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 A0.1 Context Views
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Electrical
 E100 Off-site Lighting Design & Details
 E101 Off-site Lighting Design & Details

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 CONSTRUCTION

#21-18
 Montreal and Quebec
 205 Quebec Street
 Victoria, BC

Rezoning/Development Resubmission

22.04.14



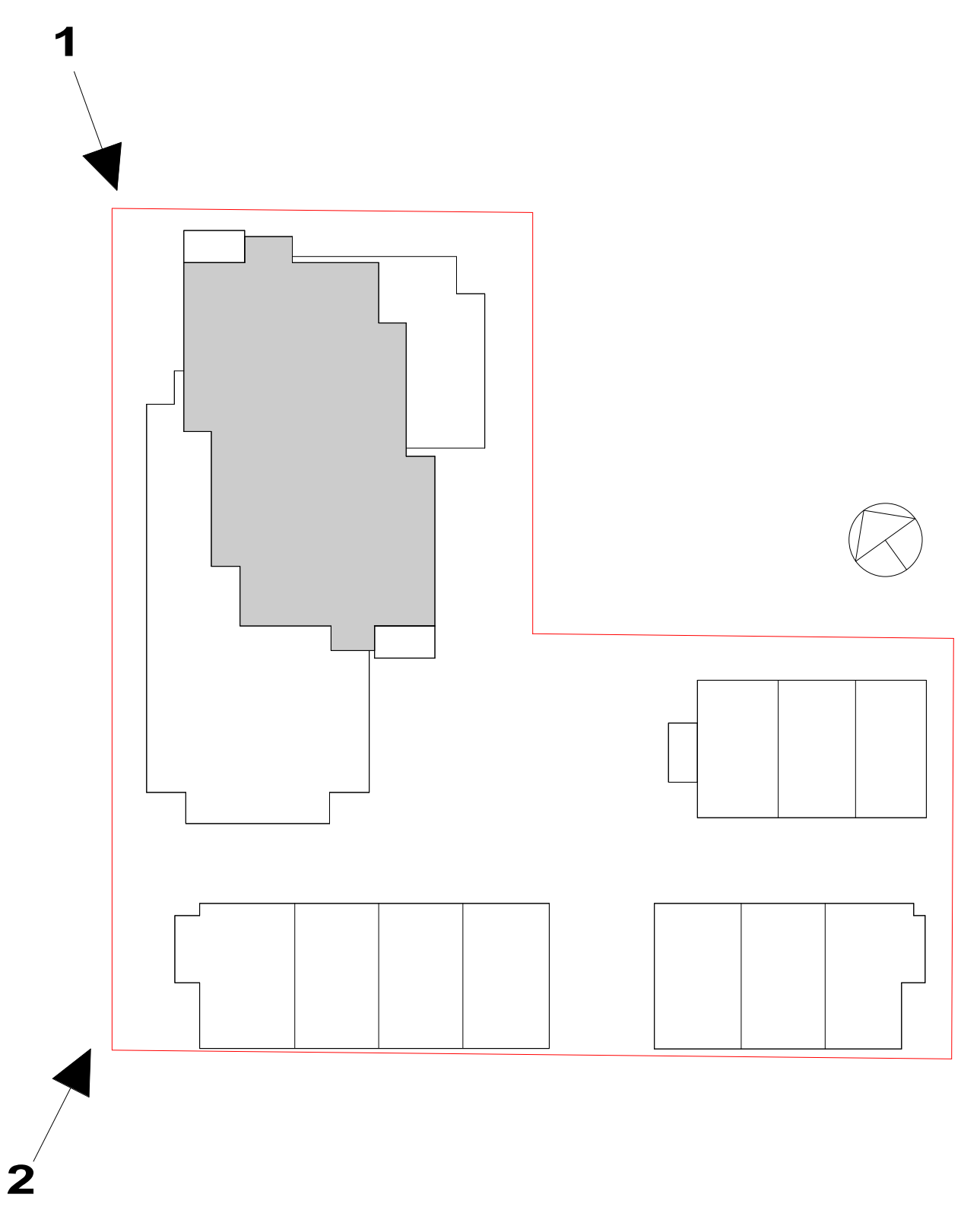
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2 Rendered Context View
NTS



rev no	description	date
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Context Views

project no.	#21-18
scale	As indicated
drawn by	CF
date issued	12/04/22
sheet no.	A0.1

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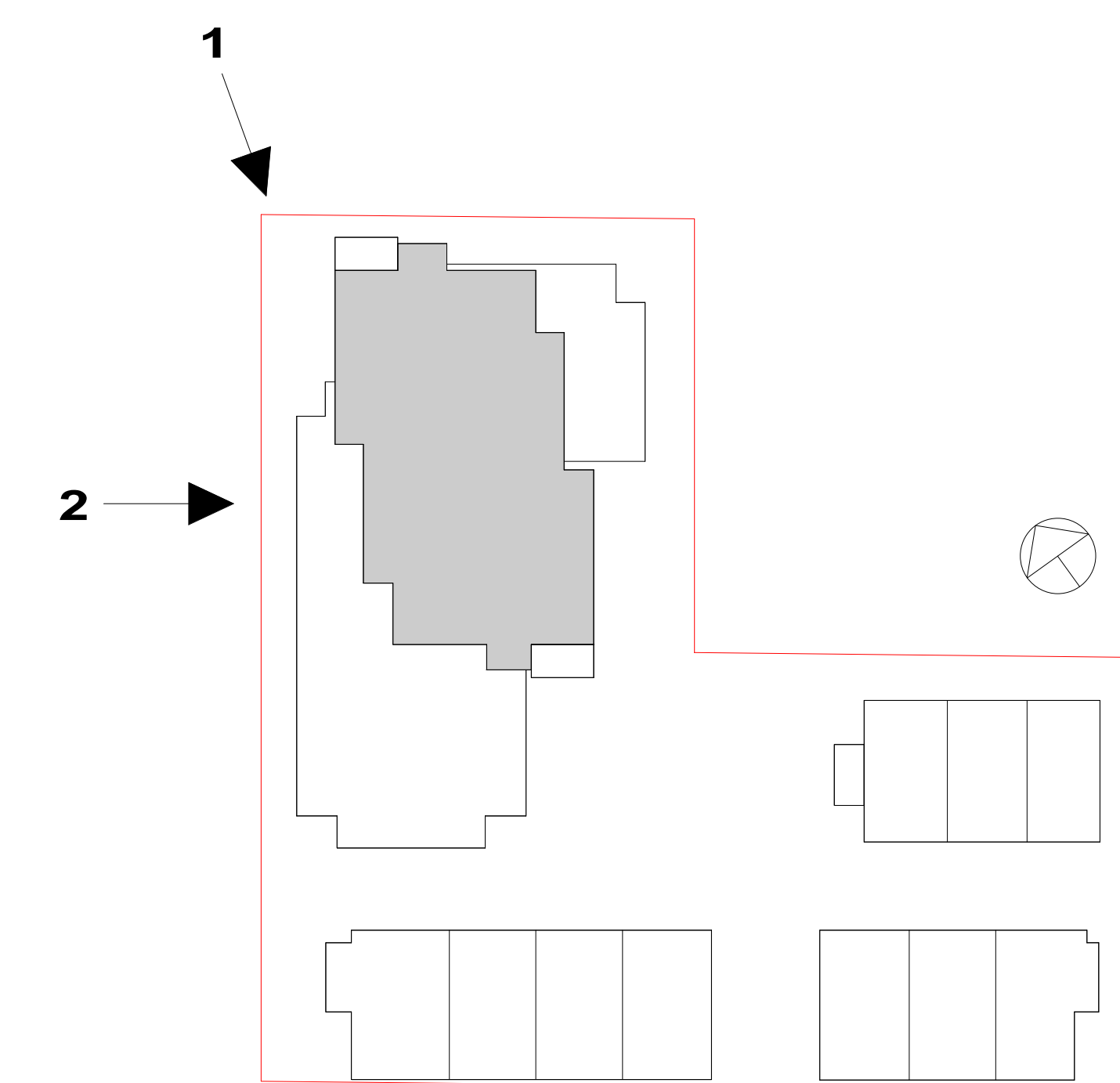
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1 Rendred Context View
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2 Montreal Entry Render
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project name
Montreal and Quebec
205 Quebec Street
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sheet title
Context Views

project no. #21-18
scale As indicated
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date issued 12/04/22
sheet no. **A0.2**

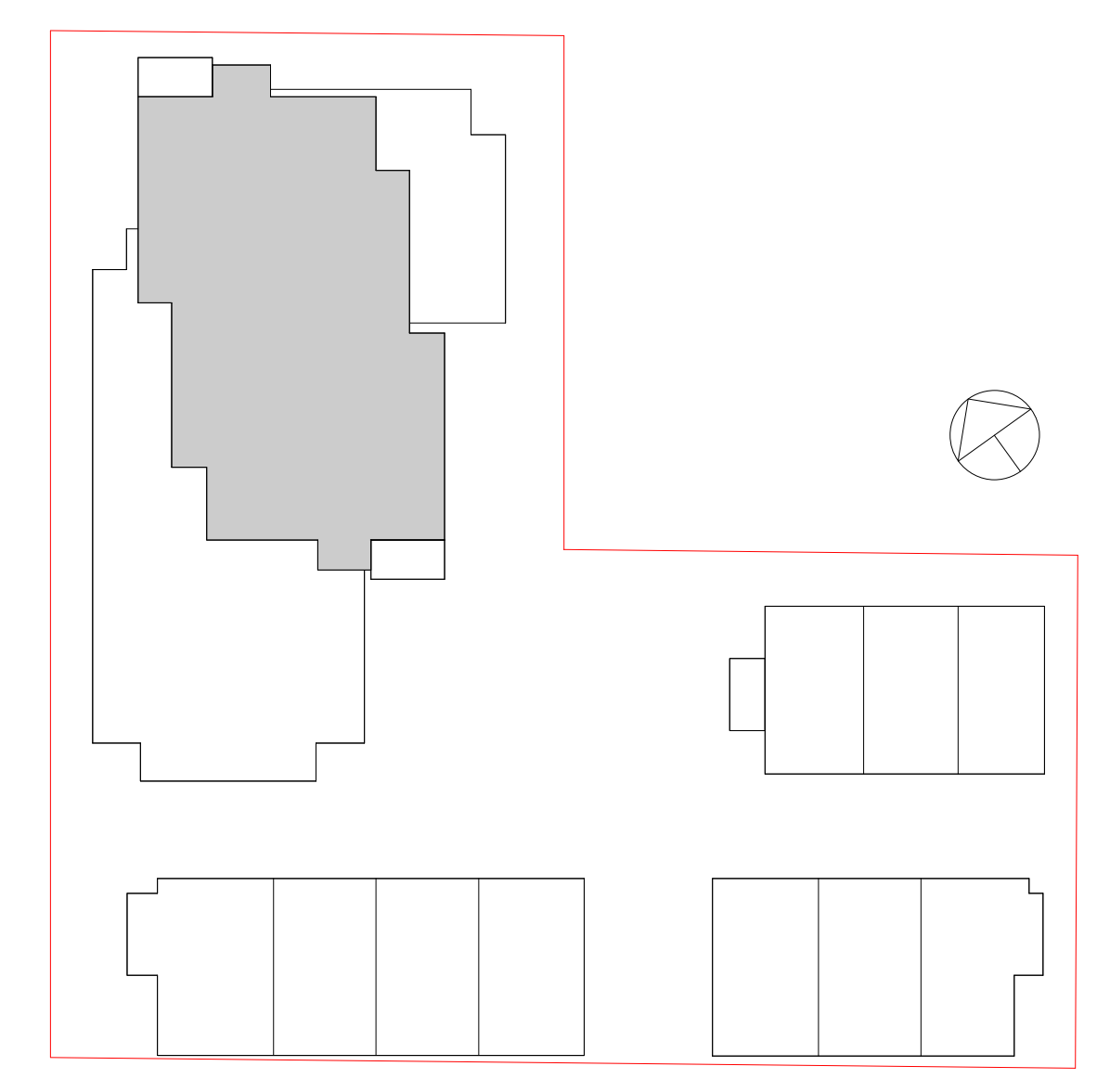
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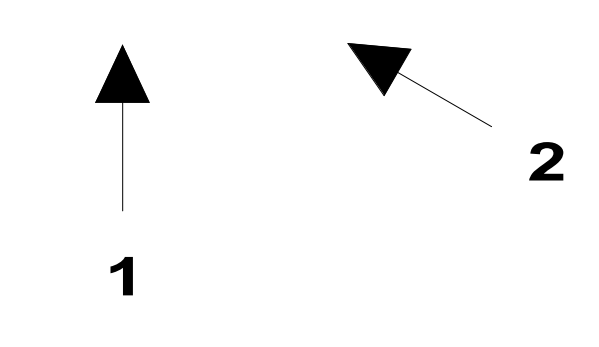
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1 Rendered Context View
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Rezonning DP Resubmission: 23.04.14	
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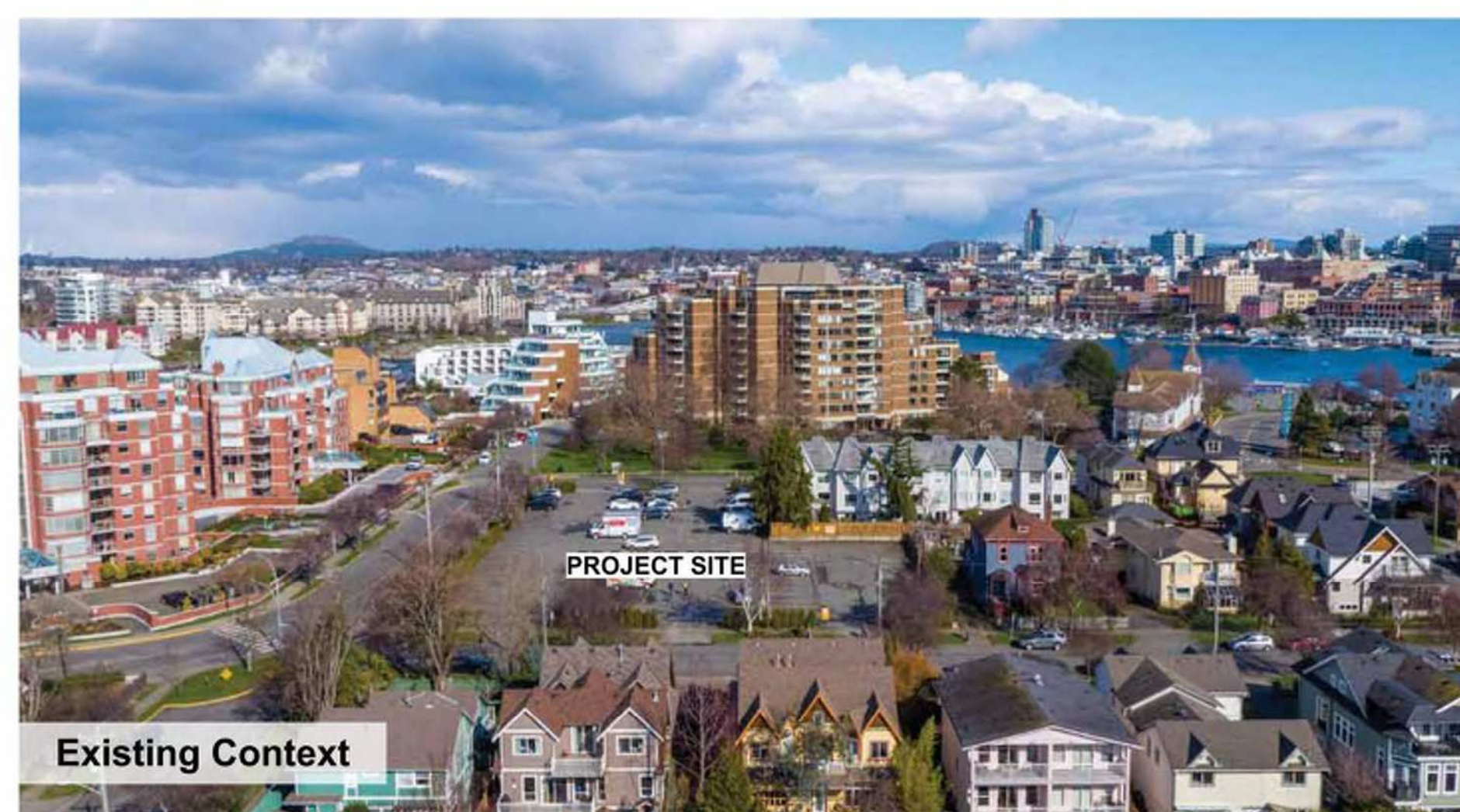
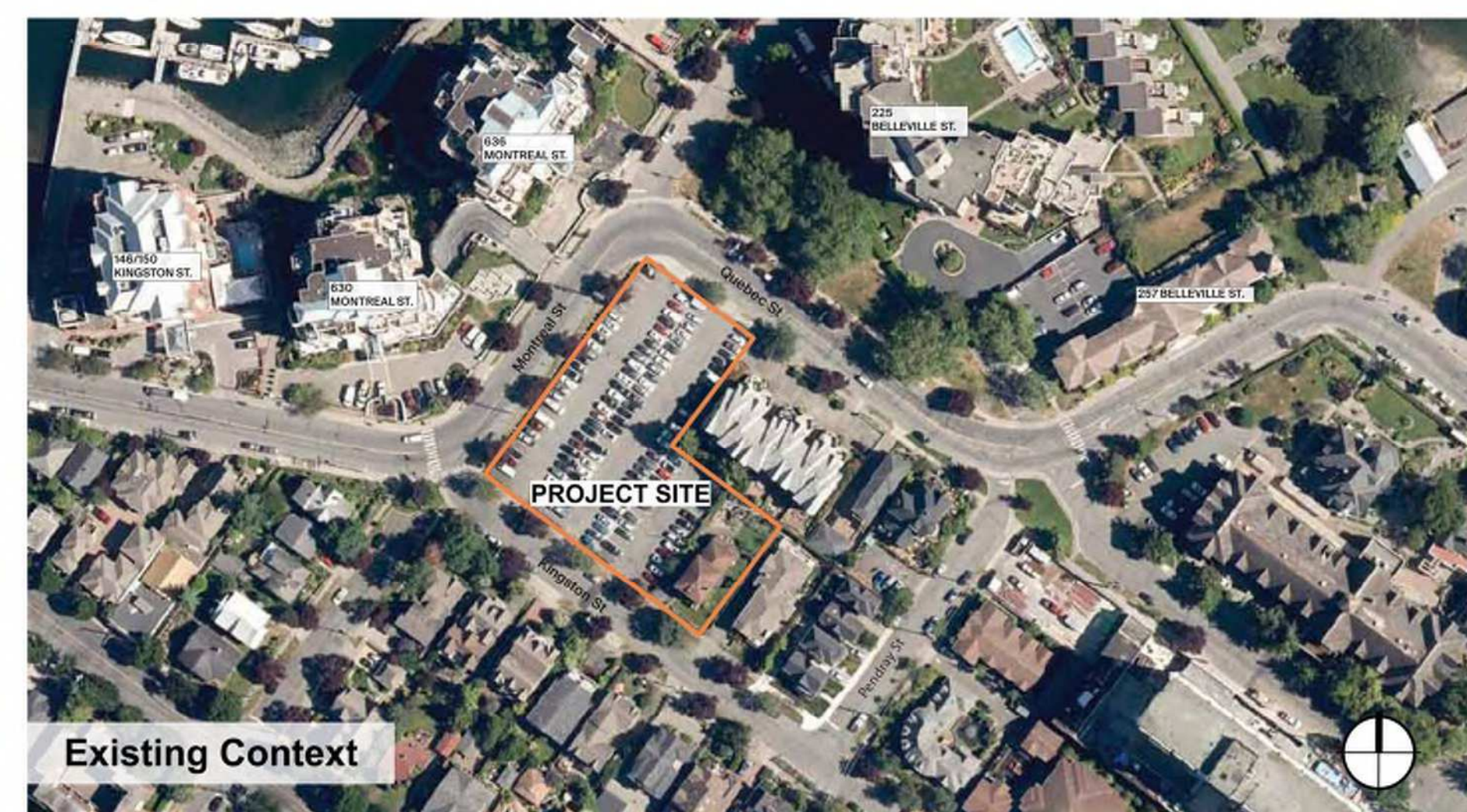
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project name: Montreal and Quebec
 205 Quebec Street
 Victoria, BC
 sheet title: Context Views
 project no: #21-18
 scale: As indicated
 drawn by: CF
 date issued: 12/04/22
 sheet no: A0.3
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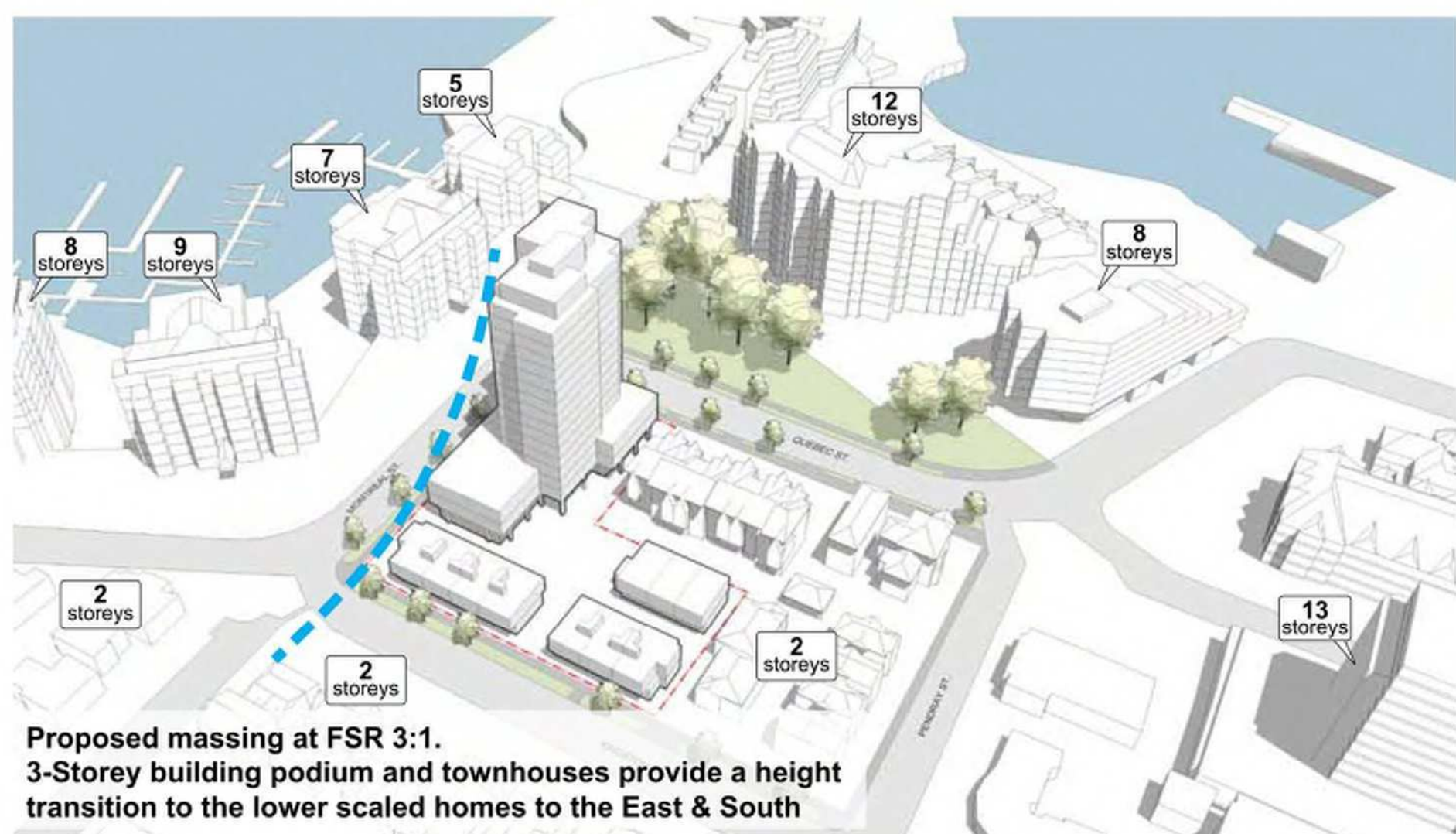
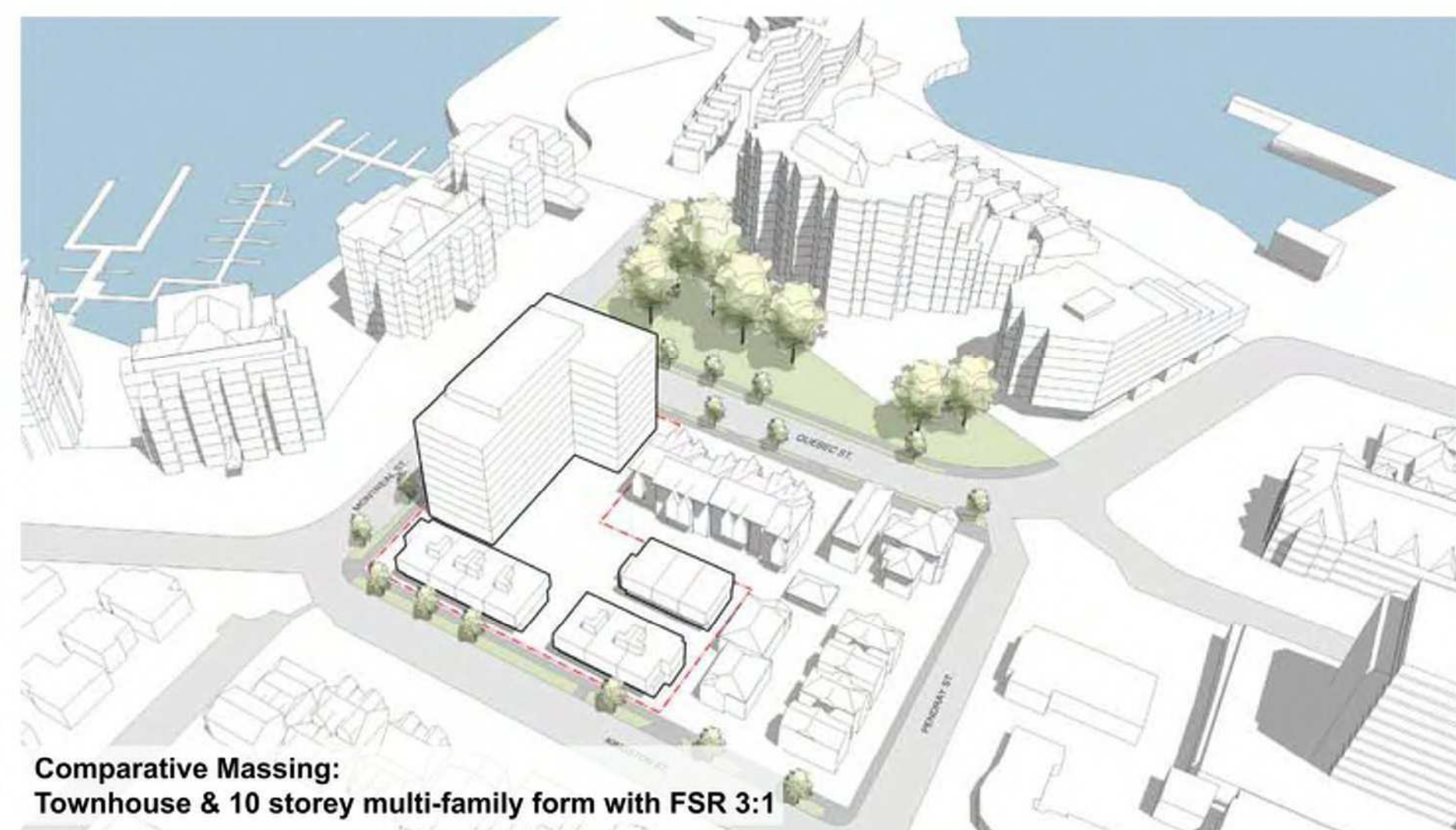
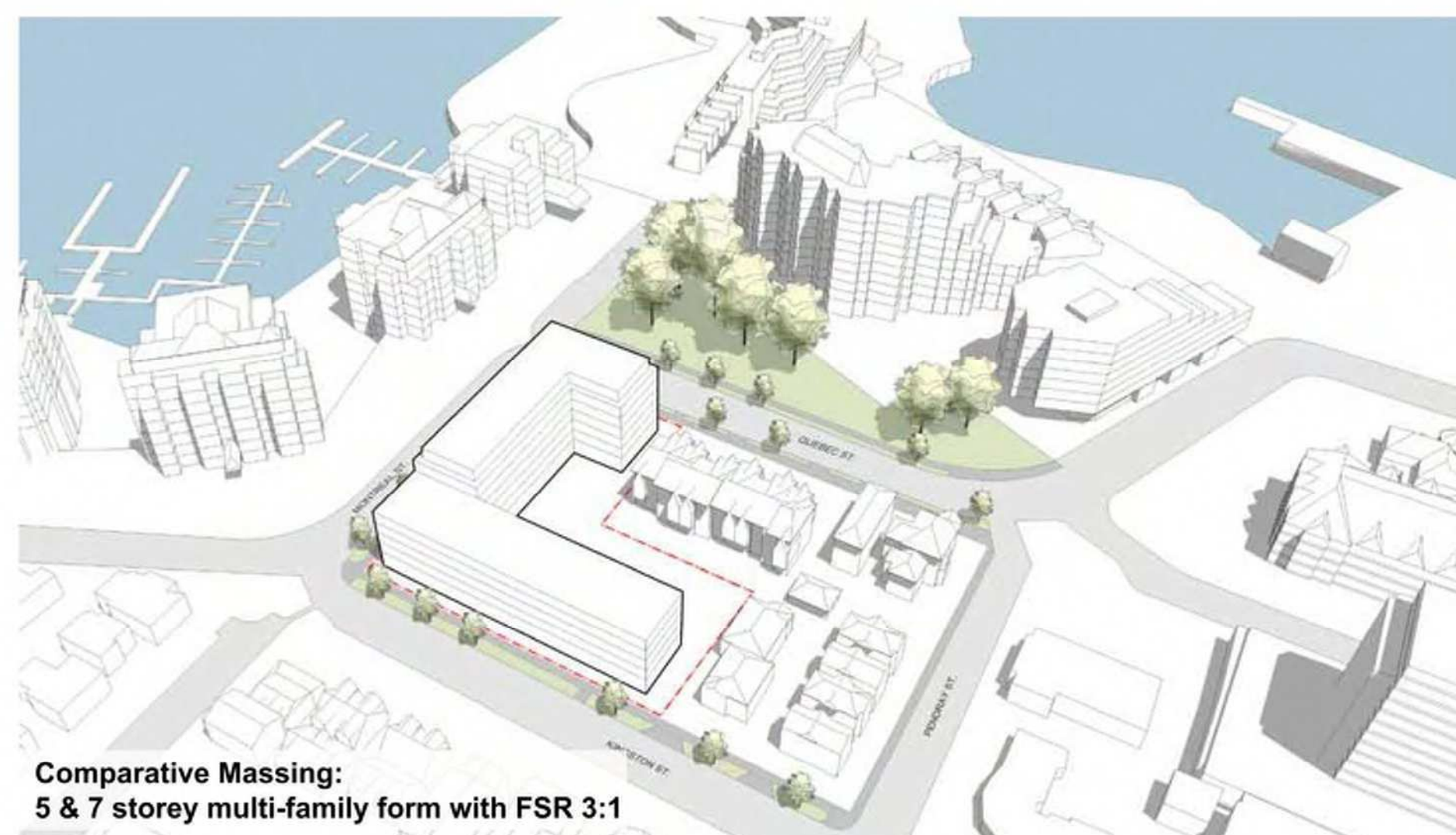
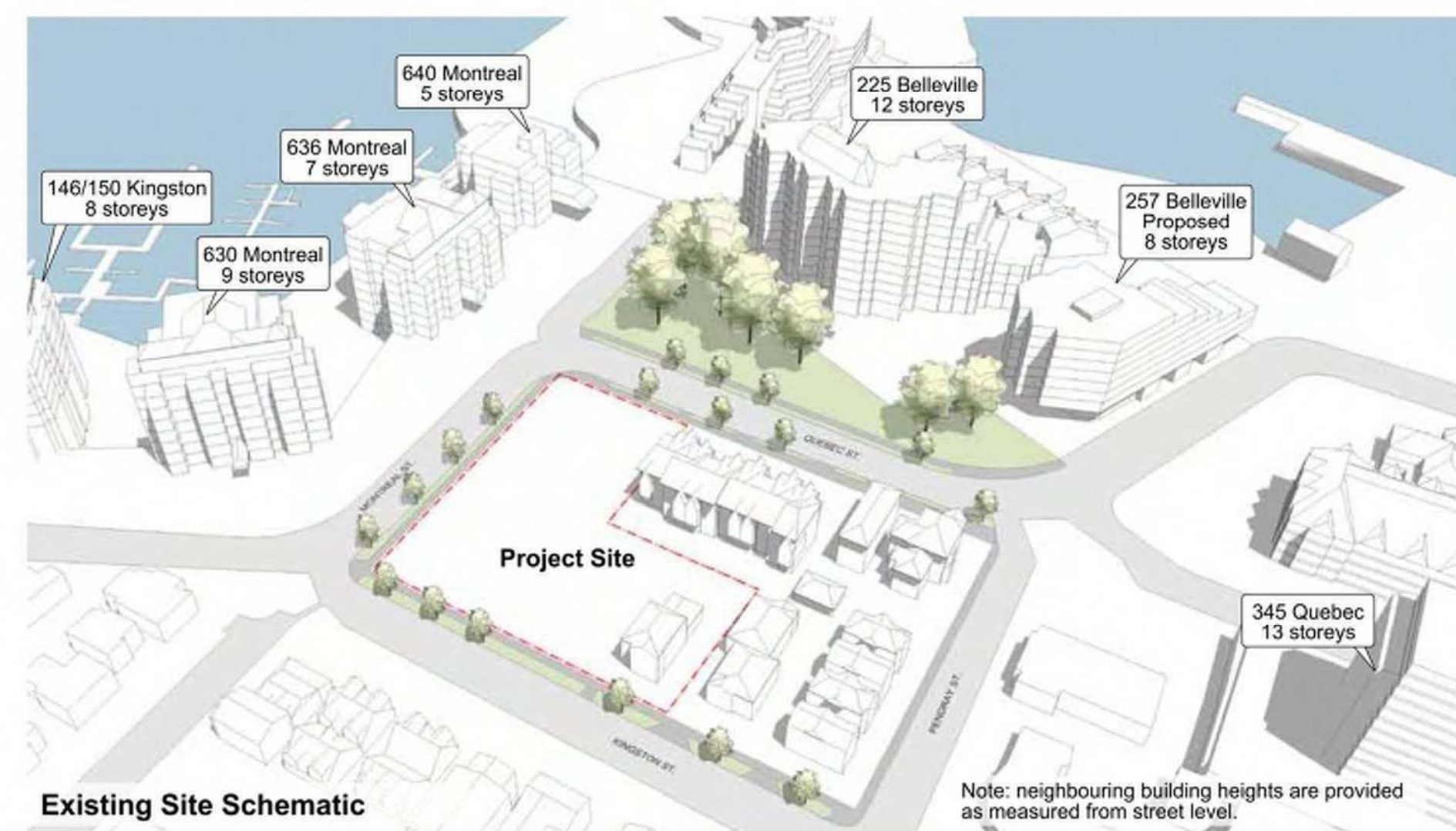


