 CONTEXT 3D VIEWS	O04 LEVEL 3 AREA OVERLAY
A200 P2 LEVEL FLOOR PLAN	O05 LEVEL 4 AREA OVERLAY
A201 P1 LEVEL FLOOR PLAN	O06 LEVEL 5 AREA OVERLAY
A202A SITEPLAN / LEVEL 1 FLOOR PLAN	O07 LEVEL 6 AREA OVERLAY
A202B SITEPLAN / LEVEL 1 FLOOR PLAN	O08 LEVEL 7 AREA OVERLAY
A203 MECHANICAL LEVEL FLOOR PLAN	O09 LEVEL 8 AREA OVERLAY
A204 LEVEL 2 FLOOR PLAN	O10 LEVEL 9 AREA OVERLAY
A205 LEVEL 3 FLOOR PLAN	O11 LEVEL 10 AREA OVERLAY
A206 LEVEL 4 FLOOR PLAN	O12 ROOF AREA OVERLAY
A207 LEVEL 5 FLOOR PLAN	SH01 SHADOW ANALYSIS
A208 LEVEL 6 FLOOR PLAN	SH02 SHADOW ANALYSIS
A209 LEVEL 7 FLOOR PLAN	SURVEY DRAWING
A210 LEVEL 8 FLOOR PLAN	
A211 LEVEL 9 FLOOR PLAN	
A212 LEVEL 10 FLOOR PLAN	
A213 ROOF PLAN	
A300A P2 LEVEL PARTIAL FLOOR PLAN	
A300B P2 LEVEL PARTIAL FLOOR PLAN	
A300C P2 LEVEL PARTIAL FLOOR PLAN	
A301A P1 LEVEL PARTIAL FLOOR PLAN	
A301B P1 LEVEL PARTIAL FLOOR PLAN	
A301C P1 LEVEL PARTIAL FLOOR PLAN	
A302A LEVEL 1 PARTIAL FLOOR PLAN	
A302B LEVEL 1 PARTIAL FLOOR PLAN	
A302C LEVEL 1 PARTIAL FLOOR PLAN	
A401 NORTH ELEVATION	
A402 EAST ELEVATION	
A403 SOUTH ELEVATION	
A404 NORTH ELEVATION	
A405 EAST ELEVATION	
A406 SOUTH ELEVATION	
A407 FORT (NORTH) STREETSCAPE / PARTIAL SECTION	
A408 FORT (NORTH) STREETSCAPE / PARTIAL SECTION	
A409 FORT (NORTH) STREETSCAPE / PARTIAL SECTION	

ABBREVIATIONS LEGEND			
A.F.F.	ABOVE FINISHED FLOOR	MTL	METAL
A.B.	AIR BARRIER	N/A	NOT APPLICABLE
ALUM.	ALUMINIUM	N.I.C.	NOT IN CONTRACT
B/S	BASEMENT	N.T.S.	NOT TO SCALE
BD.	BOARD	O.C.	ON CENTRE
B.O.S.	BOTTOM OF SLAB	OPG.	OPENING
B.O.W.	BOTTOM OF WALL	P-4-5	PEEL & STICK
BLDG.	BUILDING	PLYWD.	PLYWOOD
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED
CLG.	CAULKING	P/L	PROPERTY LINE
CLG.	CEILING	R	RADIUS
CL.	CENTRE LINE	R	RISER
CM	COMPLETE WITH	R.W.L.	RAIN WATER LEADER
CONC.	CONCRETE	REQD	REQUIRED
CONT.	CONTINUOUS	REV	REVISION
CJ	CONTROL JOINT	R # 5	ROD # SHELF
CORR.	CORRIDOR	RM.	ROOM
DIA.	DIAMETER	R.D.	ROOF DRAIN
DN	DOWN	R.O.	ROUGH OPENING
DWGS	DRAWINGS	STL.	STEEL
DW	DISHWASHER	STRUCT.	STRUCTURAL
ELECT.	ELECTRICAL	SPEC	SPECIFICATION
ELEV	ELEVATION	SF	SQUARE FEET
ENCL.	ENCLOSURE	EQ.	EQUAL
EXT.	EXTERIOR	EXT.	EXTERIOR
F.D.	FLOOR DRAIN	F.D.	FLOOR DRAIN
FDN.	FOUNDATION	FDN.	FOUNDATION
FIN.	FINISH	FIN.	FINISH
FLR.	FLOOR	FLR.	FLOOR
FTG.	FOOTING	FTG.	FOOTING
GA.	GAUGE	GA.	GAUGE
GL.	GLASS	GL.	GLASS
GR.	GRADE	GR.	GRADE
GWB	GYP/SUM WALLBOARD	GWB	GYP/SUM WALLBOARD
H/C	HANDICAPPED	H/C	HANDICAPPED
HGT.	HEIGHT	HGT.	HEIGHT
HORIZ.	HORIZONTAL	HORIZ.	HORIZONTAL
H.B.	HOSE BIB	H.B.	HOSE BIB
HR.	HOUR	HR.	HOUR
HWI	HOT WATER HEATER	HWI	HOT WATER HEATER
LIN.	LINEN	LIN.	LINEN
MAX.	MAXIMUM	MAX.	MAXIMUM
MECH.	MECHANICAL	MECH.	MECHANICAL
MEZZ.	MEZZANINE	MEZZ.	MEZZANINE
MIN.	MINIMUM	MIN.	MINIMUM
MISC.	MISCELLANEOUS	MISC.	MISCELLANEOUS
SM	SQUARE METERS	SM	SQUARE METERS
S.S.	STAINLESS STEEL	S.S.	STAINLESS STEEL
STR.	STAIR	STR.	STAIR
T.O.	TOP OF	T.O.	TOP OF
T.O.C.	TOP OF CURB	T.O.C.	TOP OF CURB
T.O.F.	TOP OF FLOOR	T.O.F.	TOP OF FLOOR
T.O.P.	TOP OF PARAPET	T.O.P.	TOP OF PARAPET
T.O.W.	TOP OF WALL	T.O.W.	TOP OF WALL
TYF.	TYPICAL	TYF.	TYPICAL
UG	UNDERGROUND	UG	UNDERGROUND
UNDSIDE	UNDERSIDE	UNDSIDE	UNDERSIDE
UNO	UNLESS NOTED OTHERWISE	UNO	UNLESS NOTED OTHERWISE
U/F	UPPER FLOOR	U/F	UPPER FLOOR
V.B.	VAPOUR BARRIER	V.B.	VAPOUR BARRIER
VERT.	VERTICAL	VERT.	VERTICAL
W.C.	WATER CLOSET (TOILET)	W.C.	WATER CLOSET (TOILET)
WD	WASHER/ DRYER	WD	WASHER/ DRYER
WD.	WOOD	WD.	WOOD
W.I.C.	WALK-IN CLOSET	W.I.C.	WALK-IN CLOSET
W/	WITH	W/	WITH
W.P.	WATERPROOF	W.P.	WATERPROOF
WR	WASHROOM	WR	WASHROOM

PROJECT / CONSULTANT TEAM						
ARCHITECT BESHARAT FRIARS ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC TEL: 604 662 8544	LAND SURVEYOR BRAD CUNNING LAND SURVEYOR #101-2610 DOUGLAS ST. VICTORIA, BC TEL: 250.381.2297	LANDSCAPE ARCHITECT PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. 500-1201 WEST PENDER ST. VANCOUVER, BC TEL: 604 688 6111	COMMUNITY ENGAGEMENT MARZOLF & ASSOCIATES STRATEGIC COMMUNICATIONS ULC 2697 YORK AVE. VANCOUVER, BC TEL: 604 742 3211	STRUCTURAL ENGINEER RJC ENGINEERS 300-1285 WEST BROADWAY VANCOUVER, BC TEL: 604 738 0048	MECHANICAL ENGINEER AME GROUP 721 JOHNSON ST. VICTORIA, BC TEL: 604 685 9381	ELECTRICAL ENGINEER AES ENGINEERING #300 - 1815 BLANSHARD ST. VICTORIA, BC TEL: 250.381.6121
GEOTECHNICAL ENGINEER RYZUK GEOTECHNICAL 28 CREASE AVE. VICTORIA, BC TEL: 250 475 3131	CODE CONSULTANT LMDG BUILDING CODE CONSULTANTS LTD. 4th FLOOR - 780 BEATTY ST. VANCOUVER, BC TEL: 604 682 7146	TRAFFIC CONSULTANT BUNT & ASSOCIATES #421 - 645 FORT ST. VICTORIA, BC TEL: 604 685 9381	CIVIL ENGINEER J.E ANDERSON & ASSOCIATES 4212 GLANFORD AVENUE VICTORIA, BC TEL: 250.727.2214	WIND CONSULTANT ROWAN WILLIAMS DAVIES & IRWIN 650 WOODLAWN ROAD WEST GUELPH, ON TEL: 519.823.1311	ENVIRONMENTAL ENGINEER ACTIVE EARTH ENGINEERING LTD. #160-2250 BOUNDARY ROAD BURNABY, BC TEL: 778.866.0064	LEED CONSULTANT MORRISON HERSHFIELD #310-4321 STILL CREEK DRIVE BURNABY, BC TEL: 604.454.0402

Revisions
Received Date:
May 7, 2021

RE-ISSUED FOR REZONING & DP
05 MAY 2021

BUILDING CLASSIFICATION & CONSTRUCTION REQUIREMENTS RELATIVE TO OCCUPANCY ^(a)		OTHER REQUIREMENTS ^(a)	
Major Occupancies:	Group A, Div. 2; Group B, Div. 3; Group C; Group D; Group E; Group F, Div. 3	Travel Distance:	45 m maximum
Applicable Articles:	3.2.2.23. Group A, Division 2: Any Height Any Area, Sprinklered 3.2.2.42. Group B, Division 3: Any Height, Any Area, Sprinklered 3.2.2.47. Group C: Any Height, Any Area, Sprinklered 3.2.2.54. Group D: Any Height, Any Area, Sprinklered 3.2.2.62. Group E: Any Height Any Area, Sprinklered 3.2.2.78. Group F, Division 3: Any Height Any Area, Sprinklered	Exit Stair Rating:	2-hour
No. of Buildings:	2	Service Room Rating: (electrical/mechanical)	1.5-hour ^(b) for rooms located in the storage garage, otherwise 1-hour ^{(b)(c)}
Building Height:	10 storeys	Fire Alarm: Standpipe System:	Single- or two-stage ^(d) Required
No. of Streets:	3	Emergency Power:	Required in all exits/ access-to exits (2-hours)
Sprinklers:	Required	Emergency Lighting:	Required
Construction:	Noncombustible required	Exit Signs:	Required
Bldg Area:	Approximately 4,650 m ²	Panic hardware:	Required
Floor Rating:	2-hour fire-resistance rating ^(b)	Access for Disabled:	Required
Mezzanine Rating:	1-hour fire-resistance rating	Major Occupancy Separation:	2-hour between Group A-2 and Group B-3, 1-hour between B-2 and B-3, 1-hour between Group A-2 and Group C, 1½-hour between storage garage and adjacent occupancy
Roof Rating:	2-hour fire-resistance rating for occupied roof decks	Fire Department Connections:	2 connections required per NFPA 14
Loadbearing:	Same rating as for supported assembly		
High building requirements:	Applicable		

- (a) Based on the 2018 BC Building Code.
(b) Constructed as a fire separation.
(c) 2-hour rated separation for an unsprinklered electrical room in accordance with NFPA 13.
(d) Electronically monitored and supervised.

Project Information Table	
• Zone (Existing)	CA-2, CHP-OB, CHP-CR
• Proposed Zone	Site Specific – TBD
• Proposed Uses	Street Front Retail, Seniors Residential, Independent rental units and amenities, Medical offices, Music Wellness room and Licensed Childcare.
• Site Area	5,164 m ²
• Total Floor Area (m2)	27,111 m ²
• Retail Floor Area (m2)	900 m ²
• Office Floor Area	304 m ²
• Childcare Area	345 m ²
• Residential Floor Area (m2)	17,223 m ² (Excluding Amenities, circulation, core etc.)
• Residential Floor Area (m2)	20,706 m ² (Including Amenities, excluding circulation, core etc.)
• Floor Space Ratio	5.25
• Site Coverage (%)	88.8%
• Open Site Space (%)	49%
• Height of Building (m)	31.62m to top of roof parapet 33.77m to top of mechanical enclosure
• Number of Storeys	1,6,7 & 10 (Level 11 is rooftop mechanical / service rooms only)
• Parking Stalls (Number on site)	<ul style="list-style-type: none"> o Commercial, Offices, Daycare, Visitors 92 o Residential 93 (Including Seniors on site shuttle)
• Bicycle Parking Number (Class 1 and Class 2)	60+26=86 stalls including end of trip bicycle facilities for PARC staff, retail and offices. In addition, 24 scooter stalls are provided for seniors.
• Building Setbacks	<ul style="list-style-type: none"> o Fort Street Varies 0.00 m to 3.79 m o Quadra Street Varies 1.73 m (1.73 m SRW requested by Victoria transportation engineering) to 11.03 m o Broughton Street 1.65 m to 12.25 m
• Total Number of Rental Units: 266	
• Seniors Independent Rental Unit Mix	<ul style="list-style-type: none"> o Studio 15 units (5.6%) o 1 Bedroom 118 units (44.0%) o 1 Bedroom + Flex 48 units (17.9%) o 2 Bedroom 79 units (29.5%) o 2 Bedroom + Flex 6 units (2.2%) o 3 Bedroom 2 units (0.7%)

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

© COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ARCHITECTS RESPONSIBILITY SHALL BE LIMITED TO THE SCALE SHOWN. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION DISCOVERED IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONTRACTUAL OR CONSTRUCTION VALUE WHEN REFERRED TO THE PROJECT.

CLIENT

parc retirement living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

PROJECT STATISTICS / CODE ANALYSIS SUMMARY

SEAL

DRAWING NO. REVISION

A000

DATE DRAWN

SCALE CHECKED

PROJECT INFORMATION / ZONING DATA										
PROJECT DESCRIPTION / USE		10 STOREY MIXED USE BUILDING, INCLUDING COMMERCIAL RETAIL PODIUM, OFFICES, CHILDCARE, SENIORS INDEPENDENT LIVING UNITS & AMENITIES, RESIDENTIAL RENTAL UNITS & TWO LEVEL OF UNDERGROUND PARKING								
LEGAL DESCRIPTION		9 LOTS - PCL "B" OF LOT 275 PID 009-366-555; PCL "A" (DD 46838-I) OF LOT 275 PID 008-426-163; LOT 274 PID 008-426-031 ; LOT A PLAN 45314 PID 007-890-664; LOT A (EH145952) PLAN 6909 PID 019-023-740; LOT A PLAN 16155 PID 004-005-902; THE S'LY 50' OF LOT 270 PID 000-436-925; LOT B PLAN 45314 PID 007-890-711; W 1/2 LOT 268 PID 000-044-059								
CIVIC ADDRESS PRESENT		829/831,835,841/847,849,893/895/899 FORT STREET & 846 BROUGHTON STREET								
CIVIC ADDRESS FUTURE		FORT BUILDING, FORT BRIDGE BUILDING, FORT-QUADRA BUILDING, QUADRA BRIDGE BUILDING & BROUGHTON BUILDING - TBD								
TOTAL LOT AREA		55,588 SF		5,164.3 SM						
LOT SIZE (APPROXIMATE FRONTAGE)		NORTH / FORT		304.7 FT		92.9 M				
		EAST / QUADRA		232.0		70.7				
		SOUTH / BROUGHTON		180.3		54.9				
		WEST		120.3		36.7				
OCP / AREA DESIGN GUIDELINES		2012 OFFICIAL COMMUNITY PLAN/OCP DESIGNATION - 2013 DOWNTOWN CORE AREA PLAN/DCAP & CATHEDRAL HILL PRECINCT PLAN LOCATED IN FAIRFIELD NEIGHBORHOOD ALONG FORT STREET								
ZONING - PRESENT		FORT STREET: CA-2 DEVELOPMENT AREA/DPA 7B(HC) BROUGHTON STREET: CHP-OB & CHP-CR DEVELOPMENT PLAN AREA/DPA 14: CATHEDRAL HILL PRECINCT								
PROPOSED NUMBER OF RESIDENTIAL RENTAL UNITS		280								
ZONING - FUTURE		PROPOSED SITE SPECIFIC / TBD								
		REQUIRED / ALLOWED / DCAP				PROPOSED				NOTES
		FAR		5.00		SF		SM		
DENSITY / FSR / GFA		FAR		5.00		277,940		25821		FAR
SITE COVERAGE										5.25
OPEN SITE SPACE										90.5%
										291,821
										50,312
										27111
										4,674
										5,548
										513
										8,413
										777
										6,343
										586
										6,857
										634
										49%
										27,161
										2,510
HEIGHT BUILDING		98.4		FT		30.0		M		110.83
										FT
										33.77
										M
										103.75
										FT
										31.62
										M
NUMBER OF STOREY		10								11
SETBACKS		FT		M		FT		M		FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT
										M
										FT

AREA CALCULATIONS SUMMARY / SF																										
A	B	C	D=BxC	E	F	G	H	I	J	K	L	M	N	O=L+M+N	P	Q=E+F	R	S	T	U	V	W	X	Y=U+V+W+X	Z=S-Y	
EXCLUSION																										
LEVEL	NUMBER OF FLOORS	UNIT COUNT	UNIT COUNT SUB TOTAL	NET COMMERCIAL (SF)	N/A	CHILD CARE (SF)	MEDICAL OFFICES (SF)	MEDICAL WASHROOMS	PARKING / LOADING / MECHANICAL LEVEL (SF)	COMM. GARBAGE/ RECYCLING & SERVICE RM (SF)	RES. GARBAGE/ RECYCLING & SERVICE RM (SF)	AMENITY (SF)	NET RESIDENTIAL UNITS (SF)	TOTAL RESIDENTIAL INC. RES GARBAGE/RECYCLING AREA/ FLOOR (SF)	TOTAL RESIDENTIAL AREA/ FLOOR (SM)	TOTAL COMM. AREA/ FLOOR (SF)	TOTAL COMM. AREA/ FLOOR (SM)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	PARKING / LOADING (SF)	WALL THICKNESS (SF)	ASSUMED ELEVATOR SHAFTS (SF)	BICYCLE STORAGE (SF)	TOTAL EXCLUSIONS (SF)	TOTAL FSR (SF)	TOTAL FSR (SM)
MAIN LEVEL	1	0	0	9,695	0	215	215	0	13,760	386	944	16,279	0	17,223	1,600	9,695	901	49,356	4,585	13,760	484	546	252	15,042	34,314	3,188
PARTIAL MECHANICAL	0	0	0	0	0	0	0	0	4,977	0	0	0	0	0	0	0	0	4,977	462	0	322	0	0	322	4,655	432
LEVEL 2	1	16	16	0	0	3,501	2,612	440	0	0	0	17,225	11,442	28,667	2,663	0	0	41,693	3,873	0	657	546	0	1,203	40,490	3,762
LEVEL 3	1	41	41	0	0	0	0	0	0	0	0	0	27,577	27,577	2,562	0	0	33,581	3,120	0	905	433	0	1,338	32,243	2,995
LEVEL 4	1	40	40	0	0	0	0	0	0	0	0	294	26,690	26,984	2,507	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928
LEVEL 5	1	40	40	0	0	0	0	0	0	0	0	0	26,863	26,863	2,496	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928
LEVEL 6	1	40	40	0	0	0	0	0	0	0	0	0	26,862	26,862	2,496	0	0	32,851	3,052	0	900	433	0	1,333	31,518	2,928
LEVEL 7	1	34	34	0	0	0	0	0	0	0	0	0	22,902	22,902	2,128	0	0	28,807	2,676	0	904	433	0	1,337	27,470	2,552
LEVEL 8	1	25	25	0	0	0	0	0	0	0	0	982	16,294	17,276	1,605	0	0	21,950	2,039	0	850	433	0	1,283	20,667	1,920
LEVEL 9	1	25	25	0	0	0	0	0	0	0	0	0	16,516	16,516	1,534	0	0	20,938	1,945	0	809	433	0	1,242	19,696	1,830
LEVEL 10	1	19	19	0	0	0	0	0	0	0	0	0	12,192	12,192	1,133	0	0	16,092	1,495	0	657	433	0	1,090	15,002	1,394
ROOFTOP SERVICE ROOMS	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3,506	326	0	344	433	0	777	2,729	254
TOTAL			280	9,695	0	3,716	2,827	440	18,737	386	944	34,780	187,338	223,062	20,723	9,695	901	319,453	29,678	13,760	8,631	4,989	252	27,632	291,821	27,111
SITE AREA:			55,585 SF				3,267																			
TOTAL FSR:			291,821 SF																							
				901	SM	345	263	41	1,741	36	88	3,231	17,404													
								304																		

OFF STREET PARKING SUMMARY					
	RATE/REQUIRED/BYLAW	PROVIDED	NOTES		
RETAIL / PERSONAL SERVICE	1 PER 80 SM (861 SF)	11	11	PROVIDED ON P1 LEVEL	
INDEPENDENT SENIORS UNITS	0.35 PER UNIT	93	93		
INDEPENDENT SENIORS UNITS-VISITORS	0.1 PER UNIT	27	27		
AFFORDABLE UNITS	0.2 PER UNIT	3	3		
AFFORDABLE UNITS-VISITORS	0.1 PER UNIT	1	1		
CHILD CARE	1 PER 100 SM (1076 SF)	3	3	ASSUMED & PROVIDED ON P1 LEVEL	
MEDICAL OFFICES	1 PER 50 SM (538 SF)	6	6	BASED ON NET 3,272 SF. PROVIDED ON P1 LEVEL	
ADDITIONAL PARKING STALLS			63	PROVIDED ON P1 LEVEL	
TOTAL		144	207		
SCOOTER STALLS		0	24	PROVIDED ON LEVEL 1 FOR SENIORS SAFETY & CONVENIENCE	
OFF STREET BICYCLE PARKING SUMMARY					
	CLASS 1 BICYCLE SPACES		CLASS 2 BICYCLE SPACES		NOTES
	AREA	REQUIRED/BYLAW SUPPLY	PROVIDED	REQUIRED/BYLAW	PROVIDED
RETAIL	901 SM	1 PER 200 SM	5	1 PER 200 SM	5
INDEPENDENT SENIORS UNITS	266 UNITS	1 PER 20 UNITS	13	1 PER 50 UNITS	5
AFFORDABLE UNITS	14 UNITS	1.25 PER UNIT	11	0.1/UNIT OR 6	2
CHILD CARE	345 SM	1 PER 700 SM	1	1 PER 200 SM	2
MEDICAL OFFICE	304 SM	1 PER 200 SM	2	1 PER 300 SM	1
ADDITIONAL BICYCLE STALLS			0		20
TOTAL			32		53
					15
					25
PARKING STALL SUMMARY		UNDERGROUND PARKING AREA SUMMARY / SF			
L1	2			SF	
P1 - PUBLIC + SENIORS RESIDENCE	115	P1		53,500	
P2 - SENIORS RESIDENCE	92	P2		53,500	
TOTAL	209	TOTAL		107,000	
NOTES:					
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & MAY BE ADJUSTED DURING WORKING DRAWINGS					
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS					
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC					
4. WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS					

BUILDING HEIGHT DATA									
PARC VICTORIA, VICTORIA, B.C.									
October-29-2018									
Average Grade: 73.19' (22.31m)									
FORT MIDRISE / FORT BRIDGE / FORT QUADRA MIDRISE									
LEVEL	Use	Elevation (Geodetic)	Clear floor height	Slab to Slab height	Total Height (from Ave. Grade)				
1	Commerical	71.00'	21.64m	16'-0"	4.88m	16'-8"	5.08m	NA	
2	Daycare / Offices	87.67'	26.72m	12'-0"	3.66m	12'-8"	3.86m	14.50'	4.41m
3	Residential Units	100.33'	30.58m	8'-0"	2.44m	8'-8"	2.64m	27.16'	8.27m
4	Residential Units	109.00'	33.22m	8'-0"	2.44m	8'-8"	2.64m	35.83'	10.91m
5	Residential Units	117.67'	35.86m	8'-0"	2.44m	8'-8"	2.64m	44.50'	13.56m
6	Residential Units	126.33'	38.51m	9'-0"	2.74m	9'-8"	2.95m	53.16'	16.20m
7	Residential Units	136.00'	41.45m	9'-0"	2.74m	9'-8"	2.95m	62.83'	19.14m
8	Residential Units	145.67'	44.40m	9'-0"	2.74m	9'-8"	2.95m	72.50'	22.09m
9	Residential Units	155.33'	47.35m	9'-0"	2.74m	9'-8"	2.95m	82.16'	25.04m
10	Penthouse Units	165.00'	50.29m	8'-3"	2.51m	8'-11"	2.72m	91.83'	27.98m
	T.O. Roof Slab	173.92'	53.01m					100.73'	30.70m
	T.O. Roof Parapet	176.92'	53.93m					103.75'	31.62m
11	T.O. Mech. Enclosure	184.00'	56.08m					110.83'	33.77m
QUADRA BRIDGE / BROUGHTON MIDRISE									
LEVEL	Use	Elevation (Geodetic)	Clear floor height	Slab to Slab height	Total Height (from Ave. Grade)				
1	Commerical	75.00'	22.86m	12'-0"	3.66m	12'-8"	3.86m	1.83'	0.55m
2	Amenities	87.67'	26.72m	12'-0"	3.66m	12'-8"	3.86m	14.50'	4.41m
2 RES	Residential Units	91.67'	27.94m	8'-0"	2.44m	8'-8"	2.64m	18.50'	5.63m
3	Residential Units	100.33'	30.58m	8'-0"	2.44m	8'-8"	2.64m	27.16'	8.27m
4	Residential Units	109.00'	33.22m	8'-0"	2.44m	8'-8"	2.64m	35.83'	10.91m
5	Residential Units	117.67'	35.86m	8'-0"	2.44m	8'-8"	2.64m	44.50'	13.56m
6	Residential Units	126.33'	38.51m	9'-0"	2.74m	9'-8"	2.95m	53.16'	16.20m
7	Residential Units	136.00'	41.45m	9'-0"	2.74m	9'-8"	2.95m	62.83'	19.14m
8	Residential Units	145.67'	44.40m	9'-0"	2.74m	9'-8"	2.95m	72.50'	22.09m
9	Residential Units	154.33'	47.04m	9'-0"	2.74m	9'-8"	2.94m	82.16'	25.04m
10	Penthouse Units	164.00'	49.99m	8'-3"	2.51m	8'-11"	2.72m	91.83'	27.98m
	T.O. Roof Slab	173.92'	53.01m					100.73'	30.70m
	T.O. Roof Parapet	176.92'	53.93m					103.75'	31.62m
11	T.O. Mech. Enclosure	184.00'	56.08m					110.83'	33.77m
PARKING LEVELS									
Level	Use	Elevation (Geodetic)	Notes						
P2	Parking	50.00'	15.24m	Bottom of ramp elevation					
P1	Parking	59.00'	17.98m	Bottom of ramp elevation					

bfa studio
architects
ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
600 - 355 Burrard Street
Vancouver, BC V6C 2G8
www.bfastudioarchitects.com

T 604 682 8544
F 604 682 4000

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPIES/PRINTS RECEIVED:
THIS PLAN AND DESIGN ARE, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT ARCHITECT'S CONSENT. ARCHITECT'S SERVICES SHALL BE PROVIDED ON A FIXED-FEE BASIS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS DISCOVERED IN THE DESIGN OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.

CLIENT
parc retirement living

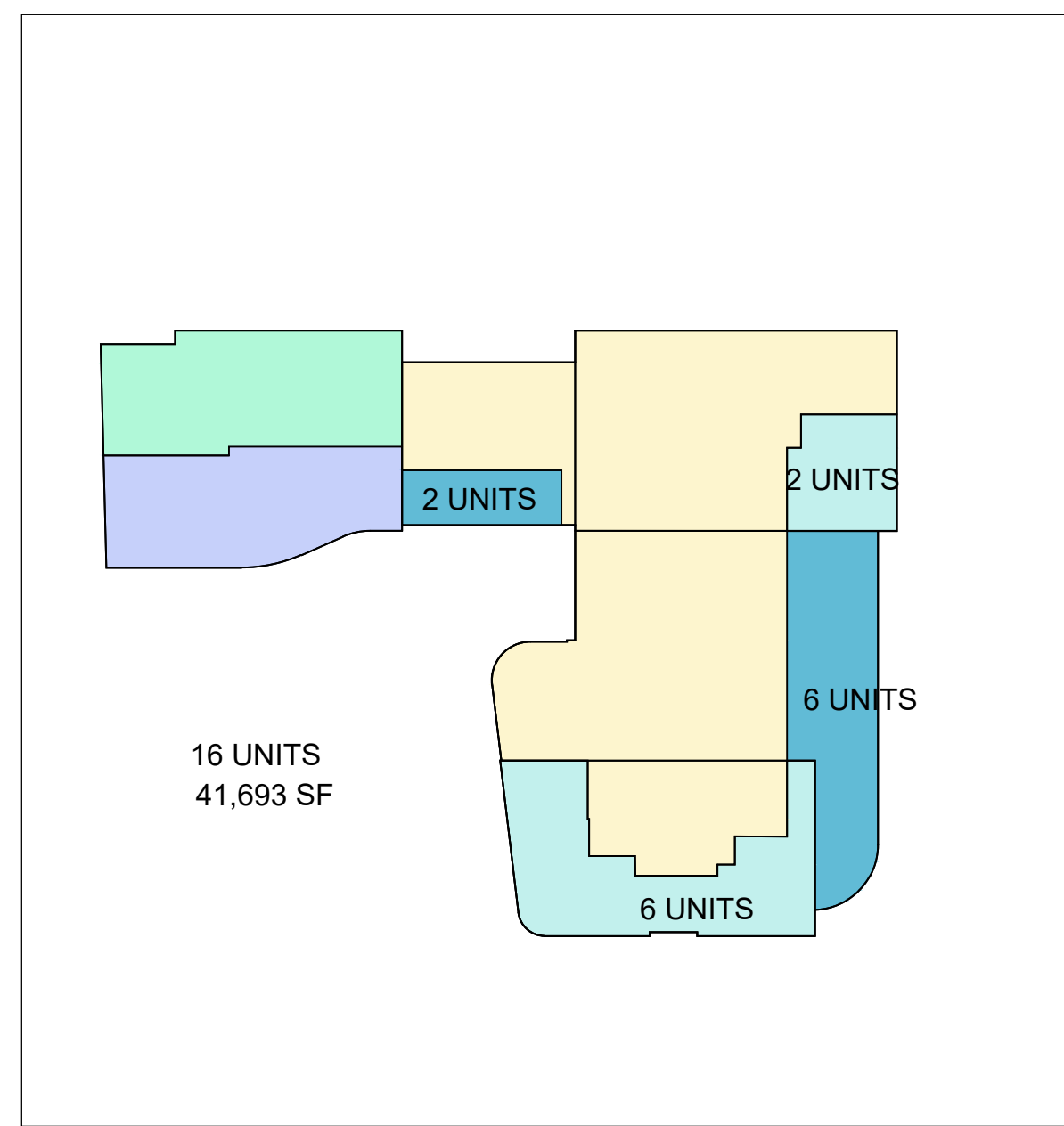
PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

