



TEAM OF CONSULTANTS

Architect

SÉBASTIEN GARON ARCHITECTURE + DESIGN

Project No. 19.015
1018 Deep Cove Rd
North Vancouver BC

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J.E.Anderson & Associates

Project No. 31517
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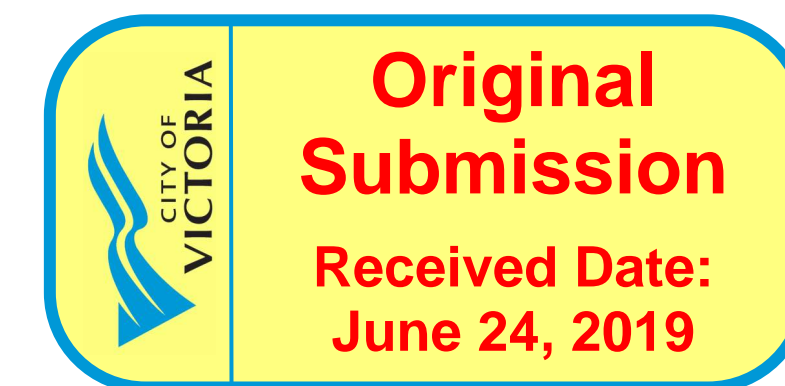
Landscape

BIOPHILIA design collective ltd

Project No.
1501 Haultain St
Victoria BC V8R 2K1

Primary Contact:
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bianca@biophiliacollective.ca

Le PARC
FAIRFIELD-KIPLING
8 UNIT TOWN HOME DEVELOPMENT
1400 Fairfield Rd and 349 Kipling St, Victoria, BC



List of Architectural Drawings

| No. | Title | Scale |
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| A6.1 | Concept Renderings | NTS |
| 25 | Sheets in Set | |

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ARCHITECTURE + DESIGN

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| | |
|----------|---------------|
| 19-06-19 | Issued for DP |
|----------|---------------|

Cover Sheet

Project Name:

Fairfield-Kipling
Development

1400 Fairfield Rd &
349 Kipling St

gal:

| | |
|-------------|--------------|
| Project No: | 19.015 |
| Drawn By: | SG/JM |
| Plot Date: | Jun 20, 2019 |
| Scale: | NTS |
| Sheet No: | |

A1.0

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Survey Plan

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: NTS
Sheet No:

A1.1

SITE PLAN

BART JOHNSON

Lots 13 & 35, Fairfield Farm
Estate, Victoria City,
Plan 884

ADDRESS : 1400 Fairfield/ 351 Kipling

PROJECT SURVEYOR : PJW

DRAWN BY : BAR DATE : OCT 2/18

OUR FILE : 31517 REVISION :



**J.E. ANDERSON
& ASSOCIATES**
SURVEYORS - ENGINEERS

4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

LEGEND

- Denotes Control Monument Found
- Denotes Traverse Station Placed
- Denotes Catch Basin
- Denotes Coniferous Tree
- Denotes Deciduous Tree
- Denotes Typical Spot Elevation
- Denotes Utility Pole
- Denotes Water Service

Table of Tree Descriptions

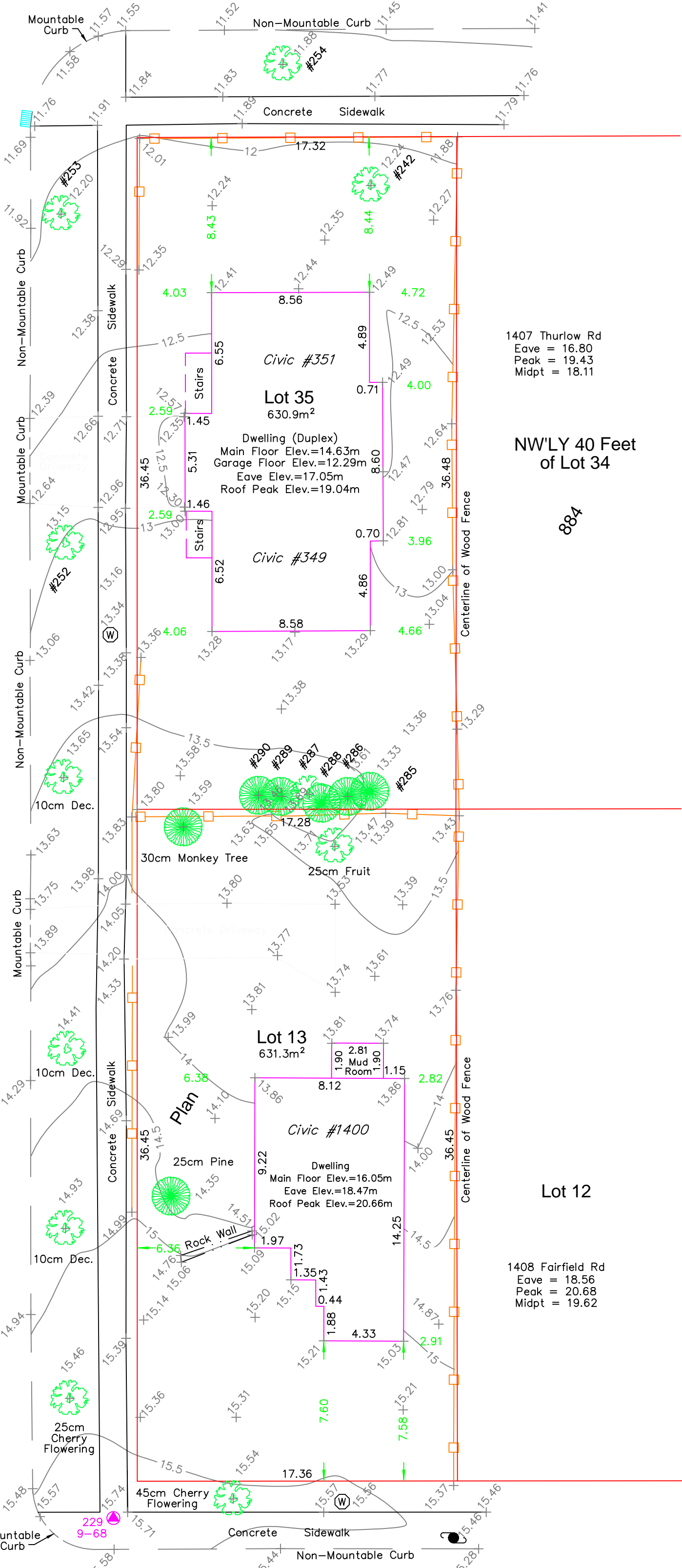
| Tag # | Species | Diameter |
|--------|-----------|-------------|
| #242 | Deciduous | 60cm |
| #252 | Deciduous | 45cm |
| #253 | Deciduous | 50cm |
| #254 | Deciduous | 30cm |
| #285 | Cedar | 40cm |
| #286 | Cedar | 40cm |
| #287 | Deciduous | 30cm (Twin) |
| #288 | Cedar | 30cm (Twin) |
| #289 | Cedar | 30cm |
| #290 | Cedar | 45cm (Twin) |
| No tag | Monkey | 30cm |
| No tag | Fruit | 25cm |
| No tag | Deciduous | 10cm |
| No tag | Deciduous | 10cm |
| No tag | Cherry | 25cm |
| No tag | Cherry | 45cm |
| No tag | Pine | 25cm |

Legal boundaries are derived from field survey
Distances and elevations are in metres.
Elevations are geodetic based on control monument 9--68.
Elevations are at grade unless noted otherwise.
Building dimensions and offsets to property lines are shown to
exterior of building walls.

0 2 4 8 12 16 20
The intended plot size of this plan is 432mm in width by 560mm
in height, (C size), when plotted at a scale of 1:200.

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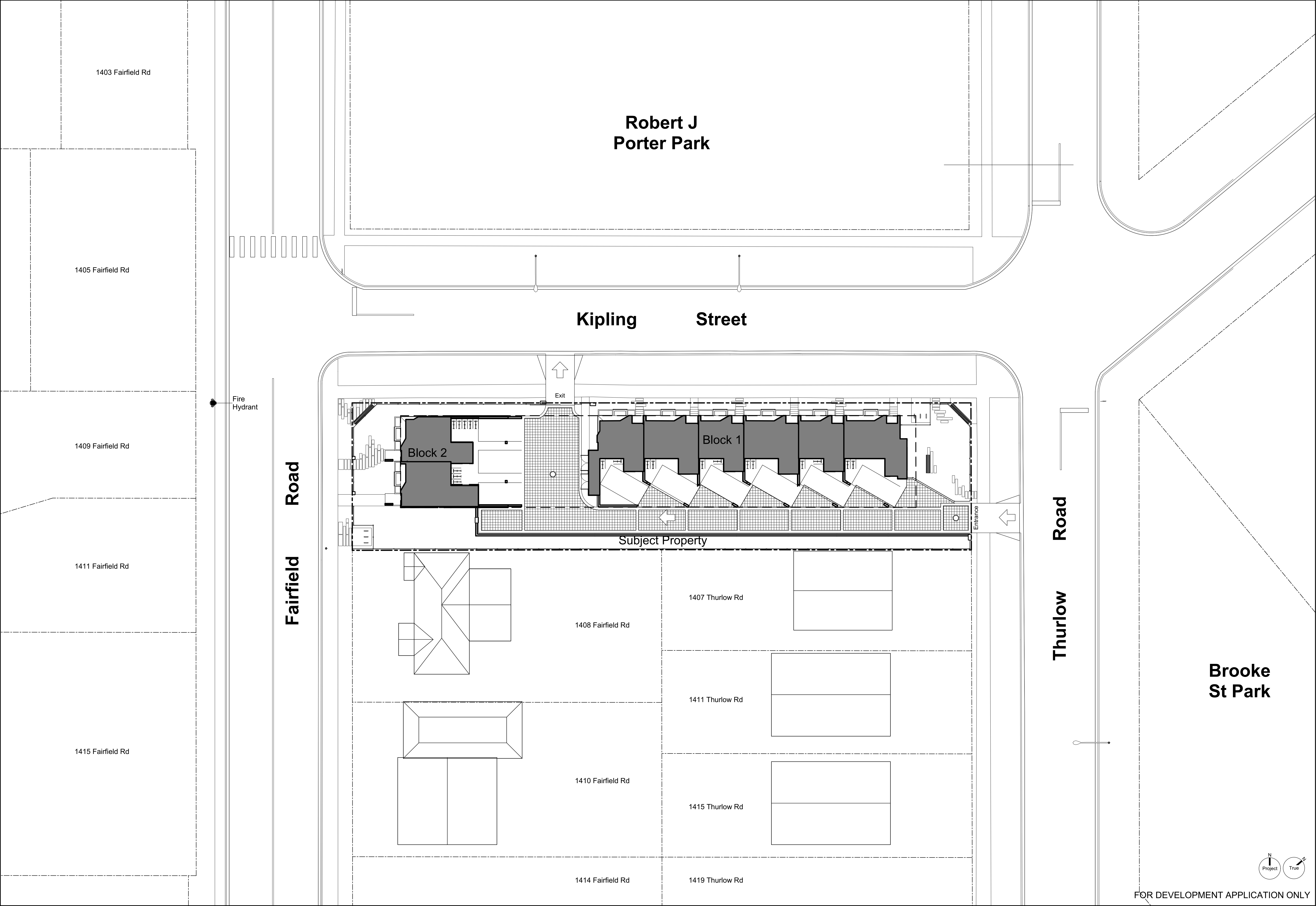
Thurlow Road



Fairfield Road

This sketch does not constitute a redefinition of the legal boundaries
hereon described and is not to be used in any matter which would assume same.
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a
third party as a result of any decision made, or actions taken based on this document.
Subject to charges, legal notations, and interests shown on: Title No. ET59777 (P.I.D. 008-292-345) Lot 13
Title No. CA6094211 (P.I.D. 005-209-510) Lot 35

V:_Projects\31517\08\02\Microsurvey\31517.dwg



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Context Plan

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

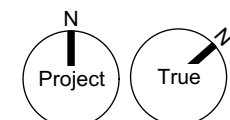
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Drawn By: SG/JM

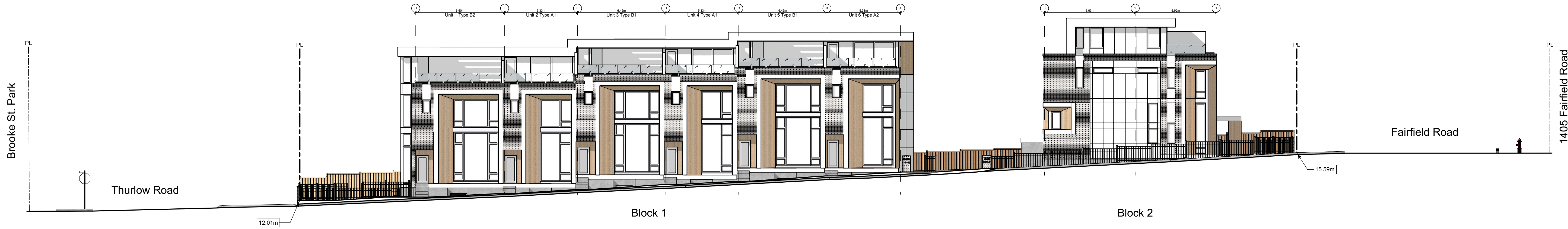
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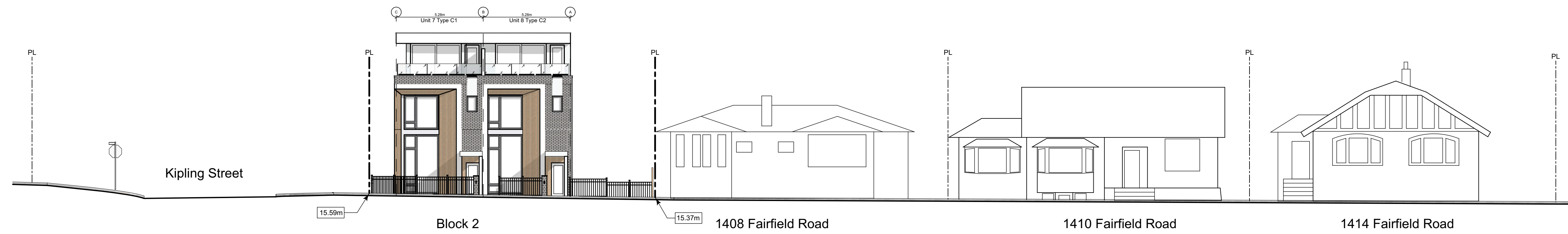
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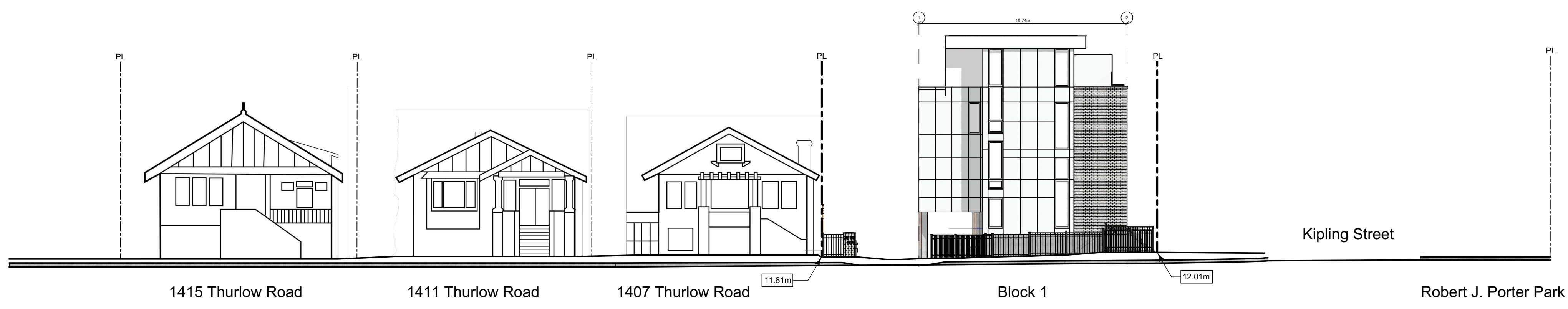
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1 Streetscape Kipling Street
Scale: 1:150



2 Streetscape Fairfield Road
Scale: 1:150



3 Streetscape Thurlow Road
Scale: 1:150

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Context Streetscape

Project Name:
**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

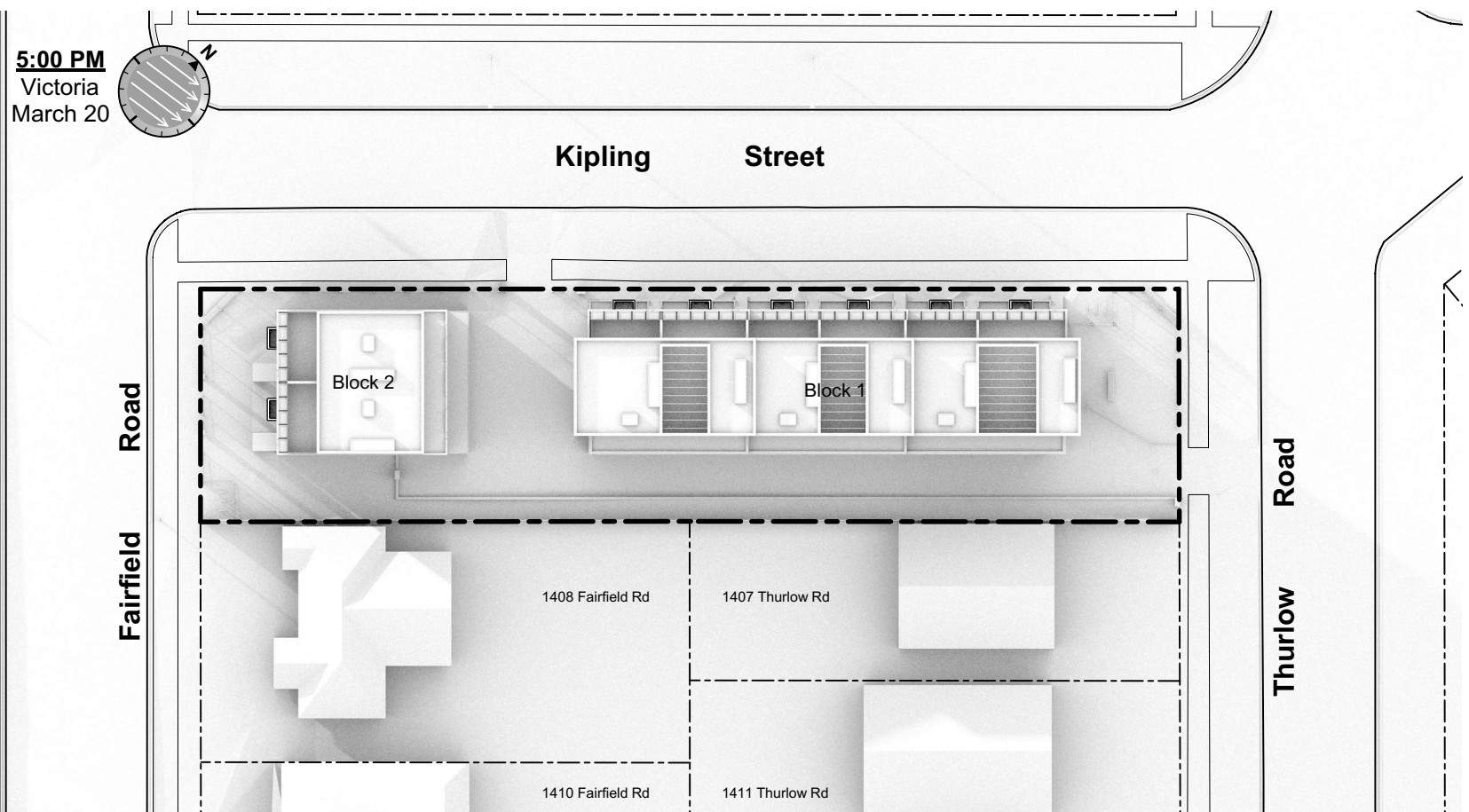
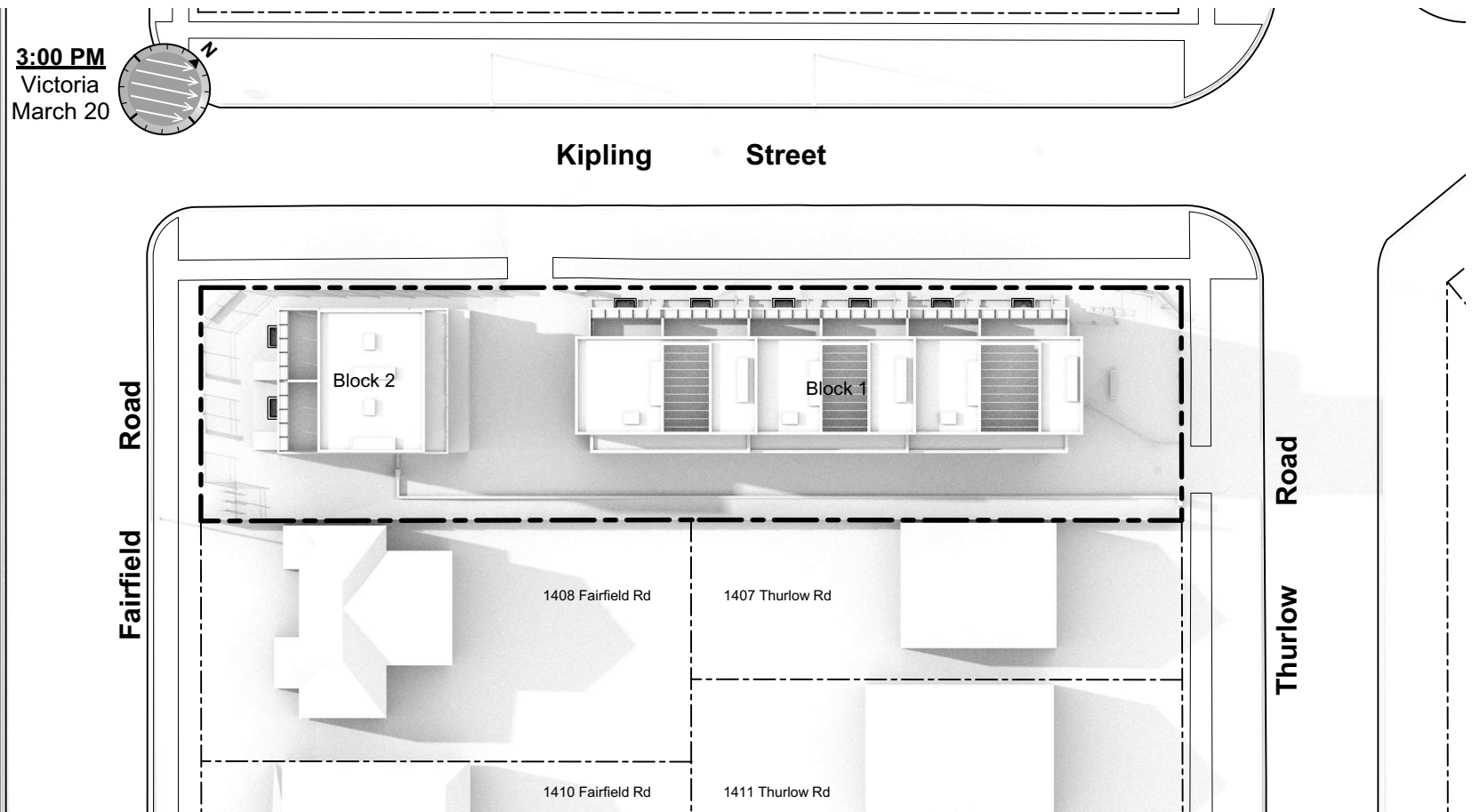
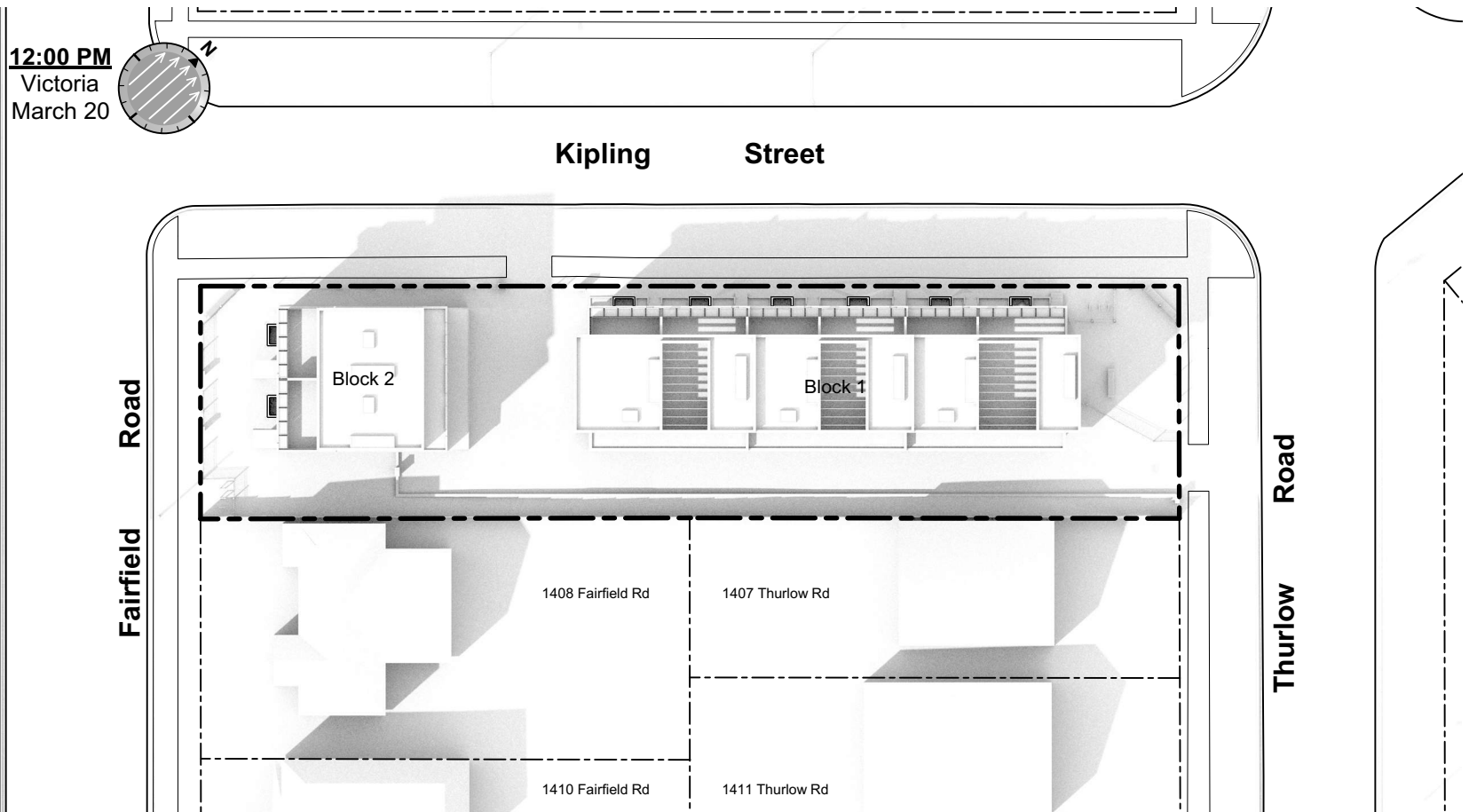
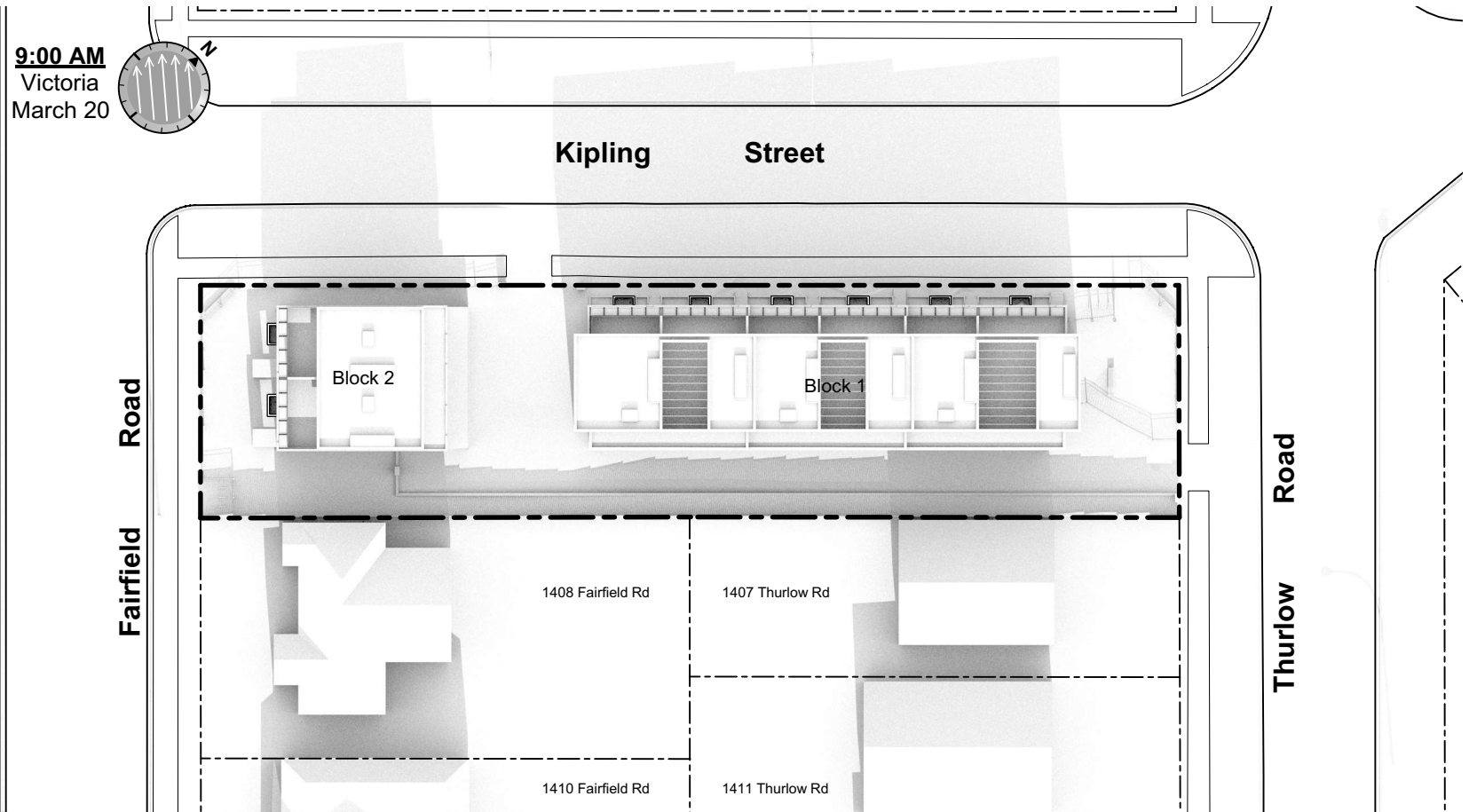
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Plot Date: Jun 20, 2019