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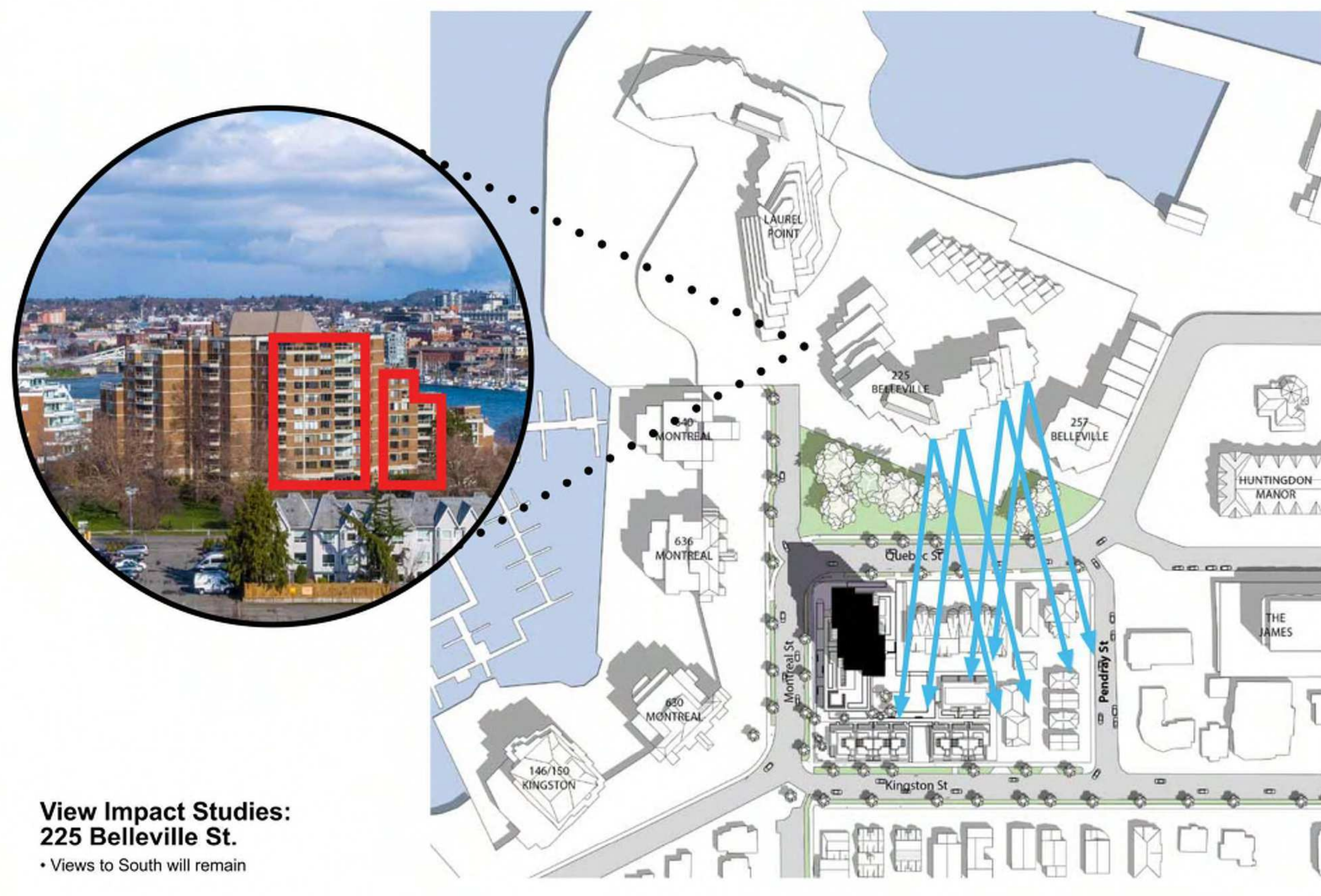
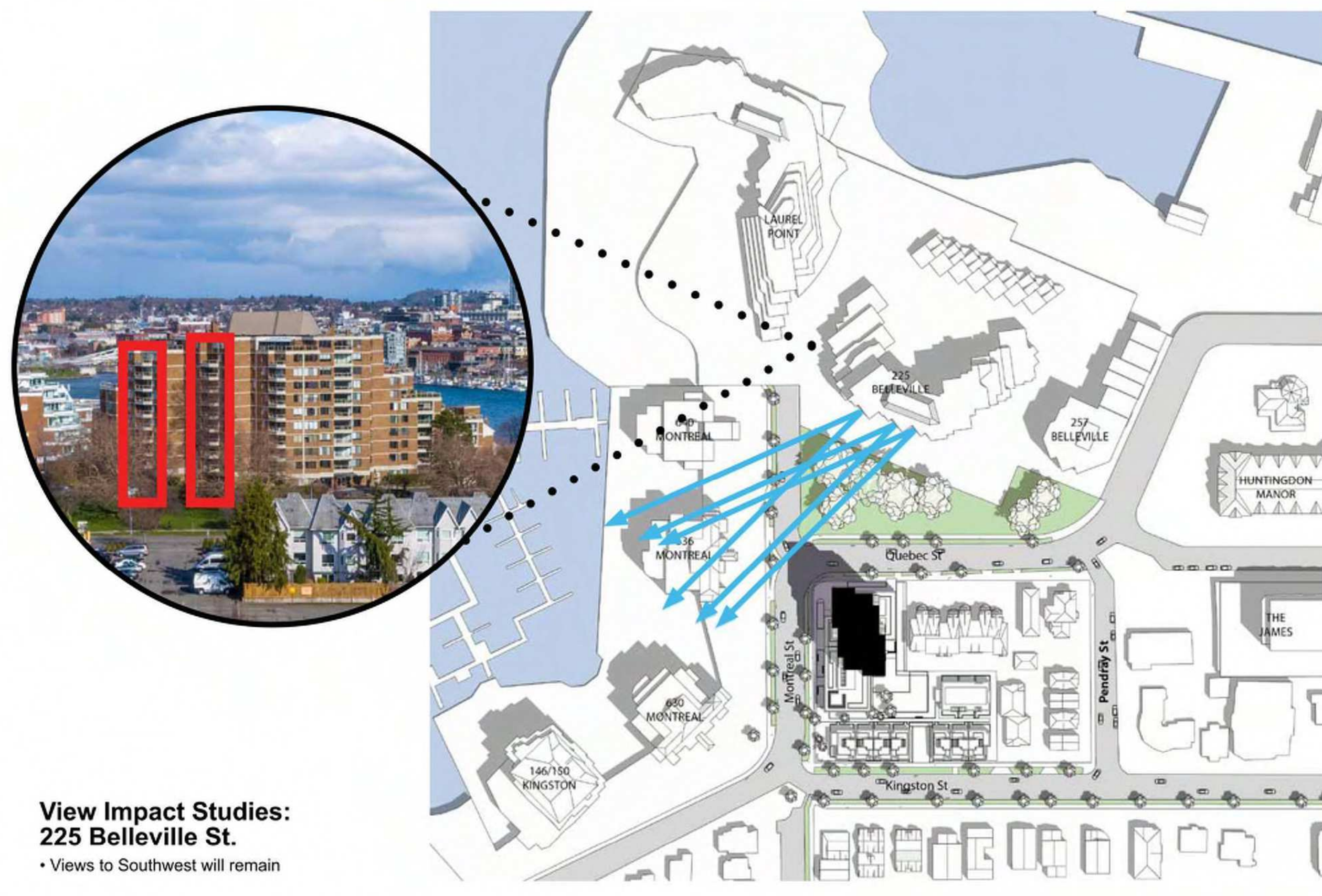
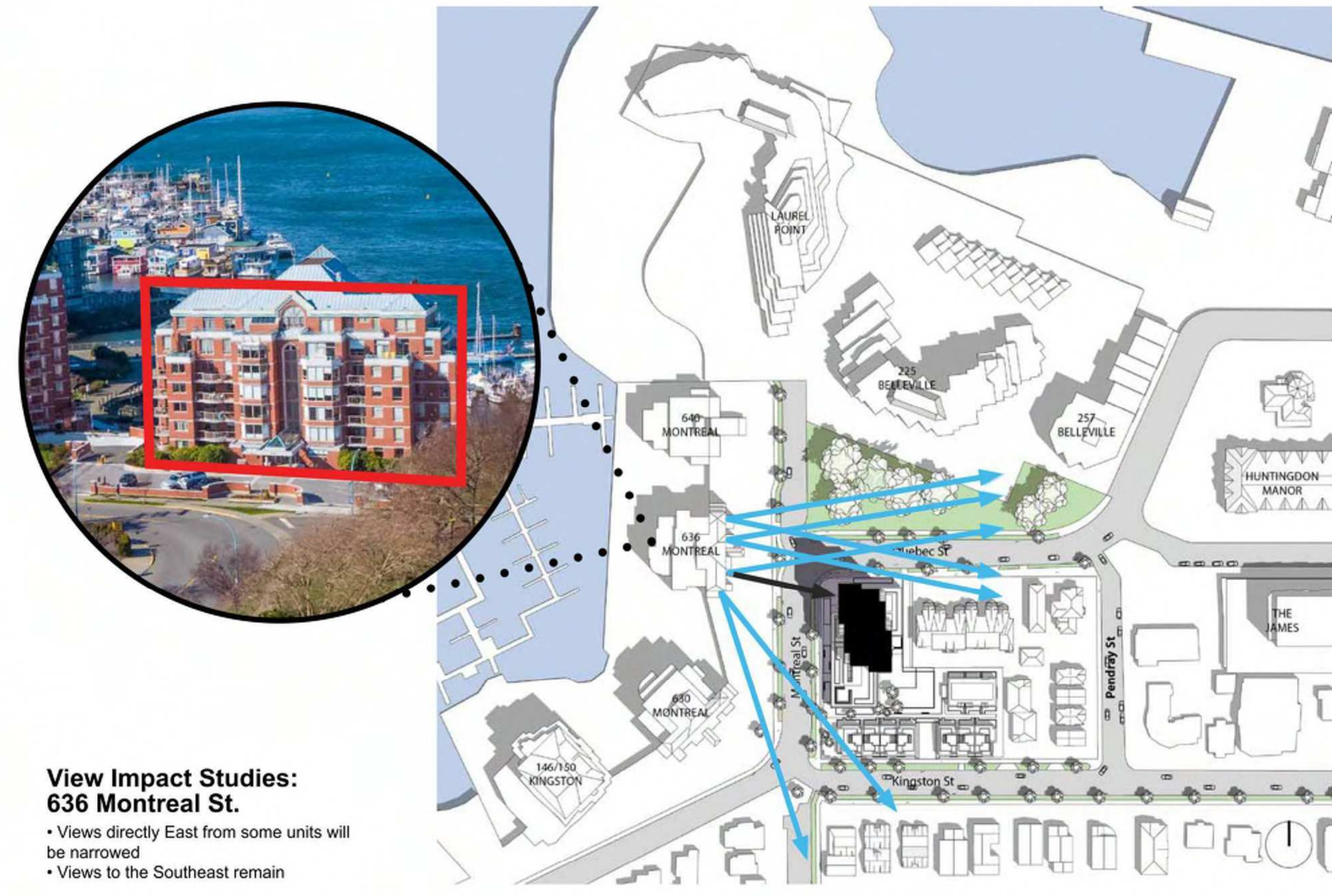
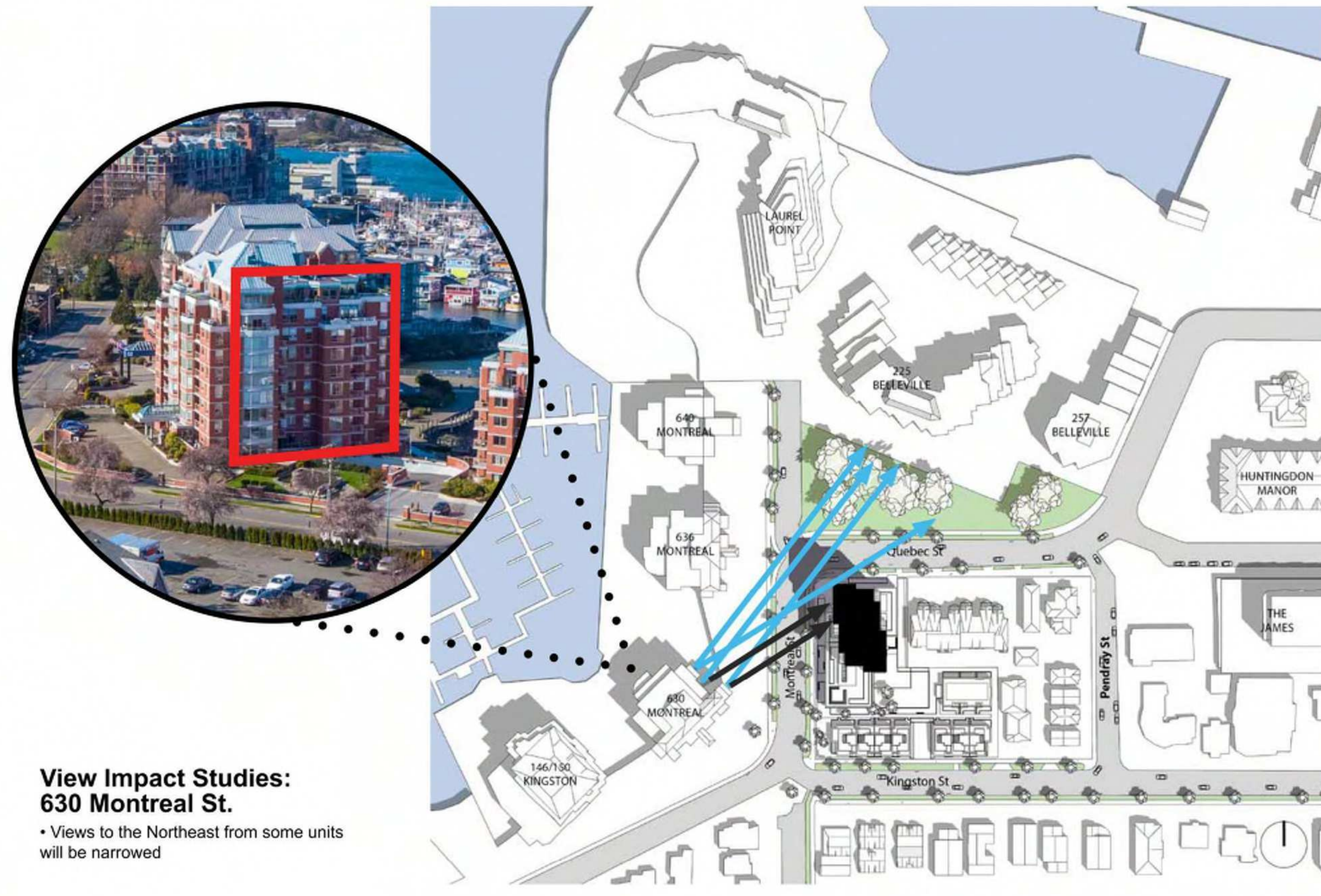
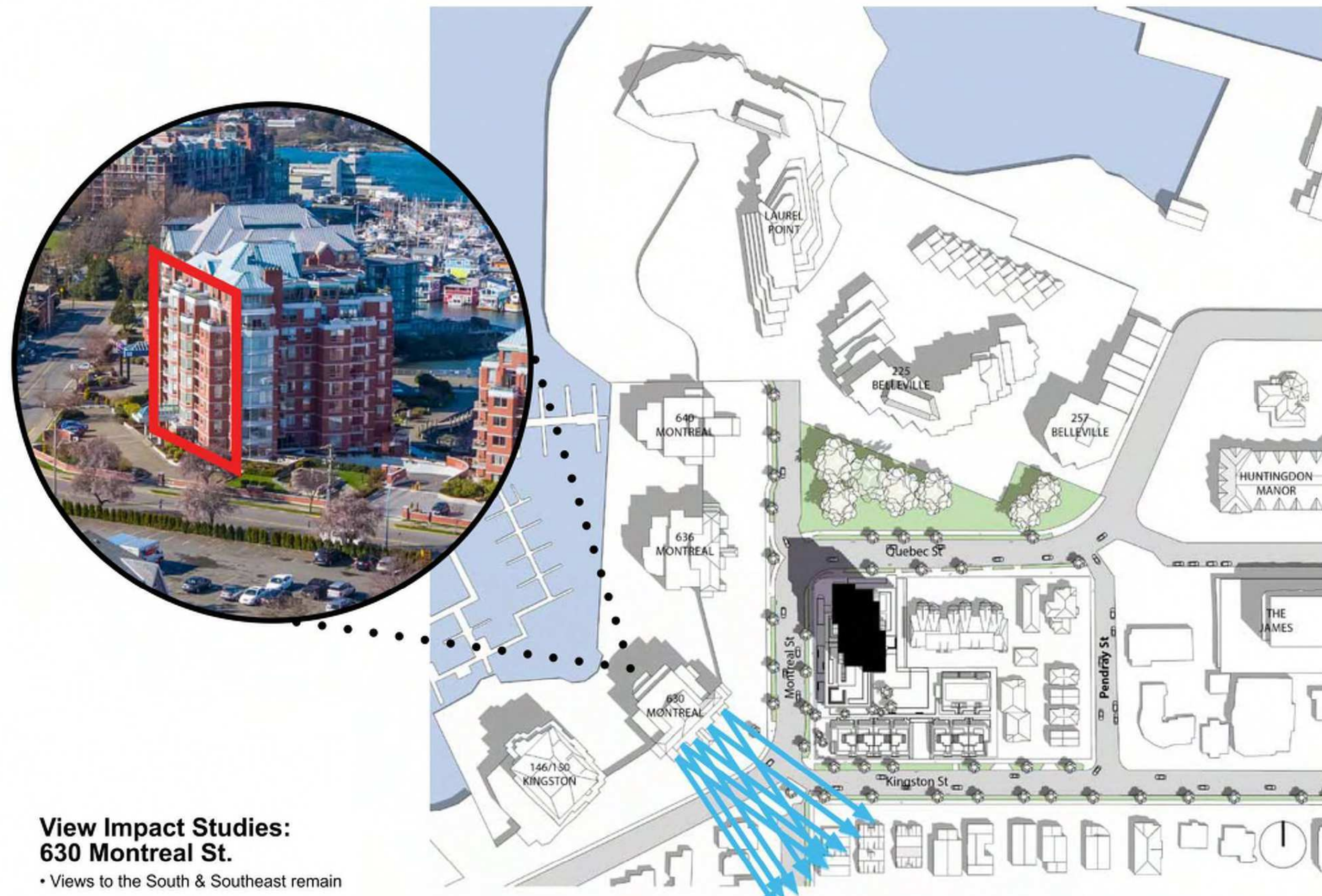
Policy Context



Height Analysis



View Impact Analysis



Revising/CP Resubmission: 22.04.14	
2 Issued for Rezoning / DP: 21.12.15	
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2	date
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205 Quebec Street	
Victoria, BC	
sheet title	
Height & View Analysis	
project no	#21-18
scale	NTS
drawn by	CZ
date issued	sheet no.
12/04/22	A0.4



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Section B - Kingston St. 1 : 300



Section C - Montreal St. 1 : 300

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1	Issued for Dev. Tracker	21.10.19

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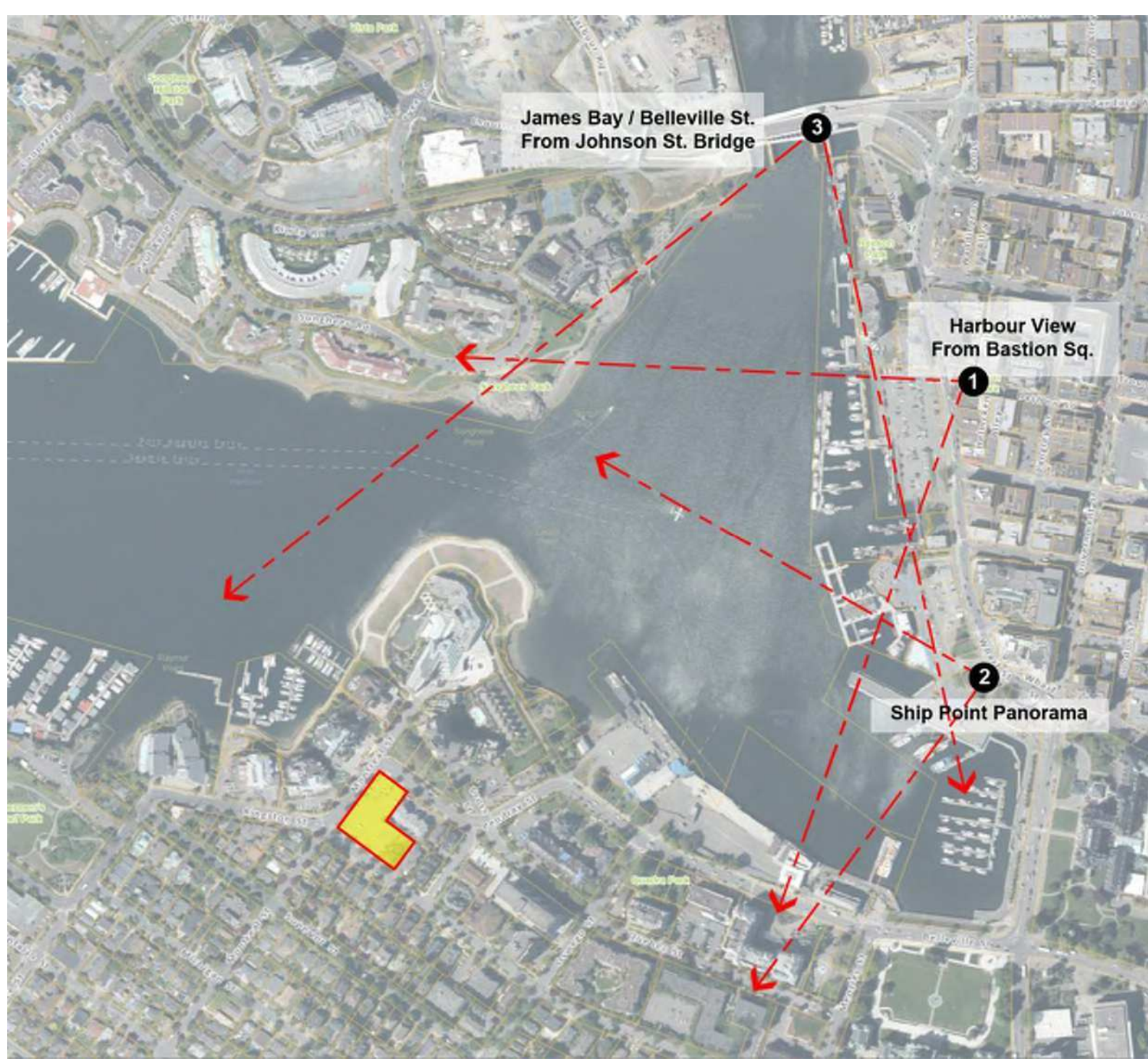
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Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Context Elevations

project no. #21-18
scale 1:300
drawn by CF
date issued 12/04/22
sheet no. **A0.5**



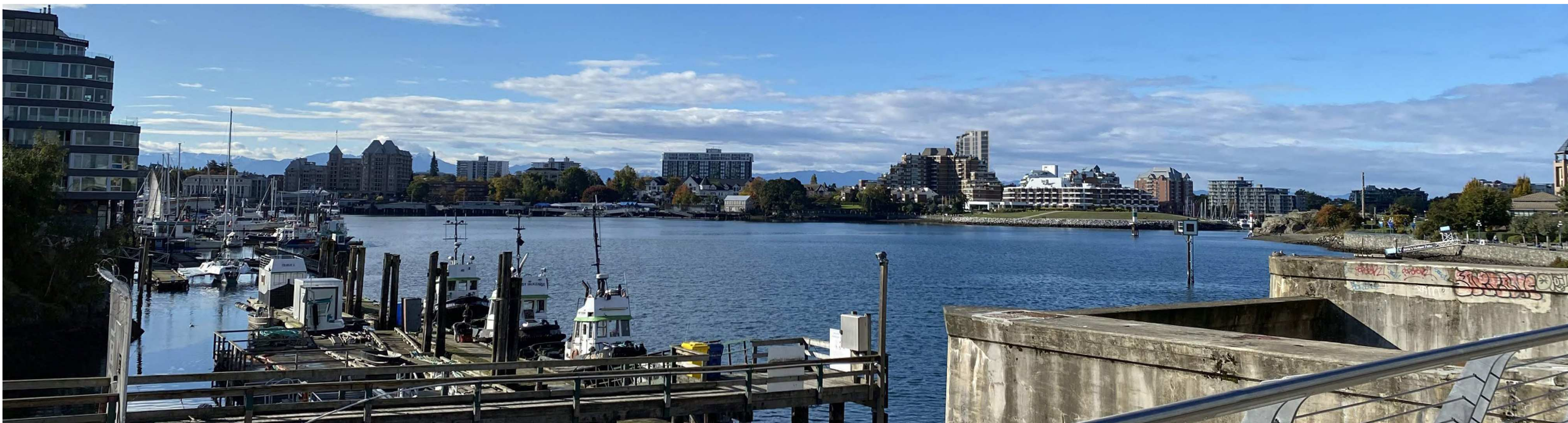
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1. Harbour View from Bastion Square



2. Ship Point Panorama



3. James Bay / Belleville Street from Johnson Street Bridge

rev no	description	date
1	Reasoning / DP Resubmission	22.04.14
2	Issued for Reasoning / DP	21.12.15

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Skyline Analysis

project no. #21-18
scale NTS
drawn by CF
date issued 12/04/22

sheet no. **A0.6**

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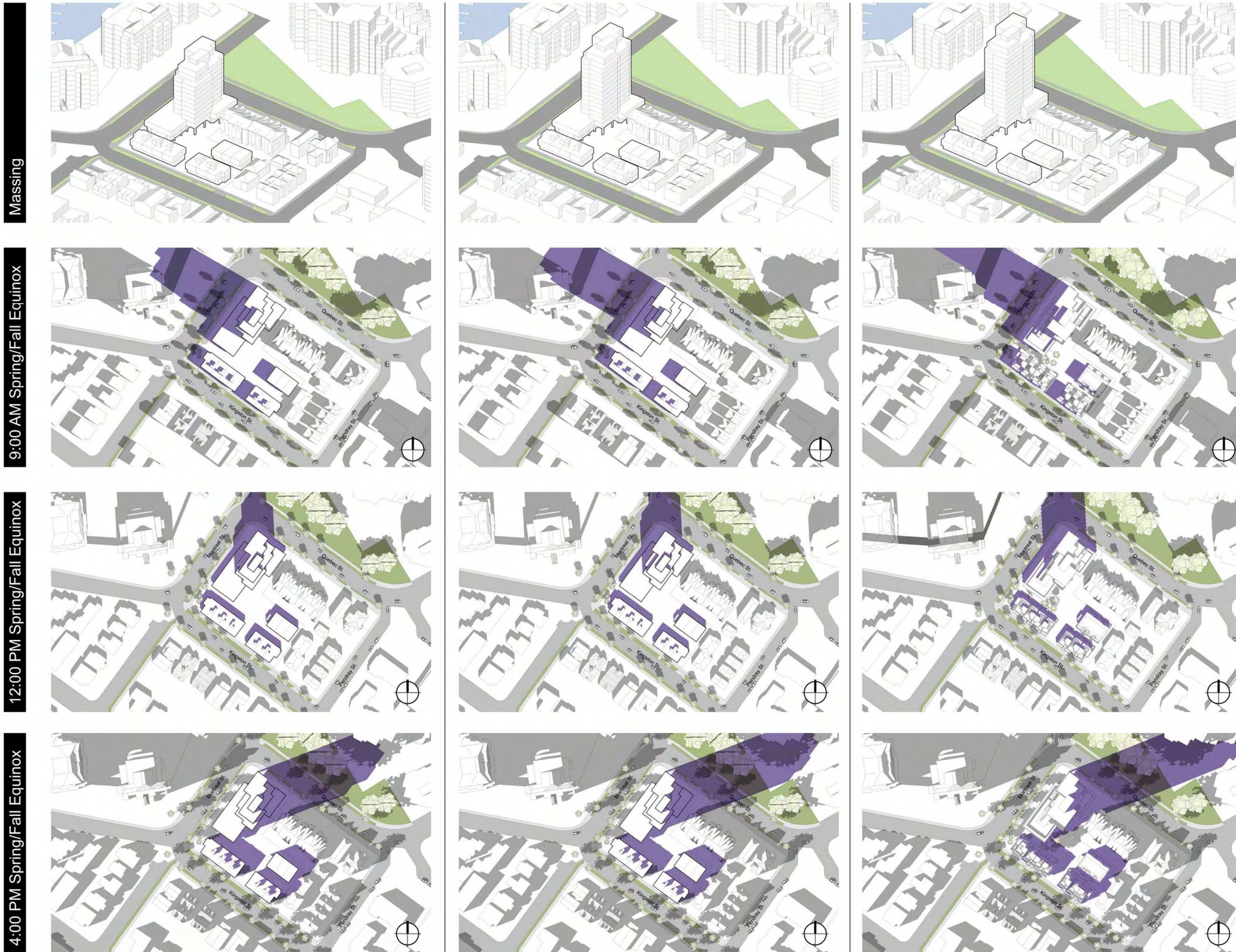


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COMPARATIVE MASSING ANALYSIS SPRING/FALL EQUINOX

Legend

- Shadows from Proposed Building
- Shadows from Existing Buildings



Massing

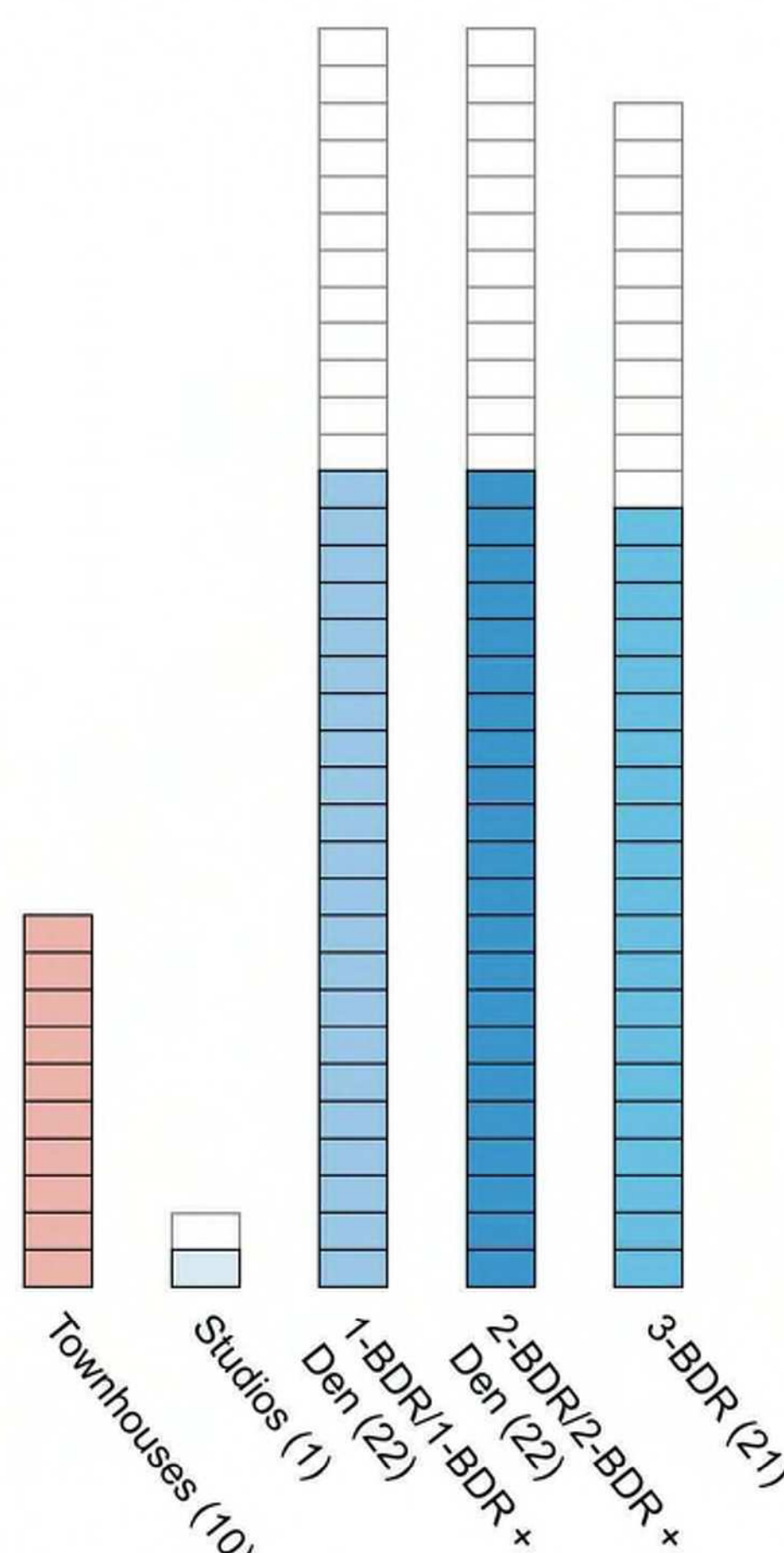
9:00 AM Spring/Fall Equinox

12:00 PM Spring/Fall Equinox

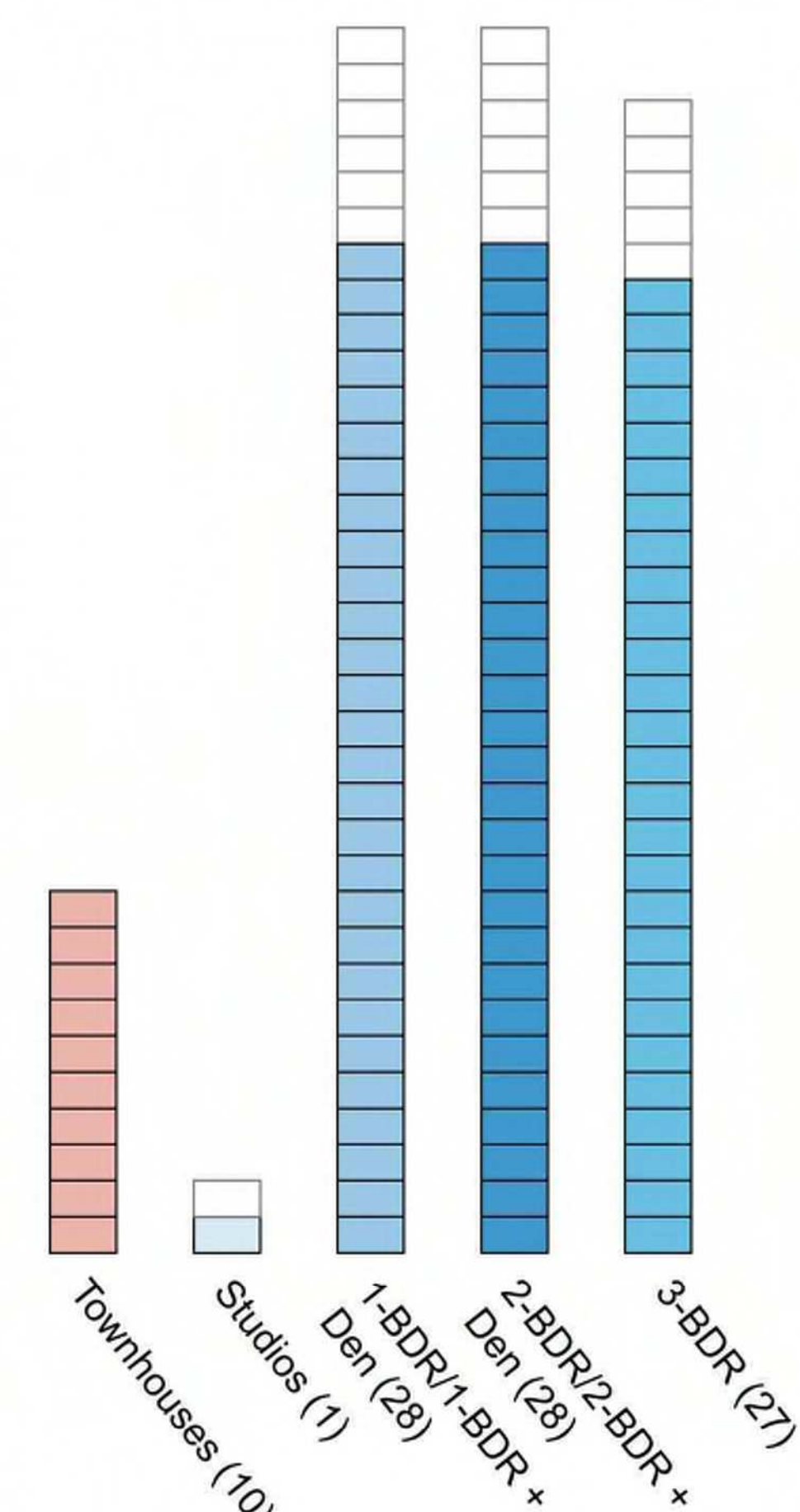
4:00 PM Spring/Fall Equinox

Unit Count Comparison

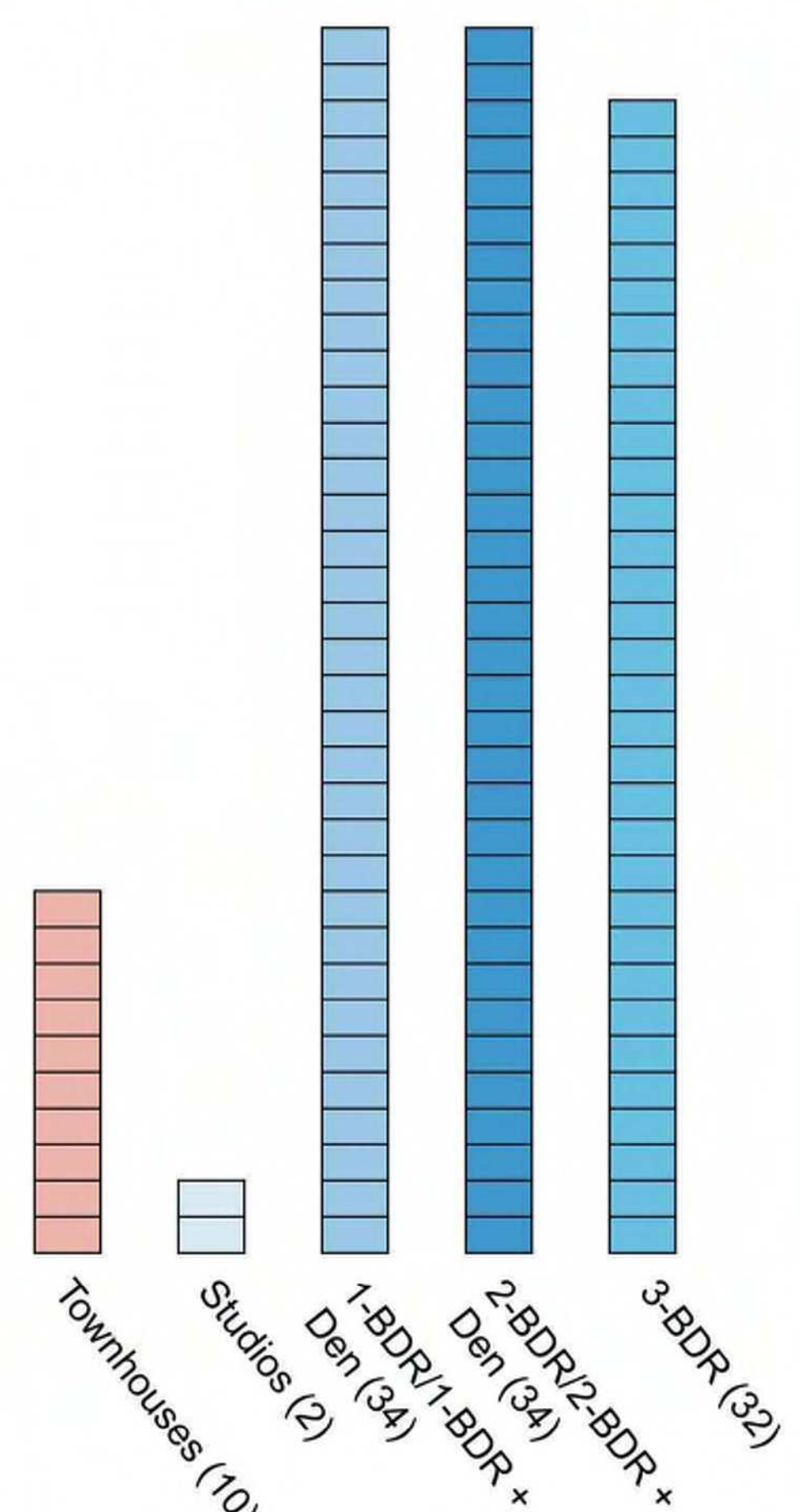
FSR 2:1 Comparative Massing
Stores: 12 total including 2 storey base;
2 storey townhouses + roof decks.
Total Units: 76



FSR 2.5:1 Comparative Massing
Stores: 15 total including 2 storey base;
2 storey townhouses + roof decks.
Total Units: 94



FSR 3:1 Proposed Massing
Stores: 17 total including 3 storey base;
2 storey townhouses + roof decks.
Total Units: 112



