

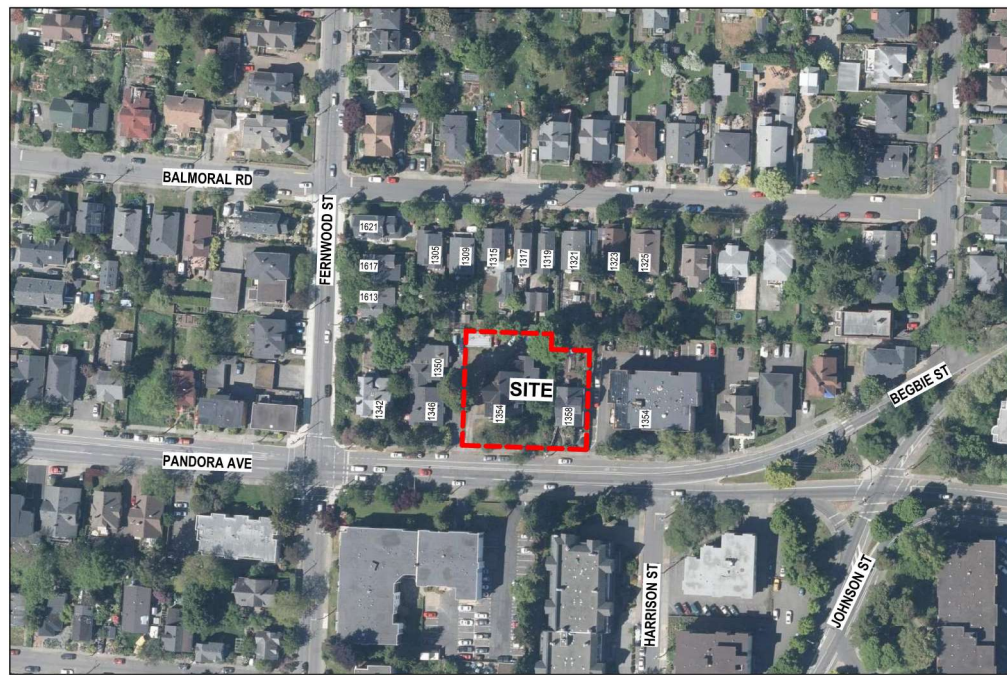
PROJECT IMAGE



DRAWING INDEX

ARCHITECTURAL		CIVIL		SET LIST LANDSCAPE	
Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
A-0.1	COVER SHEET	C-01	PRELIMINARY CIVIL DRAWING	L-01	LANDSCAPE PLAN
A-1.0	SITE PLAN			L-02	RENDERINGS
A-1.1	SITE PLAN COMBINED			L-03	FENCES
A-1.2	EXISTING SITE PLAN/SURVEY			L-04	TREE RETENTION PLAN
A-1.3	AVERAGE GRADE PLAN				
A-1.4	AVERAGE GRADE PLAN				
A-1.5	SHADOW STUDY - WINTER SOLSTICE				
A-1.6	SHADOW STUDY - SPRING / AUTUMN EQUINOX				
A-1.7	SHADOW STUDY - SUMMER SOLSTICE				
A-1.8	RENTABLE AREA CALCULATION				
A-2.0	PARKADE PLAN				
A-2.1	FLOOR PLAN - L1				
A-2.2	FLOOR PLAN - L2				
A-2.3	FLOOR PLAN - L3				
A-2.4	FLOOR PLAN - L4				
A-2.5	FLOOR PLAN - L5				
A-2.6	FLOOR PLAN - L6				
A-2.7	ROOF PLAN				
A-2.8	UNIT PLANS				
A-2.9	UNIT PLANS				
A-3.0	STREETSCAPE ELEVATIONS				
A-3.1	ELEVATIONS				
A-3.2	ELEVATIONS				
A-3.3	ELEVATIONS				
A-3.4	ELEVATIONS				
A-4.0	SITE SECTIONS				
A-4.1	BUILDING SECTIONS				
A-4.2	BUILDING SECTIONS				
A-5.1	3D AERIAL VIEWS				
A-5.2	3D STREET VIEWS				
A-5.3	3D AERIAL VIEWS - COMBINED				
A-5.4	3D STREET VIEWS - COMBINED				

LOCATION PLAN



ARCHITECTURAL:


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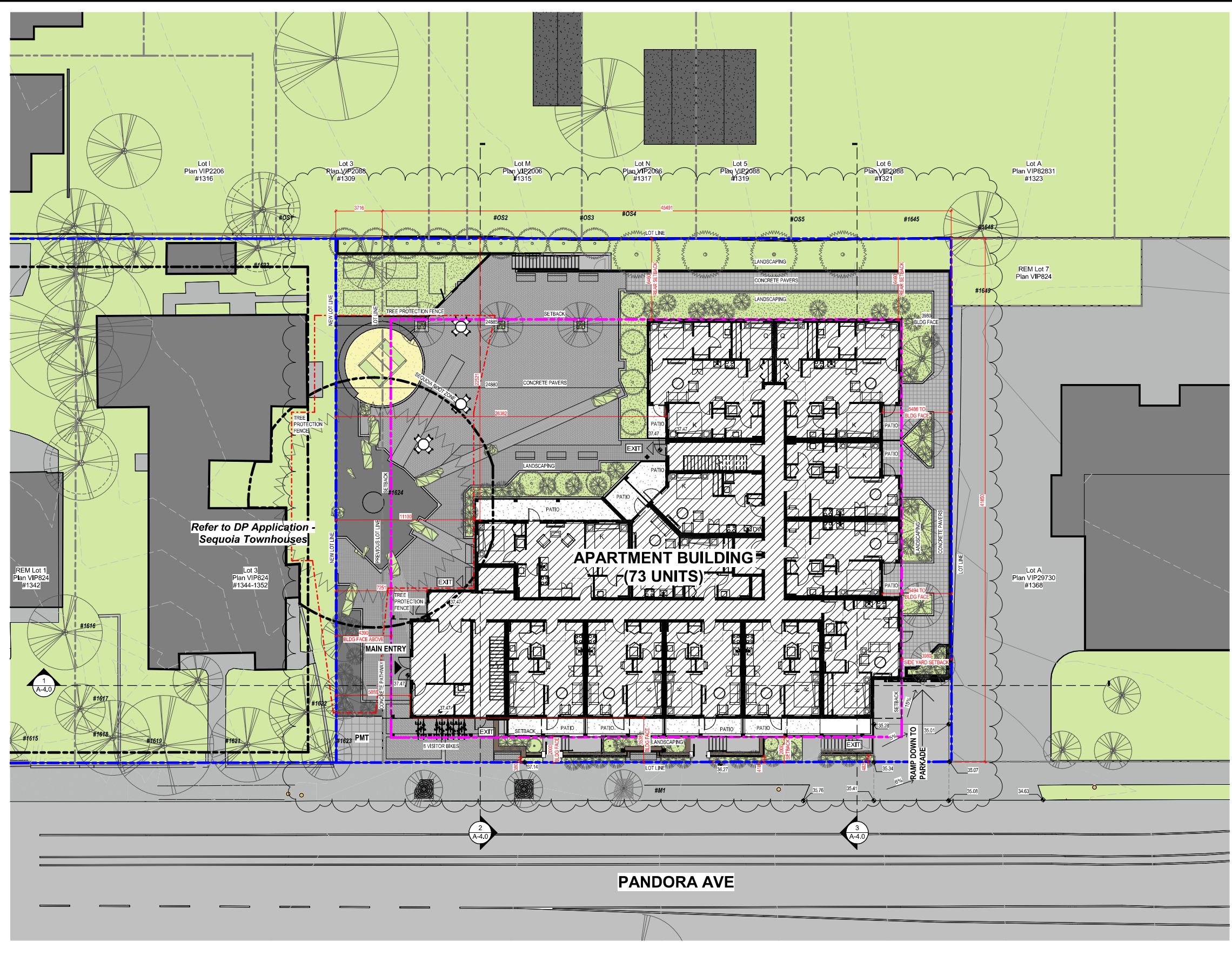


Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date

November 29, 2023



ZONING DATA

SITE DATA			
MUNICIPAL ADDRESS:	1354 PANDORA AVENUE, VICTORIA BC, V8R 1A2		
LEGAL DESCRIPTION:	Lot A, Plan VIP25636 & Lot 6, Plan VIP824		
SITE AREA (PRE DEDICATION):	1905.2m ² (20,507.6ft ²)	LOT #1334 - 1315.2m ² (14,203ft ²) LOT #1335-6 - 589m ² (6,307.6ft ²)	
SITE AREA (POST DEDICATION):	1,985.04m ² (21,367ft ²)		
ZONING DATA			
CLASSIFICATION:	EXISTING = R-2	REZONED TO BE SITE SPECIFIC	
AREA SCHEDULE - FSR APARTMENT			
Level	Area		
L1	844.6 m ²		
L2	876.4 m ²		
L3	876.5 m ²		
L4	876.5 m ²		
L5	681.2 m ²		
L6	681.2 m ²		
Grand total	4836.5 m ²		
EXISTING PROPOSED			
SITE COVERAGE:	MAX. 794m ² (40%)	928m ² (49%)	
OPEN SITE SPACE:	MIN. 596m ² (30%)	980m ² (51%)	
FLOOR SPACE RATIO:	0.5:1 - 1:1	2.44:1	
BUILDING HEIGHT:	7.6m & 2 STOREYS	21.00m	
AVERAGE GRADE:		35.56m GEO	
SETBACKS*			
REQUIRED		PROPOSED	
FRONT YARD:	7.5m	2.00m	
REAR YARD:	10.7m / 35% Lot Depth	6.46m	
SIDE YARD:	1.5m / 10% Lot Width	3.96m / 4.39m	
COMBINED SIDE YARD:	4.5m	8.37m	
RESIDENTIAL PARKING STALLS			
REQUIRED		PROVIDED	
< 45m ² 0.75 / UNIT x 26 =	19.5		
45-70m ² 0.9 / UNIT x 39 =	35.1		
> 70m ² 1.3 / UNIT x 8 =	10.4		
VISITOR STALLS: 0.1 / UNIT x 73 =	7.3		
TOTAL:	73	35	
LONG-TERM BICYCLE PARKING			
REQUIRED		PROVIDED	
< 45 m ² 1 / UNIT x 26 =	26	26	
> 45m ² 1.25 / UNIT x 47 =	59	60	
SUB TOTAL =	85	86	
SHORT-TERM BICYCLE PARKING			
REQUIRED		PROVIDED	
0.1 / UNIT x 73 =	7	8	
TOTAL:	90	94	
TOTAL UNITS BY AREA UNDER 45m ² (AREA FOR PARKING CALCULATION)		TOTAL UNITS BY AREA 45m ² TO 70m ² (AREA FOR PARKING CALCULATION)	
UNIT TYPE	AREA	UNIT TYPE	AREA
STUDIO - TYPE 1	36.9 m ²	STUDIO - TYPE 2	45.7 m ²
36.9 m ² 6		45.7 m ² 6	
1 BED - TYPE 2	43.7 m ²	1 BED - TYPE 3	46.2 m ²
43.7 m ² 2		46.2 m ² 4	
1 BED - TYPE 1	43.9 m ²	1 BED - TYPE 4	47.5 m ²
1 BED - TYPE 2	43.9 m ²	47.5 m ² 1	
43.9 m ² 18		1+DEN	48.5 m ²
TOTAL UNIT COUNT: 26		48.5 m ² 20	
TOTAL UNITS BY AREA GREATER THAN 70m ² (AREA FOR PARKING CALCULATION)		2 BED - TYPE 1	62.7 m ²
UNIT TYPE	Area	62.7 m ² 6	
2 BED	61.5 m ²	2 BED - TYPE 2	66.5 m ²
61.5 m ² 6		66.5 m ² 2	
TOTAL UNIT COUNT: 8		TOTAL UNIT COUNT: 39	
		GRAND TOTAL: 73 UNITS	

* NOTE: SETBACK DIMENSIONS ARE TAKEN TO BUILDING FACE UNLESS OTHERWISE INDICATED

1 SITE PLAN

1 : 150

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PRIMEX INVESTMENTS

2	ISSUED FOR DP REVISION	2023-11-02
1	ISSUED FOR DP-REV	2023-11-21
No.	Description	Date

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SEQUOIA APARTMENTS

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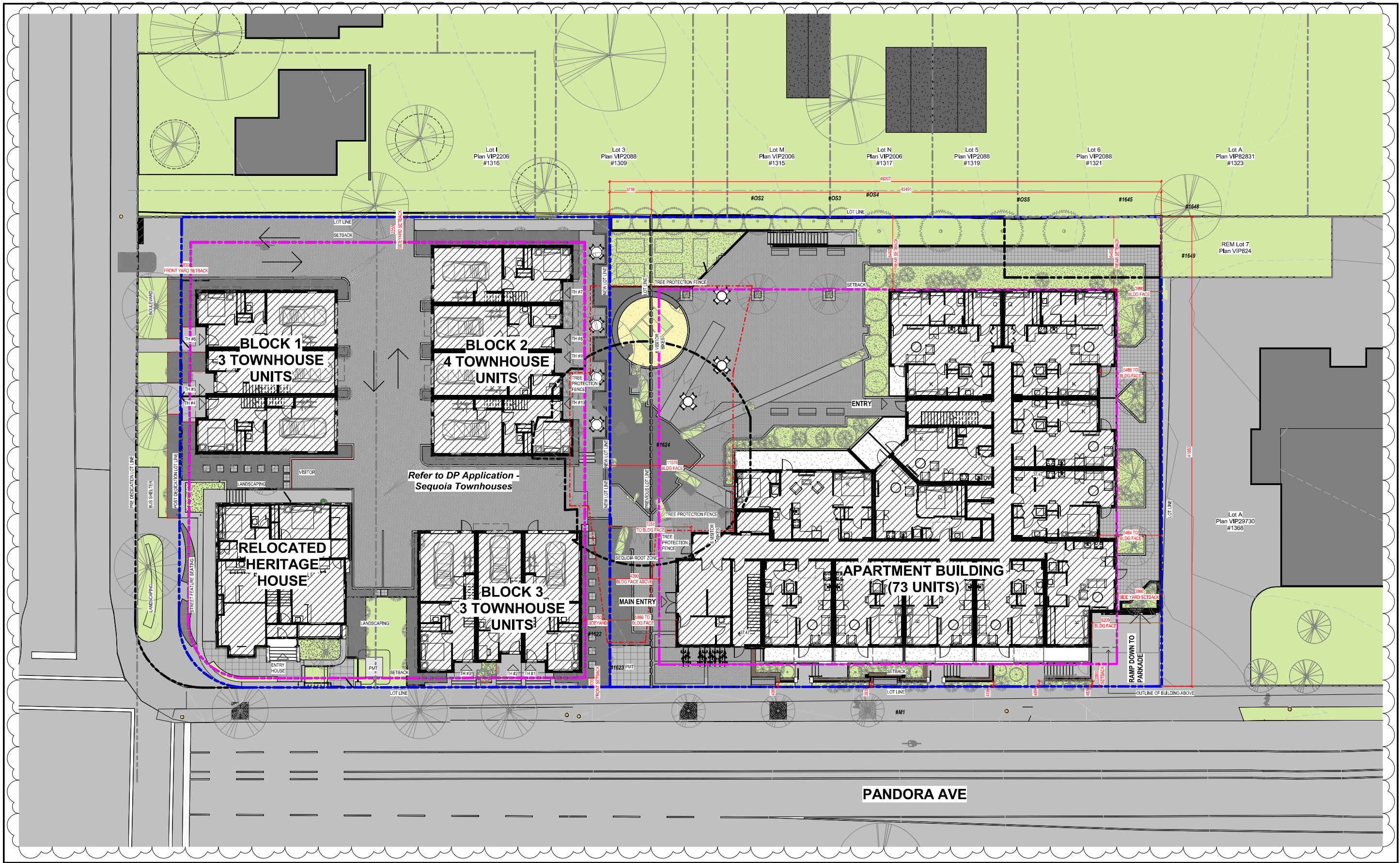
JOB No.: 2245

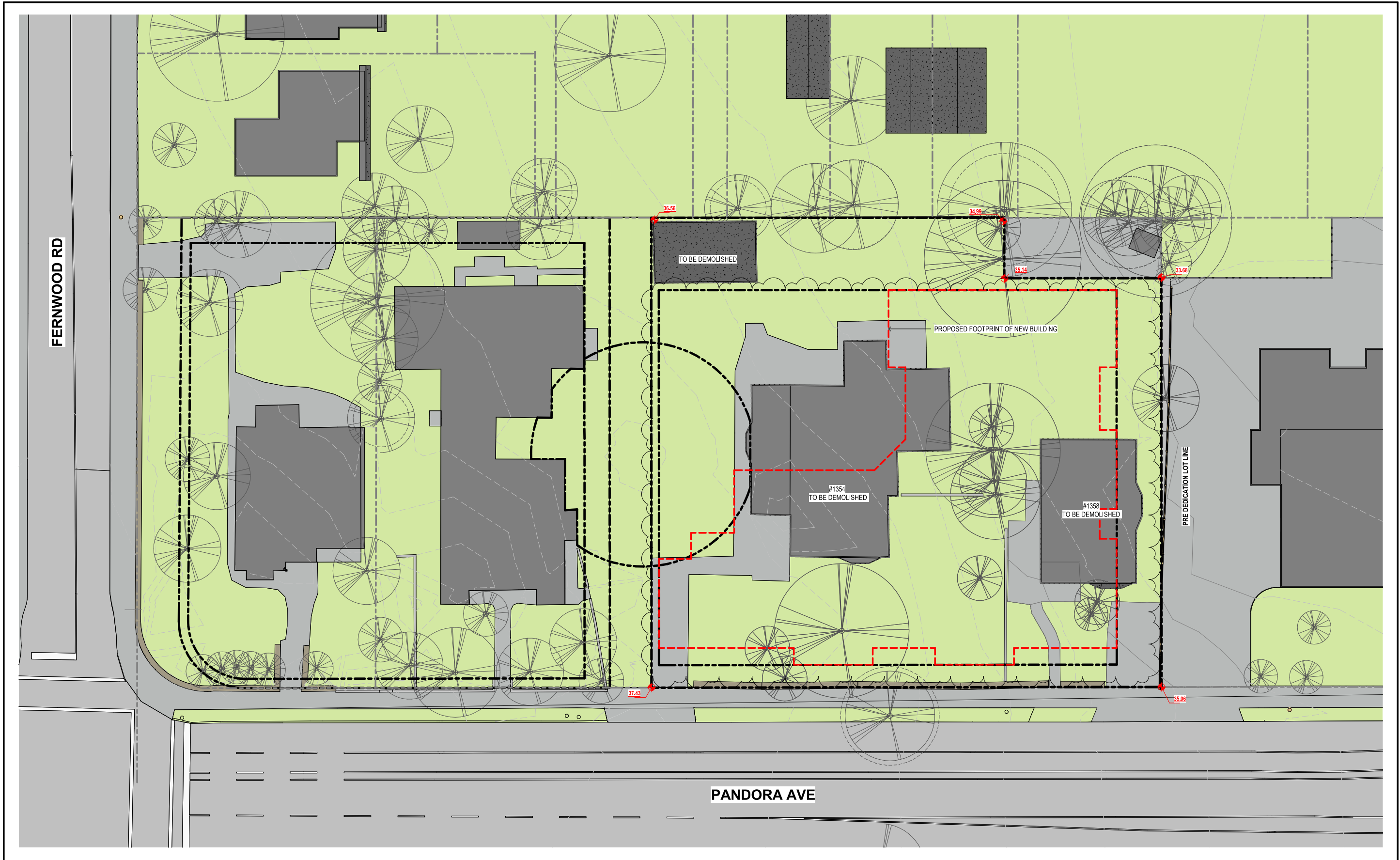
SITE PLAN

SCALE: As indicated

A-1.0

DATE: 2023/11/22





1 EXISTING/ DEMO SITE PLAN
1 : 150



0m 4m 8m 12m 16m 20m
VISUAL SCALE 1:200 @ Arch D

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PRIMEX INVESTMENTS

2	ISSUED FOR DP	2023-11-22
1	ISSUED FOR DP-REV	2023-11-21
No.	Description	Date

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SURVEY PROVIDE BY: MCELHANNEY, DATED: 22/09/2021

