1551 & 1545 BAY | 1551 & 1545 BAY ST

PROJECT NUMBER: 2403

CONTACTS

REISSUED FOR REZONING & DEVELOPMENT PERMIT - 29 AUGUST 2025

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A000

ARCHITECTURAL

CODE COMPLIANCE A001 A002 **AVERAGE GRADE & SITE COVERAGE**

COVER

A003 AREA CALCULATIONS A004 SPATIAL SEPARATION

A005 SHADOW STUDY AND STREETSCAPE

A101 EXISTING SITE PLAN A102 PROPOSED SITE PLAN A201 LEVEL 1 PLAN A202 LEVEL 2-5 PLAN A203 LEVEL 6 PLAN **ROOF PLAN** A204 A211 **UNIT PLANS**

ELEVATIONS A301 A302 **ELEVATIONS** A303 **DESIGN RATIONALE** A304 RENDERINGS A305 MATERIAL BOARD A401 SECTIONS

ELECTRICAL

A402

SITE PLAN, DETAILS, AND LEGEND E100 E101 SINGLE LINE DIAGRAM

E200 LEVEL 1 - ELECTRICAL LAYOUT **ROOF - ELECTRICAL LAYOUT** E203

SECTIONS

E203 SUITES

CIVIL

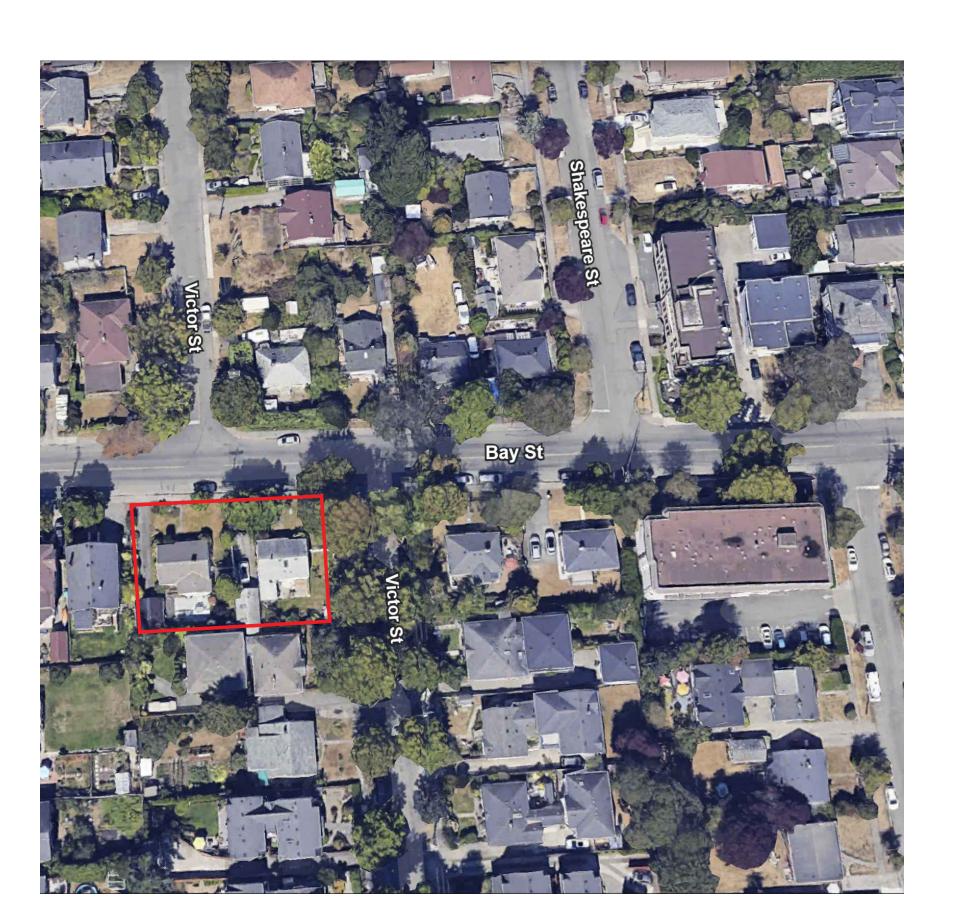
CONCEPT SITE SERVICING PLAN AND NOTES

C02 **GRADING PLAN AND SECTIONS**

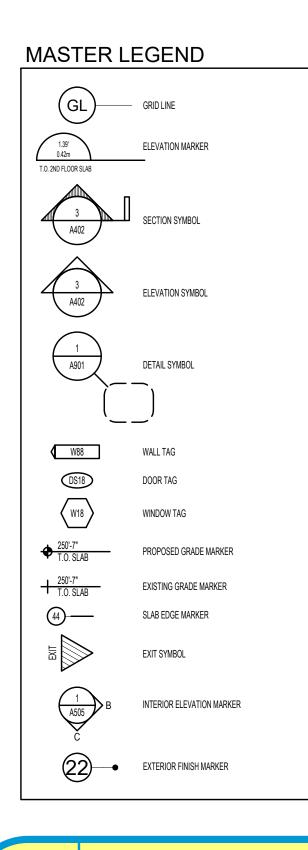
LANDSCAPE

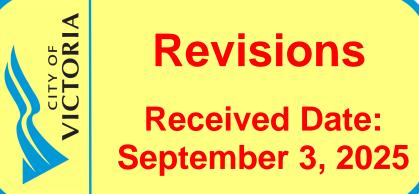
LANDSCAPE PLAN AND NOTES L01 L02 PLANTING PLAN AND NOTES



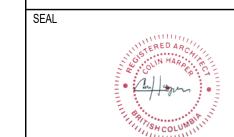








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APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY VICTORIA, BC, V8Y 1T5

REISSUED FOR REZONING & DEVELOPMENT PERMIT	08/29/2025
ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/2025
REVISION	M/D/Y

1551 & 1545 BAY ST. VICTORIA, BC

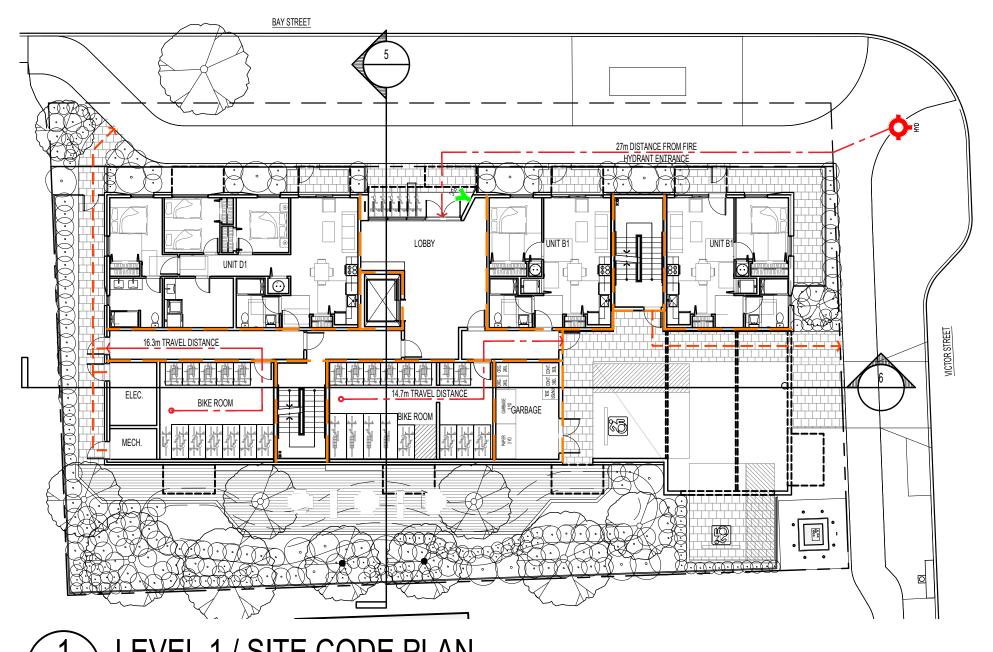
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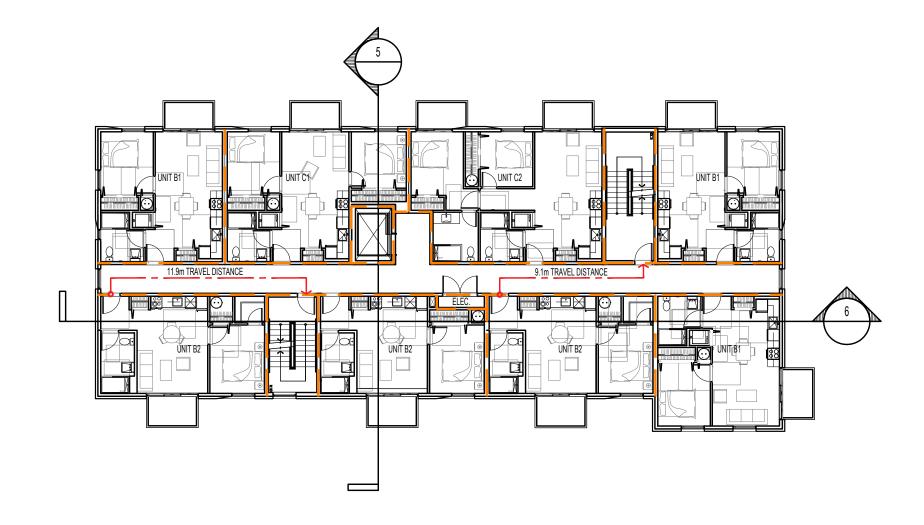
1551 & 1545 BAY ST. VICTORIA, BC, V8R 2B3

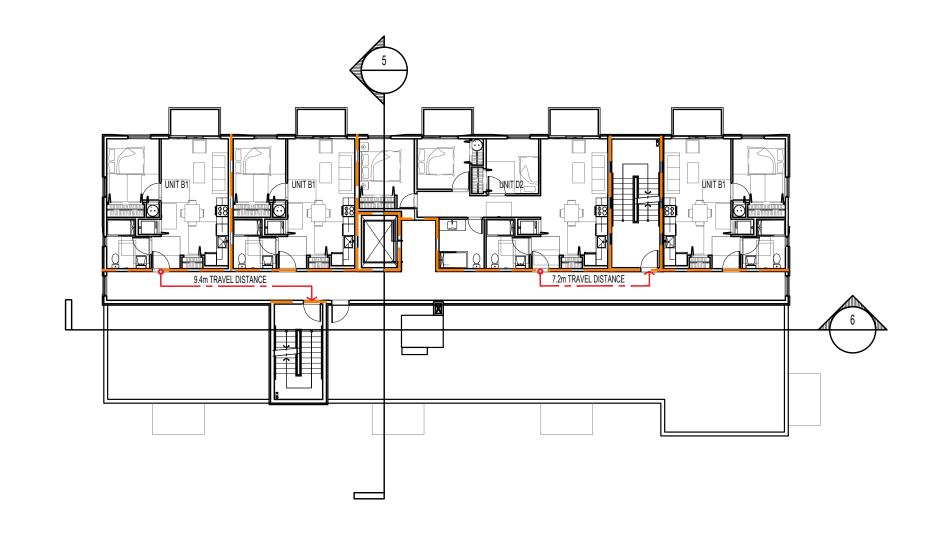


COVER PAGE

REVIEW BY:







3 LEVEL 6 CODE PLAN
1200

FIRE SEPARATION LEGEND

TRAVEL DISTANCE LEGEND

PR. #: 2304 DATE: 08-Jul-25 45 MIN FIRE SEPARATION

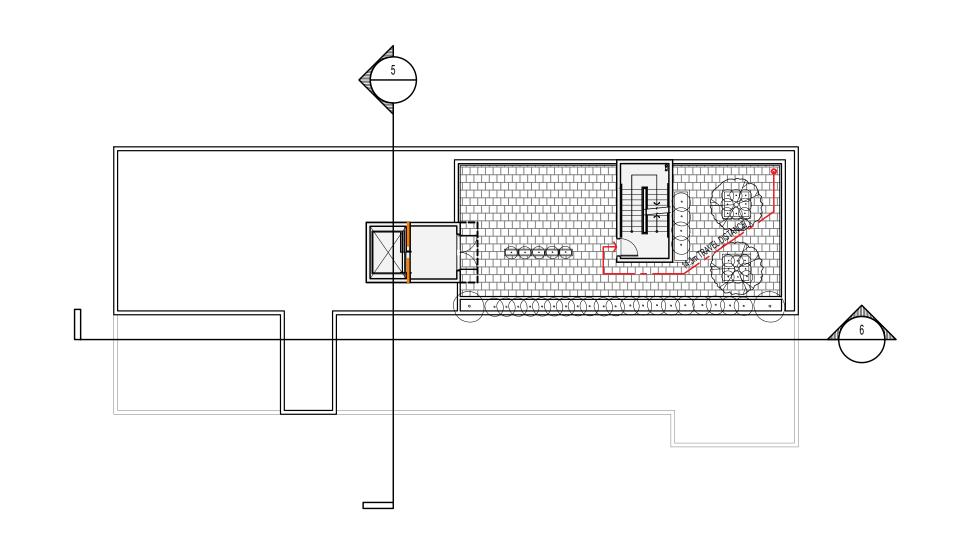
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1.5 HR FIRE SEPARATION

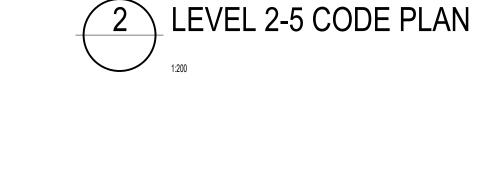
PATH OF TRAVEL

EXIT DISCHARGE

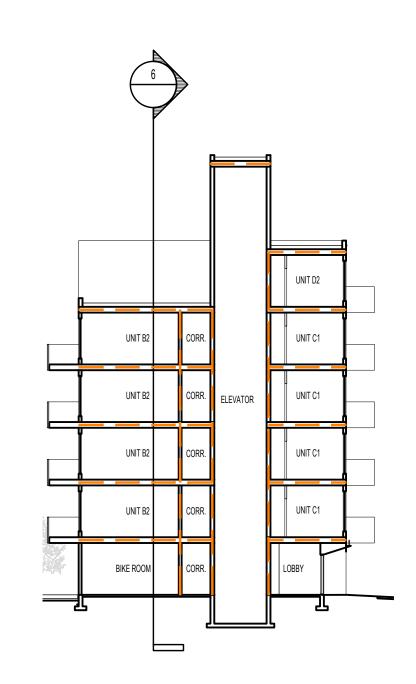
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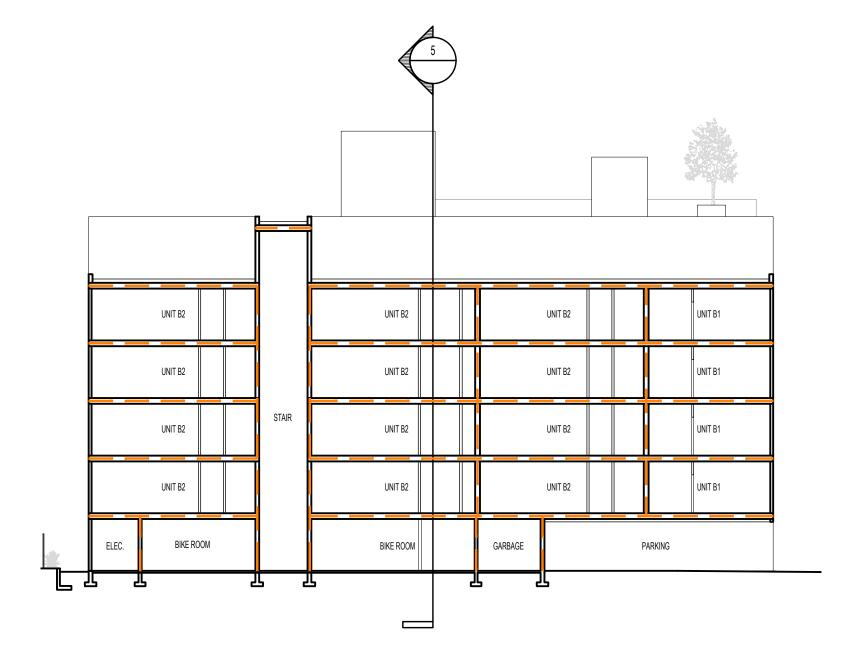
1 LEVEL 1 / SITE CODE PLAN





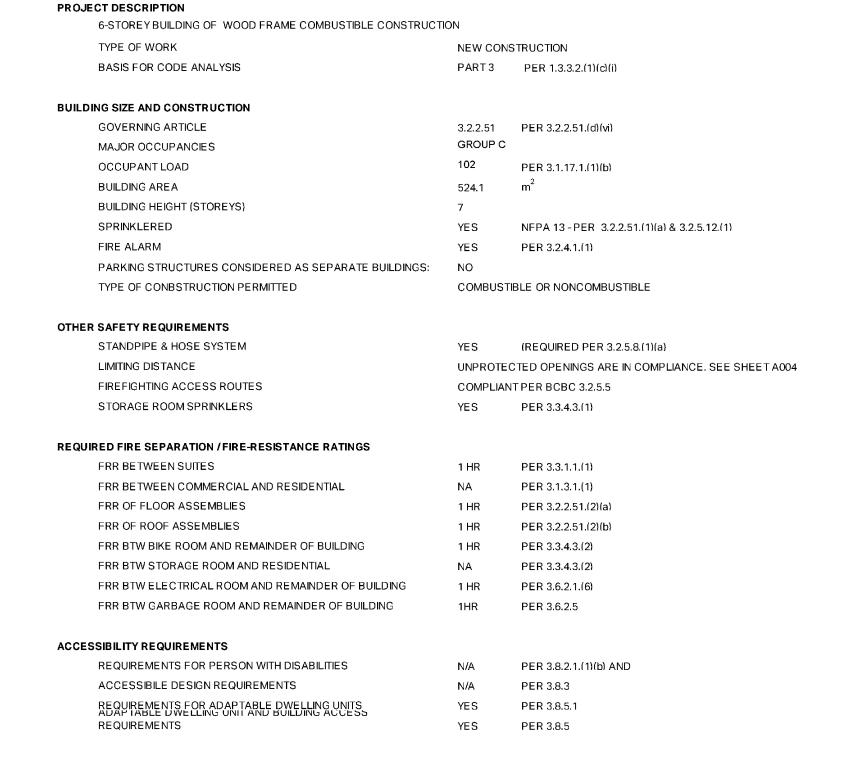
4 ROOF LEVEL CODE PLAN





6 CODE SECTION

5 CODE SECTION

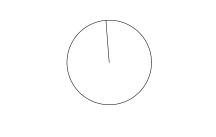


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SEAL



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MAX. TRAVEL DISTANCE IS 45m. SEE BCBC 3.4.2.5.
THE MINIMUM DISTANCE BETWEEN EXITS SHOULD BE 9m. SEE BCBC 3.4.2.3.

APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY VICTORIA, BC, V8Y 1T5

02	REISSUED FOR REZONING & DEVELOPMENT PERMIT	08/29/20
01	ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/20

1551 & 1545 BAY ST.

VICTORIA, BC

REVISION

PROJECT ADDRESS:

PROJECT NAME

1551 & 1545 BAY ST. VICTORIA, BC, V8R 2B3



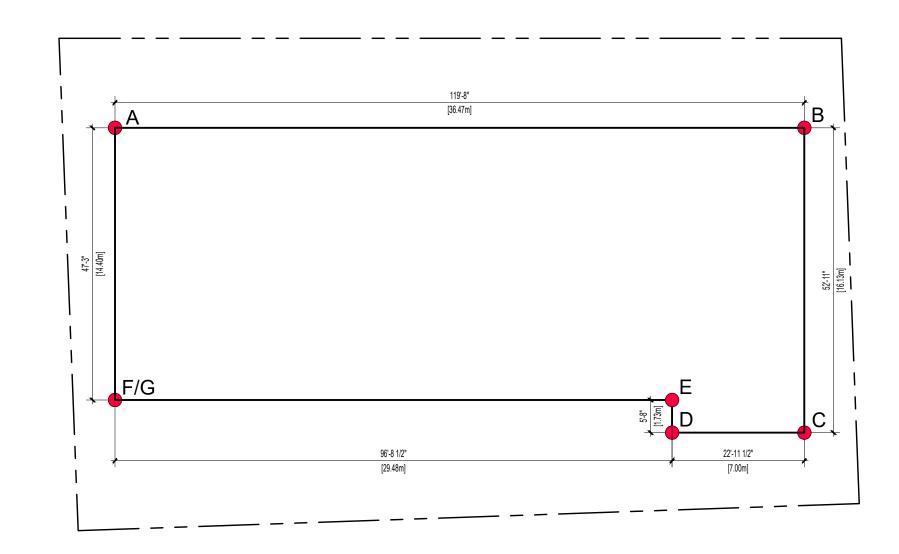
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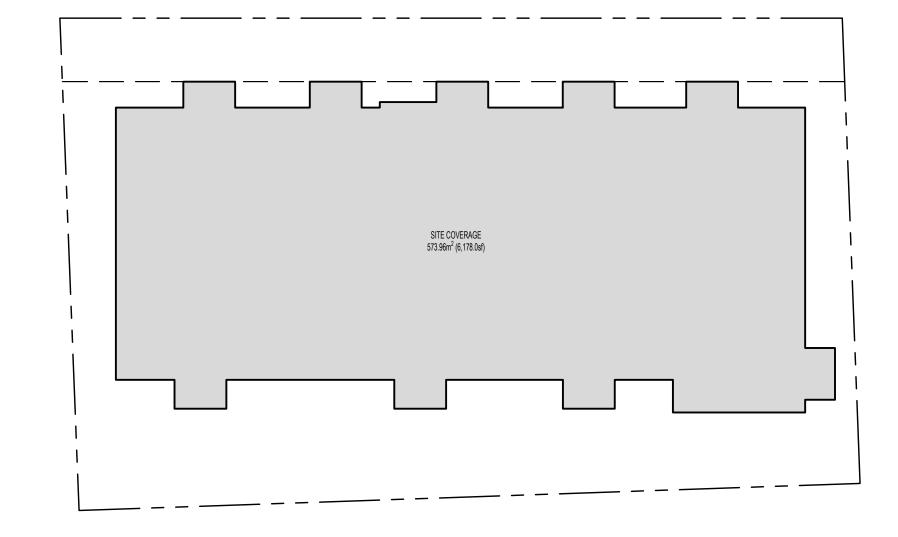
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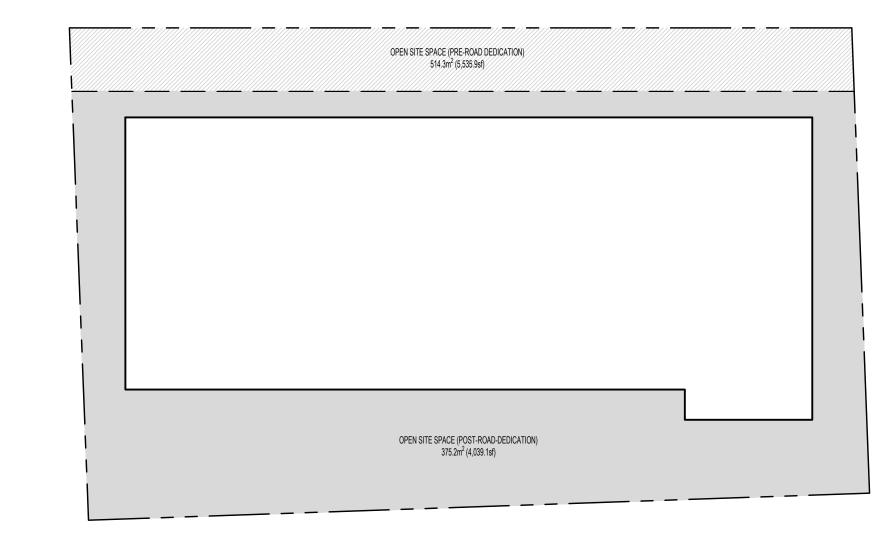
 PROJECT NO:
 2403
 DRAWN BY:
 KG