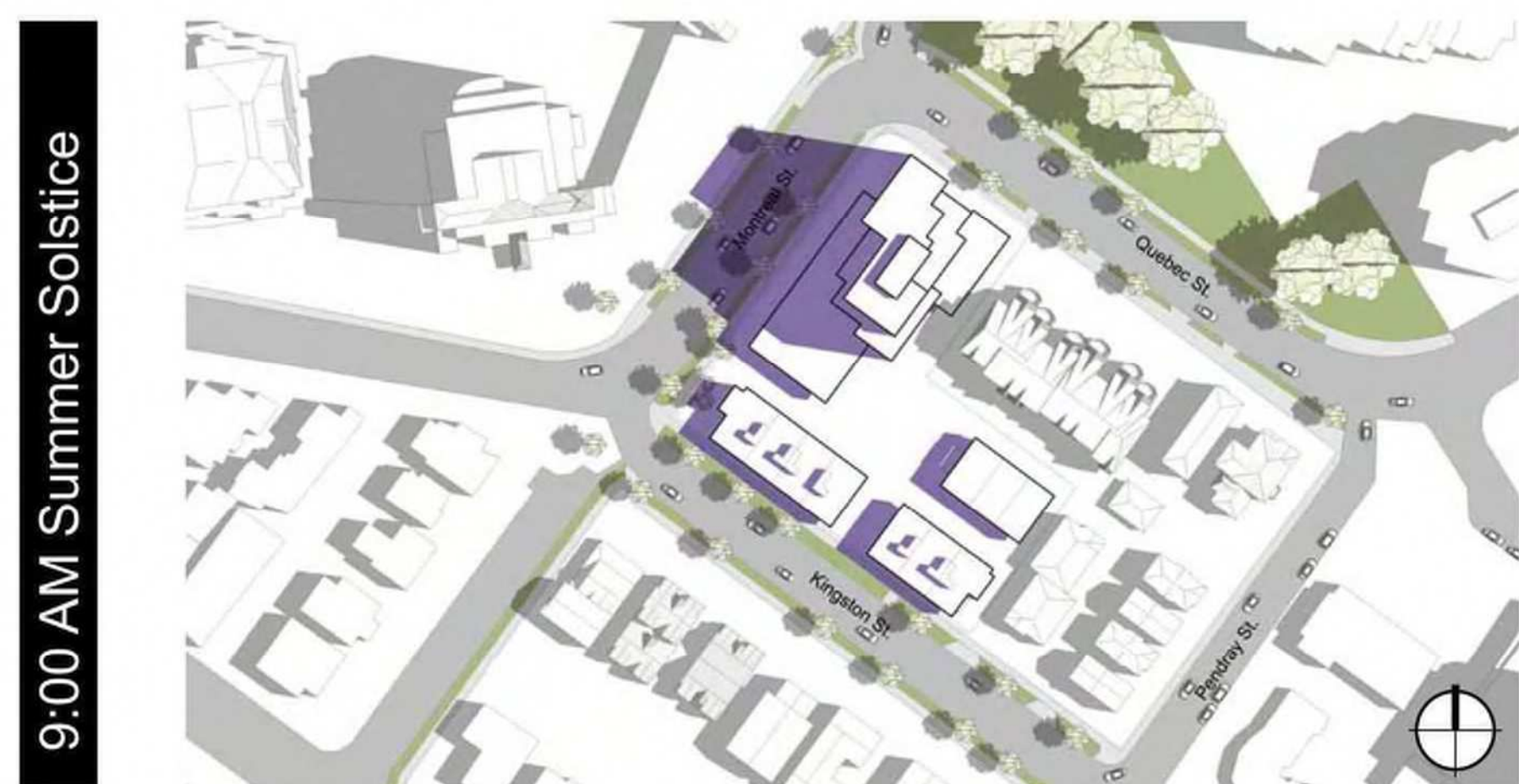
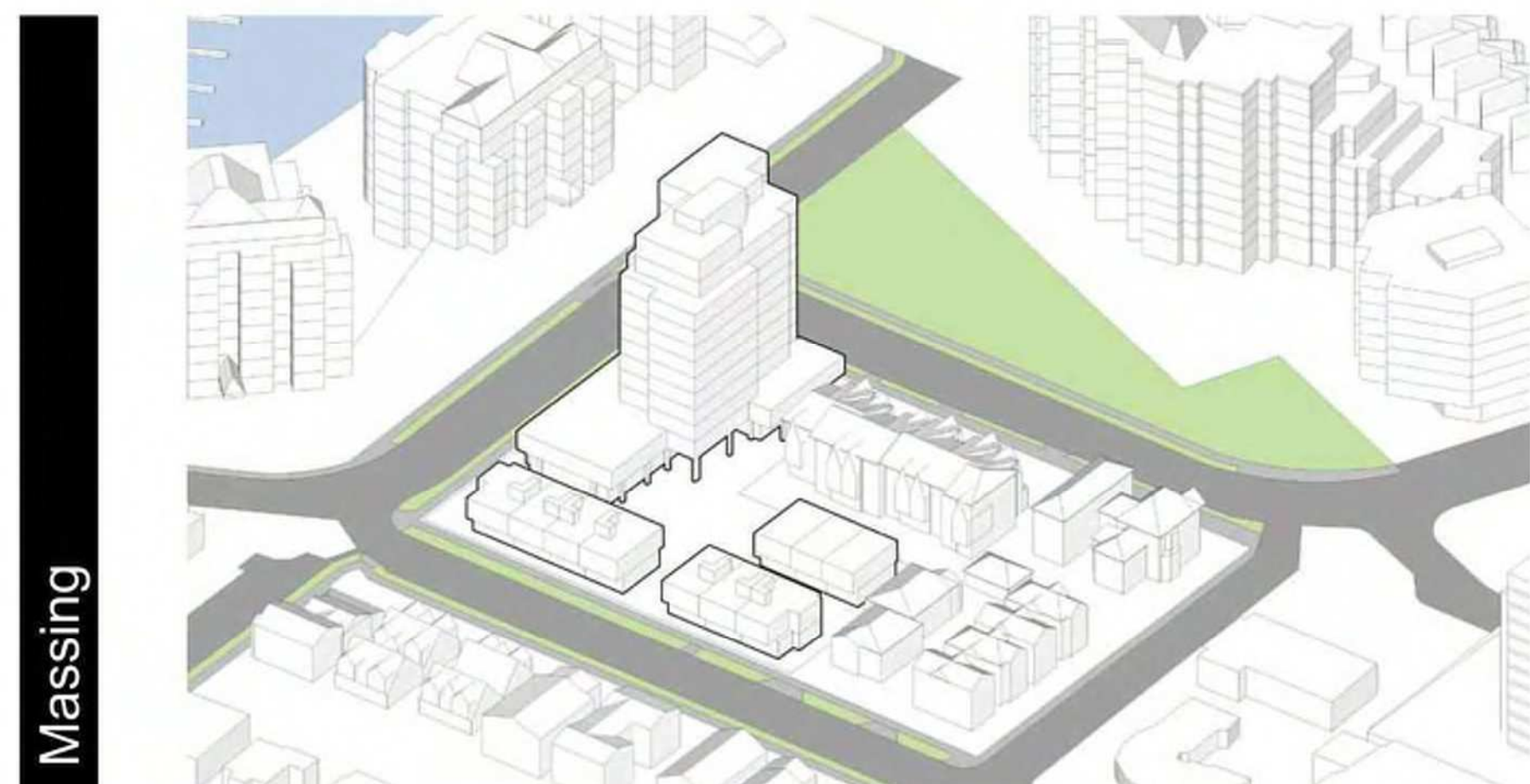


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COMPARATIVE MASSING ANALYSIS SUMMER SOLSTICE

Legend

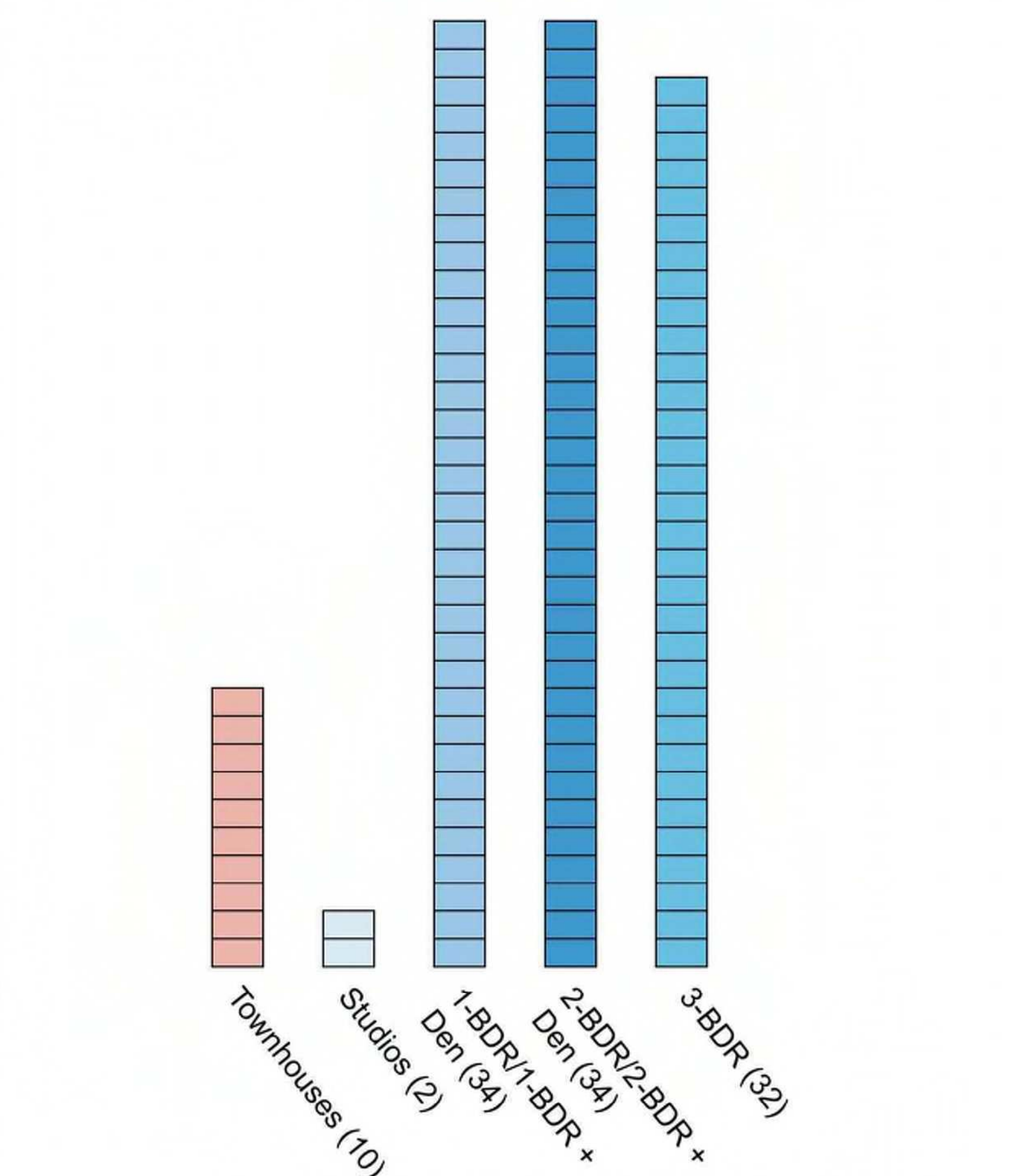
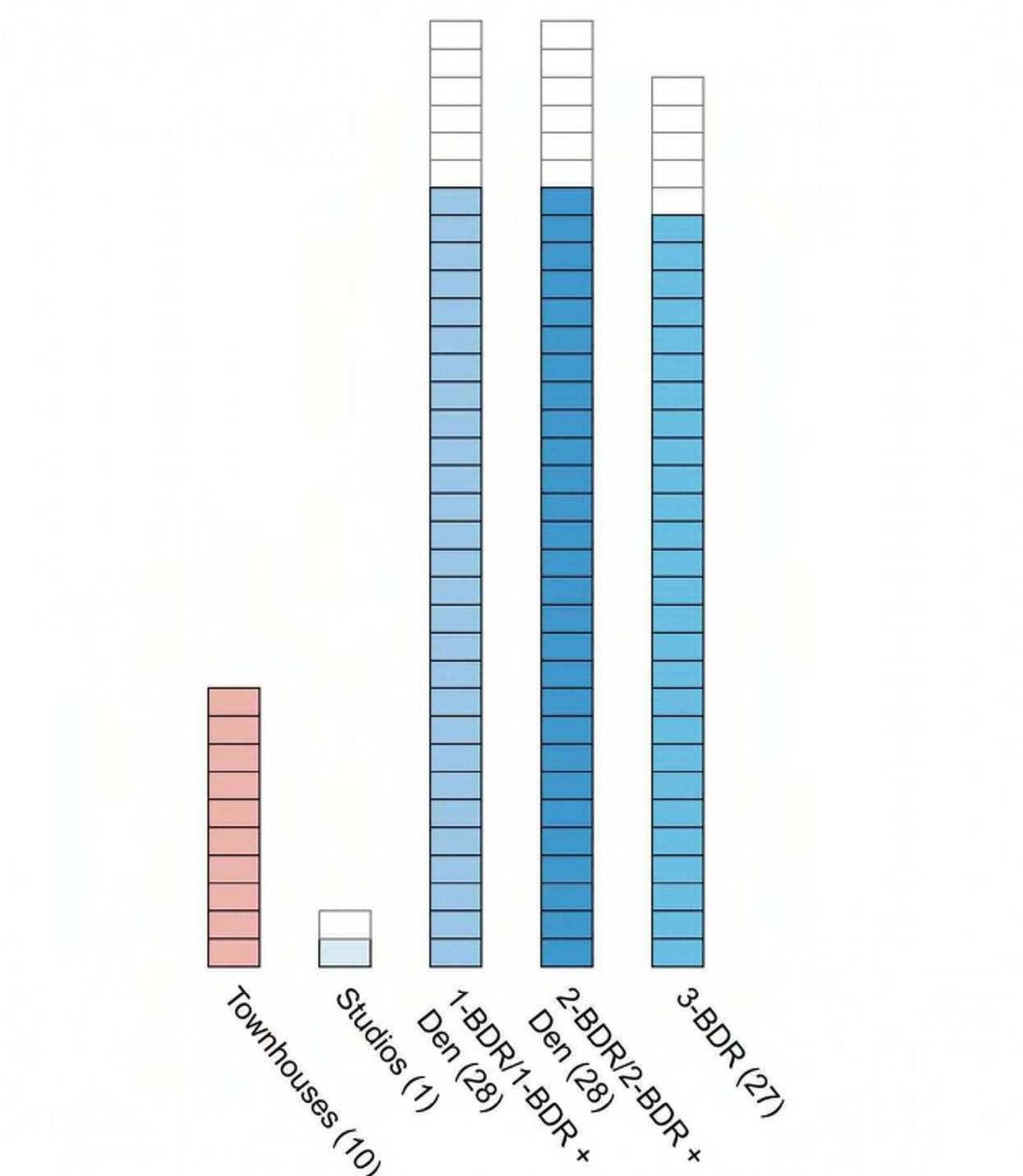
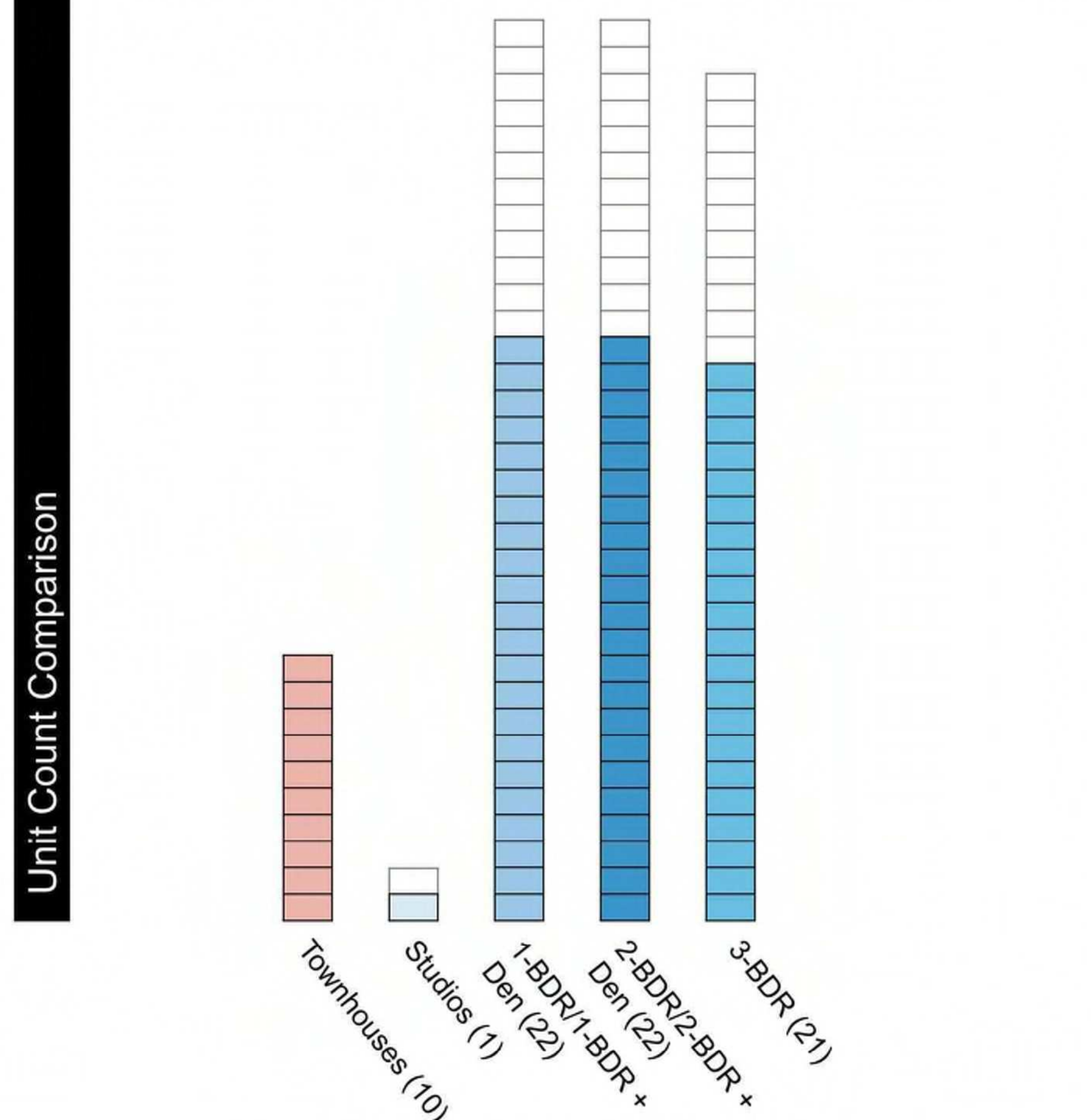
- Shadows from Proposed Building
- Shadows from Existing Buildings



FSR 2:1 Comparative Massing
Stores: 12 total including 2 storey base;
2 storey townhouses + roof decks.
Total Units: 76

FSR 2.5:1 Comparative Massing
Stores: 15 total including 2 storey base;
2 storey townhouses + roof decks.
Total Units: 94

FSR 3:1 Proposed Massing
Stores: 17 total including 3 storey base;
2 storey townhouses + roof decks
Total Units: 112



Rev. no.	22.04.14	date
description		
project name	Montreal and Quebec 205 Quebec Street Victoria, BC	
sheet title	Massing, Sun and Shade Study	
project no.	#21-18	
scale		
drawn by	CZ	
date issued	12/04/22	sheet no.
		A0.8



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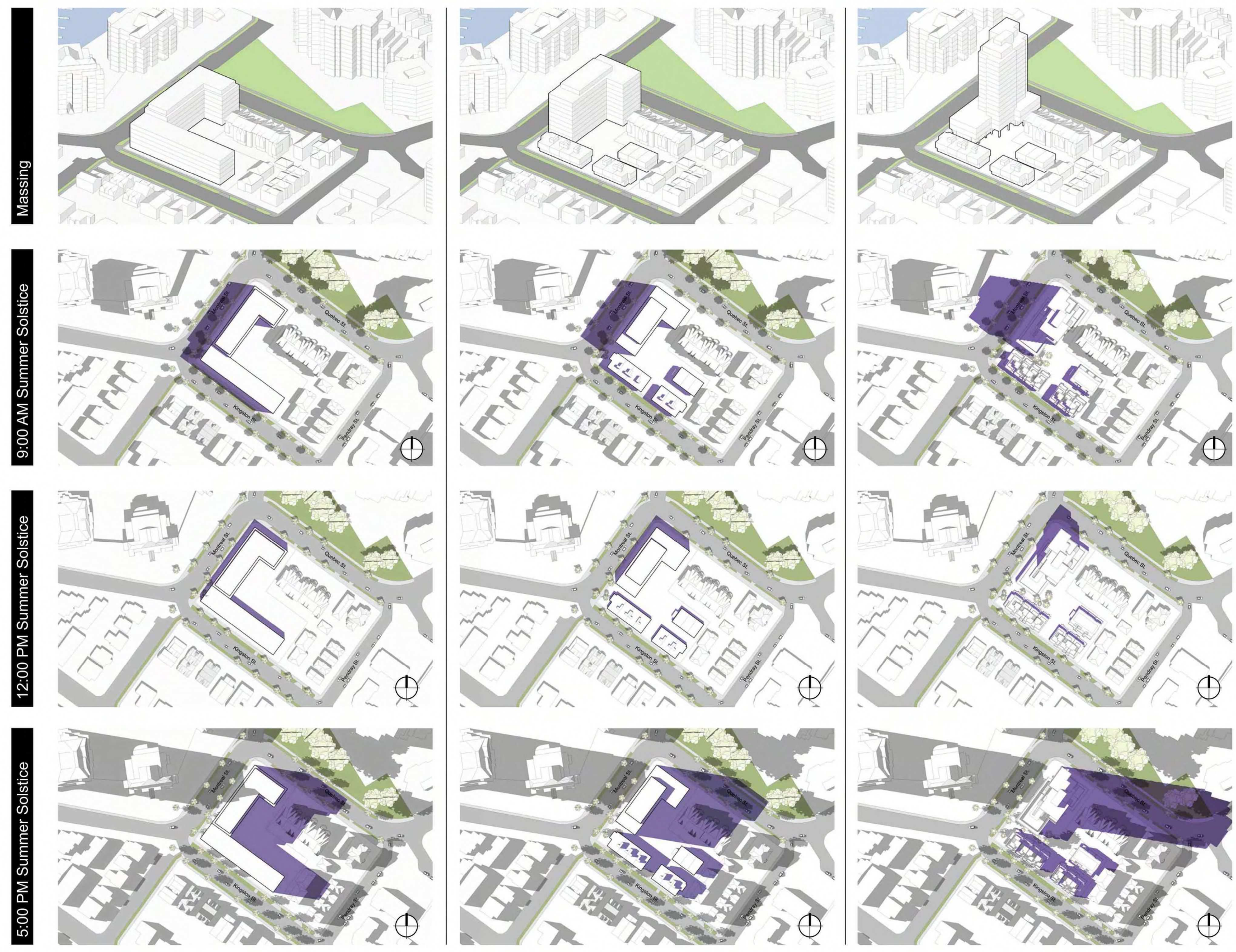
5 & 7 Storey Massing FSR 3.0
Total Units: 101

Townhouse & 10 Storey Massing FSR 3.0
Total Units: 108

Proposed Townhouse & Podium/Tower Massing FSR 3.0
Total Units: 112

COMPARATIVE MASSING ANALYSIS
SUMMER SOLSTICE

Legend
 Shadows from Proposed Building
 Shadows from Existing Buildings



rev no	description	date
1	Re zoning/DP Resubmission	22.04.14

project name
Montreal and Quebec
 205 Quebec Street
 Victoria, BC

sheet title
Massing, Sun and Shade Study

project no. #21-18
 scale
 drawn by CZ
 date issued 04/09/22
 sheet no. **A0.10**

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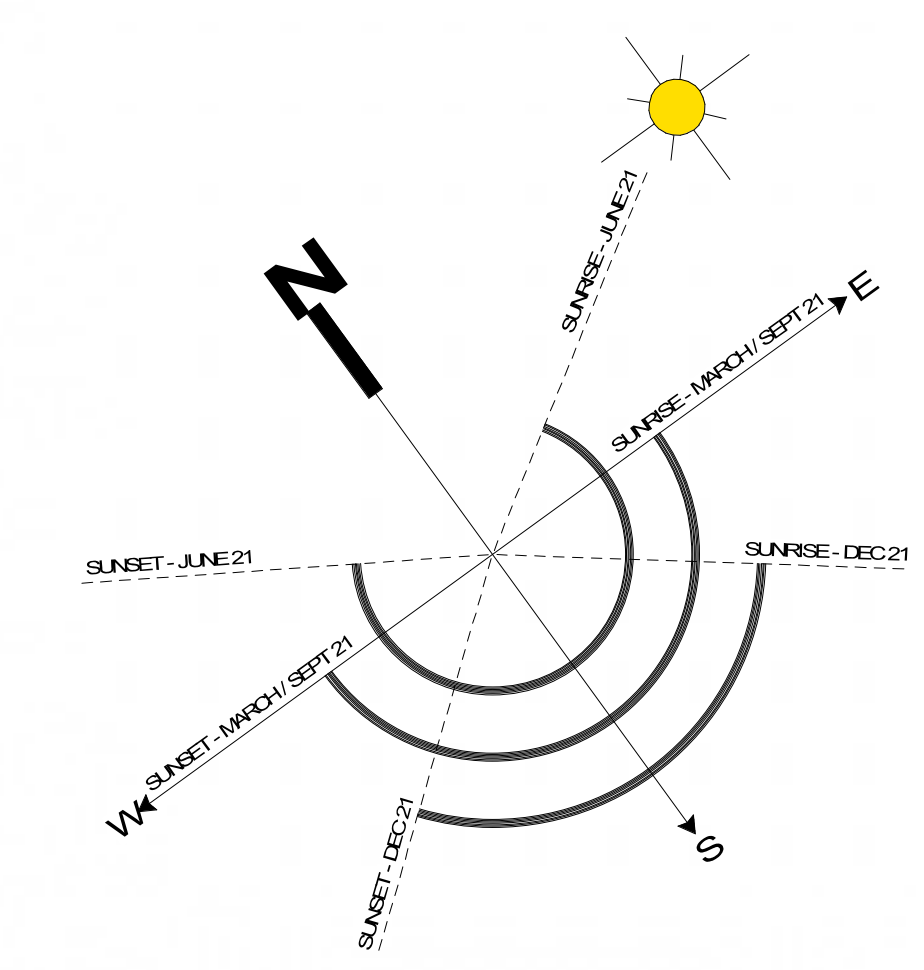
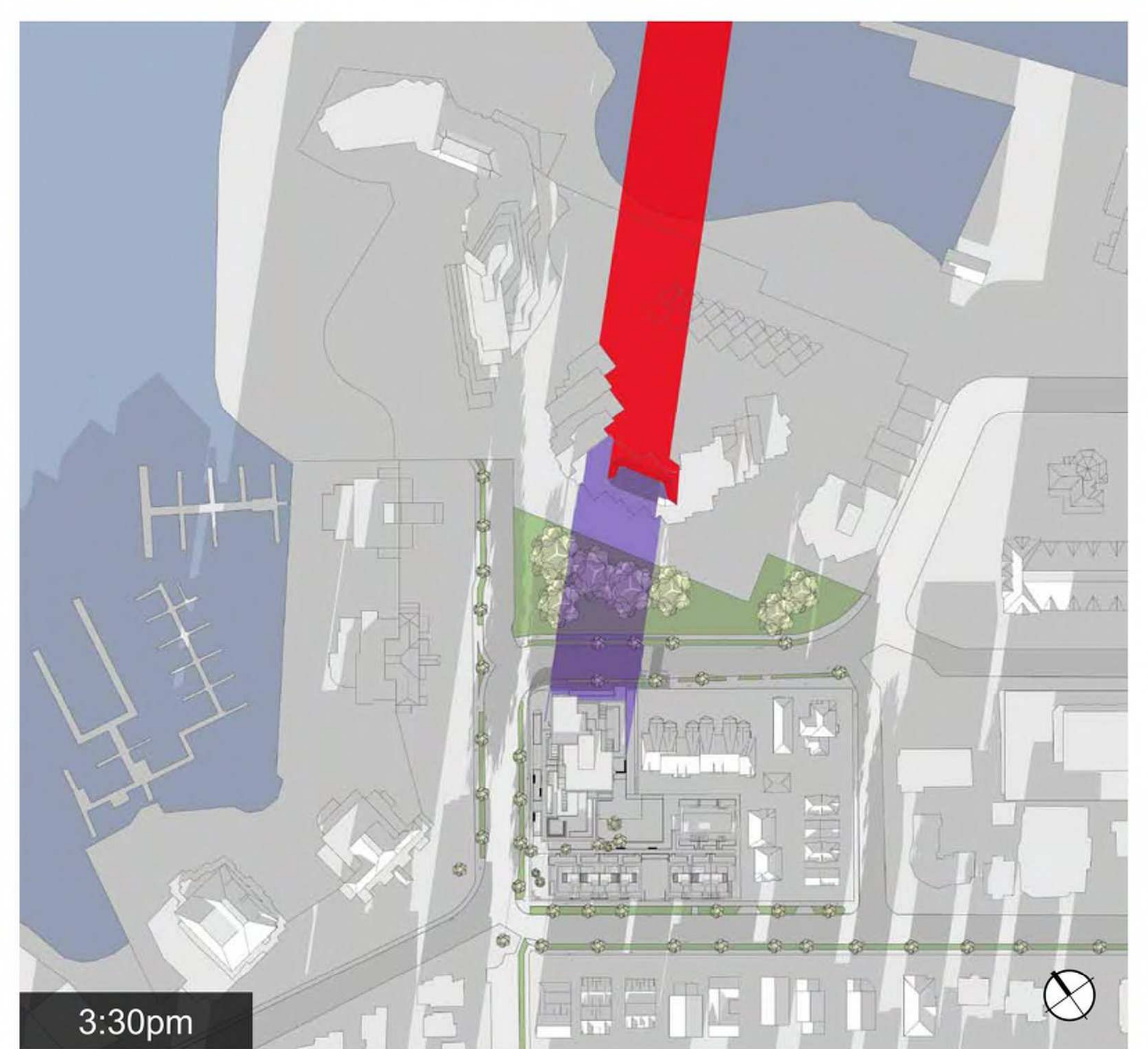
Spring/Fall Equinox



Summer Solstice



Winter Solstice



- Legend**
- Shadows from Proposed Building
 - Shadow overlay of Proposed & Existing Buildings
 - Shadows from Existing Buildings

Reasoning DP Resubmission	22.04.14	
Issued for Reasoning / DP	21.12.15	
rev no	description	date
1		
2		
<p>project name Montreal and Quebec 205 Quebec Street Victoria, BC</p> <p>sheet title Sun and Shade Study</p>		
project no.	#21-18	
scale		
drawn by	CG, GK	
date issued	12/04/22	
sheet no.	A0.11	

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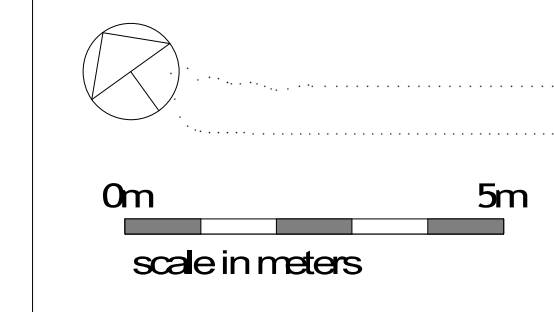
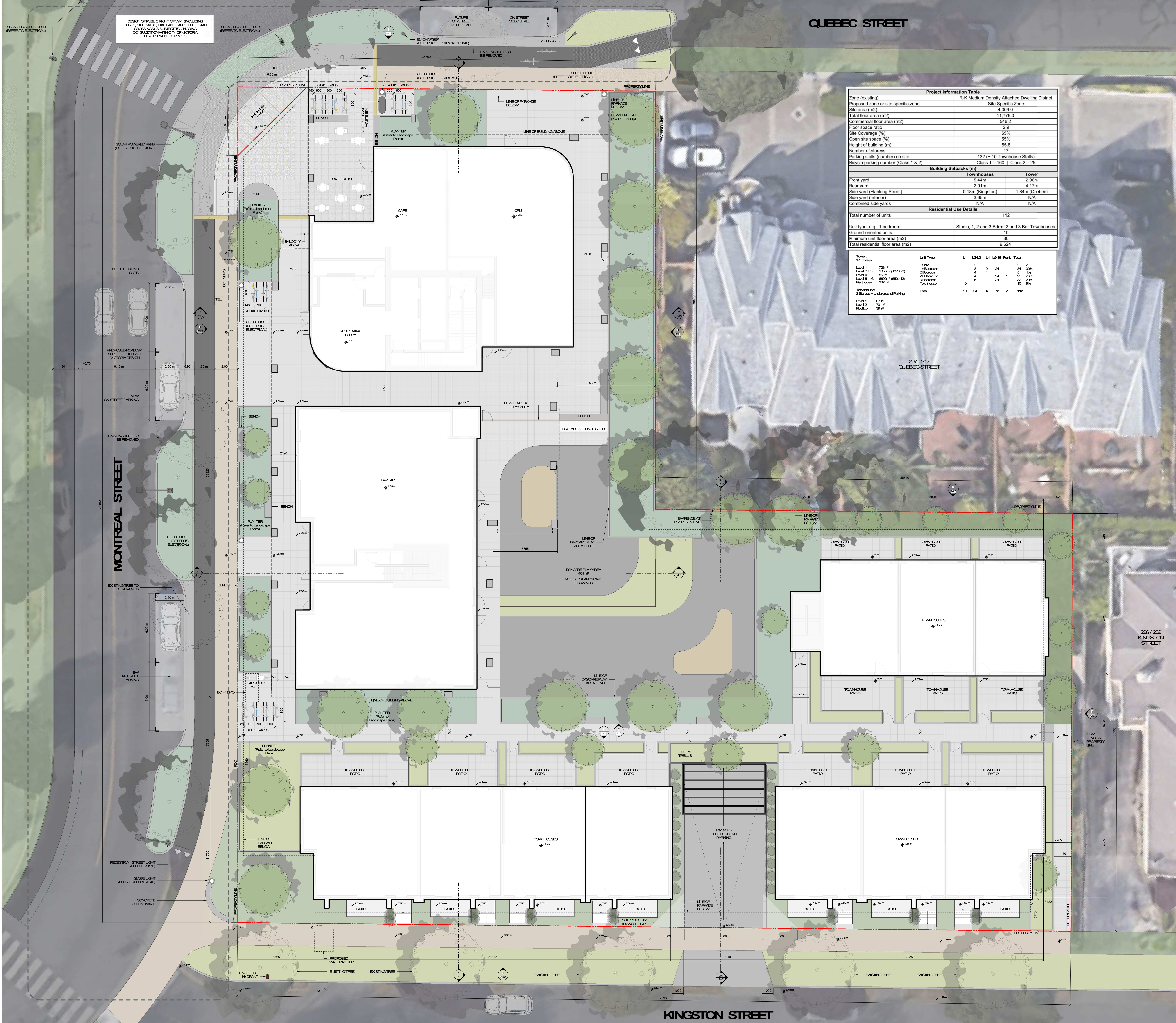
Reasoning/DP Resubmission	22.04.14
2	Issued for Reasoning / DP
rev no	description
date	
project name	Montreal and Quebec
	205 Quebec Street
	Victoria, BC
sheet title	Existing Site Survey
project no	#21-18
scale	
drawn by	Author
date issued	sheet no.
12/04/22	A10



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NOTES:
REFER TO LANDSCAPE PLAN FOR INFORMATION ON PLANTING, MATERIALS, FINISHES, AND LIGHT FIXTURES.