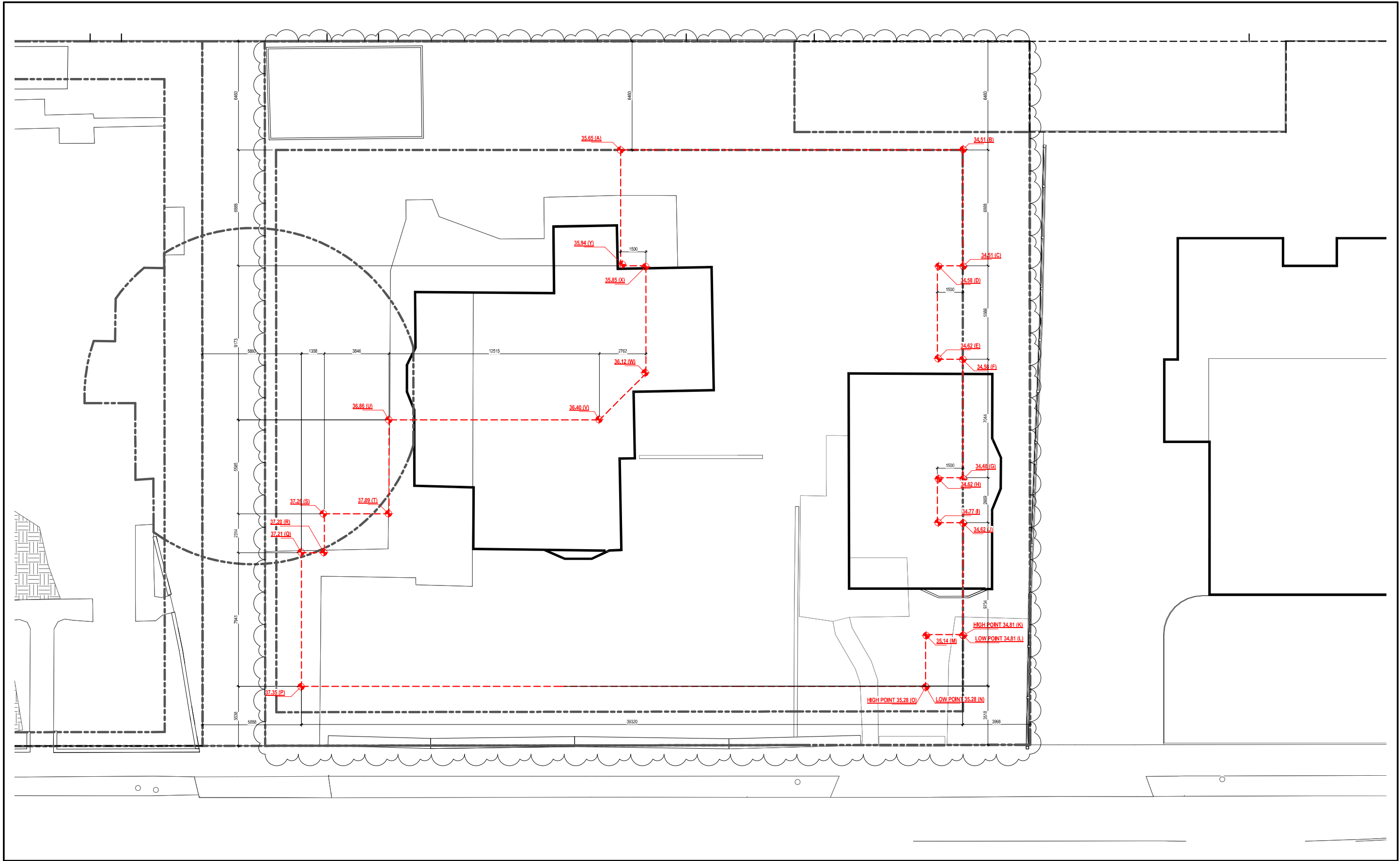
EXISTING SITE PLAN/SURVEY

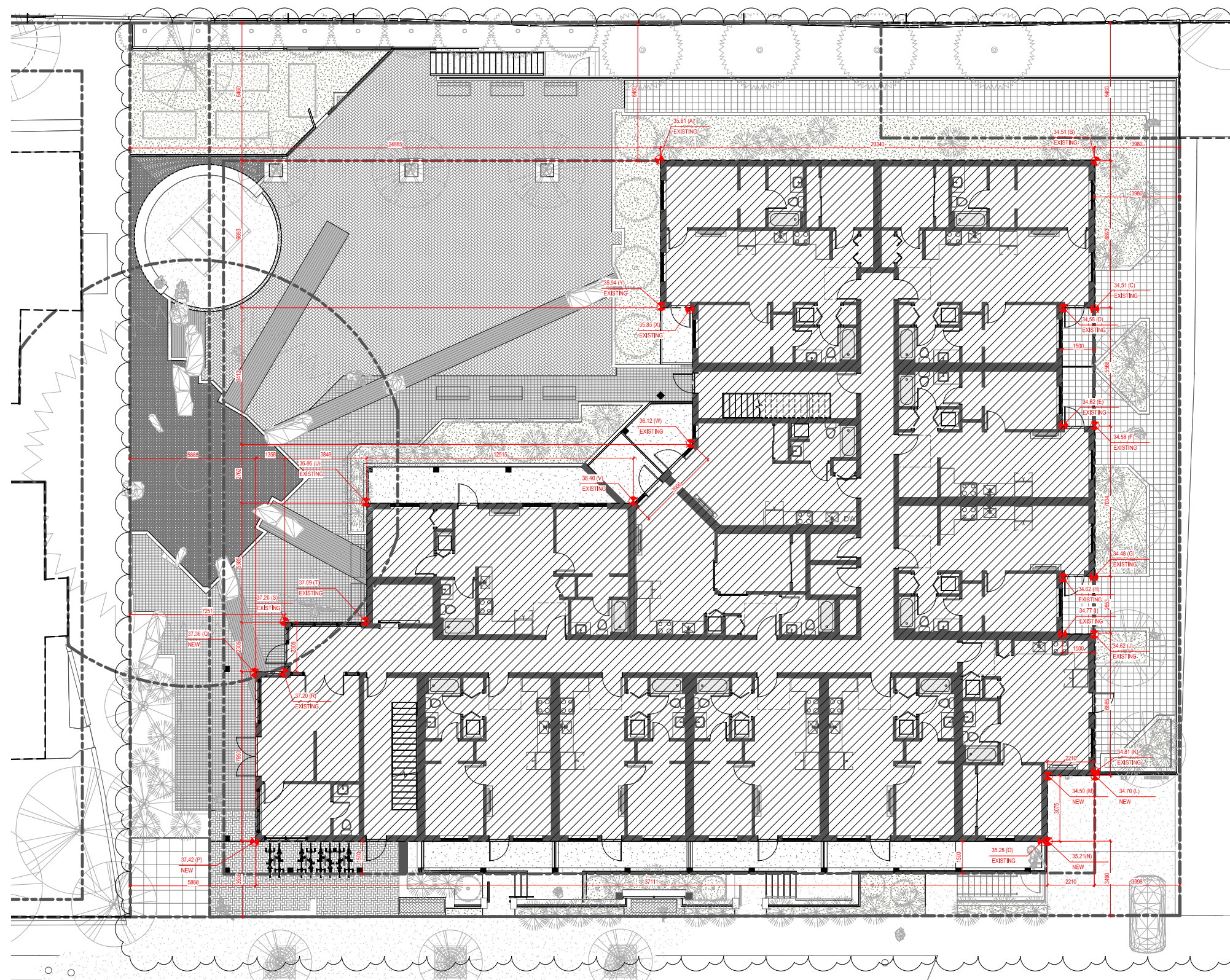
A-1.2

JOB No.: 2245

SCALE: 1 : 150

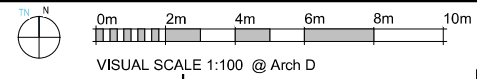
DATE: 2023/11/22





AVERAGE GRADE CALCULATION			
Points	Average of points	Distance	Totals
A-B	35.08	20.34	713.53
B-C	34.51	6.89	237.88
C-D	34.545	1.50	51.82
D-E	34.6	5.57	192.58
E-F	34.6	1.50	51.90
F-G	34.53	7.04	243.23
G-H	35.05	1.50	52.58
H-I	35.195	2.67	93.94
I-J	34.695	1.50	52.04
J-K	34.715	6.66	231.17
K-L	34.755	0.00	0.00
L-M	34.735	2.21	76.76
M-N	34.99	3.08	107.59
N-O	35.245	37.11	1307.98
O-P	36.35	0.00	0.00
P-Q	37.42	7.94	297.15
Q-R	37.31	1.36	50.67
R-S	37.23	2.31	86.15
S-T	37.175	3.85	142.98
T-U	36.975	5.59	206.51
U-V	36.63	12.52	458.42
V-W	36.26	3.91	141.63
W-X	35.985	6.41	230.74
X-Y	35.895	1.50	53.84
Y-A	35.795	6.89	246.73
		149.84	5327.81
AVERAGE GRADE:		35.56	m (GEO)

1 | AVERAGE GRADE PLAN
1 : 100



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PRIMEX INVESTMENTS

2	ISSUED FOR DP REVISION	2023-11-02
1	ISSUED FOR DP-REV2	2023-11-21
No.	Description	Date

Issued for DP Revision

REGISTERED ARCHITECT
BRITISH COLUMBIA

2023-11-23

SEQUOIA APARTMENTS

1354-1360 Pandora Avenue
Victoria, BC

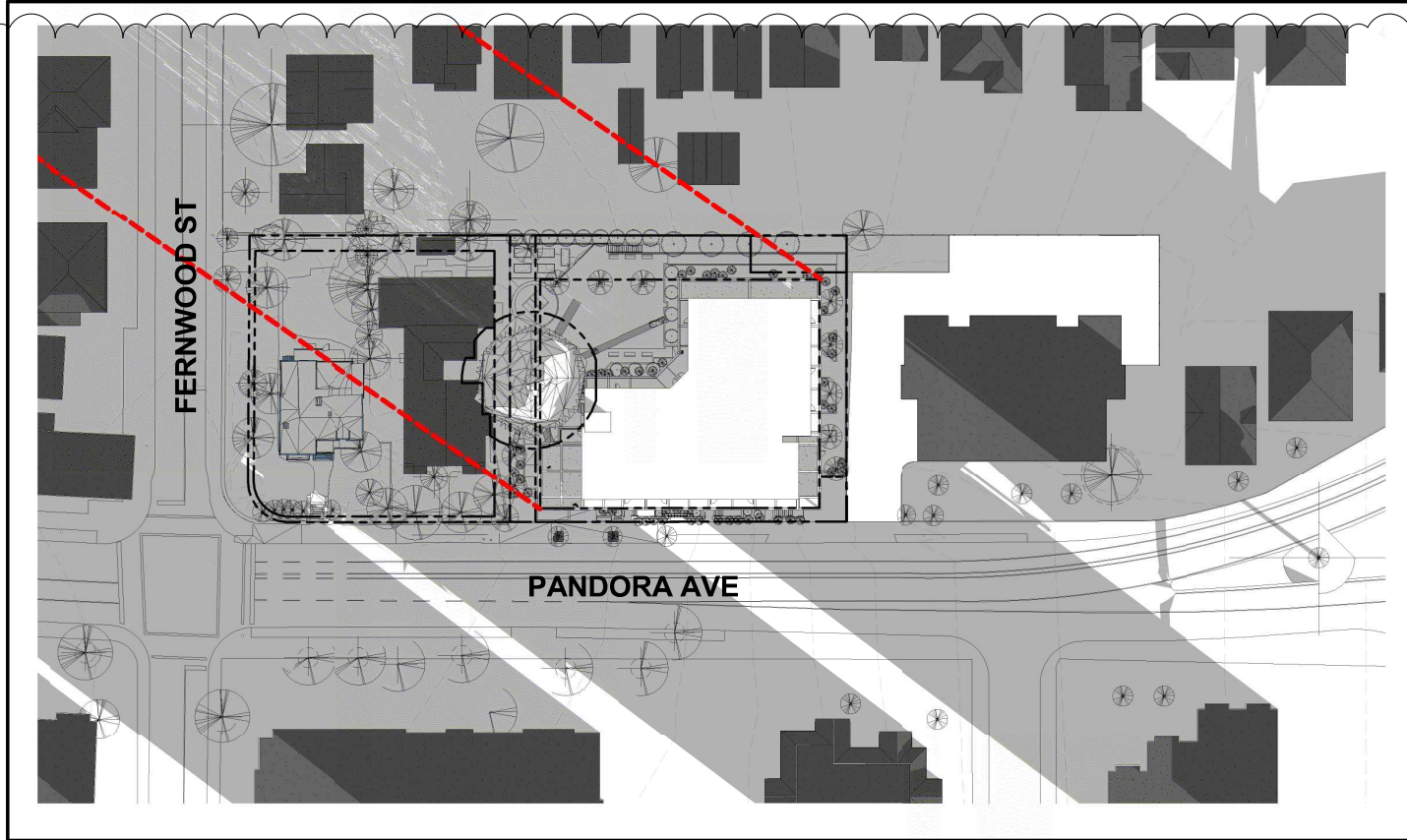
AVERAGE GRADE PLAN

A-1.4

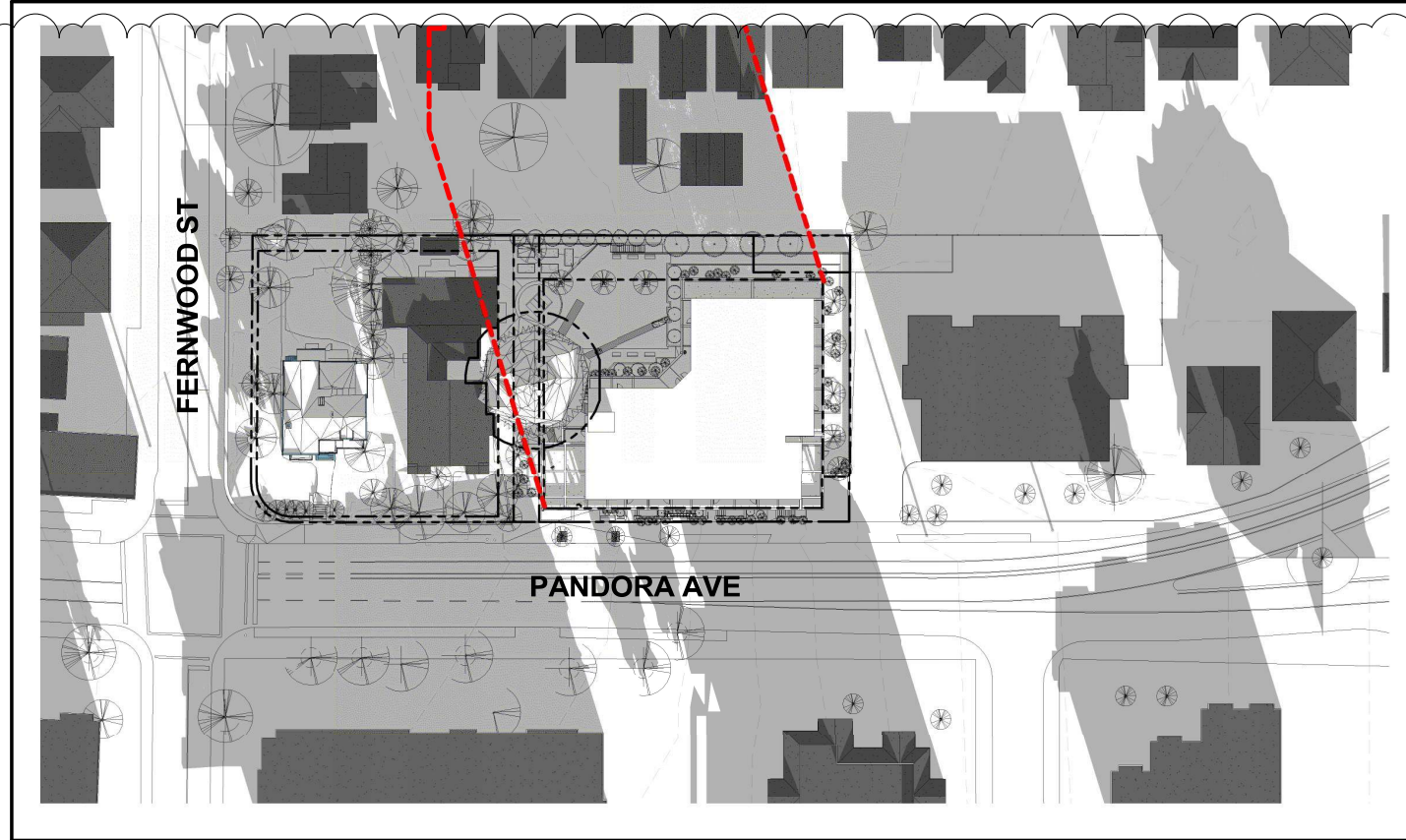
JOB No.: 2245

SCALE: 1 : 100

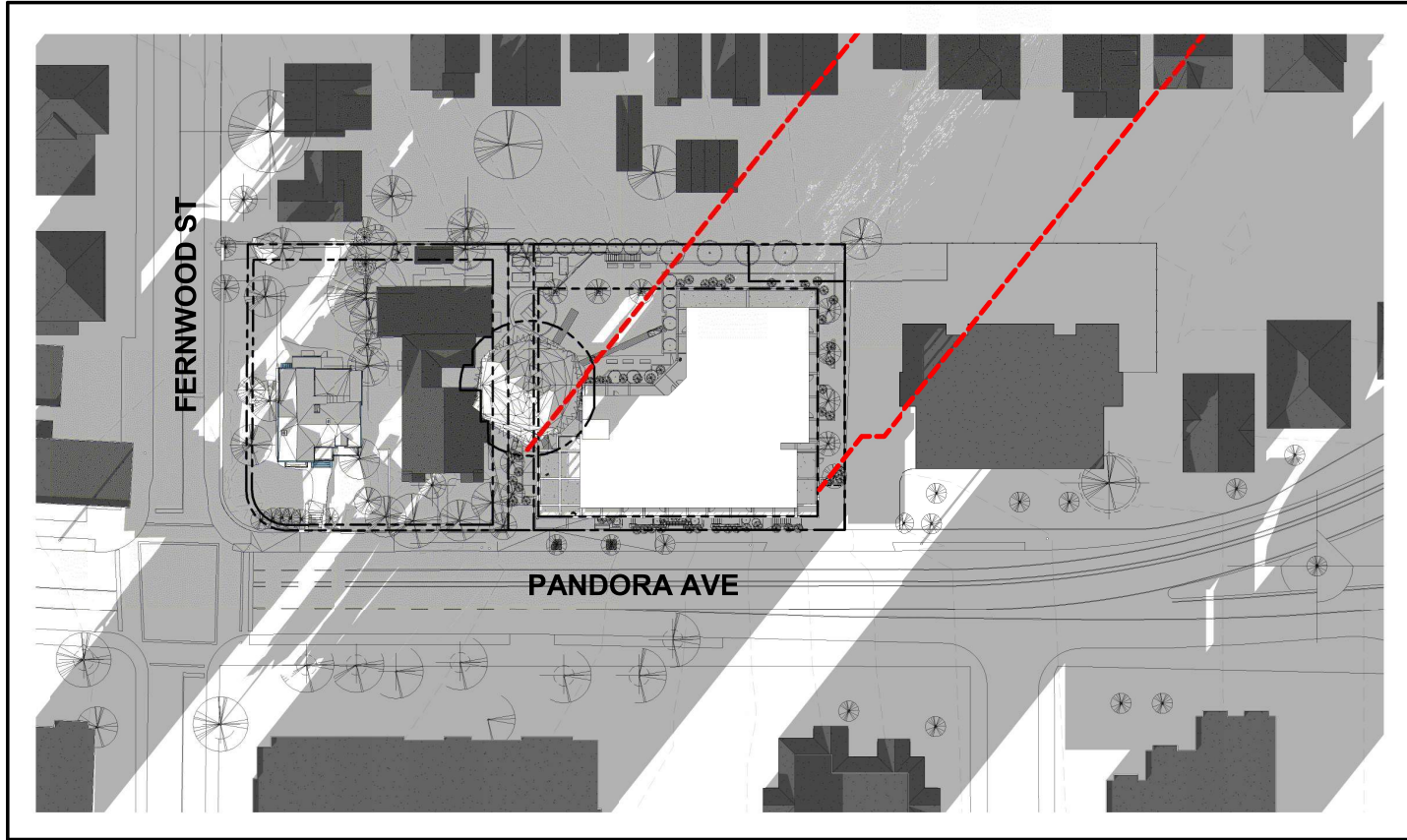
DATE: 2023/11/22



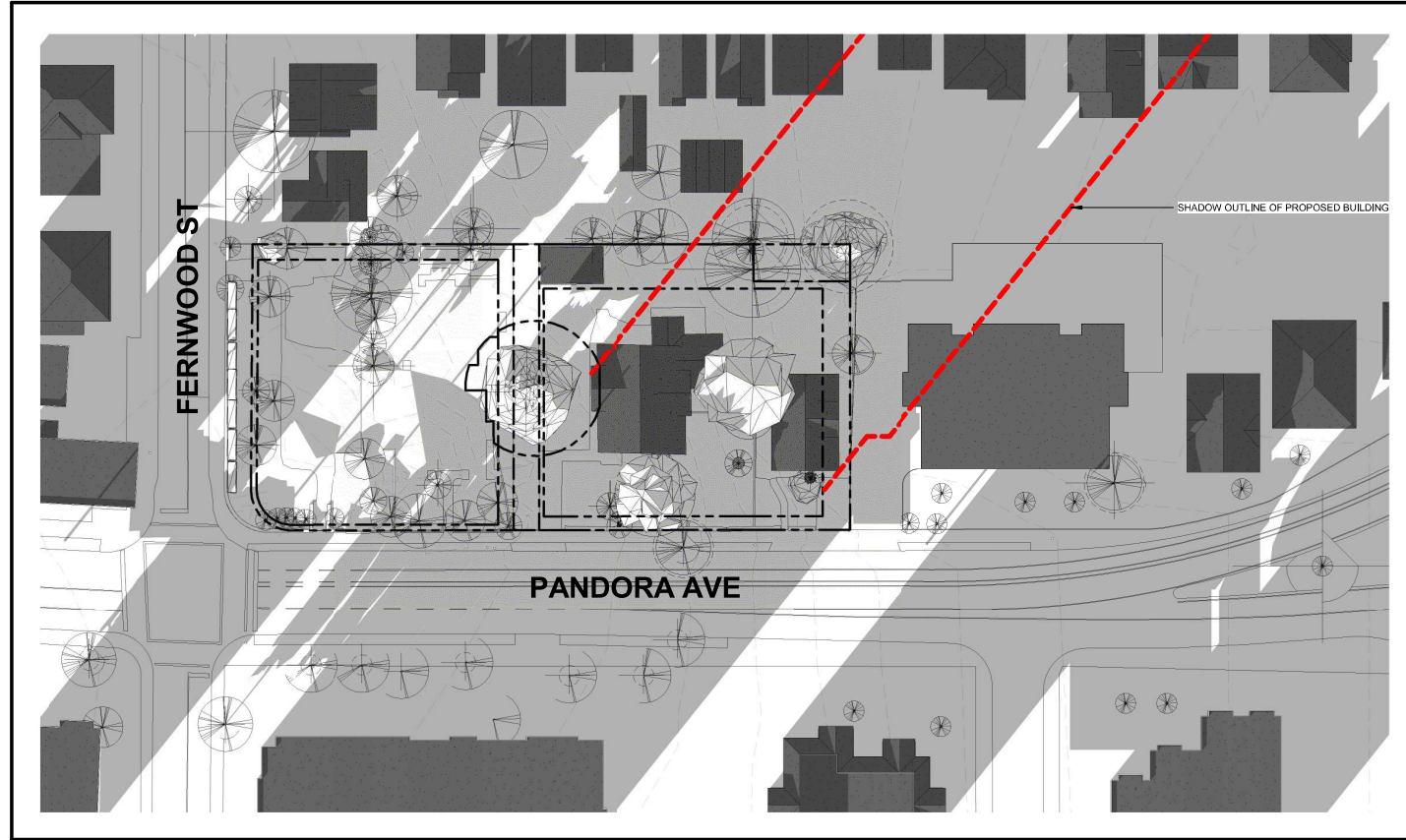
1 | WINTER SOLSTICE - 8AM
1 : 500
VISUAL SCALE 1:500 @ Arch D