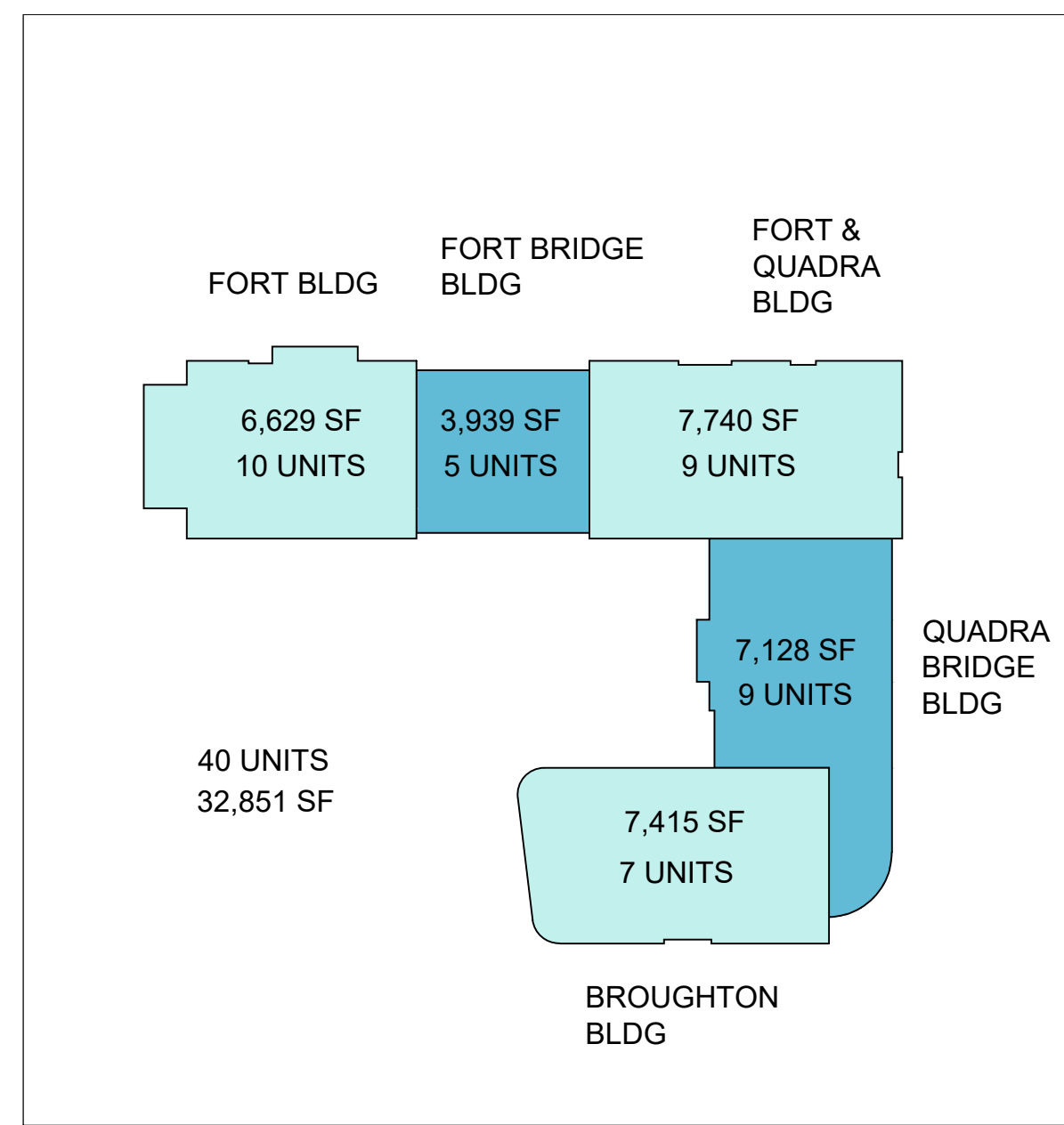
DRAWING TITLE
PROJECT STATISTICS

SCALE
A002

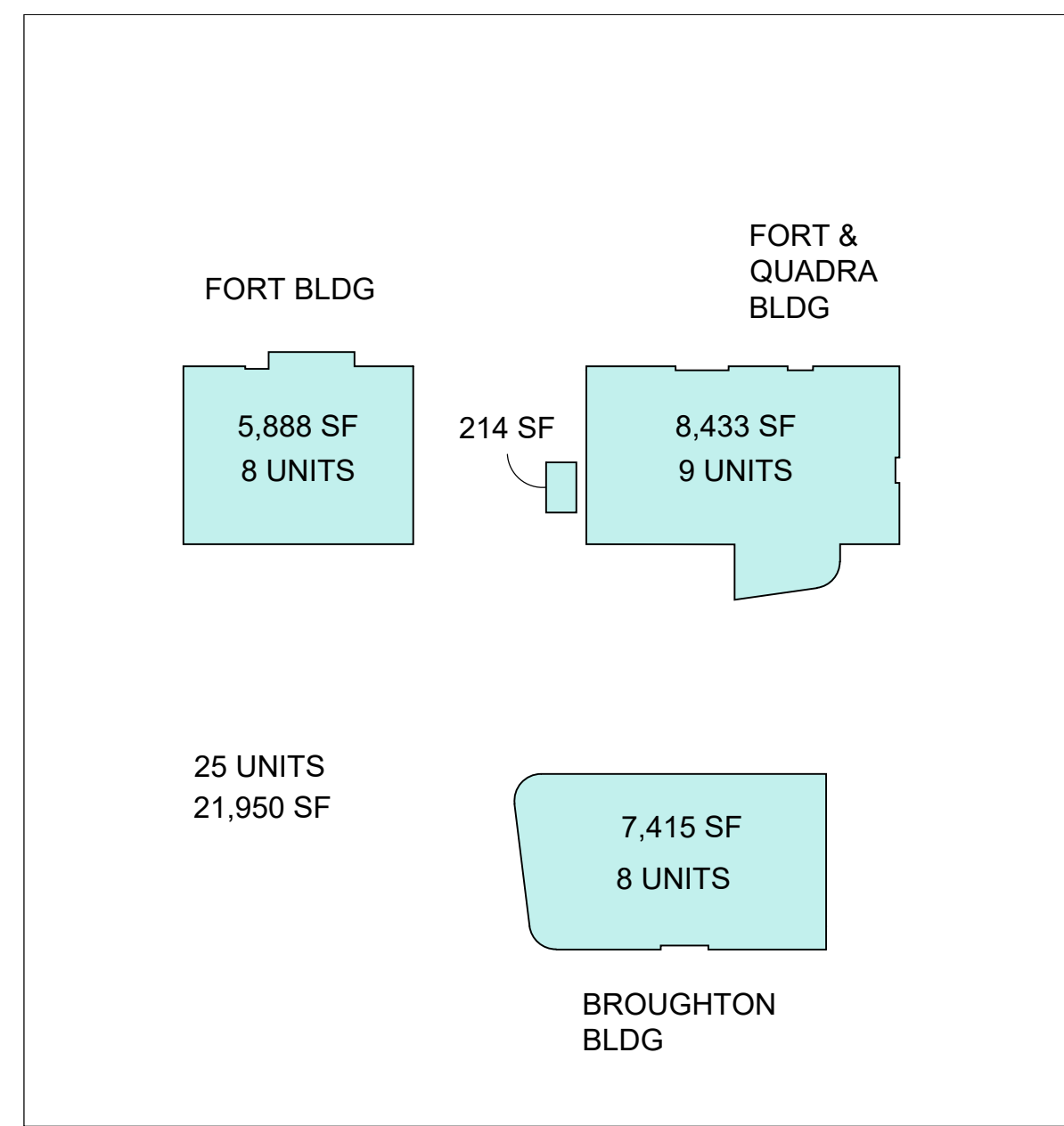
DATE
DRAWN
CHECKED



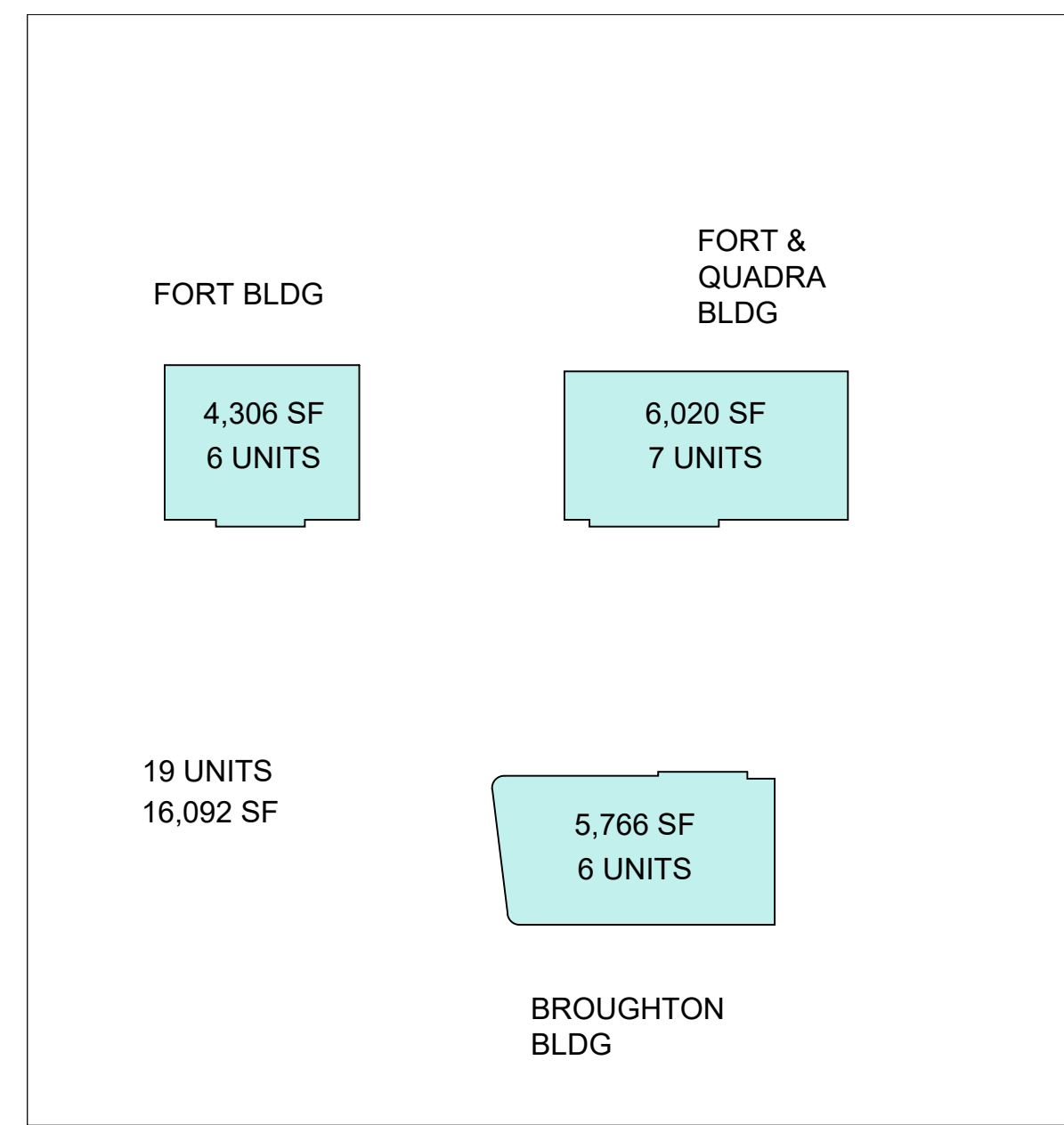
3 LEVEL 2



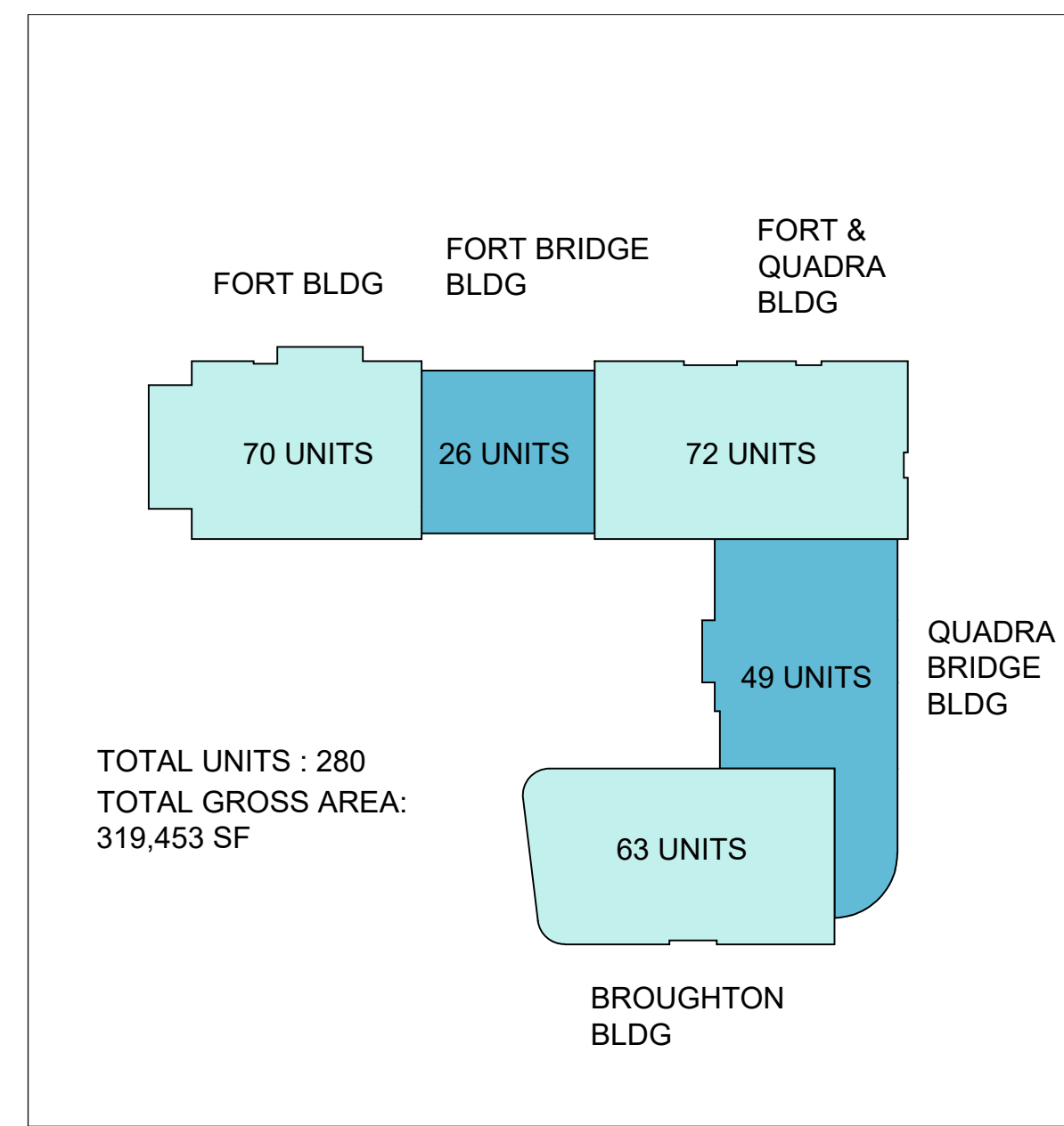
6 LEVEL 5



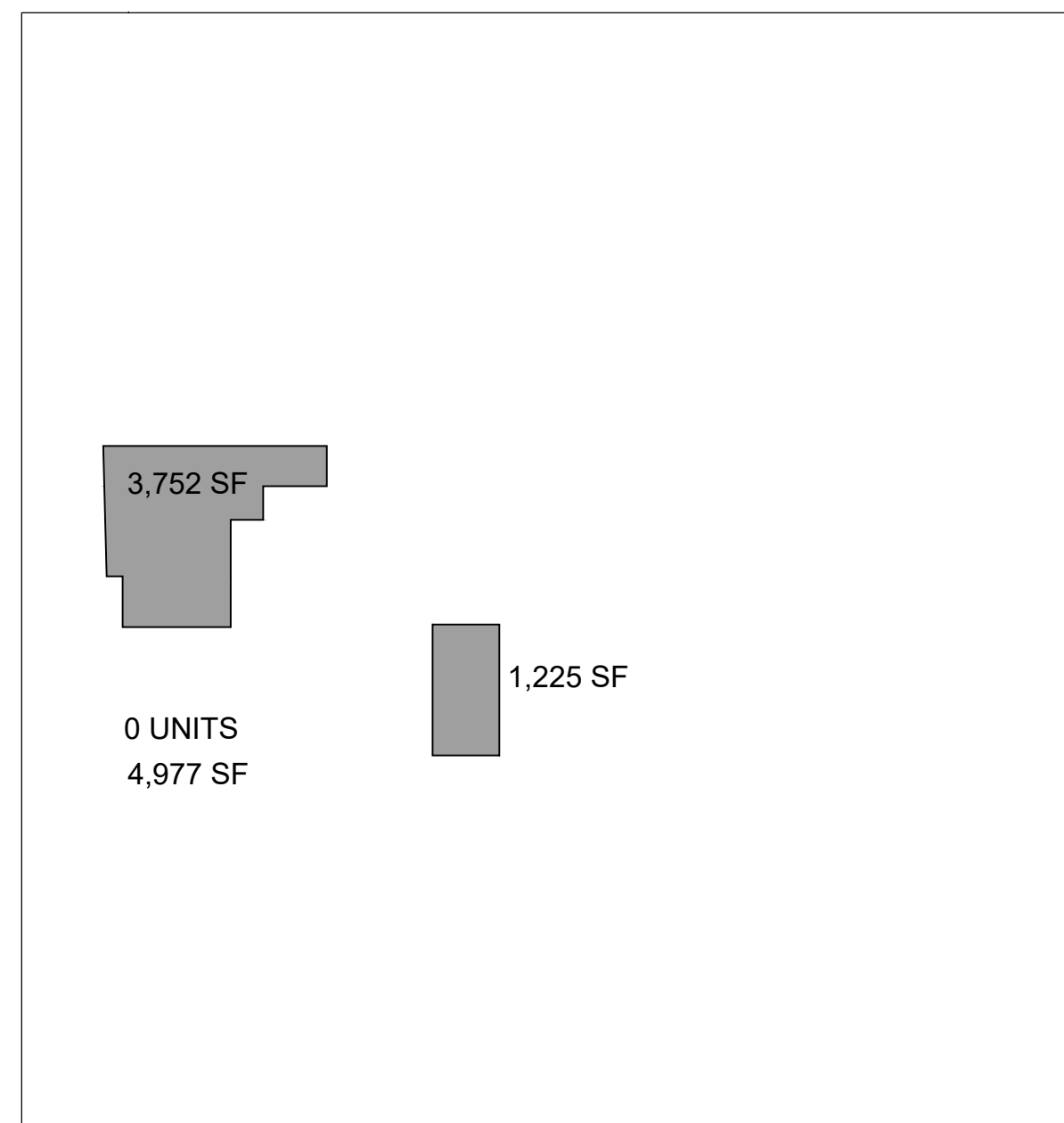
9 LEVEL 8



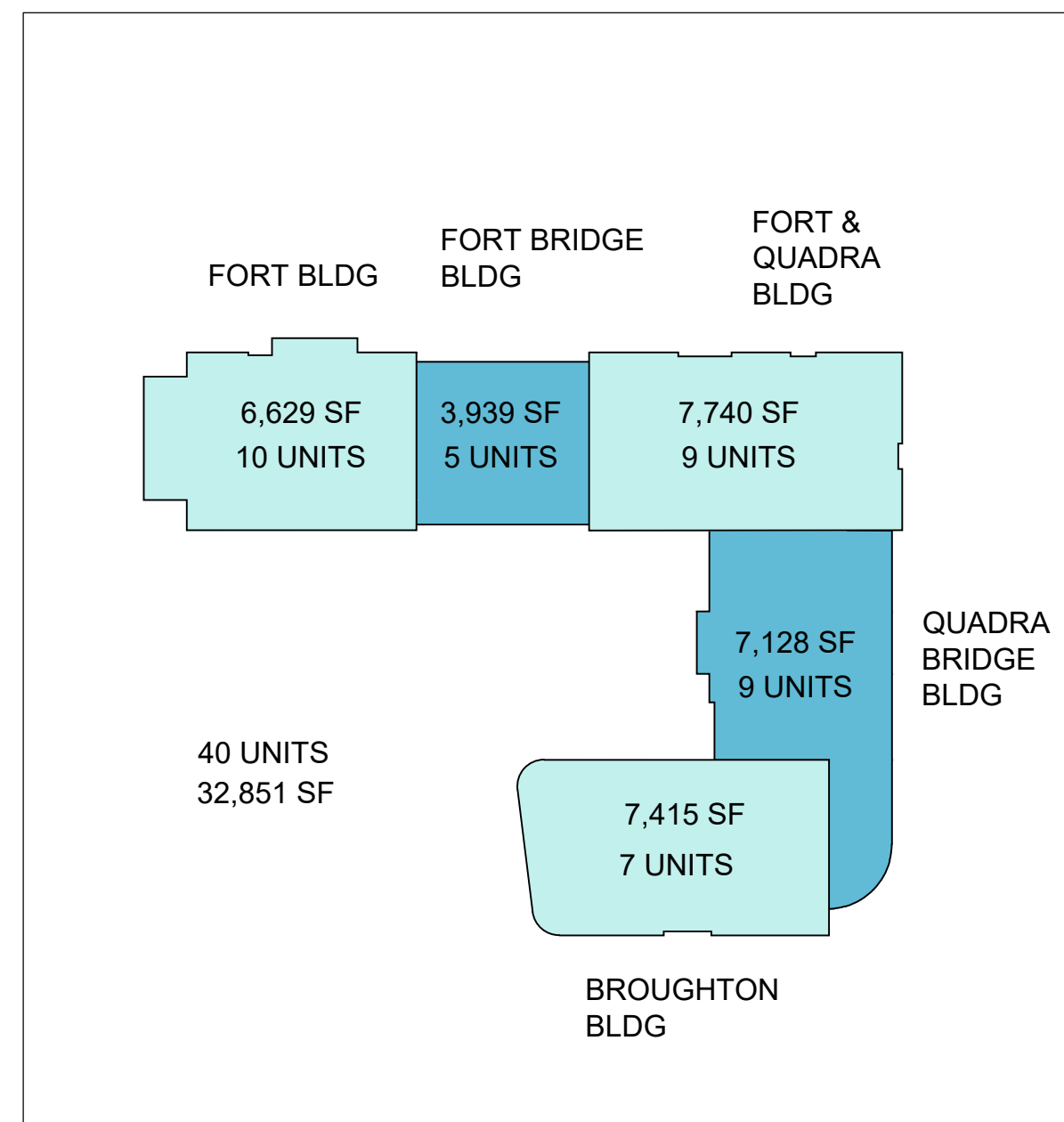
11 LEVEL 10



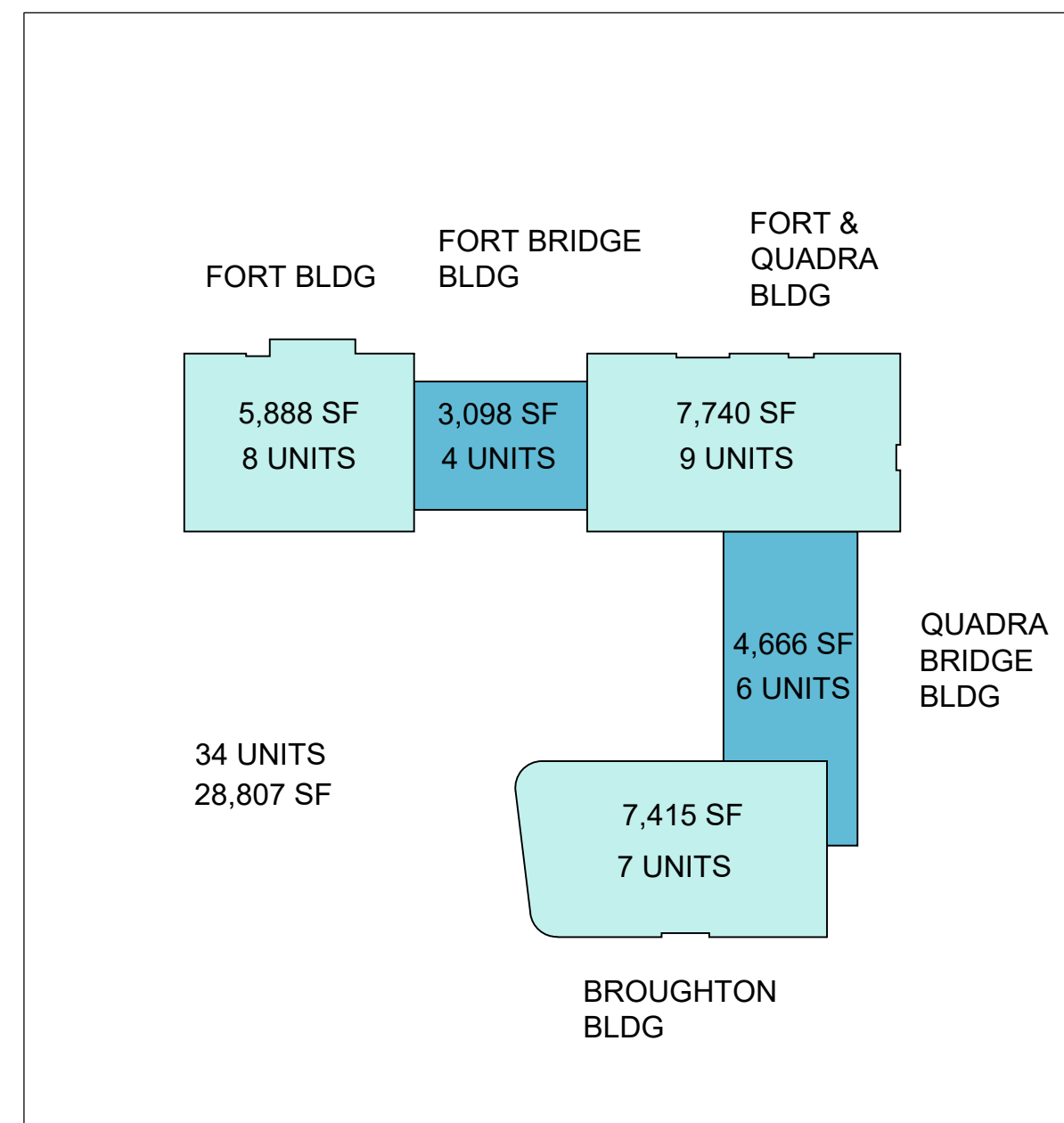
13 TOTAL



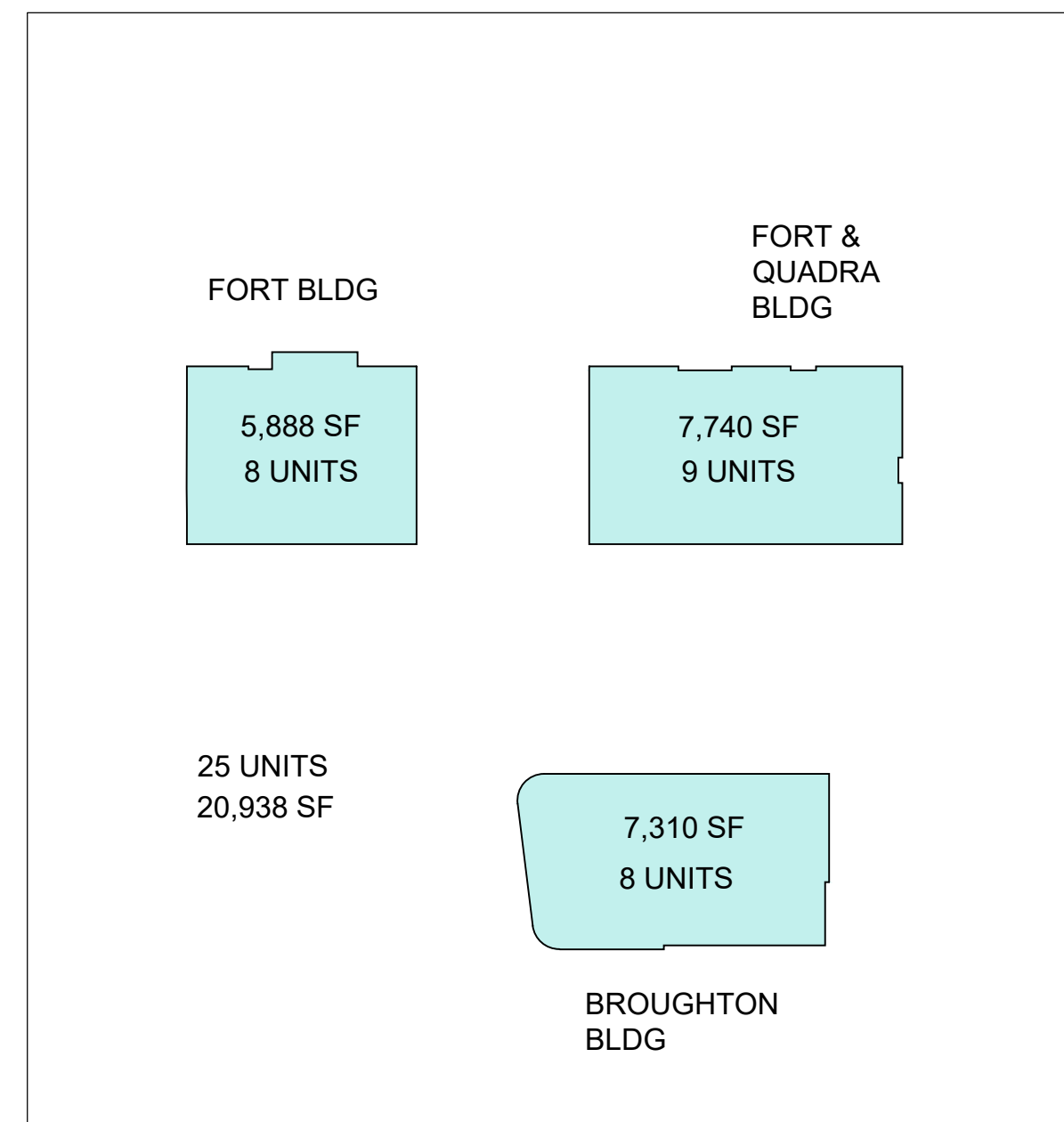
2 MECHANICAL LEVEL



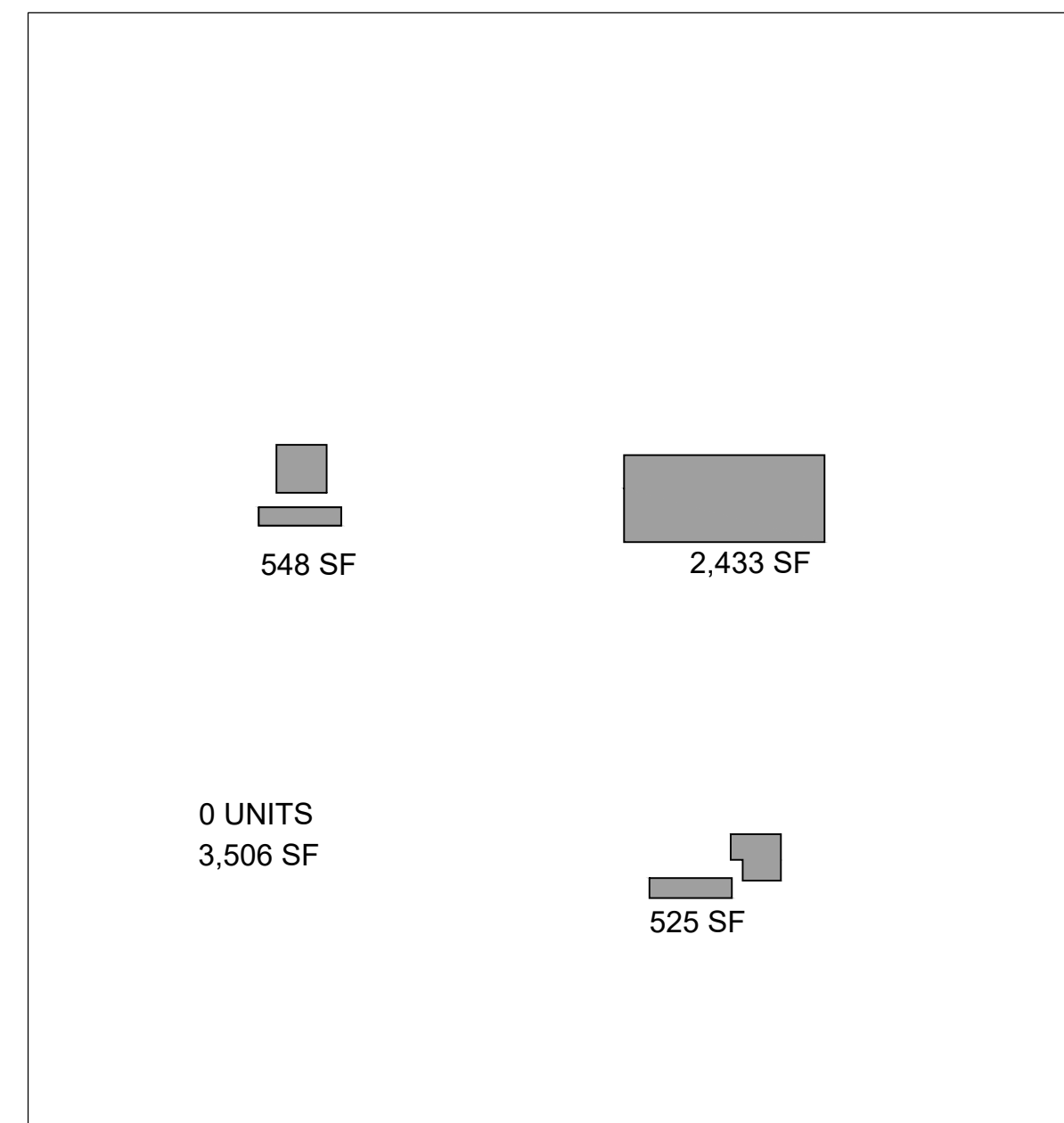
5 LEVEL 4



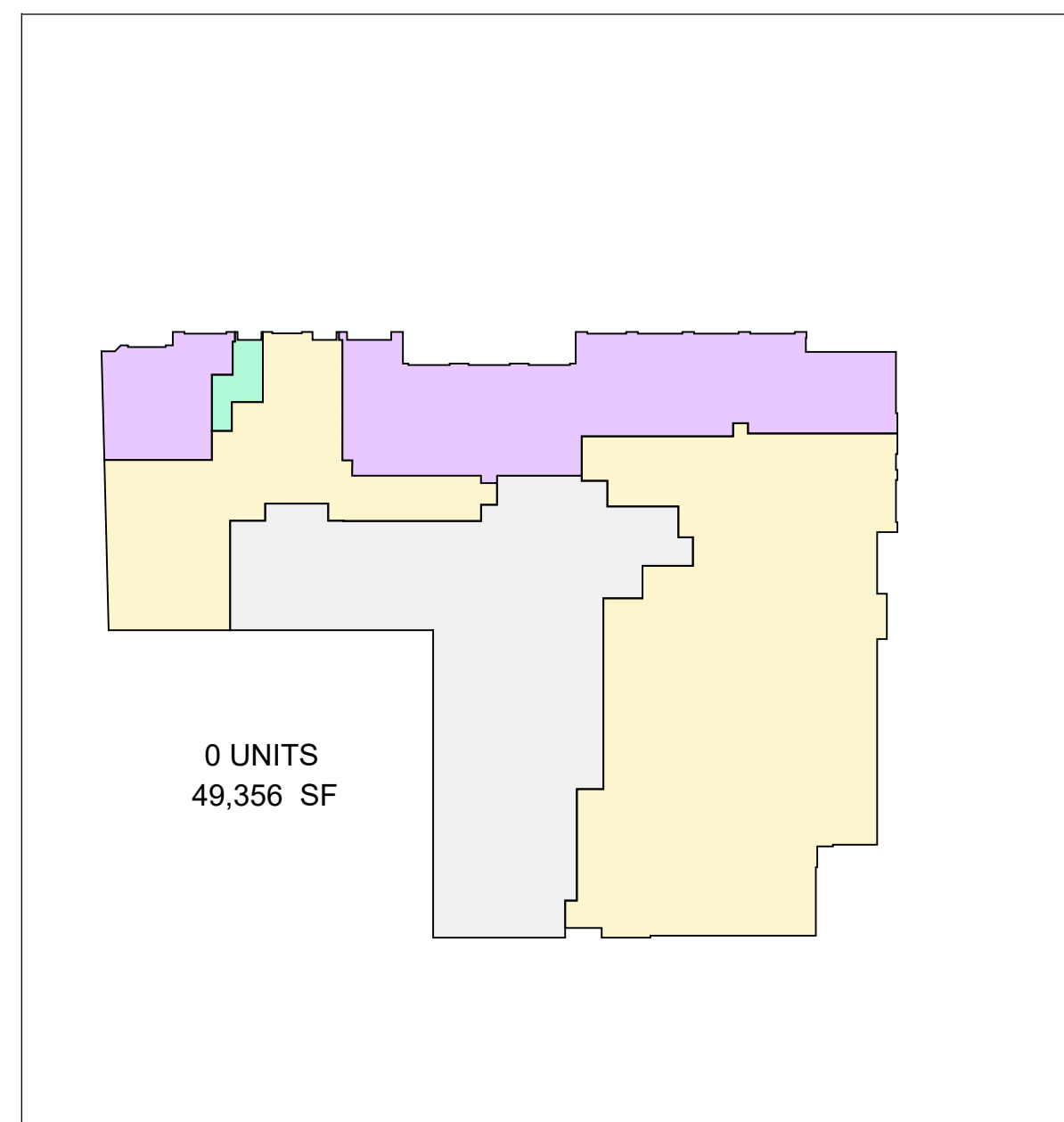
8 LEVEL 7



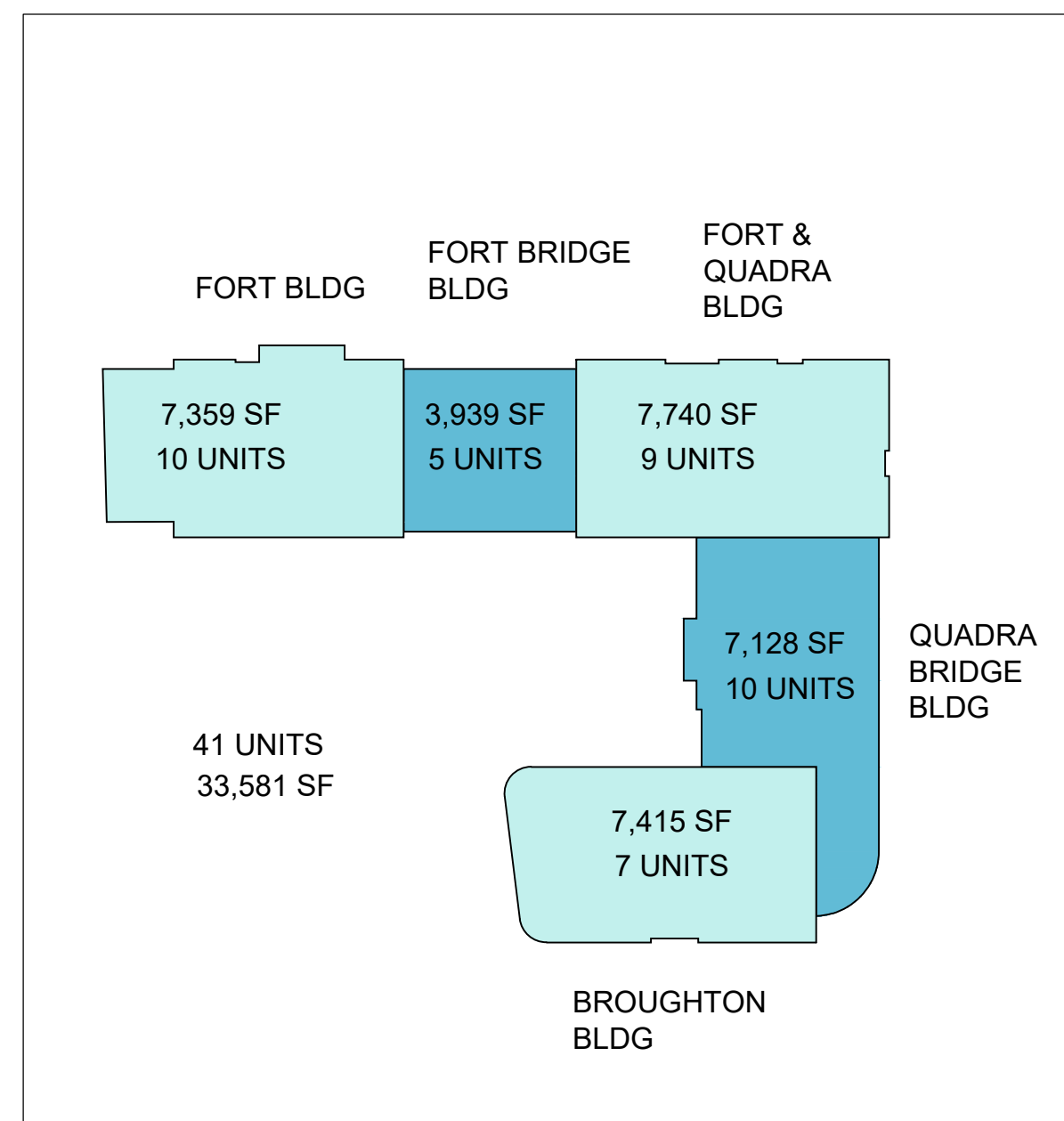
10 LEVEL 9



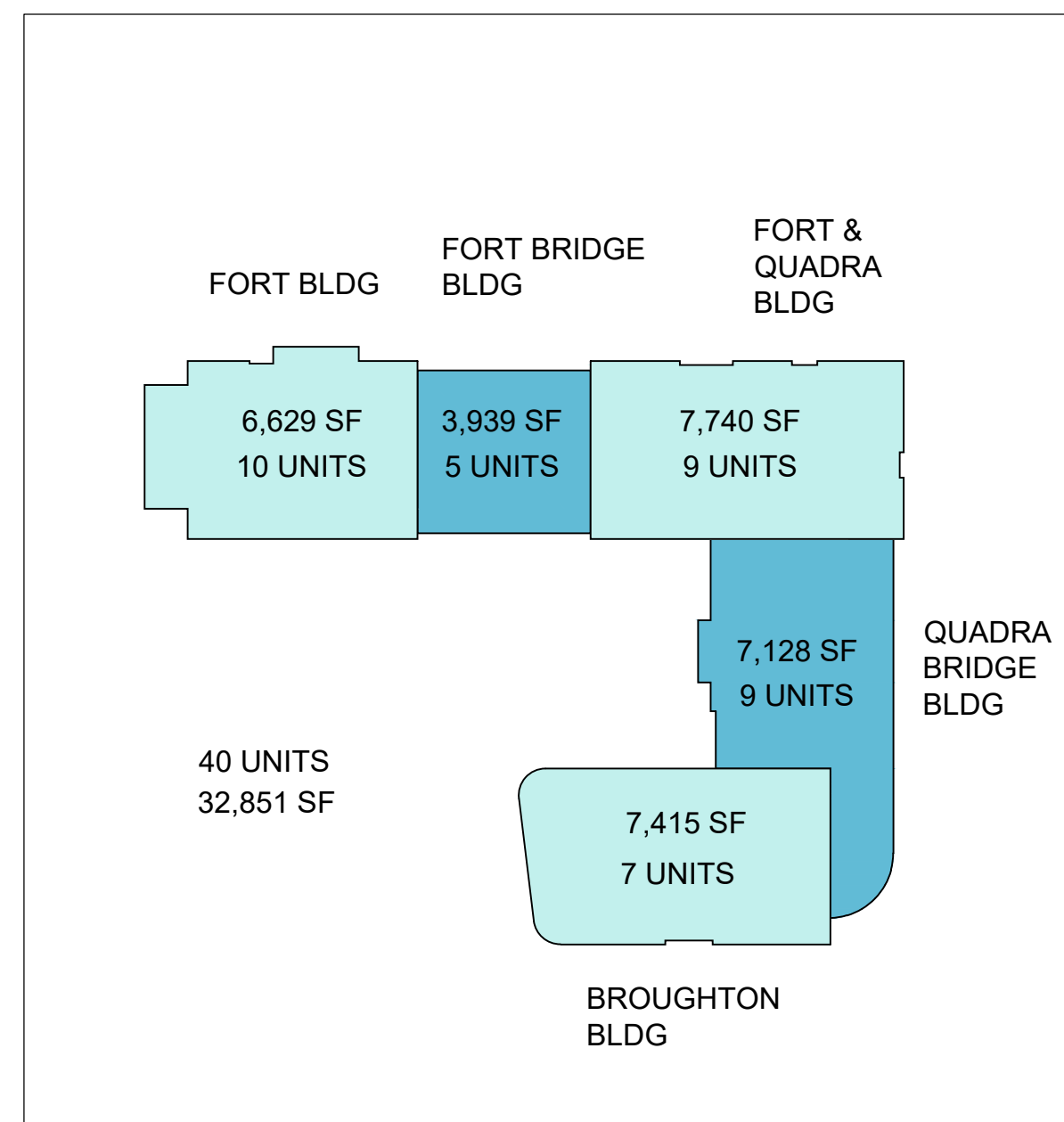
12 ROOF



1 LEVEL 1



4 LEVEL 3



7 LEVEL 6

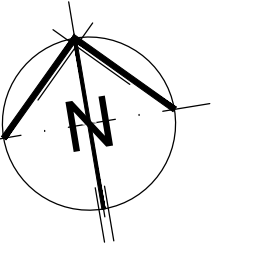
BUILDING BREAKDOWN FLOOR AREA CALCULATIONS

LEVEL	FORT BUILDING (SF)	FORT BRIDGE BUILDING (SF)	FORT / QUADRA BUILDING (SF)	QUADRA BRIDGE BUILDING (SF)	BROUGHTON BUILDING (SF)	TOTAL
1						49,356
MECHANICAL						4,977
2	9,315	3,939	9,017	11,984	7,438	41,693
3	7,359	3,939	7,740	7,128	7,415	33,581
4	6,629	3,939	7,740	7,128	7,415	32,851
5	6,629	3,939	7,740	7,128	7,415	32,851
6	6,629	3,939	7,740	7,128	7,415	32,851
7	5,888	3,098	7,740	4,666	7,415	28,807
8	5,888	214	8,433	0	7,415	21,950
9	5,888	0	7,740	0	7,310	20,938
10	4,306	0	6,020	0	5,766	16,092
ROOF	548	0	2,433	0	525	3,506
TOTAL						319,453

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

© COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS DESIGNERS SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ASSOCIATED PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420
PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
AREA DIAGRAMS

SEAL

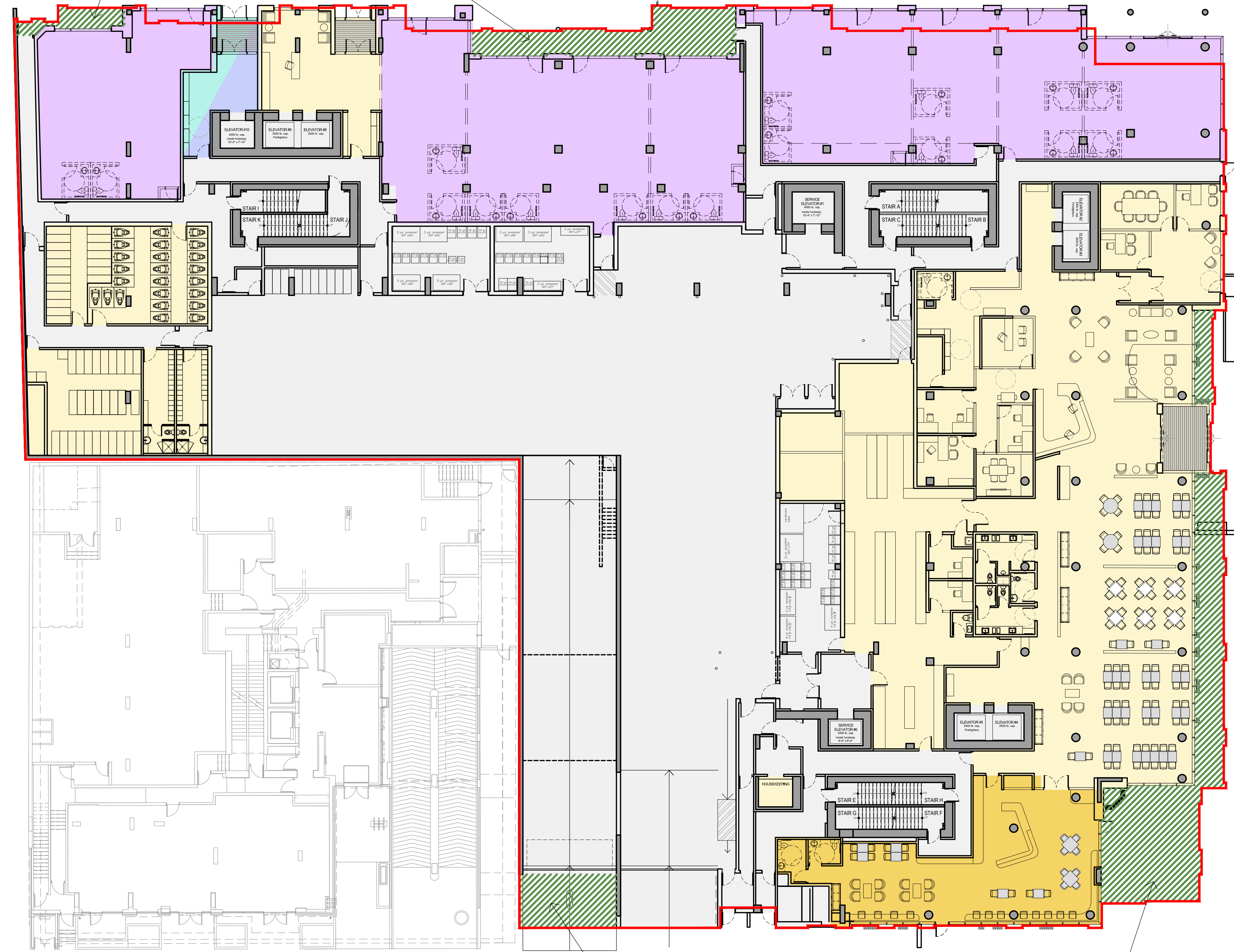
DRAWING NO. REVISION

A004

DATE APR 2017
SCALE 1/64" = 1'-0"

ADDITIONAL AREAS OF OPEN SPACE

LINE OF PREVIOUSLY SUBMITTED BUILDING FOOTPRINT

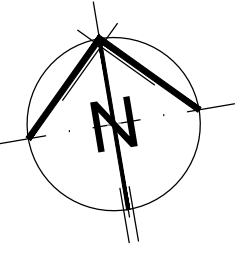


ADDITIONAL AREAS OF OPEN SPACE

REVISIONS

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR REZONING & DP	16 JAN 2019
2	RE-ISSUED FOR ADP	24 APR 2019
3	RE-ISSUED FOR REZONING & DP	29 MAY 2019
4	RE-ISSUED FOR REZONING & DP	28 AUG 2020
5	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ARCHITECTS UNDERTAKE TO PROVIDE PROFESSIONAL SERVICES IN ACCORDANCE WITH THE PROFESSIONAL CODE OF CONDUCT AND STANDARDS OF PRACTICE OF THE ARCHITECTS OF BRITISH COLUMBIA. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



CLIENT
parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**COMPARISON
DIAGRAM - LEVEL 1**

SEAL

DRAWING NO. REVISION

A005

DATE
APR 2017

SCALE
1/16" = 1'-0"



1 VIEW OF BUILDING NORTH-EAST AT FORT & QUADRA STREET



2 VIEW OF FORT STREET COMMERCIAL & RETAIL UNITS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. INDIVIDUAL DESIGNERS SHALL MAINTAIN AND PROTECT THEIR OWN SCALD DESIGNERS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.

CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

3D PERSPECTIVES

SEAL

DRAWING NO.

REVISION

A006

DATE

DRAWN

APR 2017

SCALE

CHECKED

N.T.S.



1 VIEW OF BUILDING SOUTH-EAST FROM PIONEER SQUARE



2 VIEW OF "GREEN CORRIDOR" & SOUTH-WEST VIEW FROM BROUGHTON STREET

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS DESIGNERS SHALL HAVE PRECEDED THEIR SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.

CLIENT
parc
retirement
living

PROJECT NO.
17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE
3D PERSPECTIVES

SEAL

DRAWING NO. REVISION

A007

DATE
APR 2017
SCALE
N.T.S.
DRAWN
CHECKED



1 VIEW OF PROPOSED BUILDING GREEN ROOFS AND SURROUNDING CONTEXT

2 VIEW OF COURTYARD & GREEN ROOFS FROM ROOF OF ESCHER BUILDING



3 VIEW OF FORT BUILDING ENTRANCE AND ADJACENT BUILDING



4 VIEW OF SENIORS' COURTYARD ON LEVEL 2

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN CONSENT. VISITORS TO THE PROJECT SHALL BE RESPONSIBLE FOR ALL DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL BE RESPONSIBLE FOR THE ARCHITECT'S OF ANY VIOLATION OR DISCREPANCY IN THE DESIGN OR CONSTRUCTION SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



1 VIEW OF BROUGHTON AND QUADRA CORNER



2 VIEW OF CAFE ENTRANCE AT BROUGHTON



3 VIEW OF URBAN CAFE CORNER AT BROUGHTON AND QUADRA



4 VIEW OF MAIN ENTRANCE AT QUADRA

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. UNLESS OTHERWISE SPECIFIED, DIMENSIONS SHALL BE PROVIDED IN THEIR SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.

CLIENT
parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

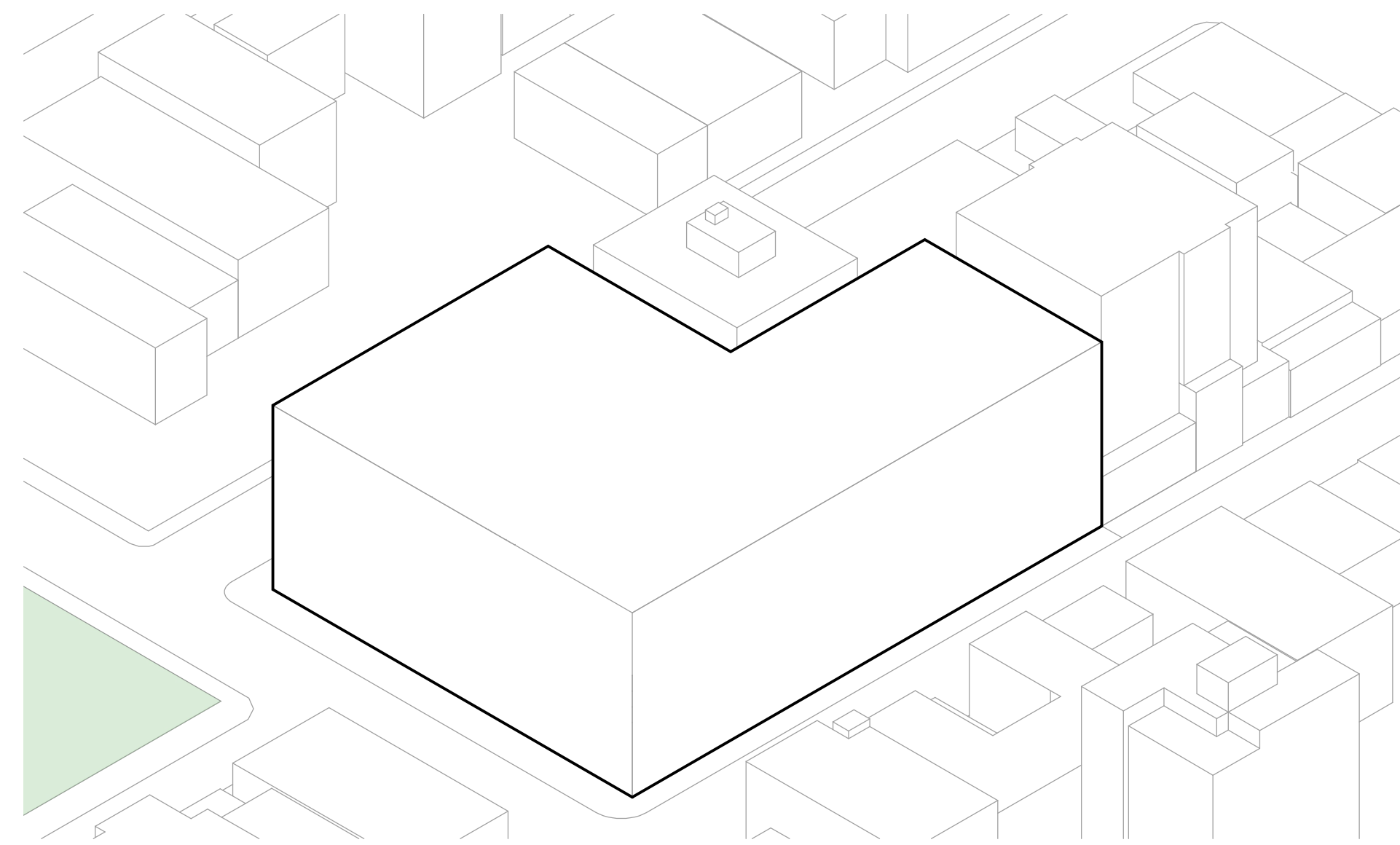
DRAWING TITLE
3D PERSPECTIVES

SCALE

DRAWING NO. REVISION

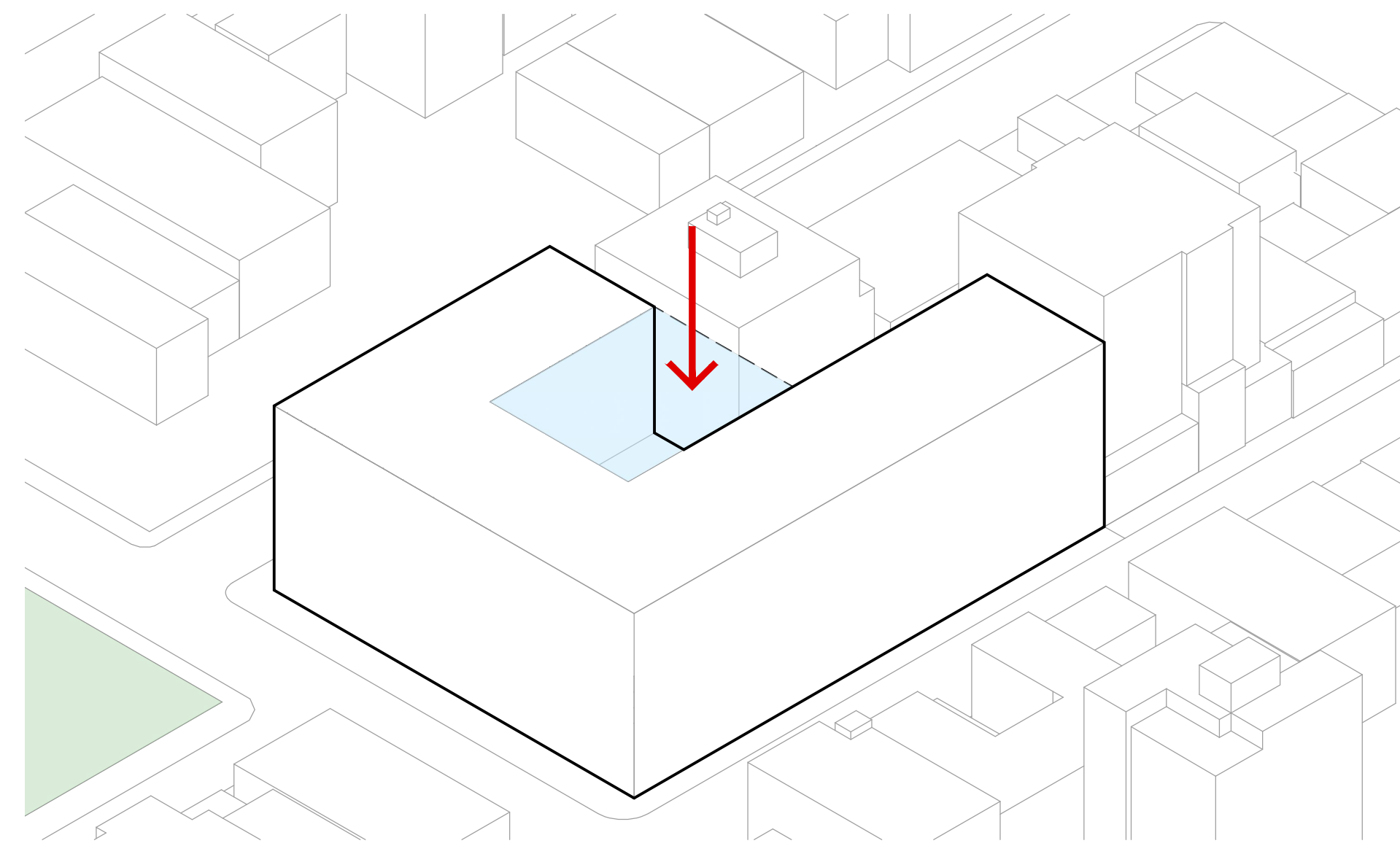
A009

DATE APR 2017
SCALE N.T.S.
DRAWN CHECKED



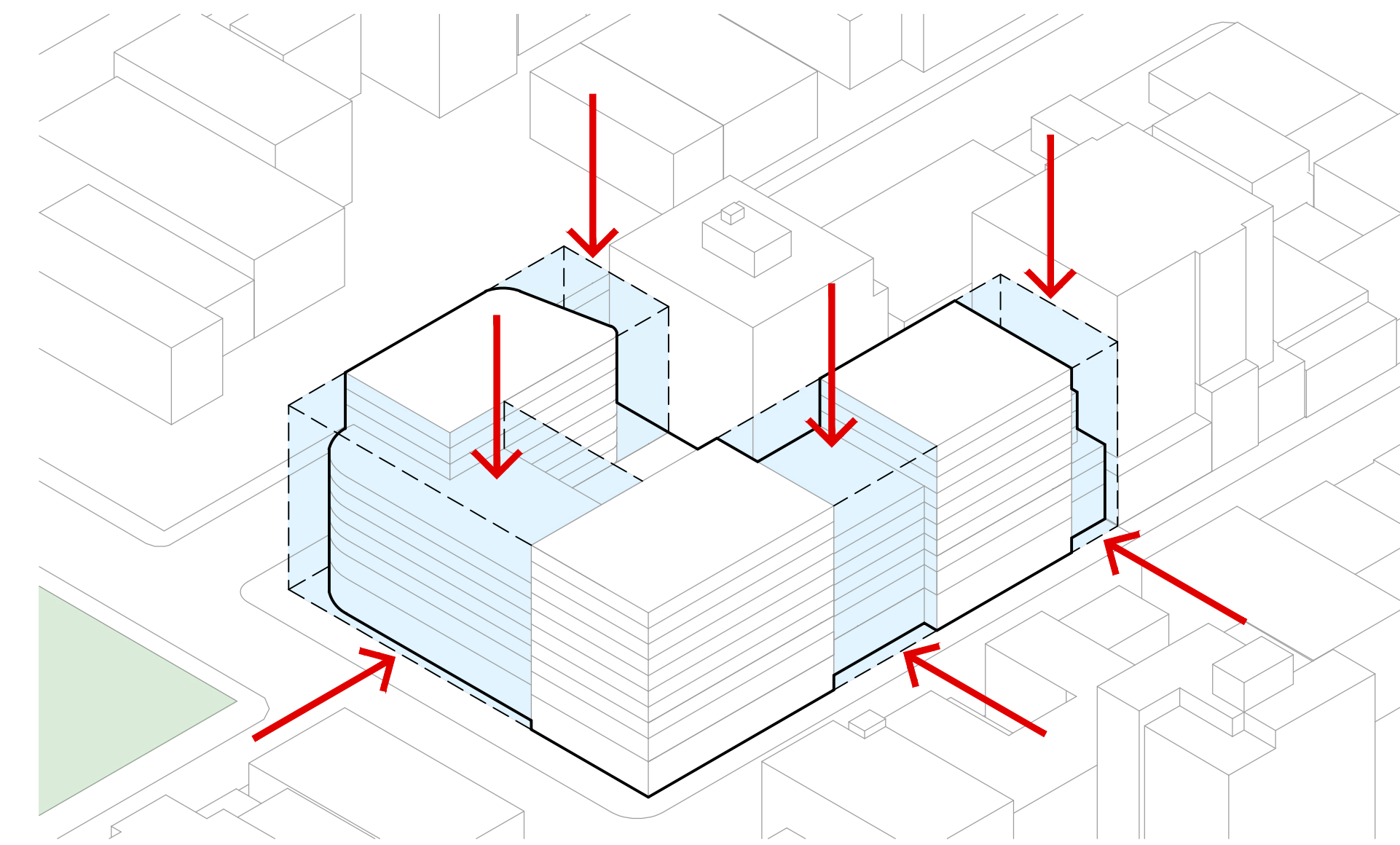
INITIAL MASSING POTENTIAL

Initial massing is created by taking the site footprint and extruding it up 30 m.



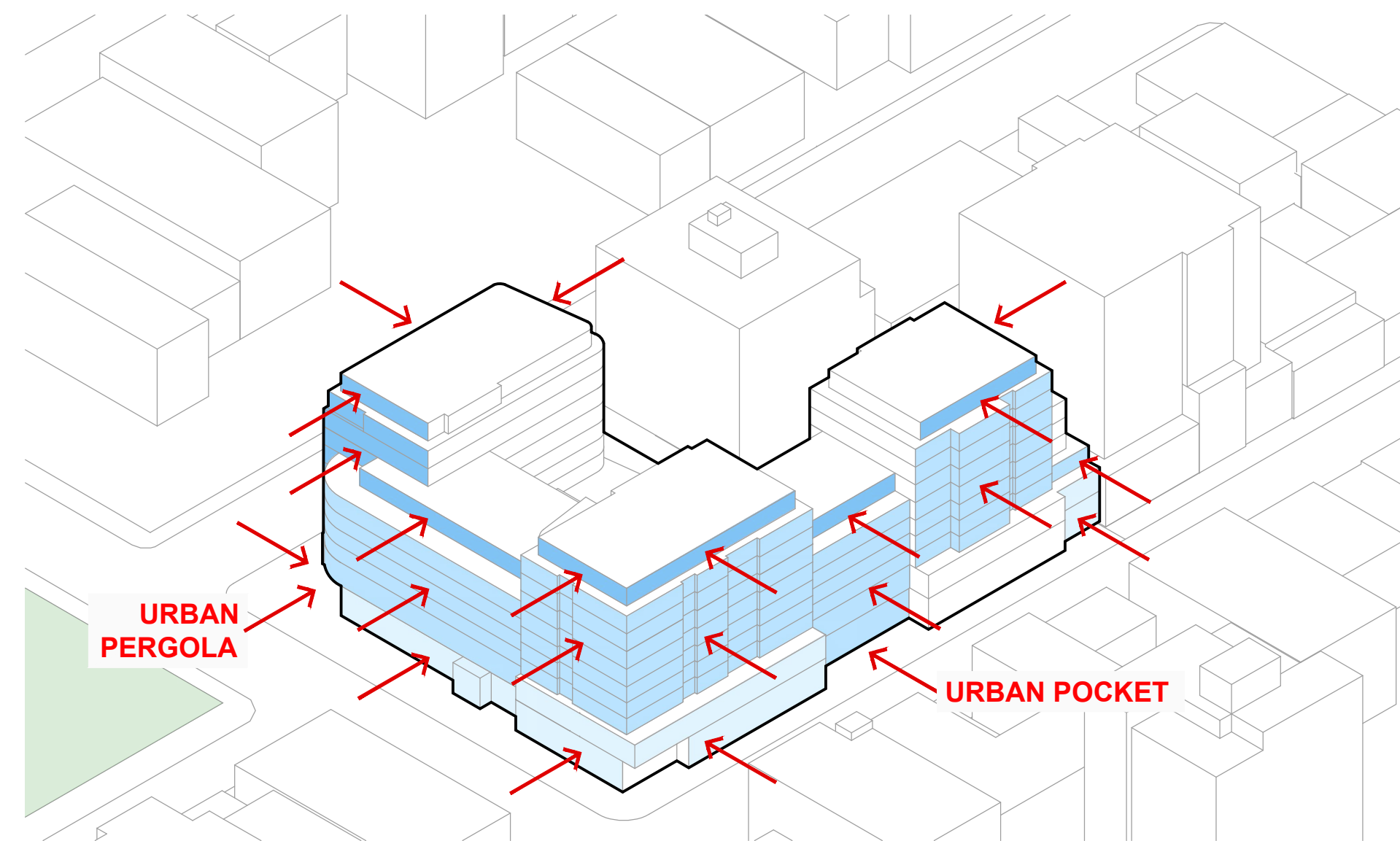
INTERNAL COURTYARD

An internal courtyard is created following extraction from the center of the initial massing.



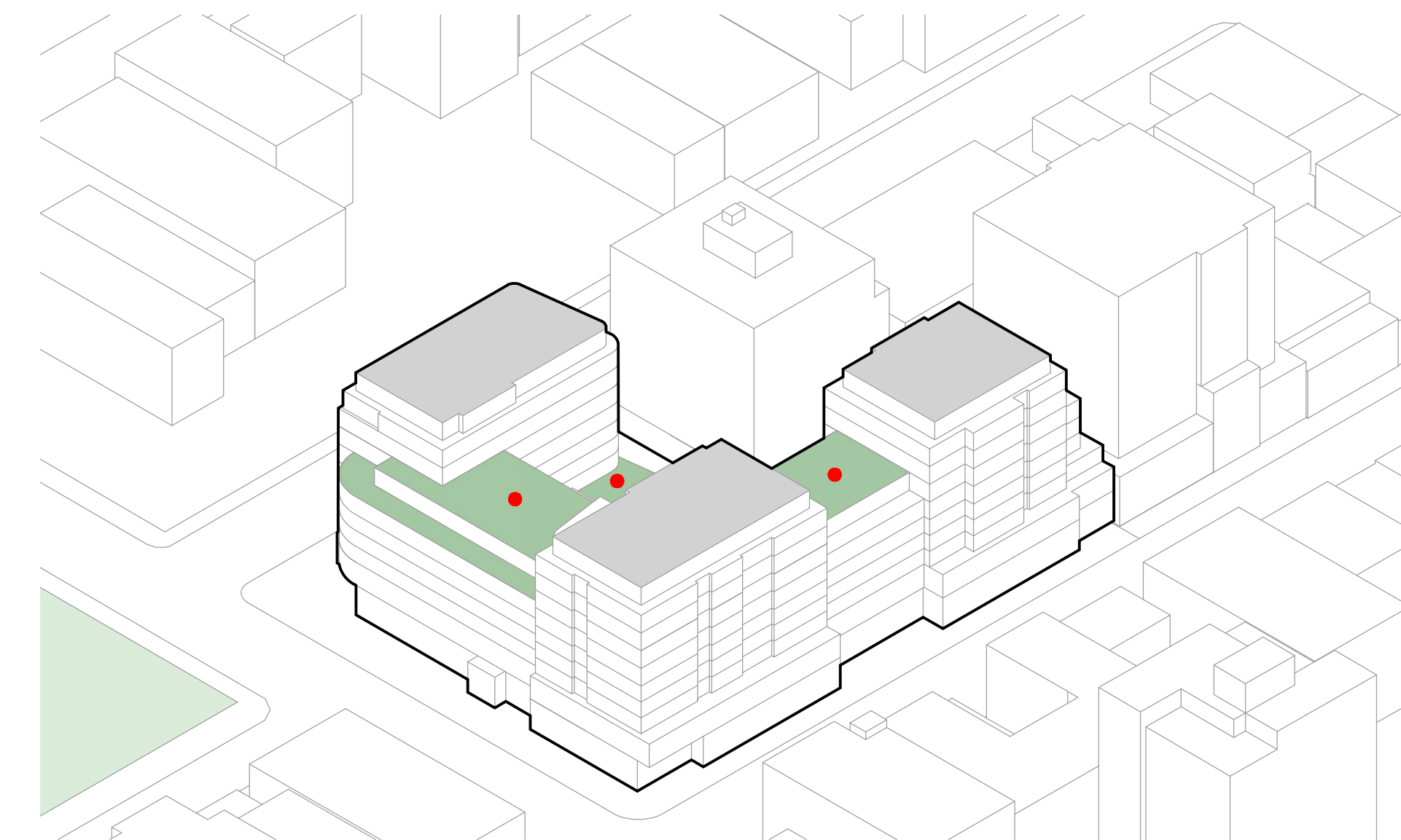
CARVE

The massing is carved in response to context to create view corridors and a sense of openness through the site.



STEPPED SETBACKS

The building is stepped back in response to City of Victoria guidelines and policies including the Downtown Core Area Plan as well as site context and existing and future urban fabric, creating a facade that acknowledges the scale of the neighbourhood. The southeast corner is articulated in reference to Pioneer Square and Christ Church Cathedral across the street.



GREEN ROOFS

Carving and mass reduction provide the opportunity for terraced green roofs. Rooftop amenity spaces offer residents the ability to enjoy year-round activities. These amenities will be accessible to the public at certain times of the day.

- Potential roof top PV panels / solar hot water collector
- Accessible green roof
- Roof top Amenity

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR REZONING & DP	16 JAN 2019
2	RE-ISSUED FOR ADP	24 APR 2019
3	RE-ISSUED FOR REZONING & DP	29 MAY 2019
4	RE-ISSUED FOR REZONING & DP	28 AUG 2020
5	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. INDIVIDUAL MEMBERS SHALL HAVE NO LIABILITY FOR ANY SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.

REVISIONS

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR ADP	24 APR 2019
2	RE-ISSUED FOR REZONING & DP	29 MAY 2019
3	RE-ISSUED FOR REZONING & DP	28 AUG 2020
4	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISIONS INDICATED SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE BUILD SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO VALIDITY OR CORRELATION WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

**FORM OF DEVELOPMENT -
MAIN LEVEL SETBACKS**

SCALE

DRAWING NO.