Project Information Table							
Zone (existing)	R-K Medium Density Attached Dwelling District						
Proposed zone or site specific zone	Site Specific Zone						
Site area (m ²)	4,009.0						
Total floor area (m ²)	11,776.0						
Commercial floor area (m ²)	546.2						
Floor space ratio	2.9						
Site Coverage (%)	65%						
Open site space (%)	55%						
Height of building (m)	55.6						
Number of storeys	17						
Parking stalls (number) on site	132 (+ 10 Townhouse Stalls)						
Bicycle parking number (Class 1 & 2)	Class 1 = 160 Class 2 = 25						
Building Setbacks (m)							
	Townhouses Tower						
Front yard	5.44m 2.95m						
Rear yard	2.01m 4.17m						
Side yard (Flanking Street)	0.18m (Kingston) 1.84m (Quebec)						
Side yard (Interior)	3.65m N/A						
Combined side yards	N/A N/A						
Residential Use Details							
Total number of units	112						
Unit type, e.g., 1 bedroom	Studio, 1, 2 and 3 Bdrm; 2 and 3 Bdr Townhouses						
Ground-oriented units	10						
Minimum unit floor area (m ²)	30						
Total residential floor area (m ²)	9,624						
Tower							
17 Storeys							
Unit Type							
Level	Unit Type	L1	L2-3	L4	L5-16	Other	Total
Level 5	Studio	2	2	24	2	2	2%
Level 4-3	1 Bedroom (1028 sq)	4	1	24	1	5	4%
Level 5-16	2 Bedroom (800 x 12)	6	1	24	1	30	26%
Full House	3 Bedroom	10	6	1	24	1	30
	Townhouse						10%
	Total	10	24	4	72	2	112
Townhouse							
Level 1	675m ²						
Level 2	795m ²						
Parking	38m ²						



rev no	description	date
2	Issued for Rezoning	21.12.15
1	Issued for Dev. Tracker	21.10.19

Project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

Sheet title
Site Plan

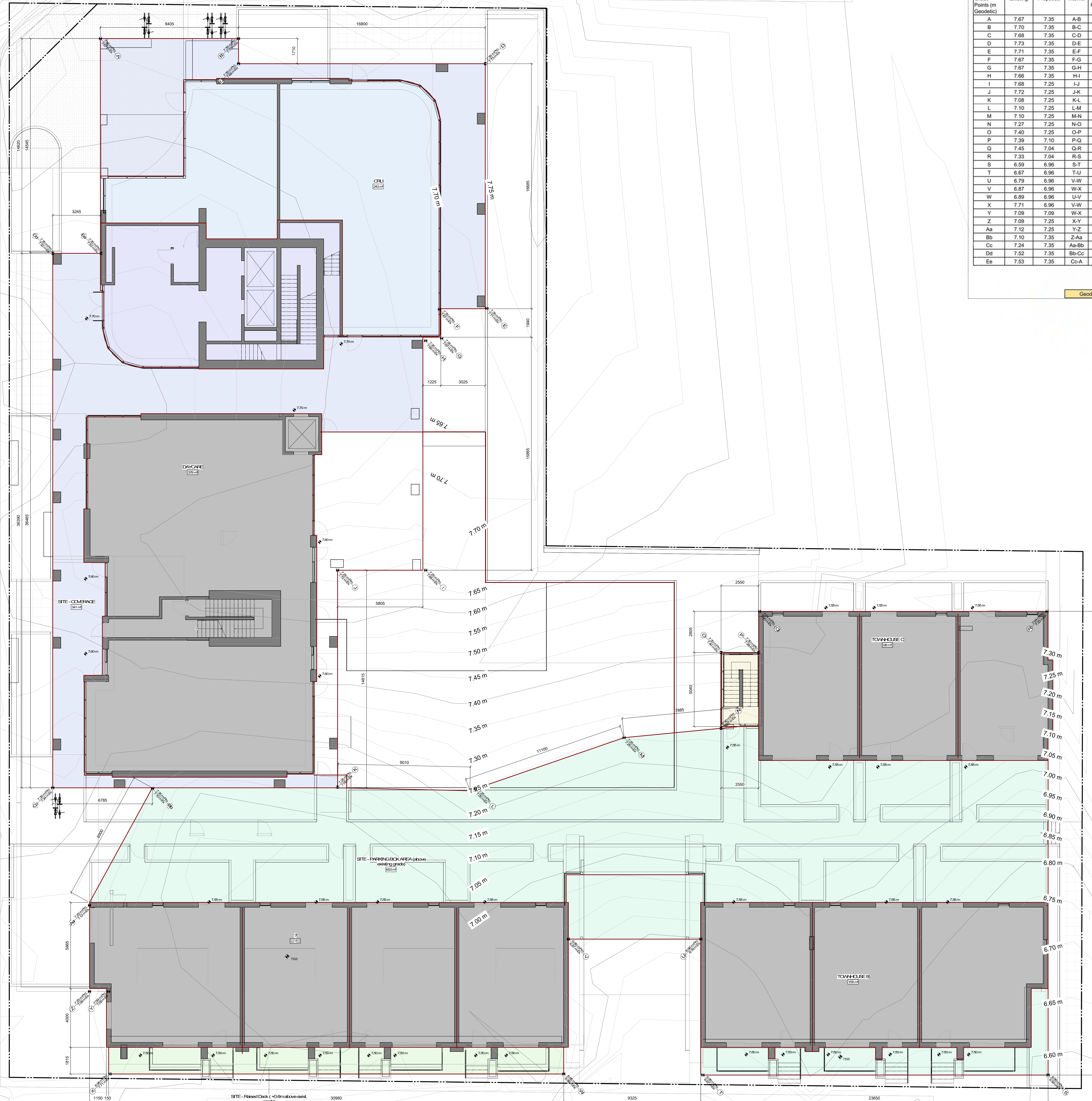
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scale	1:100
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date issued	
sheet no.	A.1

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Grade Points (m Geodesic)	Existing	Proposed	Interval	Average Grade (m)	Distance (m)	Subtotal
A	7.67	7.35	A-B	7.35	9.41	69.13
B	7.70	7.35	B-C	7.35	1.71	12.57
C	7.68	7.35	C-D	7.35	16.80	123.48
D	7.73	7.35	D-E	7.35	16.69	122.83
E	7.71	7.35	E-F	7.35	3.08	22.60
F	7.67	7.35	F-G	7.35	2.34	17.16
G	7.67	7.35	G-H	7.35	1.33	9.74
H	7.66	7.35	H-I	7.30	15.47	112.93
I	7.68	7.25	I-J	7.25	5.66	41.00
J	7.72	7.25	J-K	7.17	14.82	106.15
K	7.08	7.25	K-L	7.09	9.01	63.88
L	7.10	7.25	L-M	7.10	11.10	78.81
M	7.10	7.25	M-N	7.18	6.64	47.61
N	7.27	7.25	N-O	7.25	5.16	37.41
O	7.40	7.25	O-P	7.18	2.72	19.52
P	7.39	7.10	P-Q	7.07	3.34	23.61
Q	7.45	7.04	Q-R	7.04	19.71	138.76
R	7.33	7.04	R-S	6.82	31.57	215.15
S	6.99	6.96	S-T	6.83	23.20	158.81
T	6.97	6.96	T-U	6.78	9.48	64.24
U	6.79	6.96	V-W	6.83	1.62	11.03
V	6.87	6.96	W-X	6.88	1.30	8.94
W	6.89	6.96	U-V	6.93	30.98	214.54
X	7.71	6.96	V-W	7.03	1.62	11.35
Y	7.09	7.09	W-X	7.09	1.30	9.22
Z	7.09	7.25	X-Y	7.11	5.87	41.67
Aa	7.12	7.25	Y-Z	7.11	9.08	64.52
Bb	7.10	7.35	Z-Aa	7.17	6.79	48.65
Cc	7.24	7.35	Aa-Bb	7.30	36.39	265.47
Dd	7.52	7.35	Bb-Cc	7.35	3.25	23.85
Ee	7.53	7.35	Cc-A	7.35	14.62	107.46
Total						322.29 2288.87
Geodetic Average Grade (m)						7.10



rev no	description	date
2	Reasoning DP Resubmission	22.04.14
1	Issued for Reasoning / DP	21.12.15

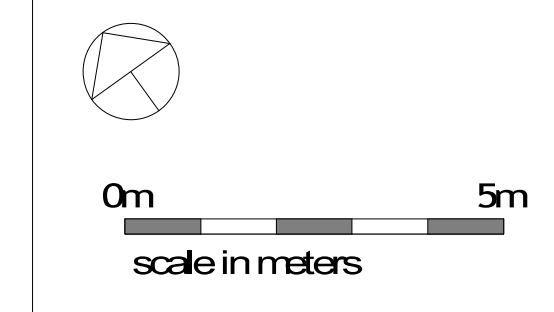
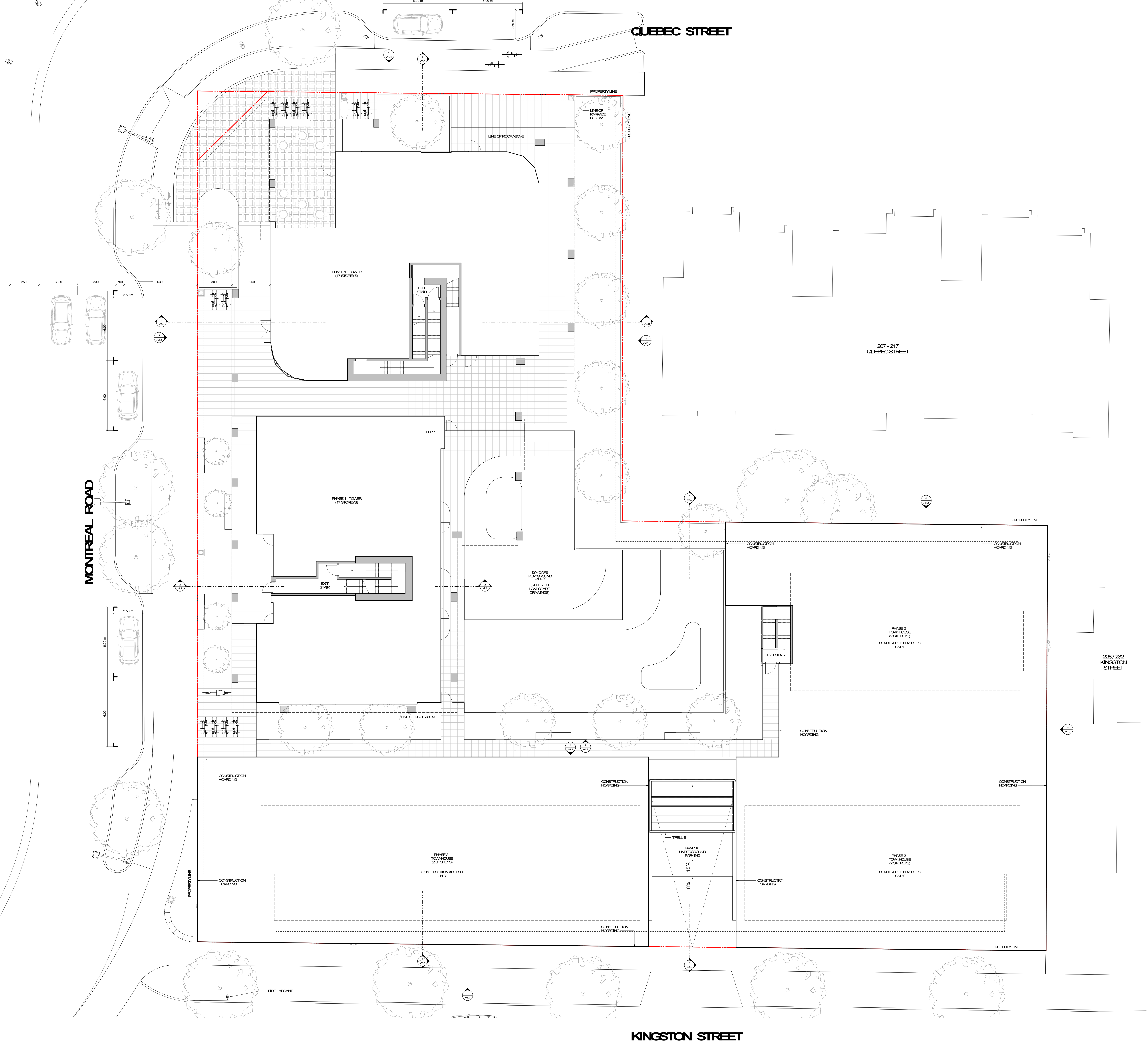
project name
Montreal and Quebec
 205 Quebec Street
 Victoria, BC

sheet title
Average Grade Calculations

project no	#21-18
scale	1:100
drawn by	RP, GK
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sheet no	A.12



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205 Quebec Street
Victoria, BC

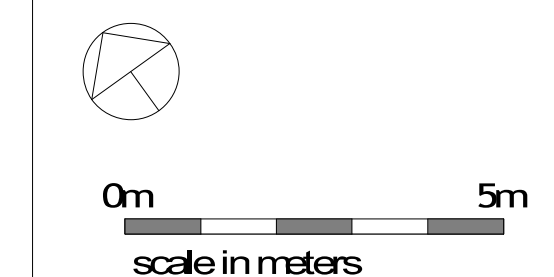
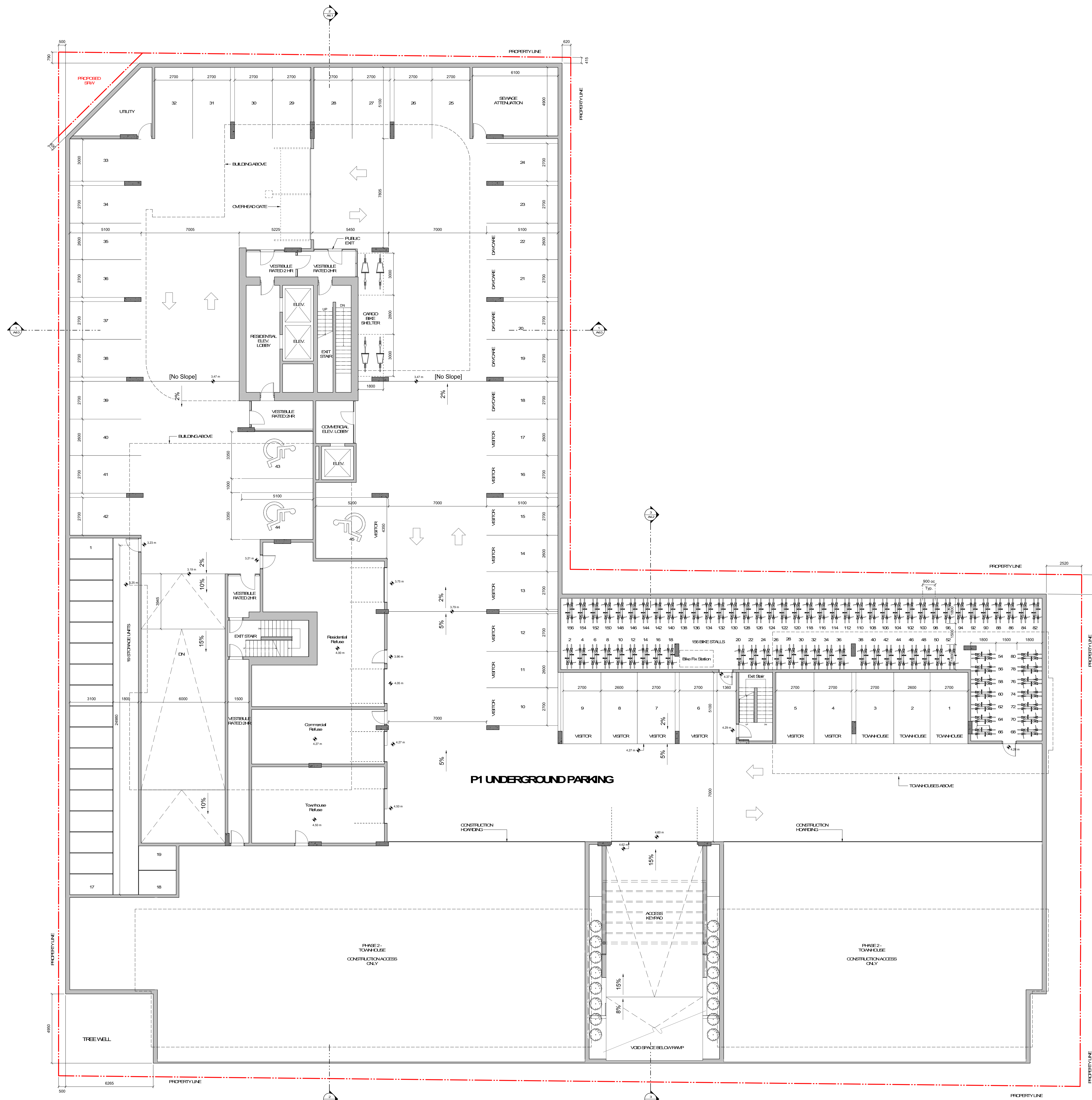
sheet title
Level 1 Phasing Plan

project no.	#21-18
scale	1:100
drawn by	Author
date issued	12/04/22
sheet no.	A13

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2	Issued for Rezoning / DP	21.12.15
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Project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

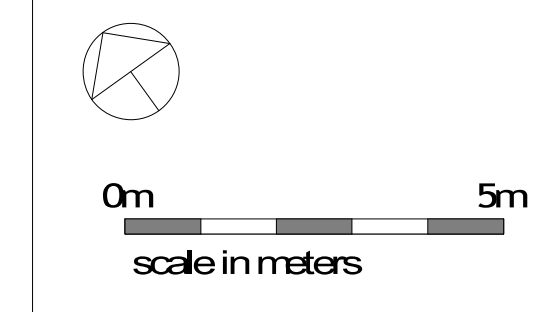
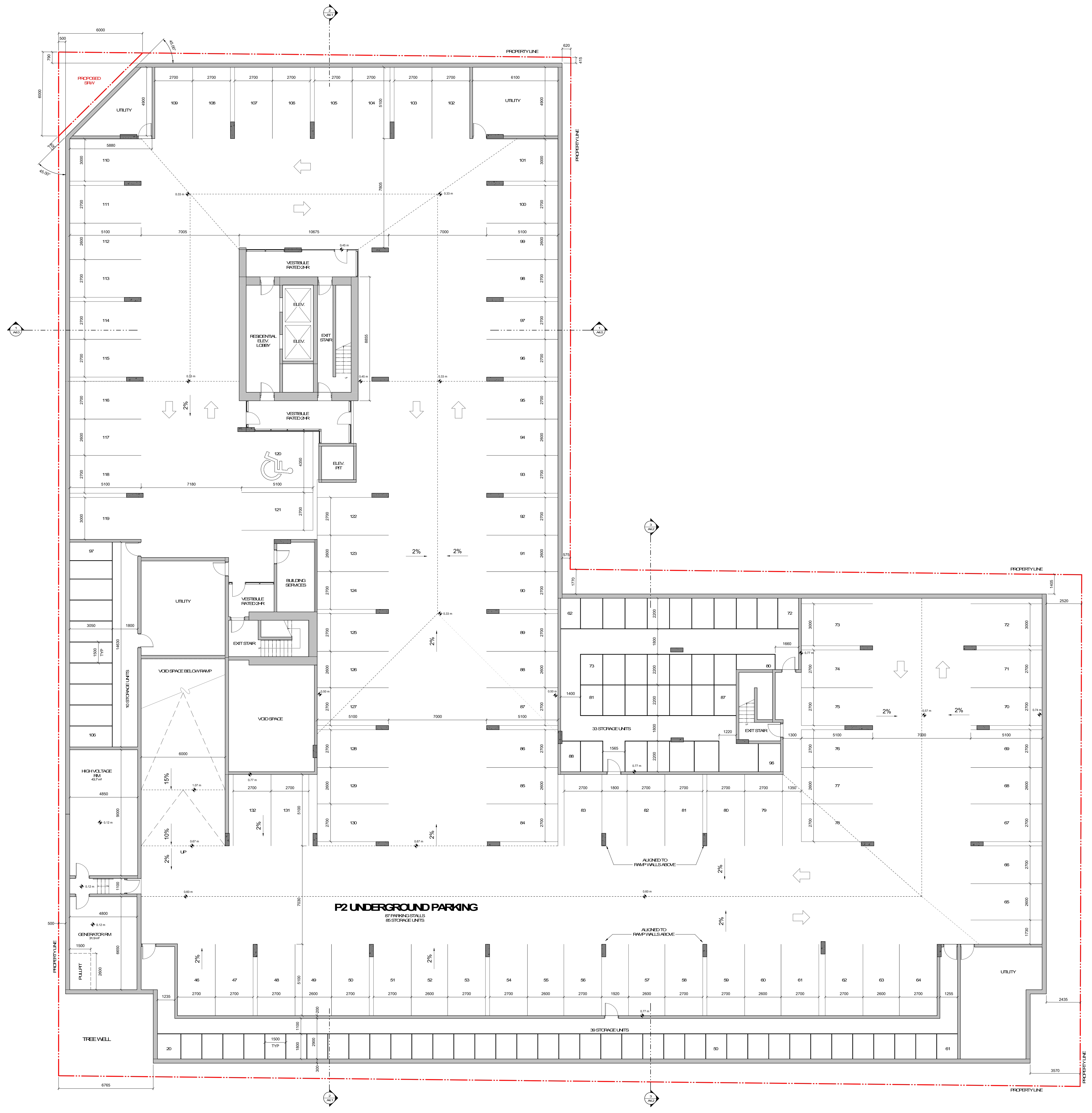
sheet title
P1 Phasing Plan

project no.	#21-18
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205 Quebec Street
Victoria, BC

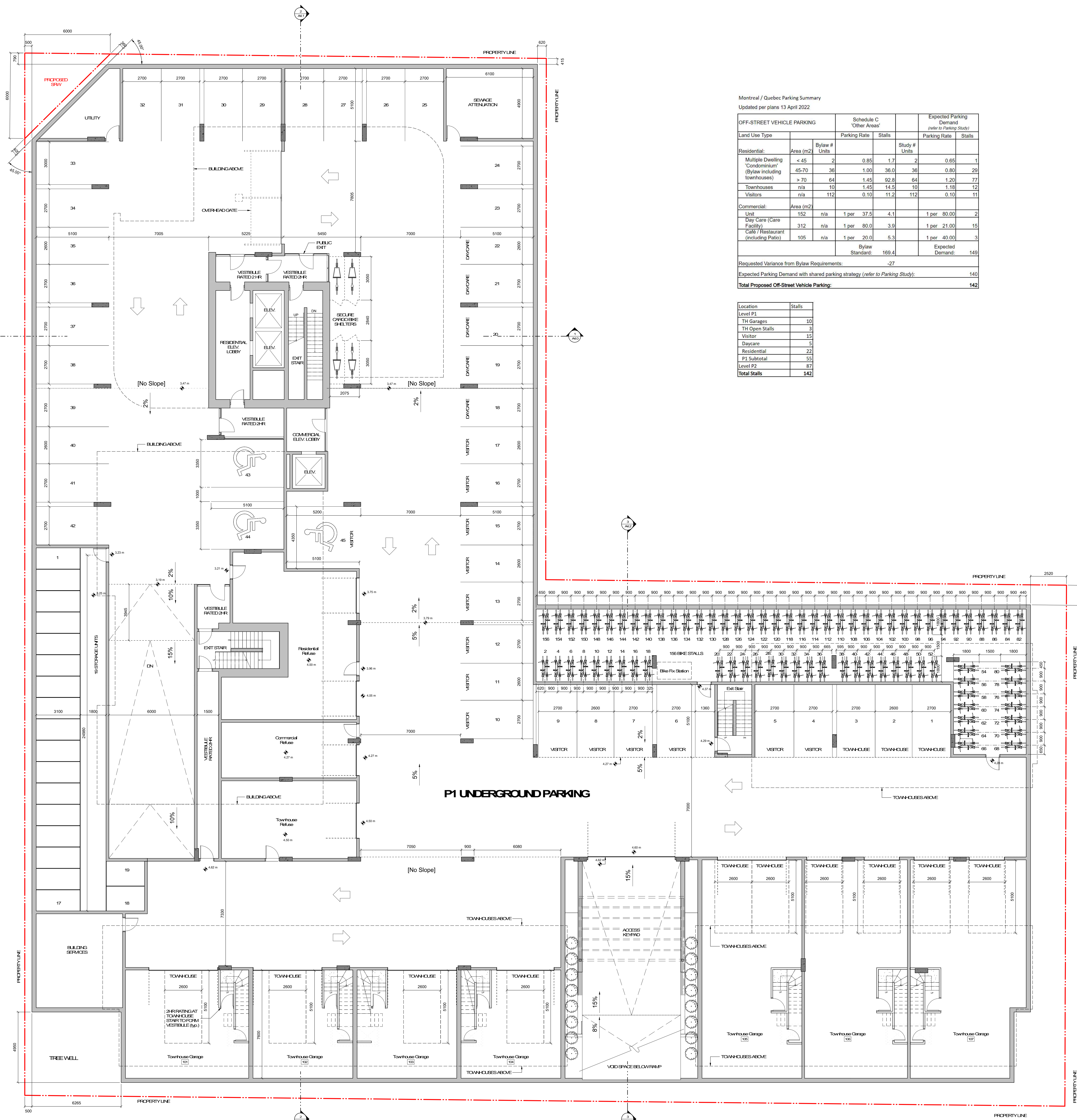
sheet title
F2 Parking Plan

project no #21-18
scale 1:100
drawn by RFP/GK
date issued 12/04/22
sheet no **A20**

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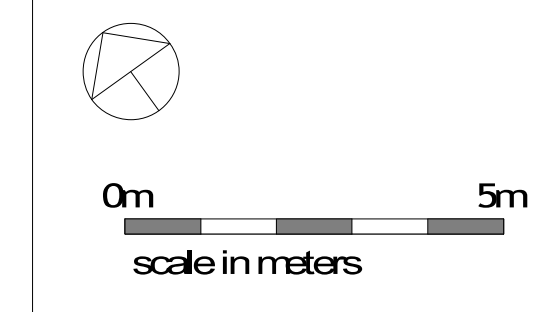
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Montreal / Quebec Parking Summary
Updated per plans 13 April 2022

Land Use Type	Area (m ²)	Bylaw #	Schedule C "Other Areas"		Expected Parking Demand (refer to Parking Study)		
			Parking Rate	Stalls	Parking Rate	Stalls	
Residential:							
Multiple Dwelling "Condominium" (Bylaw including townhouses)	< 45	2	0.85	1.7	0.85	1	
	45-70	36	1.00	36.0	0.80	26	
	> 70	64	1.45	92.8	1.20	77	
Townhouses	n/a	10	1.45	14.5	1.16	12	
Visitors	n/a	112	0.10	11.2	0.10	11	
Commercial:							
Unit Day Care (Care Facility)	152	n/a	1 per	37.5	4.1	1 per 80.00	2
Cafe / Restaurant (including Patio)	312	n/a	1 per	80.0	3.9	1 per 21.00	15
	105	n/a	1 per	20.0	5.3	1 per 40.00	3
			Bylaw Standard:	169.4		Expected Demand:	149
Requested Variance from Bylaw Requirements:							-27
Expected Parking Demand with shared parking strategy (refer to Parking Study):							140
Total Proposed Off-Street Vehicle Parking:							142

Location	Stalls
Level P1	
TH Garages	10
TH Open Stalls	3
Visitor	15
Daycare	5
Residential	22
P1 Subtotal	55
Level P2	87
Total Stalls	142



Revision D/P Resubmission 22.04.14
2 Issued for Rezoning / DP 21.12.15
1 Issued for Dev. Tracker 21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

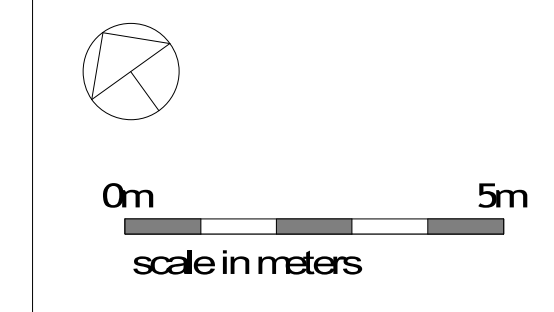
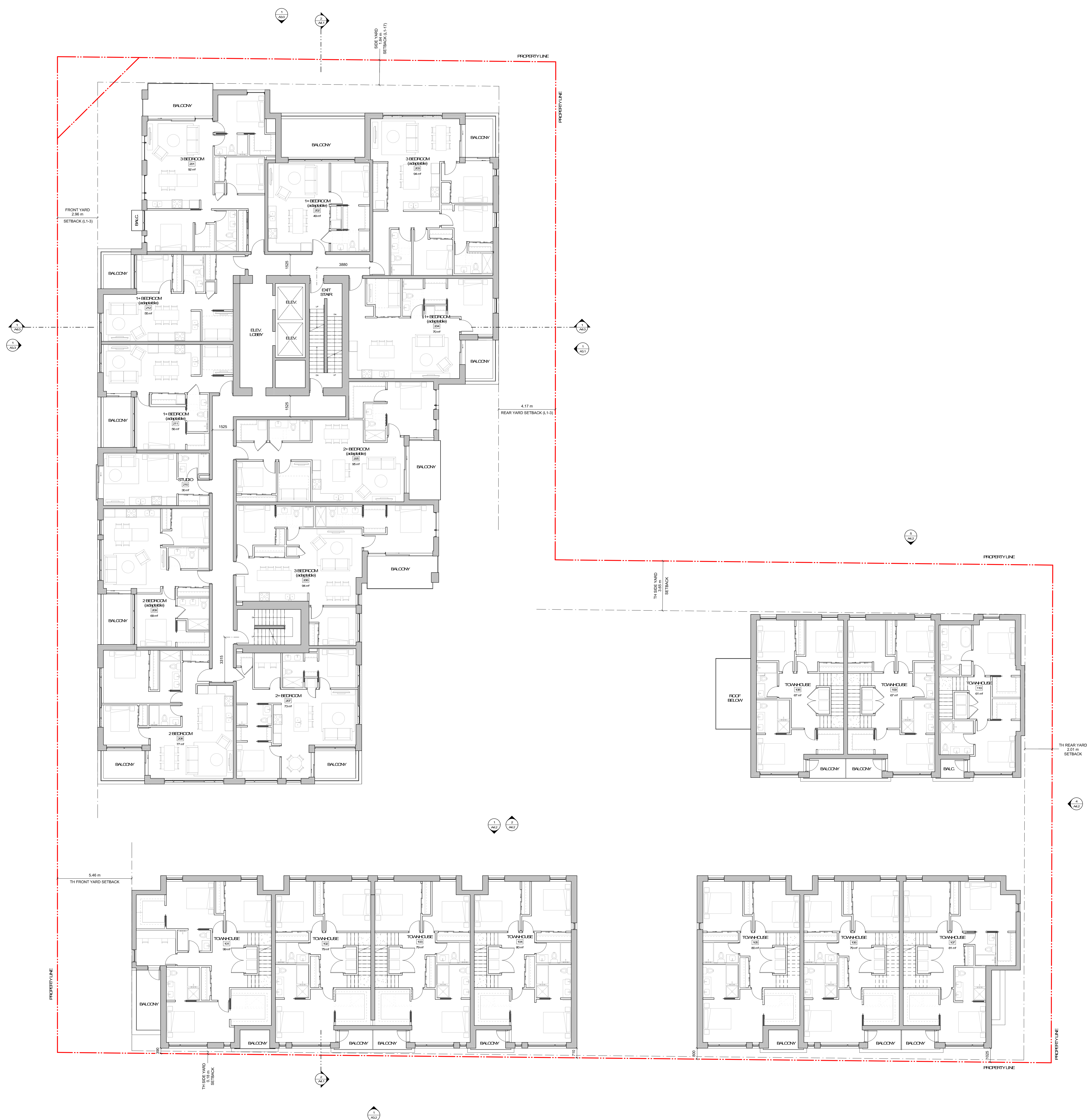
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P1 Parking Plan

project no. #21-18
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1	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Level 2 Plan

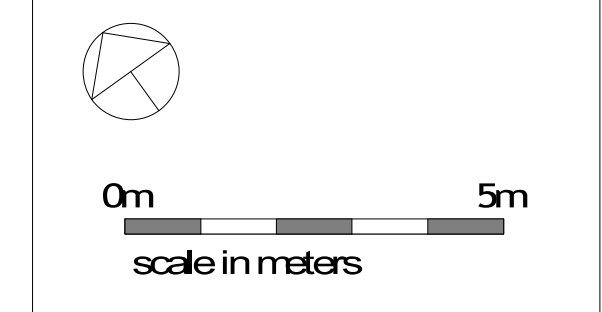
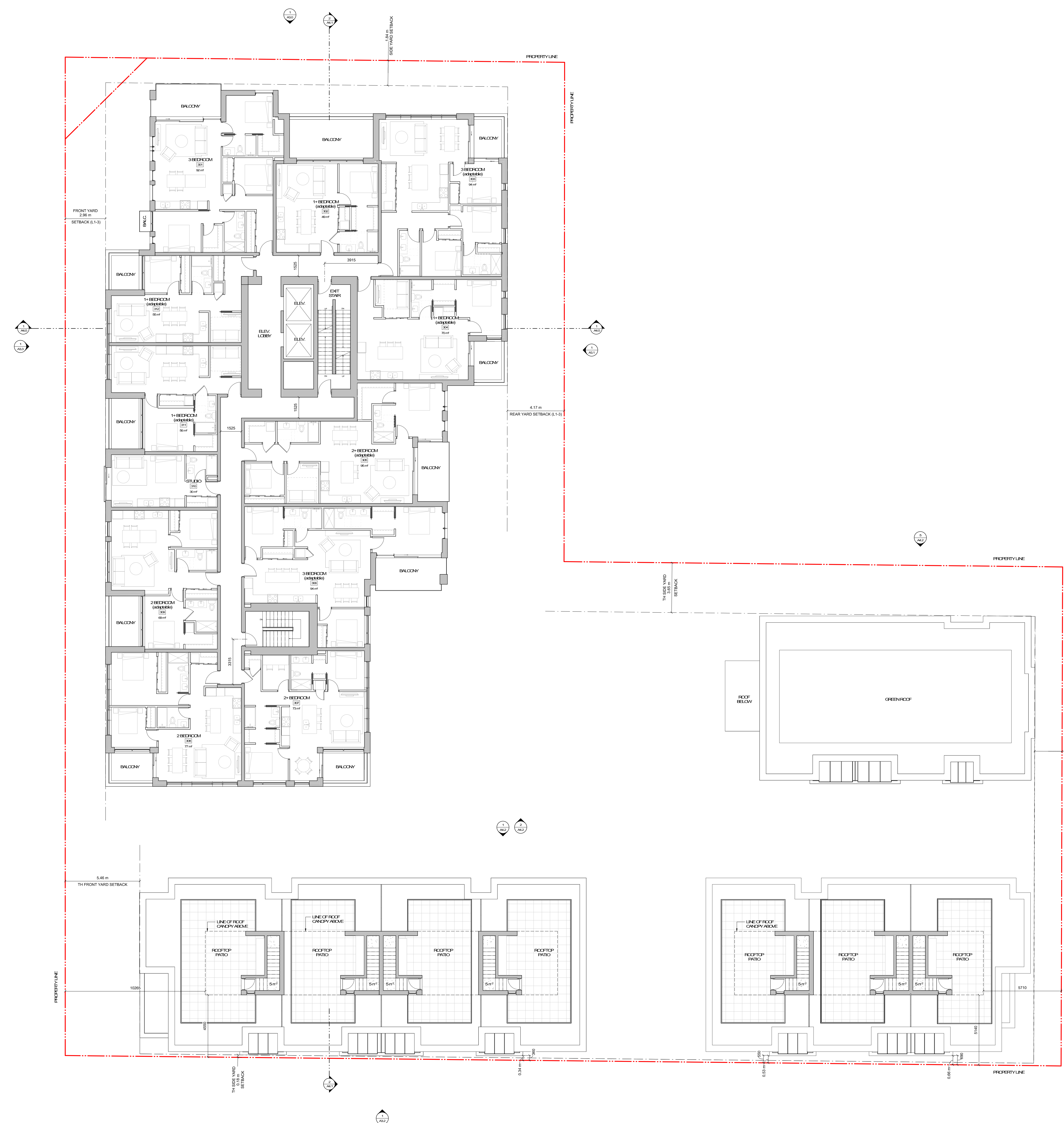
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NOTES
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2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Level 3 Plan

