

TENANT IMPROVEMENT - BALLET ACADEMY
DEVELOPMENT PERMIT APPLICATION
2713 QUADRA STREET, VICTORIA BC V8T 4E5

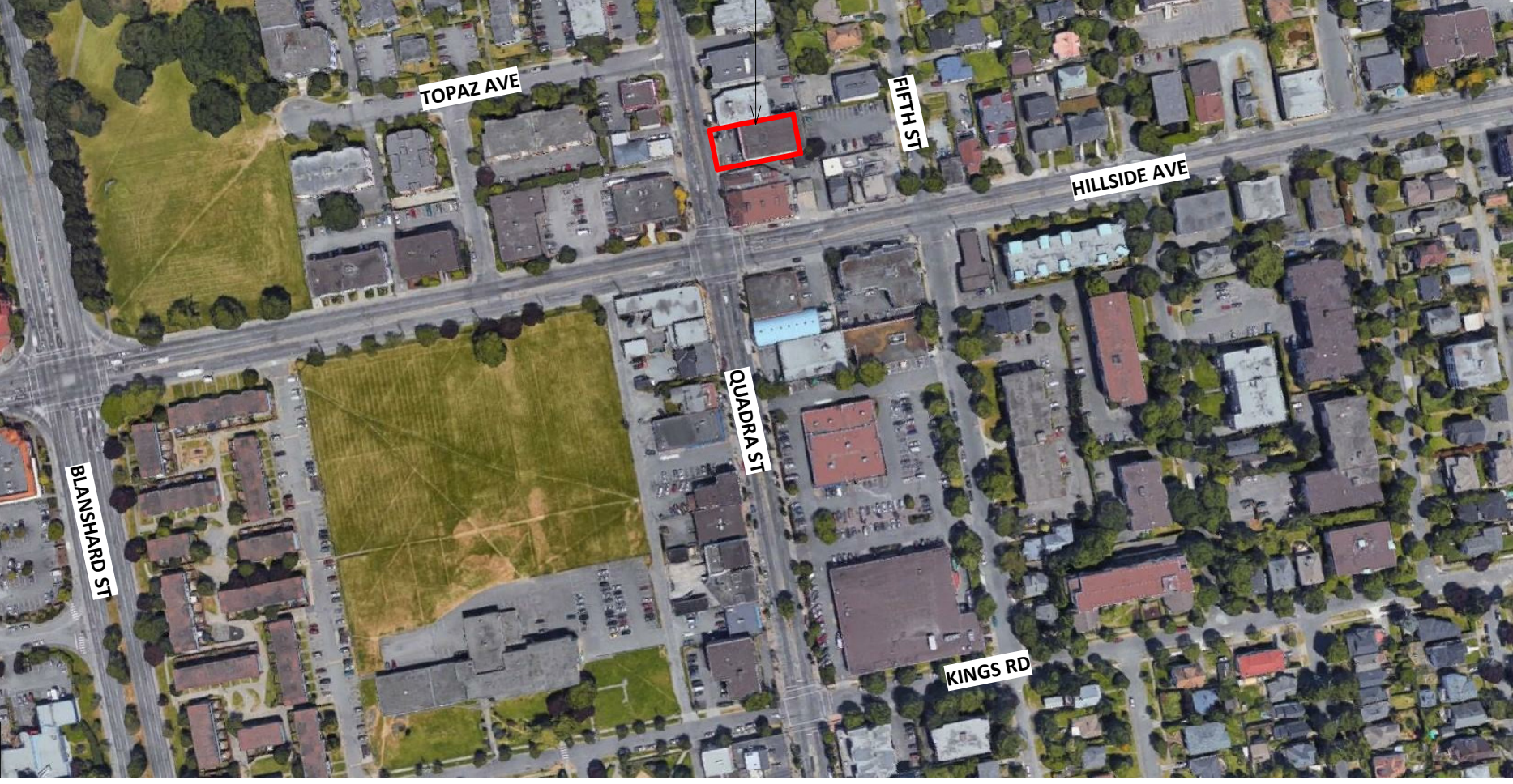
PROJECT DATA
GENERAL PROPERTY INFORMATION
ITEM DESCRIPTION
PROJECT DESCRIPTION
CIVIC ADDRESS
PROPERTY IDENTIFICATION NUMBER
LEGAL DESCRIPTION
AUTHORITY HAVING JURISDICTION
APPLICABLE BUILDING CODE

BUILDING CODE ANALYSIS - BASE BUILDING
1 - BASE BUILDING
NO. ITEM DESCRIPTION REFERENCES
1-1 PROJECT TYPE
1-2 GOVERNING BUILDING CODE
1-3 BUILDING CODE PARTS APPLICABLE
1-4 MAJOR OCCUPANCY(IES)
1-5 MULTIPLE MAJOR OCCUPANCIES
1-6 FIREWALL(S)
1-7 OCCUPANT LOAD
1-8 BUILDING AREA (m²)
1-9 BUILDING HEIGHT (m)
1-10 BUILDING HEIGHT (STOREYS)
1-11 CONSTRUCTION TYPE(S)
1-12 ASSEMBLY FIRE-RESISTANCE RATINGS
1-13 FIRE ALARM & DETECTION SYSTEM
1-14 AUTOMATIC SPRINKLER SYSTEM
1-15 MEZZANINE(S)
1-16 INTERCONNECTED FLOOR SPACE
1-17 NUMBER OF STREETS FACING
1-18 FIRE DEPARTMENT ACCESS ROUTES
1-19 HIGH BUILDING
1-20 ROOF ACCESS
1-21 STANDPIPE SYSTEM
1-22 LIGHTING AND EMERGENCY POWER
1-23 EMERGENCY GENERATOR
1-24 ACCESS FOR PERSONS W/ DISABILITIES
1-25 ALTERNATE SOLUTIONS REQUIRED

OCCUPANT LOAD CALCULATIONS (PER BCBC 3.1.17.)
ROOM/SUITE OCCUPANCY TYPE AREA (m²) AREA PER PERSON (m²) OCCUPANTS PER ROOM
MAIN LEVEL
CLASSROOM 1 CLASSROOM 117 1.85 63
CLASSROOM 2 CLASSROOM 117 1.85 63
MEETING ROOM OFFICE 11 9.30 1
ARTISTIC DIRECTOR OFFICE 10 9.30 1
TEACHER'S OFFICE OFFICE 14 9.30 2
OFFICE 1 OFFICE 10 9.30 1
OFFICE 2 OFFICE 10 9.30 1
ADMINISTRATION OFFICE 10 9.30 1
RECEPTION OFFICE 9 9.30 1
LOBBY/RECEPTION AREA LOUNGE 23 3.70 6
PILATES/STRETCHING EXERCISE 68 4.645 15
LEVEL SUBTOTAL 155
LEVEL 2
CLASSROOM 3 CLASSROOM 192 1.85 104
PTP LOUNGE LOUNGE 49 3.70 13
LEVEL SUBTOTAL 117
TOTAL CALCULATED OCCUPANT LOAD (ALL LEVELS): 272
GENERAL NOTE: OCCUPANT LOAD CALCULATIONS FOR EXISTING PURPOSES ONLY. ACTUAL OCCUPANT LOADS DETERMINED BY TENANT USAGE AT EXISTING BALLET STUDIO. SIGNS TO BE POSTED AT STUDIO ENTRANCES INDICATING OCCUPANT LOAD NOT TO EXCEED 60 PERSONS.



1 Axonometric View



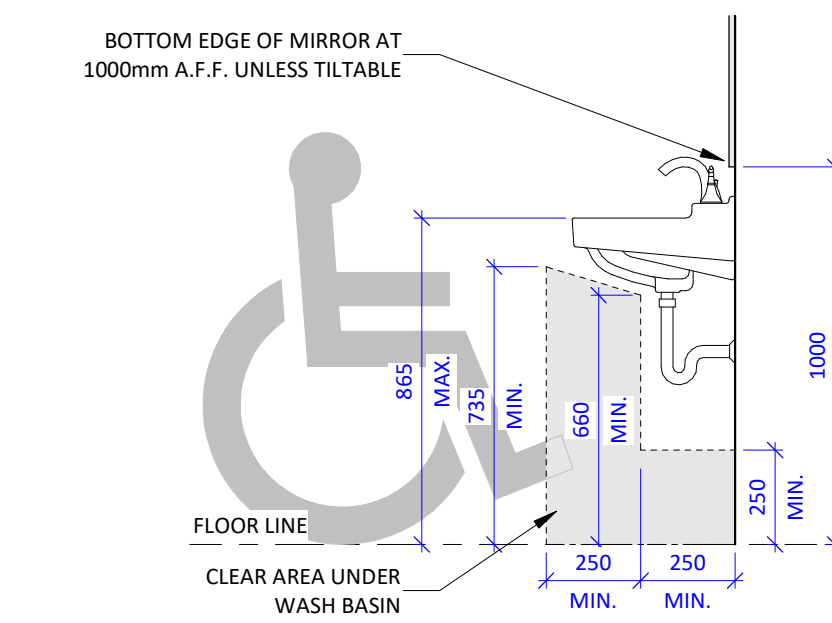
Site Context View

BUILDING CODE ANALYSIS - TENANT IMPROVEMENTS
2 - TENANT IMPROVEMENTS
NO. ITEM TENANT NOTES REFERENCES
2-1 MAJOR OCCUPANCY CLASSIFICATION
2-2 USE
2-3 TOTAL FLOOR AREA (m²)
2-4 FIRE SEPARATIONS
2-5 PUBLIC CORRIDOR SEPARATIONS
2-6 EGRESS DOORWAYS
2-7 TRAVEL DISTANCE (m)
2-8 DISTANCE BETWEEN EXITS (m)
2-9 EXIT WIDTHS AND CAPACITY OF ACCESS TO EXITS (mm)
2-10 NUMBER & LOCATION OF EXITS FROM FLOOR AREAS
2-11 EXIT SIGNS
2-12 WATER CLOSETS
2-13 ACCESSIBILITY BY OCCUPANCY CLASSIFICATION
2-14 ACCESSIBILITY FOR PERSONS WITH DISABILITIES
2-15 SPECIFIC REQUIREMENTS FOR ACCESSIBILITY
2-16 UNIVERSAL TOILET ROOM