A012

DATE

APR 2017

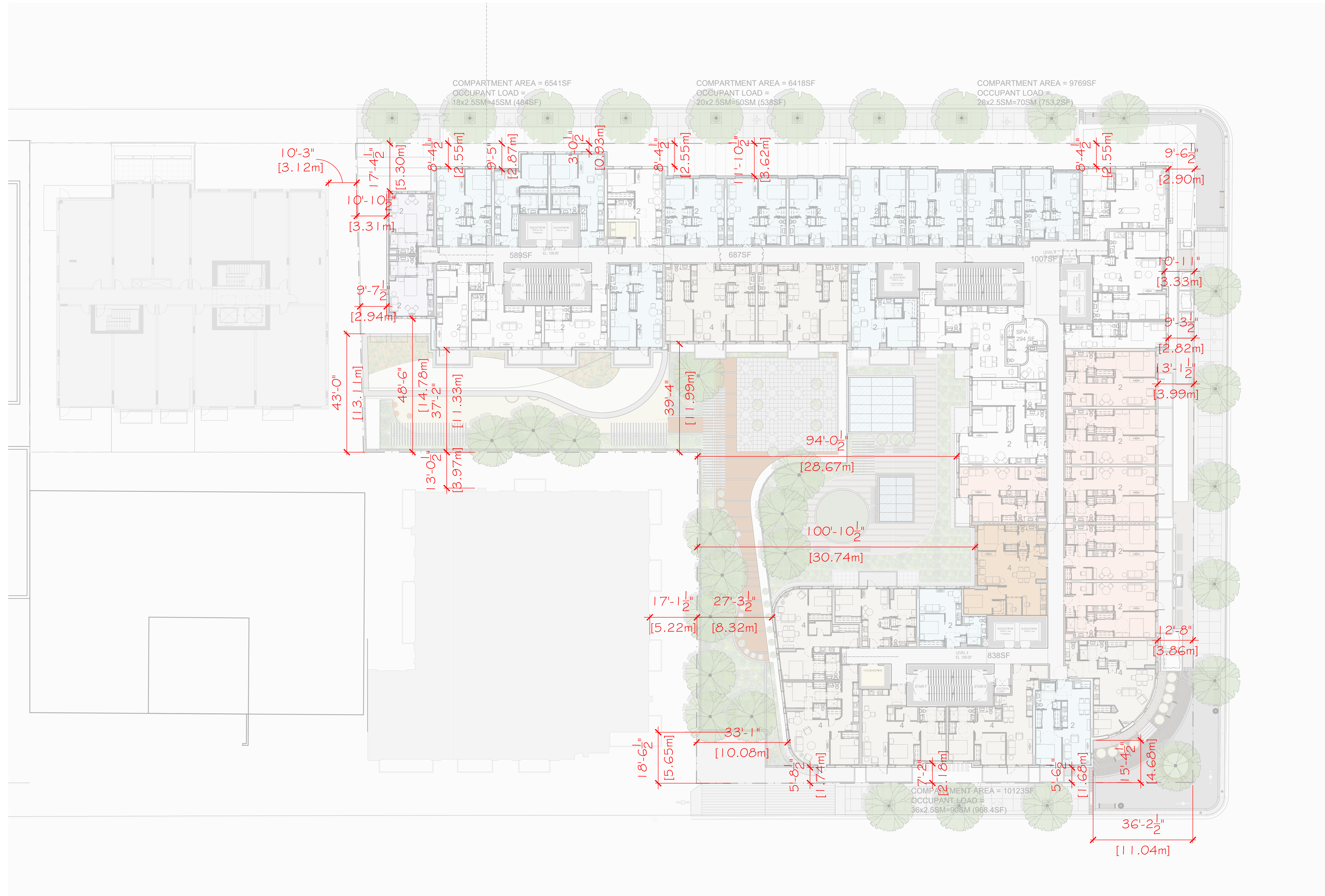
SCALE

N.T.S.

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR ADP	24 APR 2019
2	ISSUED FOR REZONING & DP	29 MAY 2019
3	ISSUED FOR REZONING & DP	28 AUG 2020
4	ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE BUILDING AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO VALIDITY OR CORRELATION WITH REGARD TO THE PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORM OF DEVELOPMENT - TYPICAL LEVEL SETBACKS

SEAL

DRAWING NO. REVISION

A013

DATE APR 2017
SCALE N.T.S.



FUTURE ROOF PV PANELS

TRIPLE GLAZING IN METAL & VINYL WINDOWS ON RESIDENTIAL LEVELS

RATIO OF RESIDENTIAL GLAZING TO SOLID WALL: LESS THAN 40%

RAINSCREEN WALL ASSEMBLY

FUTURE ROOF PV PANELS



QUADRA BUILDING BALCONIES & BRISE SOLEIL ACT AS SHADING DEVICES

QUADRA & BROUGHTON BUILDINGS MAIN LEVEL VERTICAL STREET LEVEL SHADING



FUTURE ROOF PV PANELS

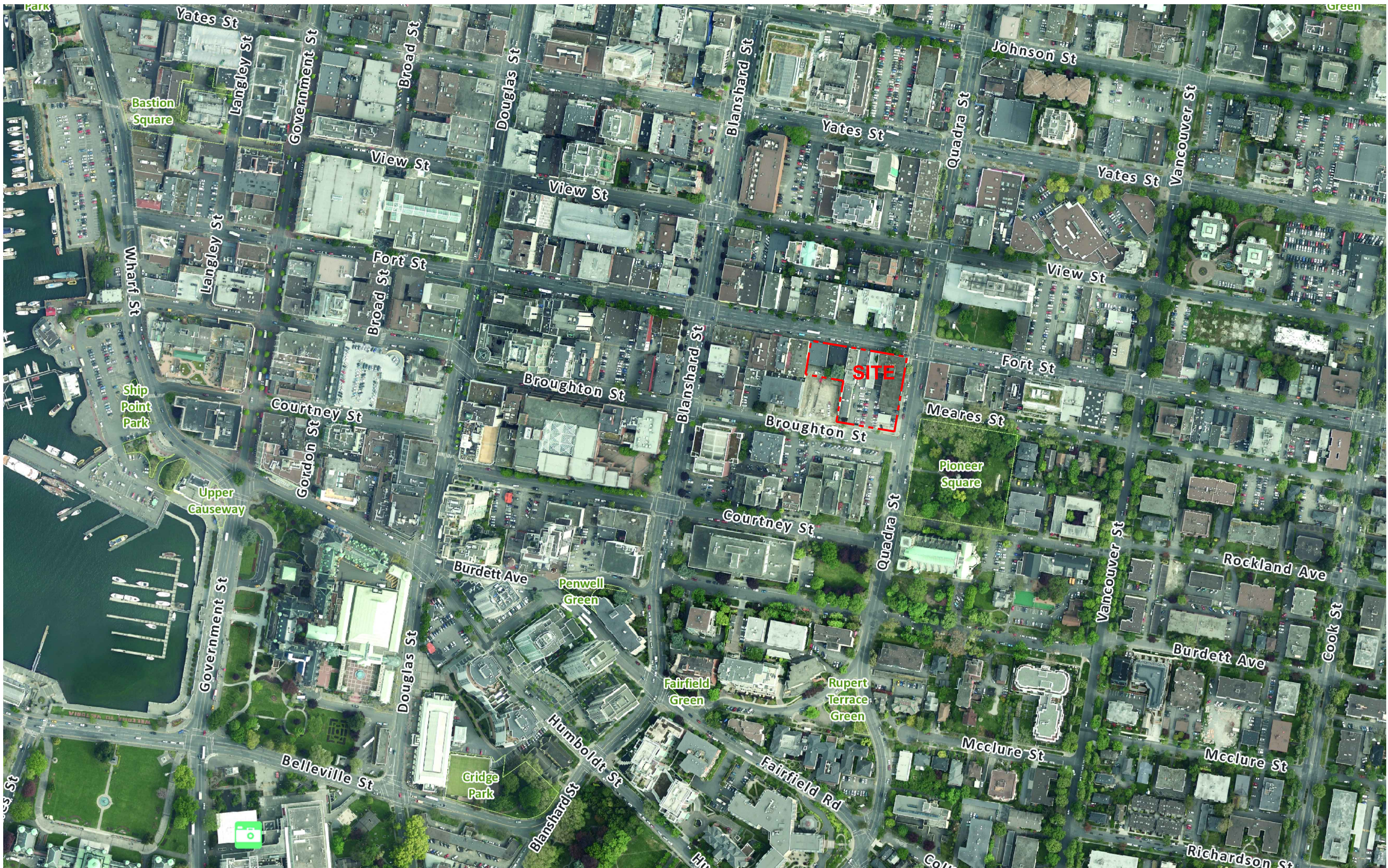
SOUTH FACING SHADING DEVICES & BALCONIES

GREEN ROOFS TO REDUCE STORM WATER RUNOFF & HEAT ISLAND EFFECT

REVISIONS

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR ADP	24 APR 2019
2	RE-ISSUED FOR REZONING & DP	29 MAY 2019
3	RE-ISSUED FOR REZONING & DP	28 AUG 2020
4	RE-ISSUED FOR REZONING & DP	05 MAY 2021

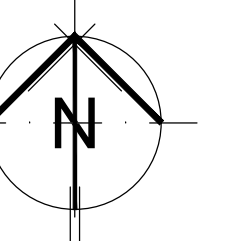
COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION OR ALTERATION OF THIS PLAN OR DESIGN IS STRICTLY PROHIBITED. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS SHOWING SHALL HAVE INDICATED THEIR SOCIAL OR BUSINESS PURPOSES. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT
parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
AERIAL

SEAL

DRAWING NO. REVISION

A100

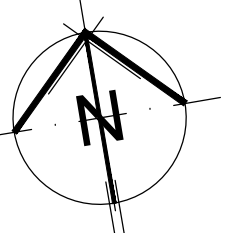
DATE APR 2017
SCALE N.T.S.
DRAWN CHECKED



REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN CONSENT. VISITORS AND CLIENTS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.



CLIENT
parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE
CONTEXT PLAN

SCALE

DRAWING NO. REVISION

A101

DATE APR 2017
SCALE 1:500
DRAWN CHECKED



1 AERIAL VIEW OF THE BUILDING & CONTEXT

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR ADP	24 APR 2019
2	ISSUED FOR REZONING & DP	29 MAY 2019
3	ISSUED FOR REZONING & DP	28 AUG 2020
4	ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS AND OTHERS SHALL HAVE RESPONSIBILITY FOR ALL OPERATIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VIOLATION OR DISCREPANCY IN THE OPERATIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.

CLIENT
parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

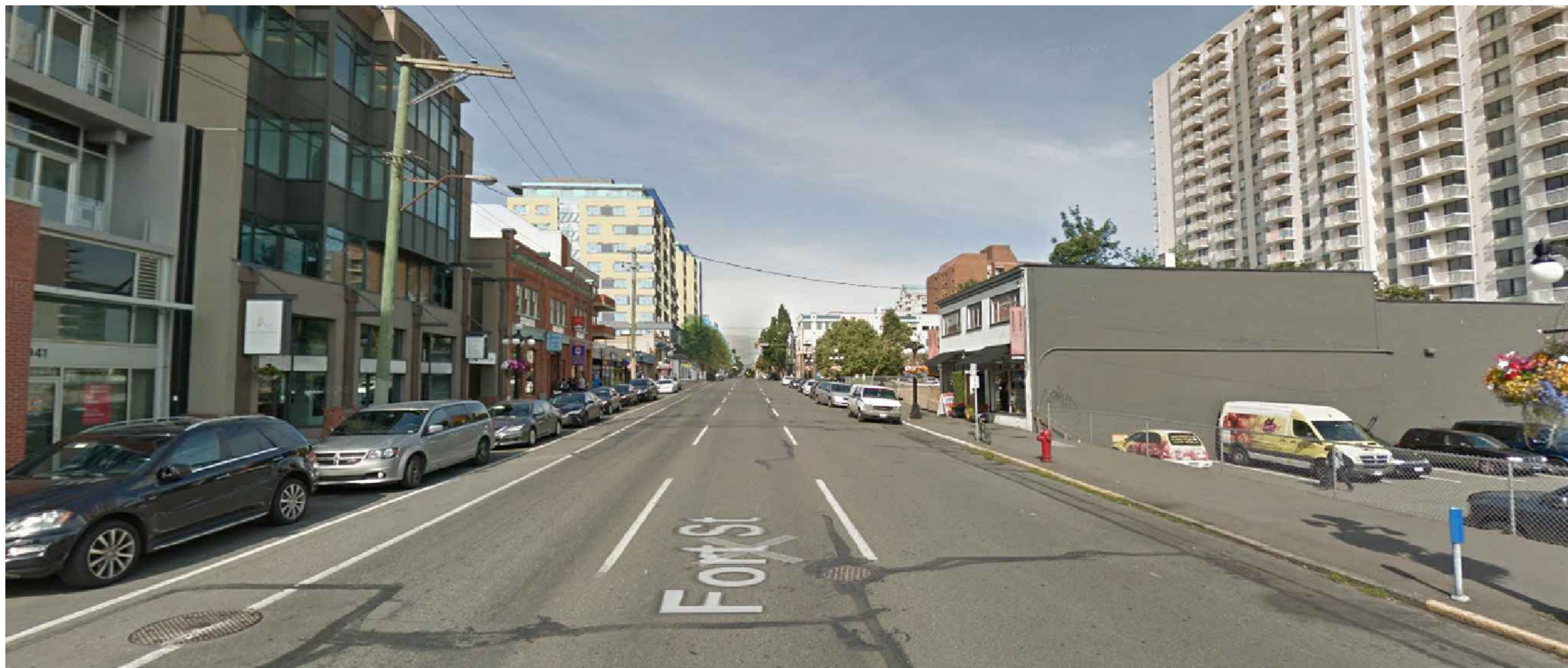
DRAWING TITLE
CONTEXT
3D VIEWS

SCALE

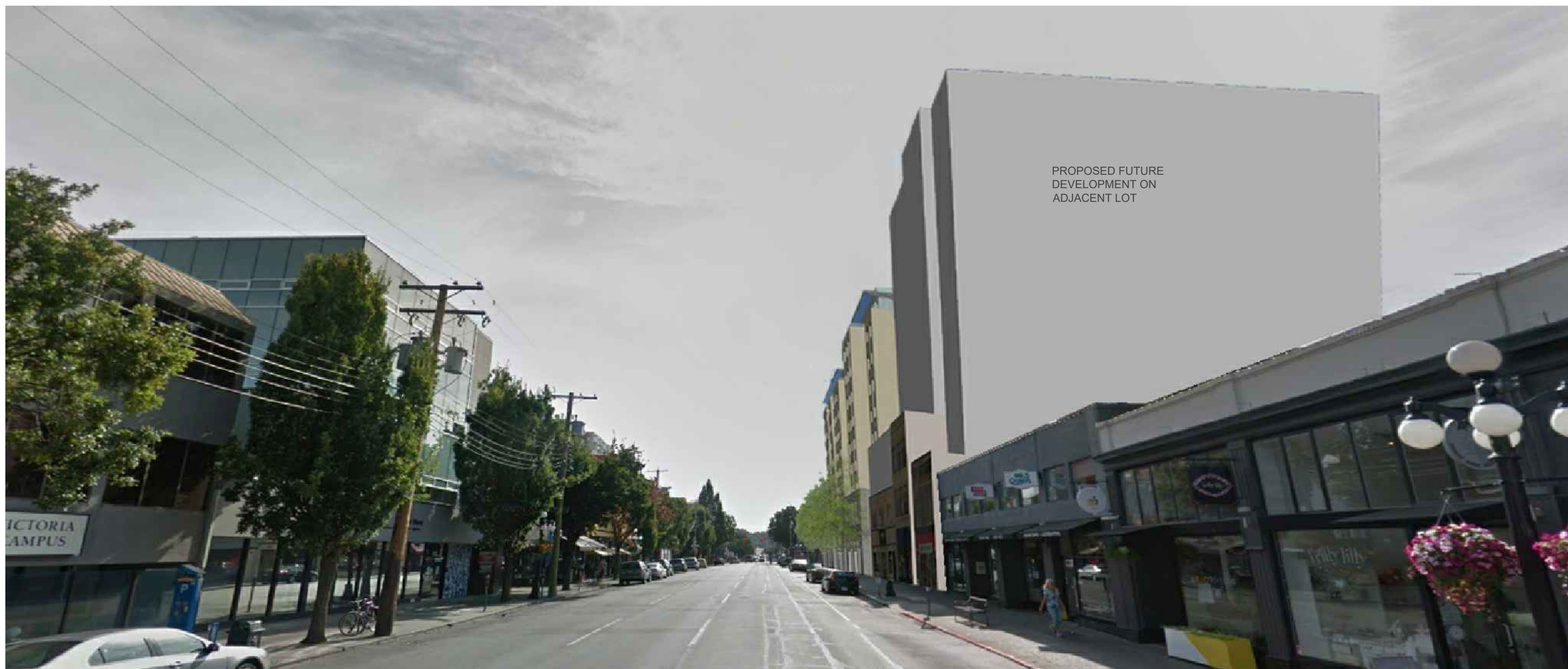
DRAWING NO. REVISION

A102

DATE APR 2017
SCALE 1:500
DRAWN CHECKED



① STREET VIEW AT FORT LOOKING WEST



② STREET VIEW AT FORT LOOKING EAST

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR ADP	24 APR 2019
2	ISSUED FOR REZONING & DP	29 MAY 2019
3	ISSUED FOR REZONING & DP	28 AUG 2020
4	ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. VISITORS SHOULD VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.

CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

CONTEXT
3D VIEWS

SEAL

DRAWING NO.

REVISION

A103

DATE

APR 2017

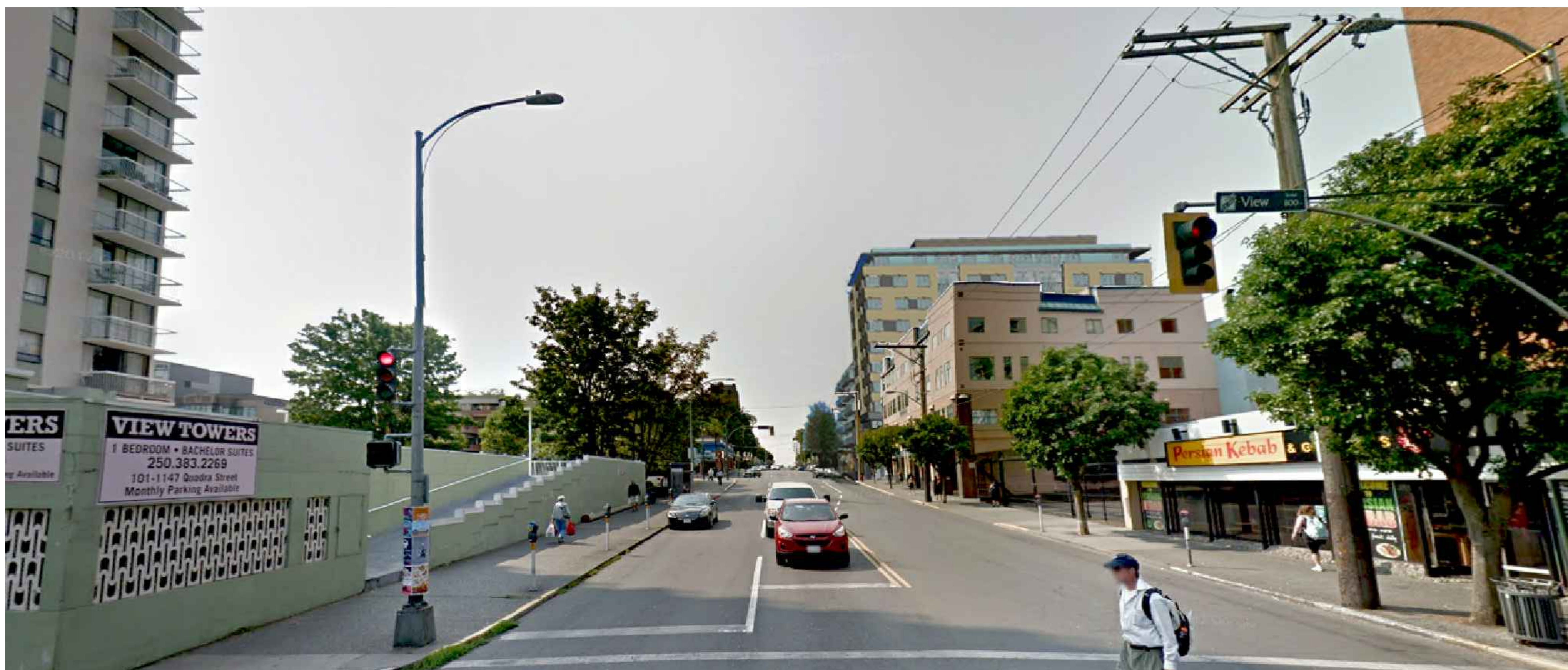
SCALE

1:500

CHECKED



① STREET VIEW AT QUADRA LOOKING NORTH



② STREET VIEW AT QUADRA LOOKING SOUTH

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR ADP	24 APR 2019
2	ISSUED FOR REZONING & DP	29 MAY 2019
3	ISSUED FOR REZONING & DP	28 AUG 2020
4	ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. VISITORS AND OTHERS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.

CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

CONTEXT
3D VIEWS

SEAL

DRAWING NO.

REVISION

A104

DATE

APR 2017

SCALE

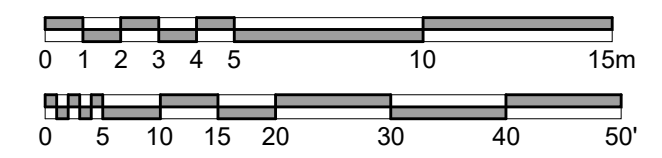
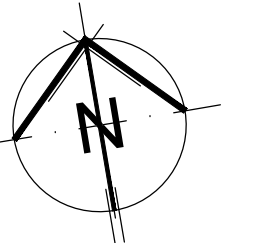
1:500

CHECKED

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. VISITORS DRAWINGS SHALL HAVE PROTECTIVE MARKS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

P1 LEVEL FLOOR PLAN

SCALE

DRAWING NO.

REVISION

A201

DATE

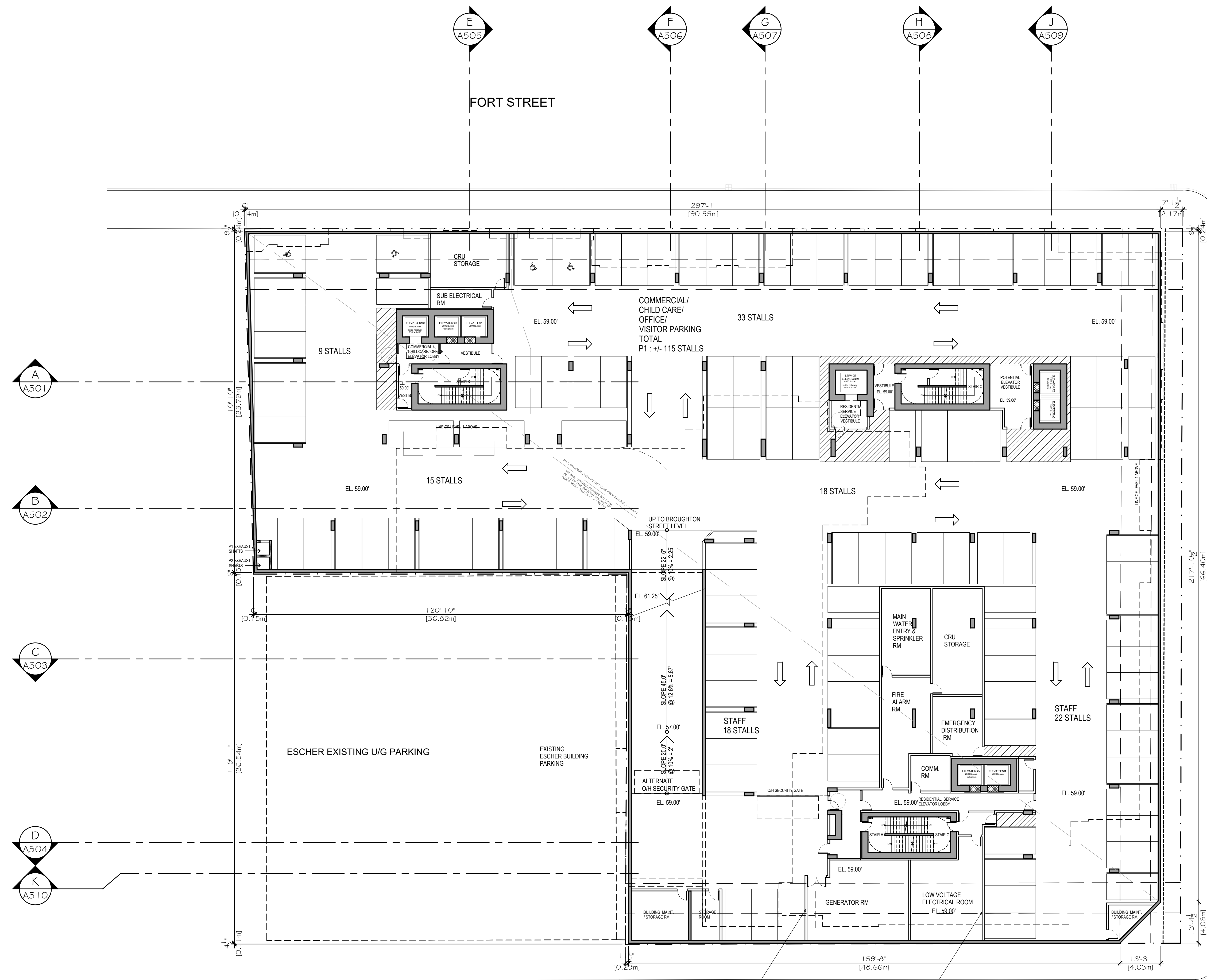
DRAWN

APR 2017

SCALE

CHECKED

1:200

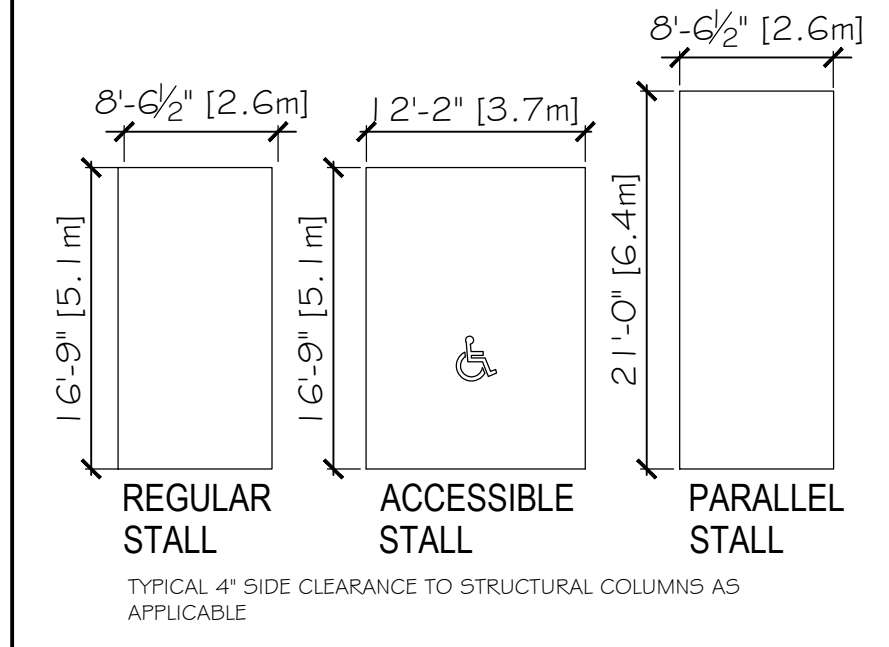


P1 PARKING AREA: 52,802 SF
P1 : +/- 115 STALLS
P2 : +/- 92 STALLS
L1 : +/- 2 STALLS
TOTAL : +/- 209 STALLS

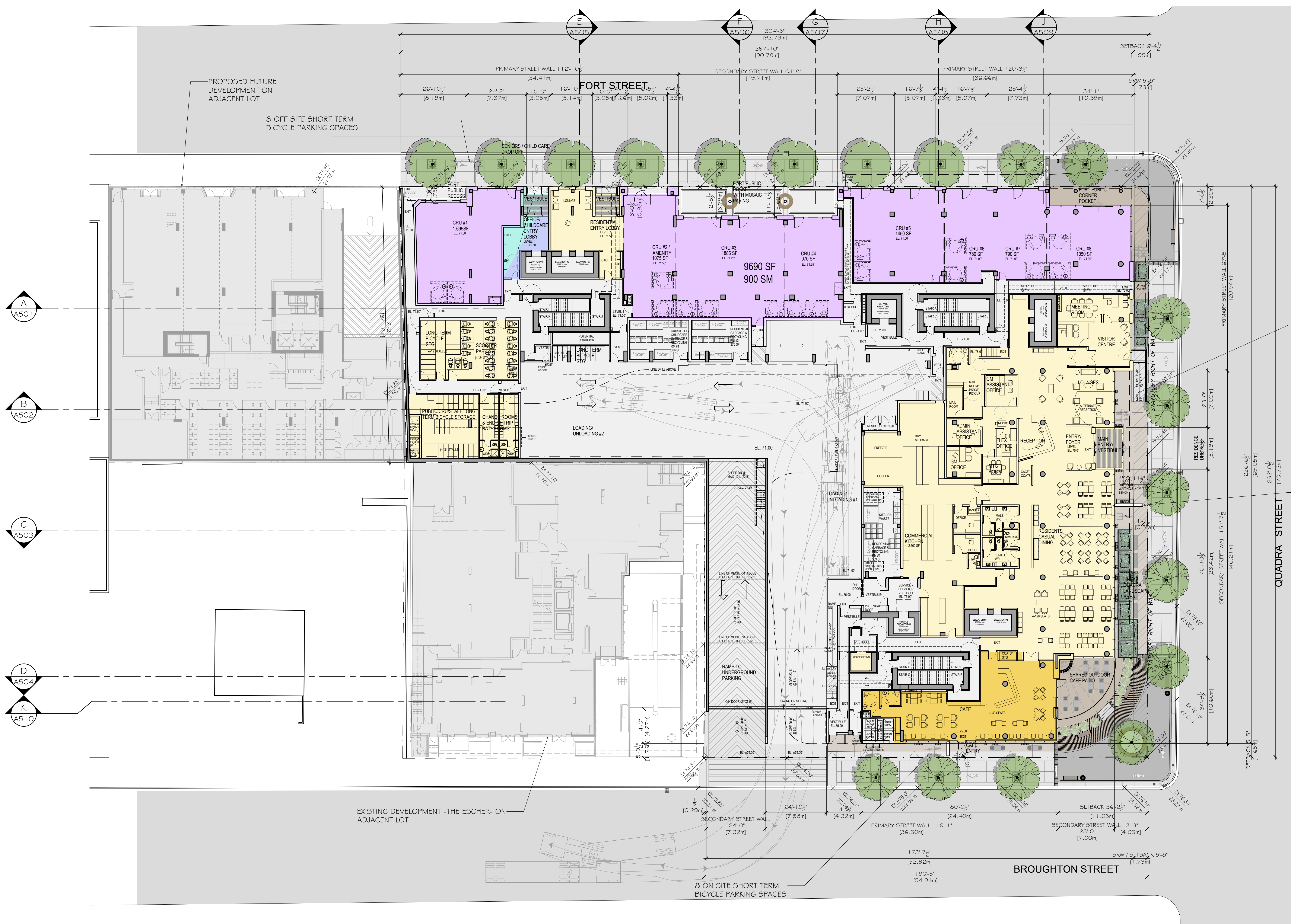
NOTES

- FOR DIMENSIONS OF PARKING STALLS, REFER DWG A300A - A302C
- BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS

PARKING STALL SIZE



TYPICAL 4" SIDE CLEARANCE TO STRUCTURAL COLUMNS AS APPLICABLE



COLOR LEGEND

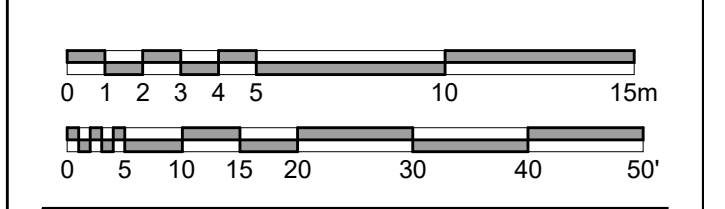
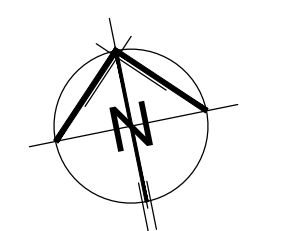
- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
 (formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street Vancouver, BC V6C 2G8
 T 604 662 8544 F 604 662 4066
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	29 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

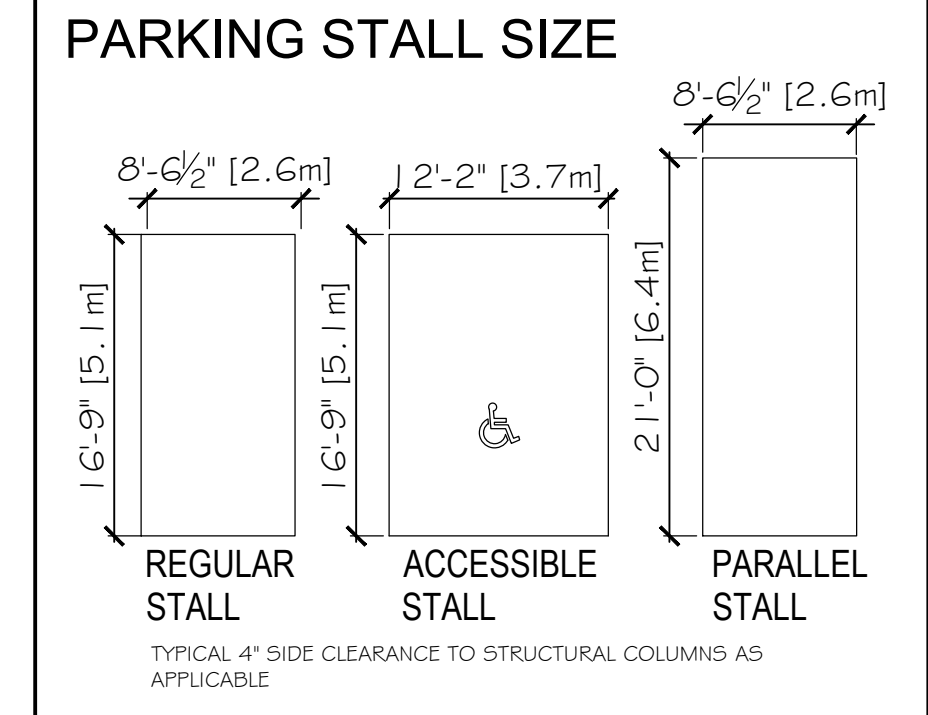
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR OR BUILDER SHALL VERIFY THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE, AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



6 ON SITE SHORT TERM BICYCLE PARKING SPACES.

DEMOUNTABLE
4 ON SITE SHORT TERM BICYCLE PARKING SPACES.

- NOTES**
- FOR DIMENSIONS OF PARKING STALLS, REFER TO DWG A300A - A302C
 - FOR FINISH GRADE ELEVATIONS, REFER TO CIVIL DRAWINGS
 - BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.



parc retirement living

PROJECT NO: 17420

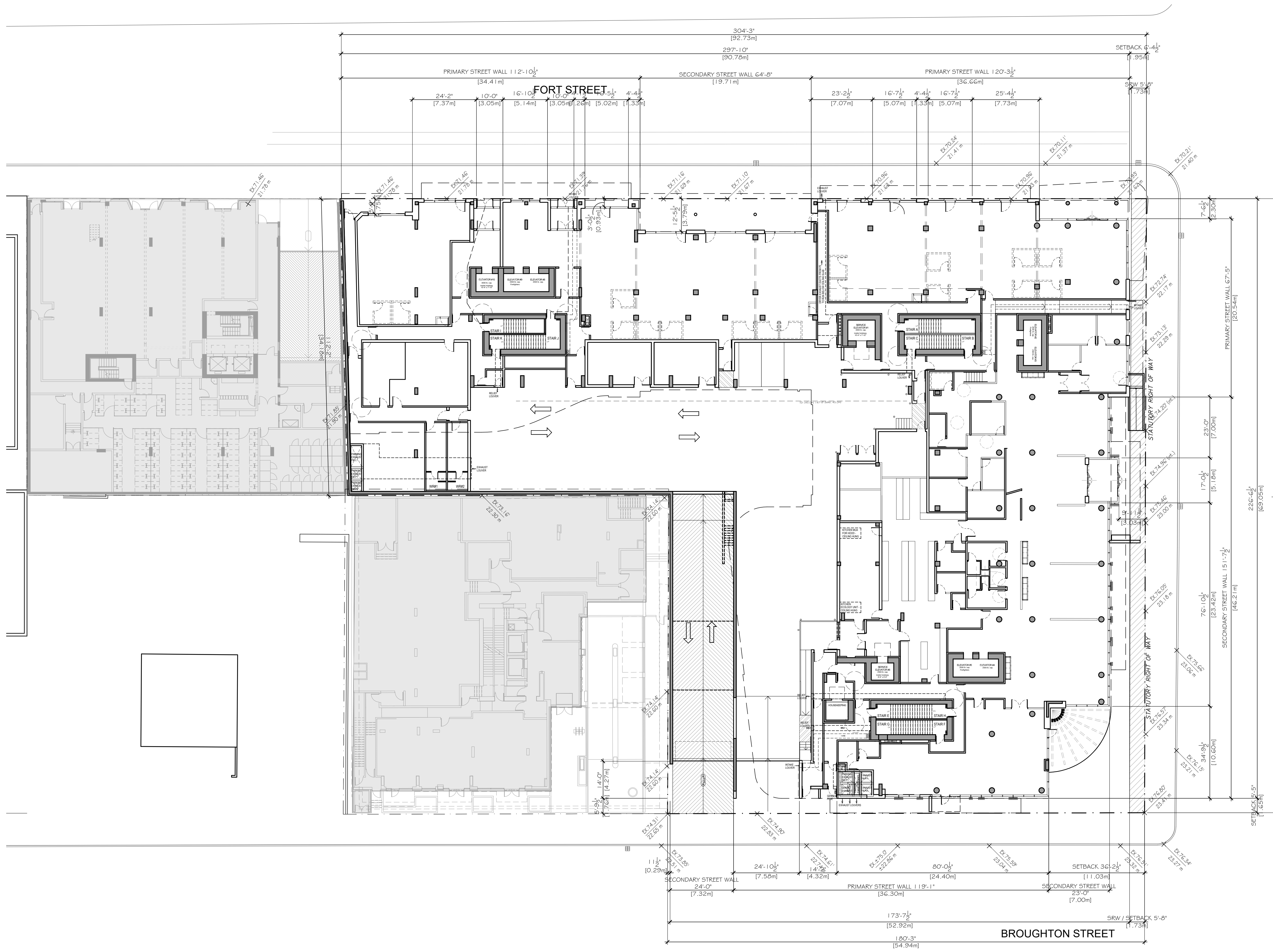
PROJECT: **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **SITE PLAN / LEVEL 1 FLOOR PLAN**

SCALE: 1:200

A202A

DATE: _____ DRAWN: _____
 SCALE: _____ CHECKED: _____



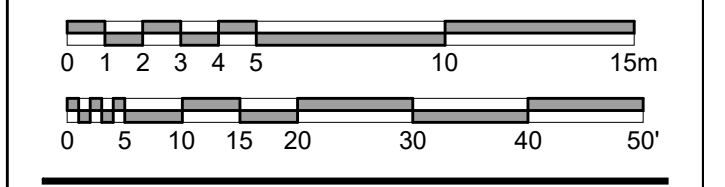
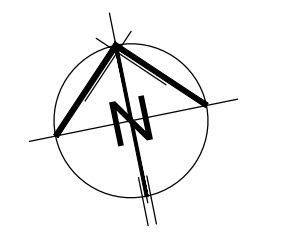
COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. MEASURED DIMENSIONS SHALL PREVAIL OVER DIMENSIONS SHOWN ON THIS PLAN. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE ARCHITECT'S OBLIGATION ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS, WITH REGARD TO THE PROJECT'S DESIGN.



CLIENT
parc retirement living

PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

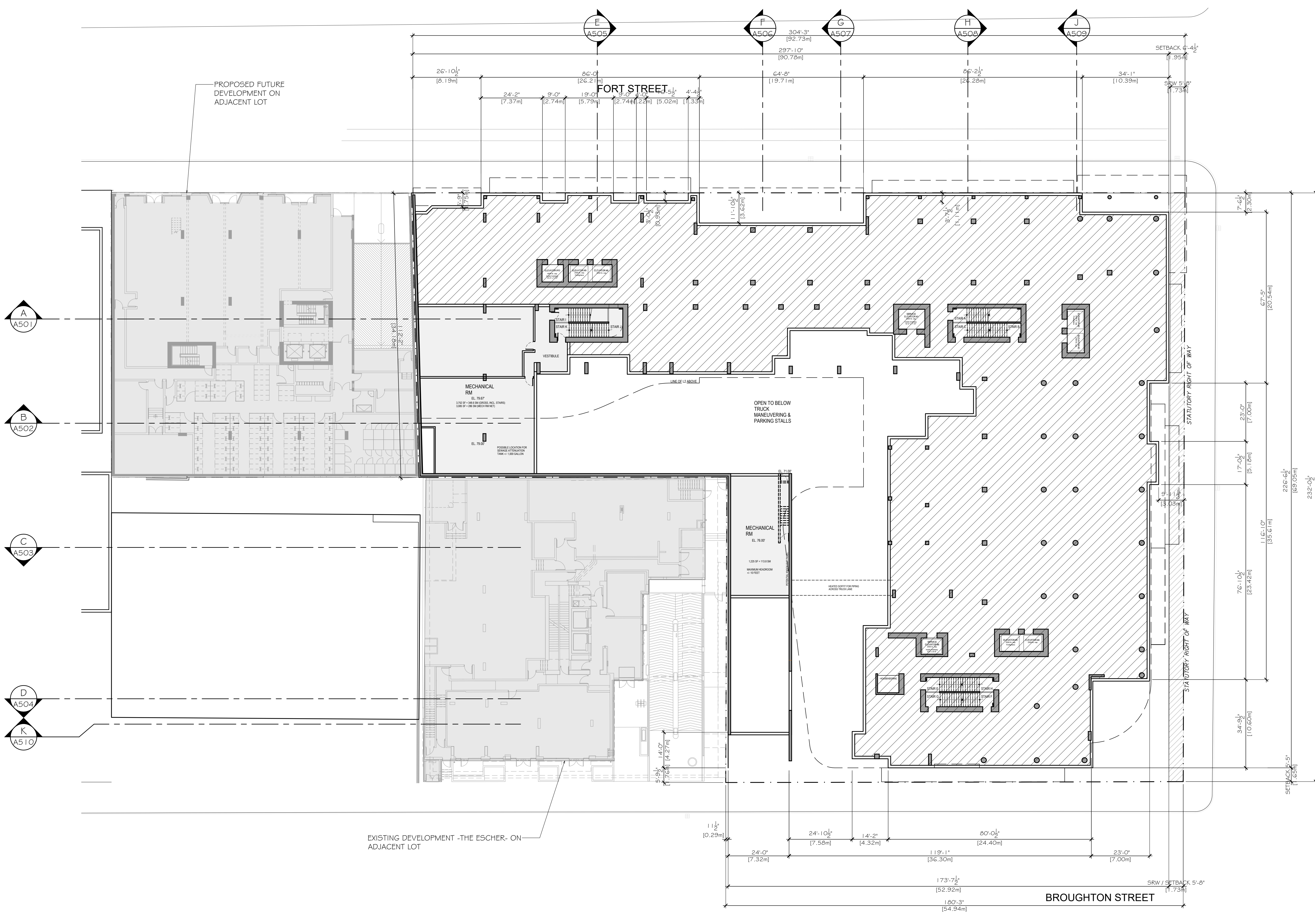
DRAWING TITLE
SITE PLAN / LEVEL 1 FLOOR PLAN

SCALE

DRAWING NO. REVISION

A202B

DATE DRAWN
SCALE CHECKED
1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street Vancouver, BC V6C 2G8 F 604 682 8544 F 604 682 4000 www.bfstudioarchitects.com

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION OR ALTERATION OF THIS PLAN OR DESIGN IS STRICTLY PROHIBITED. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ASSOCIATED PROJECT.

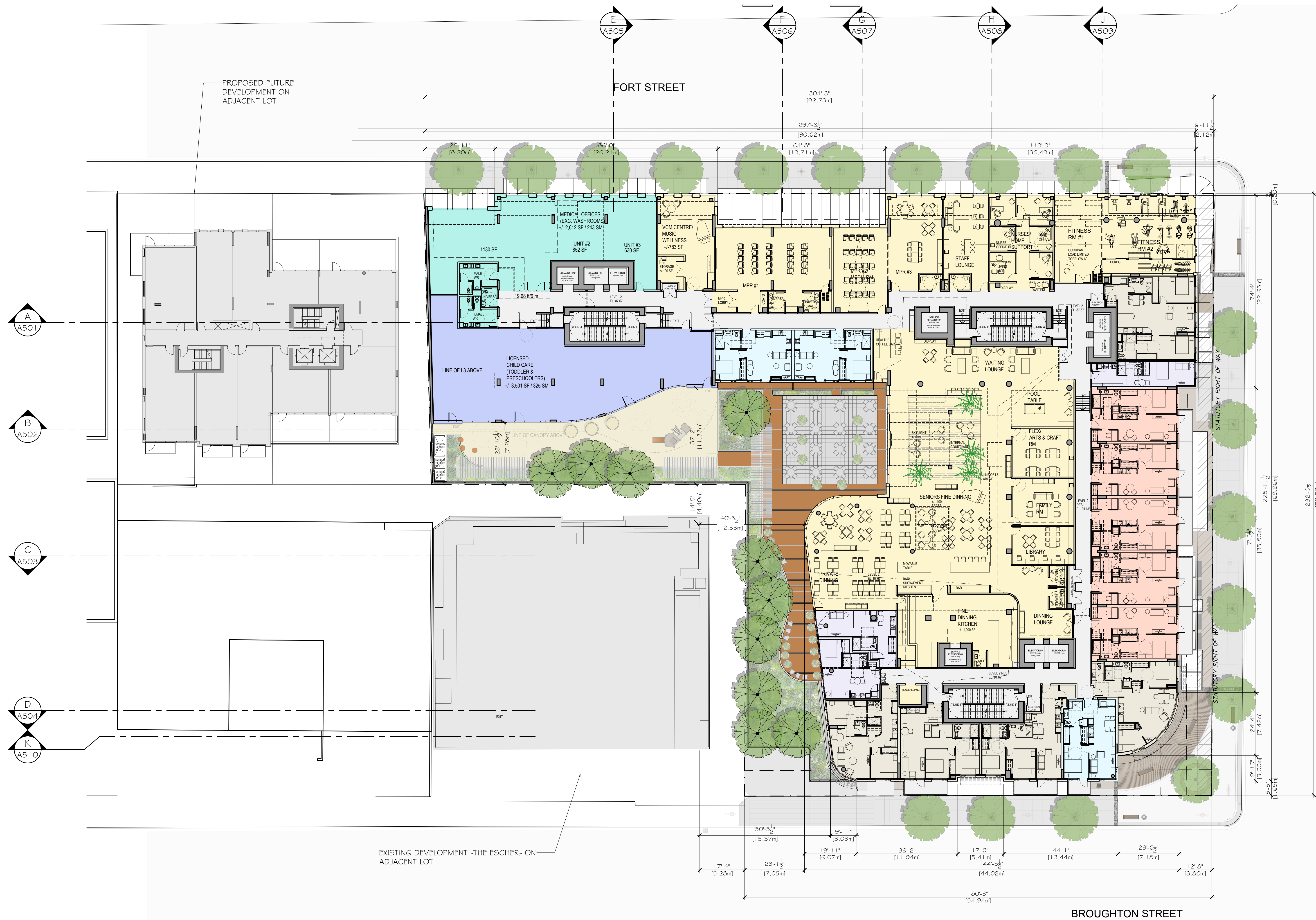
CLIENT: **parc retirement living**

PROJECT NO.: 17420

PROJECT: **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **MECHANICAL LEVEL FLOOR PLAN**

SCALE: 1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street
 Vancouver, BC V6C 2G8 F 604 682 8544
 www.bfstudioarchitects.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

17420

PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

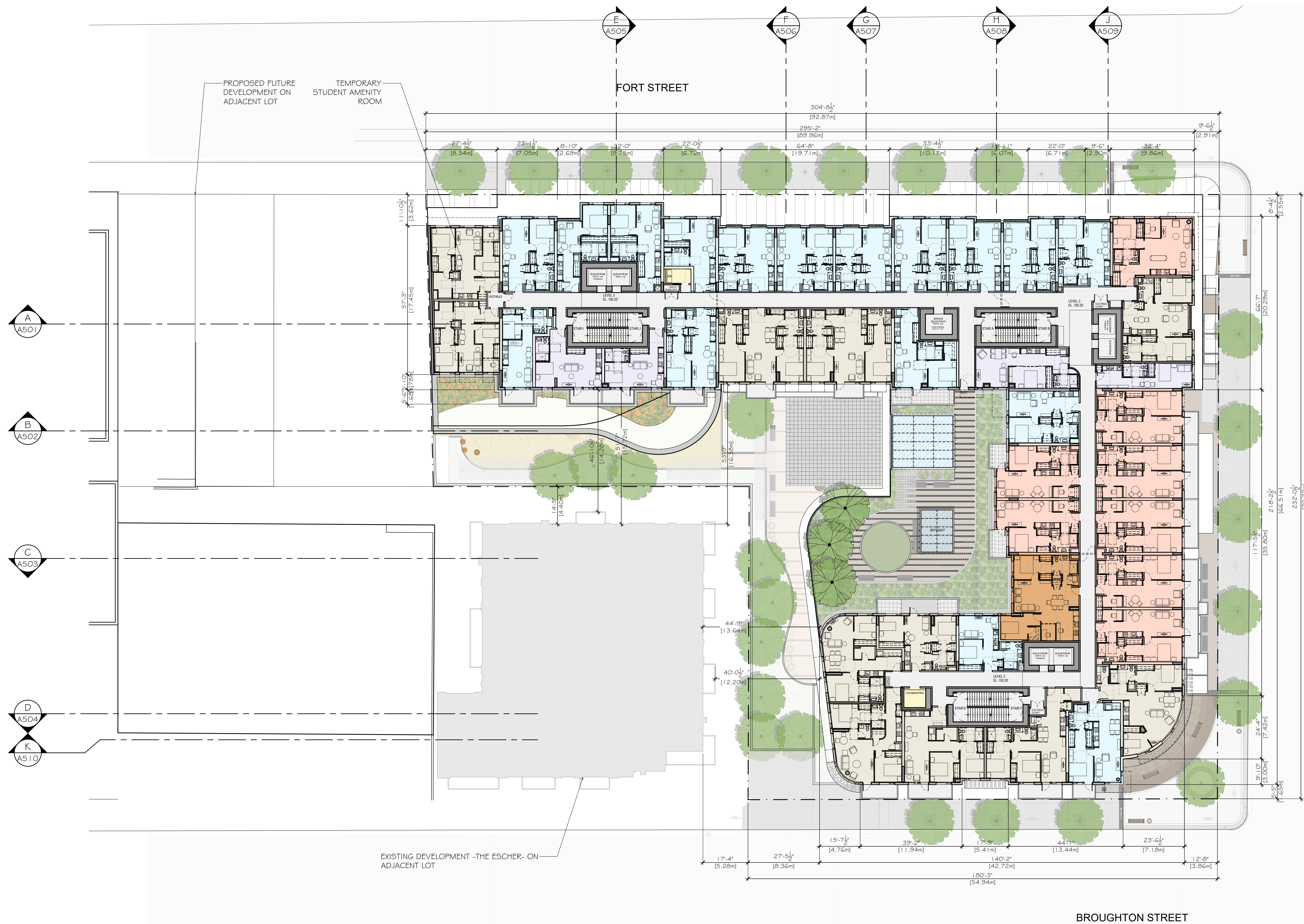
LEVEL 2 FLOOR PLAN

A204

1:200

NOTES

- BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

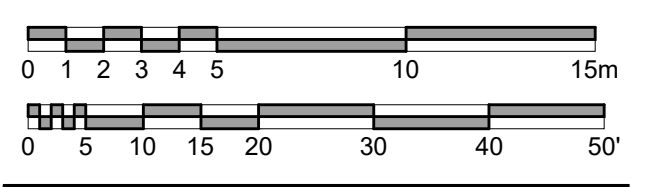
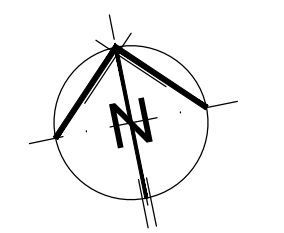
bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street Vancouver, BC V6C 2G3
 T 604 682 8544 F 604 682 4000
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS SHOULD VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DRAWINGS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONTRACTUAL OR CONVEYANCE VALUE WITH REGARD TO THE PROJECT.



parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 3 UNITS FLOOR PLAN**

NOTES

1. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.