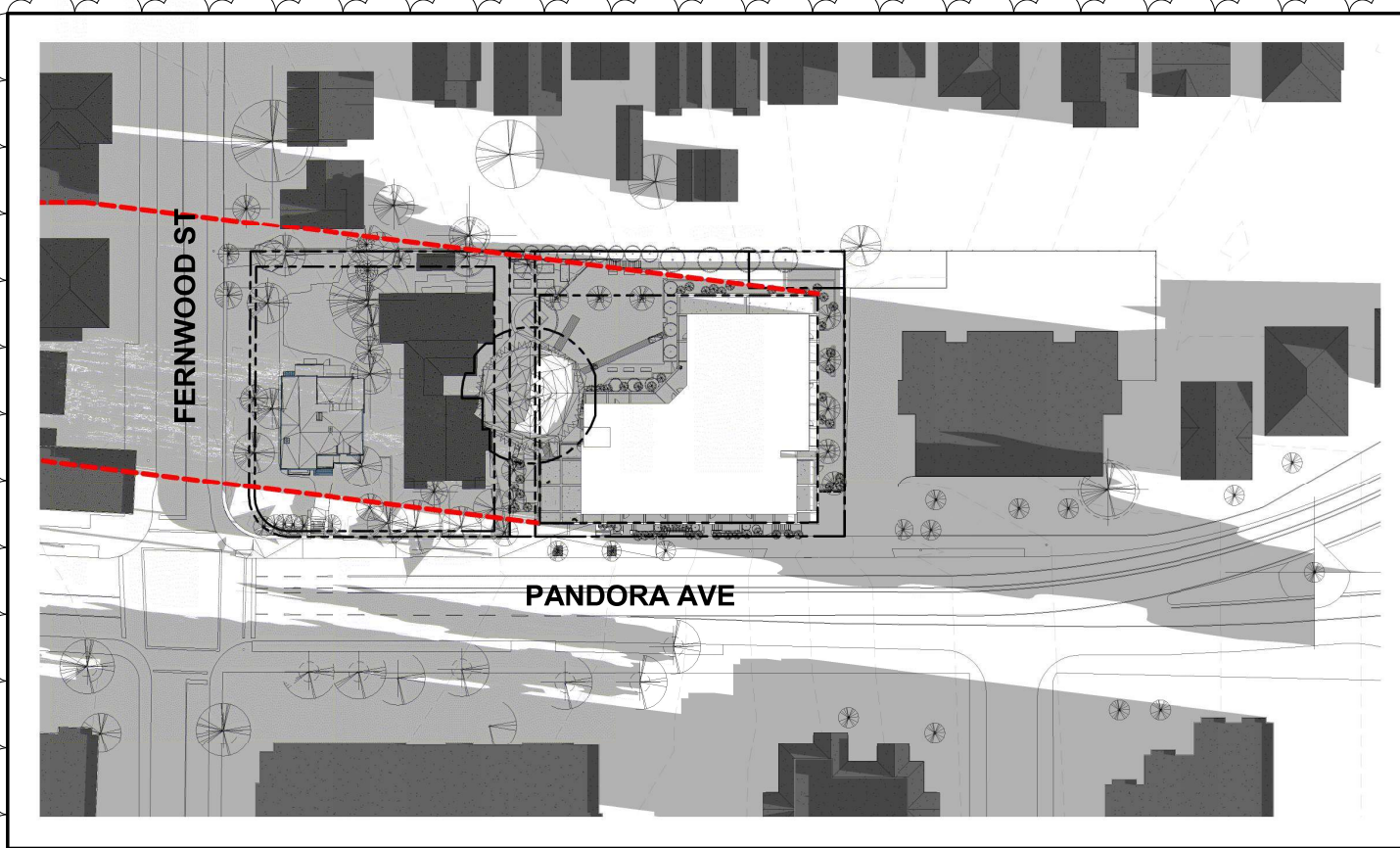
2 | WINTER SOLSTICE - NOON
1 : 500
VISUAL SCALE 1:500 @ Arch D



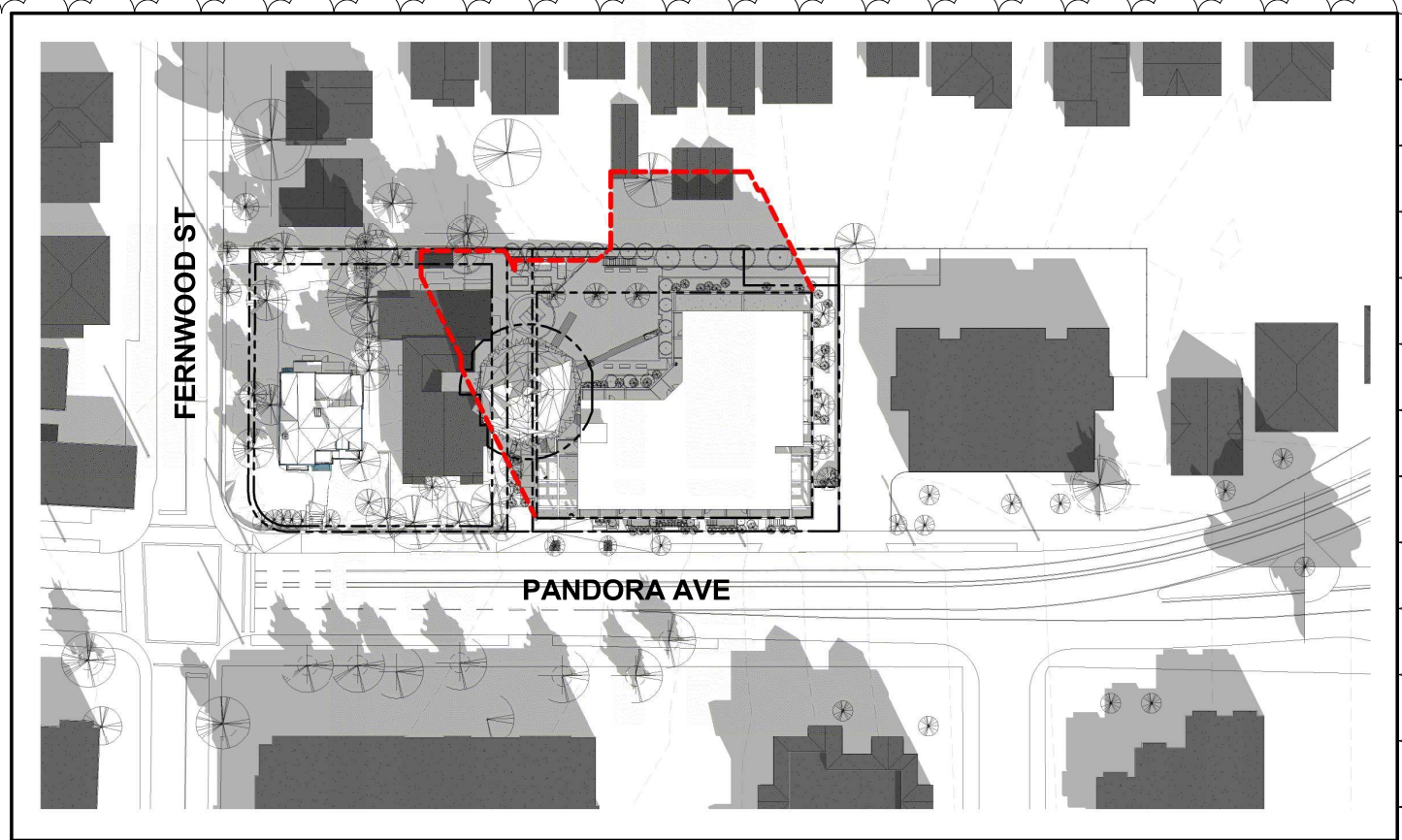
3 | WINTER SOLSTICE - 4PM
1 : 500
VISUAL SCALE 1:500 @ Arch D



4 | WINTER SOLSTICE - 4PM - EXISTING
1 : 500
VISUAL SCALE 1:500 @ Arch D



1 | SPRING / AUTUMN EQUINOX - 8AM
1 : 500
VISUAL SCALE 1:500 @ Arch D



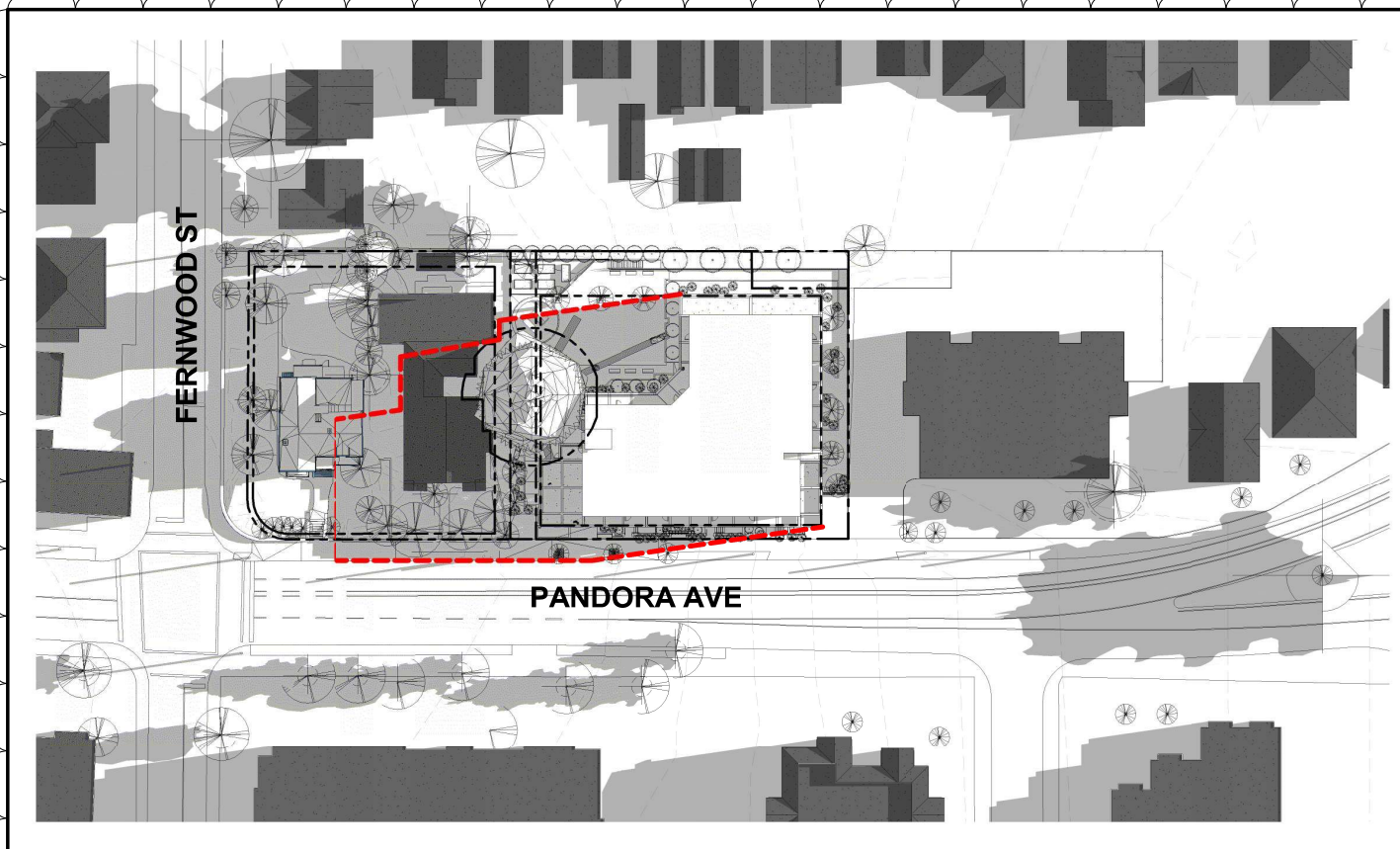
2 | SPRING / AUTUMN EQUINOX - NOON
1 : 500
VISUAL SCALE 1:500 @ Arch D



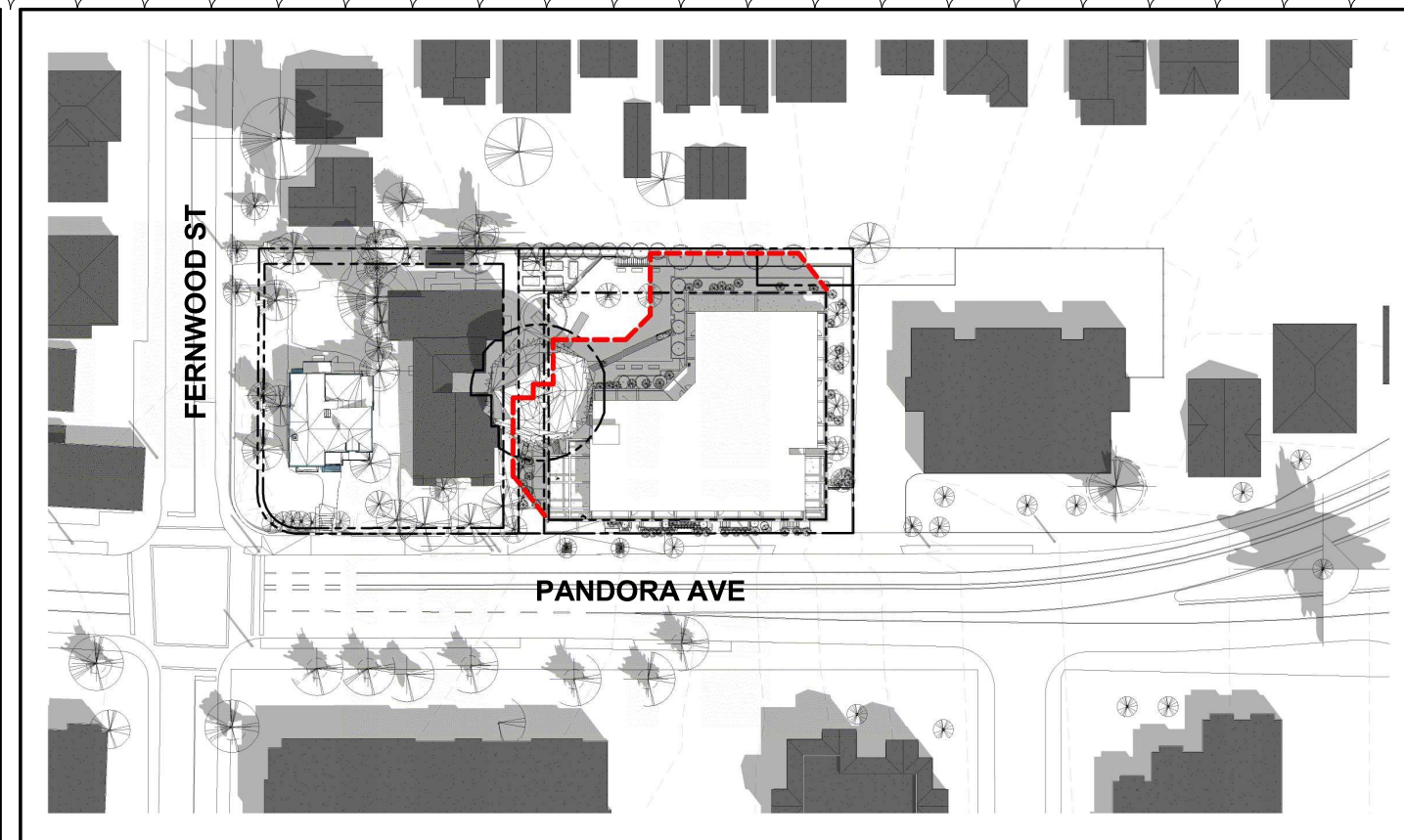
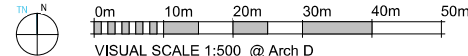
3 | SPRING / AUTUMN EQUINOX - 4PM
1 : 500
VISUAL SCALE 1:500 @ Arch D



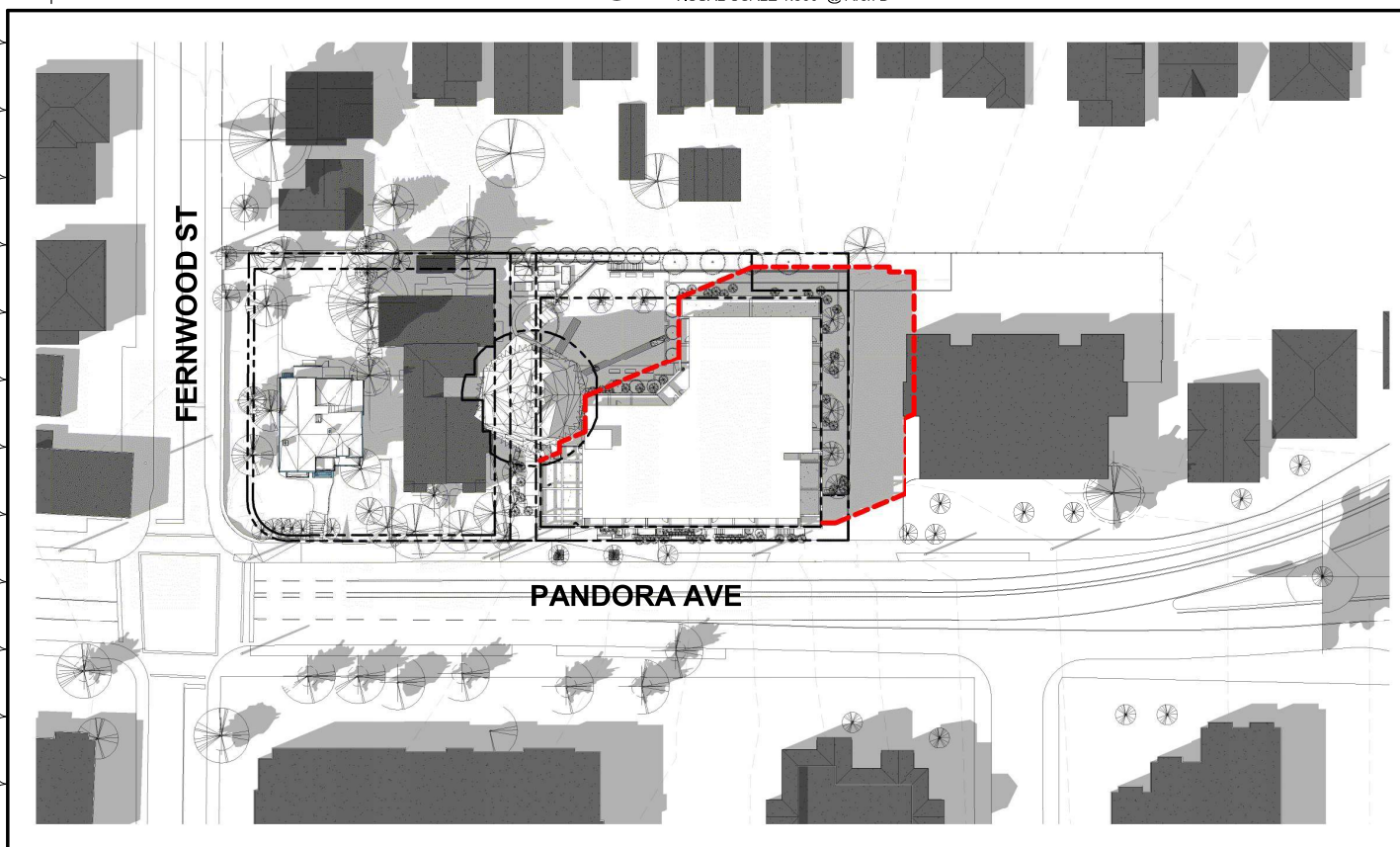
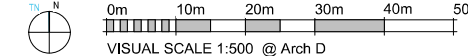
4 | SPRING / AUTUMN EQUINOX - 4PM - EXISTING
1 : 500
VISUAL SCALE 1:500 @ Arch D