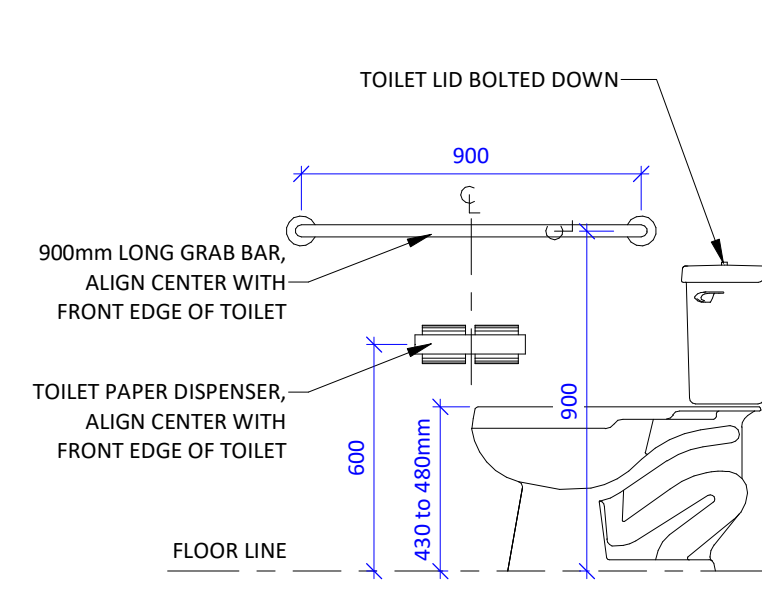
WALL ASSEMBLIES
EXISTING EXTERIOR (UNCHANGED)
INTERIOR PARTITION (EXISTING)
INTERIOR PARTITION (NEW STRUCTURAL)
INTERIOR PARTITION (NEW, LEVELS 1 & 2)
INTERIOR FURRING - SERVICES (NEW)

FLOOR ASSEMBLIES
LEVEL 1 - EXISTING SLAB-ON-GRADE
LEVEL 1 - NEW SLAB INFILL
LEVEL 2 - EXISTING FLOOR
LEVEL 2 - NEW FLOOR
LEVEL 1 - FINISHED WOOD FLOOR (STUDIOS)
LEVELS 1 & 2 - FINISH FLOOR

ROOF ASSEMBLIES
EXISTING ROOF
NEW ROOF
CEILING - GWB



4 Accessible Washroom Sink Clearances
1 : 20



3 Toilet Grab Bar - Side View
1 : 20

Architectural Drawing List
Sheet Name Sheet Number
Project Data A0.00
Site & Landscape Plan & Project Information Table A1.00
Site Survey A1.01
Floor Plans - Main Level A2.01
Floor Plans - Second Level & Roof Plan A2.02
Elevations A3.01
Building Sections & Street Context Elevation A4.01

- GENERAL NOTES
1. WORK TO COMPLY WITH THE BRITISH COLUMBIA BUILDING CODE 2018 EDITION. CONTRACTOR TO VERIFY DIMENSIONS AND ASPECTS OF DRAWINGS TO AGREE AND MAKE WORK PRIOR TO CONSTRUCTION.
2. EXISTING DRAWINGS SHOWN HAVE BEEN DERIVED FROM DRAWINGS PROVIDED BY CLIENT AND THE EXISTING SURVEY INCLUDED. CONTRACTOR TO COORDINATE ANY DEVIATIONS FROM THIS DRAWINGS AND MUST BE AUTHORIZED BY THE ARCHITECT.
3. ALL CORRIDORS MUST HAVE UNOBSTRUCTED WIDTH OF 1100mm IN ALL INSTANCES. STAIRS AND COMPONENTS MUST BE CONSTRUCTED TO SECTION 3.4.6. IN ALL INSTANCES. INTERIOR STAIR WIDTH EQUAL TO OR EXCEEDING 900mm AND REQUIRES HANDRAILS BOTH SIDES OF STAIR.
4. CONTRACTOR TO REPORT ANY DEVIATIONS, INCLUDING MATERIAL CHANGES, TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



APPLICANT
CLIENT
EPHREM LAI, DIRECTOR
EIGHT DIAMOND HOLDINGS LTD.
250-595-8327
CONSULTANTS
ARCHITECTURAL
CHRISTINE LINTOTT
CHRISTINE LINTOTT ARCHITECTS
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VICTORIA, BC V8T 1M5
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PRIOR ENGINEERING LTD.
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Issue Date
Development Permit Application February 15, 2019

Revision
No. Description Date

Consultant

Victoria Academy of Ballet - Tenant Improvements
2713 Quadra Street, Victoria BC V8T 4E5

Project Data
Date 2019-02-15 12:02:16 PM
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## Victoria Academy of Ballet - Tenant Improvements

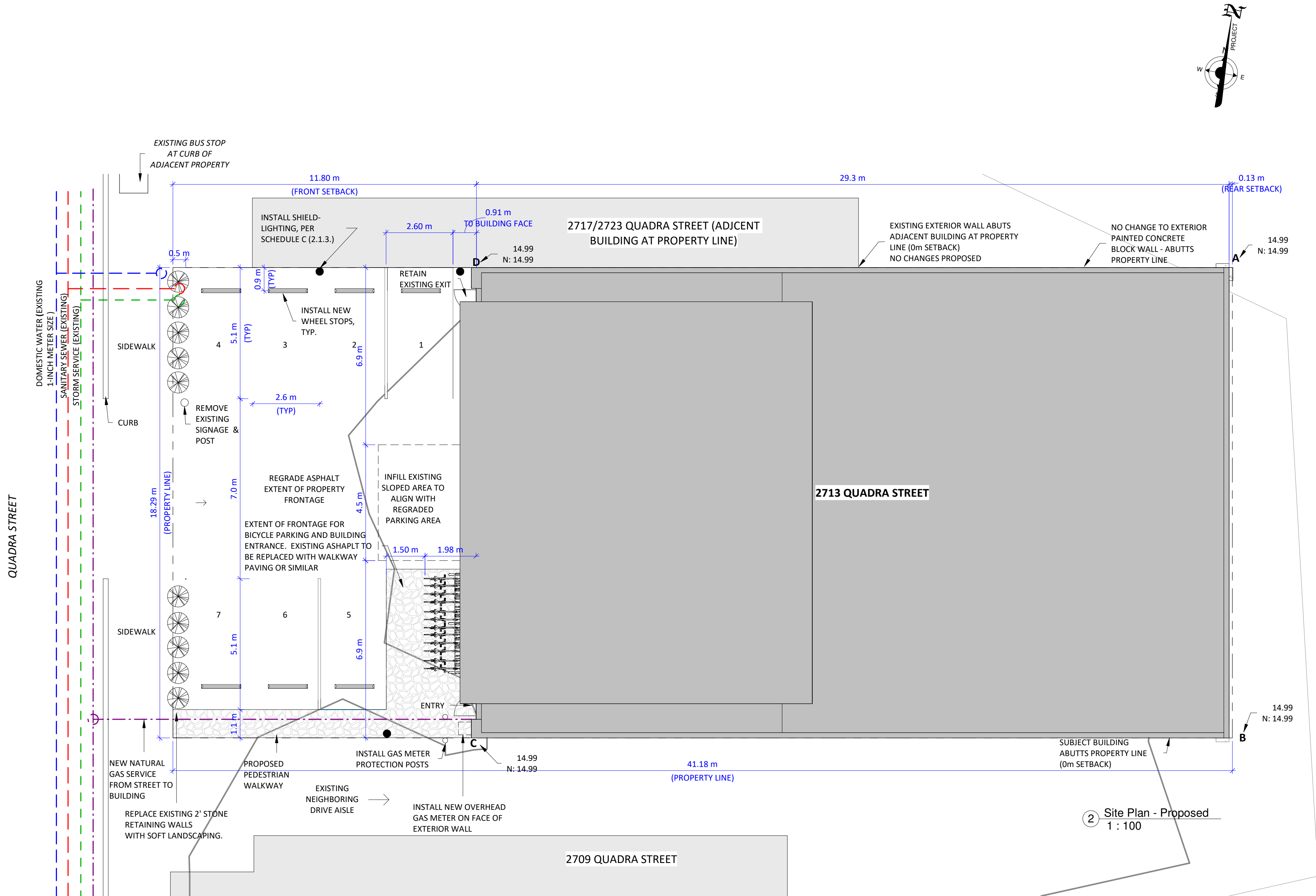
2713 Quadra Street,  
Victoria BC V8T 4E5

