





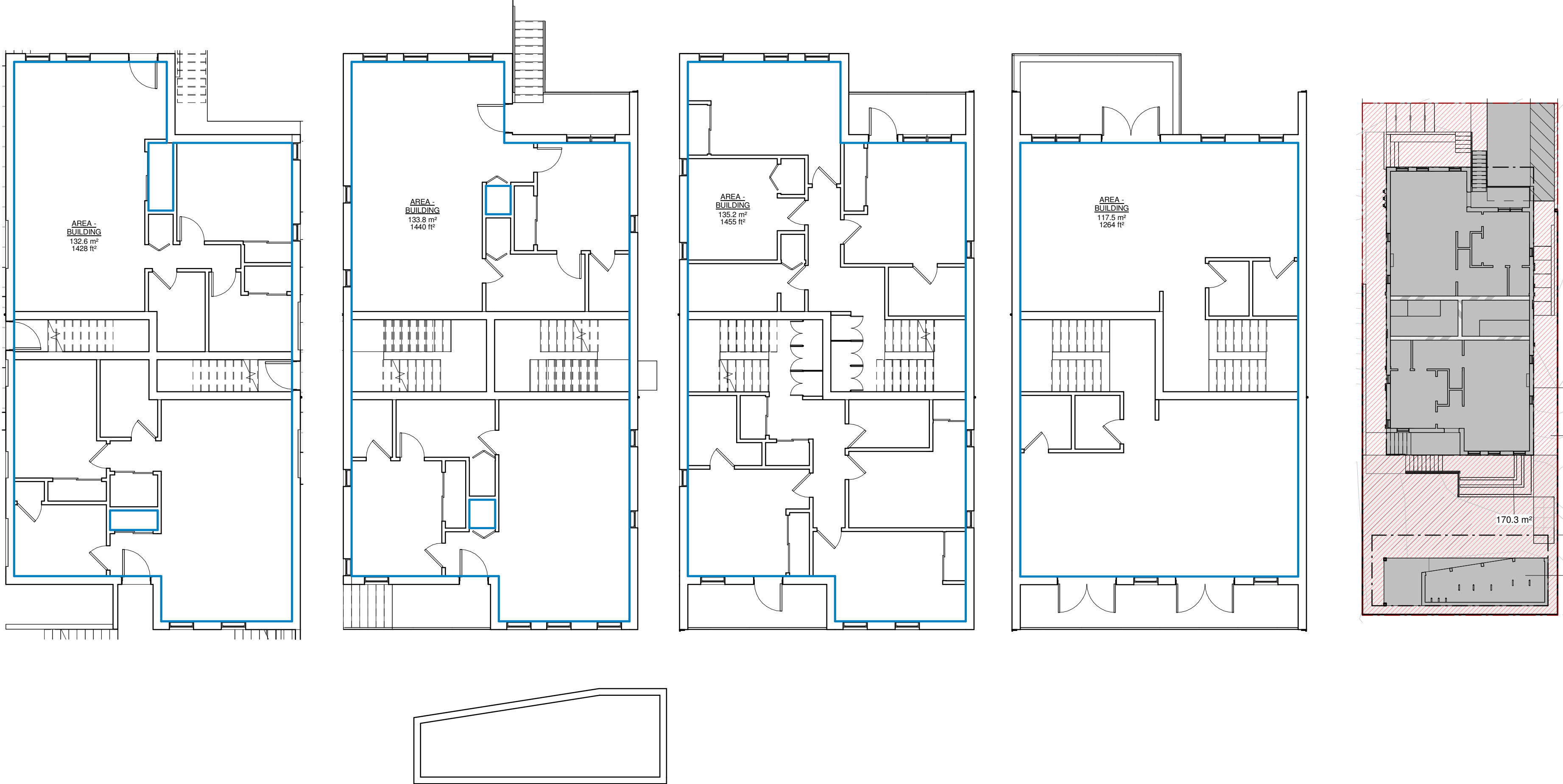




CONTEXT PLAN - NOT TO SCALE



STREETSCAPE ELEVATION - NOT TO SCALE



3 BASEMENT - AREA  
1 : 100

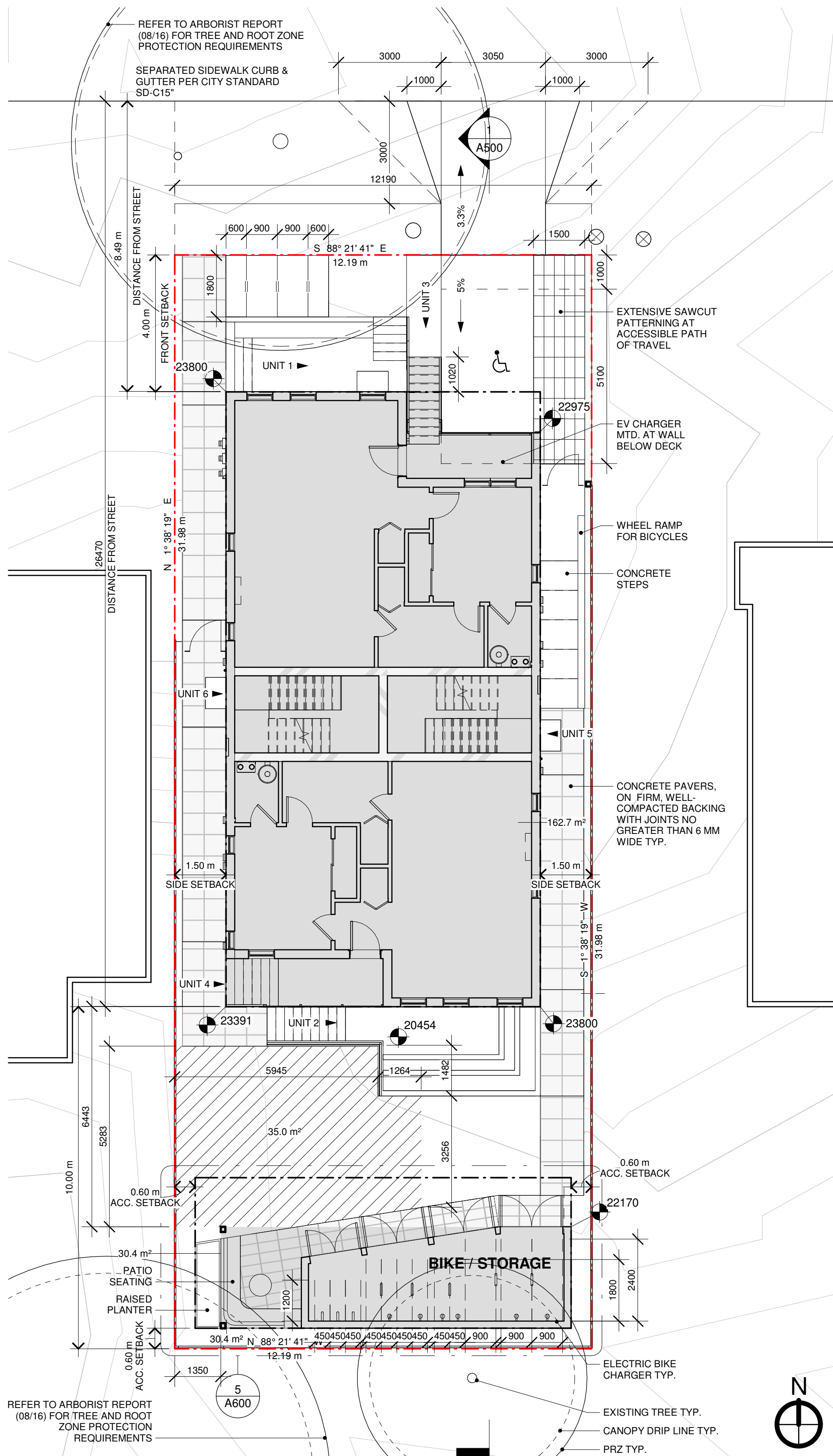
4 L1 - AREA  
1 : 100

5 L2 - AREA  
1 : 100

6 L3 - AREA  
1 : 100

7 OPEN SITE SPACE  
1 : 200

ZONING COMPLIANCE				
Clause	Description	Permitted	Proposed	Comments
-	Permitted Use	Residential	Residential	Complies
2.4.e	Floor Area	390m2	386.5m2	Excludes Bike/Storage, 133.8+135.2+117.5
2.4e	Floor Space Ratio	1.0:1	1.0:1	386.5m2/390m2 = 0.99
3.1c	Distance from Street to Building	Max. 30m	8.49m	Complies
3.2.b	Height	12.0m	11.67m	Complies
3.2.c	Finished Ceiling Height - Lowest Level (Min.)	1.1m	1.75m	Complies
3.3.a	Front Setback	4.0m	4.0m	Complies
3.3.c	Side Setback (West)	1.50m	1.50m	Complies
3.3.c	Side Setback (East)	1.50m	1.50m	Complies
3.3.d	Rear Setback	10.0m	10.0m	Complies
3.3.e	Roof projections in setbacks	0.75m	0.6m Max.	Complies, Includes Entry Door Canopies
3.3.f	Building Separation (Min.)	5.0m	5.0m	Complies
3.4	Rear Yard Coverage	25%	25%	30.4m2/121.7m2
3.4.a	Coverage	40%	50%	Variance Requested
3.4.a	Coverage Area	156m2	193m2	-
3.4.a	Lot Area	390m2	-	-
3.4.b	Open Site Space	45%	45%	173.8m2/390m2
3.4.c	Minimum Landscape Area	35m2	35m2	Variance Requested - Minimum Dimension
6.1	Required Parking	3.7	1	Variance Requested
6.2.b	Long Term Bicycle Parking Stalls	12	12	Complies
6.2.c	Long Term Oversized Bicycle Stalls (15%)	1.8	3	Complies
C-1.2.2	Short Term Bicycle Parking Stalls	6	6	Complies
C-3.2.b	Long Term Ground Anchored Stalls (50%)	6	9	Complies
F-4.a	Accessory Building - Rear Setback	0.6m	0.6m	Complies
F-4.b	Accessory Building - Side Setback (West)	0.6m	1.5m	Complies
F-4.b	Accessory Building - Side Setback (East)	0.6m	0.6m	Complies



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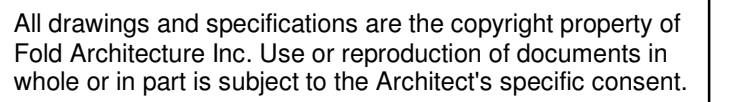
Do not scale these drawings.

No.	Description	Date
2	Issued for MMHI Development Permit	24.04.22
3	Issued for MMHI DP Rev.	24.06.26
4	Issued for MMHI DP Rev. 2	24.09.03

CASCARA CONSTRUCTION  
NORTH JUBILEE  
HOUSEPLEX  
SITE PLAN + ZONING  
COMPLIANCE

Project number	1
Date	2024.09.10
Drawn by	MW
Checked by	MA
Scale	As indicated
Printed	2024-09-13 1:29:30 PM



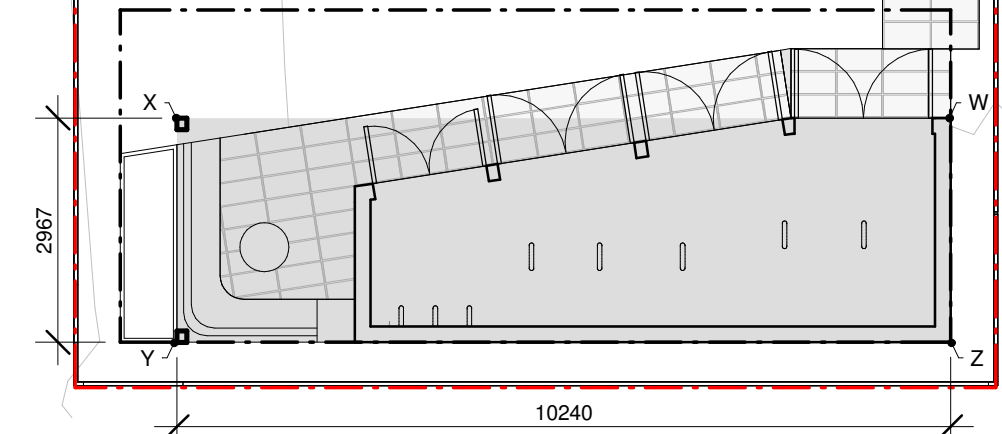


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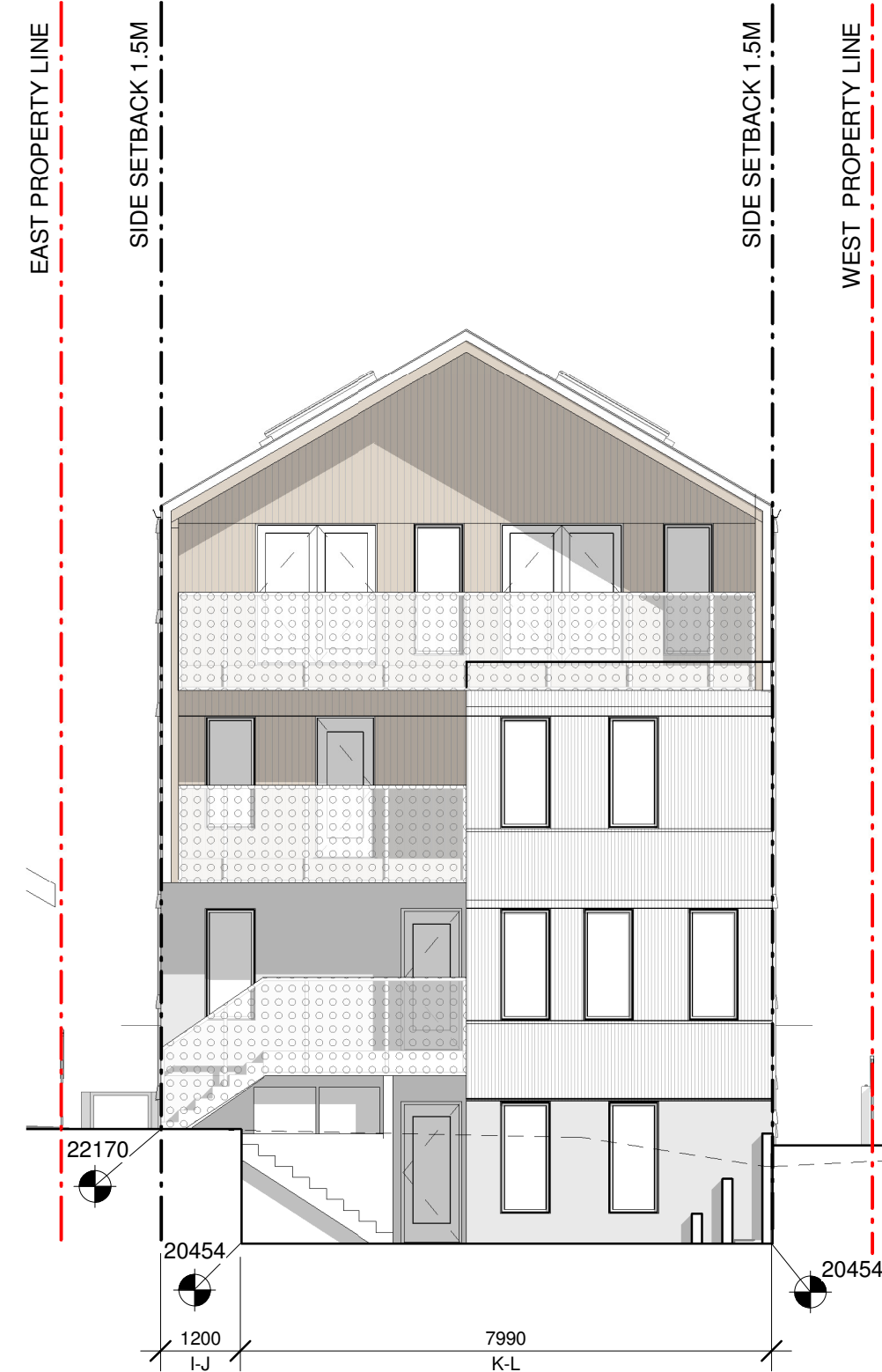
Do not scale these drawings.

