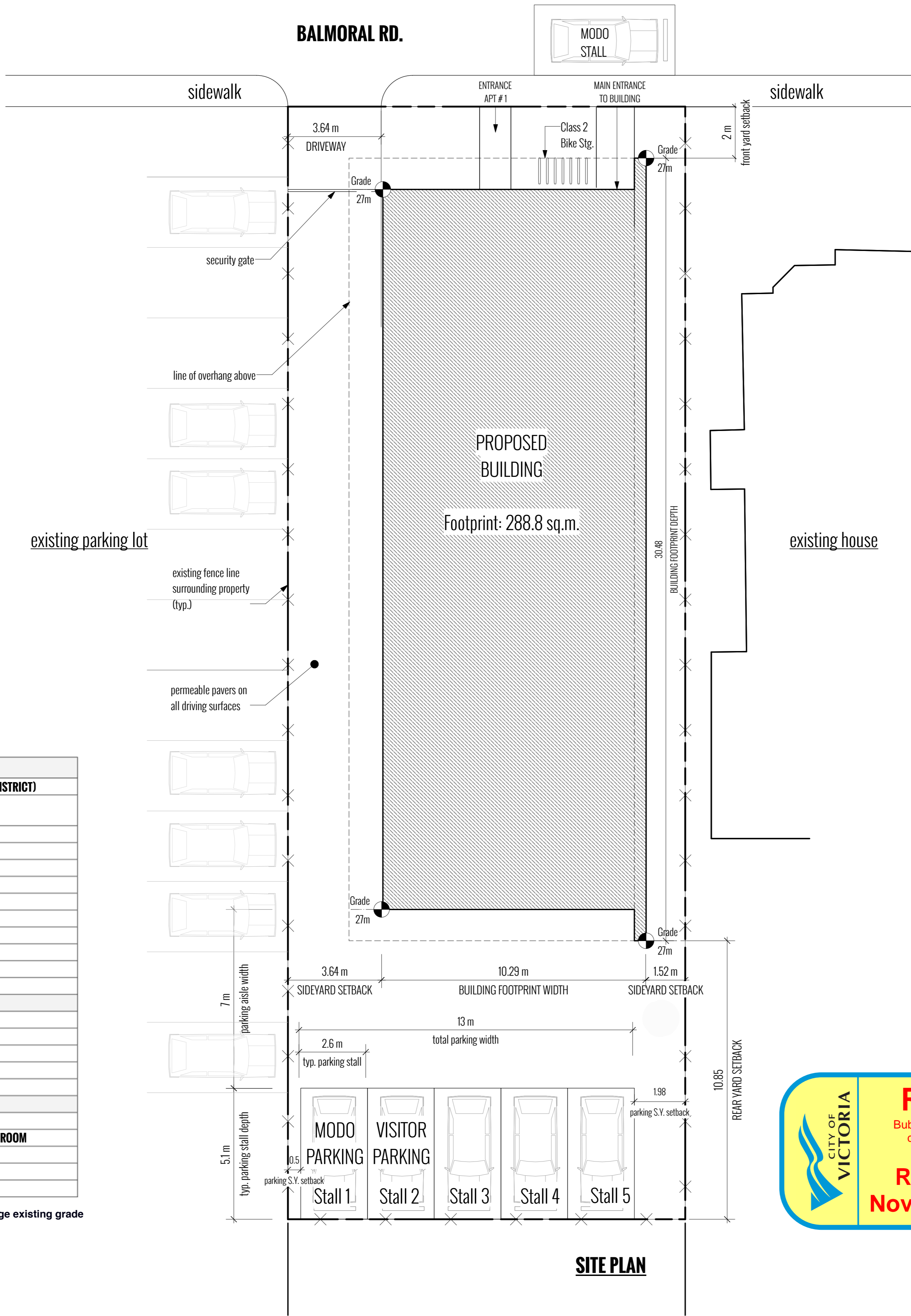


PROJECT INFORMATION TABLE	
Zone (existing)	R-2 (TWO FAMILY DWELLING DISTRICT)
Proposed zone or site specific zone If unsure, state "new zone"	NEW ZONE
Site area (m²)	671.5 m²
Total floor area (m²)	929.5 m²
Commercial floor area (m²)	ZERO
Floor space ratio	929.5 \ 671.5 = 1.38 : 1
Site coverage (%)	288.8 / 671.5 = 43%
Open site space (%)	103 / 671.5 = 15.3%
Height of building (m)	12.5m
Number of storeys	4
Parking stalls (number) on site	5
Bicycle parking number (Class 1 and Class 2)	Class 1 - 16 Class 2 - 6
Building Setbacks (m)	
Front yard	2.0m
Rear yard	10.85m
Side yard (indicate which side)	EAST 1.52m
Side yard (indicate which side)	WEST 3.64m
Combined side yards	5.16m
Residential Use Details	
Total number of units	11
Unit type, e.g., 1 bedroom	9 - ONE BEDROOM, 2 - TWO BEDROOM
Ground-orientated units	2
Minimum unit floor area (m²)	47.1 m²
Total residential floor area (m²)	559.3m²

Average Existing Grade Calculation: 27.5 + 27.6 + 26.5 + 26.7 = 108.3 / 4 = 27.0 average existing grade
Proposed Average Grade: 27 + 27 + 27 + 27 = 108 / 4 = 27m average propsed grade