 SCALE:
 1:200
 REVIEW BY:
 CH

 DRAWING NO:
 A001

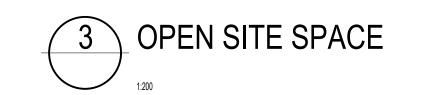








SITE COVERAGE





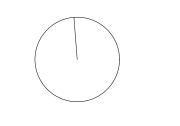
ZC	ZONING GRADE CALCULATION						GRADES	Existing	Proposed	
GRADE POINTS (m)		LENGTH (m) GRADE CALCS		Grade Points	Gra					
Α	20.00	В	20.03	36.47	(20 + 20.03) ÷ 2 x 36.47m =		Point A	20.00	20.39	20.0
В	20.03	С	20.36	16.13	(20.03 + 20.36) ÷ 2 x 16.13m =	325.75	Point B	20.03	20.33	20.0
С	20.36	D	20.45	7.00	(20.36 + 20.45) ÷ 2 x 7m =	142.84	Point C	20.36	20.41	20.3
D	20.45	Е	20.32	1.73	(20.45 + 20.32) ÷ 2 x 1.73m =	35.27	Point D	20.45	20.45	20.4
Е	20.32	F	20.09	29.48	(20.32 + 20.09) ÷ 2 x 29.48m =	595.64	Point E	20.32	20.32	20.3
G	20.30	Α	20.00	14.40	(20.3 + 20) ÷ 2 x 14.4m =	290.16	Point F	20.30	20.09	20.0
							Point G	20.30	20.39	20.3
TO	ΓALŞ			105.21		2119.60				
AVI	ERAGE GR	ADE				20.15				

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APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY VICTORIA, BC, V8Y 1T5

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REISSUED FOR REZONING & DEVELOPMENT PERMIT	08/29/202
ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/202
REVISION	M/D/Y
DJECT NAME	

1551 & 1545 BAY ST. VICTORIA, BC

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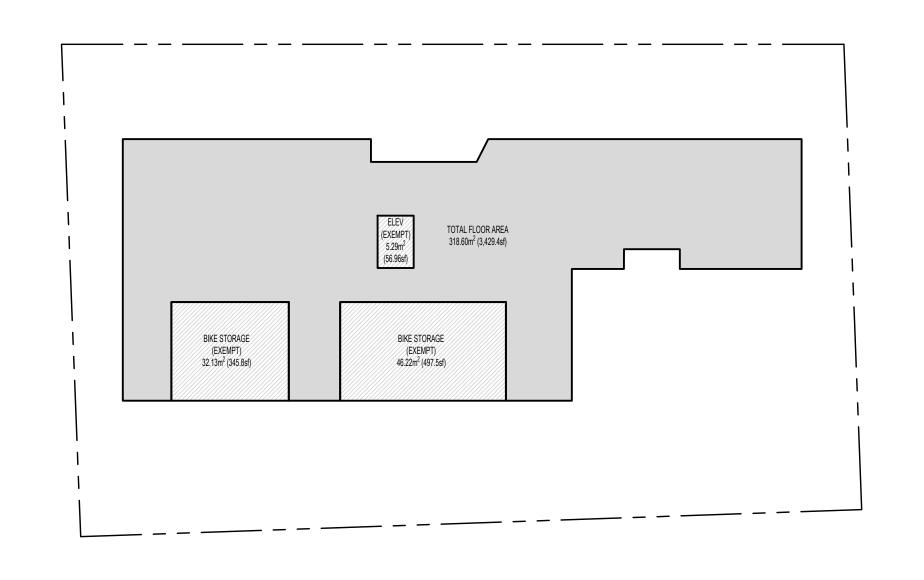
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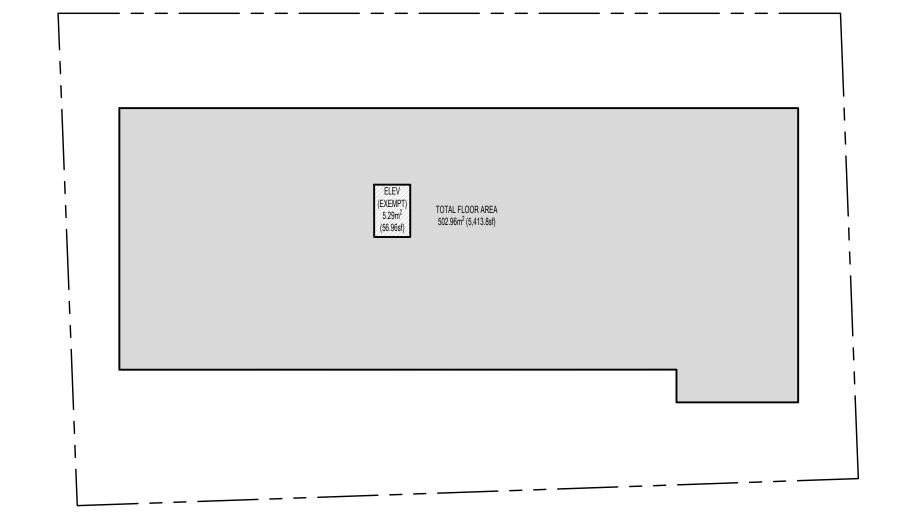


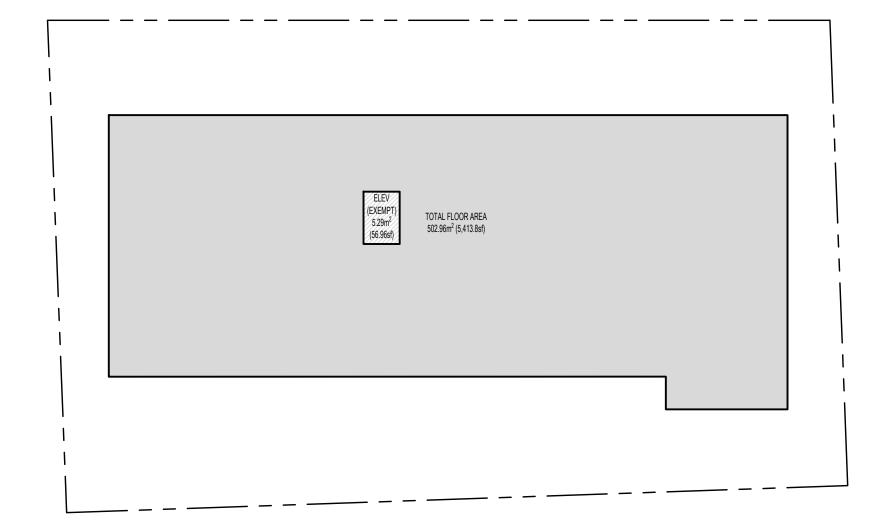
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AVERAGE GRADE & SITE COVERAGE

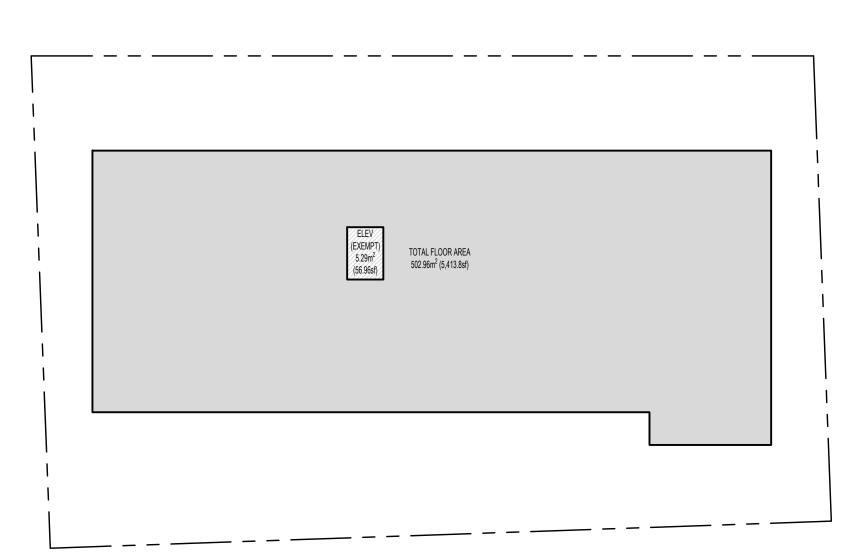
REVIEW BY: CH 1:200



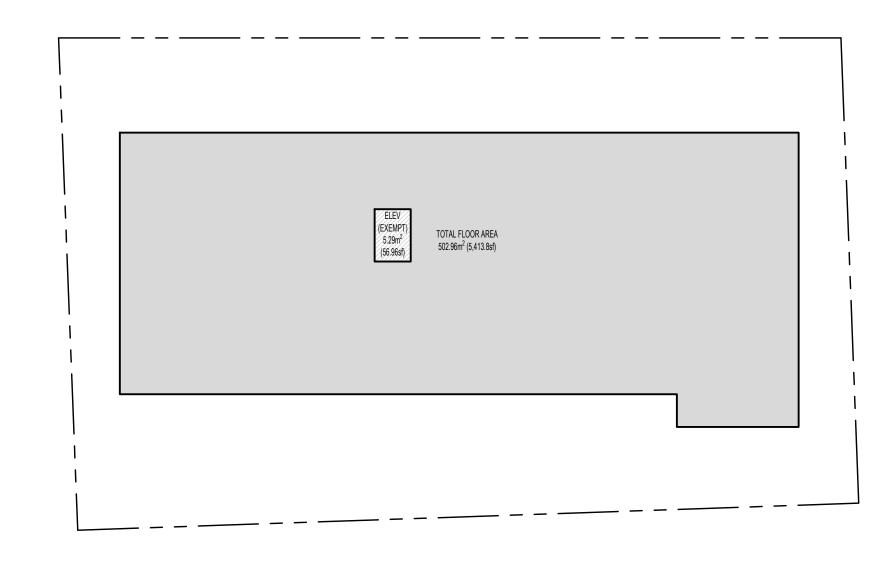




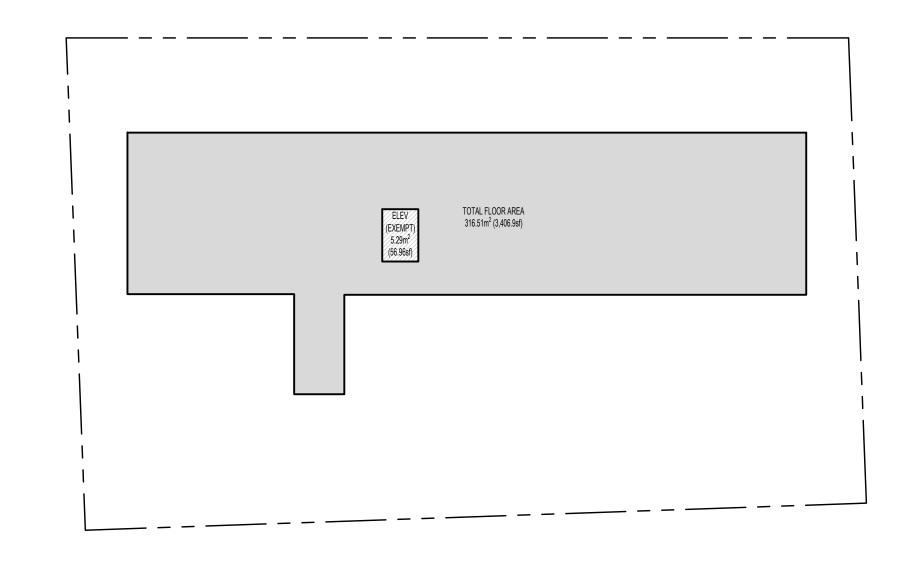




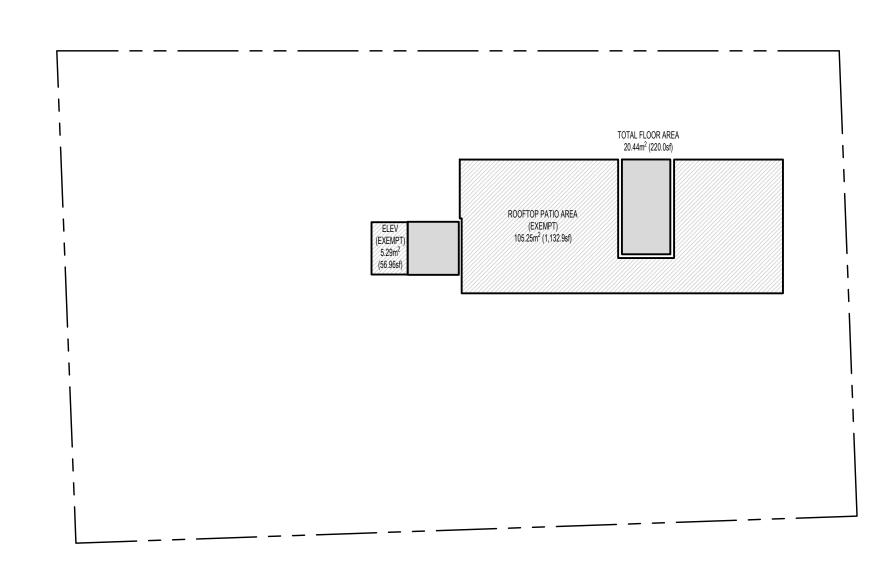




3 LEVEL 3 AREA CALCULATION



LEVEL 4 AREA CALCULATION



LEVEL 5 AREA CALCULATION



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1551 & 1545 BAY ST. VICTORIA, BC

1551 & 1545 BAY ST. VICTORIA, BC, V8R 2B3

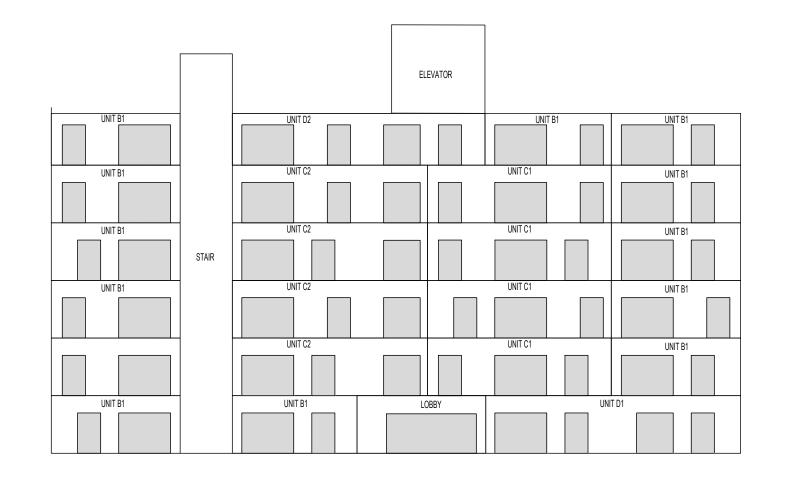


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AREA CALCULATIONS

REVIEW BY: CH

ROOF LEVEL AREA CALCULATION



SPATIAL SEPARATION CALCULATION

AREA OF EXPOSED BUILDING FACE: 18.3m² (197.36 sq.ft) LIMITING DISTANCE: 14.18m (46.5ft) ALLOWABLE OPENINGS: 100% [18.3m² (197.36 sq.ft)] PROPOSED OPENINGS: 46% [8.5m² (91.0sq.ft)] FIRE RESISTANCE RATING PER 3.2.3.7. N/A. CLADDING PER 3.2.3.7.

COMBUSTIBLE

SPATIAL SEPARATION CALCULATION BCBC 2024 PART 3 TABLE 3.2.3.1.-D

CONSTRUCTION PER 3.2.3.7.

AREA OF EXPOSED BUILDING FACE: 41.10m² (442.43 sq.ft) LIMITING DISTANCE: 14.18m (46.5ft) 100% [41.10m² (442.43 sq.ft)] ALLOWABLE OPENINGS: ALLOWABLE OPENINGS: PROPOSED OPENINGS: 37% [15.2m² (163.33sq.ft)] FIRE RESISTANCE RATING PER 3.2.3.7. N/A CLADDING PER 3.2.3.7. COMBUSTIBLE CONSTRUCTION PER 3.2.3.7. COMBUSTIBLE

SPATIAL SEPARATION CALCULATION

AREA OF EXPOSED BUILDING FACE: 29.7m² (319.21 sq.ft) LIMITING DISTANCE: ALLOWABLE OPENINGS: 100% [29.7m² (319.21 sq.ft)] PROPOSED OPENINGS: 37.0% [11.1m² (119.0sq.ft)] FIRE RESISTANCE RATING PER 3.2.3.7. N/A CLADDING PER 3.2.3.7.

CONSTRUCTION PER 3.2.3.7. COMBUSTIBLE

SPATIAL SEPARATION CALCULATION BCBC 2024 PART 3 TABLE 3.2.3.1.-D AREA OF EXPOSED BUILDING FACE: 36.67m² (394.72 sq.ft)

LIMITING DISTANCE:

100% [36.67m² (394.72 sq.ft)] PROPOSED OPENINGS: 42% [15.2m² (163.33sq.ft)] FIRE RESISTANCE RATING PER 3.2.3.7. N/A CLADDING PER 3.2.3.7. COMBUSTIBLE CONSTRUCTION PER 3.2.3.7. COMBUSTIBLE

14.18m (46.5ft)

SPATIAL SEPARATION CALCULATION

AREA OF EXPOSED BUILDING FACE: 31.5m² (338.7 sq.ft) LIMITING DISTANCE: 14.18m (46.5ft) ALLOWABLE OPENINGS: 100% [31.5m² (338.7 sq.ft)] PROPOSED OPENINGS: 40% [12.6m² (135.3 sq.ft)] FIRE RESISTANCE RATING PER 3.2.3.7. N/A CLADDING PER 3.2.3.7. COMBUSTIBLE CONSTRUCTION PER 3.2.3.7. COMBUSTIBLE

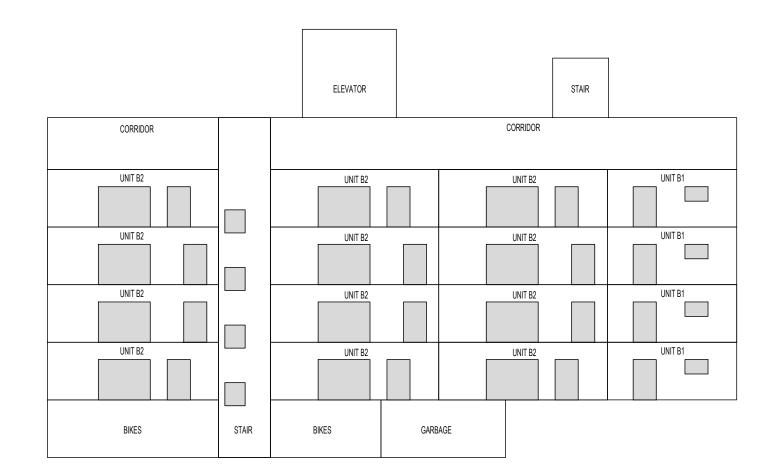
SPATIAL SEPARATION CALCULATION BCBC 2024 PART 3 TABLE 3.2.3.1.-D

AREA OF EXPOSED BUILDING FACE: 20.75m² (223.4 sq.ft) 14.18m (46.5ft) 100% [20.75m² (223.4sq.ft)] LIMITING DISTANCE: ALLOWABLE OPENINGS: 47.8% [9.92m² (106.8sq.ft)] PROPOSED OPENINGS: FIRE RESISTANCE RATING PER 3.2.3.7. N/A CLADDING PER 3.2.3.7. COMBUSTIBLE CONSTRUCTION PER 3.2.3.7. COMBUSTIBLE

ELEVATOR STAIR STAIR UNIT B1 (B) UNIT B1 (A) UNIT B1 (B) UNIT B1 (B)

UNIT B1 (A) SPATIAL SEPARATION CALCULATION BCBC 2024 PART 3 TABLE 3.2.3.1D		UNIT B1 (B) SPATIAL SEPARATION CALCULATI BCBC 2024 PART 3 TABLE 3.2.3.1D	ON	CORRIDOR SPATIAL SEPARATION CALCULATI BCBC 2024 PART 3 TABLE 3.2.3.1D	ON
AREA OF EXPOSED BUILDING FACE:	22m ² (236.8sq.ft)	AREA OF EXPOSED BUILDING FACE:	22.4m² (241.28sq.ft)	AREA OF EXPOSED BUILDING FACE:	4.75m² (51.09sq.ft)
LIMITING DISTANCE:	11.35m (37.24ft)	LIMITING DISTANCE:	11.35m (37.24ft)	LIMITING DISTANCE:	11.35m (37.24ft)
ALLOWABLE OPENINGS:	100% 22m ² (236.8sq.ft)	ALLOWABLE OPENINGS:	100% 22.4m² (241.28sq.ft)	ALLOWABLE OPENINGS:	100% 4.75m² (51.09sq
PROPOSED OPENINGS:	26.6% [5.9m ² (63sq.ft)]	PROPOSED OPENINGS:	8.7% [1.95m² (21sq.ft)]	PROPOSED OPENINGS:	48% [2.27m² (24.5sq.ft
FIRE RESISTANCE RATING PER 3.2.3.7.	N/A	FIRE RESISTANCE RATING PER 3.2.3.7.	N/A	FIRE RESISTANCE RATING PER 3.2.3.7.	N/A
CLADDING PER 3.2.3.7.	COMBUSTIBLE	CLADDING PER 3.2.3.7.	COMBUSTIBLE	CLADDING PER 3.2.3.7.	COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7.	COMBUSTIBLE	CONSTRUCTION PER 3.2.3.7.	COMBUSTIBLE	CONSTRUCTION PER 3.2.3.7.	COMBUSTIBLE

NORTH ELEVATION



JIAIN	
SPATIAL SEPARATION CALCULATION	
BCBC 2024 PART 3 TABLE 3.2.3.1D	
AREA OF EXPOSED BUILDING FACE:	49.6m ² (534.07sq.ft)
LIMITING DISTANCE:	3.85m (12.63ft)
ALLOWABLE OPENINGS:	53.3% [26.4m ² (284.5sq.ft)]
PROPOSED OPENINGS:	10.5% [5.2m² (56sq.ft)]
FIRE RESISTANCE RATING PER 3.2.3.7.	45 MIN.
CLADDING PER 3.2.3.7.	COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7.	COMBUSTIBLE

SOUTH ELEVATION

SPATIAL SEPARATION CALCULATION AREA OF EXPOSED BUILDING FACE: 20.9m² (224.61sq.ft)

LIMITING DISTANCE: 3.85m (12.63ft)

ALLOWABLE OPENINGS: 92.3% [19.3m² (207.5sq.ft)] PROPOSED OPENINGS: FIRE RESISTANCE RATING PER 3.2.3.7. 45 MIN. COMBUSTIBLE CLADDING PER 3.2.3.7.