<p>CASCARA CONSTRUCTION</p> <p><b>NORTH JUBILEE</b></p> <p><b>HOUSEPLEX</b></p>
<p><b>AVERAGE GRADE</b></p>

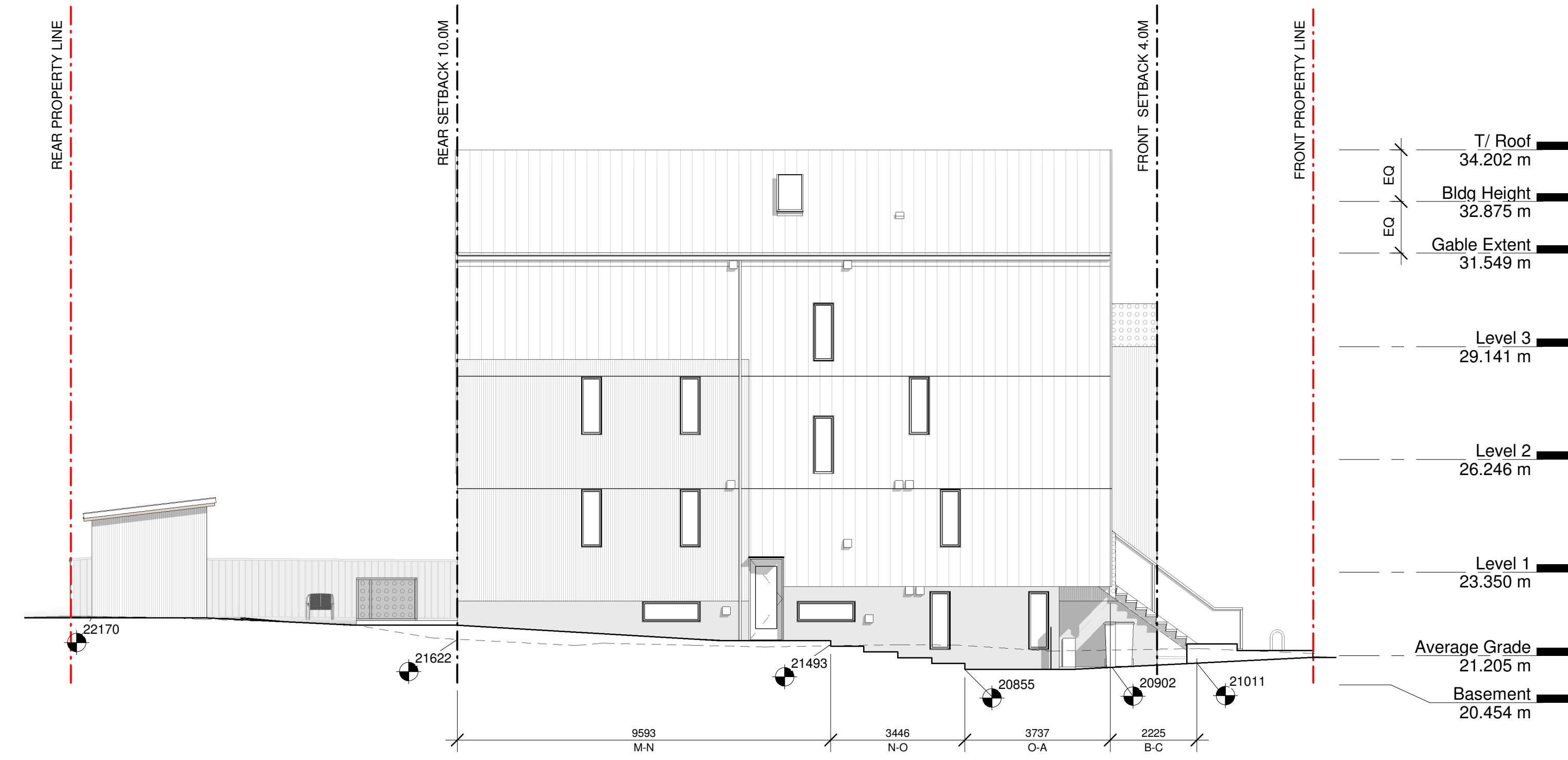
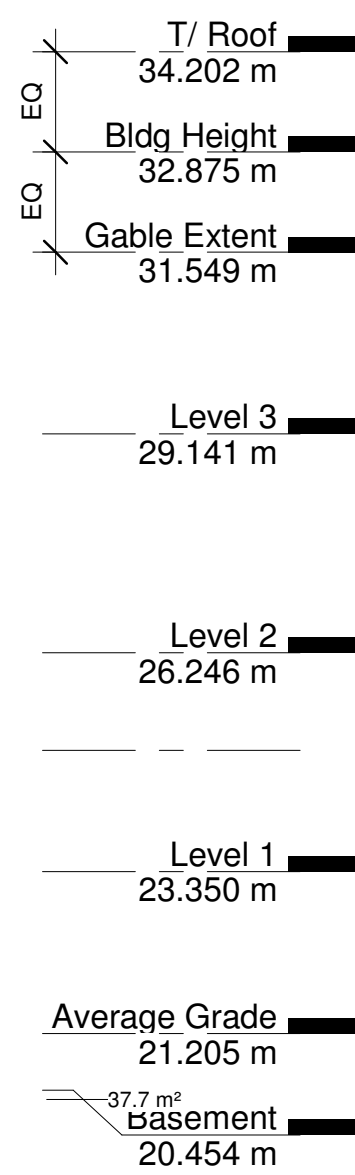
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Drawn by	MW
Checked by	MA
A101	
Scale	As indicated
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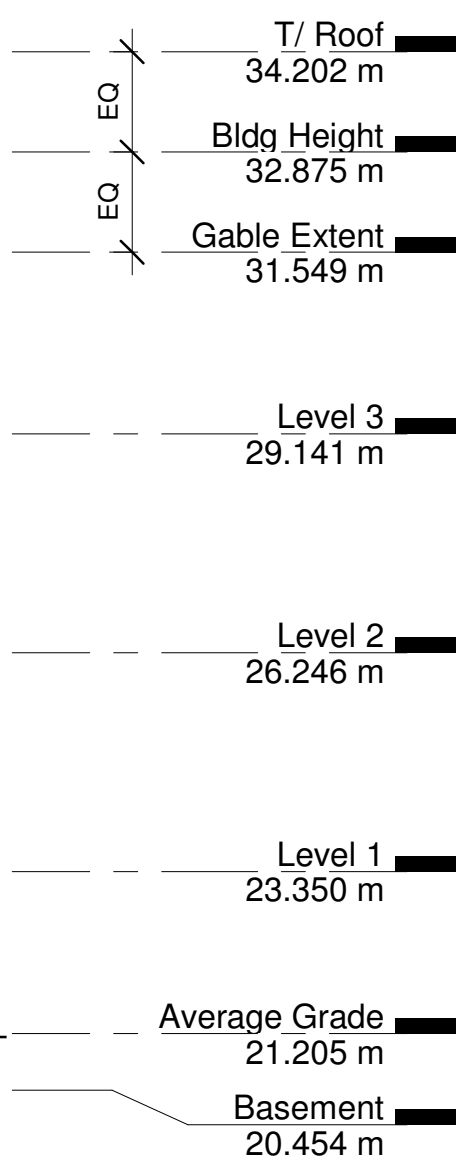
Average Grade - Accessory Building			
GRADE PT.	ELEV.	DIST.	AVERAGE
W	22.17 m		
W to X		10.99 m	243.65 m2
X	22.17 m		
X to Y		2.97 m	65.78 m2
Y	22.17 m		
Y to Z		10.99 m	243.65 m2
Z	22.17 m		
Z to W		2.97 m	65.78 m2
W	22.17 m		
SUM		27.91 m	618.85 m2
AVE. GRADE		22.170	



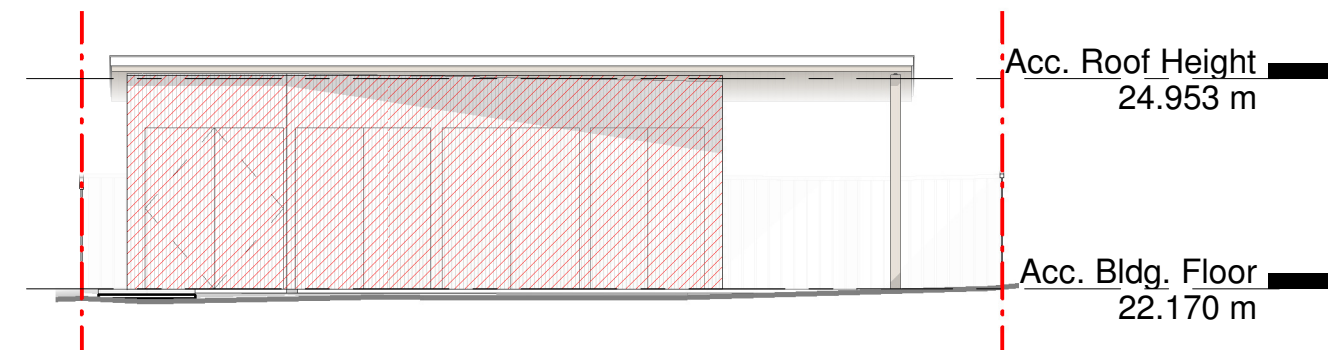
3 SOUTH ELEVATION - AG  
1 : 100



1 EAST ELEVATION - AG  
1 : 100







LIMITING DISTANCE	ALLOWABLE OPENINGS	AREA OF EXPOSING BUILDING FACE	PROPOSED OPENINGS	PROPOSED OPENINGS
3.2m	30%	22.30m2	0m2	0%

**TABLE 3.2.3.7**

LIMITING DISTANCE	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
3.2	0%	45min	Combustible	Noncombustible

Acc. Roof Height  
24.953 m

Acc. Bldg. Floor  
22.170 m

LIMITING DISTANCE	ALLOWABLE OPENINGS	AREA OF EXPOSING BUILDING FACE	PROPOSED OPENINGS	PROPOSED OPENINGS
0.6m	4%	7.9m <sup>2</sup>	0m <sup>2</sup>	0%

**TABLE 3.2.3.7**

LIMITING DISTANCE	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
0.6m	4%	1h	Noncombustible	Noncombustible

Acc. Roof Height  
24.953 m

Acc. Bldg. Floor  
22.170 m

LIMITING DISTANCE	ALLOWABLE OPENINGS	AREA OF EXPOSING BUILDING FACE	PROPOSED OPENINGS	PROPOSED OPENINGS
0.6m	4%	19.5m <sup>2</sup>	0m <sup>2</sup>	0%

LIMITING DISTANCE	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
0.6m	4%	1h	Noncombustible	Noncombustible

Acc. Roof Height  
24.953 m

Acc. Bldg. Floor  
22.170 m

LIMITING DISTANCE	ALLOWABLE OPENINGS	AREA OF EXPOSING BUILDING FACE	PROPOSED OPENINGS	PROPOSED OPENINGS
4.2m	93%	7.9m2	0m2	0%

**TABLE 3.2.3.7**

LIMITING DISTANCE	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
4.2m	93%	45min	Combustible	Combustible

EAST PROPERTY LINE

SIDE SETBACK 15M

SIDE SETBACK 15M

WEST PROPERTY LINE

	>9m	100%	109.08m2	28.67m2
<b>TABLE 3.2.3.7</b>	<b>LIMITING DISTANCE</b>	<b>ALLOWABLE OPENINGS (%)</b>	<b>REQUIRED FRR</b>	<b>REQUIRED TYPE OF CONSTRUCTION</b>
	-	-	-	-

Architectural elevation drawing of the West Property Line of a three-story building. The drawing shows a gabled roof, multiple windows, and a side set-back of 1.5M. The building is oriented with the East Property Line on the left and the West Property Line on the right.

	3.2m	27%	105.15m2	28.21m2
<b>TABLE 3.2.3.7</b>	LIMITING DISTANCE	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION
	3.2m	25 - 50%	45min	Combustible

T/ Roof	34.202 m
Gable Extent	31.549 m
Level 3	29.141 m
Level 2	26.246 m
Level 1	23.350 m
Average Grade	21.205 m
Basement II	20.454 m

REAR PROPERTY LINE

REAR SETBACK 10.0M

FRONT SETBACK 4.0M

FRONT PROPERTY LINE

EQ EQ 3216

T/ Roof 34.202 m

Gable Extent 31.549 m

Level 3 29.141 m

Level 2 26.246 m

Level 1 23.350 m

Average Grade 21.205 m

Basement 20.454 m

	1.5m	14%	217.60m2	12.56m2
<b>TABLE 3.2.3.7</b>	LIMITING DISTANCE	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION
	1.5m	10 - 25%	1h	Combustible

Point	Elevation (m)
T/ Roof	34.202 m
Gable Extent	31.549 m
Level 3	29.141 m
Level 2	26.246 m
Level 1	23.350 m
Average Grade	21.205 m
Basement	20.454 m

[illegible]

Do not scale these drawings.

[illegible]

Project number	1
Date	2024.09.10
Drawn by	MW
Checked by	MA

A102

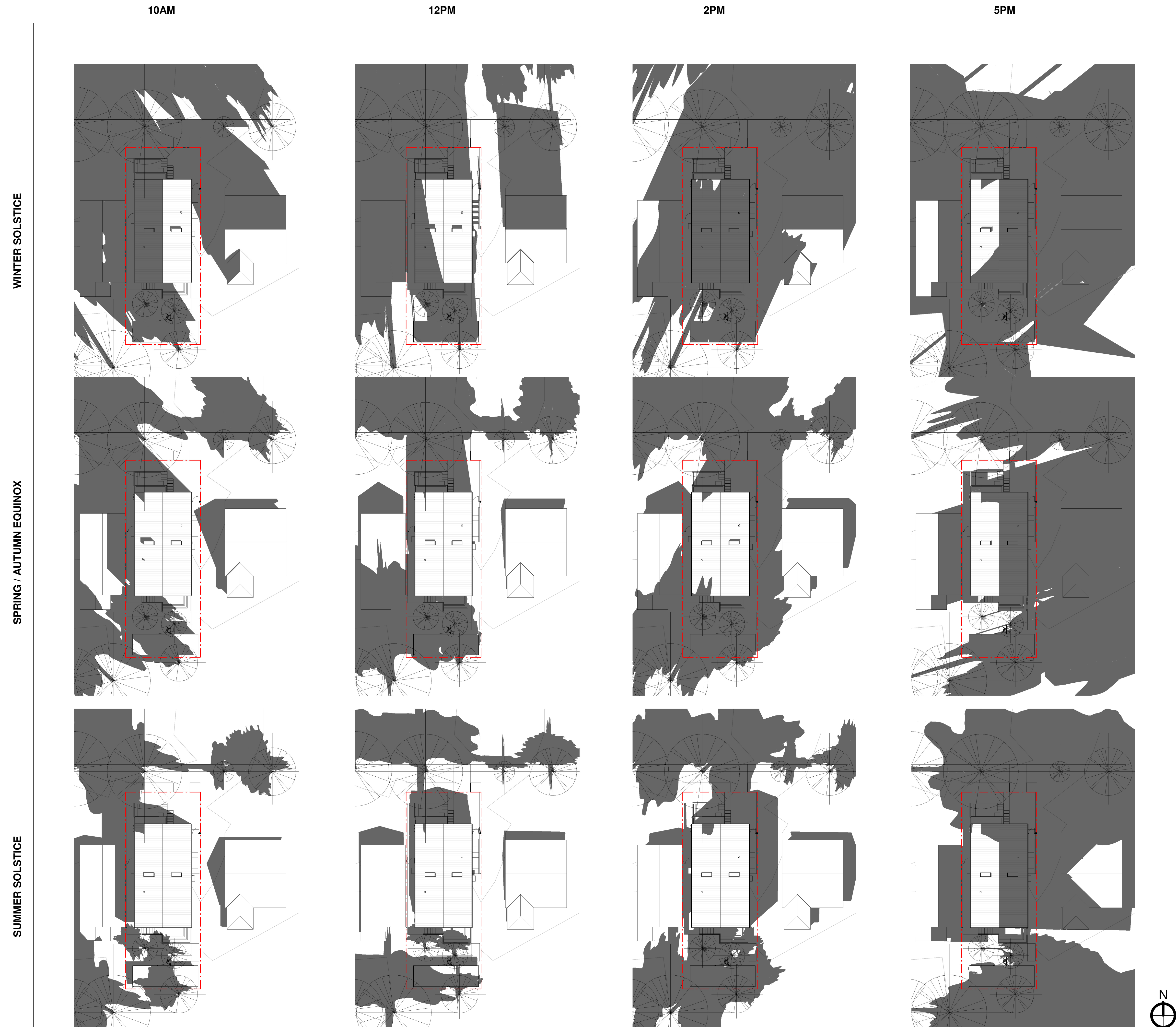
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[illegible]

# CASCARA CONSTRUCTION NORTH JUBILEE HOUSEPLEX SHADOW STUDIES

Project number	1
Date	2024.09.10
Drawn by	MW
Checked by	MA
A103	
Scale	1 : 300
Printed	2024-09-13 1:29:45 PM





A photograph of a residential property, likely the one described in the text. The image shows a green house on the left and a yellow house on the right, both heavily overgrown with ivy and vines. The property is surrounded by tall grass and trees, and the overall appearance is one of neglect and overgrowth.