DATE _____ DRAWN _____

SCALE _____ CHECKED _____

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

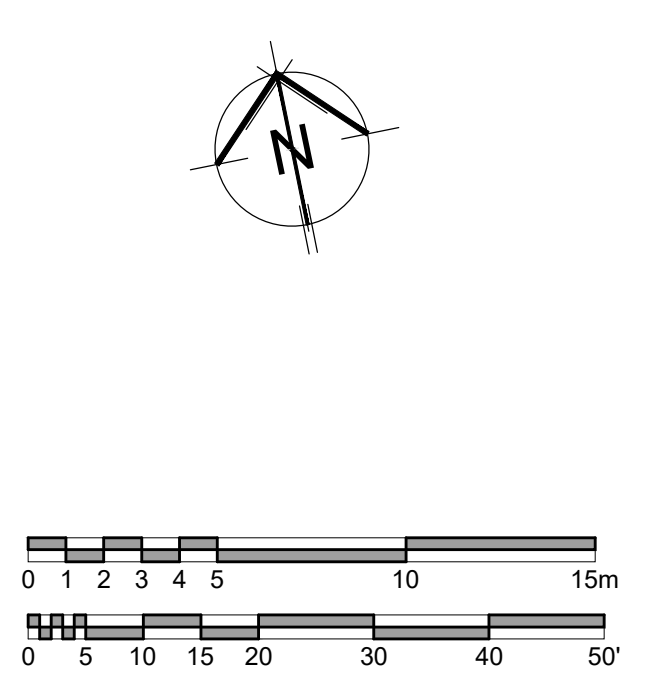
bfa studio architects
 ECO-REGIONAL ARCHITECTURE • INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street T 604 662 8544
 Vancouver, BC V6C 2G8 F 604 662 4060
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NOT BEEN CHECKED OR CORRECTED BY ANY OTHER PARTY.



parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 4 FLOOR PLAN**

SEAL

DRAWING NO. _____ REVISION _____

A206

DATE _____ DRAWN _____

SCALE _____ CHECKED _____

1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE • INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street T 604 662 8544
 Vancouver, BC V6C 2G8 F 604 662 4060
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NOT BEEN CHECKED OR CORRECTED WITH REGARD TO THE RELEVANT PROJECT.

N

0 1 2 3 4 5 10 15m
 0 5 10 15 20 30 40 50'

CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 5 FLOOR PLAN**

SEAL

DRAWING NO. REVISION

A207

DATE _____ DRAWN _____

SCALE _____ CHECKED _____

1:200

QUADRA STREET

BROUGHTON STREET

PROPOSED FUTURE DEVELOPMENT ON ADJACENT LOT

EXISTING DEVELOPMENT - THE ESCHER - ON ADJACENT LOT



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

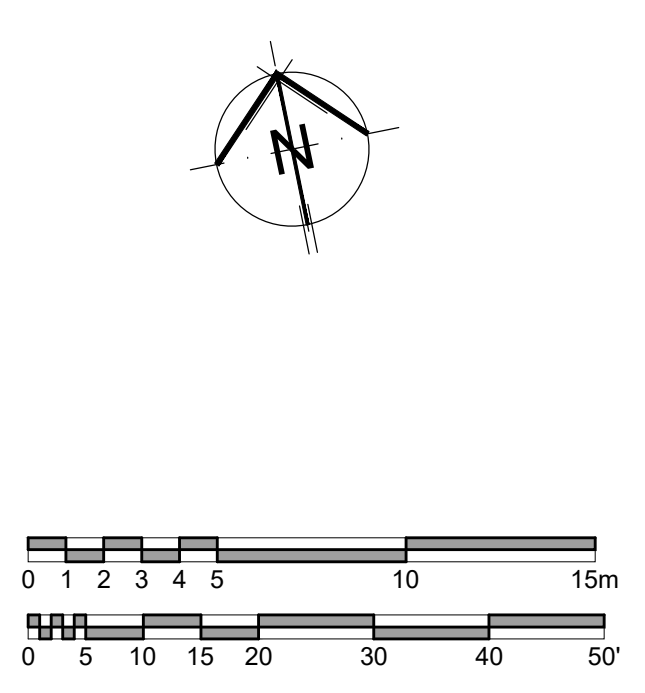
bfa studio architects
 ECO-REGIONAL ARCHITECTURE • INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street T 604 662 8544
 Vancouver, BC V6C 2G8 F 604 662 4060
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NOT BEEN CHECKED OR CORRECTED WITH REGARD TO THE RELEVANT PROJECT.



parc retirement living

PROJECT NO: 17420

PROJECT: **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **LEVEL 6 FLOOR PLAN**

SEAL: _____

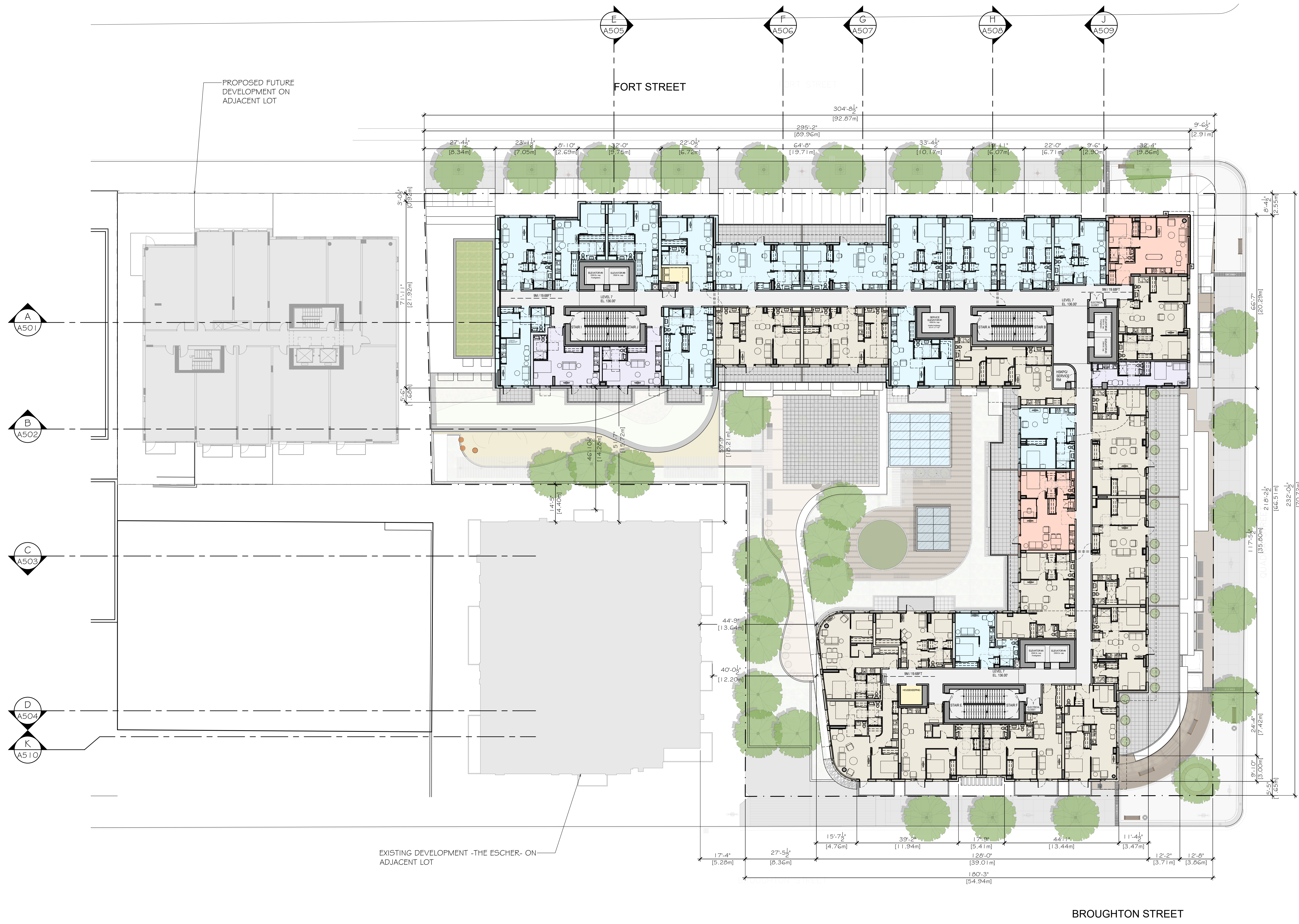
DRAWING NO: _____ REVISION: _____

A208

DATE: _____ DRAWN: _____

SCALE: _____ CHECKED: _____

1:200



COLOR LEGEND

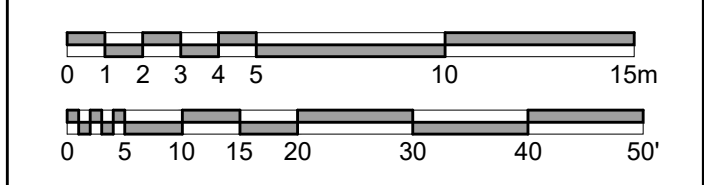
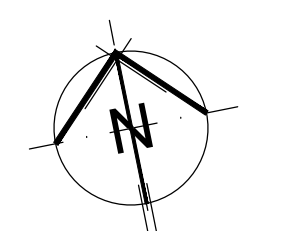
- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE • INTERIOR DESIGN
 (formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street T 604 662 8544
 Vancouver, BC V6C 2G8 F 604 662 4060
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THIS DRAWING AND ALL INFORMATION HEREON IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL ENGINEERING AND CONSULTING ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VIOLATIONS OR DISCREPANCIES IN THE DRAWINGS OR CONSTRUCTION DOCUMENTS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE ARCHITECTURE. THE CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



parc retirement living

PROJECT NO. 17420
 PROJECT PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

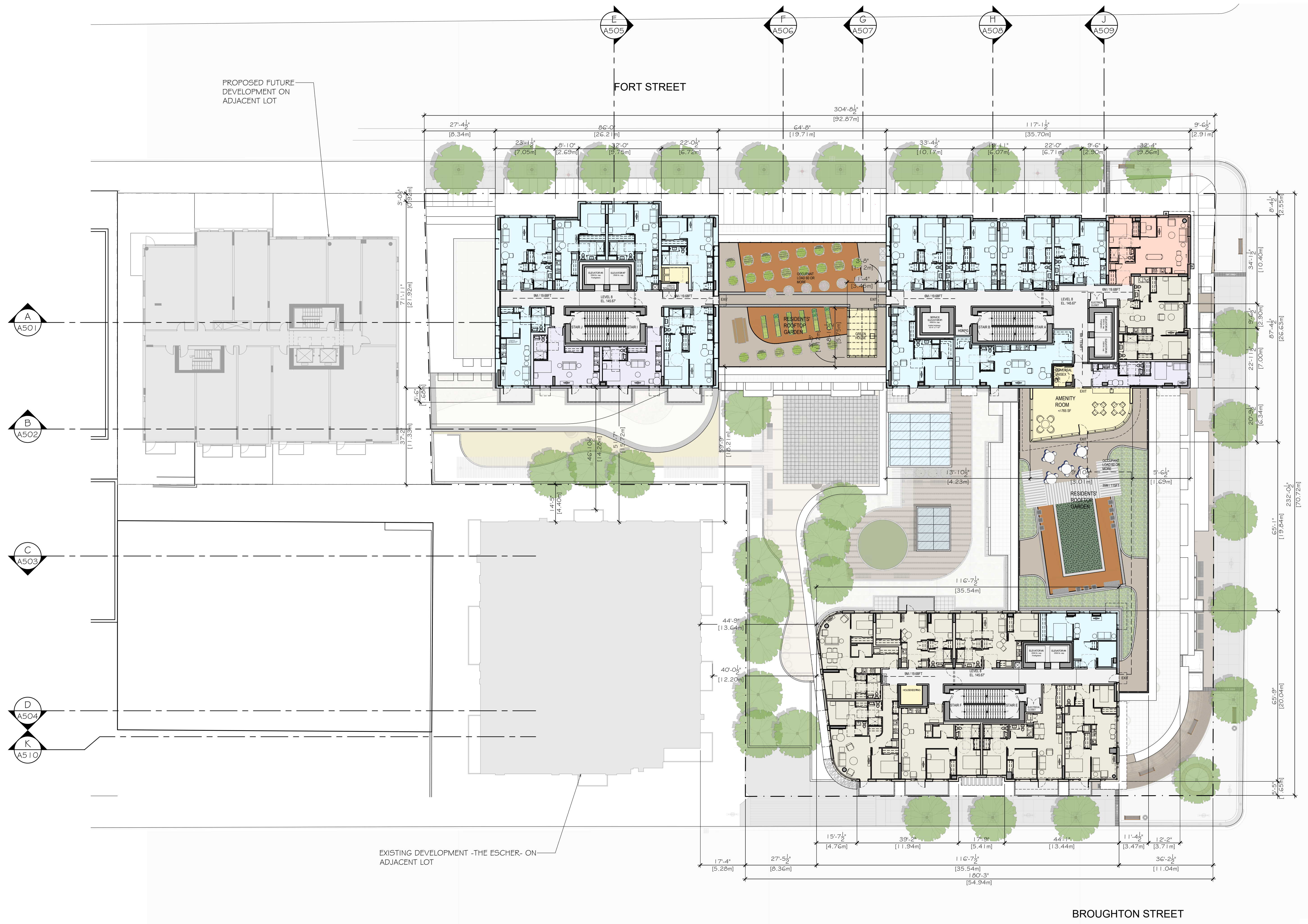
DRAWING TITLE
LEVEL 7 FLOOR PLAN

SCALE

DRAWING NO. REVISION
 -

A209

DATE DRAWN
 SCALE CHECKED
 1:200



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

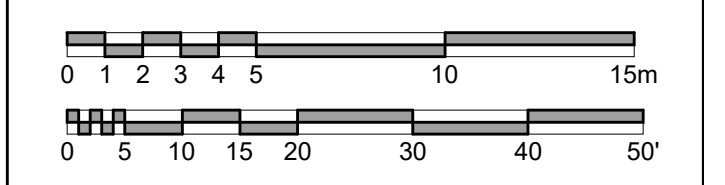
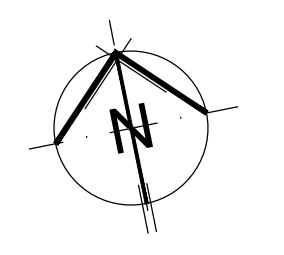
bfa studio architects
 ECO-REGIONAL ARCHITECTURE • INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street T 604 662 8544
 Vancouver, BC V6C 2G8 F 604 662 4060
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	REISSUED FOR REZONING & DP	20 FEB 2018
3	REISSUED FOR ADP	02 APR 2018
4	REISSUED FOR REZONING & DP	16 JAN 2019
5	REISSUED FOR ADP	24 APR 2019
6	REISSUED FOR REZONING & DP	29 MAY 2019
7	REISSUED FOR REZONING & DP	28 AUG 2020
8	REISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
 THIS DRAWING AND ALL INFORMATION HEREON IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL ENGINEERING AND CONSULTING ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VIOLATIONS OR DISCREPANCIES IN THE DRAWINGS OR CONSTRUCTION DOCUMENTS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL DESIGN SERVICES PROVIDED BY THE ARCHITECT. THE CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 8 FLOOR PLAN**

SCALE

DRAWING NO. REVISION

A210

DATE DRAWN

SCALE 1:200 CHECKED

NOTES

1. BUILDING ENTRANCES FROM ADJACENT AREAS WILL INCLUDE GRATES, GRILLES OR SLOTTED SYSTEMS TO LEED REQUIREMENTS.

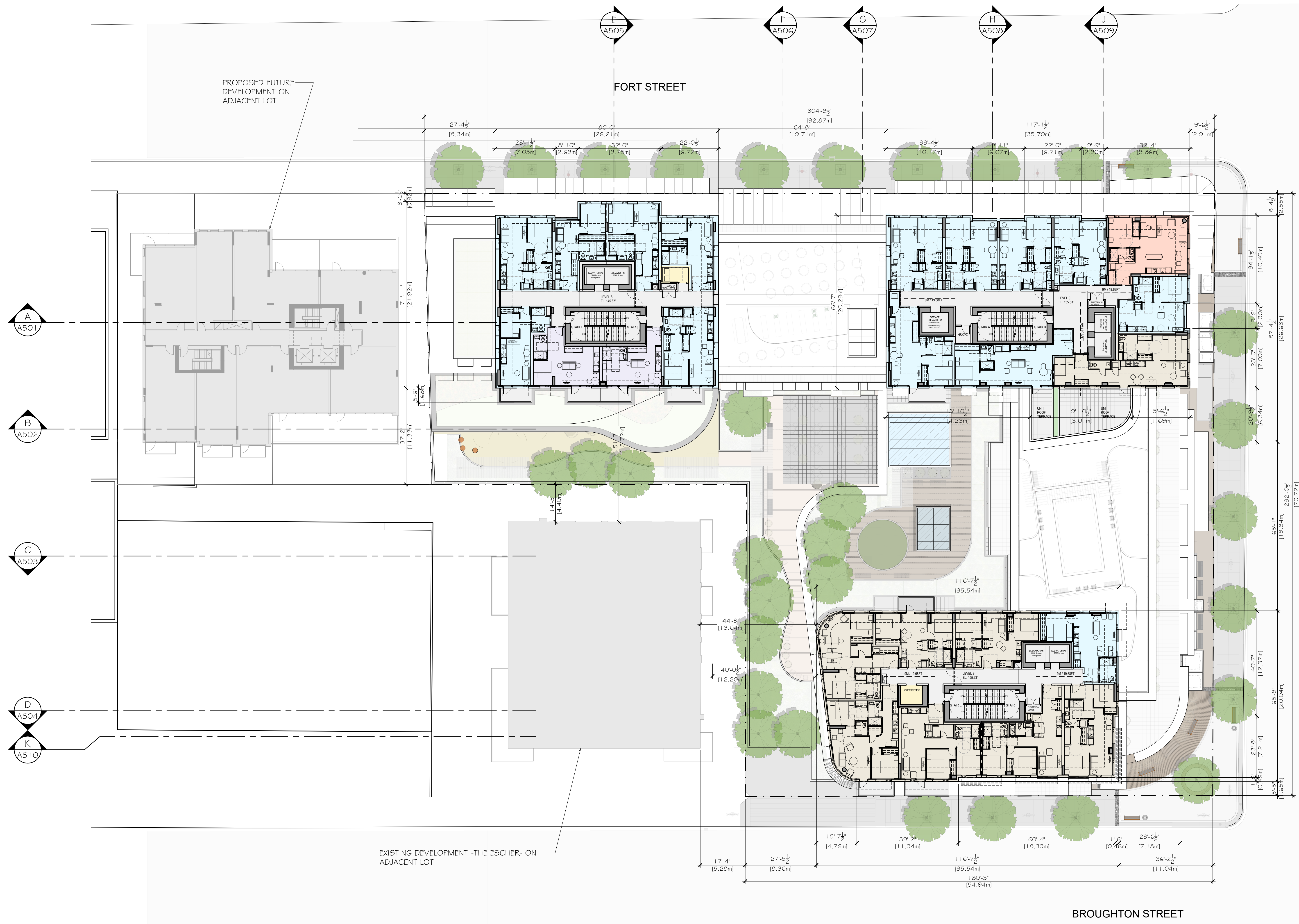
PROPOSED FUTURE DEVELOPMENT ON ADJACENT LOT

EXISTING DEVELOPMENT - THE ESCHER - ON ADJACENT LOT

FORT STREET

BROUGHTON STREET

QUADRA STREET



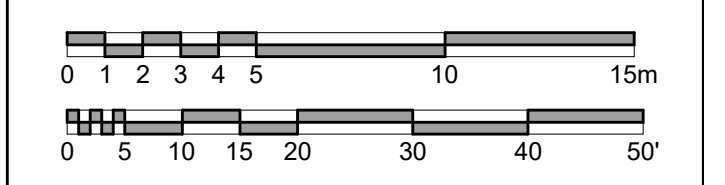
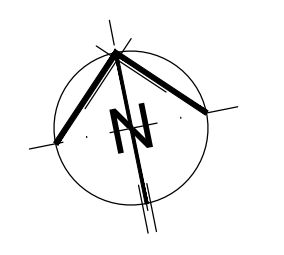
COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
 THIS DRAWING AND ALL INFORMATION HEREIN ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL CHANGES AND CORRECTIONS TO THE DRAWING AND SHALL BE RESPONSIBLE FOR ANY VIOLATIONS OR DISCREPANCIES IN THE DRAWING OR CONSTRUCTION DOCUMENTS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DOES NOT INCLUDE THE DESIGN OR CONSTRUCTION OF ANY OTHER PROJECTS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DOES NOT INCLUDE THE DESIGN OR CONSTRUCTION OF ANY OTHER PROJECTS.



CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEVEL 9 FLOOR PLAN

SCALE

DRAWING NO. REVISION

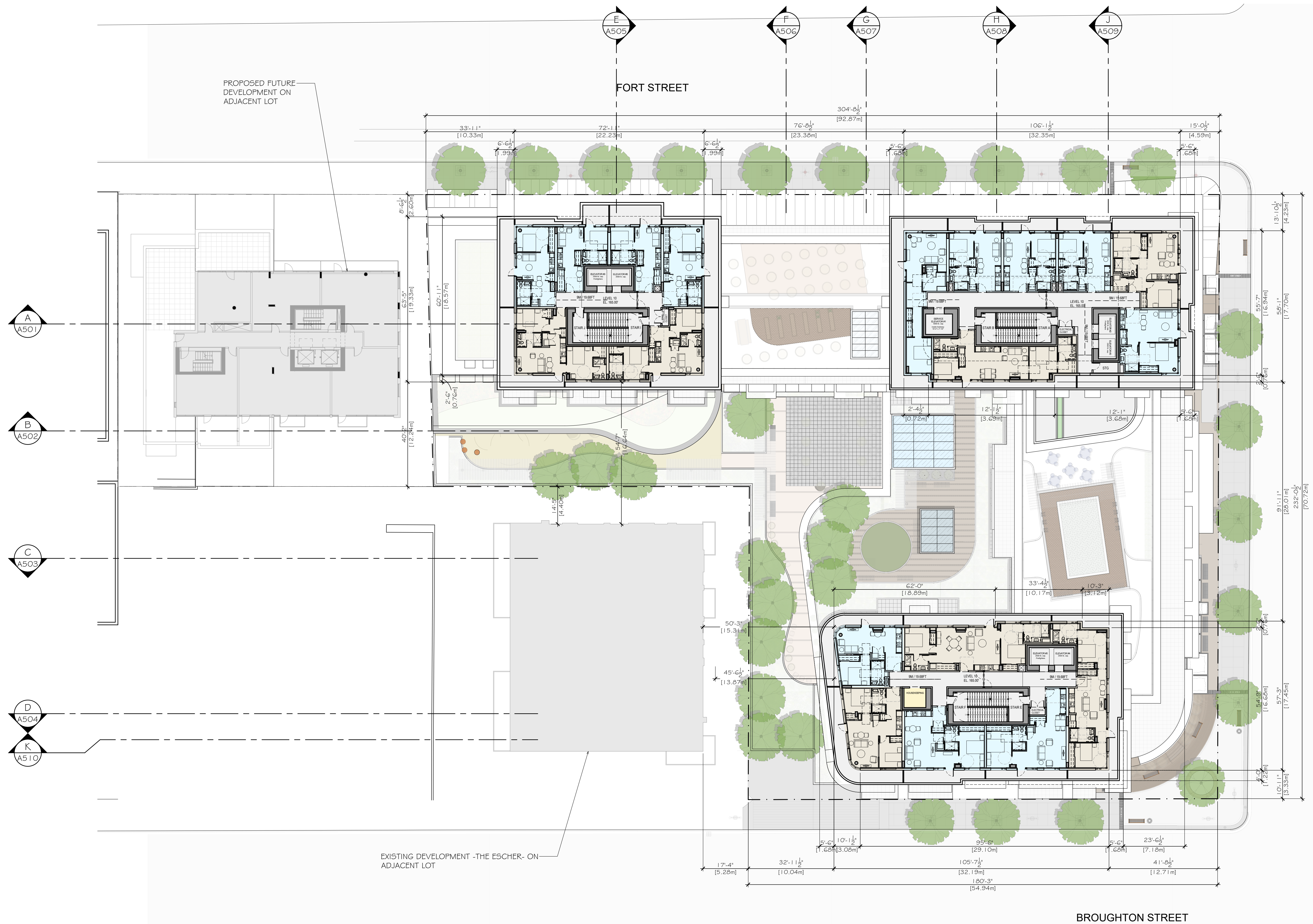
-

A211

DATE DRAWN

SCALE CHECKED

1:200



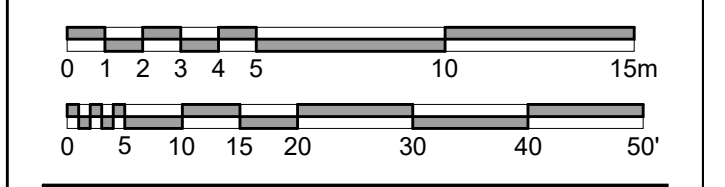
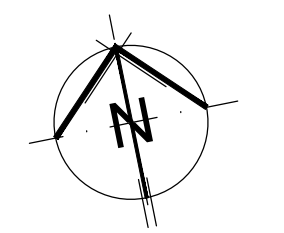
COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. VISITORS AND OTHERS SHALL BE RESPONSIBLE FOR ALL OPERATIONS AND MAINTENANCE OF THE BUILDING AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING OR TO THE ARCHITECT'S WORK. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OR CONSTRUCTION SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



CLIENT

parc retirement living

PROJECT NO. 17420
 PROJECT PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
 LEVEL 10 FLOOR PLAN

SEAL

DRAWING NO. REVISION

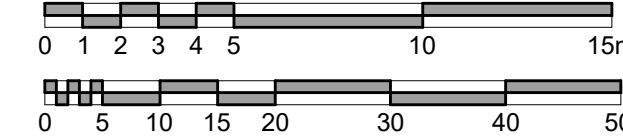
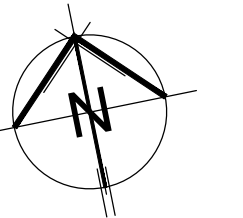
A212

DATE DRAWN
 SCALE CHECKED
 1:200

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS/DEPENDENTS SHALL HAVE NO LIABILITY UNDER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE BUILDING AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO VALIDITY OR CORRELATION WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

ROOF PLAN

SCALE

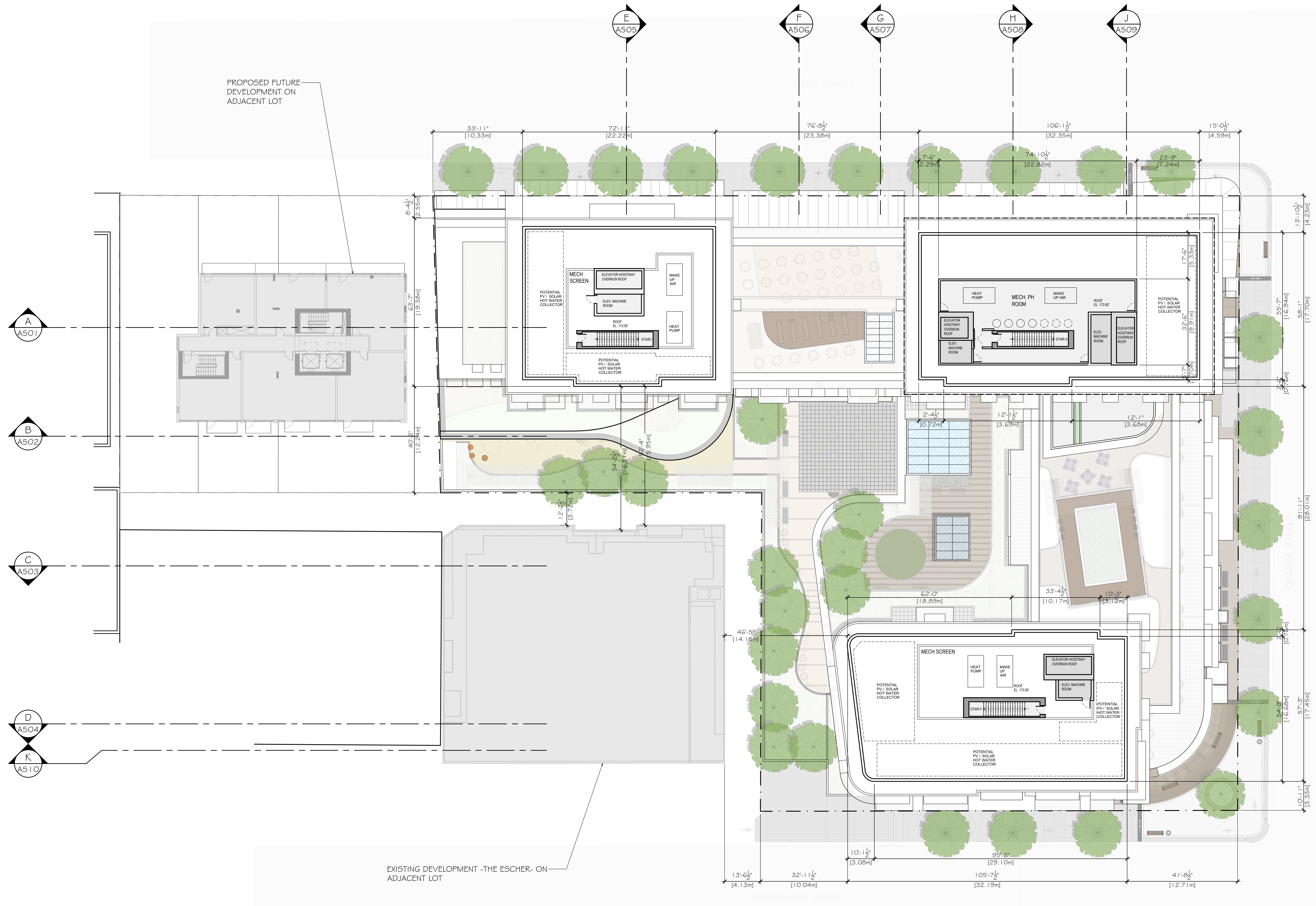
DRAWING NO. REVISION

A213

DATE DRAWN

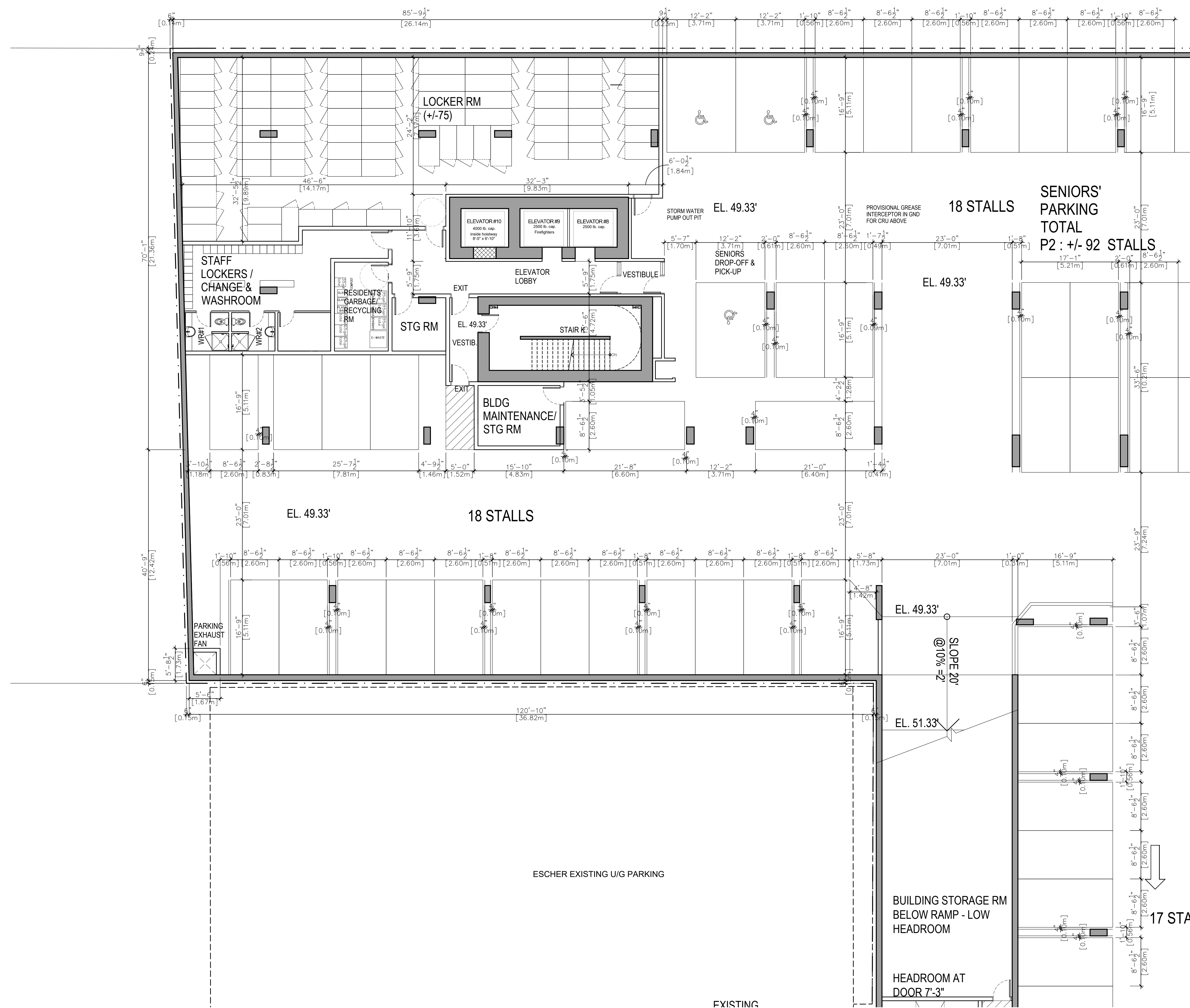
SCALE CHECKED

1:200



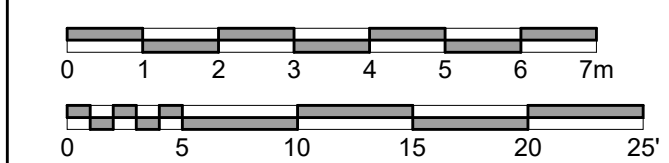
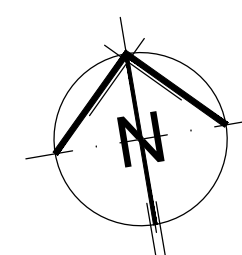
NOTES

1. LOCATION AND DETAILS OF MECHANICAL ROOF TOP UNITS AND RESPECTIVE SCREENING ENCLOSURE ARE APPROXIMATE, TO BE CONFIRMED BY MECHANICAL CONSULTANT AT WORKING DRAWINGS STAGE



NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

ALL RIGHTS RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS ASSUME NO LIABILITY FOR ANY DAMAGES OR CONSEQUENCES OF THE USE OF THIS PLAN AND DESIGN, INCLUDING BUT NOT LIMITED TO, DAMAGES OR CONSEQUENCES OF THE USE OF THIS PLAN AND DESIGN FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT AND DOES NOT INCLUDE THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

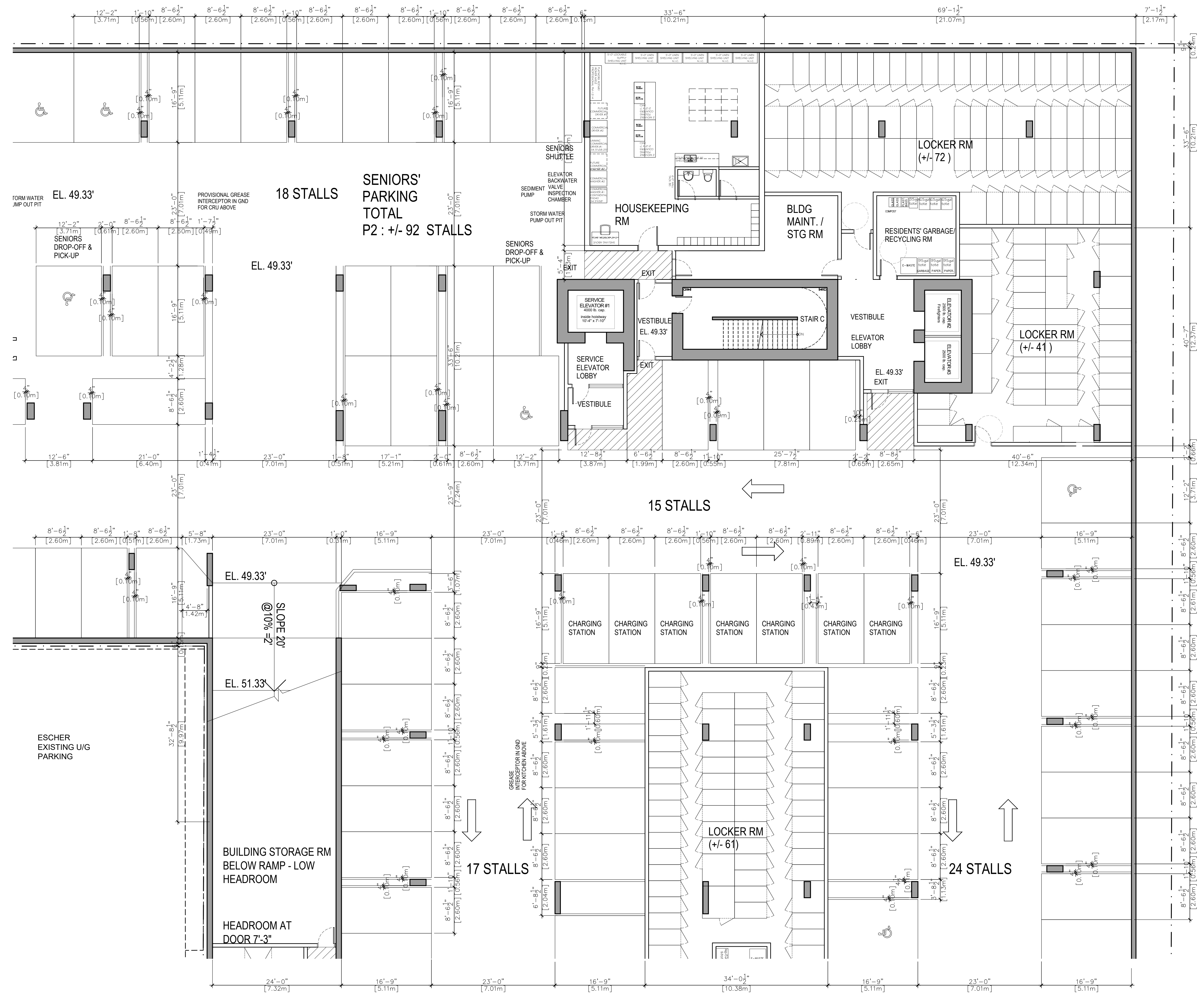
DRAWING TITLE
P2 LEVEL PARTIAL FLOOR PLAN

SEAL

DRAWING NO. REVISION

A300A

DATE APR 2017
SCALE 1:100
DRAWN CHECKED



bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street Vancouver, BC V6C 2G8 F 604 682 8544 www.bfastudioarchitects.com

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

© 2021 BFA STUDIO ARCHITECTS. ALL RIGHTS RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS ASSUME NO LIABILITY FOR ANY DAMAGES OR CONSEQUENCES OF THE USE OF THIS PLAN AND SHALL HOLD THE ARCHITECT OF ANY DAMAGE OR CONSEQUENCES IN THE OPERATIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.

CLIENT: **parc retirement living**

PROJECT NO.: 17420

PROJECT: **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **P2 LEVEL PARTIAL FLOOR PLAN**

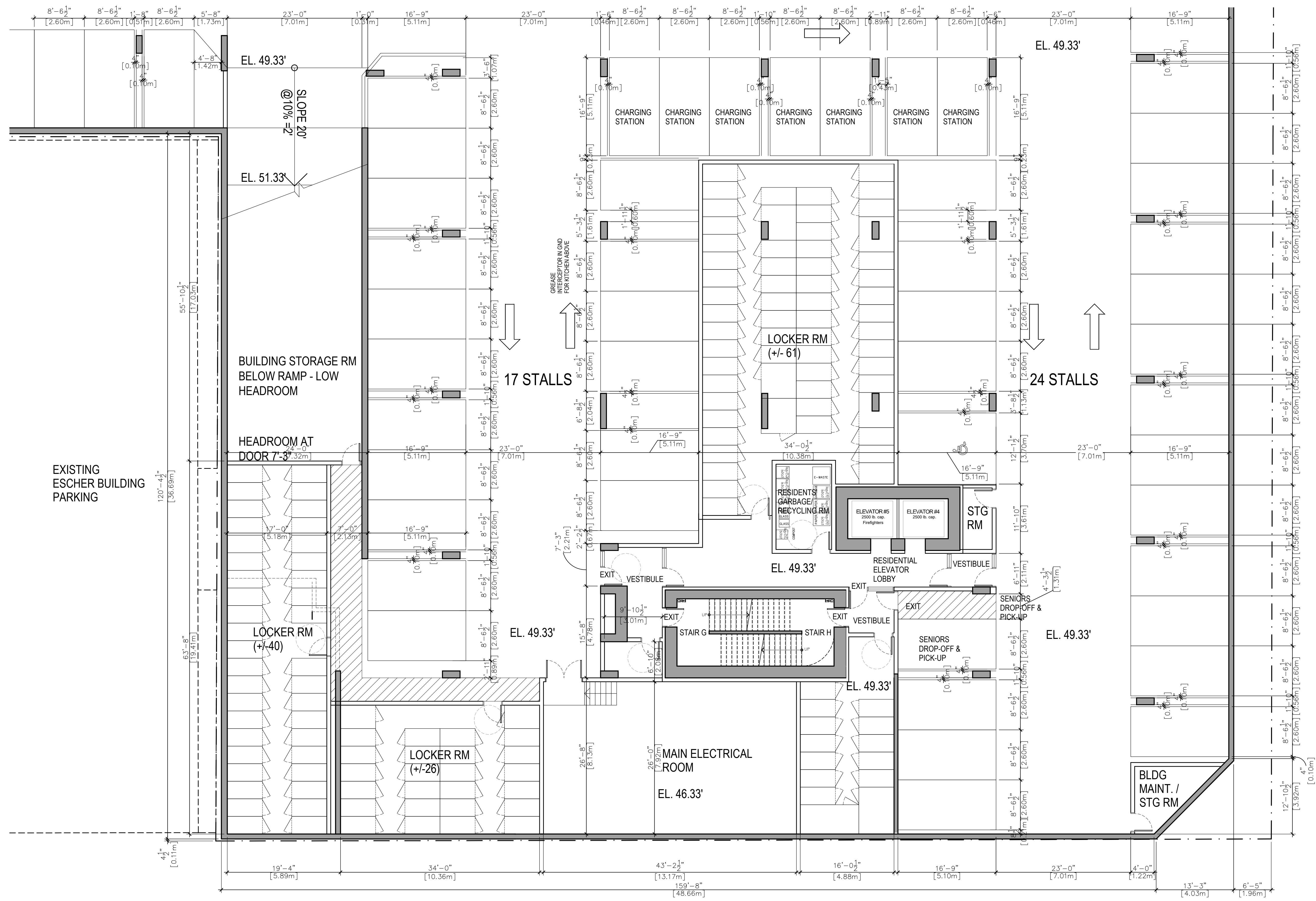
SEAL: _____

DRAWING NO.: _____ REVISION: _____

A300B

DATE: APR 2017

SCALE: 1:100



P2 : +/- 92 STALLS

bfa studio
architects
ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(Formerly BESHARAT FRIARS ARCHITECTS)
600 - 355 Burrard Street
Vancouver, BC V6C 2G8
www.bfastudioarchitects.com

604 682 8544
604 682 4000

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

© COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE PART OF THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN AND DESIGN. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS ON CONSTRUCTION OF THE PROJECT.

CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **P2 LEVEL PARTIAL FLOOR PLAN**

SEAL

DRAWING NO. _____ REVISION _____

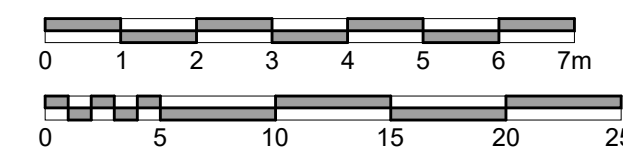
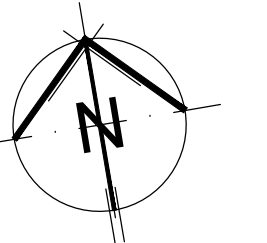
A300C

DATE APR 2017
SCALE 1:100
CHECKED

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

CONTRACTOR TO VERIFY
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ARCHITECTS ASSUME NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS OPERATIONS OF THE CLIENT OR OTHERS ARISING FROM THE USE OF THIS PLAN OR DESIGN OR ANY INFORMATION OR DOCUMENTS IN THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

P1 LEVEL
PARTIAL FLOOR PLAN

SCALE

DRAWING NO. REVISION

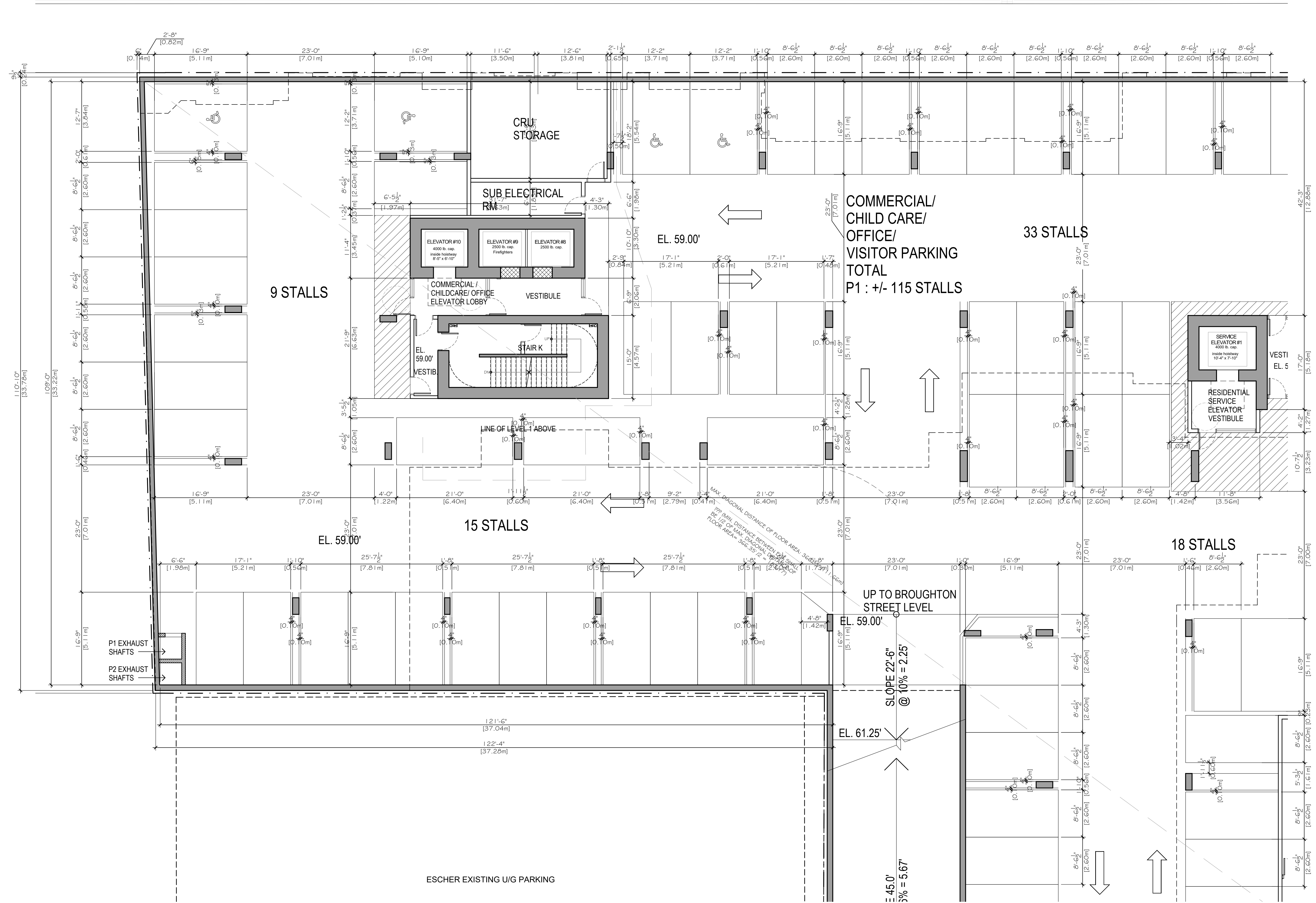
A301A

DATE DRAWN

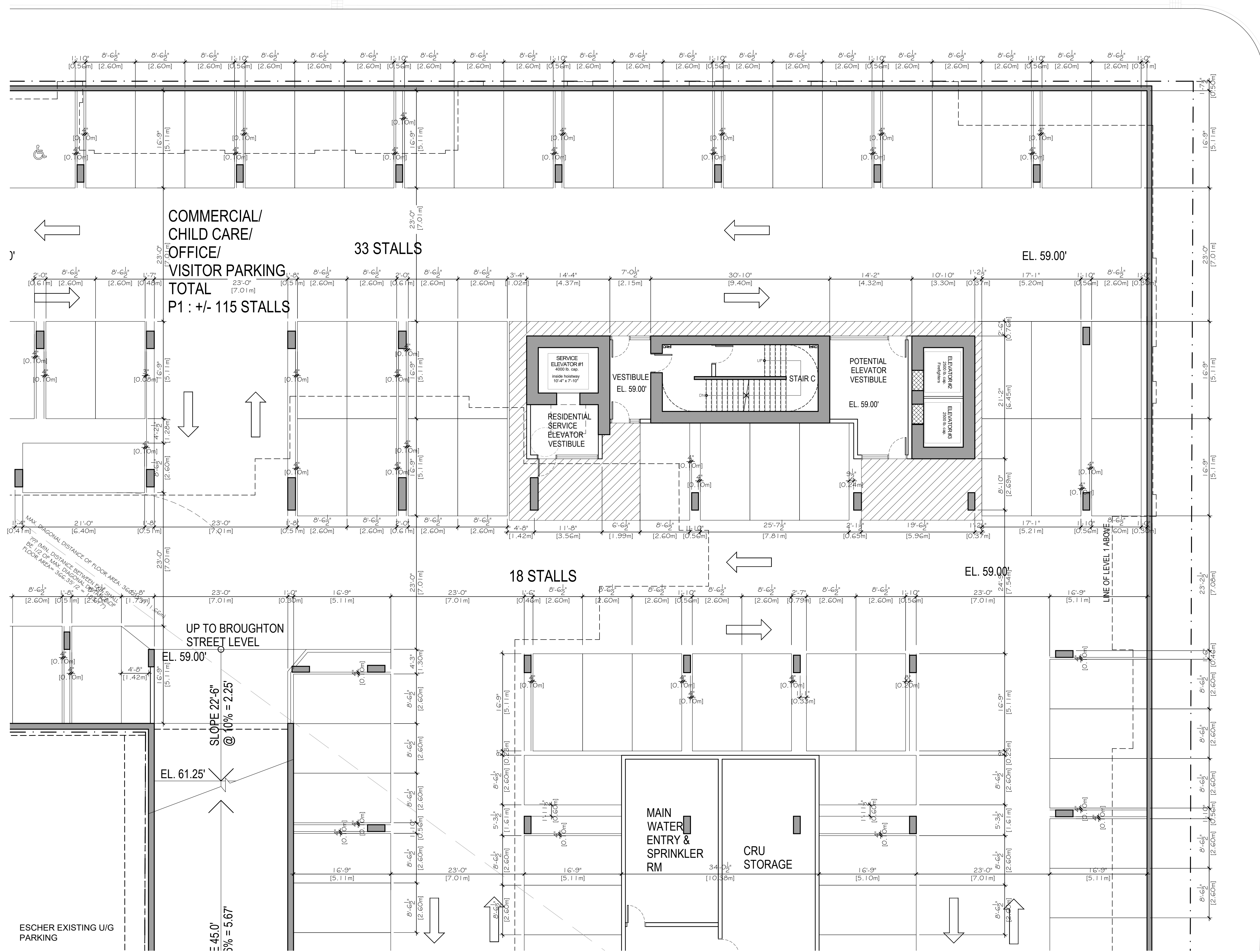
APR 2017

SCALE CHECKED

1:100

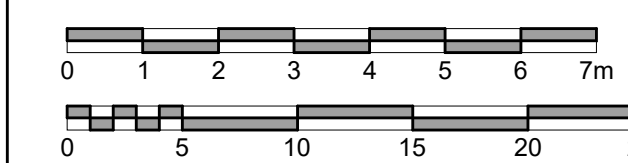
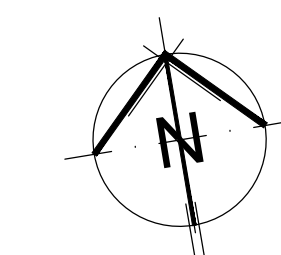


ESCHER EXISTING U/G PARKING



NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS ASSUME NO LIABILITY FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ASSOCIATED PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

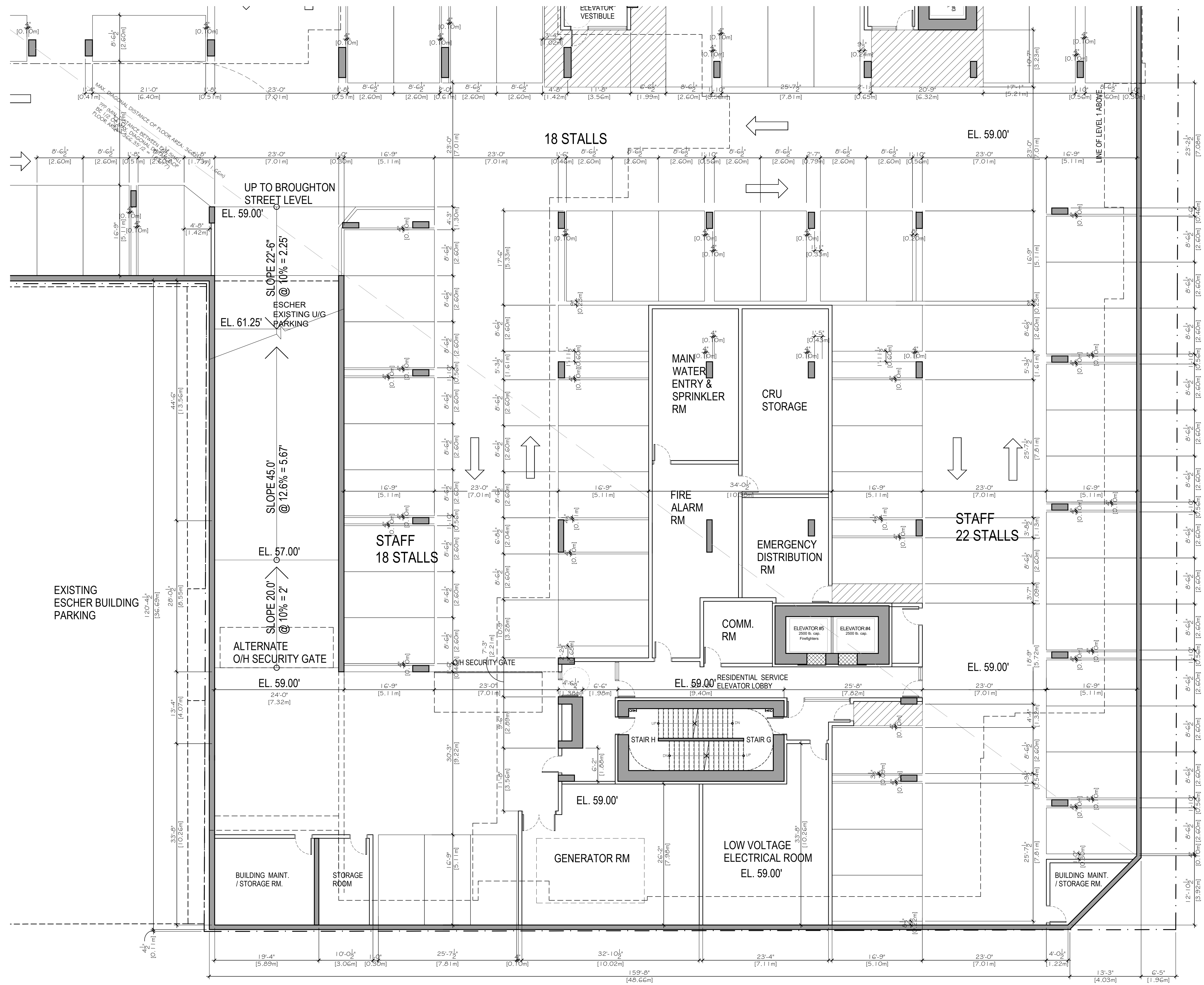
DRAWING TITLE
P1 LEVEL PARTIAL FLOOR PLAN

SEAL

DRAWING NO. REVISION

A301B

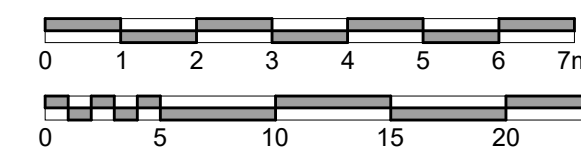
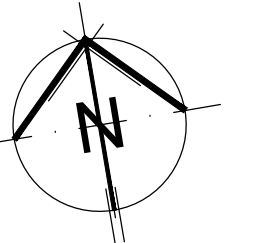
DATE APR 2017
SCALE 1:100
DRAWN CHECKED



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. VISUALLY SIMILAR WORK HAS BEEN PREPARED UNDER OTHER NAMES. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NOT BEEN CHECKED OR CORRECTED WITH REGARD TO THE ASSOCIATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
P1 LEVEL
PARTIAL FLOOR PLAN

SCALE

DRAWING NO. REVISION

A301C

DATE APR 2017

SCALE 1:100



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street
 Vancouver, BC V6C 2G8
 www.bfastudioarchitects.com

T 604 682 8544
 F 604 682 4900

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

RIGHTS RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS SIGNING SHALL HAVE RECEIVED THE ARCHITECT'S PERMISSION. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.

