

1042/1044 RICHARDSON STREET

APPLICATION FOR REZONING & DEVELOPMENT PERMIT



Site Context Plan

2

1 : 1000

OWNER	ARCHITECTURAL	LANDSCAPE	SURVEY	GEOTECHNICAL
124830 BC LTD. 4044 Hollydene Place Victoria, B.C. 250 893 9038 bartj.vi@gmail.com	Christine Lintott Architects Inc. Unit 1 - 864 Queens Avenue Victoria, B.C. V8T 1M5 250 384 1969 christine@lintottarchitect.ca	LADR Landscape Architects #3-864 Queens Avenue Victoria, BC V8T1M5 250 598 0105 cwindjack@ladrla.ca	Powell & Associates 250-2950 Douglas Street Victoria, BC V8T 4N4 250 382 8855	McElhanney Suite 500 - 3960 Quadra Street Victoria BC V8X 4A3 250 370 9221 ndunlop@mcelhanney.com
Contact: Bart Johnson	Contact: Christine Lintott	Contact: Chris Windjack		Contact: Nathan Dunlop

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Property Data

GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	NEW 6 STOREY INFILL RESIDENTIAL BUILDING
CIVIC ADDRESS	1042/1044 Richardson Street, Victoria BC
LEGAL DESCRIPTION	LOT 1663 VICTORIA CITY
PROPERTY IDENTIFICATION NUMBER (P.I.D.)	009-396-853
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS

DRAWING LIST

Sheet Number	Sheet Name
A0.00	Cover Sheet
A0.01	Site Plan and Project Data
A0.02	Site Survey
A0.03	Code Analysis and Spatial Separation
A1.01	Solar Shadow Study
A1.02	Axo Shadow Study
A1.03	Context Renders
A2.00	Floor Plans
A2.01	Floor Plans
A3.00	Elevations
A3.01	Context Elevations
A3.02	Exterior Materials
A4.00	Building Sections
A.I.D.0.1	Exterior Lighting
A.I.D.0.2	Exterior Lighting
C01	Civil
L01	Landscape
L02	Landscape
L03	Landscape

Project Scope Summary

- 20-unit purpose built rental building with a mix of market and non-market (affordable) rental units.
- Retaining/replacing the 5 rental units of the existing buildings which are to be removed.
- Diverse unit mix including:
 - 3 three-bedroom units
 - 15 one-bedroom units (six units offered at affordable rental rates, three adaptable units, one ground level accessible unit)
 - 2 studio units
- Bicycle and mobility oriented design, situated on a dedicated All Ages and Abilities bicycle route, to encourage alternative modes of transportation by providing:
 - level site access
 - more than required long-term bicycle parking spaces, provided on each floor in close proximity to unit entrances, and sized to accommodate several cargo bikes
 - charging outlets provided for electric bikes
 - bike maintenance station at ground level
- On-street electric MODO car-share is proposed, with memberships registered to each unit for the lifetime of the building



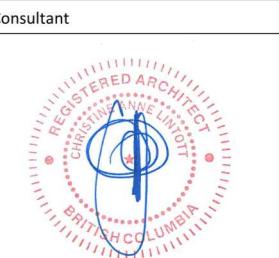
Revisions
Bubbled areas indicate revisions
compared to the previously
submitted plans
Received Date:
June 15, 2021

Christine Lintott
Architects Inc.



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Issue	Date
Submission for Rezoning and Development Permit	2020-09-30
Re - Submission for Rezoning and Development Permit	2021-01-18
Re - Submission for Rezoning and Development Permit	2021-06-11



Ten42

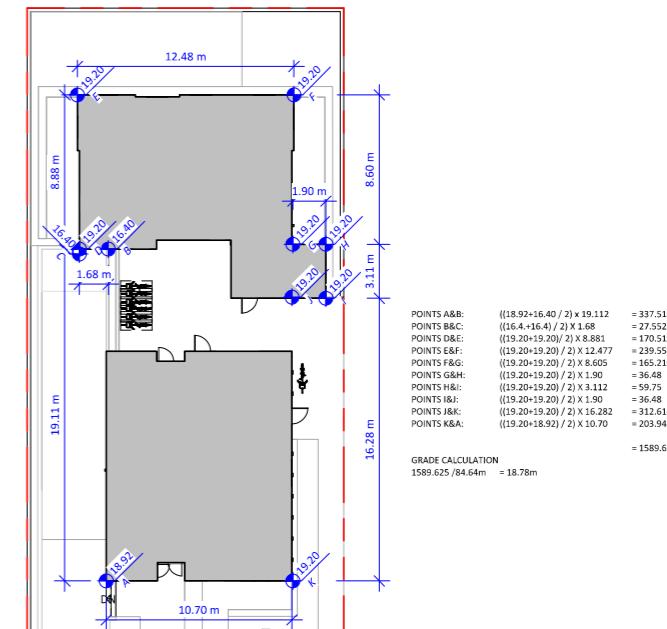
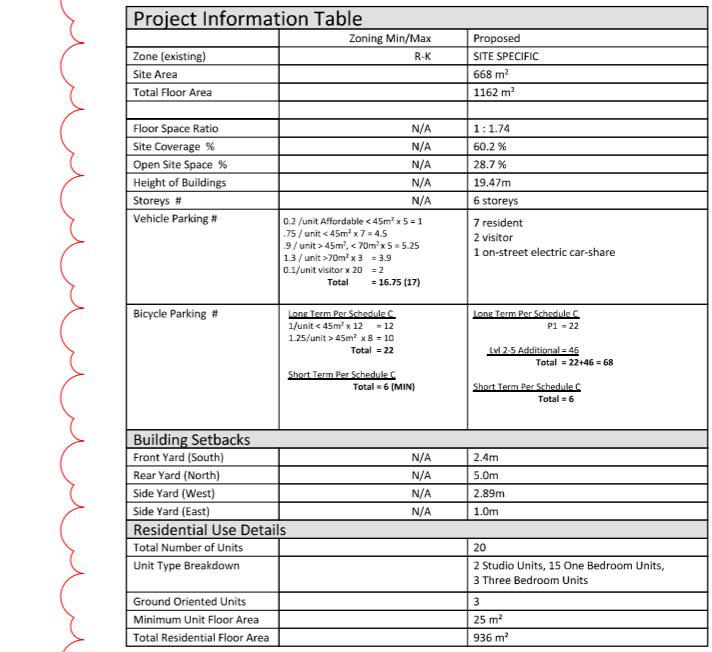
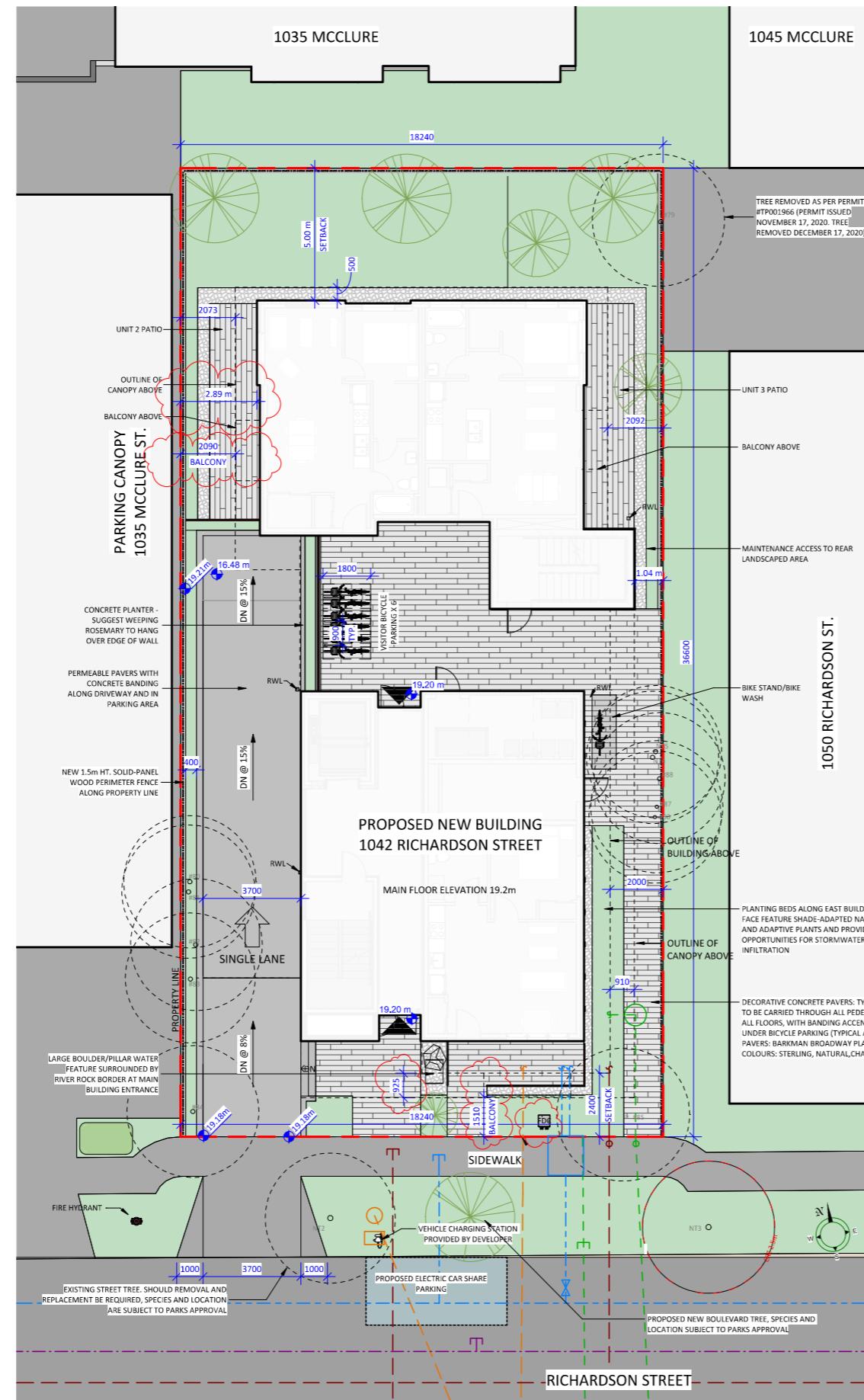
1042 Richardson Street,
Victoria BC