Roof  
34.202 m

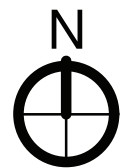
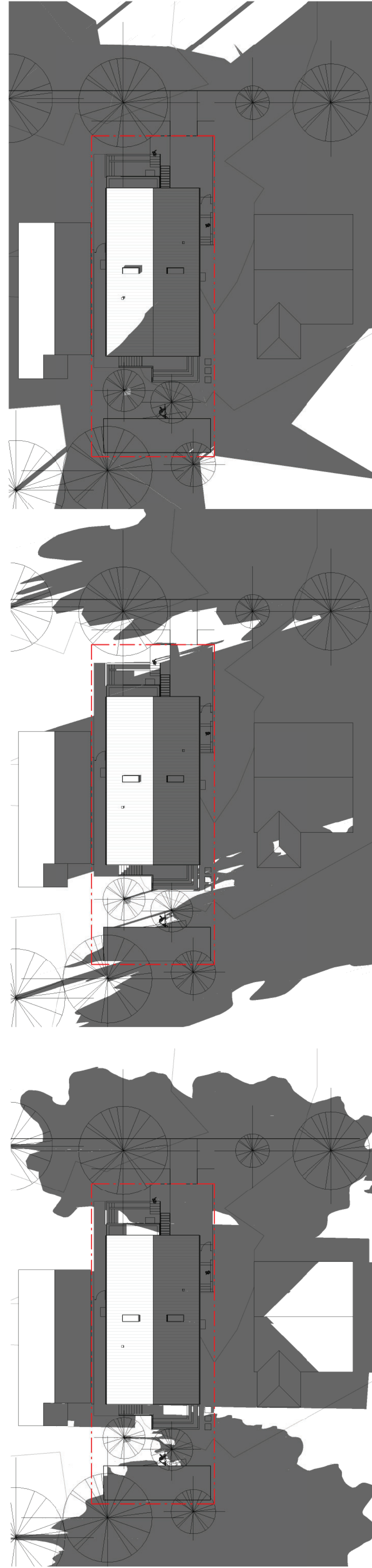
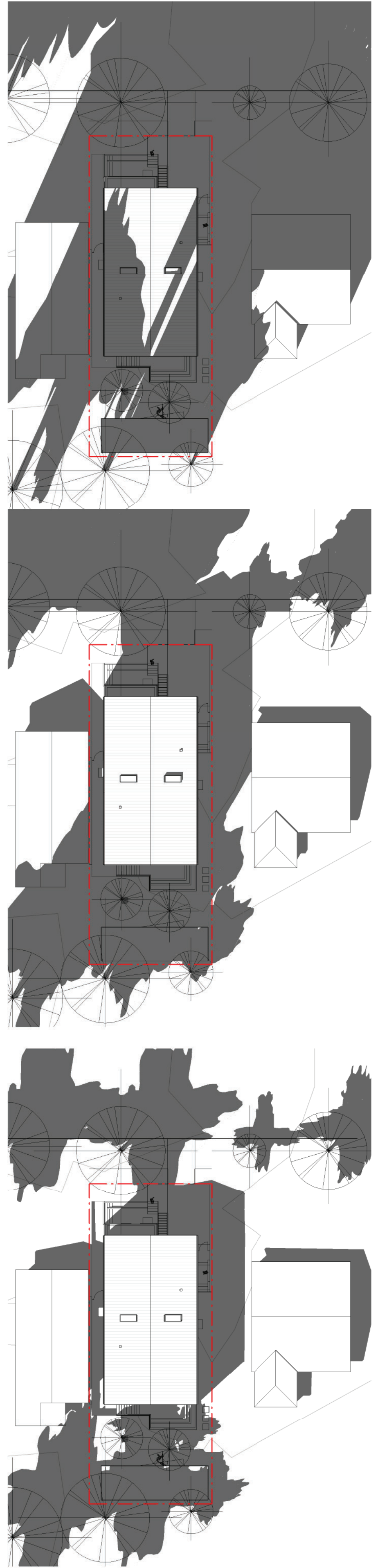
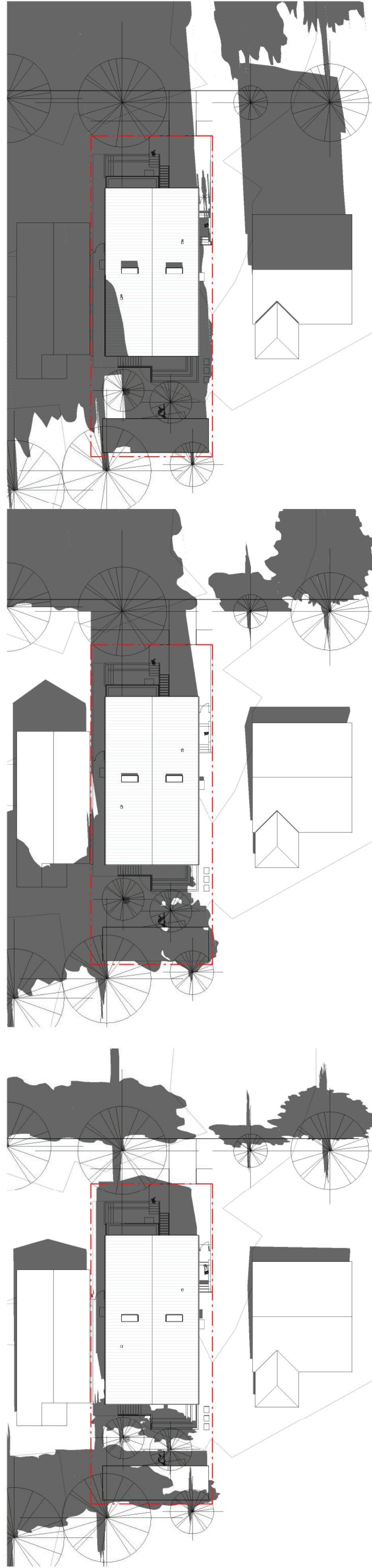
Average Grade  
21.223 m

2683

10286

**5PM**

## SUMMER SOLSTICE

[illegible]

Scale	As indicated
Printed	2024-08-15 2:07:43 PM



[www.foldarchitecture.ca](http://www.foldarchitecture.ca)

13 NORTH ELEVATION - REF.  
1 : 100

## SUMMER SOLSTICE

**5PM**

Do not scale these drawings.

A103	
Scale	As indicated
Printed	2024-08-15 2:11:30 PM



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[illegible]

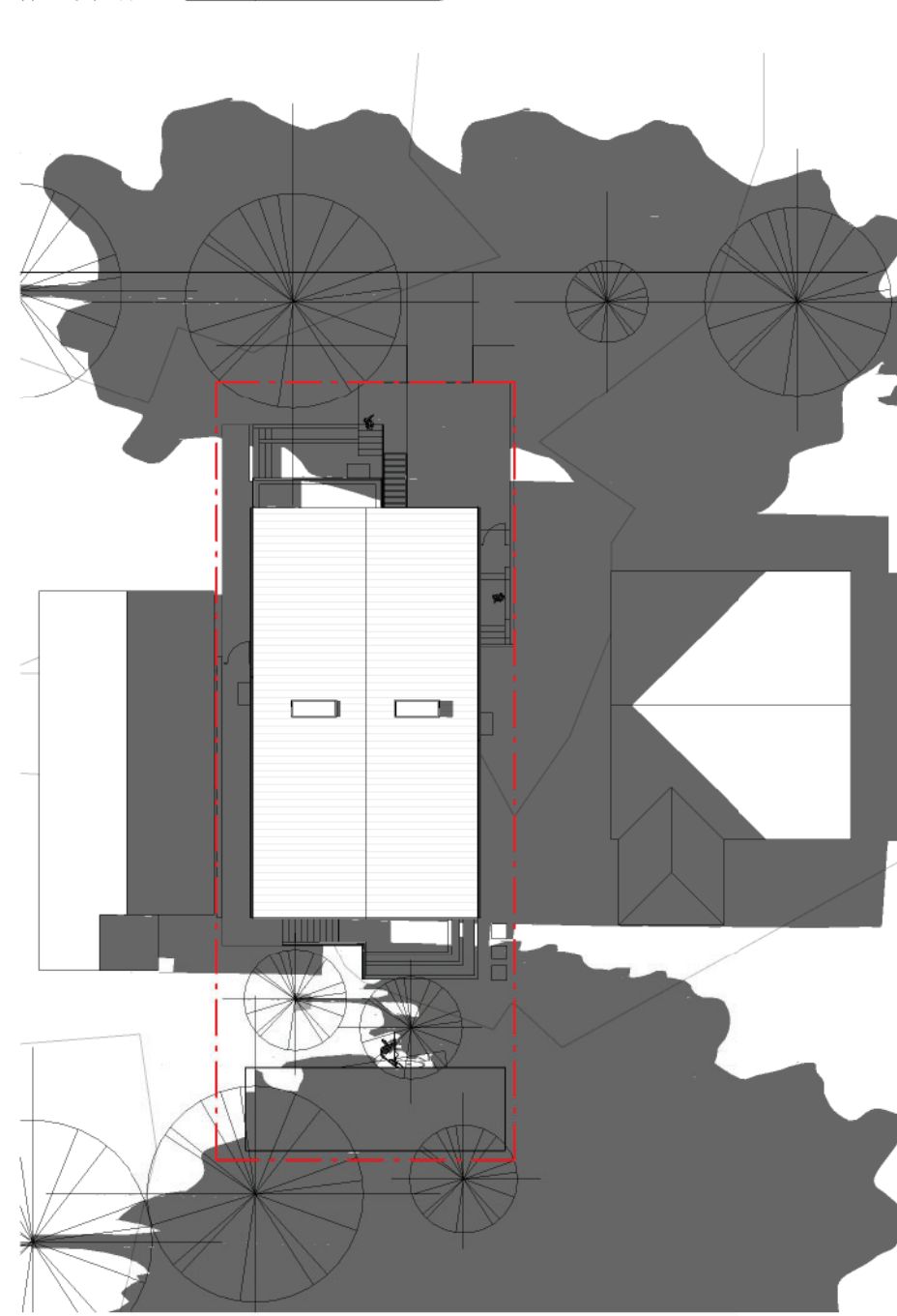
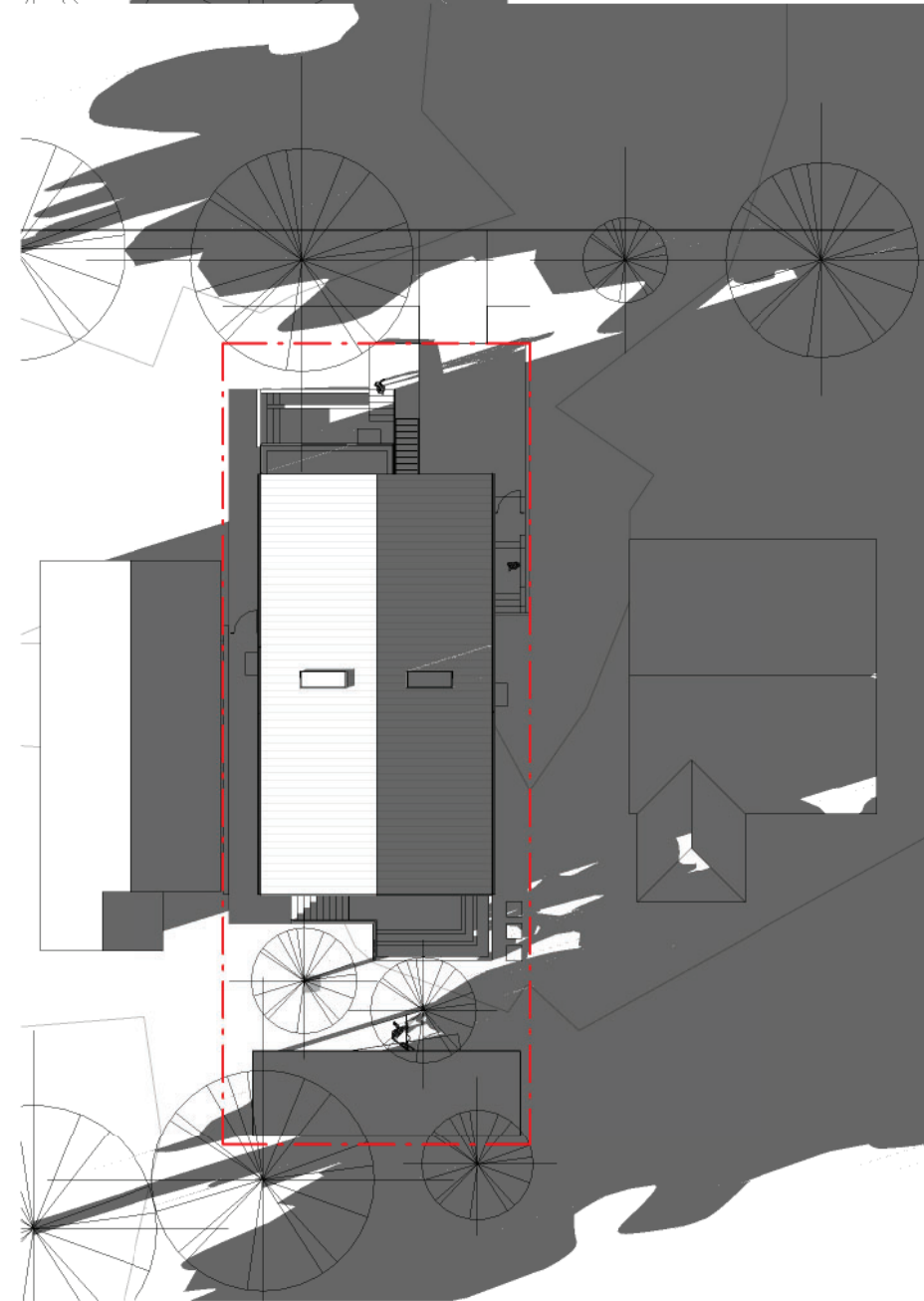
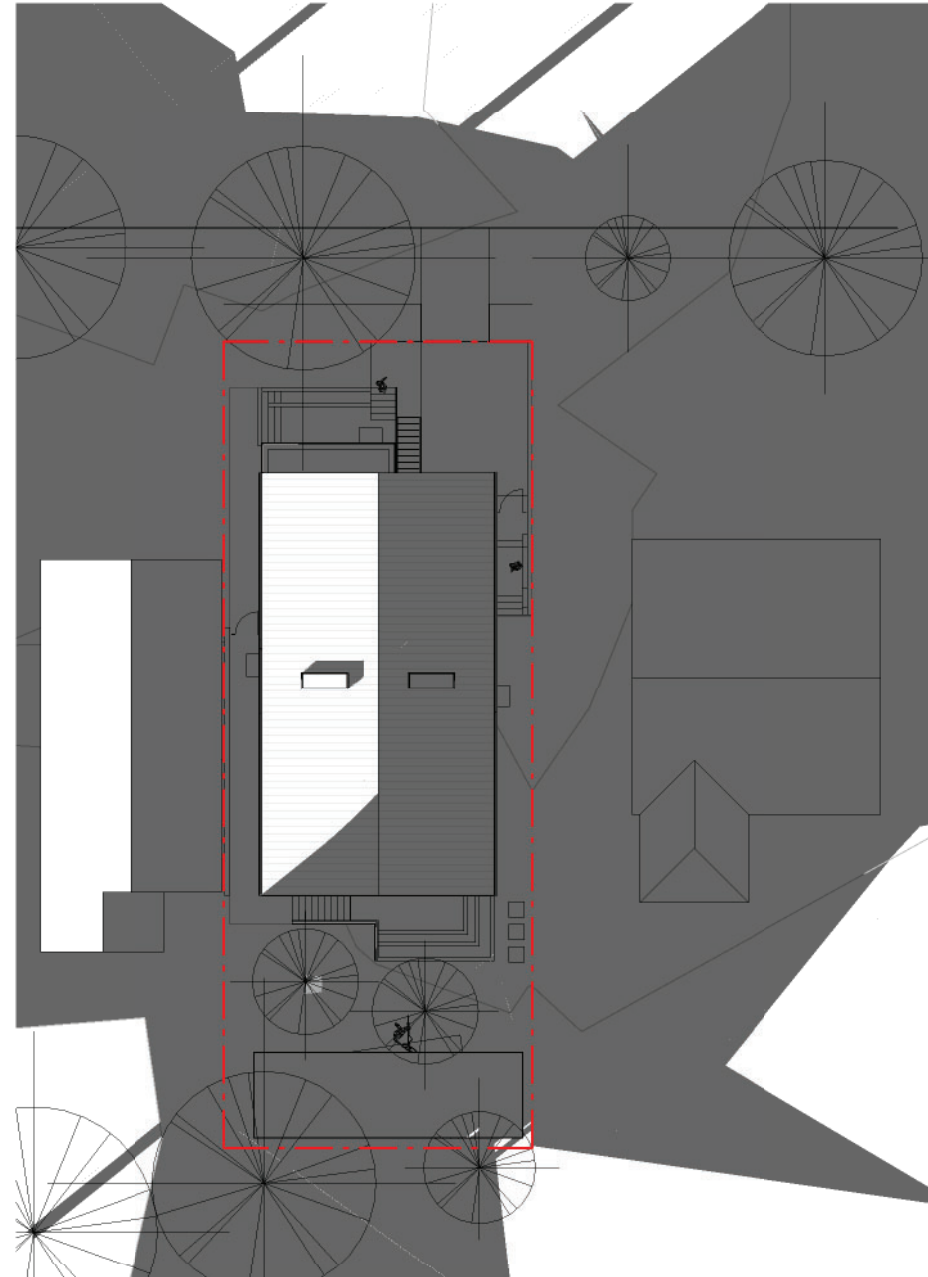
Project number	Project Number
Date	2024.06.26
Drawn by	MW
Checked by	MA