### Site & Landscape Plan & Project Information Table

Date 2019-02-15 12:02:20 PM  
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A1.00

Scale As indicated



#### AVERAGE GRADE CALCULATION:

A - B (14.99+14.99)/2 = 14.99 x 18.3m = 274.32m  
B - C (14.99+14.99)/2 = 14.99 x 29.5m = 442.21m  
C - D (14.99+14.99)/2 = 14.99 x 6.9m = 103.43m  
D - A (14.99+14.99)/2 = 14.99 x 29.5m = 442.21m

84.2m 1,262.17m

AVERAGE GRADE: 1,262.17/84.2m = 14.99m

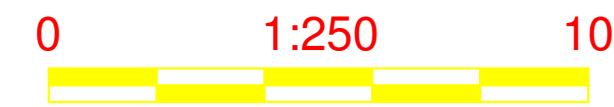
N = NATURAL GRADE

#### PROJECT INFORMATION TABLE

GENERAL PROPERTY INFORMATION			
ITEM	DESCRIPTION		BY/LAW
APPLICABLE ZONE	C1-QV, QUADRA VILLAGE DISTRICT - PROFESSIONAL BUSINESS: BALLET SCHOOL		
SITE AREA	753.1m <sup>2</sup>		-
TOTAL FLOOR AREA (m <sup>2</sup> )	760.4m <sup>2</sup>		3.3.1.
FLOOR SPACE	1.4:1	ALLOWABLE 1:1 PROPOSED	4.52-10.
SITE COVERAGE %	71%		-
OPEN SITE SPACE %	6.4%		-
BUILDING HEIGHT	+14.99m	AVERAGE NATURAL GRADE +14.93m PROPOSED AVERAGE GRADE	4.52-3.
	+15.5m	ALLOWABLE 9.2m PROPOSED	
NUMBER OF STOREYS	4	ALLOWABLE 2	PROPOSED 4.52-3.
PARKING STALLS	7	(VARIANCE REQUESTED: ALL SURFACE PARKING ON A LOT MUST BE LOCATED IN THE REAR YARD AND AT LEAST 32m FROM THE FRONT LOT LINE)	
BICYCLE PARKING	3	REQUIRED 12	PROVIDED SCHEDULE C: 1.2 TABLE 1.
BUILDING SETBACKS	FRONT YARD (WEST) SETBACK (m): 3 REQUIRED 11.8 EXISTING REAR YARD (EAST) SETBACK (m): 0 REQUIRED 0.13 EXISTING SIDE YARD (SOUTH) SETBACK (m): 2.3 REQUIRED 0 EXISTING SIDE YARD (NORTH) SETBACK (m): 0 REQUIRED 0 EXISTING COMBINED SIDEYARDS (m): N/A REQUIRED 0 EXISTING		<sup>1</sup> BUILD-TO-LINE DISTANCE MAX FROM QUADRA ST <sup>2</sup> GREATER OF 25% BUILDING HEIGHT OR 2.5m

B.C. LAND SURVEYOR'S SITE PLAN OF:  
LOT 3 BLOCK 15 SECTION 4 VICTORIA  
CITY, PLAN 240

SCALE:



All distances are in metres.  
The intended plot size of this plan is 432mm in width by  
by 280mm in height (B size) when plotted at a scale of 1:250

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This document was prepared for the exclusive  
use of our client, EIGHT DIAMOND HOLDINGS LTD

\*This document is intended for use as a topographic plan.  
It is based on Land Title Office records, and does not  
represent a boundary survey. Critical lot dimensions  
and areas must be confirmed by a proper cadastral survey.

Undersurface charges and covenant will not be shown on this  
survey unless such documents are provided and it can be shown in  
two dimensional view.

Explorer Land Surveying INC., accepts no responsibility  
or liability for any damages that may be suffered  
by a third party as a result of any decisions  
made or actions taken based on this document.

Parcel Identification Number (PID)

009-210-407

SITE AREA

752.8 m<sup>2</sup>

MUNICIPALITY

CITY OF VICTORIA

CIVIC ADDRESS

2713 Quadra Street  
Victoria, BC.

ZONING

C1-QV

FILE : 11492

DWG/DATE: 11492-2713Quadra/2018-9-10

Explorer

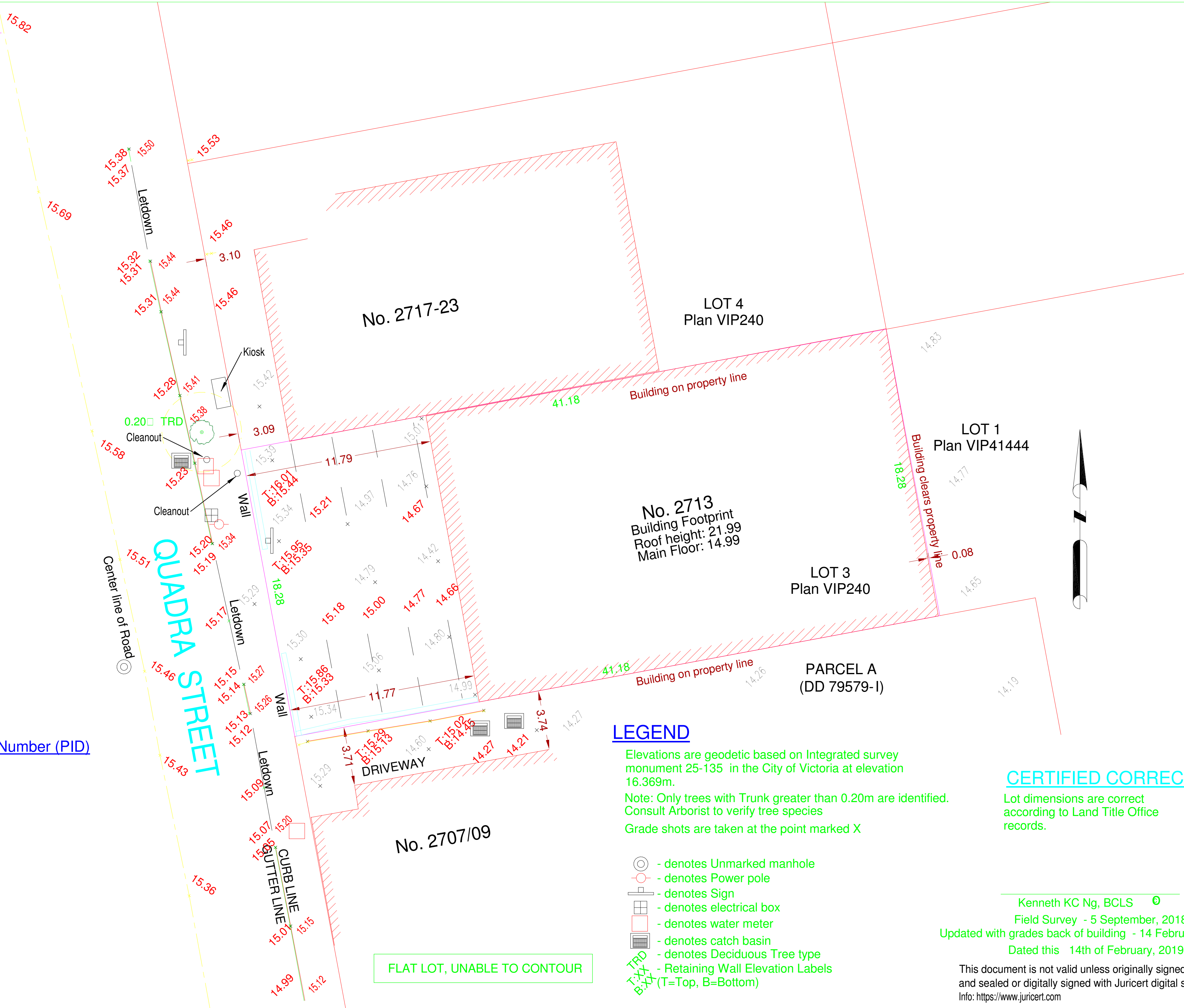
Land Surveying Inc

133-1335 Bear Mountain Pkwy

Victoria, B. C. V9B 6T9

Tel: (250) 381-2257

email: kenneth@explorersurvey.com



LEGEND

Elevations are geodetic based on Integrated survey  
monument 25-135 in the City of Victoria at elevation  
16.369m.  
Note: Only trees with Trunk greater than 0.20m are identified.  
Consult Arborist to verify tree species  
Grade shots are taken at the point marked X

- denotes Unmarked manhole
- denotes Power pole
- denotes Sign
- denotes electrical box
- denotes water meter
- denotes catch basin
- denotes Deciduous Tree type
- Retaining Wall Elevation Labels  
(T=Top, B=Bottom)

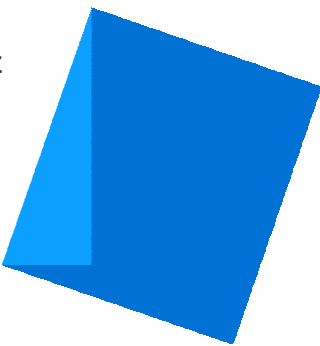
CERTIFIED CORRECT

Lot dimensions are correct  
according to Land Title Office  
records.