Cover Sheet

Date	2021-06-13 5:54:48 PM
Drawn by	BH
Checked by	CL

A0.00

As indicated



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o.	Description	Date
	Revision 2	2021-06-11

Ten42

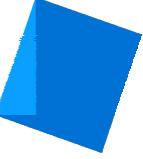
1042 Richardson Street,
Victoria BC

Site Plan and Project Data

2021-06-13 5:54:57 PM
BH
CL
A0.01
As indicated

A0.01

As indicated



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Revision	
No. Description Date	

Consultant

Ten42
1042 Richardson Street, Victoria BC

Site Survey
Date 2021-06-13 5:54:57 PM Drawn by BH Checked by CL Scale A0.02

BC LAND SURVEYORS SITE PLAN OF:

Civic: 1042 Richardson Street

Legal - Lot 1663, Victoria City

Parcel Identifier 009-396-853 in the City of Victoria

Scale - 1 : 200 Distances are in metres.

0 2 10 20

The intended print size is 11" by 17".



LEGEND

Elevations are to geodetic datum.

##+ - denotes - existing elevation

Tree diameters are in centimetres.

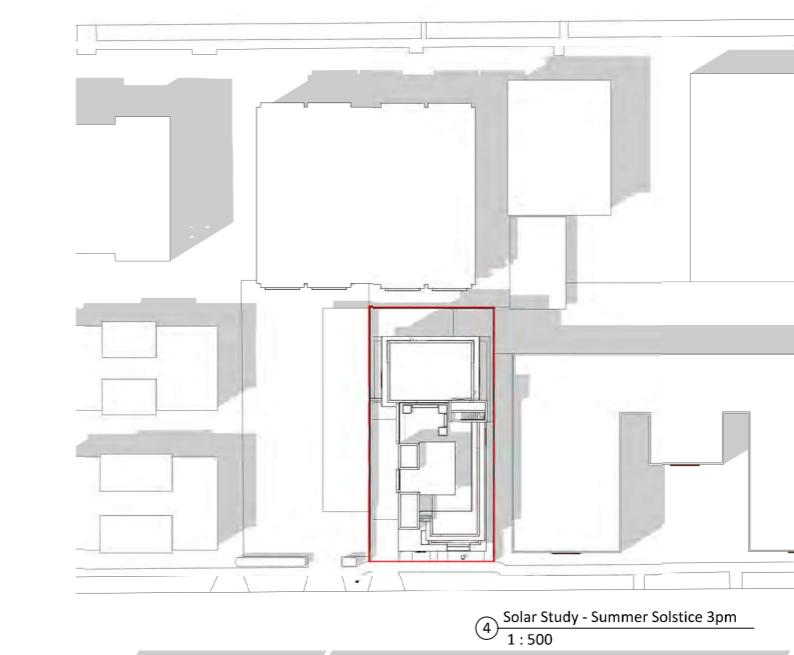
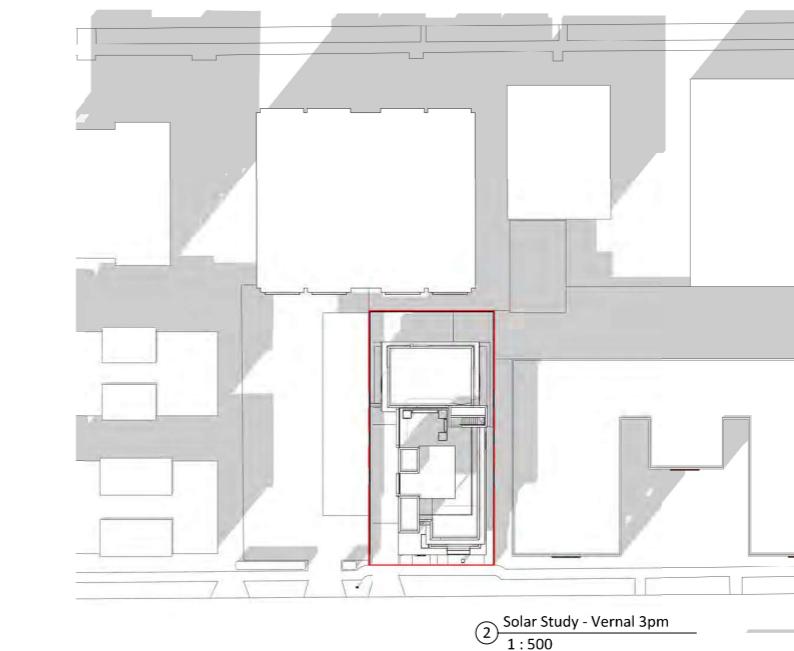
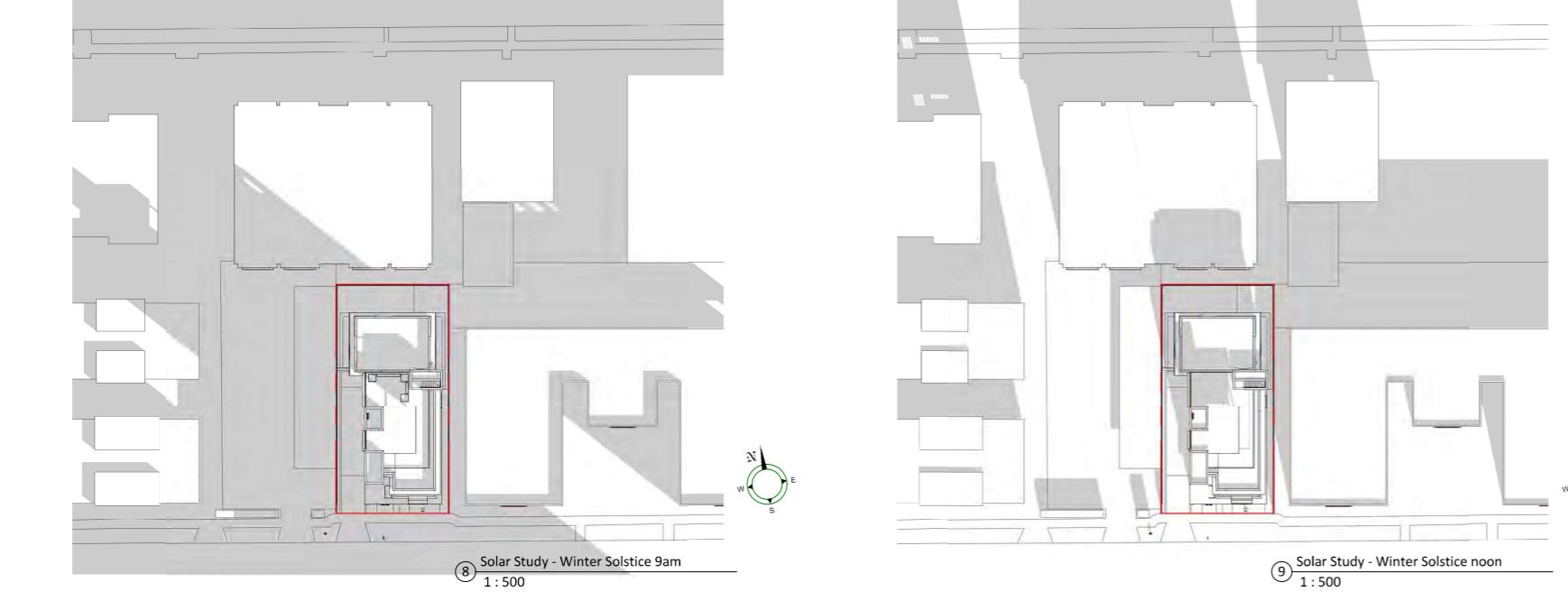
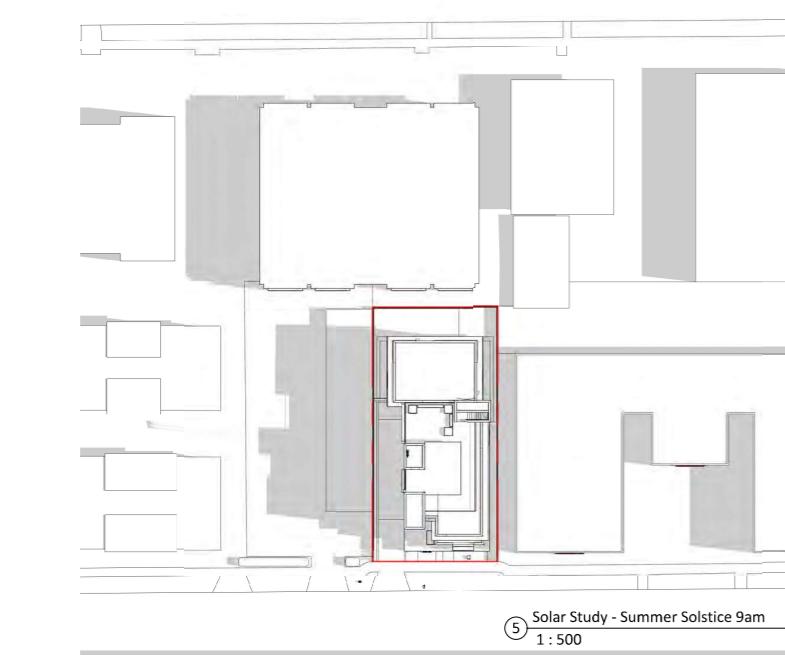
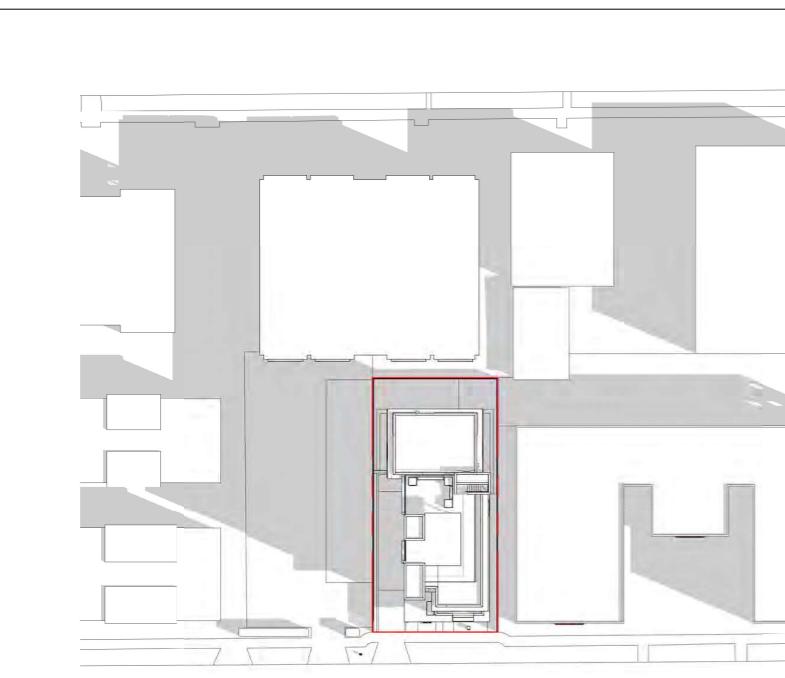
Lot Area = 668 m²