A103	
Scale	As indicated
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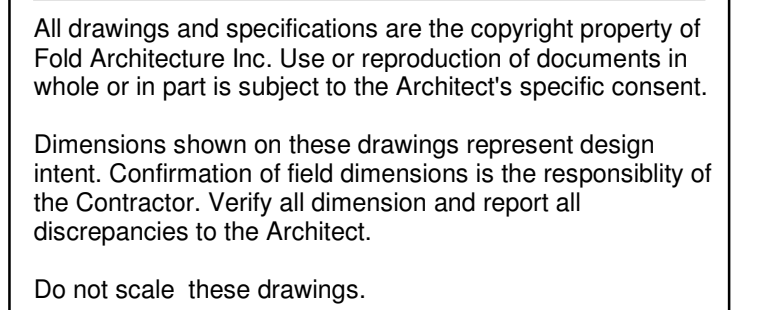
13 NORTH ELEVATION - REF.  
1 : 100

## SUMMER SOLSTICE

**5PM**

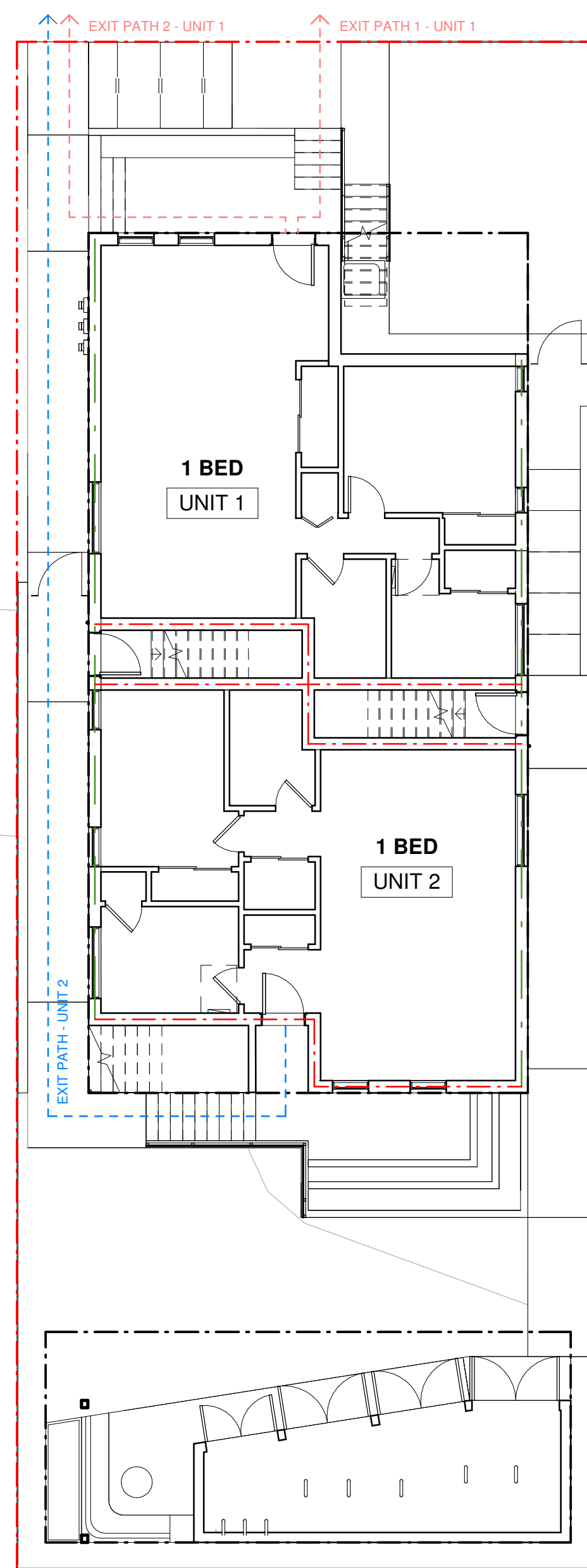




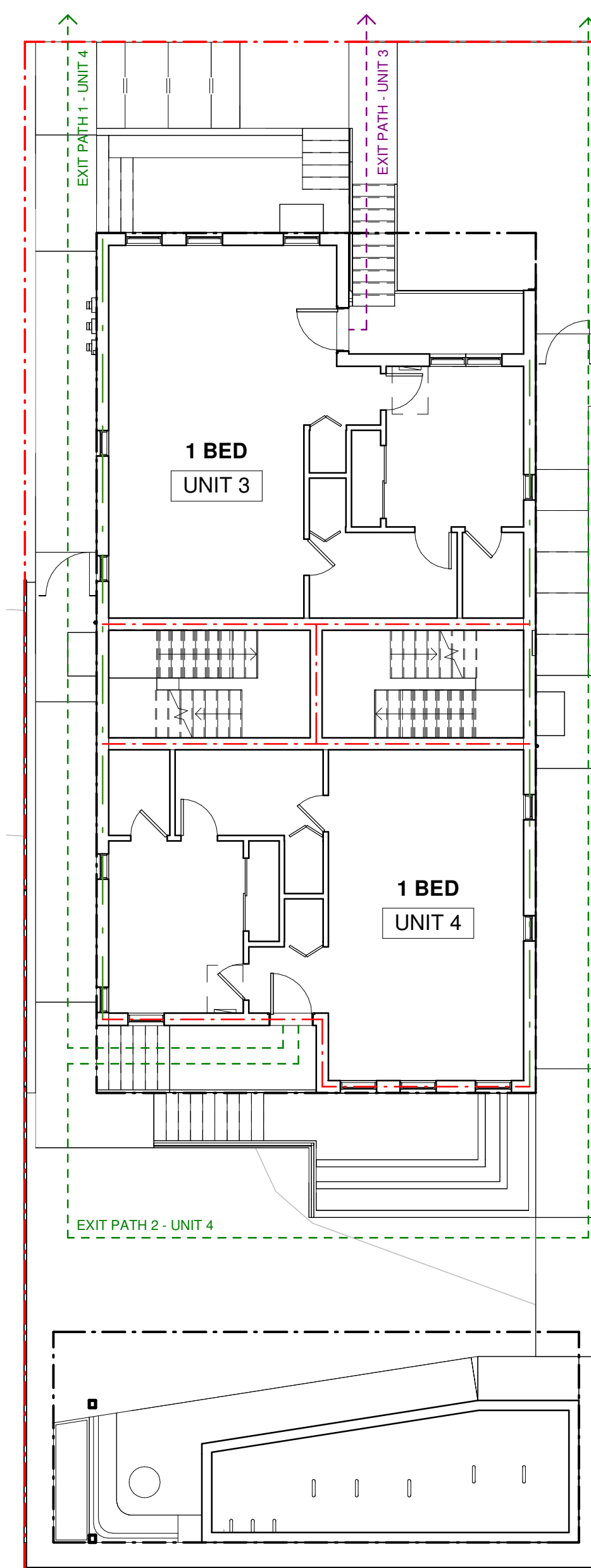
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# CASCARA CONSTRUCTION NORTH JUBILEE HOUSEPLEX EGRESS PLANS

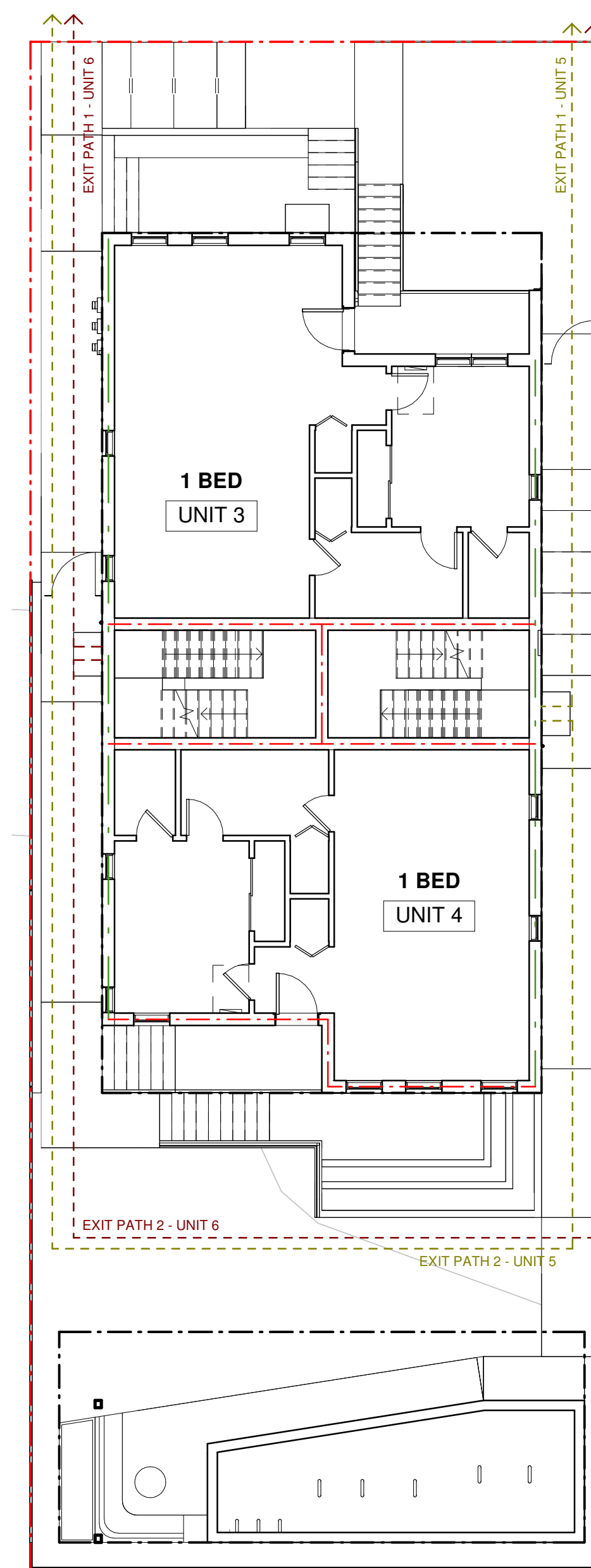
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Date	2024.09.10
Drawn by	MW
Checked by	MA
A104	
Scale	1 : 100
Printed	2024-09-13 1:29:46 PM



1 EGRESS - BASEMENT SUITES  
1 : 100



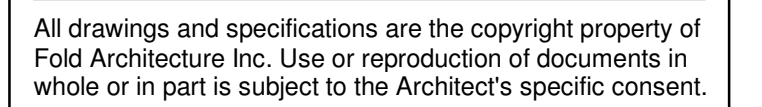
3 EGRESS - L1 SUITES  
1 : 100



2 EGRESS - UPPER LVL SUITES  
1 : 100










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Do not scale these drawings.

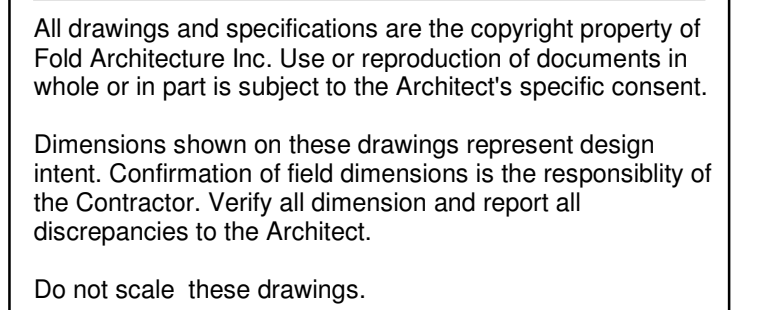
[illegible]

Project number	1
Date	2024.09.10
Drawn by	MW
Checked by	MA
A200	
Scale	As indicated
Printed	2024-09-13 1:29:46 PM






0.75 HR	
1 HR	
2 HR	

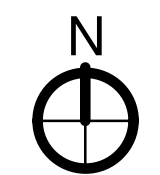




<p>CASCARA CONSTRUCTION</p> <h1>NORTH JUBILEE HOUSEPLEX</h1> <h2>FLOOR PLANS</h2>	
Project number	1
Date	2024.09.10
Drawn by	MW
Checked by	MA
<h1>A201</h1>	
Scale	As indicated
Printed	2024-09-13 1:29:47 PM



0.75 HR	
1 HR	
2 HR	







1 **METAL SIDING**  
STANDING SEAM PANELS - 12"  
LIGHT GREY

2 **METAL SIDING**  
NARROW CORRUGATE PANEL  
MEDIUM GREY

3 **STUCCO FINISH**  
PALE GREY

4 **VERTICAL WOOD SIDING / SOFFIT**  
CEDAR

5 **PERFORATED METAL PANEL**  
MOUNTED ON PTD. METAL STRUCTURE  
PTD. LIGHT COLOUR

6 **HIGH PERFORMANCE WINDOW**  
VINYL FRAME  
MEDIUM GREY

7 **PTD. METAL PEDESTRIAN GATE**

8 **WOOD DECK STRUCTURE**  
(BEYOND PERFORATED PANEL)

9 **WOOD FASCIA**  
TO MATCH CLADDING

10 **METAL FLASHING**  
TO MATCH ADJACENT METAL SIDING

11 **CONCRETE LANDSCAPE WALL (& STAIRS)**

12 **PTD. METAL BIKE RACKS**

13 **GUTTER**  
FINISH TO MATCH CLADDING

14 **DOWNSPOUT**

15 **PTD. METAL DOOR CANOPY**

16 **THRU-WALL FLASHING**  
FINISH TO MATCH CLADDING

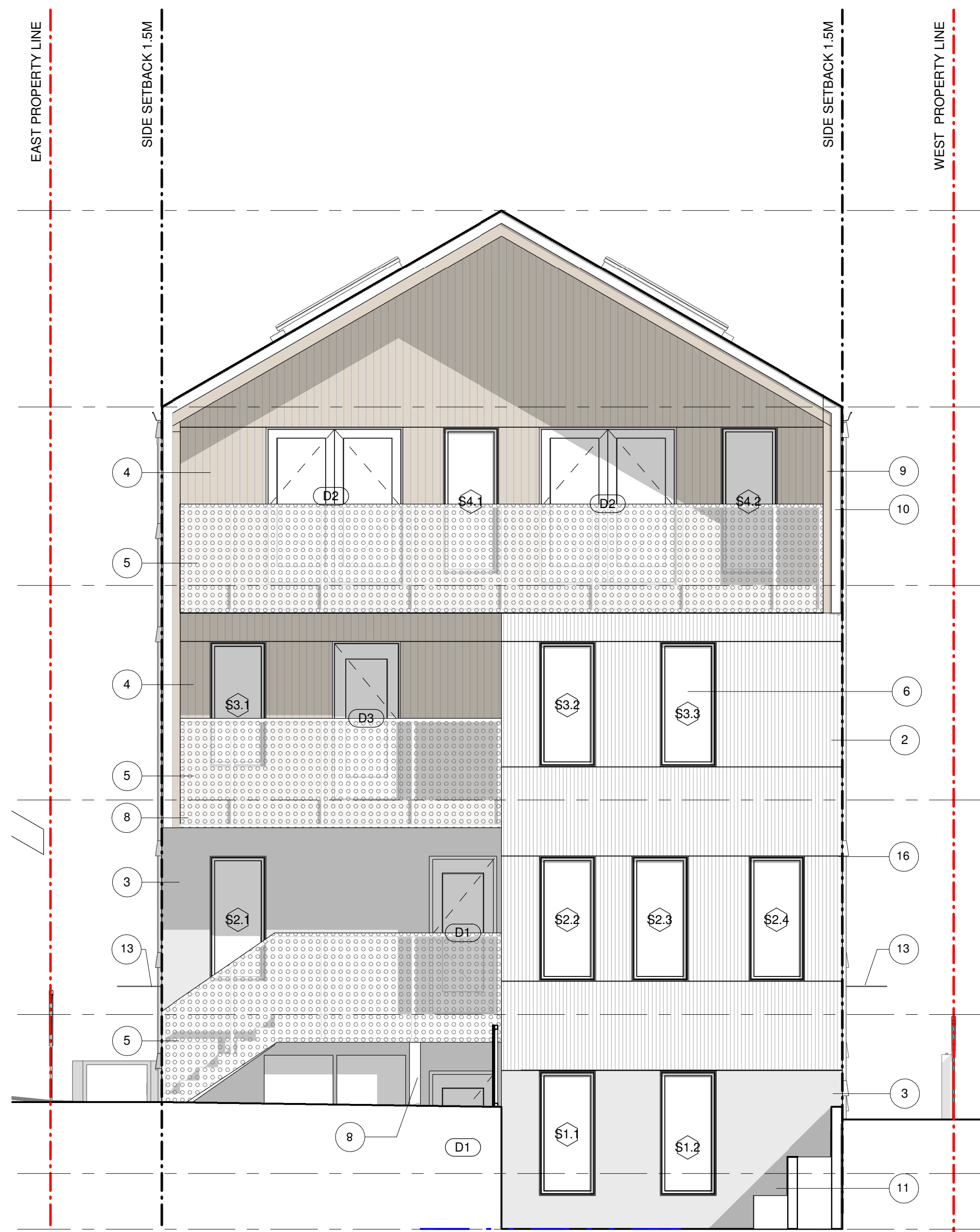
17 **INTAKE/ EXHAUST VENT**  
FINISH TO MATCH CLADDING

18 **PRIVACY WINDOW LOUVER**  
PTD. METAL STRUCTURE  
PTD. LIGHT COLOUR

[illegible]

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Architectural floor plan of a building with multiple levels and a basement. The plan shows various rooms, corridors, and exterior features. Key elements include:

- Levels and Heights:**
  - T/ Roof: 34.202 m
  - Max Height: 33.205 m
  - Bldg Height: 32.875 m
  - Gable Extent: 31.549 m
  - Level 3: 29.141 m
  - Level 2: 26.246 m
  - Level 1: 23.350 m
  - Average Grade: 21.205 m
  - Basement
- Exterior Features:**
  - Weatherhead
  - Heat Pump Vent
  - Electrical Meter Typ.
  - Path Lights Provided Along Unit Access Routes Typ.
  - Wall Sconce
  - Lighting At Entryway
  - Unit Number Provided At
  - Outline of Adjacent House
  - Illuminated Unit Number
- Setbacks:**
  - Front Setback: 4.0m
  - Rear Setback: 10.0m
- Room and Area Labels:**
  - W1.1, W1.2, W1.3, W1.4
  - W2.1, W2.2, W2.3, W2.4
  - W3.1, W3.2, W3.3, W3.4
  - R2
  - D1
  - 3, 4, 5, 6, 7, 13, 15, 16, 17

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Do not scale these drawings.