Kenneth KC Ng, BCLS  
Field Survey - 5 September, 2018  
Updated with grades back of building - 14 February, 2019  
Dated this 14th of February, 2019.

This document is not valid unless originally signed  
and sealed or digitally signed with Juricert digital signature.  
Info: <https://www.juricert.com>

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of Ballet - Tenant  
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2713 Quadra Street,  
Victoria BC V8T 4E5

Site Survey

Date 2019-02-15 12:02:21 PM

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2713 Quadra Street,  
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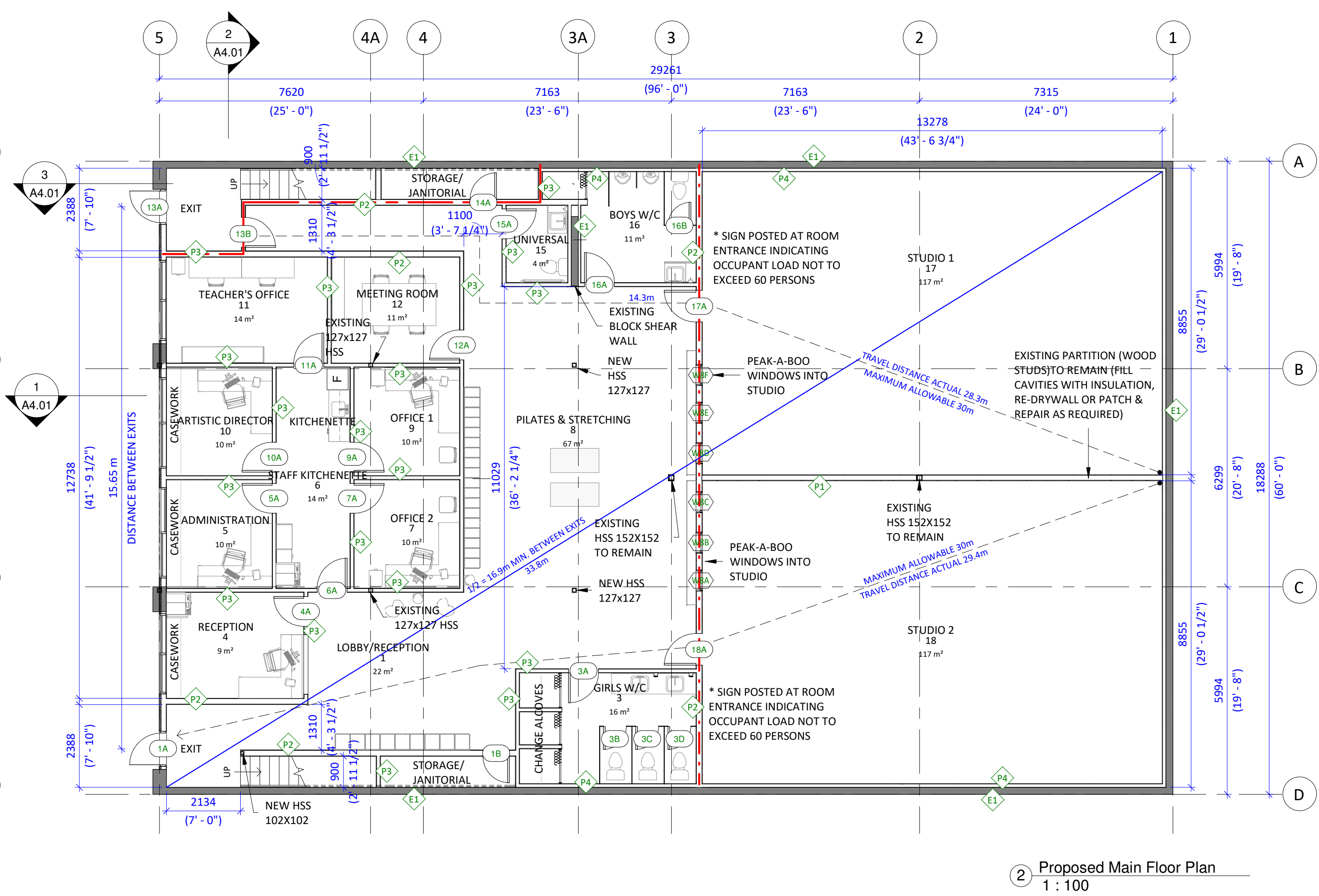
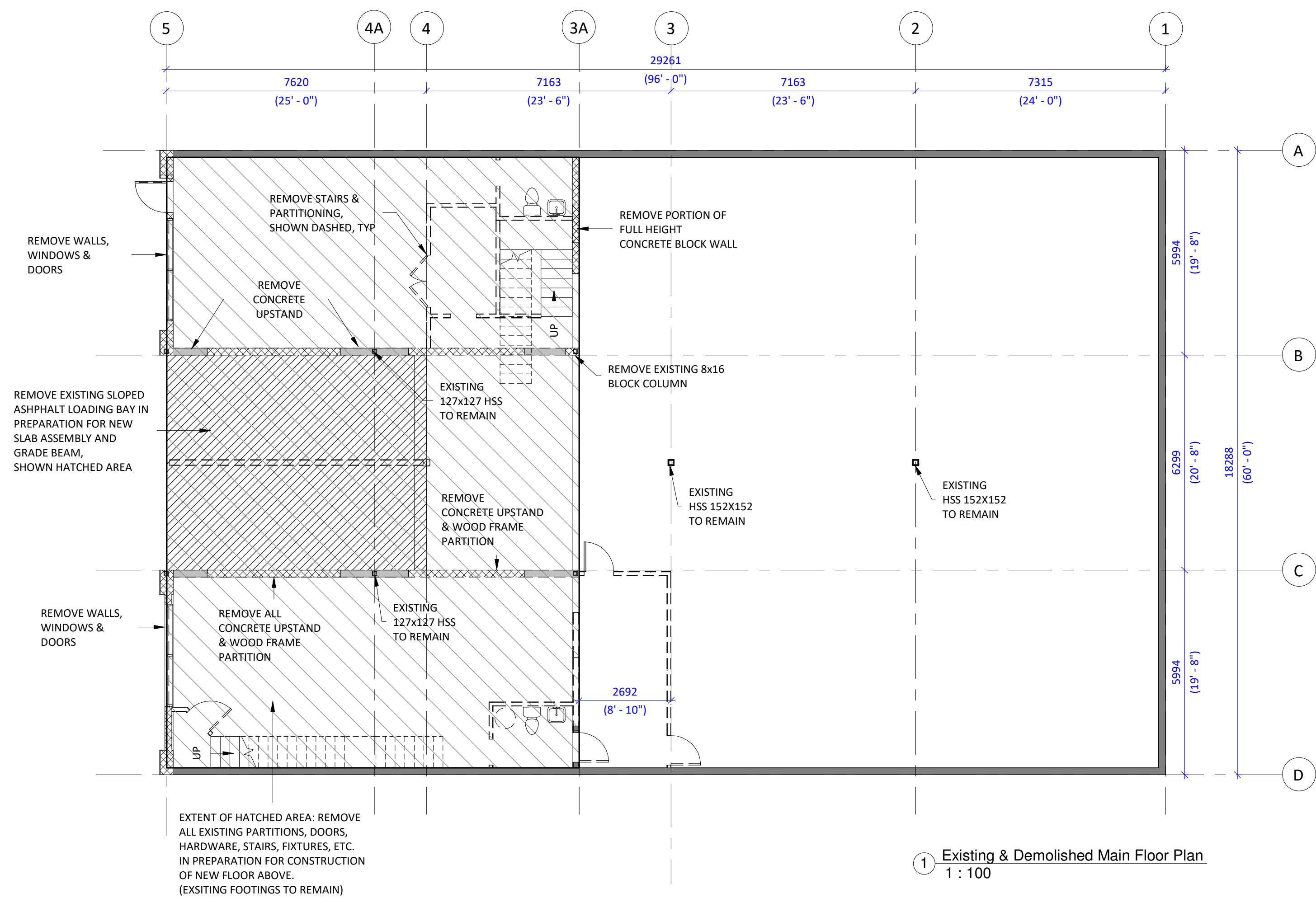
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Window Schedule				
No.	Type	Head Height	Width	
W8A	0610 x 1220mm	1067	610	
W8C	0610 x 1220mm	1067	610	
W19C	Curtain Wall Awning		1598	
W19B	Curtain Wall Awning		1425	
W19C	Curtain Wall Awning		1425	
W19B	Curtain Wall Awning		1623	
W19A	Curtain Wall Awning		1598	
W19C	Curtain Wall Awning		1598	
W19B	Curtain Wall Awning		1623	
W15E	Curtain Wall Awning		1598	
156	0610 x 1220mm	1067	610	
160	850 x 900mm 2	2747	1509	
162	850 x 900mm 2	2747	1509	
163	850 x 900mm 2	2747	1509	
164	850 x 900mm 2	2807	1509	
165	850 x 900mm 2	1754	1509	
166	850 x 900mm 2	2536	1509	
168	0610 x 1220mm	2639	610	
169	0610 x 1220mm	2639	610	
E70	0610 x 1220mm	2639	610	
W8B	0610 x 1220mm	1067	610	
W8F	0610 x 1220mm	1067	610	
W8D	0610 x 1220mm	1067	610	
W8E	0610 x 1220mm	1067	610	
W20A	0915 x 1830mm	2135	4000	
W20B	0915 x 1830mm	2135	4000	