May 7, 2020

File : 13,197 - 9
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Setbacks are derived from field survey.
Parcel dimensions shown hereon are
derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

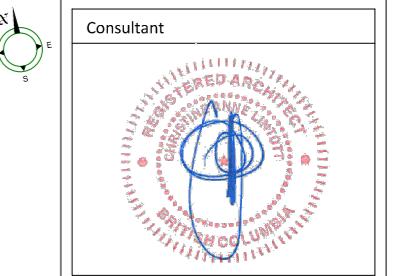


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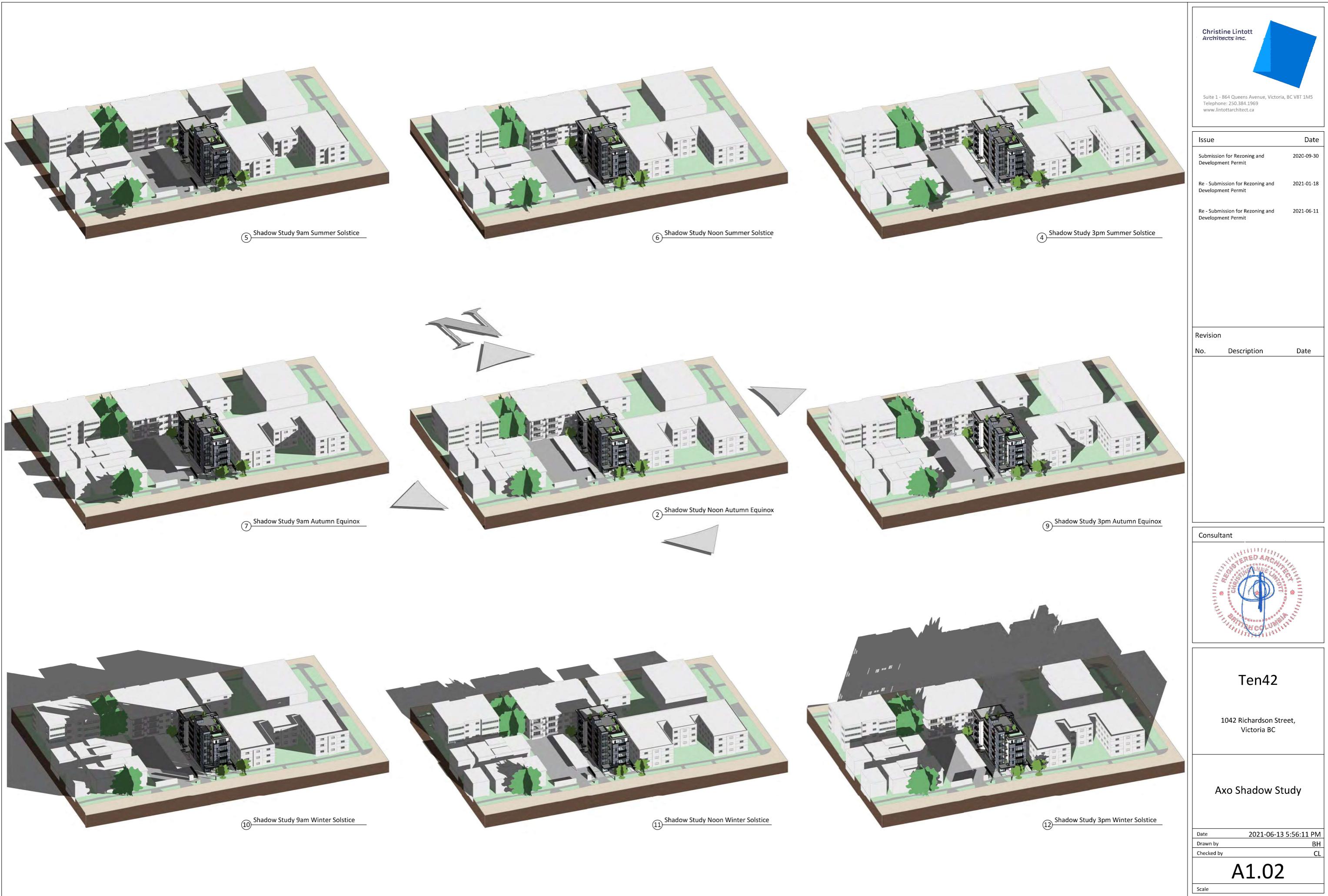
Ten42