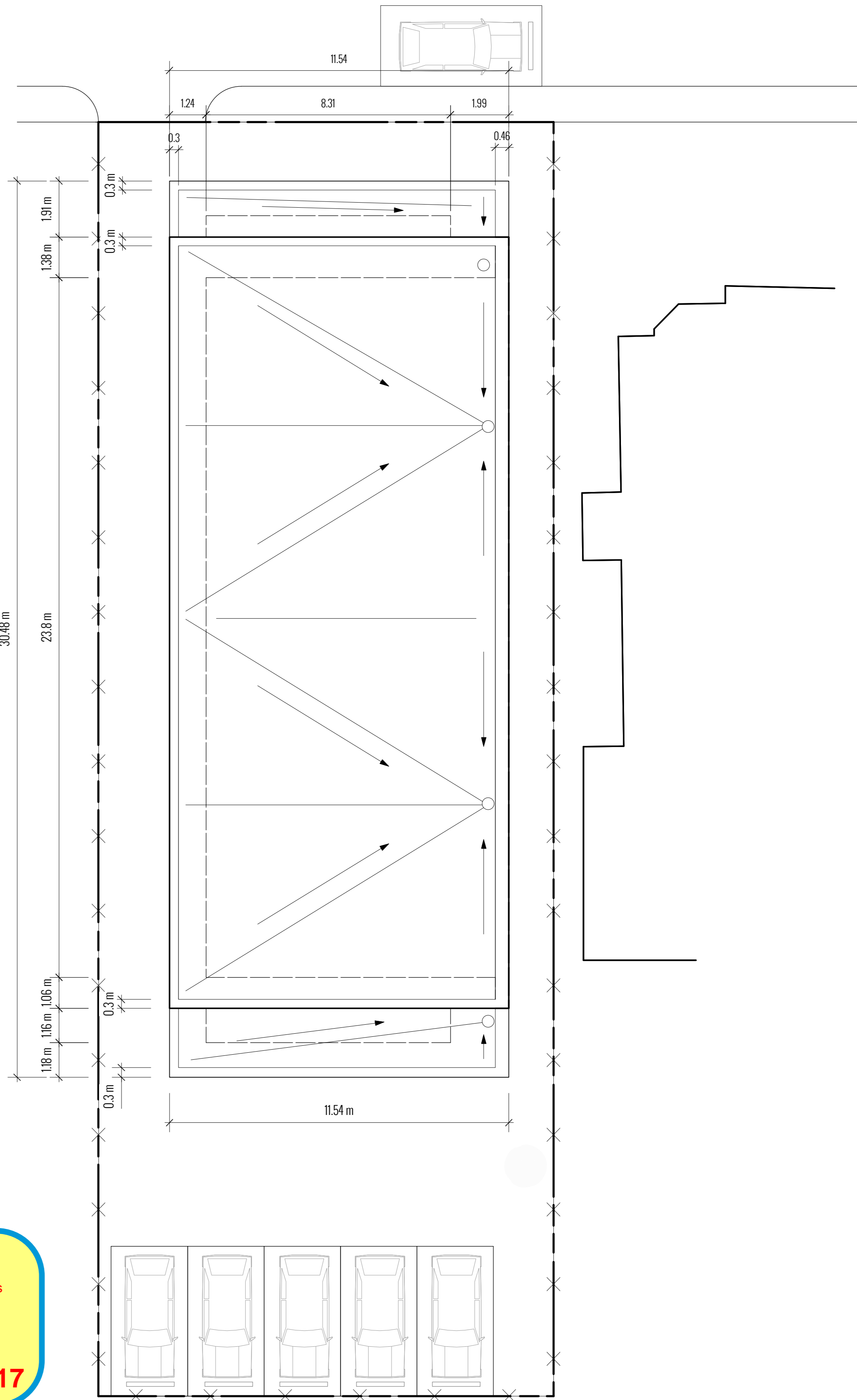
SITE PLAN

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