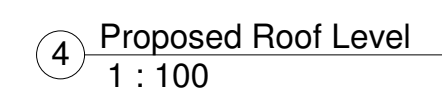
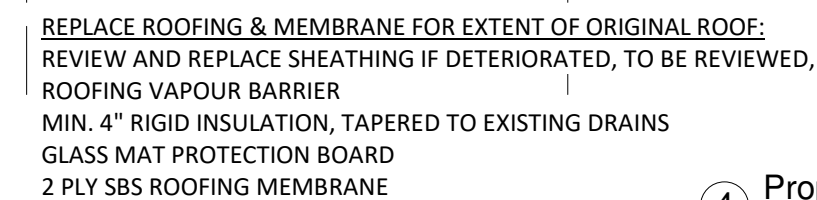
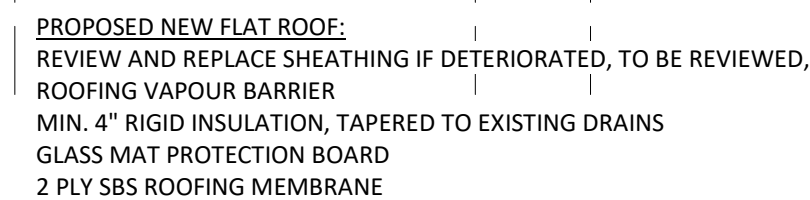
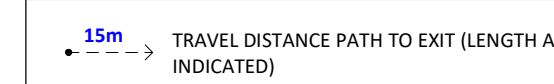
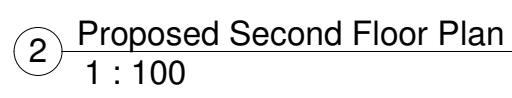
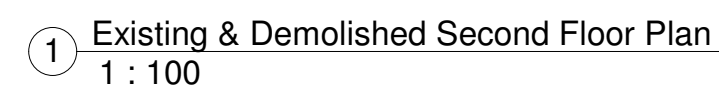
Door Schedule				
No.	Type	Height	Width	Comments
1A	A	2133	915	EXTERIOR
1B	C	1829	762	INTERIOR
3A	B	2032	864	INTERIOR
3B	D	2032	660	INTERIOR
3C	D	2032	660	INTERIOR
3D	D	2032	660	INTERIOR
4A	B	2032	864	INTERIOR
5A	B	2032	864	INTERIOR
6A	B	2032	864	INTERIOR
7A	B	2032	864	INTERIOR
9A	B	2032	864	INTERIOR
10A	B	2032	864	INTERIOR
11A	B	2032	864	INTERIOR
12A	B	2032	864	INTERIOR
13A	A	2133	915	EXTERIOR
13B	B	2032	864	INTERIOR
14A	C	1829	762	INTERIOR
15A	B	2032	864	INTERIOR
16A	B	2032	864	INTERIOR
16B	D	2032	660	INTERIOR
17A	E	2032	915	INTERIOR
18A	E	2032	915	INTERIOR
19A	B	2032	864	INTERIOR
19B	B	2032	864	INTERIOR
19C	F	2135	915	INTERIOR
19D	F	2135	915	INTERIOR
20A	B	2032	864	INTERIOR
20B	B	2032	864	INTERIOR
21A	B	2032	864	INTERIOR



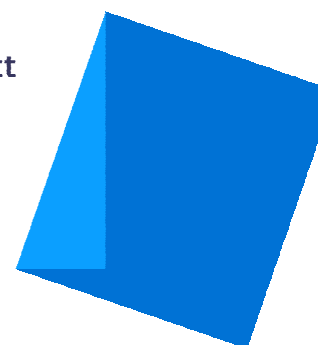
LEGEND TO BUILDING CODE COMPLIANCE

15m TRAVEL DISTANCE PATH TO EXIT (LENGTH AS INDICATED)