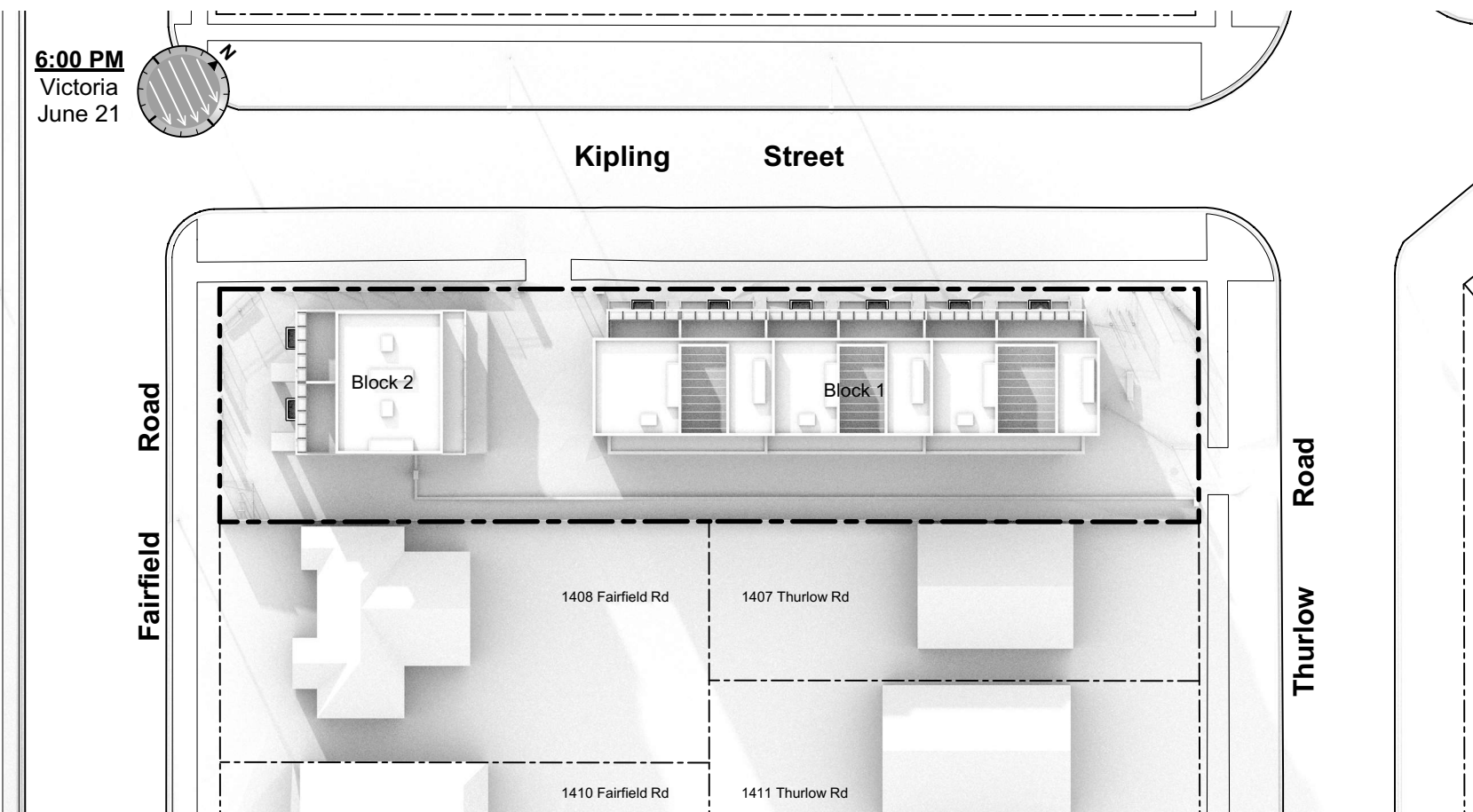
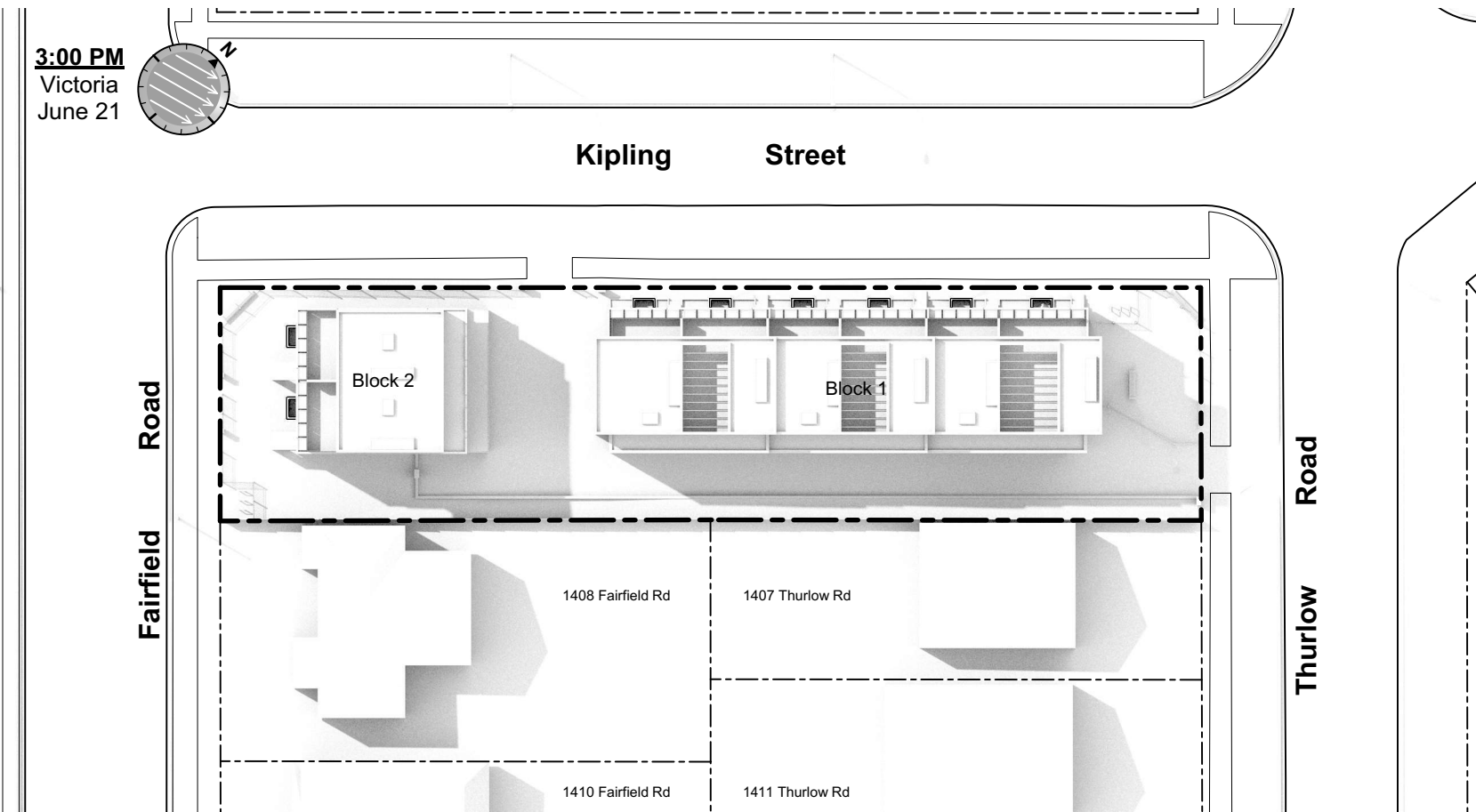
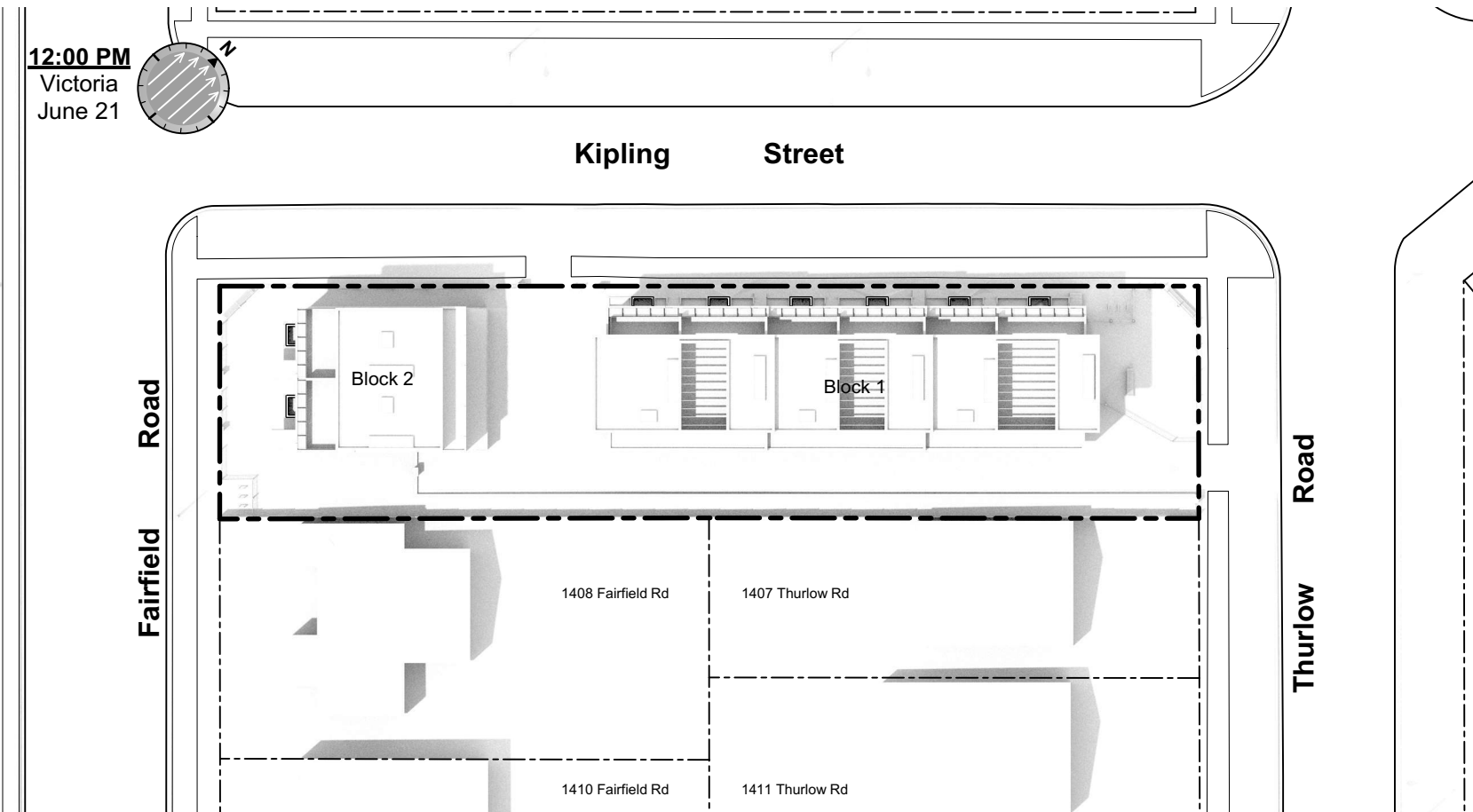
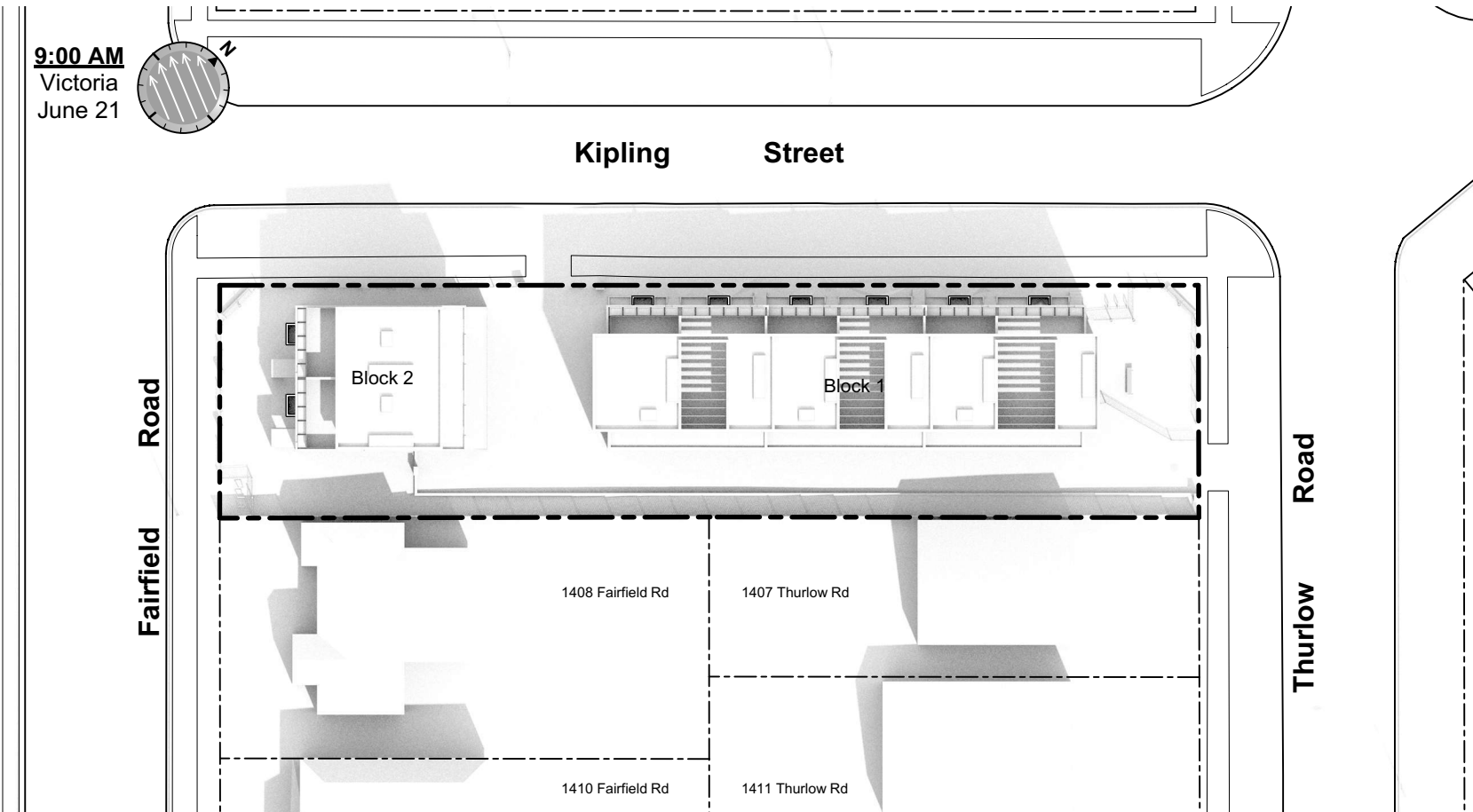
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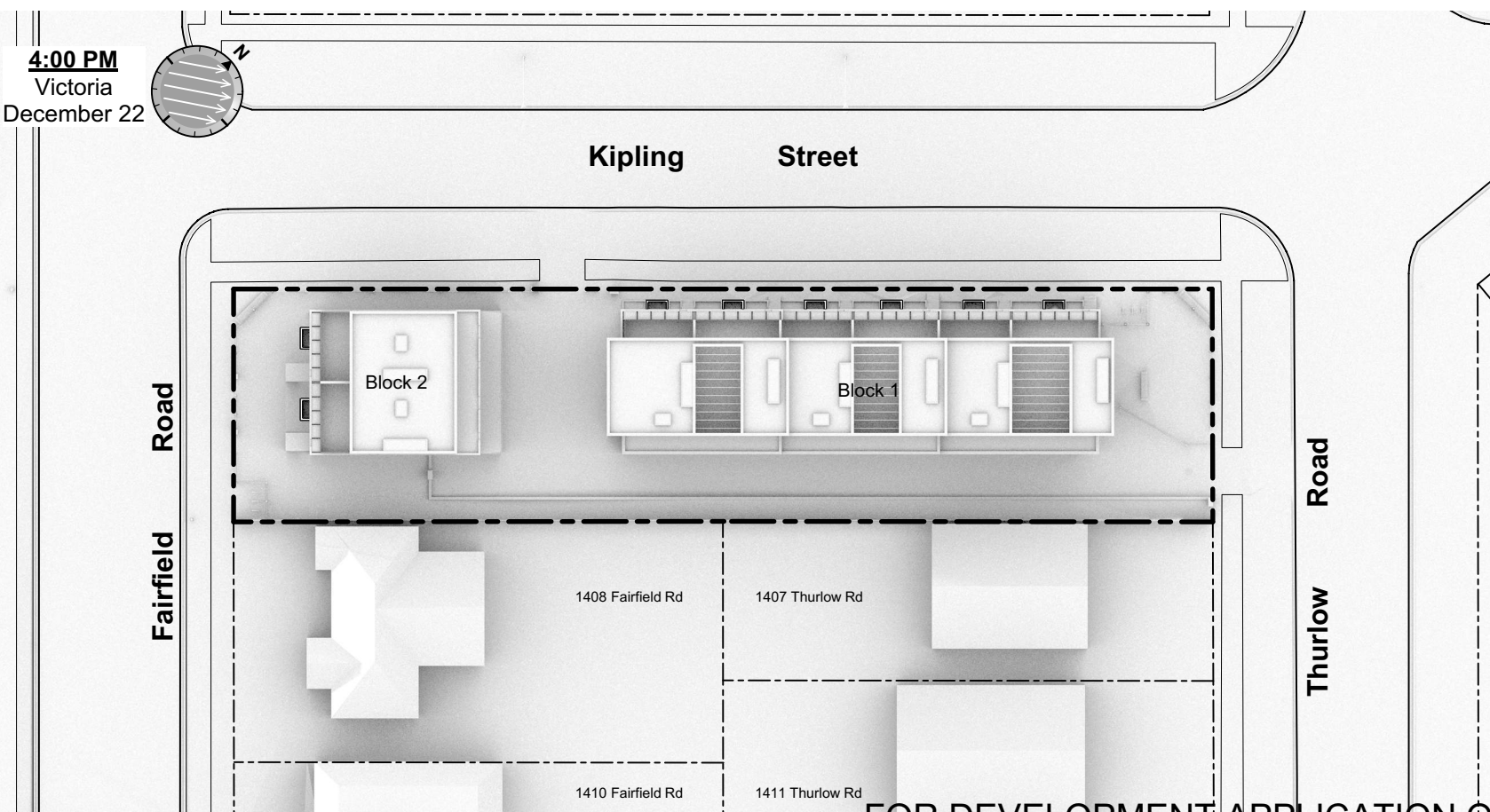
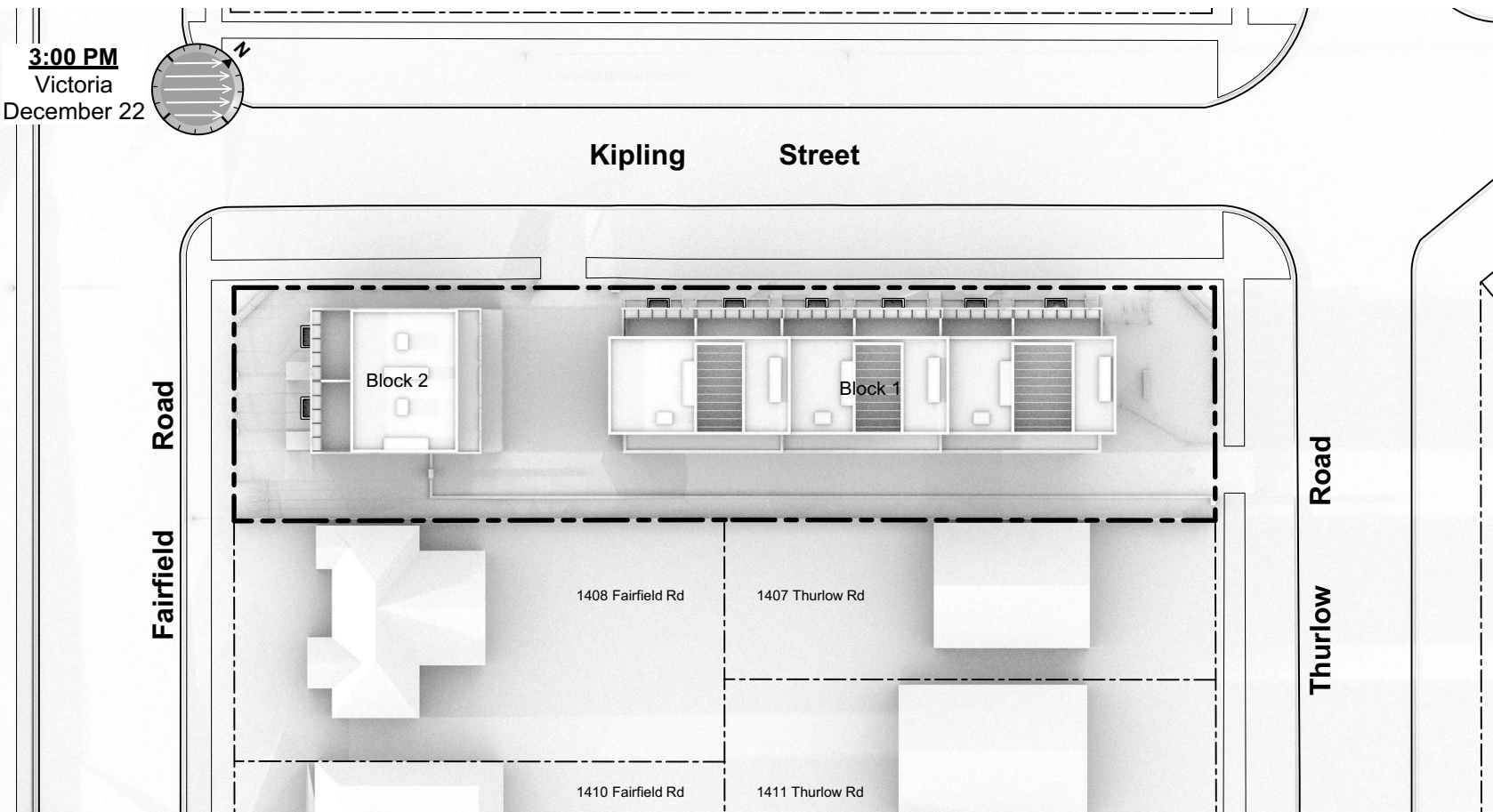
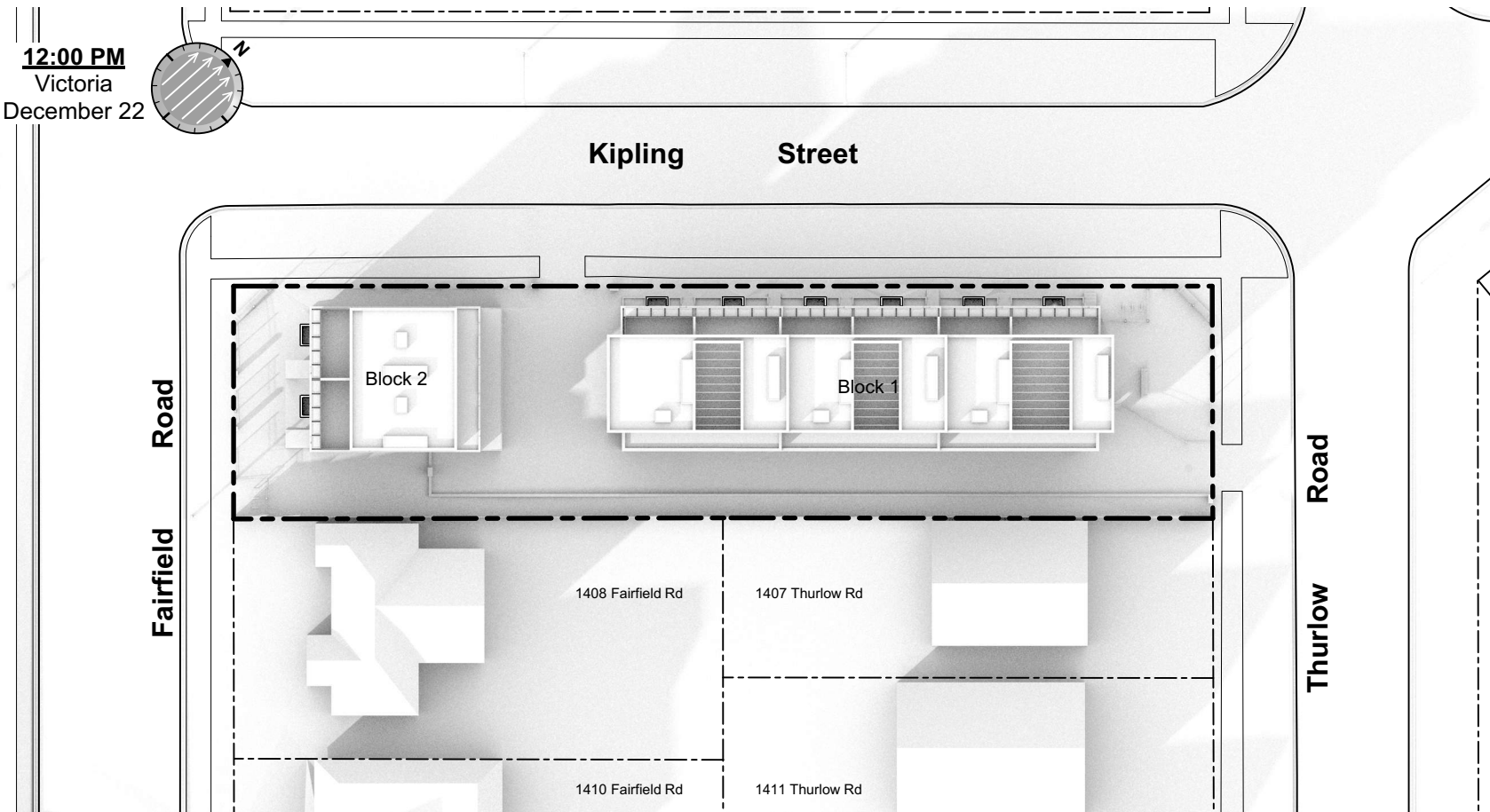
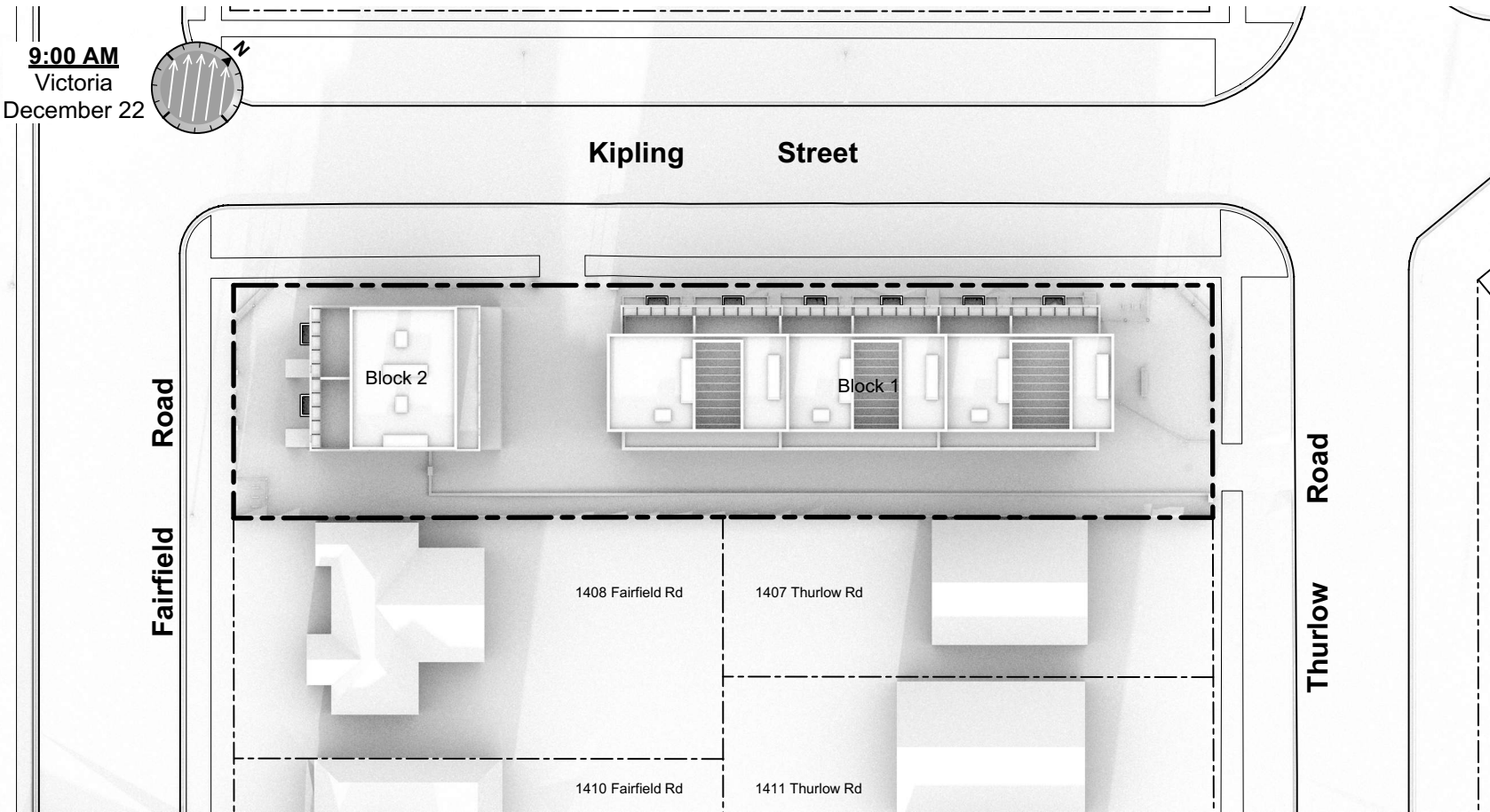
March Equinox



June Solstice



December Solstice



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Solar Study

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

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Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: (1:120) 1" = 10'-0"

Sheet No:



- Legend
- | No. | Description |
|-----|--|
| 1 | Ready for solar panels (rough-in) |
| 2 | Ready for electric car charging outlets (rough-in) |
| 3 | Water efficient plumbing fixtures |
| 4 | Low-VOC interior finishes |
| 5 | Rooftop greenery |
| 6 | Water efficient landscaping |
| 7 | Bike parking |
| 8 | Enhanced natural light |
| 9 | Energy efficient light fixtures |

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Sustainability Strategy

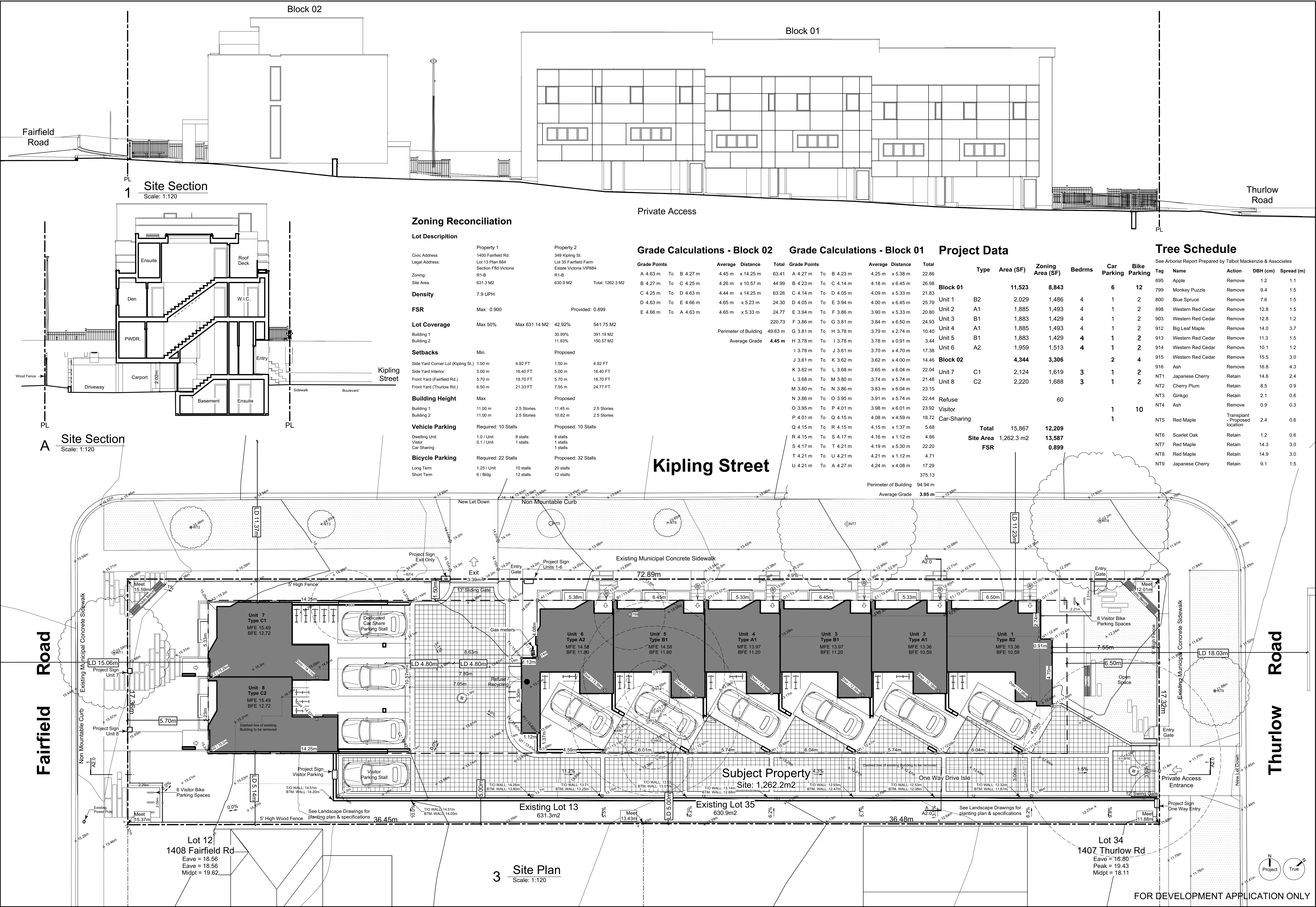
Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
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Project Name:

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

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PID:

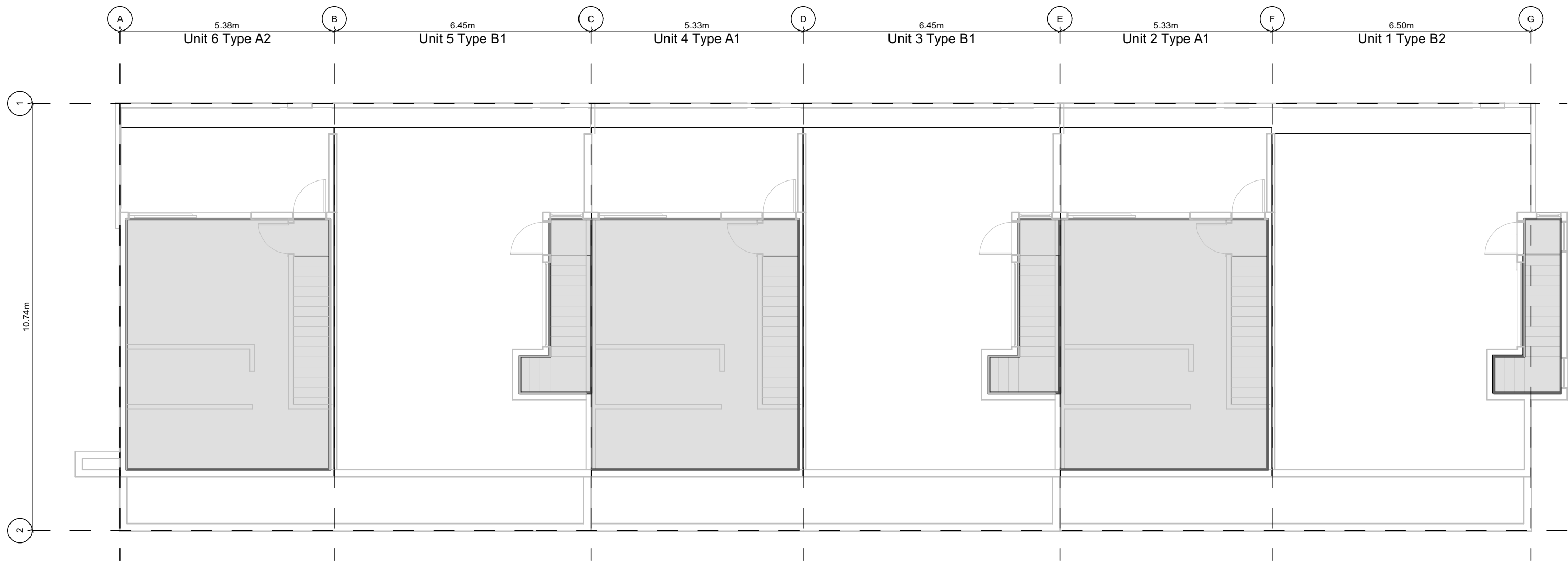
Project No: 19.015

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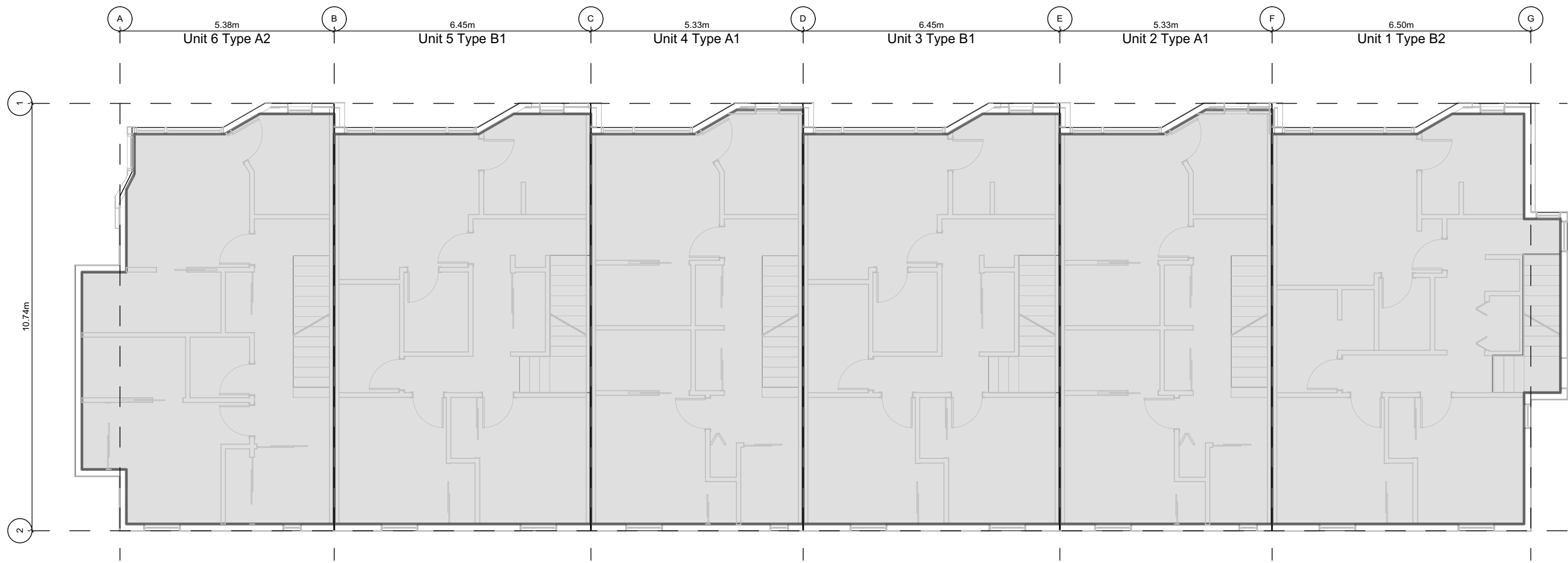
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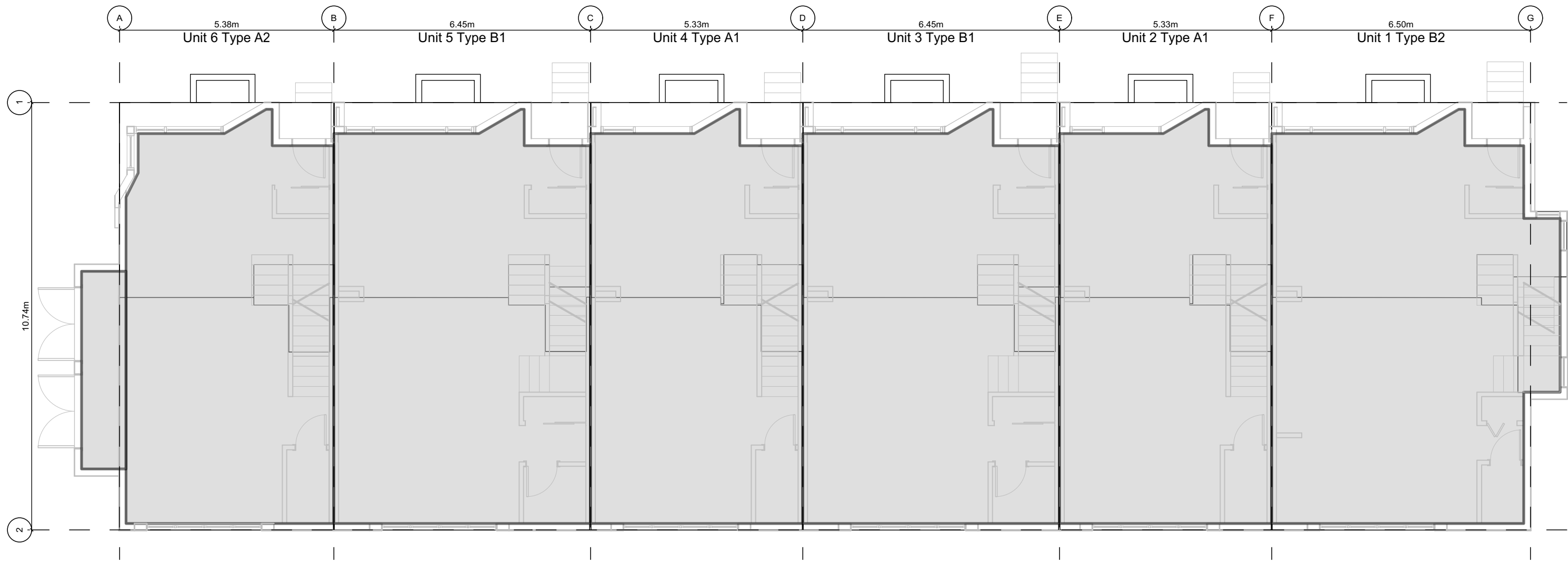
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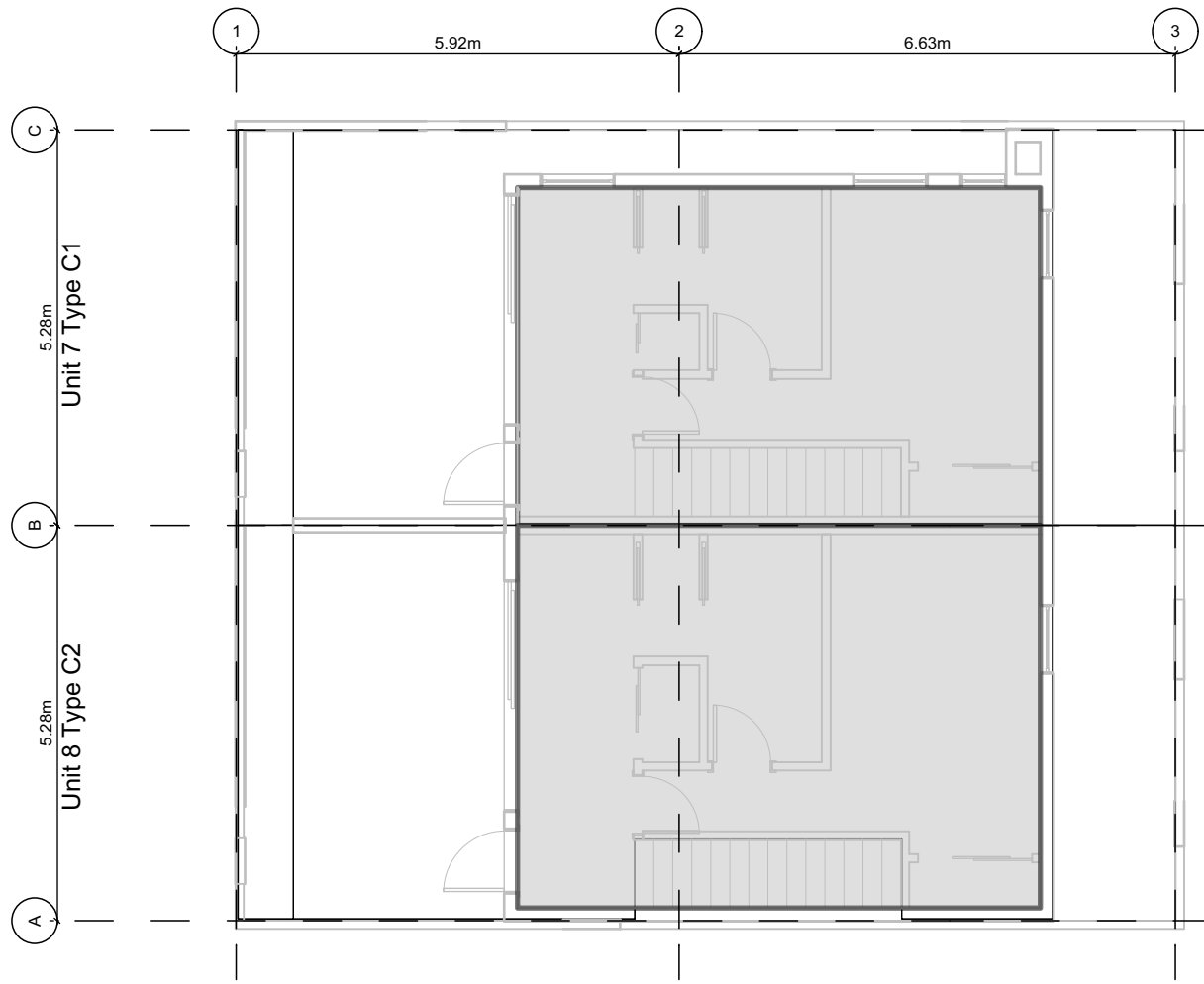
3 Block 1 - Floor 3
Scale: 1:100