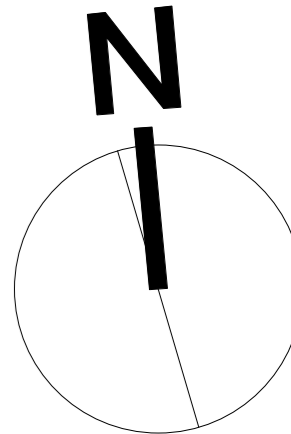
Received Date

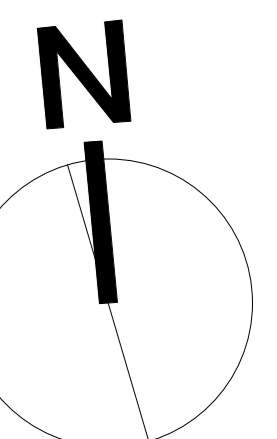
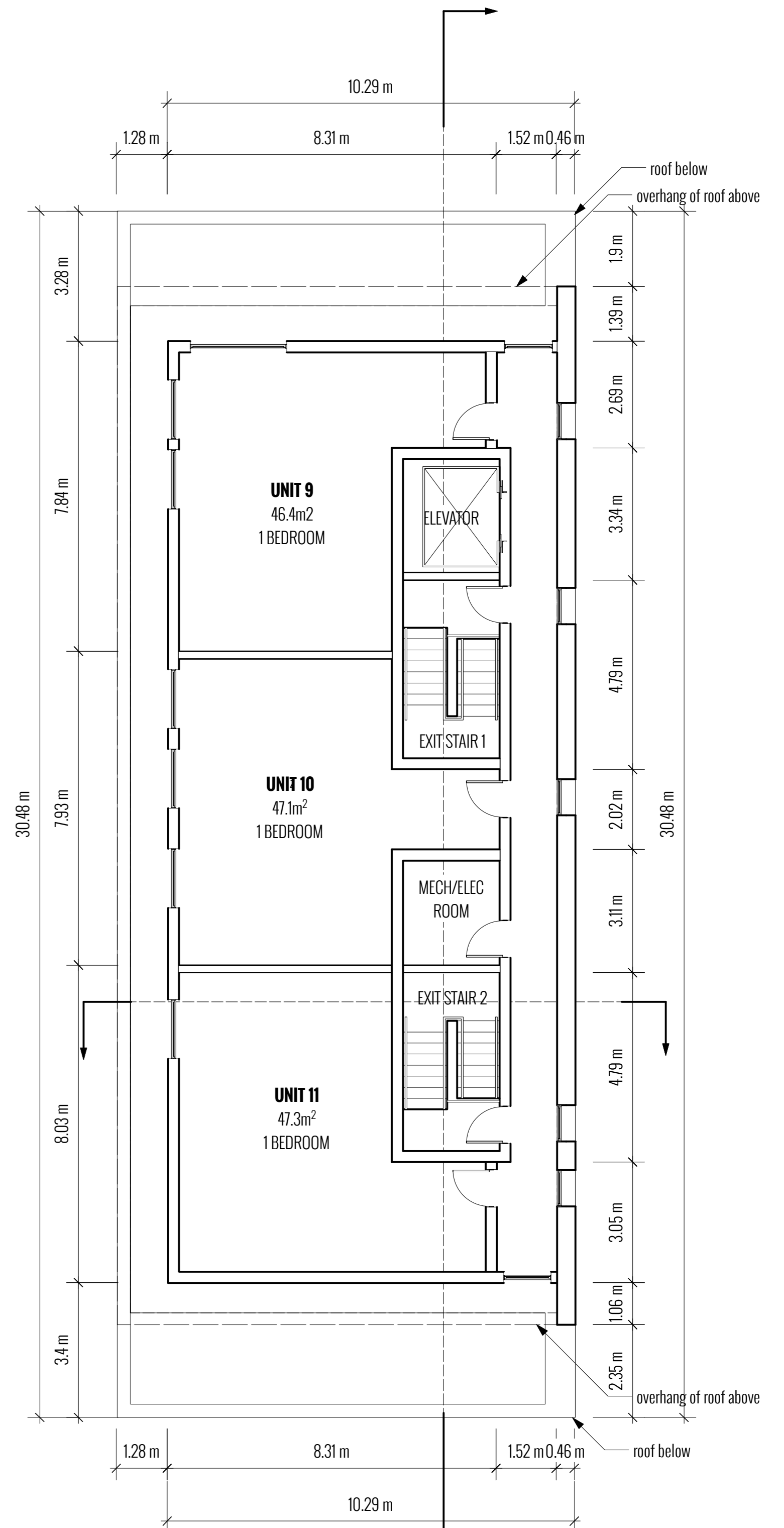