CONSTRUCTION PER 3.2.3.7.

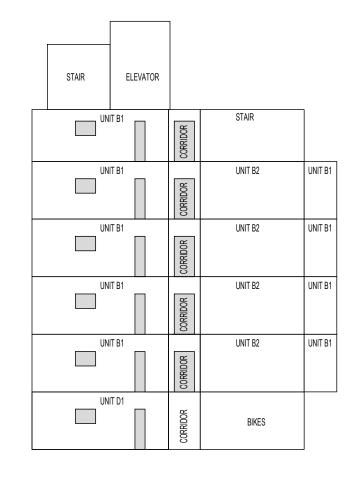
17% [3.5m² (38sq.ft)]

COMBUSTIBLE

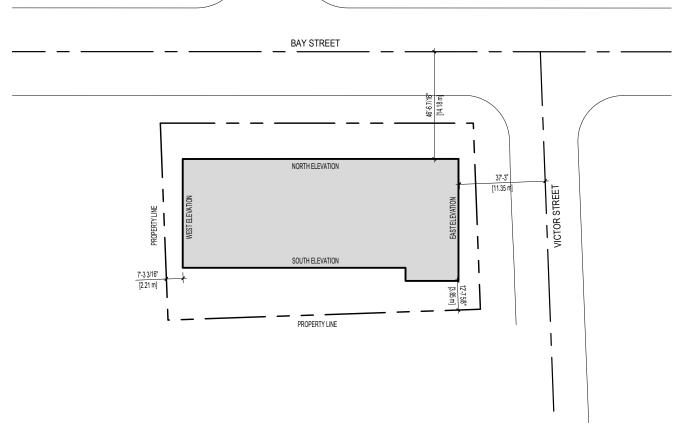
SPATIAL SEPARATION CALCULATI BCBC 2024 PART 3 TABLE 3.2.3.1D	ON
AREA OF EXPOSED BUILDING FACE: LIMITING DISTANCE: ALLOWABLE OPENINGS: PROPOSED OPENINGS:	27.2m ² (292.78sq.ft) 3.85m (12.63ft) 79.4% [21.6m ² (232.5sq.ft)] 31% [8.45m ² (91sq.ft)]
FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.	45 MIN. COMBUSTIBLE COMBUSTIBLE

WEST ELEVATION





UNIT D1 / B1 SPATIAL SEPARATION CALCULAT BCBC 2024 PART 3 TABLE 3.2.3.1D	TION	CORRIDOR SPATIAL SEPARATION CALCULATION BCBC 2024 PART 3 TABLE 3.2.3.1D		
AREA OF EXPOSED BUILDING FACE:	22m ² (237.06sq.ft)	AREA OF EXPOSED BUILDING FACE:	5.1m ² (55sq.ft)	
LIMITING DISTANCE:	2.21m (7.3ft)	LIMITING DISTANCE:	2.21m (7.3ft)	
ALLOWABLE OPENINGS:	33.4% [7.4m ² (79.2sq.ft)]	ALLOWABLE OPENINGS:	52.1% [2.7m ² (28.6sq.f	
PROPOSED OPENINGS:	8.8% [1.95m ² (21sq.ft)]	PROPOSED OPENINGS:	45% [2.28m ² (24.5sq.ft	
FIRE RESISTANCE RATING PER 3.2.3.7.	45 MIN.	FIRE RESISTANCE RATING PER 3.2.3.7.	45 MIN.	
CLADDING PER 3.2.3.7.	NONCOMBUSTIBLE	CLADDING PER 3.2.3.7.	COMBUSTIBLE	
CONSTRUCTION PER 3.2.3.7.	COMBUSTIBLE	CONSTRUCTION PER 3.2.3.7.	COMBUSTIBLE	

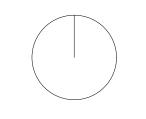


5 LIMITING DISTANCE KEY PLAN

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PROJECT ADDRESS:

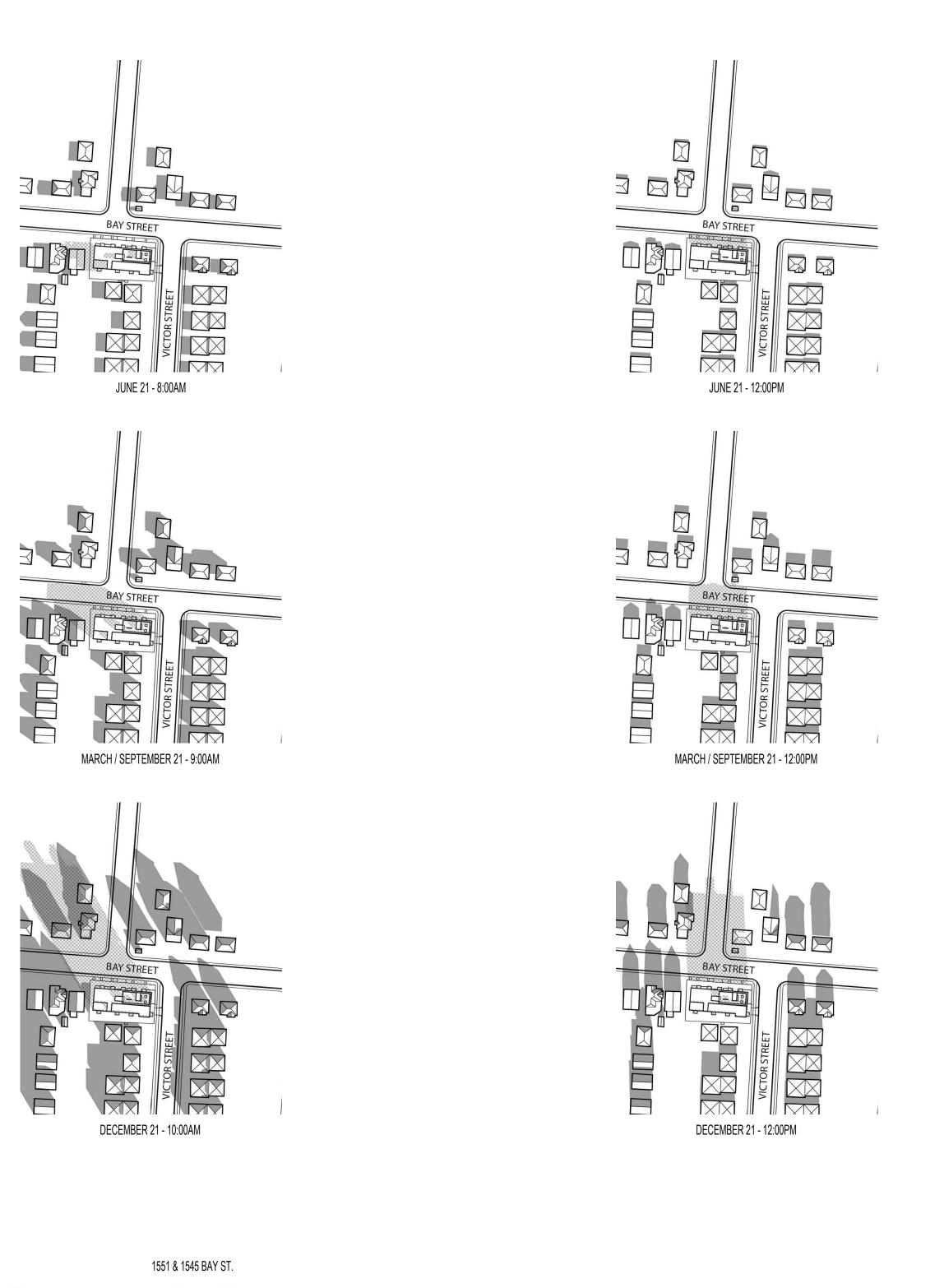
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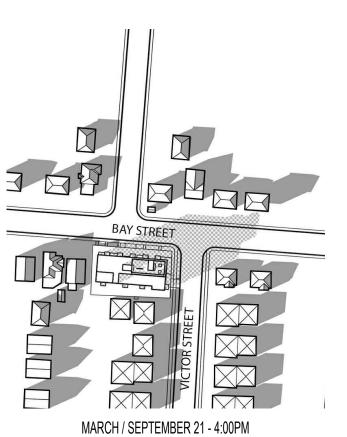
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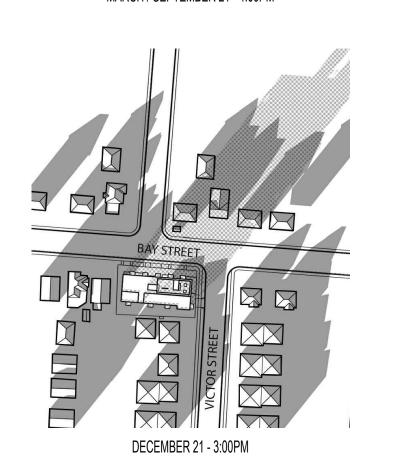
SPATIAL SEPARATION

AS NOTED REVIEW BY:



JUNE 21 - 5:00PM





SHADOWS FROM PROPOSED BUILDING

SHADOW OVERLAY OF PROPOSED & EXISTING BUILDINGS

SHADOWS FROM EXISTING BUILDINGS

APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY

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SHADOW STUDY & STREETSCAPE

REVIEW BY: DRAWING NO: A005

SHADOW STUDY

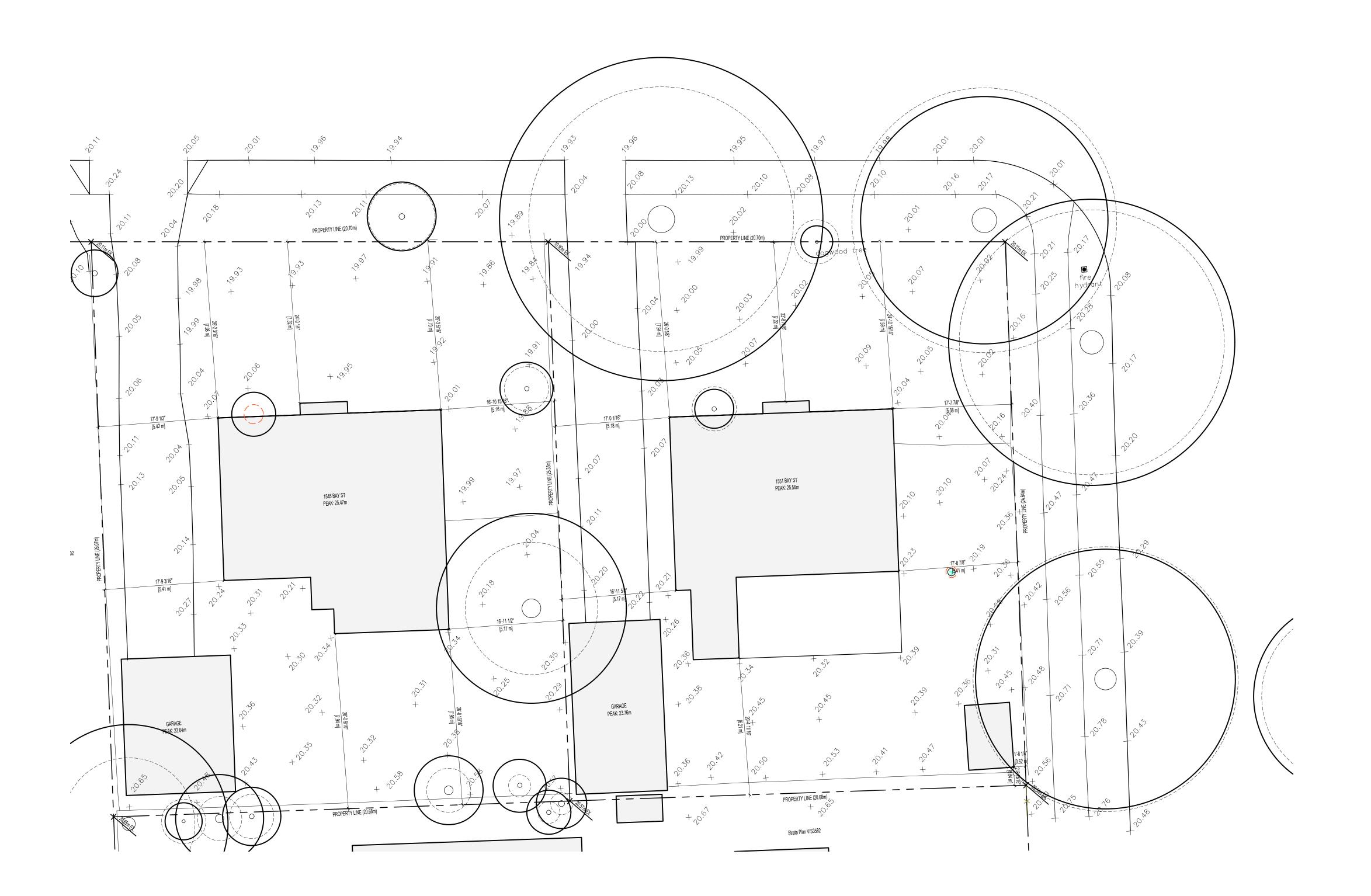




STREETSCAPE

BAY ST.

VICTOR ST.



SEAL

SEAL

MARGE

MIN HARR

MARGE

M

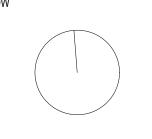
NORTH ARROW

TREE LEGEND

PROTECTED ROOT ZONE
CANOPY SPREAD
TREE TRUNK

NOTE: SEE ARBORIST REPORT AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION ON CRZ AND RETENTION MEASURES.

EXISTING TREE TO BE RETAINED



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01 ISSUED FOR REZONING & DEVELOPMENT PERMIT 01/27/2
NO. REVISION M/D/
PROJECT NAME

1551 & 1545 BAY ST. VICTORIA, BC

PROJECT ADDRESS:

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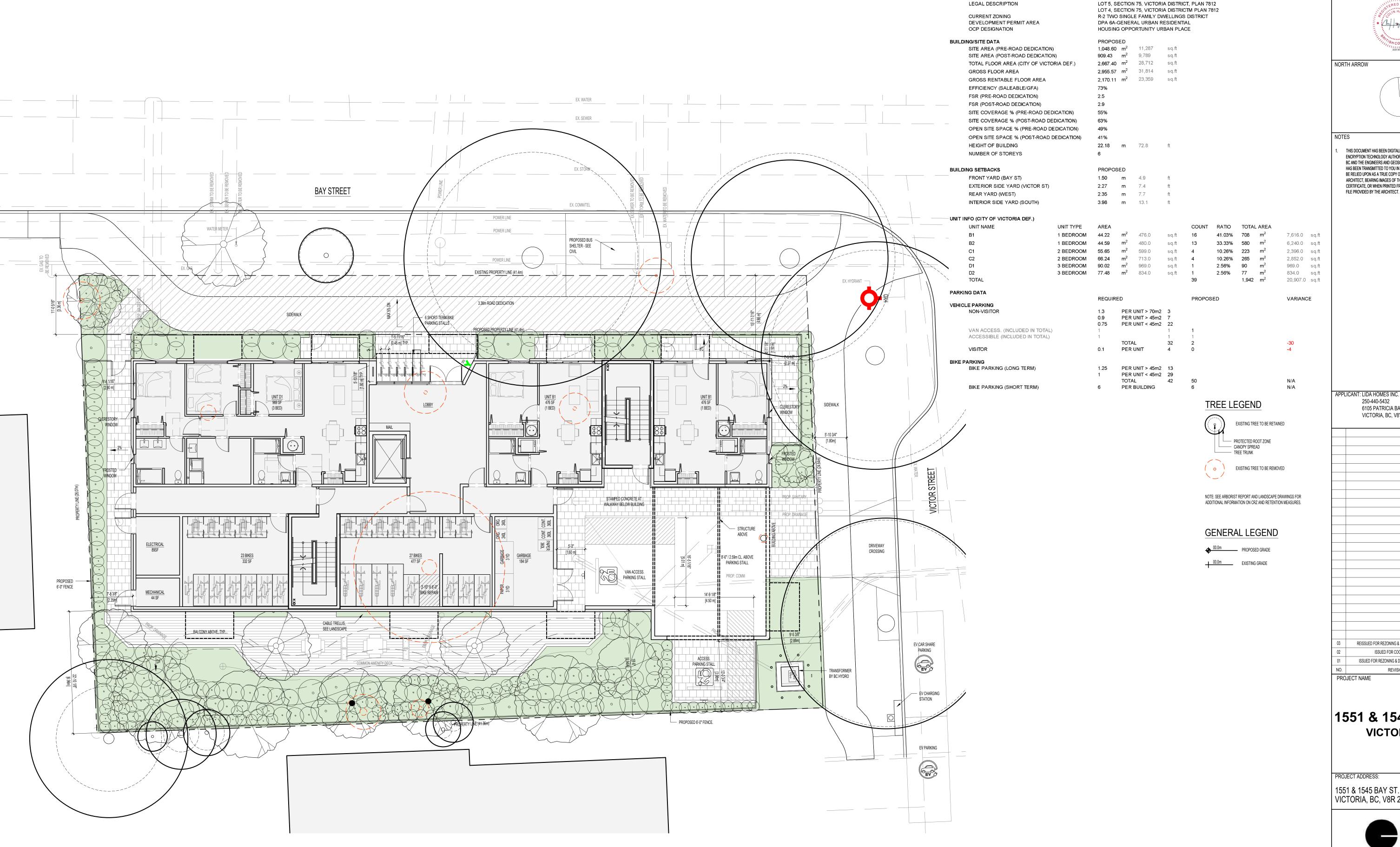
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EXISTING SITE PLAN

 PROJECT NO:
 2403
 DRAWN BY:
 KG

 SCALE:
 1:100
 REVIEW BY:
 CH

 DRAWING NO:
 A101



PROJECT INFORMATION TABLE - 1551 & 1545 BAY STREET

1551 & 1545 BAY STREET

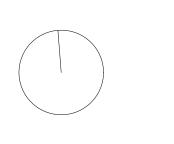
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PROPERTY INFORMATION

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1551 & 1545 BAY ST. VICTORIA, BC

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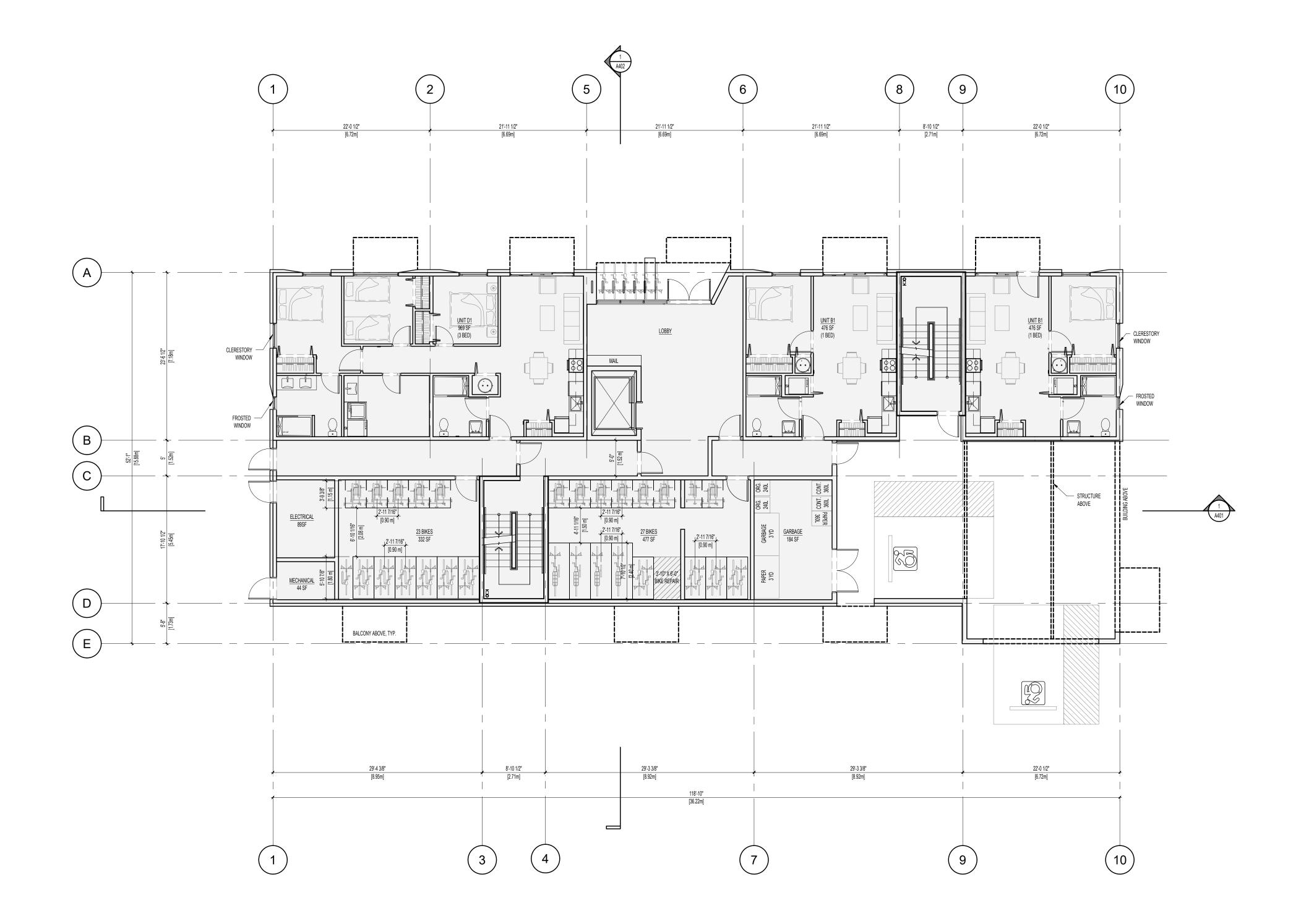
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SITE PLAN

