

PROJECT INFORMATION TABLE	
Zone (existing)	CR-3
Proposed zone or site specific zone If unsure, state "new zone"	NEW ZONE
Site area (m²)	1,963 m²
Total floor area (m²)	3,822 m²
Commercial floor area (m²)	688 m²
Floor space ratio	1.95:1
Site coverage (%)	75.0%
Open site space (%)	31.7%
Height of building (m)	17.68 m
Number of storeys	5
Parking stalls (number) on site	47 RESIDENTIAL , 10 COMMERCIAL
Bicycle parking number (Class 1 and Class 2)	48 CLASS 1, 11 CLASS 2
Building Setbacks (m) *	
Front yard	3.35 m (OAK BAY AVENUE)
Rear yard	5.32 m
Side yard (indicate which side)	0.15 m (WEST P.L.)
Side yard (indicate which side)	0.72 m (EAST P.L.)
Combined side yards	0.87 m
Residential Use Details	
Total number of units	35
Unit type, e.g., 1 bedroom	14 1BR, 15 2BR, 6 2BR+DEN / 3BR
Ground-orientated units	0
Minimum unit floor area (m²)	47 m²
Total residential floor area (m²)	2620 m²

* MEASURED TO BUILDING FACE, EXCLUDES BALCONIES AND ROOF PROJECTIONS

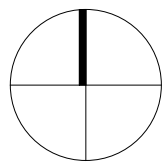
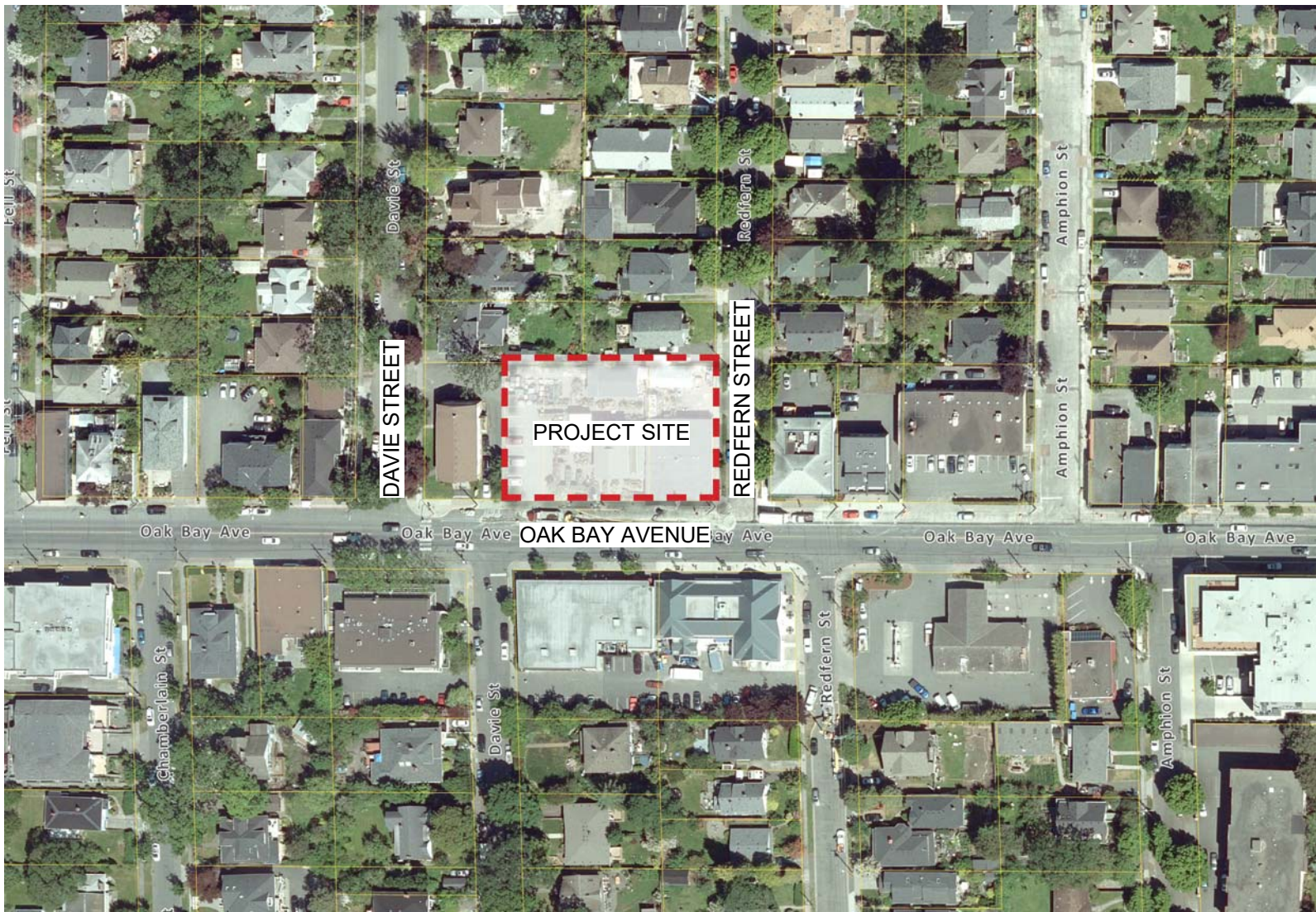


OAK BAY AVENUE & REDFERN STREET CORNER PERSPECTIVE

DRAWING LIST

A0.00	Cover Sheet	A2.02	Second Floor Plan
A1.00	Survey, Existing Site Plan, Average Grade	A2.03	Third Floor Plan
A1.01	Code Analysis	A2.04	Fourth Floor Plan
A1.02	Limiting Distance	A2.05	Roof Plan
A1.03	Overall Site Plan	A3.00	Elevations
A1.04	Shadow Study - Fall Equinox	A3.01	Elevations
A1.05	Shadow Study - Summer Solstice	A3.02	Context Elevations
A1.06	Shadow Study - Winter Solstice	A4.00	Building Sections
A2.00	Parking Level Plan	A4.01	Context Sections
A2.01	Ground Floor Plan	A9.00	Perspectives
		A9.01	Materials

L1.01	Landscape Materials
L1.02	Level 2 Landscape Materials & Planting Plan
L1.03	Stormwater Management
L3.01	Planting Plan
T.1	Tree Management Plan
C1.01	Preliminary Servicing



APPLICANT

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TRAFFIC CONSULTANT

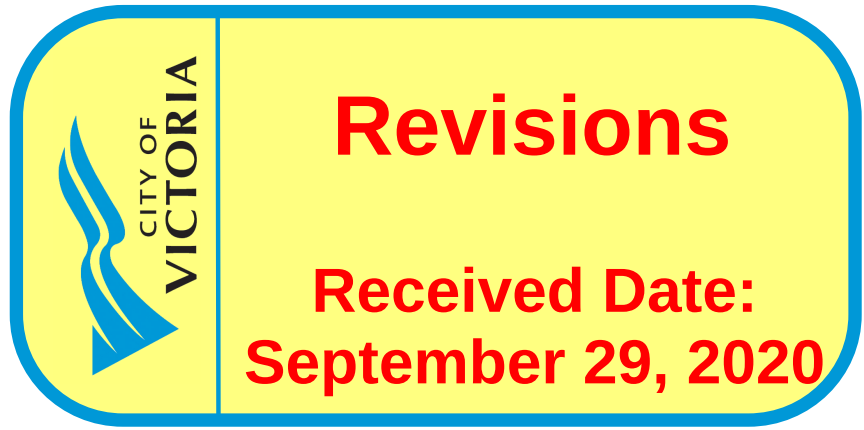
URBAN SYSTEMS
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DANIEL CASEY
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ARBORIST

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250.883.4533

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Jawl Residential

Project #	1801	Date	9/28/2020 11:39:23 AM
Sheet #	A0.00	Revision	5 Sept 28, 2020

CASCADIA ARCHITECTS INC

101-804 Broughton Street
Victoria BC V8W 1E4 Canada
250.590.3223
cascadiaarchitects.ca



BC LAND SURVEYORS SITE PLAN OF:

Civic: 1908 - 1920 Oak Bay Avenue

Legals: The Western 1/2 of Lot 13, Block 3, Section 76,
Victoria District, Plan 273

Parcel Identifier: 001-045-033 is the City of Victoria

Lot A, Section 76, Victoria District, Plan 38854

Parcel Identifier: 000-087-719 is the City of Victoria

Lot 11, Block 3, Section 76, Victoria District, Plan 273

Parcel Identifier: 008-105-040 is the City of Victoria

LEGEND

Elevations are to geoidetic datum

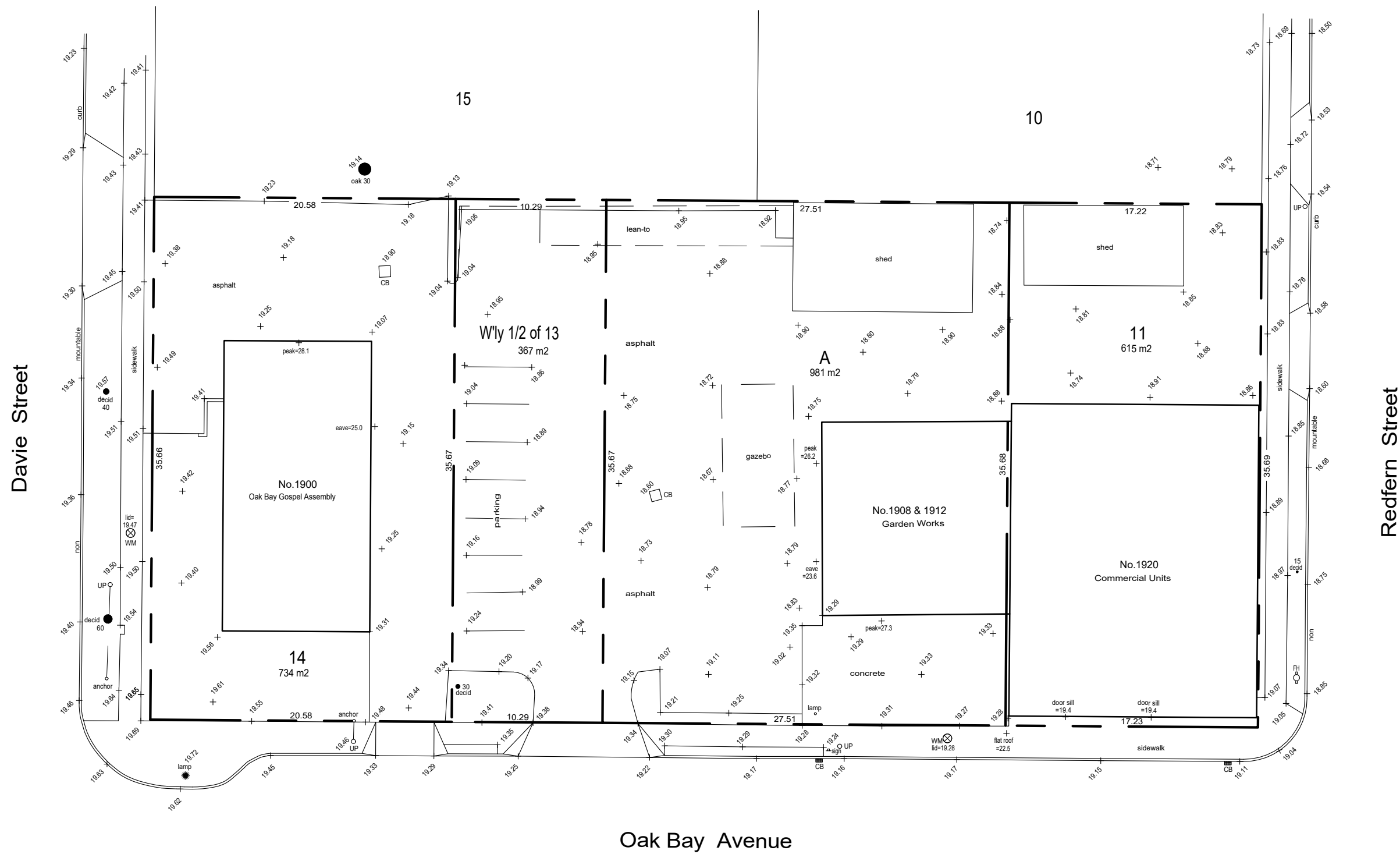
• - denotes - existing elevation

UP - denotes - Utility Pole

□ - denotes - Catch Basin

• - denotes - Catch Basin

Tree diameters are in centimetres.



February 2, 2018

File: 12.709-15
POWELL & ASSOCIATES
B.C. Land Surveyors
256-2950 Douglas Street
Victoria, BC V8T 4M4
phone (250) 362-8855

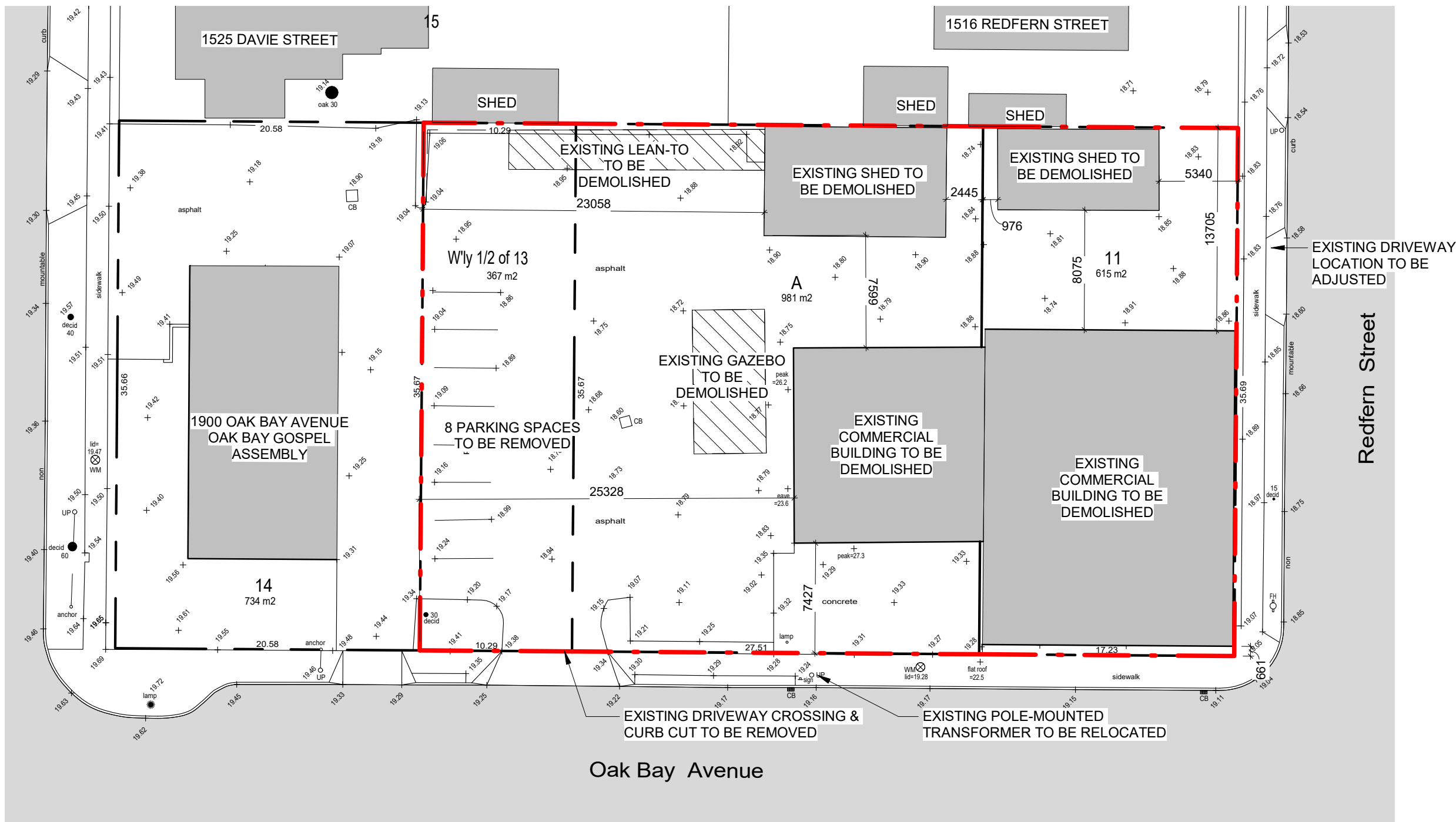
Scale 1:200 Distances are in metres.