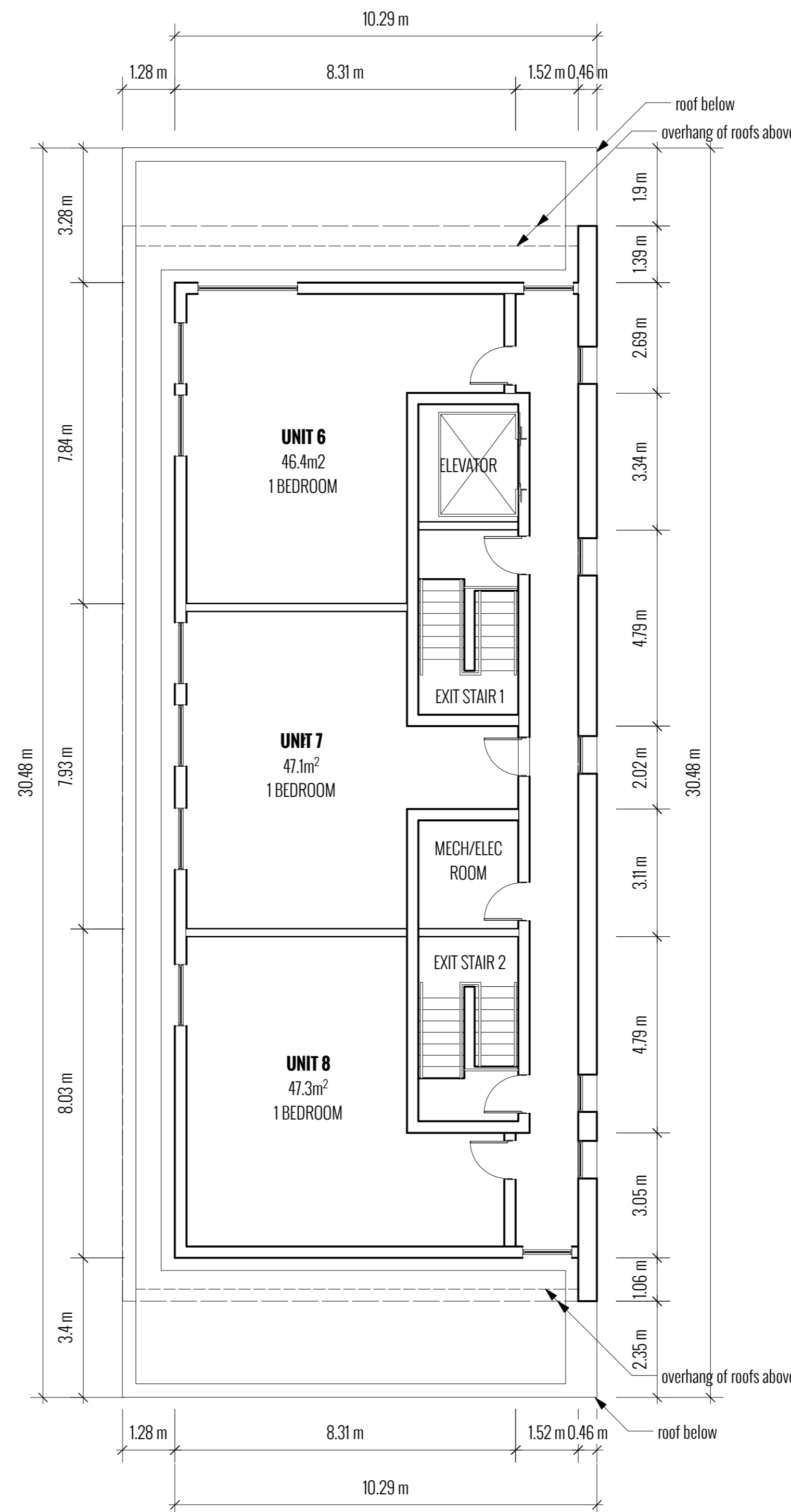
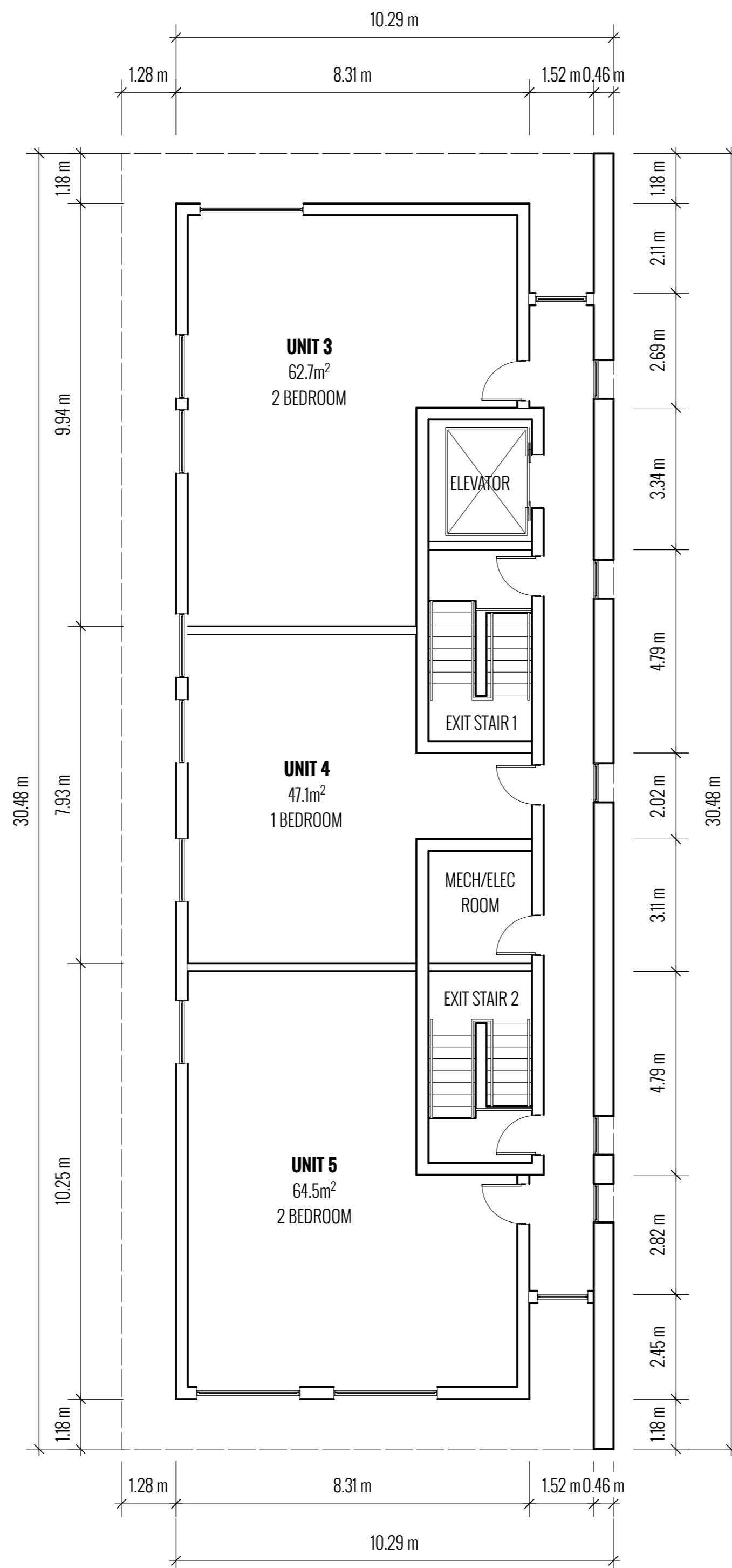
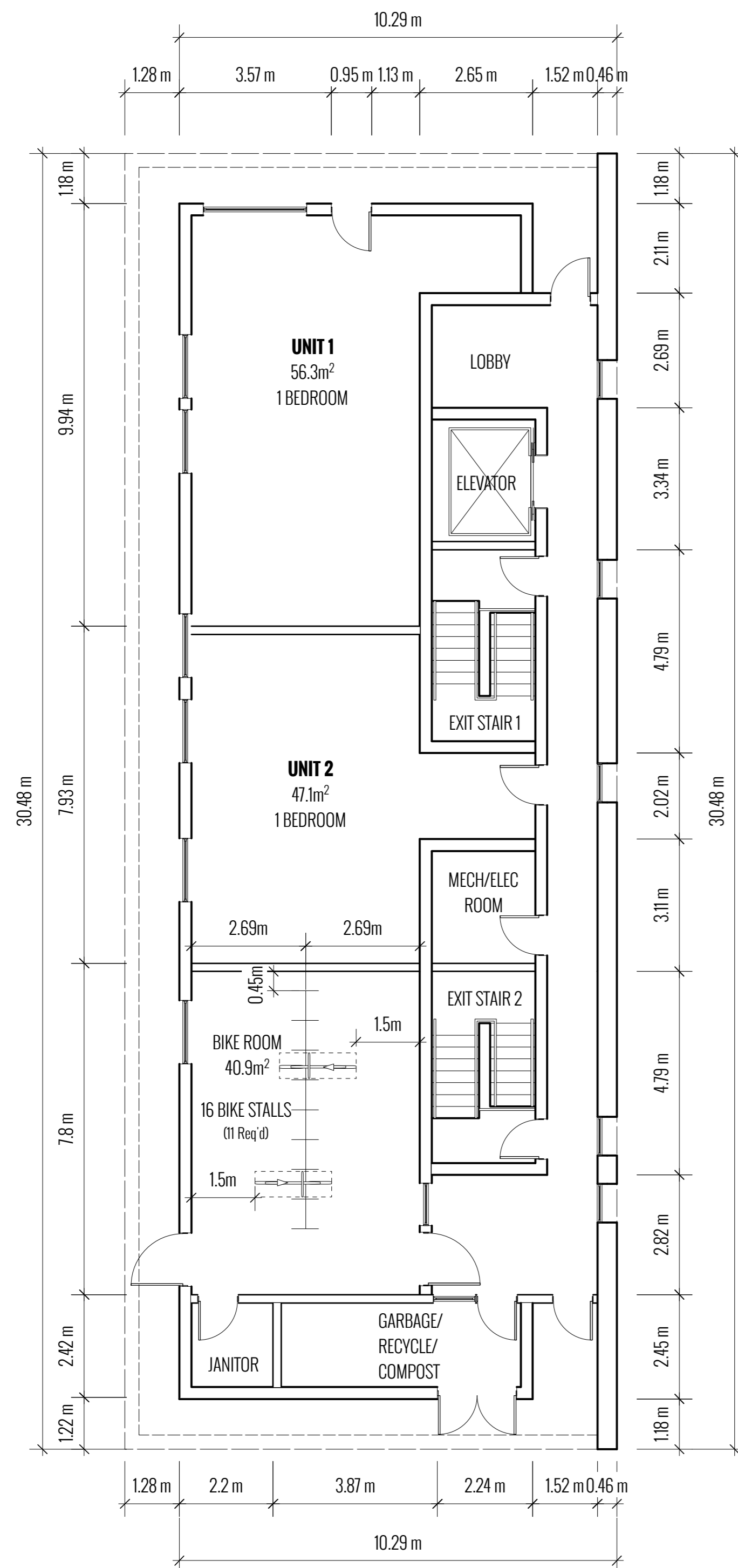