N

0 1 2 3 4 5 6 7m
 0 5 10 15 20 25'

CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEVEL 1
 PARTIAL FLOOR PLAN

SCALE

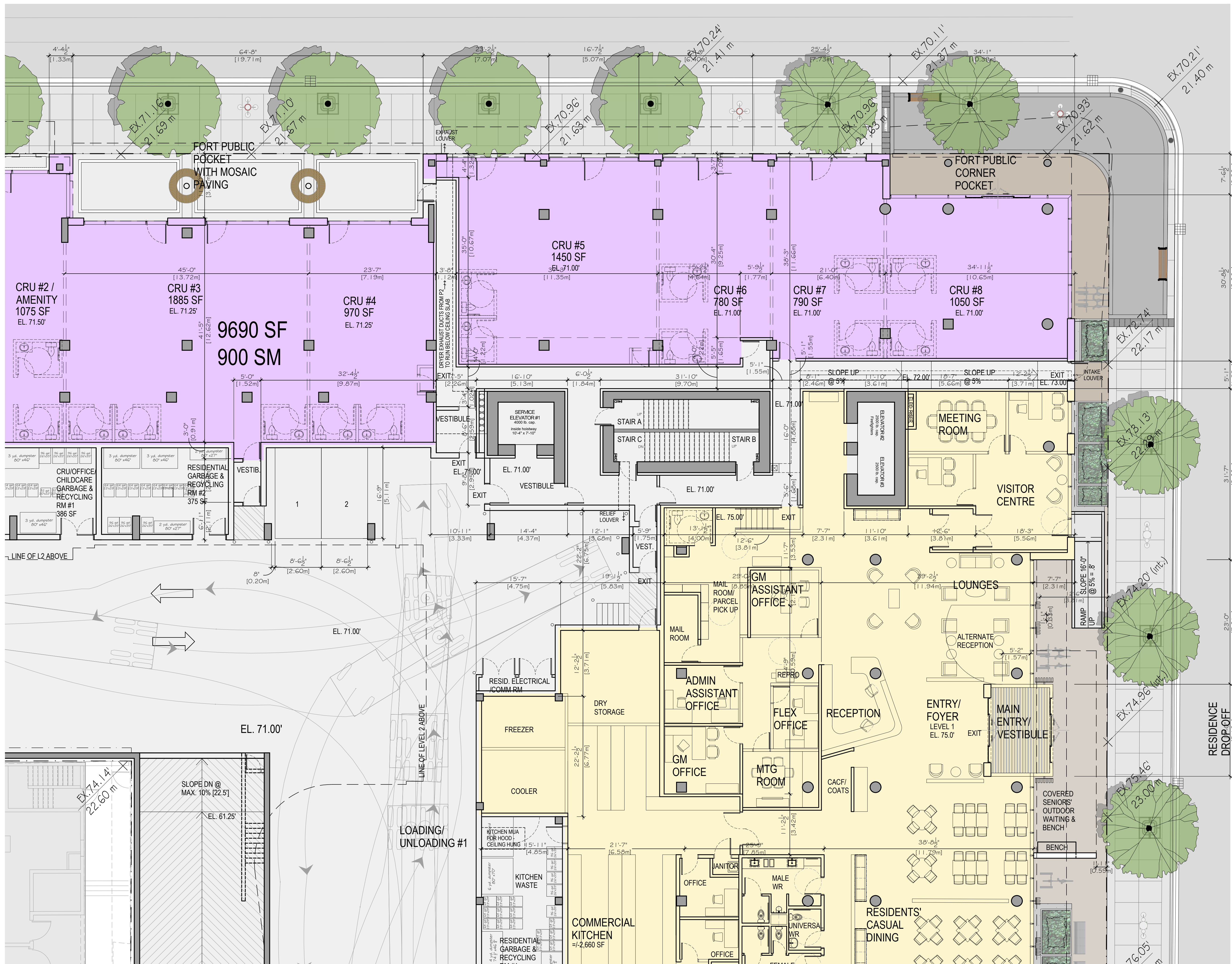
DRAWING NO. REVISION

A302A

DATE DRAWN

SCALE CHECKED

1:100



COLOR LEGEND

- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTS + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street Vancouver, BC V6C 2G3
 T 604 682 8544 F 604 682 4900
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR ADP	24 APR 2019
5	RE-ISSUED FOR REZONING & DP	29 MAY 2019
6	RE-ISSUED FOR REZONING & DP	28 AUG 2020
7	RE-ISSUED FOR REZONING & DP	05 MAY 2021

CLIENT: **parc retirement living**

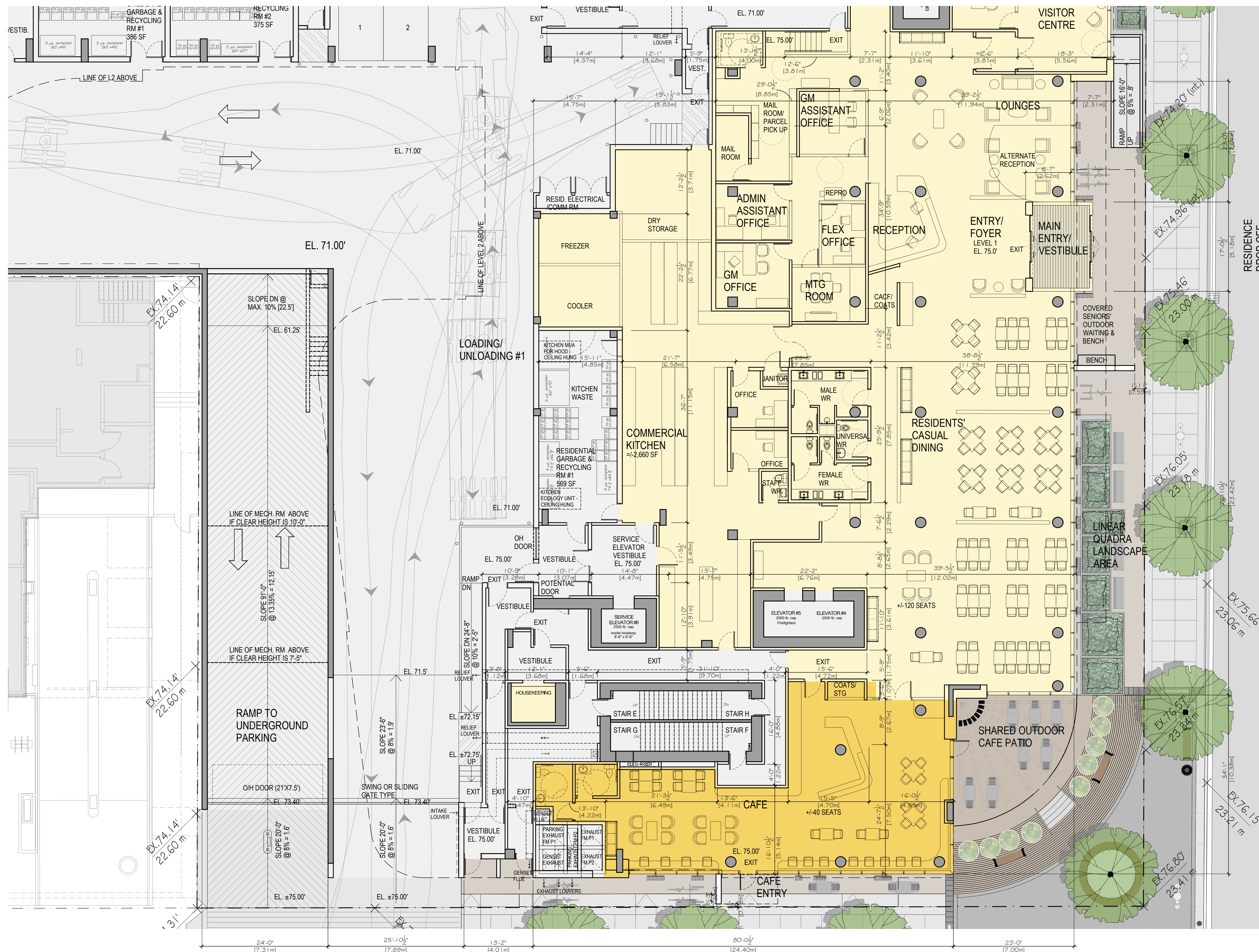
PROJECT NO: 17420

PROJECT: **PARC VICTORIA**
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **LEVEL 1 PARTIAL FLOOR PLAN**

SCALE: 1:100

A302B



COLOR LEGEND

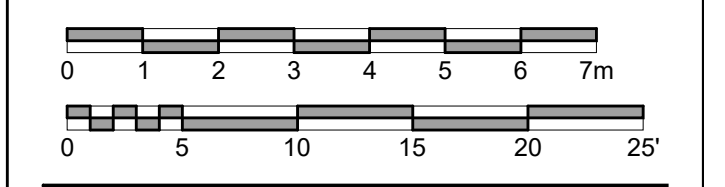
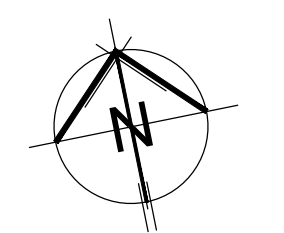
- AMENITY
- COMMERCIAL RETAIL
- CHILDCARE
- OFFICE MEDICAL
- CIRCULATION/ STG/SERVICE RM
- A - STUDIO
- B - 1 BEDROOM
- C - 1 BEDROOM + FLEX
- D - 2 BEDROOM
- E - 2 BEDROOM + FLEX
- F - 3 BEDROOM

bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
 (formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street
 Vancouver, BC V6C 2G9 T 604 682 8544
 F 604 682 4900
 www.bfstudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR ADP	24 APR 2019
5	RE-ISSUED FOR REZONING & DP	29 MAY 2019
6	RE-ISSUED FOR REZONING & DP	28 AUG 2020
7	RE-ISSUED FOR REZONING & DP	05 MAY 2021

CONTRACTOR RESPONSIBILITY
 THE PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED USE SHALL BE PROHIBITED UNDER PENALTY OF LAW. THE CONTRACTOR OR SUBCONTRACTOR SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.



parc retirement living

PROJECT NO. 17420
 PROJECT PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
 LEVEL 1
 PARTIAL FLOOR PLAN

SEAL

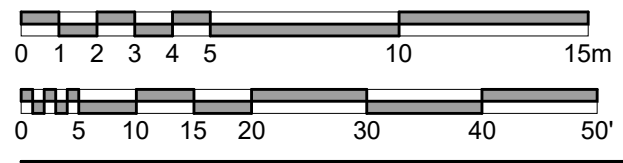
DRAWING NO. REVISION
A302C

DATE DRAWN
 SCALE CHECKED
 1:100

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS DESIGNERS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONNECTION OR CORRELATION WITH ANY OTHER PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

NORTH ELEVATION
FORT
STREETSCAPE

SEAL

DRAWING NO. REVISION

A401

DATE DRAWN

APR 2017

SCALE CHECKED

1:200



QUADRA
STREET

EX/70.21 /
21.40 m

EX/70.95 /
21.62 m

EX/70.96 /
21.63 m

EX/70.96 /
21.63 m

EX/71.10 /
21.67 m

EX/71.16 /
21.69 m

EX/71.39 /
21.76 m

EX/71.46 /
21.76 m

EX/71.46 /
21.76 m

EX/71.46 /
21.76 m

EXISTING ESCHER
BUILDING BEYOND

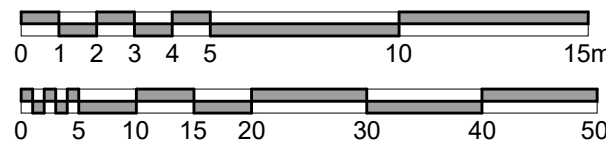
PROPOSED FUTURE
DEVELOPMENT

STORE ABC

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. REVISIONS SHOULD BE MADE AND APPROVED BY THE ARCHITECT. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**EAST ELEVATION
QUADRA
STREETSCAPE**

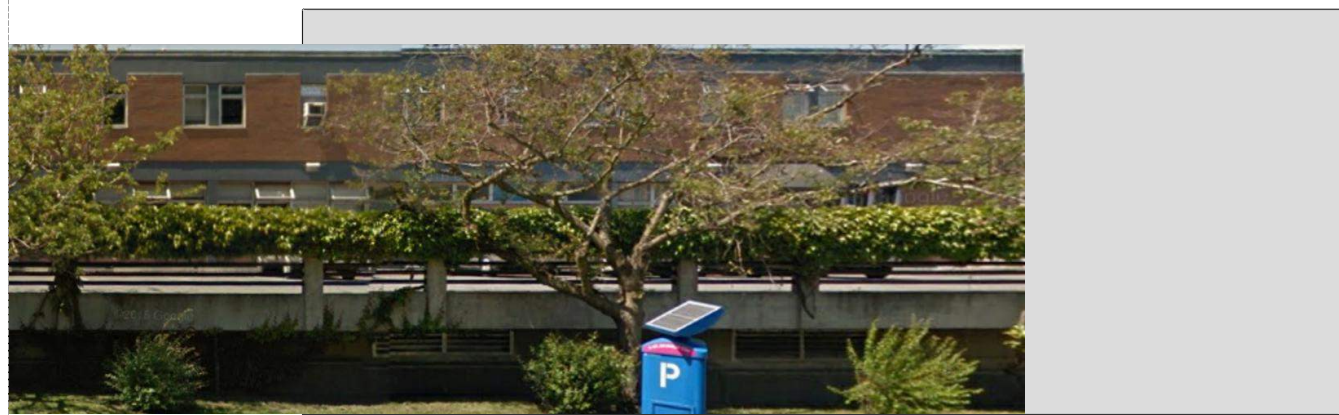
SCALE

DRAWING NO. REVISION

A402

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED

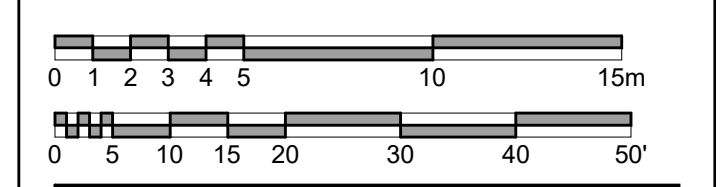




REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY OTHER DIMENSIONS SHALL HAVE PRECEDENCE OVER THESE DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

**SOUTH ELEVATION
BROUGHTON
STREETSCAPE**

SEAL

DRAWING NO. REVISION

-

A403

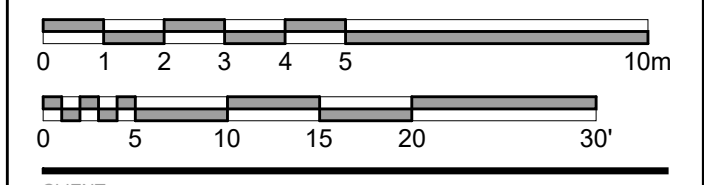
DATE **APR 2017**

SCALE 1:200



NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT. REVISED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS AS DISCOVERED BY THE CONTRACTOR OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



parc
retirement
living

PROJECT NO: 17420
PROJECT: **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **NORTH ELEVATION FORT STREET**

SEAL

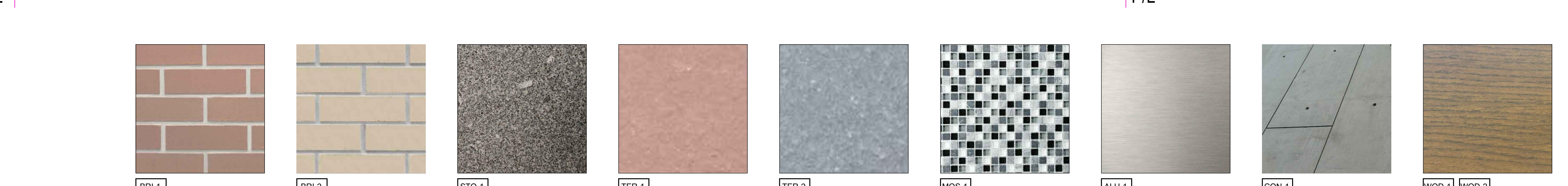
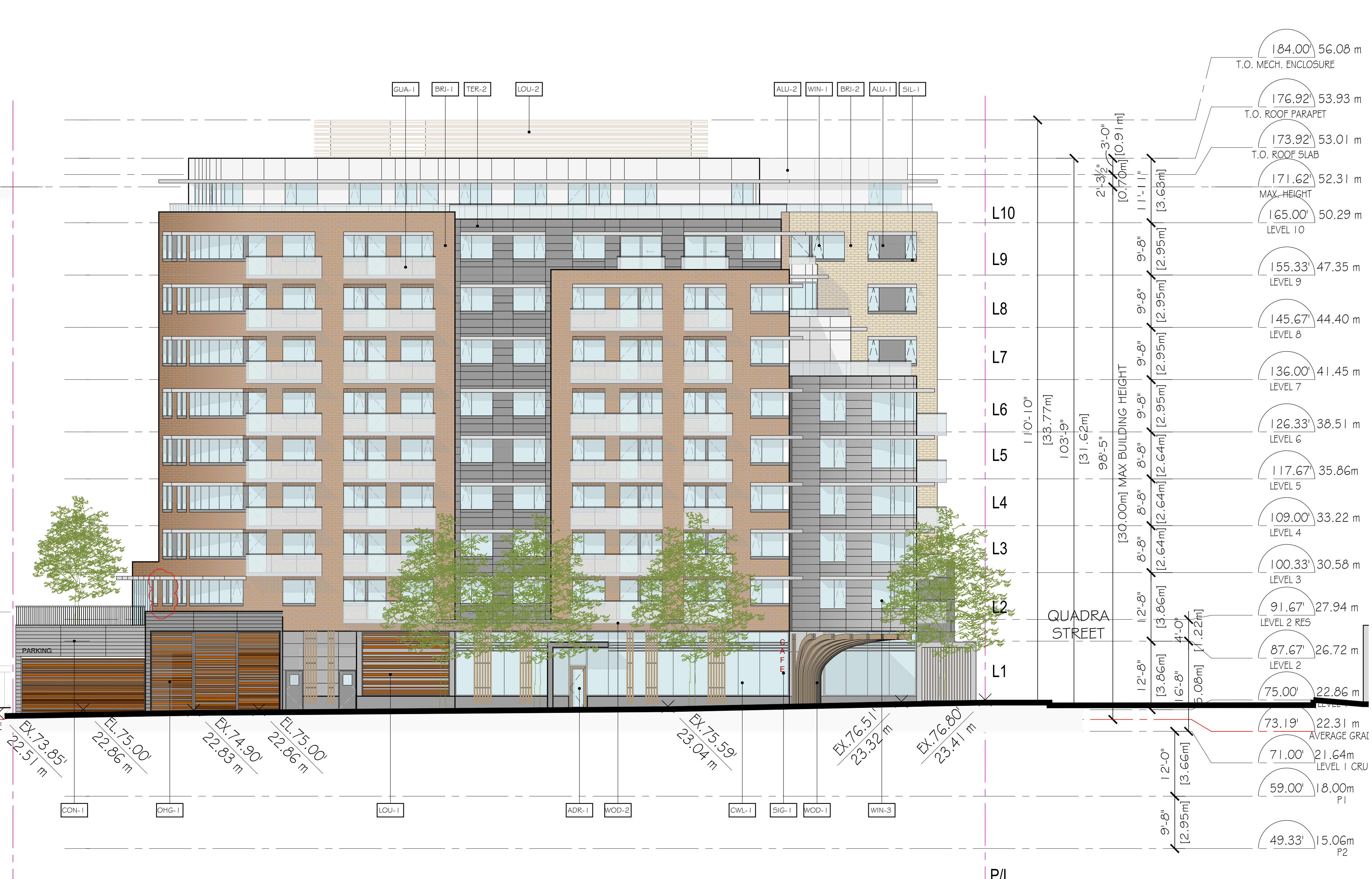
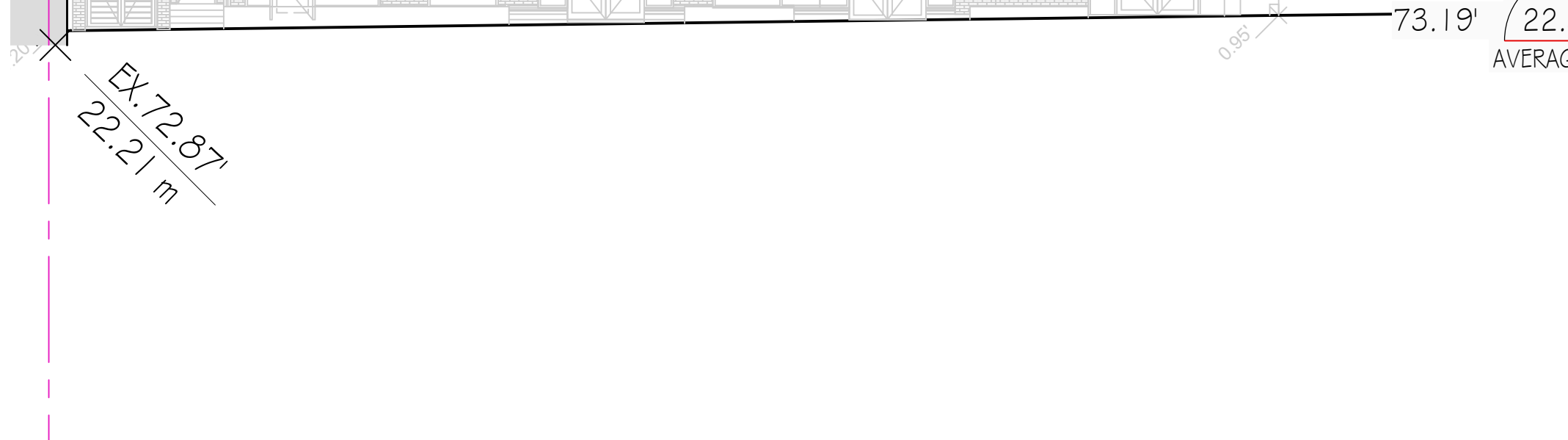
DRAWING NO: REVISION

A404

DATE: APR 2017 DRAWN: CHECKED: 1:125



ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH
BRI-1	STANDARD FACE BRICK-4X1 2" PATTERN: TBD TO MATCH HEBRONWILD ROSE	ALU-2	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALLUCOBOND ALABASTER	CWL-1	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	CAN-1	METAL FRAMED CANOPY W/ GLASS FRAME: TOO MATCH WINDOW FRAMES GLASS: CLEAR LAMINATED
BRI-2	STANDARD FACE BRICK-4X1 2" PATTERN: TBD TO MATCH HEBRONCHAMPAGNE	CON-1	ARCHITECTURAL CONCRETE W/ REVEALS GREY (PARGED FINISH)	SFW-1	STOREFRONT WINDOW DOOR; REFER TO WINDOW SCHEDULE FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	CAN-2	FRAMED FABRIC CANOPY FRAME: ALUMINUM POWDER COATED COLOR: RUST
STO-1	GRANITE STONE CLADDING PATTERN: TBD COLOUR: GREY FINISH: HONED	CON-2	ARCHITECTURAL CONCRETE COLUMNS GREY (PARGED FINISH)	GUA-1	SAFETY GLASS BALCONY GUARD FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TBD	DHG-1	ALUMINUM OVERHEAD GARAGE DOOR FRAME: ALUMINUM POWDER COATED COLOR: RUST
STO-2	STONE CLADDING PATTERN: TBD WHITE SLAB	SIL-1	CONCRETE PRECAST SILL/HEADER GREY	GUA-2	METAL BALCONY GUARD FRAME: ALUMINUM POWDER COATED BLACK OR DARK GREY	ADR-1	ALUMINUM FRAME DOOR W/ GLAZING UNIT FRAME: TO MATCH WINDOW FRAMES GLASS: TBD
TER-1	TERRA COTTA - TR2 TO MATCH "ROSE" OR SIMILAR MATT FINISH	WIN-1	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE FRAME: TO MATCH EUROLINE QUARZGRAU SFTN GLASS: TBD	GPS-1	SAFETY GLASS PRIVACY SCREEN FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS	LOU-1	ALUMINUM WALL LOUVERS COLOUR: TO MATCH ADJACENT WINDOW FRAMES OR CLADDING
TER-2	TERRA COTTA - TH2 TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH	WIN-2	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE FRAME: CLEAR ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-1	ENGINEERED WOOD COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	LOU-2	METAL SCREEN SYSTEM - ROOFTOP METAL PATTERN: ALUMINUM POWDER COATED COLOUR: LIGHT GREY
MOS-1	EXTERIOR TYPE MOSAIC TILE MULTI COLOUR - WHITE, MEDIUM & DARK GREY	WIN-3	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE FRAME: DARK GREY ANODIZED ALUMINUM OR MATCH WIN-1. GLASS: TBD	WOD-2	EXTERIOR WOOD PATTERN SOFFIT COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	SIG-1	SIGNAGE BY SIGNAGE CONSULTANT
ALU-1	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALLUCOBOND NATURAL BRUSHED STAINLESS FEVE						



ELEVATION KEYNOTE LEGEND							
ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH	ITEM	COLOUR /FINISH
BRI-1	STANDARD FACE BRICK-4"X12" PATTERN: TBD	ALU-2	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALUCOBOND ALABASTER	CWL-1	ALUMINUM CURTAIN WALL W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	CAN-1	METAL FRAMED CANOPY W/ GLASS FRAME; TOO MATCH WINDOW FRAMES GLASS: CLEAR LAMINATED
BRI-2	STANDARD FACE BRICK-4"X12" PATTERN: TBD	CON-1	ARCHITECTURAL CONCRETE W/ REVEALS GREY (FARGED FINISH)	SFW-1	STOREFRONT WINDOW DOOR; REFER TO WINDOW SCHEDULE	CAN-2	FRAMED FABRIC CANOPY FRAME: NA COLOR: NA
STO-1	GRANITE STONE CLADDING PATTERN: TBD	CON-2	ARCHITECTURAL CONCRETE COLUMNS GREY (FARGED FINISH)	GUA-1	SAFETY GLASS BALCONY GUARD FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TBD	OHG-1	ALUMINUM OVERHEAD GARAGE DOOR FRAME: ALUMINUM POWDER COATED COLOR: RUST
STO-2	STONE CLADDING PATTERN: TBD	SIL-1	CONCRETE PRECAST SILL/HEADER GREY	GUA-2	METAL BALCONY GUARD FRAME: ALUMINUM POWDER COATED BLACK OR DARK GREY	ADR-1	ALUMINUM FRAME DOOR W/ GLAZING UNIT FRAME: TO MATCH WINDOW FRAMES GLASS: TBD
TER-1	TERRA COTTA - TR2 TO MATCH "ROSE" OR SIMILAR MATT FINISH	WIN-1	VINYL WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	GPS-1	SAFETY GLASS PRIVACY SCREEN FRAME: ALUMINUM TO MATCH WINDOW FRAMES GLASS: TEMPERED TRANSLUCENT GLASS	LOU-1	ALUMINUM WALL LOUVERS COLOUR TO MATCH ADJACENT WINDOW FRAMES OR CLADDING
TER-2	TERRA COTTA - TH2 TO MATCH "TITANIUM GREY" OR SIMILAR MATT FINISH	WIN-2	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	WOD-1	ENGINEERED WOOD COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	LOU-2	METAL SCREEN SYSTEM - ROOFTOP METAL PATTERN: ALUMINUM POWDER COATED COLOUR: LIGHT GREY
MOS-1	EXTERIOR TYPE MOSAIC TILE MULTI COLOUR - WHITE, MEDIUM & DARK GREY	WIN-3	ALUMINUM WINDOW FRAME W/ DOUBLE OR TRIPLE GLAZING; REFER TO WINDOW SCHEDULE	WOD-2	EXTERIOR WOOD PATTERN SOFFIT COLOR: NATURAL STAIN EXTERIOR TYPE TRANSPARENT STAIN	SIG-1	SIGNAGE BY SIGNAGE CONSULTANT
ALU-1	ALUMINUM CLADDING PANEL SYSTEM TO MATCH ALUCOBOND NATURAL BRUSHED STAINLESS FEVE						

bfa studio architects
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
 (formerly BESHARAT FRIARS ARCHITECTS)
 600 - 355 Burrard Street Vancouver, BC V6C 2G8
 T 604 682 8544 F 604 682 4000
 www.bfastudioarchitects.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

CLIENT
 parc retirement living

PROJECT NO. 17420

PROJECT
 PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
 SOUTH ELEVATION
 BROUGHTON STREET

DRAWING NO. **REVISION**

A406

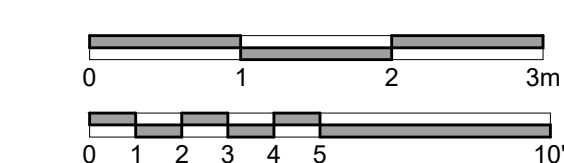
DATE APR 2017 **DRAWN**

SCALE 1:125 **CHECKED**

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. INTENDED FOR CONSTRUCTION ONLY. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO VALIDITY OR CORRELATION WITH REGARD TO THE PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

FORT (NORTH) STREETSCAPE
/ PARTIAL SECTION

SEAL

DRAWING NO. REVISION

A407

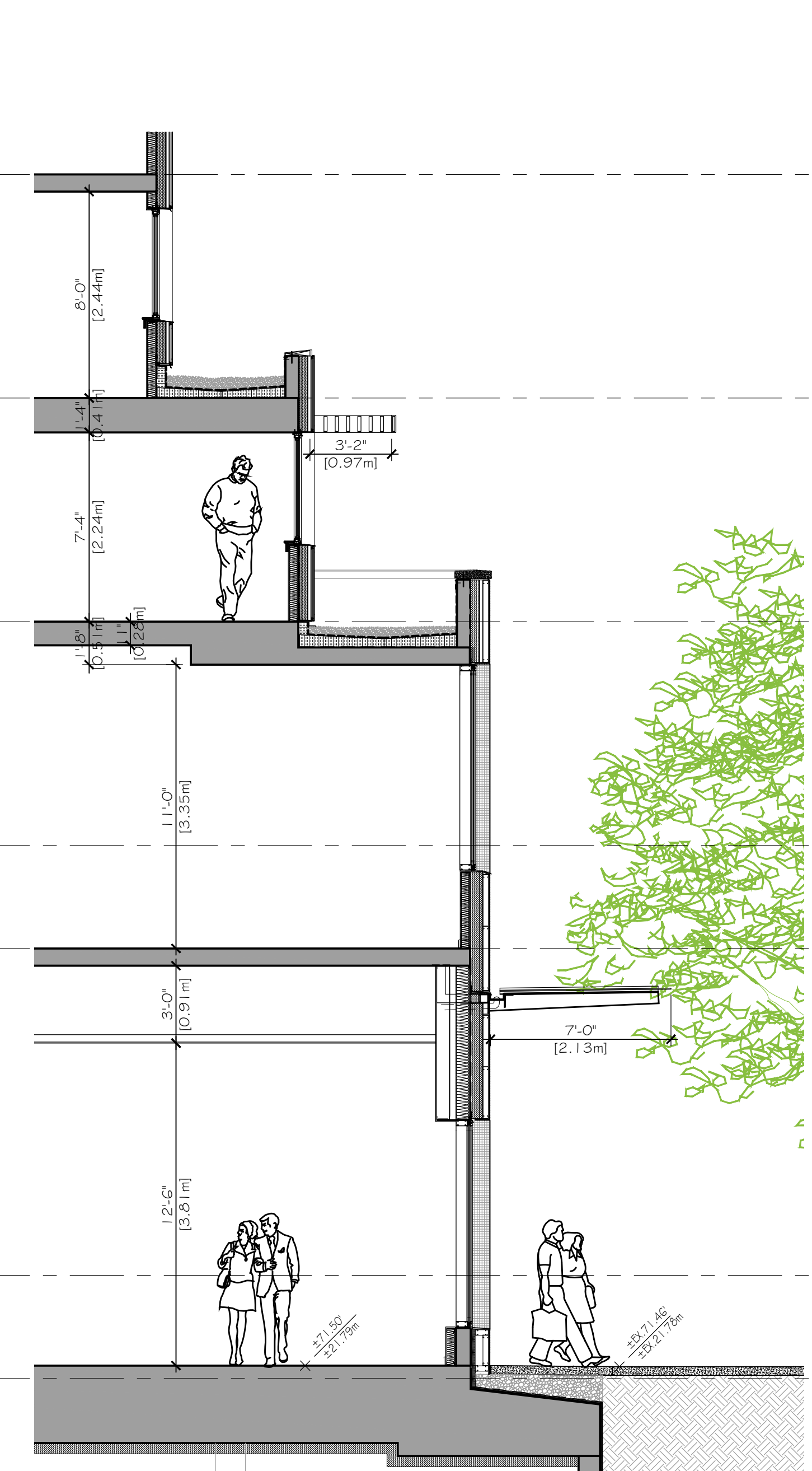
DATE DRAWN

SCALE CHECKED

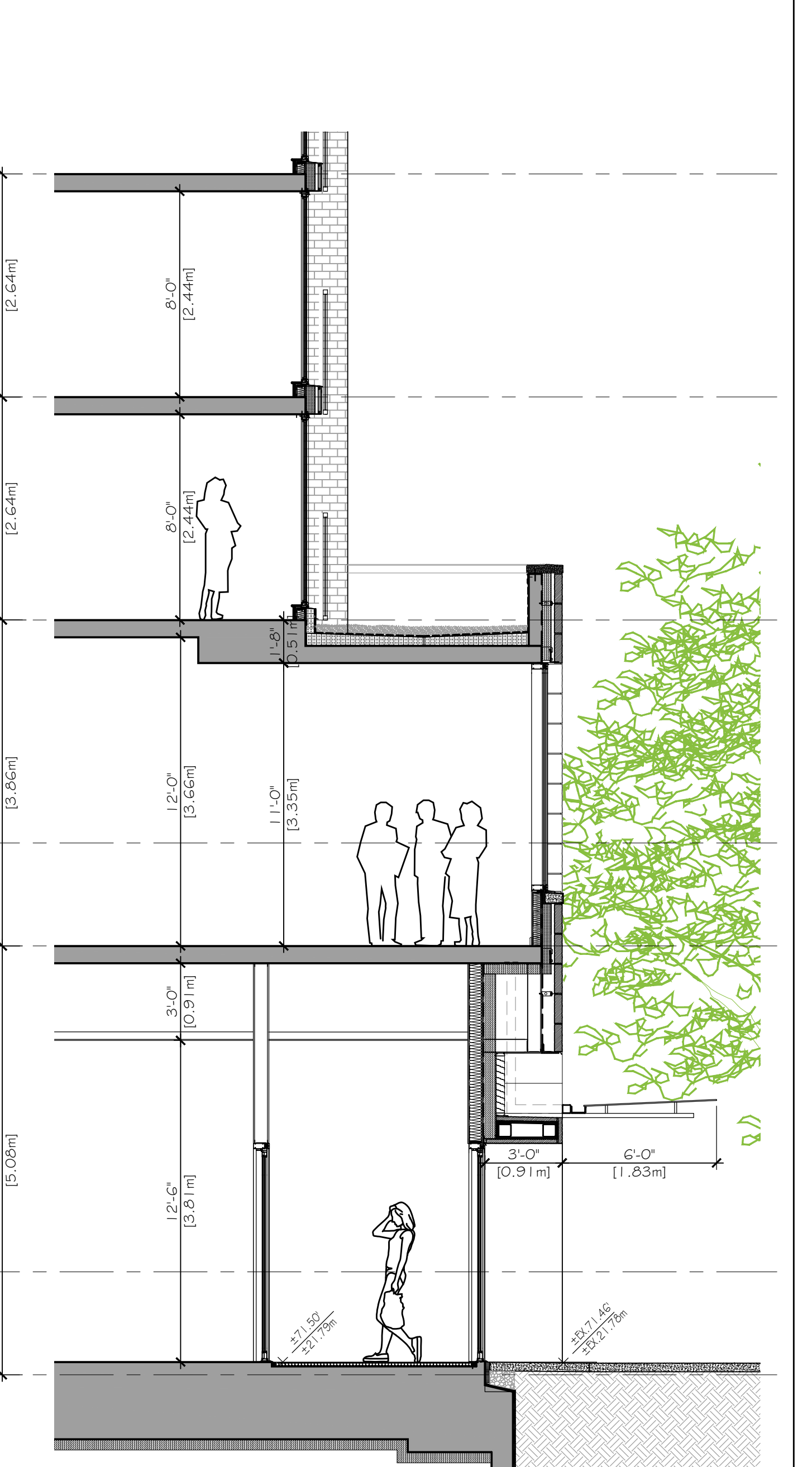
1:50



1 NORTH/ FORT STREET ELEVATION



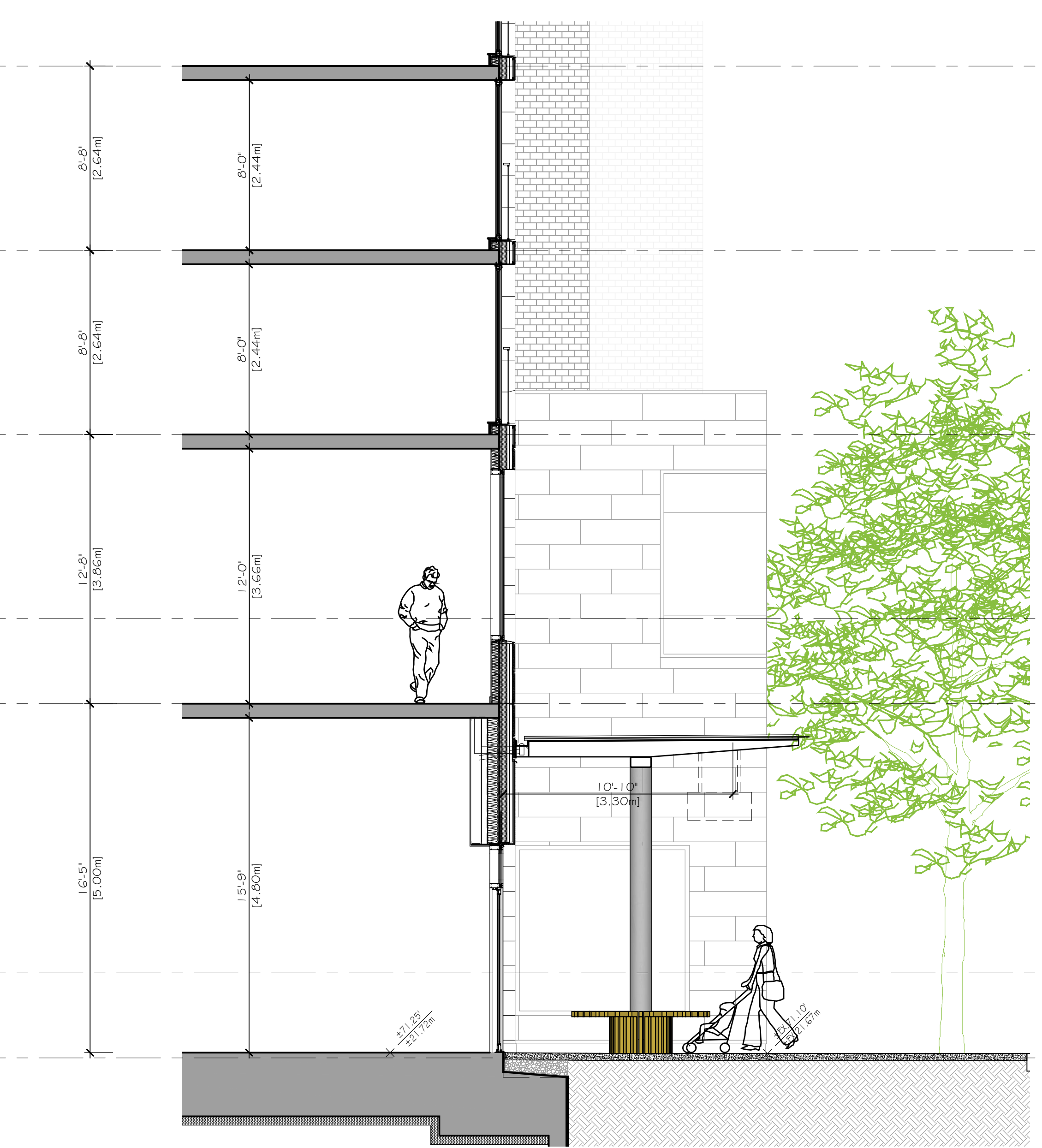
2 STREETSCAPE SECTION



3 STREETSCAPE SECTION



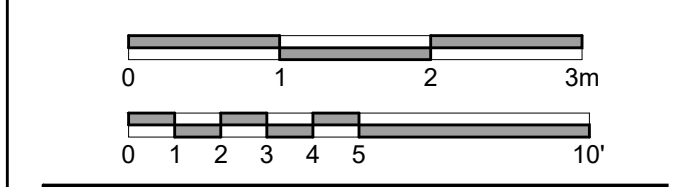
1 NORTH/ FORT STREET ELEVATION



2 STREETScape SECTION

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ARCHITECTS UNDERTAKE TO PROVIDE PROFESSIONAL SERVICES IN ACCORDANCE WITH THE PROFESSIONAL CODE OF CONDUCT AND STANDARDS OF PRACTICE OF THE ARCHITECTS OF BRITAIN COLUMBIA. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420
PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORT (NORTH) STREETScape / PARTIAL SECTION

SCALE

DRAWING NO. DRAWN BY
REVISION

A408

DATE
SCALE 1:50
CHECKED



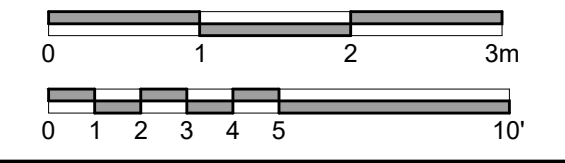
1 NORTH/ FORT STREET ELEVATION

2 STREETSCAPE SECTION

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ARCHITECTS UNDERTAKE THEIR PROFESSIONAL OBLIGATIONS UNDER THESE CONDITIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORT (NORTH) STREETSCAPE / PARTIAL SECTION

SCALE

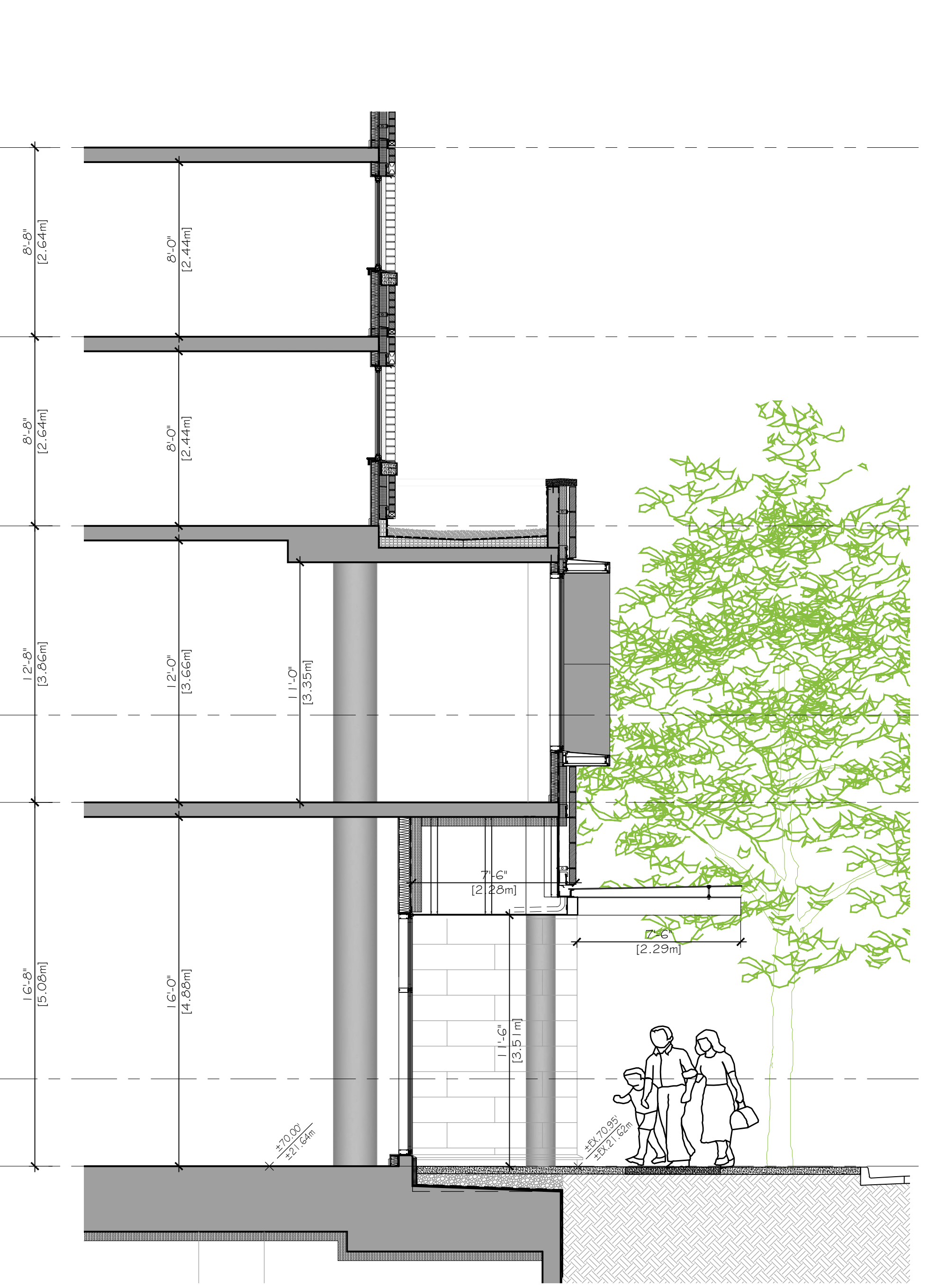
DRAWING NO. DRAWN

A409

DATE CHECKED
SCALE 1:50



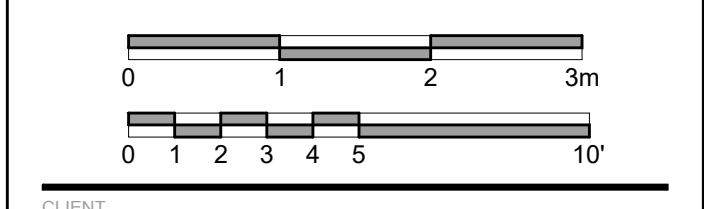
1 NORTH/FORT STREET ELEVATION



2 STREETScape SECTION

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION SHALL BE PROSECUTED UNDER APPLICABLE LAWS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NOT BEEN CHECKED OR CORRECTED WITH REGARD TO THE PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
FORT (NORTH) STREETSCAPE / PARTIAL SECTION