0 2 10 20
The intended print size is 24" by 18".

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

Setbacks are derived from field survey.
Parcel dimensions shown hereon are
derived from Land Title Office records.

I Survey Plan
1 : 300



2 Existing Site Plan
1 : 300

AVERAGE GRADE CALCULATIONS

GRADE POINTS:
(PROPOSED)

A:	19.012	18.986
B:	19.012	18.939
C:	19.012	18.970
D:	19.012	18.844
E:	19.012	18.801
F:	18.859	18.835
G:	18.855	18.883
H:	18.857	18.894
I:	18.856	18.878
J:	18.905	18.907
K:	19.100	18.978
L:	19.089	19.159
M:	19.100	19.307
N:	19.100	19.303
O:	19.417	19.116
P:	19.400	18.969
Q:	19.400	18.952
R:	19.417	19.096
S:	19.401	19.322

GRADE POINTS:
(NATURAL)

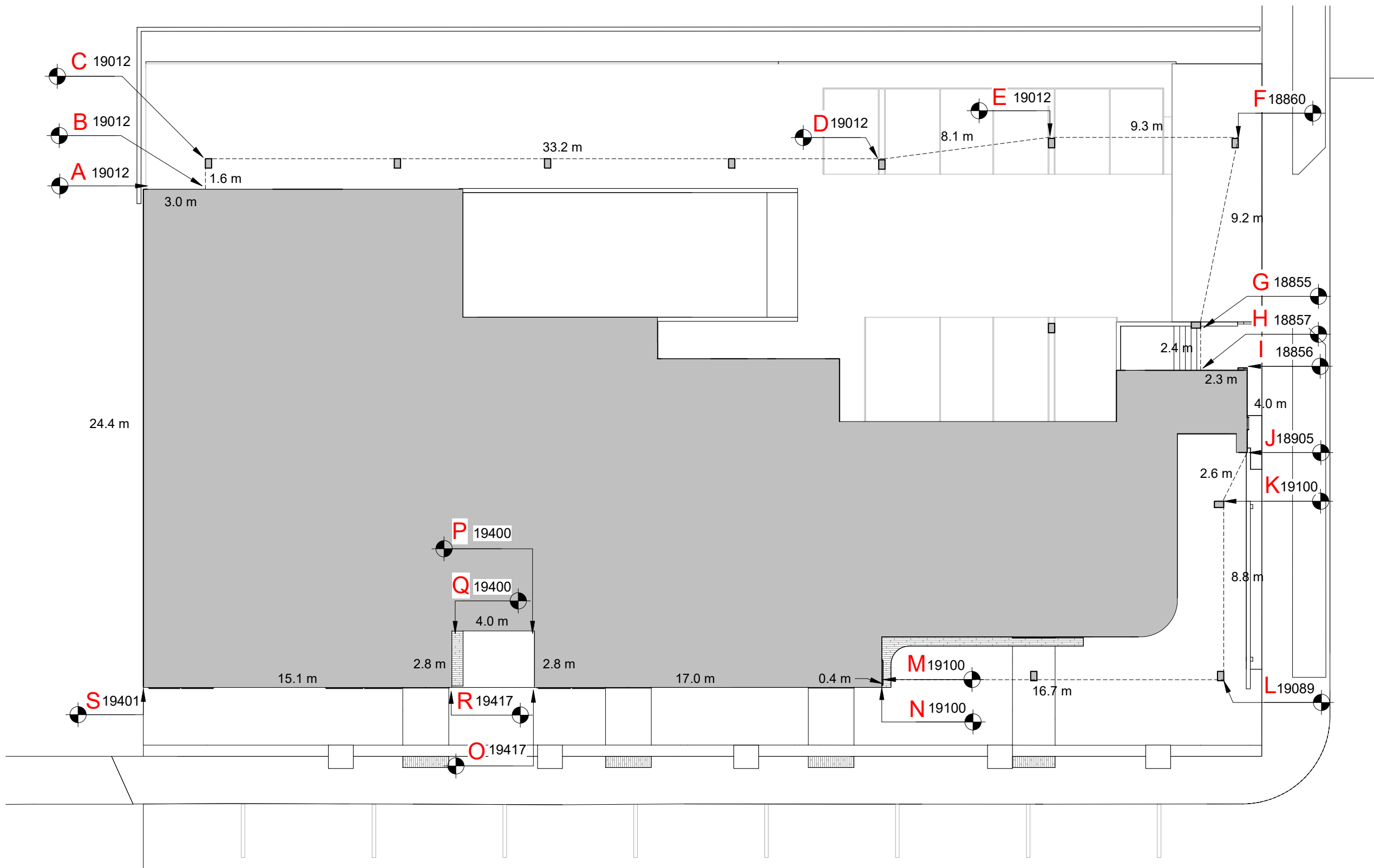
18.986
18.939
18.970
18.844
18.801
18.835
18.883
18.894
18.878
18.907
18.978
19.159
19.307
19.303
19.116
18.969
18.952
19.096
19.322

GRADE POINTS:

A-B:	((18.986+18.939)+2)	x	03.0	=295.04
B-C:	((18.939+18.970)+2)	x	01.6	=161.28
C-D:	((18.970+18.844)+2)	x	33.2	=112.26
D-E:	((18.844+18.801)+2)	x	08.1	=20.60
E-F:	((18.801+18.835)+2)	x	09.3	=256.07
F-G:	((18.835+18.855)+2)	x	09.2	=68.34
G-H:	((18.855+18.857)+2)	x	02.4	=233.91
H-I:	((18.857+18.856)+2)	x	02.3	=47.45
I-J:	((18.856+18.905)+2)	x	04.0	=121.02
J-K:	((18.905+18.978)+2)	x	02.6	=58.51
K-L:	((18.978+19.089)+2)	x	08.8	=64.35
L-M:	((19.089+19.100)+2)	x	16.7	=152.21
M-N:	((19.100+19.100)+2)	x	00.4	=24.83
N-O:	((19.100+19.116)+2)	x	17.0	=24.83
O-P:	((19.116+18.969)+2)	x	02.8	=240.66
P-Q:	((18.969+18.952)+2)	x	04.0	=53.48
Q-R:	((18.952+19.096)+2)	x	02.8	=325.19
R-S:	((19.096+19.322)+2)	x	15.1	=59.13
S-A:	((19.322+18.986)+2)	x	24.4	=460.27

167.5 3184.03

AVERAGE GRADE = 3184.03+167.5 = 19.0



3 Average Grade Plan
1 : 200

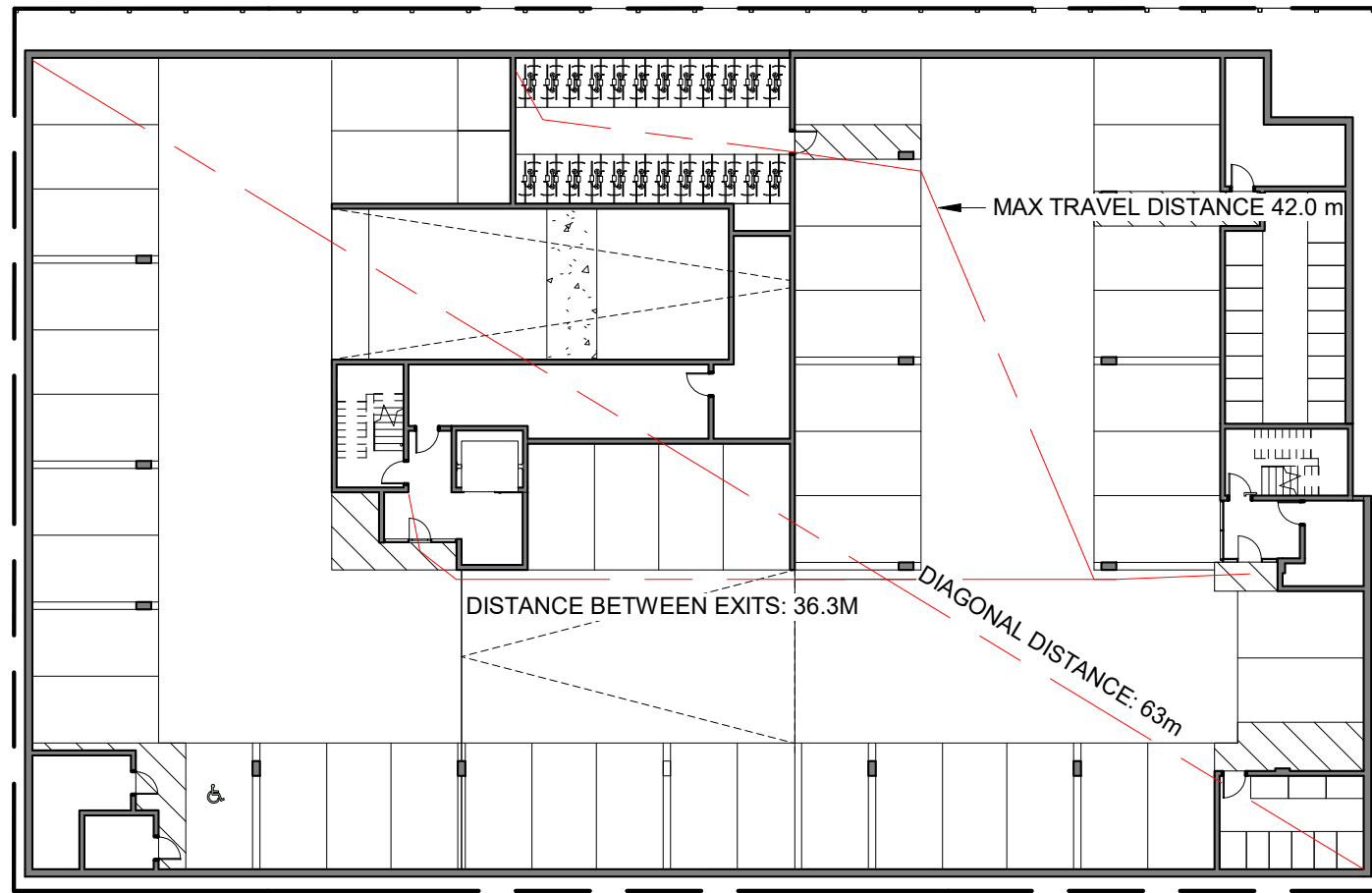
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NO.	DESCRIPTION	DATE