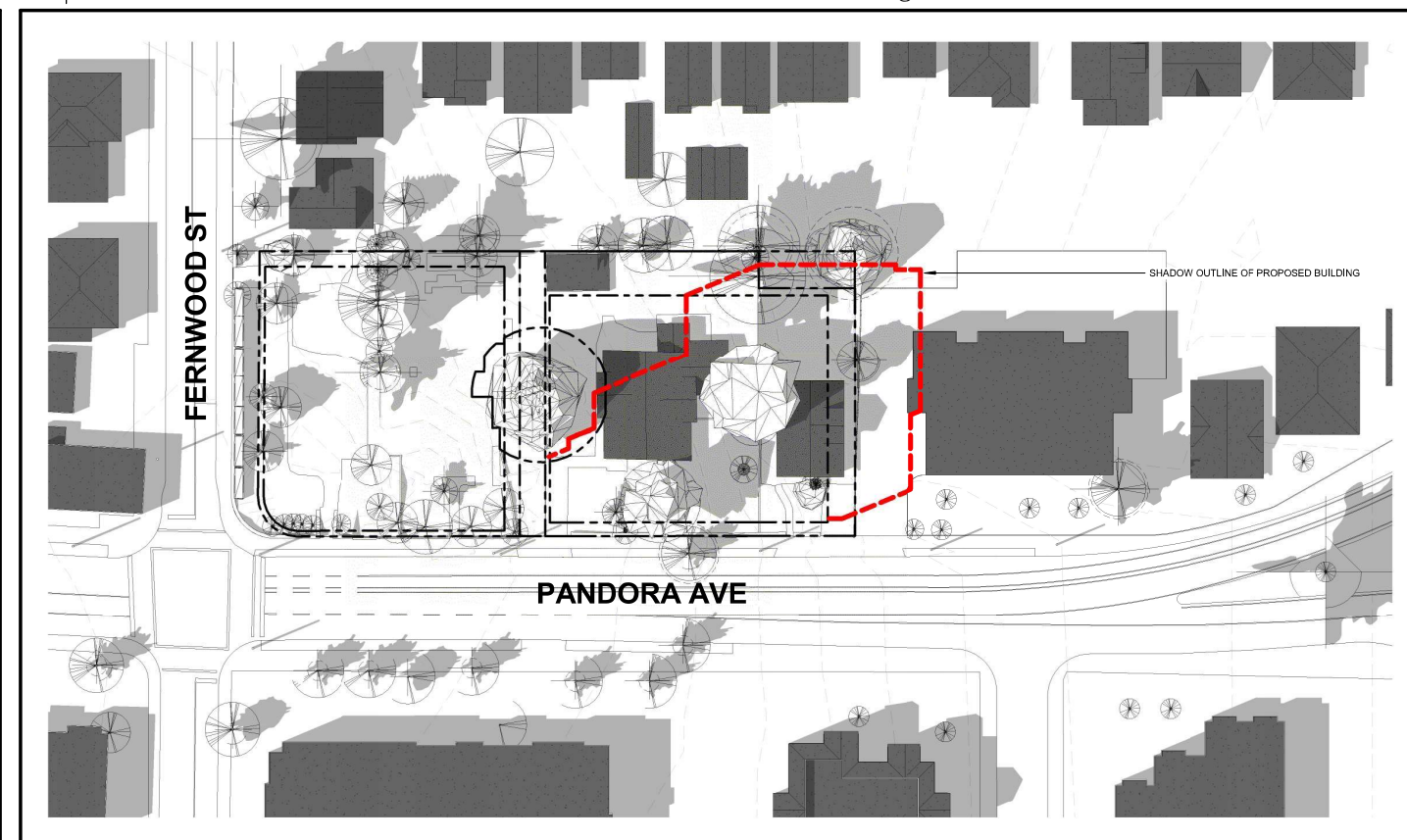
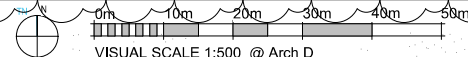
1 SUMMER SOLSTICE - 8AM
1 : 500



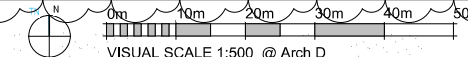
2 SUMMER SOLSTICE - NOON
1 : 500



3 SUMMER SOLSTICE - 4PM
1 : 500

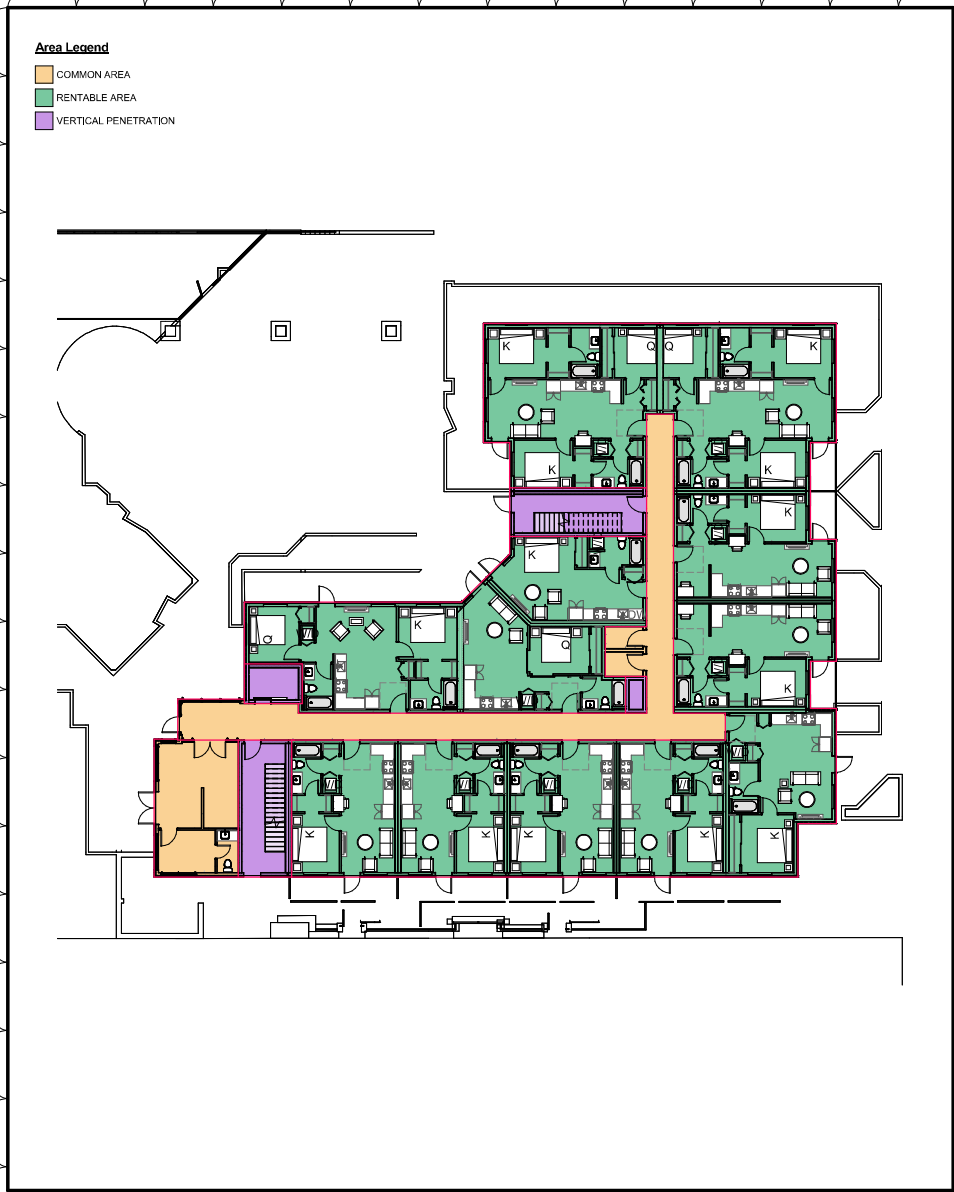


4 SUMMER SOLSTICE - 4PM - EXISTING
1 : 500

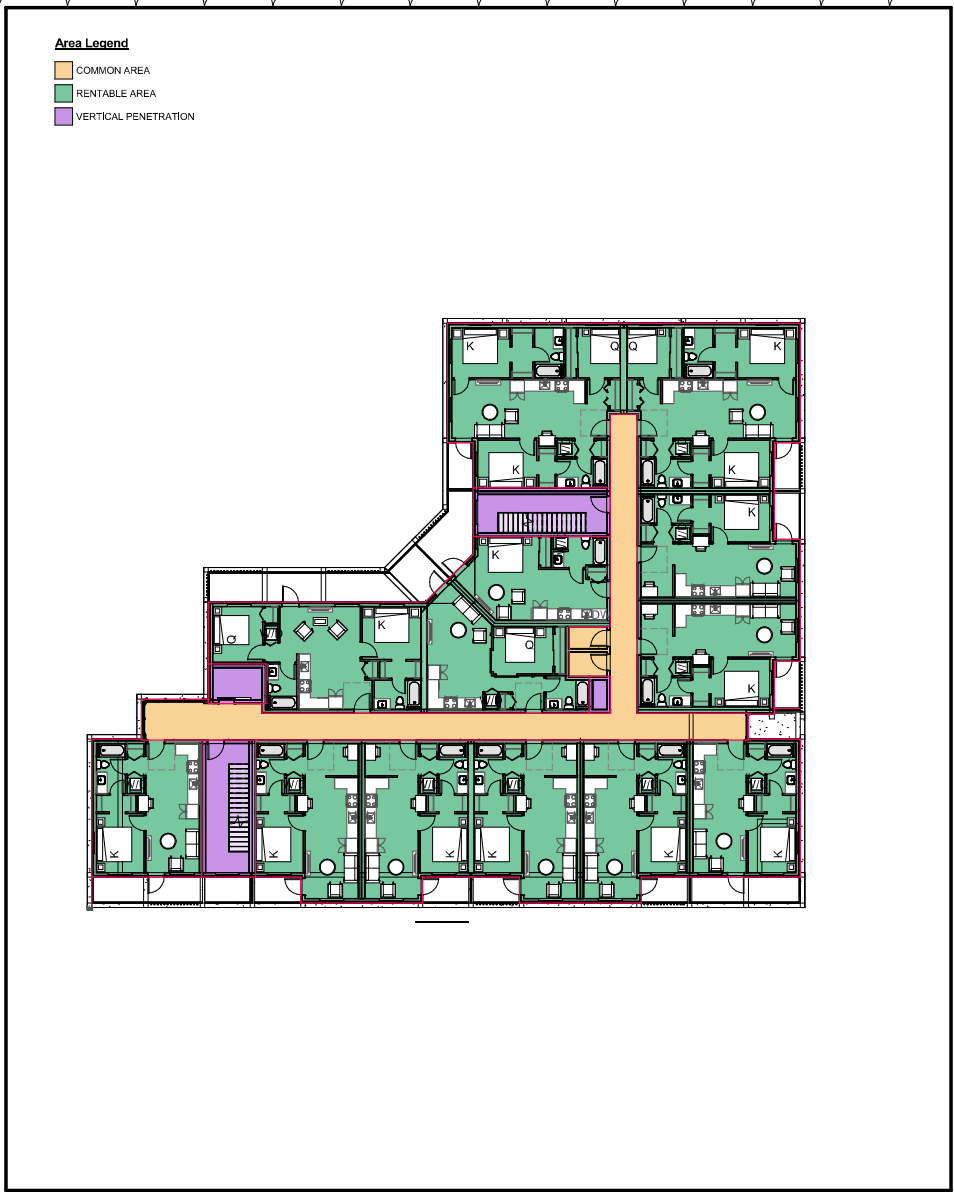


2	ISSUED FOR DP	2023-11-02
1	ISSUED FOR DP-REV	2023-11-21
No.	Description	Date

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1 | RENTABLE AREA PLAN - L1
1 : 200



2 | RENTABLE AREA PLAN - L2-L4
1 : 200



3 | RENTABLE AREA PLAN - L5-L6
1 : 200

BOMA Area Schedule (Rentable)		
Level	Name	Area
COMMON AREA		
L1	COMMON AREA	125.6 m ²
L2	COMMON AREA	92.5 m ²
L3	COMMON AREA	92.5 m ²
L4	COMMON AREA	92.5 m ²
L5	COMMON AREA	74.9 m ²
L6	COMMON AREA	74.9 m ²
		552.9 m ²
RENTABLE AREA		
L1	RENTABLE AREA	706 m ²
L2	RENTABLE AREA	774.1 m ²
L3	RENTABLE AREA	774.1 m ²
L4	RENTABLE AREA	774.1 m ²
L5	RENTABLE AREA	591.7 m ²
L6	RENTABLE AREA	591.7 m ²
		4211.8 m ²
VERTICAL PENETRATION		
L1	VERTICAL PENETRATION	56.6 m ²
L2	VERTICAL PENETRATION	56.6 m ²
L3	VERTICAL PENETRATION	56.6 m ²
L4	VERTICAL PENETRATION	56.6 m ²
L5	VERTICAL PENETRATION	57 m ²
L6	VERTICAL PENETRATION	57 m ²
		340.6 m ²
Grand total		5105.4 m ²

PARKING DATA

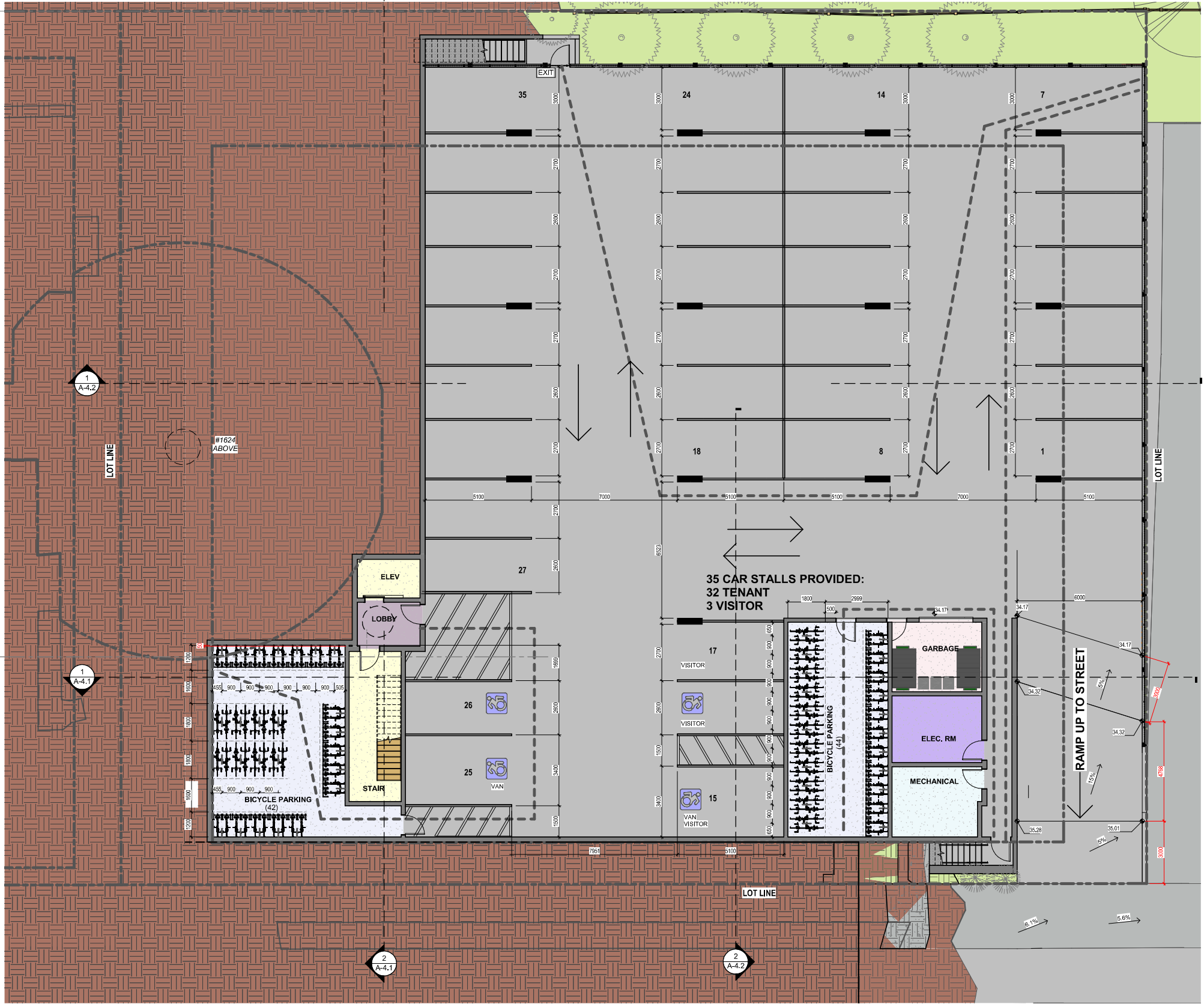
RESIDENTIAL PARKING STALLS	REQUIRED	PROVIDED
< 45m² 0.75 / UNIT x 26 =	19.5	
45-70m² 0.9 / UNIT x 39 =	35.1	
> 70m² 1.3 / UNIT x 8 =	10.4	
VISITOR STALLS: 0.1 / UNIT x 73 =	7.3	
TOTAL:	73	35
LONG-TERM BICYCLE PARKING	REQUIRED	PROVIDED
< 45 m² 1 / UNIT x 26 =	26	26
> 45m² 1.25 / UNIT x 47 =	59	60
SUB TOTAL =	85	86
SHORT-TERM BICYCLE PARKING	REQUIRED	PROVIDED
0.1 / UNIT x 73 =	7	8
TOTAL:	90	94

TOTAL UNITS BY AREA UNDER 45m2 (AREA FOR PARKING CALCULATION)		TOTAL UNITS BY AREA 45m2 to 70m2 (AREA FOR PARKING CALCULATION)	
UNIT TYPE	AREA	UNIT TYPE	AREA
STUDIO - TYPE 1	36.9 m²	STUDIO - TYPE 2	45.7 m²
36.9 m²: 6		45.7 m²: 6	
1 BED - TYPE 2	43.7 m²	1 BED - TYPE 3	46.2 m²
43.7 m²: 2		46.2 m²: 4	
1 BED - TYPE 1	43.9 m²	1 BED - TYPE 4	47.5 m²
1 BED - TYPE 2	43.9 m²	47.5 m²: 1	
43.9 m²: 18		1+DEN	48.5 m²
TOTAL UNIT COUNT: 26		48.5 m²: 20	
TOTAL UNITS BY AREA GREATER THAN 70m2 (AREA FOR PARKING CALCULATION)		2 BED - TYPE 1	62.7 m²
UNIT TYPE	Area	62.7 m²: 6	
3 BED	81.5 m²	2 BED - TYPE 2	66.5 m²
81.5 m²: 8		66.5 m²: 2	
TOTAL UNIT COUNT: 8		TOTAL UNIT COUNT: 39	

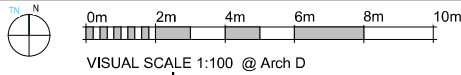
EGRESS DATA - PARKADE

EXIT ROUTE LABEL	SEGMENT	DISTANCE
EXIT PATH 1		
EXIT PATH 1	01 START	21.17 m
EXIT PATH 1	02 MIDDLE	18.02 m
EXIT PATH 1	02 MIDDLE	12.30 m
EXIT PATH 1	03 END	7.73 m
		59.21 m
EXIT PATH 2		
EXIT PATH 2	01 START	34.02 m
EXIT PATH 2	03 END	6.66 m
		40.69 m
EXIT PATH 3		
EXIT PATH 3	01 START	3.93 m
EXIT PATH 3	02 MIDDLE	5.81 m
EXIT PATH 3	02 MIDDLE	10.23 m
EXIT PATH 3	02 MIDDLE	9.15 m
EXIT PATH 3	02 MIDDLE	5.48 m
		34.59 m
EXIT PATH 4		
EXIT PATH 4	01 START	10.57 m
EXIT PATH 4	02 MIDDLE	7.21 m
EXIT PATH 4	02 MIDDLE	10.90 m
		28.69 m

MAXIMUM PATH OF EGRESS NOT TO EXCEED 45M FOR SPRINKLERED LIGHT INDUSTRIAL OCCUPANCY



1 | PARKADE PLAN
1 : 100



VISUAL SCALE 1:100 @ Arch D

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PRIMEX INVESTMENTS

2	ISSUED FOR DP	2023-11-02
1	ISSUED FOR DP-REV	2023-11-21
No.	Description	Date

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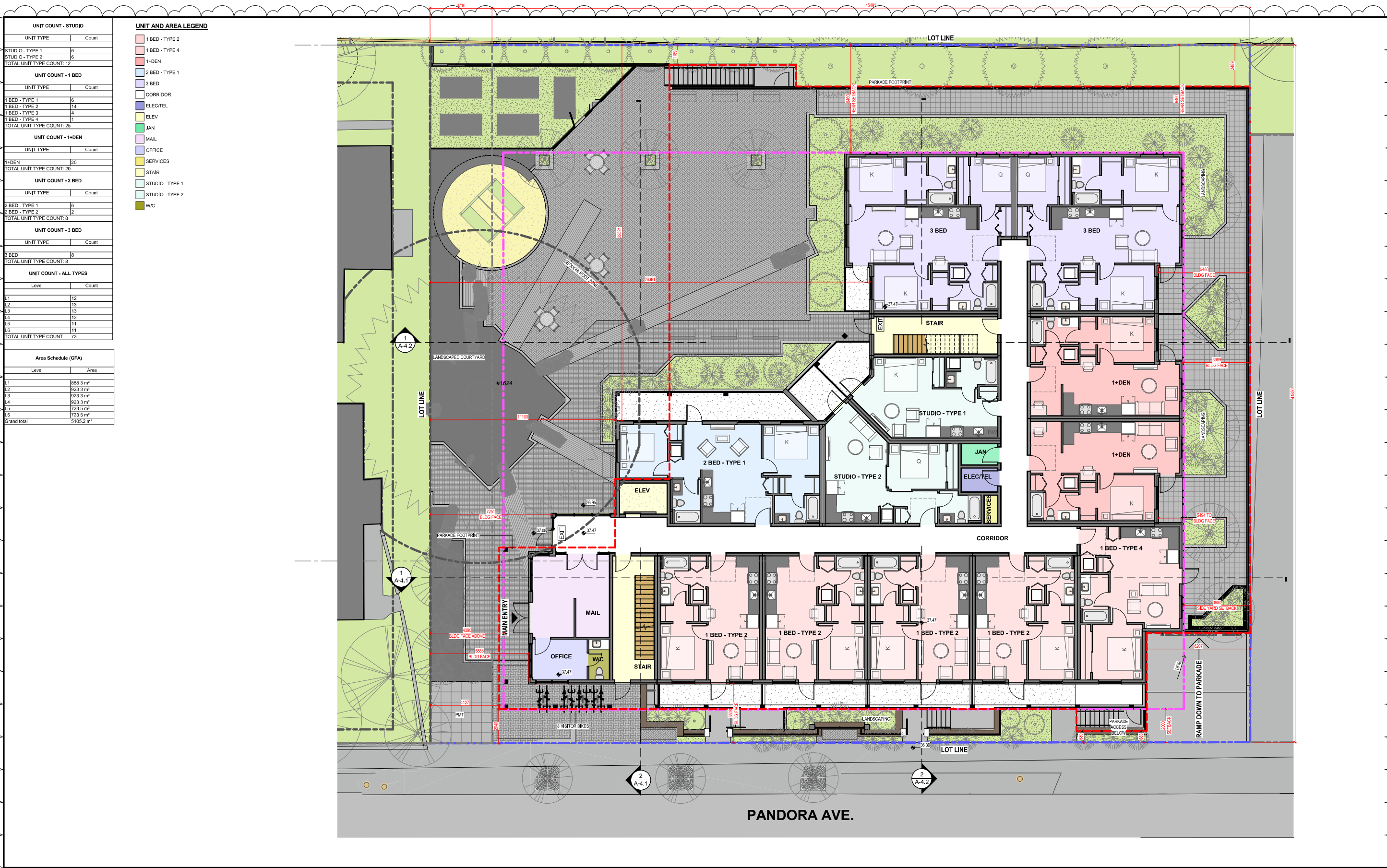
PARKADE PLAN

JOB No.: 2245













SCALE: As indicated

A-2.0

DATE: 2023/11/22



UNIT AND AREA LEGEND

	1 BED - TYPE 1
	1+DEN
	2 BED - TYPE 1
	3 BED
	CORRIDOR
	ELEC/TEL
	ELEV
	JAN
	SERVICES
	STAIR
	STUDIO - TYPE 1
	STUDIO - TYPE 2

This architectural floor plan illustrates a multi-unit residential building layout. The plan is oriented with a central corridor running horizontally, providing access to various apartment units. The units are categorized as follows:

- 1-BED - TYPE 1:** Located on the left side of the plan, featuring a kitchen (K), living area, and bathroom.
- 1+DEN:** Located in the center and right side of the plan, featuring a kitchen (K), living area, and den.
- 2-BED - TYPE 1:** Located in the center-left, featuring a kitchen (K), living area, and two bedrooms.
- STUDIO - TYPE 1 & 2:** Located in the center-right, featuring a kitchen (K), living area, and a den.
- 3-BED:** Located in the top right corner, featuring a kitchen (K), living area, and three bedrooms.