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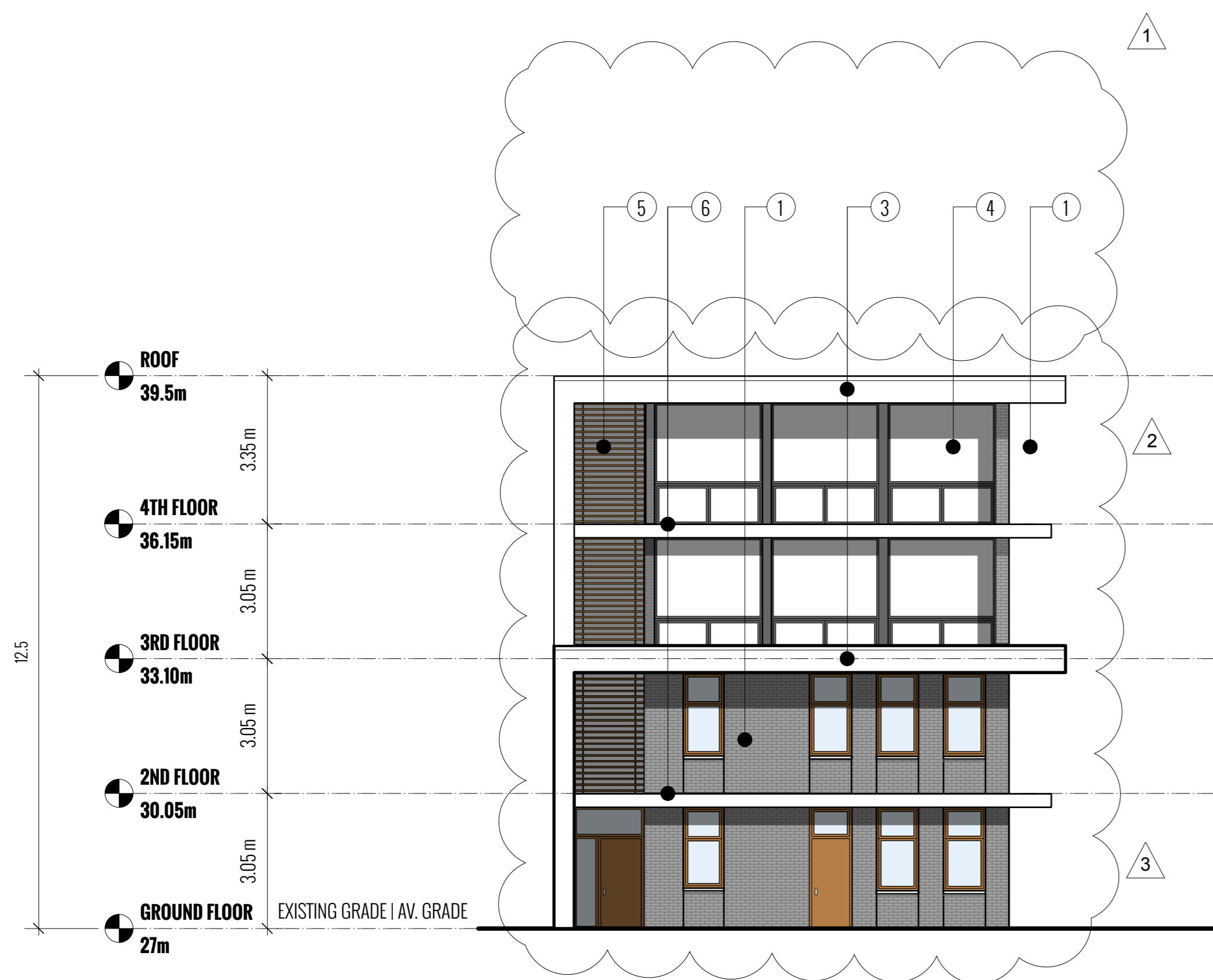