45 MIN. F.R.R.







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Elevations

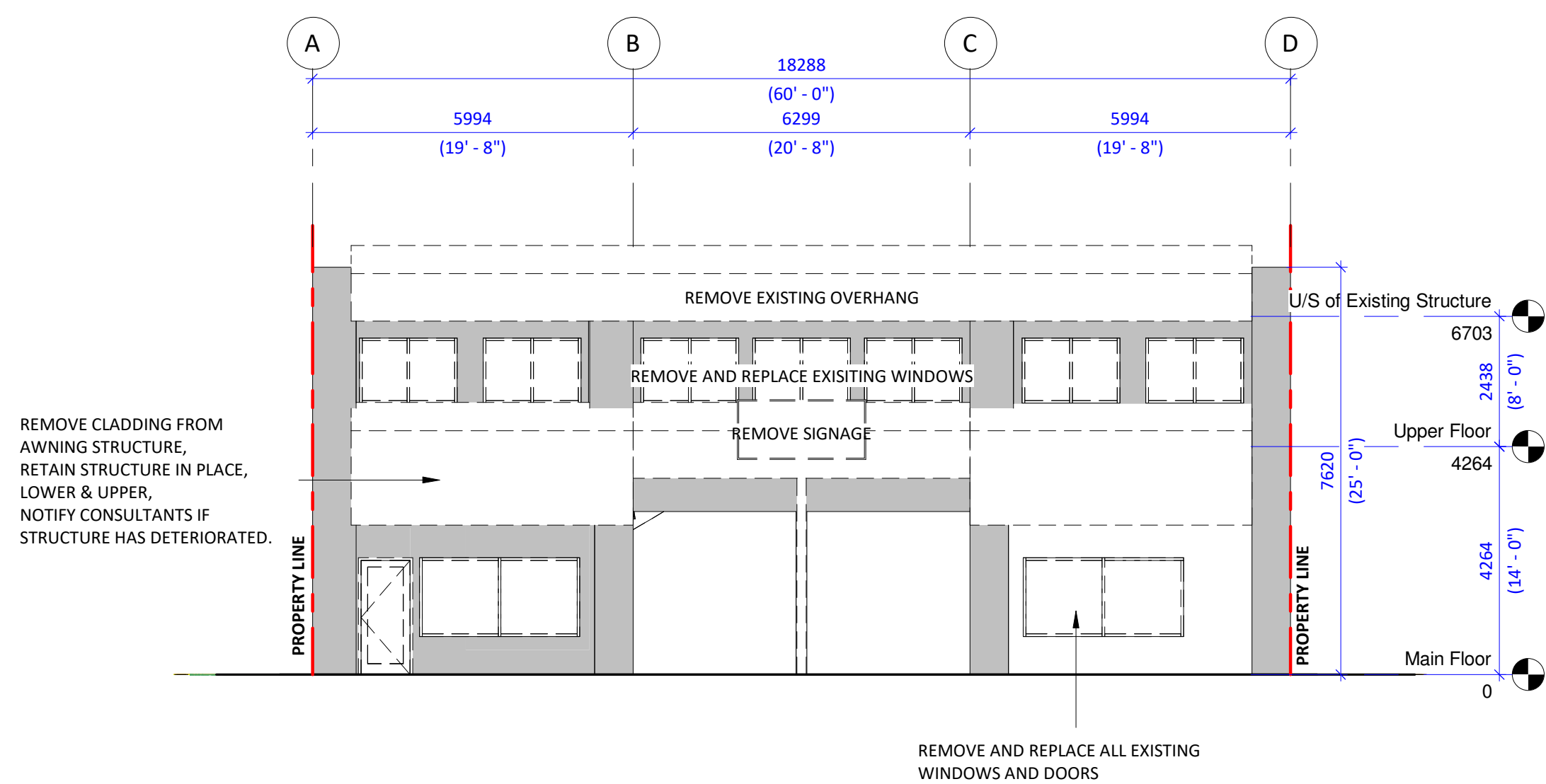
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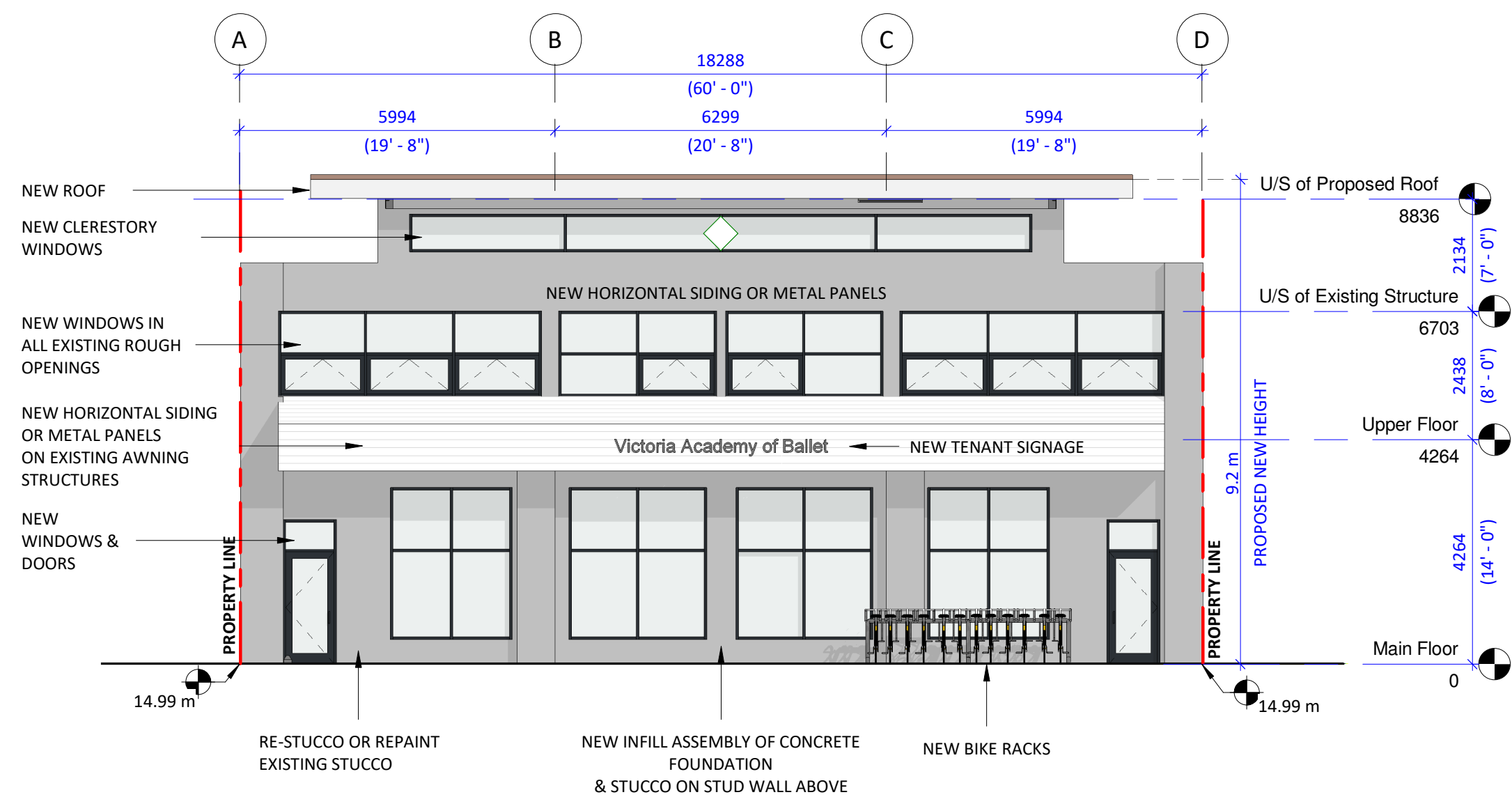
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