Common areas and services include:

- STAIR:** Multiple stairwells are distributed throughout the plan for vertical circulation.
- ELEV:** Elevator shafts are located near the central corridor.
- SERVICES:** Service areas, including a janitor's closet (JAN) and electrical closet (ELEC/TEL), are provided for building maintenance.

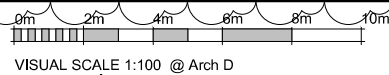
The plan is bounded by lot lines on the left, right, and bottom. Dimensions and section markers (A-4.1, A-4.2) are indicated along the boundaries. The overall layout is designed to maximize unit efficiency and provide convenient access to common areas and services.

UNIT COUNT - STUDIO		
UNIT TYPE	Count	
STUDIO - TYPE 1	6	
STUDIO - TYPE 2	6	
TOTAL UNIT TYPE COUNT:	12	
UNIT COUNT - 1 BED		
UNIT TYPE	Count	
1 BED - TYPE 1	6	
1 BED - TYPE 2	14	
1 BED - TYPE 3	4	
1 BED - TYPE 4	1	
TOTAL UNIT TYPE COUNT:	25	
UNIT COUNT - 1+DEN		
UNIT TYPE	Count	
1+DEN	20	
TOTAL UNIT TYPE COUNT:	20	
UNIT COUNT - 2 BED		
UNIT TYPE	Count	
2 BED - TYPE 1	6	
2 BED - TYPE 2	2	
TOTAL UNIT TYPE COUNT:	8	
UNIT COUNT - 3 BED		
UNIT TYPE	Count	
3 BED	8	
TOTAL UNIT TYPE COUNT:	8	
UNIT COUNT - ALL TYPES		
Level	Count	
L1	12	
L2	13	
L3	13	
L4	13	
L5	11	
L6	11	
TOTAL UNIT TYPE COUNT	73	
Area Schedule (GFA)		
Level	Area	
L1	688.3 m ²	
L2	923.3 m ²	
L3	923.3 m ²	
L4	923.3 m ²	
L5	723.5 m ²	
L6	723.5 m ²	
Grand total	5105.2 m ²	

UNIT AND AREA LEGEND	
1 BED - TYPE 1	
1+DEN	
2 BED - TYPE 1	
3 BED	
CORRIDOR	
ELEC/TEL	
ELEV	
JAN	
SERVICES	
STAIR	
STUDIO - TYPE 1	
STUDIO - TYPE 2	



1 FLOOR PLAN - L3
1:100



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PRIMEX INVESTMENTS

2	ISSUED FOR DP	2023-11-02
1	ISSUED FOR DP-REV	2023-11-21
No.	Description	Date

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SEQUOIA APARTMENTS

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FLOOR PLAN - L3

JOB No.: 2245

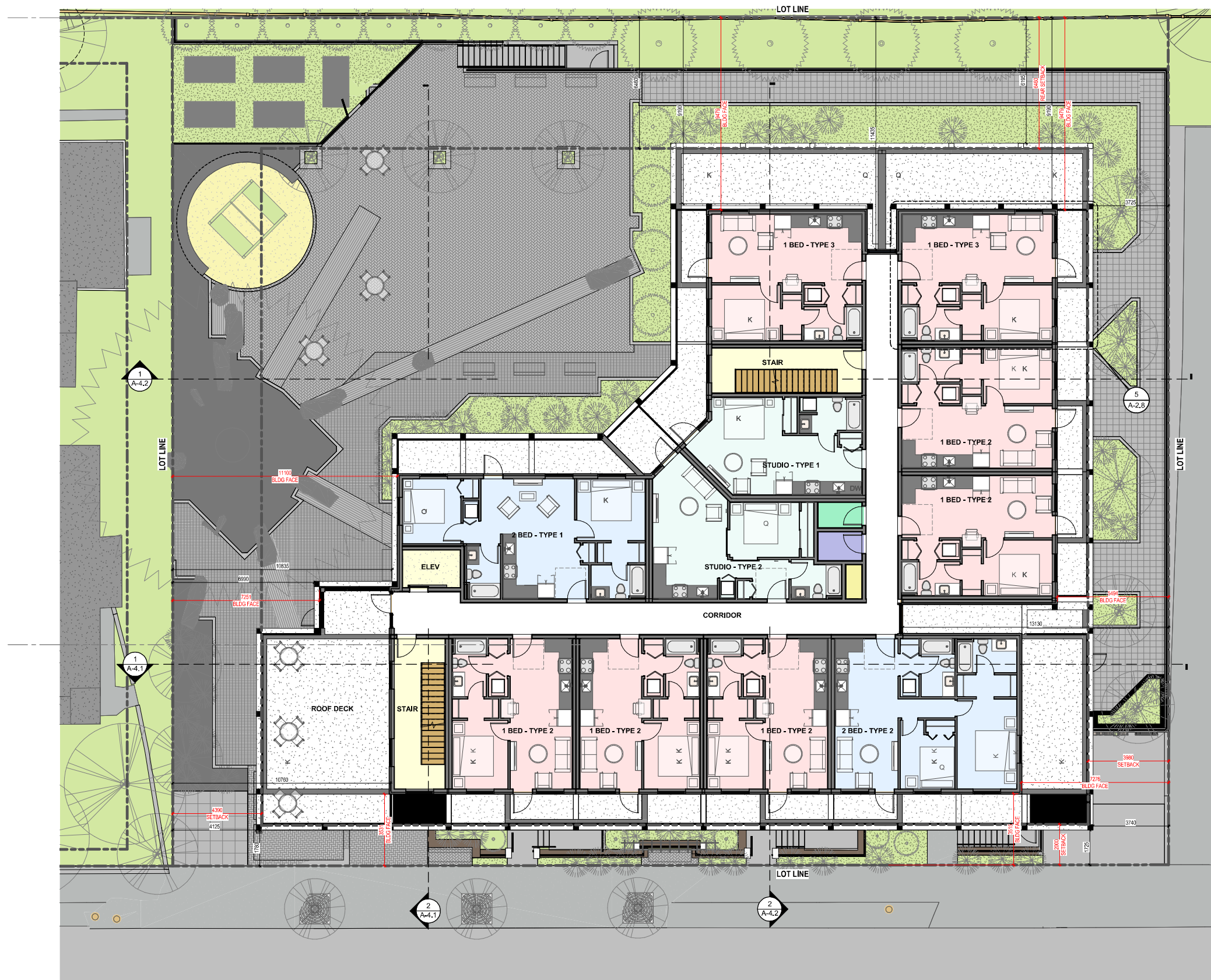
SCALE: 1:100

A-2.3

DATE: 2023/11/22

UNIT COUNT - STUDIO	
UNIT TYPE	Count
STUDIO - TYPE 1	6
STUDIO - TYPE 2	6
TOTAL UNIT TYPE COUNT: 12	
UNIT COUNT - 1 BED	
UNIT TYPE	Count
1 BED - TYPE 1	6
1 BED - TYPE 2	14
1 BED - TYPE 3	4
1 BED - TYPE 4	1
TOTAL UNIT TYPE COUNT: 25	
UNIT COUNT - 1+DEN	
UNIT TYPE	Count
1+DEN	20
TOTAL UNIT TYPE COUNT: 20	
UNIT COUNT - 2 BED	
UNIT TYPE	Count
2 BED - TYPE 1	6
2 BED - TYPE 2	2
TOTAL UNIT TYPE COUNT: 8	
UNIT COUNT - 3 BED	
UNIT TYPE	Count
3 BED	8
TOTAL UNIT TYPE COUNT: 8	
UNIT COUNT - ALL TYPES	
Level	Count
L1	12
L2	13
L3	13
L4	13
L5	11
L6	11
TOTAL UNIT TYPE COUNT	73
Area Schedule (GFA)	
Level	Area
L1	688.3 m ²
L2	923.3 m ²
L3	923.3 m ²
L4	923.3 m ²
L5	723.5 m ²
L6	723.5 m ²
Grand total	5105.2 m ²

UNIT AND AREA LEGEND	
	1 BED - TYPE 2
	1 BED - TYPE 3
	2 BED - TYPE 1
	2 BED - TYPE 2
	CORRIDOR
	ELEV/TEL
	ELEV
	JAN
	SERVICES
	STAIR
	STUDIO - TYPE 1
	STUDIO - TYPE 2



1 FLOOR PLAN - L5-L6
1 : 100



2	ISSUED FOR DP	2023-11-02
1	ISSUED FOR DP-REV	2023-11-21
No.	Description	Date

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FLOOR PLAN - L5

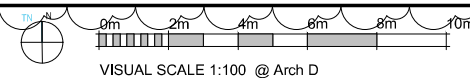
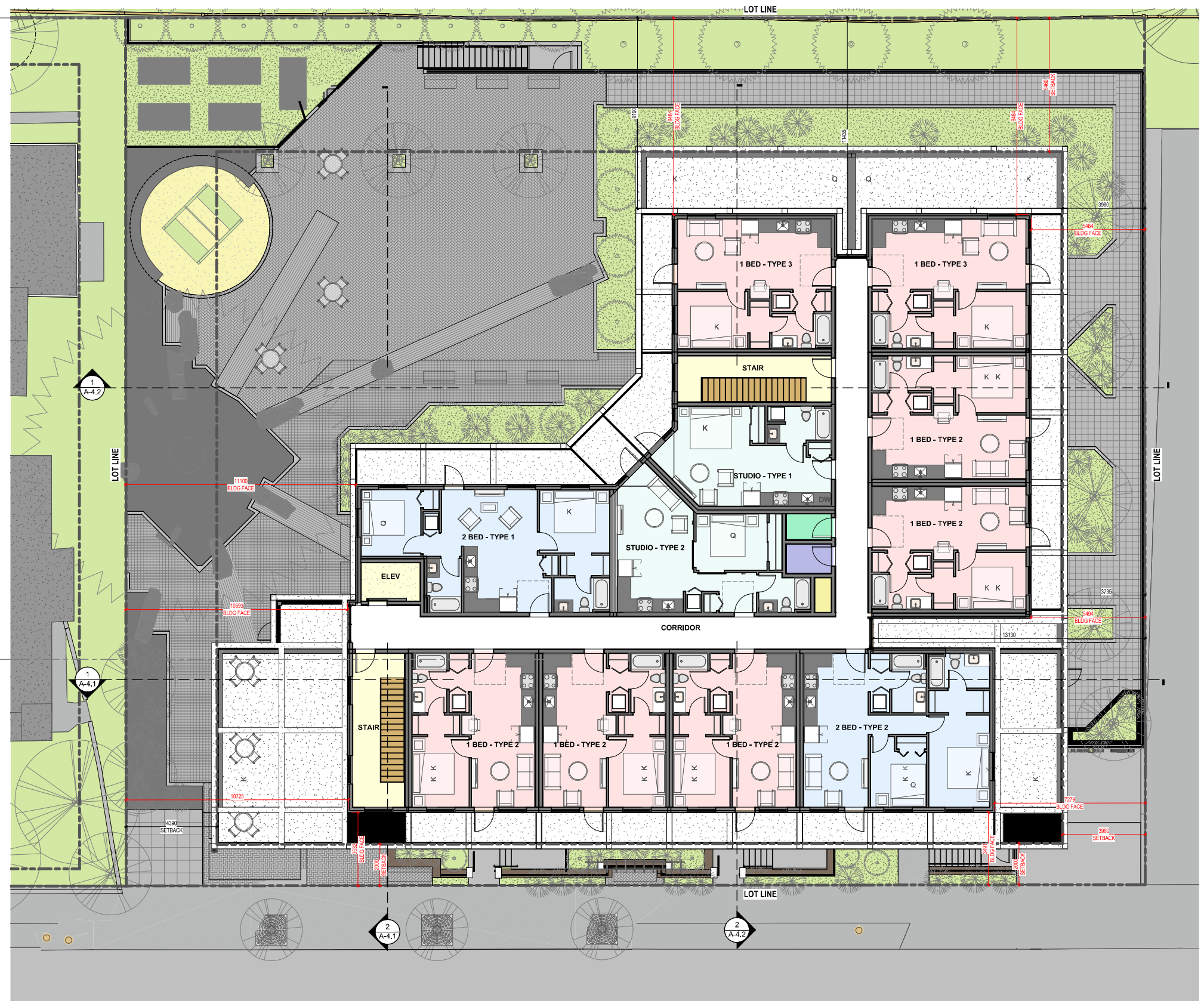
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SCALE: 1 : 100

A-2.5

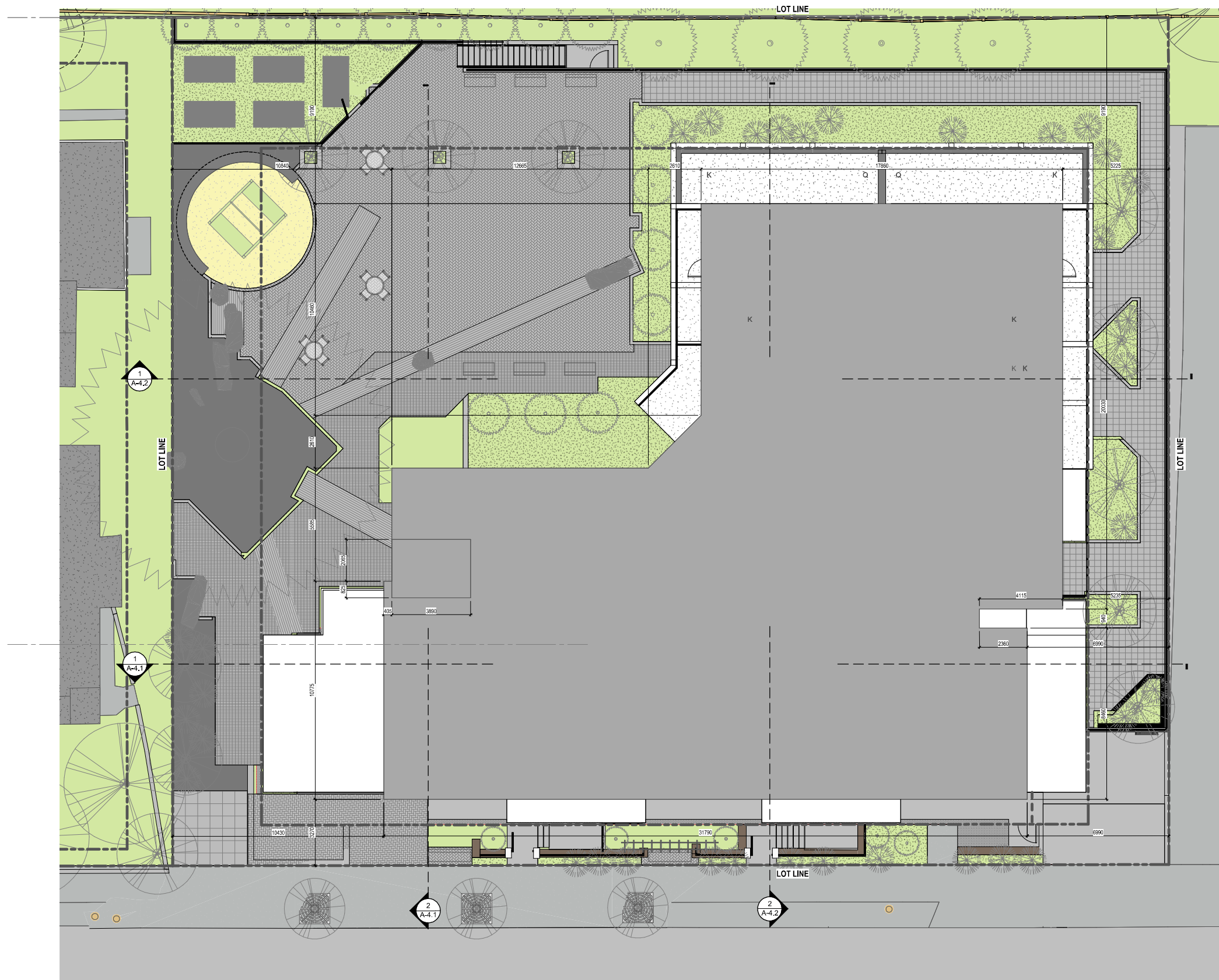
DATE: 2023/11/22

UNIT COUNT - STUDIO		
UNIT TYPE		Count
STUDIO - TYPE 1		6
STUDIO - TYPE 2		6
TOTAL UNIT TYPE COUNT: 12		
UNIT COUNT - 1 BED		
UNIT TYPE		Count
1 BED - TYPE 1		6
1 BED - TYPE 2		14
1 BED - TYPE 3		4
1 BED - TYPE 4		4
TOTAL UNIT TYPE COUNT: 25		
UNIT COUNT - 1+DEN		
UNIT TYPE		Count
1+DEN		20
TOTAL UNIT TYPE COUNT: 20		
UNIT COUNT - 2 BED		
UNIT TYPE		Count
2 BED - TYPE 1		6
2 BED - TYPE 2		6
TOTAL UNIT TYPE COUNT: 8		
UNIT COUNT - 3 BED		
UNIT TYPE		Count
3 BED		8
TOTAL UNIT TYPE COUNT: 8		
UNIT COUNT - ALL TYPES		
Level		Count
L1		12
L2		13
L3		13
L4		13
L5		11
L6		11
TOTAL UNIT TYPE COUNT 73		
Area Schedule (GFA)		
Level		Area
L1		898.3 m²
L2		923.3 m²
L3		923.3 m²
L4		923.3 m²
L5		723.5 m²
L6		723.5 m²
Grand Total		5165.2 m²