DRAWN BY: KG 1:100 REVIEW BY: CH

DRAWING NO: A102

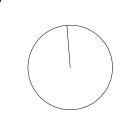
PROPOSED SITE PLAN







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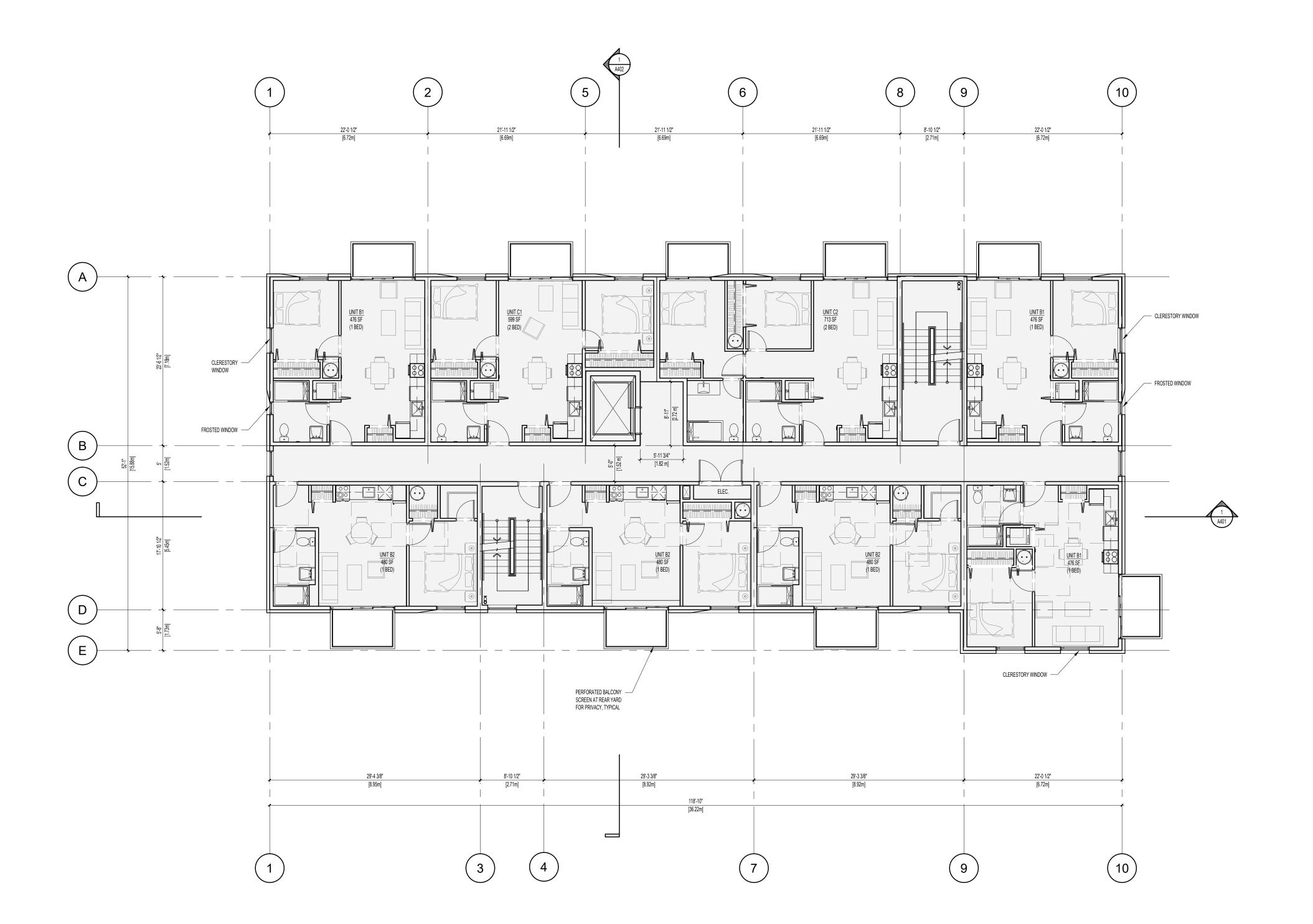
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LEVEL 1 PLAN

REVIEW BY: CH DRAWING NO: A201

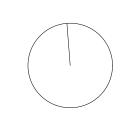




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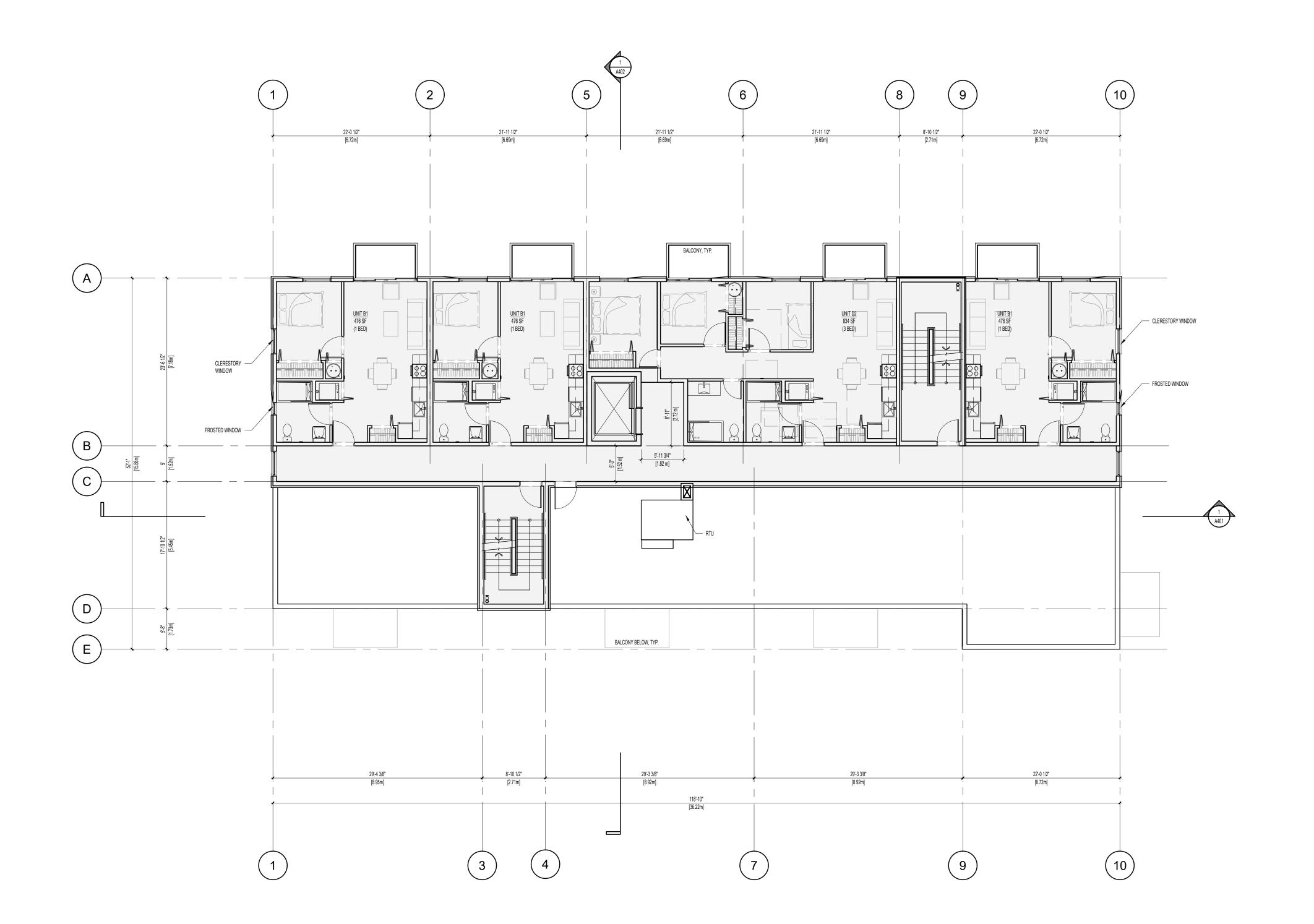


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WING TITLE:

LEVEL 2-5 PLAN

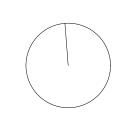
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SCALE:	1:100	REVIEW BY:	СН
PROJECT NO:	2403	DRAWN BY:	KG







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02	REISSUED FOR REZONING & DEVELOPMENT PERMIT	08/2

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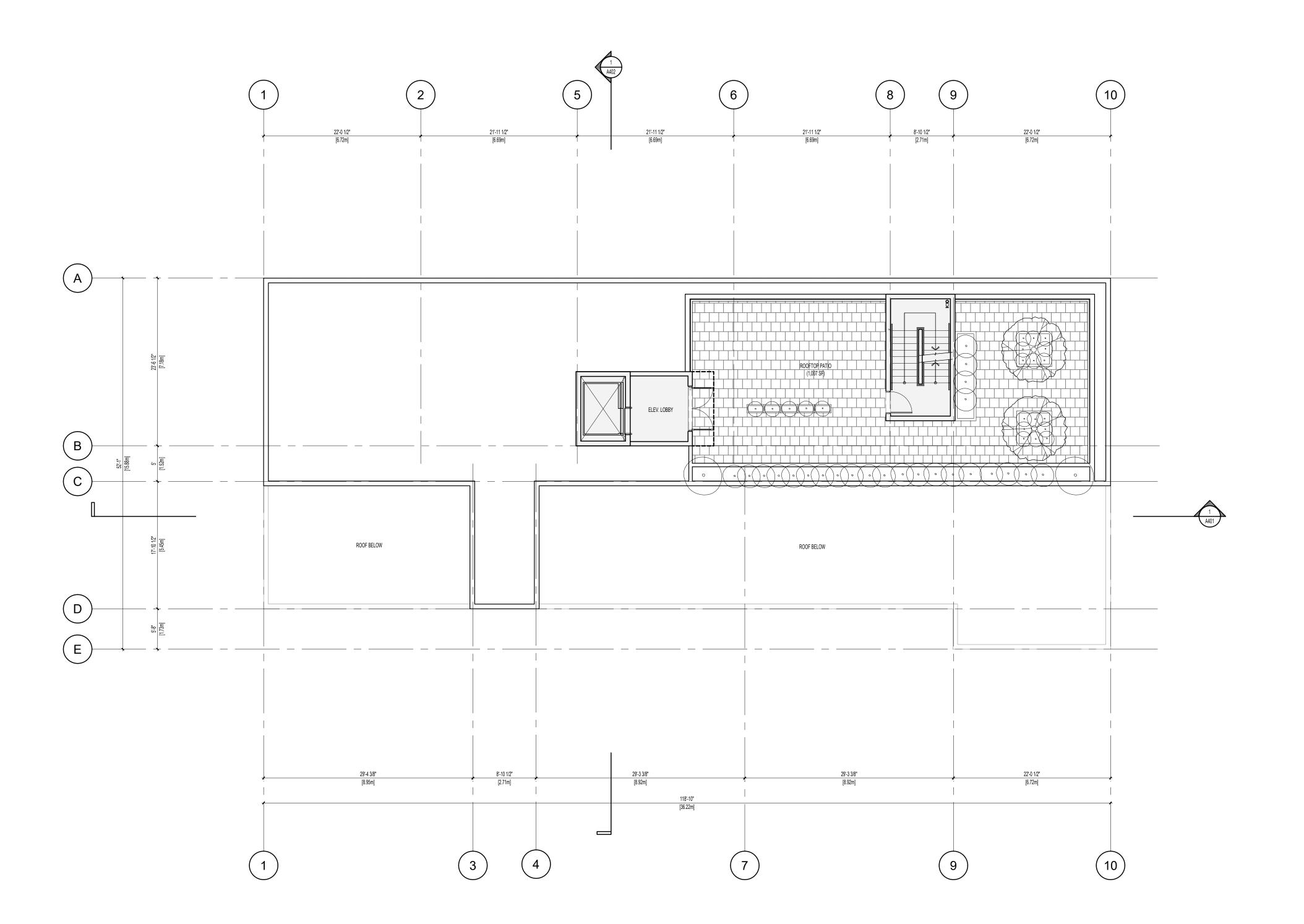
1551 & 1545 BAY ST. VICTORIA, BC, V8R 2B3

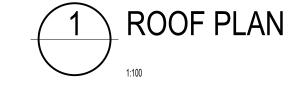


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LEVEL 6 PLAN

REVIEW BY: CH

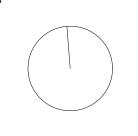




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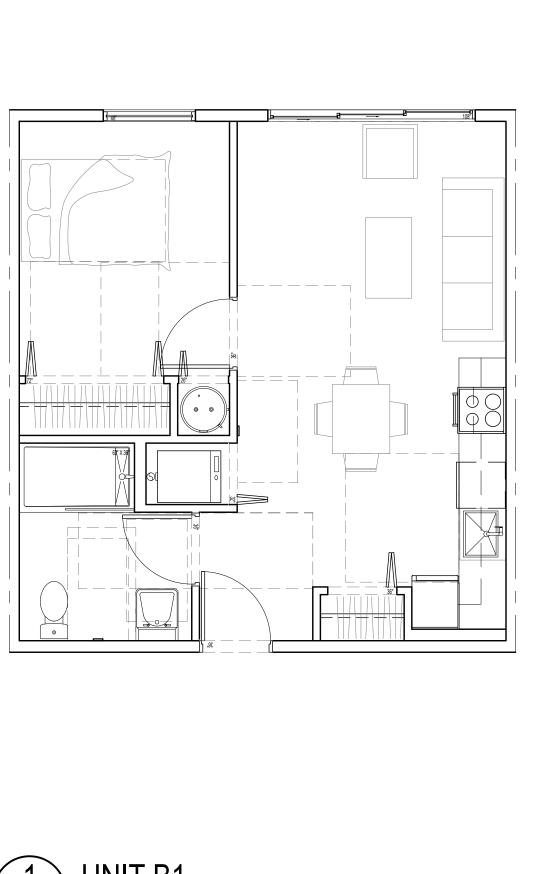
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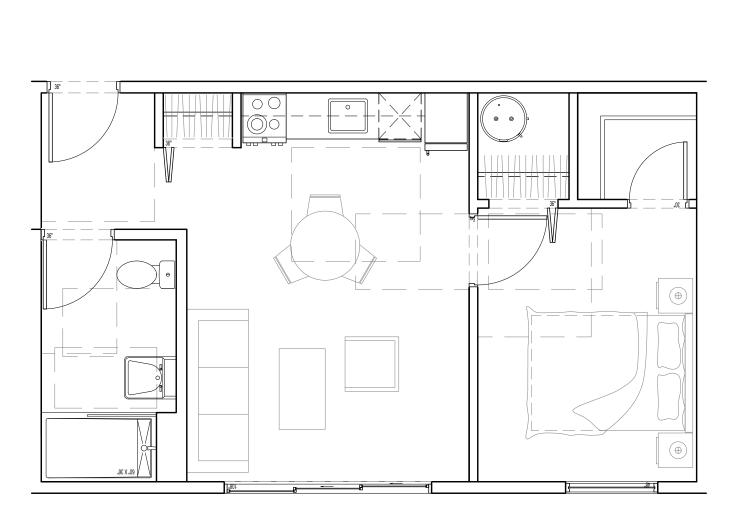
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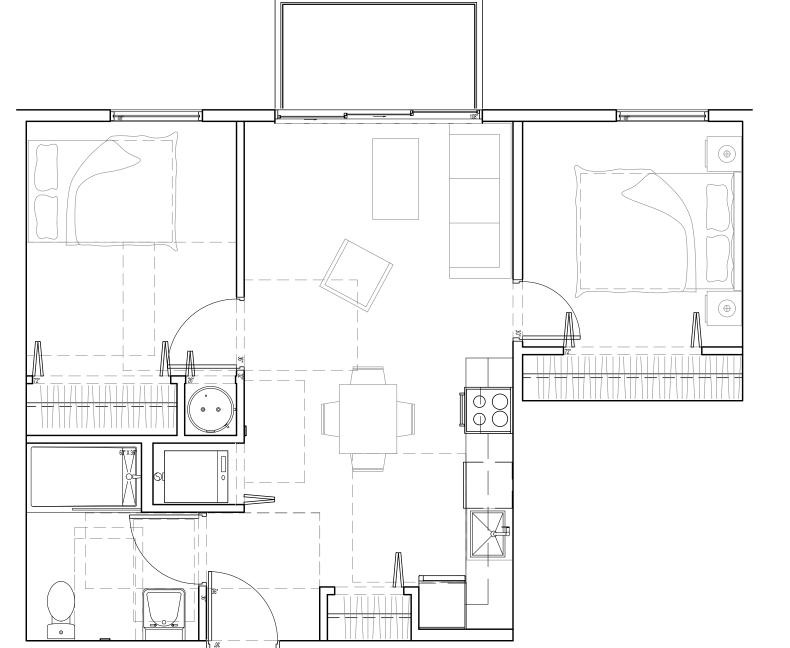
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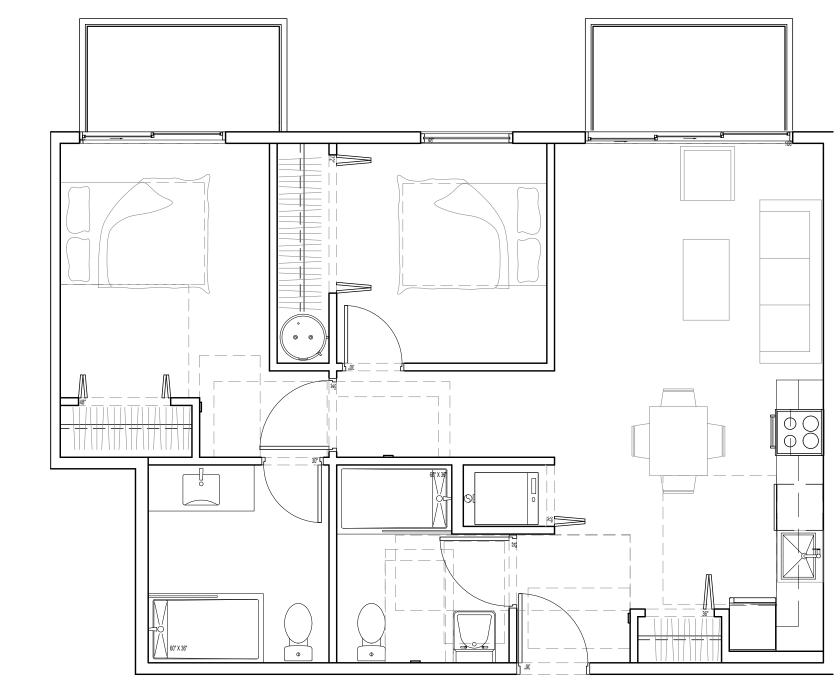
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 2403
 DRAWN BY:
 KG

 SCALE:
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 REVIEW BY:
 CH



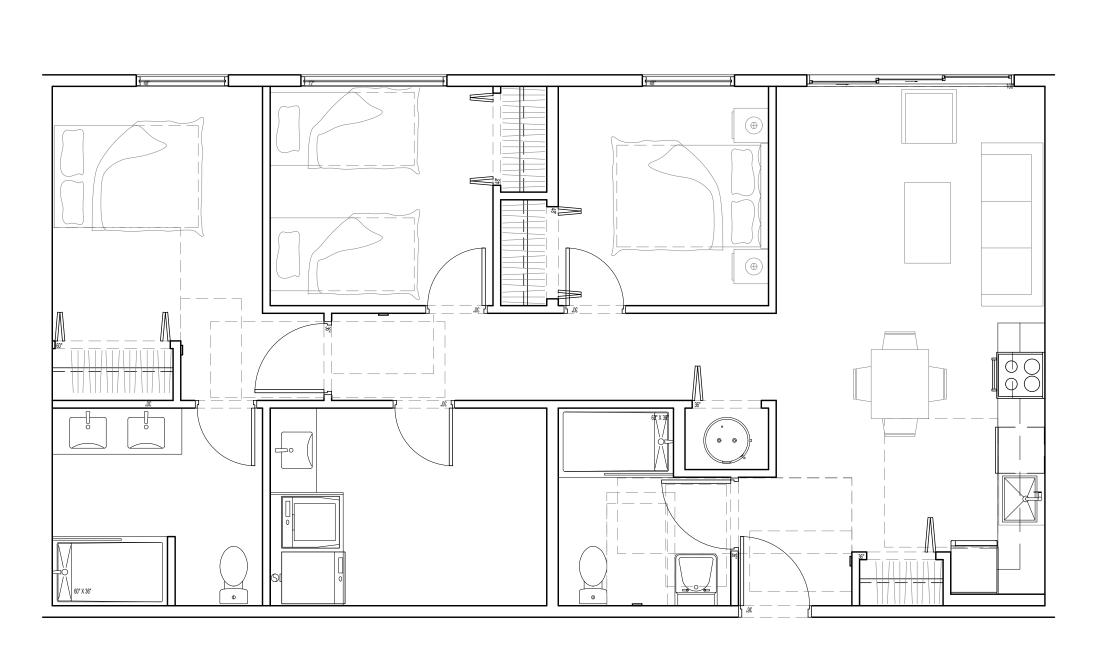


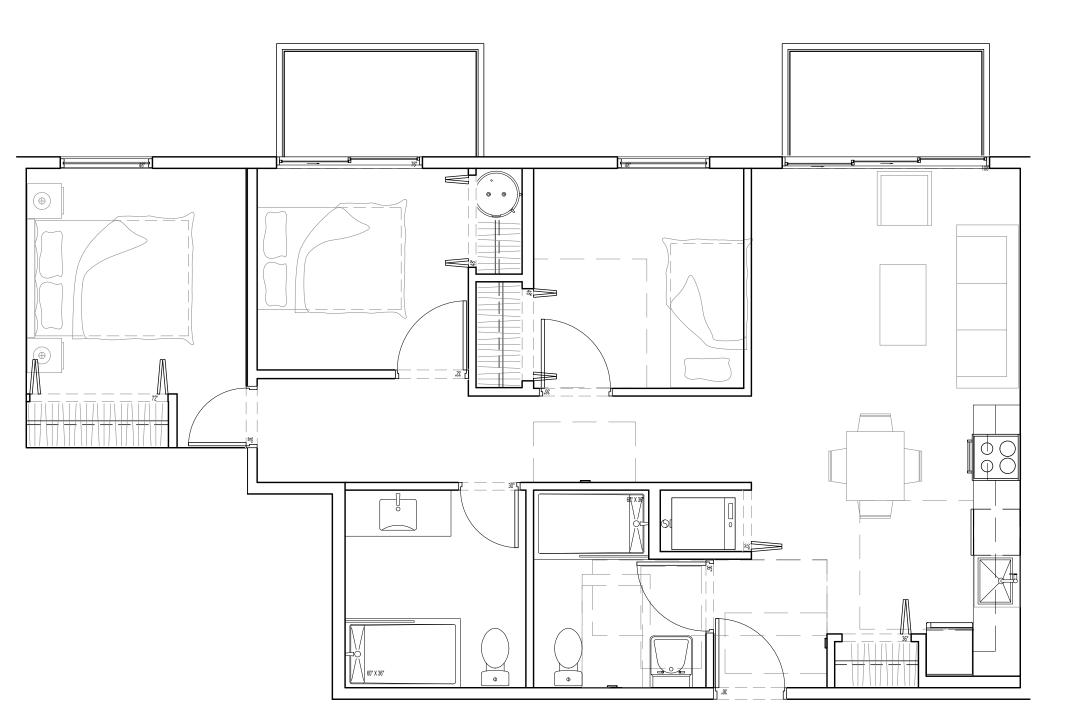






2 UNIT B2 1 BED (480 sf / 44.59 m2) 3 UNIT C1 2 BED (599 sf / 55.65 m2) 4 UNIT C2 2 BED (713 sf / 66.24 m2)





5 UNIT D1 3 BED (969 sf / 90.02m2) 6 UNIT D2 3 BED (834 sf / 77.48 m2) Copyright reserved. All parts of this drawing are the exclusive property of Colin Harper Architect and shall not be used without the Architect's written permission. All dimensions shall be verified by the Contractor before commencing work.