SEAL

DRAWING NO. DRAWN

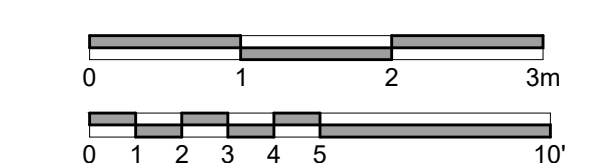
A410

DATE CHECKED
SCALE 1:50

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

QUADRA (EAST)
STREETSCAPE / PARTIAL
SECTION

SCALE

DRAWING NO. REVISION

A411

DATE DRAWN

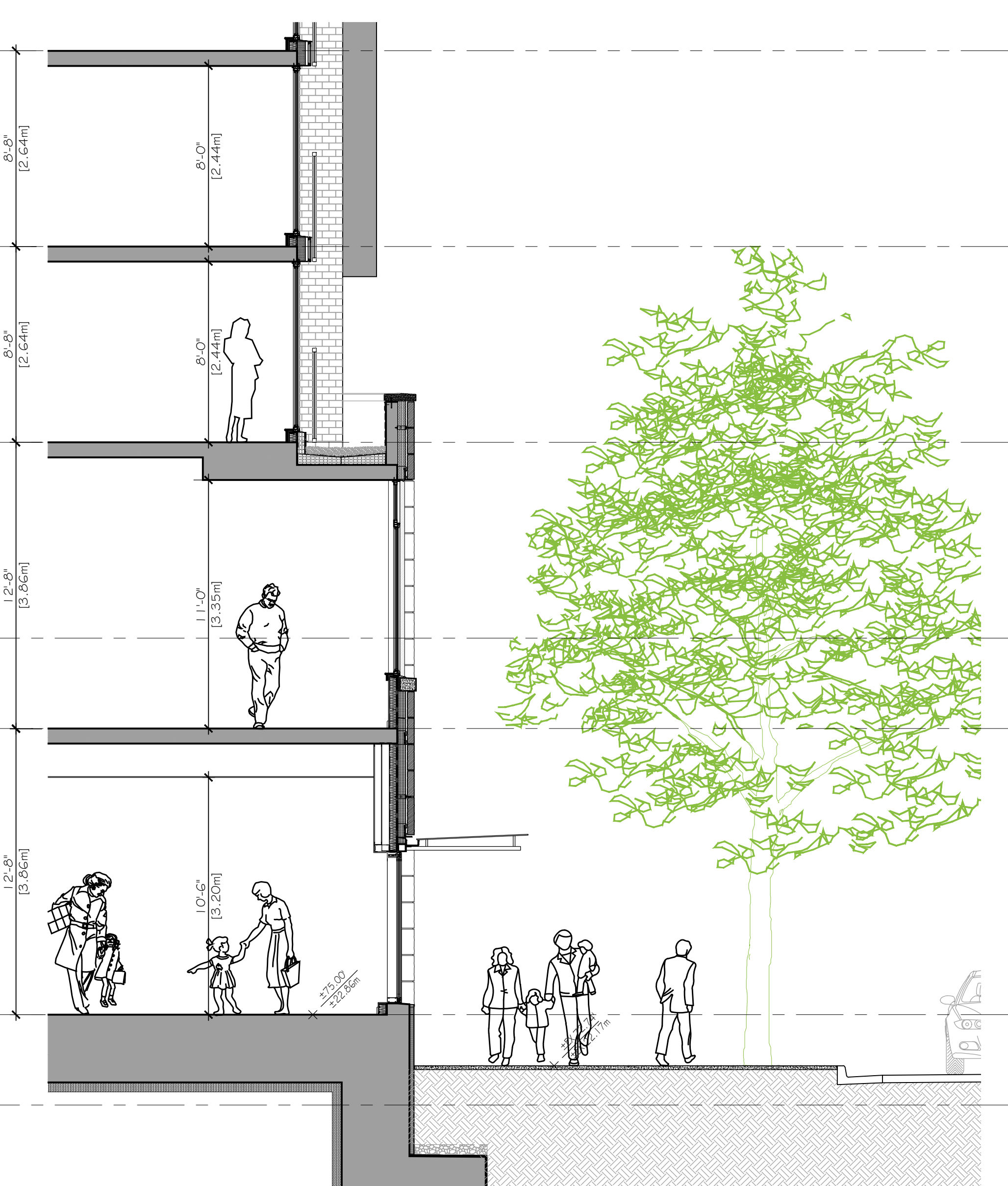
SCALE CHECKED

1:50

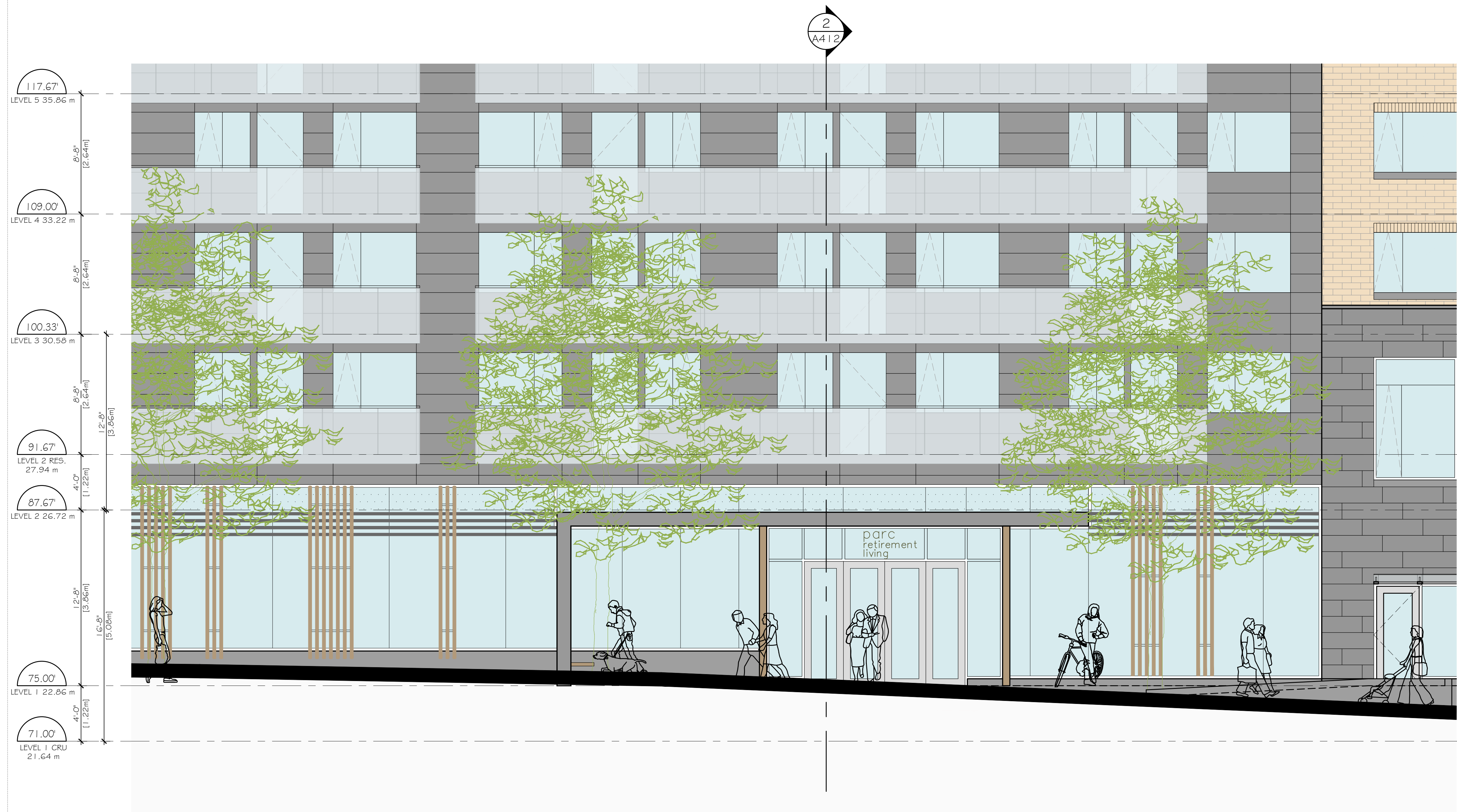
2
A411



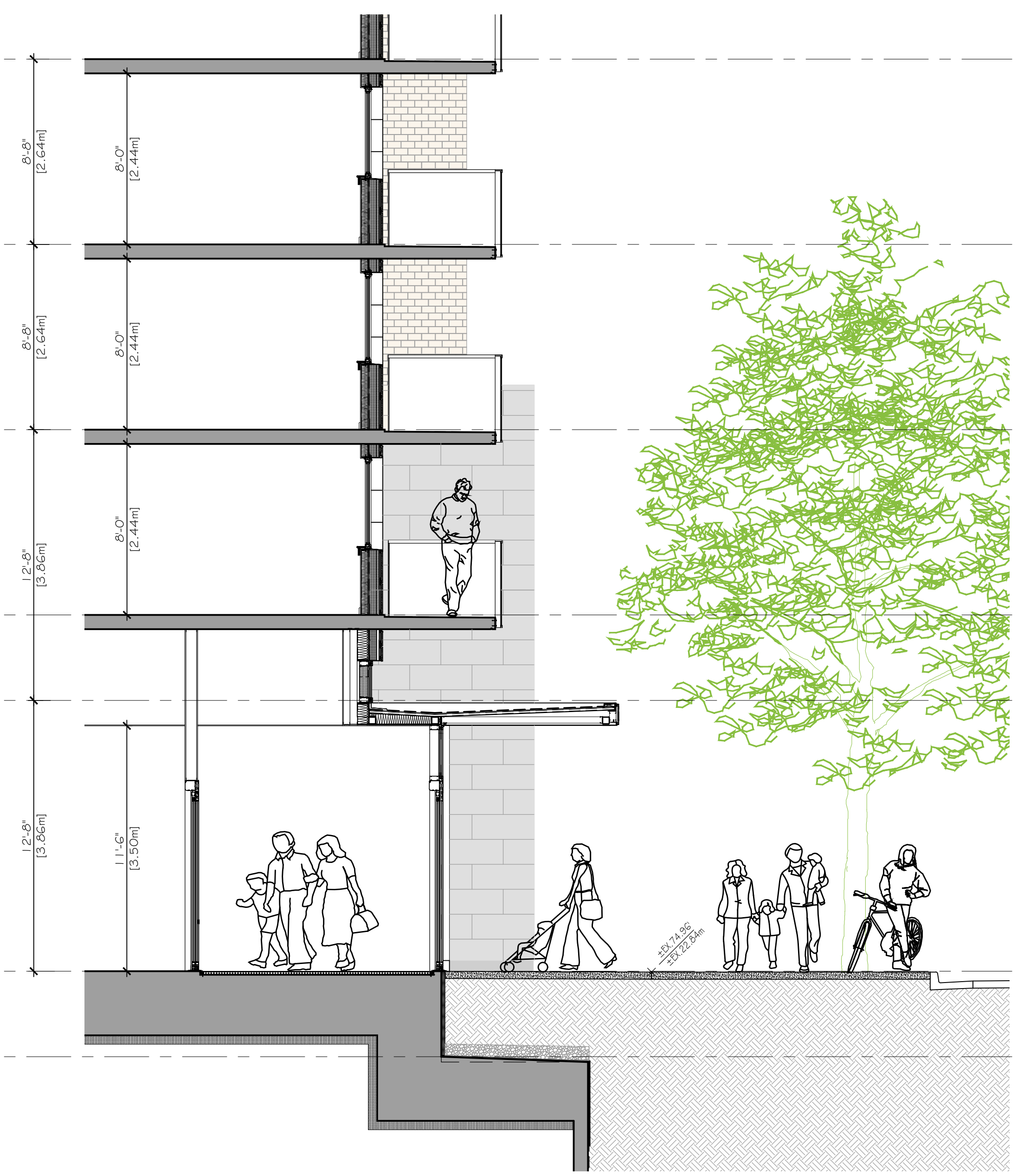
1 EAST/ QUADRA STREET ELEVATION



2 STREETSCAPE SECTION



1 EAST/QUADRA STREET ELEVATION



2 STREETScape SECTION

bfa studio
architects
ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
600 - 355 Burrard Street Vancouver, BC V6C 2G8 www.bfastudioarchitects.com T 604 682 8544 F 604 682 4000

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

0 1 2 3m
0 1 2 3 4 5 10'

CLIENT
parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
QUADRA (EAST)
STREETSCAPE / PARTIAL SECTION

SCALE
1:50

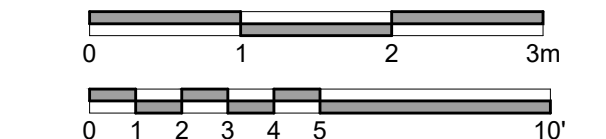
DRAWING NO. _____ REVISION _____
A412

DATE _____ DRAWN _____
SCALE _____ CHECKED _____

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ARCHITECTS UNDERTAKE TO PROVIDE PROFESSIONAL SERVICES IN ACCORDANCE WITH THE PROFESSIONAL CODE OF CONDUCT AND STANDARDS OF PRACTICE OF THE ARCHITECTS OF BRITISH COLUMBIA. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ASSOCIATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

QUADRA (EAST)
STREETSCAPE / PARTIAL SECTION

SCALE

DRAWING NO. DRAWN

REVISION

-

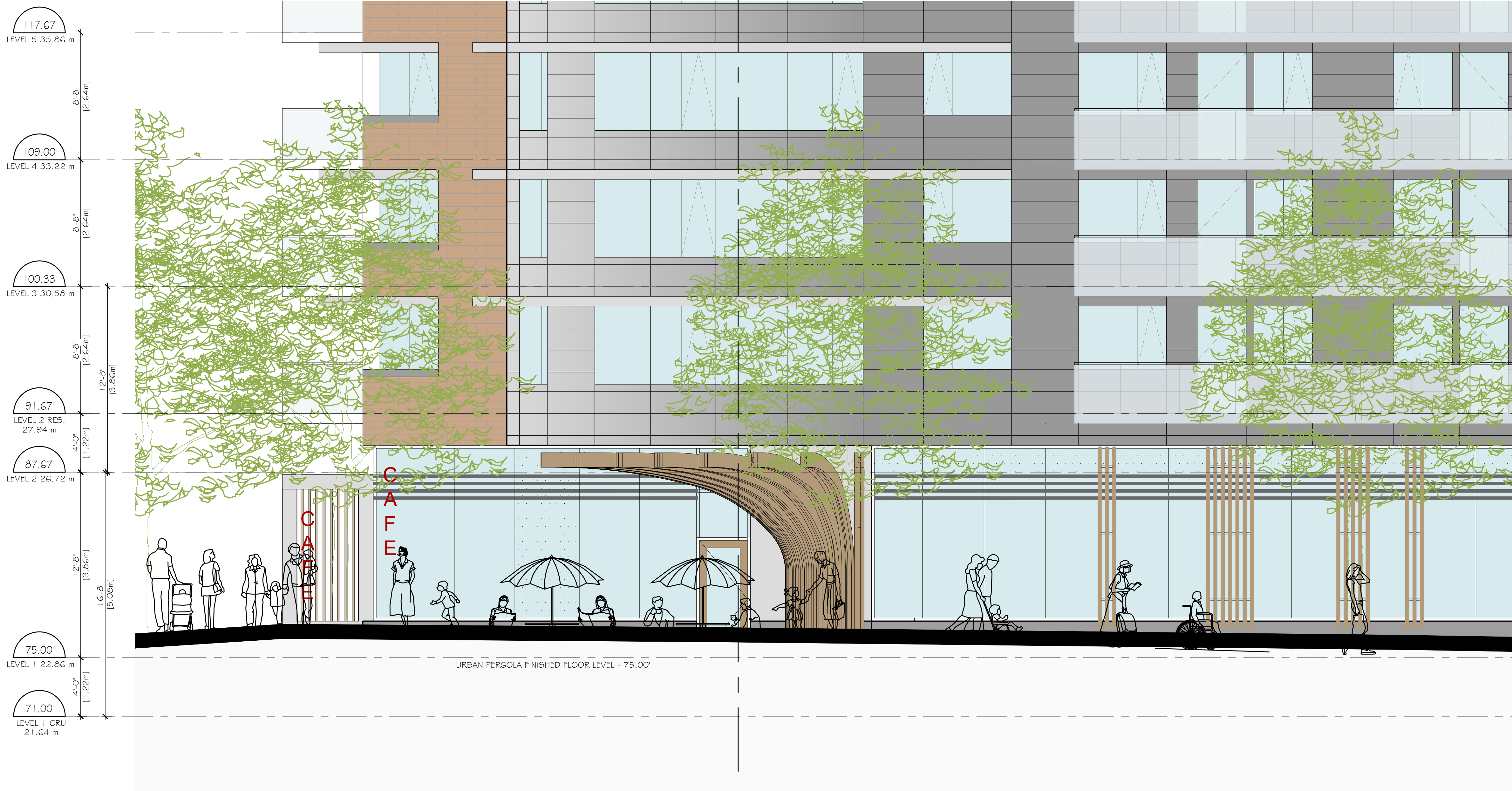
A413

DATE

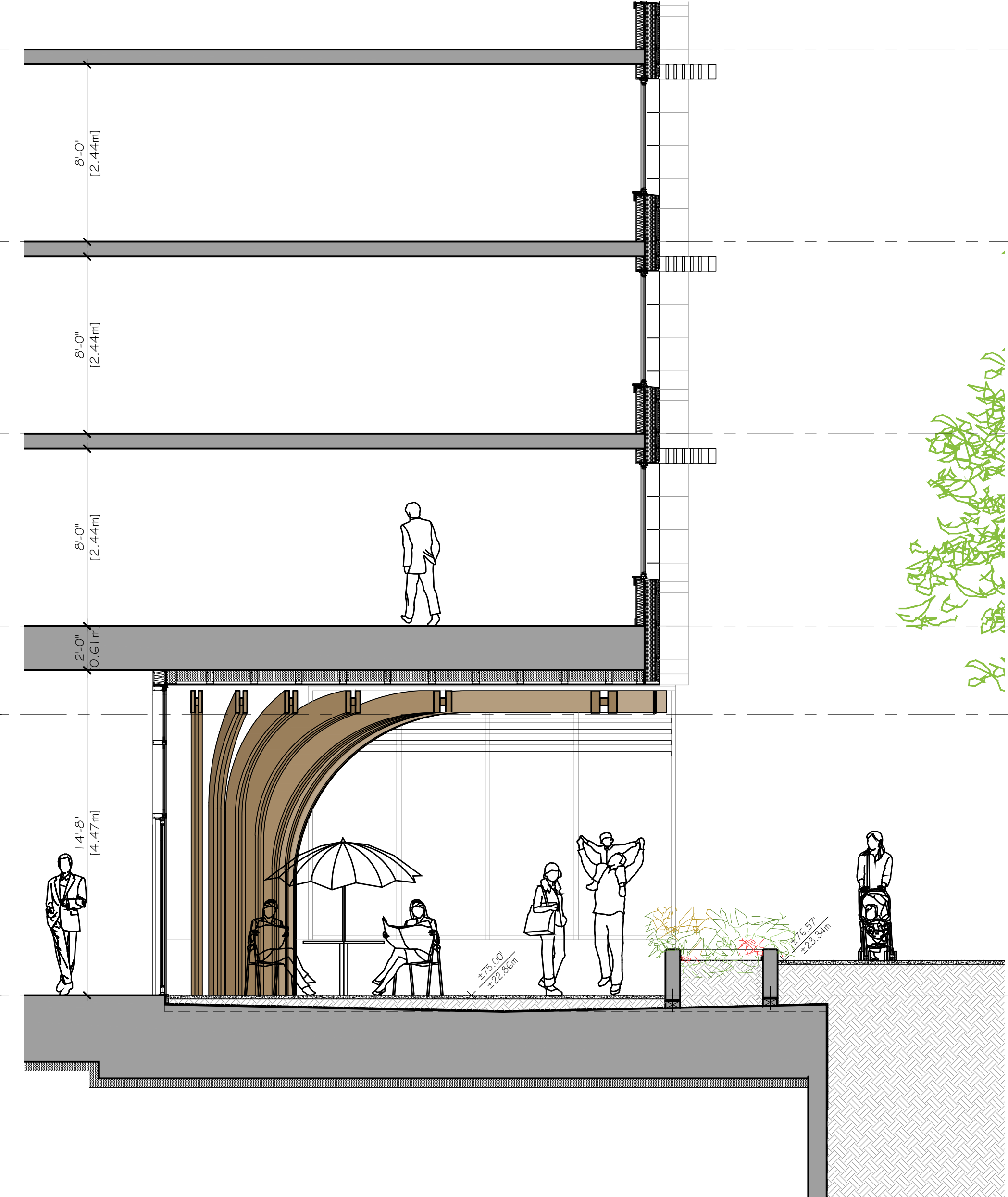
SCALE

1:50

2
A413



1 EAST/QUADRA STREET ELEVATION

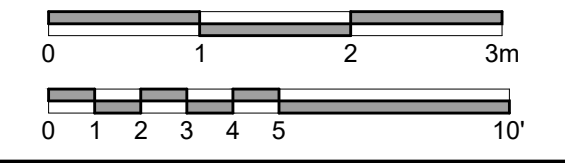


2 STREETSCAPE SECTION



NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NOT BEEN PREPARED OR CORRECTED WITH REGARD TO THE PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BROUGHTON (SOUTH)
STREETSCAPE / PARTIAL SECTION**

SEAL

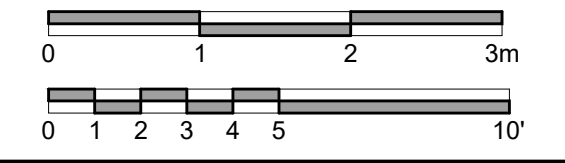
DRAWING NO. REVISION

A414

DATE DRAWN
SCALE CHECKED
1:50

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ARCHITECTS UNDERTAKE SHALL HAVE INCURRED THEIR SOLE RESPONSIBILITY. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NOT BEEN CHECKED OR CORRECTED WITH REGARD TO THE PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BROUGHTON (SOUTH)
STREETSCAPE / PARTIAL
SECTION**

SEAL

DRAWING NO. DRAWN

A415

DATE

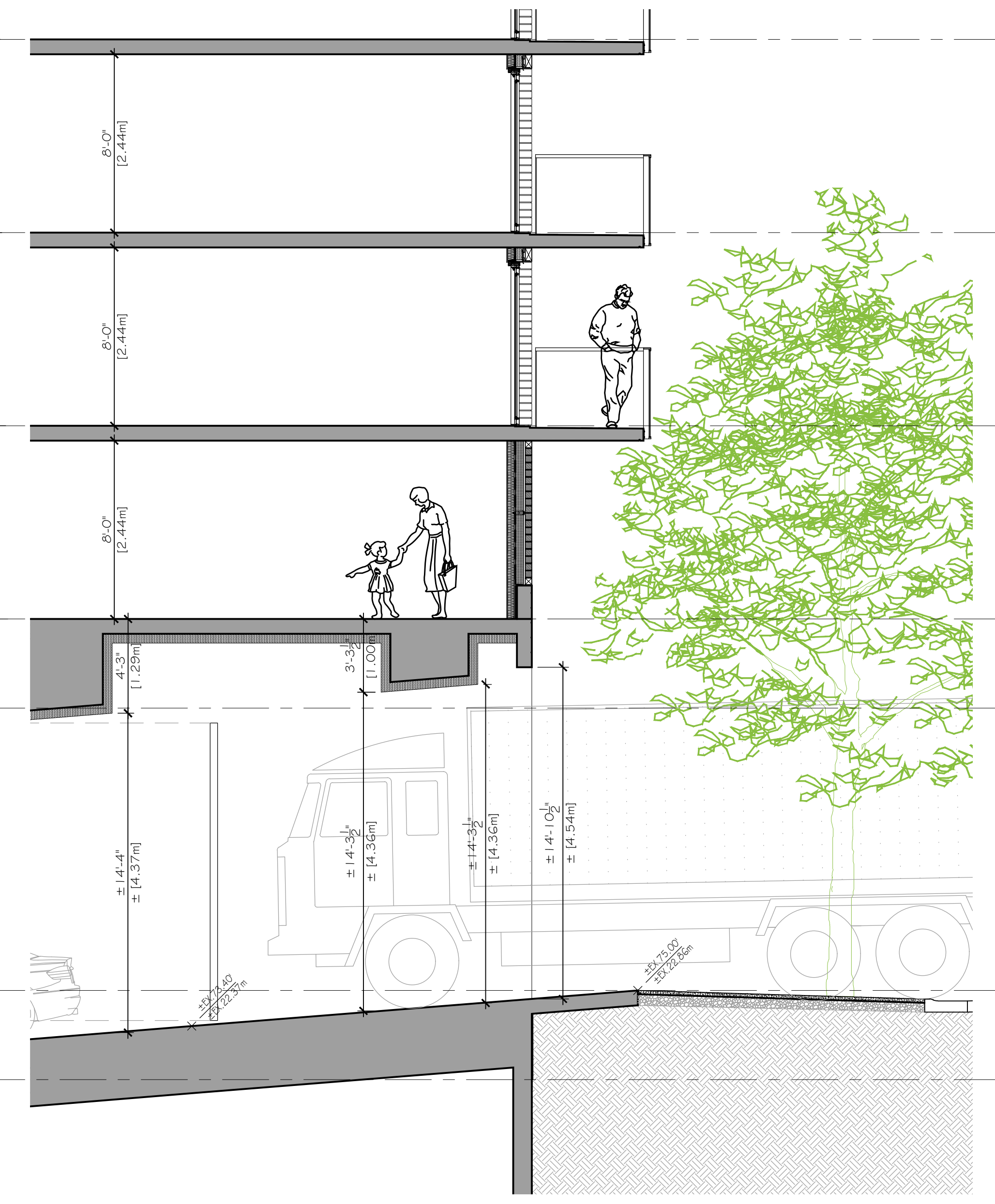
SCALE CHECKED

1:50

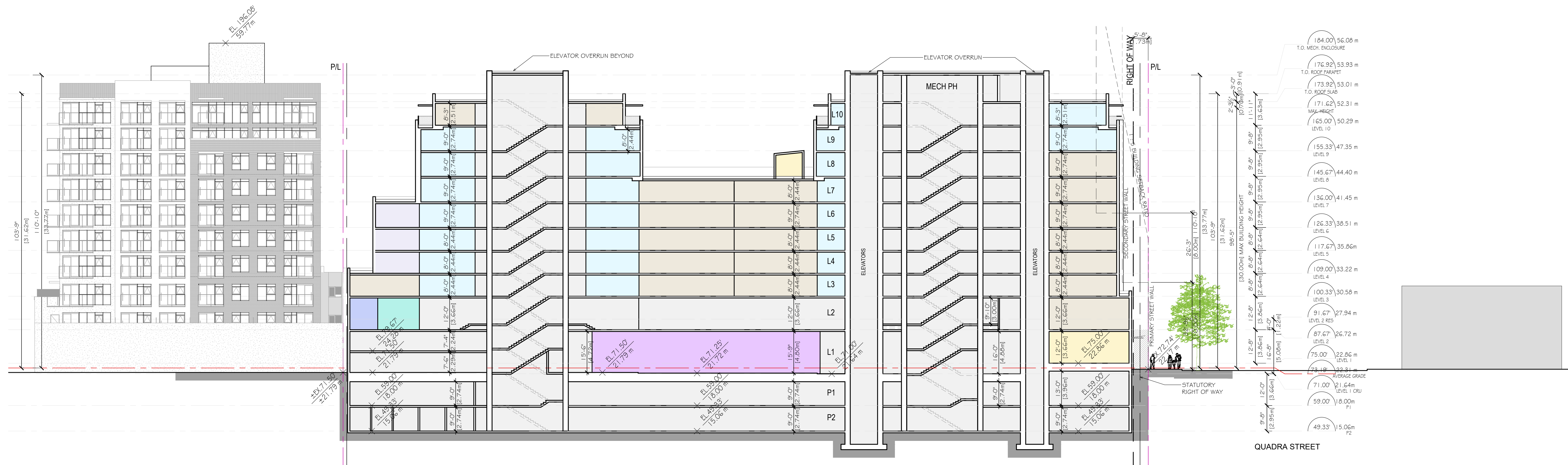
2
A415



1 SOUTH / BROUGHTON STREET ELEVATION

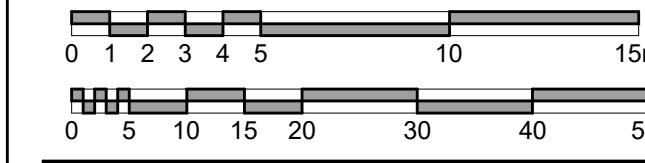
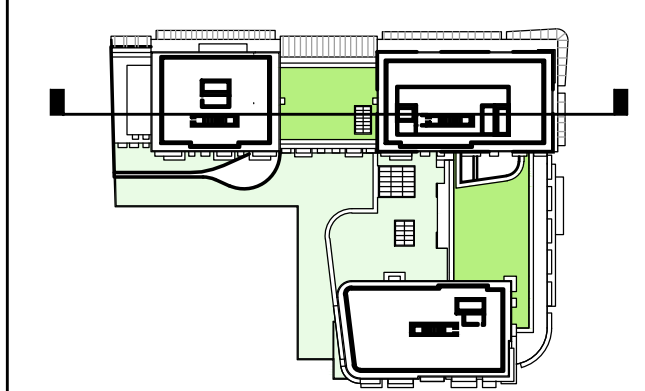


2 STREETSCAPE SECTION



NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS INSPECTING SHALL HAVE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ASSOCIATED PROJECT.



parc retirement living

PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
BUILDING SECTION A

SEAL

DRAWING NO. _____ REVISION _____

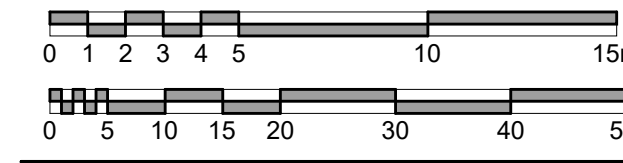
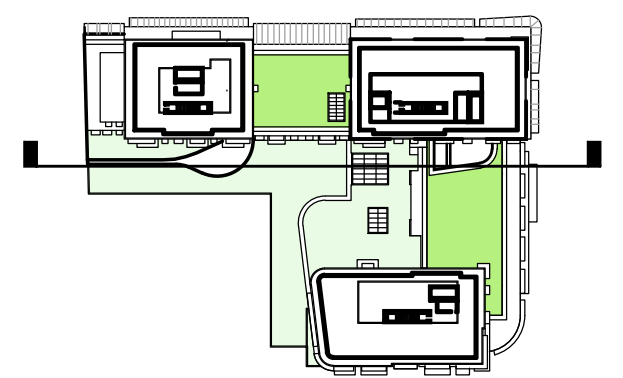
A501

DATE APR 2017 DRAWN _____
SCALE 1:200 CHECKED _____

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR REZONING & DP	16 JAN 2019
5	RE-ISSUED FOR ADP	24 APR 2019
6	RE-ISSUED FOR REZONING & DP	29 MAY 2019
7	RE-ISSUED FOR REZONING & DP	28 AUG 2020
8	RE-ISSUED FOR REZONING & DP	05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION OR ALTERATION OF THIS PLAN OR DESIGN IS STRICTLY PROHIBITED. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONTRACTUAL OR LEGAL VALUE WITH REGARD TO THE PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**BUILDING SECTION B/
INTERNAL SOUTH
ELEVATION**

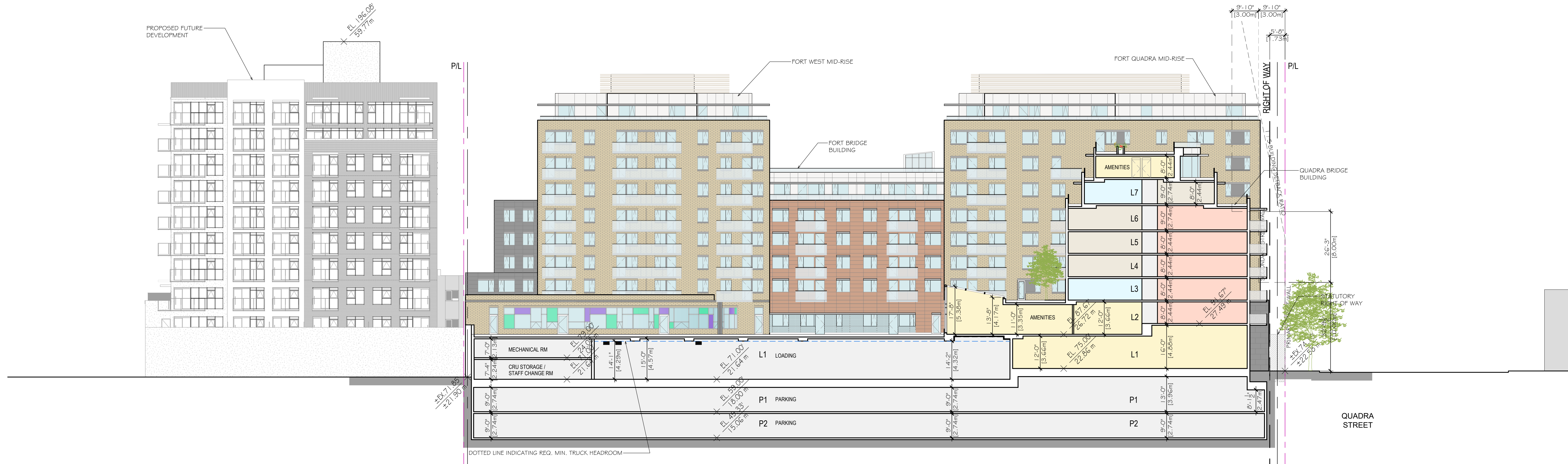
SCALE

DRAWING NO. REVISION

A502

DATE APR 2017 DRAWN

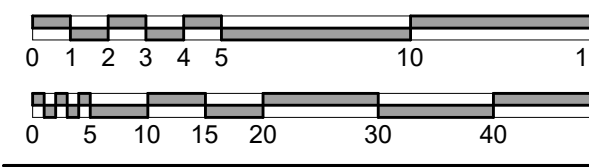
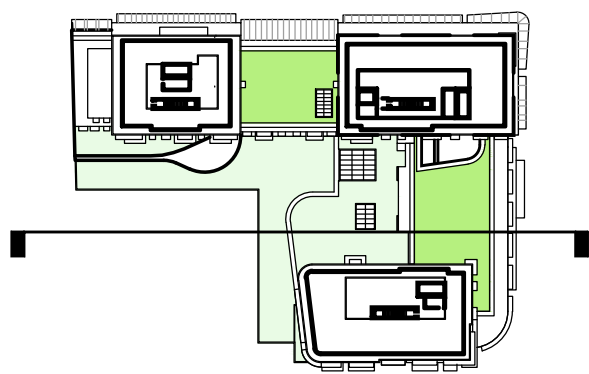
SCALE 1:200 CHECKED



REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS SHOWN SHALL HAVE PROCEEDED UNDER SCALE DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONTRACTUAL OR CONVEYANCE VALUE WITH REGARD TO THE INDICATED PROJECT.



CLIENT
parc retirement living

PROJECT NO. 17420
PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

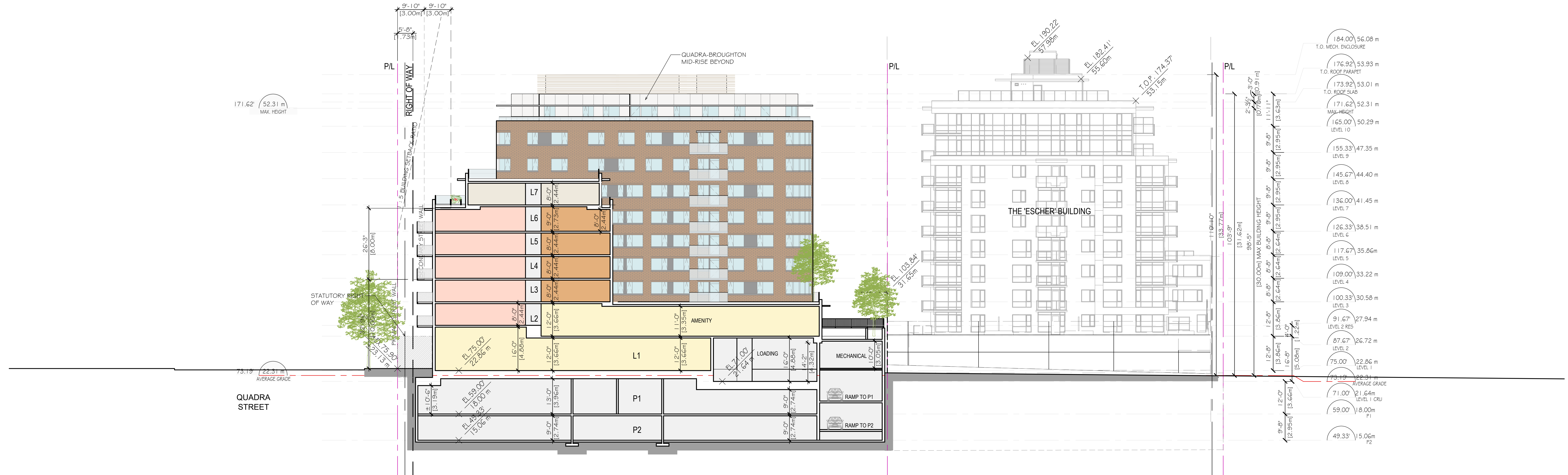
DRAWING TITLE
**BUILDING SECTION C/
INTERNAL NORTH
ELEVATION**

SEAL

DRAWING NO. REVISION

A503

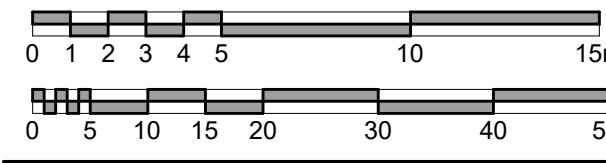
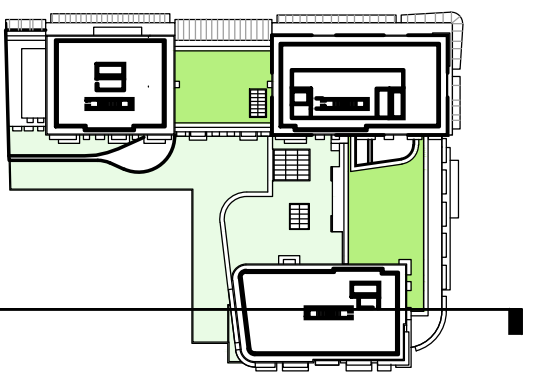
DATE APR 2017
SCALE 1:200



REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE BUILDING AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONNECTION OR CORRELATION WITH ANY OTHER PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

BUILDING SECTION D

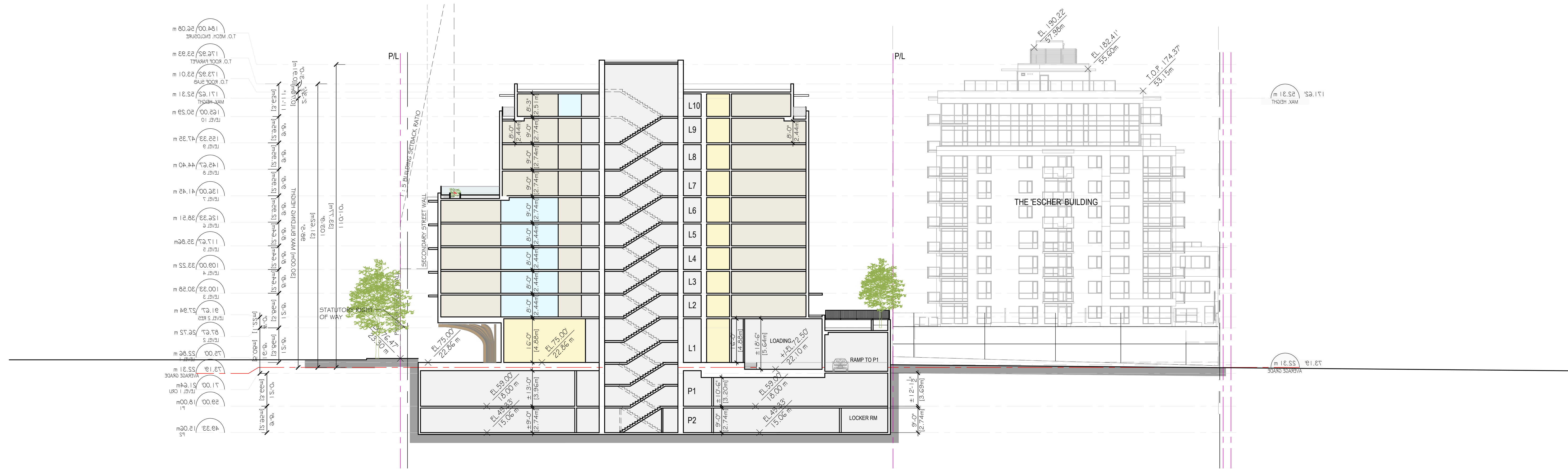
SEAL

DRAWING NO. REVISION

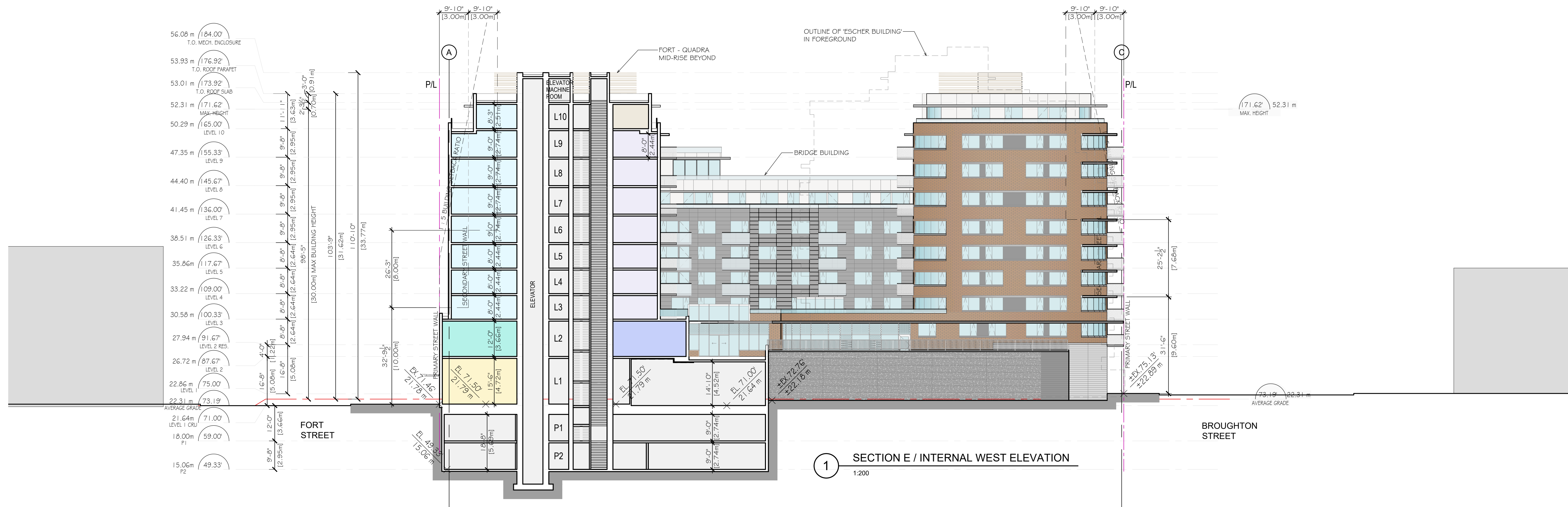
A504

DATE NOV 2017 DRAWN

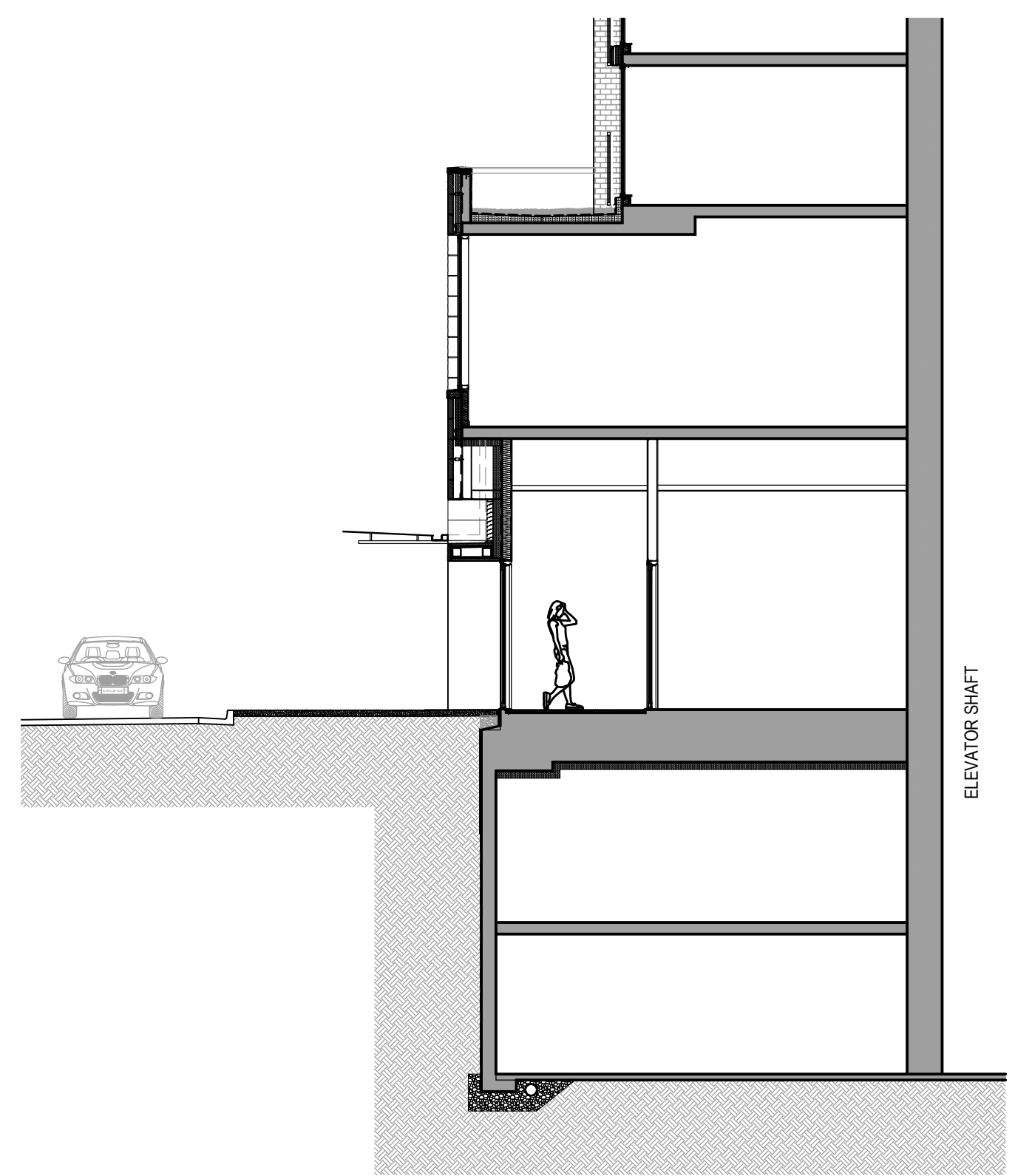
SCALE 1:200 CHECKED



Level	Height (m)	Height (ft)
60.00	196.85	645.83
59.00	193.57	634.81
58.00	190.29	623.79
57.00	187.01	612.77
56.00	183.73	601.75
55.00	180.45	590.73
54.00	177.17	579.71
53.00	173.89	568.69
52.00	170.61	557.67
51.00	167.33	546.65
50.00	164.05	535.63
49.00	160.77	524.61
48.00	157.49	513.59
47.00	154.21	502.57
46.00	150.93	491.55
45.00	147.65	480.53
44.00	144.37	469.51
43.00	141.09	458.49
42.00	137.81	447.47
41.00	134.53	436.45
40.00	131.25	425.43
39.00	127.97	414.41
38.00	124.69	403.39
37.00	121.41	392.37
36.00	118.13	381.35
35.00	114.85	370.33
34.00	111.57	359.31
33.00	108.29	348.29
32.00	105.01	337.27
31.00	101.73	326.25
30.00	98.45	315.23
29.00	95.17	304.21
28.00	91.89	293.19
27.00	88.61	282.17
26.00	85.33	271.15
25.00	82.05	260.13
24.00	78.77	249.11
23.00	75.49	238.09
22.00	72.21	227.07
21.00	68.93	216.05
20.00	65.65	205.03
19.00	62.37	194.01
18.00	59.09	182.99
17.00	55.81	171.97
16.00	52.53	160.95
15.00	49.25	149.93
14.00	45.97	138.91
13.00	42.69	127.89
12.00	39.41	116.87
11.00	36.13	105.85
10.00	32.85	94.83
9.00	29.57	83.81
8.00	26.29	72.79
7.00	23.01	61.77
6.00	19.73	50.75
5.00	16.45	39.73
4.00	13.17	28.71
3.00	9.89	17.69
2.00	6.61	6.67
1.00	3.33	-4.35
0.00	0.05	-15.37



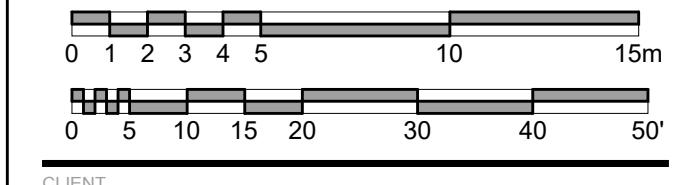
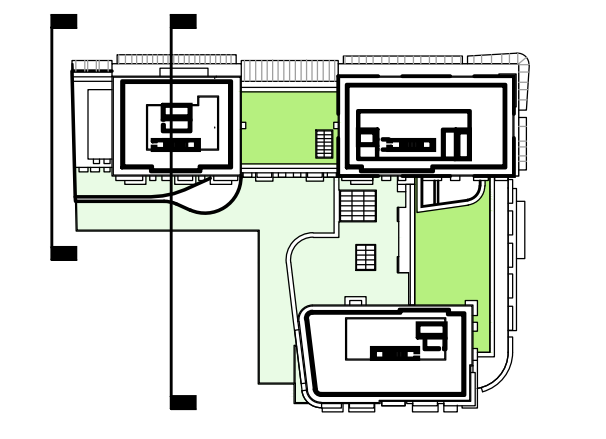
1 SECTION E / INTERNAL WEST ELEVATION
1:200



2 WEST ELEVATION
1:200

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. VISITORS DRAWINGS SHALL HAVE REDUCED OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **BUILDING SECTION E/
INTERNAL WEST
ELEVATION /
WEST ELEVATION**

SEAL

DRAWING NO. REVISION

A505

DATE **APR 2017**

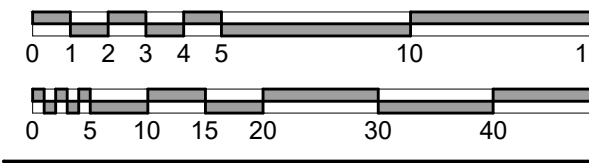
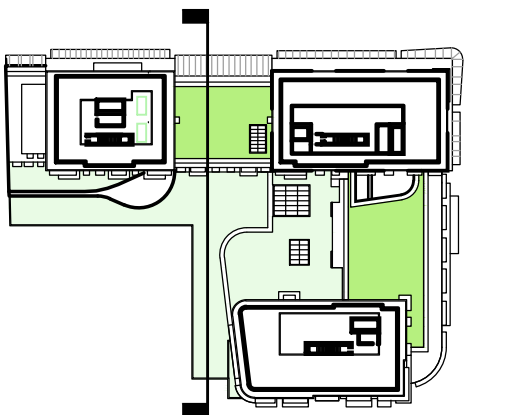
SCALE CHECKED

1:200

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS SHOULD ALWAYS VERIFY AND CONFIRM THEIR SCALE DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE BUILDING AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS DISCOVERED IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONTRACTUAL OR CONSULTANT VALUE REGARDING THE ASSOCIATED PROJECT.



CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
BUILDING SECTION F / INTERNAL EAST ELEVATION

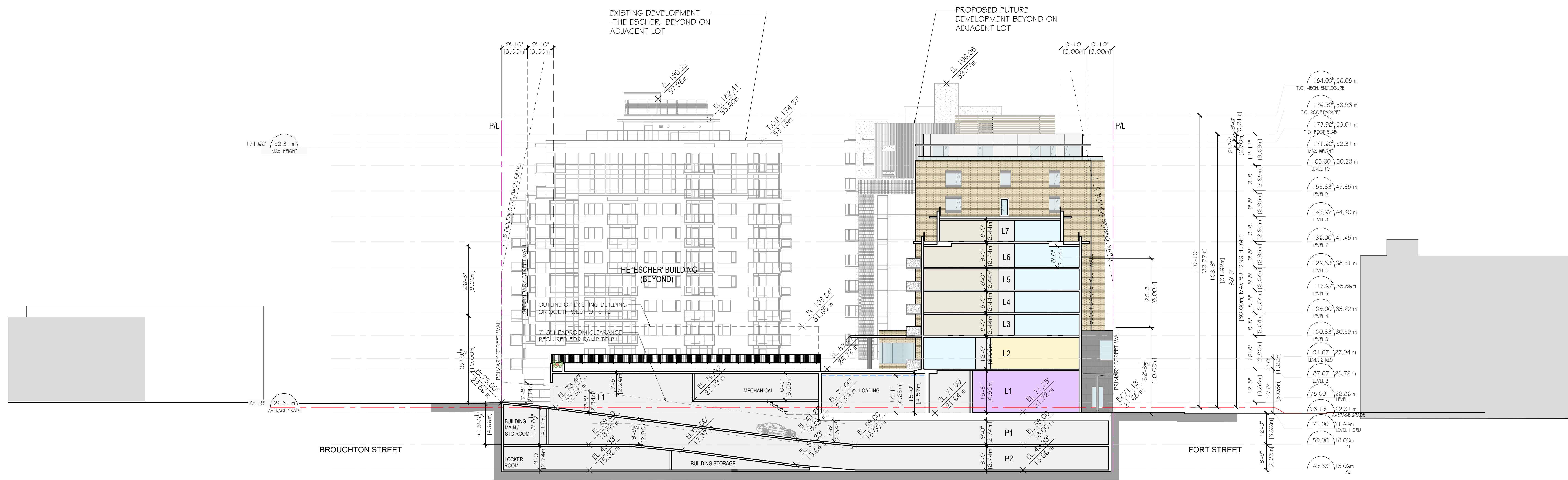
SEAL

DRAWING NO. REVISION

A506

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED



171.62' (52.31 m) MAX. HEIGHT

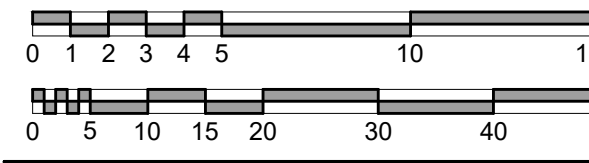
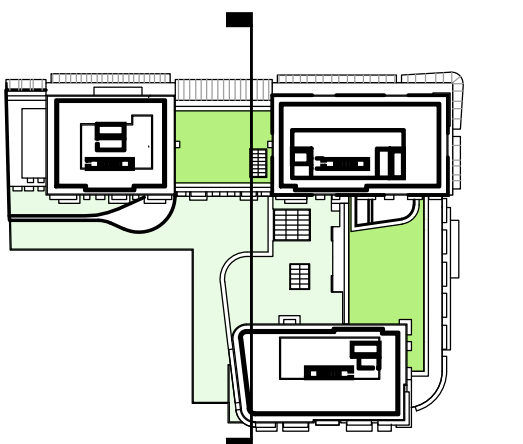
73.19' (22.31 m) AVERAGE GRADE

184.00'	56.06 m	T.O. MECH. ENCLOSURE
176.92'	53.93 m	T.O. ROOF PARAPET
173.92'	53.01 m	T.O. ROOF SLAB
171.62'	52.31 m	MAX. HEIGHT
165.00'	50.29 m	LEVEL 10
155.33'	47.35 m	LEVEL 9
145.67'	44.40 m	LEVEL 8
136.00'	41.45 m	LEVEL 7
126.33'	38.51 m	LEVEL 6
117.67'	35.86 m	LEVEL 5
109.00'	33.22 m	LEVEL 4
100.33'	30.58 m	LEVEL 3
91.67'	27.94 m	LEVEL 2 RES
87.67'	26.72 m	LEVEL 2
75.00'	22.86 m	LEVEL 1
73.19'	22.31 m	AVERAGE GRADE
71.00'	21.64 m	LEVEL 1 CRU
59.00'	18.00 m	P1
49.33'	15.06 m	P2

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION OR SCALE DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONNECTION OR CORRELATION WITH ANY OTHER PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

BUILDING SECTION G

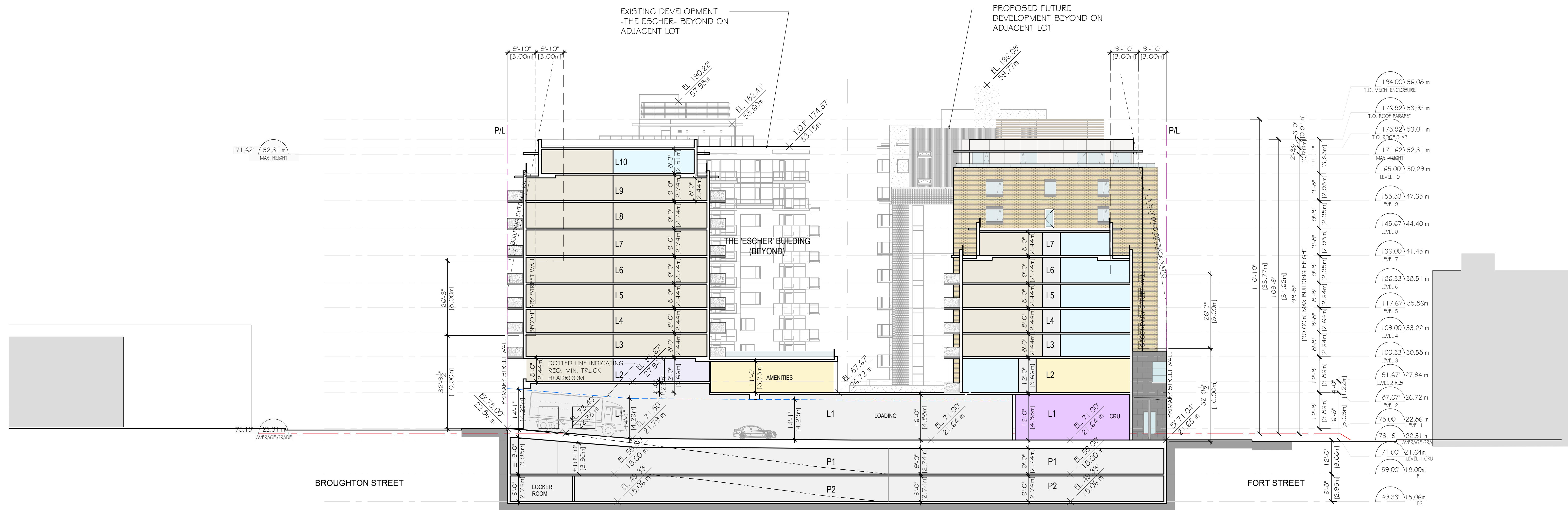
SEAL

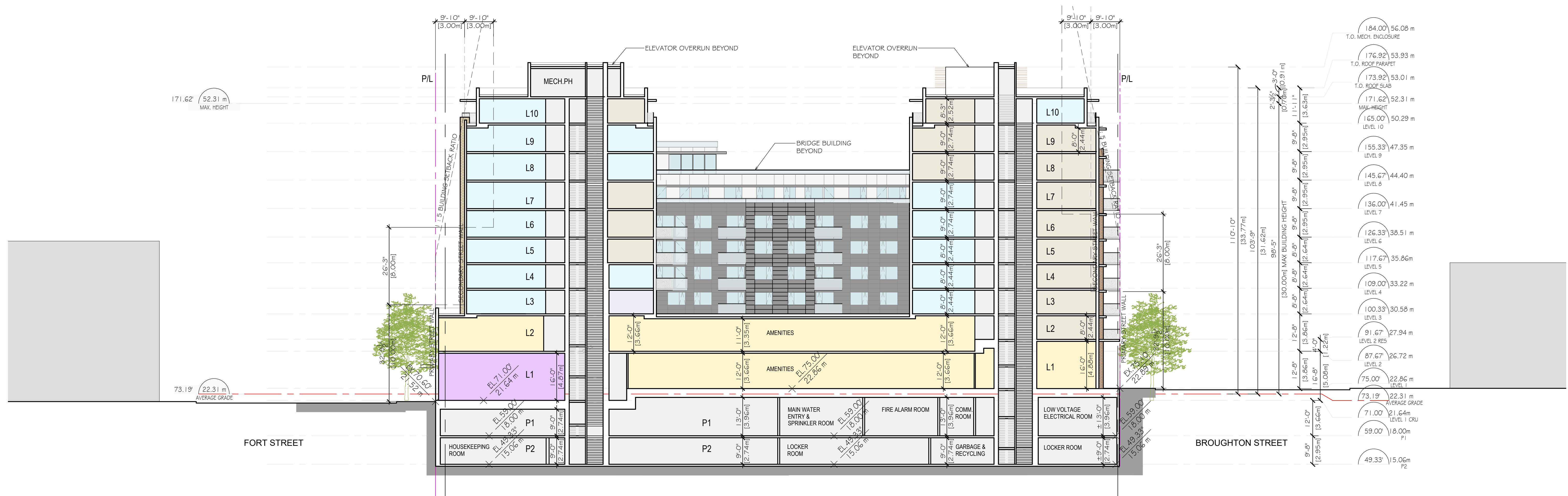
DRAWING NO. REVISION

A507

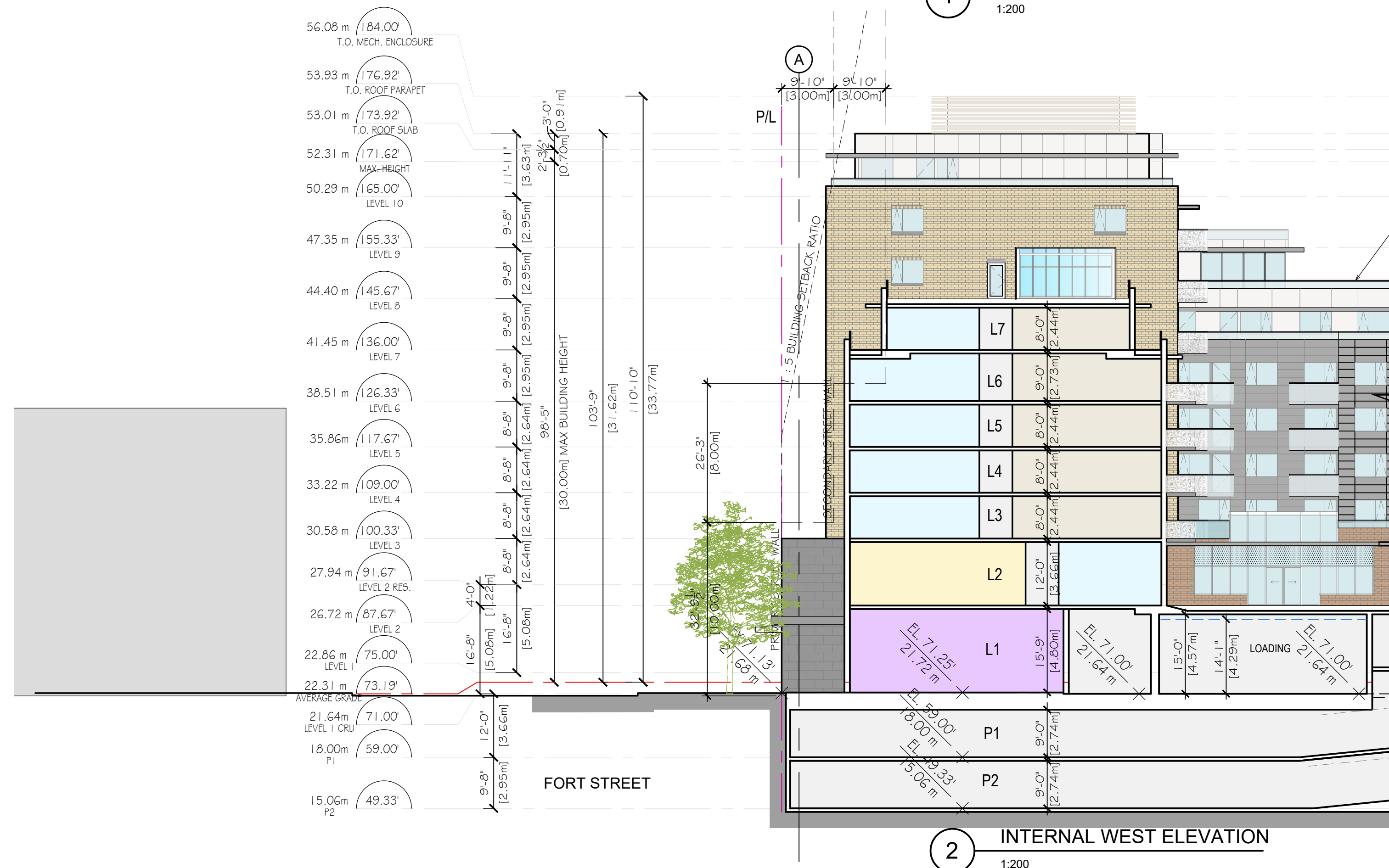
DATE APR 2017 DRAWN

SCALE 1:200 CHECKED





1 SECTION H / INTERNAL WEST ELEVATION
1:200



2 INTERNAL WEST ELEVATION
1:200

bfa studio architects
ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly BESHARAT FRIARS ARCHITECTS)
600 - 355 Burrard Street Vancouver, BC V6C 2G8
T 604 682 8544 F 604 682 4000 www.bfastudioarchitects.com

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

RIGHTS RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. INTERIOR DIMENSIONS SHALL BE MEASURED FROM FINISHED SURFACES UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.

0 1 2 3 4 5 10 15m
0 5 10 15 20 30 40 50'

CLIENT: **parc retirement living**

PROJECT NO: 17420

PROJECT: **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE: **BUILDING SECTION H / INTERNAL WEST ELEVATION**

SEAL:

DRAWING NO: REVISION:

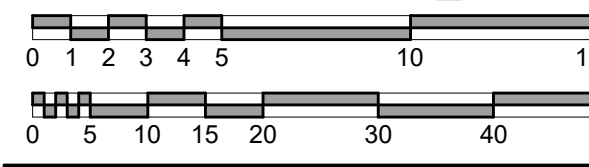
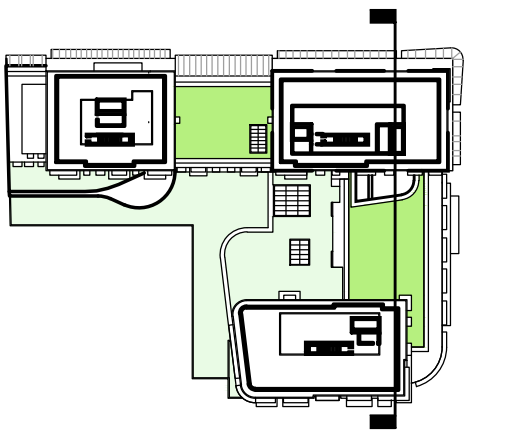
A508

DATE: APR 2017
SCALE: 1:200

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN CONSENT. VISITORS DRAWINGS SHALL HAVE PROTECTIVE MARKS AND DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE RESPECTIVE PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

BUILDING SECTION J

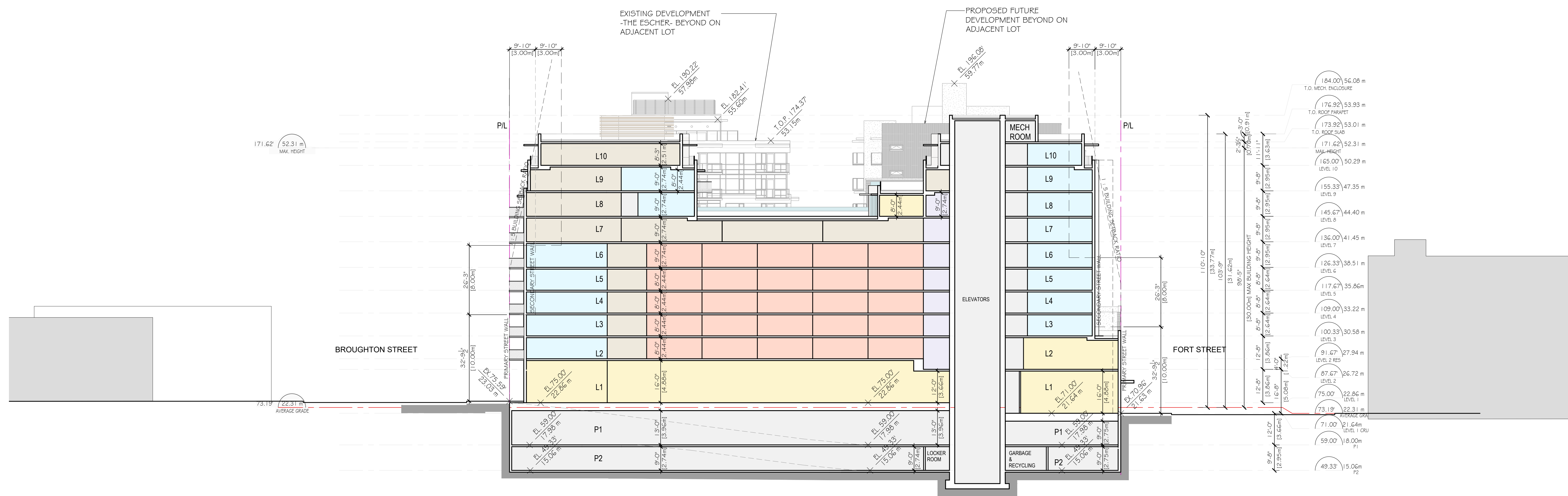
SEAL

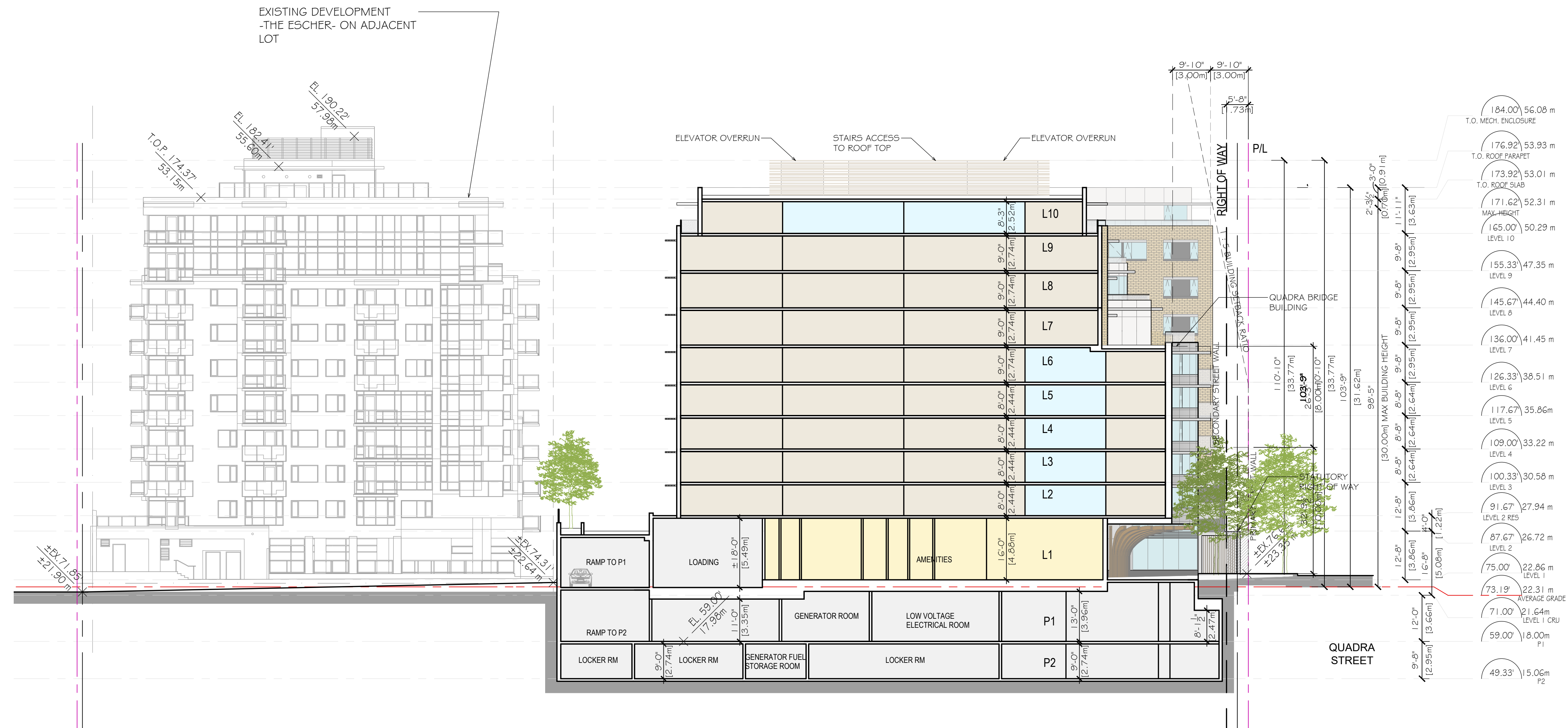
DRAWING NO. REVISION

A509

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED

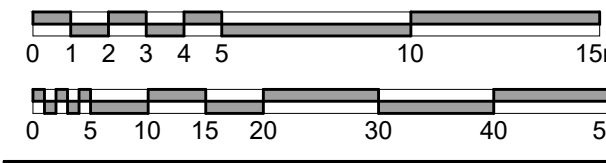
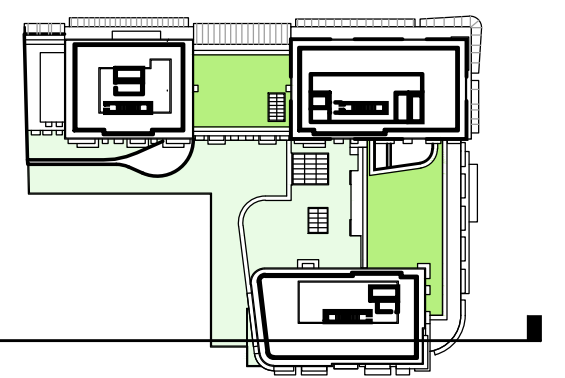




REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED USE SHALL BE PROSECUTED UNDER APPLICABLE LAWS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCIES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HAS NO CONTRACTUAL OR LEGAL VALUE WITH REGARD TO THE PROJECT.



CLIENT

parc retirement living

PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

BUILDING SECTION K

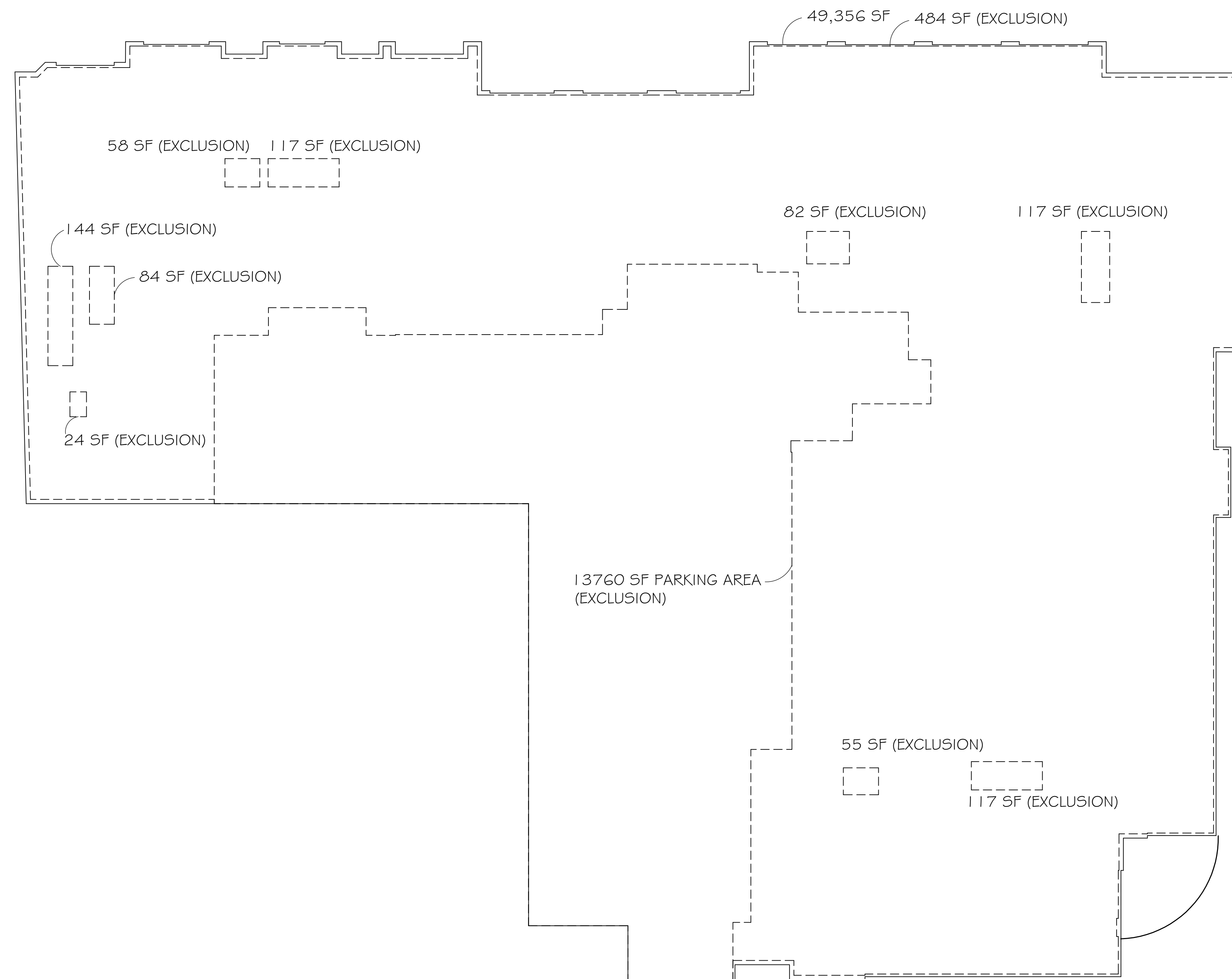
SEAL

DRAWING NO. REVISION

A510

DATE APR 2017 DRAWN

SCALE 1:200 CHECKED

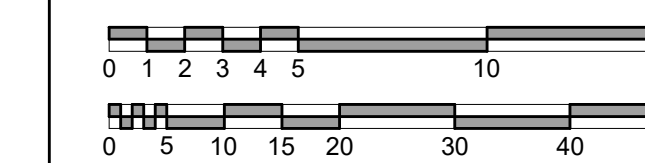
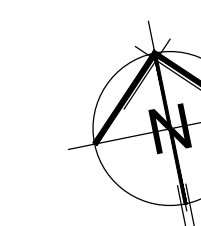


LEVEL 1 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 49,356 SF
 TOTAL EXCLUDED AREA = 15,042 SF
 TOTAL FSR = 34,314 SF

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION SHALL BE PROSECUTED UNDER APPLICABLE LAWS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT



PROJECT NO. 17420

PROJECT
PARC VICTORIA
 Mixed Use Seniors Residential &
 Commercial Development

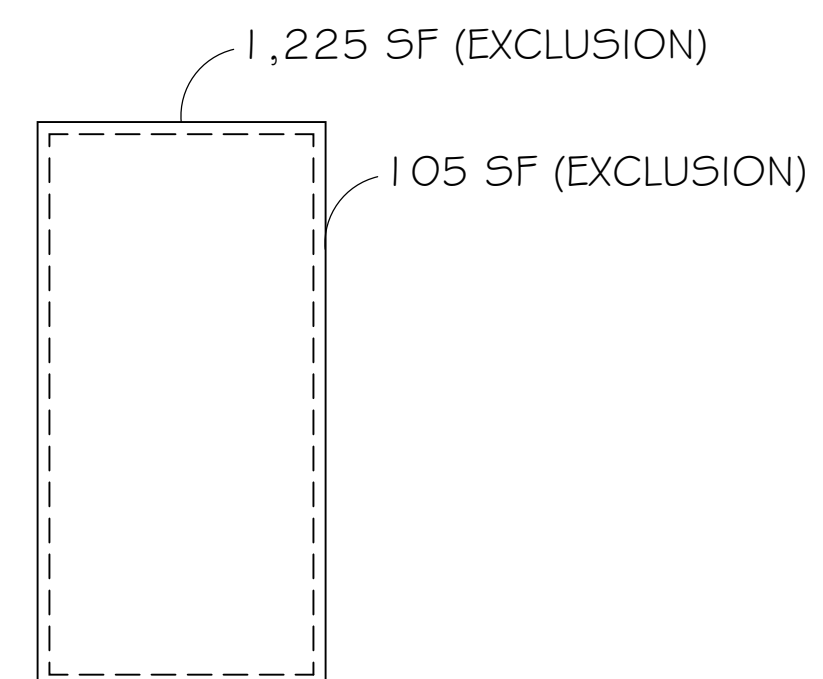
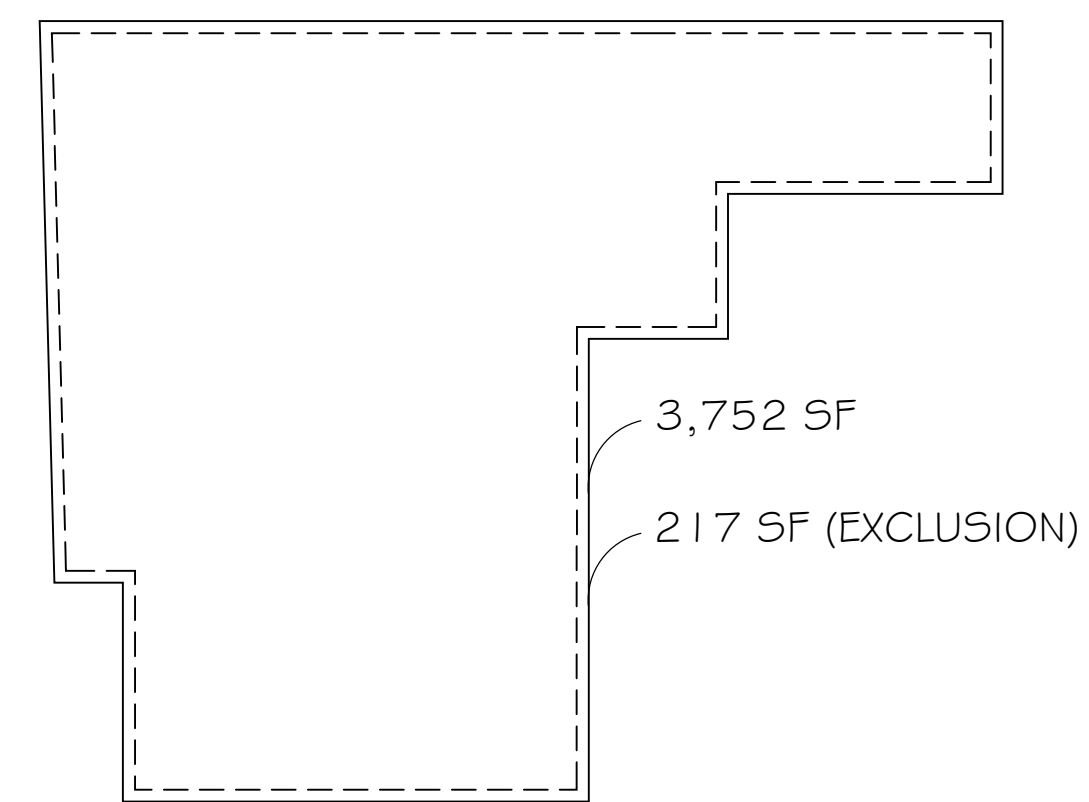
DRAWING TITLE
LEVEL 1
 AREA OVERLAY

SEAL

DRAWING NO. REVISION
 -

001

DATE DRAWN
 SCALE CHECKED
1:200



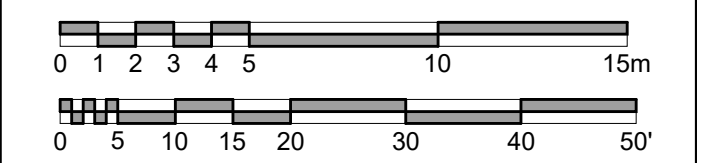
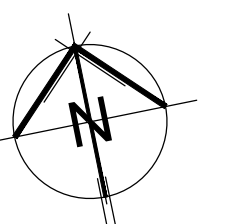
MECHANICAL LEVEL AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 4,977 SF
 TOTAL EXCLUDED AREA = 322 SF
 TOTAL FSR = 4,655 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REGISTERED ENGINEERS SHALL VERIFY AND PROVIDE THEIR SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
 retirement
 living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
 Mixed Use Seniors Residential &
 Commercial Development

DRAWING TITLE

MECHANICAL LEVEL
 AREA OVERLAY

SEAL

DRAWING NO.

REVISION

002

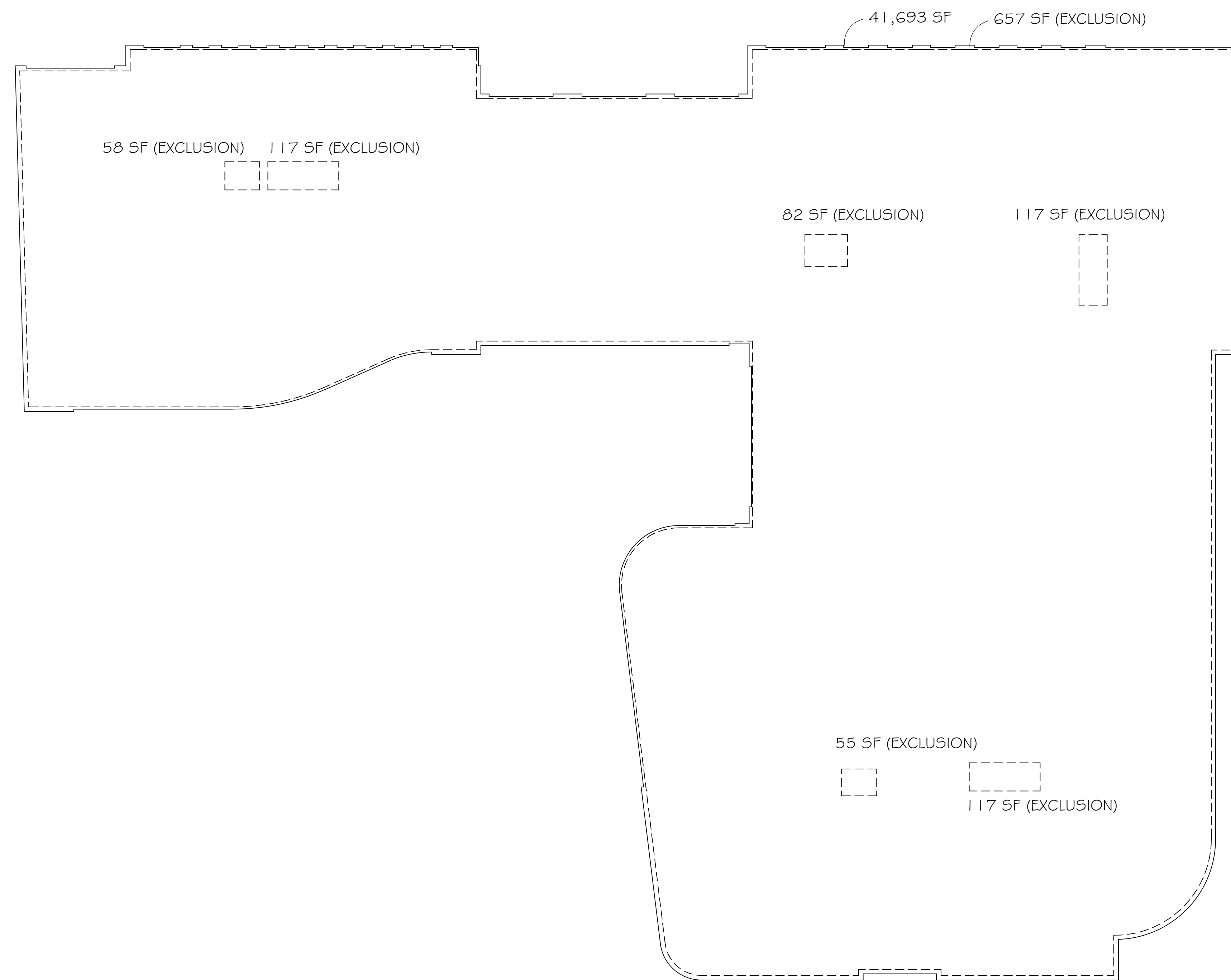
DATE

DRAWN

SCALE

CHECKED

1:200



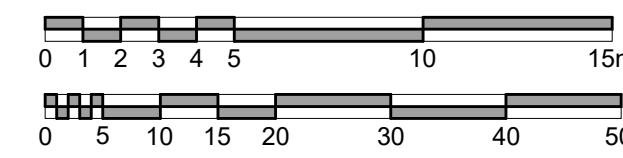
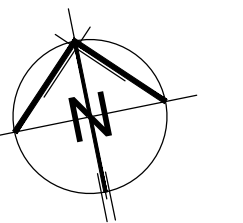
LEVEL 2 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 41,693 SF
 TOTAL EXCLUDED AREA = 1,203 SF
 TOTAL FSR = 40,490 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THE PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ALL RIGHTS RESERVED. SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT



PROJECT NO. 17420

PROJECT
PARC VICTORIA
 Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
LEVEL 2
 AREA OVERLAY

SEAL

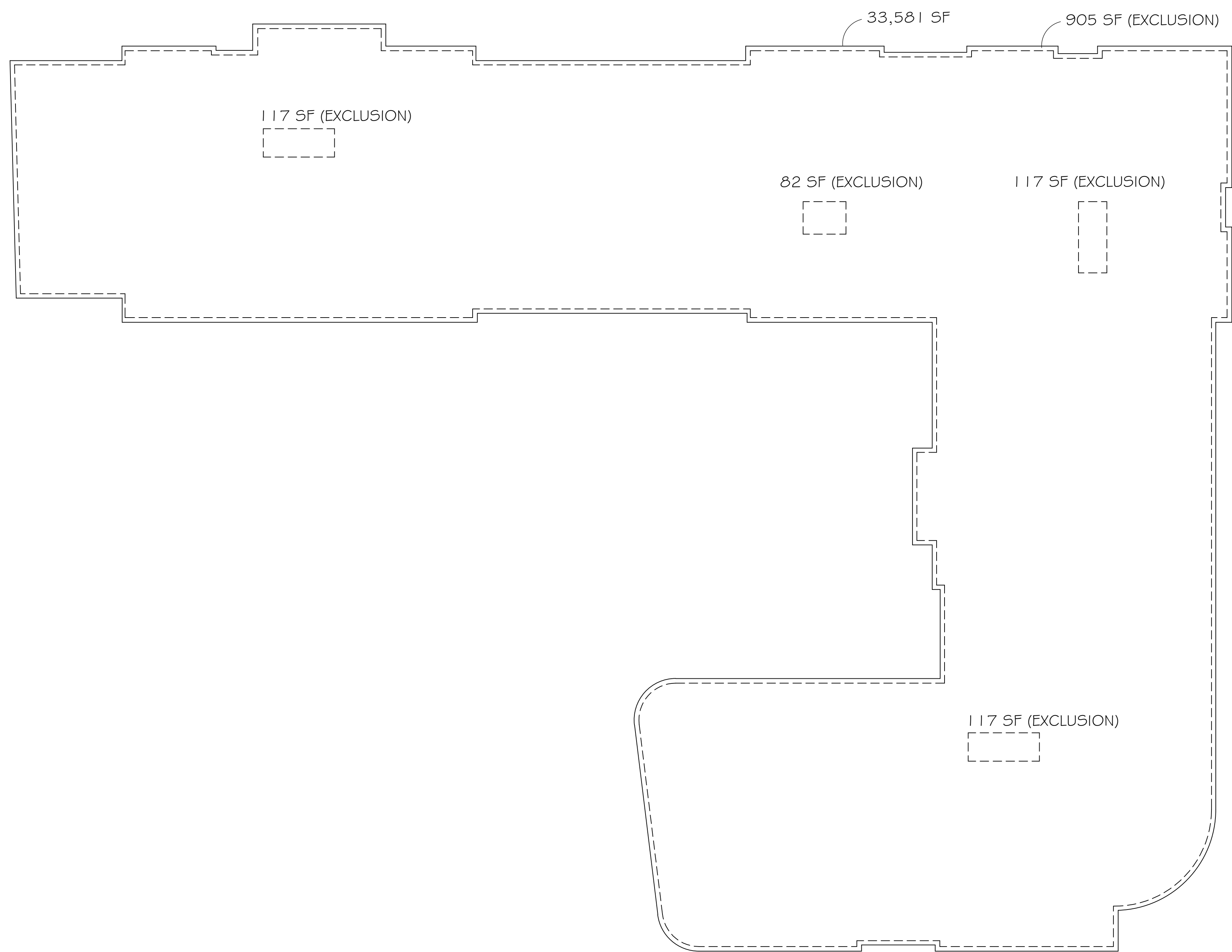
DRAWING NO. REVISION
 -

003

DATE DRAWN

SCALE CHECKED

1:200

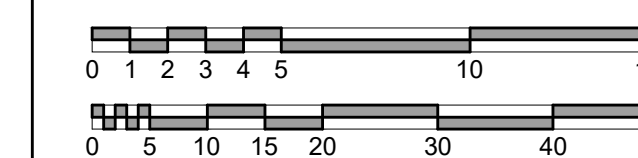
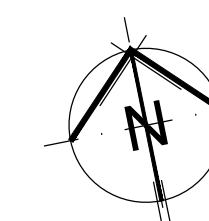


LEVEL 3 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 35,581 SF
 TOTAL EXCLUDED AREA = 1,338 SF
 TOTAL FSR = 32,243 SF

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED IN ANY MANNER WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION SHALL BE PROSECUTED UNDER APPLICABLE LAWS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



CLIENT



PROJECT NO.

17420

PROJECT

PARC VICTORIA
 Mixed Use Seniors Residential &
 Commercial Development

DRAWING TITLE

LEVEL 3
 AREA OVERLAY

SEAL

DRAWING NO.

REVISION

004

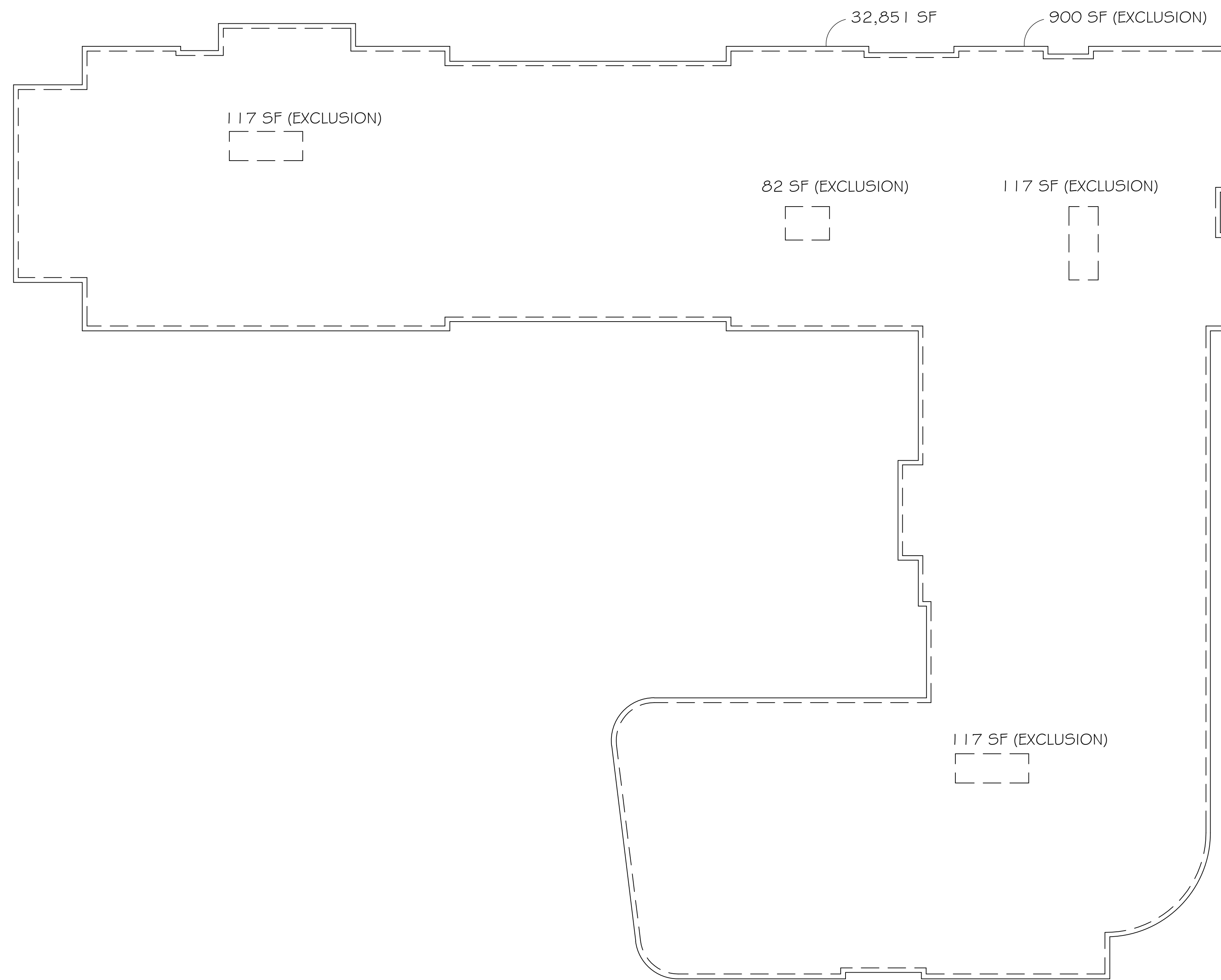
DATE

DRAWN

SCALE

CHECKED

1:200



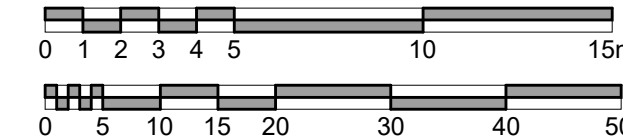
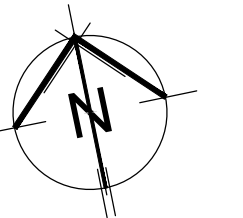
LEVEL 4 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 32,851 SF
 TOTAL EXCLUDED AREA = 1,333 SF
 TOTAL F5R = 31,518 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
 THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE **LEVEL 4**
AREA OVERLAY

SEAL

DRAWING NO. REVISION

005

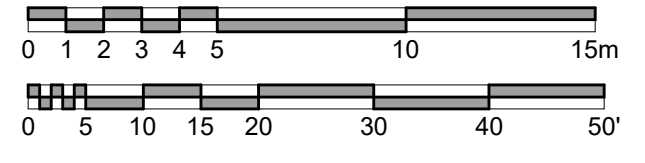
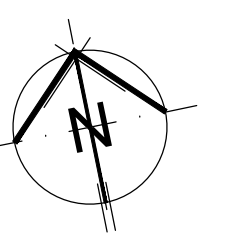
DATE DRAWN

SCALE CHECKED
 1:200

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
LEVEL 5
AREA OVERLAY

SEAL

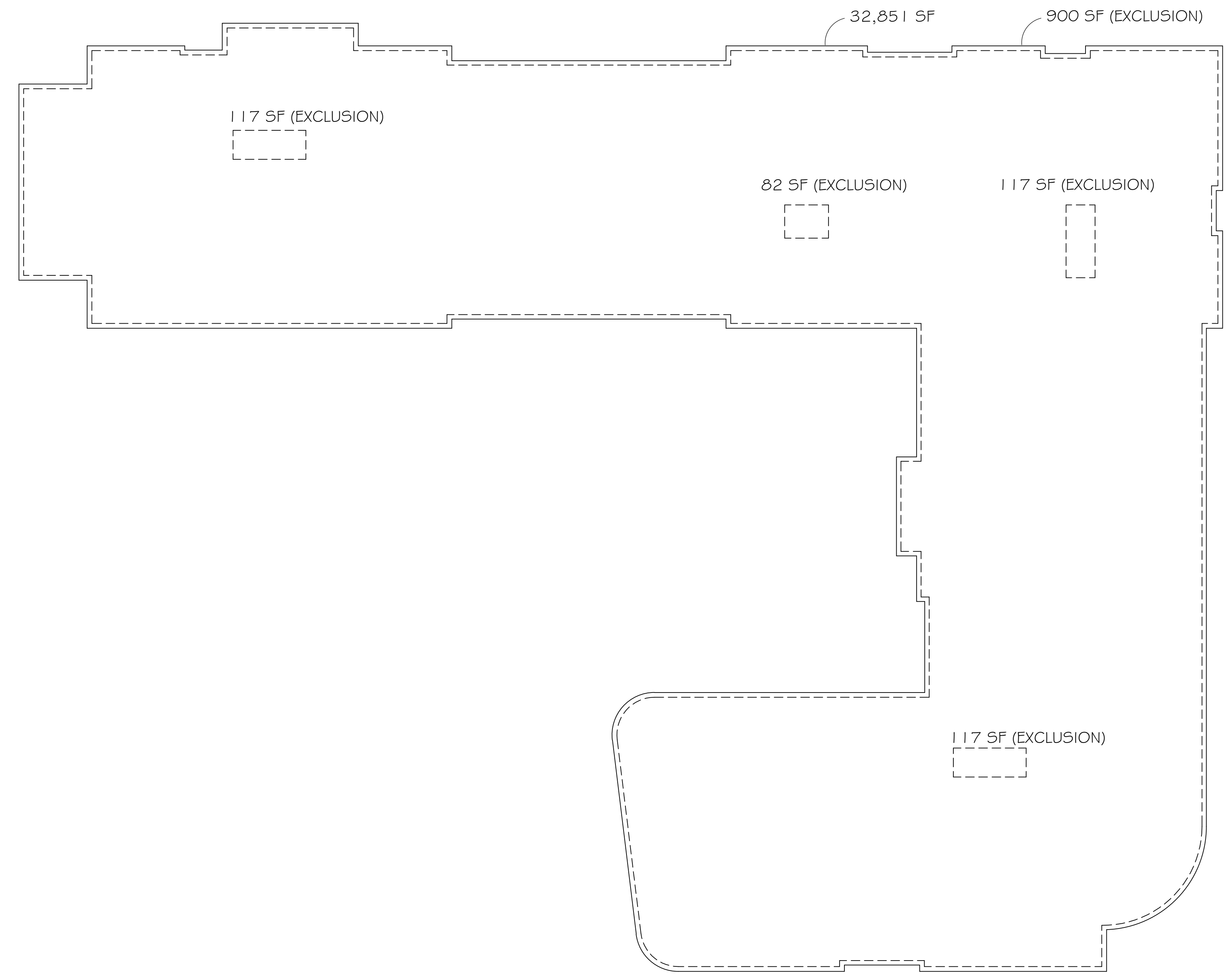
DRAWING NO. REVISION

006

DATE DRAWN

SCALE CHECKED

1:200



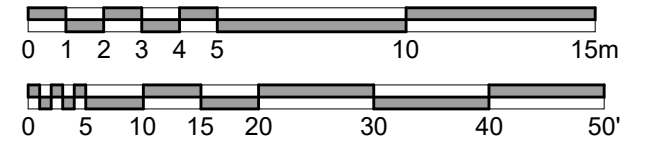
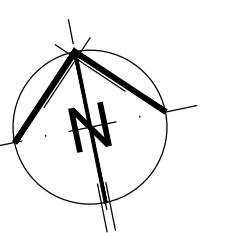
LEVEL 5 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 32,851 SF
TOTAL EXCLUDED AREA = 1,333 SF
TOTAL FSR = 31,518 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.
17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE
LEVEL 6
AREA OVERLAY

SEAL

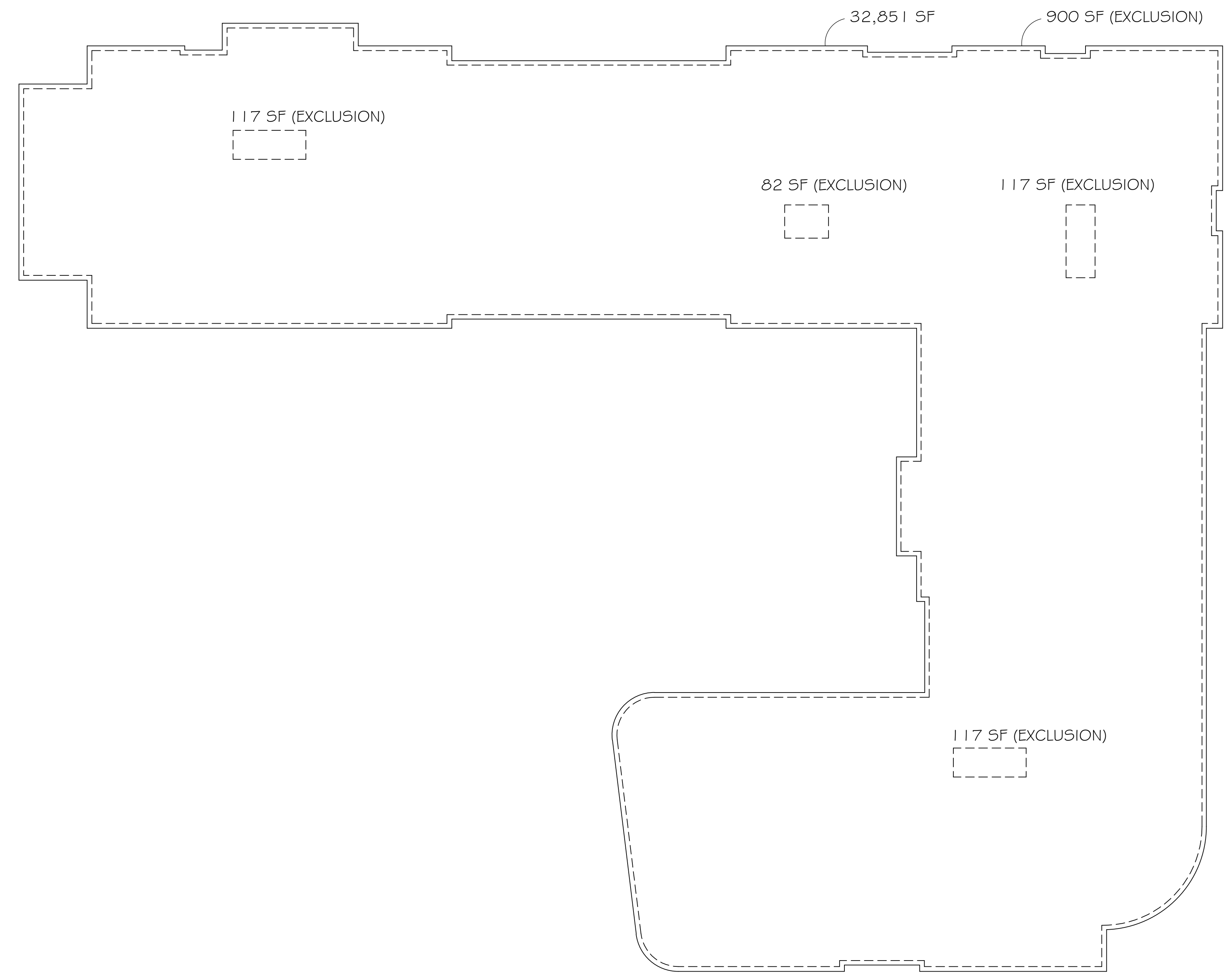
DRAWING NO. REVISION
-

007

DATE DRAWN

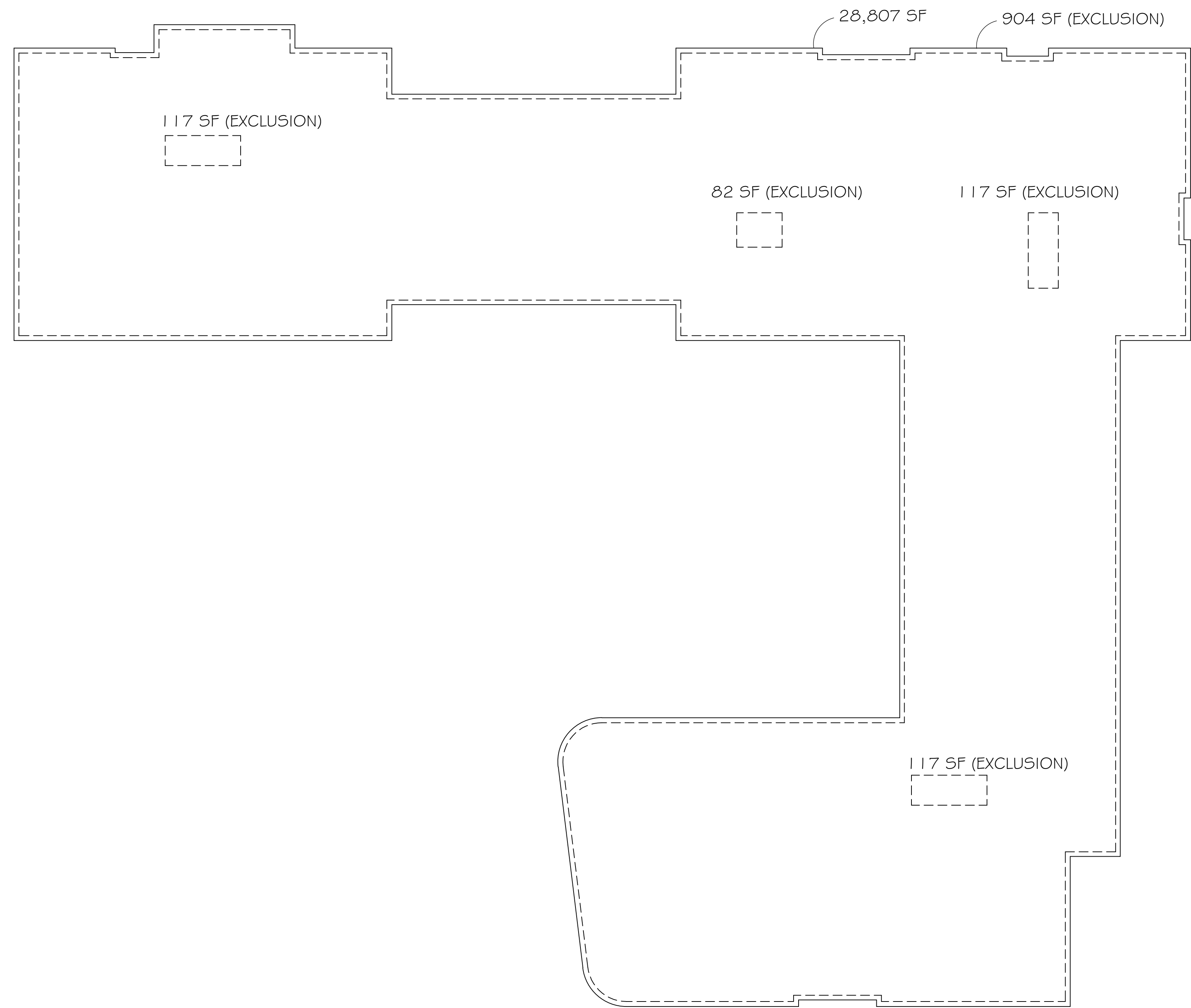
SCALE CHECKED

1:200



LEVEL 6 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 32,851 SF
TOTAL EXCLUDED AREA = 1,333 SF
TOTAL FSR = 31,518 SF



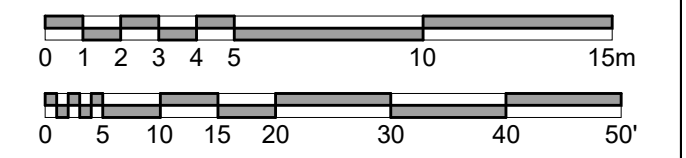
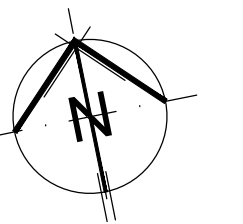
LEVEL 7 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 28,807 SF
 TOTAL EXCLUDED AREA = 1,337 SF
 TOTAL FSR = 27,470 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

DISCLAIMER: THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION SHALL BE PROSECUTED UNDER APPLICABLE LAWS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



CLIENT



PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE

LEVEL 7
AREA OVERLAY

SEAL

DRAWING NO.