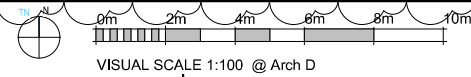


2	ISSUED FOR DP REVISION	2023-11-22
1	ISSUED FOR DP/REV	2023-11-21
No.	Description	Date

SEQUOIA APARTMENTS



1 ROOF PLAN
1:100



2	ISSUED FOR DP	2023-11-22
1	ISSUED FOR DP-REV	2023-11-21
No.	Description	Date

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SEQUOIA APARTMENTS

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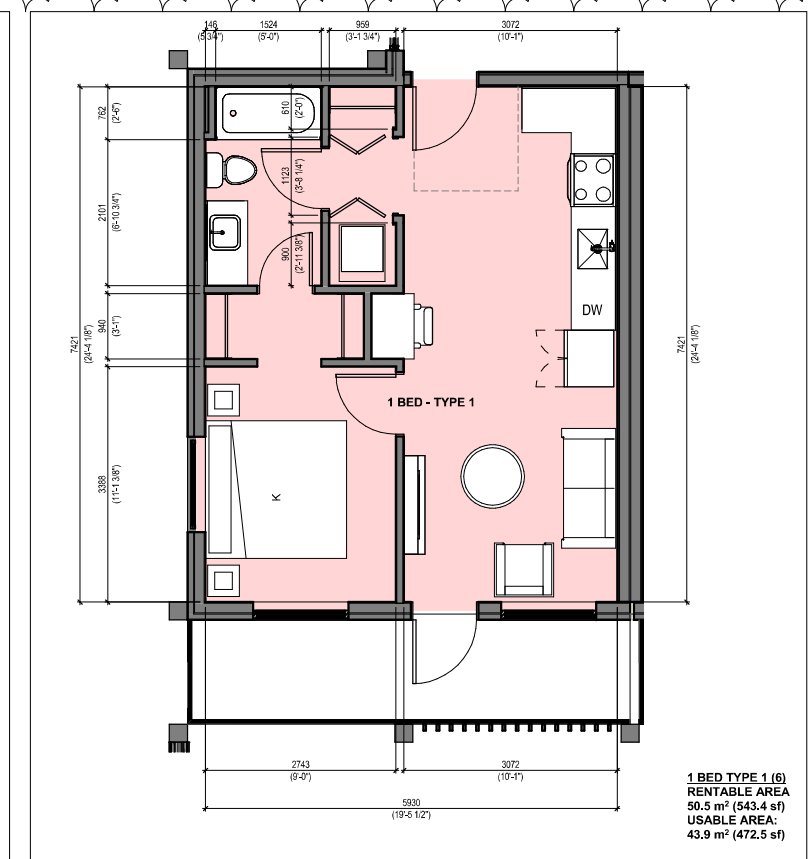
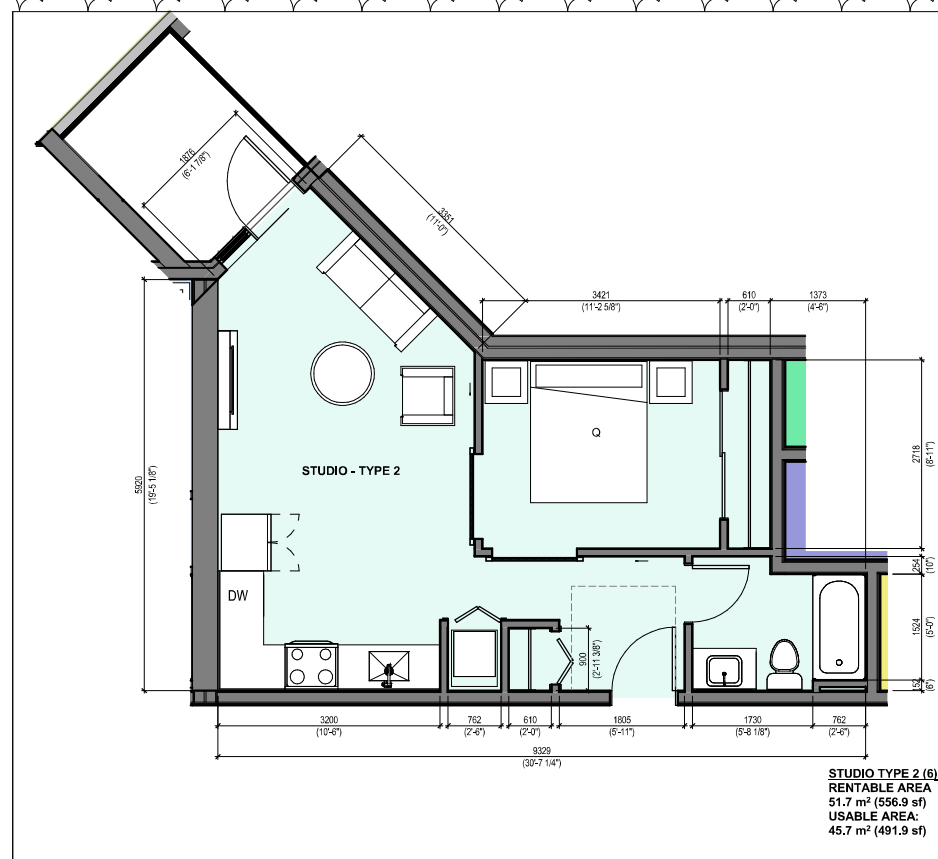
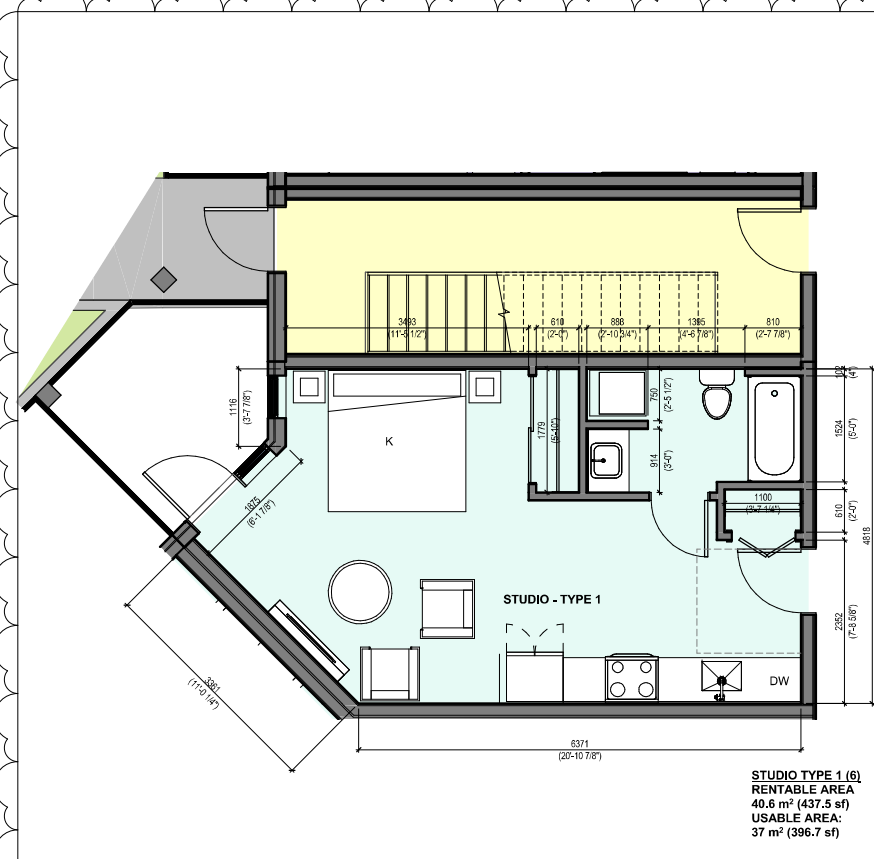
ROOF PLAN

JOB No.: 2245

SCALE: 1:100

A-2.7

DATE: 2023/11/22



UNIT COUNT - STUDIO	
UNIT TYPE	Count
STUDIO - TYPE 1	6
STUDIO - TYPE 2	6
TOTAL UNIT TYPE COUNT: 12	

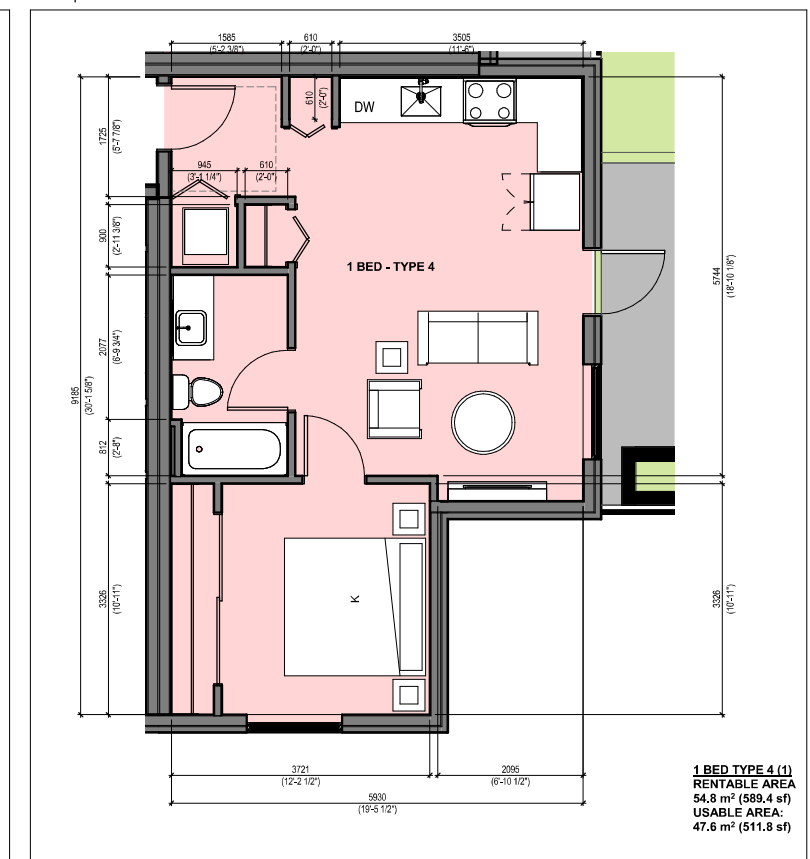
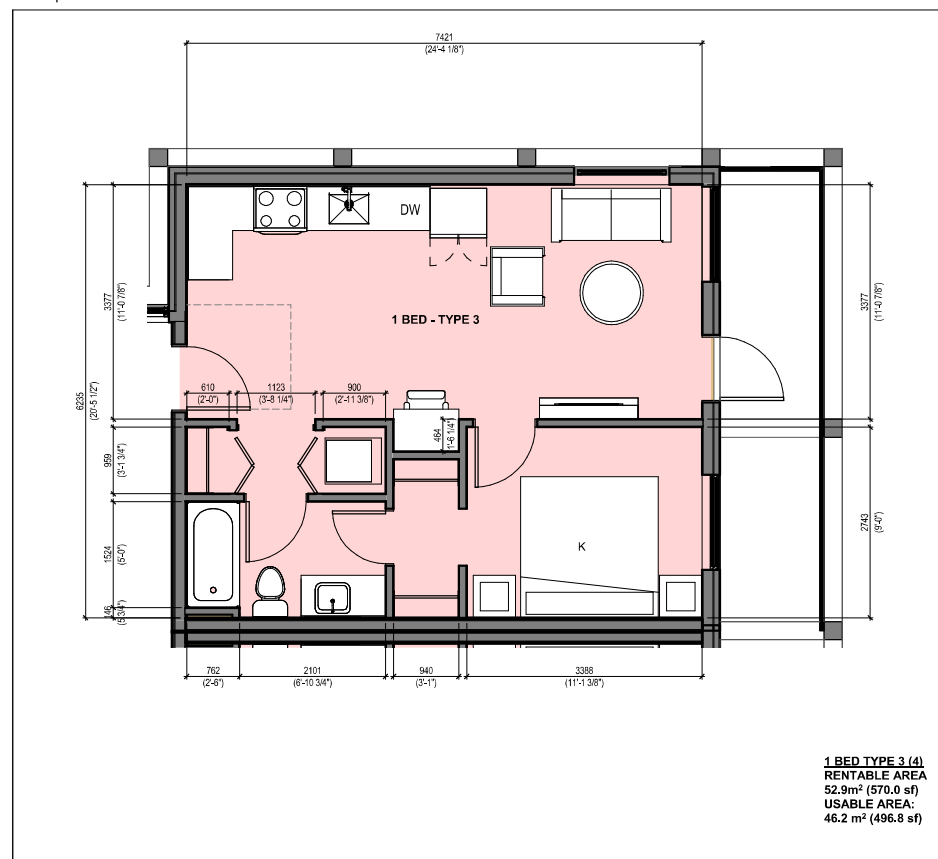
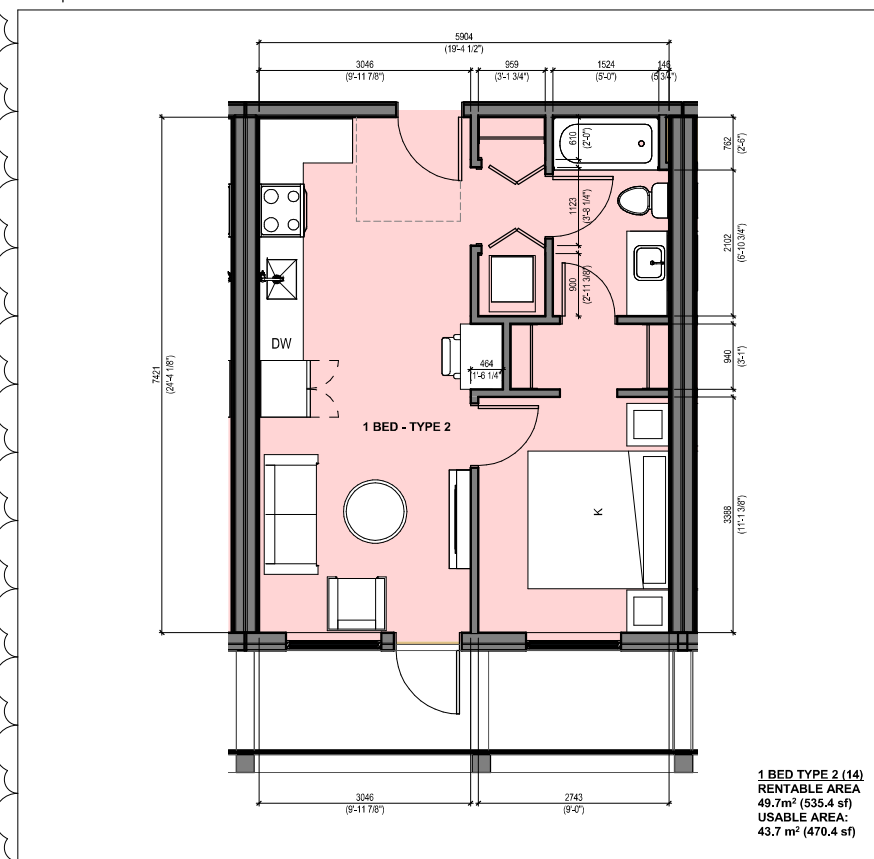
UNIT COUNT - 1 BED	
UNIT TYPE	Count
1 BED - TYPE 1	6
1 BED - TYPE 2	14
1 BED - TYPE 3	14
1 BED - TYPE 4	1
TOTAL UNIT TYPE COUNT: 35	

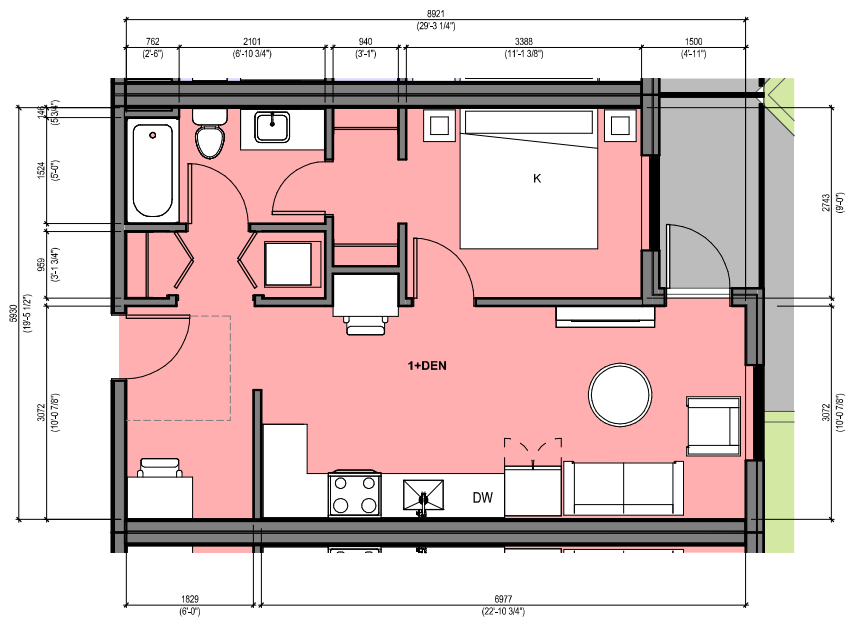
UNIT COUNT - 1+DEN	
UNIT TYPE	Count
1+DEN	20
TOTAL UNIT TYPE COUNT: 20	

UNIT COUNT - 2 BED	
UNIT TYPE	Count
2 BED - TYPE 1	6
2 BED - TYPE 2	2
TOTAL UNIT TYPE COUNT: 8	

UNIT COUNT - 3 BED	
UNIT TYPE	Count
3 BED	8
TOTAL UNIT TYPE COUNT: 8	

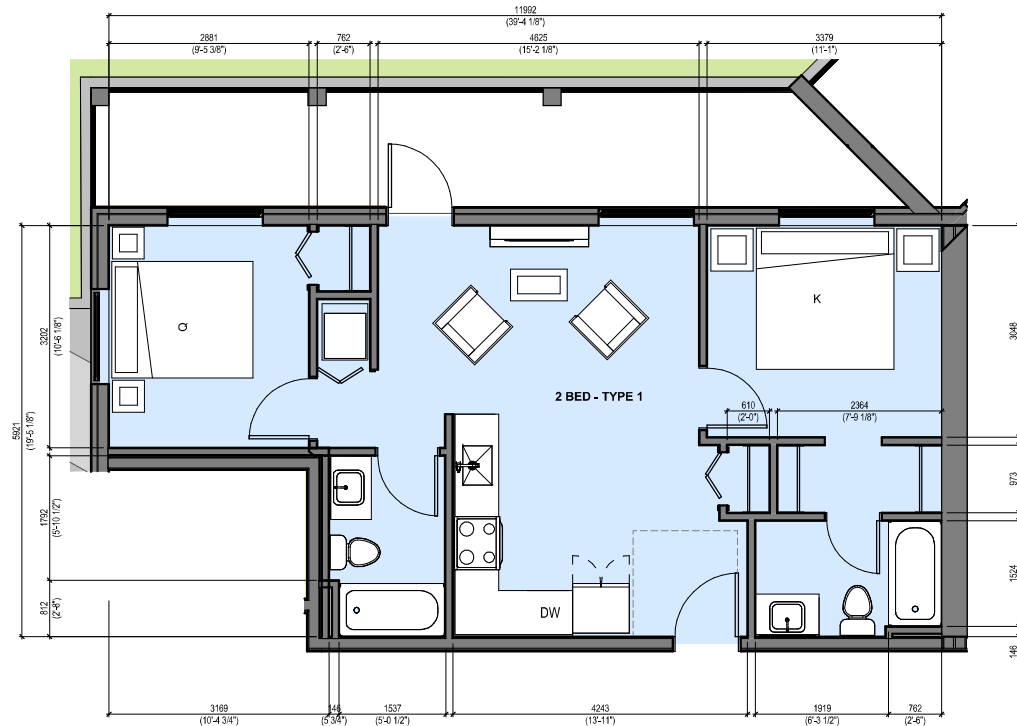
UNIT COUNT - ALL TYPES	
Level	Count
.1	12
.2	13
.3	13
.4	13
.5	11
.6	11
TOTAL UNIT TYPE COUNT	73





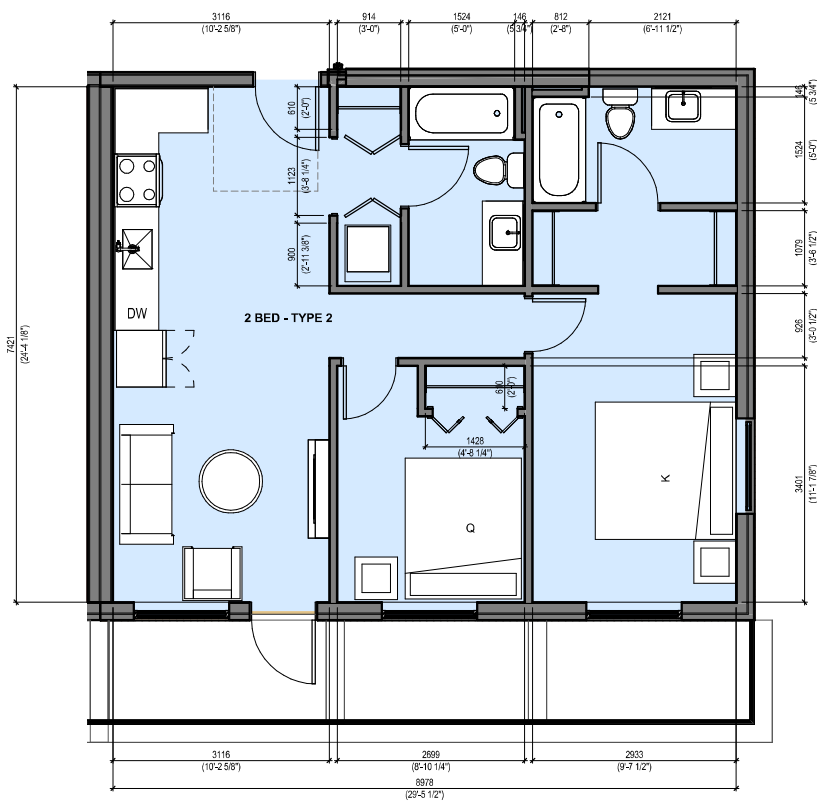
1 BED + DEN (20)
RENTABLE AREA
55.0 m² (592.2 sf)
USABLE AREA:
48.5 m² (522.1 sf)

UNIT PLAN - 1 BED + DEN
1 : 50



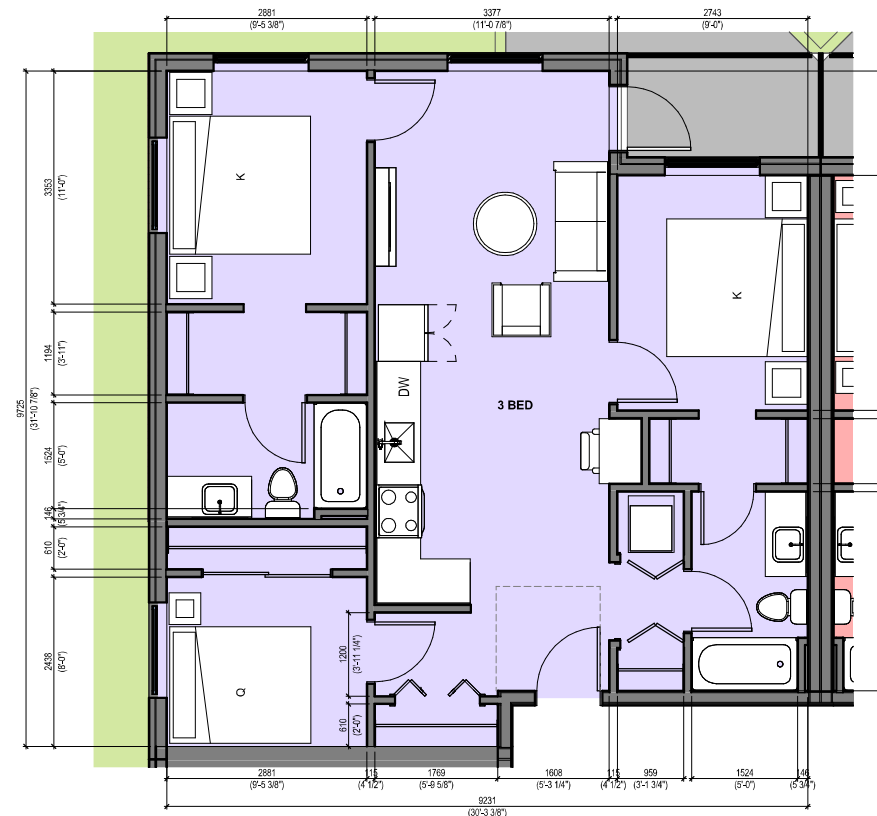
2 BED TYPE 1 (6)
RENTABLE AREA
70.1 m² (755.0sf)
USABLE AREA:
62.7 m² (674.6 sf)