1042 Richardson Street,
Victoria BC

Solar Shadow Study

Date 2021-06-13 5:55:30 PM
Drawn by BH
Checked by CL
Scale 1 : 500

A1.01

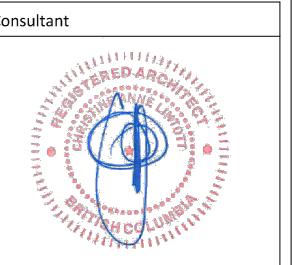




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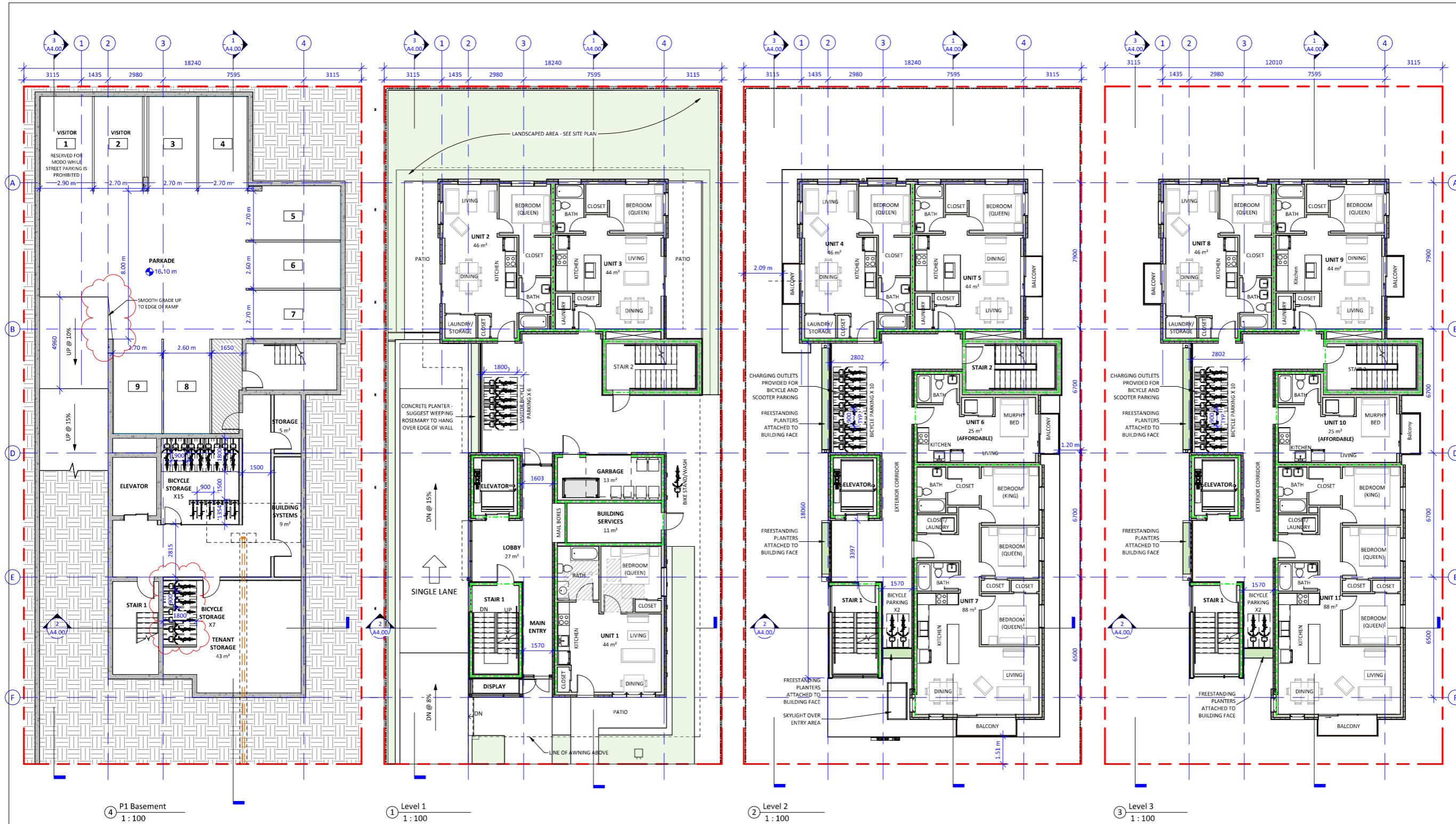


Ten42

1042 Richardson Street,
Victoria BC

Context Renders

Date 2021-06-13 5:56:16 PM
Drawn by BH
Checked by CL
Scale A1.03



Unit Schedule			
Unit #	Name	Area	Affordable Housing
LEVEL 1			
101	UNIT 1	44 m ²	Yes
102	UNIT 2	46 m ²	No
103	UNIT 3	44 m ²	No
LEVEL 2			
201	UNIT 4	46 m ²	No
202	UNIT 5	44 m ²	No
203	UNIT 6	25 m ²	Yes
204	UNIT 7	88 m ²	No
LEVEL 3			
301	UNIT 8	46 m ²	No
302	UNIT 9	44 m ²	No
303	UNIT 10	25 m ²	Yes
304	UNIT 11	88 m ²	No

Unit Schedule			
Unit #	Name	Area	Affordable Housing
LEVEL 4			
401	UNIT 12	46 m ²	No
402	UNIT 13	44 m ²	No
403	UNIT 14	25 m ²	Yes
404	UNIT 15	88 m ²	No
LEVEL 5			
501	UNIT 16	46 m ²	No
502	UNIT 17	44 m ²	No
503	UNIT 18	26 m ²	Yes
504	UNIT 19	36 m ²	No
505	UNIT 20	39 m ²	No

Bicycle Parking	
Long Term Per Schedule C	
Bicycle	
1/Unit < 45m ² x 12 = 12	
1.25/unit > 45m ² x 8 = 10	
Total = 6 (MIN)	
Provided: P1 = 22	
Proposed Additional: Long Term Parking = 46	
Total = 22+46 = 68	



Ten42

1042 Richardson Street,
Victoria BC

Floor Plans

Date 2021-06-13 5:56:35 PM
 Drawn by BH
 Checked by CL
 Scale As indicated
 A2.00

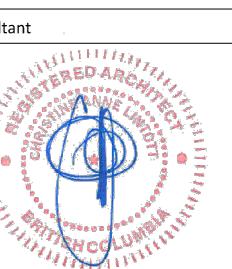
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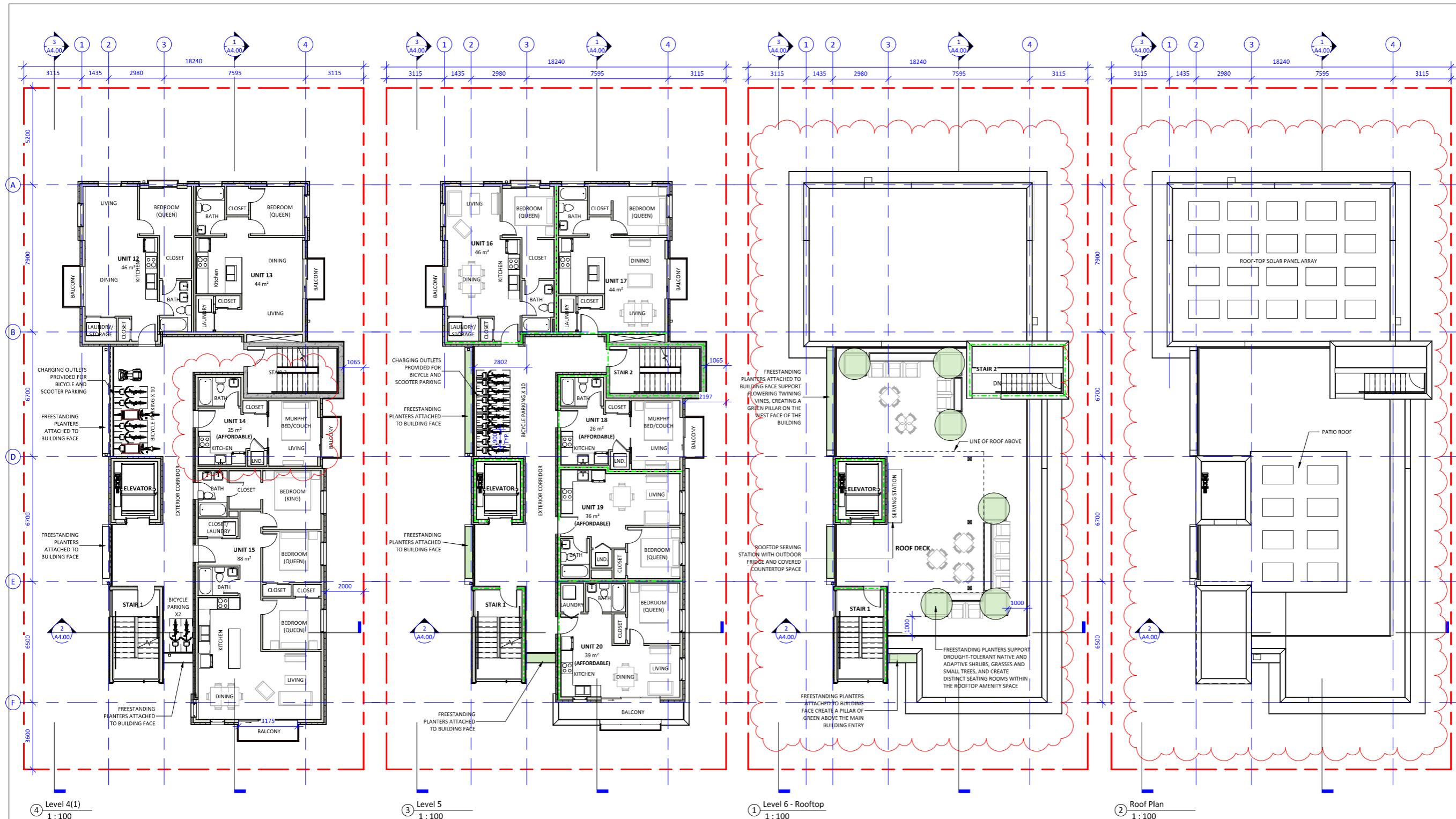


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Revision **No.** **Description** **Date**
 2 Revision 2 2021-06-11





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LEVEL 1			
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LEVEL 2			
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202	UNIT 5	44 m ²	No
203	UNIT 6	25 m ²	Yes
204	UNIT 7	88 m ²	No
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Unit Schedule			
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LEVEL 5			
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502	UNIT 17	44 m ²	No
503	UNIT 18	26 m ²	Yes
504	UNIT 19	36 m ²	No
505	UNIT 20	39 m ²	No

Bicycle Parking	Long Term Per Schedule C	Short Term Per Schedule C (within 15m of entry)
Background:		Total = 6 (MIN)
1/Unit < 45m ² x 12 =	12	
1.25/unit > 45m ² x 8 = 10		Total = 22
Provided:	P1 = 22	
Proposed Additional:		
Long Term Parking = 46		
Total = 22+46 = 68		

FRR - 0 H Fire Separation
FRR - 0.75 H Fire Separation
FRR - 1 H Fire Separation
FRR - 2 H Fire Separation