SEAL

SEAL

MARGE

MARG

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2. BULKHEADS TO BE SIZED AT MINIMUM WIDTH REQUIRED TO ACCOMMODATE

LEGEND

DROPPED CEILING / BULKHEAD, 7'-8" A.F.F. U.N.O.

APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY

VICTORIA, BC, V8Y 1T5

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UNIT PLANS

SCALE: 1:50 REVIEW BY: CH

DRAWING NO: A211



CERACLAD 8" REVEAL . 12" BOX RIB METAL PANEL (W/ 2" EXT INSULATION) 3. 4 GA. FACE MOUNTED METAL PANEL

4. PERFORATED METAL GUARD 5. BRAKE METAL FLASHING 6. SOLID WOOD DOOR SCONCE LIGHTING 8. CUSTOM METAL PICKET GUARDRAIL

12. STOREFRONT GLAZING
13. ARCHITECTURAL CONCRETE

BEIGE / PRE-PAINTED BEIGE / PRE-PAINTED BEIGE OR GREY / FACTORY FINISH BEIGE / PRE-PAINTED BEIGE / FACTORY FINISH BEIGE / PRE-PAINTED 9. VINYL WINDOW/DOOR BEIGE / FACTORY FINISH BEIGE / FACTORY FINISH BEIGE / PRE-PAINTED 10. METAL SIGNAGE 11. METAL CANOPY

OFF-WHITE / FACTORY FINISH IRON ORE / FACTORY FINISH

BEIGE / FACTORY FINISH CLEAR SEAL

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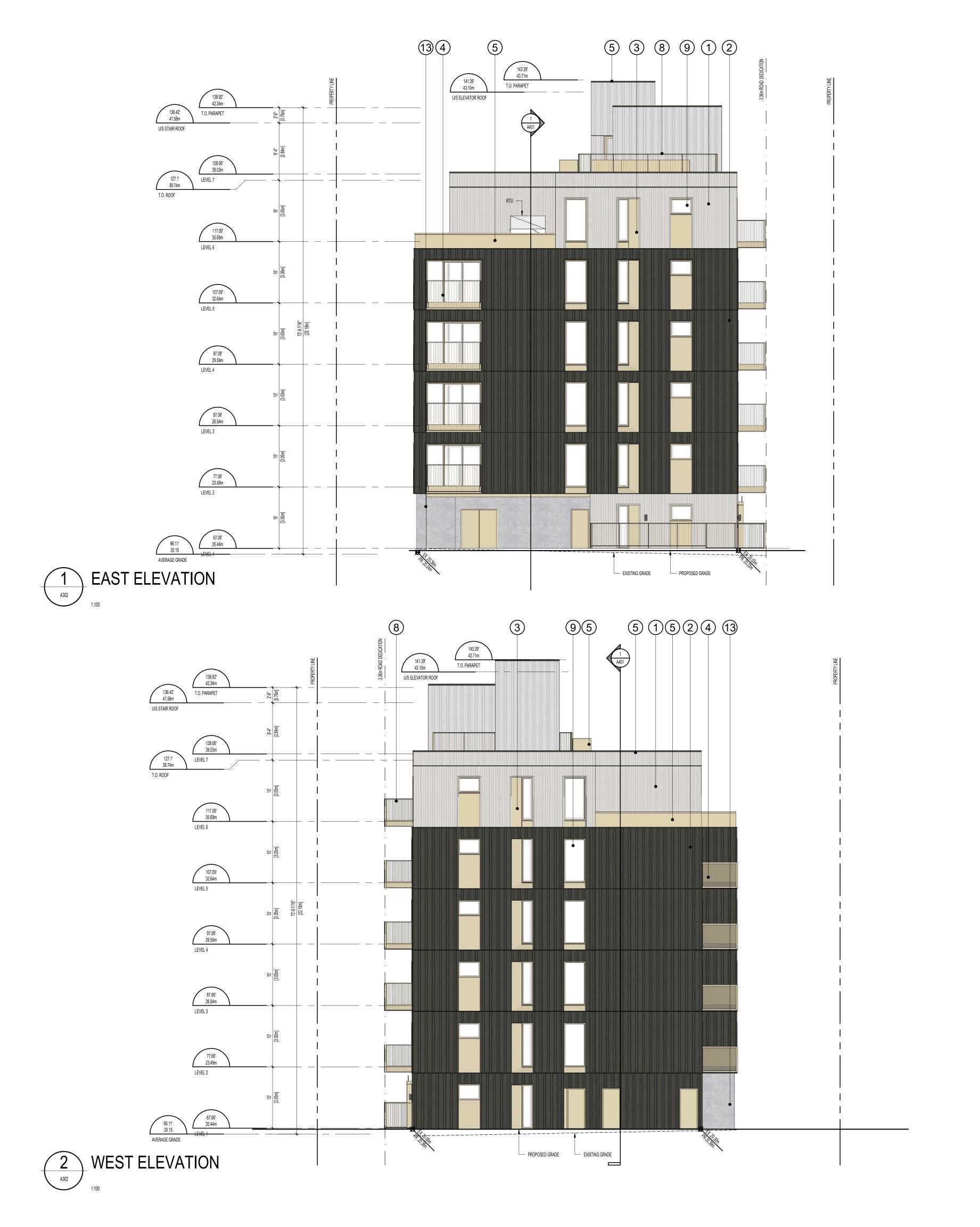
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ELEVATIONS

DRAWN BY: KG 1:100 REVIEW BY: CH



 CERACLAD 8" REVEAL
 12" BOX RIB METAL PANEL (W/ 2" EXT INSULATION) 3. 4 GA. FACE MOUNTED METAL PANEL 4. PERFORATED METAL GUARD BRAKE METAL FLASHING

12. STOREFRONT GLAZING
13. ARCHITECTURAL CONCRETE

6. SOLID WOOD DOOR SCONCE LIGHTING 8. CUSTOM METAL PICKET GUARDRAIL 9. VINYL WINDOW/DOOR 10. METAL SIGNAGE
11. METAL CANOPY

OFF-WHITE / FACTORY FINISH IRON ORE / FACTORY FINISH BEIGE / PRE-PAINTED BEIGE / PRE-PAINTED BEIGE OR GREY / FACTORY FINISH BEIGE / PRE-PAINTED BEIGE / FACTORY FINISH BEIGE / PRE-PAINTED BEIGE / FACTORY FINISH BEIGE / FACTORY FINISH BEIGE / PRE-PAINTED BEIGE / FACTORY FINISH CLEAR SEAL

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ELEVATIONS

DRAWN BY: KG REVIEW BY: CH 1:100









SIMPLE FORM L-SHAPE TO PROVIDE INCREASED SETBACKS AT REAR YARD STEPBACK AT LEVEL 6 TO ADDRESS TRANSITION IN SCALE TO ADJACENT PROPERTIES RICH AND SUBTLE FACADE (IMPLEMENTING A SIMPLE FORM ALLOWS US TO ALLOCATE CONSTRUCTION BUDGET TO A MORE SOPHISTICATED FACADE WITH HIGHER QUALITY MATERIALS AND DETAILING.)

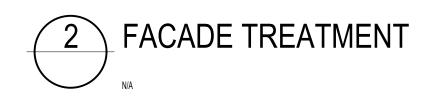








BREAK UP FACADE TO EMPHASIZE CORNER AND REINFORCE STEPBACK AT UPPER FLOORS CLADDING GRID PANEL PATTERN



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1551 & 1545 BAY ST. VICTORIA, BC

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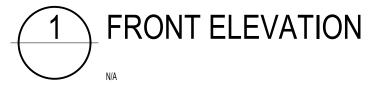


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DESIGN RATIONALE

DRAWN BY: KG REVIEW BY: CH







SOUTHEAST CORNER



NORTHEAST CORNER



4 MAIN ENTRANCE



NORTH ARROW

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APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY VICTORIA, BC, V8Y 1T5

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1551 & 1545 BAY ST.

VICTORIA, BC

PROJECT ADDRESS:

1551 & 1545 BAY ST. VICTORIA, BC, V8R 2B3



1839 Fairfield Road, Victoria, BC, V8S 1G9 778-584-0582 | info@charch.ca | charch.ca

RENDERINGS

REVIEW BY: CH



MATERIAL KEY



MATERIAL

1. CERACLAD 8" REVEAL

2. 12" BOX RIB METAL PANEL (W/ 2" EXT INSULATION)

3. 4 GA. FACE MOUNTED METAL PANEL 4. PERFORATED METAL GUARD
5. BRAKE METAL FLASHING
6. SOLID WOOD DOOR
7. SCONCE LIGHTING SCONCE LIGHTING
 CUSTOM METAL PICKET GUARDRAIL
 VINYL WINDOWIDOOR
 METAL SIGNAGE
 METAL CANOPY
 STOREFRONT GLAZING
 ARCHITECTURAL CONCRETE

BEIGE OR GREY / FACTORY
BEIGE / PRE-PAINTED
BEIGE / FACTORY FINISH
BEIGE / PRE-PAINTED
BEIGE / FACTORY FINISH
BEIGE / FACTORY FINISH
BEIGE / PRE-PAINTED
BEIGE / FACTORY FINISH
CLEAR SEAL

FINISH
OFF-WHITE / FACTORY FINISH
IRON ORE / FACTORY FINISH
BEIGE / PRE-PAINTED

BEIGE / PRE-PAINTED
BEIGE OR GREY / FACTORY FINISH

MATERIAL BOARD

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APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY VICTORIA, BC, V8Y 1T5

REISSUED FOR REZONING & DEVELOPMENT PERMIT ISSUED FOR REZONING & DEVELOPMENT PERMIT REVISION PROJECT NAME

1551 & 1545 BAY ST. **VICTORIA, BC**

PROJECT ADDRESS:

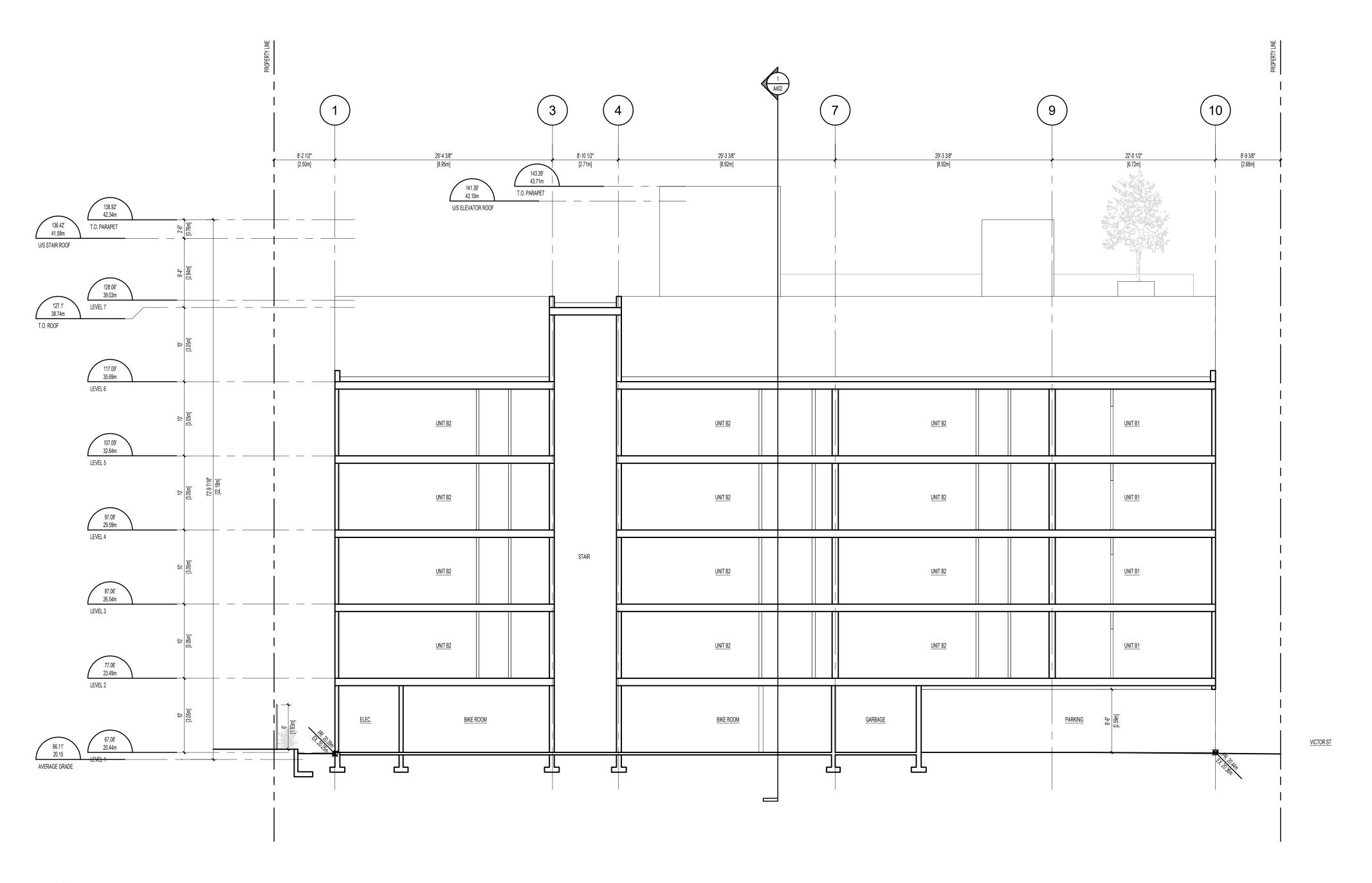
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MATERIAL BOARD

PROJECT NO: 2403 DRAWN BY: KG REVIEW BY: CH



1 SECTION 1

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VICTORIA, BC, V8Y 1T5

APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY

1551 & 1545 BAY ST. VICTORIA, BC

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REVISION

PROJECT ADDRESS:

PROJECT NAME

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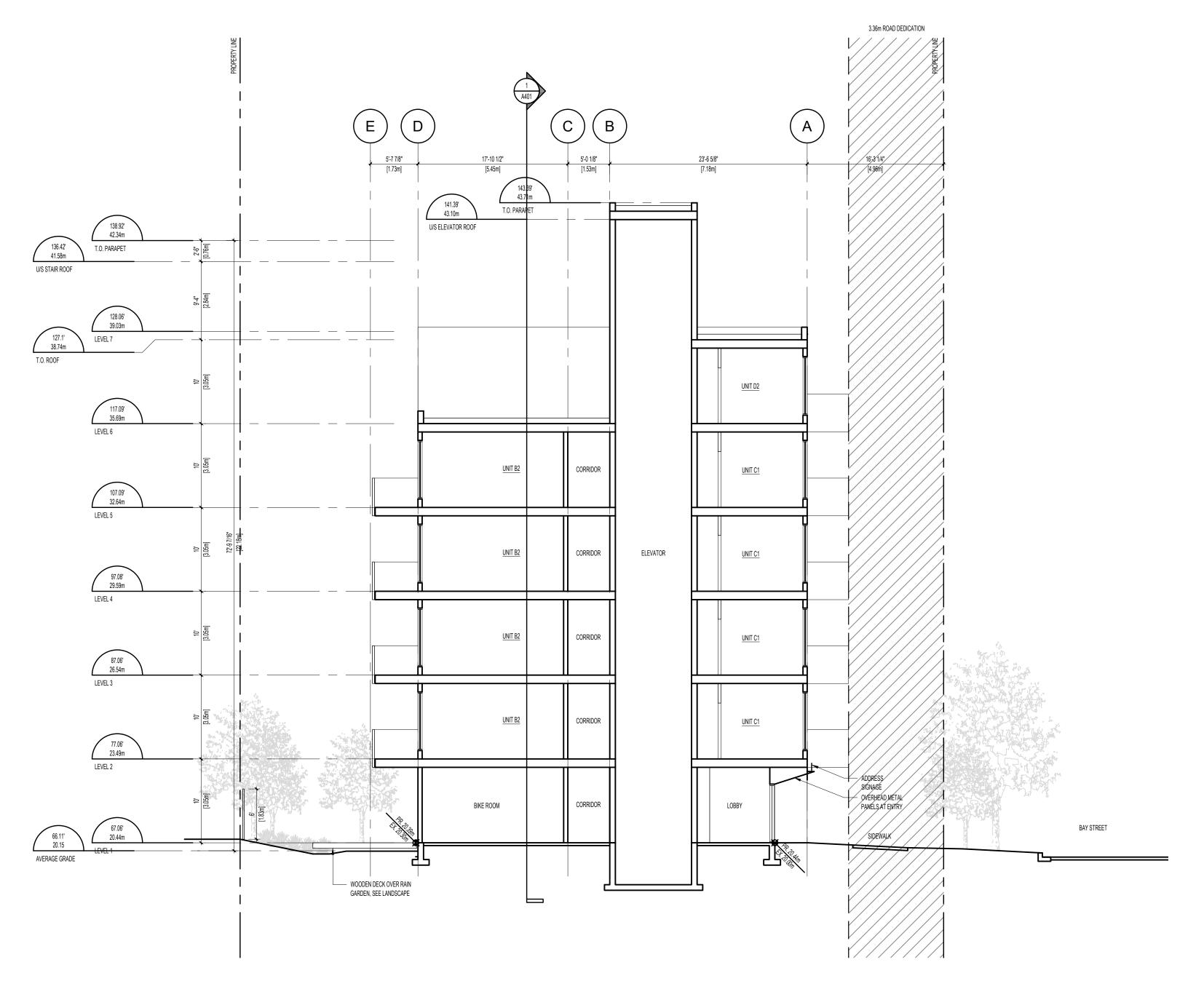


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SECTIONS

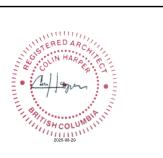
SCALE: 1:100 REVIEW BY: CH

DRAWING NO: A404



SECTION 2

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APPLICANT: LIDA HOMES INC. 250-440-5432 6105 PATRICIA BAY HWY

VICTORIA, BC, V8Y 1T5

REISSUED FOR REZONING & DEVELOPMENT PERMIT ISSUED FOR REZONING & DEVELOPMENT PERMIT REVISION

1551 & 1545 BAY ST. VICTORIA, BC

PROJECT ADDRESS:

1551 & 1545 BAY ST. VICTORIA, BC, V8R 2B3

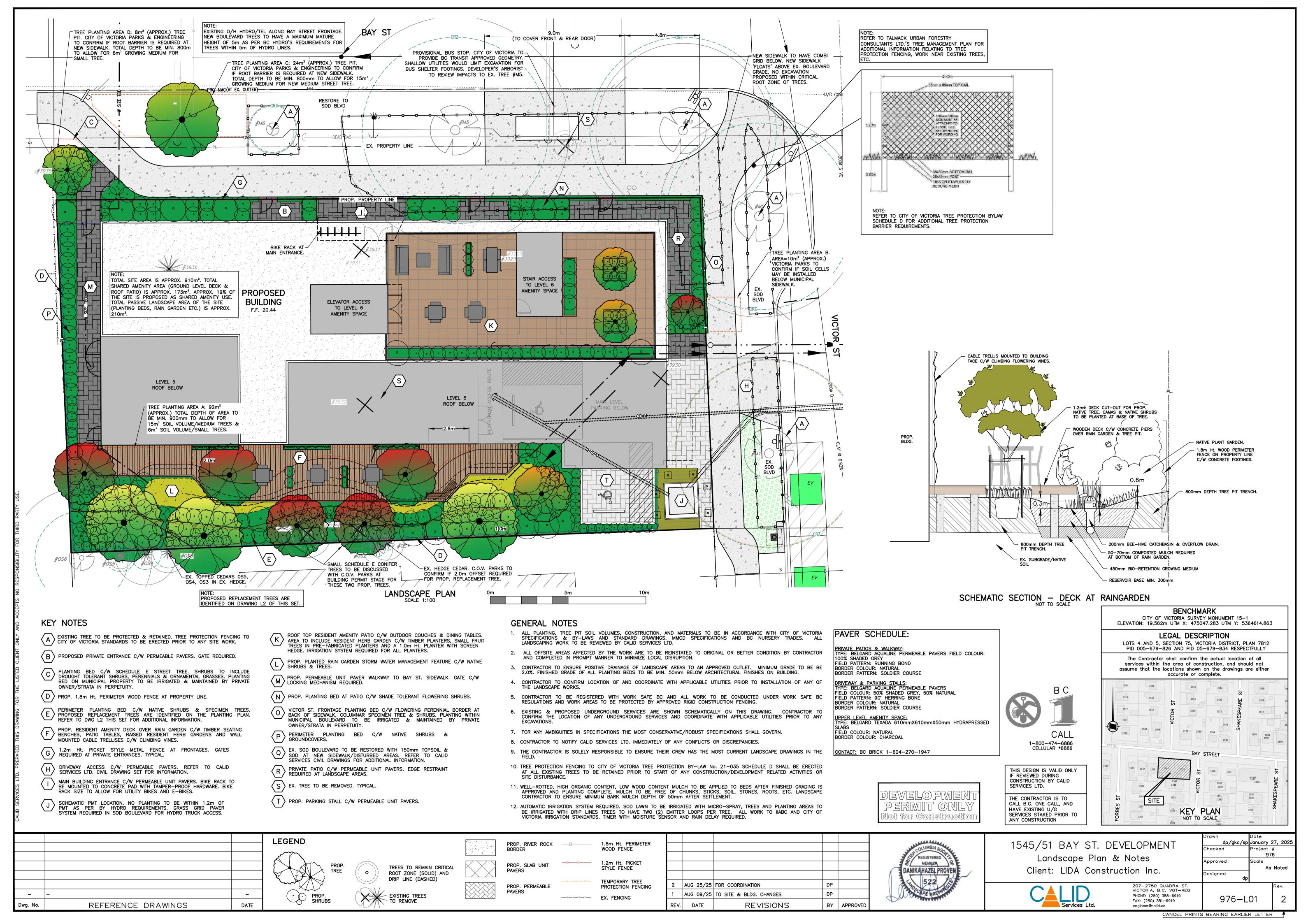
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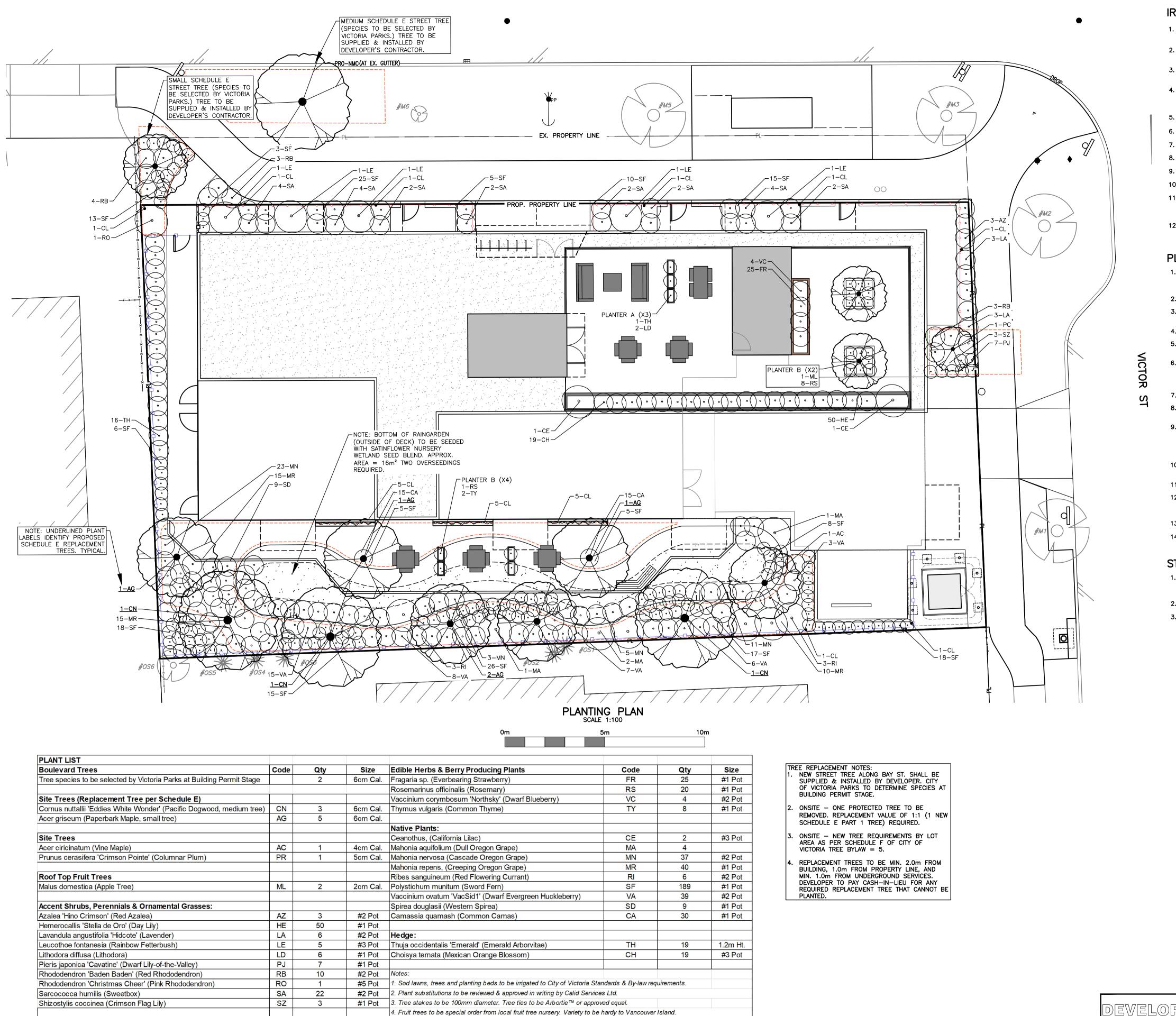