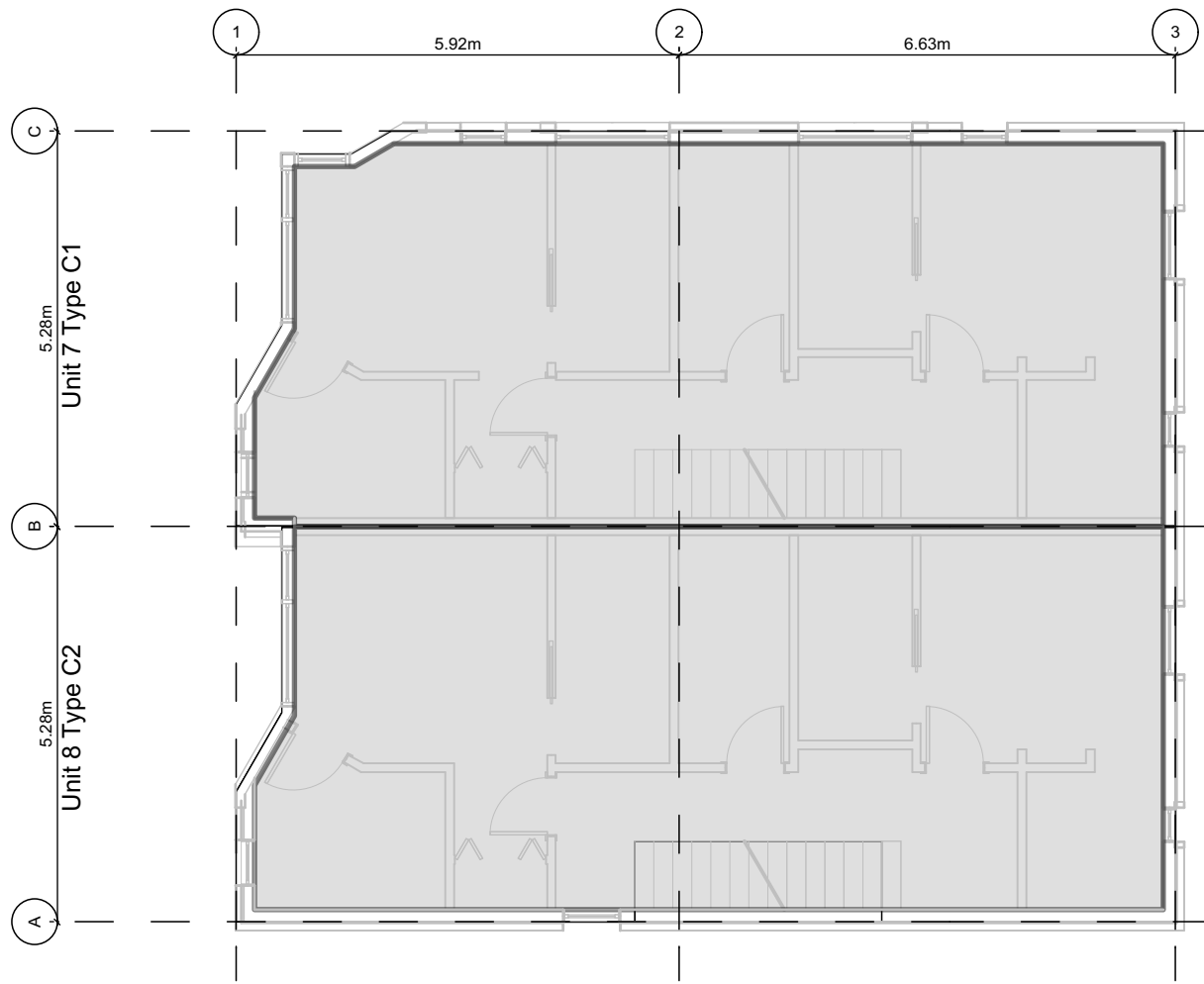
2 Block 1 - Floor 2
Scale: 1:100



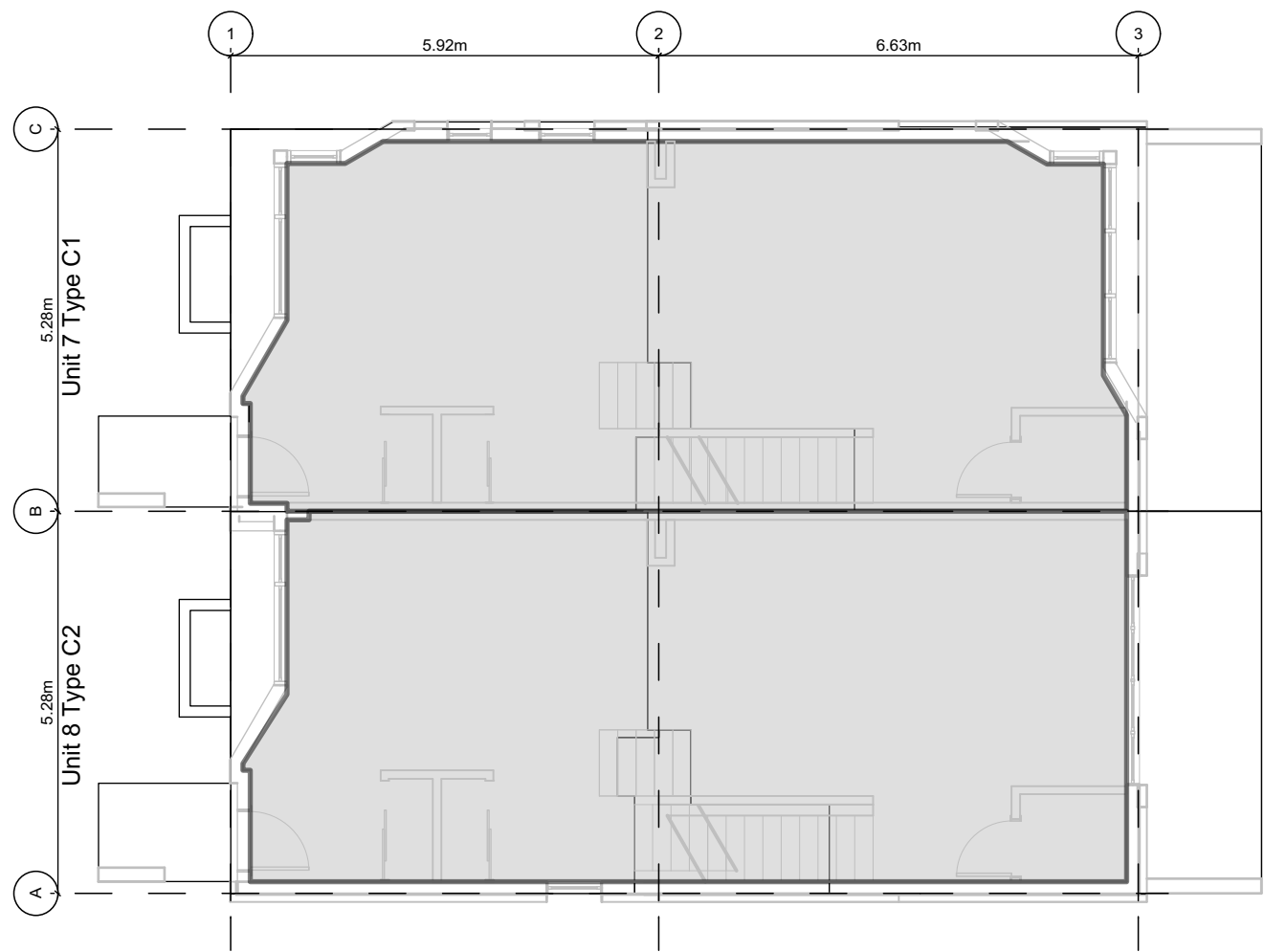
1 Block 1 - Floor 1
Scale: 1:100



6 Block 2 - Floor 3
Scale: 1:100



5 Block 2 - Floor 2
Scale: 1:100



4 Block 2 - Floor 1
Scale: 1:100

| Project Data | | | | | | |
|--------------|------|------------|------------------|--------|-------------|--------------|
| | Type | Area (SF) | Zoning Area (SF) | Bedrms | Car Parking | Bike Parking |
| Block 01 | | | | | | |
| Unit 1 | B2 | 2,029 | 1,486 | 4 | 1 | 2 |
| Unit 2 | A1 | 1,885 | 1,493 | 4 | 1 | 2 |
| Unit 3 | B1 | 1,883 | 1,429 | 4 | 1 | 2 |
| Unit 4 | A1 | 1,885 | 1,493 | 4 | 1 | 2 |
| Unit 5 | B1 | 1,883 | 1,429 | 4 | 1 | 2 |
| Unit 6 | A2 | 1,959 | 1,513 | 4 | 1 | 2 |
| Block 02 | | | | | | |
| Unit 7 | C1 | 2,124 | 1,619 | 3 | 1 | 2 |
| Unit 8 | C2 | 2,220 | 1,688 | 3 | 1 | 2 |
| Refuse | | | 60 | | | |
| Visitor | | | | | 1 | 10 |
| Car-Sharing | | | | | 1 | |
| Total | | 15,867 | 12,209 | | | |
| Site Area | | 1,262.3 m2 | 13,587 | | | |
| FSR | | | 0.899 | | | |

Floor Space Ratio; The building area is measured to the interior side of the exterior wall and C/L of demising walls. Basements excluded.

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Graphical Floor Area Ratio

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

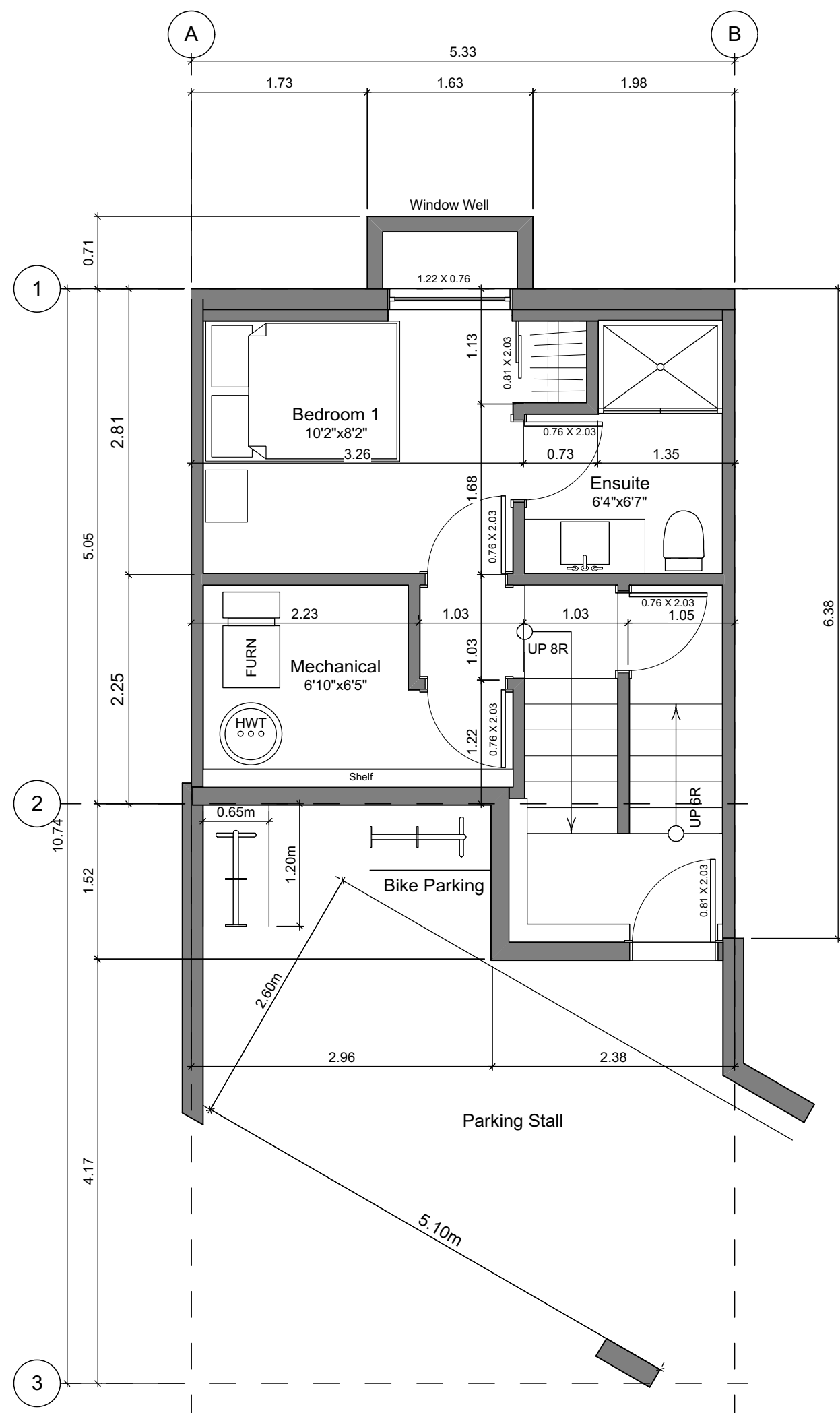
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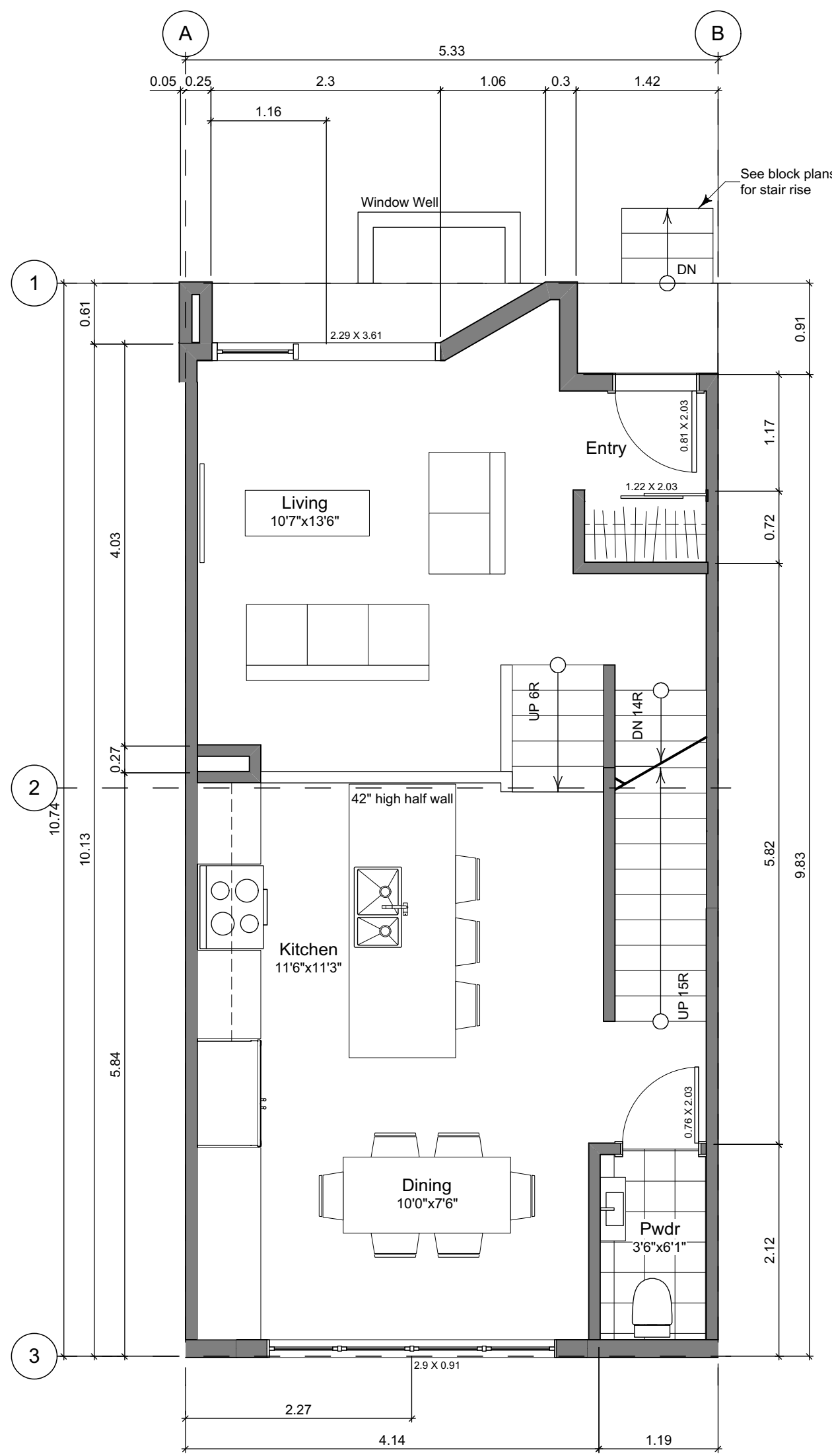
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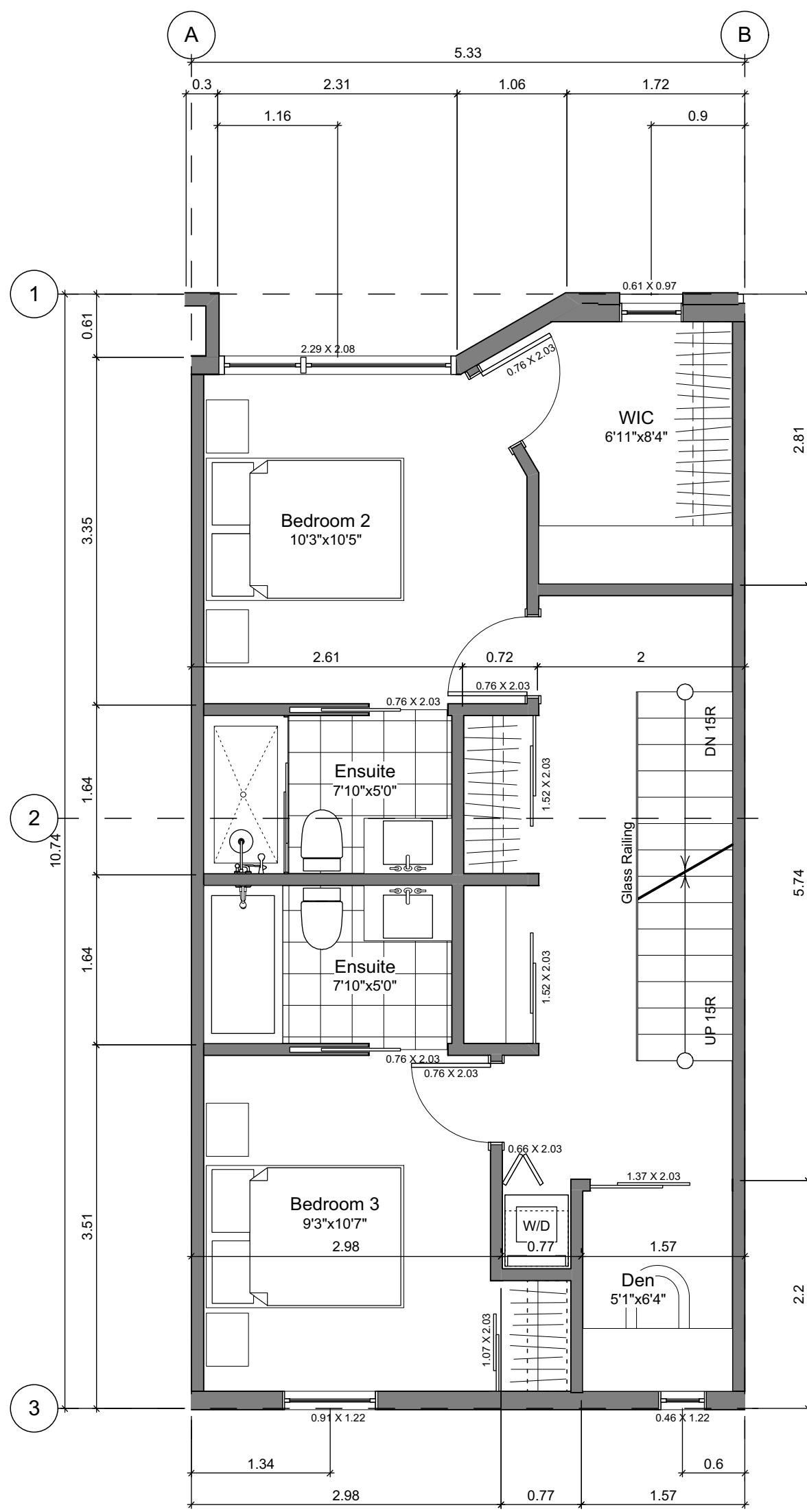




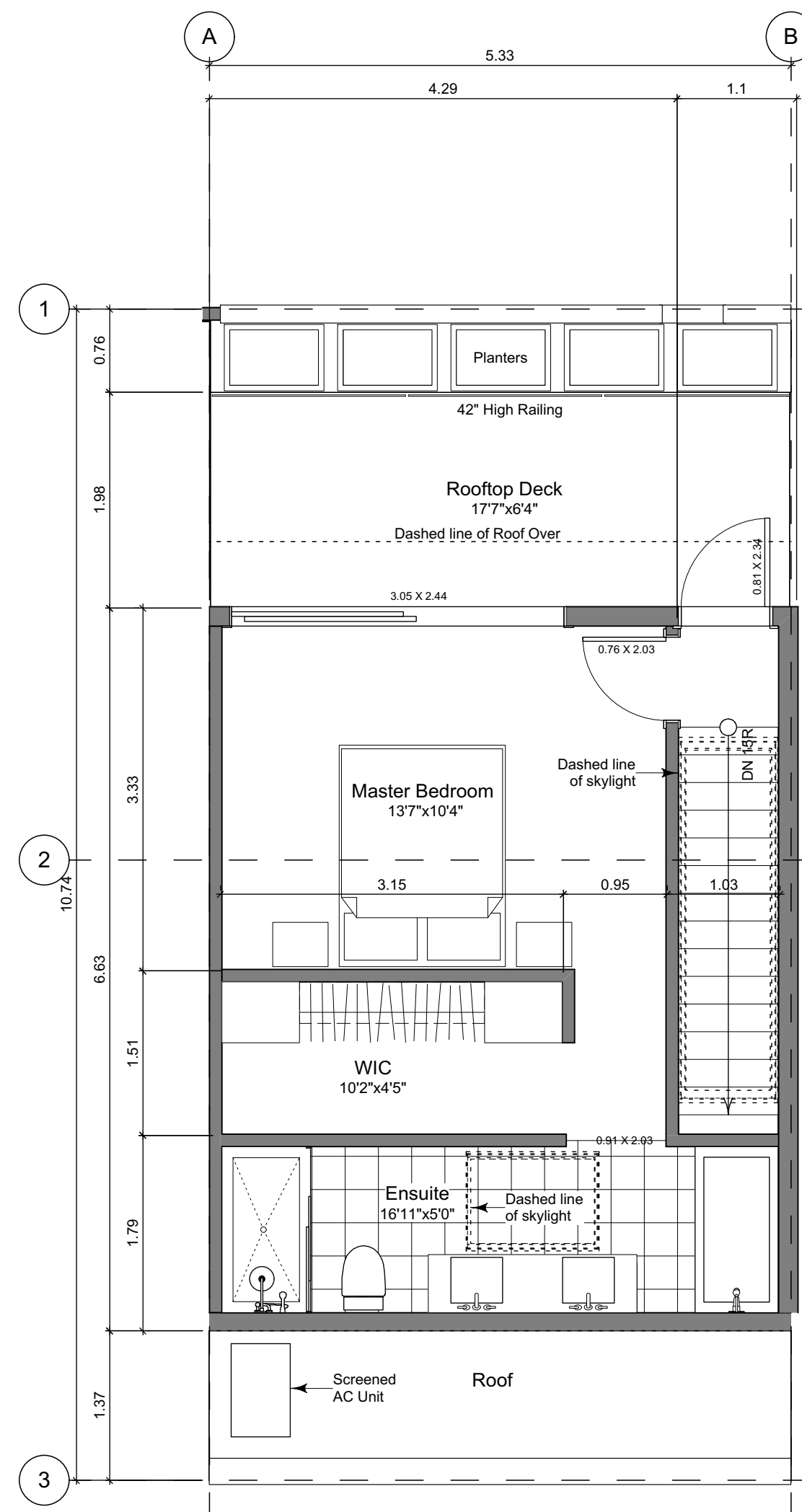
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Third Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated.
See Block plan for foundation plan.

Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 2, 4 (A1)

| | Gross Floor Area | | Zoning Floor Area | |
|--------------------|--------------------|-----------------|--------------------|-----------------|
| Basement Floor | 323 sq ft | 30.1 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 583 sq ft | 54.1 m2 | 562 sq ft | 52.2 m2 |
| Second Floor | 595 sq ft | 55.2 m2 | 577 sq ft | 53.6 m2 |
| Third Floor | 384 sq ft | 35.7 m2 | 354 sq ft | 32.9 m2 |
| Totals: | 1,885 sq ft | 175.1 m2 | 1,493 sq ft | 138.7 m2 |
| Carport | 232 sq ft | 21.5 m2 | | |
| Rooftop Open Space | 114 sq ft | 10.6 m2 | | |

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Unit A1 Floor Plans

Project Name: _____

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal: _____

PID: _____

Project No: 19.015

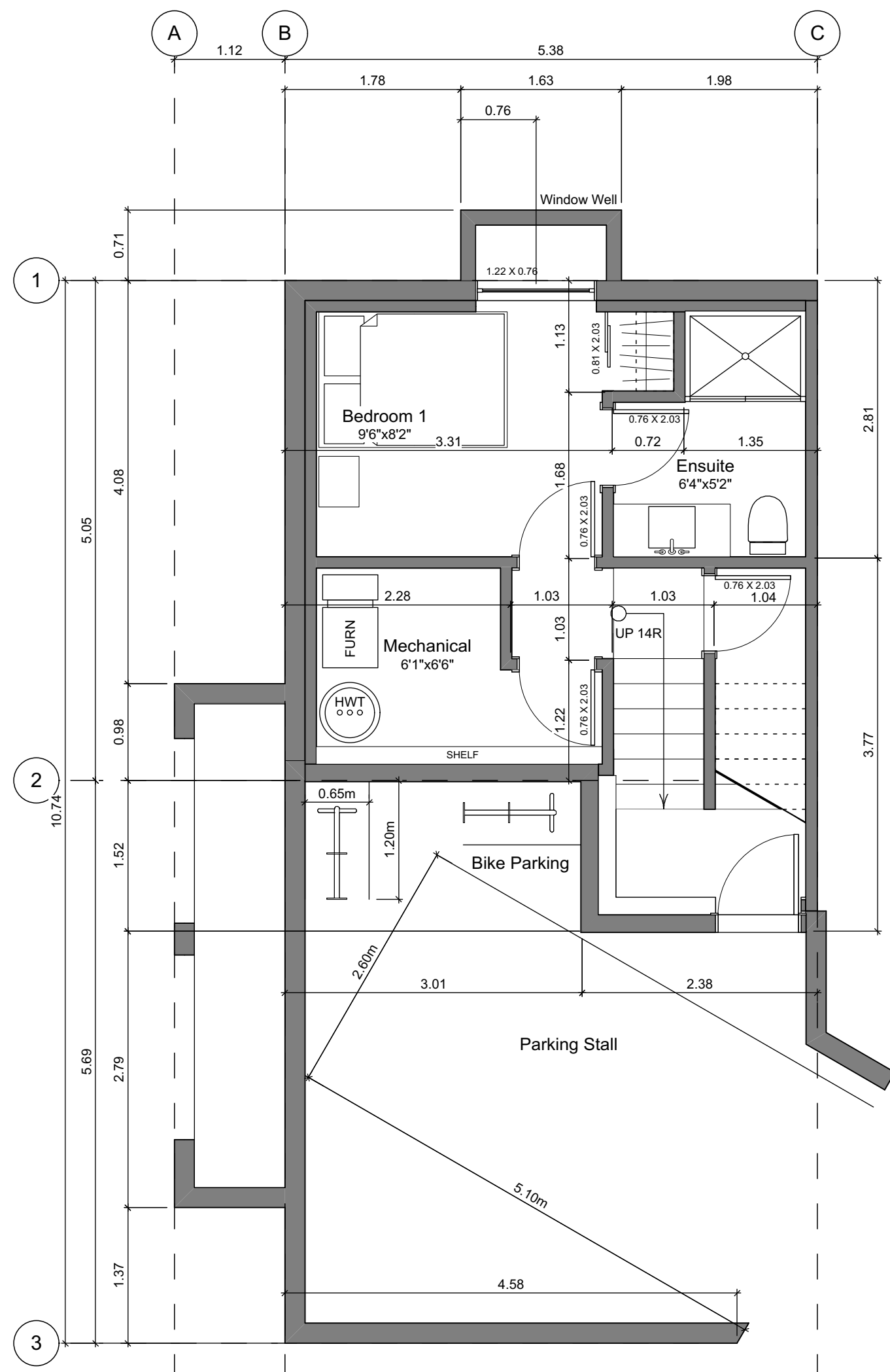
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Plot Date: Jun 20, 2019