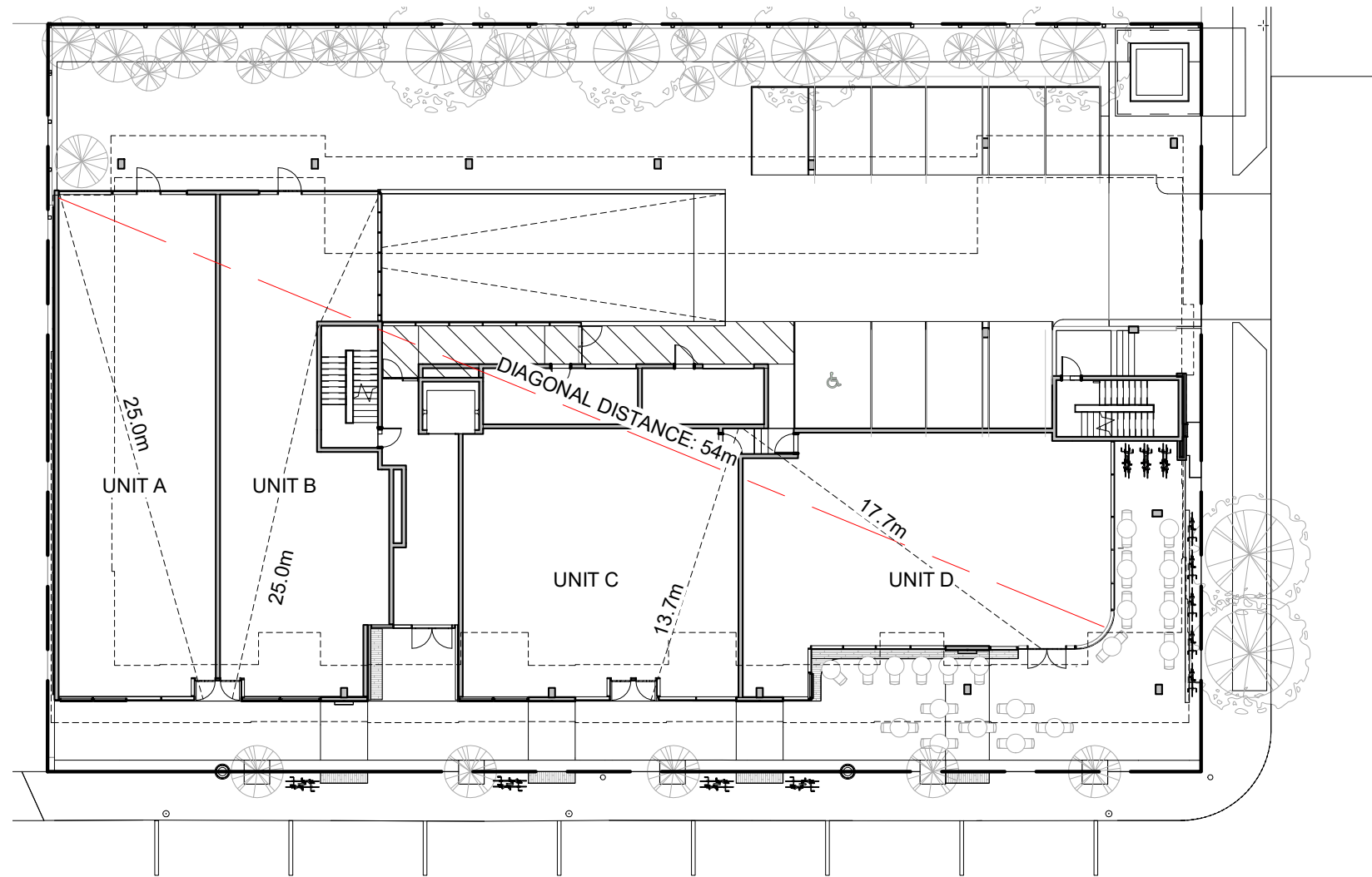
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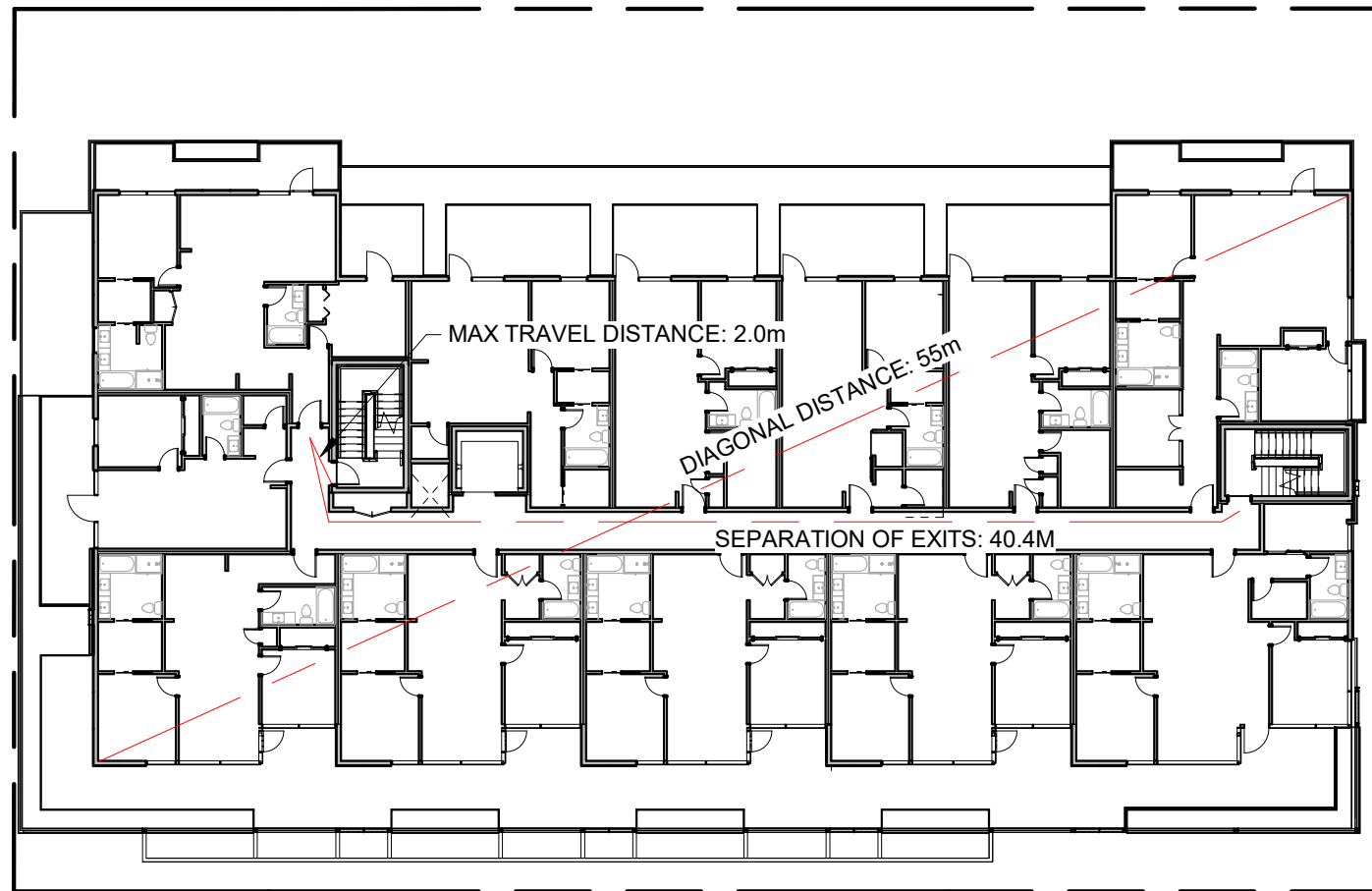
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Sheet Name	Survey, Existing Site Plan, Average Grade
Date	2020/09/28
Scale	As indicated
Project #	1801
Revision	March 5, 2020 2
Sheet #	A1.00



1 Parking Level - Code Plan
SCALE = 1 : 300



2 Ground Floor - Code Plan
SCALE = 1 : 300



3 Level 2 - Code Plan
SCALE = 1 : 300

MIN. SEPARATION BETWEEN EXITS: 31.5 m
OCCUPANCY: GROUP F, DIVISION 3
OCCUPANT LOAD: 1799 m² / 46 m² PER PERSON = 40 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 59 = 244mm
STAIRS : 8mm/PERSON X 40 = 320mm

COMMERCIAL AREA

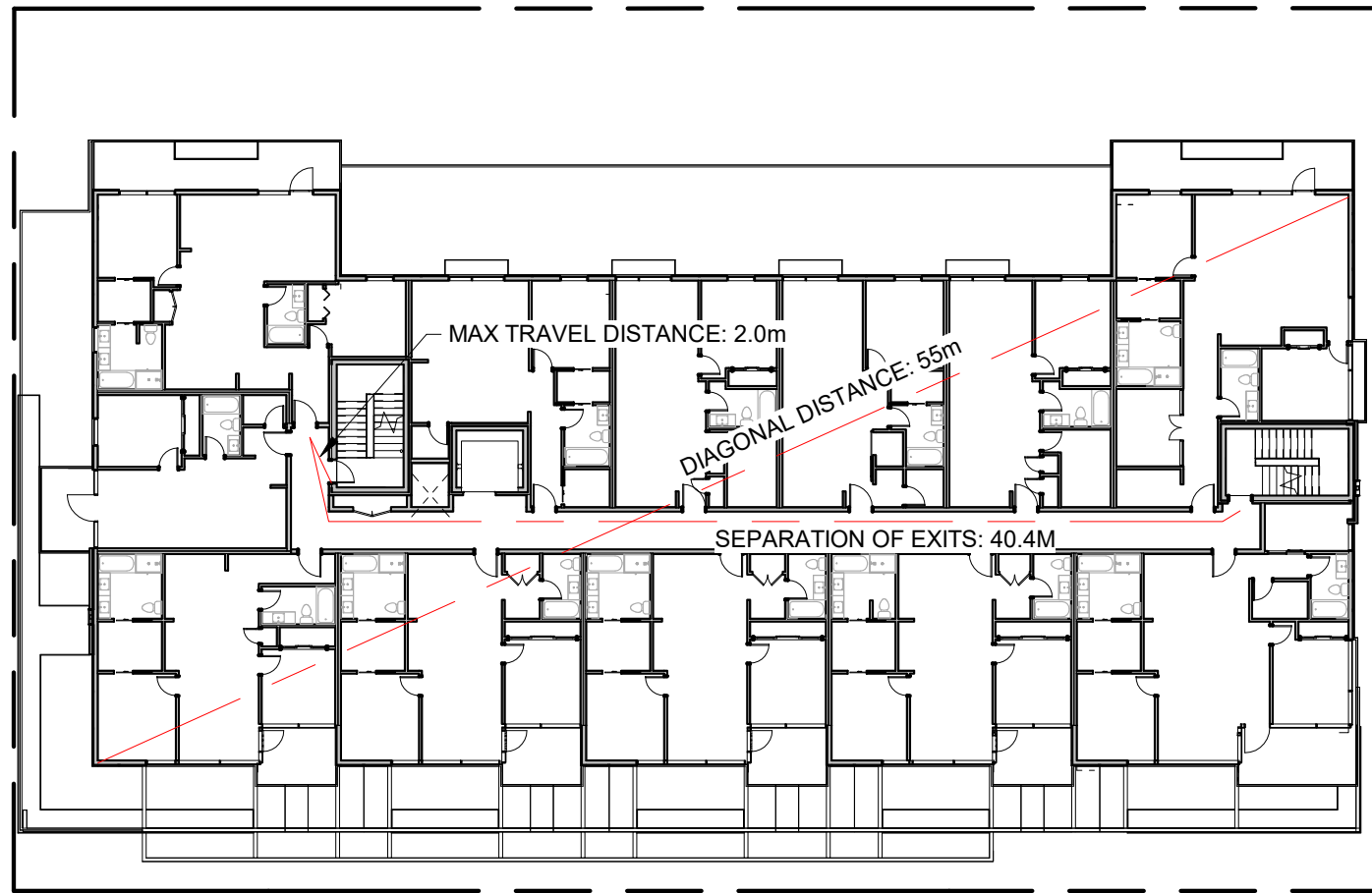
UNIT A
OCCUPANCY: GROUP E
OCCUPANT LOAD: 186 m² / 3.7 m² PER PERSON = 51 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 51 = 311mm
STAIRS : 8mm/PERSON X 51 = 408mm

UNIT B
OCCUPANCY: GROUP E
OCCUPANT LOAD: 159 m² / 3.7 m² PER PERSON = 43 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 43 = 262mm
STAIRS : 8mm/PERSON X 43 = 344mm

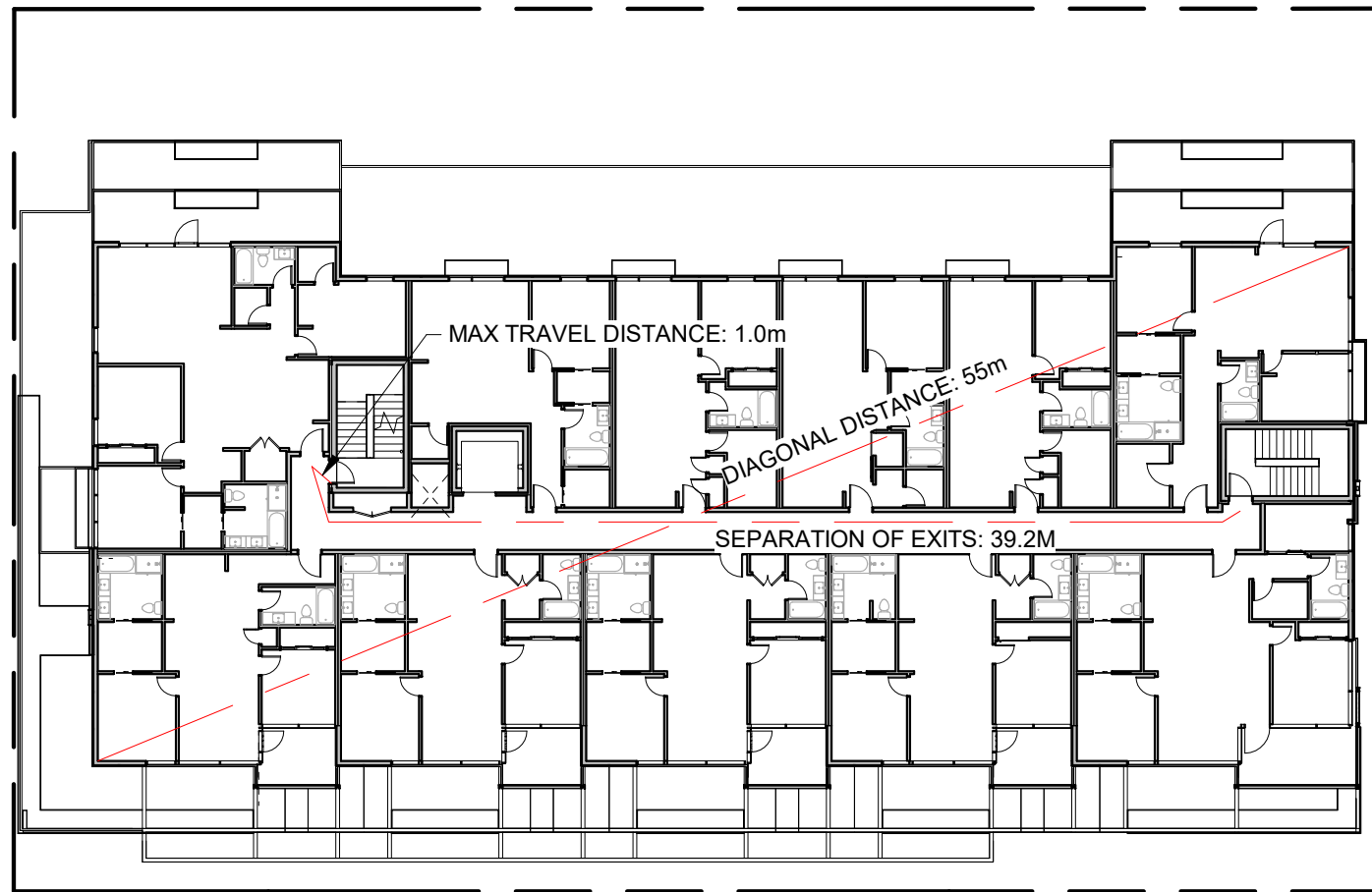
UNIT C
OCCUPANCY: GROUP E
OCCUPANT LOAD: 177 m² / 3.7 m² PER PERSON = 48 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 48 = 293mm
STAIRS : 8mm/PERSON X 48 = 384mm

UNIT D
OCCUPANCY: GROUP E
OCCUPANT LOAD: 194 m² / 3.7 m² PER PERSON = 53 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 53 = 323mm
STAIRS : 8mm/PERSON X 53 = 424mm

MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm



4 Level 3 - Code Plan
SCALE = 1 : 300



5 Level 4 - Code Plan
SCALE = 1 : 300

MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

BC BUILDING CODE 2018

3.1 GENERAL

3.1.2.1 OCCUPANCY CLASSIFICATION:

GROUP E: GROUND FLOOR LEVEL
GROUP C RESIDENTIAL OCCUPANCY: LEVEL 2-4
GROUP F, DIVISION 3: PARKING LEVEL

3.1.3 SEPARATION OF USES

F-C(STORAGE GARAGE) TO E REQUIRES 1.5HR F.R.R.
F-C TO C REQUIRES 1HR F.R.R.
C TO E REQUIRES A 2 HR F.R.R.