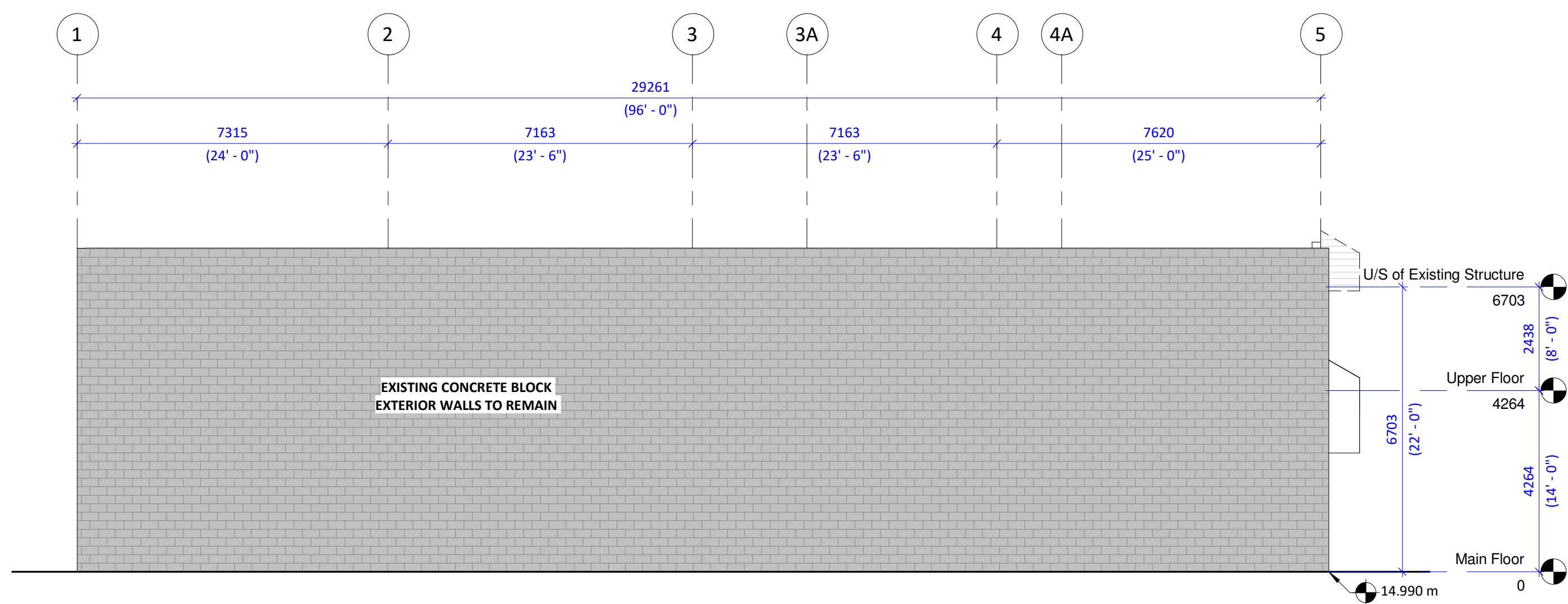
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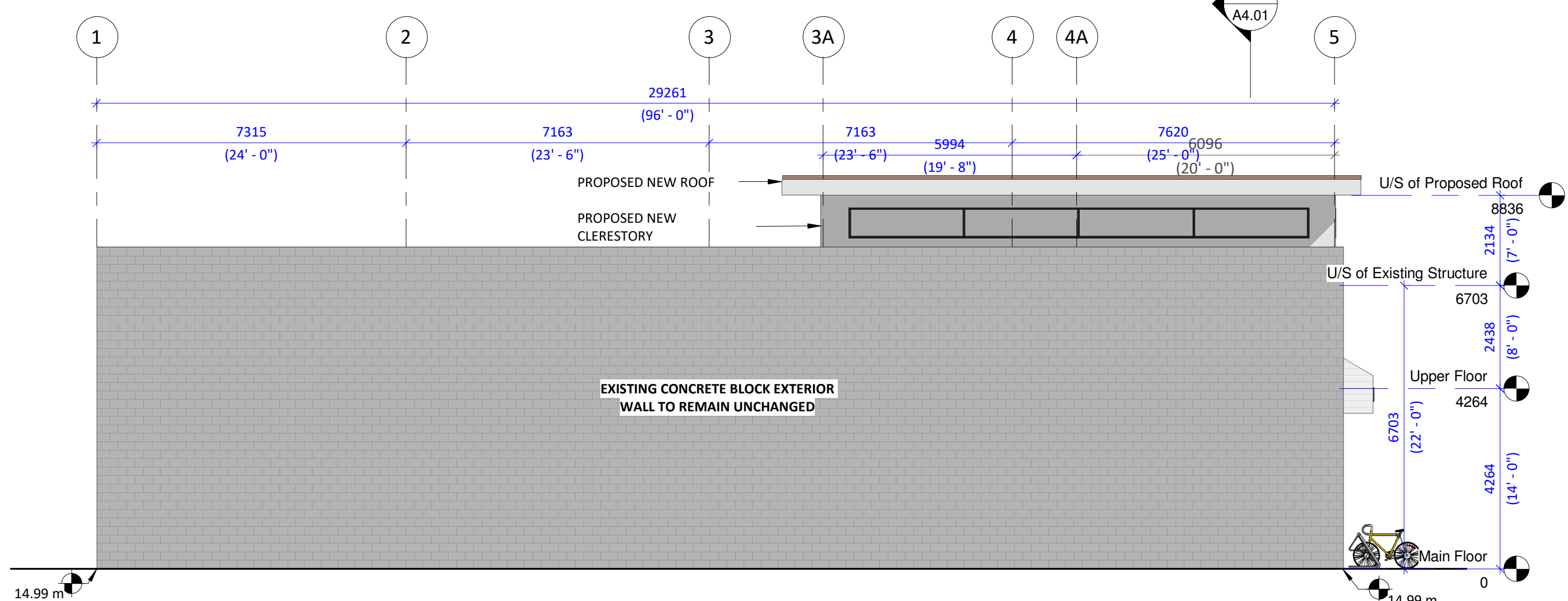
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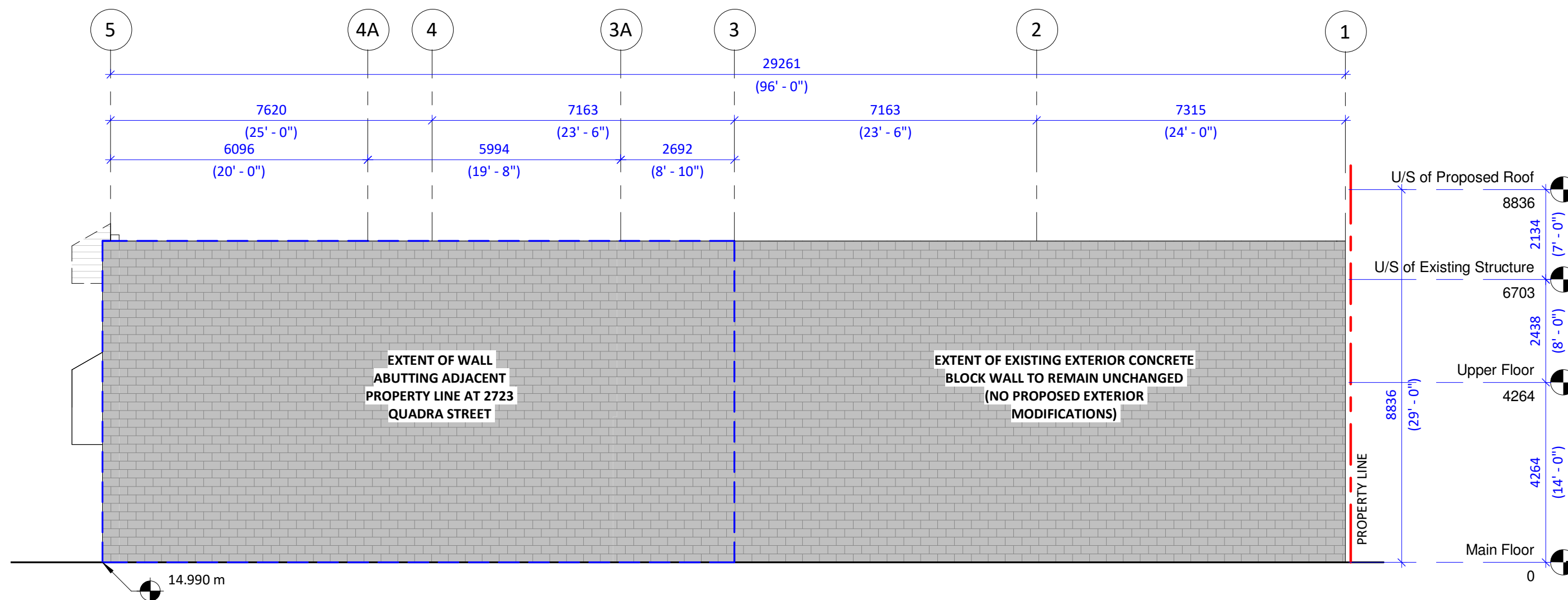
3 Proposed Front Elevation  
1 : 100