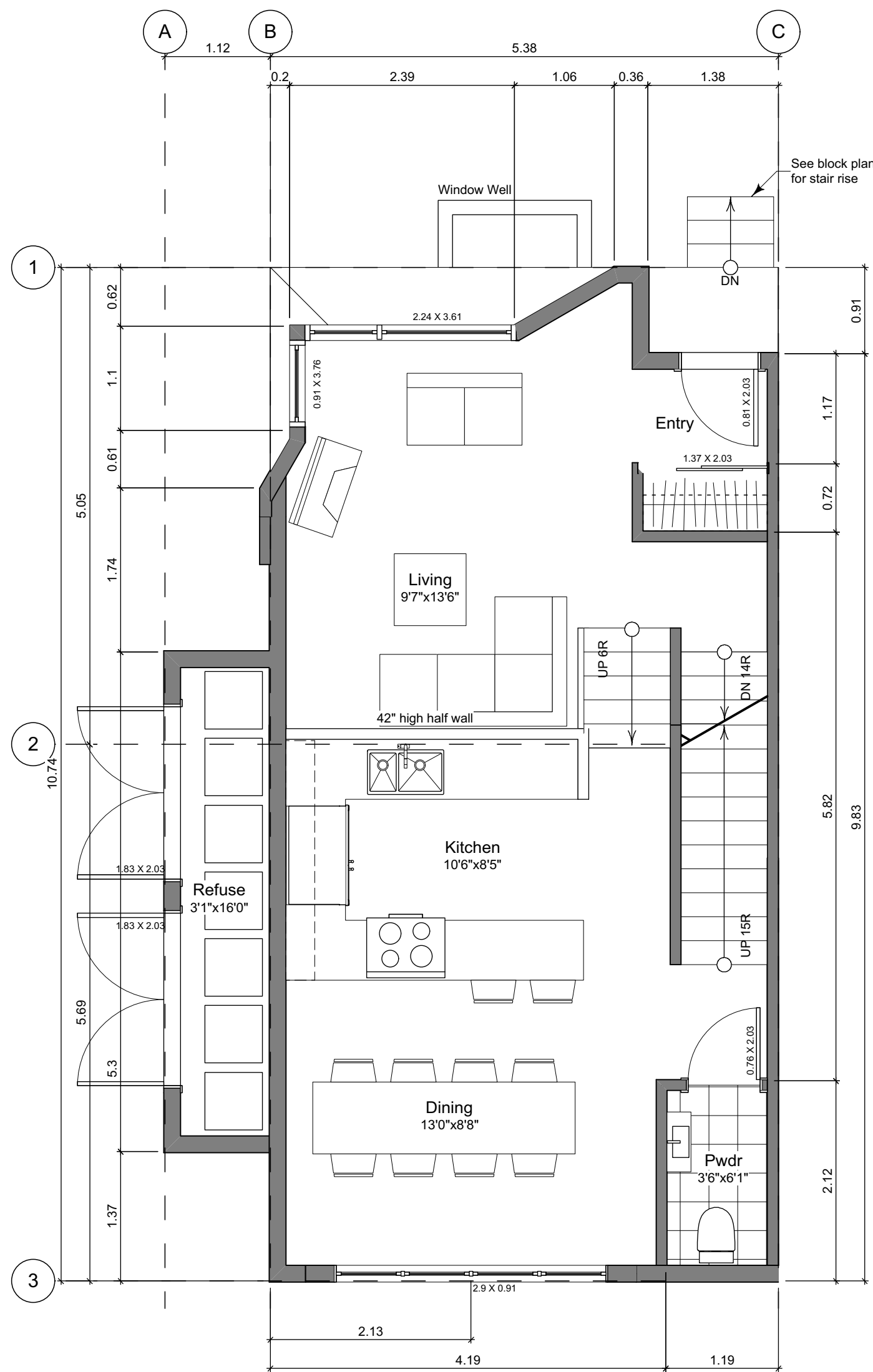
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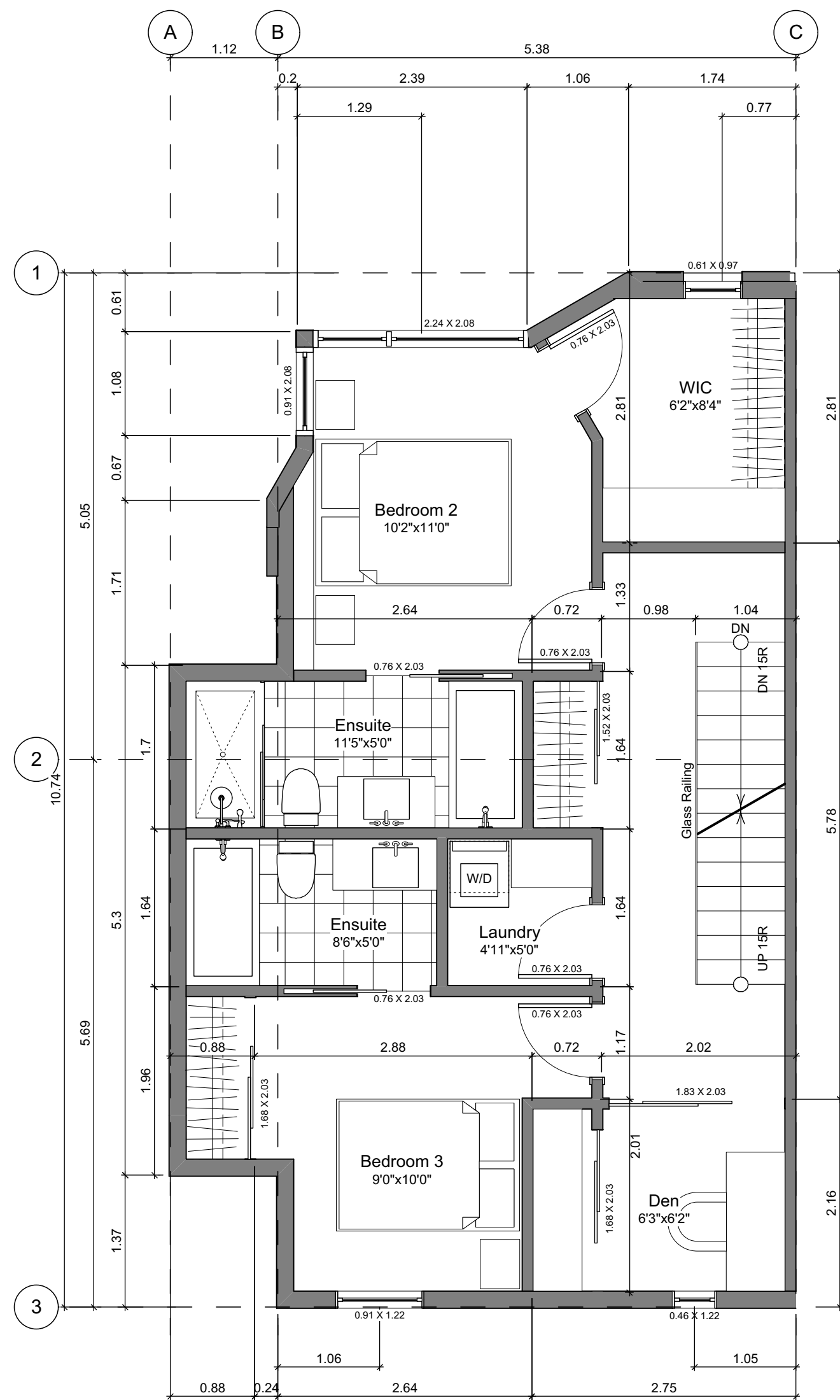
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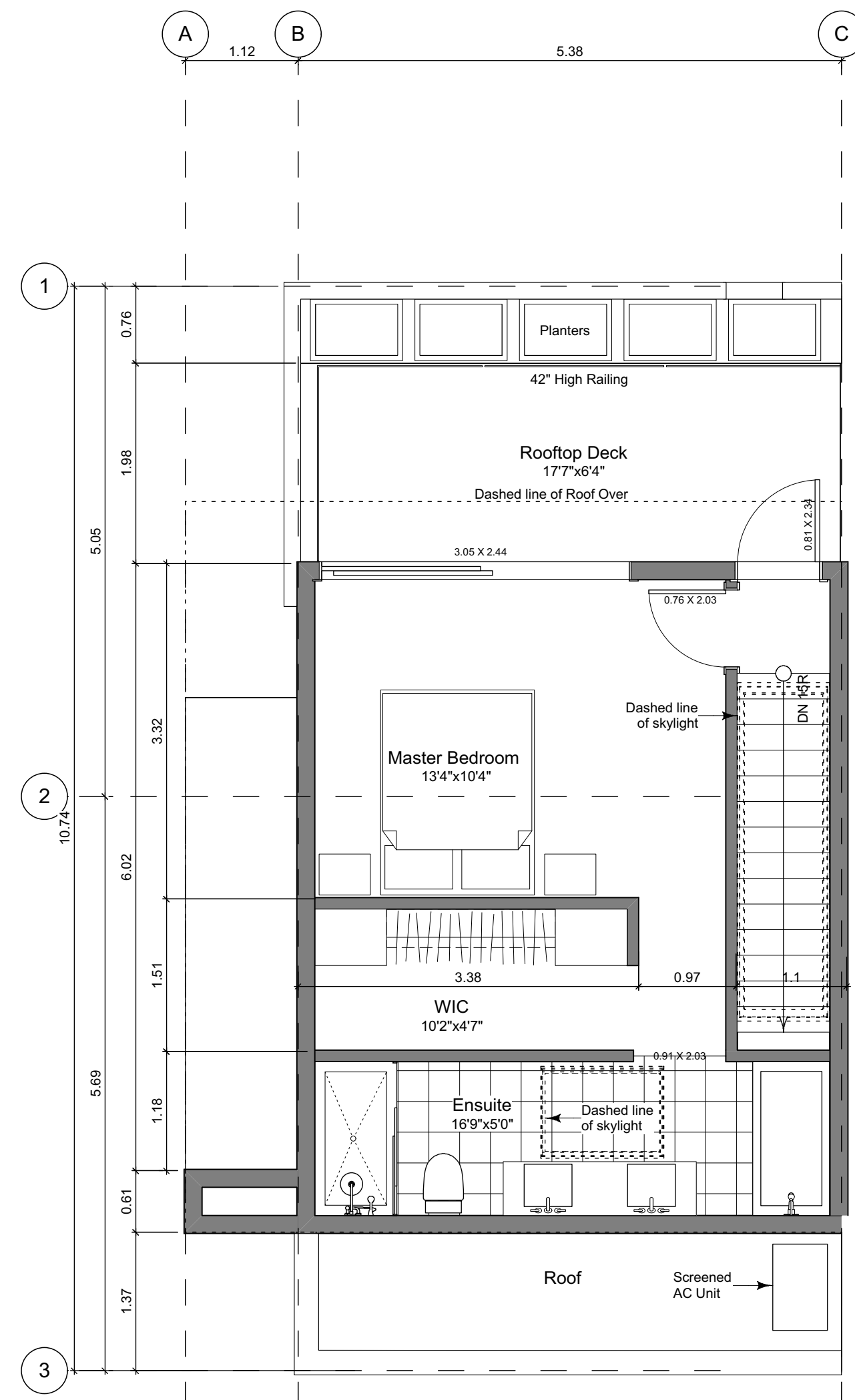
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Third Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated.
See Block plan for foundation plan.

Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

| Floor Area Calculations - Unit 6 (A2) | | | | |
|---------------------------------------|------------------|----------|-------------------|----------|
| | Gross Floor Area | | Zoning Floor Area | |
| Basement Floor | 326 sq ft | 30.3 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 584 sq ft | 54.3 m2 | 546 sq ft | 50.7 m2 |
| Second Floor | 661 sq ft | 61.4 m2 | 621 sq ft | 57.7 m2 |
| Third Floor | 388 sq ft | 36.0 m2 | 346 sq ft | 32.2 m2 |
| Totals: | 1,959 sq ft | 182.0 m2 | 1,513 sq ft | 140.5 m2 |
| Carport | 297 sq ft | 27.6 m2 | | |
| Rooftop Open Space | 115 sq ft | 10.7 m2 | | |

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Unit A2 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
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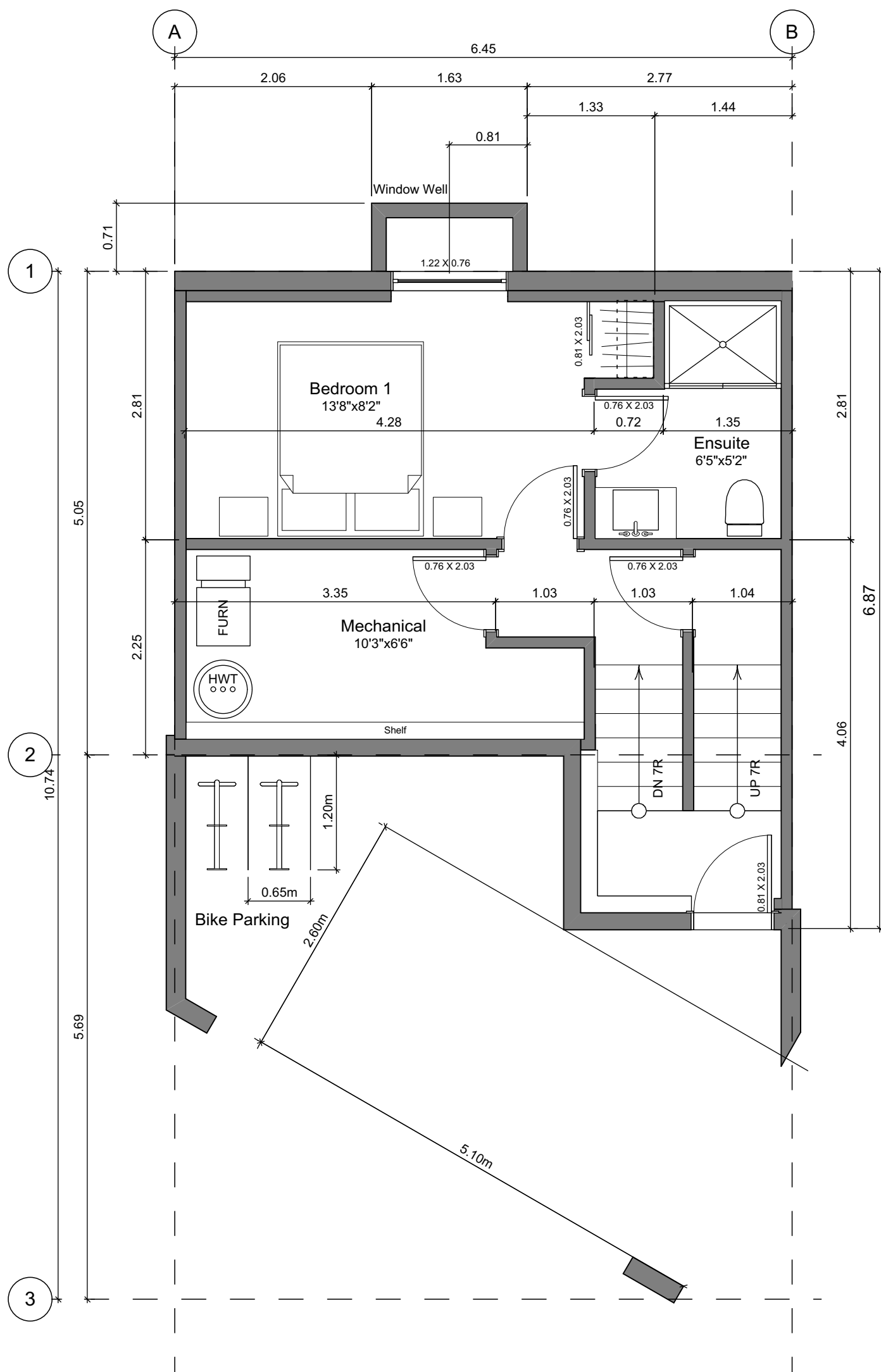
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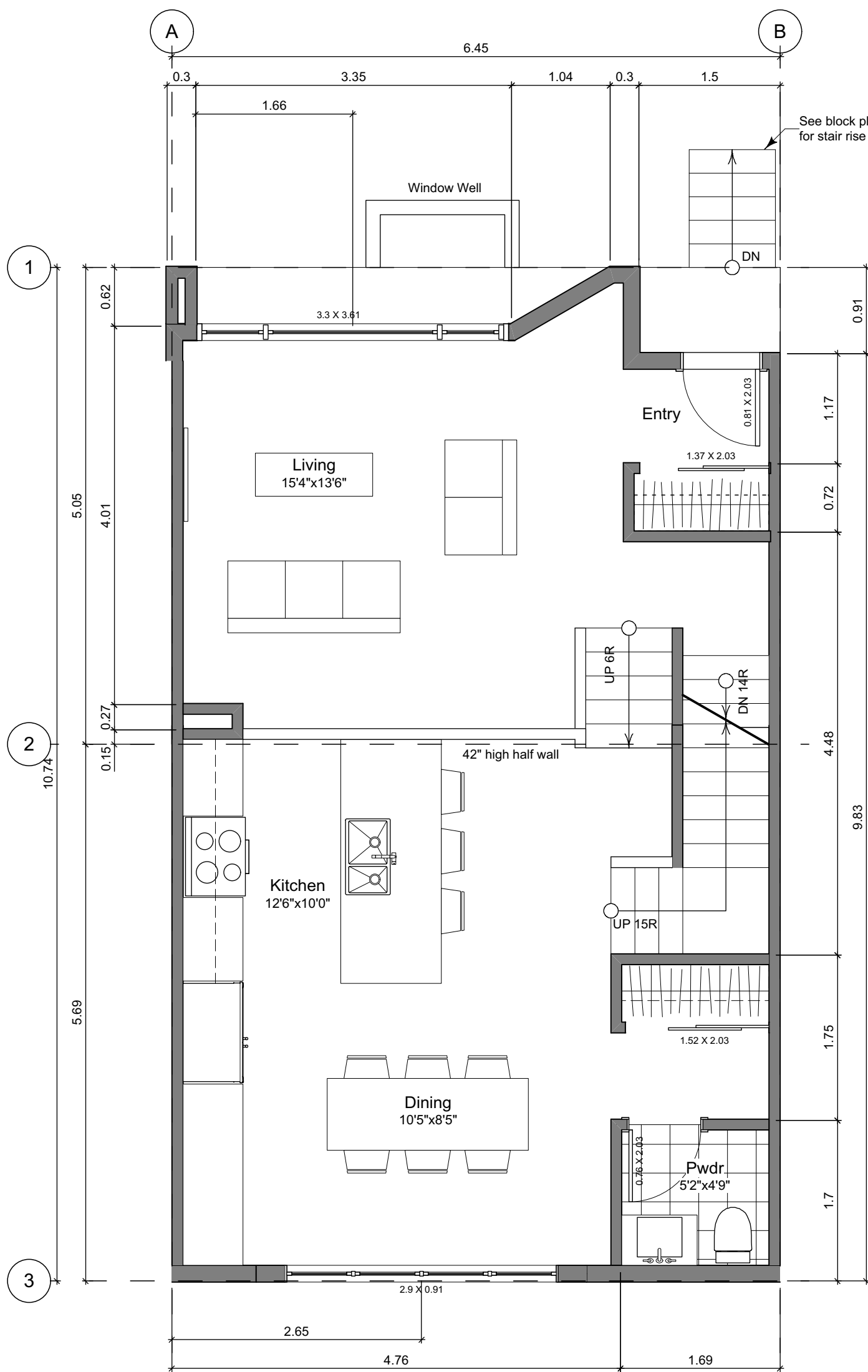
Plot Date: Jun 20, 2019

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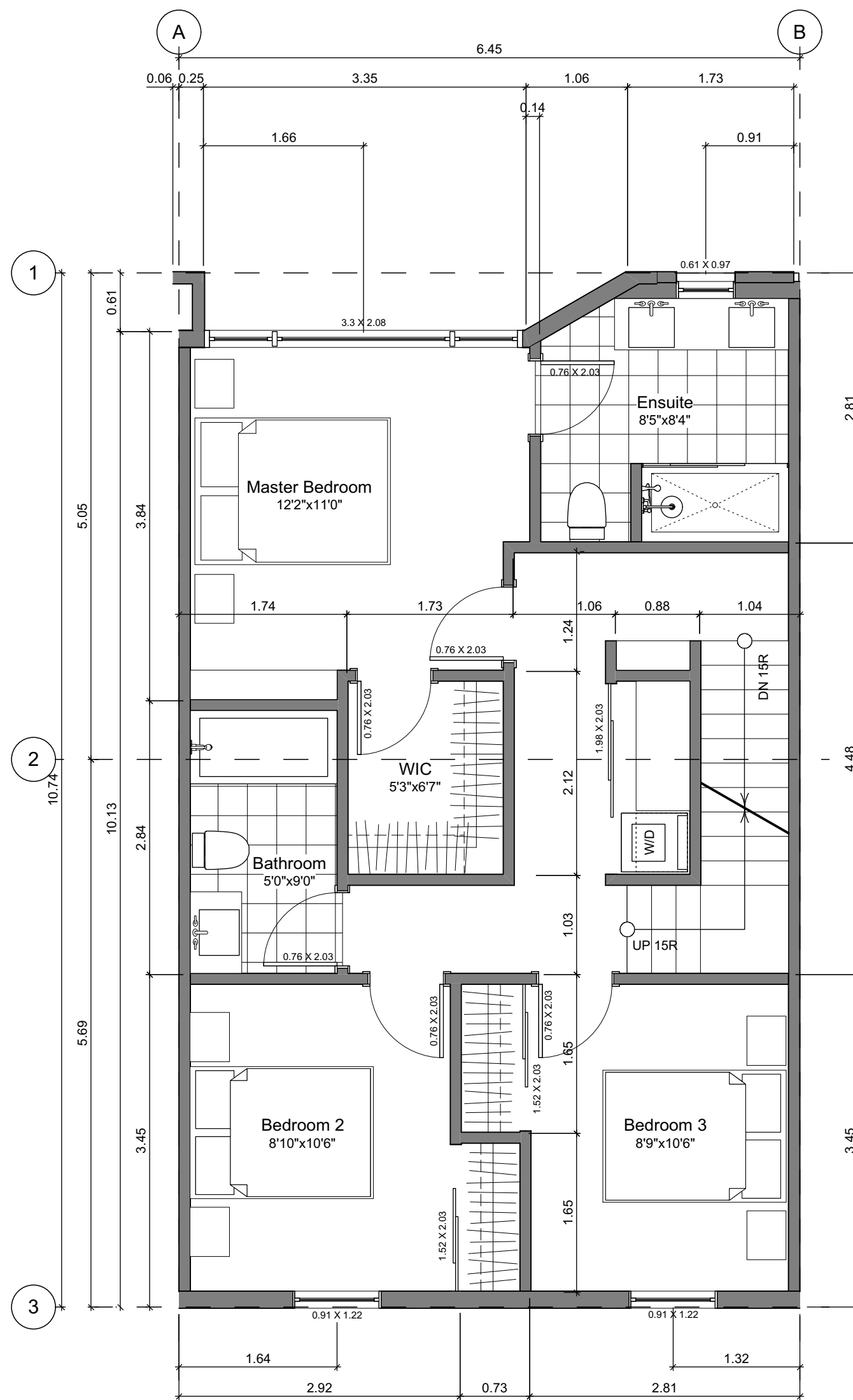
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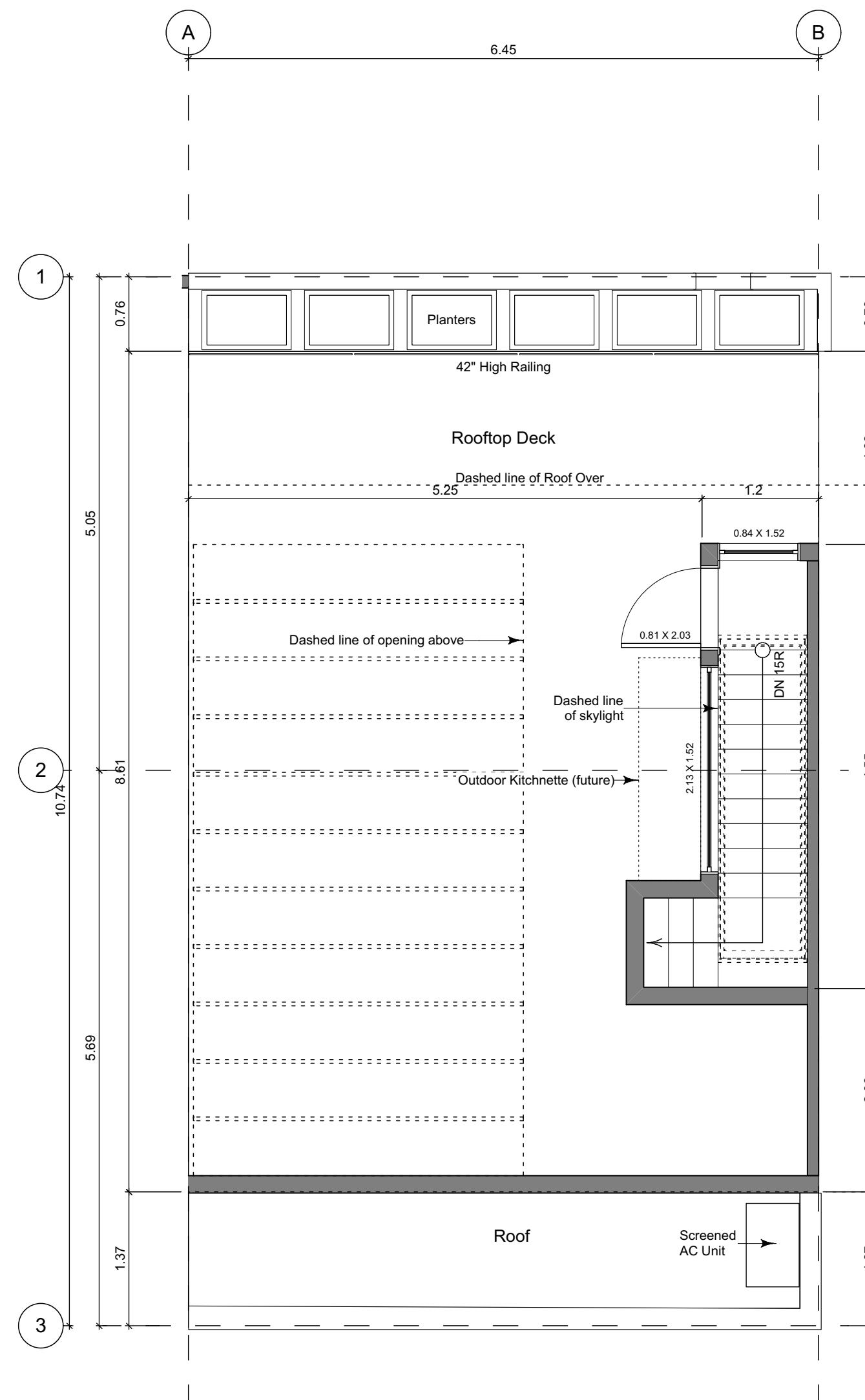
1 **Basement Floor Plan**
Scale: 1:50



2 **Main Floor Plan**
Scale: 1:50



3 **Second Floor Plan**
Scale: 1:50



4 **Third Floor Plan**
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated.
See Block plan for foundation plan.

Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 3, 5 (B1)

| | Gross Floor Area | | Zoning Floor Area | |
|--------------------|--------------------|----------------------------|--------------------|----------------------------|
| Basement Floor | 391 sq ft | 36.3 m ² | 0 sq ft | 0.0 m ² |
| Main Floor | 704 sq ft | 65.4 m ² | 679 sq ft | 63.1 m ² |
| Second Floor | 717 sq ft | 66.6 m ² | 694 sq ft | 64.5 m ² |
| Third Floor | 71 sq ft | 6.6 m ² | 56 sq ft | 5.2 m ² |
| Totals: | 1,883 sq ft | 174.9 m² | 1,429 sq ft | 132.8 m² |
| Carport | 259 sq ft | 24.1 m ² | | |
| Rooftop Open Space | 516 sq ft | 47.9 m ² | | |

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Issued
2019-06-19 Issued for DP

Unit B1 Floor Plans

Project Name:

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

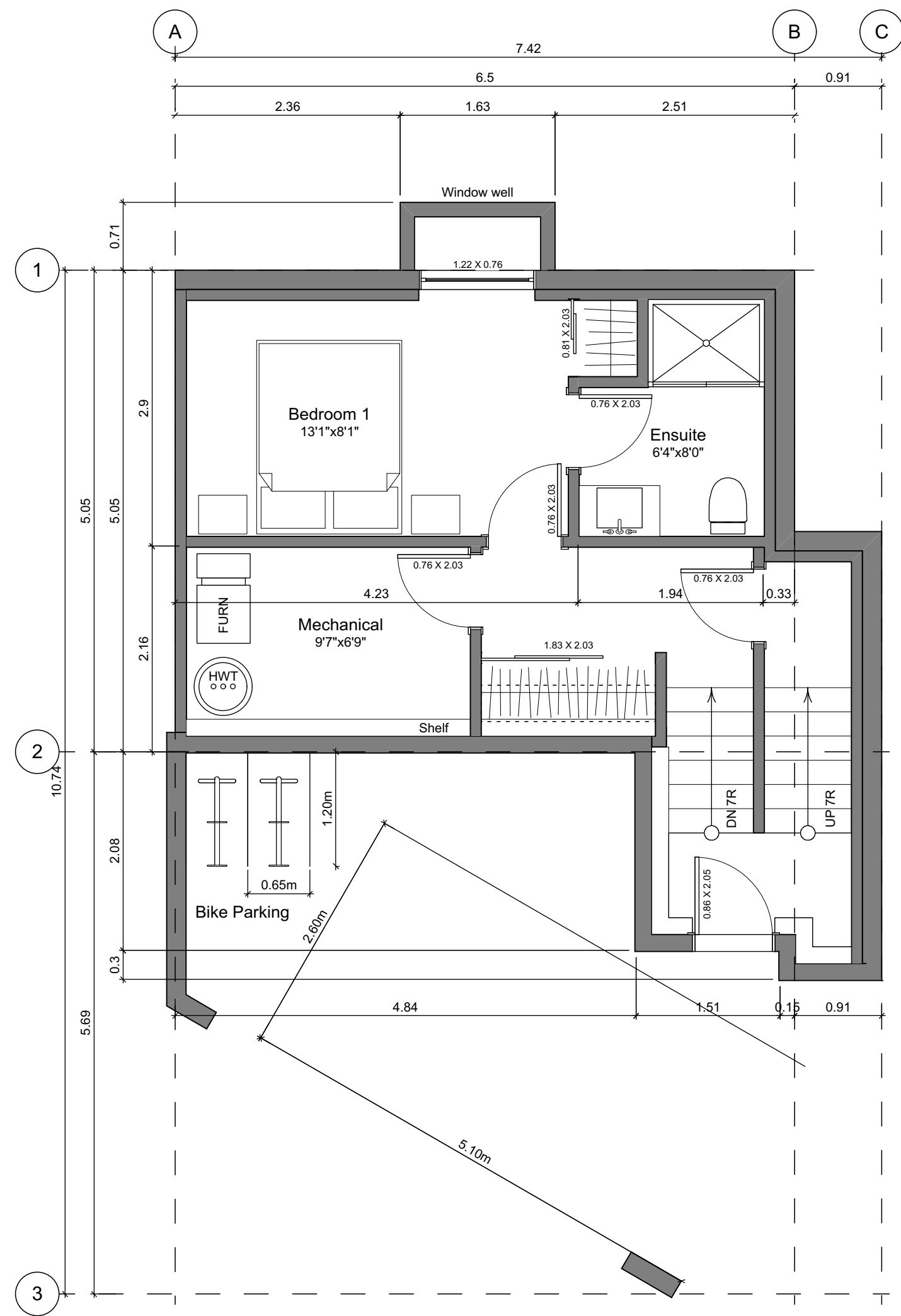
Drawn By: SG/JM

Plot Date: Jun 20, 2019

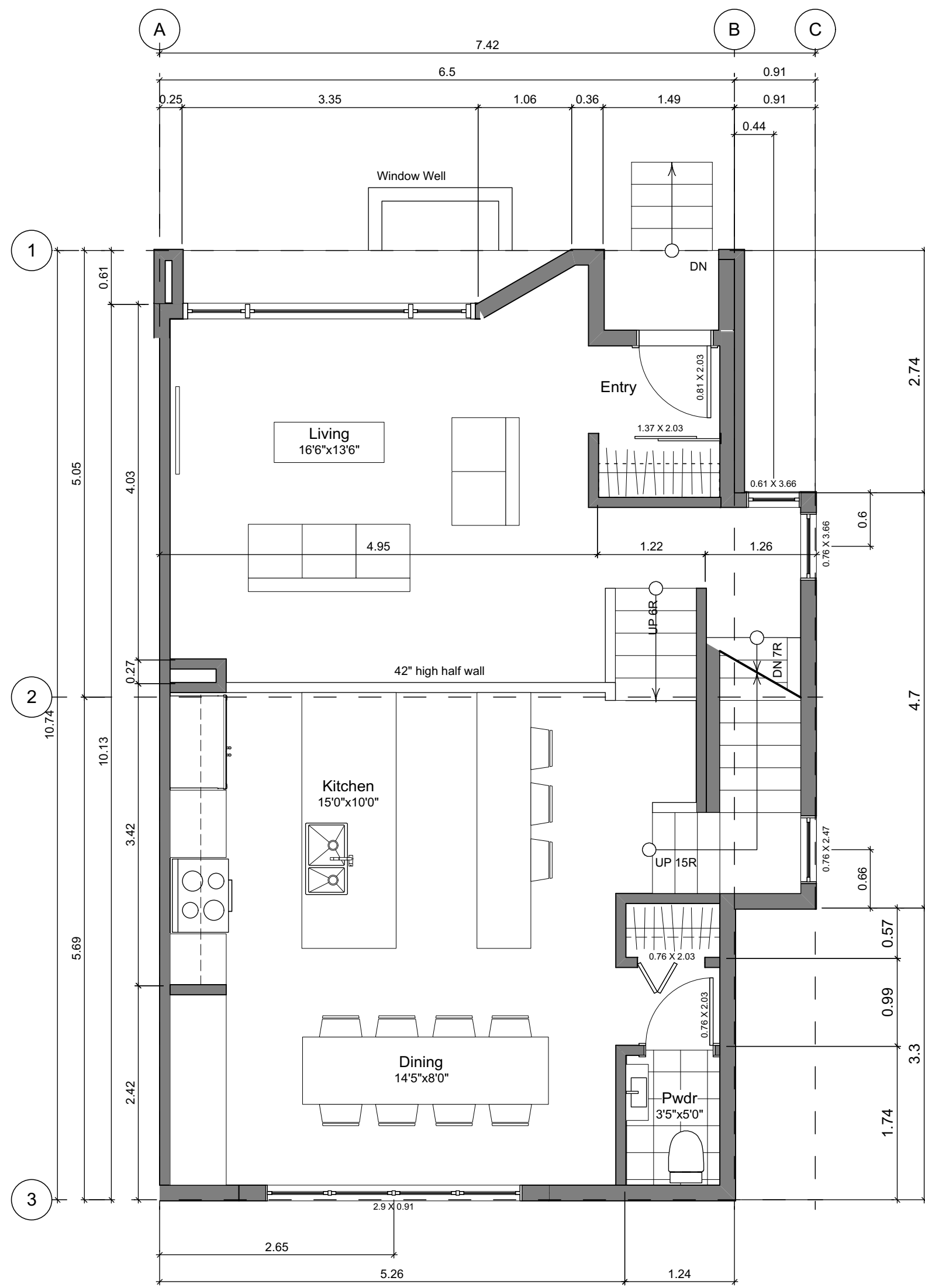
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Sheet No:

A3.2



1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated.
See Block plan for foundation plan.

Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

| Floor Area Calculations - Unit 1 (B2) | | | | |
|---------------------------------------|------------------|----------|-------------------|----------|
| | Gross Floor Area | | Zoning Floor Area | |
| Basement Floor | 430 sq ft | 40.0 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 757 sq ft | 70.3 m2 | 711 sq ft | 66.1 m2 |
| Second Floor | 769 sq ft | 71.4 m2 | 724 sq ft | 67.3 m2 |
| Third Floor | 73 sq ft | 6.8 m2 | 50 sq ft | 4.7 m2 |
| Totals: | 2,029 sq ft | 188.5 m2 | 1,486 sq ft | 138.0 m2 |
| Carport | 273 sq ft | 25.4 m2 | | |
| Rooftop Open Space | 560 sq ft | 52.0 m2 | | |

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Issued
2019-06-19 Issued for DP

Unit B2 Floor Plans

Project Name: _____

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal: _____

PID: _____

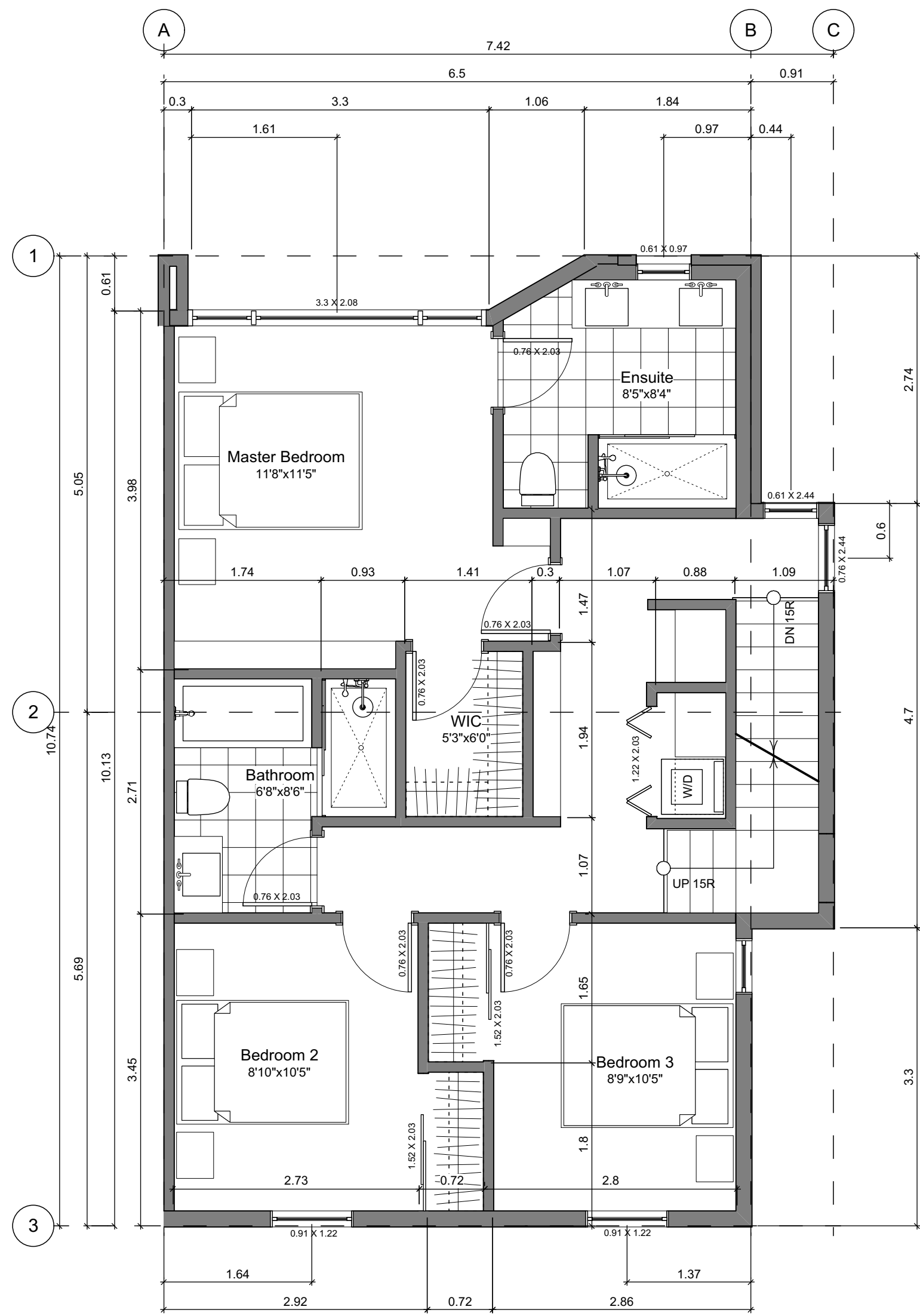
Project No: 19.015

Drawn By: SG/JM

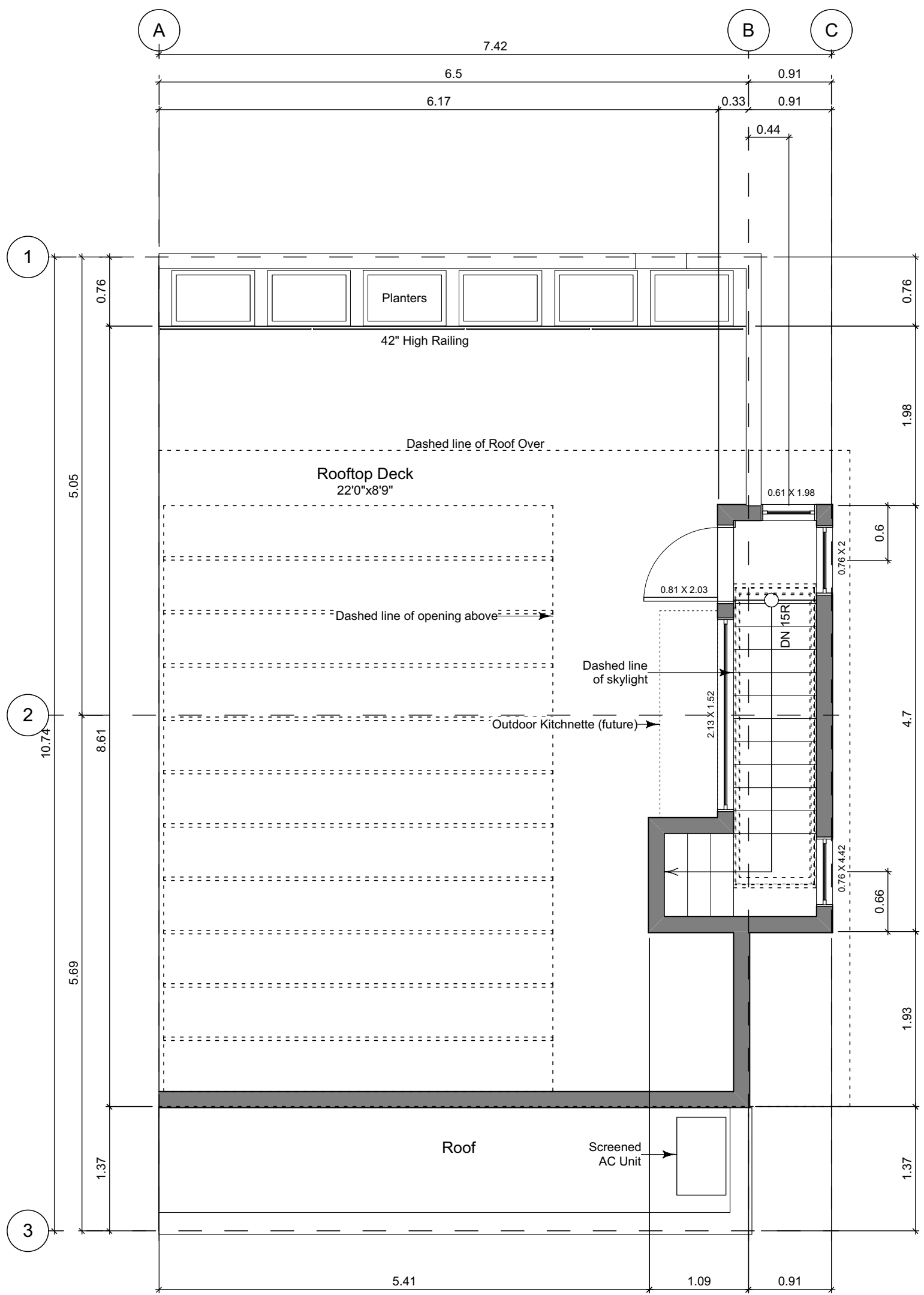
Plot Date: Jun 20, 2019

Scale: 1:50

Sheet No: _____



1 Second Floor Plan
Scale: 1:50



2 Third Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated.
See Block plan for foundation plan.

Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

| Floor Area Calculations - Unit 1 (B2) | | | | | |
|---------------------------------------|--------------------|-----------------|--------------------|-----------------|--|
| | Gross Floor Area | | Zoning Floor Area | | |
| Basement Floor | 430 sq ft | 40.0 m2 | 0 sq ft | 0.0 m2 | |
| Main Floor | 757 sq ft | 70.3 m2 | 711 sq ft | 66.1 m2 | |
| Second Floor | 769 sq ft | 71.4 m2 | 724 sq ft | 67.3 m2 | |
| Third Floor | 73 sq ft | 6.8 m2 | 50 sq ft | 4.7 m2 | |
| Totals: | 2,029 sq ft | 188.5 m2 | 1,486 sq ft | 138.0 m2 | |
| Carport | 273 sq ft | 25.4 m2 | | | |
| Rooftop Open Space | 560 sq ft | 52.0 m2 | | | |

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Unit B2 Floor Plans

Project Name:

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

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PID:

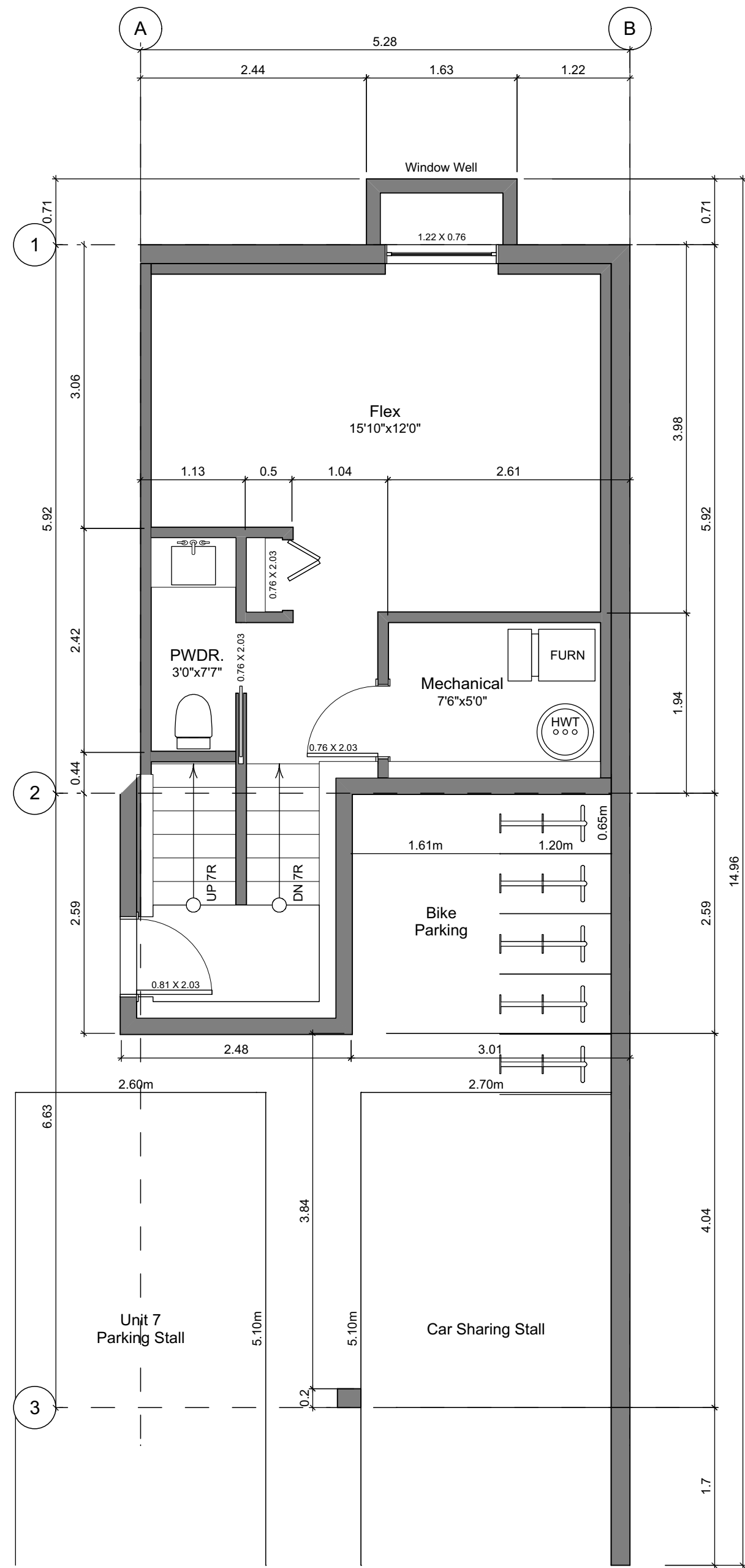
Project No: 19.015

Drawn By: SG/JM

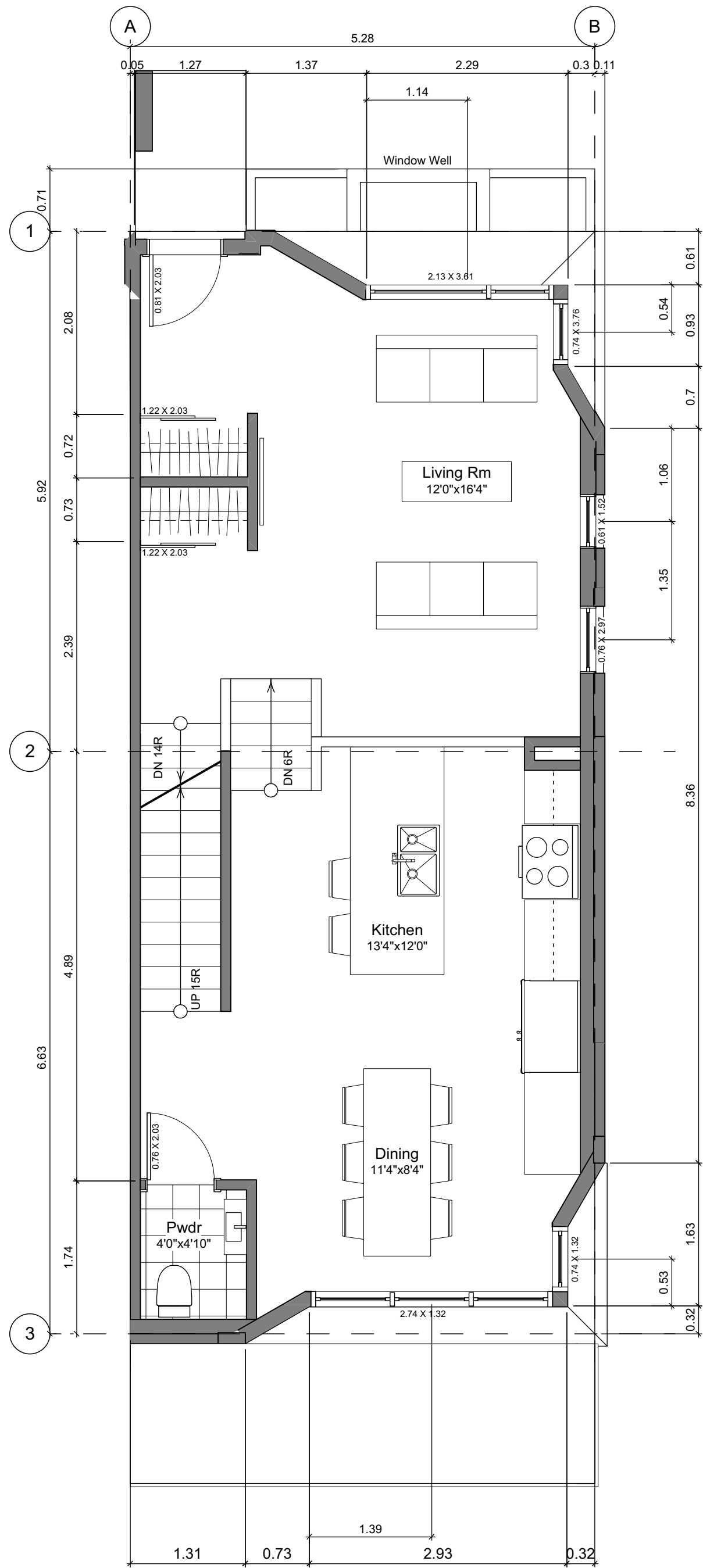
Plot Date: Jun 20, 2019

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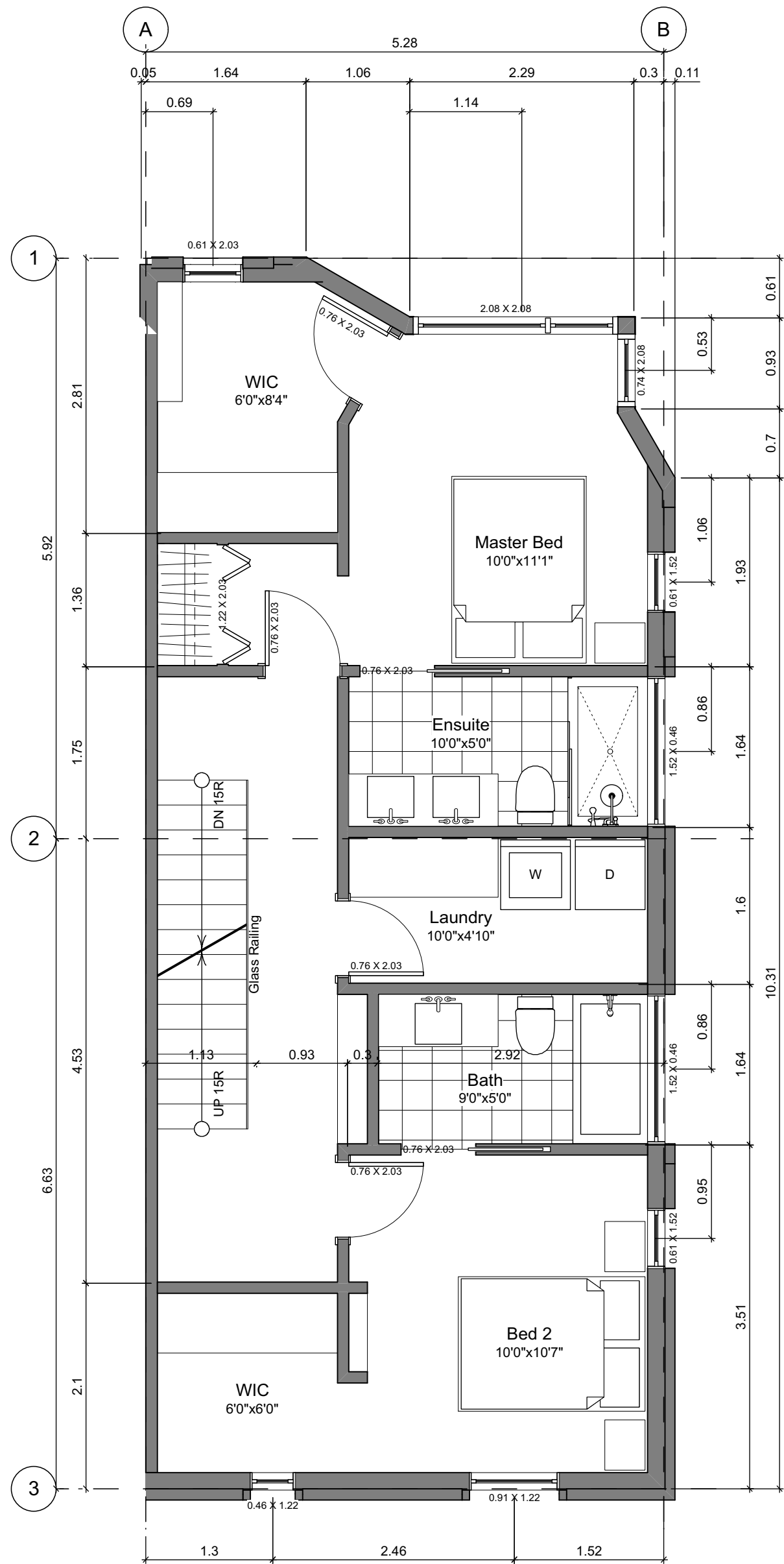
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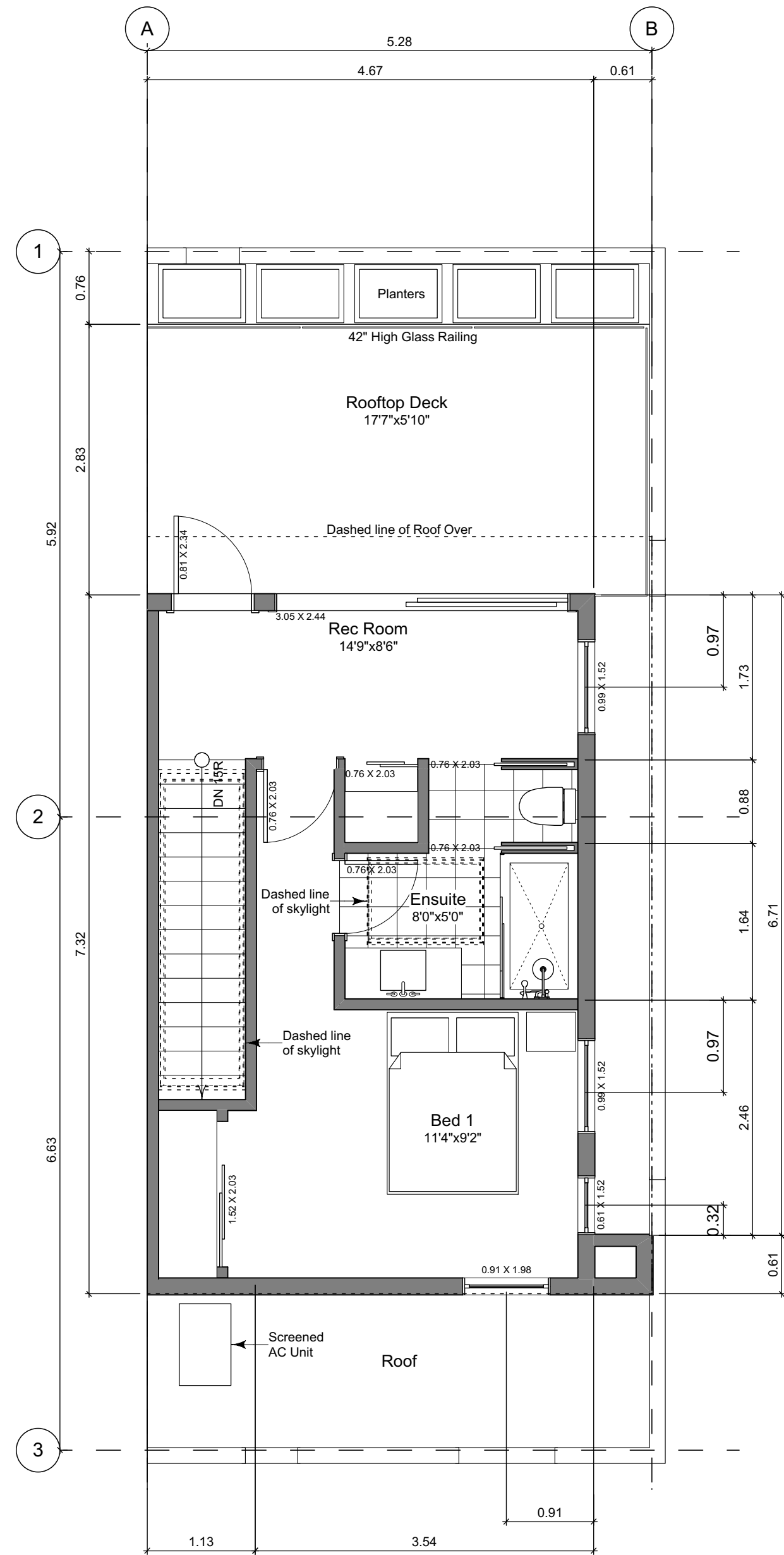
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Third Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated.
See Block plan for foundation plan.

Grid Lines are too:
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2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

| Floor Area Calculations - Unit 7 (C1) | | | | |
|---------------------------------------|--------------------|----------------------------|--------------------|----------------------------|
| | Gross Floor Area | | Zoning Floor Area | |
| Basement Floor | 396 sq ft | 36.8 m ² | 0 sq ft | 0.0 m ² |
| Main Floor | 672 sq ft | 62.4 m ² | 632 sq ft | 58.7 m ² |
| Second Floor | 688 sq ft | 63.9 m ² | 648 sq ft | 60.2 m ² |
| Third Floor | 368 sq ft | 34.2 m ² | 339 sq ft | 31.5 m ² |
| Totals: | 2,124 sq ft | 197.3 m² | 1,619 sq ft | 150.4 m² |
| Carport | 417 sq ft | 38.7 m ² | | |
| Rooftop Open Space | 161 sq ft | 15.0 m ² | | |

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Unit C1 Floor Plans

Project Name: _____

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal: _____

PID: _____

Project No: 19.015

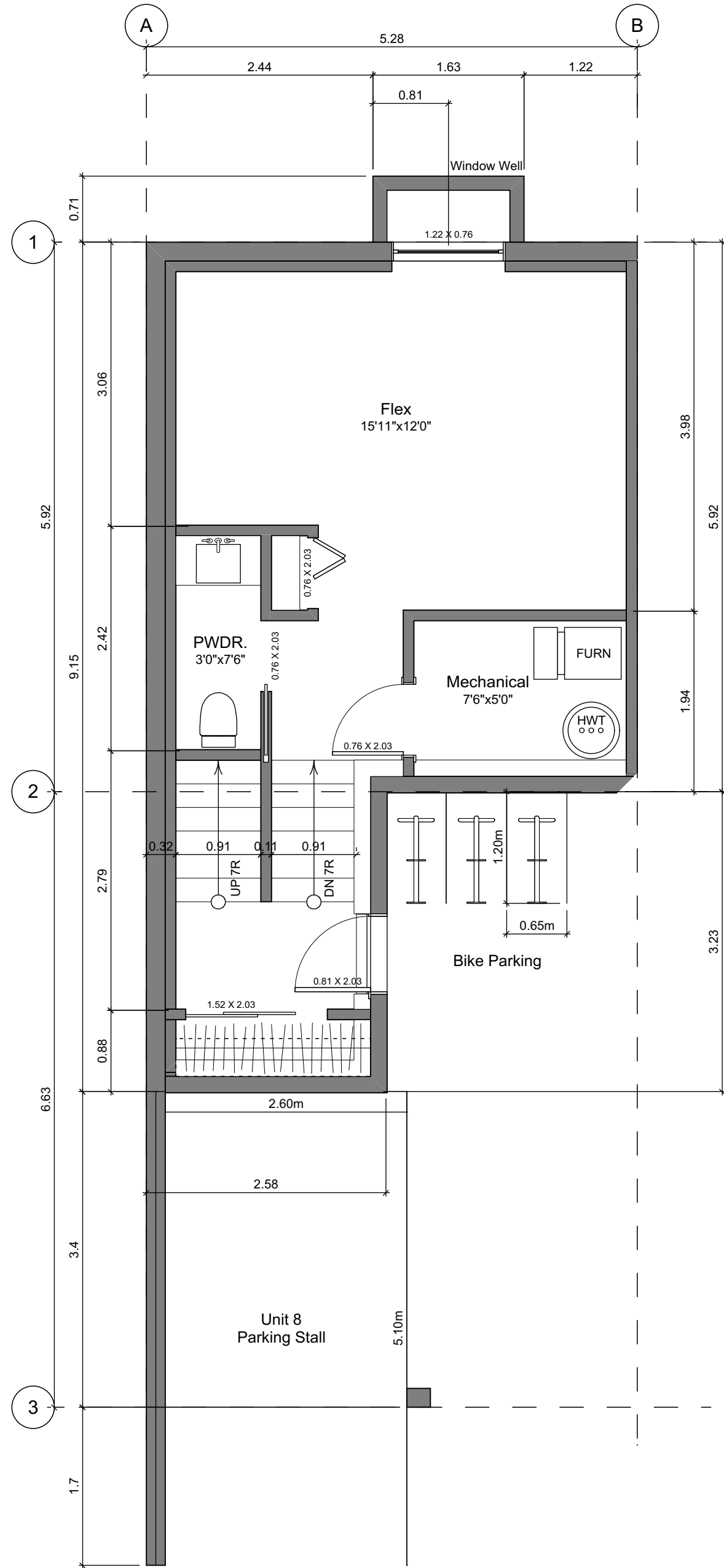
Drawn By: SG/JM

Plot Date: Jun 20, 2019

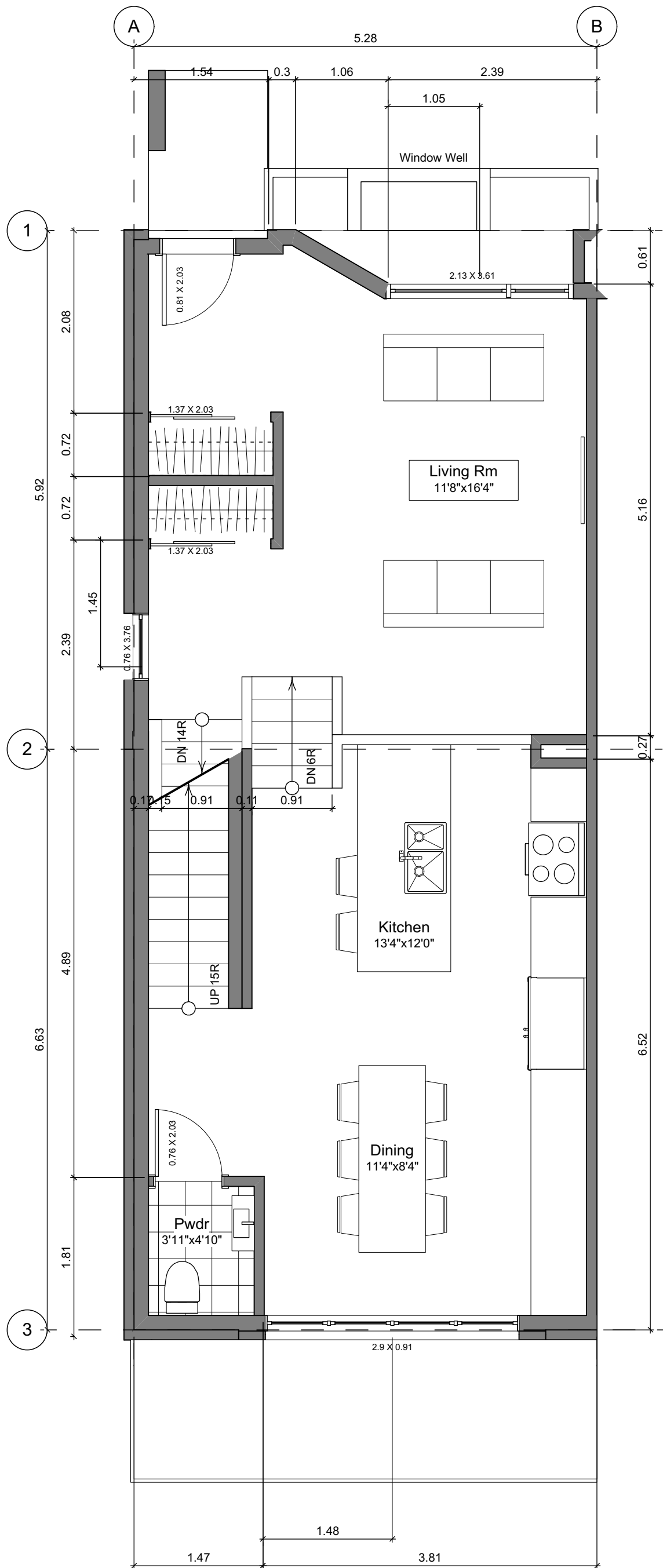
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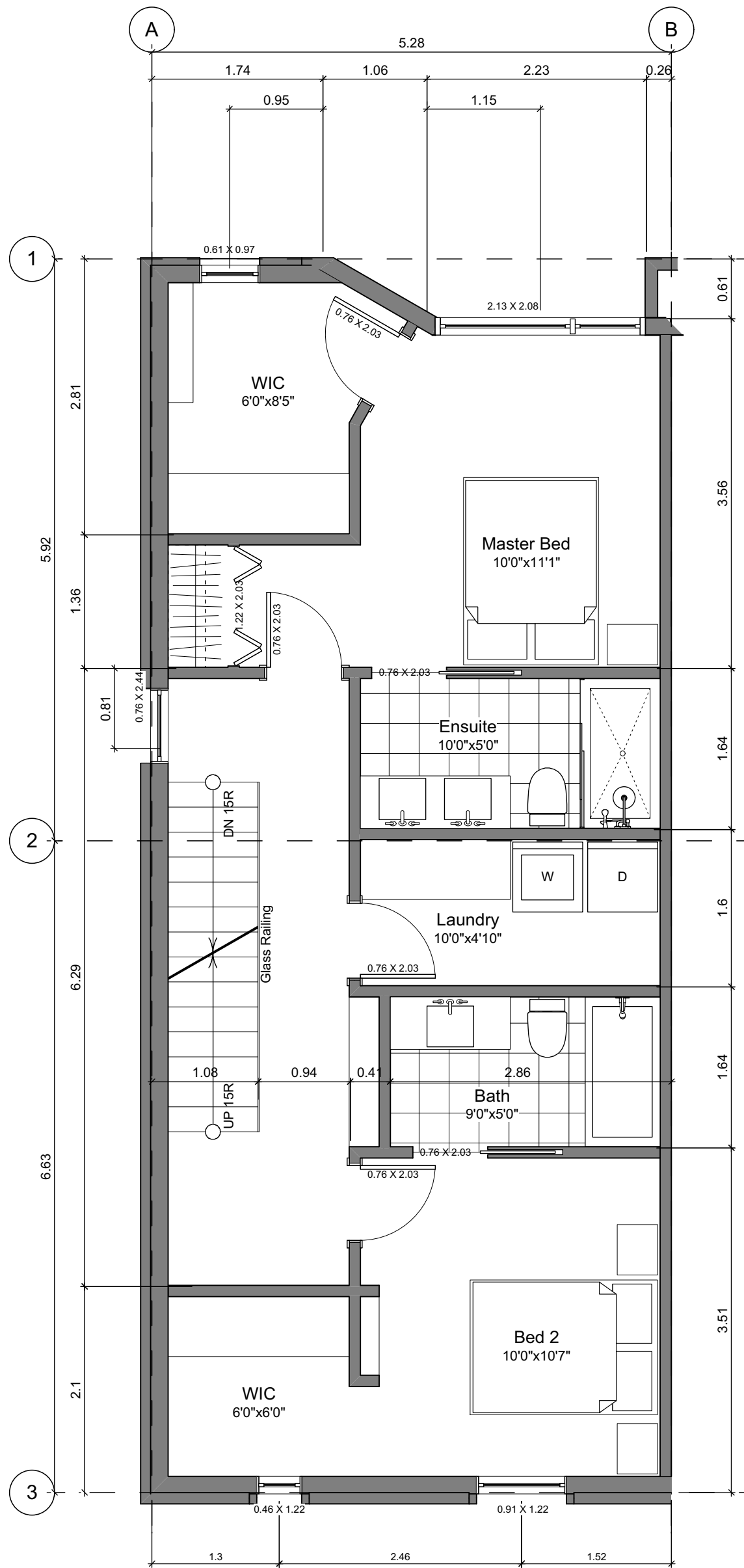
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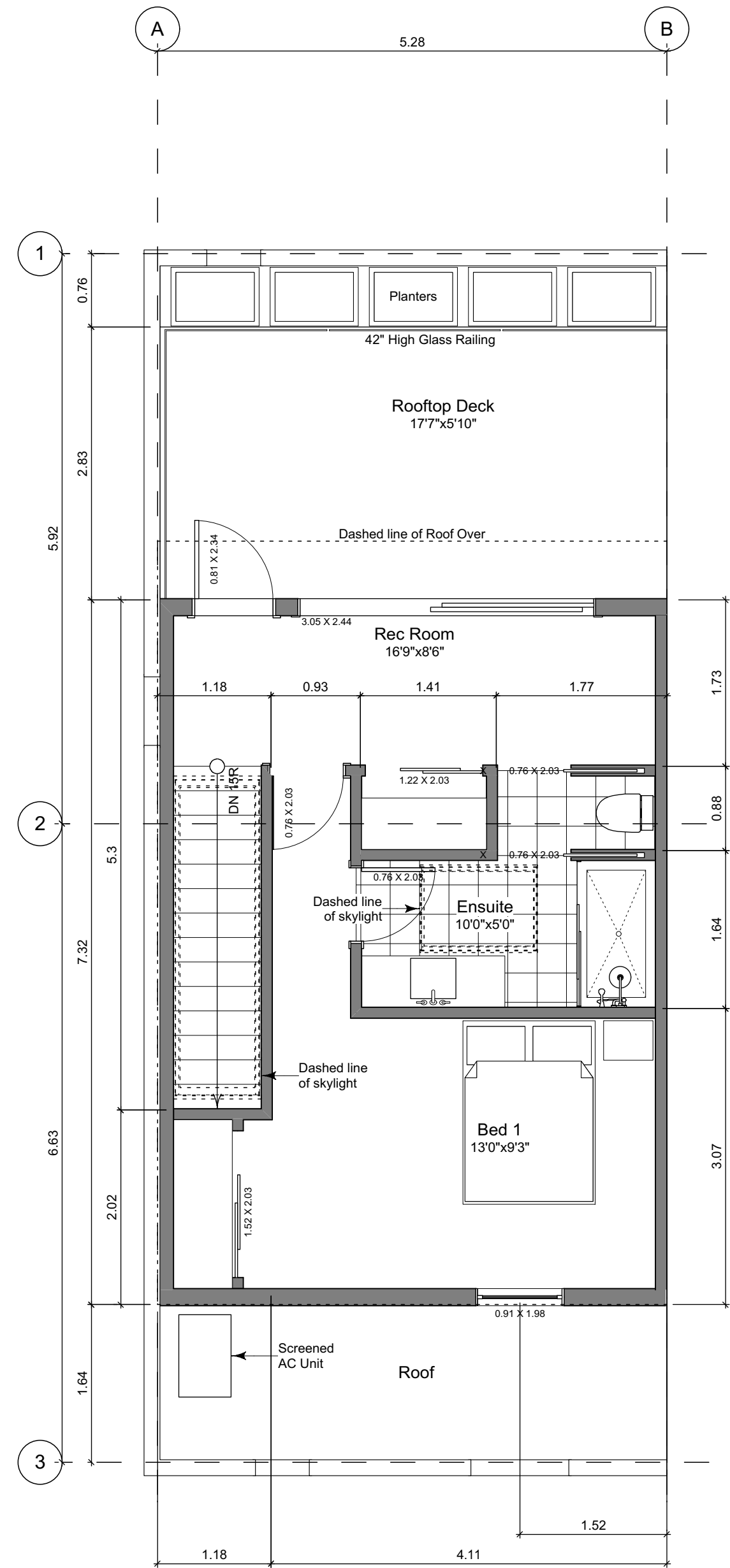
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Third Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated.
See Block plan for foundation plan.

Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

| Floor Area Calculations - Unit 8 (C2) | | | | |
|---------------------------------------|--------------------|-----------------|--------------------|-----------------|
| | Gross Floor Area | | Zoning Floor Area | |
| Basement Floor | 419 sq ft | 38.9 m2 | 0 sq ft | 0.0 m2 |
| Main Floor | 693 sq ft | 64.4 m2 | 651 sq ft | 60.5 m2 |
| Second Floor | 692 sq ft | 64.3 m2 | 652 sq ft | 60.5 m2 |
| Third Floor | 416 sq ft | 38.6 m2 | 385 sq ft | 35.7 m2 |
| Totals: | 2,220 sq ft | 206.2 m2 | 1,688 sq ft | 156.8 m2 |
| Carport | 388 sq ft | 36.1 m2 | | |
| Rooftop Open Space | 161 sq ft | 15.0 m2 | | |

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Unit C2 Floor Plans

Project Name:

Fairfield-Kipling
Development

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Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

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Block 1 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

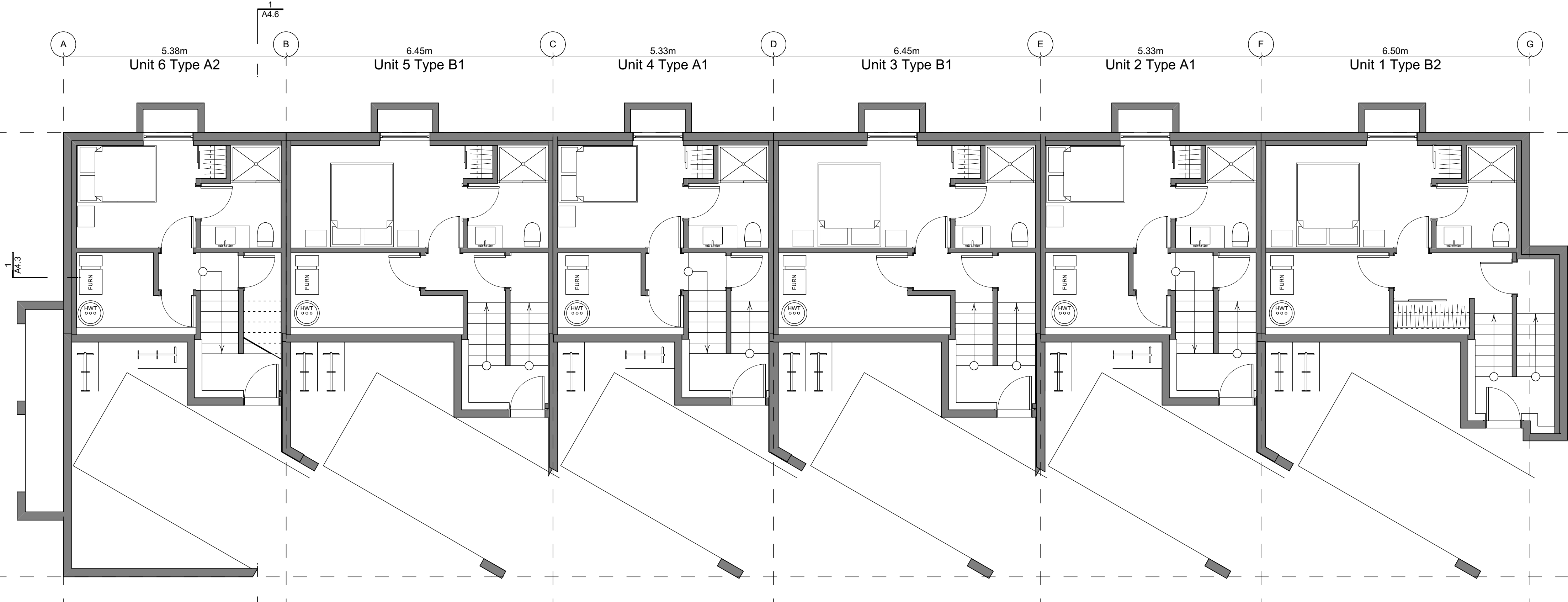
Drawn By: SG/JM

Plot Date: Jun 20, 2019

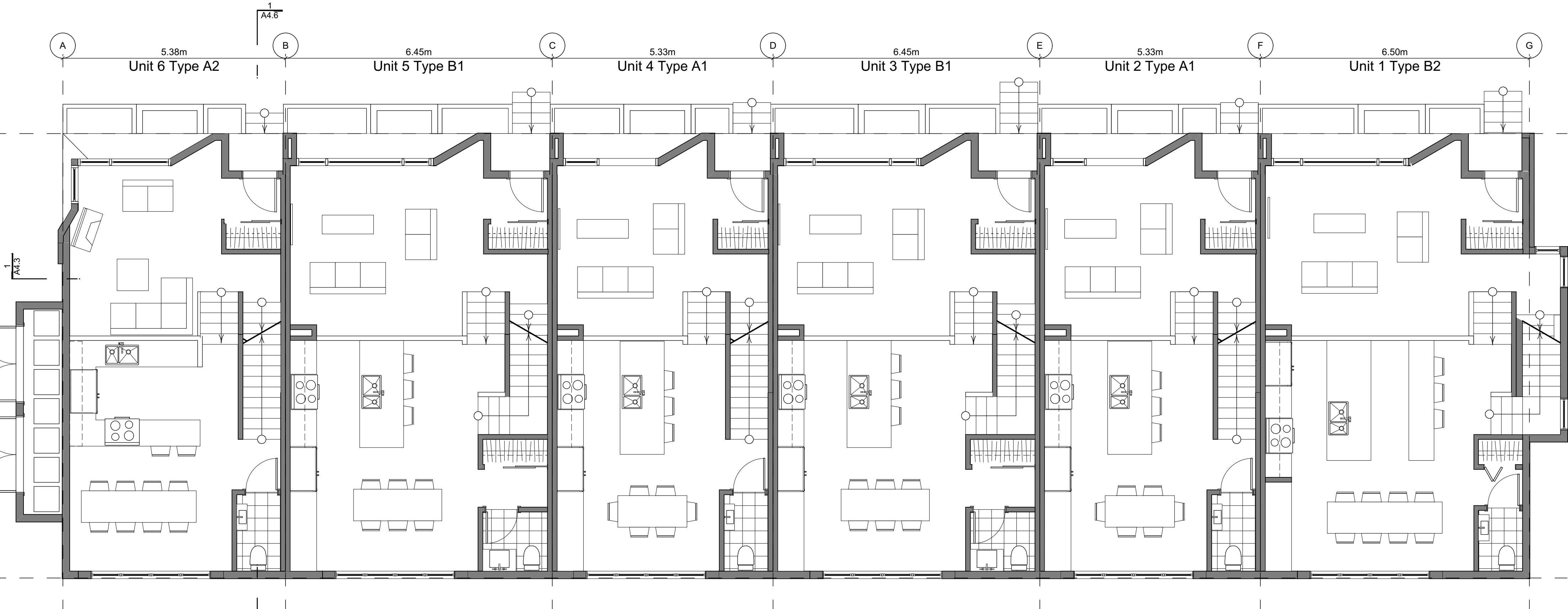
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Sheet No:

A4.0



2 Basement Floor Plan
Scale: 1:65



3 Main Floor Plan
Scale: 1:65

Block Plan Notes:
See unit plans for detailed dimensions and notes.

Grid Lines are too:
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2) Centre line of demising wall.

Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

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Block 1 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID: 19.015

Project No: SG/JM

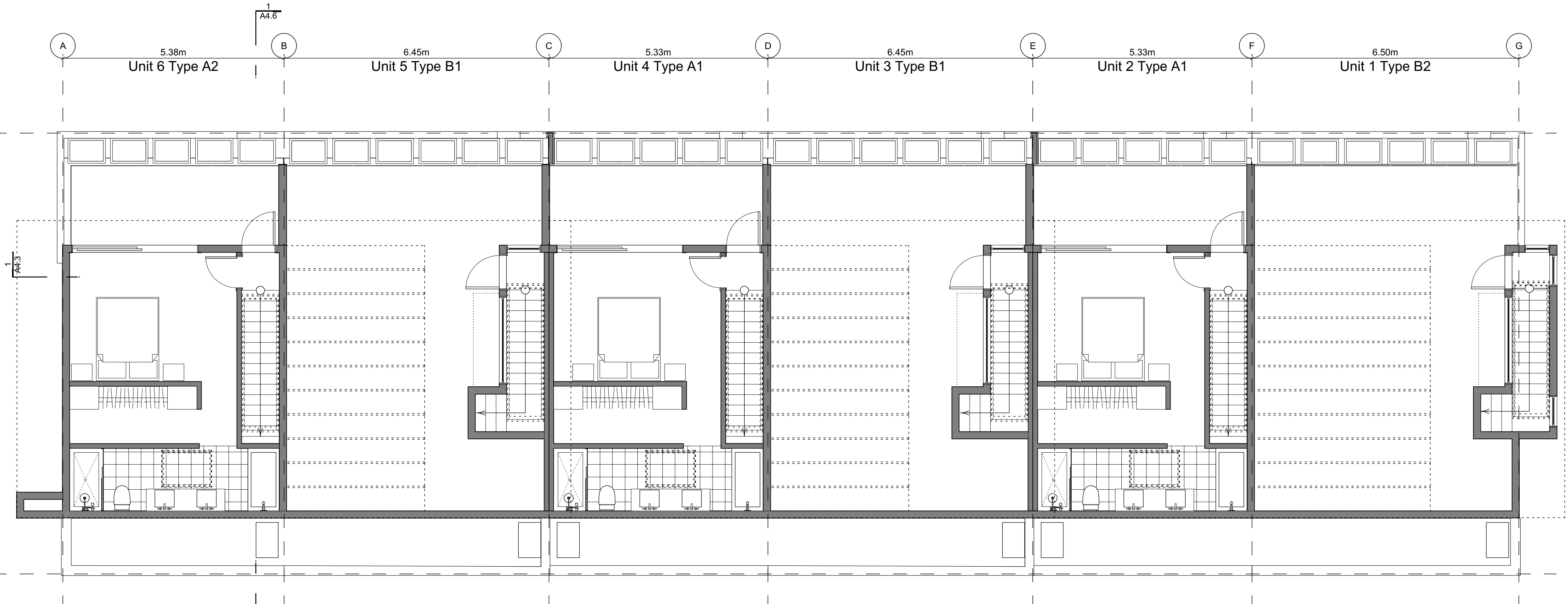
Drawn By: Jun 20, 2019

Plot Date: 1:65

Scale: Sheet No:



2 Second Floor Plan
Scale: 1:65



1 Third Floor Plan
Scale: 1:65

Block Plan Notes:
See unit plans for detailed dimensions and notes.

Grid Lines are too:
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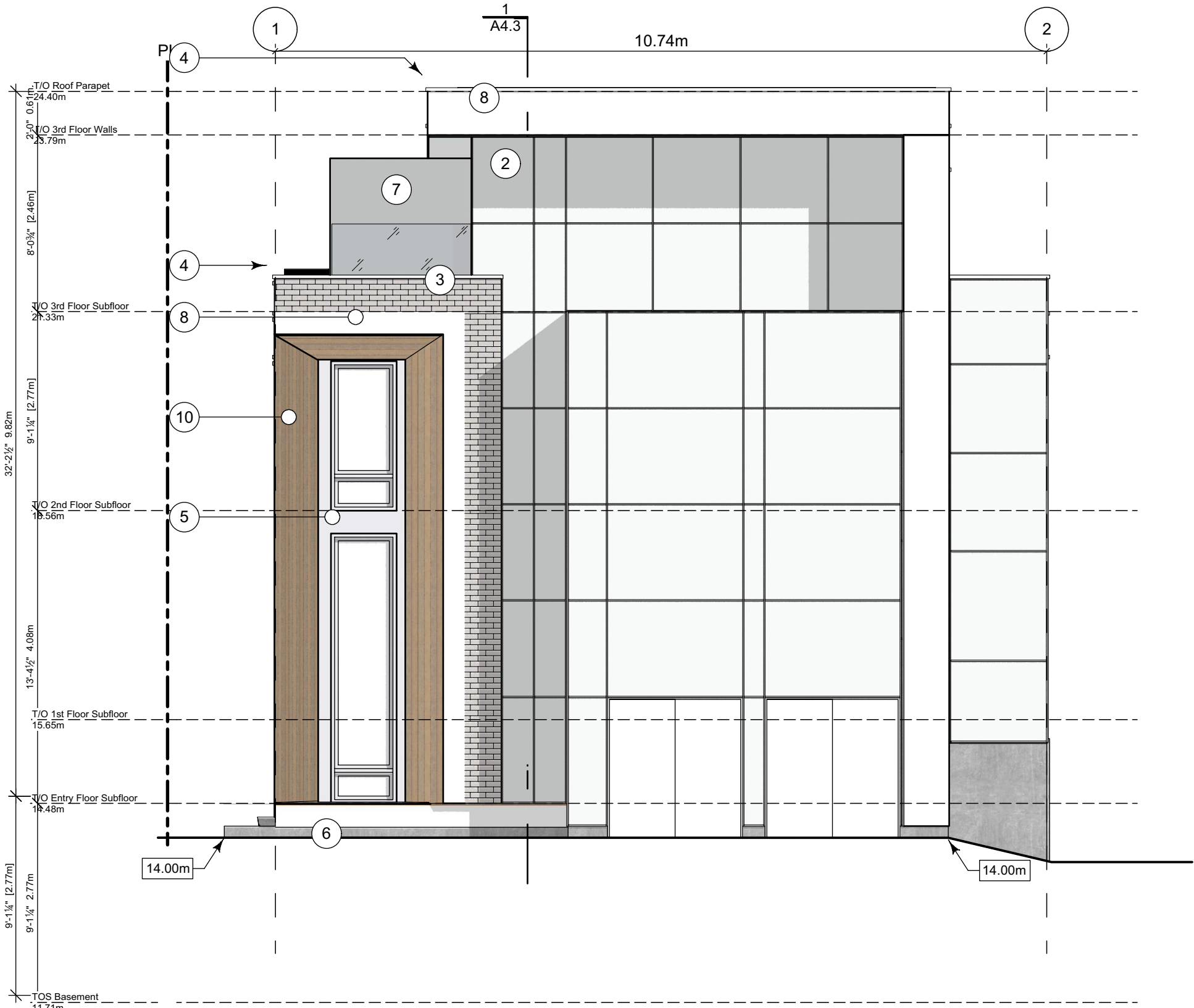
Building Exposure and Spatial Separation (9.10.15.4.)

| Compartment | Area of Facade | Limiting Distance | Unprotected Openings | | Construction of Building Face | Cladding |
|--------------|---------------------|-------------------------------|----------------------|--------|-------------------------------|----------|
| | | | Allowed | Actual | | |
| North Facade | 77.7 m ² | 11.23 m to C/L of Kipling St. | 49.2 % | 33.5 % | C | C or NC |
| East Facade | 97.8 m ² | 18.03 m to C/L of Thurlow Rd. | 100.0 % | 13.9 % | C | C or NC |
| South Facade | 55.2 m ² | 5.00 m to C/L Lane | 26.0 % | 8.8 % | C | C or NC |
| West Facade | 86.9 m ² | 4.80 m Halfway Block 1 | 21.8 % | 13.8 % | C | C or NC |

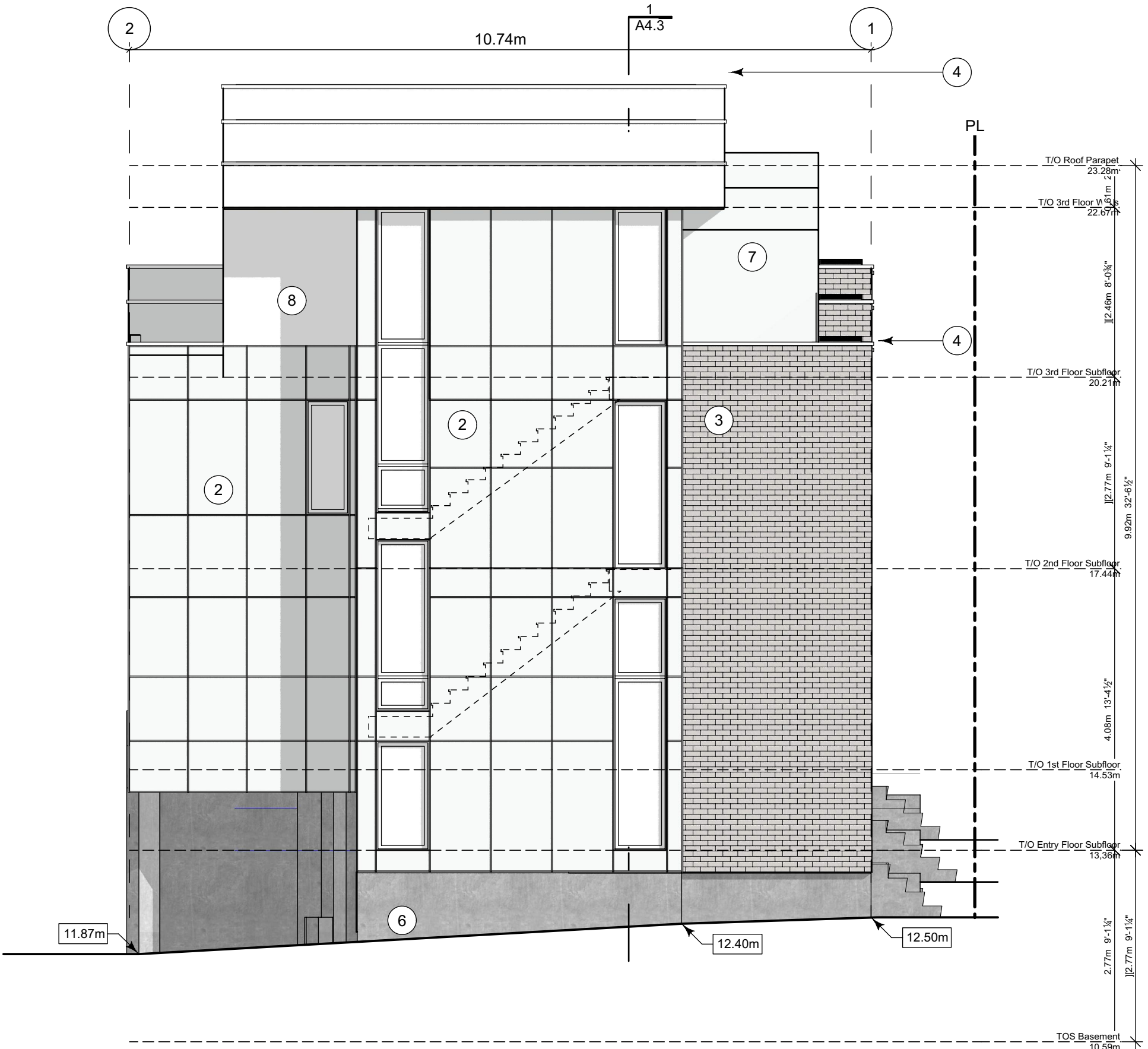
Exterior Materials

| No. | Description | Colour / Finishes |
|-----|--------------------|---|
| 1 | Glass Railing | Glass Guardrail with White Aluminum Frame |
| 2 | Hardie Panels | Light Mist |
| 3 | I-XL | Stone Grey Klaycoat |
| 4 | Metal Cap Flashing | White |
| 5 | Metal Flashing | Silver or White |
| 6 | Parged Concrete | - |
| 7 | Privacy Wall | Hardie Panels, Light Mist |
| 8 | Stucco | White |
| 9 | Window Frame | Silver or white |
| 10 | Wood Cladding | Cedar or Wood Grain |

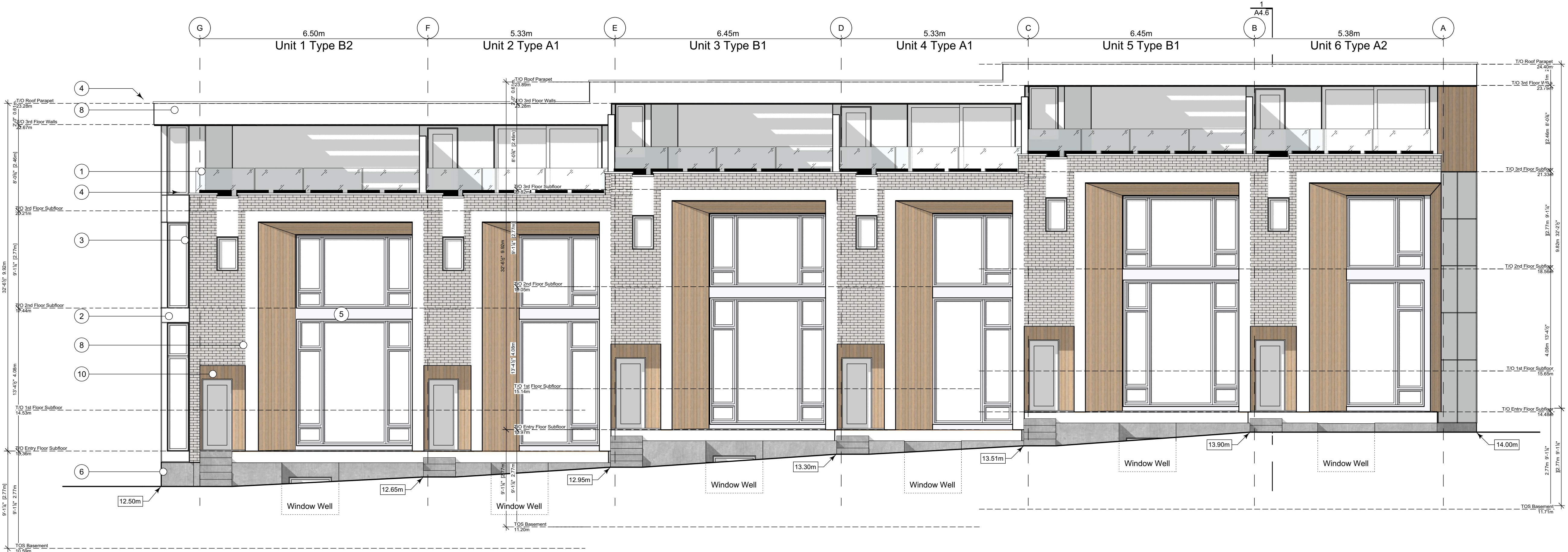
All Materials as noted or approved equal



3 West Elevation - Driveway
Scale: 1:65



2 East Elevation - Thurlow Road
Scale: 1:65



4 North Elevation - Kipling Street
Scale: 1:65

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Block 1 Elevations

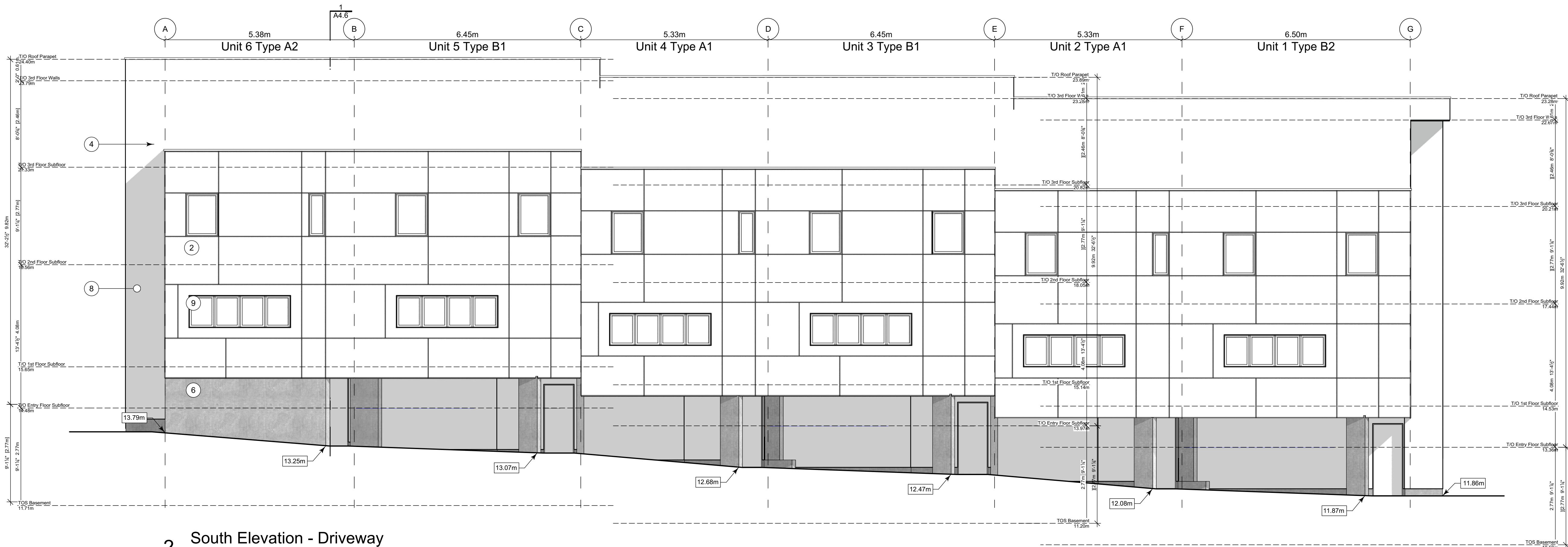
Project Name:
Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

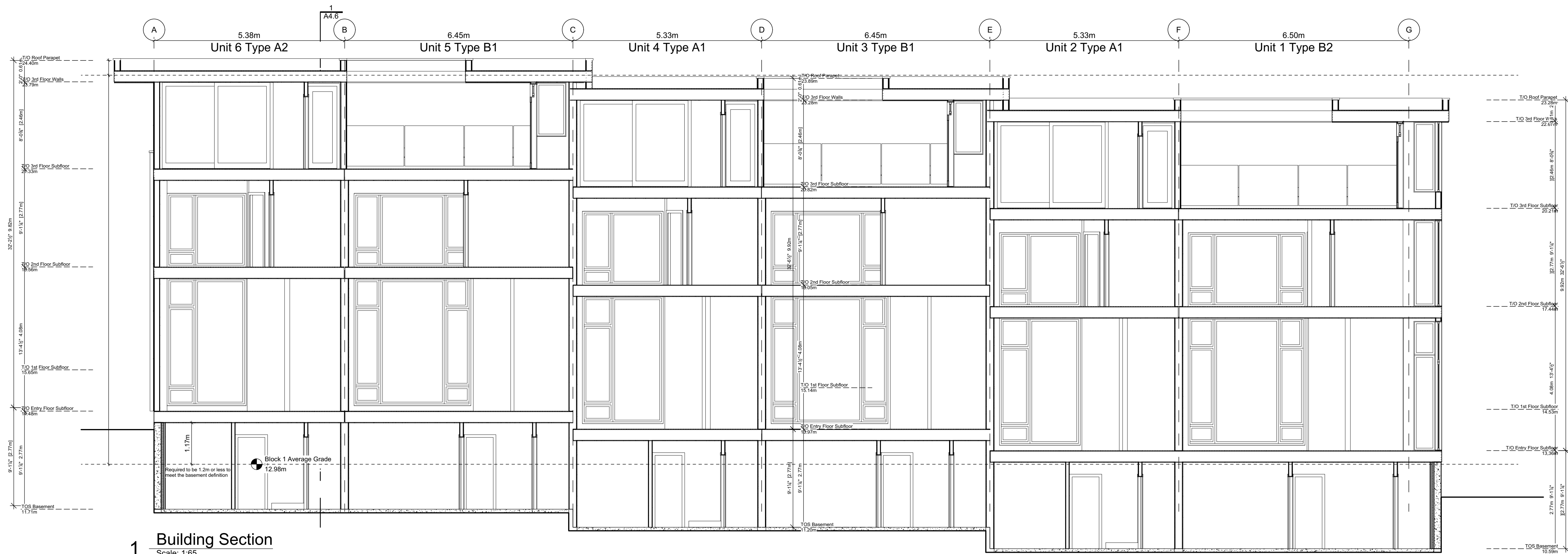
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PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: 1:65
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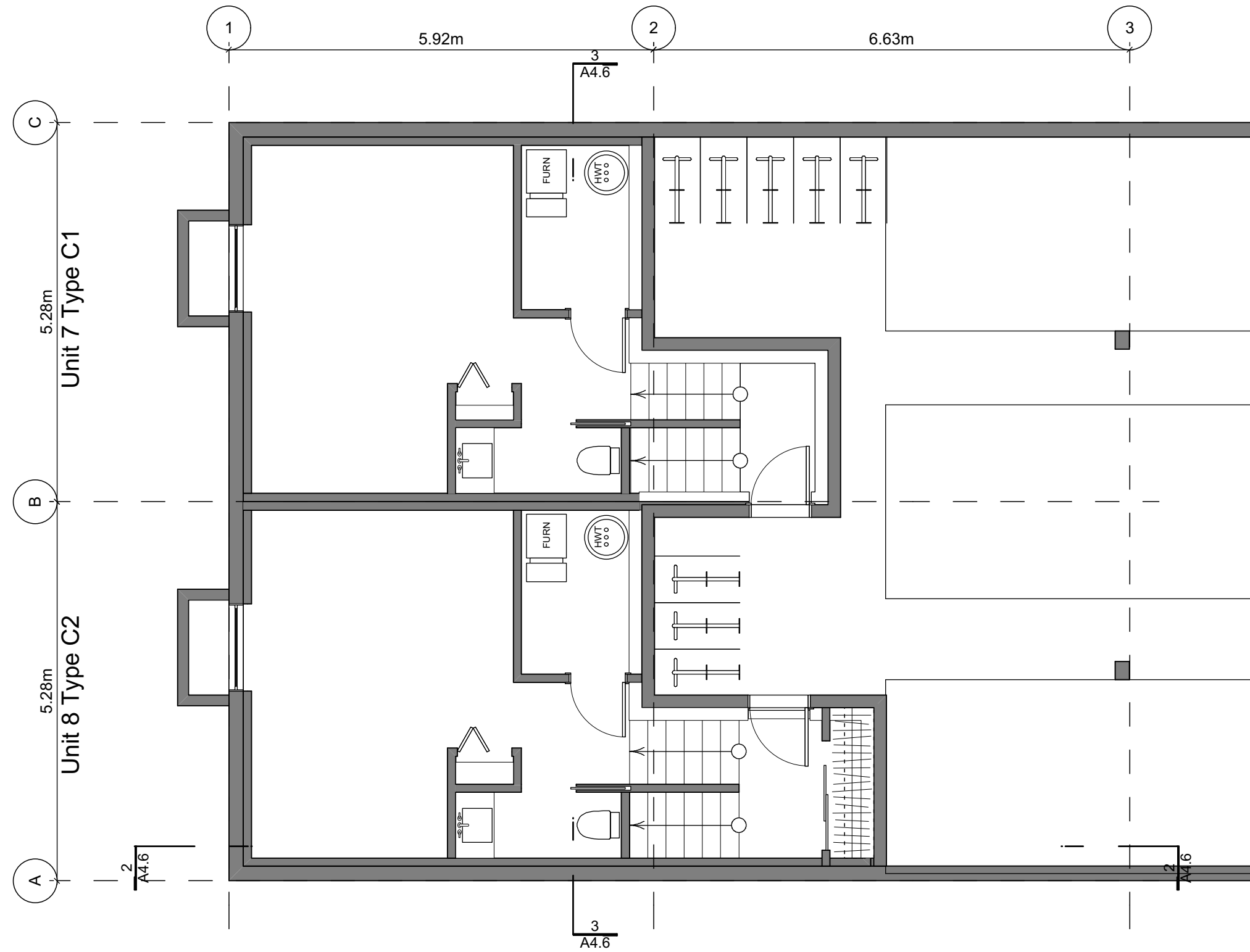
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2 South Elevation - Driveway
Scale: 1:65



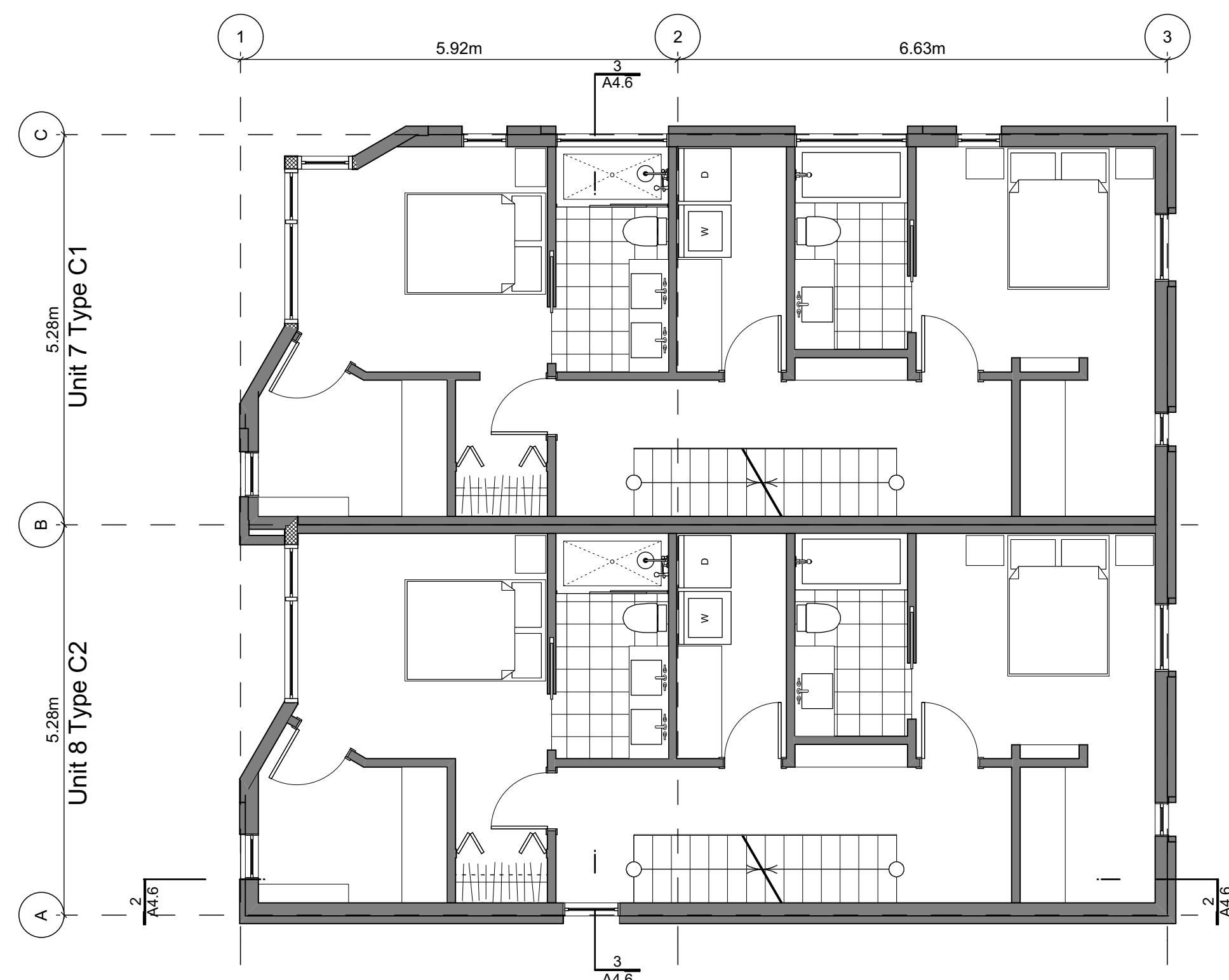
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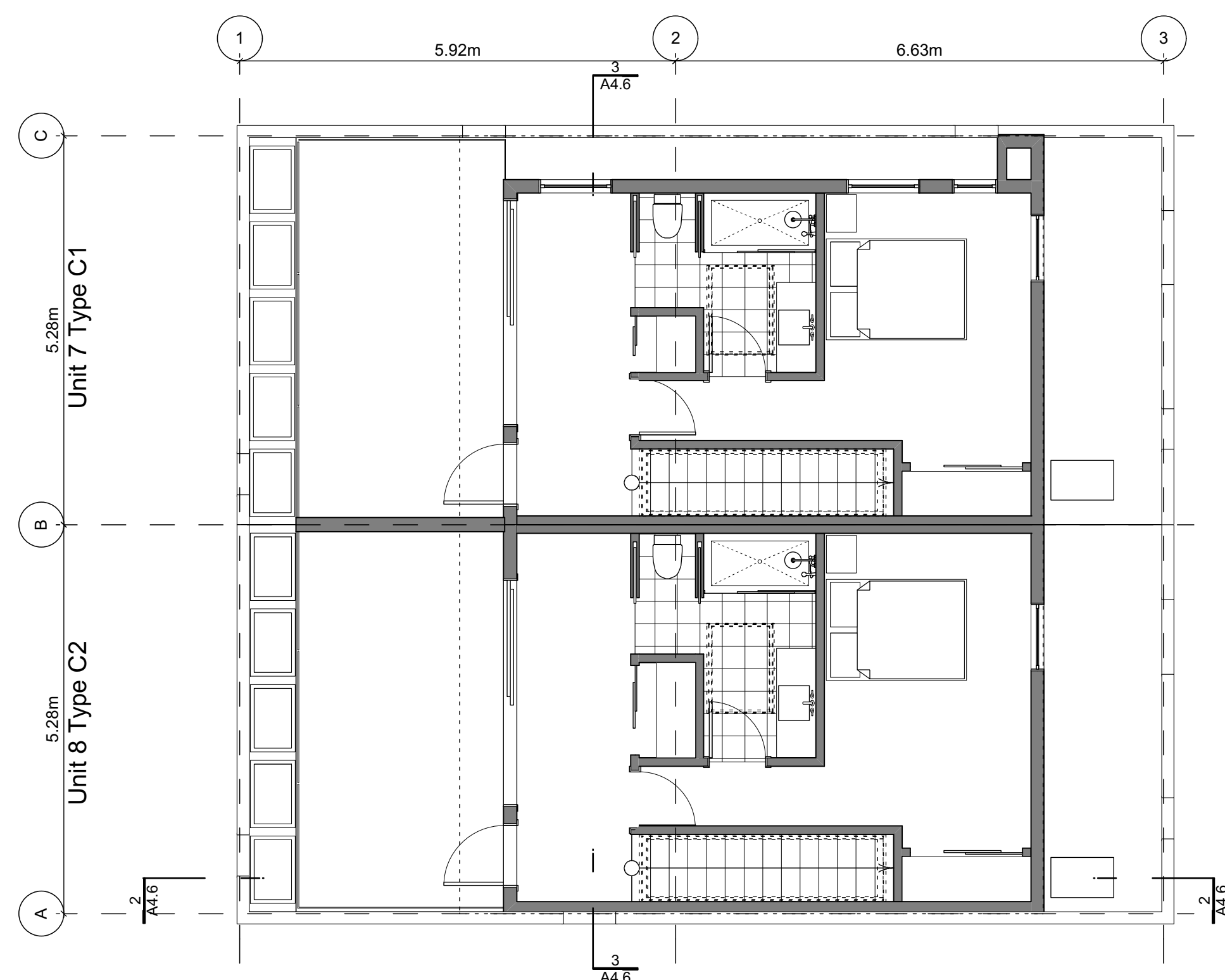
2 Basement Floor Plan
Scale: 1:65



1 Main Floor Plan
Scale: 1:65



4 Second Floor Plan
Scale: 1:65



3 Third Floor Plan
Scale: 1:65

Block Plan Notes:

See unit plans for detailed dimensions and notes.