3.1.17 OCCUPANT LOAD

SEE A1.01

3.2 FIRE SAFETY

BUILDING AREA:
1196 m²

3.2.2 BUILDING SIZE AND CONSTRUCTION

3.2.2.50 GROUP C, UP TO 6 STORIES, SPRINKLERED
SPRINKLERED: YES

3.4 EXITS

3.4.2.1 MINIMUM NUMBER OF EXITS: 2 PER FLOOR

3.4.2.5 DISTANCE BETWEEN EXITS: SEE A1.01

3.4.2.5 LOCATION OF EXITS

MAX TRAVEL PERMITTED (RESIDENTIAL) : 30m
MAX TRAVEL PERMITTED (F3 USE) : 45m

3.7 HEALTH REQUIREMENTS

NUMBER OF REQUIRED WASHROOMS : T.B.D.

3.8 REQUIREMENTS FOR PERSONS WITH DISABILITIES

T.B.D.

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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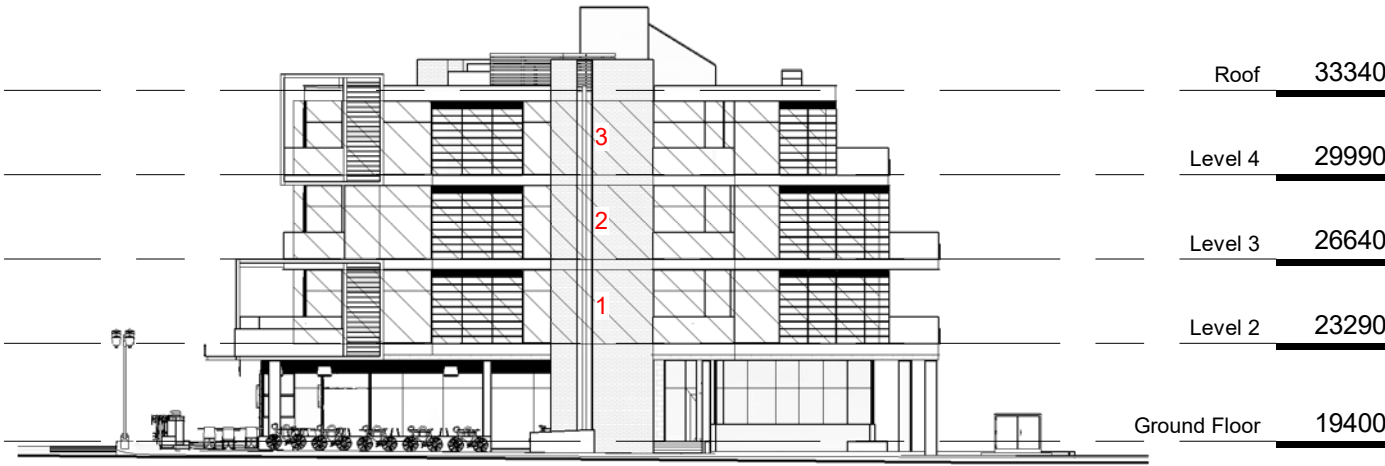
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Code Analysis		
Date		
2020/09/28		
Scale	Project #	
1 : 300	1801	
		Revision
		March 5, 2020
		2
		Sheet #
		A1.01

GROUP E OCCUPANCY

LIMITING DISTANCE: 11.5 m
EXPOSING BUILDING FACE: 67 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY

SEE TABLE



1 East Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

LIMITING DISTANCE: 8.7 m
EXPOSING BUILDING FACE: 55 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY

SEE TABLE



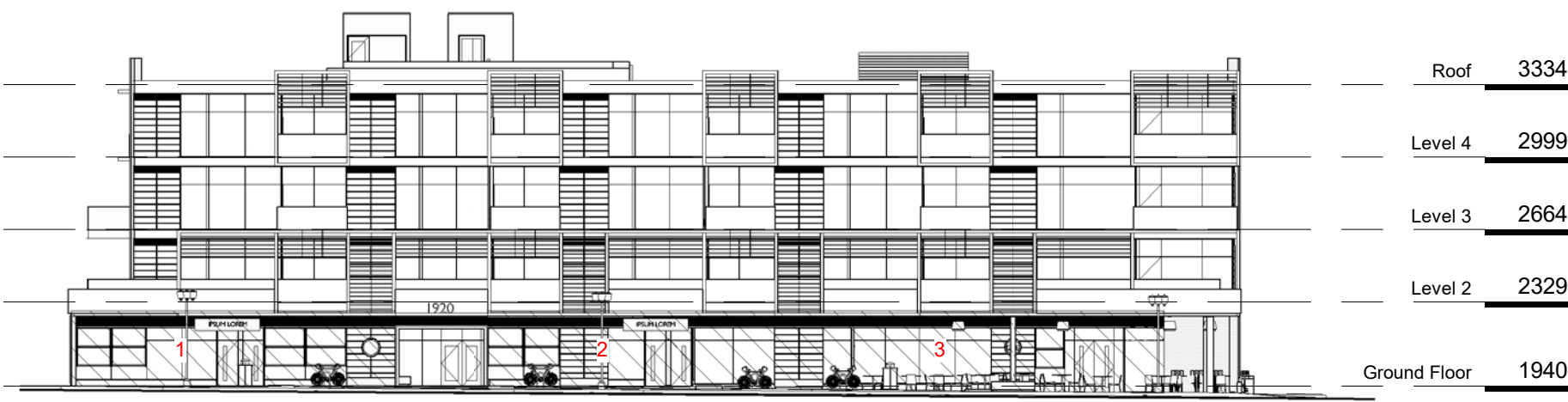
2 North Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

SEE TABLE

GROUP C OCCUPANCY

LIMITING DISTANCE: 13.8 m
EXPOSING BUILDING FACE: 150+ m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



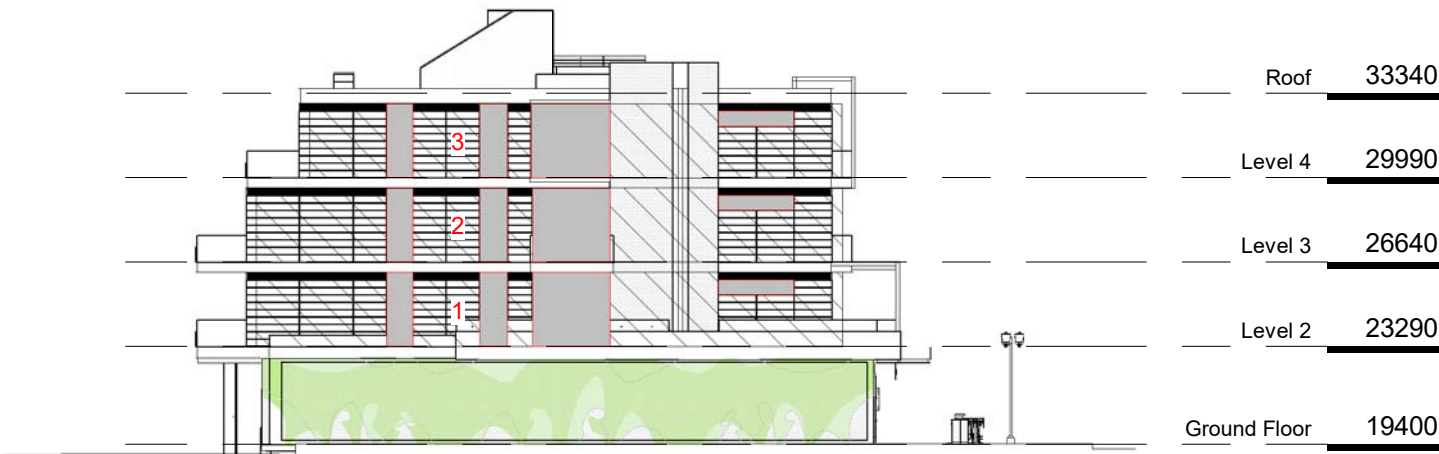
3 South Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

N/A

GROUP C OCCUPANCY

SEE TABLE



4 West Elevation - Limiting Distance
SCALE = 1 : 300

EAST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	8.2 m	69 m²	100%
2	8.2 m	69m²	100%
3	8.2 m	63m²	100%

NORTH ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	16.2 m	134 m²	100%
2	7.7 m	29 m²	100%
3	11.3 m	92 m²	100%
4	7.7 m	30 m²	100%
5	7.7 m	29 m²	100%
6	11.3 m	92 m²	100%
7	7.7 m	30 m²	100%
8	9.8 m	29 m²	100%
9	11.3 m	92 m²	100%
10	9.8 m	30 m²	100%

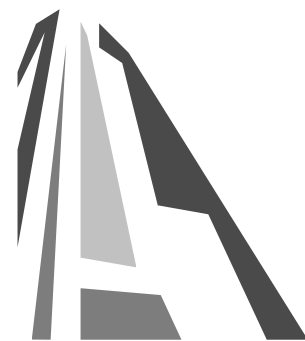
SOUTH ELEVATION - GROUP E OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	12.1 m	52 m²	100%
2	11.8 m	47m²	100%
3	11.8 m	67m²	100%

WEST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING	PROPOSED AREA OF OPENING	PROPOSED % OPENING
1	3.2 m	69 m²	33%	17.5 m²	25%
2	3.2 m	69 m²	33%	17.5 m²	25%
3	3.2 m	63 m²	34%	17.5 m²	28%

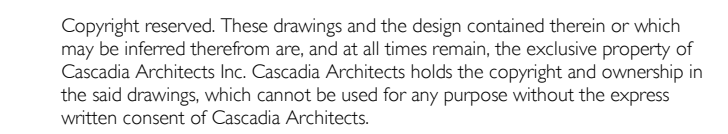
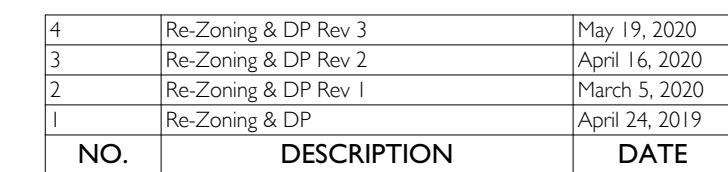
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NO.	DESCRIPTION	DATE



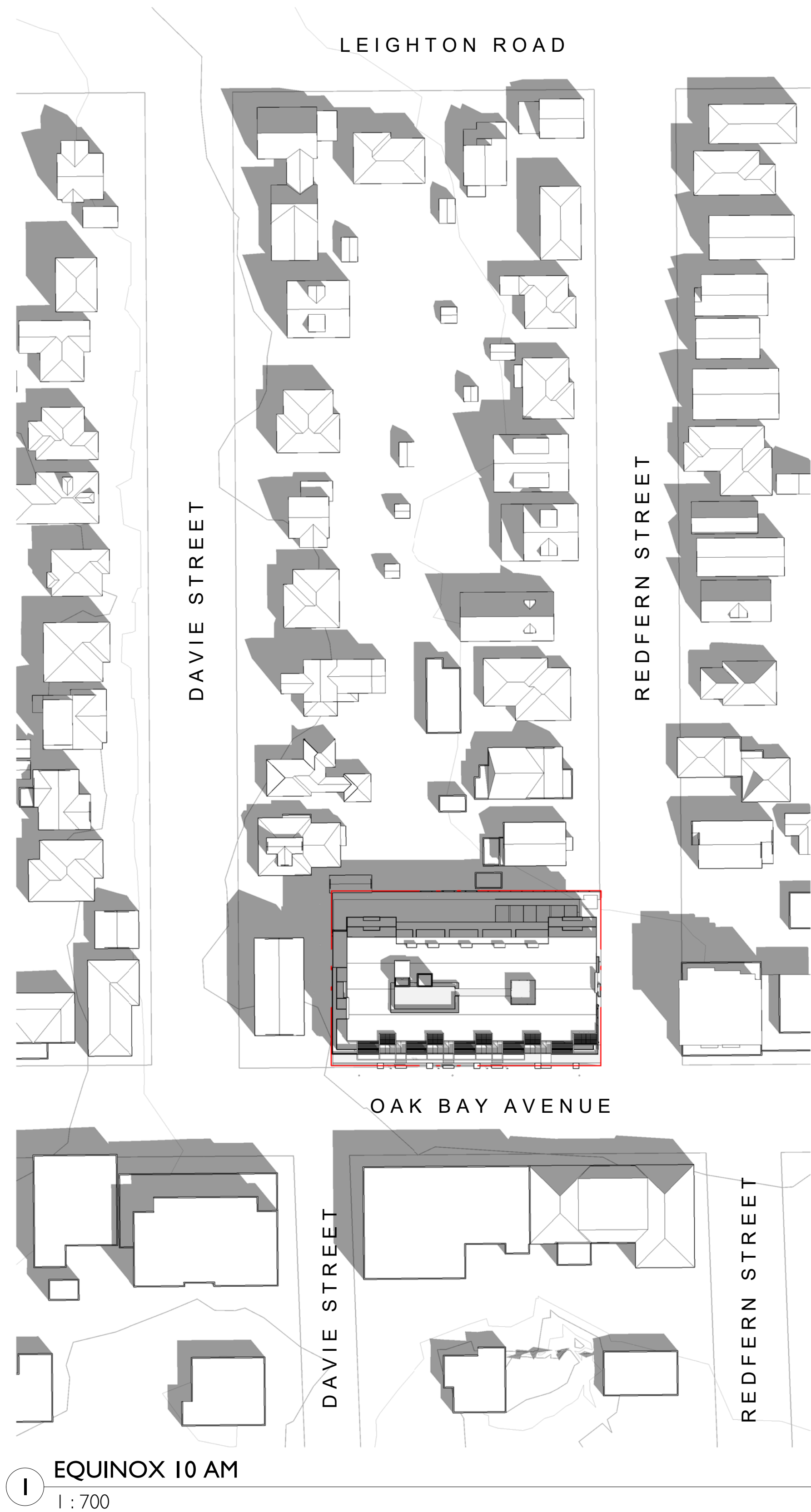
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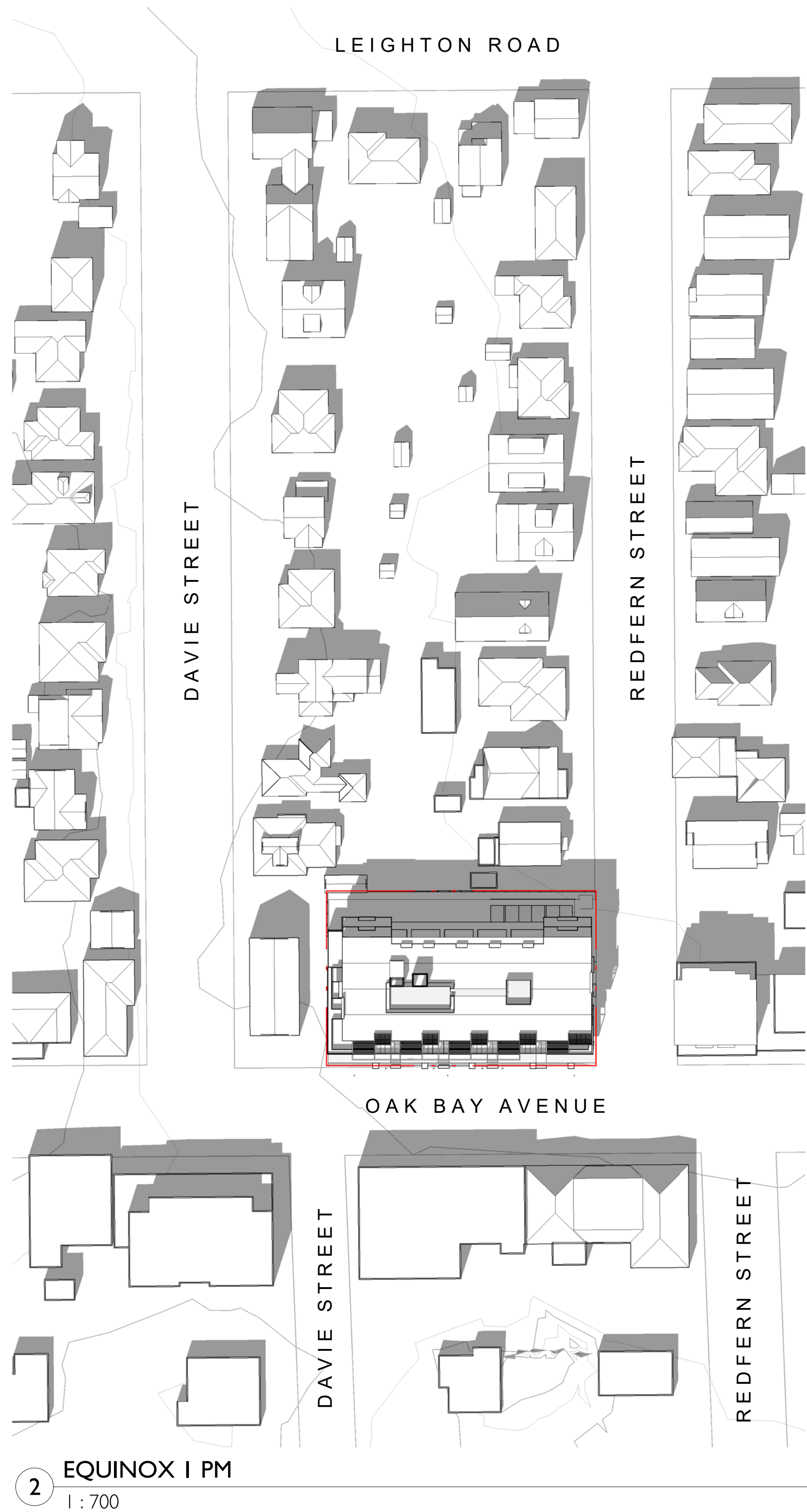
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2020/09/28	
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	Revision
	March 5, 2020 2
Sheet #	
A1.02	