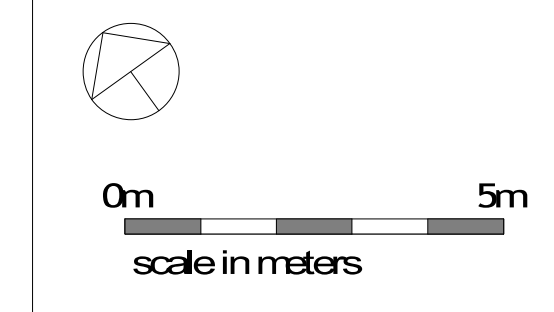
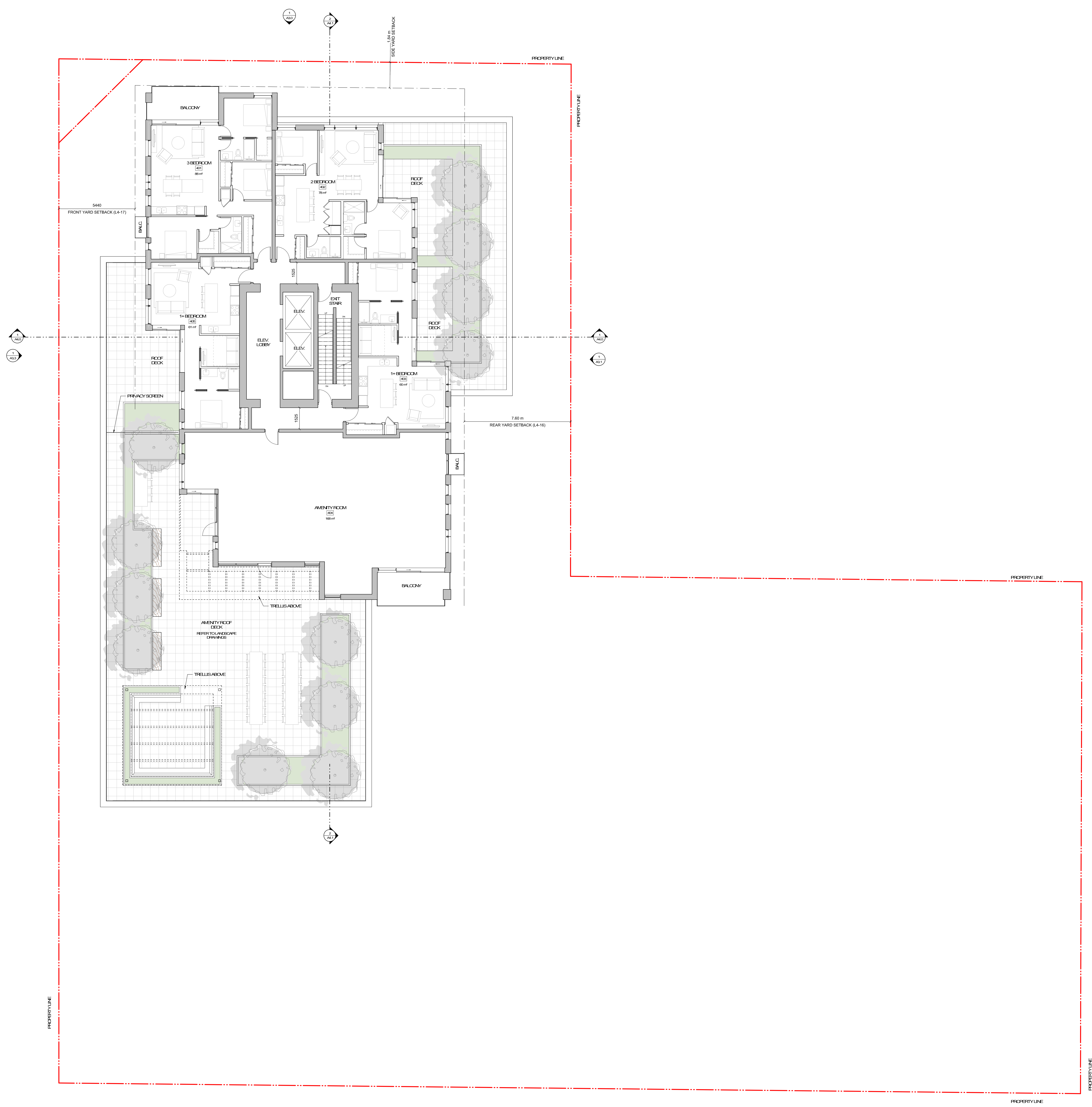
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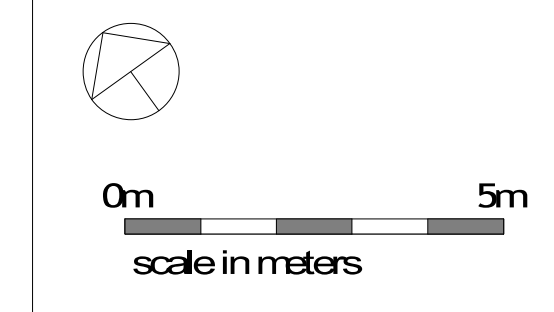
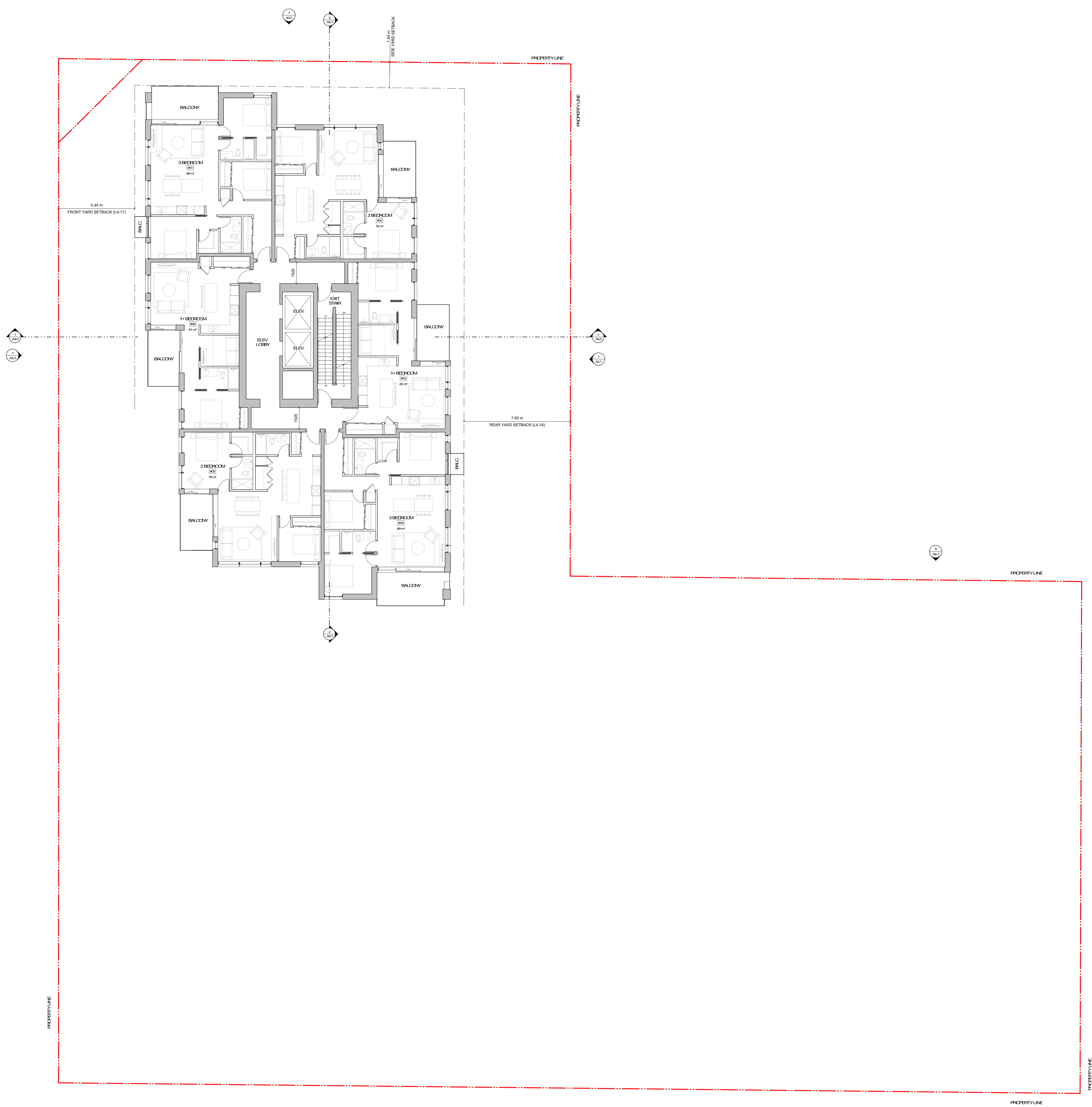
project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Level 4 Plan

project no.	#21-18
scale	1 : 100
drawn by	RP/CK
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sheet no.	A25



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rev no	description	date
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

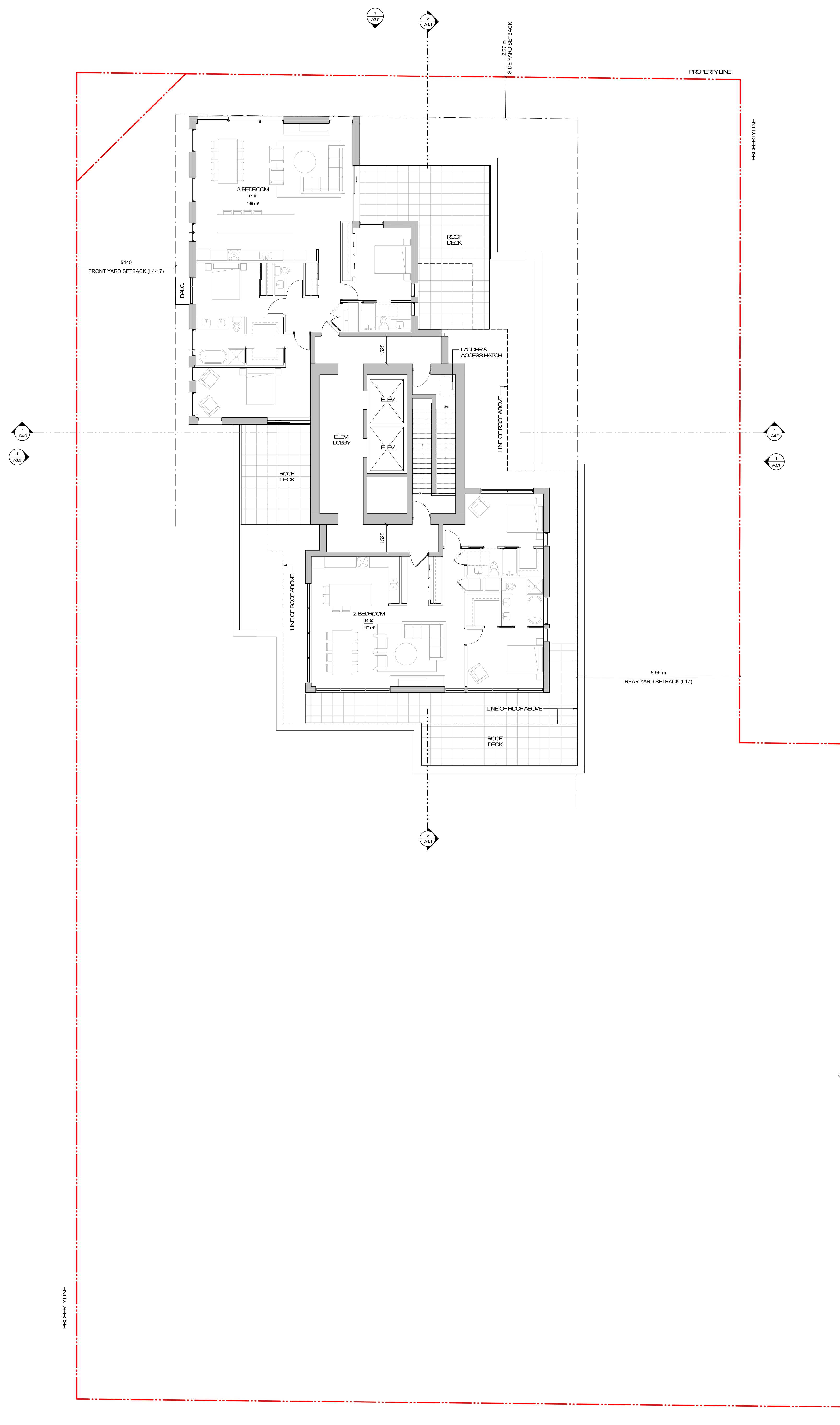
project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Level 5-16 Plan

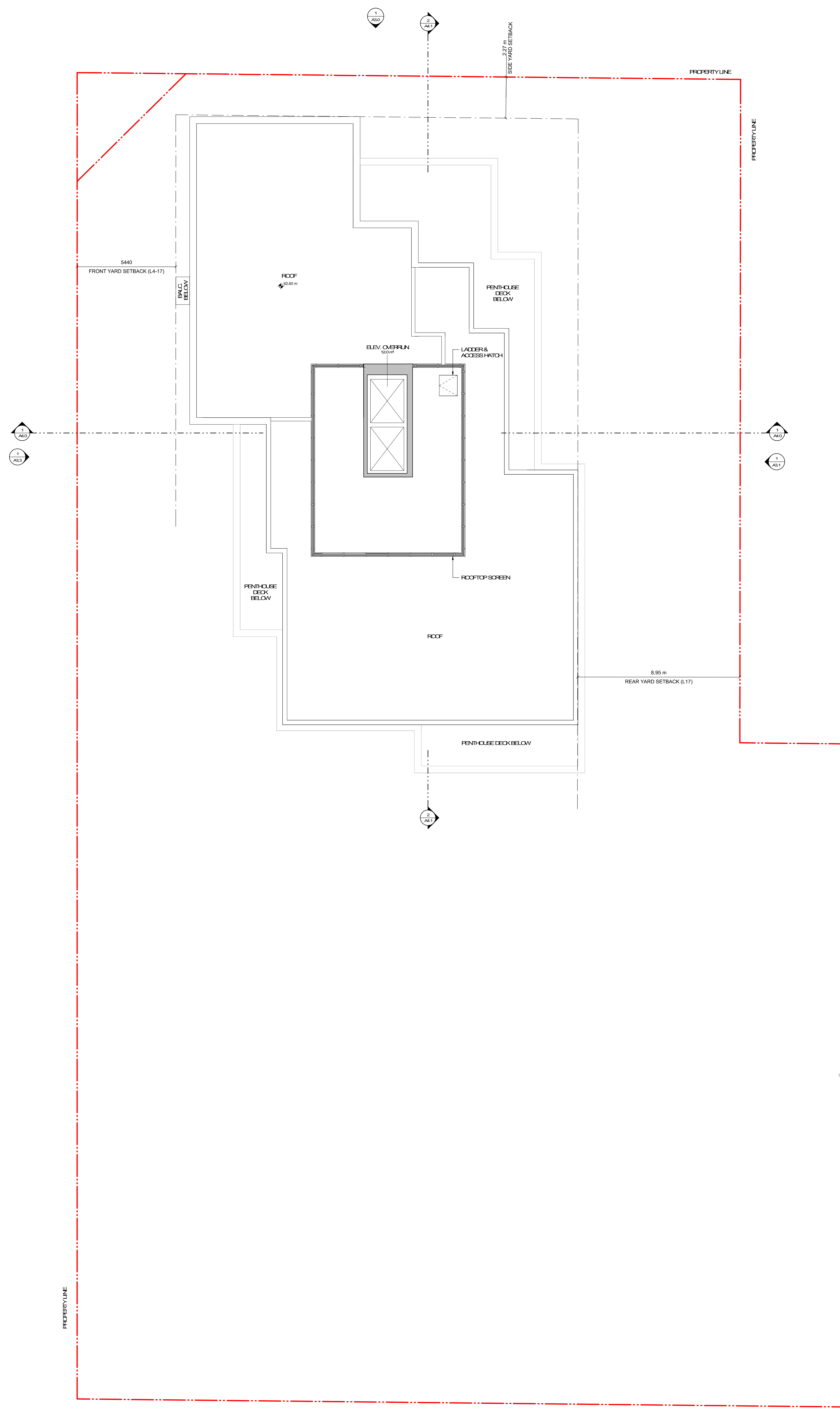
project no	#21-18
scale	1 : 100
drawn by	RP/CK
date issued	12/04/22
sheet no	A26



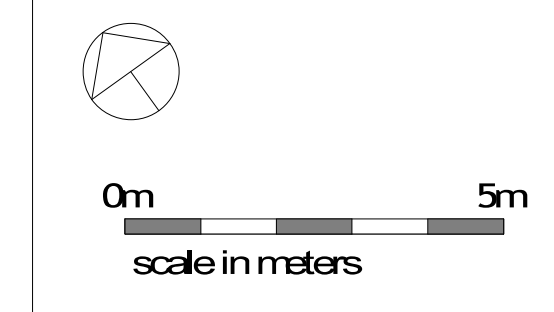
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1 PENTHOUSE PLAN
1:100



2 ROOF PLAN
1:100



rev no	description	date
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Penthouse + Roof Plan

project no	#21-18
scale	1:100
drawn by	RP/CK
date issued	12/04/22
sheet no.	A27

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- ELEVATION MATERIALS KEY:**
- 1 Concrete Panel System
Colour: Sandstone
 - 2 Burnt Brick
Colour: Wheat
 - 3 Blue Ceramic Panel
Colour: Dark Grey
 - 4 Prefinished Vertical Wood Siding
 - 5 Soffit T&G Wood
 - 6 Glass Clanks in Prefinished Aluminum Frames
 - 7 Glass Clanks Laminated Cladding on
Prefinished Steel Structure
Colour: Iron Ore
 - 8 Prefinished Metal Panel Finishing
Colour: Iron Ore
 - 9 Prefinished Metal Panels
Colour: Iron Ore
 - 10 Prefinished Metal Bakery Cased
Colour: Iron Ore
 - 11 Prefinished Metal Pergolas and Gates
Colour: Iron Ore
 - 12 Windowward Doors Clear Glass in Dark
Anodized Aluminum Frames
Colour: Iron Ore
 - 13 Glass Vents and Clanks w/ Aluminum Frames
Colour: Iron Ore
 - 14 Exposed Architectural Concrete
 - 15 Prefinished Metal Louvers
Colour: Iron Ore
 - 16 Prefinished Metal Panel
Colour: Iron Ore



Rezonning DP Resubmission	22.04.14	
Issued for Rezonning / DP	21.12.15	
Issued for Dev. Tracker	21.10.19	
rev no	description	date
1	design material, floor plans and height markers	
2	material for the company of the drawing and the use of the material where necessary, not to be reproduced without written consent.	
project name		
Montreal and Quebec		
205 Quebec Street		
Victoria, BC		
sheet title		
North Elevation		
project no	#21-18	
scale	1:100	
drawn by	Author	
date issued	xx/11/21	
sheet no	A3.0	



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- ELEVATION MATERIALS KEY:**
- 1 Concrete Panel System Colour: Sandstone
 - 2 Burning Board Brick Colour: Wheat
 - 3 Blue Ceramic Panel Colour: Dark Grey
 - 4 Prefinished Vertical Wood Siding
 - 5 Soffit T&G Wood
 - 6 Glass Clanks in Prefinished Aluminum Frames
 - 7 Glass Clanks Laminated Clanking on Prefixed Steel Structure Colour: Iron Ore
 - 8 Prefinished Metal Panel Finishing Colour: Iron Ore
 - 9 Prefinished Metal Finishes Colour: Iron Ore
 - 10 Prefinished Metal Bakery Glazed Colour: Iron Ore
 - 11 Prefinished Metal Pergolas and Gates Colour: Iron Ore
 - 12 Windowward Doors Clear Glazing in Dark Anodized Aluminum Frames Colour: Iron Ore
 - 13 Glass Valls and Clanks w/ Aluminum Frames Colour: Iron Ore
 - 14 Exposed Architectural Concrete
 - 15 Prefinished Metal Louvers Colour: Iron Ore
 - 16 Prefinished Metal Panel Colour: Iron Ore



Rezonning DP Resubmission	22.04.14	
Issued for Rezonning DP	21.12.15	
Issued for Dev. Tracker	21.10.19	
rev no	description	date
1	design revision: floor slabs and stairs are not all in the same plane as per the zoning bylaw and the use of prefabricated stone and masonry is reproduced without consent.	
project name		
Montreal and Quebec		
205 Quebec Street		
Victoria, BC		
sheet title		
East Elevation		
project no		
#21-18		
scale		
1:100		
drawn by		
Author		
date issued		
xx/11/21		
sheet no		
A3.1		



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- ELEVATION MATERIALS KEY:**
- 1 Concrete Panel System Colour: Sandstone
 - 2 Burnt Brick Colour: Wheat
 - 3 Blue Ceramic Panel Colour: Dark Grey
 - 4 Prefinished Vertical Wood Siding
 - 5 Soffit T&G Wood
 - 6 Glass Clanks in Prefinished Aluminum Frames
 - 7 Glass Clanks in Prefinished Aluminum Frames on Reinforced Concrete Structure Colour: Iron Ore
 - 8 Prefinished Metal Panel Finishing Colour: Iron Ore
 - 9 Prefinished Metal Finishes Colour: Iron Ore
 - 10 Prefinished Metal Cladding Colour: Iron Ore
 - 11 Prefinished Metal Finishes and Clanks Colour: Iron Ore
 - 12 Window Frame Colour: Iron Ore
 - 13 Window Frame Colour: Iron Ore
 - 14 Window Frame Colour: Iron Ore
 - 15 Window Frame Colour: Iron Ore
 - 16 Window Frame Colour: Iron Ore
 - 17 Window Frame Colour: Iron Ore
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 - 28 Window Frame Colour: Iron Ore
 - 29 Window Frame Colour: Iron Ore
 - 30 Window Frame Colour: Iron Ore



rev no	description	date
1	Issued for Rezoning / DP	21.12.15
2	Issued for Dev. Tracker	21.10.19

Reasoning DP Resubmission 22.04.14
 Issued for Rezoning / DP 21.12.15
 Issued for Dev. Tracker 21.10.19

project name
Montreal and Quebec
 205 Quebec Street
 Victoria, BC

sheet title
South Elevation

project no #21-18
 scale 1:100
 drawn by Author
 date issued xx/11/21
 sheet no **A3.2**



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- ELEVATION MATERIALS KEY:**
- 1 Concrete Panel System Colour: Concrete
 - 2 Burnt Brick Colour: White
 - 3 Blue Ceramic Panel Colour: Dark Grey
 - 4 Prefinished Vertical Wood Siding
 - 5 Soffit T&G Wood
 - 6 Glass Clanks in Prefinished Aluminum Frames
 - 7 Glass Clanks, Laminated Clank on Prefixed Steel Structure Colour: Iron Ore
 - 8 Prefinished Metal Panel Finishing Colour: Iron Ore
 - 9 Prefinished Metal Finishes Colour: Iron Ore
 - 10 Prefinished Metal Bakery Clank Colour: Iron Ore
 - 11 Prefinished Metal Finishes and Colors Colour: Iron Ore
 - 12 Window and Glass Clank in Dark Anodized Aluminum Frames Colour: Iron Ore
 - 13 Glass Vents and Clanks w/ Aluminum Frames Colour: Iron Ore
 - 14 Exposed Architectural Concrete
 - 15 Prefinished Metal Louvers Colour: Iron Ore
 - 16 Prefinished Metal Panel Colour: Iron Ore



Revising D/P Resubmission	22.04.14	
Issued for Rezoning / DIP	21.12.15	
Issued for Dev. Tracker	21.10.19	
rev no	description	date
1	Issued for Dev. Tracker	21.10.19
2	Issued for Rezoning / DIP	21.12.15
3	Issued for Dev. Tracker	21.10.19
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100	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

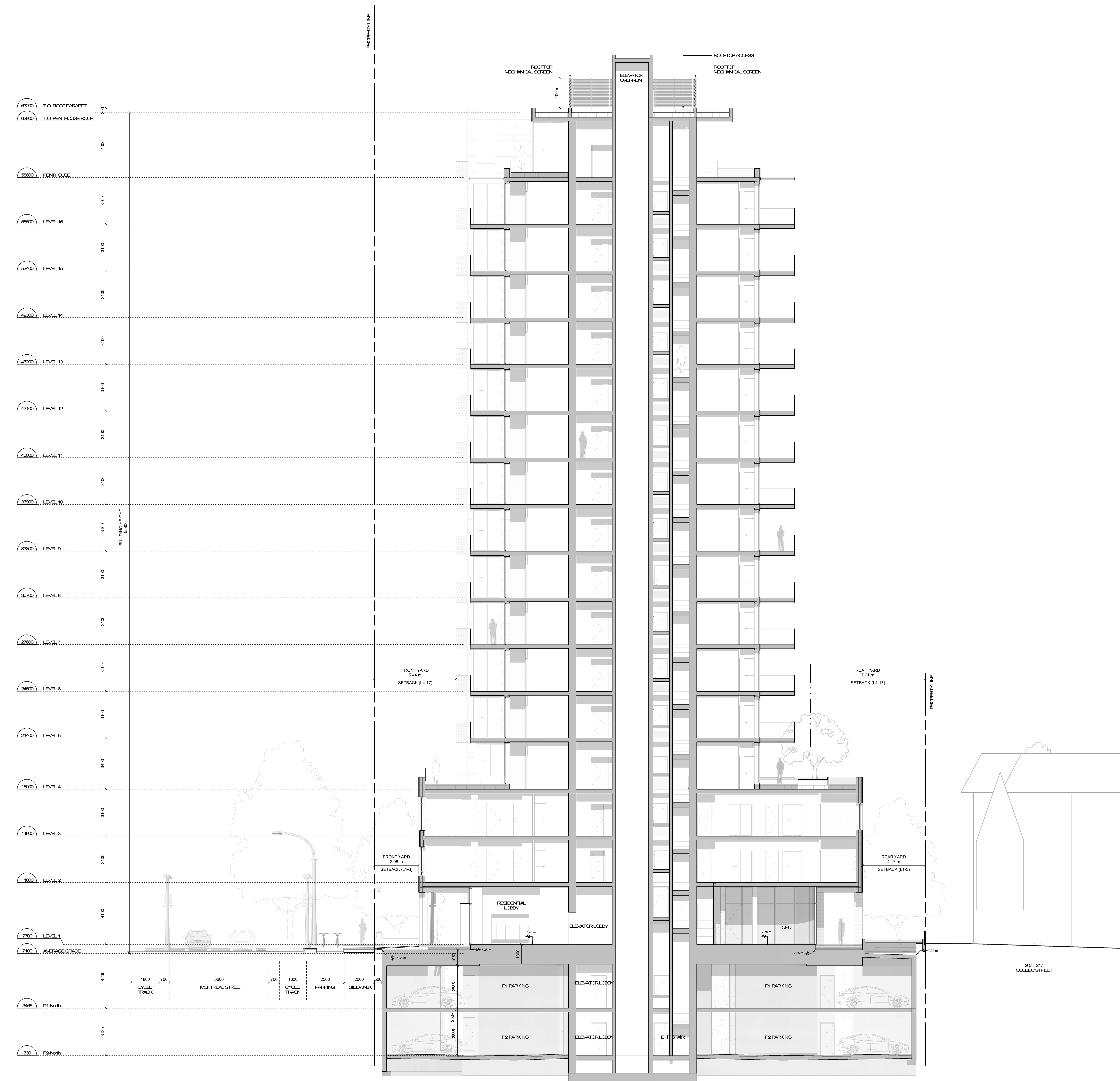
sheet title
West Elevation

project no #21-18
scale 1:100
drawn by Author
date issued xx/11/21
sheet no **A3.3**

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rev no	description	date
3	Rezonning / DP Resubmission	22.04.14
2	Issued for Rezonning / DP	21.12.15

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Building Sections

project no	#21-18
scale	1:100
drawn by	RP
date issued	12/04/22
sheet no	A4.0

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3	Reasoning DP Resubmission 22.04.14
2	Issued for Reasoning / DP 21.12.15
rev no	description
date	
project name	Montreal and Quebec 205 Quebec Street Victoria, BC
sheet title	Building Sections
project no	#21-18
scale	1:100
drawn by	RP
date issued	12/04/22
sheet no	A4.1



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- ELEVATION MATERIALS KEY:**
1. Concrete Panel System
Colour: Sandstone
 2. Painted Wood Deck
Colour: Walnut
 3. Glass Concrete Panel
Colour: Dark Grey
 4. Prefinished Vertical Wood Sliding
 5. Slatte: TSCD Wood
 6. Glass Guards in Prefinished Aluminum Frames
Colour: Sandstone
 7. Glass Concrete Laminated Cladding on Prefinished Structure
Colour: Iron / Ore
 8. Prefinished Metal Porosil Roofing
Colour: Iron / Ore
 9. Prefinished Metal Fascia
Colour: Iron / Ore
 10. Prefinished Metal Cladding
Colour: Iron / Ore
 11. Prefinished Metal Pergolas and Glass
Colour: Iron / Ore
 12. Window and Glass Clear Cladding in Dark Anodized Aluminum Frames
Colour: Iron / Ore
 13. Glass Walls and Guards w/ Aluminum Frames
Colour: Iron / Ore
 14. Exposed Architectural Concrete
 15. Prefinished Metal Louvers
Colour: Iron / Ore
 16. Prefinished Metal Panel
Colour: Iron / Ore



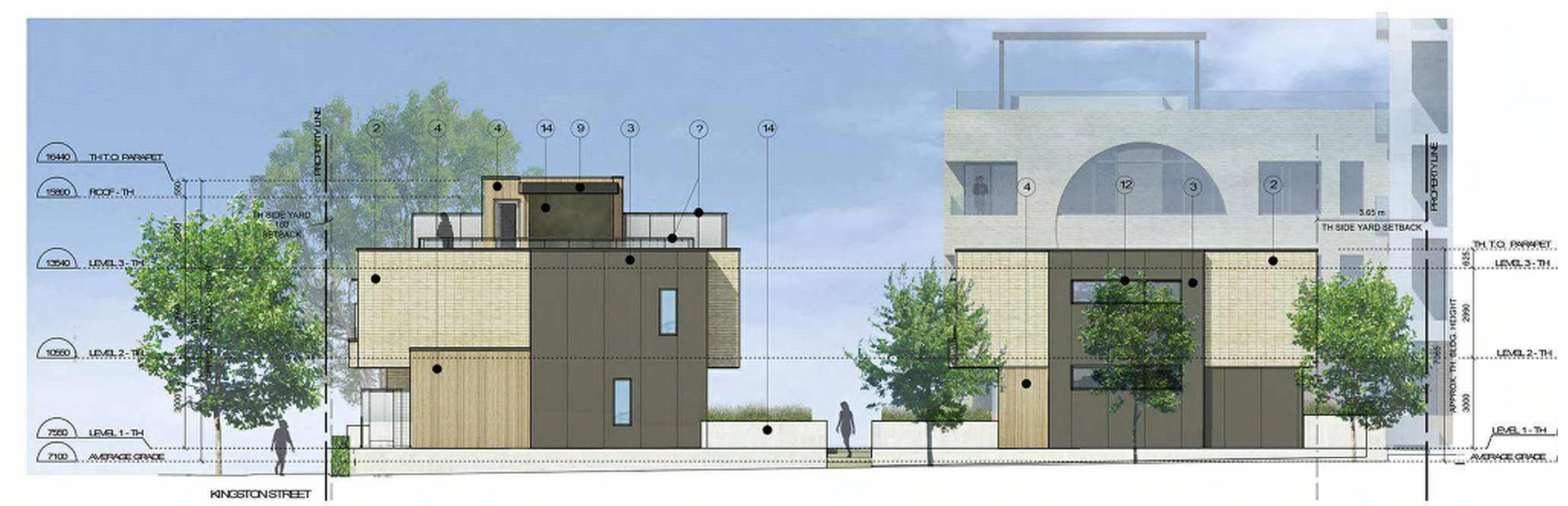
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1:100



2 South Elevation - Townhouse
1:100



3 PI Ramp @ Kingston St
1:100



4 East Elevation - Townhouse
1:100



5 North Elevation - Townhouse
1:100

Reasoning/DP Resubmission:	22.04.14	
Issued for Reasoning / DP:	21.12.15	
rev no	description	date
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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Building Section/
Elevations

project no #21-18
scale 1:100
drawn by Author
date issued xx/11/21
sheet no A4.2

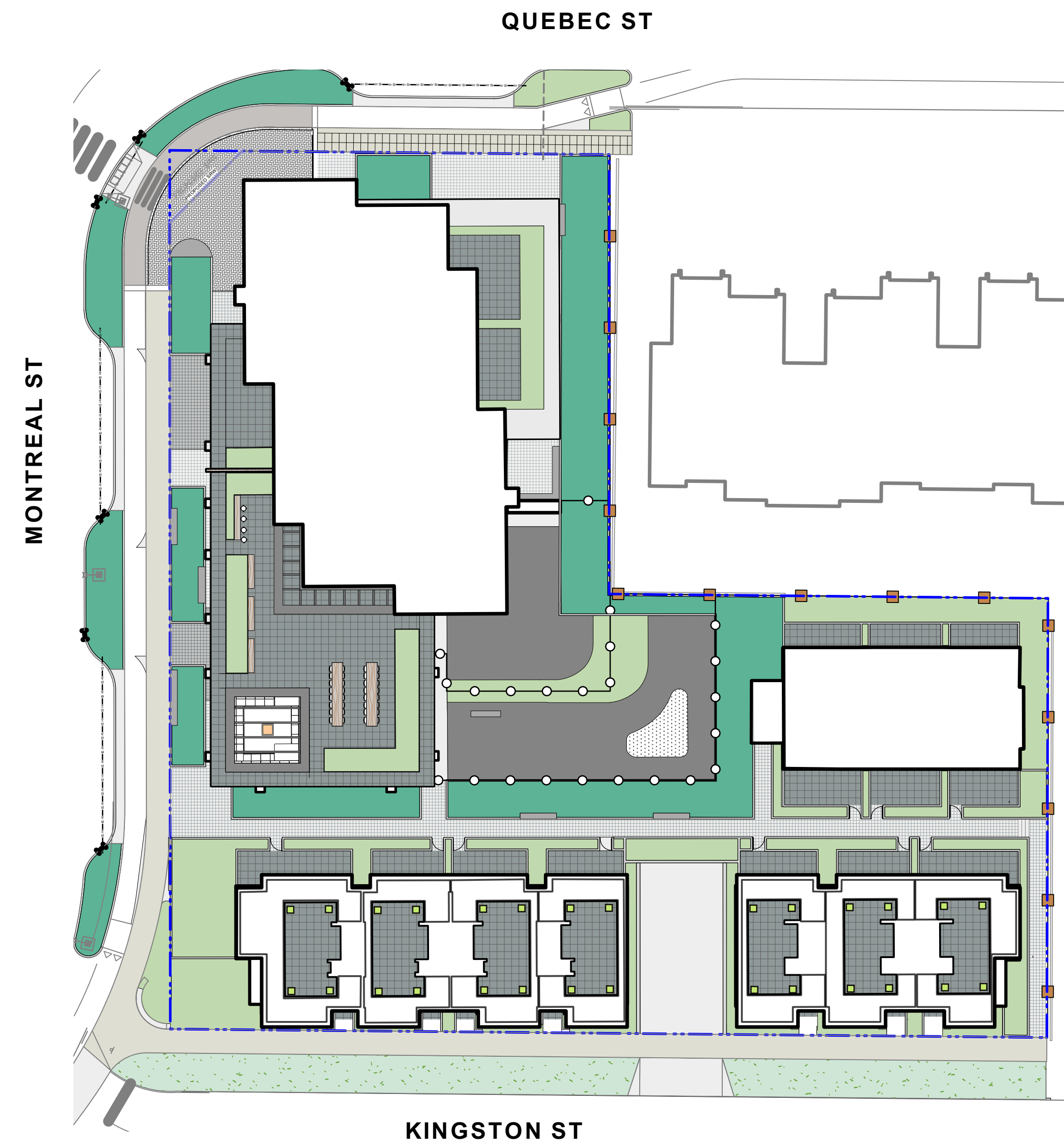
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Mike Geric Construction

Quebec & Montreal

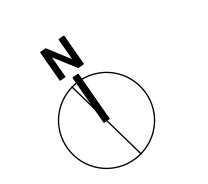
Victoria, BC

KEY PLAN




Landscape Sheets

Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L1.01	Landscape Materials - Ground
L1.02	Landscape Materials - Roof
L1.04	Landscape Precedents
L1.05	Landscape Materials - Sections
L1.06	Landscape Materials - Sections
L1.03	Stormwater Management & Grading
L1.07	Soil Volumes
L3.01	Planting Plan
L3.02	Planting Plan
L0.02	Tree Survey Plan
L0.03	Tree Management Plan
L4.01	Landscape Details




rev no	description	date
3	Rezoning DP Resubmission	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19




200 - 524 Colquhoun Road
Victoria, BC V8Z 1G1

Phone: 250-412-2891
Fax: 250-412-2892



REGISTERED MEMBER
Scott Murdoch
341
LANDSCAPE ARCHITECTS
2022-04-20
2022-04-14

client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Cover
project no.	121.23
scale	1: ### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
	L0.00

GENERAL NOTES

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9, p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- Landscape installation to carry a 1 year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance. The Contractor will not be responsible for plant loss due to extreme climatic conditions such as abnormal freezing temperatures or hail which occur after Acceptance. The Contractor shall be responsible for plant loss due to inadequate acclimatization of plants for their planted location.

ON-SLAB TREE PLANTING NOTES

- For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
- Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
- A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
- Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
- Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Soil volume for boulevard trees to be as follows: 8 cu. m. for small trees, 12 cu. m. for medium trees, and 16 cu. m. for large trees.

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MH	MANHOLE
B&B	BALLED AND BURLAPPED	MIN	MINIMUM
BC	BOTTOM OF CURB	MISC	MISCELLANEOUS
BLDG	BUILDING	MM	MILLIMETRE
BM	BENCHMARK	N	NORTH
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BR	BOTTOM OF RAMP	NO	NUMBER
BS	BOTTOM OF STEP	NOM	NOMINAL
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CAL	CALIPER	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CF	CUBIC FEET	PC	POINT OF CURVATURE
CIP	CAST IN PLACE	PE	POLYURETHANE
CL	CENTER LINE	PI	POINT OF INTERSECTION
CLR	CLEARANCE	PL	PROPERTY LINE
CM	CENTIMETER	PT	POINT, POINT OF TANGENCY
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CONT	CONTINUOUS	QTY	QUANTITY
CUM	CUBIC METRE	R	RADIUS
DEG	DEGREE	REF	REFERENCE
DEMO	DEMOLISH, DEMOLITION	REINF	REINFORCE(D)
DIA	DIAMETER	REQ'D	REQUIRED(D)
DIM	DIMENSION	REV	REVISION
DTL	DETAIL	ROW	RIGHT OF WAY
DWG	DRAWING	S	SOUTH
E	EAST	SAN	SANITARY
EA	EACH	SD	STORM DRAIN
EL	ELEVATION	SF	SQUARE FOOT (FEET)
ENG	ENGINEER	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EST	ESTIMATE	SPECS	SPECIFICATIONS
E/W	EACH WAY	SQ M	SQUARE METRE
EXIST	EXISTING	ST	STORM SEWER
EXP	EXPANSION, EXPOSED	STA	STATION
FFE	FINISHED FLOOR ELEVATION	STD	STANDARD
FG	FINISHED GRADE	SYM	SYMMETRICAL
FL	FLOW LINE	T&B	TOP AND BOTTOM
FOC	FACE OF CURB	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FTG	FOOTING	TH	THICK
GA	GALVE	TOPO	TOPOGRAPHY
GEN	GENERAL	TR	TOP OF RAMP
GR	GRADE ELEVATION	TS	TOP OF STEP
HORIZ	HORIZONTAL	TW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
HT	HEIGHT	VAR	VARIABLES
ID	INSIDE DIAMETER	VOL	VOLUME
INV	INVERT ELEVATION	W	WITH
IN	INCH(ES)	W/O	WITHOUT
INCL	INCLUDE(D)	WT	WEIGHT
JF	JOINT	WL	WATER LEVEL
LF	LINEAR FEET	WWF	WELDED WIRE FRAME
LP	LOW POINT	YD	YARD
		@	AT

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications. Boulevard irrigation system to meet City of Victoria Supplementary Specification for Street Trees and Irrigation Bylaw.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

MATERIALS LEGEND

1.0		HARDSCAPE
1.1		Asphalt. See Civil
1.2		CIP Concrete Light Broom finish with tooled control joints.
1.3		CIP Concrete <i>Light Broom Radial Concrete Control Joints</i>
1.4		Standard Paver <i>8x8 tile pattern, colour Natural</i>
1.5		Standard Paver <i>8x8 tile pattern, colour Charcoal</i>
1.6		Patio <i>'Texada' Hydrapressed Slabs. 457 mm x 457 mm x40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.</i>

HARDSCAPE: CITY STANDARDS

See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.

1.7		Trowel Joint Concrete. See L4.01 For Pattern Details
1.8		Granite Pavers @ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.
1.9		Grey Basalt Entry Band Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed
1.10		Granite Pavers Solider Course Border 200mm Granite Pavers
2.0		DAYCARE <i>Design TBD by input from Daycare provider</i>

2.1		Sand
2.2		Safety Surfacing

WALLS

3.1		Concrete Retaining Wall - On Grade
3.2		Concrete Bench
3.3		Concrete Flush Curb - See Civil.

FURNISHINGS

4.1		'Downtown Bicycle Rack' As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.
4.2		Fire pit
4.3		Trash Bin
4.4		Trellis
4.5		Benches
4.6		Tables
4.7		Shed. See Architecture.

FENCES AND BARRIERS

5.1		1800mm Wood Fence
5.2		Picket Fence

LIGHTING See Arch and Electrical

LANDSCAPE MATERIAL

7.1		Shrub Area
7.4		Rain Garden (See Dwg 1 L1.03 & 4.01)

LINE TYPE LEGEND

	Property line
	Extent of Parkade, below
	Pedestrian Sightline

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

Civil Typical Inlet Drain

GRADING LEGEND

	Existing Landscape Grade		
	Civil Grade, provided for reference only		
	Architectural grade, provided for reference only		
	Proposed Landscape Grade		
TOW	Top of Wall	BP	Bottom of Pool
BW	Bottom of Wall	TS	Top of Stairs
TOC	Top of Curb	BS	Bottom of Stairs
BC	Bottom of Curb	HP	High Point
TP	Top of Pool	LP	Low Point

IRRIGATION LEGEND

	Irrigation Point of Connection Proposed Irrigation Point of Connection. Provide water service and electrical service from irrigation controller to valves.
	Irrigation Sleeve Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.