UNIT PLAN - 2 BED TYPE 1
1 : 50



2 BED TYPE 2 (2)
RENTABLE AREA
74.7 m² (803.7 sf)
USABLE AREA:
66.5 m² (716.3 sf)

UNIT PLAN - 2 BED TYPE 2
1 : 50



3 BED (8)
RENTABLE AREA
90.8 m² (977.3 sf)
USABLE AREA:
81.5 m² (876.9 sf)

UNIT PLAN - 3 BED
1 : 50

UNIT COUNT - STUDIO	
UNIT TYPE	Count
STUDIO - TYPE 1	6
STUDIO - TYPE 2	6
TOTAL UNIT TYPE COUNT:	12

UNIT COUNT - 1 BED	
UNIT TYPE	Count
1 BED - TYPE 1	6
1 BED - TYPE 2	14
1 BED - TYPE 3	4
1 BED - TYPE 4	1
TOTAL UNIT TYPE COUNT:	25

UNIT COUNT - 1+DEN	
UNIT TYPE	Count
1+DEN	20
TOTAL UNIT TYPE COUNT:	20

UNIT COUNT - 2 BED	
UNIT TYPE	Count
2 BED - TYPE 1	6
2 BED - TYPE 2	2
TOTAL UNIT TYPE COUNT:	8

UNIT COUNT - 3 BED	
UNIT TYPE	Count
3 BED	8
TOTAL UNIT TYPE COUNT:	8

UNIT COUNT - ALL TYPES	
Level	Count
L1	12
L2	13
L3	13
L4	13
L5	11
L6	11
TOTAL UNIT TYPE COUNT	73



1 | PANDORA AVE LOOKING NORTH
1 : 200

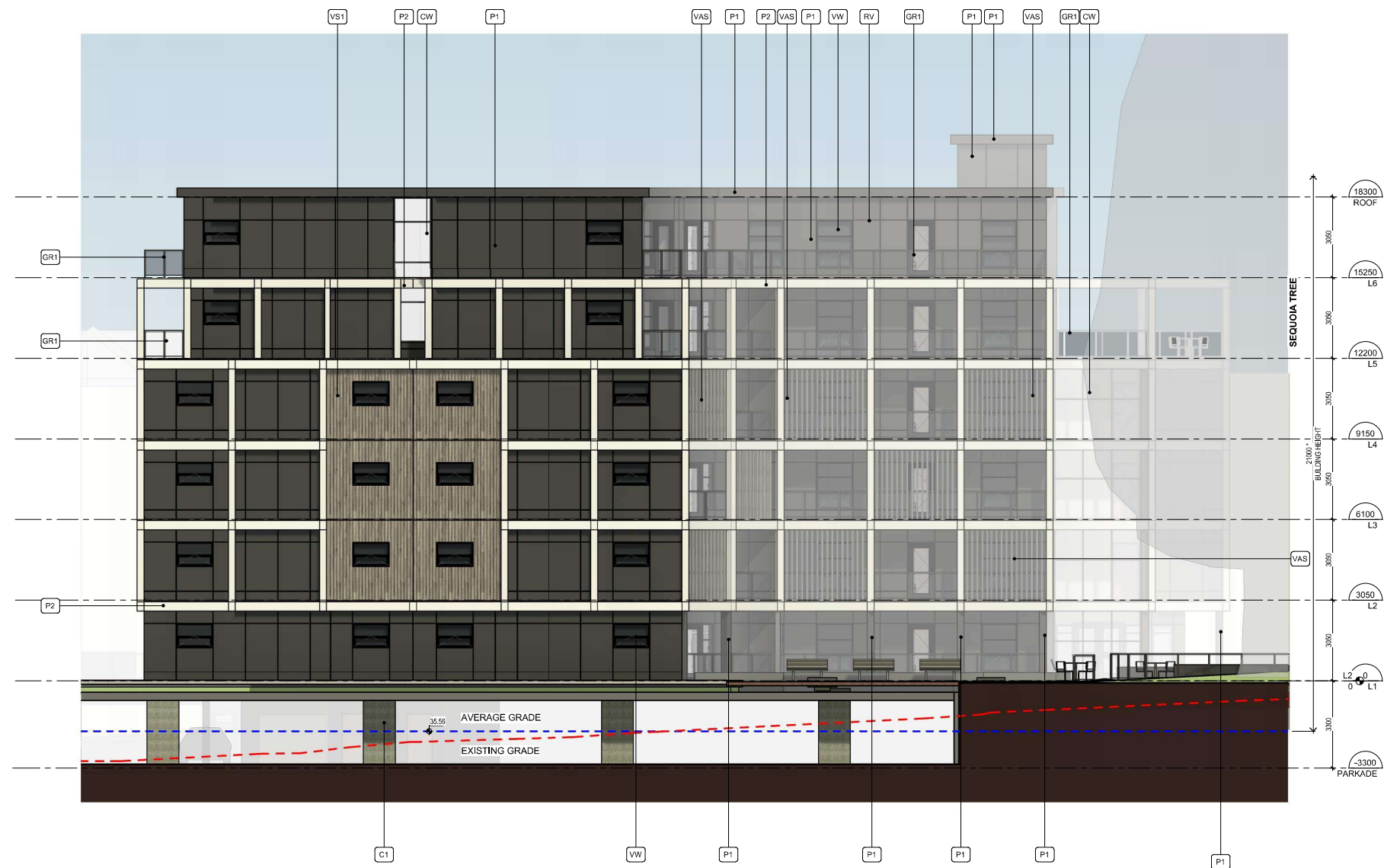


2 | WEST ELEVATION STREETSCAPE
1 : 200



3 | EAST ELEVATION STREETSCAPE
1 : 200
VISUAL SCALE 1:50 @ Arch D

EXTERIOR MATERIAL LEGEND
1 : 1



1 NORTH ELEVATION APARTMENT
1 : 100

0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D

VS1
VERTICAL SIDING
WESTFORM - PONDEROSA - SOLID PROBOARD

P1
HARDIE PANEL SIDING:
MIDNIGHT BLACK - SMOOTH

P2
HARDIE PANEL SIDING:
ARCTIC WHITE - SMOOTH

CW
CURTAIN WALL:
BLACK MULLIONS

GR1
ALUMINUM GUARD RAIL:
FROSTED GLAZING - BLACK ANODIZED

RV
REVEAL:
METAL - COLOUR MATCH
CC-12 FLAT CAP

3 EXTERIOR MATERIAL LEGEND
1 : 1

ELEVATION KEY NOTES	
KEY NOTE	FINISH AND MATERIAL
C1	CONCRETE - SANDBLAST FINISH
C2	CONCRETE - PAINT FINISH - WHITE
C3	CONCRETE - PAINT FINISH - BLACK
CW	CURTAINWALL - BLACK ANODIZED
GR1	ALUMINUM GUARDRAIL - FROSTED GLAZING - BLACK ANODIZED
P1	PANEL SIDING - MIDNIGHT BLACK - HARDIE PANEL SIDING
P2	PANEL SIDING - ARCTIC WHITE - HARDIE PANEL SIDING
RV	REVEAL - COLOUR MATCH w/ CLADDING
TWF	THROUGH-WALL FLASHING - COLOUR MATCH
VAS	VERTICAL ALUMINUM SCREEN - PONDEROSA - WESTFORM SOLID PROBOARD
VS1	VERTICAL SIDING - PONDEROSA - WESTFORM SOLID PROBOARD 4"
VW	VINYL WINDOW - BLACK



1 EAST ELEVATION APARTMENT
1:100

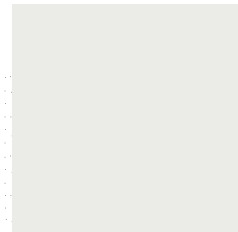
0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D



VS1
VERTICAL SIDING
WESTFORM - PONDEROSA - SOLID PROBOARD 4"



P1
HARDIE PANEL SIDING:
MIDNIGHT BLACK - SMOOTH



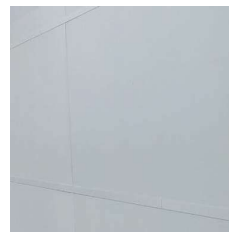
P2
HARDIE PANEL SIDING:
ARCTIC WHITE - SMOOTH



CW
CURTAIN WALL:
BLACK MULLIONS



GR1
ALUMINUM GUARD RAIL:
FROSTED GLAZING - BLACK ANODIZED



RV
REVEAL:
METAL - COLOUR MATCH
FC-12 FLAT CAP

ELEVATION KEY NOTES

KEY NOTE	FINISH AND MATERIAL
C1	CONCRETE - SANDBLAST FINISH
C2	CONCRETE - PAINT FINISH - WHITE
C3	CONCRETE - PAINT FINISH - BLACK
CW	CURTAINWALL - BLACK ANODIZED
GR1	ALUMINUM GUARDRAIL - FROSTED GLAZING - BLACK ANODIZED
P1	PANEL SIDING - MIDNIGHT BLACK - HARDIE PANEL SIDING
P2	PANEL SIDING - ARCTIC WHITE - HARDIE PANEL SIDING
RV	REVEAL - COLOUR MATCH w/ CLADDING
TWF	THROUGH-WALL FLASHING - COLOUR MATCH
VAS	VERTICAL ALUMINUM SCREEN - PONDEROSA - WESTFORM SOLID PROBOARD
VS1	VERTICAL SIDING - PONDEROSA - WESTFORM SOLID PROBOARD 4"
VW	VINYL WINDOW - BLACK

EXTERIOR MATERIAL LEGEND

1:1

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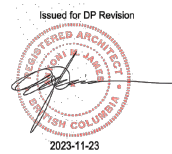
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PRIMEX INVESTMENTS

No.	ISSUED FOR DP REVISION Description	Date
2		2023-11-22

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SEQUOIA APARTMENTS

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ELEVATIONS

A-3.2

JOB No.: 2245

SCALE: As indicated

DATE: 2023/11/22



SOUTH ELEVATION APARTMENT

1:100

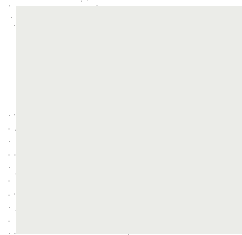
VISUAL SCALE 1:100 @ Arch D



VS1
VERTICAL SIDING
WESTFORM - PONDEROSA - SOLID PROBOARD 4"



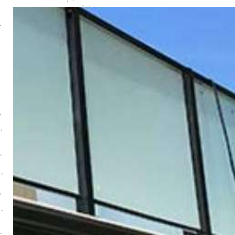
P1
HARDIE PANEL SIDING:
MIDNIGHT BLACK - SMOOTH



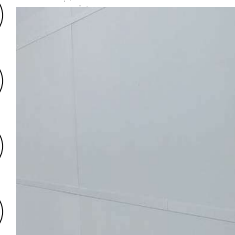
P2
HARDIE PANEL SIDING:
ARCTIC WHITE - SMOOTH



CW
CURTAIN WALL:
BLACK MULLIONS



GR1
ALUMINUM GUARD RAIL:
FROSTED GLAZING - BLACK ANODIZED



RV
REVEAL:
METAL - COLOUR MATCH
FG-12 FLAT CAP

ELEVATION KEY NOTES

KEY NOTE	FINISH AND MATERIAL
C1	CONCRETE - SANDBLAST FINISH
C2	CONCRETE - PAINT FINISH - WHITE
C3	CONCRETE - PAINT FINISH - BLACK
CW	CURTAINWALL - BLACK ANODIZED
GR1	ALUMINUM GUARDRAIL - FROSTED GLAZING - BLACK ANODIZED
P1	PANEL SIDING - MIDNIGHT BLACK - HARDIE PANEL SIDING
P2	PANEL SIDING - ARCTIC WHITE - HARDIE PANEL SIDING
RV	REVEAL - COLOUR MATCH w/ CLADDING
TWF	THROUGH-WALL FLASHING - COLOUR MATCH
VAS	VERTICAL ALUMINUM SCREEN - PONDEROSA - WESTFORM SOLID PROBOARD
VS1	VERTICAL SIDING - PONDEROSA - WESTFORM SOLID PROBOARD 4"
VW	VINYL WINDOW - BLACK

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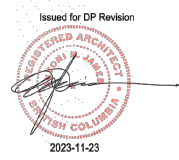
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PRIMEX INVESTMENTS

2	ISSUED FOR DP	2023-11-02
1	REVISION	
No.	Description	Date

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ELEVATIONS

JOB No.: 2245

SCALE: As indicated

A-3.3

DATE: 2023/11/22



1 WEST ELEVATION APARTMENT
1:100

0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D



VAS1
VERTICAL SIDING
WESTFORM - PONDEROSA - SOLID PROBOARD 4"



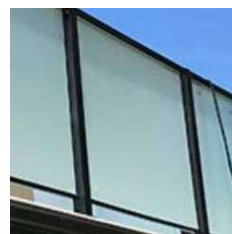
P1
HARDIE PANEL SIDING
MIDNIGHT BLACK - SMOOTH



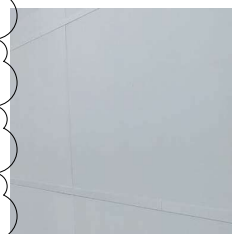
P2
HARDIE PANEL SIDING
ARCTIC WHITE - SMOOTH



CW
CURTAIN WALL
BLACK MULLIONS



GR1
ALUMINUM GUARD RAIL
FROSTED GLAZING - BLACK ANODIZED



RV
REVEAL
METAL - COLOUR MATCH
FC-12 FLAT CAP

ELEVATION KEY NOTES

KEY NOTE	FINISH AND MATERIAL
C1	CONCRETE - SANDBLAST FINISH
C2	CONCRETE - PAINT FINISH - WHITE
C3	CONCRETE - PAINT FINISH - BLACK
CW	CURTAINWALL - BLACK ANODIZED
GR1	ALUMINUM GUARDRAIL - FROSTED GLAZING - BLACK ANODIZED
P1	PANEL SIDING - MIDNIGHT BLACK - HARDIE PANEL SIDING
P2	PANEL SIDING - ARCTIC WHITE - HARDIE PANEL SIDING
RV	REVEAL - COLOUR MATCH w/ CLADDING
TWF	THROUGH-WALL FLASHING - COLOUR MATCH
VAS	VERTICAL ALUMINUM SCREEN - PONDEROSA - WESTFORM SOLID PROBOARD
VS1	VERTICAL SIDING - PONDEROSA - WESTFORM SOLID PROBOARD 4"
VW	VINYL WINDOW - BLACK

EXTERIOR MATERIAL LEGEND 1:1

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PRIMEX INVESTMENTS

No.	ISSUED FOR DP REVISION Description	Date
2	ISSUED FOR DP REVISION	2023-11-22

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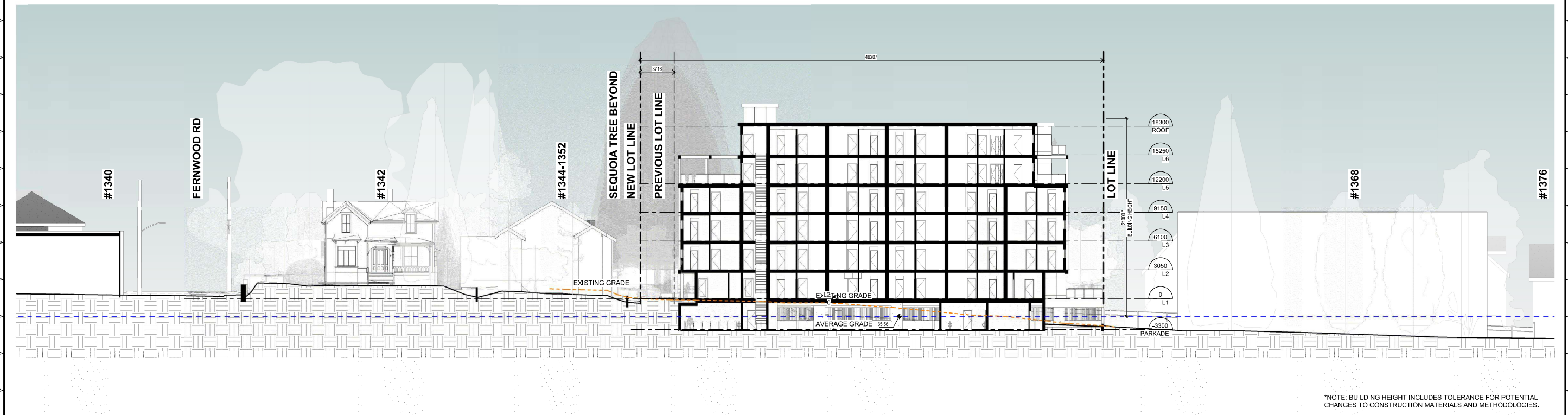
ELEVATIONS

JOB No.: 2245

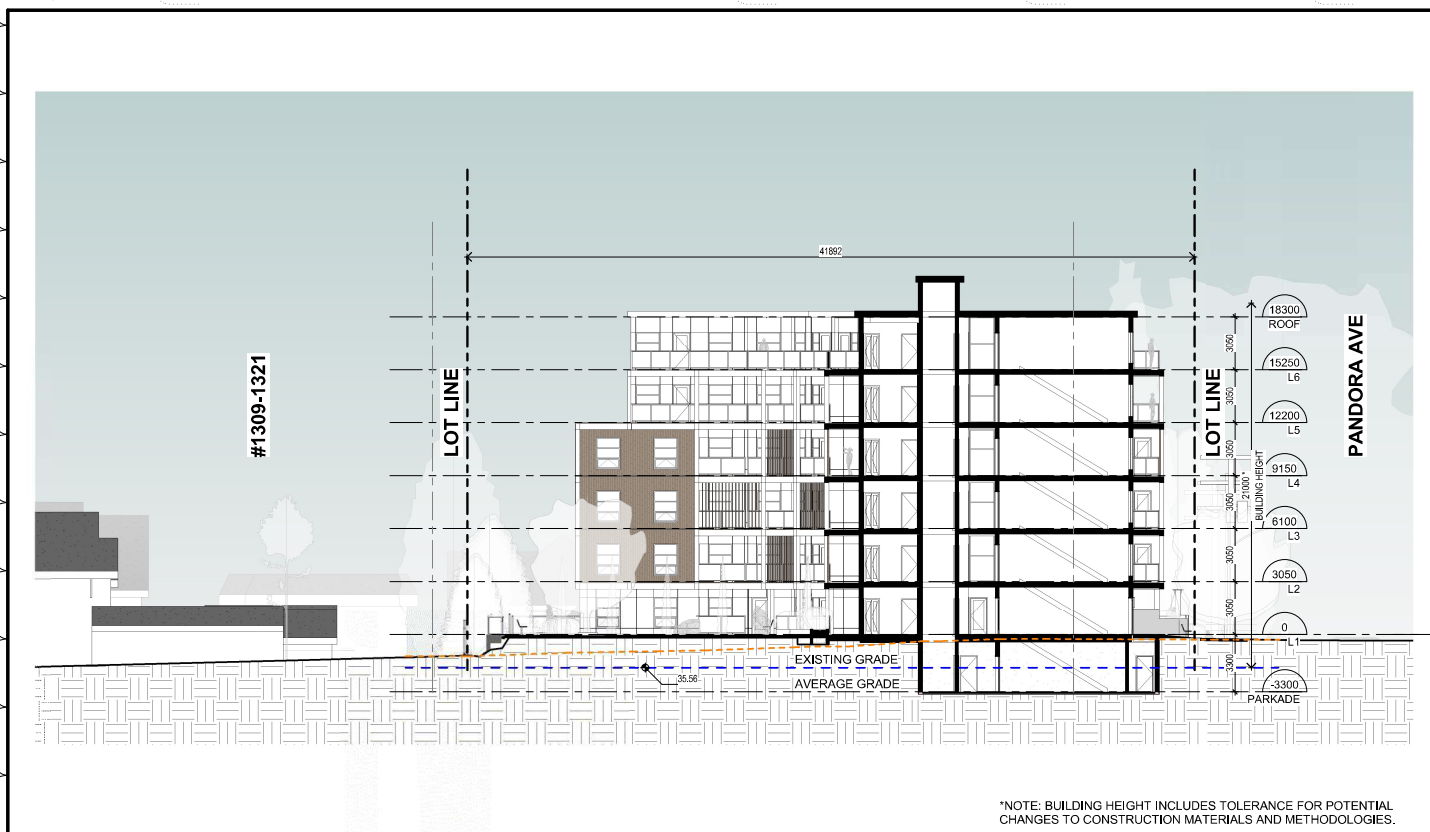
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A-3.4