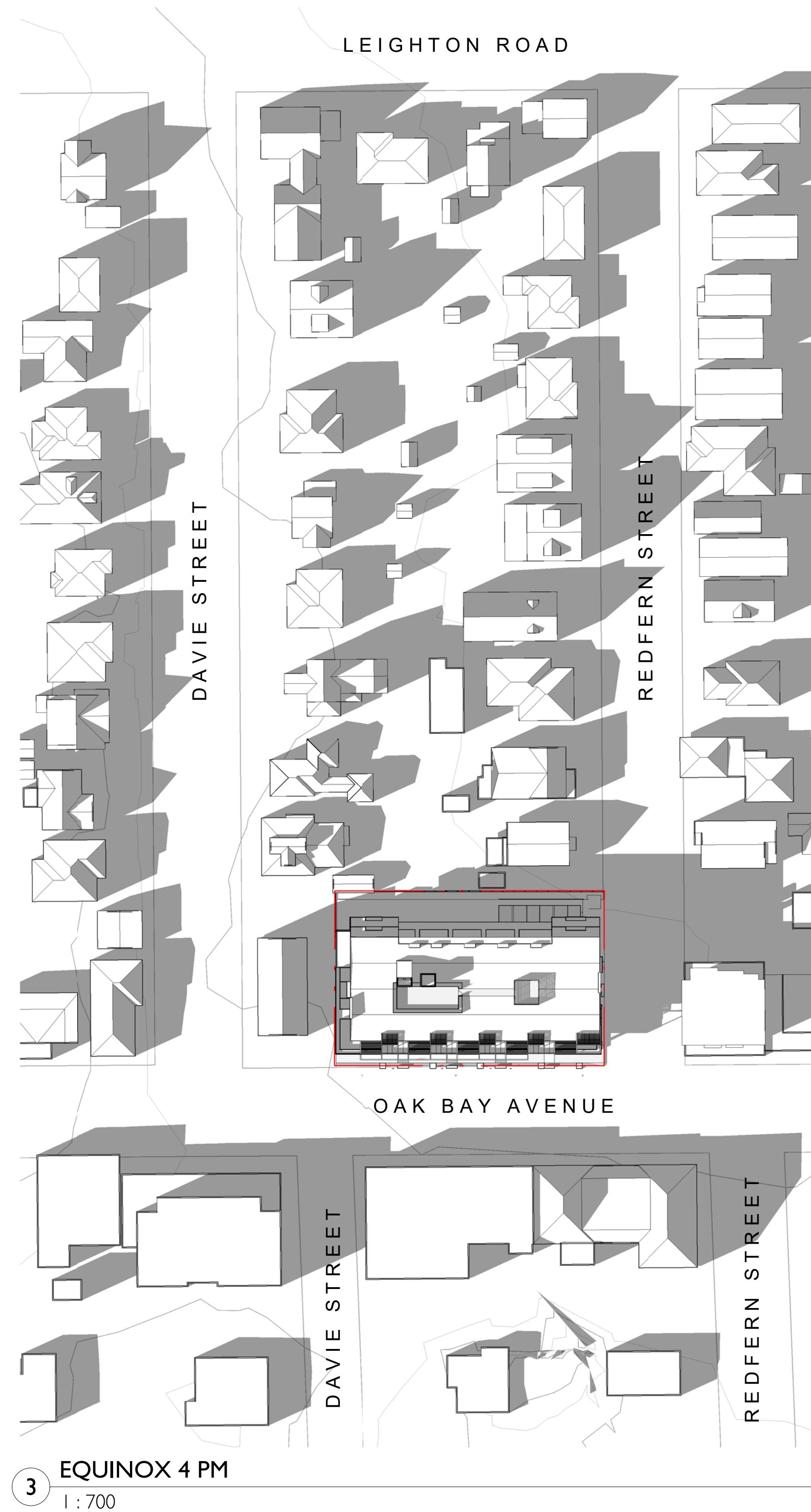
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1 EQUINOX 10 AM
1 : 700



2 EQUINOX 1 PM
1 : 700



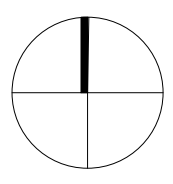
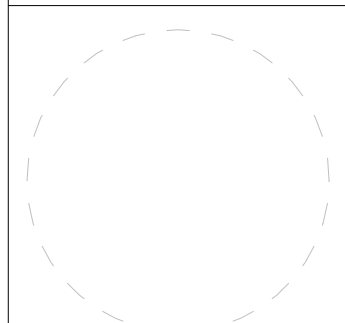
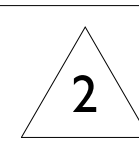
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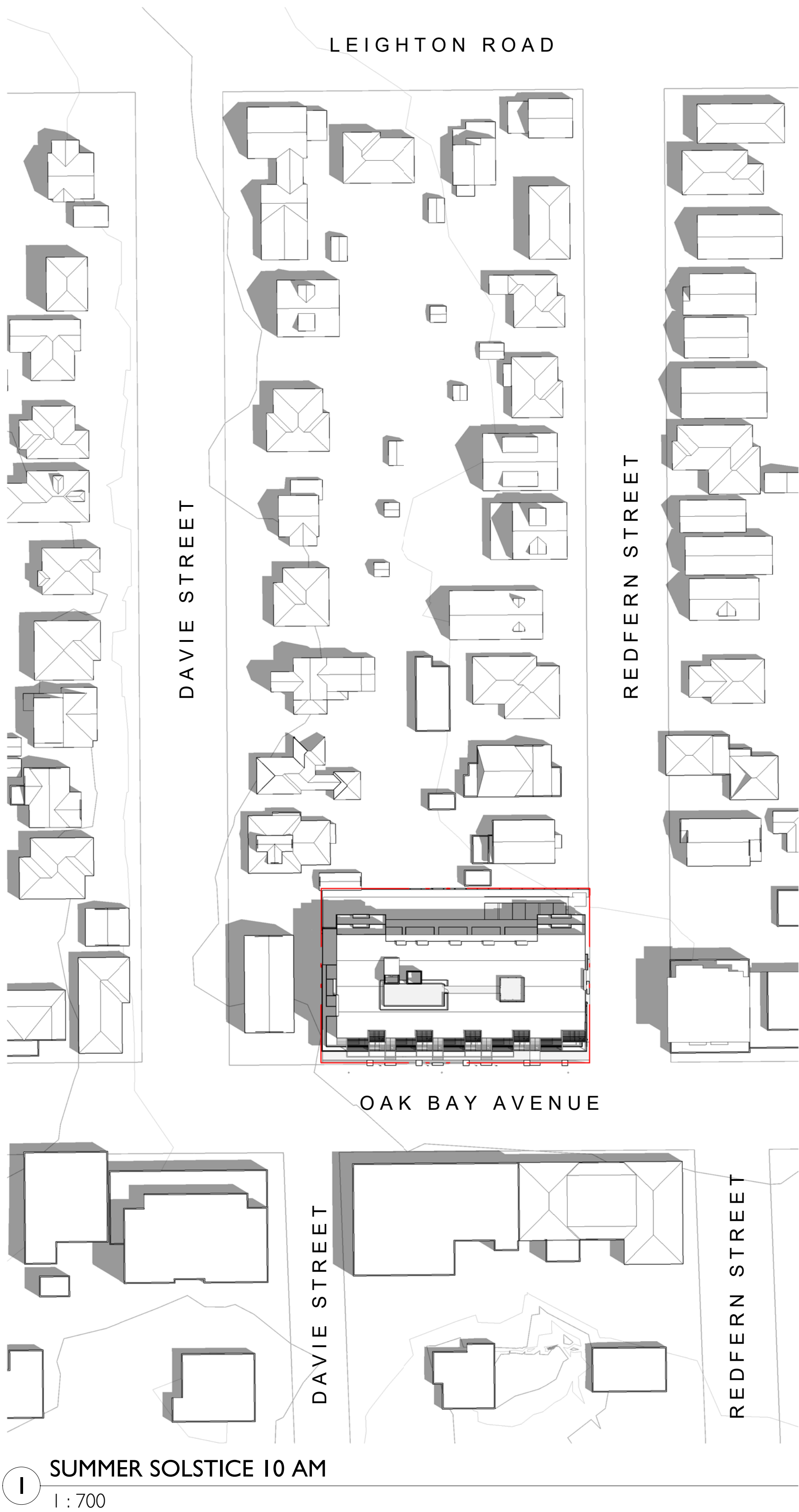
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NO.	DESCRIPTION	DATE