LANDSCAPE DRAINAGE LEGEND

	Perforated Underdrain
	Sched 40 PVC
	Clean out
	Rain Garden Overflow Drain
	8" Square drain with ductile iron grates.
	Trench Drain Aco K100 Trench Drain, Load Class 'A'.
	DRAINS BY OTHERS SD BL AD Mechanical Drains (For reference only)

3	Rezoning DP Resubmission	2022-04-14		
2	DP	2021-12-16		
1	Issued for Dev. Tracker	2021-10-19		
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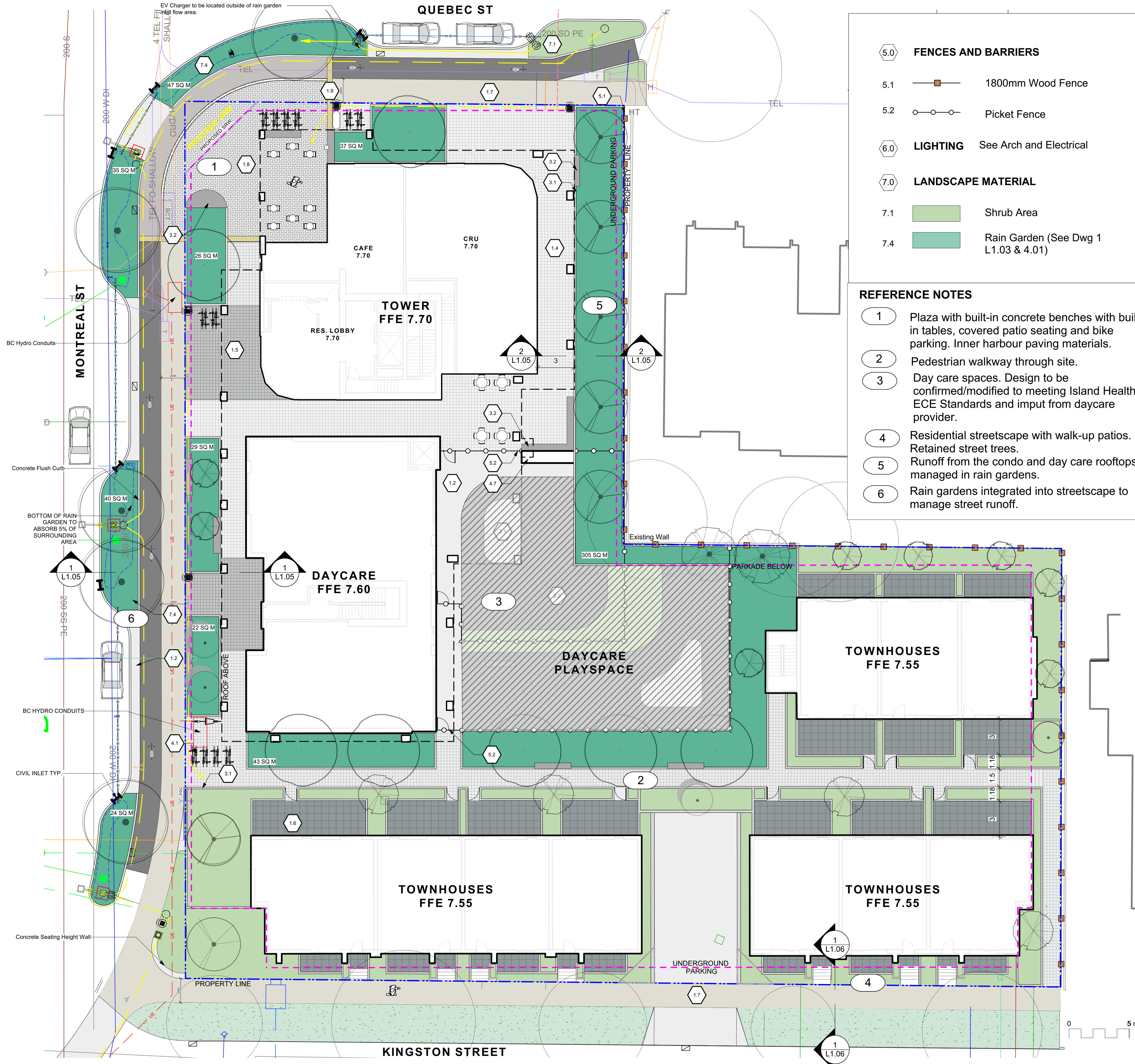
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Scott Murdoch
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MEMBER
341
LANDSCAPE ARCHITECTS
2022-04-20

client	
Mike Geric Construction 4520 West Saanich Rd Saanich, BC	
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	
General Information Sheet	
project no.	121.23
scale	1: ### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
	L0.01



- 5.0 FENCES AND BARRIERS**
- 5.1 1800mm Wood Fence
 - 5.2 Picket Fence
- 6.0 LIGHTING** See Arch and Electrical
- 7.0 LANDSCAPE MATERIAL**
- 7.1 Shrub Area
 - 7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

- REFERENCE NOTES**
- 1 Plaza with built-in concrete benches with built in tables, covered patio seating and bike parking. Inner harbour paving materials.
 - 2 Pedestrian walkway through site.
 - 3 Day care spaces. Design to be confirmed/modified to meeting Island Health ECE Standards and input from daycare provider.
 - 4 Residential streetscape with walk-up patios. Retained street trees.
 - 5 Runoff from the condo and day care rooftops managed in rain gardens.
 - 6 Rain gardens integrated into streetscape to manage street runoff.

- MATERIALS LEGEND**
- 1.0 HARDSCAPE**
- 1.1 Asphalt. See Civil
 - 1.2 CIP Concrete Light Broom finish with tooled control joints.
 - 1.3 CIP Concrete Light Broom Radial Concrete Control Joints
 - 1.4 Standard Paver 8x8 tile pattern, colour Natural
 - 1.5 Standard Paver 8x8 tile pattern, colour Charcoal
 - 1.6 Patio 'Texada' Hydrapressed Slabs. 457 mm x 457 mm x 40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.
- 1.0 HARDSCAPE: CITY STANDARDS**
- See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.
- 1.7 Trowel Joint Concrete. See L4.01 For Pattern Details
 - 1.8 Granite Pavers @ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.
 - 1.9 Grey Basalt Entry Band Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed
 - 1.10 Granite Pavers Solider Course Border 200mm Granite Pavers
- 2.0 DAYCARE**
- Design TBD by input from Daycare provider
- 2.1 Sand
 - 2.2 Safety Surfacing
- 3.0 WALLS**
- 3.1 Concrete Retaining Wall - On Grade
 - 3.2 Concrete Bench
 - 3.3 Concrete Flush Curb - See Civil.
- 4.0 FURNISHINGS**
- 4.1 'Downtown Bicycle Rack' As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.
 - 4.2 Fire pit
 - 4.3 Trash Bin
 - 4.4 Trellis
 - 4.5 Benches
 - 4.6 Tables
 - 4.7 Shed. See Architecture.

3	Rezoning DP Resubmission	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date

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2022-04-14

client
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project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Materials - Ground

project no.	121.23
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
3	L1.01



- 5.0 **FENCES AND BARRIERS**
 - 5.1 1800mm Wood Fence
 - 5.2 Picket Fence
- 6.0 **LIGHTING** See Arch and Electrical
- 7.0 **LANDSCAPE MATERIAL**
 - 7.1 Shrub Area
 - 7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

- REFERENCE NOTES**
- 1 Fire pit nook with seating.
 - 2 Dining area. with long harvest-style picnic tables.
 - 3 Pergola.
 - 4 Stand-up bar.
 - 5 Private patio spaces.
 - 6 Townhome roof top patios.

- MATERIALS LEGEND**
- 1.0 **HARDSCAPE**
 - 1.1 Asphalt. See Civil
 - 1.2 CIP Concrete Light
Broom finish with tooled control joints.
 - 1.3 CIP Concrete
Light Broom Radial Concrete Control Joints
 - 1.4 Standard Paver
8x8 tile pattern, colour Natural
 - 1.5 Standard Paver
8x8 tile pattern, colour Charcoal
 - 1.6 Patio
'Texada' Hydrapressed Slabs. 457 mm x 457 mm x40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.
 - 1.0 **HARDSCAPE: CITY STANDARDS**
See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.
 - 1.7 Trowel Joint Concrete.
See L4.01 For Pattern Details
 - 1.8 Granite Pavers
@ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.
 - 1.9 Grey Basalt Entry Band
Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed
 - 1.10 Granite Pavers
Solider Course Border 200mm Granite Pavers
 - 2.0 **DAYCARE**
Design TBD by input from Daycare provider
 - 2.1 Sand
 - 2.2 Safety Surfacing
 - 3.0 **WALLS**
 - 3.1 Concrete Retaining Wall - On Grade
 - 3.2 Concrete Bench
 - 3.3 Concrete Flush Curb - See Civil.
 - 4.0 **FURNISHINGS**
 - 4.1 'Downtown Bicycle Rack' As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.
 - 4.2 Fire pit
 - 4.3 Trash Bin
 - 4.4 Trellis
 - 4.5 Benches
 - 4.6 Tables
 - 4.7 Shed. See Architecture.

rev no	description	date
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2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

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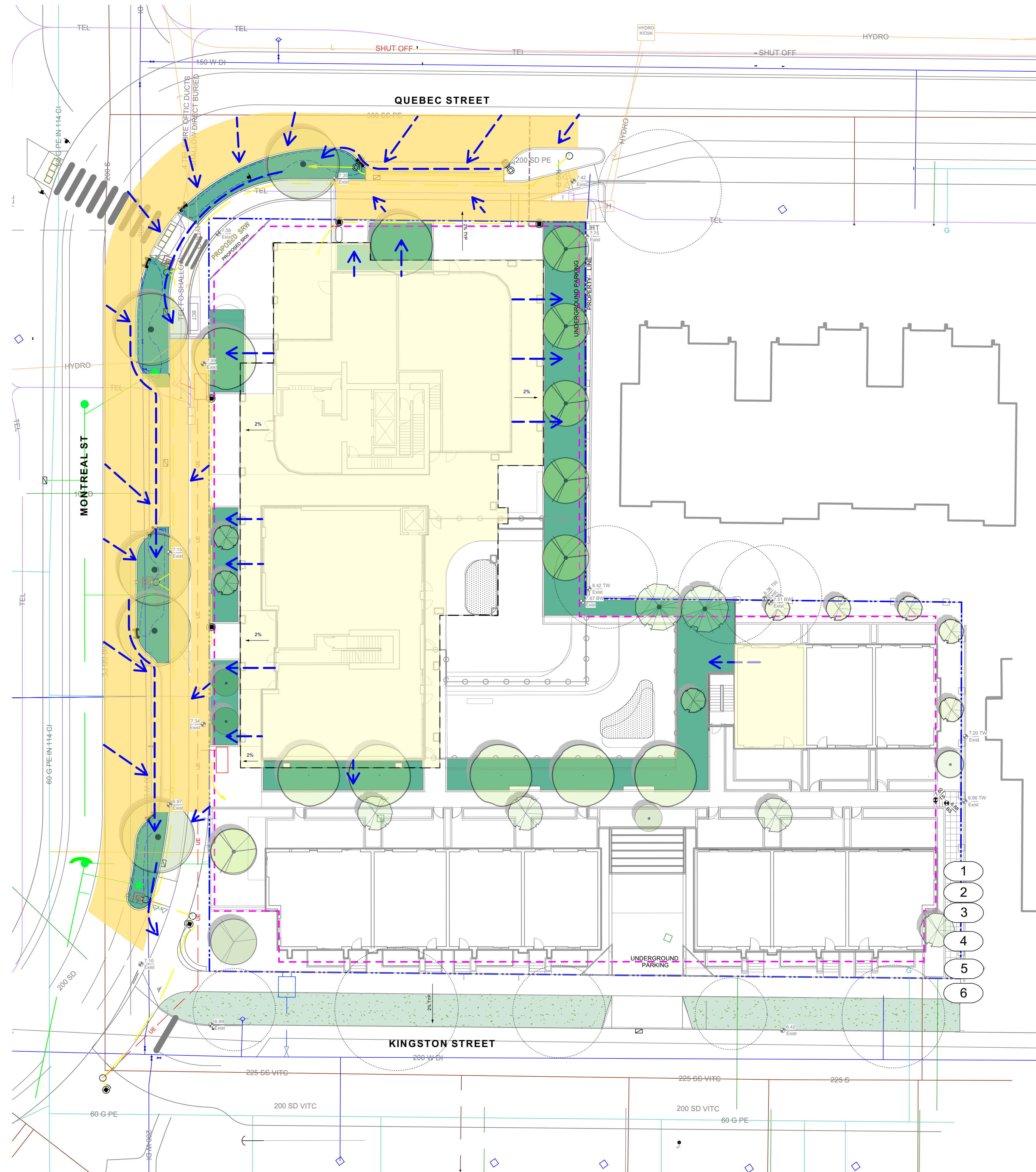
project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Materials - Roof

project no.	121.23
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

3

L1.02



LEGEND

- PROPERTY LINE
 - - - - - EXTENT OF UNDERGROUND PARKING (INDICATIVE)
 - EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
 - RAIN GARDEN - TOP OF POOL
 - RAIN GARDEN - BOTTOM OF POOL
 - 16.50 EXISTING GRADE (APPROXIMATE)
 - 16.45 PROPOSED ARCH GRADE
 - 16.35 PROPOSED LANDSCAPE GRADE
 - TP TOP OF POOL
 - BP BOTTOM OF POOL
 - DIRECTION OF FLOW
 - RAIN GARDEN ON GRADE
- IMPERVIOUS AREAS**
- ROOF DRAINS TO RAIN GARDEN
 - ROAD / HARDSCAPE DRAINS TO RAIN GARDEN

RAIN WATER MANAGEMENT NOTES

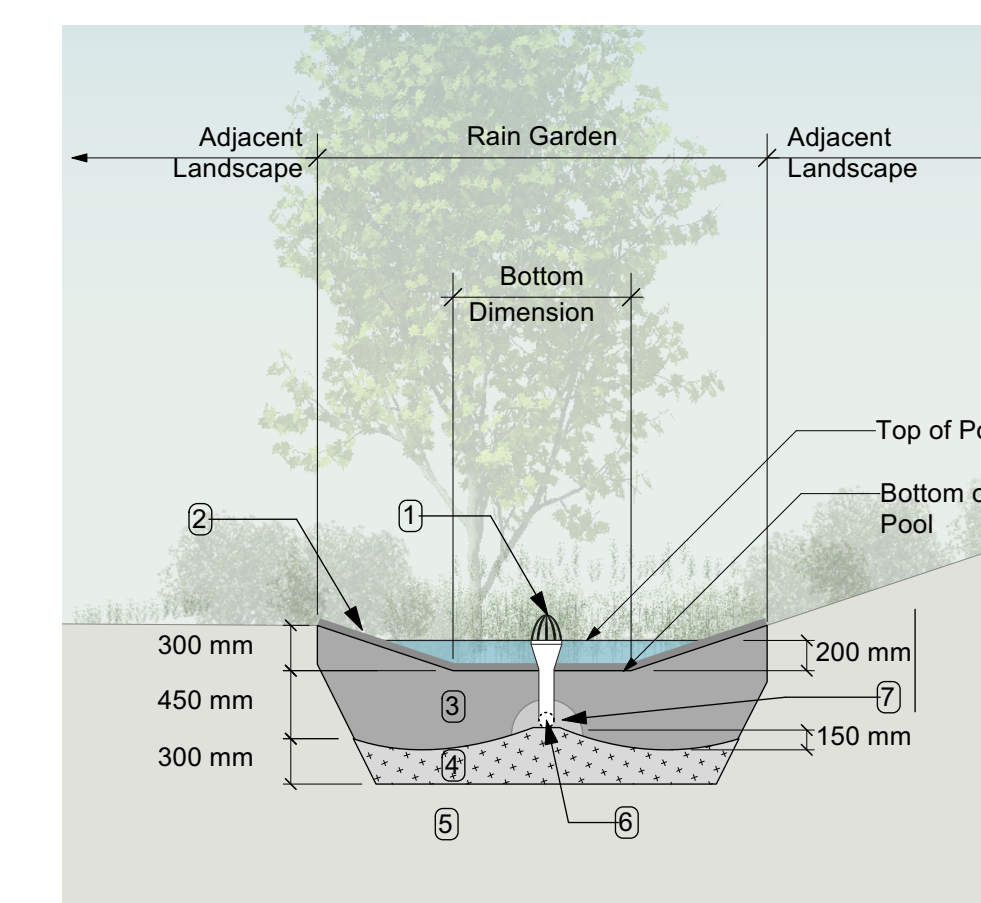
Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high-capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area to meet or exceed City of Victoria Green Stormwater Infrastructure Guidelines.

Boulevard rain gardens to be designed to City of Victoria Standards



- RAIN GARDEN MATERIALS**
1. Overflow drain, 200 mm domed grate + adapter
 2. Composted mulch, 50-70 mm depth
 3. Bio-retention growing medium, 450 mm depth
 4. Scarified/tilled subgrade, 300 mm depth
 5. Existing subgrade/native material
 6. 100 mm diameter (min) perforated pipe
 7. 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50

GRADING NOTES

1. All grades slope 2% from the building to back of curb.
2. Slab grade varies
3. All landscape walls are an average of 500mm height.
4. Kingston St Townhouses require 3-4 risers to meet grade.
5. Proposed curb grades to be determined by Civil (proposed grades will be similar to existing grades. See Civil for details)
6. All sidewalk slope 2% to back of curb.





3	Rezoning DP Resubmission	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
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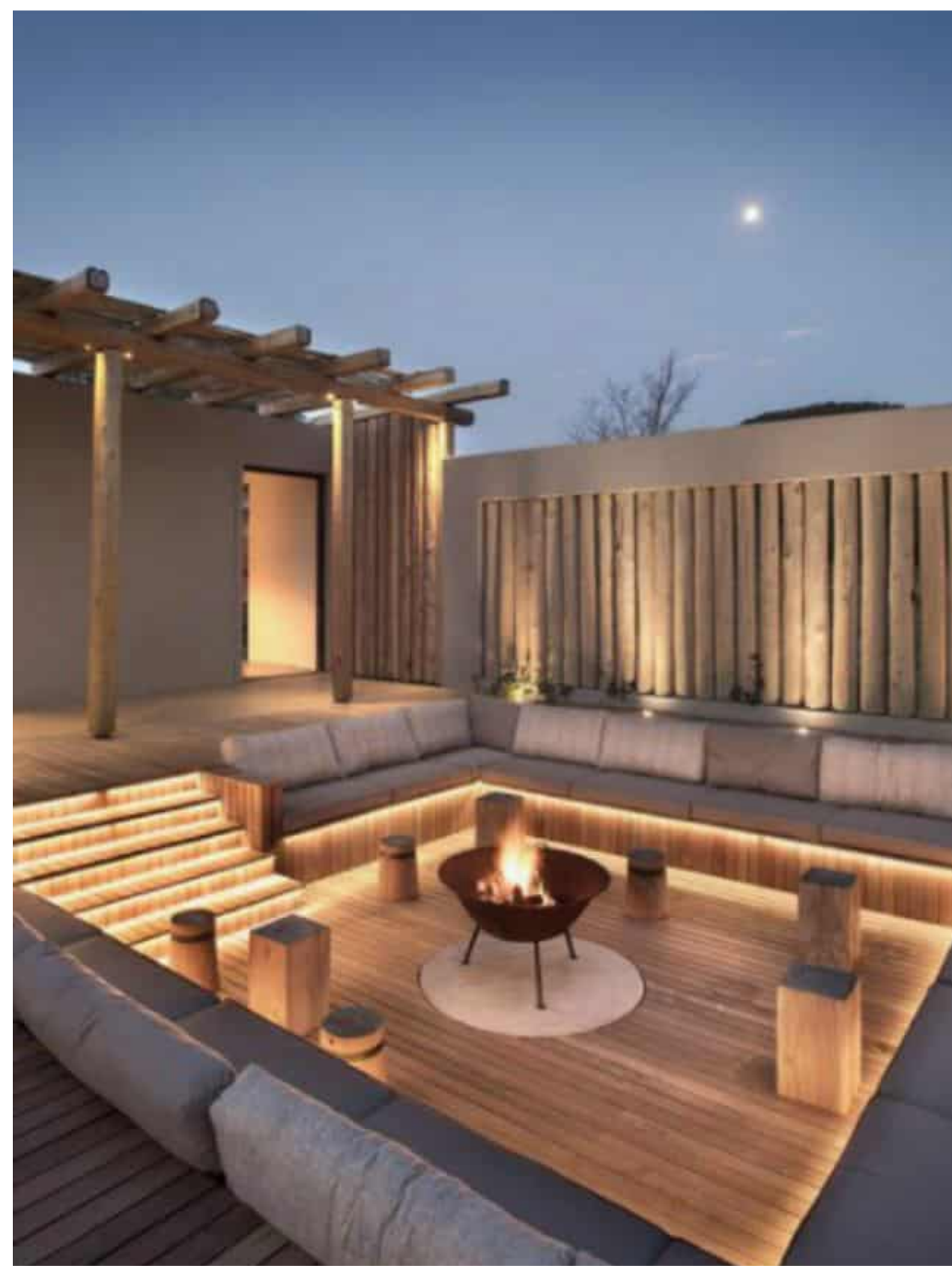
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2022-04-20

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Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Stormwater Management & Grading

project no.	121.23
scale	1:### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
3	L1.03



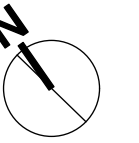
ROOFTOP COMMON SPACE

DAYCARE - PLAY



STREETSCAPE MONTREAL & QUEBEC

STREETSCAPE KINGSTON



rev no	description	date
3	Rezoning DP Resubmission	2022-04-14
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1	Issued for Dev. Tracker	2021-10-19

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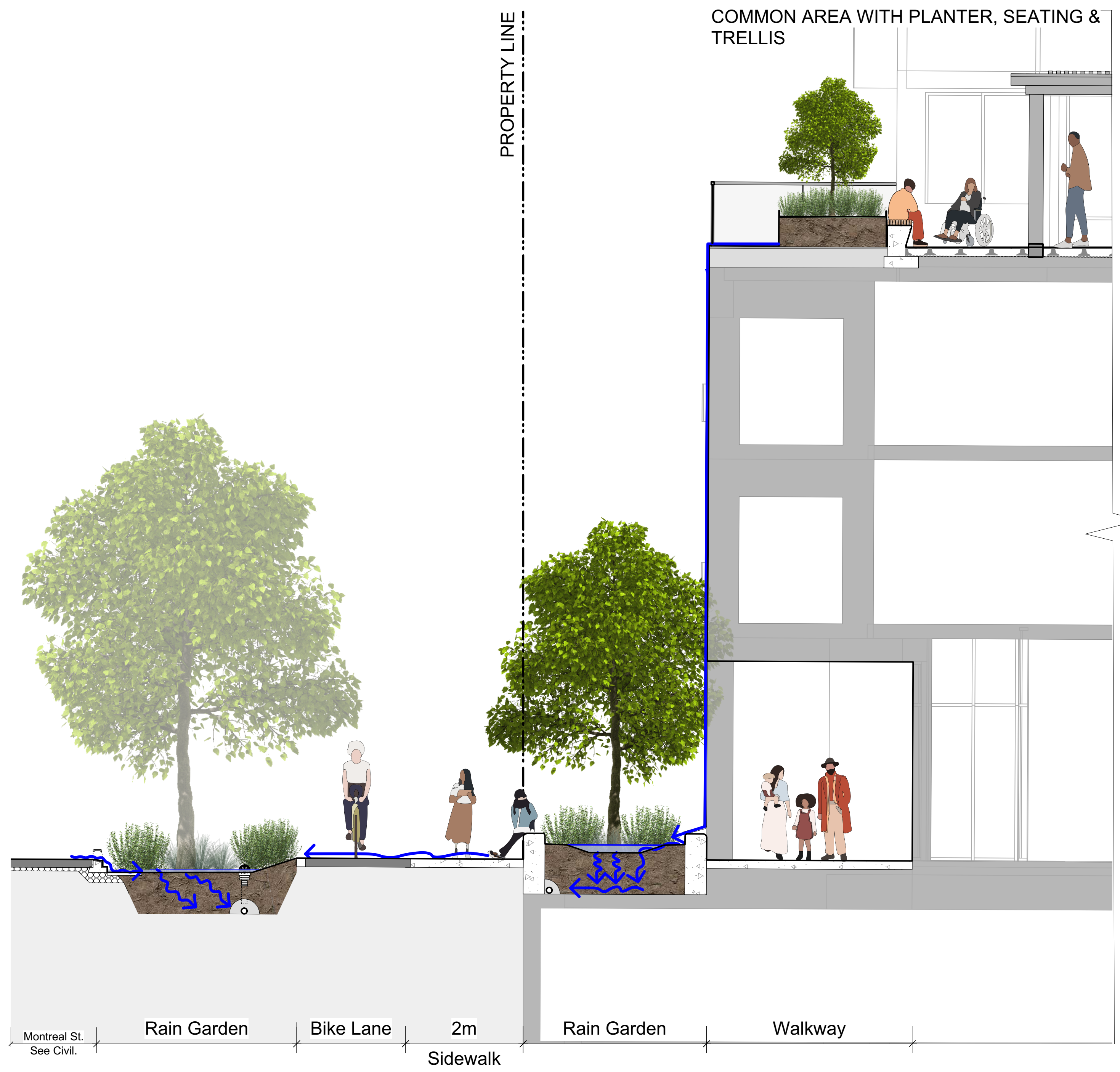
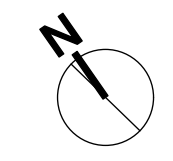
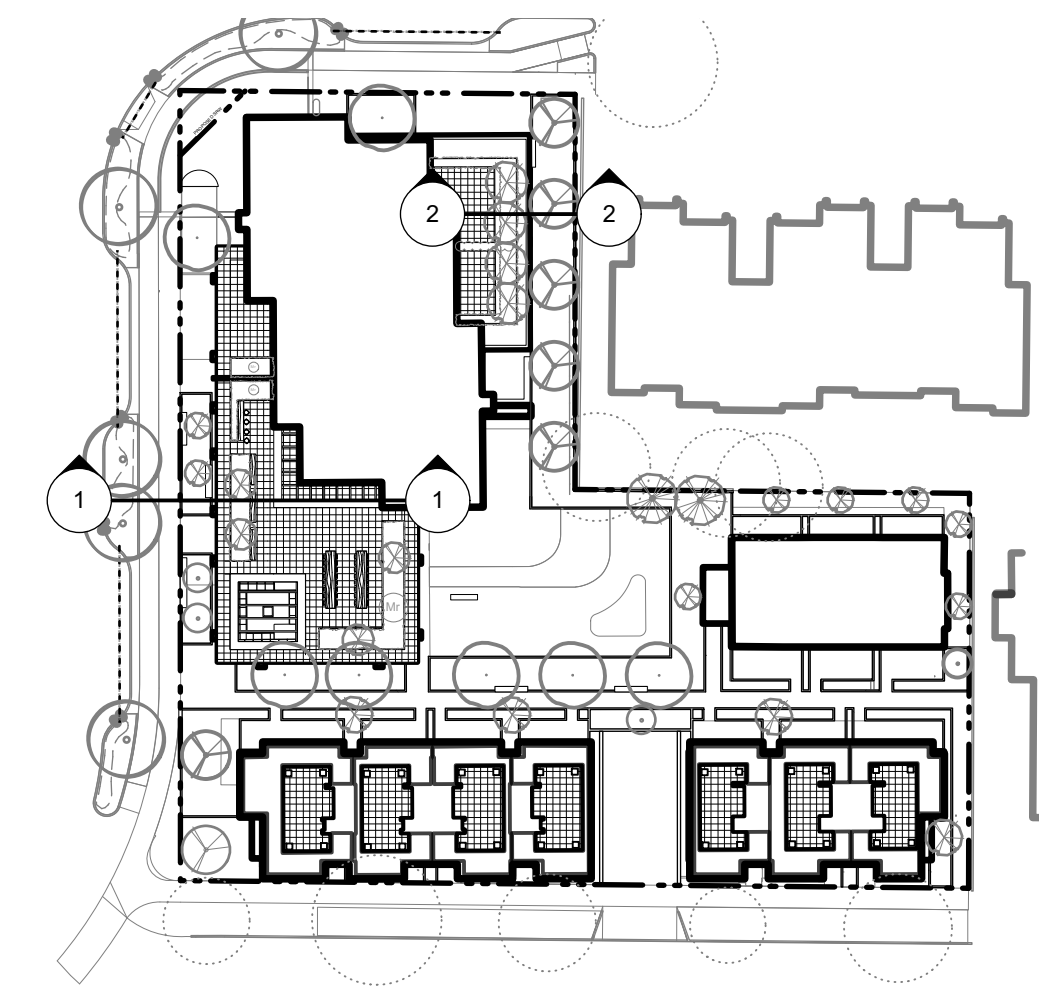
BRITISH COLUMBIA SOCIETY OF
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2022-04-20
2022-04-14

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Saanich, BC

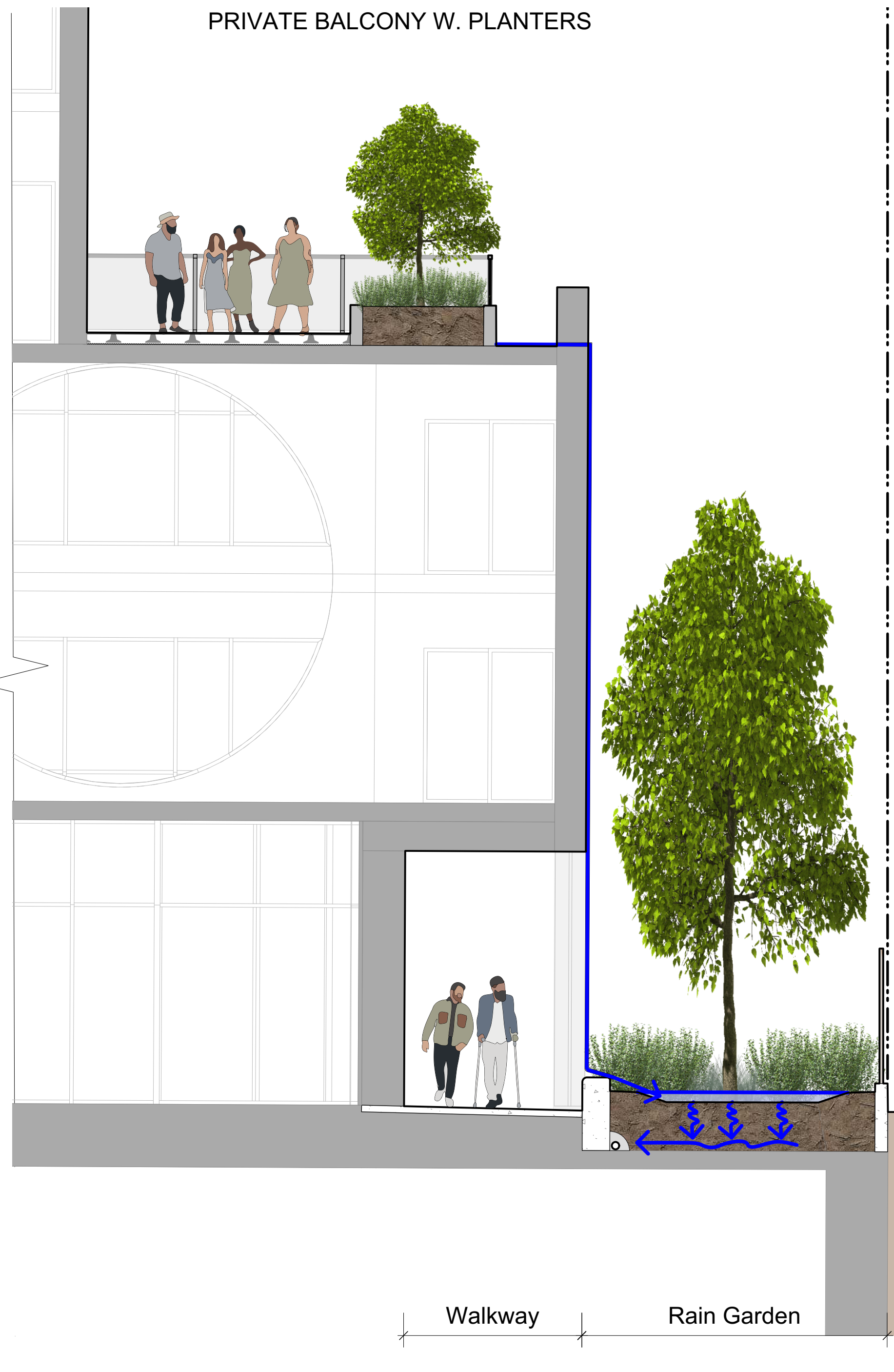
project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Precedents

project no.	121.23
scale	N/A @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.



1 Montreal Street Section



2 Section w. Neighbouring Townhomes

rev no	description	date
3	Rezoning DP Resubmission	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

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2022-04-20
2022-04-14

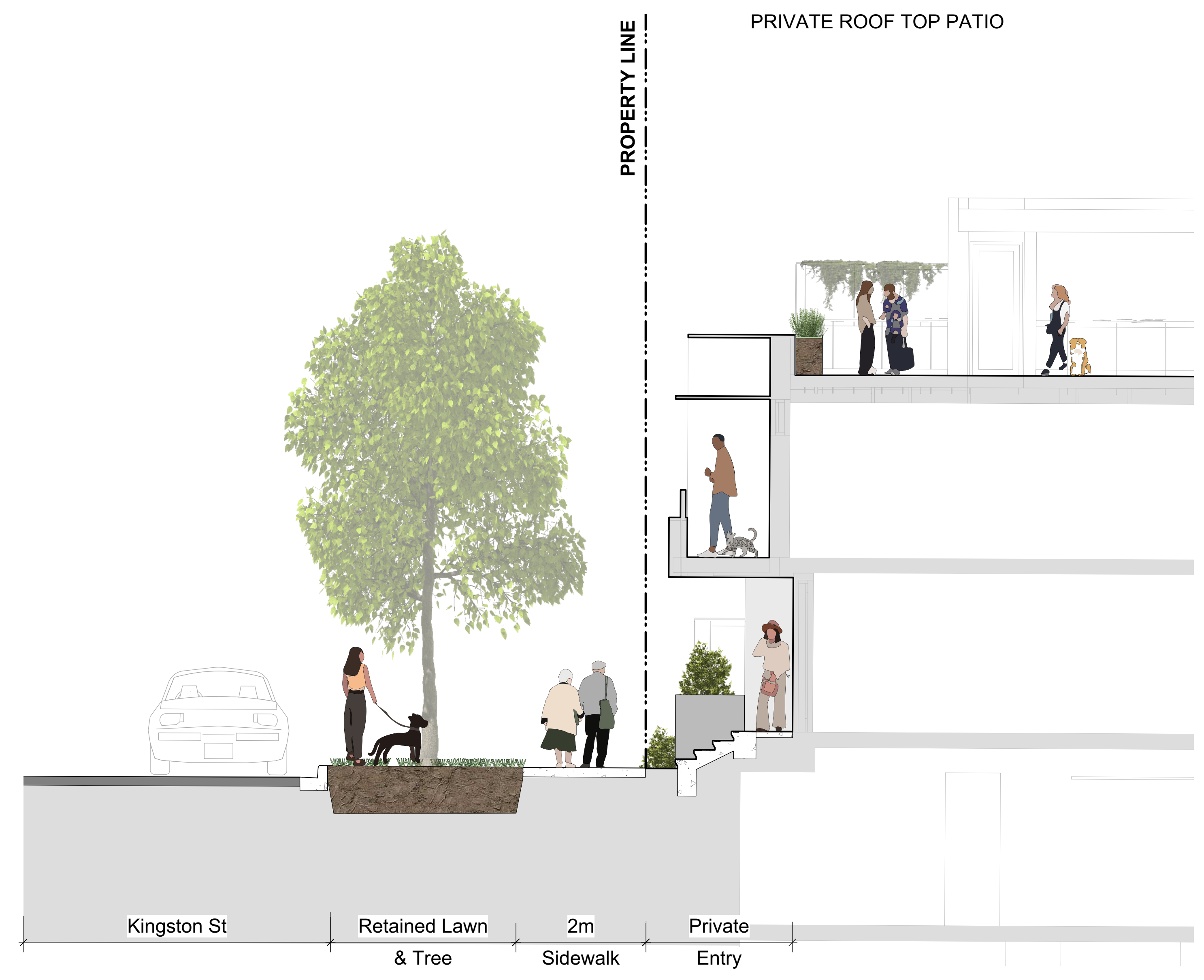
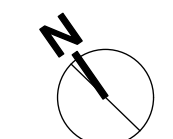
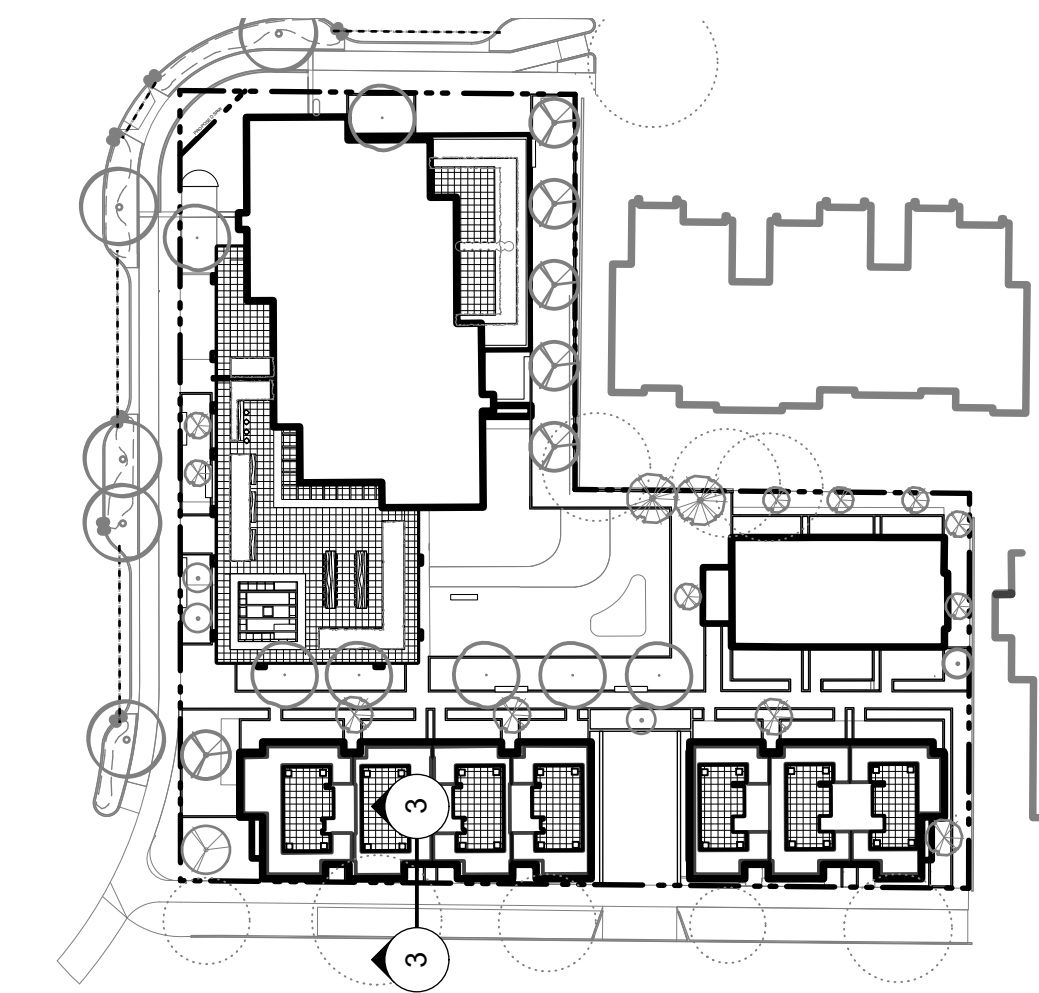
client
Mike Geric Construction
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Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Materials - Sections


project no.	121.23
scale	1:50 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.