- Grid Lines are too: Dimensions are too:
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 - 2) Centre line of demising wall. 2) face of plywood, or face of concrete.

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Block 2 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: 1:65

Sheet No:

A4.4

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Building Exposure and Spatial Separation (9.10.15.4.)

Building Sprinklered to NFPA13

| Compartment | Area of Facade | Limiting Distance | | Unprotected Openings | | Construction of Building Face | Cladding |
|---------------------|----------------|-------------------|----------------------|----------------------|--------|-------------------------------|----------|
| | | | | Allowed | Actual | | |
| North Facade | 117.7 m2 | 11.37 m | to C/L Kipling St. | 95.0 % | 13.2 % | C | C or NC |
| East Facade | 45.5 m2 | 4.80 m | Halfway Block 2 | 24.4 % | 6.1 % | C | C or NC |
| South Facade | 117.7 m2 | 5.14 m | to PL | 18.0 % | 4.0 % | C | C or NC |
| West Facade | 51.6 m2 | 15.06 m | to C/L Fairfield Rd. | 100.0 % | 41.8 % | C | C or NC |

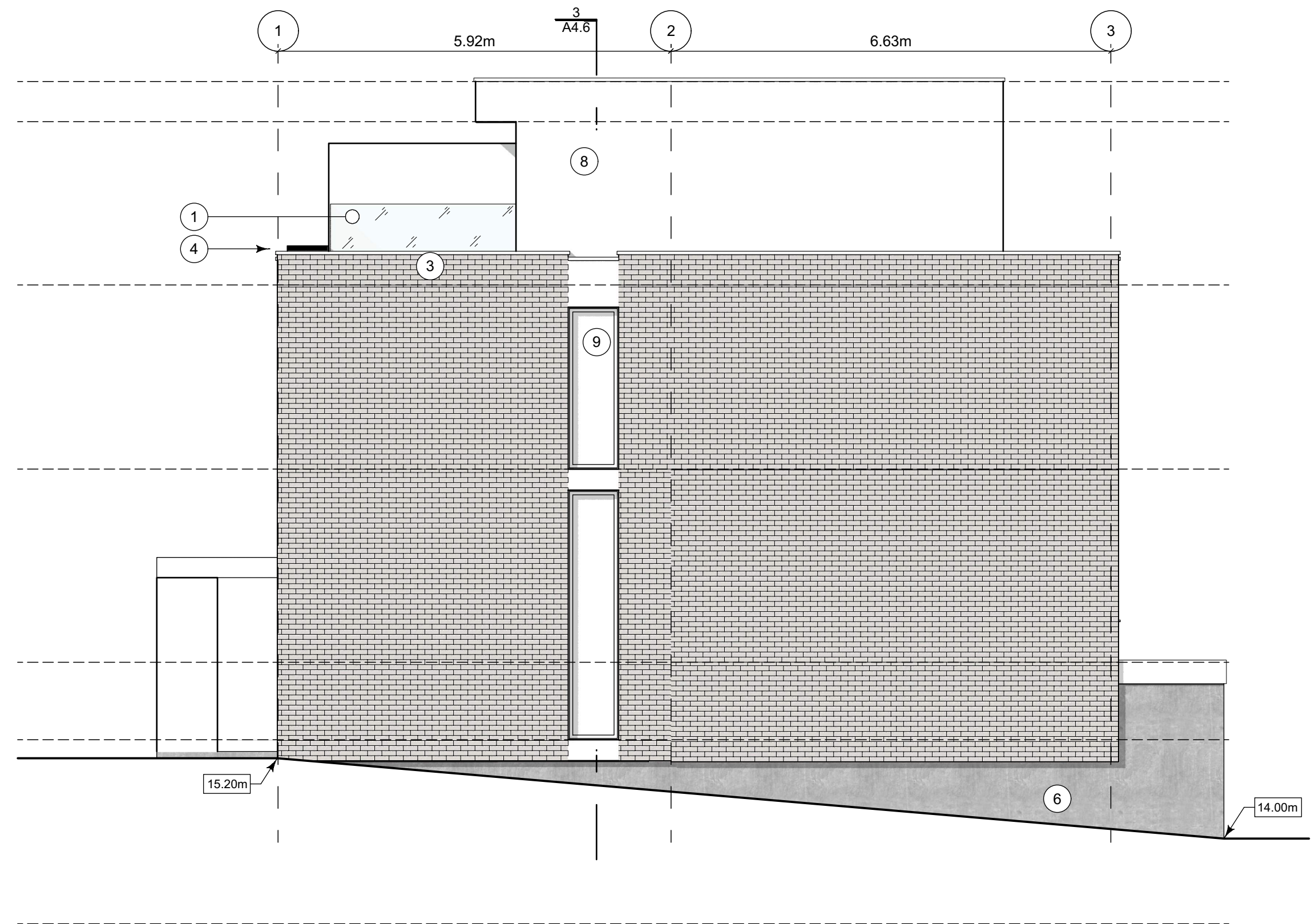
Exterior Materials

| No. | Description | Colour / Finishes |
|-----|--------------------|---|
| 1 | Glass Railing | Glass Guardrail with White Aluminum Frame |
| 2 | Hardie Panels | Light Mist |
| 3 | I-XL | Stone Grey Klaycoat |
| 4 | Metal Cap Flashing | White |
| 5 | Metal Flashing | Silver or White |
| 6 | Parged Concrete | - |
| 7 | Privacy Wall | Hardie Panels, Light Mist |
| 8 | Stucco | White |
| 9 | Window Frame | Silver or white |
| 10 | Wood Cladding | Cedar or Wood Grain |

All Materials as noted or approved equal

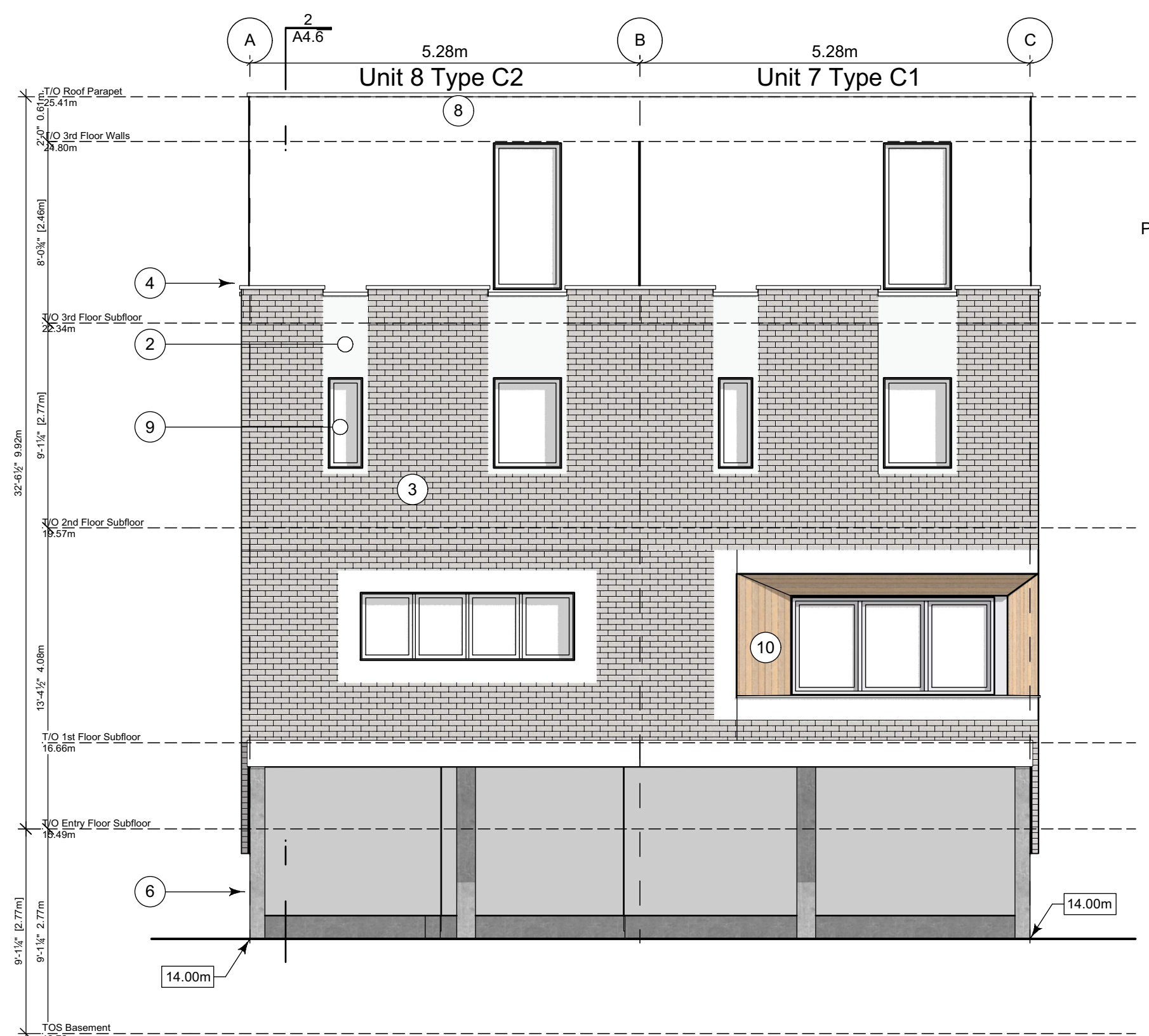


4 West Elevation - Fairfield Road
Scale: 1:65

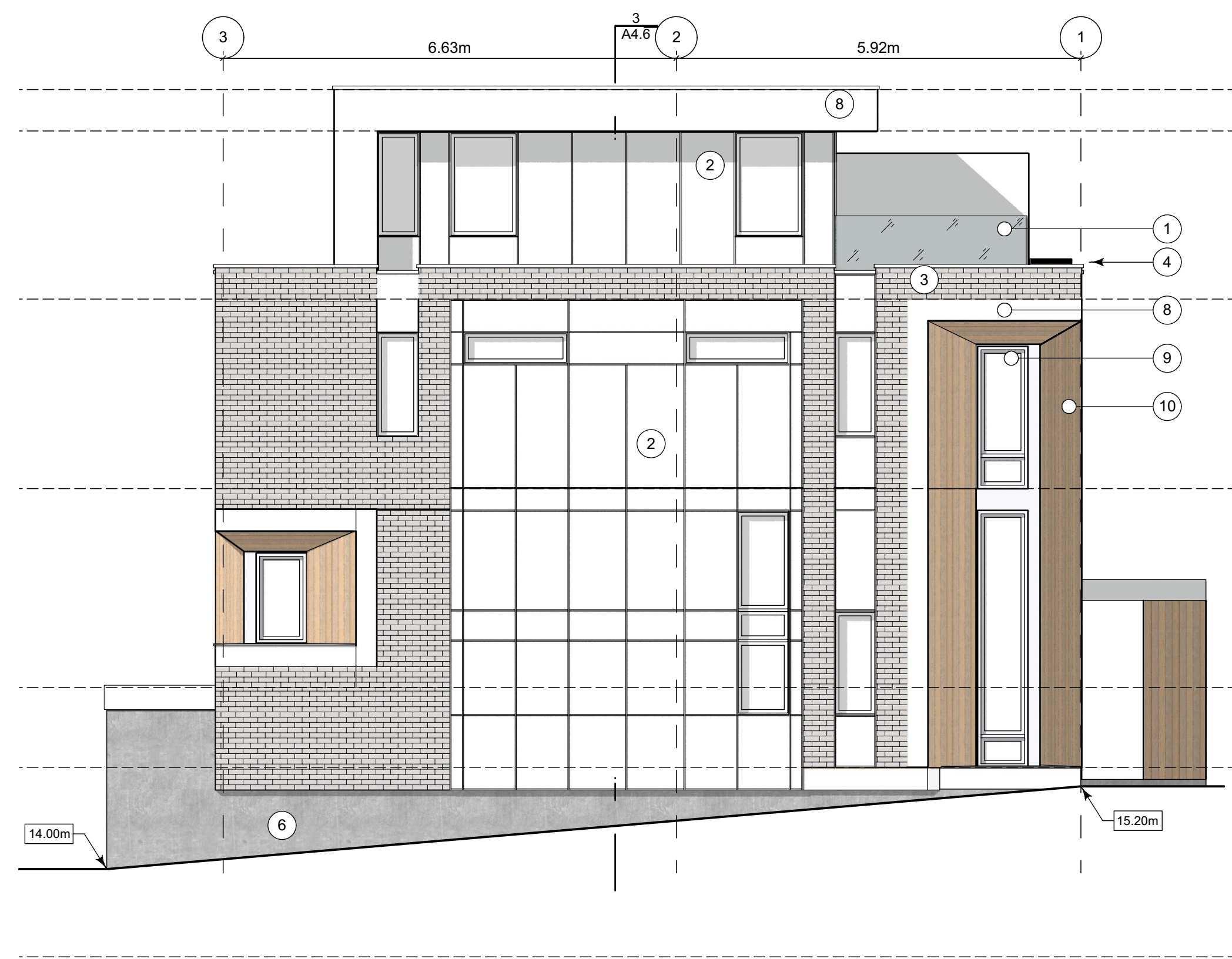


1 South Elevation

Scale: 1:65



3 East Elevation - Driveway



2 North Elevation - Kipling Street
Scale: 1:65

S=BASTIEN GARON
ARCHITECTURE + DESIGN

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www.SGAD.ca

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9-06-19 Issued for DP

Block 2 Elevations

Subject Name:

Fairfield-Kipling Development

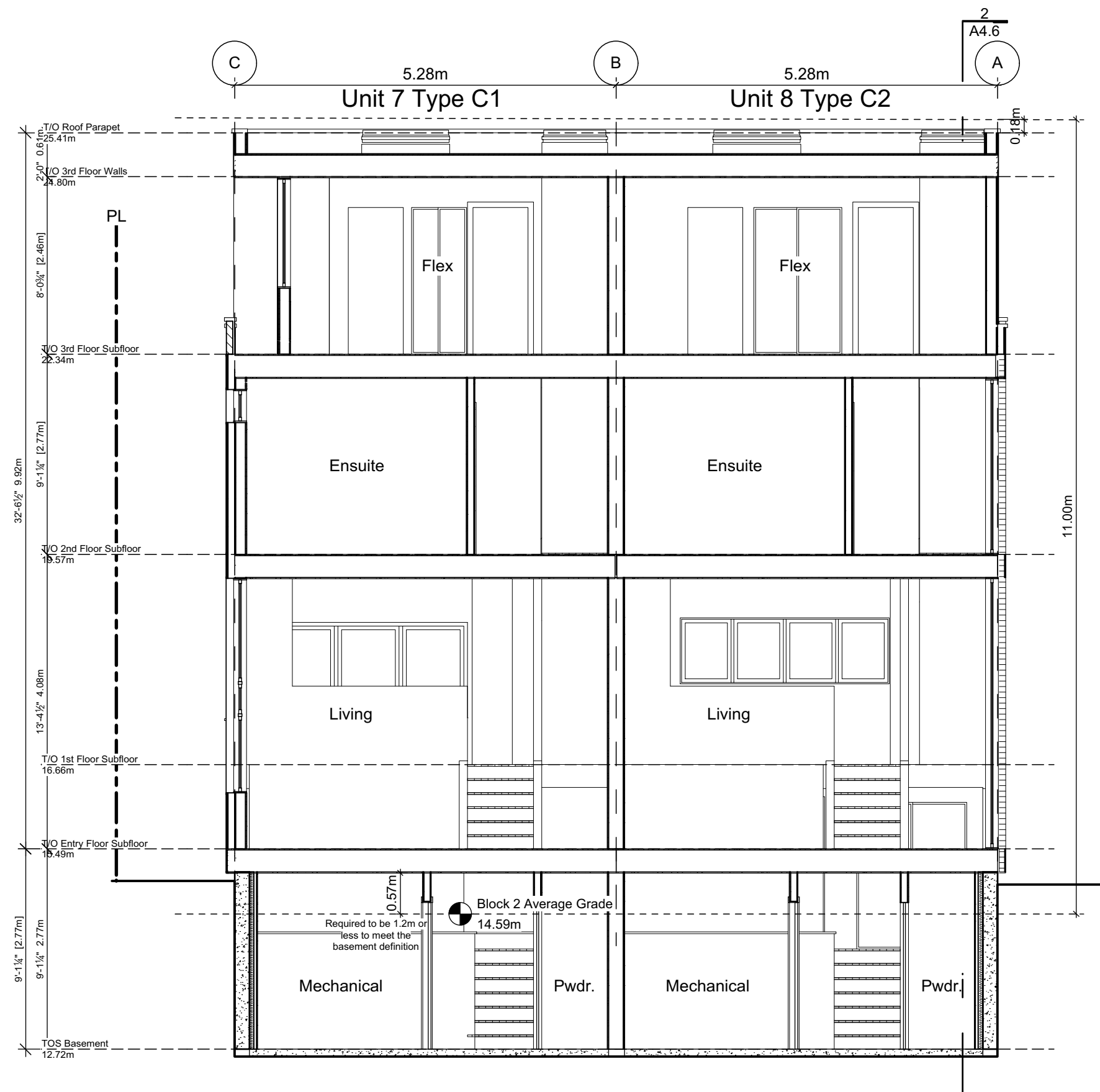
1400 Fairfield Rd &
349 Kipling St

gal:

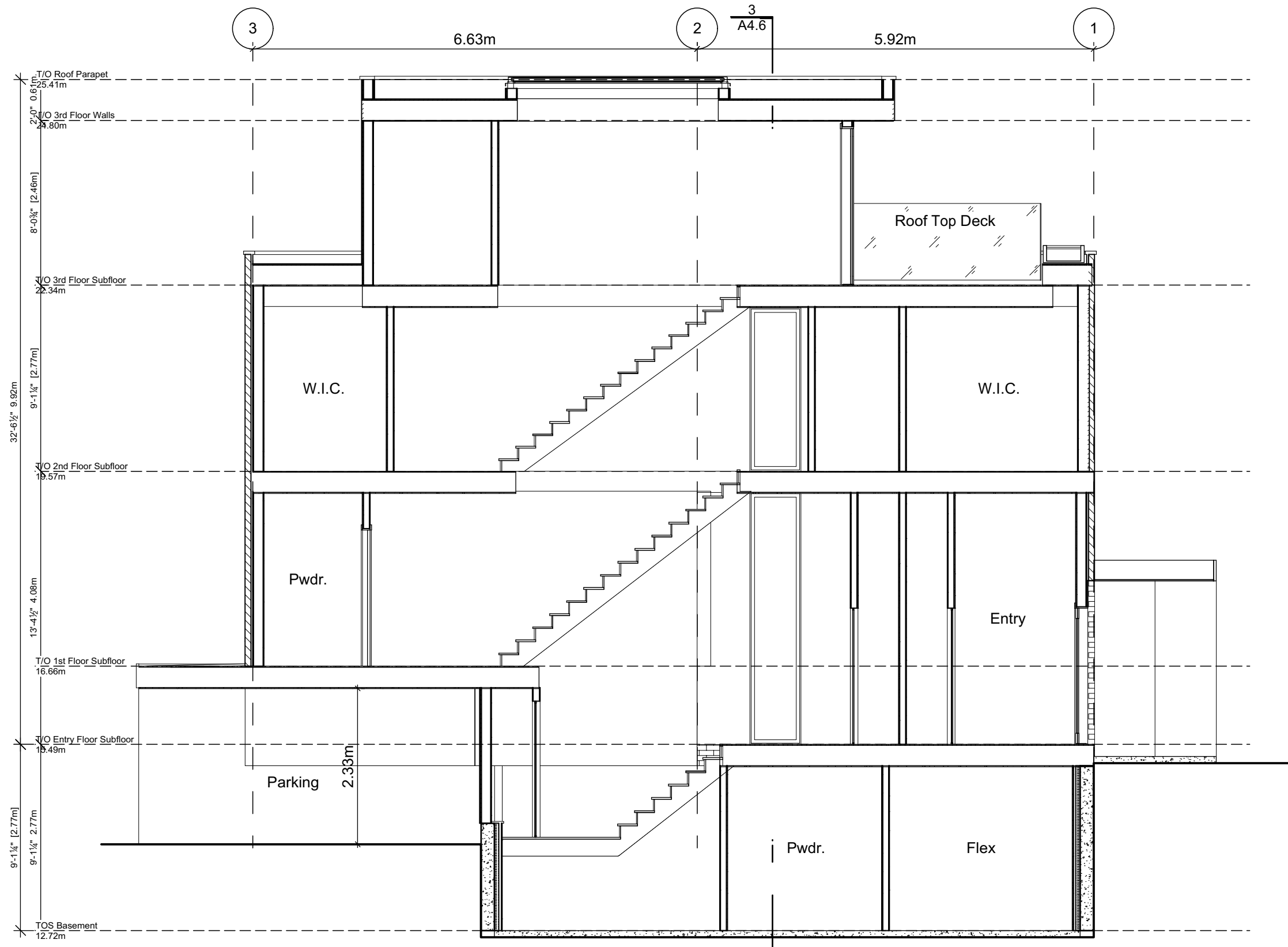
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| Project No: | 19.015 |
| Drawn By: | SG/JM |
| Issue Date: | Jun 20, 2019 |
| Scale: | 1:65 |
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A4.5

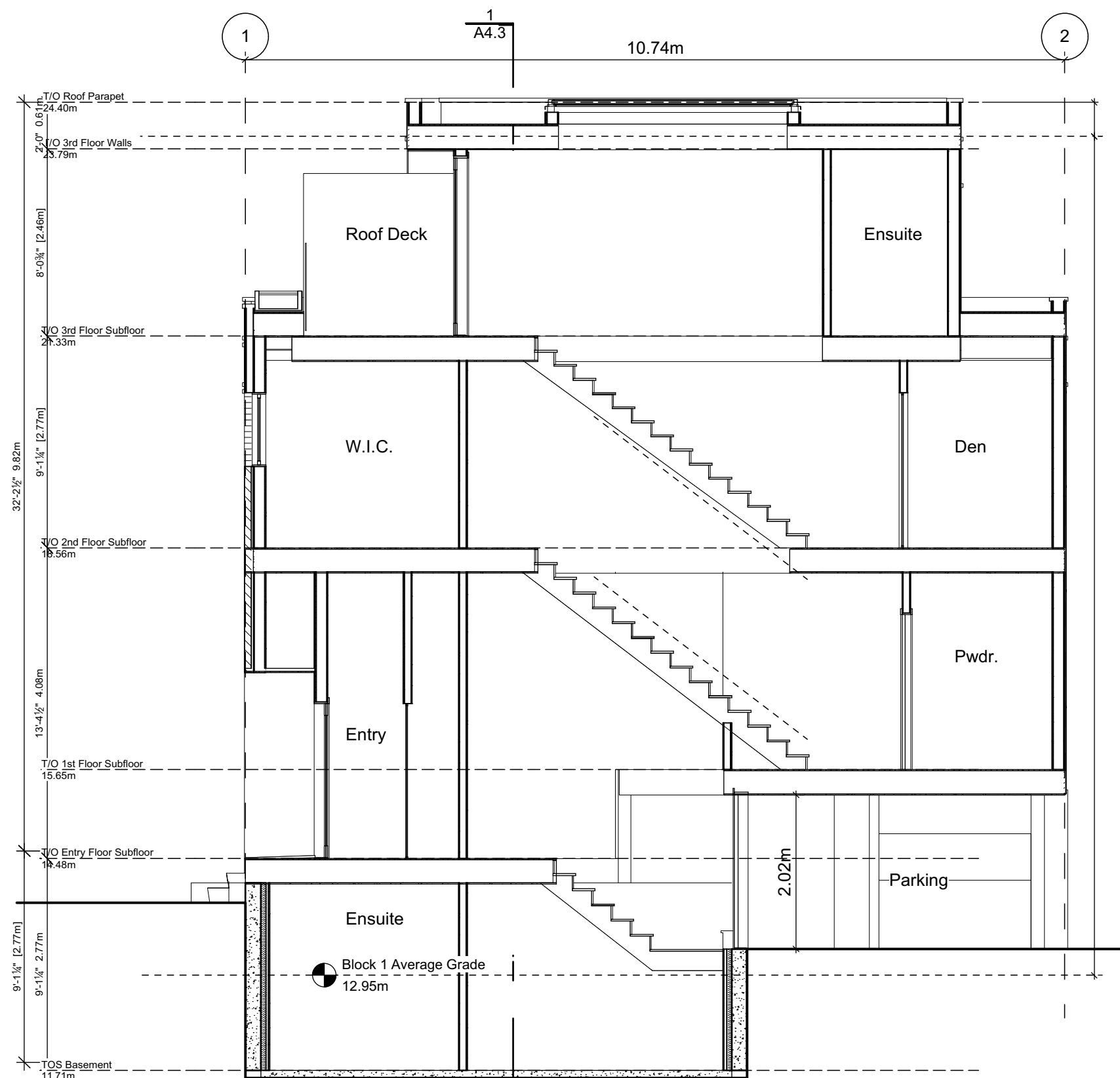
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3 Block 2 Section
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2 Block 2 Unit 8 Section
Scale: 1:65



1 Block 1 Unit 6 Section
Scale: 1:65

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Block 1 & 2 Sections

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Fairfield-Kipling
Development

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349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: 1:65
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| Climatic Data for the City of Victoria | | | | | | | |
|--|------------------------|----------------------------|----------------------|------------------------|-------------------------------------|-------|-------|
| December 10 2018 (BCBC 2018) | | | | | | | |
| The following climatic data shall be used within the boundaries of the City of Victoria. | | | | | | | |
| Design Temperature | | | | Degree Days Below 18°C | | | |
| January | | July 2.5% | | | | | |
| 2.5% °C | 1% °C | Dry °C | Wet °C | | | | |
| -4 | -6 | 24 | 17 | 2700 | | | |
| | | | | | | | |
| 15 Min. Rain, mm | One Day Rain, 1/50, mm | Ann. Rain, mm | Moist. Index | Ann. Tot. Ppn, mm | Driving Rain Wind Pressure, Pa, 1/5 | | |
| 9 | 91 | 800 | 0.98 | 825 | 220 | | |
| | | | | | | | |
| Snow Load kPa 1/50 | | Hourly Wind Pressures, kPa | | | | | |
| S _e | S _r | 1/10 | 1/50 | | | | |
| 1.5 | 0.3 | 0.44 | 0.57 | | | | |
| | | | | | | | |
| Seismic Data | | | | | | | |
| S _a (0.2) | S _a (0.5) | S _a (1.0) | S _a (2.0) | S _a (5.0) | S _a (10.0) | PGA | PGV |
| 1.30 | 1.16 | 0.676 | 0.399 | 0.125 | 0.044 | 0.580 | 0.834 |
| Alternatively site specific climatic data from Environment Canada can be used. Environment Canada can be emailed at climate_services@ec.gc.ca to obtain site specific climatic data. There is a user fee for providing site specific climatic data from Environment Canada. | | | | | | | |

Assemblies General Notes:

These assemblies have been selected in accordance with BCBC 2018 and in coordination with the project consultants. The contractor is to be compliant with all these requirements, any deviations will not be accepted without prior approval and coordination.

Abbreviations

FRR = Fire Resistance Rating
VB = Vapour Barrier
FG = Fiber Glass
MB = Moisture Barrier
AB = Air Barrier
OC = On Centre

STC = Sound Transmission Class
GWB = Gypsum Wall Board
XPS = Extruded Polystyrene Rigid Insulation (Roxul CIS or equiv)
RSI = Resistance Système International
IIC = Impact Insulation Class
UV = Ultraviolet
ULC = Underwriters Laboratories of Canada

Roof Assemblies

| Calculated with a Heat-Recovery Ventilator Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days | | | | | | | | | |
|--|------------------------|---------------|-----------------------------------|------------------------------------|--------|--------|--|--|--|
| Assembly | RSI | Area % | RSI eff. (m2•K)/W | R-Value | FRR | STC | | | |
| R1.0 Insulated Roof (Outboard Insulation) | REQUIRED: PROVIDED: | 4.67 4.84 | 26.52 27.49 | - - | - - | - - | | | |
| All roofing work to RCABC five-year guarantee standards. Roof Covering to have a A, B, or C classification as per CAN/ULC-S107 Exterior Air Film | | | 0.03 | 0.17 | | | | | |
| MB Torch On Built Up Membrane Protection Board | | | - | - | | | | | |
| AB, VB 5" Expanded polystyrene Type 2 Slope To drain 5/8" T&G Plywood sheathing (See structural) 11 7/8" TJI joists (see structural) 1 layers 5/8" GWB Interior Air Film Soffit - See elevations | 0.035 / mm | | 4.45 - 0.16 0.10 0.11 | 25.24 - 0.91 0.55 0.62 | | | | | |
| R1.1 Roof Cavity Fire Separation | REQUIRED: PROVIDED: | - - | - - | 1 HR 1 HR | - - | - - | | | |
| 11 7/8" TJI Rated Rim Board (see structural) | | | | | | | | | |
| R2.0 Insulated Roof (Spray Foam) | REQUIRED: PROVIDED: | 4.67 5.21 | 26.52 29.60 | - - | - - | - - | | | |
| All roofing work to RCABC five-year guarantee standards. Roof Covering to have a A, B, or C classification as per CAN/ULC-S107 Exterior Air Film | | | 0.03 | 0.17 | | | | | |
| MB Torch On Built Up Membrane 5/8" T&G Plywood sheathing (See structural) Cross Strapping slope to drain 11 7/8" TJI joists (see structural) | | | - | - | | | | | |
| AB, VB 6" 2LB Medium Density/Closed Cell Spray Foam Insulation 1 layers 5/8" GWB Interior Air Film Soffit - See elevations | 2.56 5.49 | 9.0% 91.0% | 4.98 0.10 0.11 | 28.25 0.55 0.62 | | | | | |
| R3.0 Un-Insulated Roof | REQUIRED: PROVIDED: | - - | - - | - - | - - | - - | | | |
| All roofing work to RCABC five-year guarantee standards. Roof Covering to have a A, B, or C classification as per CAN/ULC-S107 Torch On Built Up Membrane 5/8" T&G Plywood sheathing (See structural) 11 7/8" TJI joists (see structural) Soffit - See elevations | | | | | | | | | |
| R4.0 Roof Deck | REQUIRED: PROVIDED: | 4.67 5.21 | 26.52 29.60 | - - | - - | - - | | | |
| Exterior Air Film Floating Wood Deck Boards on 2X4 Sleepers DELTA MS - 5/16" dimpled membrane | | | 0.03 | 0.17 | | | | | |
| MB Torch On Built Up Membrane 5/8" T&G plywood sheathing (see structural) Cross Strapping slope to drain 11 7/8" TJI joists (see structural) | | | - | - | | | | | |
| AB, VB 6 " 2LB Medium Density/Closed Cell Spray Foam Insulation Resilient metal channels @ 24" OC perpendicular to joists 1 layers 5/8" type X GWB Interior Air Film | 2.56 5.49 | 9.0% 91.0% | 4.98 0.10 0.11 | 26.87 0.55 0.62 | | | | | |

Floor Assemblies

| Calculated with a Heat-Recovery Ventilator Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days | | | | | | | | | |
|---|------------------------|--------------|-------------------|-------------------|--------------------|--------|--|--|--|
| Assembly | RSI | Area % | RSI eff. (m2•K)/W | R-Value | FRR | STC | | | |
| F1.0 Wood Floor | REQUIRED: PROVIDED: | - - | - - | - - | - - | - - | | | |
| Finish Flooring to Owners spec 5/8" T&G plywood sheathing (see structural) 11 7/8" TJI joists (see structural) 1 layer 5/8" GWB | | | | | | | | | |
| F1.1 Insulated Wood Floor | REQUIRED: PROVIDED: | 4.67 5.48 | 26.52 31.13 | - - | - - | - - | | | |
| Interior Air Film Finish Flooring to Owners spec 5/8" T&G plywood sheathing (see structural) 11 7/8" TJI joists (see structural) | | | 0.16 - 0.10 | 0.91 - 0.57 | | | | | |
| AB, VB 6.5" Rigid SM Foam Insulation Sealed in place. Soffit - See elevations Exterior Air Film | framing cavity | 2.56 5.78 | 9.0% 91.0% | 5.19 - 0.03 | 29.48 - 0.17 | | | | |
| F2.0 Concrete Slab On Grade | REQUIRED: PROVIDED: | - - | - - | - - | - - | - - | | | |
| 4" Reinforced concrete slab (see structural) 10 mil UV VB 6" compacted granular fill (see structural) native soil | | | | | | | | | |