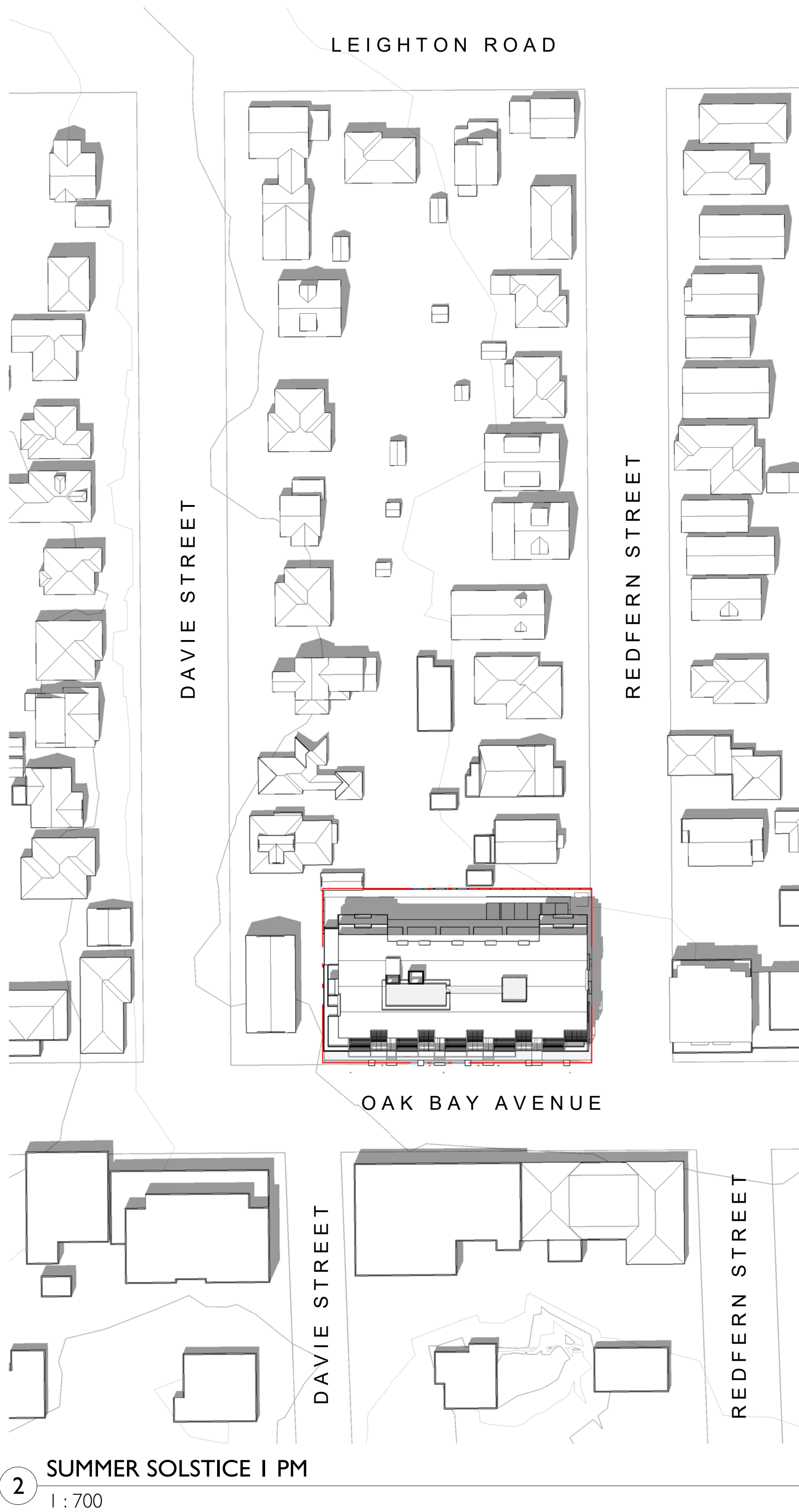
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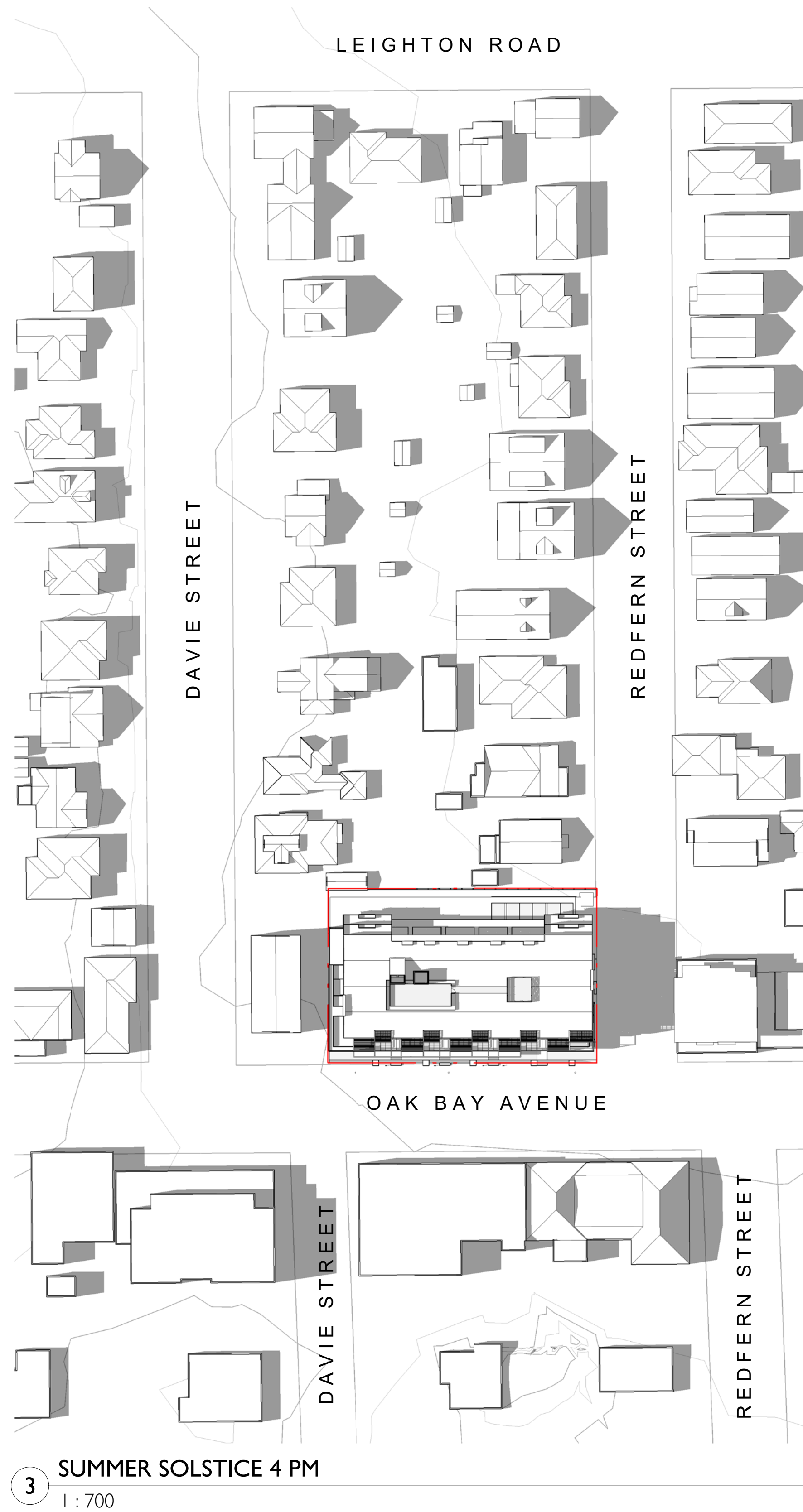
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Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Shadow Study - Fall Equinox	
Date 2020/09/28	
Scale 1 : 700	Project # 1801
	Revision March 5, 2020 
	Sheet # A1.04



1 SUMMER SOLSTICE 10 AM
1 : 700

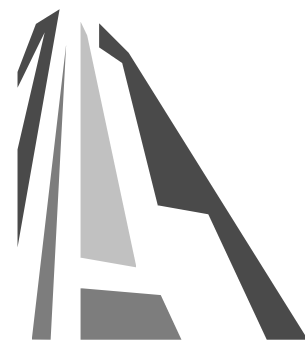


2 SUMMER SOLSTICE 1 PM
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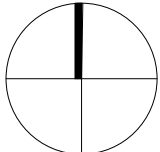
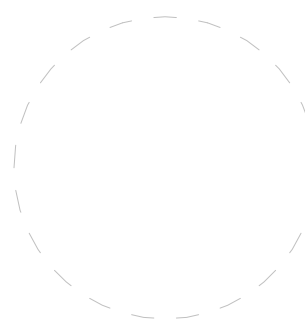
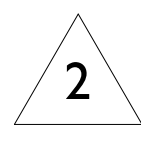
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2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Shadow Study - Summer Solstice	
Date 2020/09/28	
Scale 1 : 700	Project # 1801
	Revision March 5, 2020 
	Sheet # A1.05



1 WINTER SOLSTICE 10 AM
1 : 700



2 WINTER SOLSTICE 1 PM
1 : 700



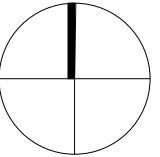
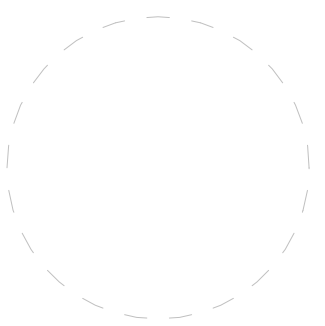
3 WINTER SOLSTICE 3 PM
1 : 700

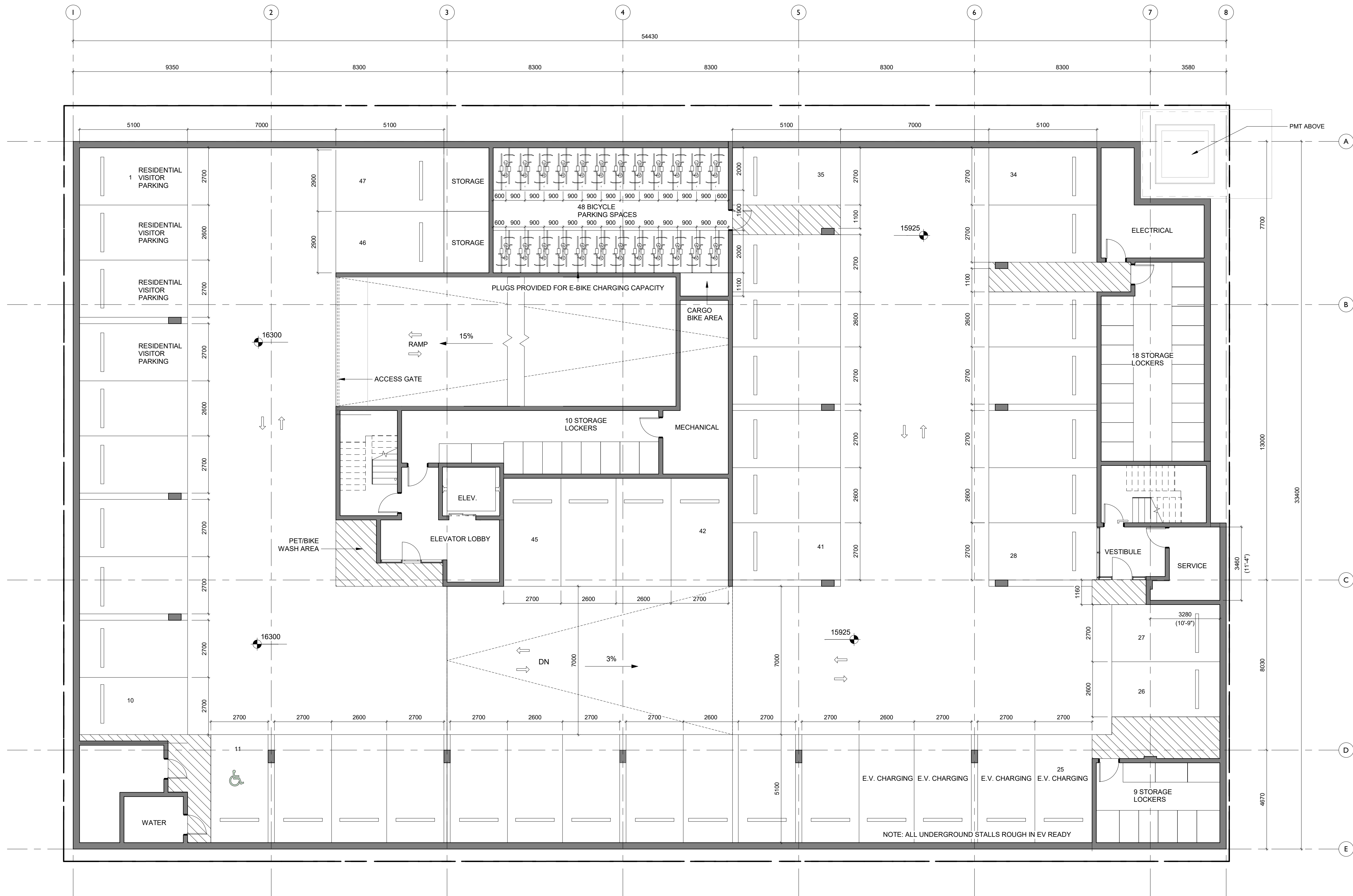
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



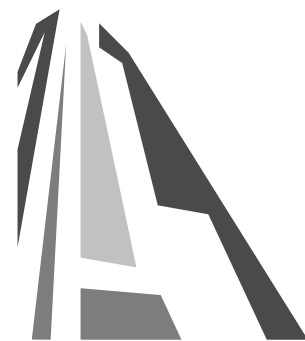
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Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Shadow Study - Winter Solstice	
Date	
2020/09/28	
Scale	Project #
1 : 700	1801
	Revision
	March 5, 2020 2
Sheet #	
A1.06	



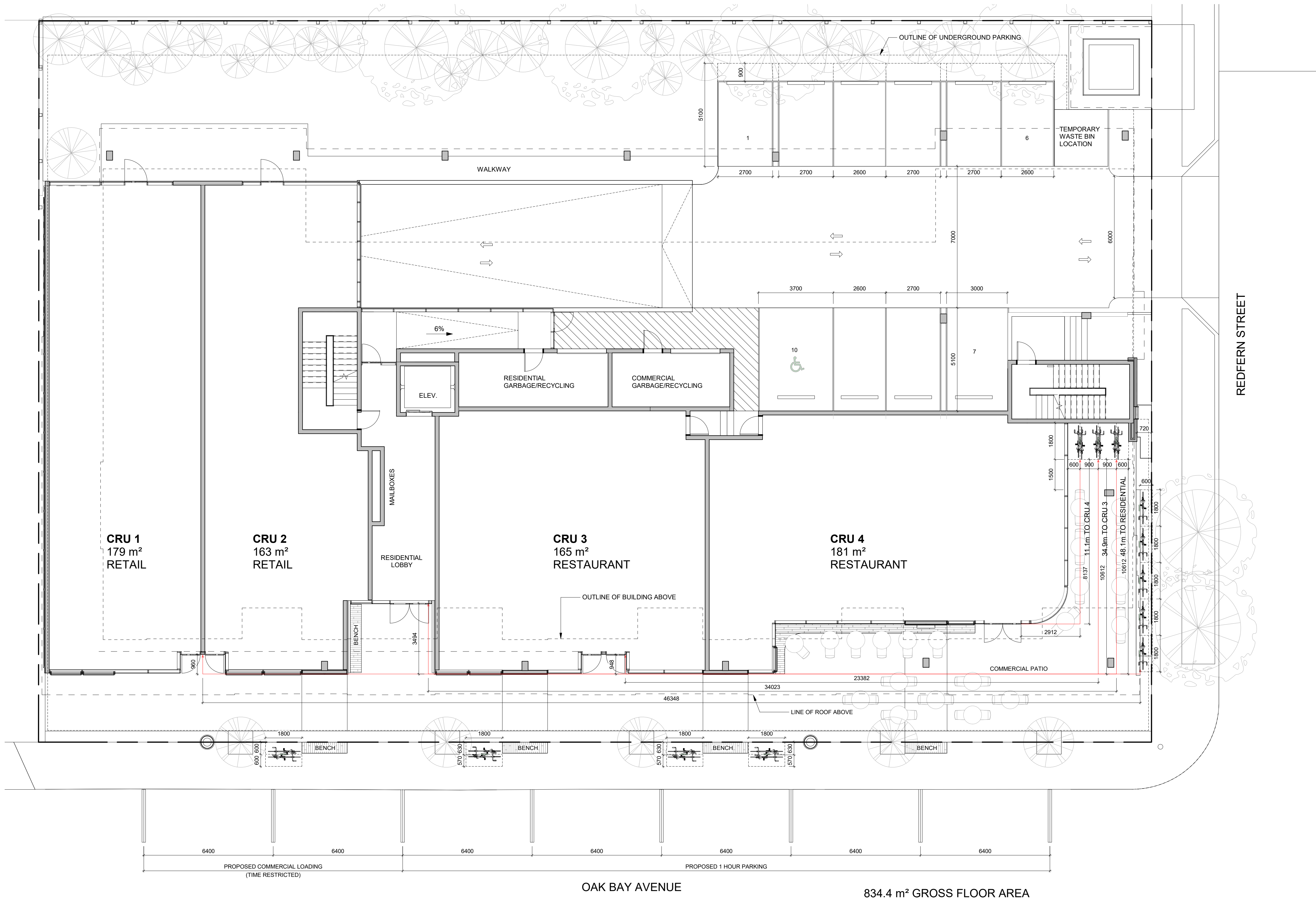
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