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SECTIONS

DRAWN BY: KG REVIEW BY: CH 1:100





i. Base of raingarden to be seeded with Satinflower Native Plan Nursery Wetland Seed Mix. Seed at a rate of 16/bs/acre.

1.8m Ht. PERIMETER WOOD FENCE

1.2m Ht. PICKET

STYLE FENCE

EX. FENCING

#1 Pot 6. Soil volumes for replacement trees to meet City of Victoria min. requirements. 6m³/small tree & 15m³/medium tree.

TREES TO REMAIN

CRITICAL ROOT ZONE

(SOLID) AND DRIP LINE

LEGEND

Clematis armandii (Evergreen Clematis)

REFERENCE DRAWINGS

Dwg. No.

IRRIGATION NOTES

- 1. IRRIGATION SYSTEMS TO MEET CITY OF VICTORIA BY-LAW, CANADIAN LANDSCAPE STANDARD (CLS) CURRENT EDITION, AND IIABC STANDARDS. IRRIGATION CONTRACTOR TO INSTALL IRRIGATION SYSTEM TO ALL APPLICABLE PLUMBING REGULATIONS.
- 2. TREES AND PLANTING AREAS TO BE IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM. TREES TO HAVE TWO (2) EMITTER LOOPS PER
- 3. IRRIGATION SYSTEM TO BE DESIGNED BY A CERTIFIED IRRIGATION DESIGNER AS CERTIFIED BY IIABC OR IA. SHOP DRAWINGS TO BE PROVIDED
- 4. ALL IRRIGATION COMPONENTS AND INSTALLATION TO COMPLY WITH MMCD AND IIABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. SYSTEM TO INCLUDE FLOW CENSOR, CENTRAL SHUT-OFF VALVE, AND METER. PRESSURE REGULATING DEVISE AND MOISTURE SENSOR/RAIN
- 5. IRRIGATION SYSTEM TO HAVE A DYNAMIC OPERATING PRESSURE BETWEEN 50 TO 90 psi.
- 6. IRRIGATION CONTRACTOR TO ENSURE ALL CRITICAL POINTS (CORNERS, EDGES, TIGHT CONTOURS, ETC.) RECEIVE FULL COVERAGE.
- 7. IRRIGATION CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCING WORK.
- 8. IRRIGATION SYSTEM TEST TO BE WITNESSED BY CALID SERVICES LTD. CONTRACTOR TO PROVIDE MINIMUM 72 HOUR NOTICE FOR REVIEW.
- 9. IRRIGATION CONTRACTOR TO GUARANTEE WORK AND MATERIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- 10. IRRIGATION CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AND ZONE MAPS TO DEVELOPER ALONG WITH OPERATION MANUAL FOR OWNER
- 11. 150mm DIAMETER PVC IRRIGATION SLEEVES TO BE INSTALLED AT ALL SIDEWALKS, PLANTERS, WALLS, ETC. TO ENSURE ALL LANDSCAPE AREAS CAN BE CONNECTED TO SITE IRRIGATION SYSTEM. FAILURE BY CONTRACTOR TO PROVIDE IRRIGATION SLEEVES WILL RESULT IN WORK
- 12. IRRIGATION POINT OF CONNECTION TO BE BROUGHT OUT OF MECHANICAL ROOM AND CAPPED FOR IRRIGATION CONTRACTOR TIE IN. 50mm P.O.C. TO BE PROVIDED. EXACT LOCATION TO BE CONFIRMED BY DEVELOPER PRIOR TO CONSTRUCTION.. VICTORIA PARKS DEPT. TO CONFIRM IF EXISTING BOULEVARD TREES ARE TIED INTO A MUNICIPAL SYSTEM. NEW BOULEVARD TREE TO BE CONNECTED TO MUNICIPAL SYSTEM.

PLANTING NOTES

- 1. CONTRACTOR TO STRIP ALL ORGANIC MATERIAL TO SPECIFIED LIMITS OF THE PLANTING AREAS. EXCAVATED DEPTH FOR SHRUBS TO BE MIN. 450mm, DEPTH OF TREE PITS TO BE 800mm. (TREE PITS TO BE EXCAVATED AT SAME TIME AS ANY SERVICING/UTILITY TRENCHING IN AREA. BACKFILL WITH GROWING MEDIUM & STAKE TREE PIT LOCATIONS FOR LANDSCAPE CONTRACTOR.)
- 2. SCARIFY AREAS SHOWING EXCESSIVE COMPACTION AND SIDES AND BOTTOM OF TREE PITS.
- 3. CONTRACTOR TO REMOVE AND DISPOSE OF OFF-SITE ALL DEBRIS AND UNUSABLE MATERIAL, ROOTS, STONES, ETC. THAT MAY INTERFERE WITH THE PROPER GROWTH OF THE FINISHED LANDSCAPING.
- 4. GROWING MEDIUM TO MEET MMCD SPECIFICATION AND CANADIAN LANDSCAPE STANDARDS (CLS) CURRENT EDITION.
- GROWING MEDIUM DEPTH TO BE MIN. 600mm FOR PLANTING AREAS AND 800mm FOR TREE PITS. TREE PIT SOIL VOLUMES TO MEET CITY
- 6. IMPORTED TOPSOIL TO CONTAIN A MIN. OF 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% ORGANIC MATTER FOR SAND LOAMS, TO A MAX. OF 20% VOLUME. SOIL TO BE FREE OF ROOTS, NOXIOUS WEEDS (CRABGRASS, COUCHGRASS, HORSETAIL, SEEDS, ETC.), TOXIC MATERIALS, STONES OVER 30mm, OR FOREIGN OBJECTS. ACIDITY RANGE TO BE 5.5-7.5 pH. NATIVE TOPSOIL MAY BE USED PROVIDED IT MEETS STANDARDS SET FOR IMPORTED TOPSOIL.
- PLANTING OF TREES, SHRUBS AND GROUND COVERS TO CONFORM TO MMCD SECTION 02950 SPECIFICATIONS AND CLS.
- LANDSCAPE CONTRACTOR TO ENSURE ALL MATERIALS AND PROCEDURES COMPLY WITH ACCEPTED LANDSCAPE PRACTICES. SPECIES SELECTION TO BE AS SPECIFIED. SUBSTITUTIONS WILL ONLY BE DONE WITH THE WRITTEN APPROVAL OF CALID SERVICES LTD.
- 9. PLANT MATERIAL TO BE NURSERY GROWN STOCK AND COMPLY WITH CANADIAN LANDSCAPE STANDARD FOR CONTAINER GROWN PLANTS AND LANDSCAPE CANADA GUIDE SPECIFICATION FOR NURSERY STOCK. PLANTS TO BE TRUE TO NAME, TYPE AND FORM, AND BE REPRESENTATIVE OF THEIR SPECIES AND VARIETY. PLANTS TO BE OF GOOD HEALTH, PROPERLY PROPORTIONED, NOT WEAK, INJURED OR THIN. CONTRACTOR SHALL PROVIDE PHOTOS OF ALL TREES TO STREET TO STREET TO SHIPMENT FROM NURSERY. REFER T STREET TREE NOTES BELOW FOR ADDITIONAL INFORMATION.
- 10. TREES TO BE STAKED AND BRACED IN AN UPRIGHT POSITION. INSTALL STAKES, CLAMPS, ANCHORS, ARBORTIE FABRIC TIES AS NOT TO DAMAGE THE TREE. TREE STAKES TO BE 100mm DIAMETER.
- 11. LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR THE STANDARD ONE (1) YEAR WARRANTY PERIOD.
- 12. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR PLANT LOSS DUE TO THEFT, VANDALISM, OR ANIMALS DURING THE MAINTENANCE PERIOD. OR DUE TO FAILURE BY OWNER/STRATA TO OPERATE IRRIGATION SYSTEM ON SCHEDULE RECOMMENDED BY IRRIGATION INSTALLER AT PROJECT COMPLETION.
- 13. PRUNING OF TREES TO BE DONE BY A CERTIFIED ARBORIST.
- 14. ALL TREE PITS/TREE PIT TRENCHES AND PLANTING BEDS SHALL BE REVIEWED BY CALID SERVICES LTD. PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE MIN. 48 HOURS NOTICE FOR SITE REVIEWS.

STREET TREE NOTES

lot for Constructic

REGISTERED

DANKAHAZELPROVI

2 AUG 25/25 TO CITY TRG REVIEW COMMENTS

JUL 24/25 TO SITE & BLDG. CHANGES

REVISIONS

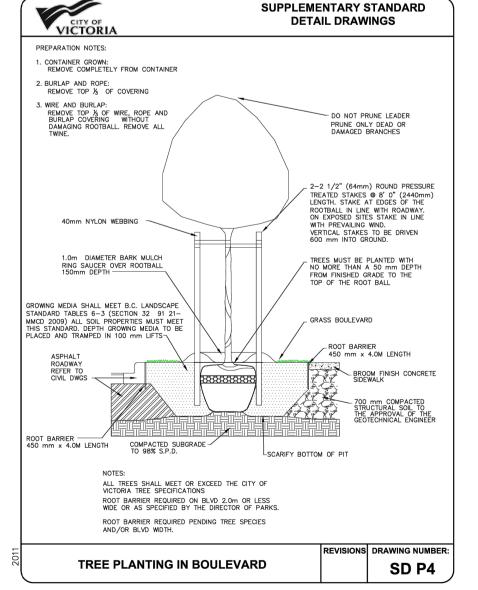
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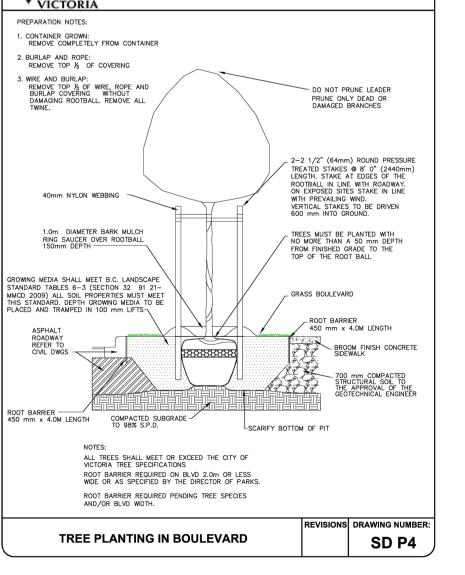
BY APPROVED

- PROP. STREET TREE MUST COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW AND THE CANADIAN LANDSCAPE STANDARD (CLS) CURRENT EDITION. REFER TO SCHEDULE B3-4 OF THE SUBDIVISION BYLAW FOR ADDITIONAL PLANTING DETAILS.
- 2. BOULEVARD TREE SPECIES SHALL BE CONFIRMED BY VICTORIA PARKS AT BUILDING PERMIT STAGE.
- LANDSCAPE CONTRACTOR SHALL CONTACT VICTORIA PARKS STAFF (TREEPERMITS@VICTORIA.CA) AND CALID SERVICES LTD. FOR THE FOLLOWING TREE INSPECTIONS REQUIRED BY BYLAW SCHEDULE C. ALLOW FOR 48 HOURS NOTICE FOR INSPECTIONS.

TREE PLANTING INSPECTIONS:

- EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS.
- TREES PRIOR TO PLANTING. (CONTRACTOR TO PROVIDE PHOTOS FROM NURSERY CONFIRMING CALIPER SIZE,
- HEIGHT, HEALTH & SHAPE OF TREE PRIOR TO SHIPPING. TREE MUST MEET THE SPEC UPON DELIVERY) COMPLETED PLANTING - TREE PLANTING, GRATE/GUARD, STAKES, ETC.







1-800-474-6886 CELLULAR *6886

THIS DESIGN IS VALID ONLY IF REVIEWED DURING CONSTRUCTION BY CALID SERVICES LTD. THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO

January 27, 202

976

As Noted

ANY CONSTRUCTION

Checked

Approved

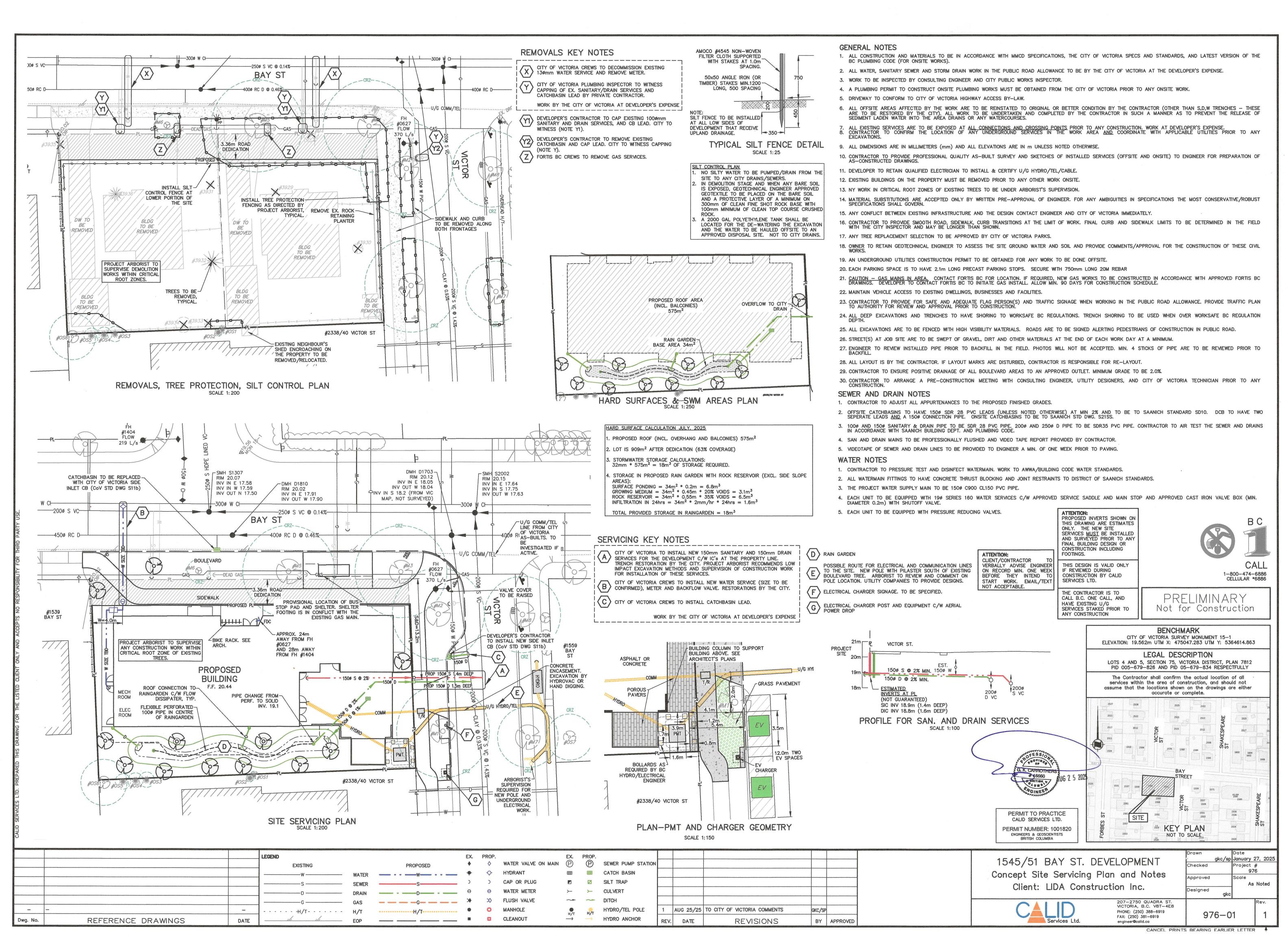
1545/51 BAY ST. DEVELOPMENT Planting Plan & Notes Client: LIDA Construction Inc.