1

**METAL SIDING**  
STANDING SEAM PANELS - 12\"  
LIGHT GREY



2

**METAL SIDING**  
NARROW CORRUGATE PANELS - 12\"  
MEDIUM GREY



3

**STUCCO FINISH**  
PALE GREY

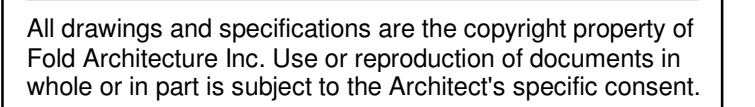
7. **PTD. METAL PEDESTRIAN GATE**
8. **WOOD DECK STRUCTURE**  
(BEYOND PERFORATED PANEL)
9. **WOOD FASCIA**  
TO MATCH CLADDING
10. **METAL FLASHING**  
TO MATCH ADJACENT METAL SIDING
11. **CONCRETE LANDSCAPE WALL (& STAIRS)**
12. **PTD. METAL BIKE RACKS**

- 13 **GUTTER**  
FINISH TO MATCH CLADDING
- 14 **DOWNSPOUT**
- 15 **PTD. METAL DOOR CANOPY**
- 16 **THRU-WALL FLASHING**  
FINISH TO MATCH CLADDING
- 17 **INTAKE/ EXHAUST VENT**  
FINISH TO MATCH CLADDING
- 18 **PRIVACY WINDOW LOUVER**  
PTD. METAL STRUCTURE  
PTD. LIGHT COLOUR



Project number	1
Date	2024.09.10
Drawn by	MW
Checked by	MA
A401	
Scale	1 : 50
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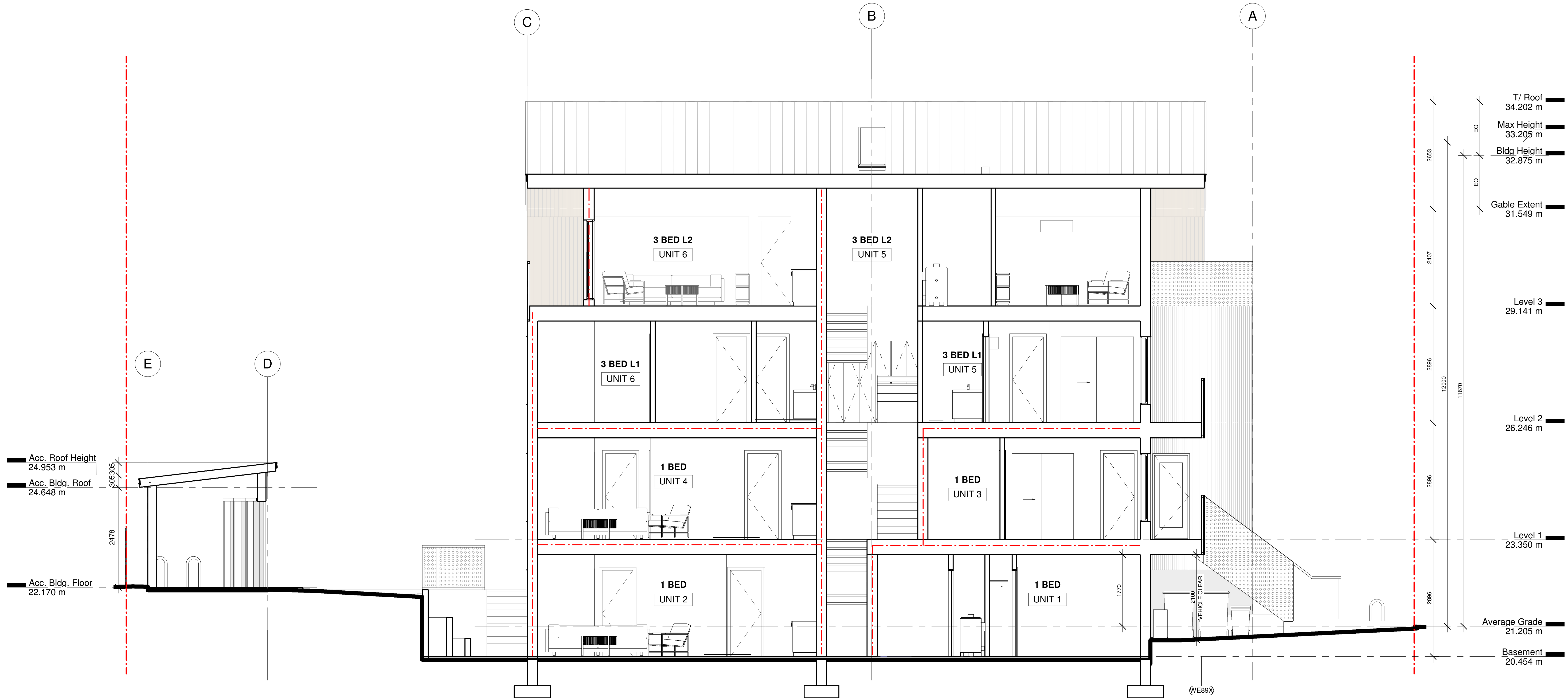


Do not scale these drawings.

[illegible]

Project number	1
Date	2024.09.10
Drawn by	MW
Checked by	MA
A500	
Scale	As indicated
Printed	2024-09-13 1:29:56 PM

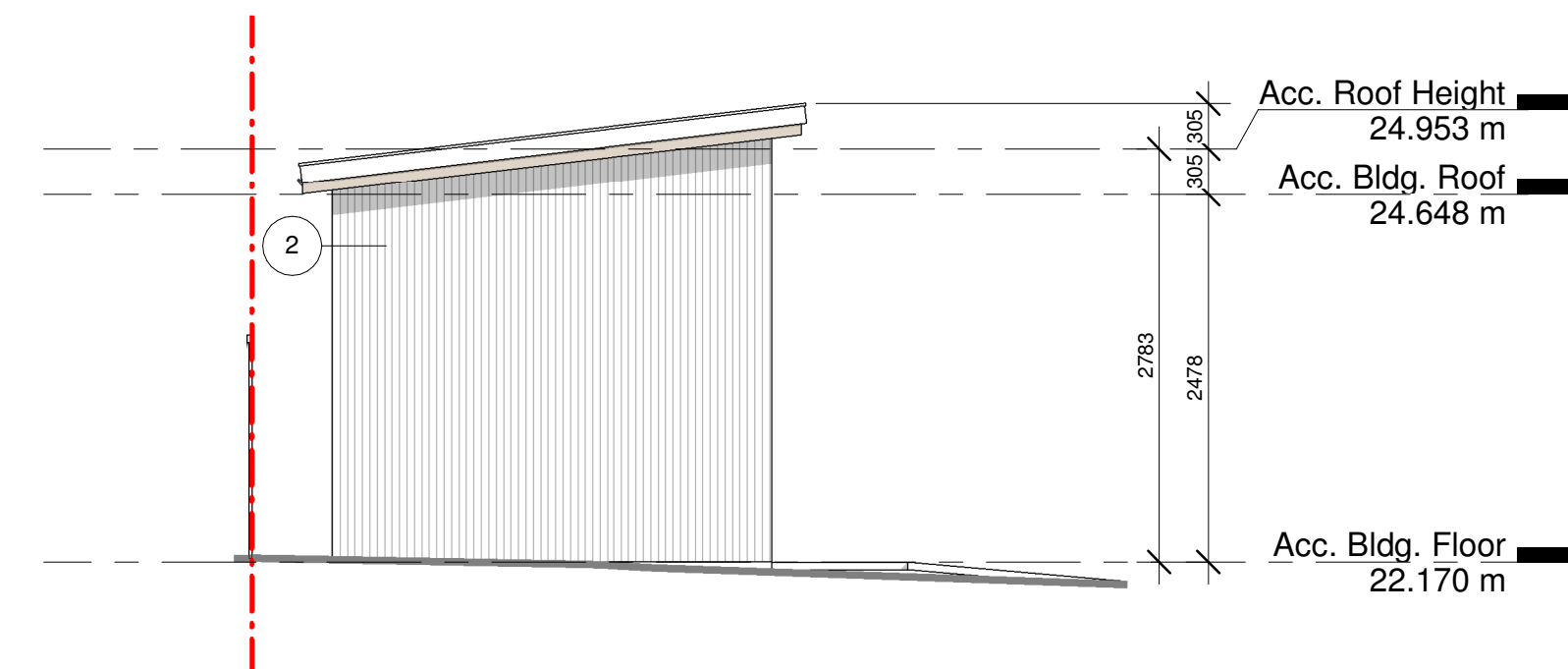
Printed	2024-09-13 1:29:56 PM
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1 SECTION N-S  
1 : 50

0.75 HR	
1 HR	
2 HR	





Technical drawing of a building facade section. The drawing shows a cross-section of a structure with a flat roof and vertical supports. Dimensions are indicated by circles with numbers: 9, 10, 4, 2, and 2. The structure features a series of vertical supports and a roof structure. A dashed line indicates a structural break or a specific material boundary. The drawing is oriented horizontally, with the roof at the top and the ground at the bottom.

Diagram illustrating the elevation of the building facade, showing the roof profile and vertical dimensions. The drawing includes a cross-section of the roof structure with labels 9 and 10 indicating specific points or materials. The vertical dimensions are marked on the right side:


- Acc. Roof Height: 24.953 m
- Acc. Bldg. Roof: 24.648 m
- Acc. Bldg. Floor: 22.170 m

The vertical distance between the building floor and the building roof is 24.648 m. The vertical distance between the building floor and the actual roof height is 24.953 m. The vertical distance between the building roof and the actual roof height is 305.805 m.

[illegible]

## MATERIAL FINISHES



- 

- 11

- 3 **STUCCO FINISH**  
PALE GREY

- 6 **HIGH PERFORMANCE WINDOW**  
VINYL FRAME  
MEDIUM GREY

No.	Description	Date
2	Issued for MMHI Development Permit	24.04.22
3	Issued for MMHI DP Rev.	24.06.26
4	Issued for MMHI DP Rev. 2	24.09.03

Do not scale these drawings.

CASCARA CONSTRUCTION  
NORTH JUBILEE  
HOUSEPLEX  
ACCESSORY  
BUILDING

# A600

Printed	2024-09-13 1:29:58 PM
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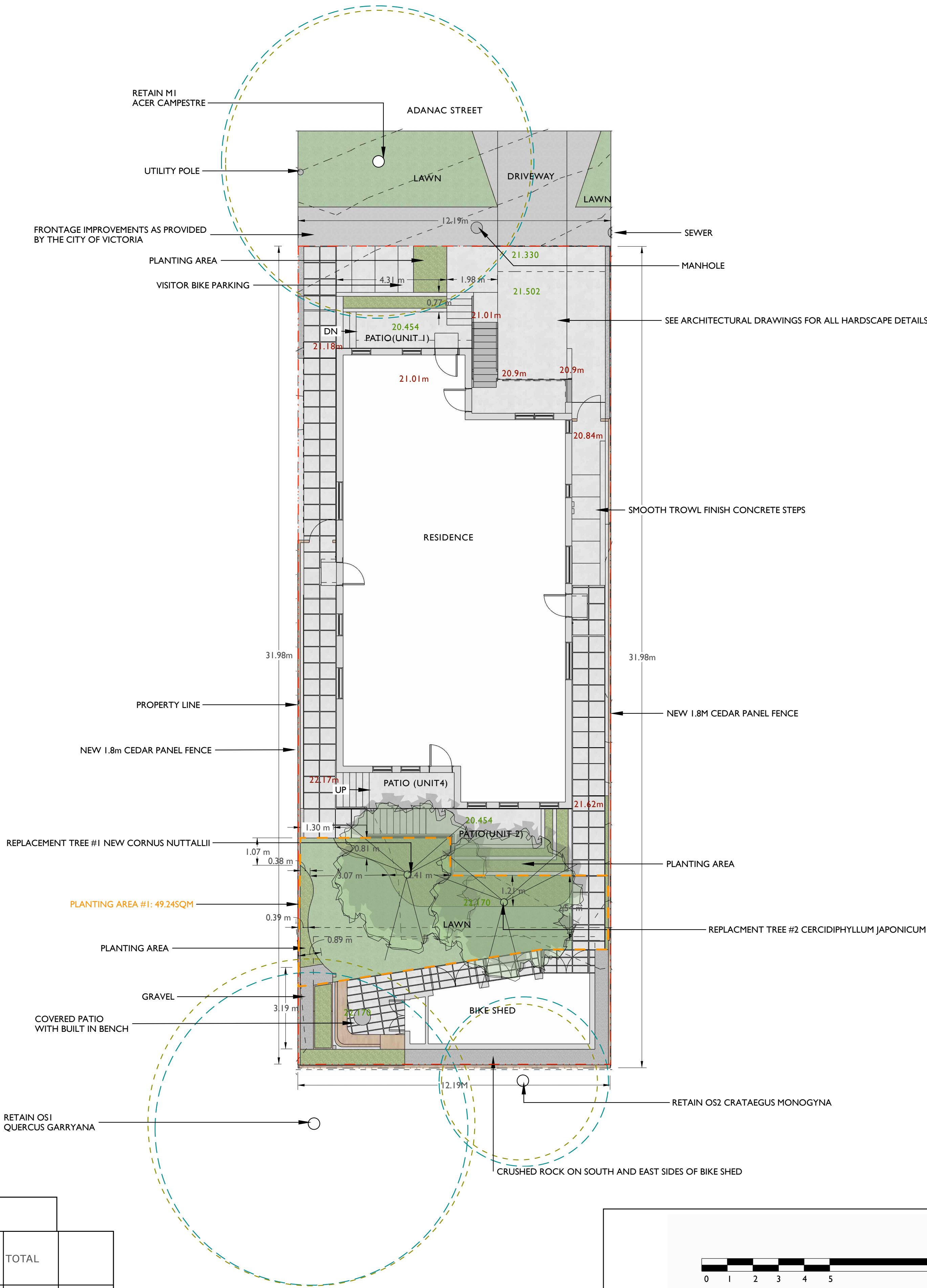
1721 ADANAC STREET - SITE AND TREE RETENTION, REMOVAL, AND REPLACEMENT PLAN

NOTES:  
EXISTING GRADES ARE IN GREEN  
PROPOSED GRADES ARE IN RED

LEGEND

- TREES TO BE REMOVED
- CRITICAL ROOT ZONE
- DRIP ZONE

PLANTING AREA ID	AREA (m2)	SOIL VOLUME MULTIPLIER	A. ESTIMATED SOIL VOLUME	REPLACEMENT TREES PROPOSED		SOIL VOLUME REQUIRED (m3)			
				B. #SMALL	C. #MEDIUM	E.#SMALL	F. #MEDIUM	TOTAL	
PLANTING AREA #1	49.24	1	49.24	0	2	0	30	30	



CEDAR PANEL FENCE



GARRY OAK MEADOW PLANTINGS

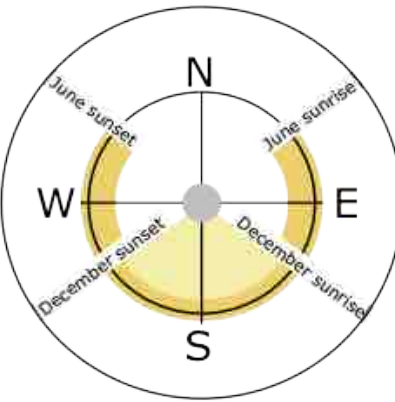


**PROJECT TITLE :**  
PROPOSED LANDSCAPE PLAN for  
CASCARA CONSTRUCTION  
1721 ADANAC STREET,VICTORIA, BC

**PAGE TITLE :**  
SITE AND TREE PLAN, PAGE ONE of THREE

**DATE :**  
APRIL 10, 2024  
Revised APRIL 12, 2024  
Revised APRIL 17, 2024  
Revised JUNE 25, 2024  
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Revised AUGUST 9, 2024  
Revised AUGUST 28, 2024

**SCALE :**  
1:100





1721 ADANAC STREET - PLANTING PLAN



GAULTHERIA SHALLON



ARCTOSTAPHYLOS UVA-URSI



CORNUS NUTTALLII



HELLEBORUS ORIENTALIS 'WHITE LADY'