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2 Revision 2 2021-06-11

Consultant

REGISTERED ARCHITECT
CHRISTINE LINTOTT
BRITISH COLUMBIA

Ten42

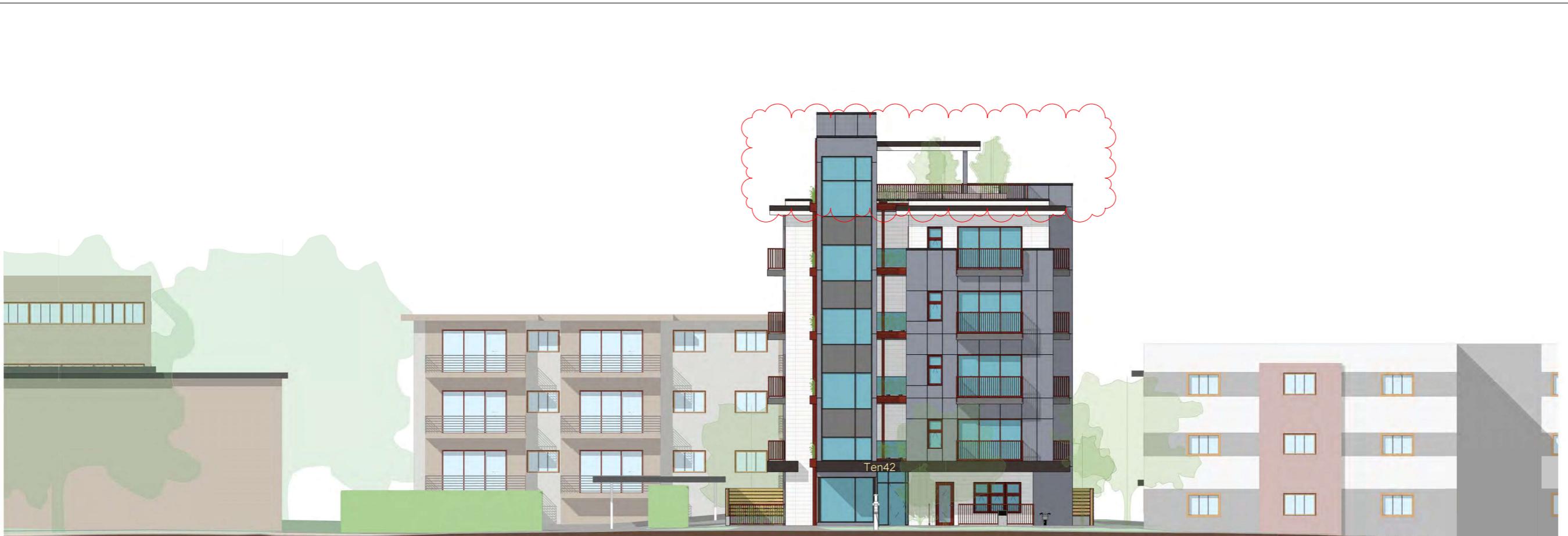
1042 Richardson Street,
Victoria BC

Floor Plans

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Drawn by BH
Checked by CL
Scale As indicated

A2.01





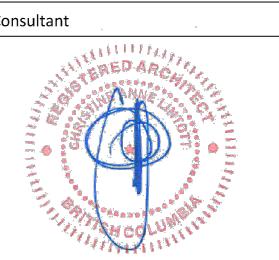
① Context Elevation
1 : 100



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Revision	No.	Description	Date
2	Revision 2		2021-06-11



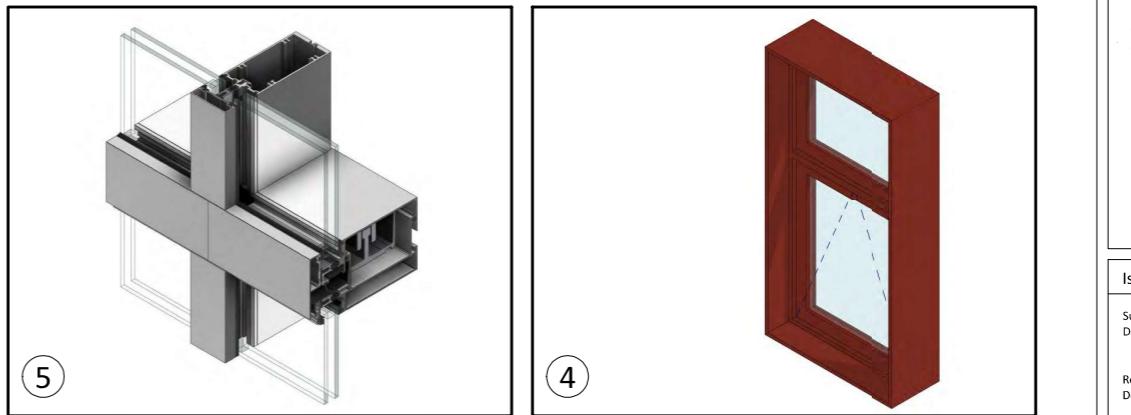
Ten42

1042 Richardson Street,
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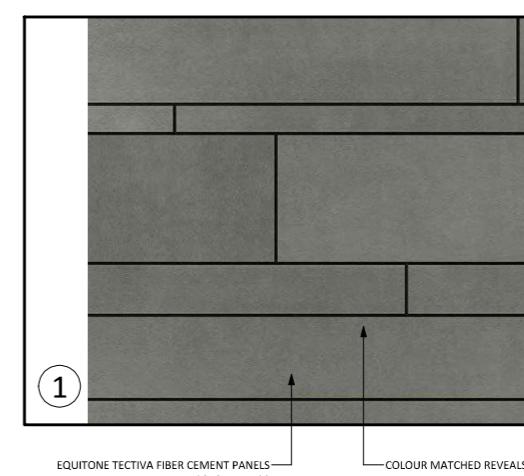
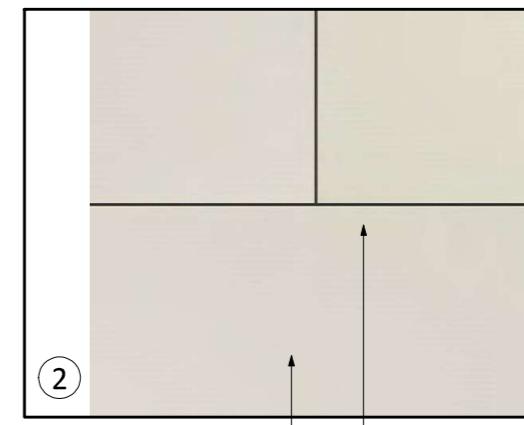
Context Elevations

Date	2021-06-13 5:58:25 PM
Drawn by	BH
Checked by	CL
Scale	1 : 100

A3.01



- 1 FIBRE-CEMENT PANELS - DARK GREY
- 2 FIBRE-CEMENT PANELS - OFF WHITE
- 3 METAL RAILING AND DETAILS - RUST RED
- 4 VINYL WINDOWS - RUST RED
- 5 GLAZING WALL - ALUMINUM, CLEAR ANODIZED
- 6 PREFINISHED METAL FLASHING - CHARCOAL

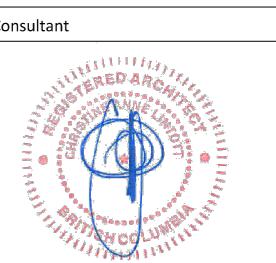


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Revision		
No.	Description	Date



Ten42

1042 Richardson Street,
Victoria BC

Exterior Materials

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Drawn by BH
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Scale As indicated

A3.02

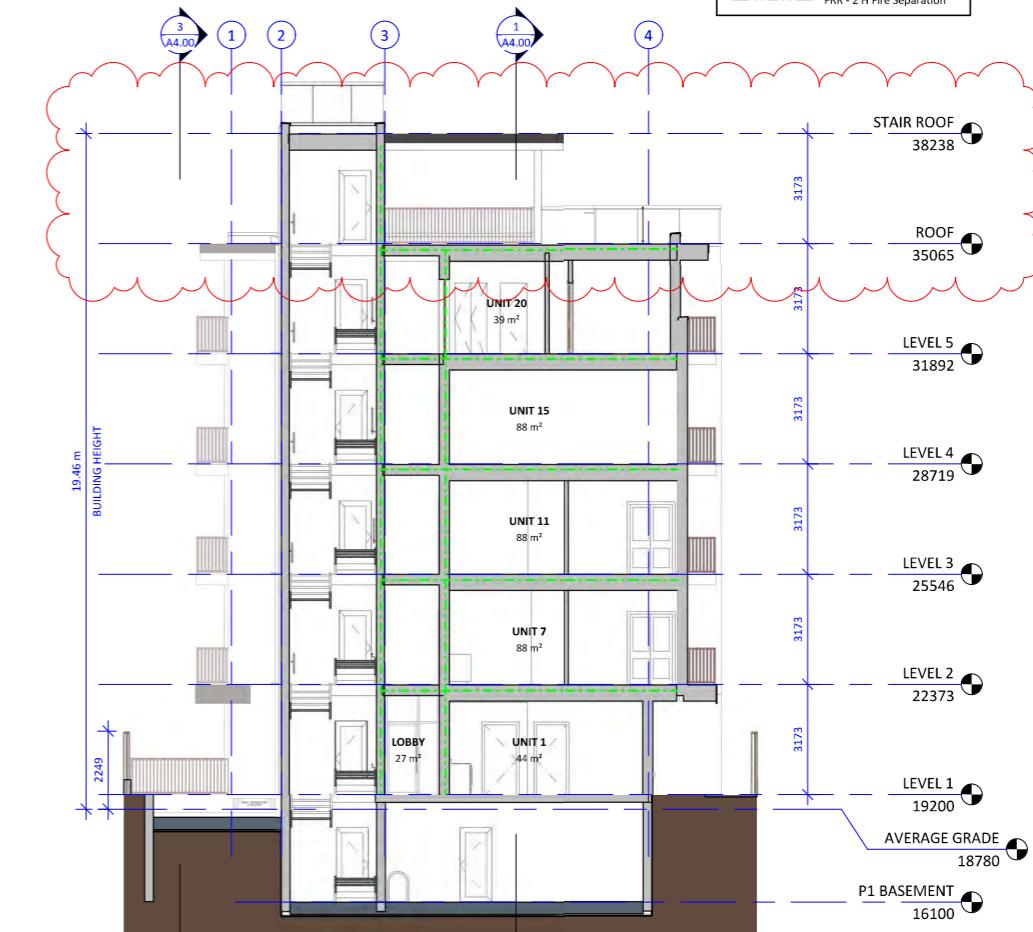


③ Section - Parkade Entry Ramp
1 : 100

FRR - 0 H Fire Separation
FRR - 0.75 H Fire Separation
FRR - 1 H Fire Separation
FRR - 2 H Fire Separation