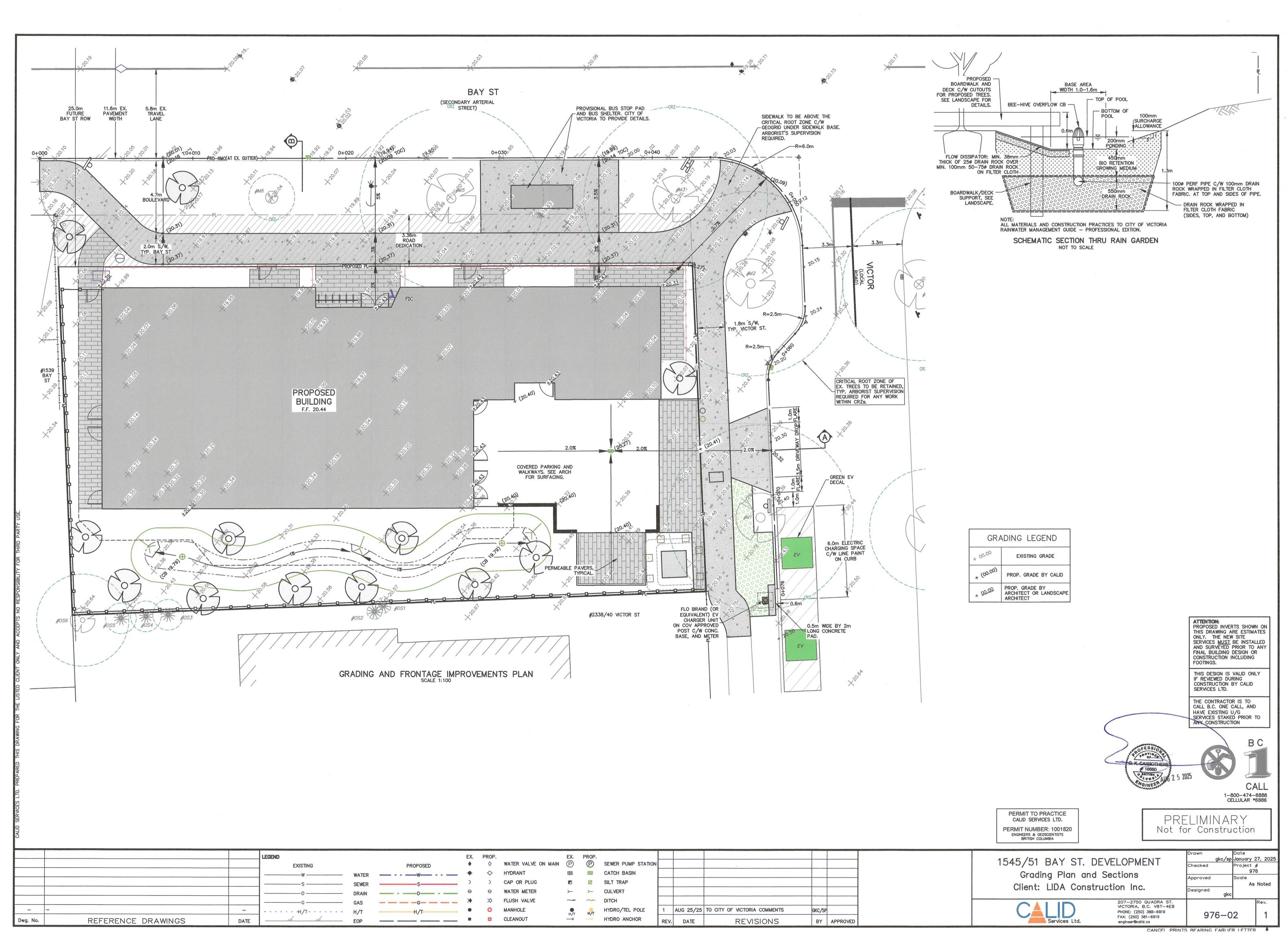
enaineer@calid.ca

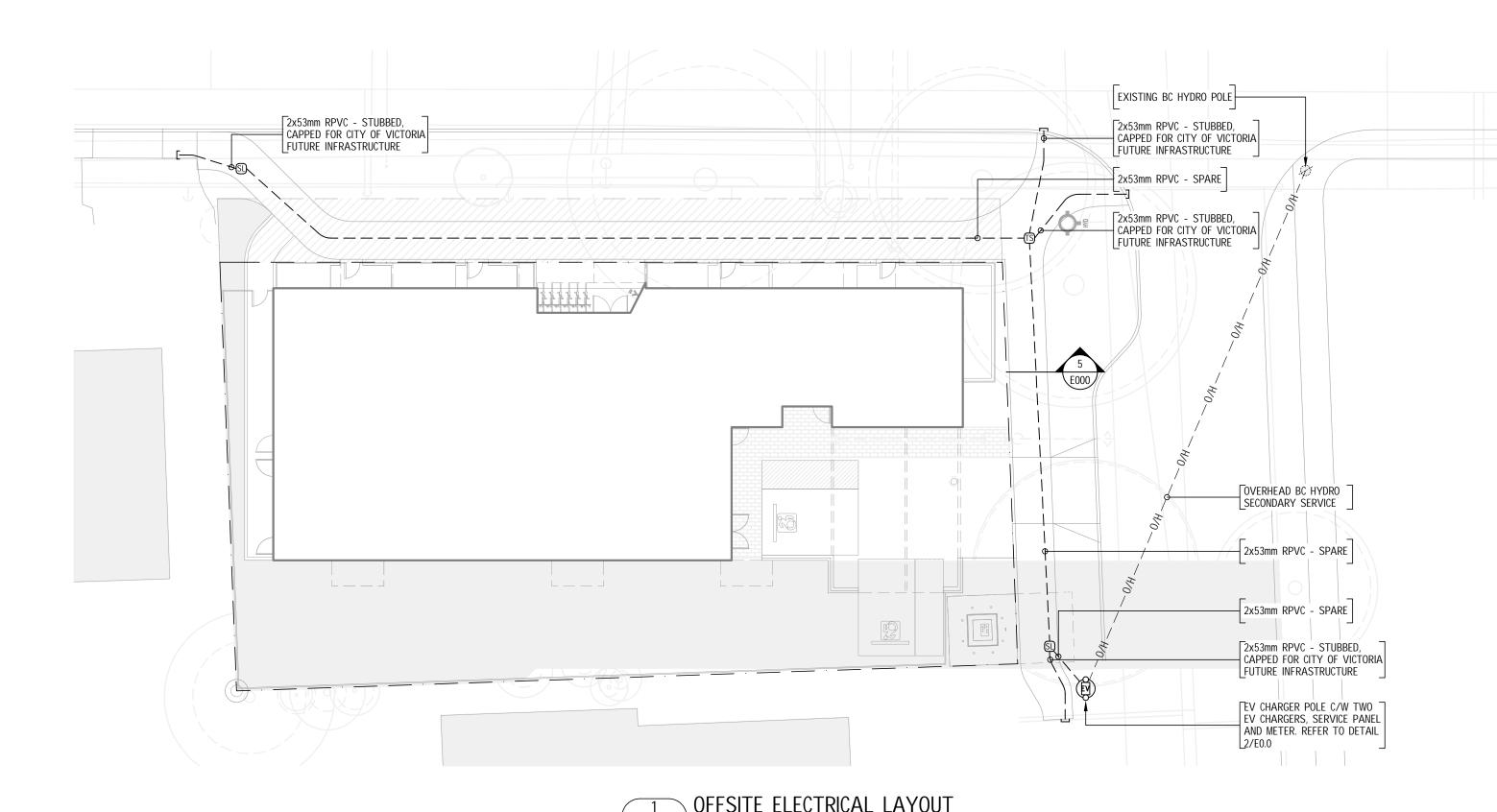
PHONE: (250) 388-6919 FAX: (250) 381-6919

976-L02

CANCEL PRINTS BEARING EARLIER LETTER 🕈







ELECTRICAL SPECIFICATION

26 05 00 - COMMON WORK RESULTS FOR ELECTRICAL CONTRACT

- 1. THE TERM "PROVIDE" MEANS SUPPLY AND INSTALLATION OF REFERENCED ITEM, WORK AND/OR SYSTEM INCLUDING ALL LABOUR, MATERIALS, EQUIPMENT, SERVICES, COORDINATION WITH OTHERS, PROGRAMMING, VERIFICATION, COMMISSIONING, WARRANTY AND OTHER MANUFACTURER, CODES, STANDARDS AND CONTRACT DOCUMENTS REQUIRED ELEMENTS FOR A COMPLETE AND OPERATIONAL
- 2. PROVIDE ALL SYSTEMS AS OUTLINED IN THE SPECIFICATIONS AND INDICATED IN THE DRAWINGS, UNLESS SPECIFICALLY NOTED THAT THE MATERIAL/EQUIPMENT, LABOUR OR OTHER SERVICES ARE NOT
- 3. THE REQUIREMENTS OF THIS SPECIFICATIONS ARE IN ADDITION TO THOSE SPECIFIED WITHIN THE GENERAL CONDITIONS AND OTHER SECTIONS OF THE CONTRACT DOCUMENTS. WHERE THE SPECIFICATIONS AND DRAWINGS CONTRADICT EACH OTHER, REQUEST CLARIFICATION PRIOR TO PRICING. AND WHEN CLARIFICATION IS NOT FORMALLY COMMUNICATED IN AN ADDENDUM TO ALL BIDDERS, ALLOW FOR THE MOST EXPENSIVE OPTION.

CODES AND PERMITS

4. OBTAIN AND PAY FOR ALL PERMITS AND LICENSES.

5. Provide installation as per the current edition of the canadian electrical code, master MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD), RELEVANT MUNICIPALITY BYLAWS, UTILITY STANDARDS AND THE ELECTRICAL INSPECTION AUTHORITY.

EQUIPMENT AND MATERIALS

6. ALL SUPPLIED MATERIALS SHALL BE IN NEW CONDITION AND MUST BEAR A CERTIFICATION MARK INDICATING THAT THE PRODUCT WAS TESTED AND HAS MET THE CERTIFICATION REQUIREMENTS FOR USE IN CANADA. IF REQUIRED, OBTAIN AND PAY FOR FIELD CERTIFICATION OF EQUIPMENT.

- 7. PROVIDE WARRANTY FOR ALL INSTALLATION TO BE PROTECTED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER FINAL APPROVAL. ELECTRICAL CONTRACTOR MUST COVER ALL COSTS OF REPAIR AND REPLACEMENT OF DEFECTIVE MATERIALS AND WORKMANSHIP INCLUDING BUT NOT LIMITED TO PARTS, LABOR, TRAVEL EXPENSES, EXPENDABLE MATERIALS AND OTHER ITEMS REQUIRED FOR A REPAIR.
- 8. PROVIDE STANDARD MANUFACTURER'S WARRANTY FOR ALL EQUIPMENT PROVIDED.

COORDINATION

- 9. REVIEW CIVIL DRAWINGS AND SPECIFICATIONS TO CONFIRM THE SCOPE OF WORK AND IMPACT ON ELECTRICAL WORKS. INCLUDE REASONABLE COST IN THE TENDER SUM FOR COMPLICATIONS AND ADDITIONAL WORK DESCRIBED THERIN.
- 10.REVIEW AND COORDINATE WITH MUNACIPALITY CIVIL STANDARDS AND UTILITY STANDARDS. 11. COORDINATION OF WORKS:
- a. STREET LIGHTING AND SERVICE WORKS 2 WORKING DAYS MIN. CONTACT ELECTRICAL
- SUPERVISOR CHRIS STRIDE 250-361-0403 CSTRIDE@VICTORIA.CA. b. Traffic signals - 5 working days min. Contact technical service supervisor collin
- HEUMAN 250-361-0414

DEMOLITION OR RENOVATION SCOPE

- 12.REMOVE AND DISPOSE ALL ELECTRICAL DEVICES INDICATED TO BE REMOVED INCLUDING WIRING/CABLING, CONDUITS, JUNCTION BOXES AND OTHER ACCESSORIES.
- 13.ITEMS TO BE REMOVED, AND REMOVED&RELOCATED ARE SHOWN FOR GENERAL PRICING PURPOSE ONLY. THE CONTRACTOR MUST ALLOW FOR REMOVAL AND DISPOSAL OF OTHER ELECTRICAL DEVICES THAT MAY NOT BE SHOWN ON PLANS INCLUDING JUNCTION BOXES, WIRING, AND CONDUITS. EXTRAS
- WILL NOT BE CONSIDERED FOR REASONABLE DEMOLITION AND DISPOSAL OF ELECTRICAL WORKS. 14. REMOVE AND REINSTATE EQUIPMENT AND PROVIDE SUPPORTS FOR EXISTING EQUIPMENT TO FACILITATE CONSTRUCTION EFFORTS.
- 15.CONTRACTOR SHALL ENSURE THAT CONNECTIONS TO ALL EXISTING EQUIPMENT ARE MAINTAINED DURING CONSTRUCTION.

METERING

- 16.COORDINATE AND OBTAIN APPROVAL FROM BC HYDRO FOR ADDITION OF NEW METER(S) PRIOR TO ANY WORK. PAY BC HYDRO RELATED COSTS RELATED FOR ADDITION AND COMMISSIONING OF NEW
- 17.ALL SERVICE CONNECTIONS AND ARRANGEMENT OF METER INSTALLATION TO BE DONE BY THE CITY OF VICTORIA FORCES

SHOP DRAWINGS

- 18.PROVIDE SHOP DRAWINGS (FOR CONSULTANT REVIEW. AHJ REVIEW NOT REQUIRED UNLESS SPECIFICALLY REQUESTED) FOR THE FOLLOWING ITEMS PRIOR TO ORDERING:
- a. CONCRETE BASE
- b. Service base
- c. EV CHARGER C/W SERVICE POLE COMPLETE WITH THE FOLLOWING TO CITY OF VICTORIA
- STANDARDS
- i EV CHARGER ii CABLE MANAGEMENT SYSTEM
- iii SIGNAGE
- iv BC HYDRO METER v PANELBOARD
- d. Panelboard

26 00 00 - PROJECT SPECIFIC COORDINATION

e. JUNCTION BOXES

- 1. PROVIDE ONE SET OF FULL-SIZE ELECTRICAL DRAWINGS ON SITE RECORD SITE CHANGES, SITE INSTRUCTIONS, ALL WORKS COMPLETED OR ALTERED, SURVEY POINTS, CHANGE ORDERS, ANY OTHER ALTERNATIONS AND CONDUIT ROUTING. HAND OVER DIGITAL RECORD DRAWINGS TO ENGINEER AND
- 2. RECORD DRAWINGS DESCRIBED ABOVE MUST MEET THE GENERAL REQUIREMENTS AND STANDARDS EXPECTED FROM THE CITY OF VICTORIA FOR CIVIL STREET LIGHTING WORKS.
- 3. CONTRACTOR SHALL FIELD VERIFY CLEARANCES FROM OVERHEAD AND UNDERGROUND UTILITY LINES TO MEET UTILITY, AHJ AND WORKSAFE BC REGULATIONS PRIOR TO ANY UNDERGROUND WORK.
- 4. ALL EMPTY CONDUITS SHALL HAVE A PULL STRING AND SHALL BE CAPPED. PULL STRING SHALL BE POLYPROPYLENE WITH A MINIMUM TENSILE STRENGTH OF 1.1 kN. 5. HAND OVER RECORD DRAWINGS TO E2 ENGINEERING FOR REVIEW, AND TO CONVERT CONTRACTOR
- MARKUPS OF RECORD DRAWINGS TO DIGITAL FORMAT.
- 6. CITY OF VICTORIA REQUIRES ALL CONCRETE POLE BASES 280BCD OR LARGER TO HAVE 2x53mm C. ON V-GROOVE SIDE.
- 7. PROVIDE SIGN OFF BY BC HYDRO FOR SERVICE CONNECTION LOCATION
- 8. PROVIDE A PICTURE OF THE GROUND PLATE INSTALLATION (REQUIRED FOR SERVICE CONNECTION).

<u>26 15 20 - Wires, Cables and Conduits</u>

- 1. CONDUIT SIZE TO BE 53mm RPVC UNLESS OTHERWISE INDICATED. NO EXCEPTIONS. ALL BURIED CONDUIT SHALL BE RIGID PVC CONFORMING TO CSA C22.2 NO. 211.2. PVC COUPLINGS SHALL BE A THREADLESS TYPE, APPROVED FOR SOLVENT CEMENT WELDING CONFORMING TO CSA C22.2 NO. 85. PVC FITTINGS,
- COUPLINGS AND CONDUIT SHALL BE OF THE SAME MANUFACTURER. 2. ALL WIRING MUST BE RW90 COPPER WITH THE FOLLOWING MINIMUM SIZES:
- a. BC HYDRO SERVICE #3 AWG STRANDED
- b. For any controls wiring within Pole 2#14 AWG Stranded + Bond as Needed
- 3. SUBSTITUTION OF ALUMINUM CONDUCTORS IN LIEU OF COPPER CONDUCTORS IS NOT ACCEPTABLE UNDER ANY CIRCUMSTANCE.

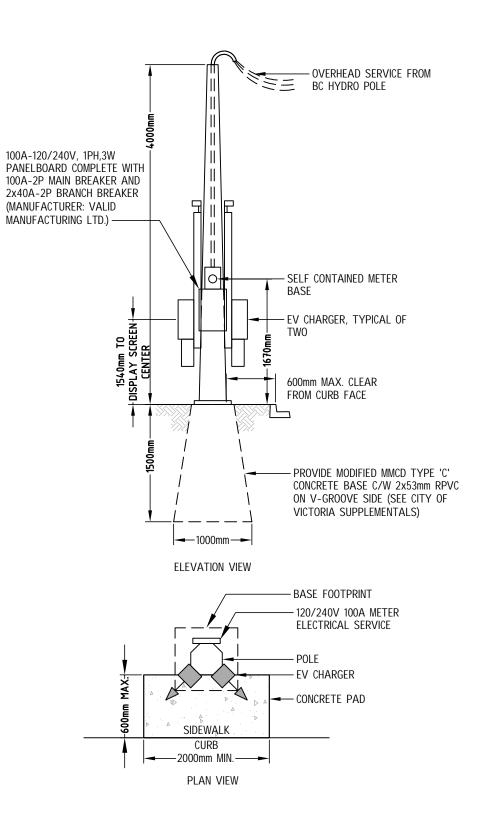
4. PROVIDE BOND CONDUCTOR WITH ALL FEEDERS.

<u>26 15 25 - GROUNDING AND BONDING</u>

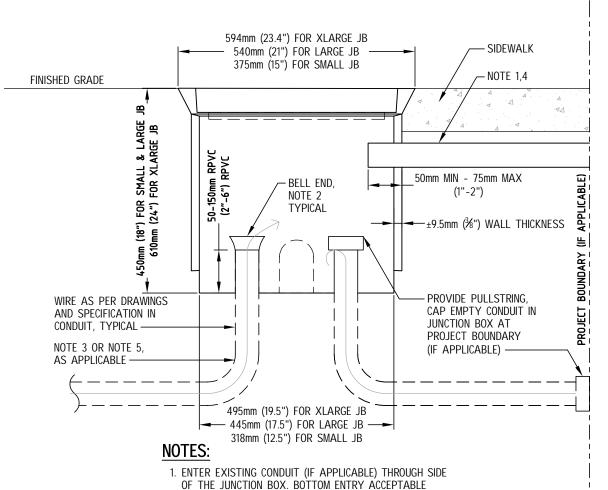
- 1. PERFORM ALL REQUIRED SECONDARY ELECTRICAL WORK GROUNDING AND BONDING WORK IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES AND STANDARDS, INCLUDING THE ELECTRICAL SAFETY AUTHORITY. GROUND CONDUCTORS SHALL BE WELDED BY A THERMIT PROCESS.
- 2. BOND PANEL, METAL POLES, JUNCTION BOX VAULT LIDS, SIGNAL HEADS AND NON-CURRENT CARRYING METAL PARTS OF EQUIPMENT TOGETHER TO FORM A CONTINUOUS GROUND SYSTEM.

GENERAL COMMENTS

- 1. FSR FOR OFF-SITE ELECTRICAL TO PROVIDE COPY OF THE 'APPROVED BC ELECTRICAL CONTRACTOR INSPECTION FORM' BEFORE PROJECT FINAL INSPECTION.
- 2. ELECTRICAL CONTRACTOR TO ARRANGE ONSITE PRE-CONSTRUCTION COORDINATION MEETING WITH THE CITY PRIOR TO ANY OFFSITE ELECTRICAL WORK. (CITY OF VICTORIA ONLY)



EV CHARGER POLE C/W OVERHEAD BC HYDRO SERVICE DETAIL E000 NTS

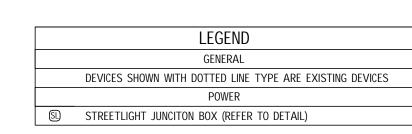


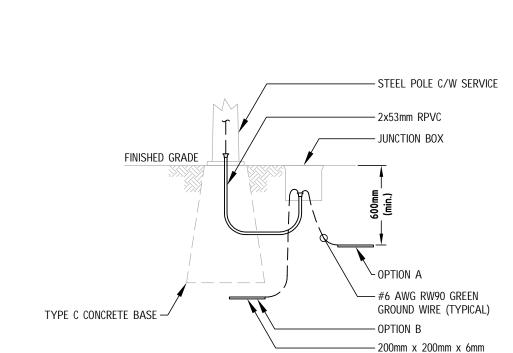
- WHERE DEPTH OF EXISTING CONDUIT DOES NOT ALLOW
- 2. INSTALL BELL ENDS AT BOTH ENDS PRIOR TO PULLING CONDUCTORS. BELL ENDS INSTALLED AFTER PULLING CONDUCTORS WILL NOT BE ACCEPTED.
- 3. PROVIDE 2x53mm RPVC CONDUIT FROM JUNCTION BOX TO V-GROOVE SIDE OF CONCRETE BASE (WHERE INDICATED ON DRAWINGS). CONDUITS ENTERING POLE BASE ON ANY OTHER SIDE WILL NOT BE ACCEPTED.
- 4. INTERCEPT AND EXTEND ALL EXISTING CONDUITS (WEATHER INDICATED OR NOT) FOUND DURING CONSTRUCTION TO JUNCTION BOX. INFORM ENGINEER AND AUTHORITY HAVING JURISDICTION PRIOR TO ANY REVISION. 5. PROVIDE 5x53mm RPVC AND 1x27mm RPVC CONDUIT FROM TRAFFIC SIGNAL JUNCTION BOX TO CONTROLLER.

JB TYPES:

- 1. © Street Lighting (Small) Junction Box Shall Be DFW Plastics DFW37c4-18-4DP Blank C/W MANUFACTURER'S BOLT DOWN LID. USE JB FOR UP TO 8 CONDUITS MAXIMUM.
- 2. (S) TRAFFIC SIGNALS JUNCTION BOX SHALL BE DFW PLASTICS DFW1730C4-18-4DP. JUNCTION BOX LID SHALL BE SECURED WITH MANUFACTURER'S LID SUPPLIED DEVICE. USE JB FOR UP TO 16 CONDUITS MAXIMUM.
- 3. EXTRA LARGE JUNCTION BOX SHALL BE 'A.E. CONCRETE PRODUCTS LTD' NO. MOTH 5686 OR 'KON KAST PRODUCTS LTD' NO. 1151 OR APPROVED ALTERNATIVE. JUNCTION BOX SHALL BE SECURED WITH MANUFACTURER'S SUPLIED LID. REFER TO MMCD STANDARD DETAIL DRAWING F2.3 AND F2.4
- 4. W MMCD CONCRETE VAULT. REFER TO MMCD STANDARD DETAIL DRAWINGS E2.5 AND E2.6.
- 5. MINISTRY JUNCTION BOX (MOTT TYPE 10) SHALL BE TWO JB SECTIONS (SN1847R), ONE PLASTIC LID (SN1850R) OR ONE STEEL LID (SN1848) AND ONE DRAIN PLATE (SN1849).



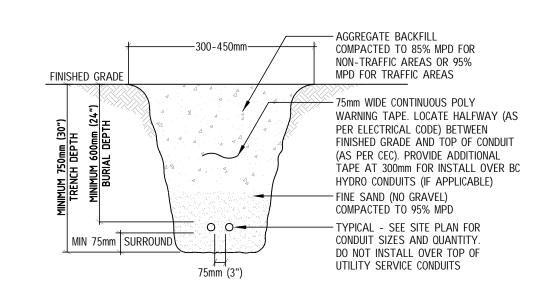




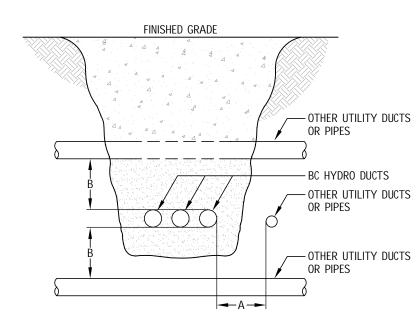
GROUND PLATE (TYPICAL)

- 1. 600mm MINIMNUM INSTALLATION DEPTH FOR
- GROUND PLATE. PROVIDE A PICTURE OF THE GROUND PLATE
- INSTALLATION BEFORE BACKFILLING UNLESS IT HAS BEEN INSPECTED AND APPROVED BY CoV. 3. GROUND RESISTANCE READING SHALL BE 25 OHMS
- 4. OPTION A IS PREFERABLE. CONSULT ELECTRICAL ENGINEER PRIOR TO USING OPTION B.