ANAPHALIS MARGARITACEA



KOELERIA MACRANTHA



ACHILLEA MILLEFOLIUM



MYRICA CALIFORNICA



CERASTIUM ARVENSE



BLECHNUM SPICANT



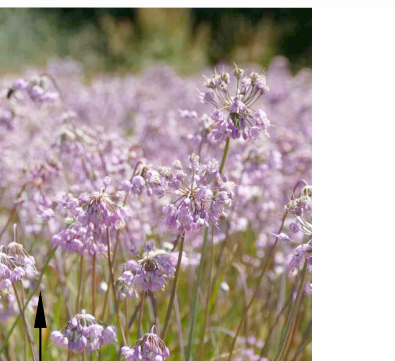
POLYSTICHUM MUNITUM



ARTEMISIA SUKSDORFII



ARMERIA MARITIMA



ALLIUM CERNUUM



FESTUCA ROEMERII



BERBERIS NERVOSA



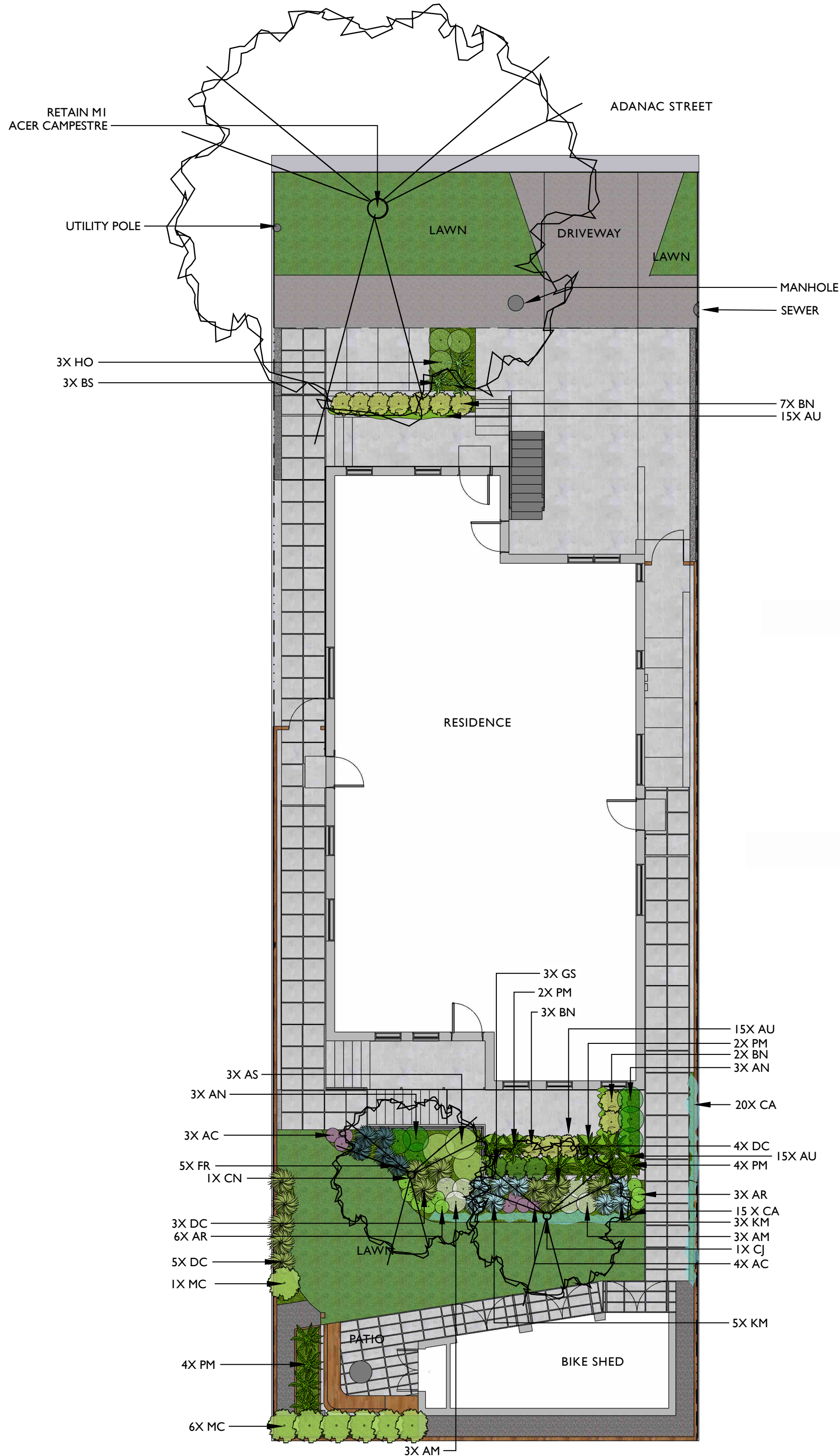
DESCHAMPSIA CESPITOSA



CERCIDIPHYLLUM LANATUM



HELLEBORUS X HYBRIDUS 'BERRY SWIRL'



ON-SITE PLANT SCHEDULE

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
CJ	1	6cm.	CERIDIPHYLLUM JAPONICUM	KATSURA TREE
CN	1	6cm.	CORNUS NUTTALLI	PACIFIC DOGWOOD
SHRUBS				
MC	7	#7	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE
PERENNIALS, BULBS, FERNS AND GRASSES				
AM	6	#1	ACHILLEA MILLEFOLIUM	YARROW
AC	7	4"	ALLIUM CERNUUM	NODDING ONION
AN	6	#1	ANAPHALIS MARGARITACEA	PEARLY EVERLASTING
AR	9	#1	ARMERIA MARITIMA	SEA THRIFT
AS	3	#1	ARTEMISIA SUKSDORFII	COASTAL MUGWORT
BS	3	#1	BLECHNUM SPICANT	DEER FERN
DC	12	#1	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS
FR	5	#1	FESTUCA ROMERI	ROEMER'S FESCUE
HO	3	#1	HELLEBORUS ORIENTALIS 'WHITE LADY'	WHITE LADY LENTON ROSE
KM	8	#1	KOLERIA MACRANTHA	JUNE GRASS
PM	10	#1	POLYSTICHUM MUNITUM	SWORD FERN
GROUNDCOVERS AND ANNUALS				
AU	45	4"	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK
BN	12	#1	BERBERIS NERVOSA	CREeping OREGON GRAPE
CA	35	4"	CERASTIUM ARVENSE	FIELD CHICKWEED
GS	3	#1	GAULTHERIA SHALLON	SALAL



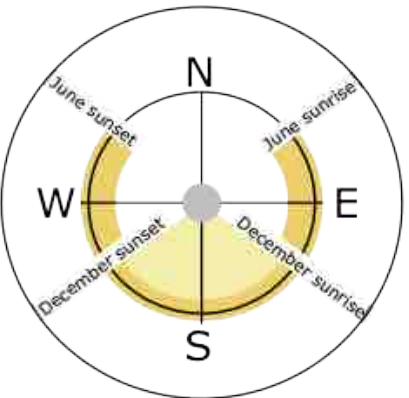
Greenspace Designs  
Sustainable Landscape Design

PROJECT TITLE ::  
PROPOSED LANDSCAPE PLAN for  
CASCARA CONSTRUCTION  
1721 ADANAC STREET,VICTORIA, BC

PAGE TITLE ::  
PLANTING PLAN, PAGE TWO of THREE

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SCALE ::  
1:100





1721 ADANAC STREET - LANDSCAPE NOTES

OVERALL NOTES

- 1. Plantings, landscape installation, and irrigations should all be installed in accordance with the BCLNA/BCSLA standard (2020)
- 2. Any plant substitutions shall be made in consultation with the landscape architect.
- 3. The Landscape and Irrigation Contractor shall determine the location of all underground services prior to the commencement of landscape work and shall be responsible for the repair of all damage caused by landscape work to the Owner's satisfaction.
- 4. All topsoil and plants shall conform to BCNTA / BCSLA specifications.
- 5. BCLNA/BCSLA standard (2020) is the guiding resource for all notes on this page

MATERIALS

CAST-IN-PLACE CONCRETE

- 1. Cast-in-place concrete may have a finish of trowel finish, broom finish, exposed aggregate, or parging. To be finished as specified on landscape plans.
- 2. Concrete should be reinforced with rebar.

PERMEABLE PAVERS

Permeable pavers should be installed according to figures 12.2, 12.3, or 12.4.

PERMEABLE PAVER DETAILS

FIGURE 12.2. PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE

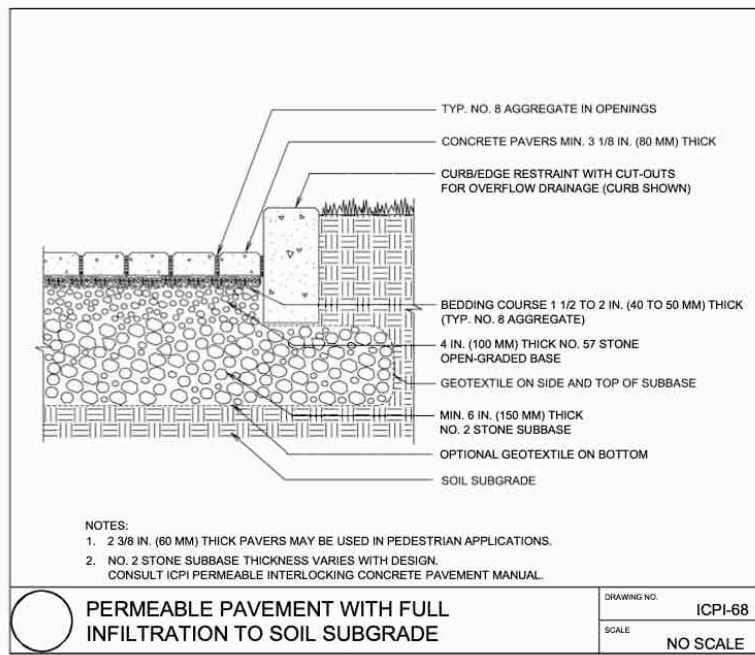


FIGURE 12.3. PERMEABLE PAVEMENT WITH PARTIAL INFILTRATION TO SOIL SUBGRADE

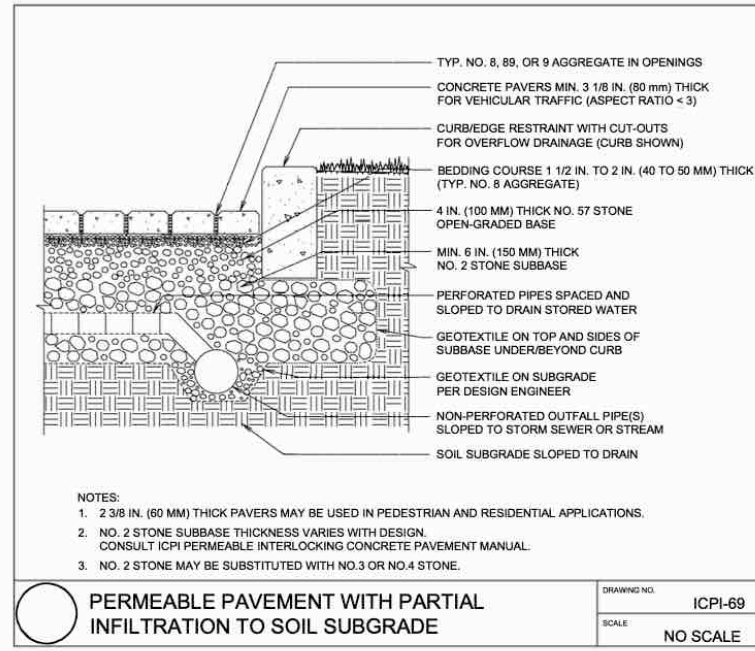
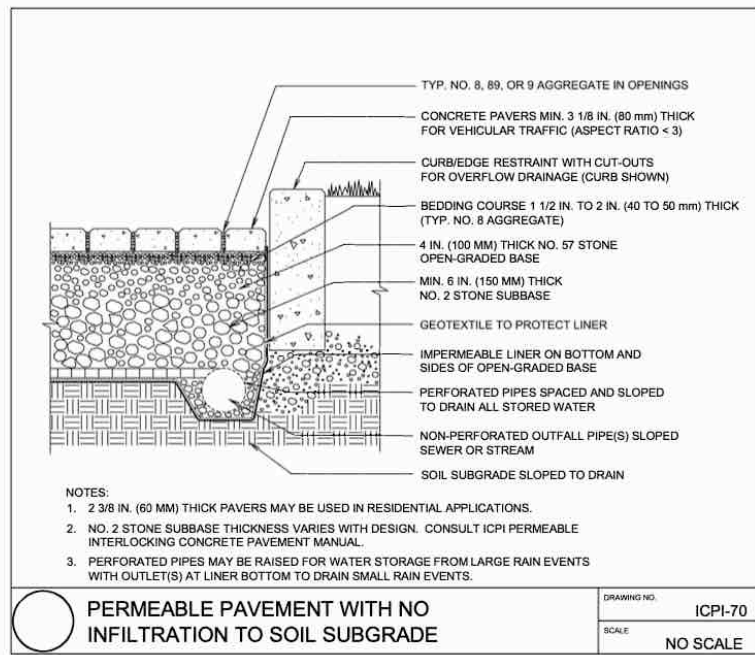
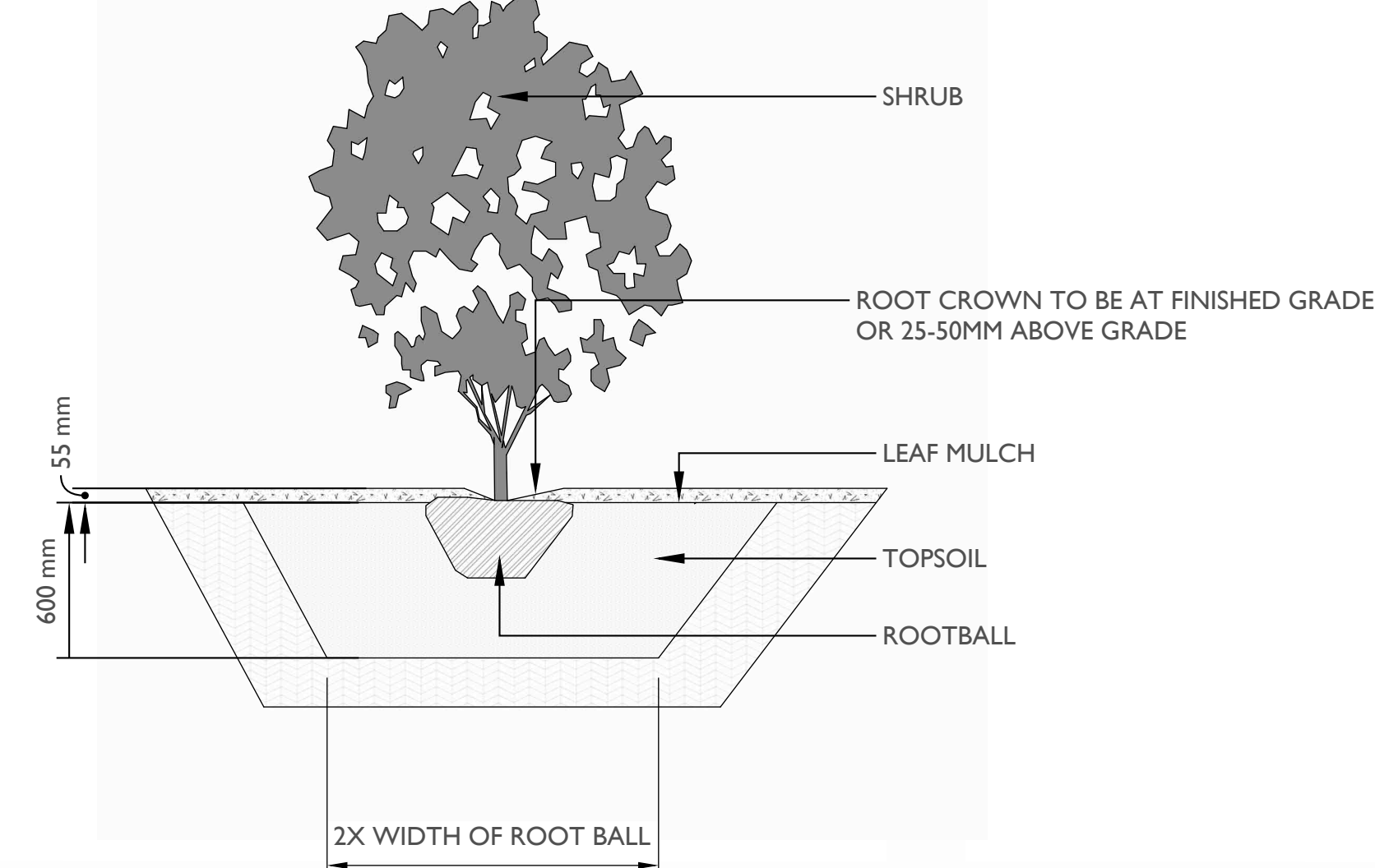


FIGURE 12.4. PERMEABLE PAVEMENT WITH NO INFILTRATION TO SOIL SUBGRADE



PLANTING DETAILS



STOCKPILES

- 1. Site materials should be stockpiled separately from the growing medium to avoid contaminating the growing medium.
- 2. Ideally, the growing medium is delivered on the day of installation.
- 3. Soils, fill, sand, gravel, or any construction materials should not be stockpiled within the t critical protection zones.
- 4. Soil or subsoil should not be stockpiled in low areas to avoid erosion or water pooling.