① Section - Longitudinal
1 : 100



② Section - Cross Section
1 : 100

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Revision	No.	Description	Date
2	Revision 2		2021-06-11

REGISTERED ARCHITECT
CHRISTINE LINTOTT
BRITISH COLUMBIA

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1042 Richardson Street,
Victoria BC

Building Sections

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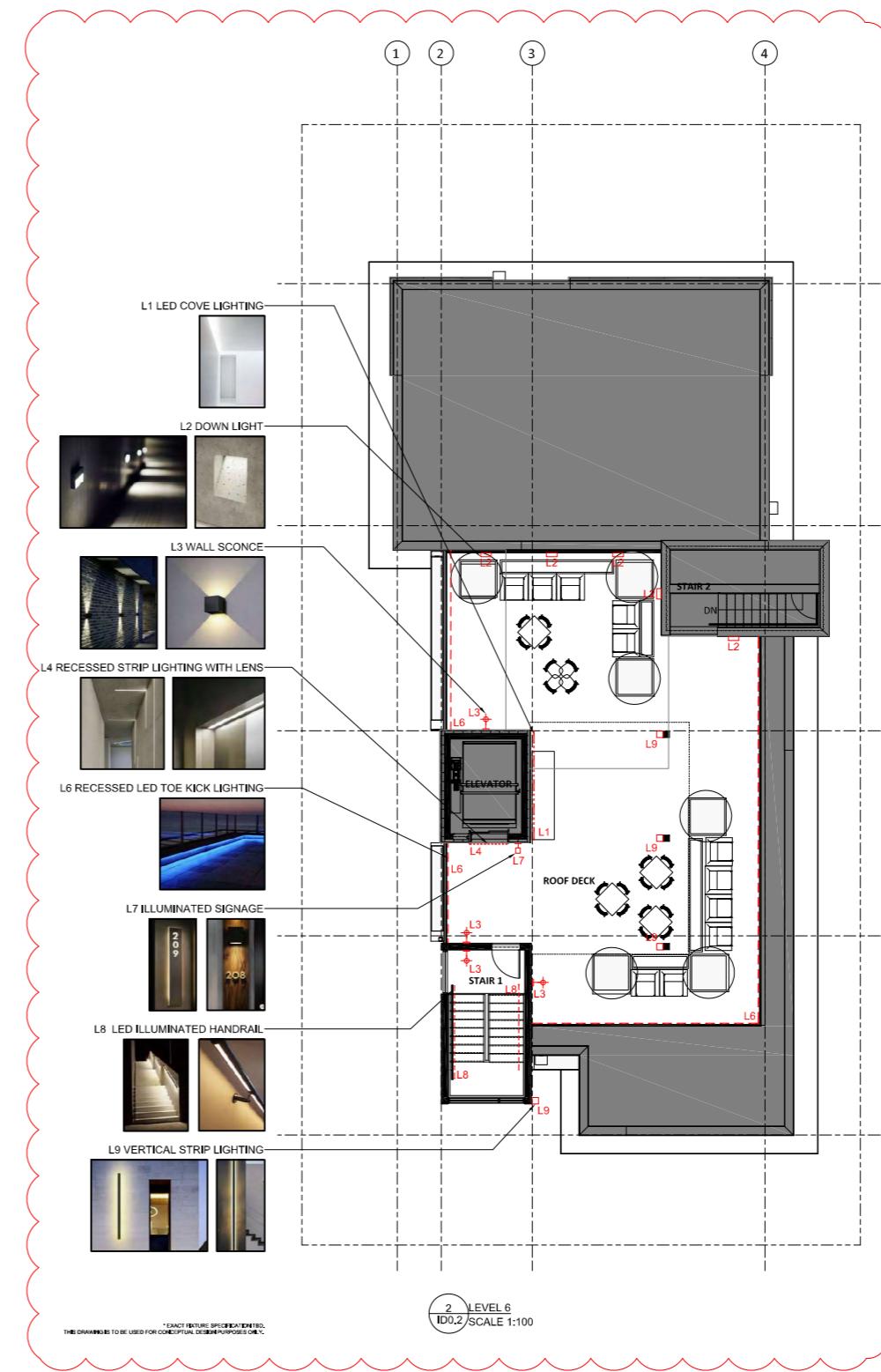
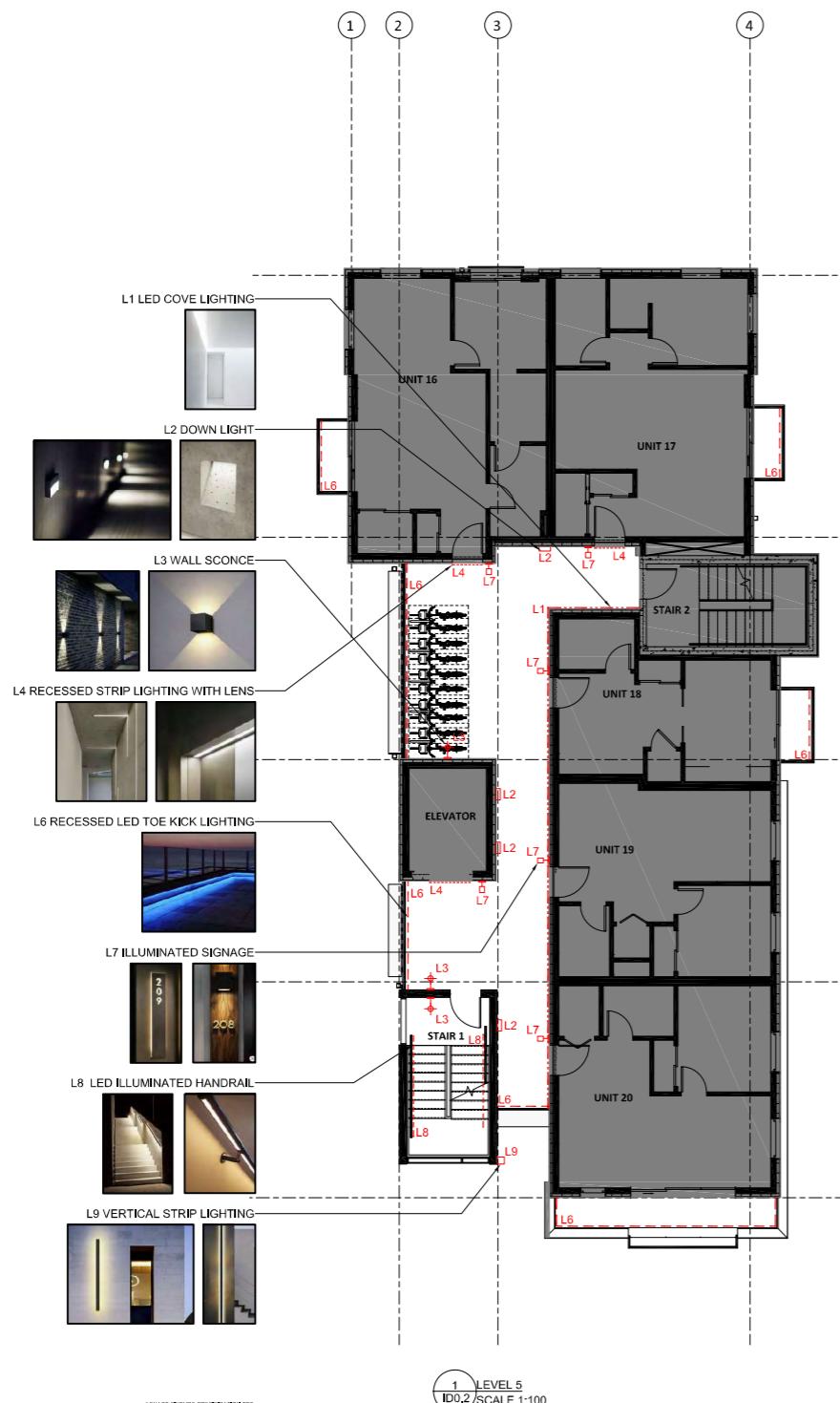
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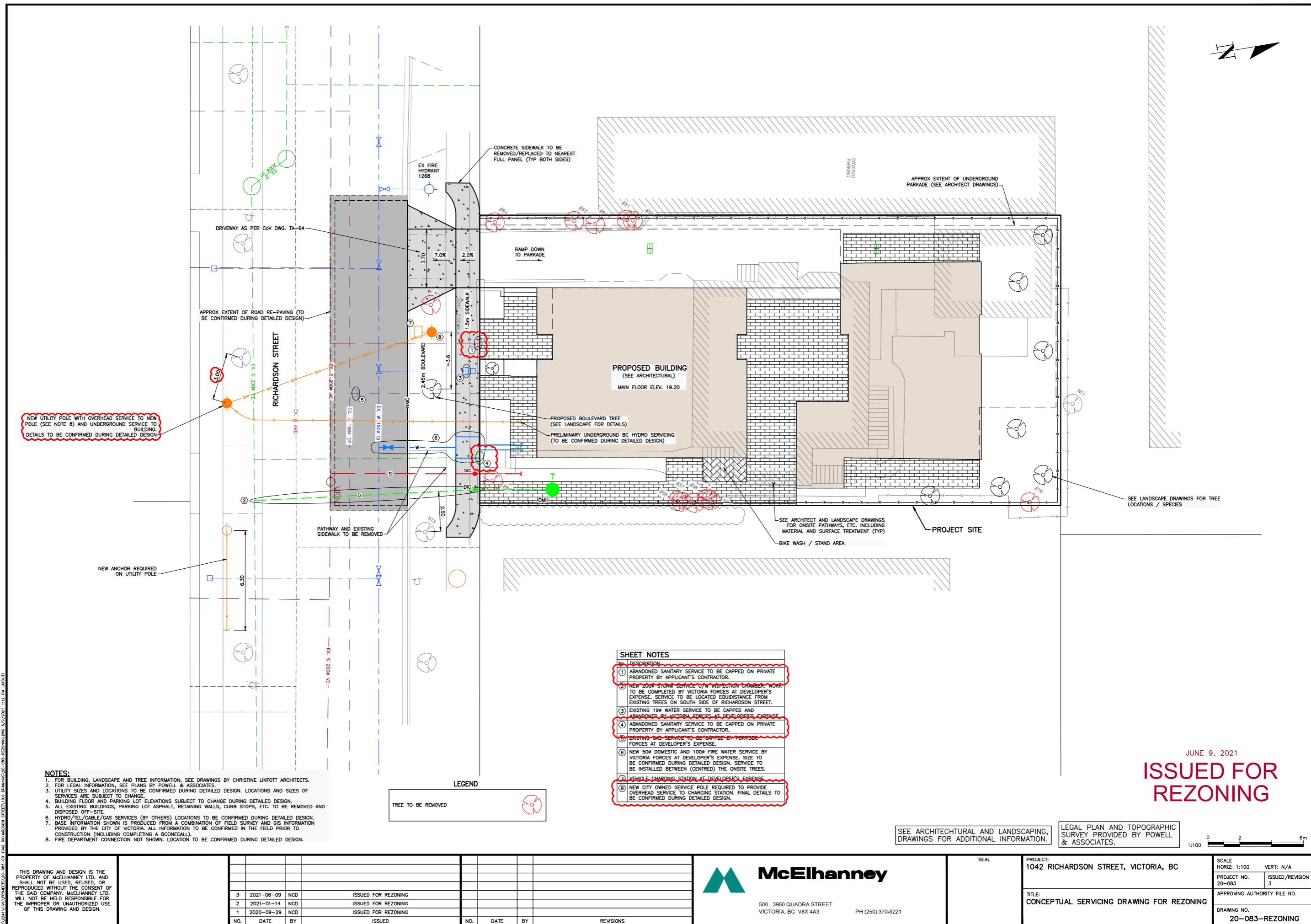
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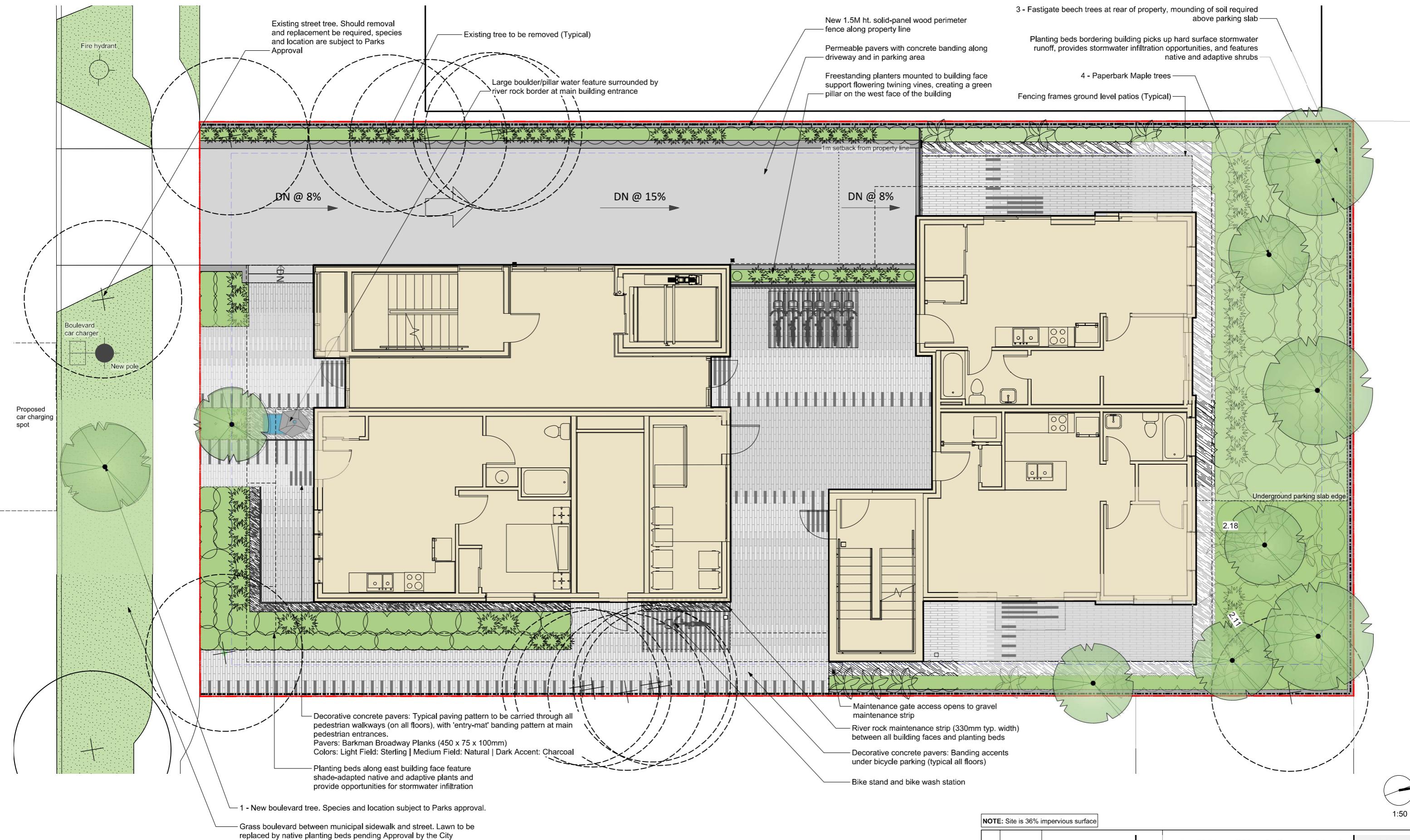