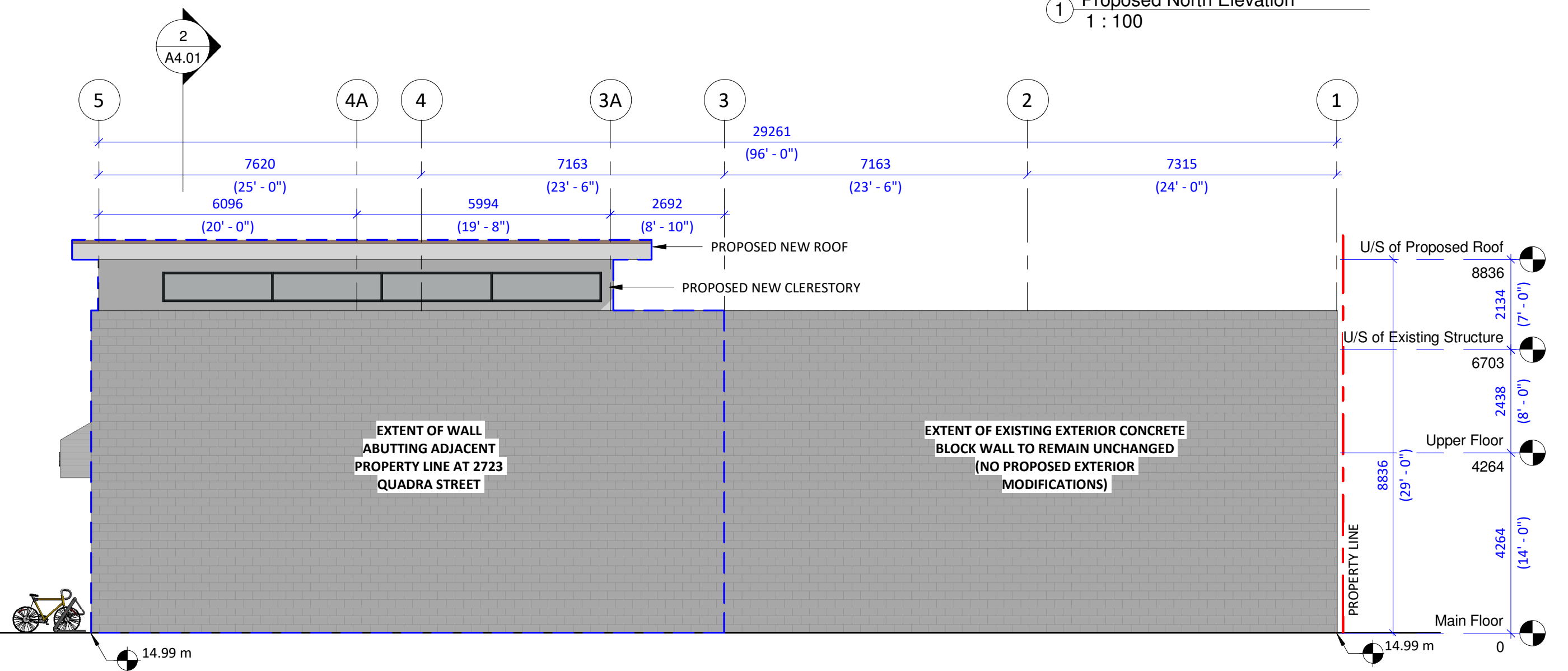
6 Existing North Elevation  
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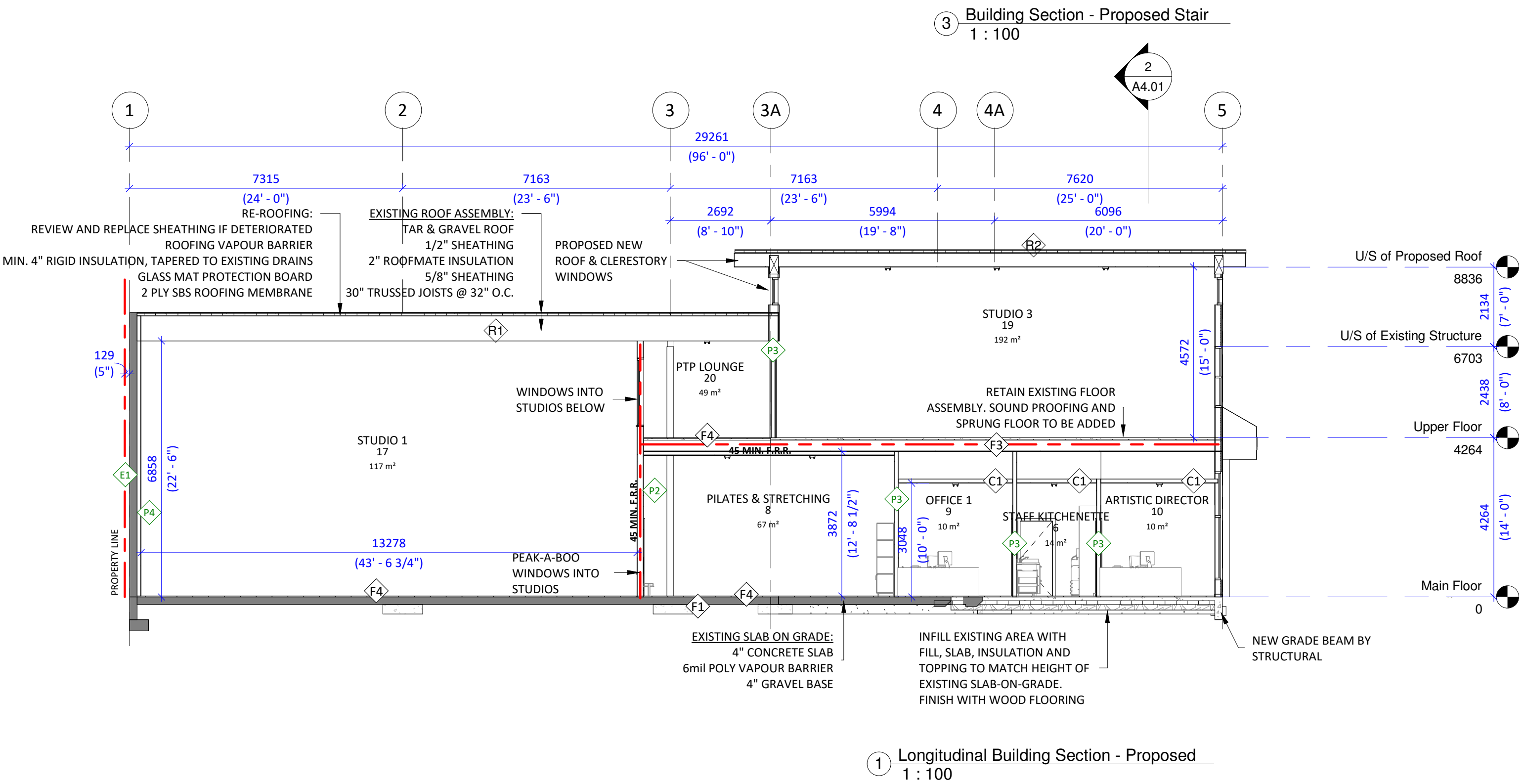
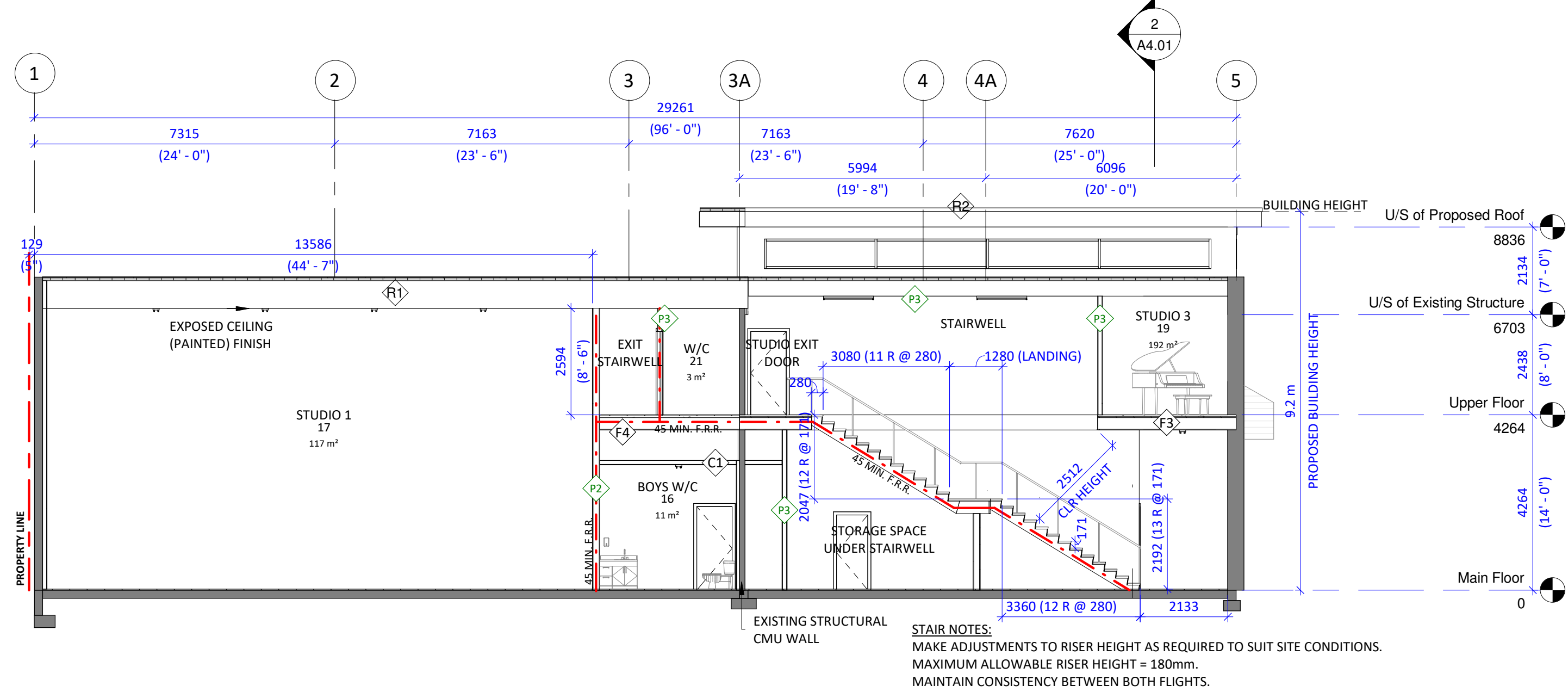
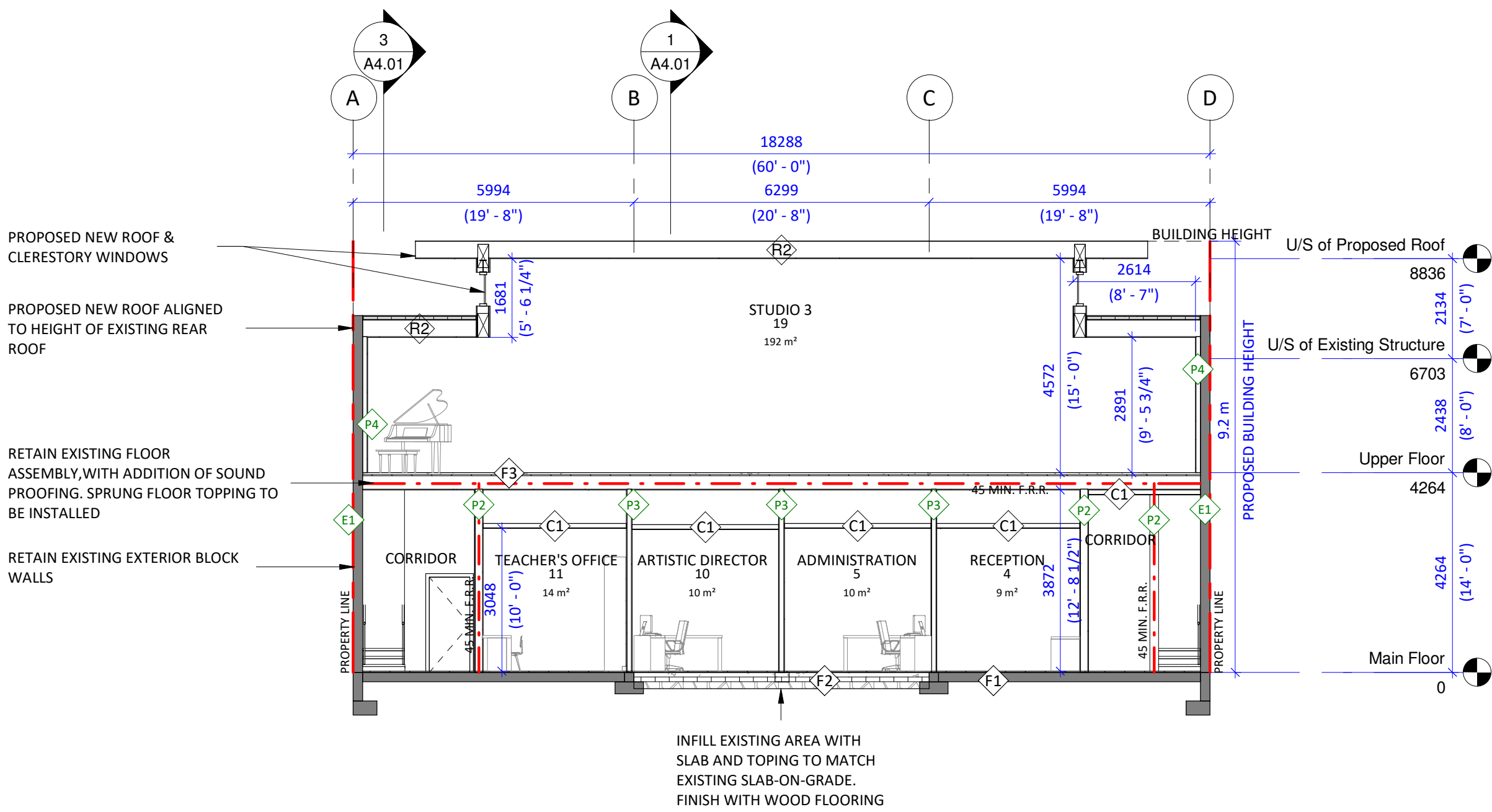
1 Proposed North Elevation  
1 : 100



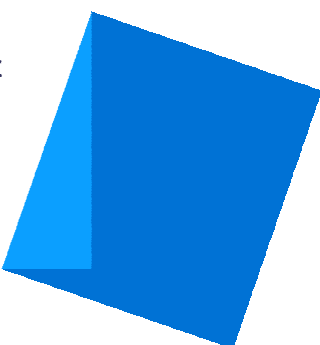
5 Existing South Elevation 100  
1 : 100



4 Proposed South Elevation  
1 : 100



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Building Sections & Street  
Context Elevation

Date 2019-02-15 12:02:47 PM

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Scale 1 : 100