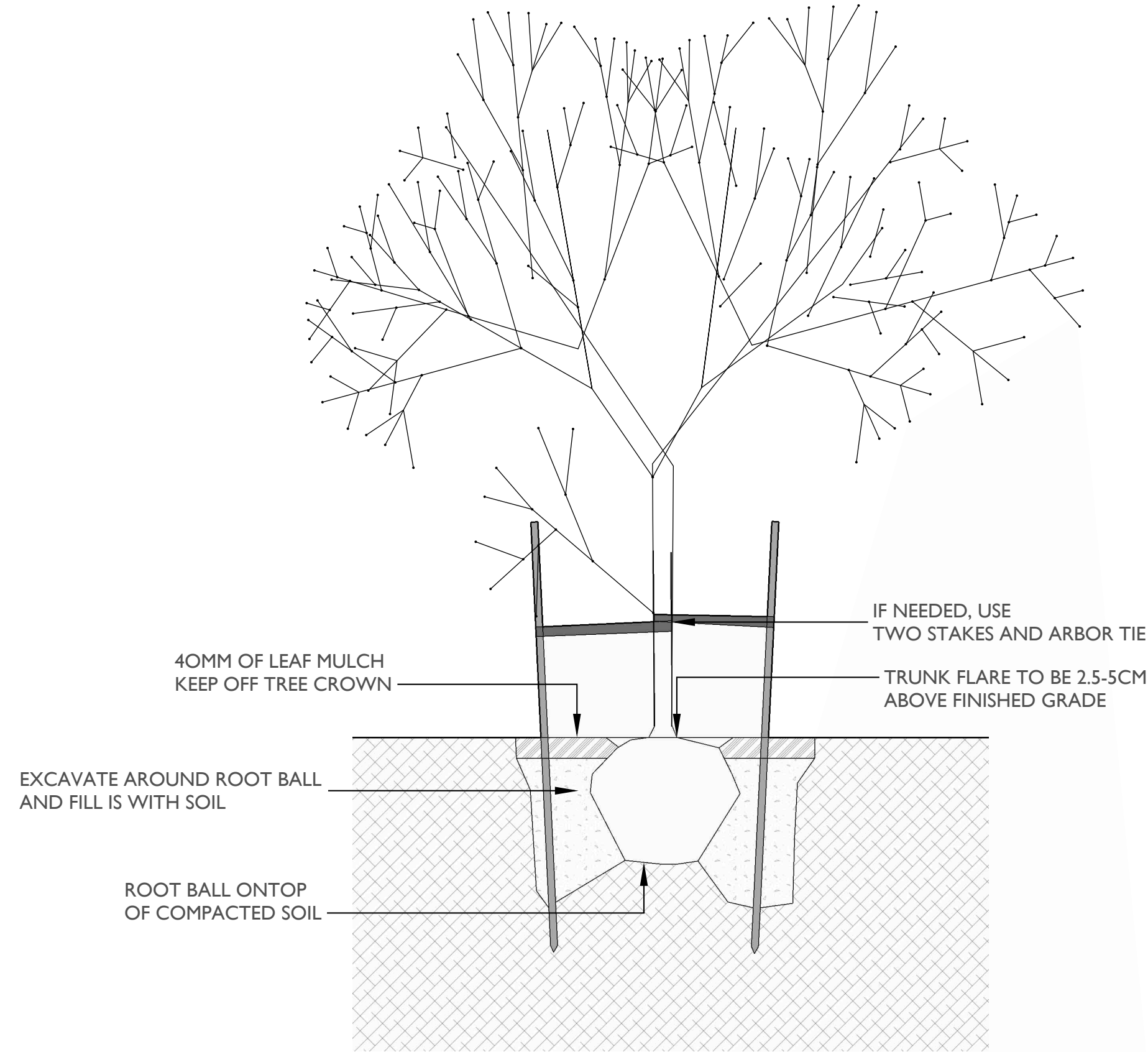
TOPSOIL

- 1. On-site topsoil should be used if it meets the standards for a growing medium.
- 2. Topsoil should have a pH range of pH 5.5-7.5 and contain not less than 2 % Organic Matter [OM] by weight and a salt conductivity of less than 2.5 dS/m.
- 3. Both imported and on-site topsoil should be tested and amended before landscape work commences on-site by the contractor or soil supplier. Modification costs should be included in the overall budget.
- 4. Topsoil depths shall be as follows: Trees 2m x 2m x 2m soil per tree; shrubs 600 mm depth; ground covers 150 mm depth

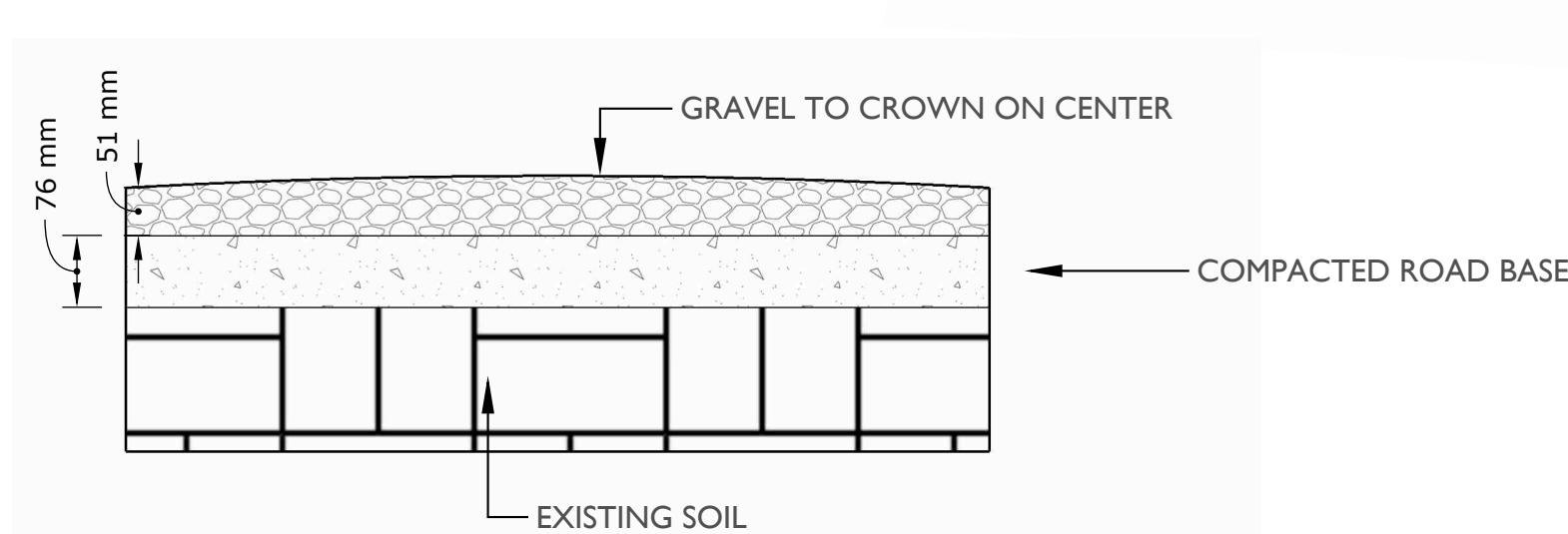
MULCH

- 1. All planted beds shall be covered with a 55 mm layer of high organic low-wood content mulch.
- 2. Mulch should be a minimum of 10cm (4in.) from the crown of any plant. It is never to be mounded up around the stem of the plant.
- 3. Mulch depths should be at most 10cm (4in.) around larger plants and 5cm (2in.) for smaller plants such as groundcovers.
- 4. Trees installed in lawns should have a mulch ring of 1m diameter that will be maintained for a minimum of 8 years.
- 5. Mulch is to be of a type suitable for the material planted.

TREE PLANTING DETAILS



GRAVEL DETAILS



PLANTING.

- 1. All trees shall be secured with two 75 mm diameter x 1.8 m long round poles set 1m into the ground.
- 2. Plants determined to be dead or dying at the end of one year from the installation date shall be replaced by the Contractor at the Contractor's expense.
- 3. Growing media settlement should be corrected prior to mulching.
- 4. Immediately after planting, trees shall be stabilized, ensuring that the tree's crown has free movement, but wind, snow loading, or human force will not disturb the buttress root system or cause the rootball to shift in the ground.
- 5. Trees may not need stabilization if the subsoil and growing medium are stable and can hold the rootball in place, and the rootball is solid and contained and shaped where it can resist shifting.
- 6. Planting debris and materials shall be removed promptly from the site.
- 7. Plants must be watered immediately after planting to the depth of their root systems.
- 8. The contractor is responsible for scheduling the delivery of plants to the site in conformance with the contract documents.
- 9. Plants should spend a minimal amount of time in the storage on site.

SEED

- 1. All grass areas shall be seed.
- 2. The finished grade should be smooth, firm against footprints, loose textured, and free of all stones, roots, and branches.
- 3. Areas with heavy compaction should have their surfaces loosened employing thorough scarification, discing, or harrowing to a minimum of 150mm (6in.) depth.
- 4. Slope soil away from house and level soil by dragging a 2x6" board over area, rake the soil even, then roll over the soil three times in opposite directions until soil is firm.
- 5. Add a light dressing of peat moss, just as a measure to retain moisture.
- 6. A mix of 3 grass species is better than one species. The following grasses are known for their hardiness and have been tested for turf quality and resistance to many diseases and insects. A good basic mix would be: fescue. These do well in cool-season climates such as ours.
- 7. Seed should be applied at a rate of one pound per 200 square feet and spread in opposite directions.
- 8. After application seed should be lightly and gently raked.
- 9. After seeding the newly seeded area must be watered evenly, and kept moist until lawn is established.

IRRIGATION

- 1. All planting beds shall be irrigated with an automatic underground system with automatic rain shut-off.
- 2. Irrigation sleeving is to be 150mm in diameter. Schedule 40 or SDR 28.
- 3. Must be installed 12" below finished grade for all lateral lines and 18" below finished grade for irrigation main lines.
- 4. All irrigation materials and installation methods shall conform to IABC standards.
- 5. Irrigation within municipal rights of way shall conform to the City of Victoria requirements.
- 6. Backflow preventer requirements for irrigation lines shall conform to Victoria municipality requirements.
- 7. The Irrigation Contractor shall test the irrigation system and ensure that it is fully operational prior to acceptance by the owner.

WATERING

- 1. Plants shall be monitored for moisture at delivery and watered as necessary until planting with on-site irrigation during storage.
- 2. Plants and soil moisture should be monitored during the first and second growing seasons for a sufficient irrigation schedule and to ensure that the plants are healthy with the irrigation setup. If the plants are wilting or showing stress due to water, there shall be an increase in watering frequency.
- 3. Watering should reach the depth of the root zone.
- 4. Irrigation schedules may be skipped if rainfall has penetrated the full depth of the root zone.
- 5. Soil moisture should be maintained at 50 to 100 percent field capacity.

LANDSCAPE LIGHTING

- 1. Landscape lighting must adhere to the Canadian Electrical Code, British Columbia electrical and building codes, and Municipal by-laws regarding electrical, lighting, and light pollution.



Greenspace Designs  
Sustainable Landscape Design

PROJECT TITLE

PROPOSED LANDSCAPE PLAN for  
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1721 ADANAC STREET,VICTORIA, BC

PAGE TITLE

LANDSCAPE NOTES, PAGE THREE of THREE

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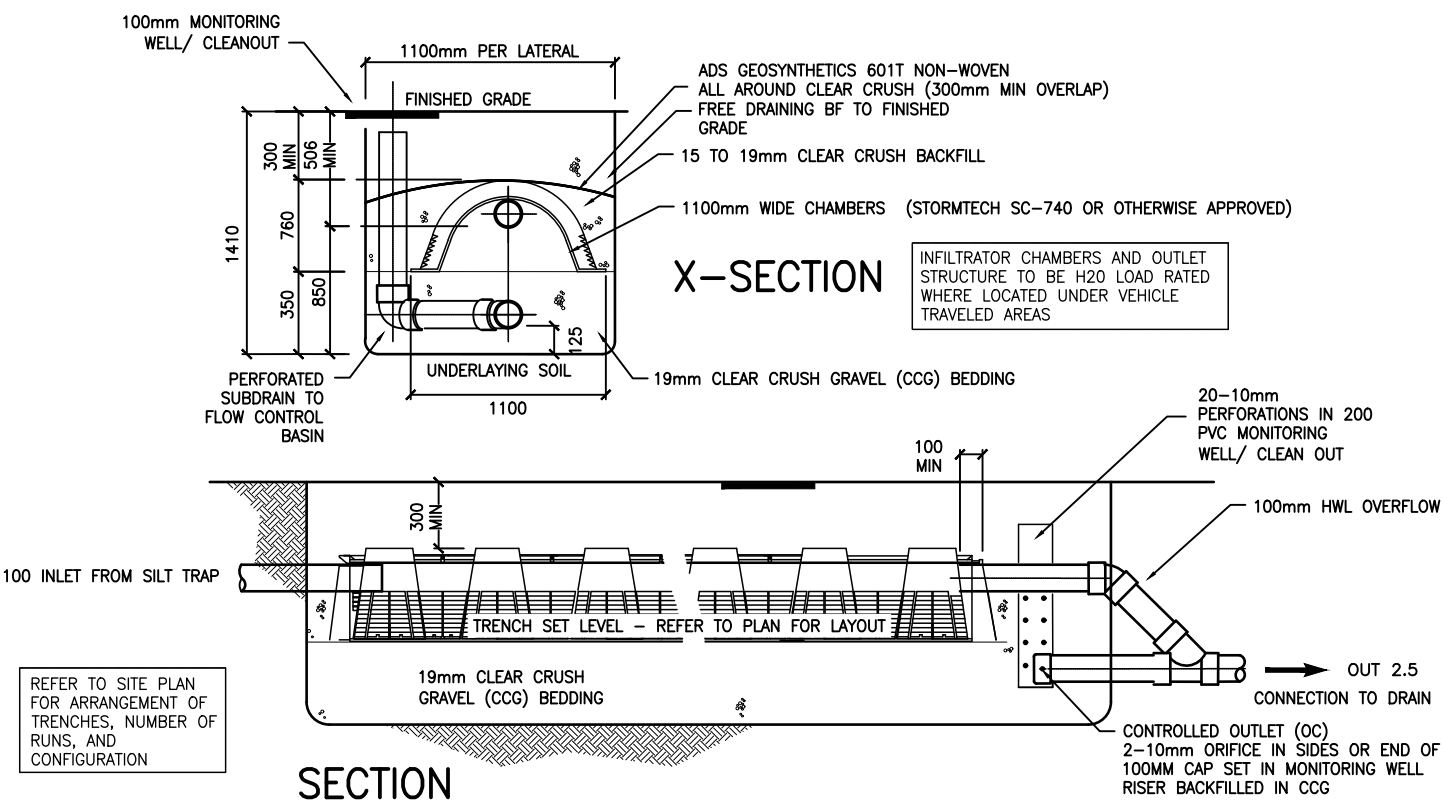


ENVIRONMENTAL NOTES:

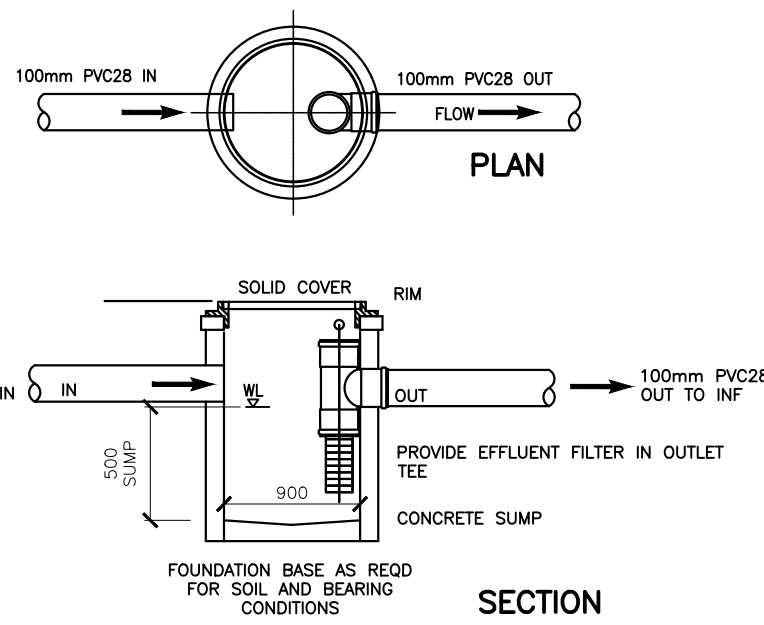
- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM.
- SOME BMP'S TO CONSIDER:
- CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
- NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
- A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
- SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
- COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
- STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
- PLACE DRAIN ROCK AND FILET FABRIC AT THE IN LET OF CULVERT
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT VICTORIA ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS PER DETAIL A IN LOCATION SHOWN ON ESC PLAN.