3 **L1.05**



3 Typical Kingston Street Section

rev no	description	date
3	Rezoning DP Resubmission	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19


Murdoch de Greeff INC
 Landscape Planning & Design
200 - 524 Colquhoun Road Victoria, BC V8Z 1G1 Phone: 250-412-2891 Fax: 250-412-2892




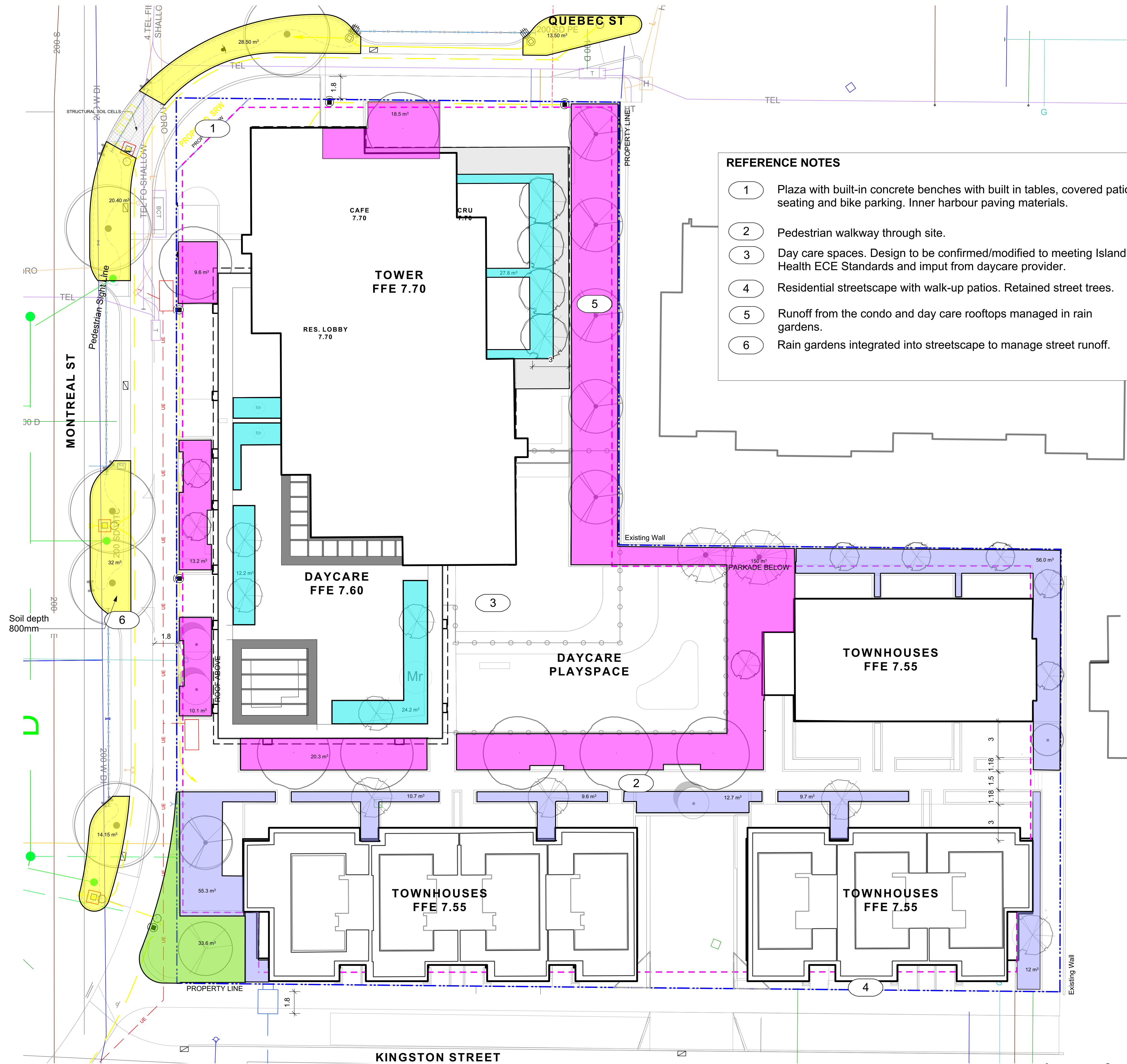
client
Mike Geric Construction
 4520 West Saanich Rd
 Saanich, BC

project
QUEBEC & MONTREAL DEV.
 501-502 MONTREAL ST.
 VICTORIA, BC

sheet title
Landscape Materials - Sections

project no.	121.23
scale	1:50 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.



L1.06




- LEGEND**
- Rain Garden over Slab 500mm
 - Rain Garden on Grade w. Boulevard 600mm avg (or as specified on plan)
 - Planter over Slab or Raised Planter - 700mm
 - Planter over Slab or Raised Planter - 500-600mm
 - Tree soil on Grade - 600m

- NOTES**
1. Small Tree: min 6-8 cubic metres of soil
 2. Medium Tree: min 15-20 cubic metres of soil
 3. Large Tree: 30-35 cubic metres of soil

- REFERENCE NOTES**
- 1 Plaza with built-in concrete benches with built in tables, covered patio seating and bike parking. Inner harbour paving materials.
 - 2 Pedestrian walkway through site.
 - 3 Day care spaces. Design to be confirmed/modified to meeting Island Health ECE Standards and input from daycare provider.
 - 4 Residential streetscape with walk-up patios. Retained street trees.
 - 5 Runoff from the condo and day care rooftops managed in rain gardens.
 - 6 Rain gardens integrated into streetscape to manage street runoff.




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Victoria, BC V8Z 1G1

Phone: 250-412-2891
Fax: 250-412-2892



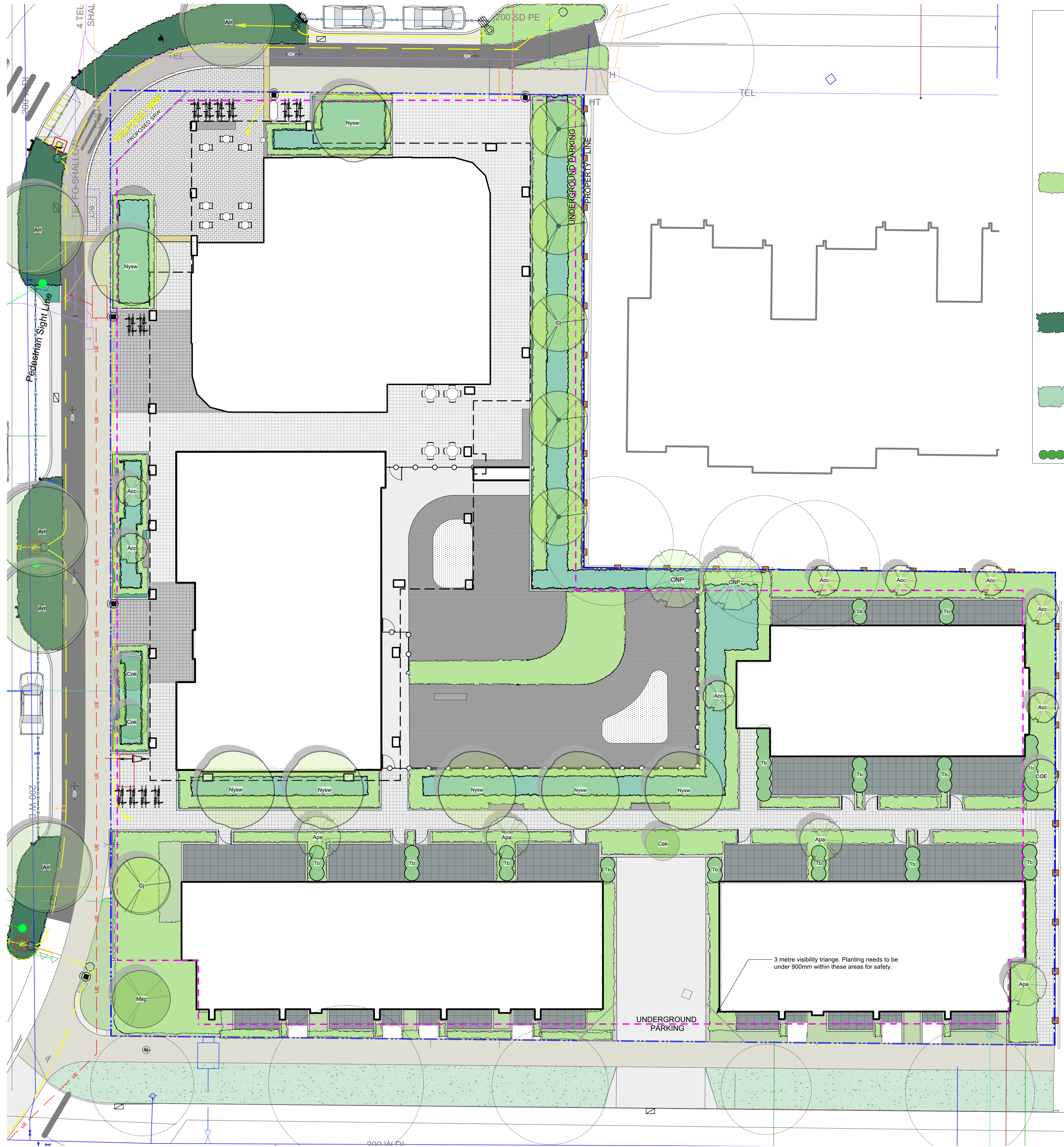
REGISTERED MEMBER
Scott Murdoch
LANDSCAPE ARCHITECT
341
2022-04-20
2022-04-14

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Soil Volumes

project no.	121.23
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
3	L1.07

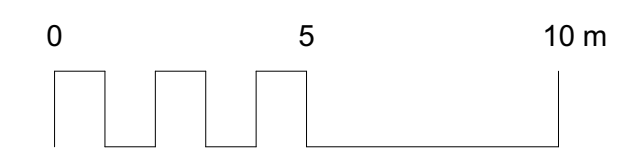


PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
Acc	8	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
Apa	4	Acer palmatum	Japanese Maple	1.8 m height, specimen quality
Arr	5	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	6.0cm cal, b&b
Cj	6	Cercidiphyllum japonicum	Katsura Tree	6.0cm cal, b&b
CNP	2	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	2.5 m ht, b&b
COE	1	Cornus 'Eddie's White Wonder'	Flowering Dogwood	6.0cm cal, b&b
Cok	3	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	5.0cm cal, b&b
Mxg	1	Magnolia x 'Galaxy'	Galaxy Magnolia	6.0cm cal, b&b
Nysw	7	Nyssa sylvatica 'Wildfire'	Tupelo	6.0cm cal, b&b
SHRUBS:				
173		Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
82		Chamaecyparis pisifera 'Sungold'	False Cypress 'Sungold'	#2 pot
47		Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
66		Eupatorium cannabinum	Hemp Agrimony	Sp3
403		Gaultheria shallon	Salal	#1 pot
496		Liriope muscari	Lily turf	#1 pot
246		Lonicera pileata	Privet Honeysuckle	#1 pot
66		Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
62		Polystichum munitum	Sword Fern	#1 pot
173		Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
127		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
66		Verbena bonariensis	Purpletop Vervain	#1 pot
RAIN GARDEN PLANTERS STREET:				
356		Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
356		Carex obnupta	Slough Sedge	#1 pot
71		Gaultheria shallon	Salal	Sp3
71		Mahonia repens	Prostrate Oregon Grape	#1 pot
43		Spiraea japonica 'Gold Mound'	Gold Mound Spiraea	#1 pot
EMERGENTS:				
405		Carex obnupta	Slough Sedge	Sp3
31		Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
429		Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
405		Liriope muscari	Lily turf	#1 pot
HEDGING/SCREENING:				
45		Taxus baccata	English Yew	#5 pot

REFERENCE NOTES

30%+ of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.



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Phone: 250-412-2891
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2022-04-20

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Planting Plan

project no.	121.23
scale	1:### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
3	L3.01

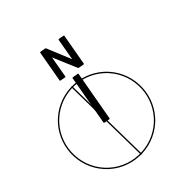


PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
Acc	4	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
Apa	4	Acer palmatum	Japanese Maple	1.8 m height, specimen quality
Mr	3	Magnolia stellata 'Royal Star'	Royal Star Magnolia	1.2m b&b
SHRUBS:				
[Symbol]	24	Abelia x grandiflora 'Prostrata'	Prostrate White Abelia	#2 pot
[Symbol]	32	Cistus x corbariensis	Rock Rose	#1 pot
[Symbol]	35	Eriophyllum lanatum	Woolly Sunflower	#1 pot
[Symbol]	106	Hebe topiaria	Topiari's hebe	#1 pot
[Symbol]	63	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#1 pot
[Symbol]	106	Mahonia repens	Prostrate Oregon Grape	#1 pot
[Symbol]	16	Nepeta x faassenii	Catmint	Sp3
[Symbol]	16	Rosmarinus officinalis	Rosemary	0.6
[Symbol]	16	Salvia officinalis	Culinary Sage	#1 pot
[Symbol]	24	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
[Symbol]	0			
PERENNIALS:				
[Symbol]	7	Taxus baccata 'Repandens'	English Weeping Yew	#3 pot


REFERENCE NOTES

30%+ of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.

Residential planters. Planters to be planted and maintained by residents.




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rev no	description	date



Murdoch de Greeff INC
Landscape Planning & Design

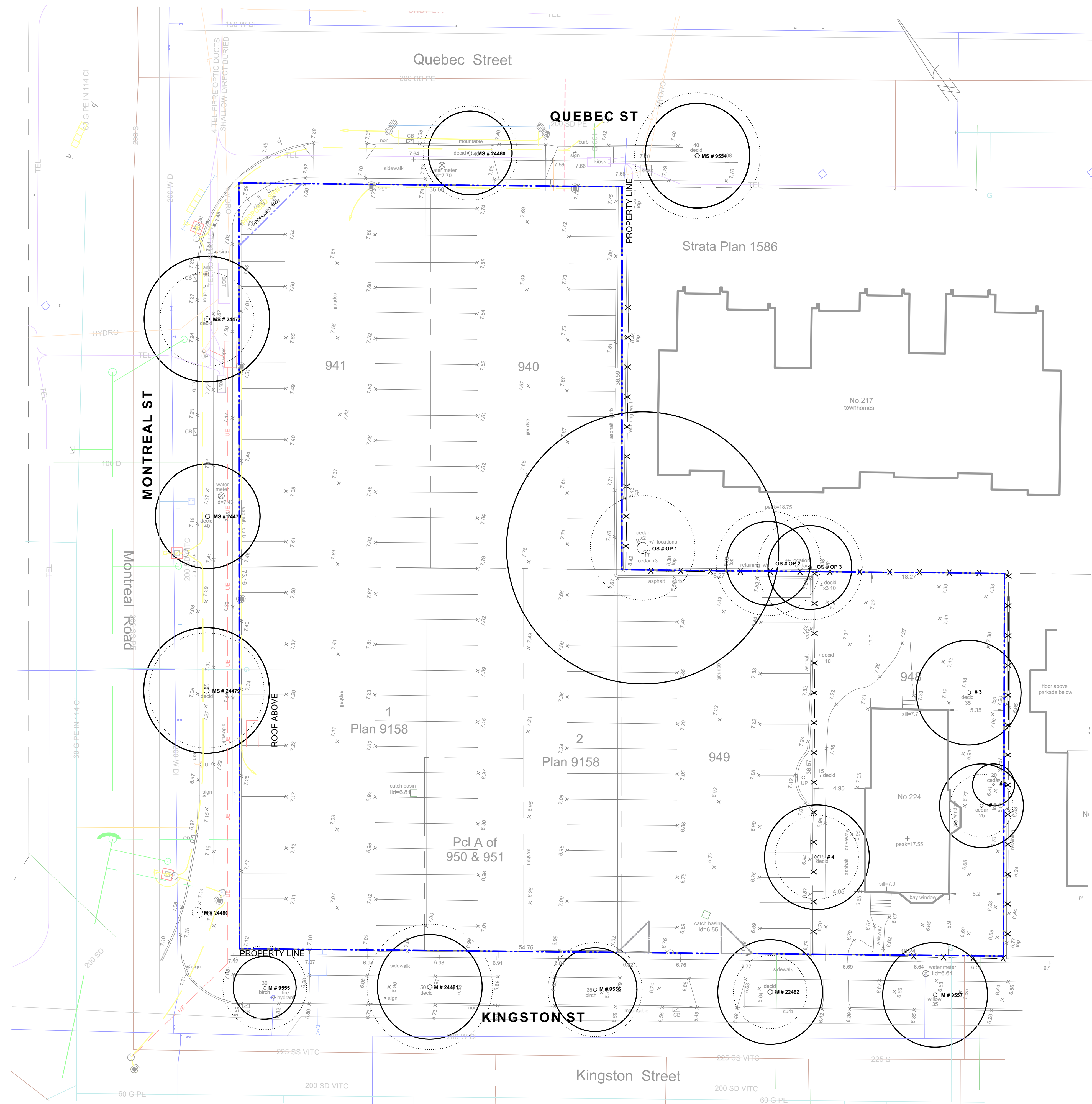
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Victoria, BC V8Z 1G1

Phone: 250-412-2891
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Scott Murdoch
341
LANDSCAPE ARCHITECT
2022-04-20

client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Planting Plan
project no.	121.23
scale	1:### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
3	L3.02



- LINE TYPE LEGEND**
- Property line
 - Right of Way
 - Extent of Roof, above
 - Extent of Parkade, below
 - Rain garden - TOP OF POOL
 - Rain garden - BOTTOM OF POOL

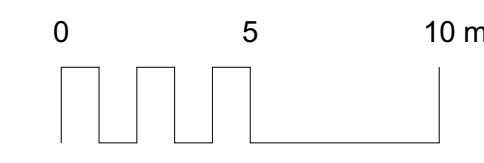
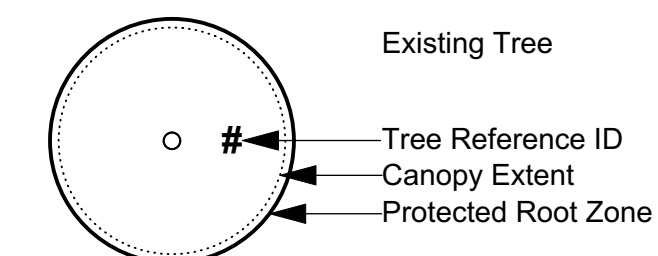
GRADING LEGEND

● 17.70 Existing Landscape Grade

UNDERGROUND UTILITIES
(Shown for reference only - refer to Civil Engineer's drawings).

- EXISTING**
- Storm drain
 - Sewer
 - Water
 - Electrical
 - Gas
 - Hydro Tel

EXISTING PLANT LEGEND
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).



EXISTING TREE INVENTORY*

RETAINED TREES

TREE TAG #	DBH (cm)	CRZ	Species	Crown Spread (m)	Height (m)
9555	27	3	Betula papyrifera	8	9
24481	39	5	Prunus cerasifera	12	9
24482	38	5	Prunus cerasifera	7	9
9557	39	4	Betula pendula	10	11
9554	42	5	Aesculus carnea	12	9
Op1	105	12	Thuja plicata	10	14
Op2	35	4	Cedrus deodard	9	18
Op3	35	4	Sequoiadendron giganteum	9	10
2556	34	4	Betula papyrifera	9	10

TOTAL TREES TO BE RETAINED: 9

REMOVED TREES

TREE TAG #	DBH (cm)	Species	Crown Spread (m)	Height (m)
24460	35	Sorbus intermedia	9	0
24480	3	Prunus sargentii	1	3
24479	53	Prunus cerasifera	11	8
24478	44	Prunus cerasifera	10	8
24477	50	Prunus cerasifera	9	8
1	35	Thuja plicata smaragd	3	6
2	14	Thuja plicata smaragd	2	6
3	39	Pyrus sp.	5	4
4	44	Ilex aquifolium	4	6

TOTAL TREES TO BE REMOVED: 9

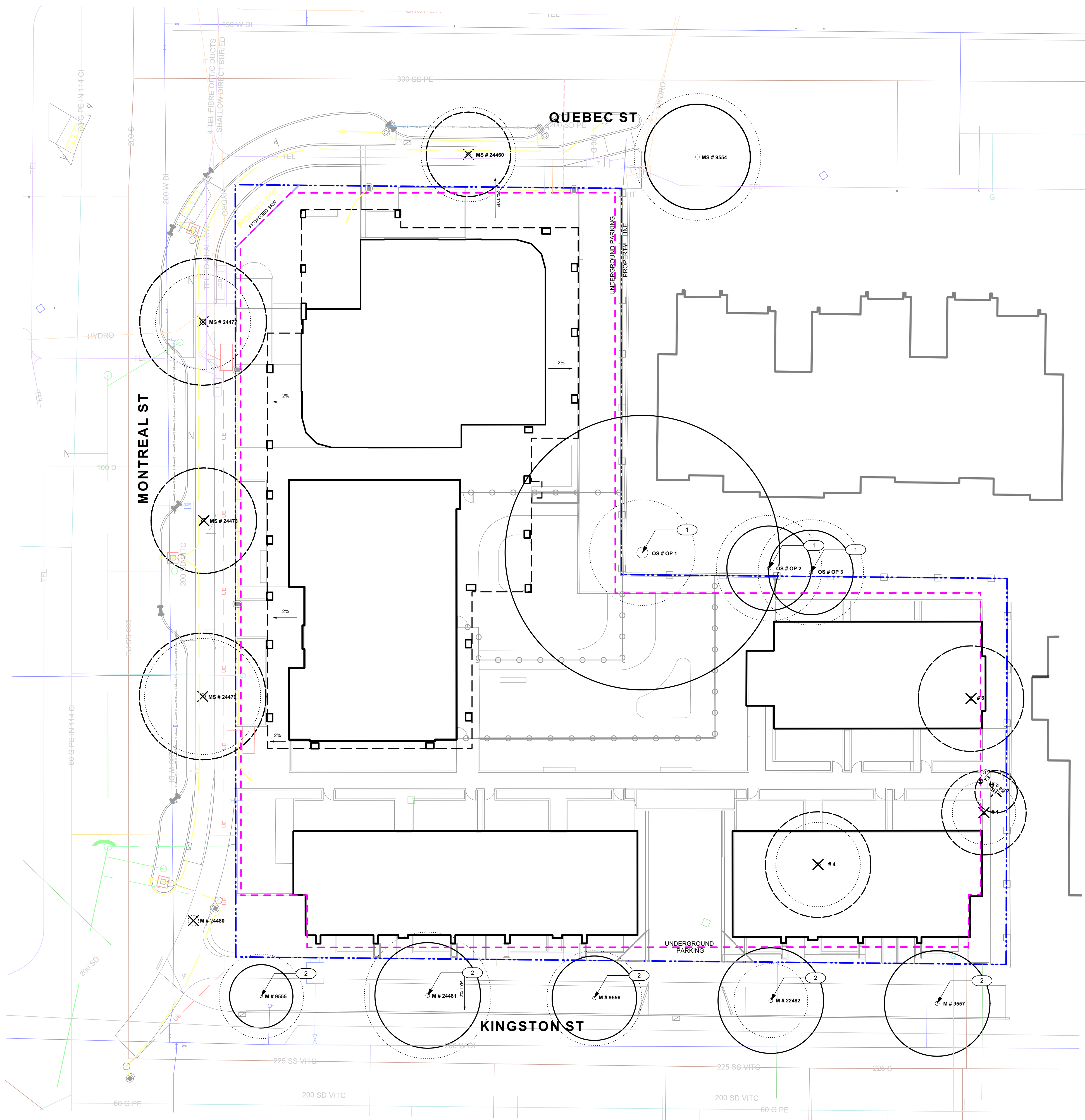
* Based on Arborist's Report received from Arborist, 09/28/2021. Refer to Arborist report for details on tree conditions and Arborist recommendations.

3	Rezoning DP Resubmission	2022-04-14				
2	DP	2021-12-16				
1	Issued for Dev. Tracker	2021-10-19				
rev no	description	date				

client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Tree Survey Plan

project no.	121.23
scale	1: 200 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

3
L0.02



LINE TYPE LEGEND

- Property line
- Right of Way
- Extent of Roof, above
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL

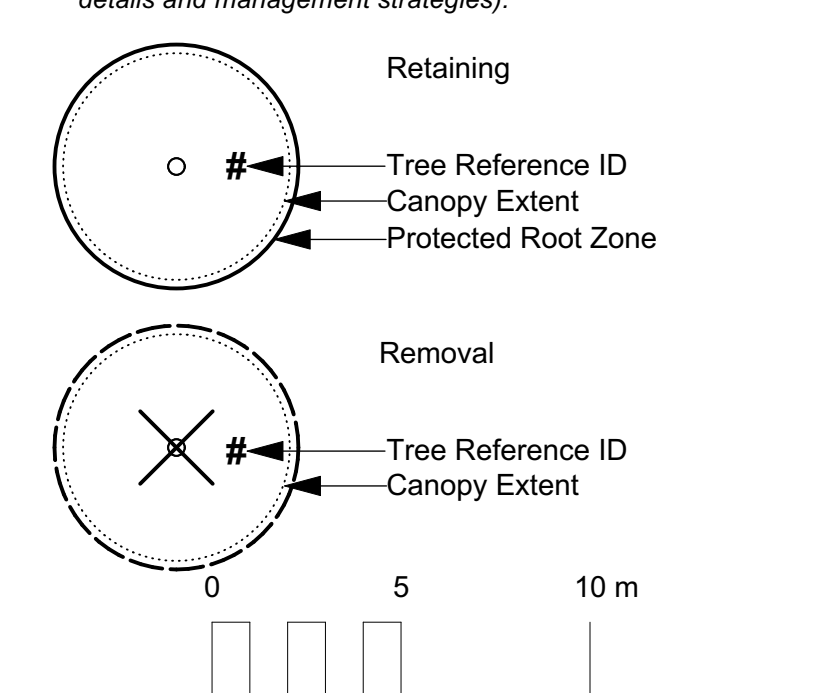
GRADING LEGEND

- Existing Landscape Grade

UNDERGROUND UTILITIES
(Shown for reference only - refer to Civil Engineer's drawings).

- | EXISTING | PROPOSED |
|--|--|
| --- Storm drain | --- Storm drain |
| --- Sewer | --- Sewer |
| --- Water | --- Water |
| --- Electrical | --- Electrical |
| --- Gas | --- Gas |
| --- Hydro Tel | --- Hydro Tel |

EXISTING PLANT LEGEND
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).



EXISTING TREE INVENTORY*

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TOTAL TREES TO BE RETAINED: 9

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24460	35	Sorbus intermedia		9	0
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1	35	Thuja plicata smaragd		3	6
2	14	Thuja plicata smaragd		2	6
3	39	Pyrus sp.		5	4
4	44	Ilex aquifolium		4	6

TOTAL TREES TO BE REMOVED: 9

* Based on Arborist's Report received from Arborist, 09/28/2021. Refer to Arborist report for details on tree conditions and Arborist recommendations.

REFERENCE NOTES

- 1 Requires onsite supervision of trees during excavation
- 1 Potentially impacted by site serving and grading

3	Rezoning DP Resubmission	2022-04-14
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1	Issued for Dev. Tracker	2021-10-19
rev no	description	date

Murdoch de Greeff INC
Landscape Planning & Design

200 - 524 Colquhoun Road
Victoria, BC V8Z 1G1

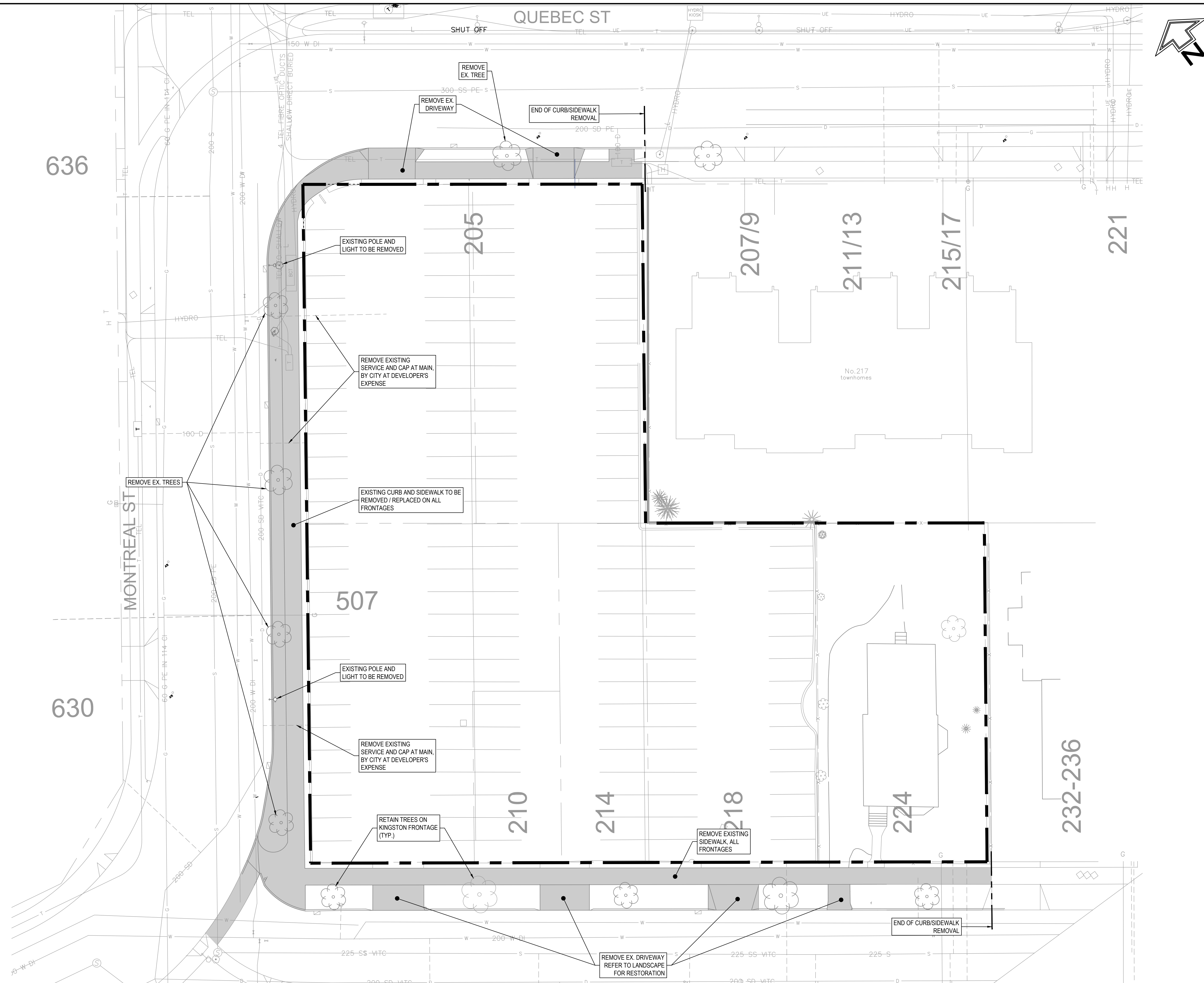
Phone: 250-412-2891
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D. Clark Arboriculture
Landscape Planning & Design

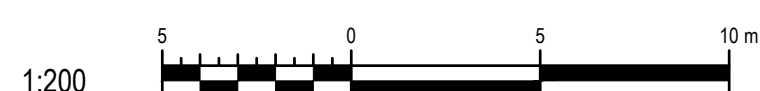
200 - 524 Colquhoun Road
Victoria B.C. V8T-3T4
Phone: 250-412-2891
Fax: 250-412-2892

Scott Murdoch
Landscape Architect
2022-04-20

client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Tree Management Plan
project no.	121.23
scale	1: 200 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
3	L0.03



NOTE:
EXISTING SERVICES ARE TO BE ABANDONED AND CAPPED
BY CITY OF VICTORIA FORCES AT DEVELOPER'S COST



SURFACE DETAIL

⊕ STORM DRAIN MANHOLE	⊕ HYDRO MANHOLE	Y SEWER LATERAL	⊕ TEL MANHOLE
⊕ STORM DRAIN VENT	⊕ HYDRO POLE	⊕ WATER VALVE ON MAIN	⊕ TEL POLE
⊕ CATCH BASIN	⊕ HYDRO POLE WITH DIP	⊕ WATER SERVICE VALVE	⊕ TEL POLE WITH DIP
⊕ DRAIN CLEANOUT	⊕ JOINT POLE	⊕ WATER METER	⊕ TEL POLE WITH LIGHT
⊕ DRAIN LATERAL	⊕ HYDRO POLE WITH LIGHT	⊕ BOULEVARD SERVICE	⊕ TEL SERVICE BOXES
⊕ SANITARY SEWER MANHOLE	⊕ REDUCER	⊕ FIRE HYDRANT	⊕ TEL VAULT
⊕ SANITARY SEWER VENT	⊕ HYDRO SERVICE BOXES	⊕ REDUCER	→ POLE ANCHOR
⊕ SEWER CLEANOUT	⊕ HYDRO VAULT	⊕ LIGHT MANHOLE	⊕ HYDRO/TEL POLE TO BE RELOCATED
		⊕ LIGHT PULL BOX - SIDEWALK	

LEGEND

⊕ SIGNAL PULL BOX - SIDEWALK	⊕ HYDRO/TEL POLE TO BE REMOVED
⊕ LIGHT/SIGNAL PULL BOX - STREET	⊕ GAS METER
⊕ LIGHT POLE (STEEL)	⊕ GAS VALVE
⊕ SIGNAL POLE (STEEL)	⊕ GAS SNIFFER
⊕ LIGHT/SIGNAL POLE (STEEL)	⊕ TEST HOLE
⊕ CLUSTER LAMP - TYPE A	⊕ FENCE LINE
⊕ CLUSTER LAMP - TYPE B	⊕ RETAINING WALL
⊕ STREET SIGN	⊕ TREE
⊕ PARKING METER	⊕ ROCK OUTCROP

ENGINEERING AND PUBLIC WORKS

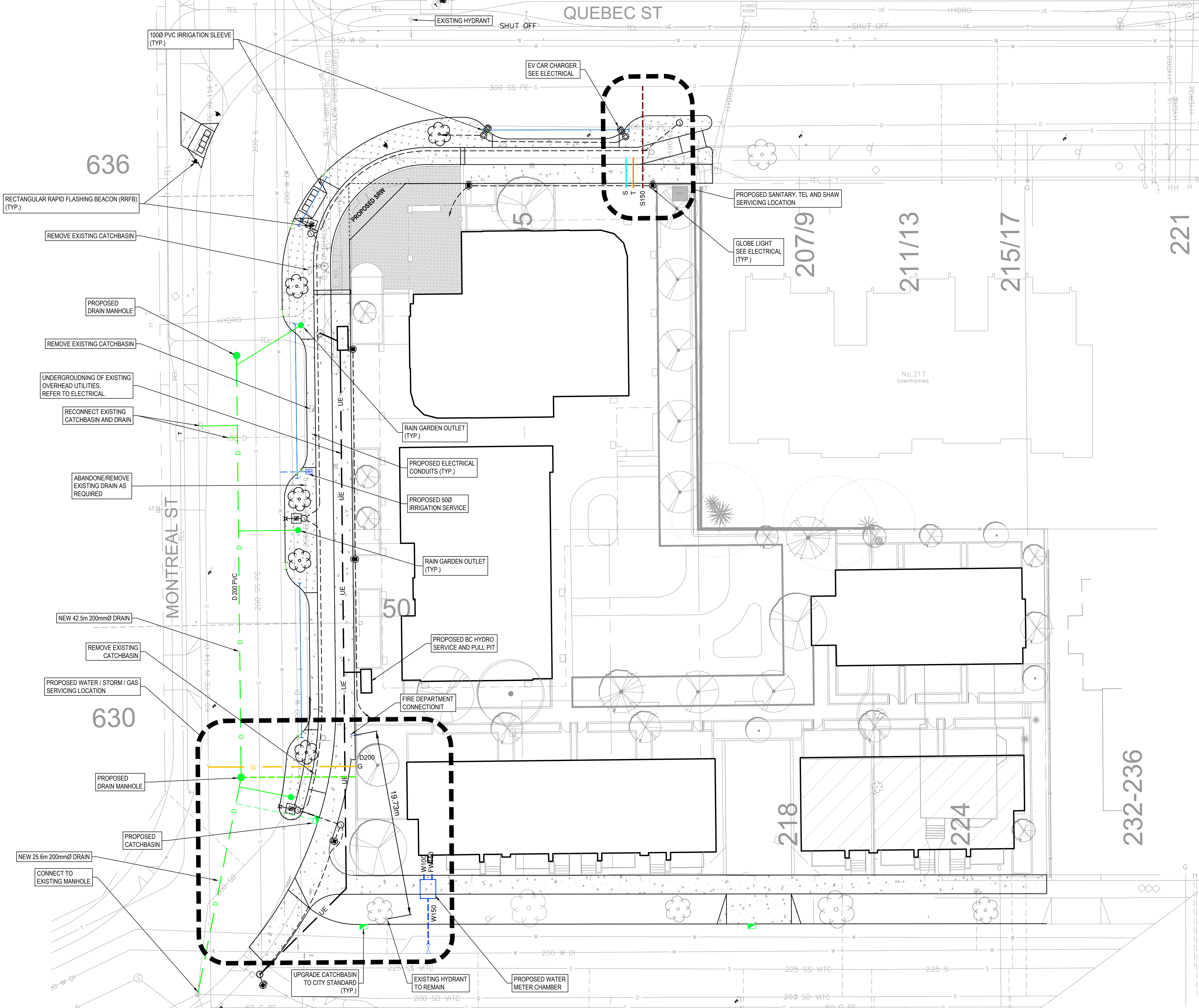
No.	REVISION DESCRIPTION	DATE
2	REZONING/DP RESUBMISSION	2022.04.14
1	ISSUED FOR REZONING	2021.02.28

GENERAL NOTES

MC - MOUNTABLE CURB
 NMC - NON MOUNTABLE CURB
 IG - INVERT GUTTER

PROFESSIONAL SEAL

PROJECT KINGSTON RESIDENTIAL/CONCEPTUAL SITE DEMOLITION			
CHECKED BY J. SOMERVILLE	CITY ENGINEER R. KENNY	APPROVED BY -	SCALE AS SHOWN
DRAWN BY S. GAGNON	DESIGN BY J. SOMERVILLE	SHT. No. 1 OF 3	DATE 21.12.13
			C1.0 DRAWING NUMBER



SERVICE	ESTIMATED SIZE	UTILITY PROVIDER	INSTALLATION FORCES	COST (\$) ¹
Water	150mm	City of Victoria	City of Victoria	At cost
Water (boulevard irrigation)	² Unconfirmed	City of Victoria	City of Victoria	At cost
Sanitary	150mm	City of Victoria	City of Victoria	At cost
Storm drain	200mm	City of Victoria	City of Victoria	At cost
Gas	² Unconfirmed	Fortis	Utility Contractor	Based on size
Hydro	² Unconfirmed	BC Hydro	Utility Contractor	Based on size
Communications	² Unconfirmed	Telus/Shaw	Utility Contractor	Based on size

¹ City of Victoria Schedule of fees for Service Connections Provided in Appendix A
² Design loads and service size to be confirmed by Mechanical and Electrical consultants during detailed design stage.
³ Service size to be confirmed by Landscape consultants during detailed design stage.