REVISION	
STAMP	
PROJECT NORTH	
PROJECT NAME	TEN42
PROJECT ADDRESS	1042 RICHARDSON STREET
DATE	21.06.10
DRAWING TITLE	PROPOSED EXTERIOR LIGHTING
ID0.1	



*EXACT FUTURE SPECIFICATION	
THE DRAWINGS TO BE USED FOR CONCEPTUAL DESIGN PURPOSES ONLY.	
REVISION	
STAMP	
PROJECT NORTH	
PROJECT NAME	TEN42
PROJECT ADDRESS	1042 RICHARDSON STREET
DATE	21.06.10
DRAWING TITLE	PROPOSED EXTERIOR LIGHTING
ID0.2	



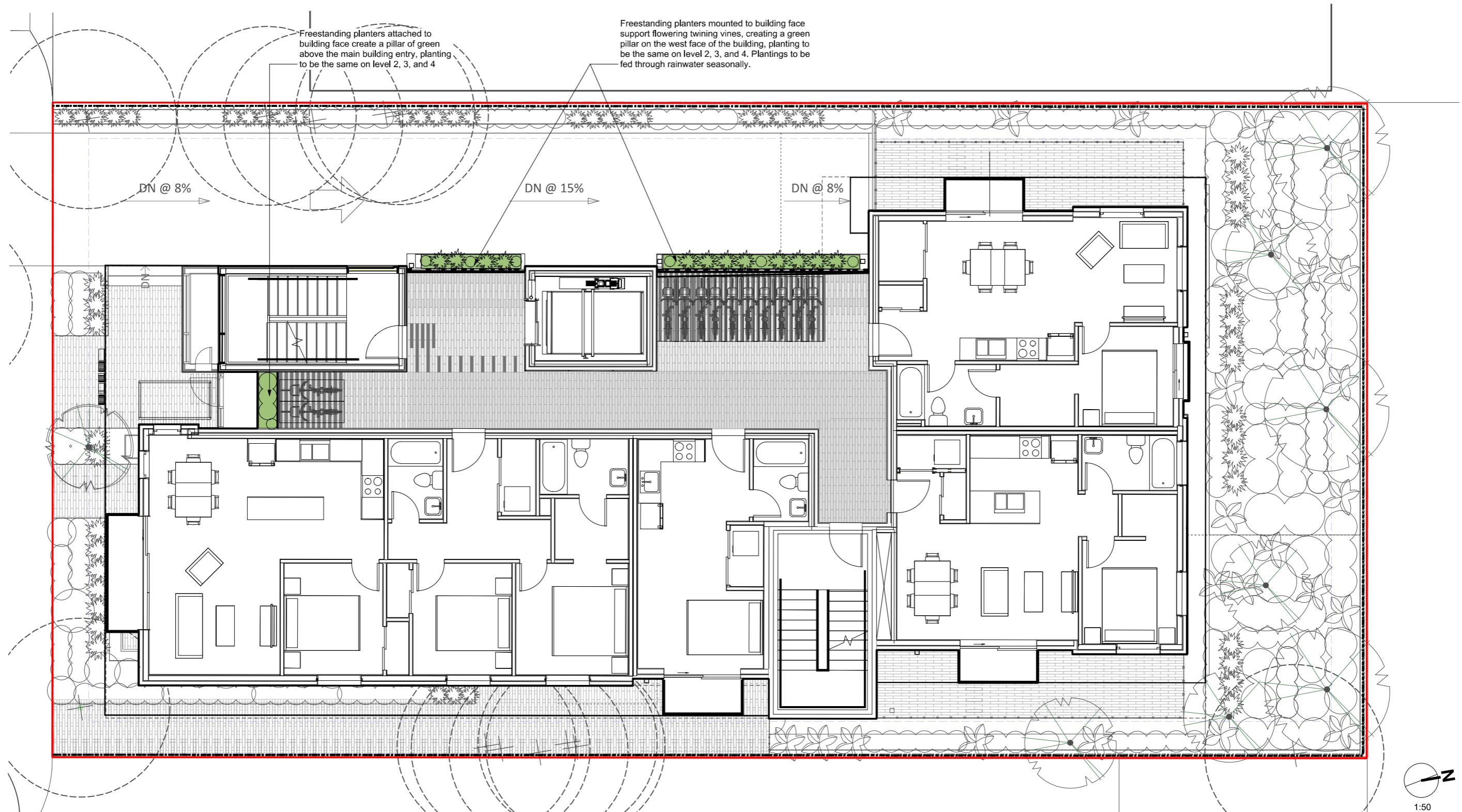


1042 Richardson Street | Landscape Concept Plan

NOTE: Site is 36% impervious surface		
5	June 9-21	DP Revisions
4	Jan 11-21	DP Revisions
3	Nov 26-20	DP Revisions
2	Sept 30-20	Issued for Development Permit
1	Aug 6-20	Issued for Preliminary Submission for OCP Amendment, Rezoning and Development Permit

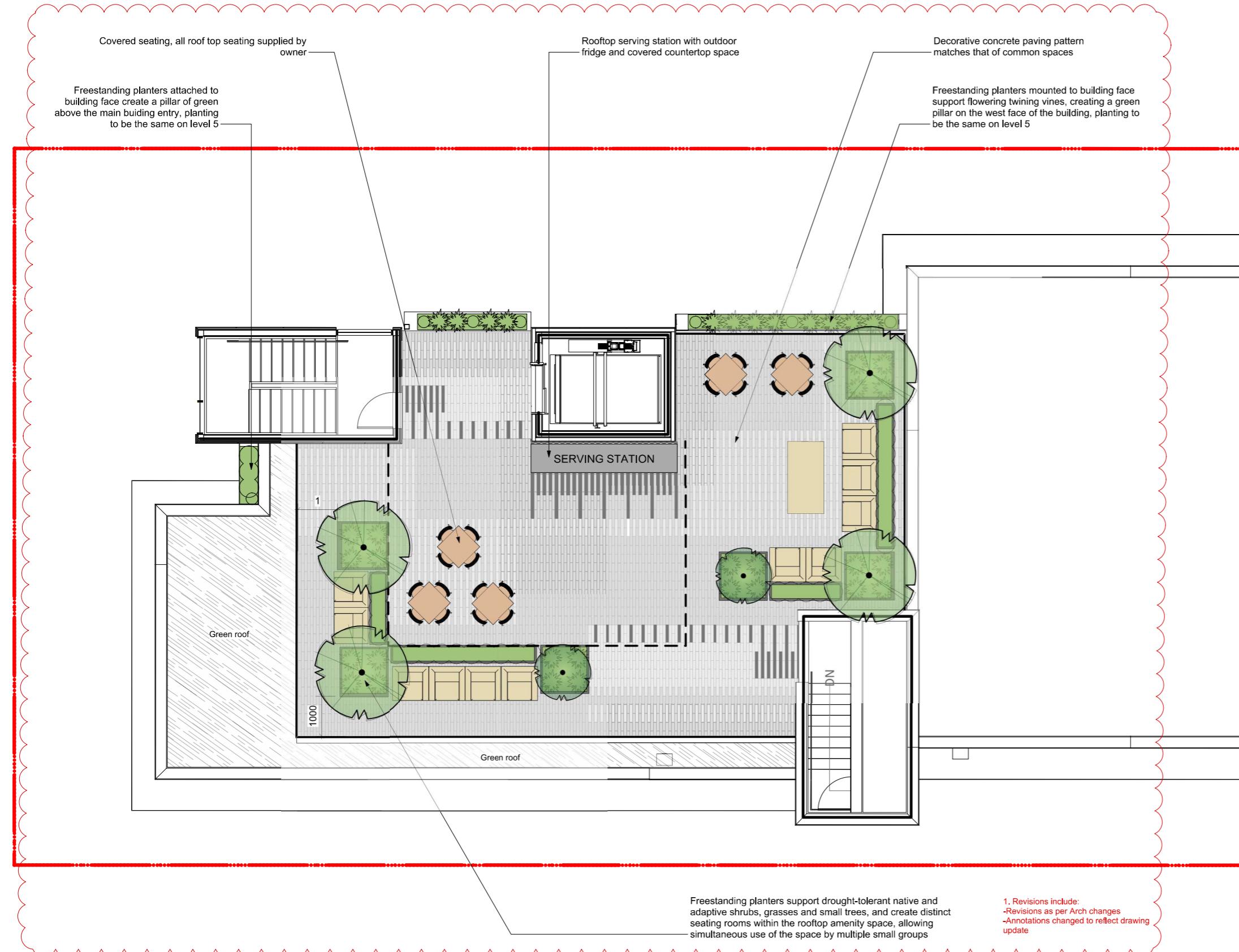
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LADR LANDSCAPE ARCHITECTS
 Project No: 2041 Jul 31-20
#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105 Fax: (250) 412-0696



1042 Richardson Street | L2, L3, L4 Concept Plan

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5	June 9 -21	DP Revisions
4	Jan 11-21	DP Revisions
3	Nov 26-20	DP Revisions
2	Sept 30-20	Issued for Development Permit
1	Aug 6-20	Issued for Preliminary Submission for OCP Amendment, Rezoning and Development Permit



1042 Richardson Street | L6 Rooftop Concept Plan

Recommended Plant List

Trees

Total: 8

Botanical Name	Common Name	Size
Acer griseum	Paperbark Maple	#7 pot
Fagus sylvatica 'Fastigiata'	Fastigate Beech	6cm cal.
Magnolia 'Daybreak'	Daybreak Magnolia	6cm cal.

Large Shrubs

Total: 23

Botanical Name	Common Name	Size
Mahonia aquifolium	Tall Oregon Grape	#5 pot
Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#5 pot

Medium Shrubs

Total: 48

Botanical Name	Common Name	Size
Azalea 'Snowbird'	Snowbird Azalea	#5 pot
Buxus 'Green Velvet'	Green Velvet Boxwood	#5 pot
Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#7 pot
Rhododendron 'Hino-crimson'	Evergreen Azalea	#5 pot
Rhododendron macrophyllum	Pacific Rhododendron	#5 pot

Small Shrubs

Total: 131

Botanical Name	Common Name	Size
Cornus stolonifera 'Kelseyl'	Kelsey Dogwood	#1 pot
Mahonia nervosa	Low Oregon Grape	#1 pot
Nandina domestica 'Fire Power'	Fire Power Heavenly Bamboo	#1 pot

Perennials, Annuals and Ferns

Total: 124

Botanical Name	Common Name	Size
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
Gaultheria shallon	Salal	#1 pot
Helictotrichon sempervirens	Blue Oat Grass	#1 pot
Pennisetum alopecuroides 'Hamelin'	Dwarf Fountain Grass	#1 pot
Polystichum munitum	Sword Fern	#1 pot

Roof Garden

Total: 82

Botanical Name	Common Name	Size
Buxus 'Green Velvet'	Green Velvet Boxwood	#5 pot
Clematis armandii	Evergreen Clematis	#5 pot
Magnolia 'Daybreak'	Daybreak Magnolia	6cm cal.
Pennisetum alopecuroides 'Hamelin'	Dwarf Fountain Grass	#1 pot
Taxus x media 'Hicksii'	Hicks Yew	1.5m ht.

Vines

Total: 10

Botanical Name	Common Name	Size
Clematis armandii	Evergreen Clematis	#5 pot

Notes:

1. All work to be completed to current BCSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system

Note:

Replacement Trees On site: 6
Replacement Trees Off site: 1

2. Revisions include:
-Revised plant list

1:50

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