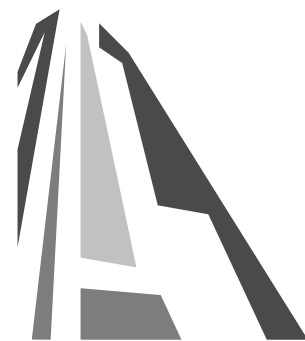
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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Parking Level Plan	
Date 2020/09/28	
Scale 1 : 100	Project # 1801
	Revision March 5, 2020 2
	Sheet # A2.00



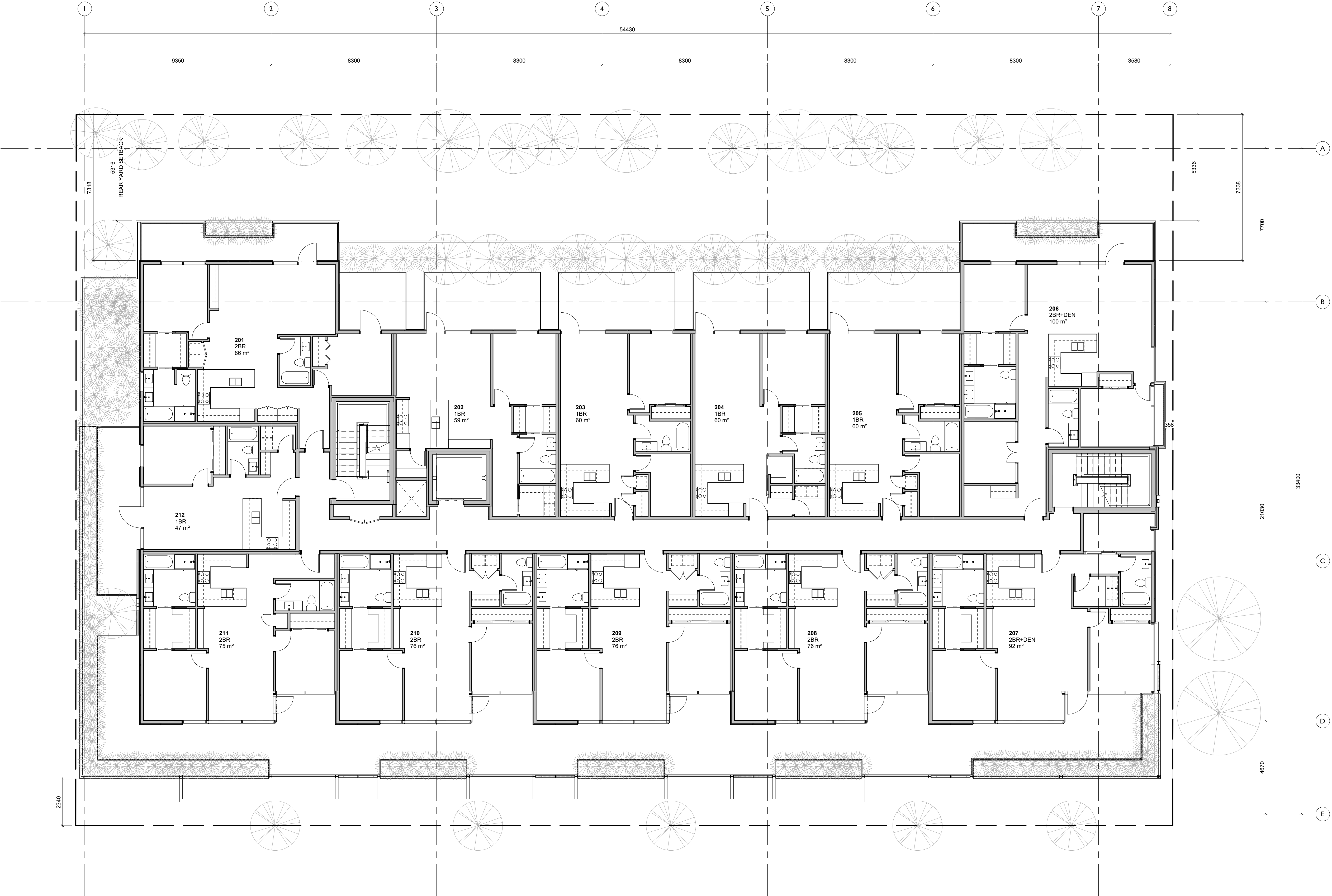
4	Re-Zoning & DP Rev 3	May 19, 2020
3	Re-Zoning & DP Rev 2	April 16, 2020
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Ground Floor Plan		
Date		
2020/09/28		
Scale		Project #
1 : 100		1801
Revision		Sheet #
May 19, 2020		4
		A2.01

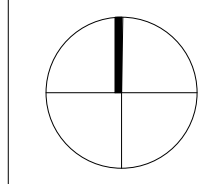


1,004.85 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE


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Project



Jawl Residential
1920 Oak Bay Ave.
Oak Bay, BC

Sheet Name

Second Floor Plan

Date

2020/09/28

Scale

1 : 100

Project #

1801

Revision

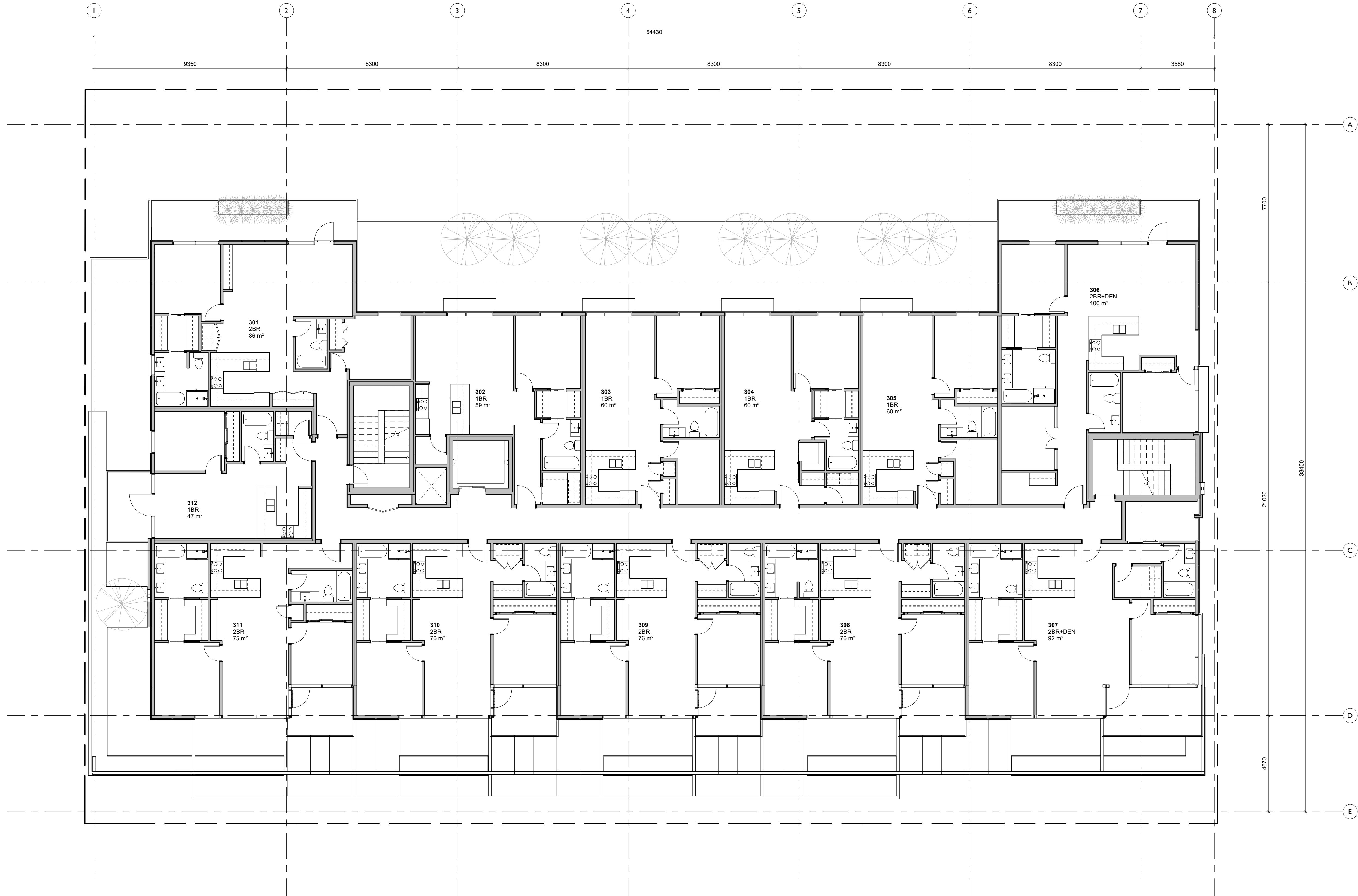
March 5, 2020

2

Sheet #

A2.02

9/28/2020 11:40:55 AM



1,004.85 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

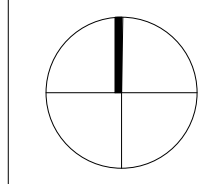
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project