ROOF PLAN

0 5 6 7 8 9 10 m



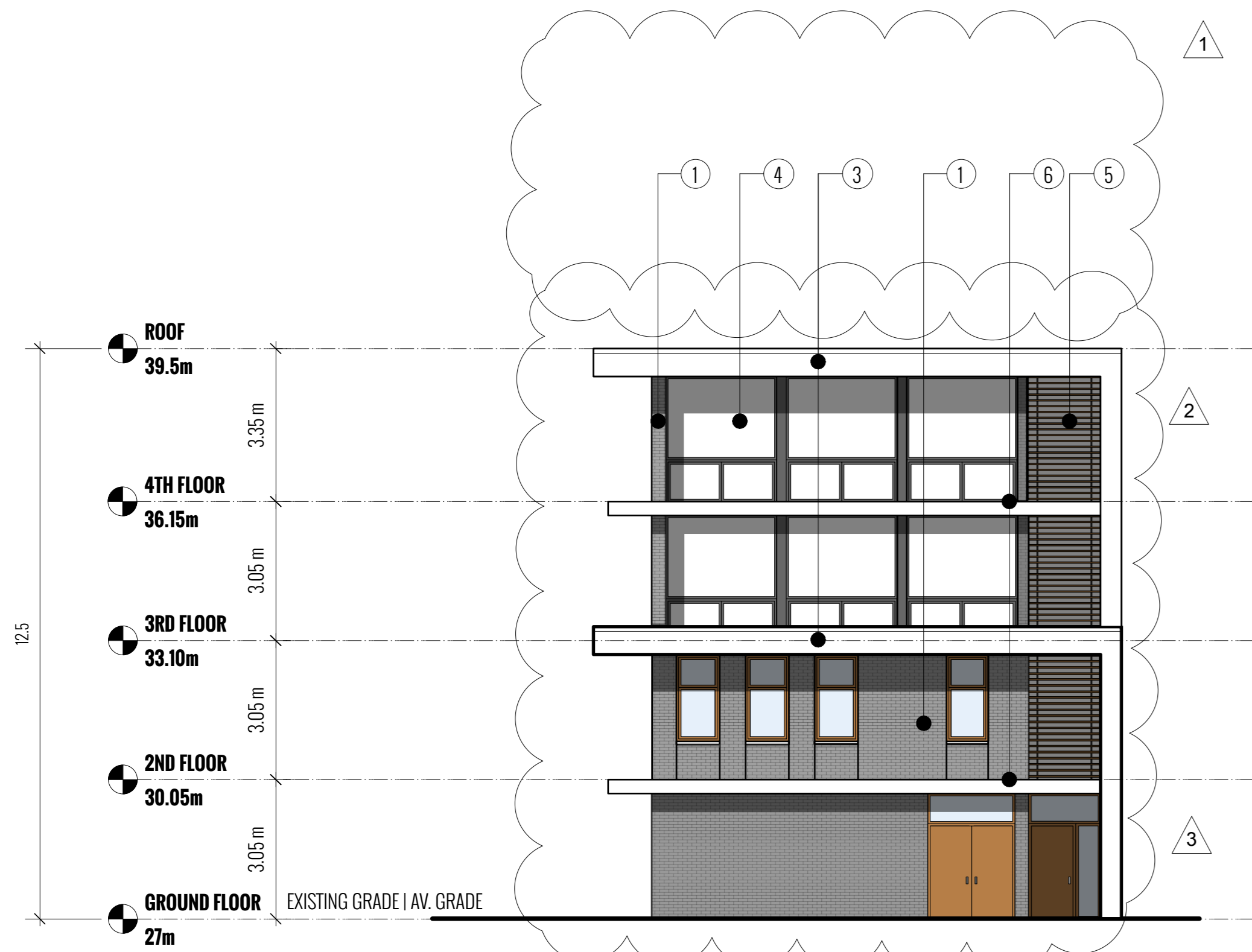




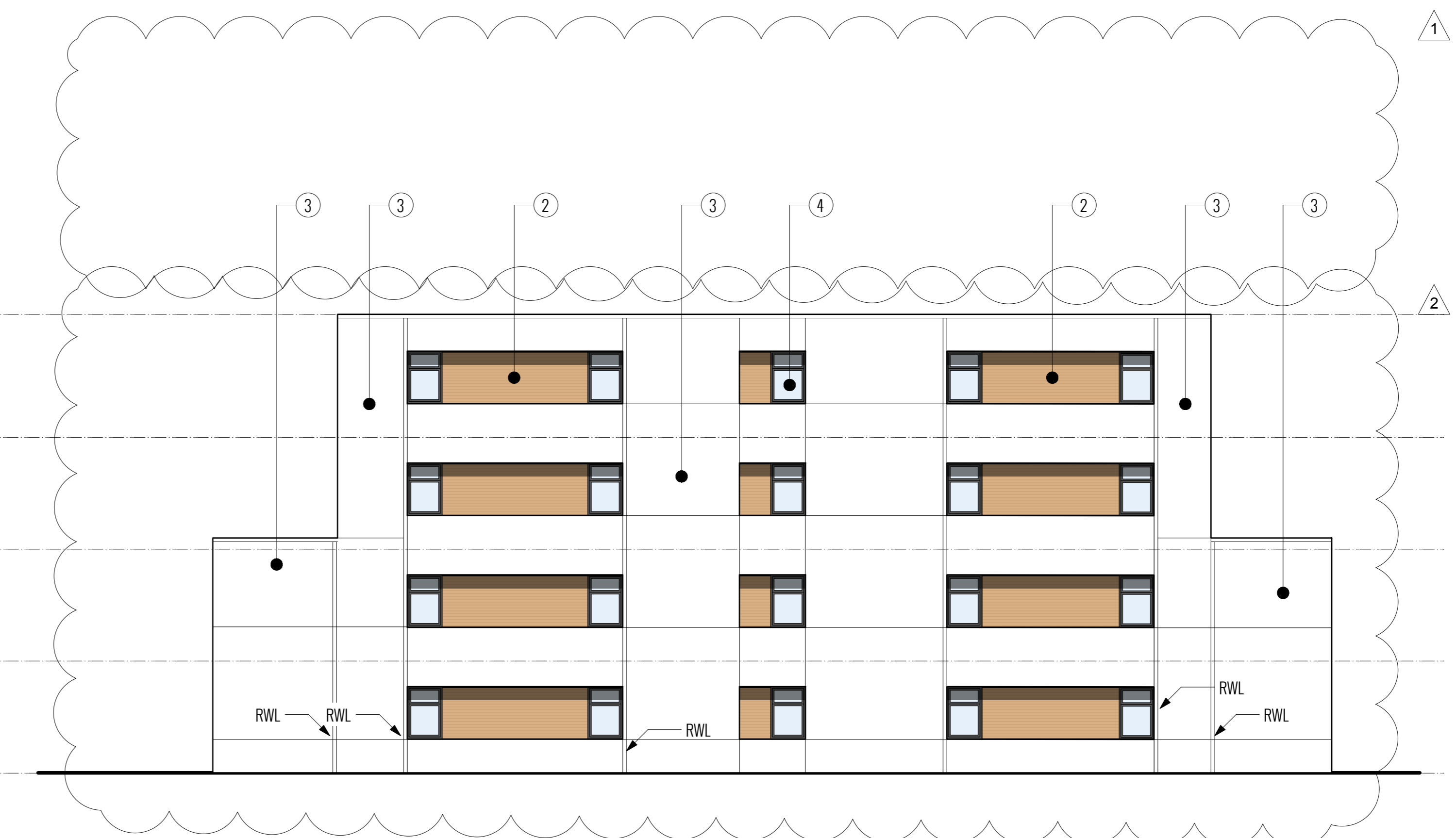
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