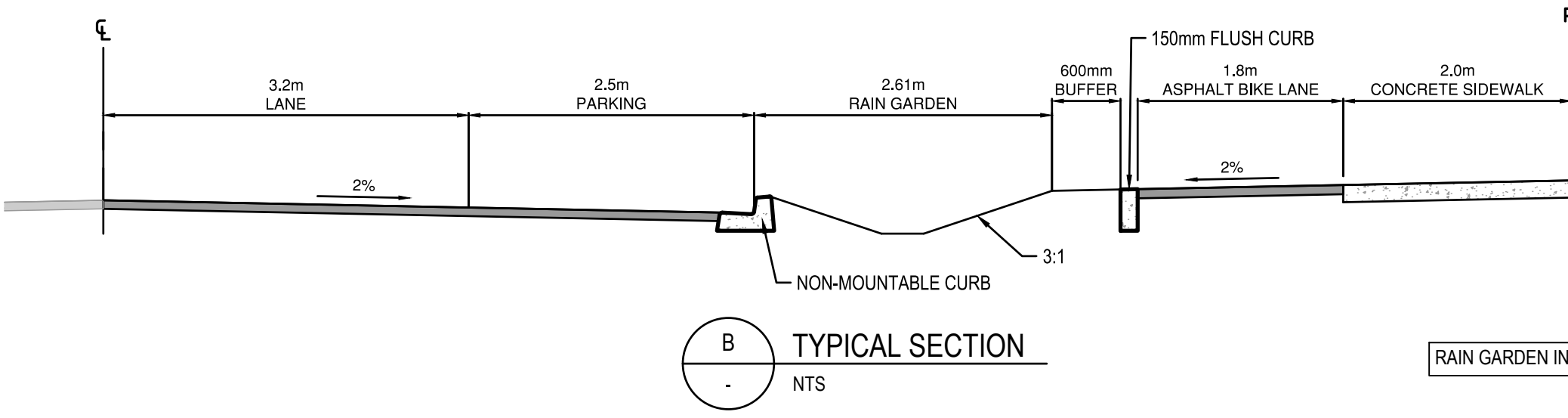
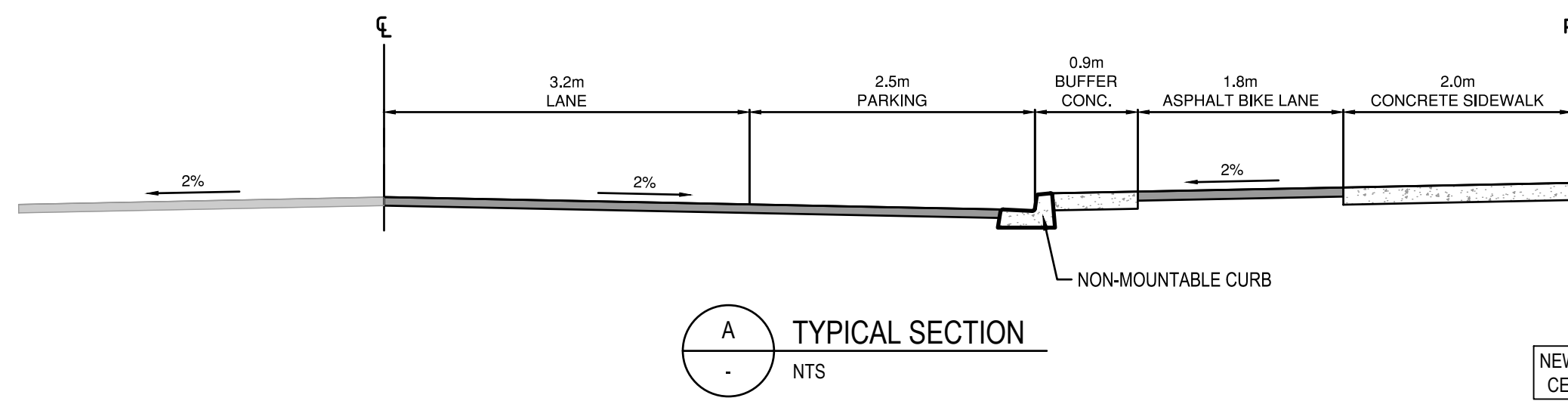
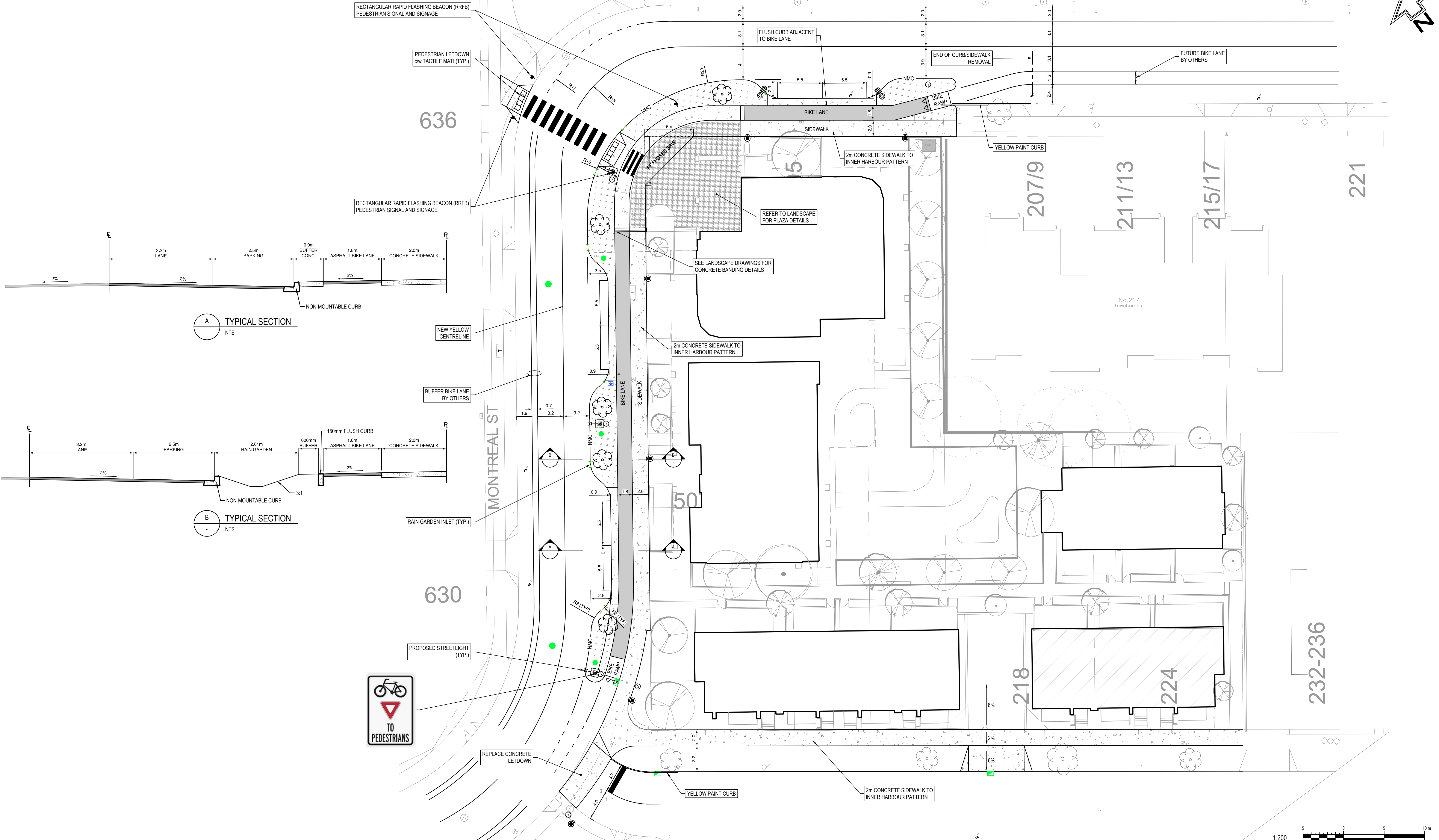


SURFACE DETAIL		SEWER LATERAL		TEL MANHOLE		SIGNAL PULL BOX - SIDEWALK		HYDRO/TEL POLE TO BE REMOVED	
⊙	STORM DRAIN MANHOLE	Y	WATER VALVE ON MAIN	⊙	TEL POLE	⊕	LIGHT/SIGNAL PULL BOX - STREET	⊗	GAS METER
⊕	STORM DRAIN VENT	⊕	WATER SERVICE VALVE	⊕	TEL POLE WITH DIP	⊕	LIGHT POLE (STEEL)	⊕	GAS VALVE
⊕	CATCH BASIN	⊕	WATER METER	⊕	TEL POLE WITH LIGHT	⊕	SIGNAL POLE (STEEL)	⊕	GAS SNIFFER
⊕	DRAIN CLEANOUT	⊕	BOULEVARD SERVICE	⊕	TEL SERVICE BOXES	⊕	LIGHT/SIGNAL POLE (STEEL)	⊕	TEST HOLE
⊕	DRAIN LATERAL	⊕	FIRE HYDRANT	⊕	TEL VAULT	⊕	CLUSTER LAMP - TYPE A	⊕	FENCE LINE
⊕	SANITARY SEWER MANHOLE	⊕	REDUCER	⊕	POLE ANCHOR	⊕	CLUSTER LAMP - TYPE B	⊕	RETAINING WALL
⊕	SANITARY SEWER VENT	⊕	LIGHT MANHOLE	⊕	HYDRO/TEL POLE TO BE RELOCATED	⊕	STREET SIGN	⊕	TREE
⊕	SEWER CLEANOUT	⊕	LIGHT PULL BOX - SIDEWALK			⊕	PARKING METER	⊕	ROCK OUTCROP
⊕	HYDRO VAULT								

ENGINEERING AND PUBLIC WORKS		
2	REZONING/DP RESUBMISSION	2022.04.14
1	ISSUED FOR REZONING	2021.02.28
NO.	REVISION DESCRIPTION	DATE

GENERAL NOTES	
MC - MOUNTABLE CURB	
NMC - NON MOUNTABLE CURB	
IG - INVERT GUTTER	

PROFESSIONAL SEAL			
PROJECT: KINGSTON RESIDENTIAL/CONCEPTUAL SITE SERVICING PLANT			
CHECKED BY: J. SOMERVILLE	CITY ENGINEER: R. KENNY	APPROVED BY: -	SCALE: AS SHOWN
DRAWN BY: S. GAGNON	DESIGN BY: J. SOMERVILLE	SHT. No. 2 OF 3	DATE: 21.12.13
			C2.0
			DRAWING NUMBER



LEGEND

<p>SURFACE DETAIL</p> <ul style="list-style-type: none"> ⊕ STORM DRAIN MANHOLE ⊕ STORM DRAIN VENT ⊕ CATCH BASIN ⊕ DRAIN CLEANOUT ⊕ DRAIN LATERAL ⊕ SANITARY SEWER MANHOLE ⊕ SANITARY SEWER VENT ⊕ SEWER CLEANOUT 	<ul style="list-style-type: none"> ⊕ HYDRO MANHOLE ⊕ HYDRO POLE ⊕ HYDRO POLE WITH DIP ⊕ JOINT POLE ⊕ HYDRO POLE WITH LIGHT ⊕ HYDRO SERVICE BOXES ⊕ HYDRO VAULT 	<ul style="list-style-type: none"> Y SEWER LATERAL ⊕ WATER VALVE ON MAIN ⊕ WATER SERVICE VALVE ⊕ WATER METER ⊕ BOULEVARD SERVICE ⊕ FIRE HYDRANT ⊕ REDUCER ⊕ LIGHT MANHOLE ⊕ LIGHT PULL BOX - SIDEWALK 	<ul style="list-style-type: none"> ⊕ TEL MANHOLE ⊕ TEL POLE ⊕ TEL POLE WITH DIP ⊕ TEL POLE WITH LIGHT ⊕ TEL SERVICE BOXES ⊕ TEL VAULT ⊕ POLE ANCHOR ⊕ HYDRO/TEL POLE TO BE RELOCATED 	<ul style="list-style-type: none"> ⊕ SIGNAL PULL BOX - SIDEWALK ⊕ LIGHT/SIGNAL PULL BOX - STREET ⊕ LIGHT POLE (STEEL) ⊕ SIGNAL POLE (STEEL) ⊕ LIGHT/SIGNAL POLE (STEEL) ⊕ CLUSTER LAMP - TYPE A ⊕ CLUSTER LAMP - TYPE B ⊕ STREET SIGN ⊕ PARKING METER 	<ul style="list-style-type: none"> ✕ HYDRO/TEL POLE TO BE REMOVED ⊕ GAS METER ⊕ GAS VALVE ⊕ GAS SNIFFER ⊕ TEST HOLE ⊕ FENCE LINE ⊕ RETAINING WALL ⊕ TREE ⊕ ROCK OUTCROP
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ENGINEERING AND PUBLIC WORKS

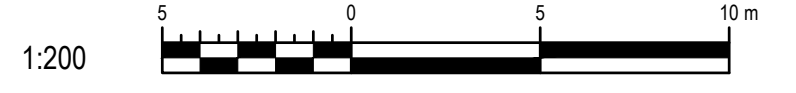
2	REZONING/DP RESUBMISSION	2022.04.14
1	ISSUED FOR REZONING	2021.02.28
NO.	REVISION DESCRIPTION	DATE

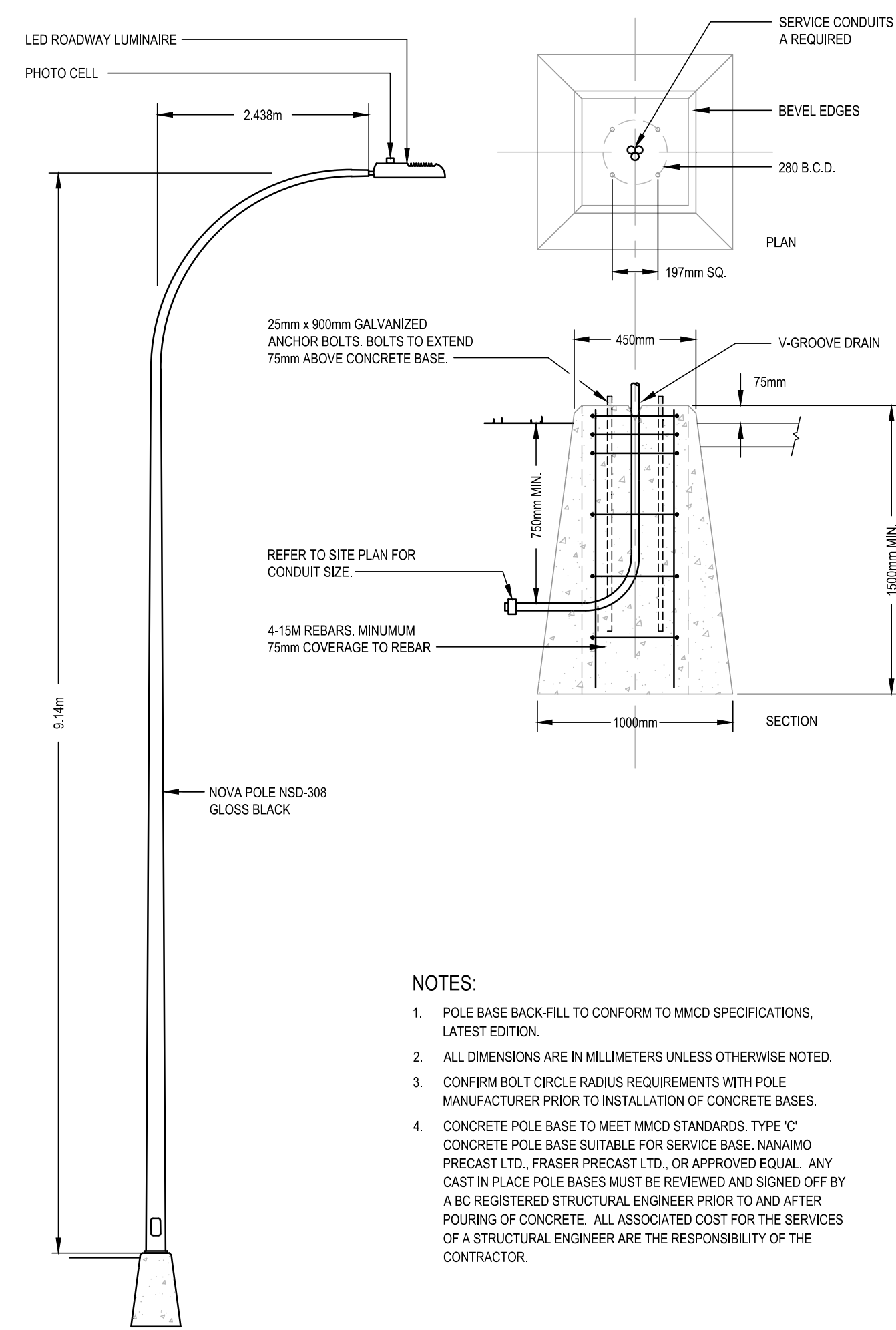
GENERAL NOTES

MC - MOUNTABLE CURB
NMC - NON MOUNTABLE CURB
IG - INVERT GUTTER

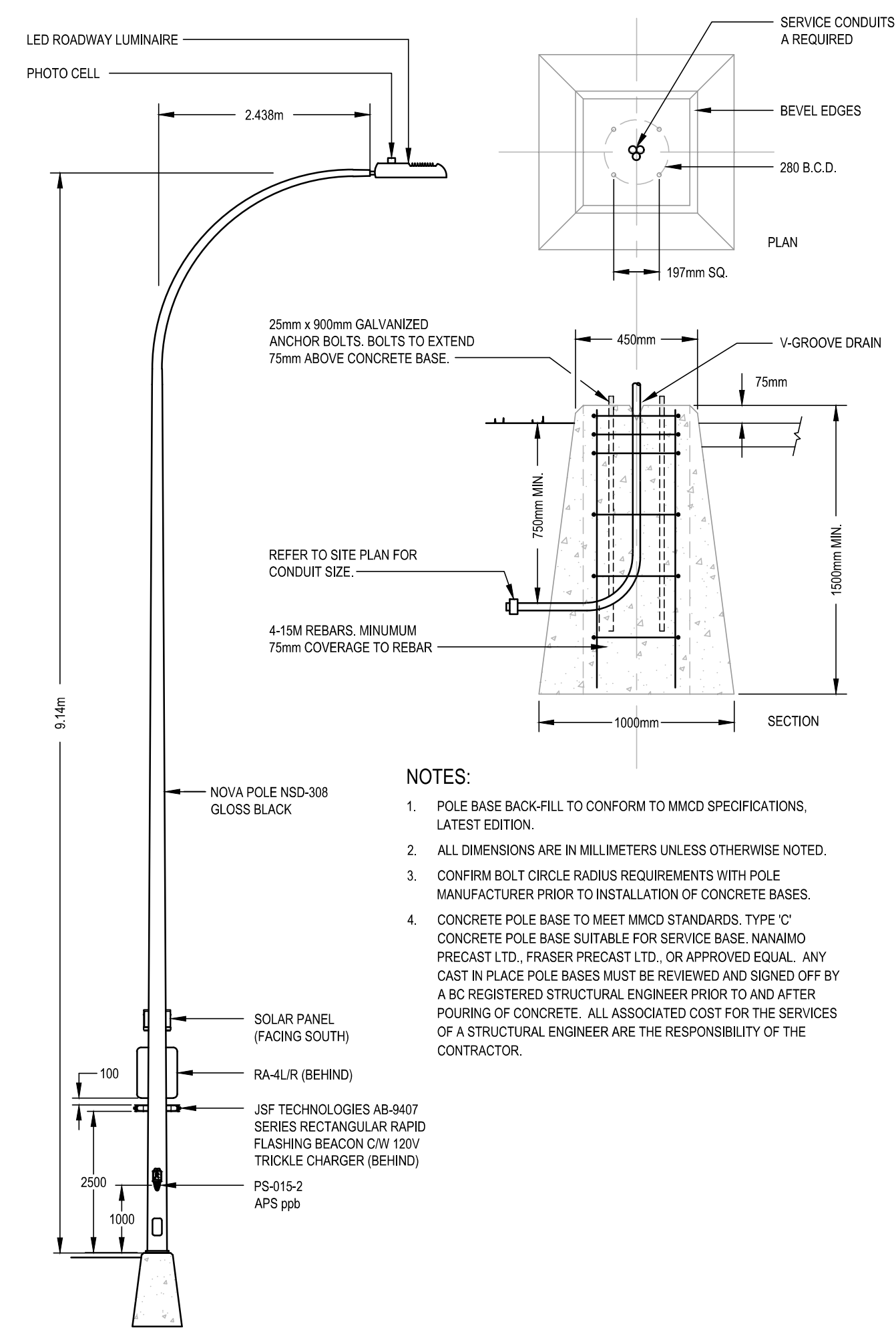
PROFESSIONAL SEAL

PROJECT: KINGSTON RESIDENTIAL/CONCEPTUAL SITE SURFACE WORKS			
CHECKED BY J. SOMERVILLE	CITY ENGINEER R. KENNY	APPROVED BY -	SCALE AS SHOWN
DRAWN BY S. GAGNON	DESIGN BY J. SOMERVILLE	SHT. No. 3 OF 3	DATE 21.12.13
			C3.0 DRAWING NUMBER





1 ROADWAY LIGHTING DETAIL 1
E101 NOT TO SCALE

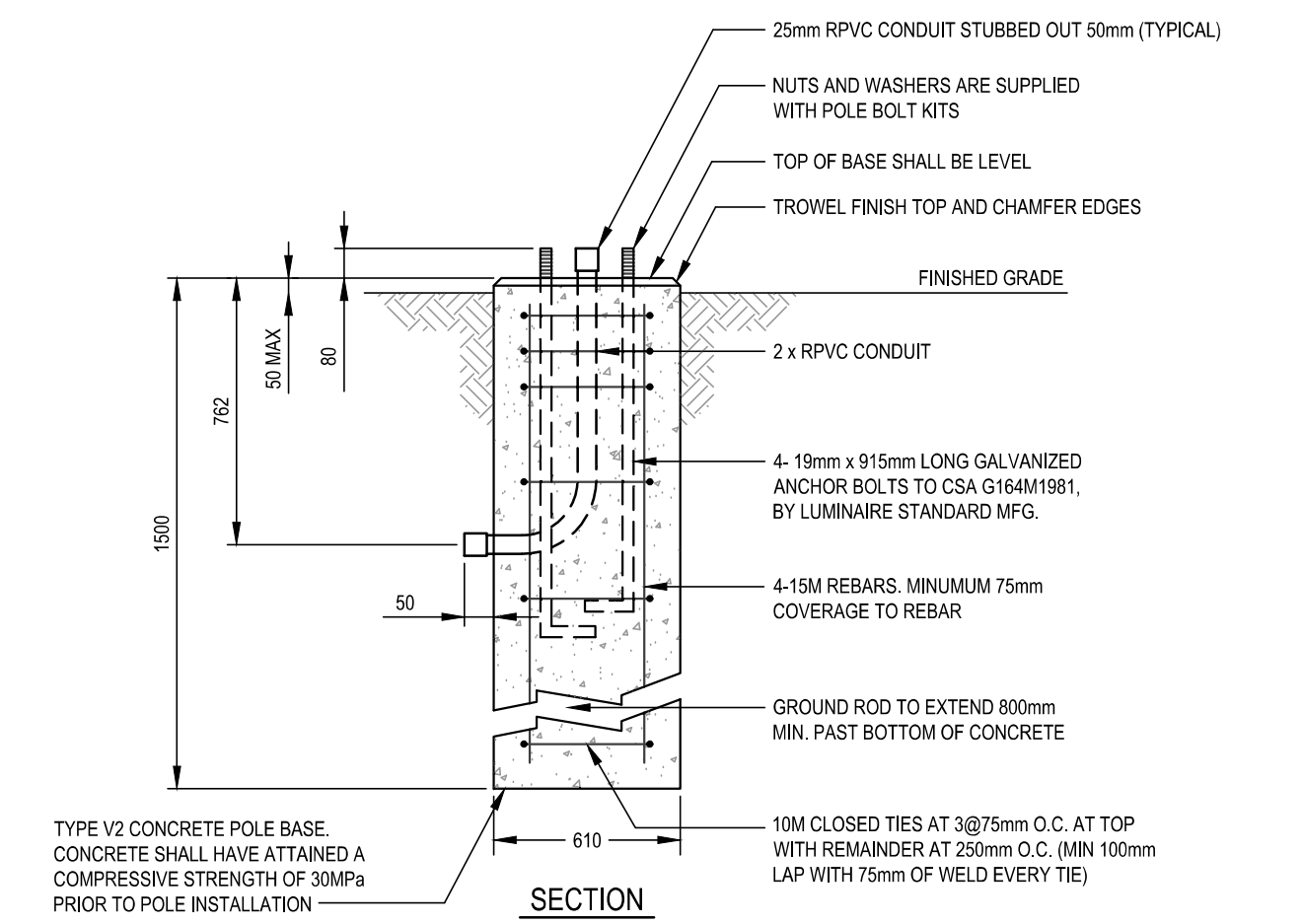
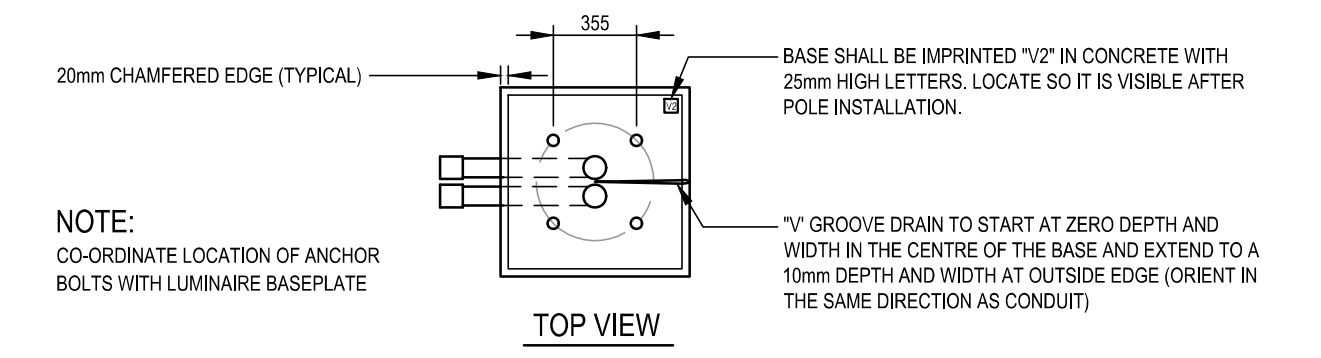


2 ROADWAY LIGHTING WITH RRFB DETAIL 2
E101 NOT TO SCALE

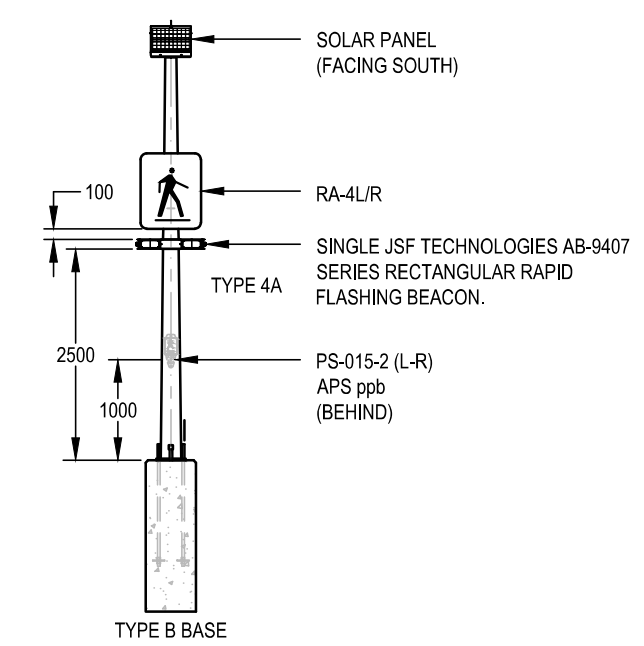
SINGLE GLOBE LIGHT



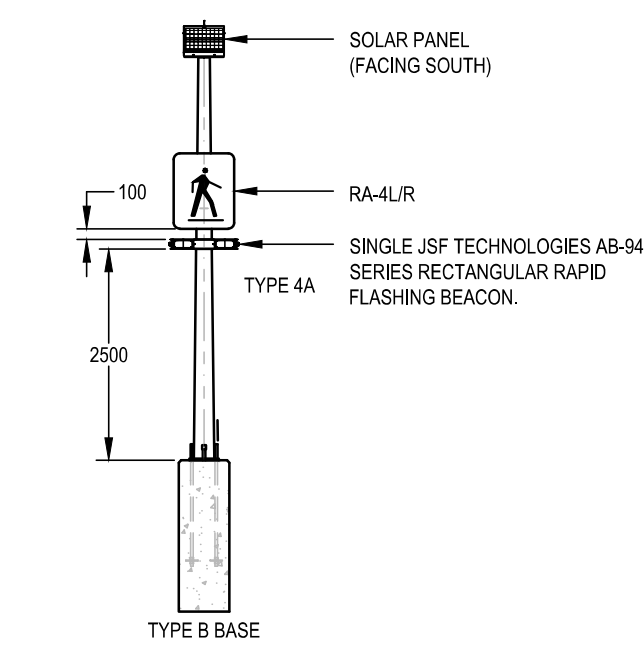
3 PEDESTRIAN POST TOP LUMINAIRE DETAIL 3
E101 NOT TO SCALE



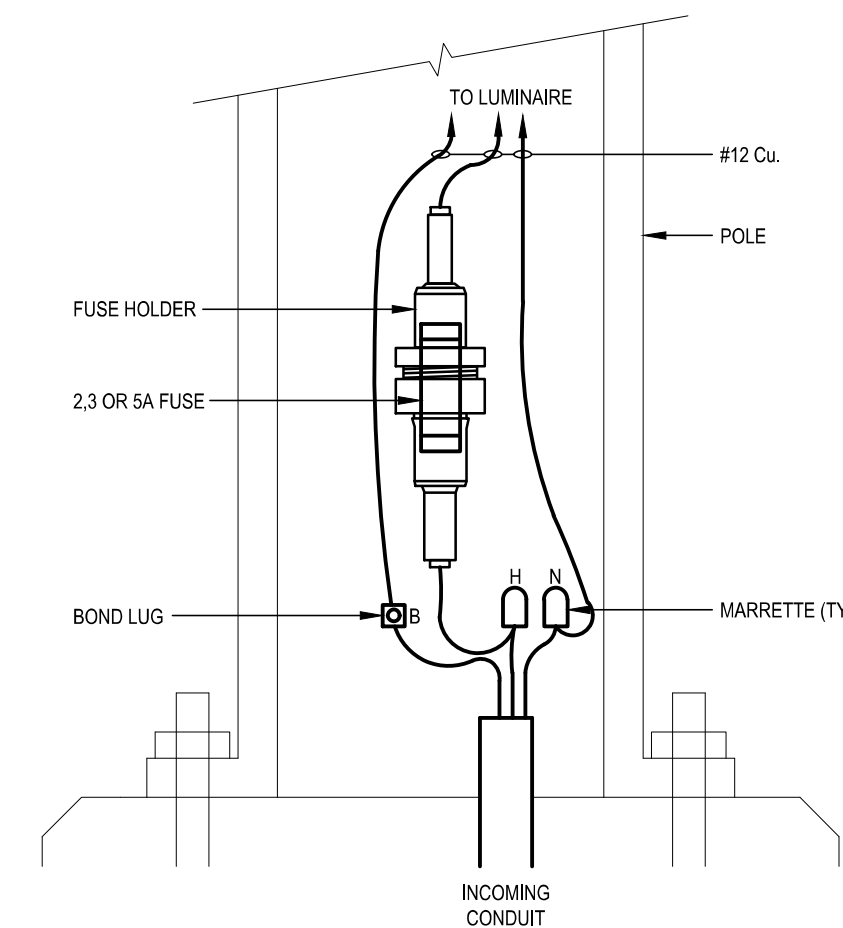
4 TYPE 'V2' POLE BASE DETAIL
E101 NOT TO SCALE



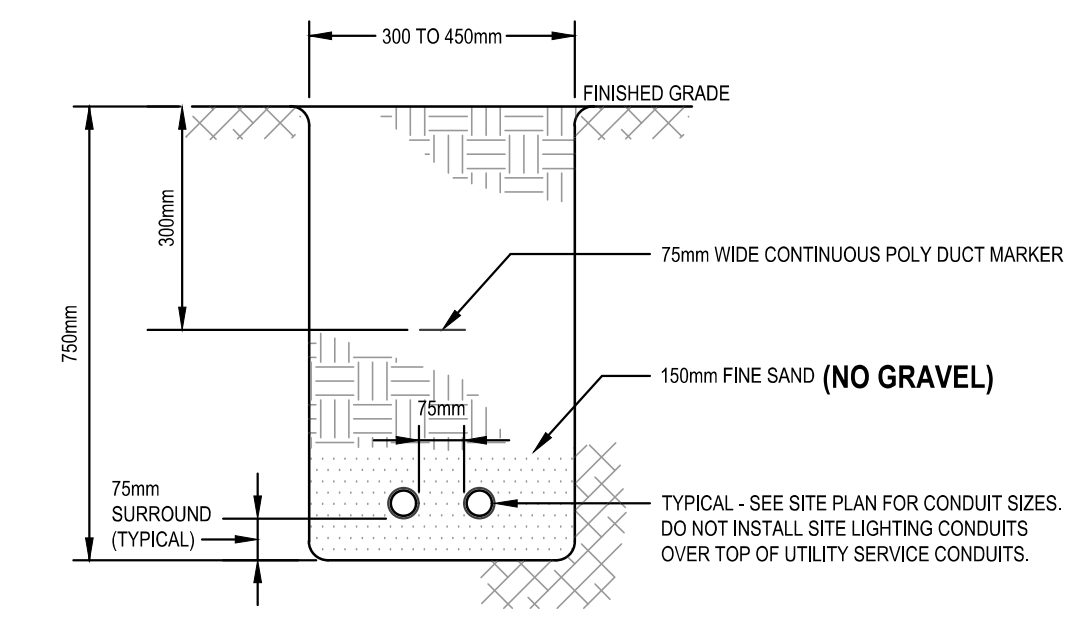
5 SOLAR POWERED RRFB DETAIL C/W PUSH BUTTON 4
E101 NOT TO SCALE



6 SOLAR POWERED RRFB DETAIL 5
E101 NOT TO SCALE



7 POLE WIRING DIAGRAM
E101 NOT TO SCALE



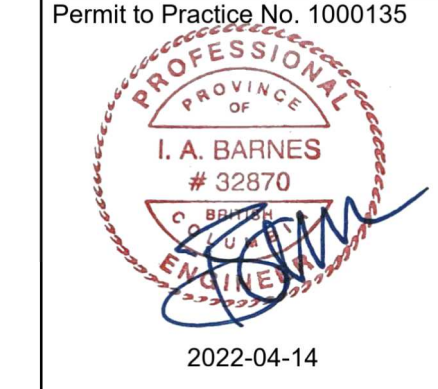
8 TYPICAL TRENCH SECTION
E101 NOT TO SCALE

ENGINEERING AND PUBLIC WORKS

NO.	REVISION DESCRIPTION	DATE
1	DEVELOPMENT PERMIT RE-SUBMISSION	APR. 14/22

GENERAL NOTES

PROFESSIONAL SEAL
Permit to Practice No. 1000135



PROJECT KINGSTON & MONTREAL 205 QUEBEC ST., VICTORIA, BC
OFFSITE LIGHTING DESIGN & DETAILS

CHECKED BY	CITY ENGINEER	APPROVED BY	SCALE
B. KLEAR	-	-	AS SHOWN
DRAWN BY	DESIGN BY	SHT. No.	DATE
S. SEYMOUR	S. SEYMOUR	1 OF 1	APRIL 14/22



E101

DRAWING NUMBER