GENERAL CONSTRUCTION NOTES:

- CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS SHALL CONFORM TO VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
- REINSTATE ALL PRIVATE PROPERTY AND BOULEVARDS TO PRE-CONSTRUCTION CONDITIONS.
- CONTACT VICTORIA PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES
- ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
- CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
- ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.



SWM STORAGE/FILTRATION TRENCH – D11C



SWM DRAIN SILT TRAP D12B

ON SITE STORMWATER MANAGEMENT (SWM) NOTES

CONTRACTORS OBLIGATION

**PRE-CONSTRUCTION MEETING**  
THE CONTRACTOR MUST ARRANGE WITH THE ENGINEER, A PRE-CONSTRUCTION MEETING TO REVIEW THE SWM OBJECTIVES BEFORE SETTING OF ANY FOUNDATION OR BUILDING PERIMETER DRAINS.

REFER TO **GENERAL NOTES**

**SEDIMENT RETENTION**  
DURING CONSTRUCTION AND RE-ESTABLISHMENT OF VEGETATION AND LAWN, SURFACE WATER RUN-OFF FROM DISTURBED AREAS OF THE PROJECT, OR ANY OTHER SOURCE OF SEDIMENT OR POLLUTANT LADEN WATER, SHALL NOT BE ROUTED THROUGH ANY STORMWATER MANAGEMENT SYSTEM. A SEDIMENT POND, TRAP, PERIMETER PROTECTION, SUCH AS SILT FENCES, OR OTHER ENGINEER APPROVED SURFACE TREATMENTS SHALL BE USED.

**COMMISSIONING OF SWM SYSTEMS**  
TEMPORARY EROSION AND SILT CONTROL TREATMENTS SHALL REMAIN IN PLACE UNTIL THE ENTIRE SITE HAS BEEN STABILIZED AND VEGETATION RE-ESTABLISHED.

SWM OBJECTIVES

**GENERAL**  
ALL LOTS SHALL BE PROVIDED WITH STORMWATER MANAGEMENT SYSTEMS FOR IMPERVIOUS SURFACES.

THIS PLAN SHOWS REPRESENTATIVE EXAMPLES OF TYPICAL SWM CONFIGURATIONS FOR EACH LOT.

THE OWNER AND CONTRACTOR SHALL CONSULT WITH THE ENGINEER REGARDING THE ULTIMATE ARRANGEMENT AND SCOPE OF REQUIRED SWM COMPONENTS.

INTENT OF SWM IS TO REDIRECT ALL HARD LANDSCAPE RUNOFF INTO ENGINEERED SYSTEMS FOR WATER RECHARGE TO SURFACE OR GROUND FOR DISPERSION AND/OR INFILTRATION AS WELL AS TO REDUCE THE IMPACT THE DOWNSTREAM MUNICIPAL MAIN.

**BUILDING FOUNDATION PERIMETER DRAINS**  
THE FOUNDATION PERIMETER DRAINS (PD) FROM BUILDINGS SHALL BE DIRECTLY CONNECTED TO THE COMMON OR MUNICIPAL DRAIN CONNECTION AS APPLICABLE, AND NOT ROUTED THROUGH THE ROOF OR DRIVEWAY DRAIN SYSTEMS.

FOUNDATION DRAINS TO BE PROVIDED OTHERWISE AS REQUIRED BY THE BC BUILDING CODE.

BUILDING ROOF DRAINS

THE ROOF DOWNSPOUTS (RL) FROM DWELLINGS ARE TO BE SEPARATE FROM THE FOUNDATION PERIMETER DRAIN AND ROUTED THROUGH THE SWM SYSTEMS PRESCRIBED HEREIN.

ON-SITE DRIVEWAYS

NEW DRIVEWAY SURFACE AREAS HAVE BEEN INCLUDED IN STORMWATER STORAGE CALCULATIONS.

EMERGENCY STORM OVERFLOWS MUST BE DIRECTED TO MUNICIPAL SYSTEM AS INDICATED IN D11C.

SWM SYSTEM DESIGN NOTES

**FOUNDATION PERIMETER DRAINS**  
PROVIDE DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC PLUMBING CODE UNLESS OTHERWISE APPROVED BY THE ENGINEER.

**ROOF DRAINS**  
PROVIDE ROOF WATER LEADERS AND PERIMETER ROOF DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC BUILDING CODE AS SHOWN ON THE APPROVED BUILDING PLANS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

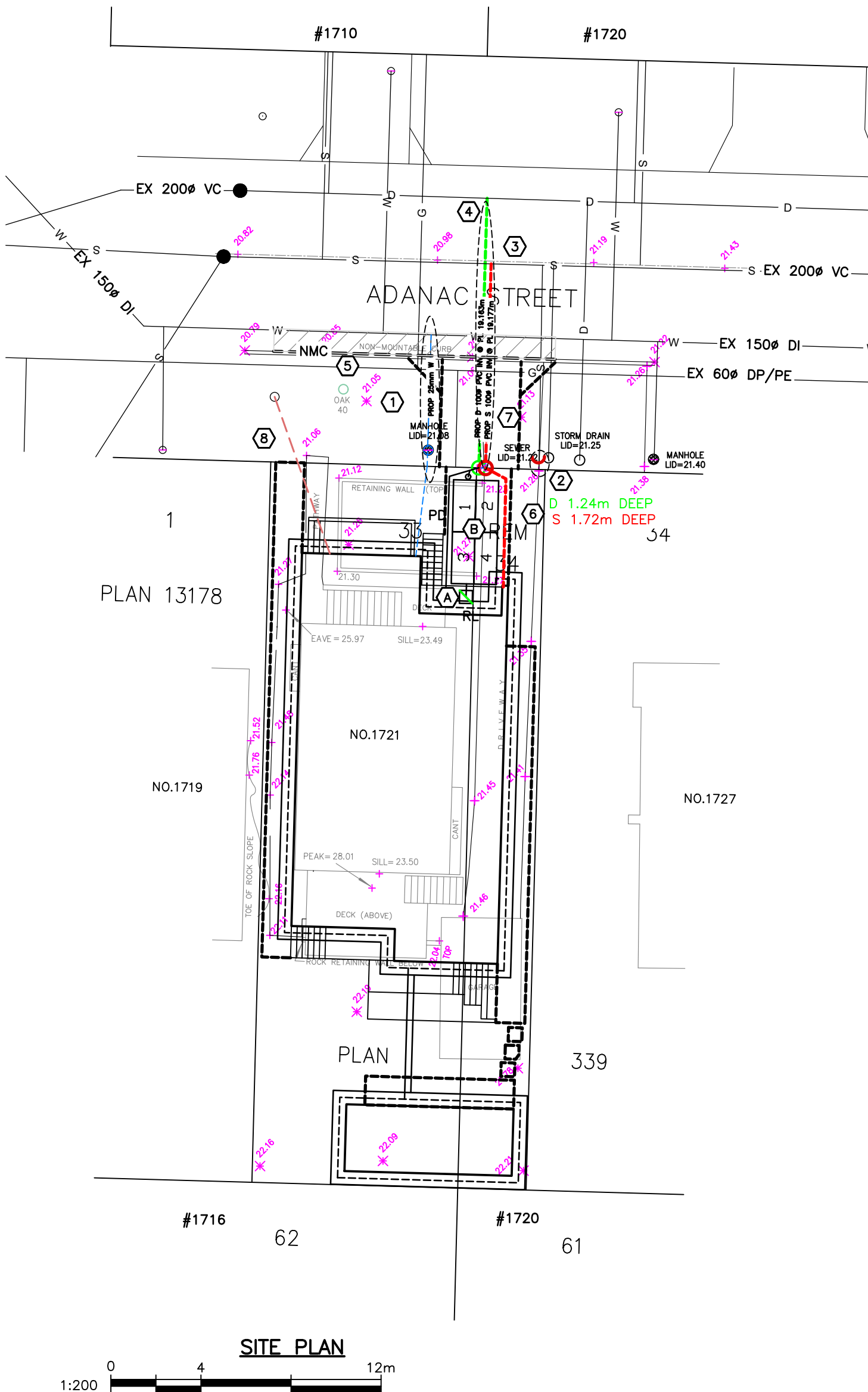
DIRECT 100MM ROOF WATER COLLECTION PIPE TO STORAGE/FILTRATION CHAMBER TRENCHES VIA SWM SILT TRAP AS INDICATED.

REFER TO **DETAIL D11C**

STORMWATER MANAGEMENT

- (A) **SILT TRAP**  
SWM RELATED SILT TRAPS (ST) TO BE CONSTRUCTED AS SHOWN IN **DETAIL D12B**

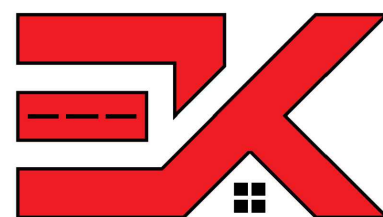
- (B) **STORAGE/ FILTRATION CHAMBER TRENCHES**  
CHAMBER TRENCHES (TRN) TO BE CONSTRUCTED AS SHOWN IN **DETAIL D11C**



DETAILED CONSTRUCTION NOTES:

- EXISTING WATER CONNECTION TO BE UPGRADED TO 25mm CONNECTION AND METER BY THE CoV AT APPLICANT EXPENSE.
- EXISTING SEWER CONNECTION TO BE CAPPED AT PROPERTY LINE BY CoV AT APPLICANTS EXPENSE.
- NEW 100mm SEWER CONNECTION AND IC BY CoV AT APPLICANTS EXPENSE. REFER TO SHEET 2 FOR PROFILE.
- NEW 100mm STORM WATER CONNECTION AND IC BY CoV AT APPLICANTS EXPENSE. REFER TO SHEET 2 FOR PROFILE.
- REMOVE AND REPLACE CURB (MMCD C4 NMC) AND GUTTER ALONG FRONTAGE AND RESURFACE 1.0m STRIP OF ASPHALT TO CoV STANDARDS
- STORMWATER MANAGEMENT SYSTEM TO BE INSTALLED AS PART OF BUILDING PERMIT REQUIREMENTS AS SHOWN.
- NEW 3.5m WIDE DRIVEWAY WITH 1.5m FLARES IN ACCORDANCE WITH STD DRG: TA-64 BY CONTRACTOR
- OVERHEAD HYDRO AND TELECOMS CONNECTION SHOWN SCHEMATICALLY. REFER TO THIRD PARTY UTILITY DRAWINGS FOR DETAILS.

PERMIT TO PRACTICE NUM: 1000348



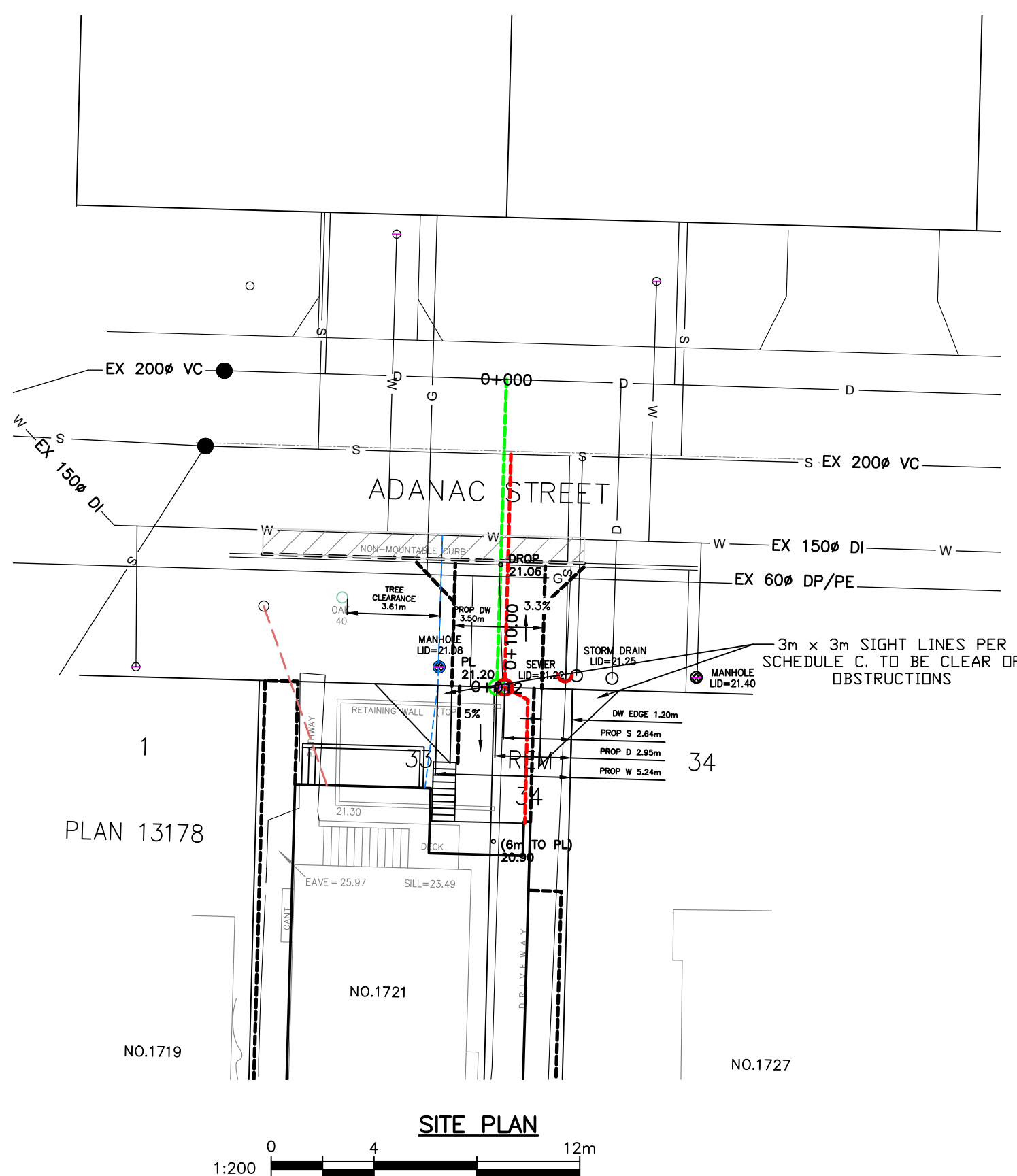
KEY PLAN – 1:2000

FOR PROPOSED SERVICES OF  
EASTERLY 30ft OF LOT 33 & REM LOT 34, SECTION 25, VICTORIA DISTRICT, PLAN 339  
PID 009-141-162  
000-151-424  
1721 ADANAC STREET

**KYLE ENGINEERING**  
SUITE 1, 40 CADILLAC  
AVE, VICTORIA, BC, V8Z 1T2  
250 475 6906

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	LEGEND	REVISIONS	REVISIONS APPROVED	DESIGN APPROVED	CITY OF VICTORIA	FILE No.	—
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.	Existing Municipal Infrastructure Proposed Municipal Infrastructure Existing External U/G Utilities Proposed External U/G Utilities Street Lighting Post Top Pedestrian Signal Traffic Signal Ctrl Monument Drain Ditch Sewer Water Traffic Sign Traverse Hub Curb Sidewalk Manhole Cleanout Silt Trap Gas Valve Concrete Box Catch Basin Culvert Cap / Plug Valve Flush Valve Hydrant Reducer Air Valve Water Meter	6 5 4 3 2 1	REVISION # 1 Approved Date Signed REVISION # 2 Approved Date Signed REVISION # 3 Approved Date Signed	Approved By Date Signed Design Engineer Manager of Development Development Coordinator	1721 ADANAC STREET PROPOSED SEWER, WATER, STORM AND ROAD SERVICES B.M. : 92B.044.1.4. Design: ESK Scale: Hor: 1:200 Vertical: 1:40 Elev: 19.407m Checked: ESK Date: JUNE 2024	DESIGN No. DRAWING No.	— 1 OF 2





<div>CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES</div> <div>THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.</div>	LEGEND										REVISIONS					REVISIONS APPROVED										DESIGN APPROVED			CITY OF VICTORIA				FILE NO.	—					
	Existing Municipal Infrastructure										Drain —D—	Curb —C—	Concrete Box ⊠	Valve ⊗	6	REVISION # 1					REVISION # 2					REVISION # 3					Approved By	Date	Signed	1721 ADANAC STREET				DESIGN NO.	—
	Proposed Municipal Infrastructure										Ditch —D—	Sidewalk SZW	Wood Box ⊠	Flush Valve ⊗	5	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Design Engineer			PROPOSED SERVICES DETAILS											
	Existing External U/G Utilities										Sewer —S—	Manhole ⊠	Catch Basin ⊠	Hydrant ⊗	4	Manager of Development			Manager of Development			Manager of Development			Manager of Development			Design Engineer			B.M. : 92B.044.1.4.	Elev. 19.407m							
	Proposed External U/G Utilities										Water —W—	Cleanout ⊠	Culvert —C—	Reducer ⊗	3	Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Manager of Development			Design: ESK	Drawn: ESK	Checked: ESK						
	Street Lighting										Pole Mount ⊠	Standard Mount ⊠	Traffic Signal ⊠	Silt Trap ⊗	2														Scale: Hor: 1:200	Vertical: 1:40	Date: JUNE 2024			DRAWING NO.	2 OF 2				
	Post Top ⊠										Pedestrian Signal ⊠	Traffic Signal ⊠	Ctrl Monument ⊠	Traverse Hub ⊠	1																								