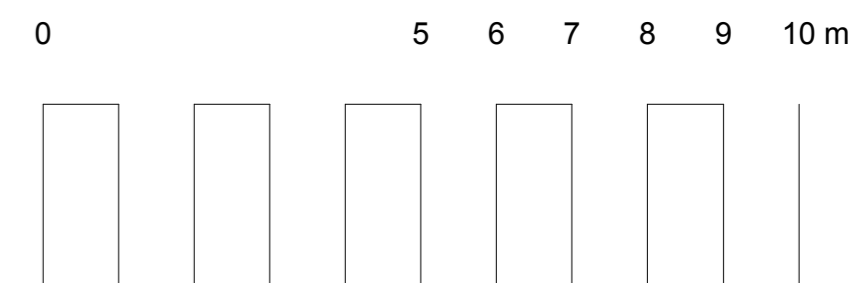
EAST ELEVATION

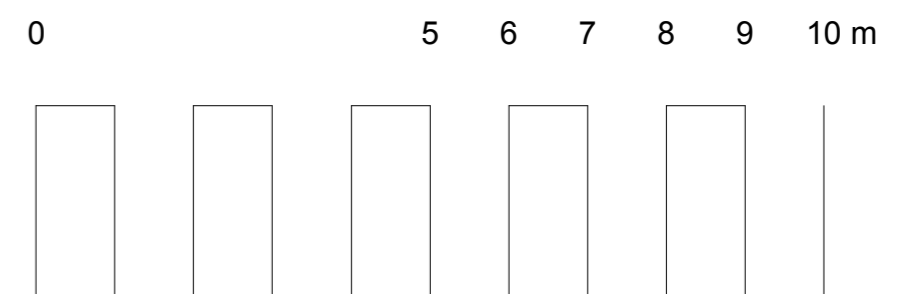
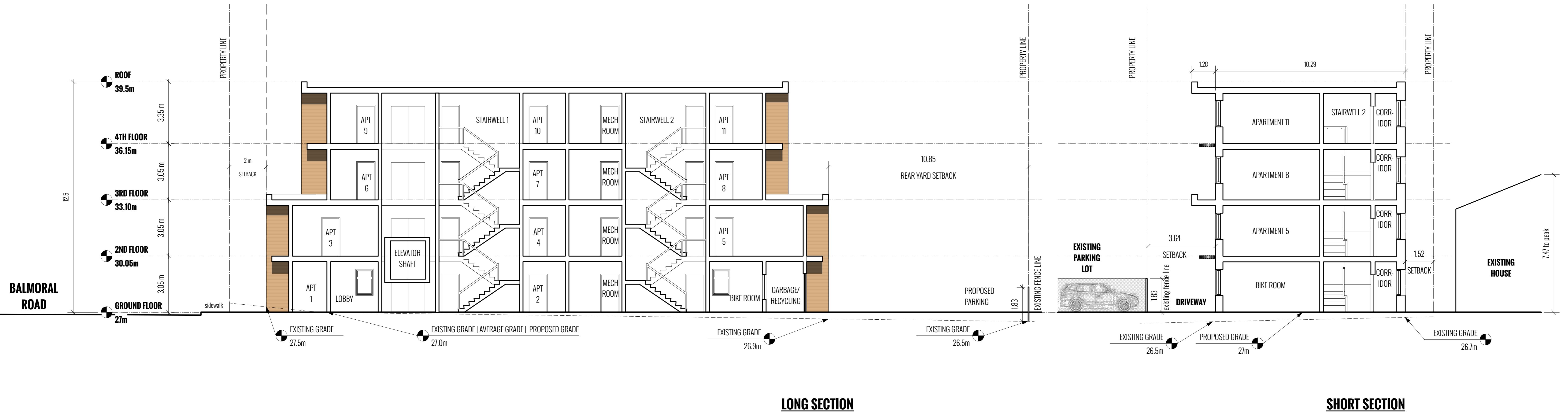
MATERIALS

- ① Variable Charcoal Brick
- ② Stained Wood Siding
- ③ Stucco
- ④ Glazing
- ⑤ Screen
- ⑥ Brise Soleil

REVISIONS

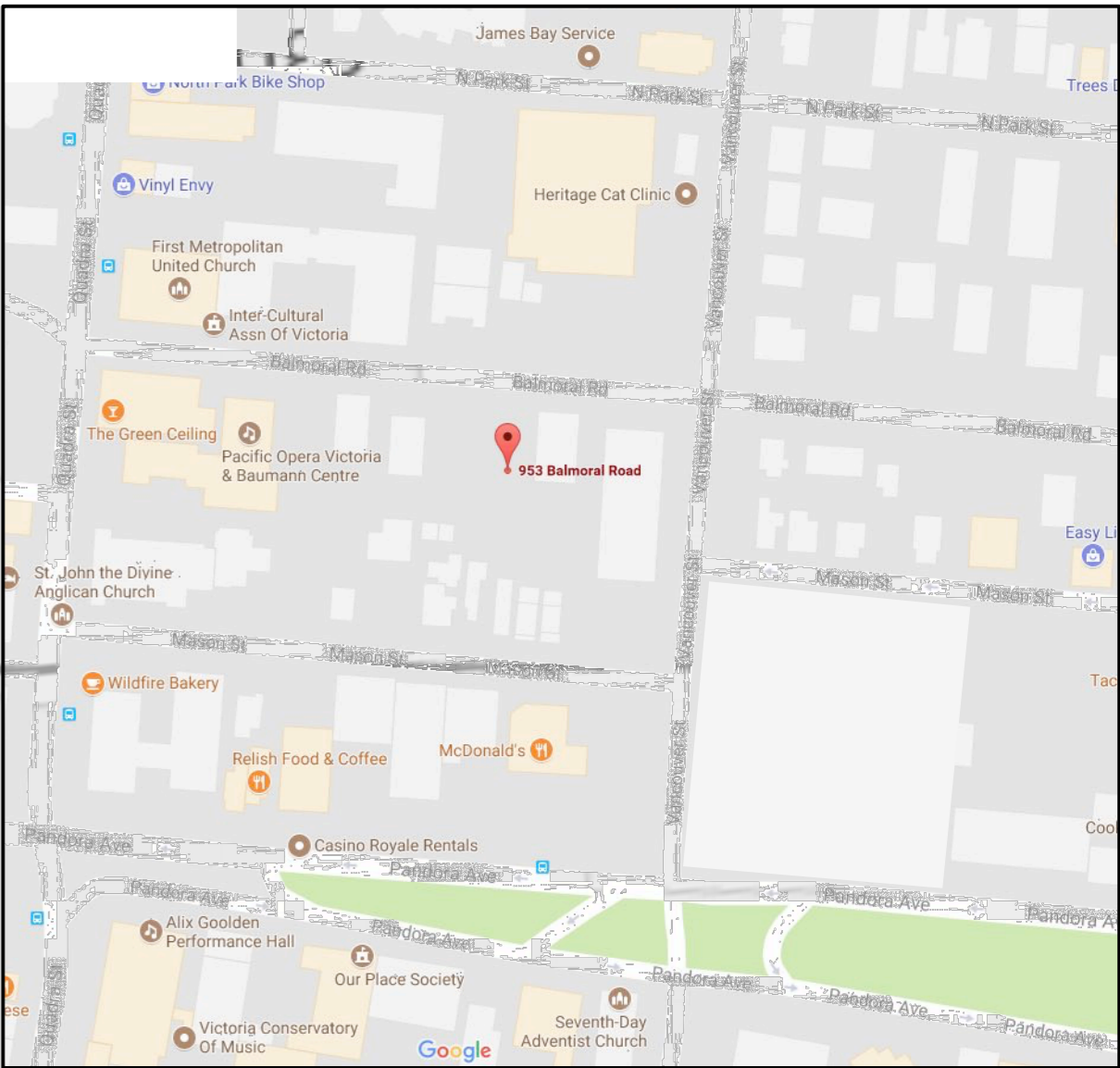
- △1 Removal of 5th and 6th stories
- △2 Redesign of Envelope
- △3 Brick Colour Change