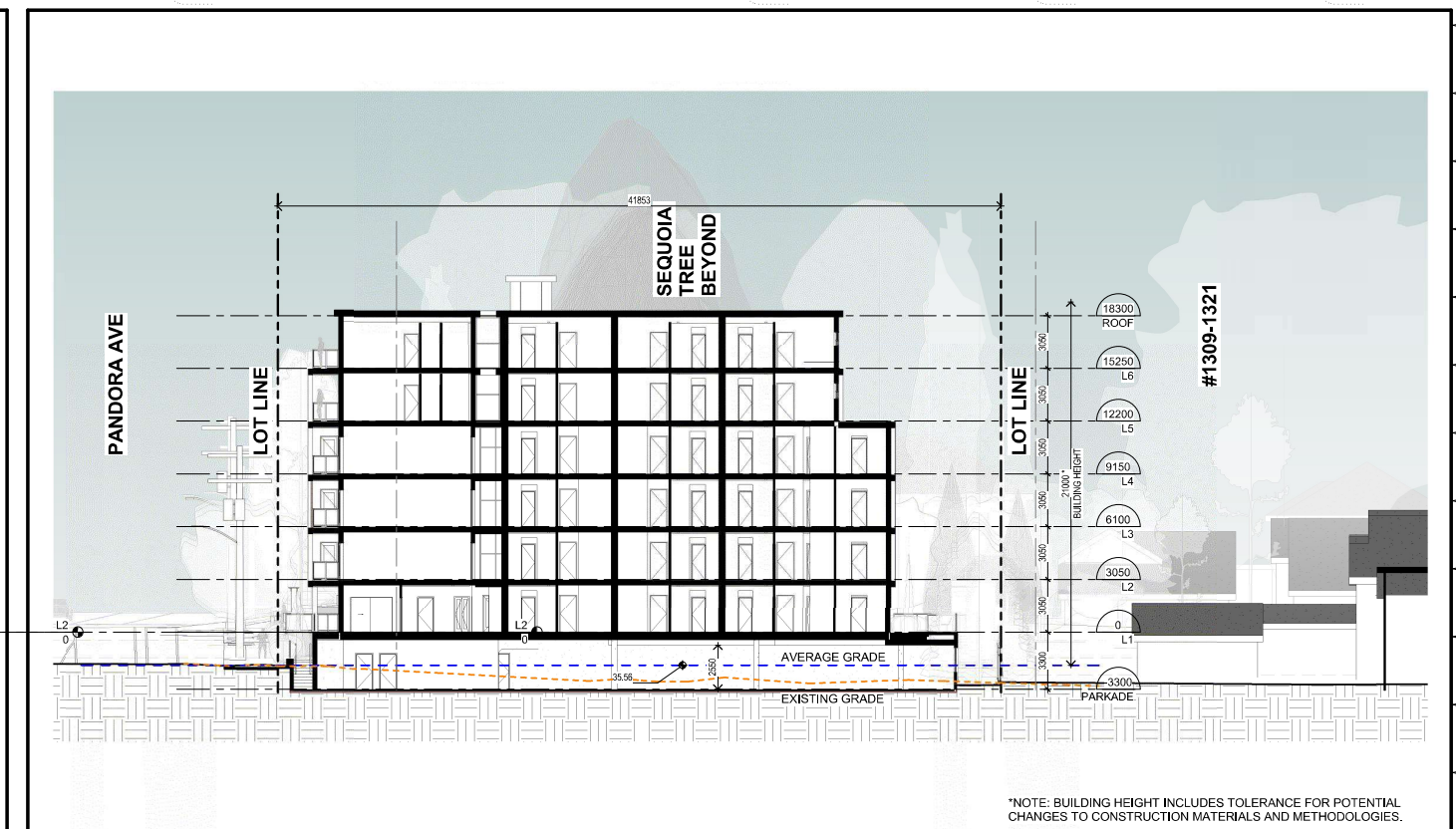
DATE: 2023/11/22



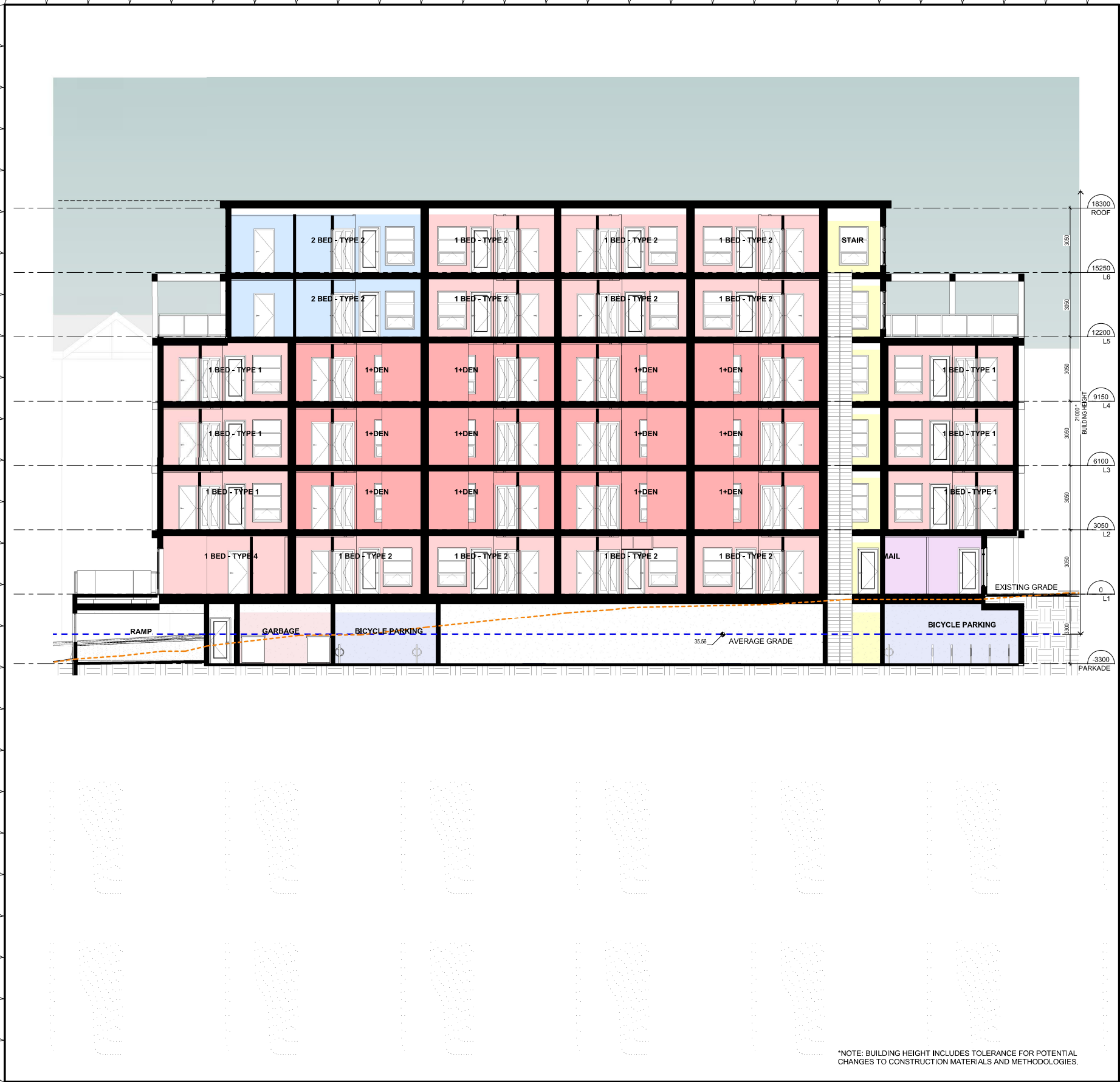
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1 : 200



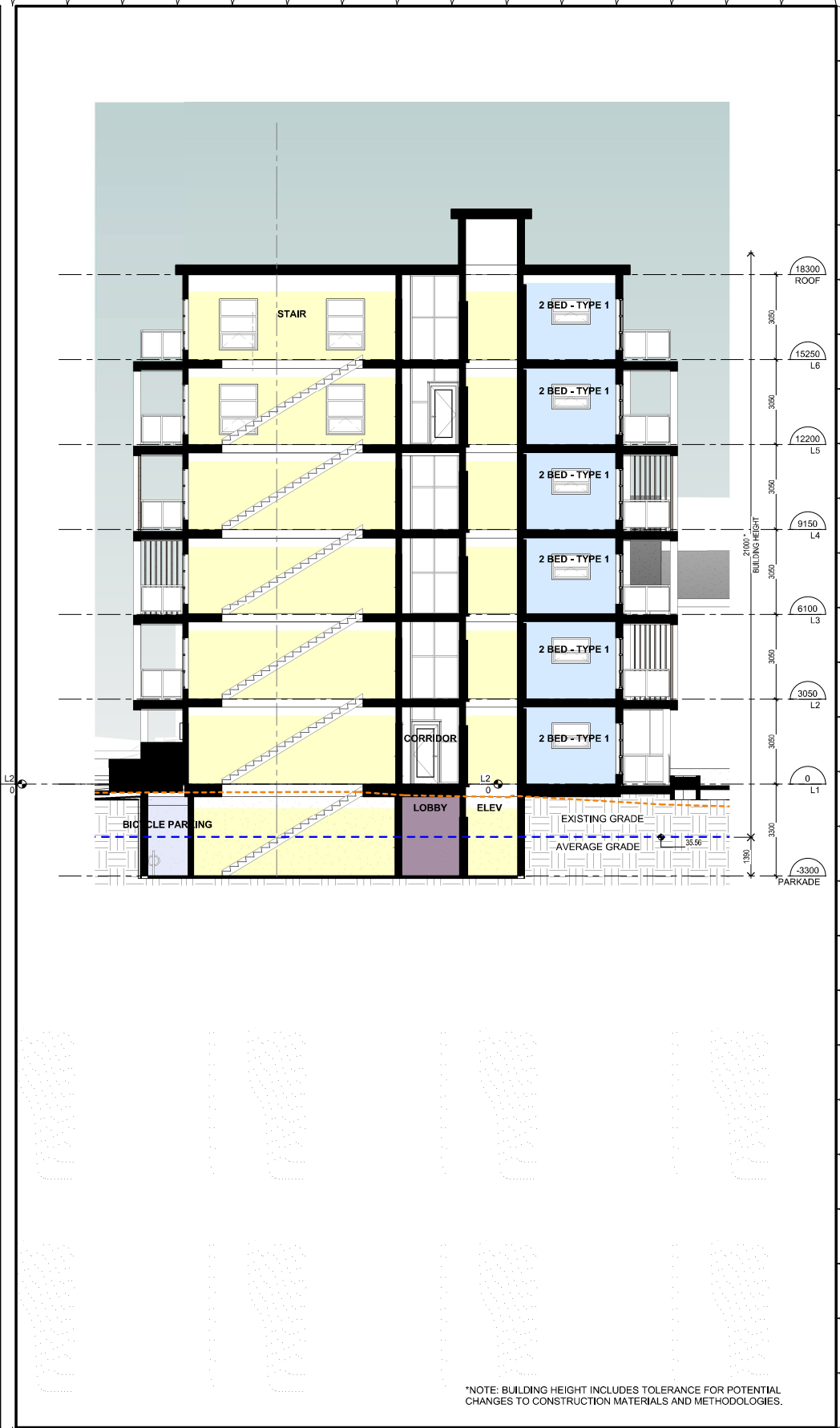
2 | SITE SECTION 2
1 : 200



3 | SITE SECTION 3
1 : 200
VISUAL SCALE 1:200 @ Arch D



1 BUILDING SECTION 1
1:100



2 BUILDING SECTION 2
1:100

0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D

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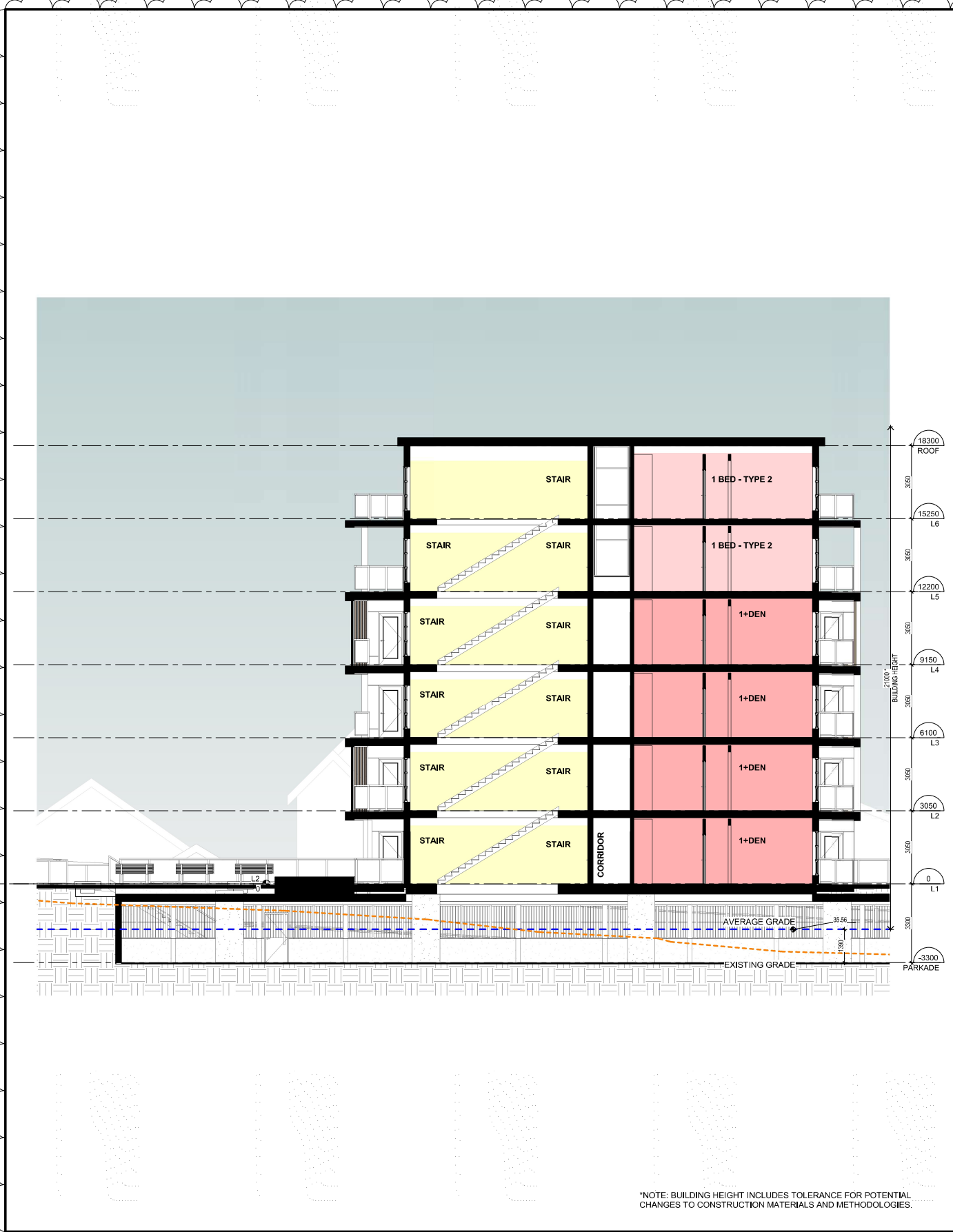
BUILDING SECTIONS

JOB No.: 2245

SCALE: 1:100

A-4.1

DATE: 2023/11/22



1 BUILDING SECTION 3
1:100



2 BUILDING SECTION 4
1:100



1 3D AERIAL VIEW - NORTH WEST
1:1



2 3D AERIAL VIEW - NORTH EAST
1:1



3 3D AERIAL VIEW - SOUTH EAST
1:1



4 3D AERIAL VIEW - SOUTH WEST
1:1



1 3D YARD VIEW - NORTH WEST
1:1



2 3D YARD VIEW - NORTH EAST
1:1



3 3D STREET VIEW - SOUTH EAST
1:1



4 3D STREET VIEW - SOUTH WEST
1:1



1 3D AERIAL VIEW - NORTH WEST - COMBINED
1:1



2 3D AERIAL VIEW - NORTH EAST - COMBINED
1:1



3 3D AERIAL VIEW - SOUTH EAST - COMBINED
1:1



4 3D AERIAL VIEW - SOUTH WEST - COMBINED
1:1



1 3D YARD VIEW - NORTH WEST - COMBINED
1:1



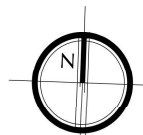
2 3D YARD VIEW - NORTH EAST - COMBINED
1:1



3 3D STREET VIEW - SOUTH EAST - COMBINED
1:1



4 3D STREET VIEW - SOUTH WEST - COMBINED
1:1



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Revision No.	Description	Date
1	Renderings describe new street frontage treatment & toddlers play space	22 Nov 2023

Issue	Issue Date
DEVELOPMENT PERMIT	21 Nov 2022
FOR DP REVISIONS	22 Nov 2023



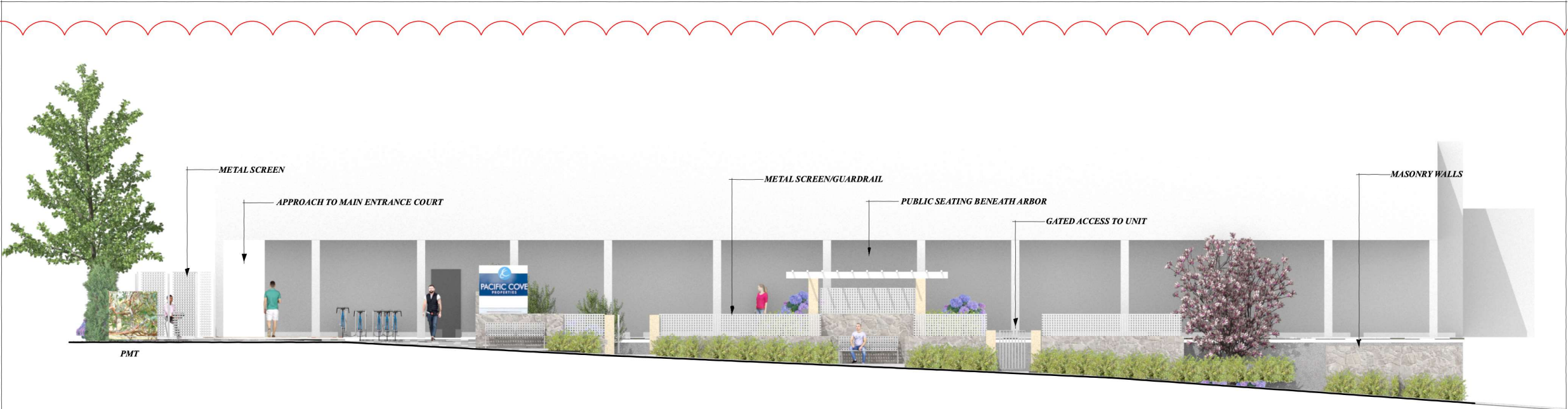
Project
PRIMEX INVESTMENTS
SEQUIOIA APARTMENTS
1354 - 1360 Pandora Avenue
Victoria BC

Sheet Title
RENDERINGS

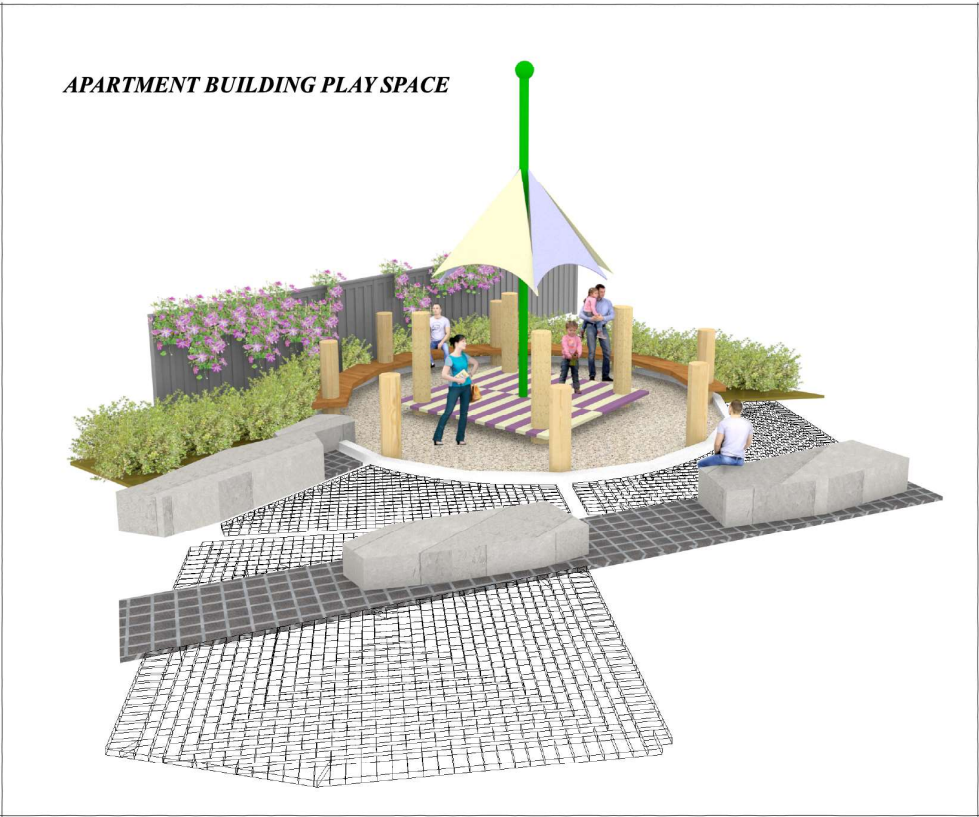
Drawn By	Checked
AJS	
Project Number	Scale
	1:25
Revision	Sheet Number

R1

L2



APARTMENT BUILDING FRONTAGE



APARTMENT BUILDING PLAY SPACE



APARTMENT BUILDING ENTRY



APARTMENT BUILDING FRONTAGE

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Revision		
No.	Description	Date
1	Existing street tree "M1" is identified for removal - refer to Arborist report City of Victoria standard detail drawing added "Tree Planting in Sidewalk" Revised Architectural site plan and revised landscape plan replaces previous proposals Revised tree protection fence alignment for sequoia tree shown	22 Nov 2023

Issue	Issue Date
DEVELOPMENT PERMIT	21 Nov 2022
FOR DP REVISIONS	22 Nov 2023



Project
PRIMEX INVESTMENTS

SEQUOIA APARTMENTS

1342 - 1352 Pandora Avenue
Victoria BC

Sheet Title
TREE RETENTION PLAN

Drawn By
AJS

Project Number
Scale
1:150

Revision
Sheet Number

R1 L3