Exterior Wall Assemblies

| Calculated with a Heat-Recovery Ventilator Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days | | | | | | | | | |
|--|------------------------|--------------|--------------------------------|--------------------------------|--------|--------|--|--|--|
| Assembly | RSI | Area % | RSI eff. (m2•K)/W | R-Value | FRR | STC | | | |
| W1.0 CIP Concrete Below Grade | REQUIRED: PROVIDED: | 1.99 2.59 | 11.30 14.73 | - - | - - | - - | | | |
| Free drainage back fill (See geotechnical) DELTA MS - 5/16" dimpled membrane | | | - - | - - | | | | | |
| MB Waterproofing Install as per manufacturers recommendation 8" Reinforced Type S or N concrete wall (see structural) | | | - 0.0004/mm | - 0.08 | | | | | |
| AB, VB 2.5" Continuous XPS Insulation 2X2 Framing @ 24" OC (Service Cavity) 1 Layer 1/2" GWB Interior Air Film | 0.0336/mm | | 2.13 0.18 0.08 0.12 | 12.12 1.02 0.45 0.68 | | | | | |
| W2.0 Wood Stud Wall | REQUIRED: PROVIDED: | 2.74 3.04 | 15.56 17.24 | - - | - - | - - | | | |
| Exterior Air Film Cladding (See Elevations) 3/8" x 1 1/2" PT Strapping 16" OC 2 layers 30min building paper 1/2" Plywood Sheathing | | | 0.03 - 0.15 - 0.10 | 0.17 - 0.85 - 0.57 | | | | | |
| MB 2X6 Framing 16" OC (See structural) R22 FG Batt Insulation | framing cavity | 1.19 3.87 | 0.23 0.77 | 2.55 14.46 | | | | | |
| AB, VB 6 mil Poly UV 1 Layer 5/8" GWB Taped, Sanded, and ready for paint Interior Air Film | | | - 0.09 0.12 | - 0.51 0.68 | | | | | |
| W3.0 Curtain Wall 6" Deep | REQUIRED: PROVIDED: | - - | - - | - - | - - | - - | | | |
| 1" insulating double pane exterior glazed 5" Extruded Aluminum Mullion | | | | | | | | | |

Interior Wall Assemblies

| Assembly | RSI | Area % | RSI eff. (m2•K)/W | R-Value | FRR | STC | | | |
|--|------------------------|--------|-------------------|--------------|----------|--------|--|--|--|
| W4.0 Suite to Suite (Demising Wall) | REQUIRED: PROVIDED: | - - | - - | 1 HR 1 HR | 50 54 | - - | | | |
| BCBC 2018 Table A9.10.3.1.A W13c 1 layer 5/8" type 'X' ULC rated GWB 2X4 stud framing @ max 16" OC (see structural) 3 1/2" FG Batt Insulation (One side Only) 1" air space 2X4 stud framing @ max 16" OC (see structural) 1 layer 5/8" type 'X' ULC rated GWB *Where noted as shear wall, 1 layer 1/2" plywood (see structural) | | | | | | | | | |
| W5.0 Non-Load Bearing Partition | REQUIRED: PROVIDED: | - - | - - | - - | - - | - - | | | |
| 1/2" GWB both sides of 2X4 or 2X6 stud framing ** see plans for location of 2x6 wall to accommodate services ** 3 1/2" FG Batt Insulation @ bathroom walls | | | | | | | | | |
| W5.1 Load Bearing Partition | REQUIRED: PROVIDED: | - - | - - | 1 HR 1 HR | - - | - - | | | |
| ** Refer to structural drawings for location of load bearing & Shera Walls 1 layer 5/8" type 'X' ULC rated GWB both sides of 2x4 or 2x6 stud framing (see structural 16" OC Max) ** see plans for location of 2x6 wall to accommodate services ** 3 1/2" FG Batt Insulation @ bathroom walls | | | | | | | | | |

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CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued

2019-06-19 Issued for DP

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: NTS

Sheet No:

Building Assemblies



View from Kipling Street at Thurlow Road looking West



View from Kipling Street Looking West



View from Kipling Street Looking South



View from Thurlow Road at Access

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Seal

Issued
2019-06-19 Issued for DP

Concept Renderings

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: NTS

Sheet No:



View from Kipling Street Looking South



View from Drive Isle



View from Fairfield Road Looking East



View from Kipling Street South East

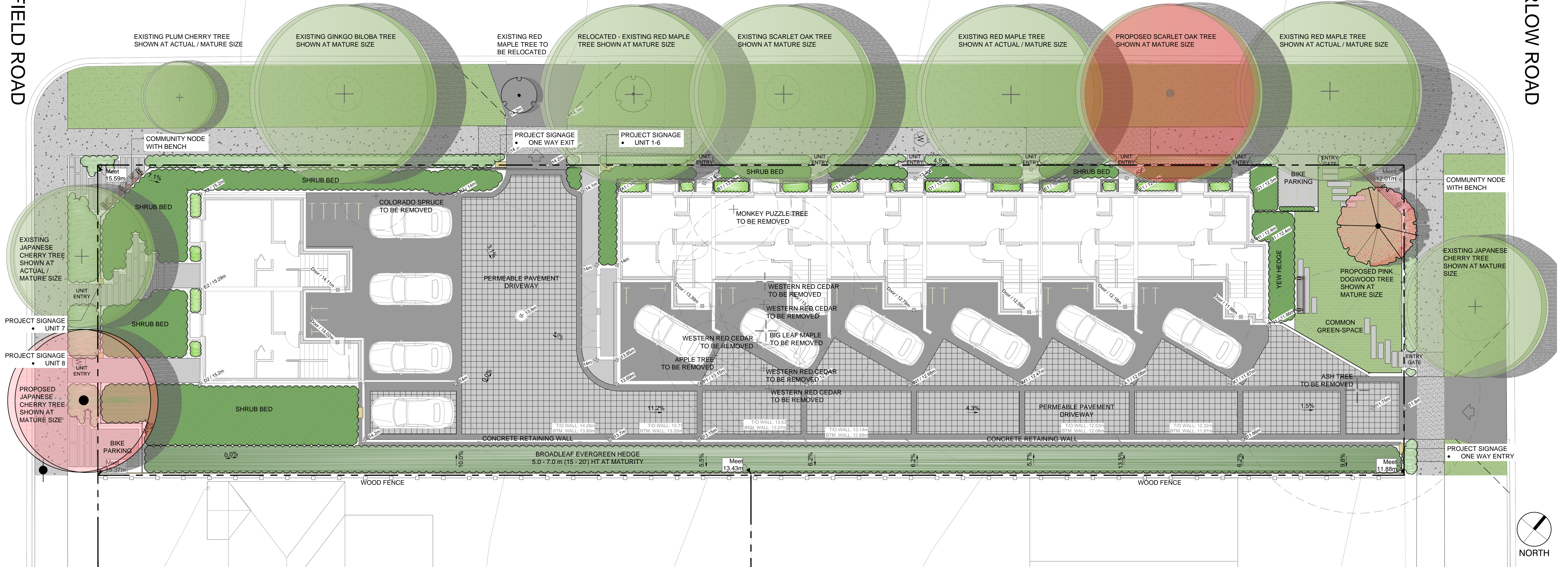
Concept Renderings

Project Name:
**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

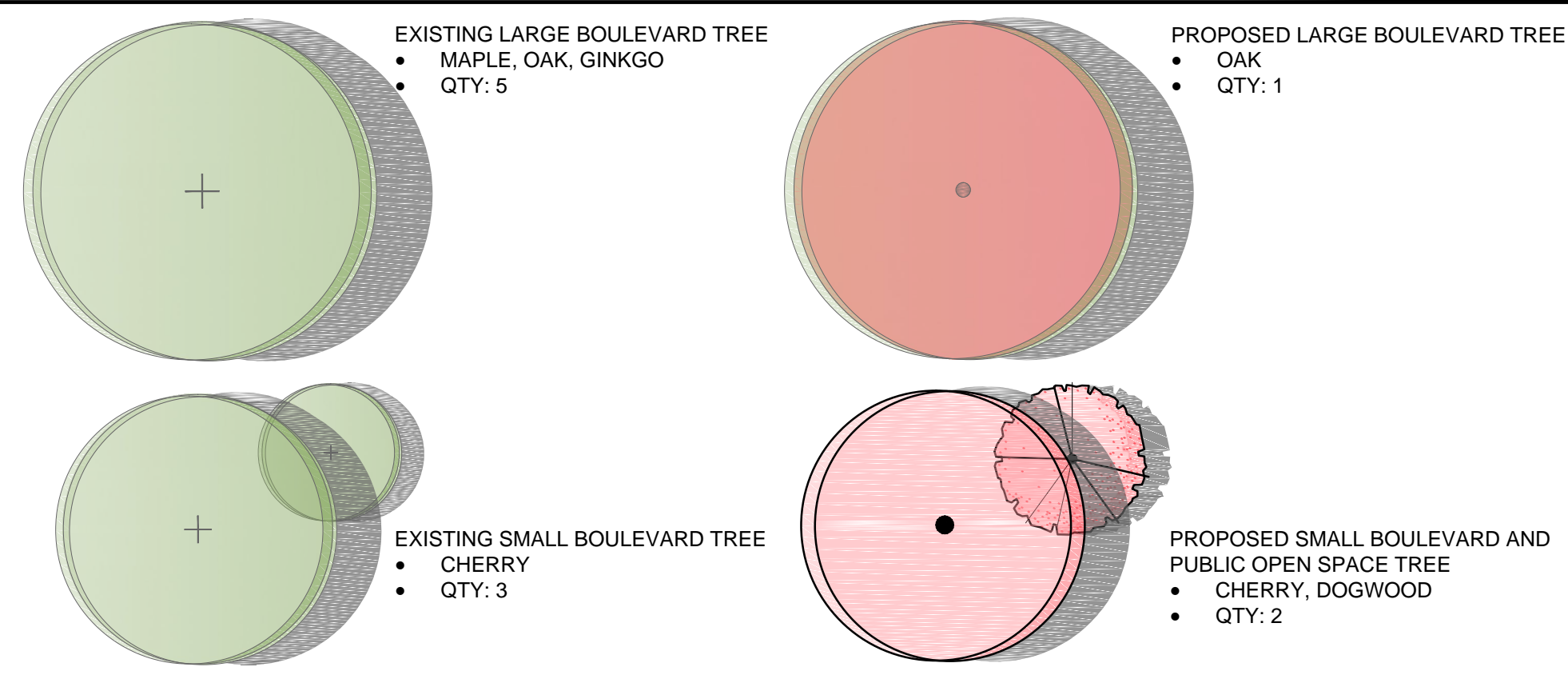
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PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: NTS
Sheet No:



LEGEND

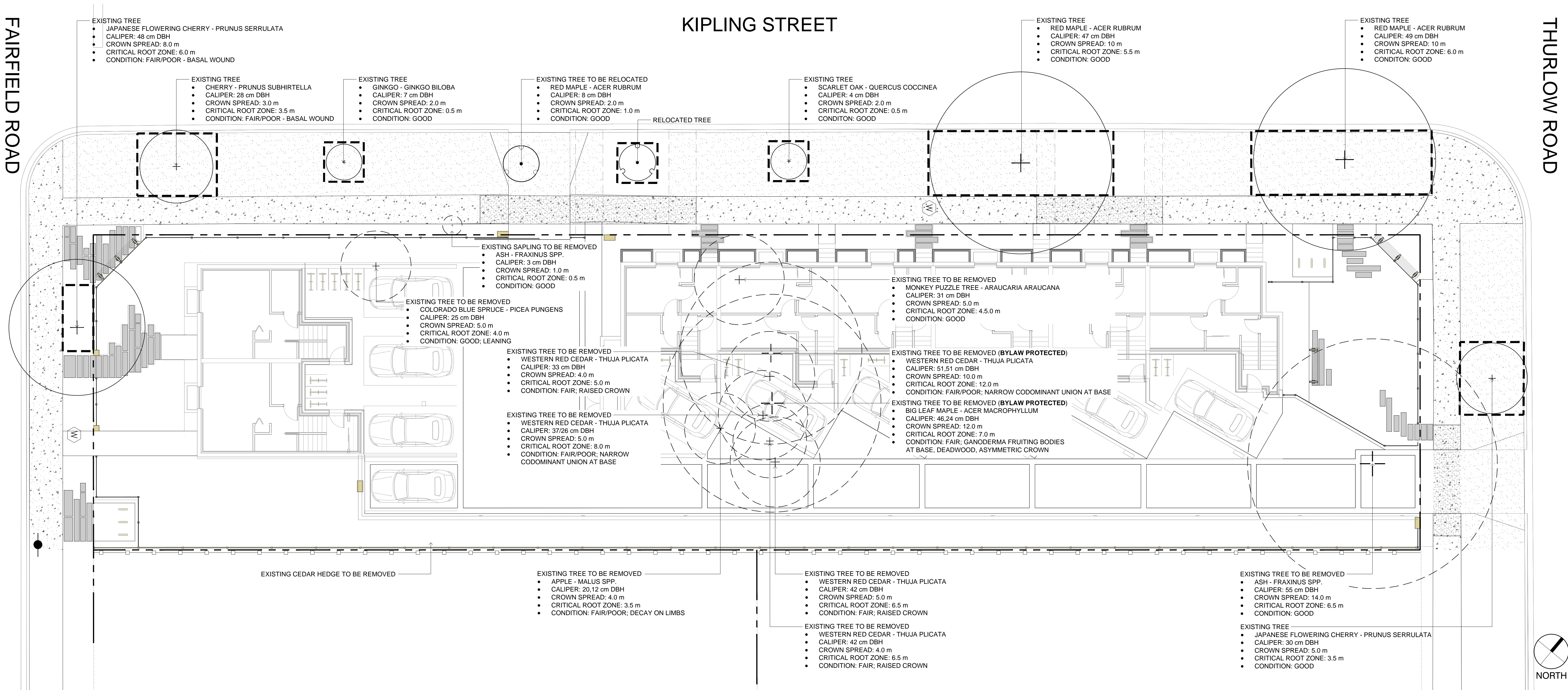
| | | | |
|---|--|---|---|
| EXISTING CONCRETE SIDEWALK | CONCRETE SIDEWALK • MEDIUM SANDBLAST OR LIGHT BROOM FINISH • SAW CUT CONCRETE CRACK CONTROL JOINTS | SHRUB PLANTING - BOULEVARD • IRISH MOSS • ORNAMENTAL GRASSES • LAVENDER • SWORD FERN | EXISTING WOOD FENCE • 6' (1.83 m) HT • ON ADJACENT PROPERTY |
| EXISTING CONCRETE SIDEWALK TO BE REMOVED AND REPLACED | PATH • CONCRETE PAVERS • ABBOTSFORD PIAZZA SERIES | SHRUB PLANTING - FOUNDATION • ORNAMENTAL GRASSES • PINK CAMELLIA • MEXICAN ORANGE • GREEN LAVENDER COTTON | PROPOSED WOOD FENCE • 5' (1.52 m) HT • SEE ARCHITECTURAL |
| CONCRETE DRIVEWAY APRON | EXISTING SOD BOULEVARD | SHRUB PLANTING - PLANTER • IRISH MOSS • DAISY BUSH | METAL FENCE AND GATE • SEE PLAN FOR HEIGHTS • SEE ARCHITECTURAL |
| DRIVEWAY • PERMEABLE INTERLOCKING CONCRETE PAVER | SOD | SHRUB PLANTING - HEDGE • HICKS YEW • EMERALD GREEN ARBORVITAE | EXISTING TREE TO BE REMOVED • SHOWN AT EXISTING SPREAD |
| | | | PROPERTY LINE |



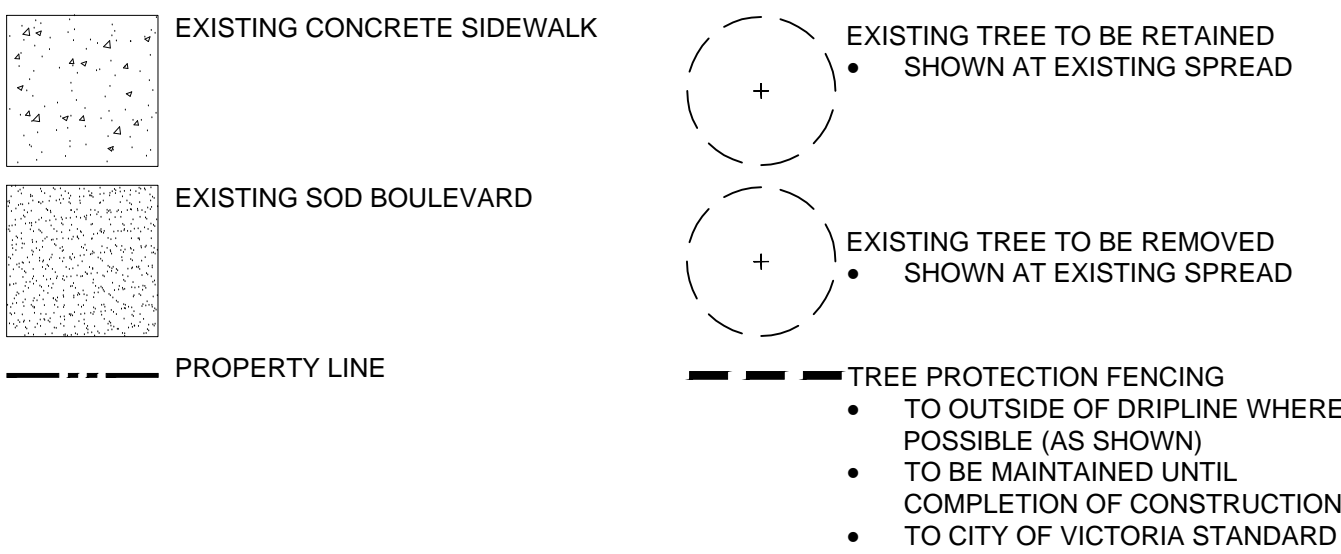
NOTE: SMALL TREE = UNDER 8.0 m (25') HT, LARGE TREE = UP TO 15.0 m (50') HT

TREE AND SHRUB QUANTITIES

- EXISTING TREES = 19
- LARGE DECIDUOUS SPECIES: 8
- LARGE CONIFEROUS SPECIES: 7
- SMALL DECIDUOUS SPECIES: 4
- EXISTING TREES TO BE REMOVED = 11
- LARGE DECIDUOUS SPECIES: 3
- LARGE CONIFEROUS SPECIES: 7
- SMALL DECIDUOUS SPECIES: 1
- EXISTING TREES TO BE RETAINED = 8
- LARGE DECIDUOUS SPECIES: 5
- SMALL DECIDUOUS SPECIES: 3
- PROPOSED TREES = 3
- LARGE DECIDUOUS SPECIES: 1
- SMALL DECIDUOUS SPECIES: 2
- TOTAL NUMBER OF PROJECT TREES = 11
- LARGE DECIDUOUS SPECIES: 6
- SMALL DECIDUOUS SPECIES: 5
- TOTAL NUMBER OF PROJECT SHRUBS = 515

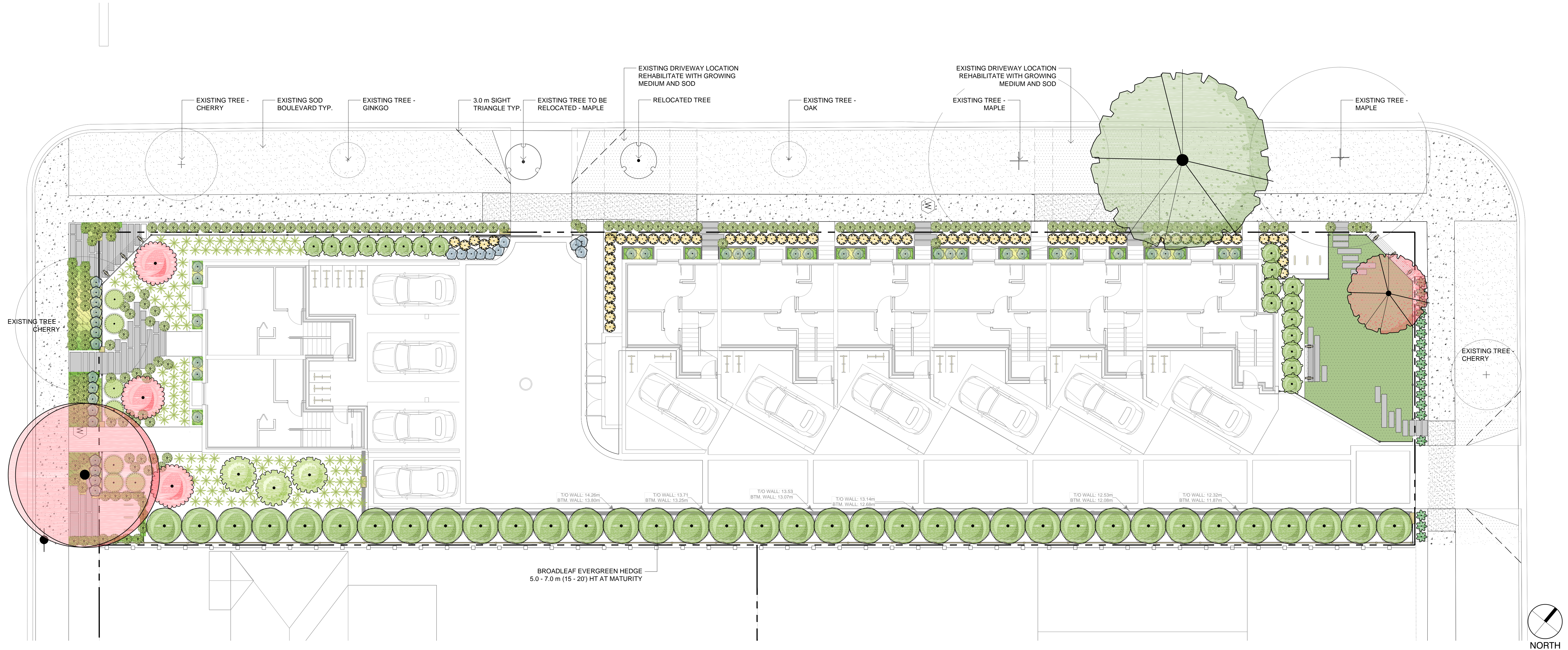


LEGEND



TREE QUANTITIES

- EXISTING TREES = 19**
- LARGE DECIDUOUS SPECIES: 8
 - LARGE CONIFEROUS SPECIES: 7
 - SMALL DECIDUOUS SPECIES: 4
- EXISTING TREES TO BE REMOVED = 11**
- LARGE DECIDUOUS SPECIES: 3
 - LARGE CONIFEROUS SPECIES: 7
 - SMALL DECIDUOUS SPECIES: 1
- EXISTING TREES TO BE RETAINED = 8**
- LARGE DECIDUOUS SPECIES: 5
 - SMALL DECIDUOUS SPECIES: 3
- PROPOSED TREES = 3**
- LARGE DECIDUOUS SPECIES: 1
 - SMALL DECIDUOUS SPECIES: 2
- TOTAL NUMBER OF PROJECT TREES = 11**
- LARGE DECIDUOUS SPECIES: 6
 - SMALL DECIDUOUS SPECIES: 5



LEGEND

EXISTING CONCRETE SIDEWALK

EXISTING CONCRETE SIDEWALK TO BE REMOVED AND REPLACED

EXISTING SOD BOULEVARD

SOD

WOOD FENCE
• 5' (1.52 m) HT
• SEE ARCHITECTURAL

METAL FENCE AND GATE
• SEE PLAN FOR HEIGHTS
• SEE ARCHITECTURAL

EXISTING TREE TO BE RETAINED
• SHOWN AT EXISTING SPREAD

PROPERTY LINE

PLANT SCHEDULE - TREES

| TREES | QTY | BOTANICAL / COMMON NAME | CONT | CAL | REMARKS |
|-------|-----|---|------|-------|------------|
| | 1 | CORNUS FLORIDA RUBRA / PINK FLOWERING DOGWOOD | B@B | 60 MM | SMALL TREE |
| | 1 | PRUNUS SERRULATA 'KWANZAN' / FLOWERING CHERRY | B@B | 60 MM | SMALL TREE |
| | 1 | QUERCUS COCCINEA / SCARLET OAK | B@B | 70 MM | LARGE TREE |

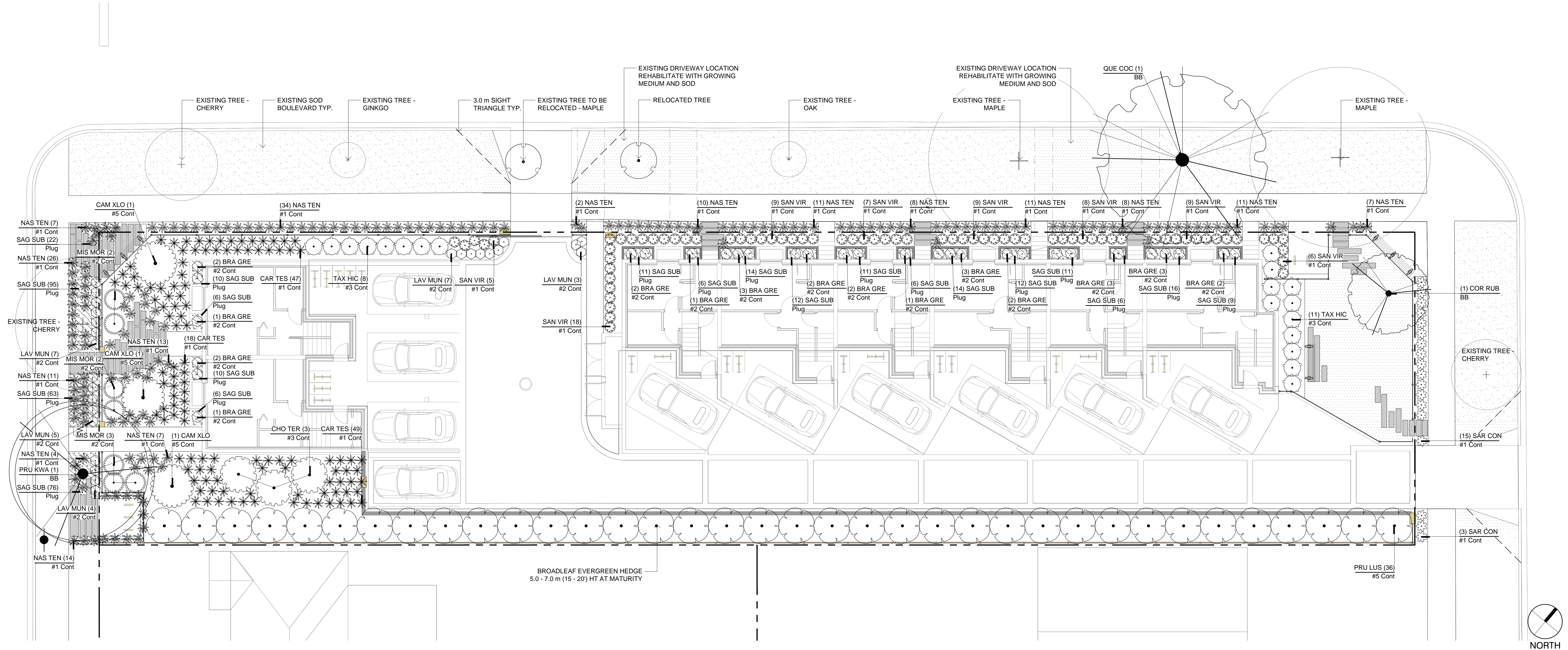
NOTE: SMALL TREE = UNDER 8.0 m HT, LARGE TREE = UP TO 15.0 m HT

PLANT SCHEDULE - GROUNDCOVER

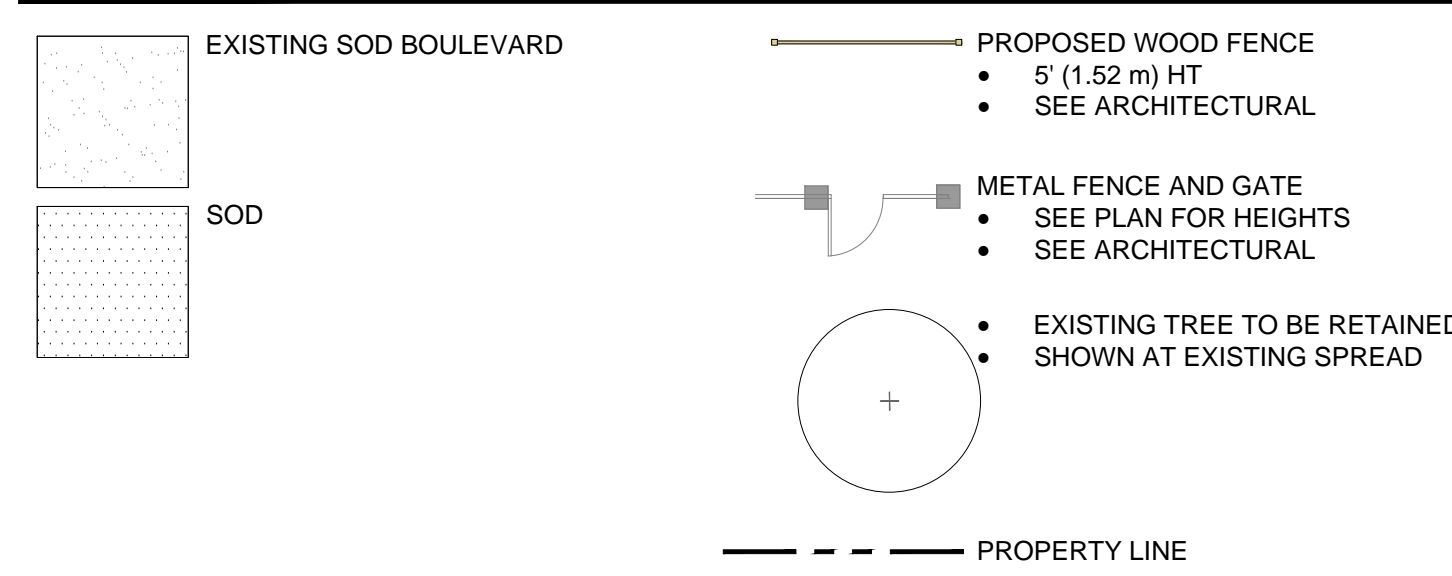
| GROUND COVERS | QTY | BOTANICAL / COMMON NAME | CONT | SPACING | REMARKS |
|---------------|-----|------------------------------|------|---------|---------|
| | 416 | SAGINA SUBULATA / IRISH MOSS | PLUG | 300mm | |

PLANT SCHEDULE - SHRUBS

| SHRUBS | QTY | BOTANICAL / COMMON NAME | CONT | SPACING | REMARKS |
|--------|-----|---|---------|---------|---------|
| | 30 | BRACHYGLOTTIS GREYI / DAISY BUSH | #2 CONT | 0.60m | |
| | 3 | CAMELLIA X 'LONG ISLAND PINK' / LONG ISLAND PINK CAMELLIA | #5 CONT | 2.40m | |
| | 114 | CAREX TESTACEA / CAREX | #1 CONT | 0.60m | |
| | 3 | CHOISYA TERNATA / MEXICAN ORANGE | #3 CONT | 2m | |
| | 26 | LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER | #2 CONT | 0.60m | |
| | 7 | MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS | #2 CONT | 1.20m | |
| | 184 | NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS | #1 CONT | 0.60m | |
| | 36 | PRUNUS LUSITANICA / PORTUGAL LAUREL | #5 CONT | 2m | |
| | 71 | SANTOLINA VIRENS / GREEN LAVENDER COTTON | #1 CONT | 0.60m | |
| | 18 | SARCOCOCCA CONFUSA / SWEETBOX | #1 CONT | 0.60m | |
| | 19 | TAXUS X MEDIA 'HICKSII' / HICKS YEW | #3 CONT | 1m | |



LEGEND



PLANT SCHEDULE - TREES

| TREES | QTY | BOTANICAL NAME / COMMON NAME | CONT | CAL | REMARKS |
|-------|-----|---|------|-------|------------|
| | 1 | CORNUS FLORIDA RUBRA / PINK FLOWERING DOGWOOD | B@B | 60 MM | SMALL TREE |
| | 1 | PRUNUS SERRULATA 'KWANZAN' / FLOWERING CHERRY | B@B | 60 MM | SMALL TREE |
| | 1 | QUERCUS COCCINEA / SCARLET OAK | B@B | 70 MM | LARGE TREE |

NOTE: SMALL TREE = UNDER 8.0 m HT, LARGE TREE = UP TO 15.0 m HT

PLANT SCHEDULE - GROUNDCOVER

| GROUND COVERS | QTY | BOTANICAL / COMMON NAME | CONT | SPACING | REMARKS |
|---------------|-----|------------------------------|------|---------|---------|
| | 416 | SAGINA SUBULATA / IRISH MOSS | PLUG | 300mm | |

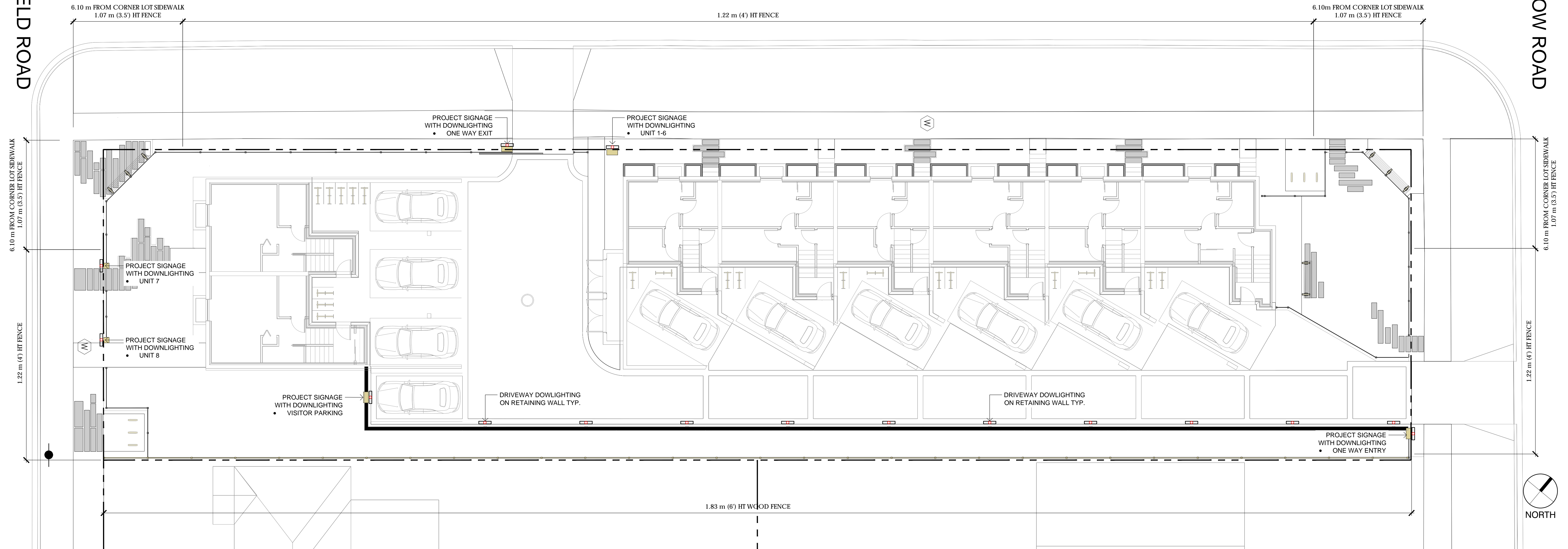
PLANT SCHEDULE - SHRUBS

| SHRUBS | QTY | BOTANICAL / COMMON NAME | CONT | SPACING | REMARKS |
|--------|-----|---|---------|---------|---------|
| | 30 | BRACHYGLOTTIS GREYI / DAISY BUSH | #2 CONT | 0.60m | |
| | 3 | CAMELLIA X 'LONG ISLAND PINK' / LONG ISLAND PINK CAMELLIA | #5 CONT | 2.40m | |
| | 114 | CAREX TESTACEA / CAREX | #1 CONT | 0.60m | |
| | 3 | CHOISYA TERNATA / MEXICAN ORANGE | #3 CONT | 2m | |
| | 26 | LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER | #2 CONT | 0.60m | |
| | 7 | MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS | #2 CONT | 1.20m | |
| | 184 | NASSELLA TENUISSIMA / TEXAS NEEDLE GRASS | #1 CONT | 0.60m | |
| | 36 | PRUNUS LUSITANICA / PORTUGAL LAUREL | #5 CONT | 2m | |
| | 71 | SANTOLINA VIRENS / GREEN LAVENDER COTTON | #1 CONT | 0.60m | |
| | 18 | SARCOCOCCA CONFUSA / SWEETBOX | #1 CONT | 0.60m | |
| | 19 | TAXUS X MEDIA 'HICKSII' / HICKS YEW | #3 CONT | 1m | |

FAIRFIELD ROAD

KIPLING STREET

THURLOW ROAD



FENCING CHARACTER IMAGE



DOWNLIGHTING CHARACTER IMAGES



SIGNAGE CHARACTER IMAGES