E000 NTS







T) (DE 05 DIDE 05	MINIMUM CLEARANCES			
TYPE OF PIPE OR DUCT	DIRECT-BURIED BC HYDRO DUCTS		CONCRETE-ENCASED BC HYDRO DUCTS	
CLEARANCES (in)	Α	В	Α	В
TELEPHONE, CABLE TV OR STREET LIGHTS	12	6	3	6
GAS MAINS	12	12	12	12
OIL PIPELINES, JET FUEL LINES, WATER, SANITARY AND SEWER LINES	36	12	12	12

DUCT CLEARANCE DETAIL E000 NTS

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7	DEVELOPMENT PERMIT	29/08/25
6	DP DRAFT	26/08/25
5	DEVELOPMENT PERMIT	12/08/25
4	REVIEW	28/07/25
3	REVIEW	11/07/25
2	DEVELOPMENT PERMIT	24/01/25
1	REVIEW	12/12/24
NO.	ISSUE	DATE

1551 AND 1554 **BAY STREET**

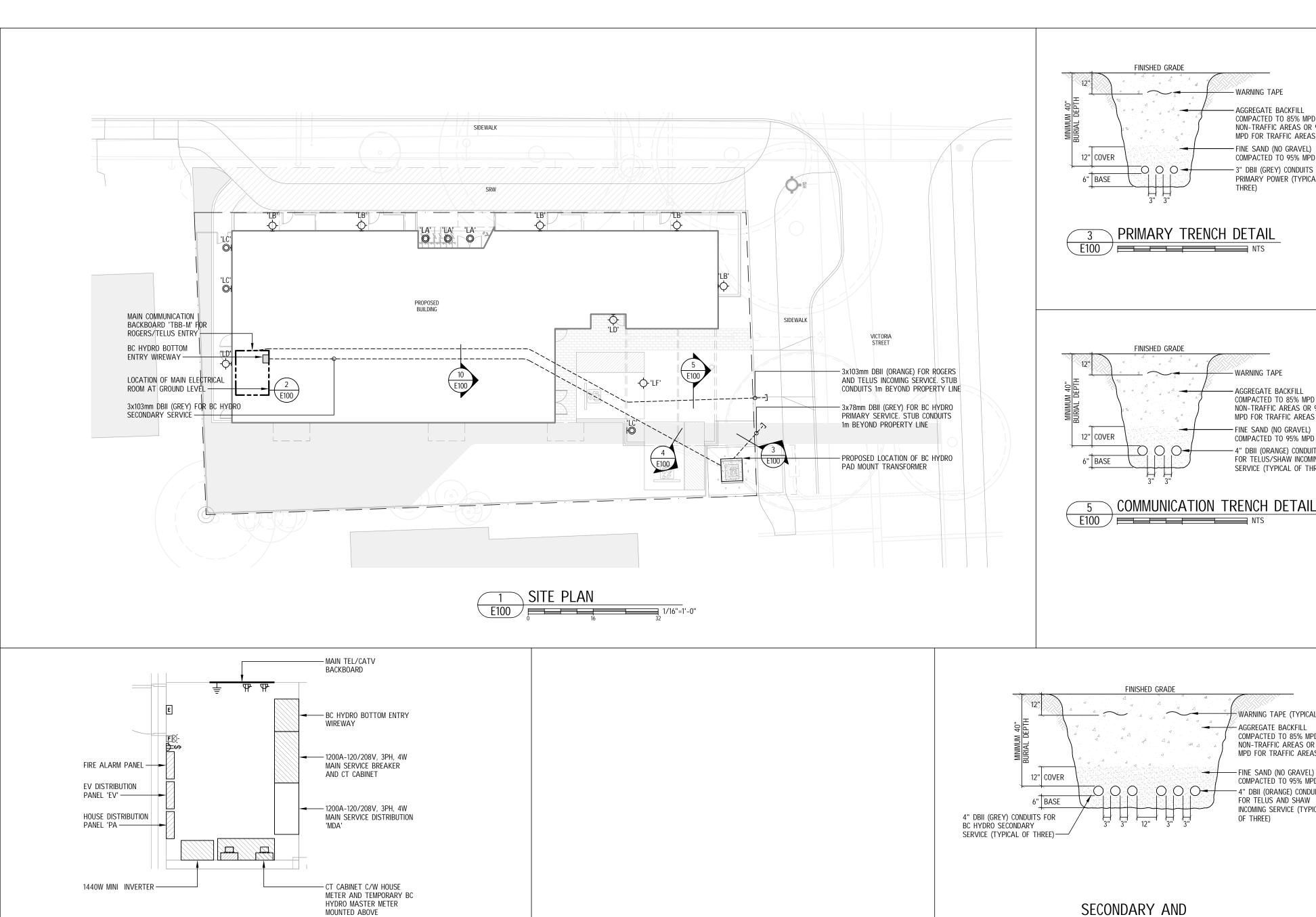
1554 BAY STREET VICTORIA, BC

TITLE

OFFSITE ELECTRICAL DRAWING

PROJECT NO.	1-24-093	SHEET NO.
DRAWN	MT	
CHECKED	PL	E (
DATE	JANUARY 2025	

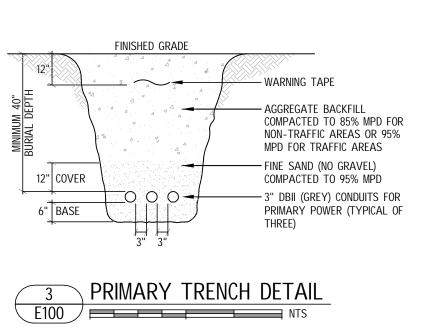
AS NOTED REV



INSTALL GALVANIZED STEEL ROPE CLAMP

- INSTALL %" DIAMETER 8' LONG GALVANIZED STEEL GROUND ROD AND CONNECTOR TO

ATTACH TO COUNTERPOISE



WARNING TAPE

— AGGREGATE BACKFILL

COMPACTED TO 85% MPD FOR

NON-TRAFFIC AREAS OR 95%

MPD FOR TRAFFIC AREAS

COMPACTED TO 95% MPD

— 4" DBII (ORANGE) CONDUITS

FOR TELUS/SHAW INCOMING

SERVICE (TYPICAL OF THREE)

WARNING TAPE (TYPICAL)

AGGREGATE BACKFILL COMPACTED TO 85% MPD FOR NON-TRAFFIC AREAS OR 95% MPD FOR TRAFFIC AREAS

— FINE SAND (NO GRAVEL)

FOR TELUS AND SHAW

INCOMING SERVICE (TYPICAL

4" DBII (ORANGE) CONDUITS

OF THREE)

COMPACTED TO 95% MPD

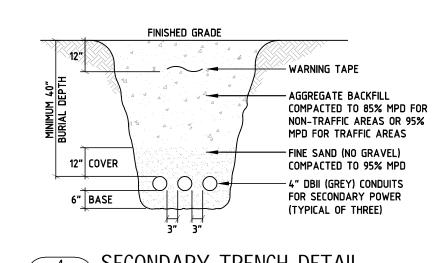
- FINE SAND (NO GRAVEL)

FINISHED GRADE

FINISHED GRADE

10 COMMUNICATION TRENCH DETAIL

E100 NTS





E100 NTS

TYPE OF PIPE OR

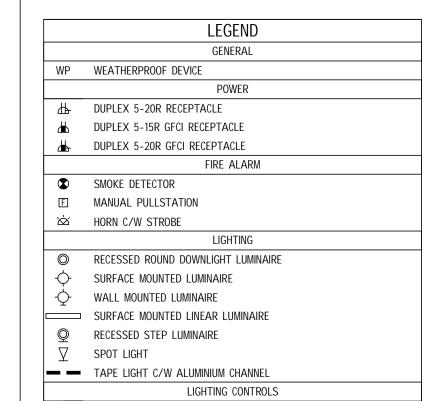
OIL PIPELINES, JET FUEL LINES, WATER,

CLEARANCES (in)

STREET LIGHTS GAS MAINS

TELEPHONE, CABLE TV OR

SANITARY AND SEWER LINES

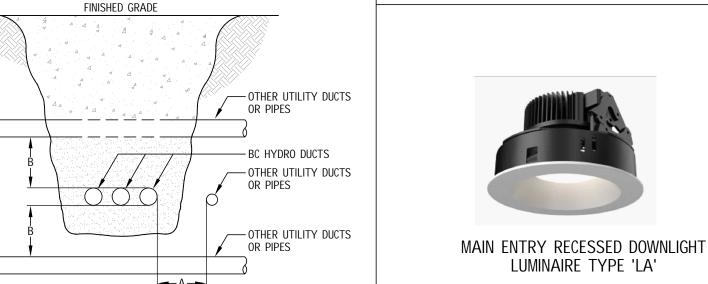


\$ \$ LINE VOLTAGE SWITCH; GANGED AS SHOWN

3\$ THREE-WAY LINE VOLTAGE SWITCH; GANGED AS SHOWN

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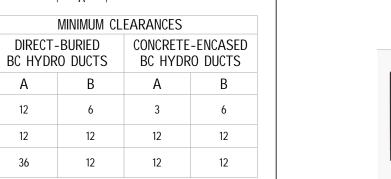




MINIMUM CLEARANCES

6 DUCTS CLEARANCES DETAIL

E100 NTS



WALL SCONCE LUMINAIRE TYPE 'LB'

LUMINAIRE TYPE 'LA'



STEP LUMINAIRE TYPE 'LC'



WALL SCONCE LUMINAIRE TYPE 'LD'



SUFACE MOUNTED LUMINAIRE TYPE 'LF'



EXTERIOR TAPE LUMINAIRE TYPE 'LH'



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PROJECT

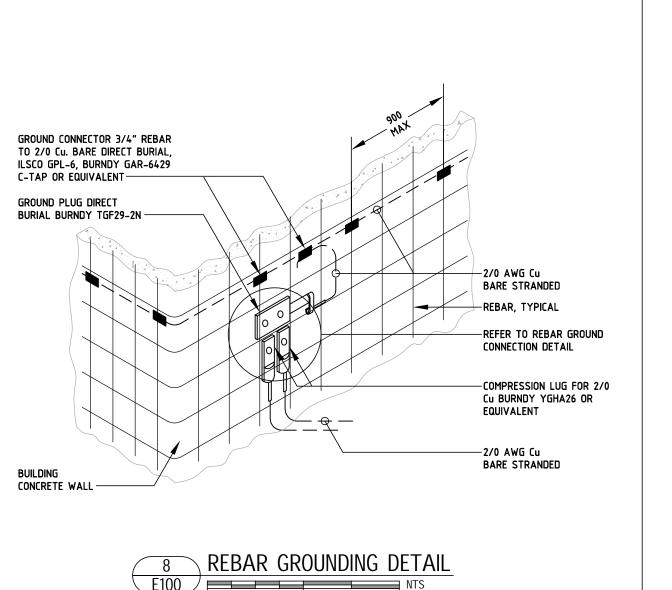


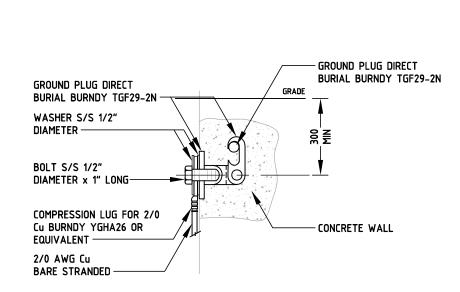
1554 BAY STREET VICTORIA, BC

TITLE

SITE PLAN, DETAILS AND LEGEND

PROJECT NO.	1-24-093	SHEET NO.
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9 REBAR CONNECTION DETAIL E100 NTS

2' LONG LENSED LED STRIP LUMINAIRE TYPE 'FD'

4' LONG LENSED LED STRIP LUMINAIRE

TYPE 'FC'

SUFACE MOUNTED LUMINAIRE TYPE 'A'

ELECTRICAL ROOM LAYOUT E100 1/4"=1'-0"	
	OO [11.8"] INSTALL GALVANIZED STEEL COUNTER-POISE AND BC HYDRO GROUND KIT INSTALL PRECAST CONCRETE PAD FOR BC HYDRO PAD MOUNT TRANSFORMER PROVIDE AND INSTALL PLYWOOD TO COVER CAPPED CONDUIT OPENING INSTALL CONNECTOR TO CONNECT ERICO WIRE TO WELDED GROUND STUD INSTALL ERICO WIRE AND CONNECTOR TO ATTACH TO COUNTERPOISE INSTALL PRECAST PROTECTIVE BOLLARD

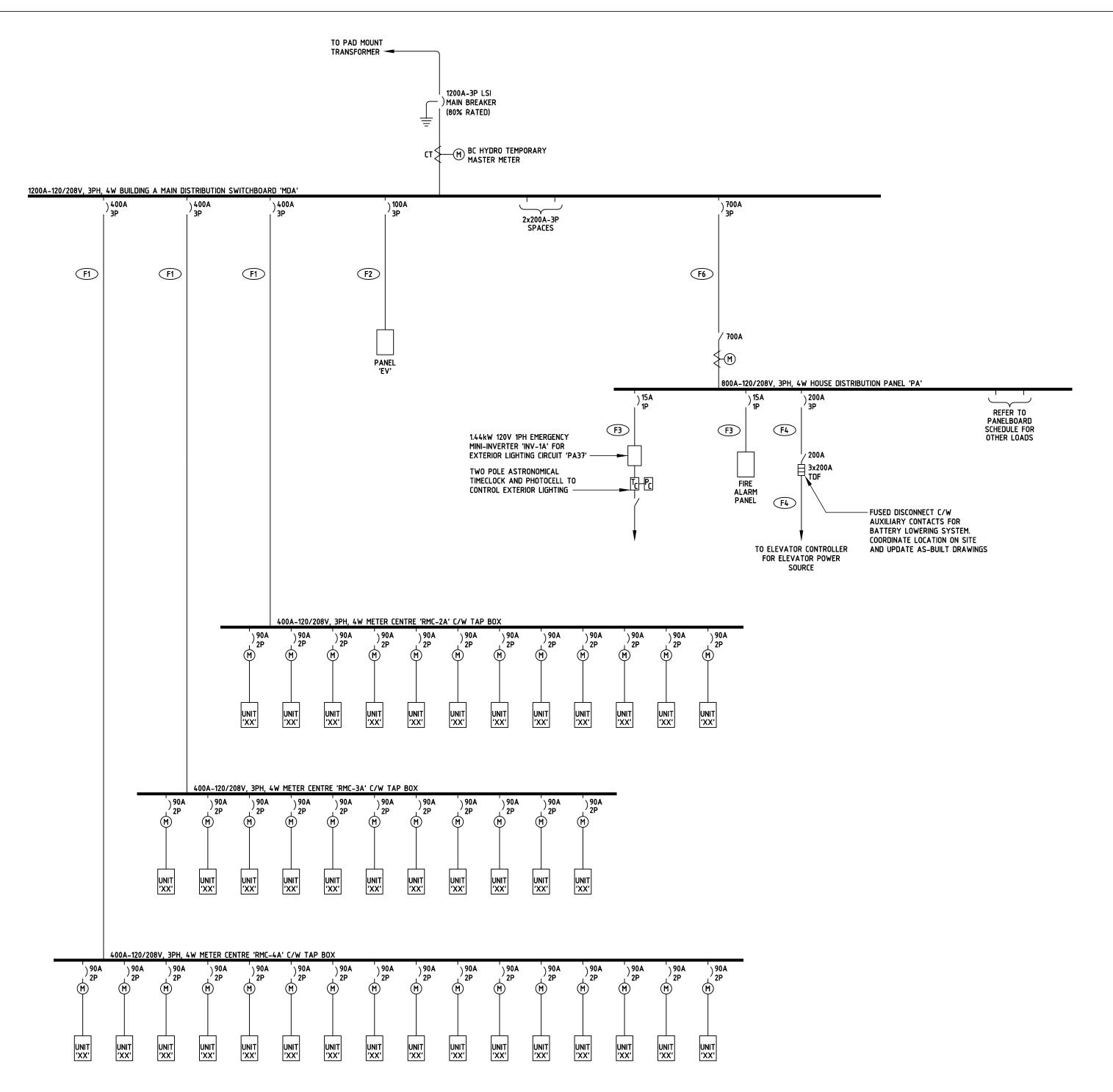
BC HYDRO COUNTERPOISE AND CUSTOMER GROUNDING DETAIL

E100 | 1/4"=1'-0"

PROVIDE AND INSTALL GROUND CONNECTOR, ILSCO GPL-6, BRUNDY GAR-6429 C-TAP OR

EQUIVALENT ----

E100 NTS



1200A, 120/208V, 3PH, 4W (80% RATED)

SINGLE LINE DIAGRAM
E101

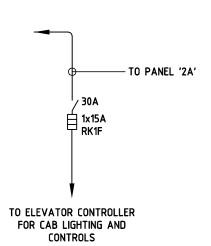
NTS

FEEDER SCHEDULE

F1 'XX'
F2 'XX'
F3 'XX'
F4 'XX'
F5 'XX'
F6 'XX'

SUITE FEEDER SCHEDULE

UP TO 30 METERS (100 FEET) - 3c#1 ACWU90 UP TO 38 METERS (125 FEET) - 3c#1/0 ACWU90 UP TO 48 METERS (160 FEET) - 3c#2/0 ACWU90 UP TO 58 METERS (190 FEET) - 3c#2/0 ACWU90



NOTES:

- ALL BREAKERS MUST BE SERIES RATED ACCORDING TO THE AVAILABLE FAULT CURRENT. PROVIDE COORDINATION STUDY AND ADJUST TRIP SETTINGS ACCORDINGLY.
- 2. PROVIDE SPRINKLER DRIP SHIELD FOR ALL ELECTRICAL EQUIPMENT UNLESS RECESSED OR FLUSH WITH WALL.
- 3. SUBSTITUTION OF ALUMINUM FEEDERS OF EQUIVALENT AMPACITY IN LIEU OF COPPER FEEDERS IS ACCEPTABLE FOR FEEDERS RATED MORE THAN 100A, EXCEPT FOR ELEVATOR DISTRIBUTION FEEDERS WHERE COPPER FEEDERS MUST BE USED. UPSIZE CONDUITS ACCORDINGLY.
- 4. TECK90, ACWU AND NMD90 NOT ACCEPTABLE IN PLENUM SPACES. PROVIDE WIRES IN EMT CONDUIT IN PLENUM SPACES.
- 5. NMD90 ACCEPTABLE ONLY IN AREAS CLASSIFIED AS COMBUSTIBLE CONSTRUCTION. CAUTION: SOME AREAS MAY BE CLASSIFIED AS NON-COMBUSTIBLE DESPITE USE OF WOOD STUDS. REFER TO ARCHITECTURAL PLANS FOR CONFIRMATION.
- 6. COORDINATE LOCATION OF ELEVATOR CONTROLLER, QUANTITY AND LOCATION OF FUSED DISCONNECTS, SIZE AND TYPE OF FUSES, AND FEEDER SIZES WITH ELEVATOR SHOP DRAWINGS AND/OR ELEVATOR SUPPLIER PRIOR TO ANY WORK.
- 7. PROVIDE FIRESTOP ASSEMBLY TO SEAL ALL ELECTRICAL PENETRATIONS THROUGH FIRE SEPARATIONS. FIRESTOP ASSEMBLY MUST SUFFICIENTLY PROVIDE THE FIRE (F) AND TEMPERATURE (T) RATING TO MATCH THE F AND T RATING OF THE FIREWALL AND FIRESEPERATION BETWEEN PARKING AREA AND REMINDER OF THE FLOOR AREA. REFER TO ARCHITECTURAL DRAWINGS.

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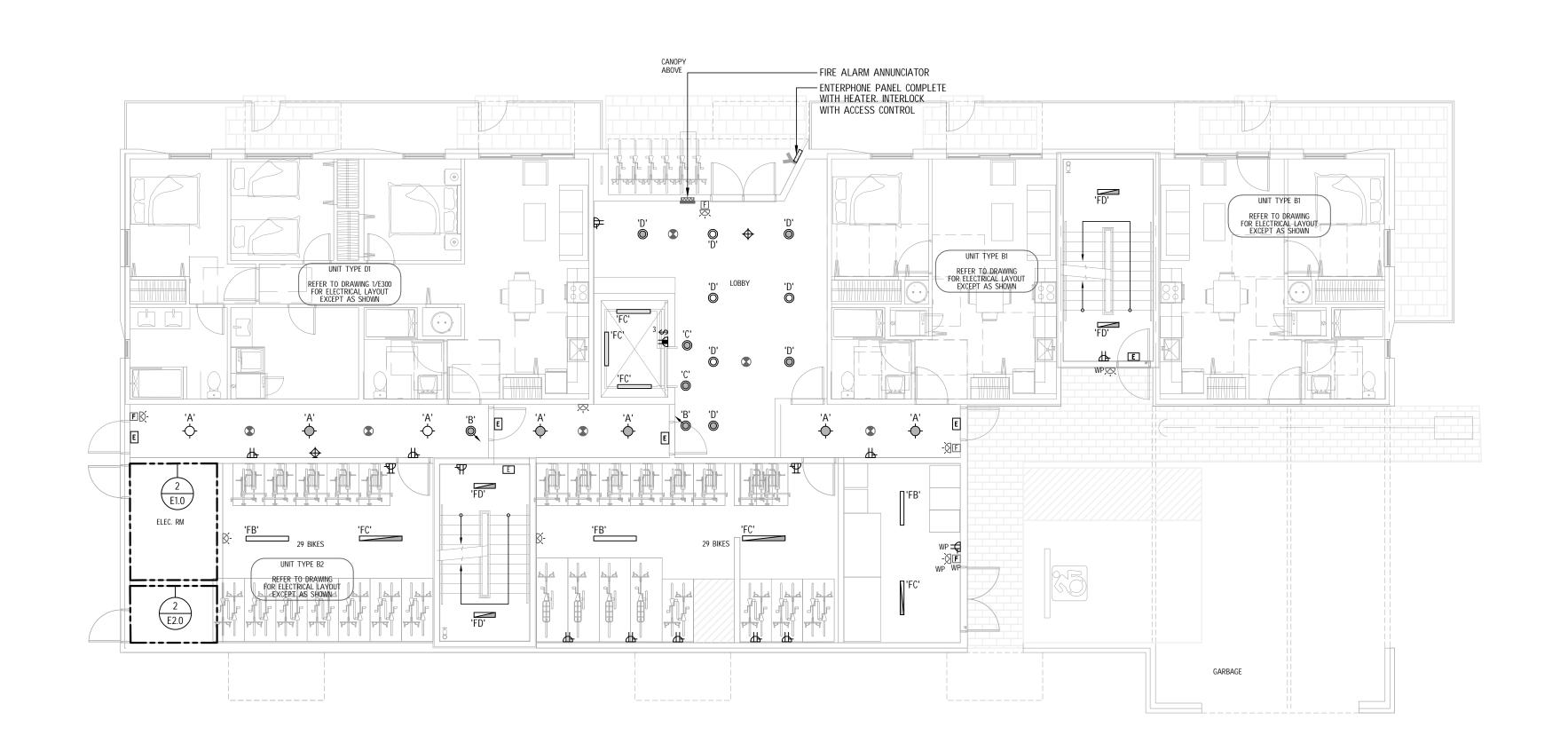
PROJECT

1551 AND 1554 BAY STREET

1554 BAY STREET VICTORIA, BC

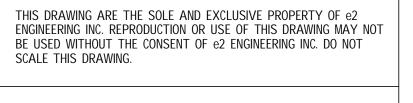
SINGLE LINE DIAGRAM

PROJECT NO.	1-24-093	SHEET NO.
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SCALE	AS NOTED	REV



LEVEL 1
ELECTRICAL LAYOUT
E200

1 1/8"=1'-0"







7	DEVELOPMENT PERMIT	29/08/2
6	DP DRAFT	26/08/2
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PROJECT

1551 AND 1554 BAY STREET

1554 BAY STREET VICTORIA, BC

TIT

LEVEL 1 ELECTRICAL LAYOUT

PROJECT NO.	1-24-093	SHEET NO.
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