VANCOUVER STREET

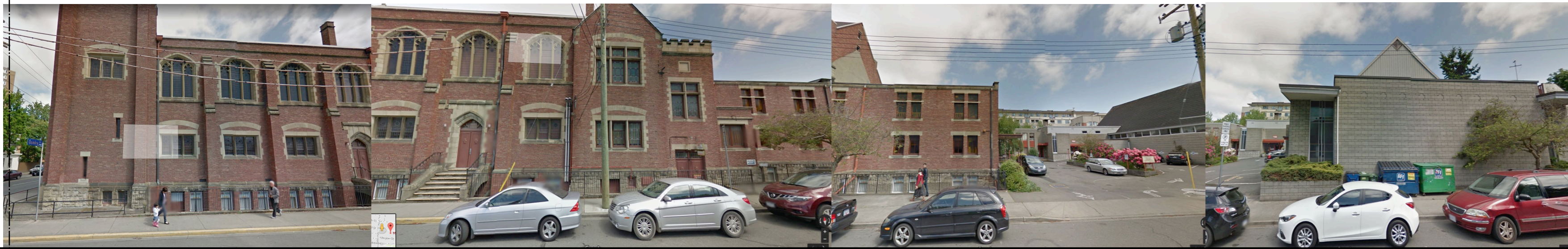
QUADRA STREET



KEY PLAN

1970's FOUR STOREY APARTMENT BUILDING	1950'S HOUSE/MEN'S SHELTER	953 BALMORAL	PRIVATE PARKING LOT (OWNERSHIP CONNECTED TO GAZZOLA TILE STORE)	1950'S PRIVATE HOUSE	2000'S PRIVATE HOUSE	PARKING FOR OPERA CENTRE	PACIFIC OPERA CENTRE	GAZZOLA TILE

INTER-CULTRUAL ASSOCIATION OF GREATER VICTORIA



PRIVATE APARTMENT BUILDING



CANADIAN LINEN AND UNIFORM SERVICE



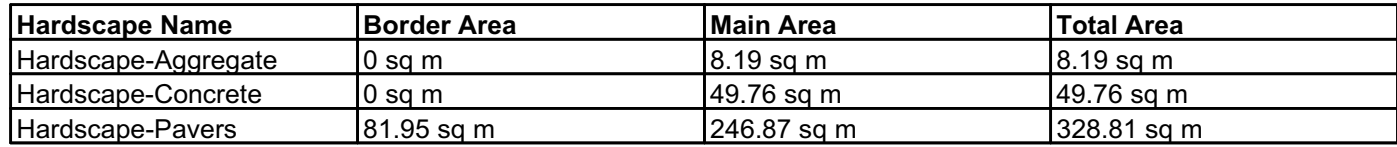
HOLLIS WEALTH SERVICES



QUADRA STREET



VANCOUVER STREET



3 Privacy Fence Detail

- General Notes**
1. All Work shall be equal in all respects to good construction practices and shall conform to current Zoning, By-Laws and Regulations pertaining to the Governing Authority having jurisdiction and the British Columbia Building Code 2012, (BCBC 2012).
 2. The method of attachment of tenant work to building structure shall be in accordance with standards required by the British Columbia Building Code 2006, (BCBC 2006).
 3. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the project designer/and Owner for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
 4. Contractor shall submit reproducible shop drawings to Designer for Owner's approval.
 5. Contractor shall co-ordinate with all trades to provide complete working systems.
 6. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the Architect or Engineer.
 7. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
 - 8.
 9. All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the British Columbia Building Code 2006 (BCBC 2006), Municipal By-Laws and other Authorities as required.
 10. All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.

1.	Permeable Paver Installation is subject to the City of Victoria Stormwater Utility, Rainwater Management Standards Profession Addition, June 2015 Permeable Paver Belgard Aqua Roc 230mm x 114mm x 80mm Grey Running Bond 1000mm Concrete Border Smooth Trowel Finish
2.	Permeable Paver Installation is subject to the City of Victoria Stormwater Utility, Rainwater Management Standards Profession Addition, June 2015 Permeable Paver Belgard Aqua Roc 230mm x 114mm x 80mm Grey Running Bond 300mm Concrete Border Smooth Trowel Finish
3.	Cast in Place Concrete - See Concrete Specifications Maximum separation between sections is 10mm
4.	Aggregate #8 Typical
5.	Security Gate Vehicle and Pedestrian Entrance Cast Aluminum and Powder Coated Charcoal. Outward Swing Schedule 40 PVC Conduit Sleeve Electrical Services Required. Low Voltage Lighting Maximum Height 1.83m
6.	Security Gate Pedestrian Entrance Cast Aluminum and Powder Coated Charcoal. Outward Swing Electrical Services Required. Low Voltage Lighting Maximum Height 1.83m
7.	Fence Cast Aluminum and Powder Coated Charcoal. Maximum Height 1.83m
8.	Fence Privacy - Southern Perimeter Fence Cast Aluminum and Powder Coated Charcoal. Maximum Height 1.83m
9.	Storm Drain 0.61m x0.61m

1. Shall be constructed on a load bearing substrate with a minimum soil capacity of 3000PSI. Concrete shall be placed on a suitable granular aggregate, placed in 25mm lifts, rolled and compacted. Concrete shall be 4000PSI, 28MPA / (3000PSI / 7 Days) Concrete shall be a minimum of 140mm thickness. Shall be reinforced with a minimum of #4 reinforcement bar at 600mm grid spacing or better. Reinforcement Bar shall be placed mid depth of concrete.