REVISION

008

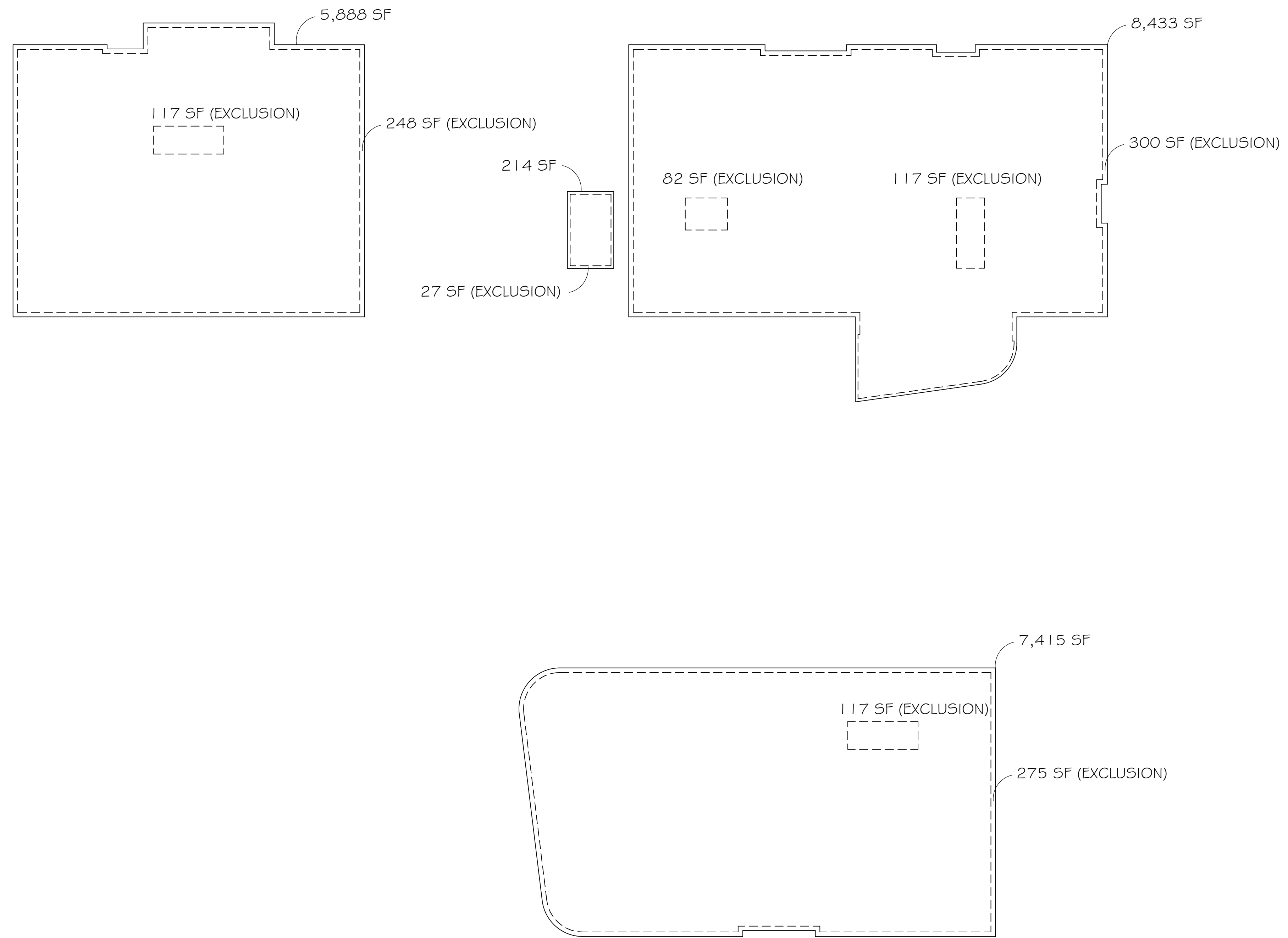
DATE

DRAWN

SCALE

CHECKED

1:200



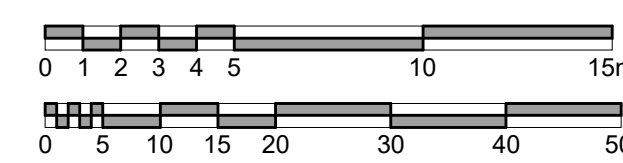
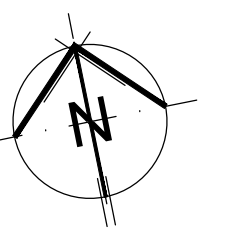
LEVEL 8 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 21,950 SF
 TOTAL EXCLUDED AREA = 1,283 SF
 TOTAL FSR = 20,667 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

© COPYRIGHT RESERVED
 THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY UNAUTHORIZED REPRODUCTION SHALL BE PROSECUTED UNDER APPLICABLE LAWS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
LEVEL 8
AREA OVERLAY

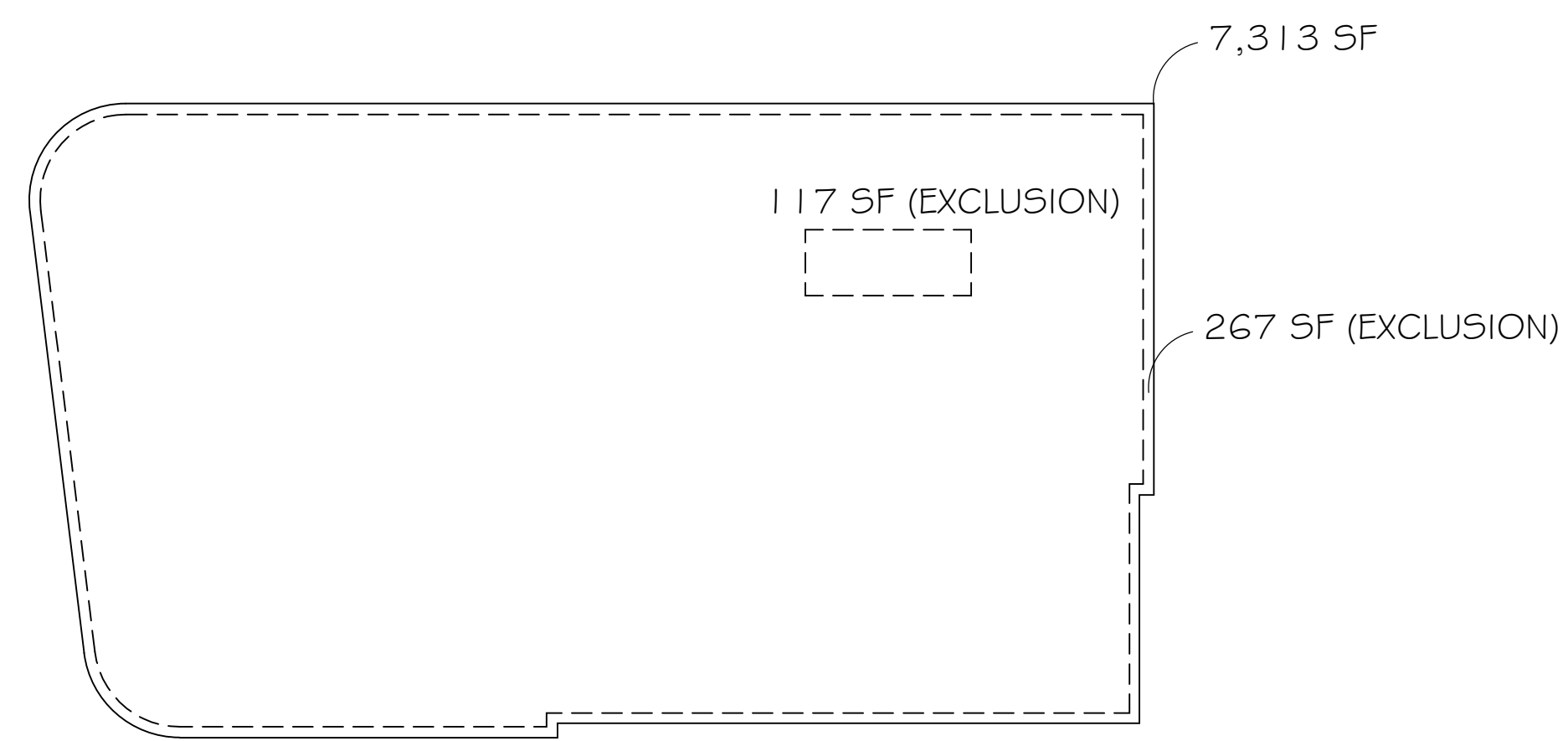
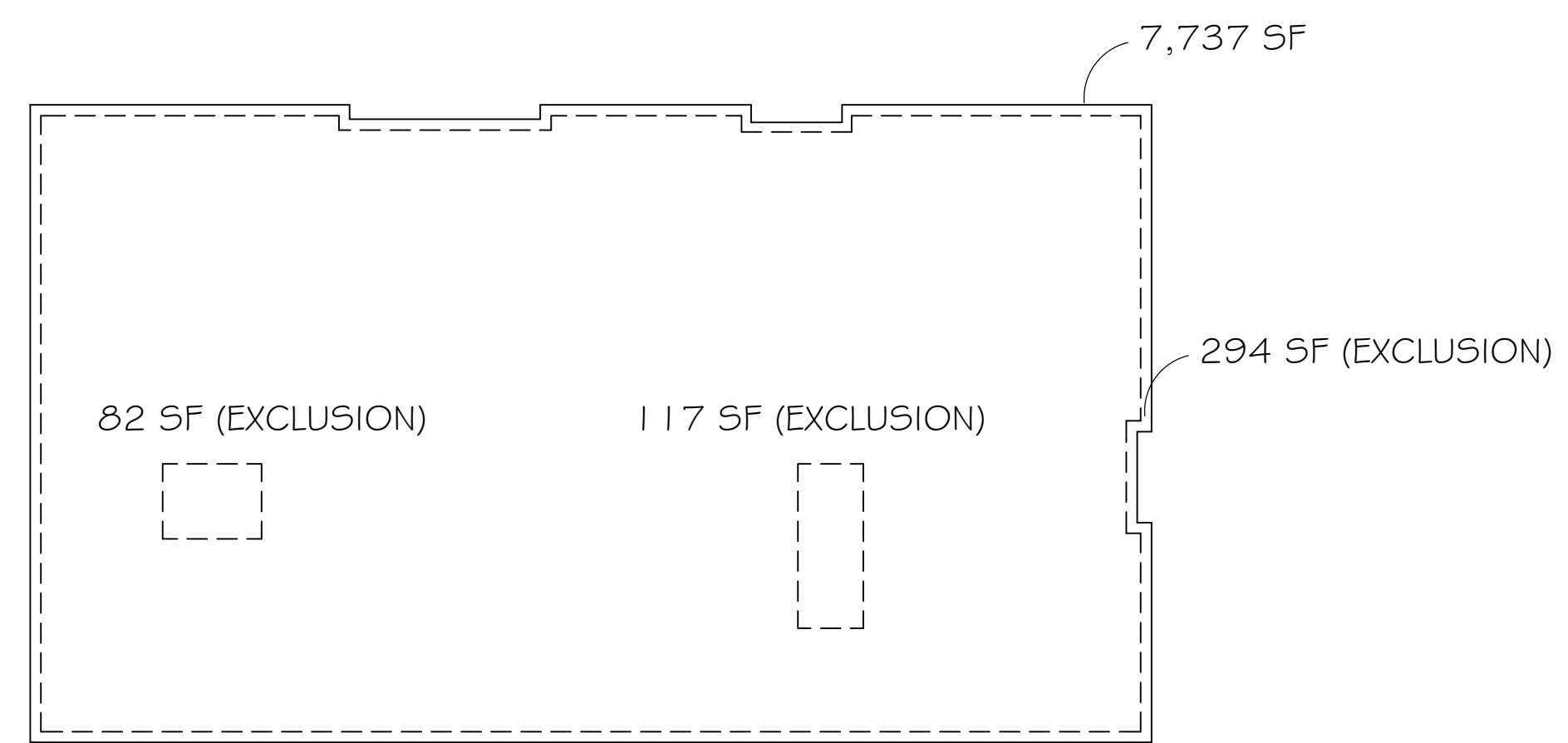
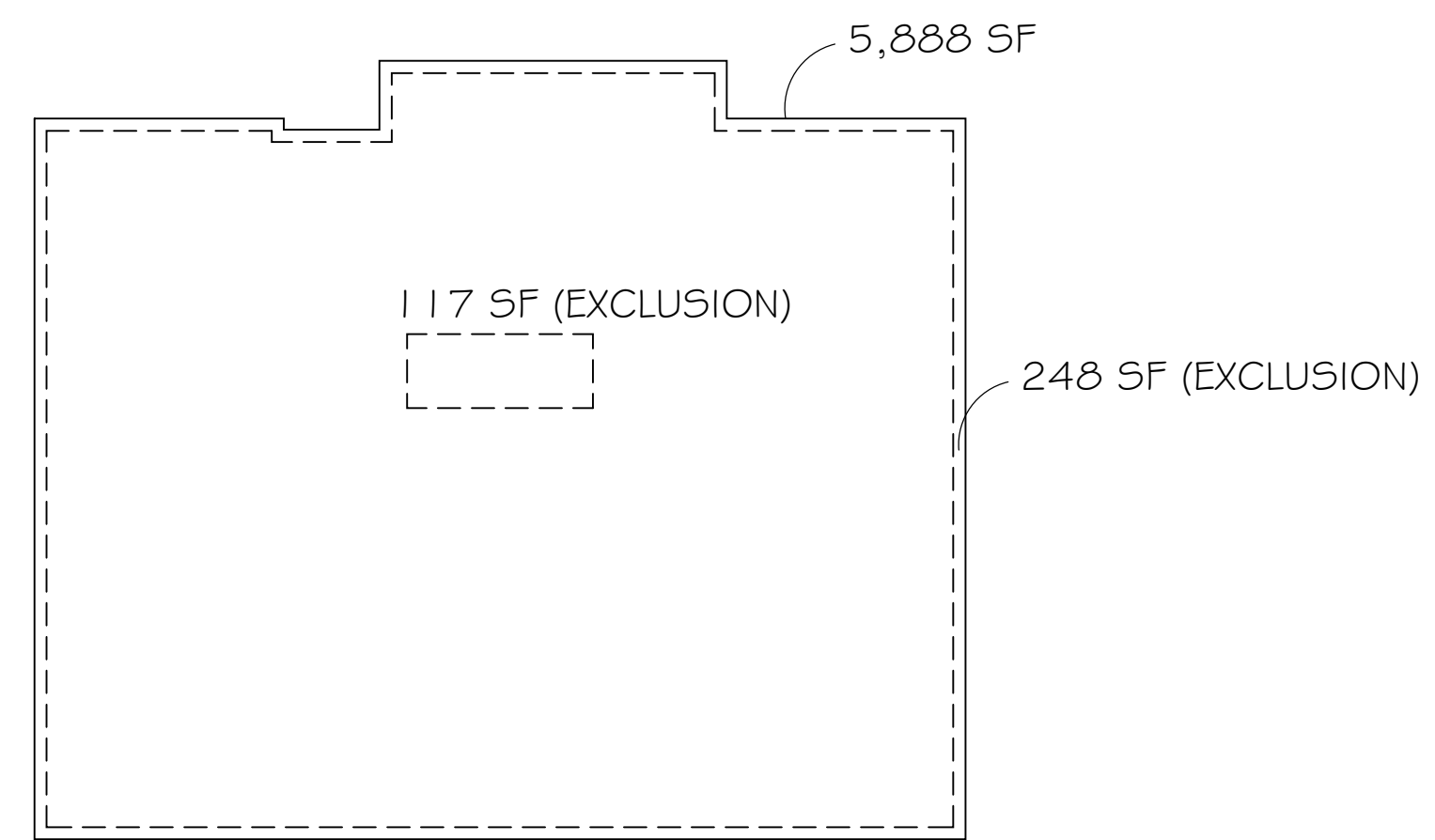
SEAL

DRAWING NO. REVISION

009

DATE DRAWN

SCALE CHECKED
1:200



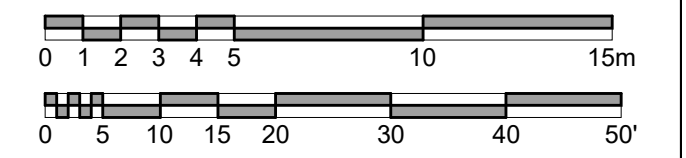
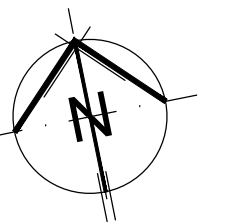
LEVEL 9 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 20,938 SF
 TOTAL EXCLUDED AREA = 1,242 SF
 TOTAL FSR = 19,696 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

© COPYRIGHT RESERVED
 THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ANY PARTY WHOSE NAME IS APPEARED HEREON SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR THE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



CLIENT



PROJECT NO. 17420

PROJECT **PARC VICTORIA**
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
LEVEL 9
AREA OVERLAY

SEAL

DRAWING NO. REVISION

O10

DATE DRAWN

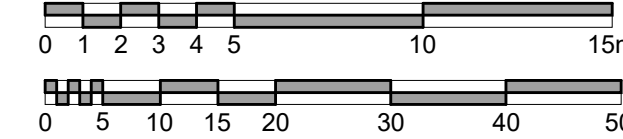
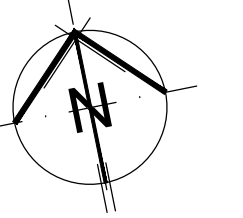
SCALE CHECKED

1:200

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ARCHITECTS DESIGNERS SHALL MAINTAIN ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE PROJECT.



CLIENT



PROJECT NO. 17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
LEVEL 10
AREA OVERLAY

SEAL

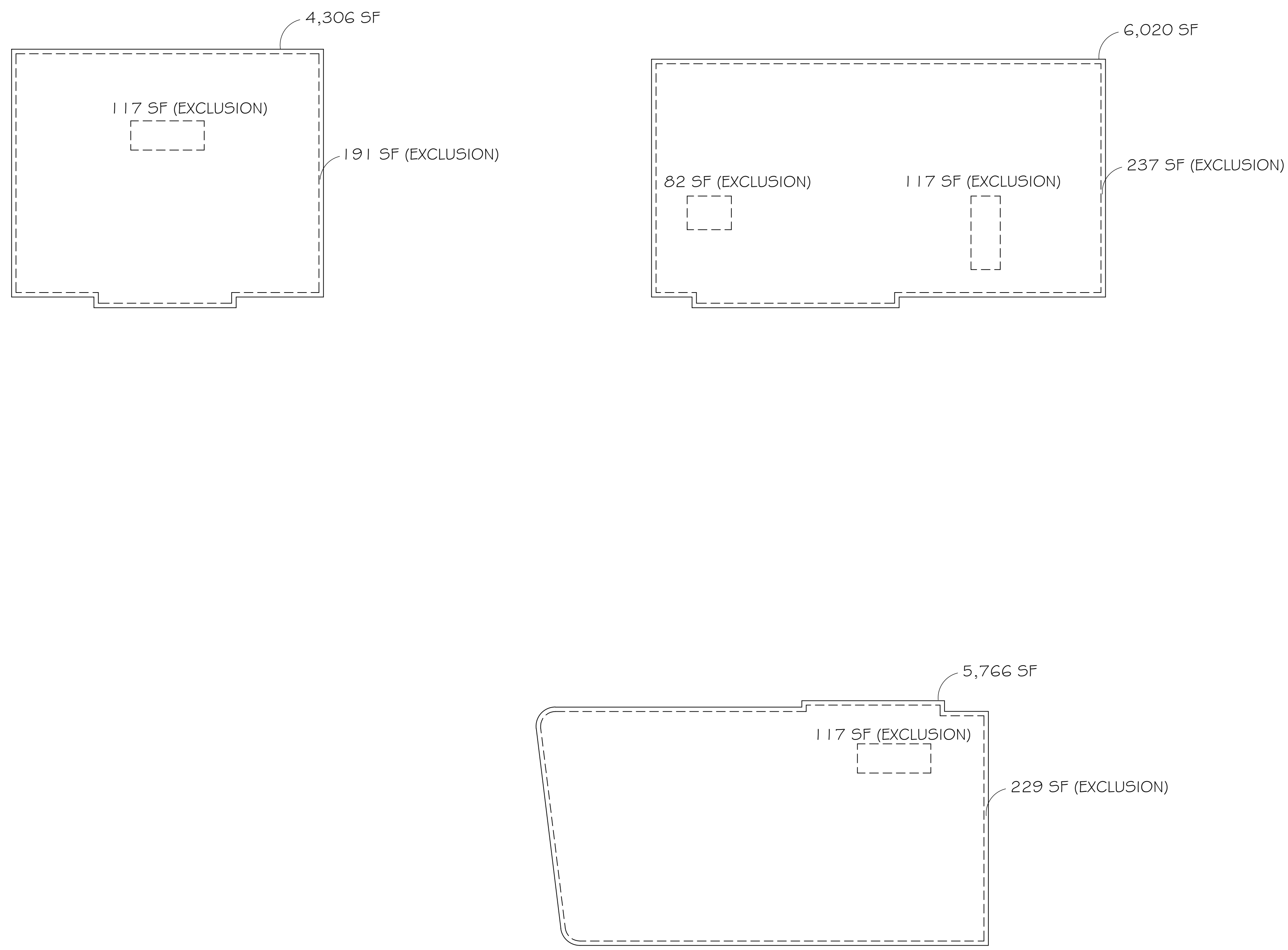
DRAWING NO. REVISION
-

011

DATE DRAWN

SCALE CHECKED

1:200



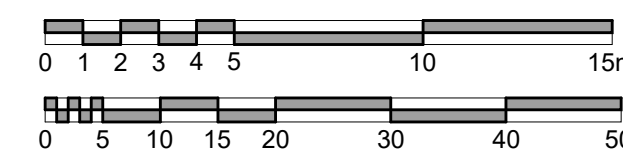
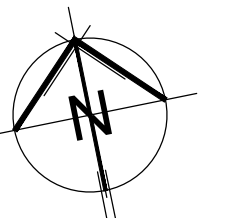
LEVEL 10 AREA CALCULATION:

TOTAL GROSS FLOOR AREA = 16,092 SF
TOTAL EXCLUDED AREA = 1,090 SF
TOTAL FSR = 15,002 SF

REVISIONS

NO.	DESCRIPTION	DATE
ISSUED FOR REZONING & DP		18 SEP 2017
RE-ISSUED FOR REZONING & DP		20 FEB 2018
RE-ISSUED FOR ADP		02 APR 2018
RE-ISSUED FOR REZONING & DP		16 JAN 2019
RE-ISSUED FOR ADP		24 APR 2019
RE-ISSUED FOR REZONING & DP		29 MAY 2019
RE-ISSUED FOR REZONING & DP		28 AUG 2020
RE-ISSUED FOR REZONING & DP		05 MAY 2021

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. REVISIONS DESCRIBED SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE INDICATED PROJECT.



CLIENT



PROJECT NO.
17420

PROJECT
PARC VICTORIA
Mixed Use Seniors Residential & Commercial Development

DRAWING TITLE
**ROOF
AREA OVERLAY**

SEAL

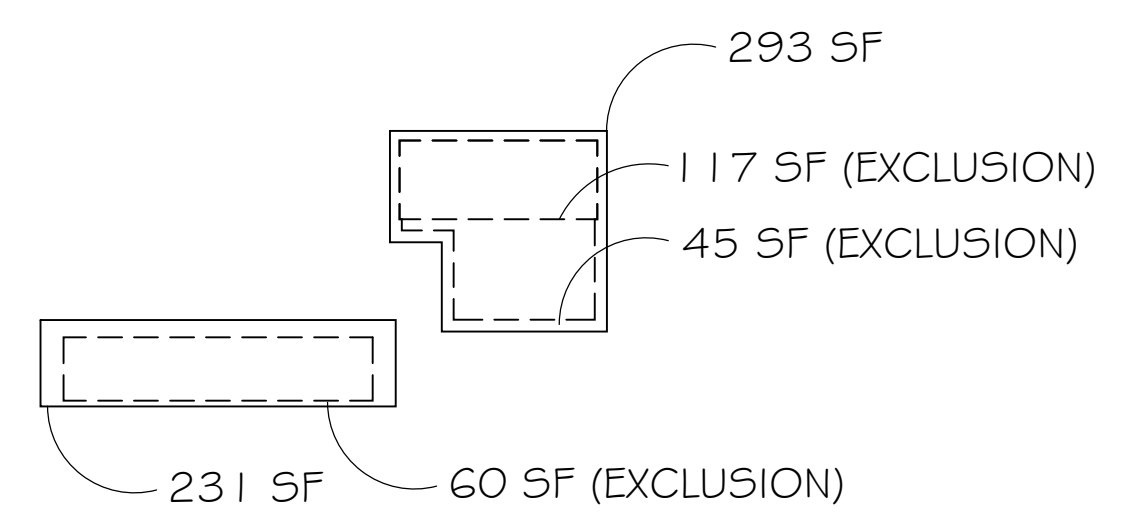
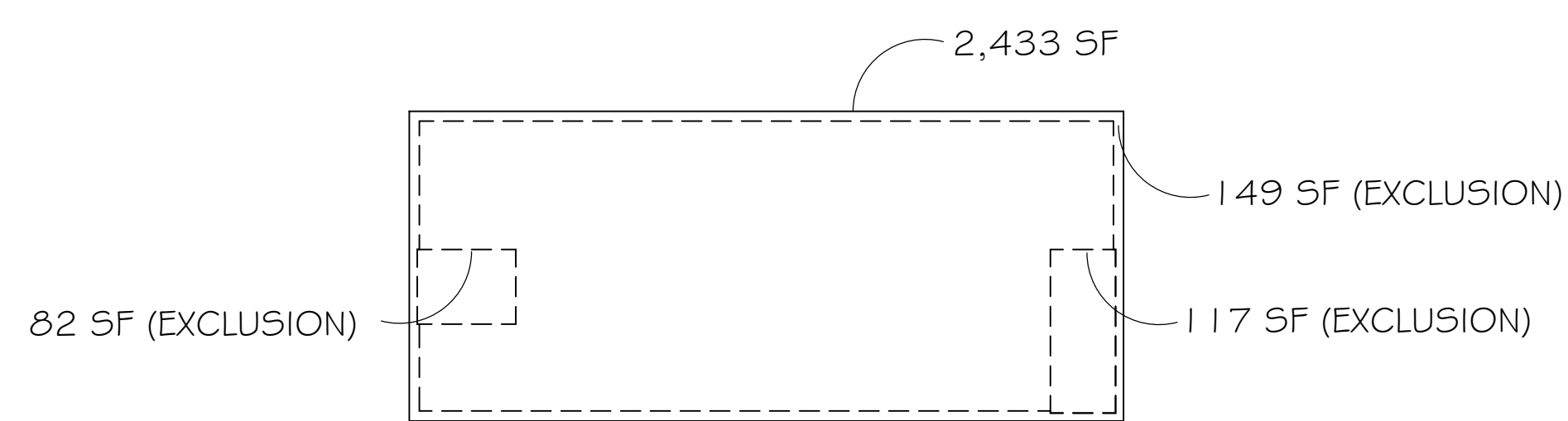
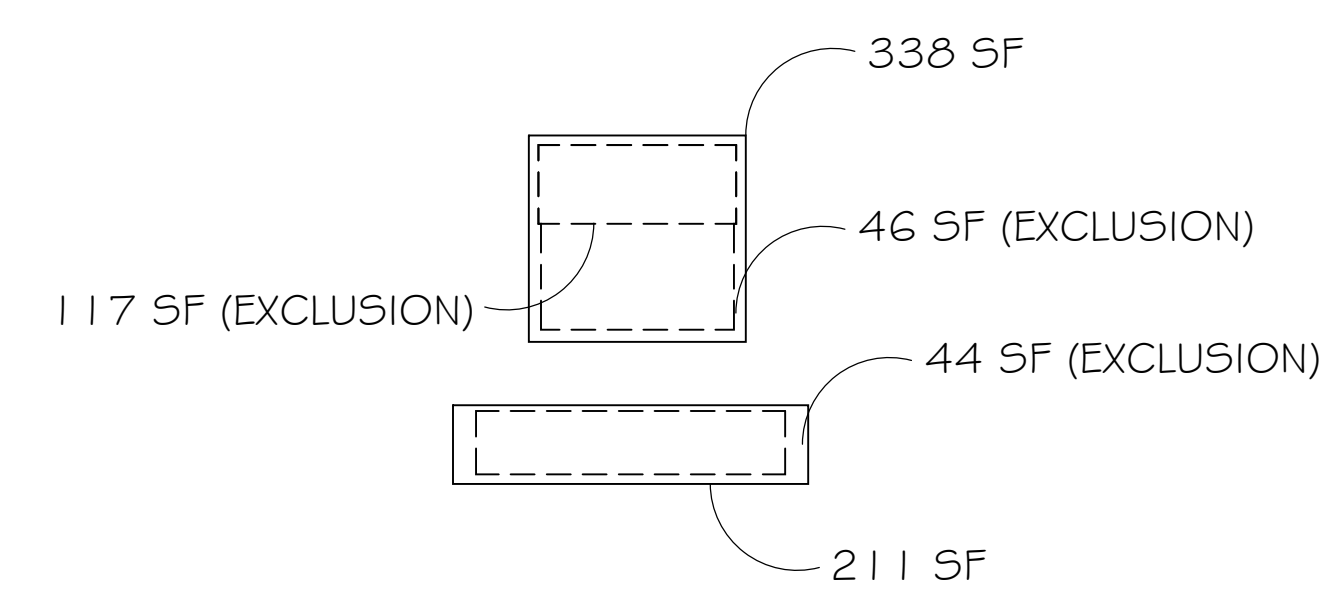
DRAWING NO. REVISION
-

012

DATE DRAWN

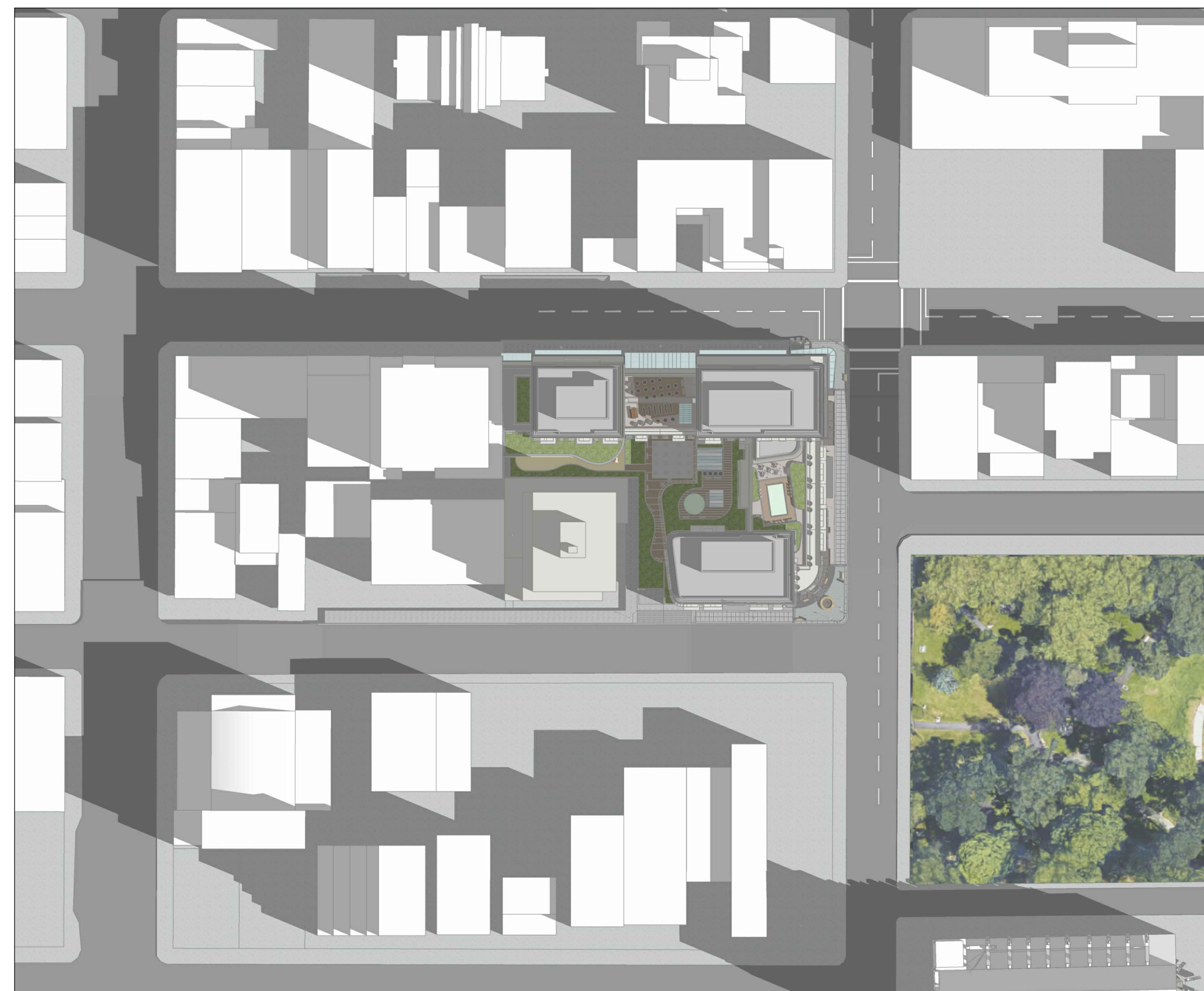
SCALE CHECKED

1:200

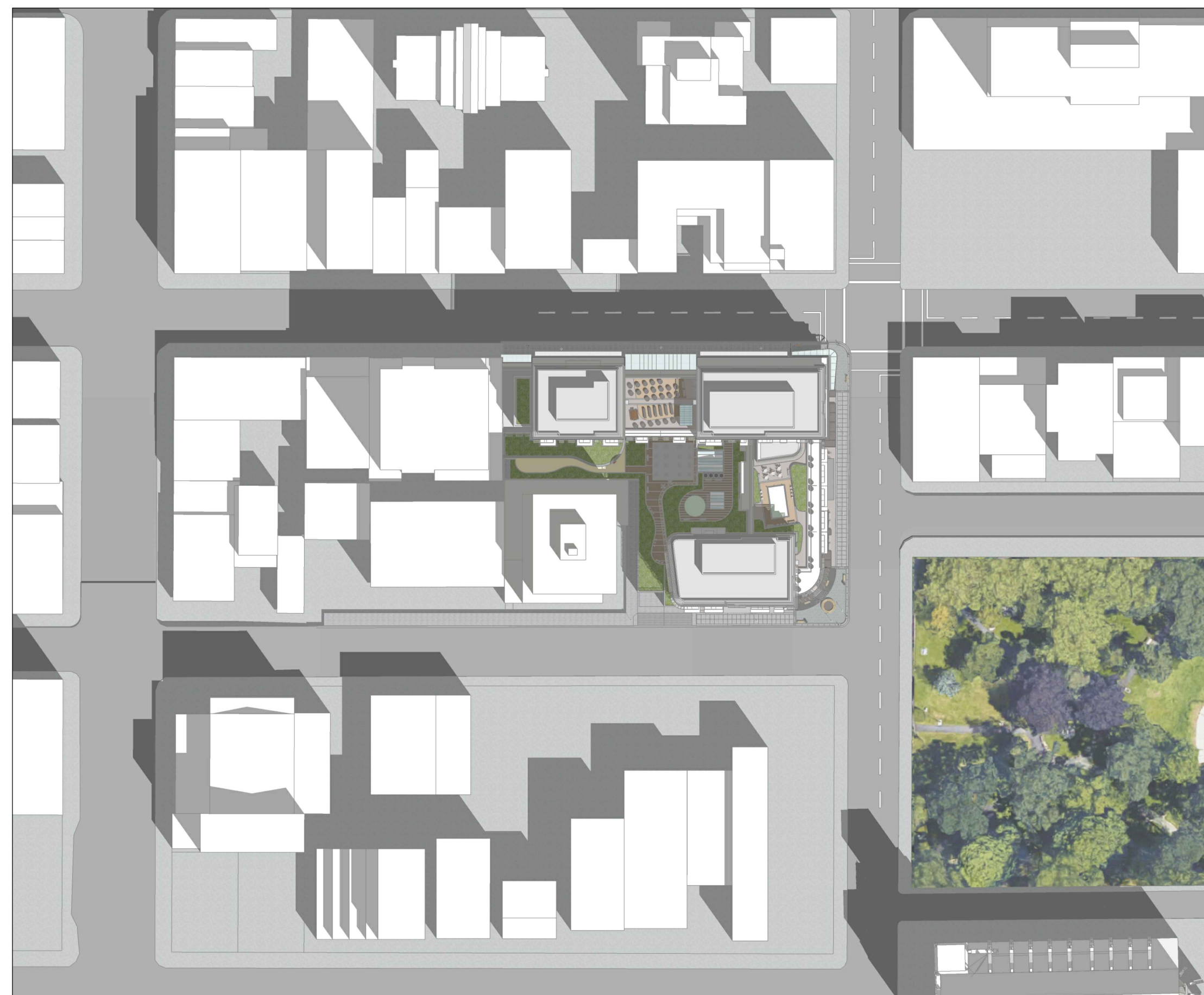


ROOF AREA CALCULATION:

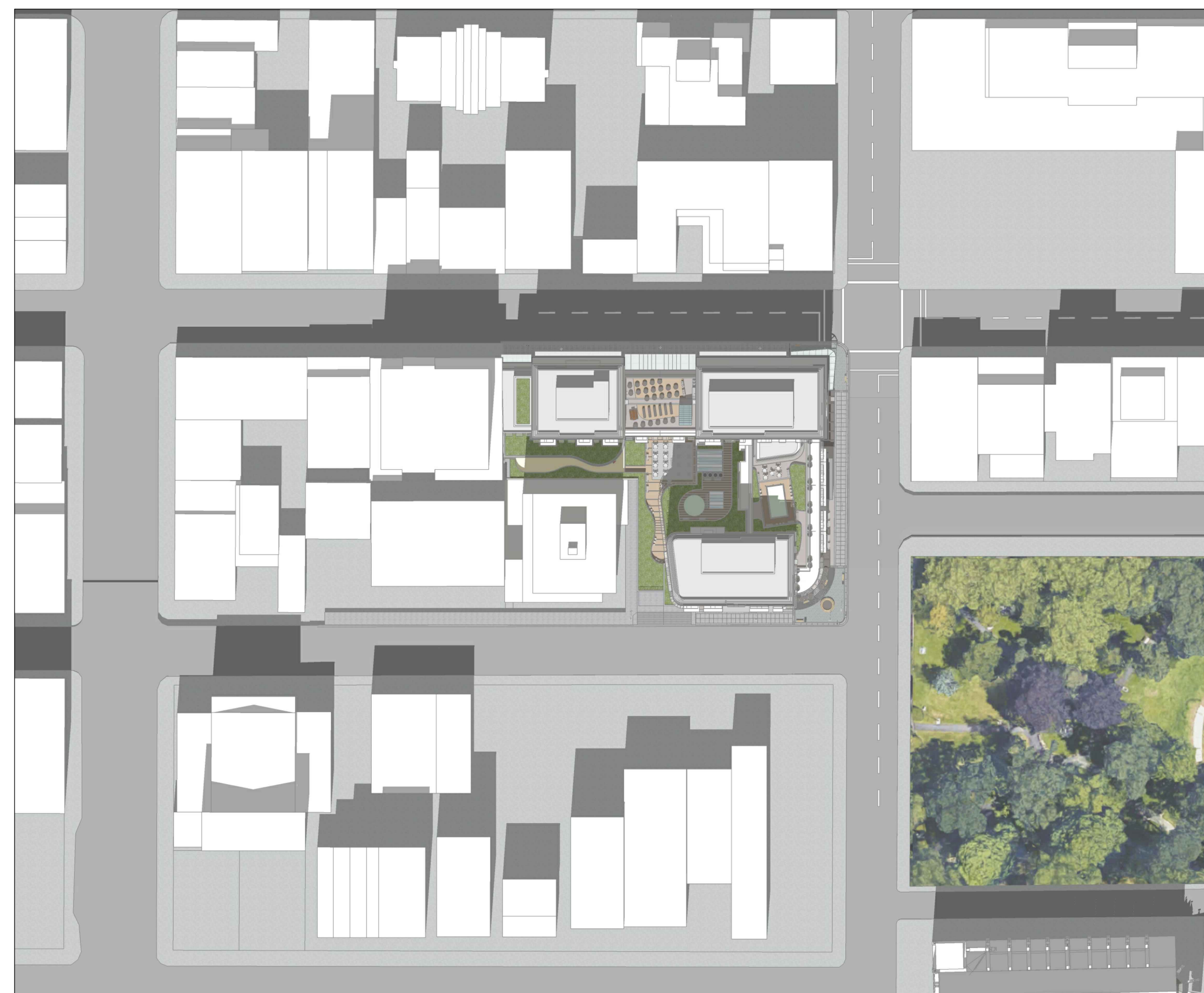
TOTAL GROSS FLOOR AREA = 3,506 SF
TOTAL EXCLUDED AREA = 777 SF
TOTAL FSR = 2,729 SF



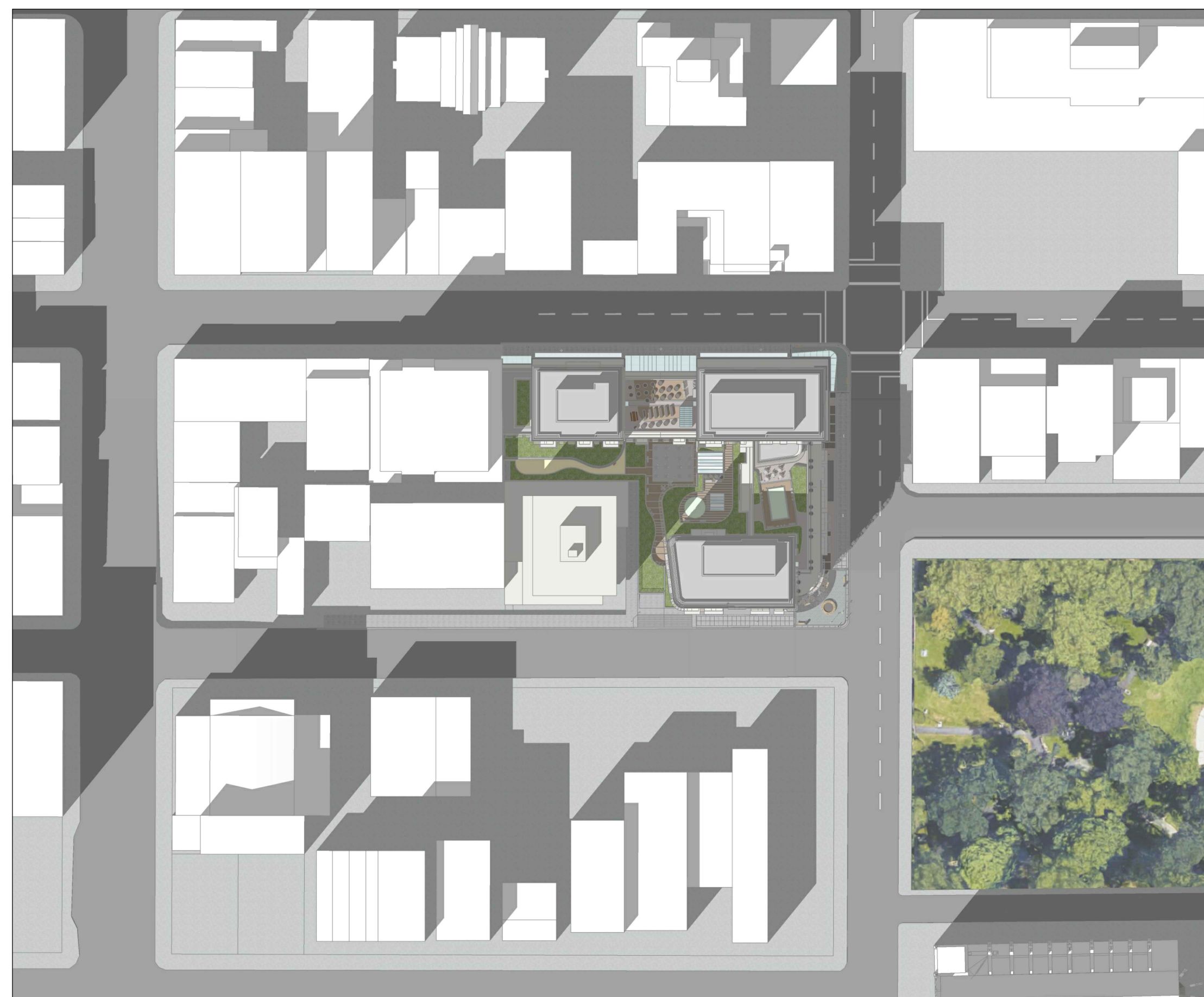
MARCH 21 (10:00 am)



MARCH 21 (12:00 pm)



MARCH 21 (02:00 pm)

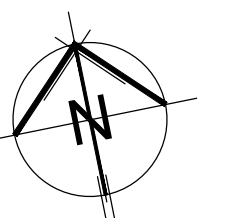


MARCH 21 (04:00 pm)

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR REZONING & DP	18 SEP 2017
2	RE-ISSUED FOR REZONING & DP	20 FEB 2018
3	RE-ISSUED FOR ADP	02 APR 2018
4	RE-ISSUED FOR ADP	24 APR 2019

COPYRIGHT RESERVED
THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. VISITORS AND ARCHITECTS SHALL MAINTAIN ACCURATE AND SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL INFORM THE ARCHITECT OF ANY VARIATION OR DISCREPANCY IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS WITH REGARD TO THE ARCHITECTED PROJECT.



CLIENT

parc
retirement
living

PROJECT NO.

17420

PROJECT

PARC VICTORIA
Mixed Use Seniors Residential &
Commercial Development

DRAWING TITLE

SHADOW ANALYSIS

SEAL

DRAWING NO. REVISION

SH01

DATE DRAWN

SCALE CHECKED

NTS