Jawl Residential
1920 Oak Bay Ave.
Oak Bay, BC

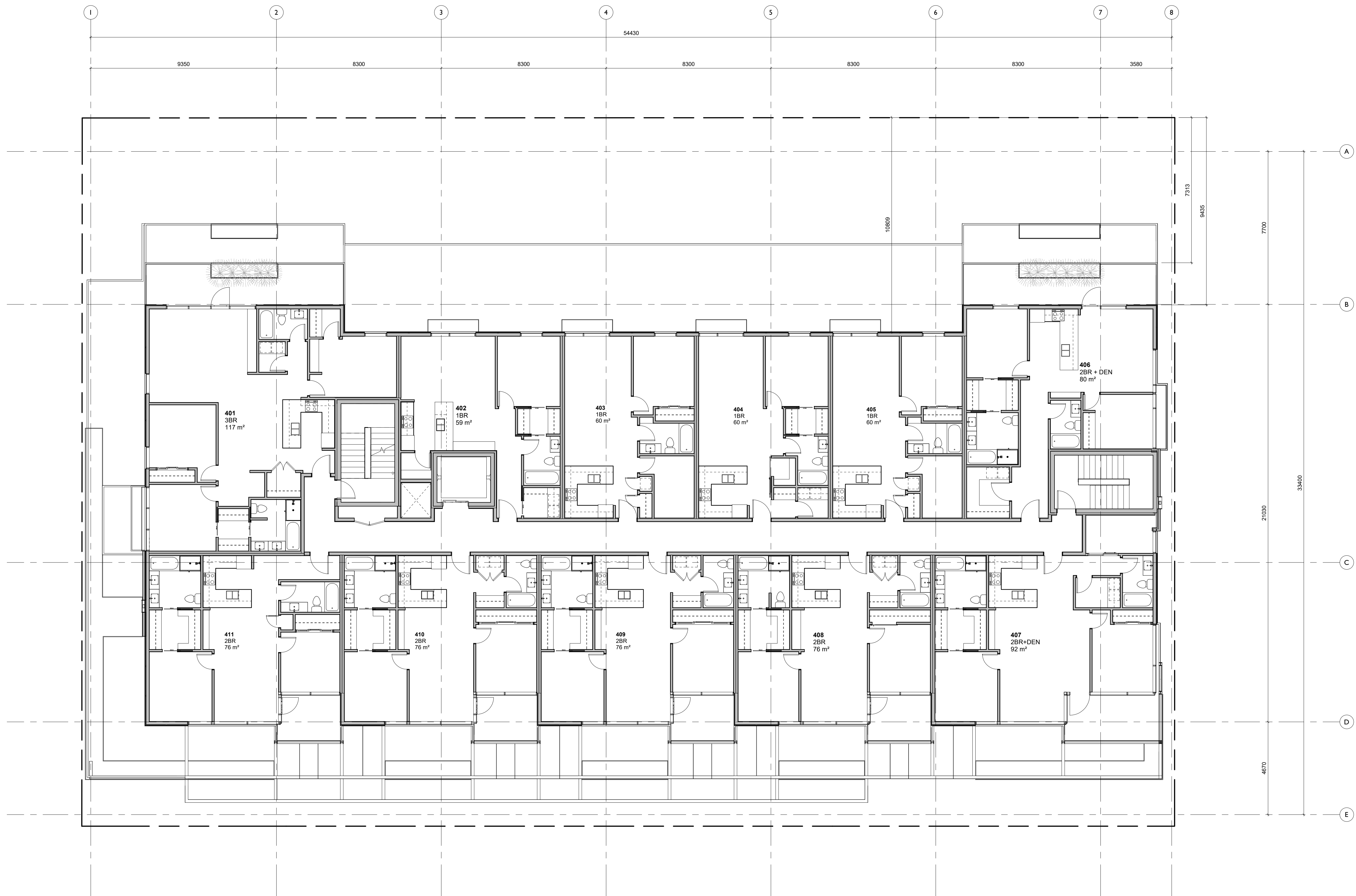
Sheet Name

Third Floor Plan

Date

2020/09/28

Scale	1 : 100	Project #	1801
		Revision	March 5, 2020
		Sheet #	A2.03



965.03 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

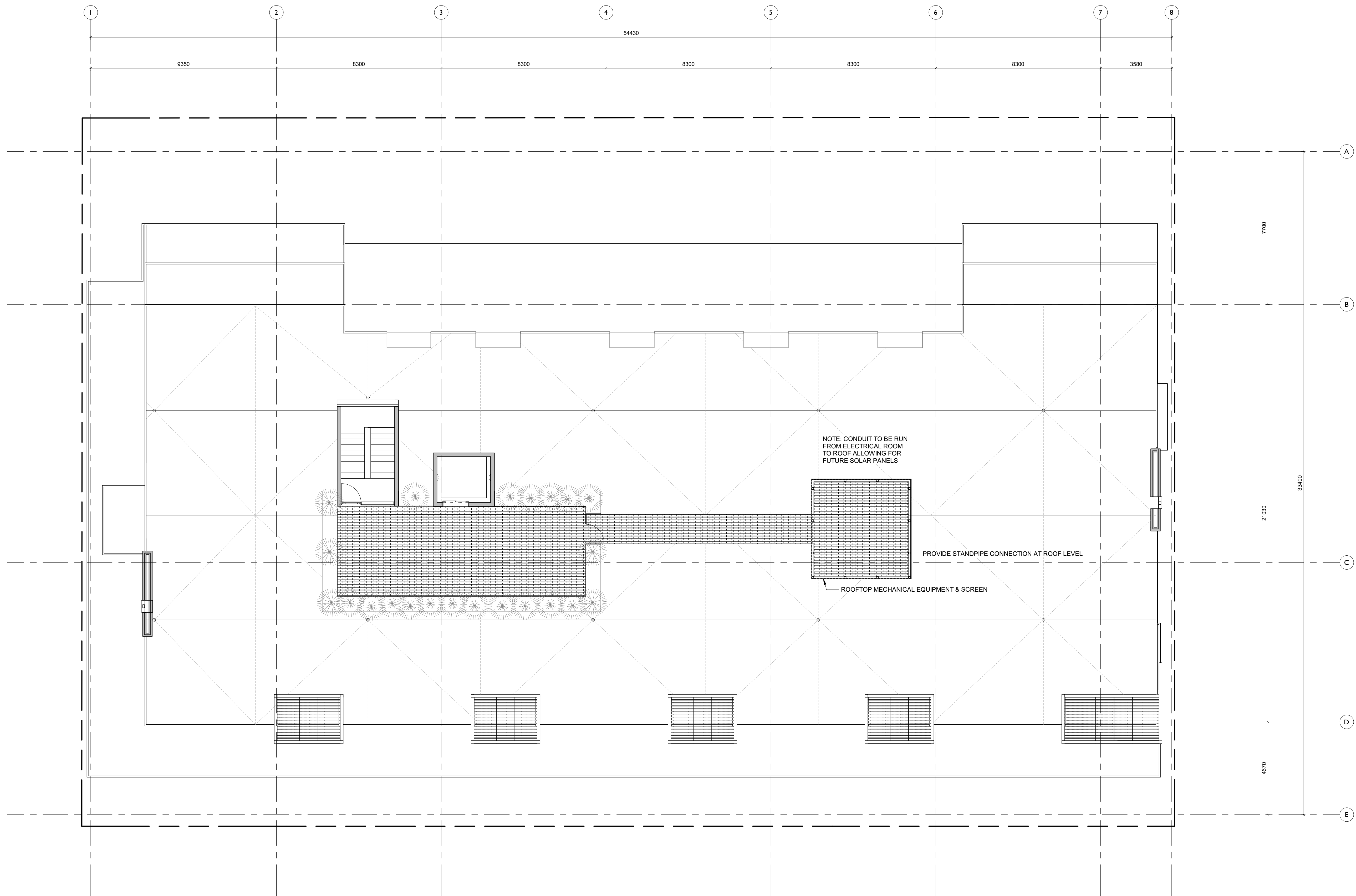
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Fourth Floor Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	
March 5, 2020	2
Sheet #	
A2.04	



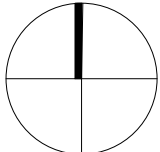
13.25 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

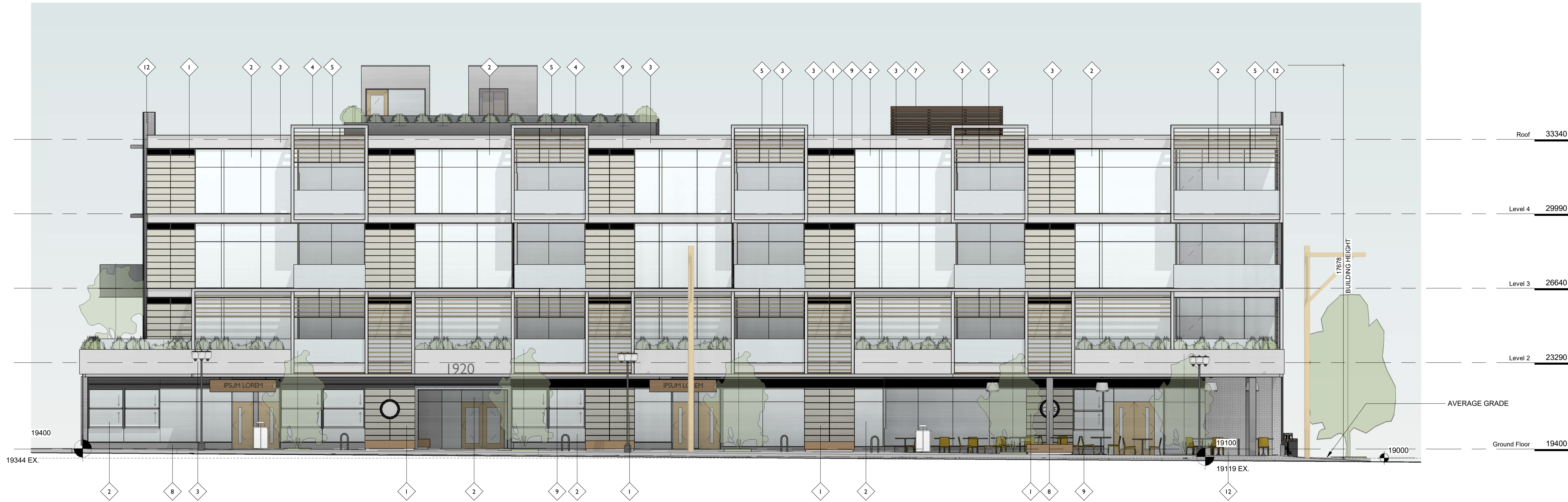
5	Re-Zoning & DP Rev 4	Sept 28, 2020
3	Re-Zoning & DP Rev 2	April 16, 2020
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Roof Plan	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
Revision	5
Sept 28, 2020	
Sheet #	A2.05



1 South Elevation
1 : 100



2 East Elevation
1 : 100

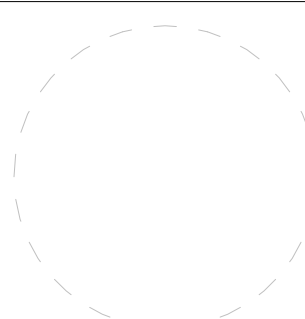
MATERIALS LEGEND	
1 CEMENTITIOUS PANEL CLADDING	7 CLEAR SEALED WOOD
2 TRANSPARENT GLAZING	8 CONCRETE
3 PRE-FINISHED METAL	9 METAL LOUVRE
4 PAINTED STEEL OR ALUMINUM	10 CONCRETE BLOCK
5 WOOD-TEXTURED SHADE SCREEN	11 WOOD FENCING
6 T&G CEDAR SOFFIT	12 BRICK

NO.	DESCRIPTION	DATE
5	Re-Zoning & DP Rev 4	Sept 28, 2020
4	Re-Zoning & DP Rev 3	May 19, 2020
3	Re-Zoning & DP Rev 2	April 16, 2020
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019



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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Elevations	
Date	
2020/09/28	
Scale	Project #
1 : 100	1801
	Revision
	Sept 28, 2020
	
Sheet #	A3.00



1 North Elevation
1 : 100

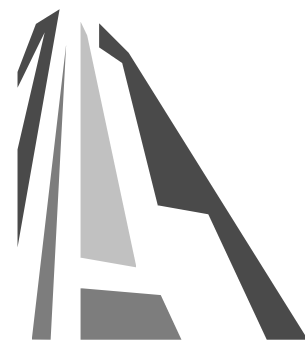


2 West Elevation
1 : 100

MATERIALS LEGEND

- | | |
|-------------------------------|---------------------|
| 1 CEMENTITIOUS PANEL CLADDING | 7 CLEAR SEALED WOOD |
| 2 TRANSPARENT GLAZING | 8 CONCRETE |
| 3 PRE-FINISHED METAL | 9 METAL LOUVRE |
| 4 PAINTED STEEL OR ALUMINUM | 10 CONCRETE BLOCK |
| 5 WOOD-TEXTURED SHADE SCREEN | 11 WOOD FENCING |
| 6 T&G CEDAR SOFFIT | 12 BRICK |

5	Re-Zoning & DP Rev 4	Sept 28, 2020
4	Re-Zoning & DP Rev 3	May 19, 2020
3	Re-Zoning & DP Rev 2	April 16, 2020
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Elevations		
Date		
2020/09/28		
Scale	Project #	
1 : 100	1801	
	Revision	5
	Sept 28, 2020	
	Sheet #	A3.01



VIEW FROM OAK BAY AVENUE & DAVIE STREET



VIEW FROM OAK BAY AVENUE LOOKING EAST



VIEW FROM OAK BAY AVENUE LOOKING WEST



1 Oak Bay Ave Context Elevation
1 : 200



2 Redfern St Context Elevation
1 : 200

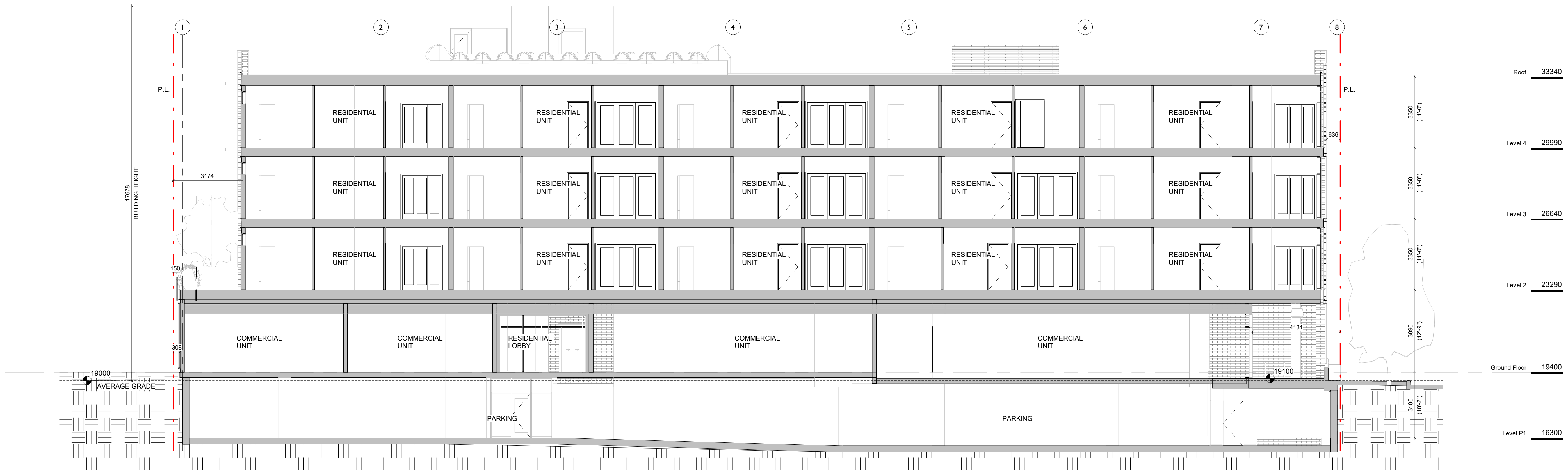
5	Re-Zoning & DP Rev 4	Sept 28, 2020
4	Re-Zoning & DP Rev 3	May 19, 2020
3	Re-Zoning & DP Rev 2	April 16, 2020
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



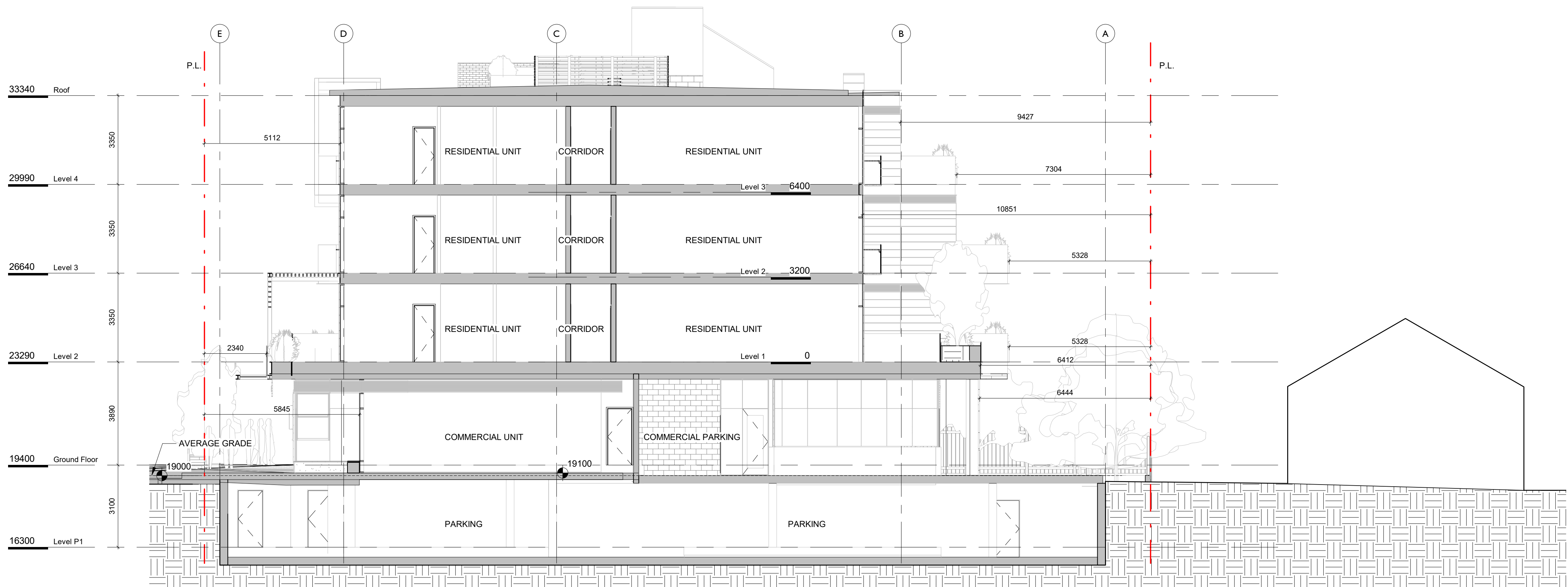
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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Context Elevations		
Date		
2020/09/28		
Scale	Project #	
1 : 200	1801	
Revision	Sept 28, 2020	5
	Sheet #	A3.02



1 Long Section
1 : 100



2 Cross Section
1 : 100

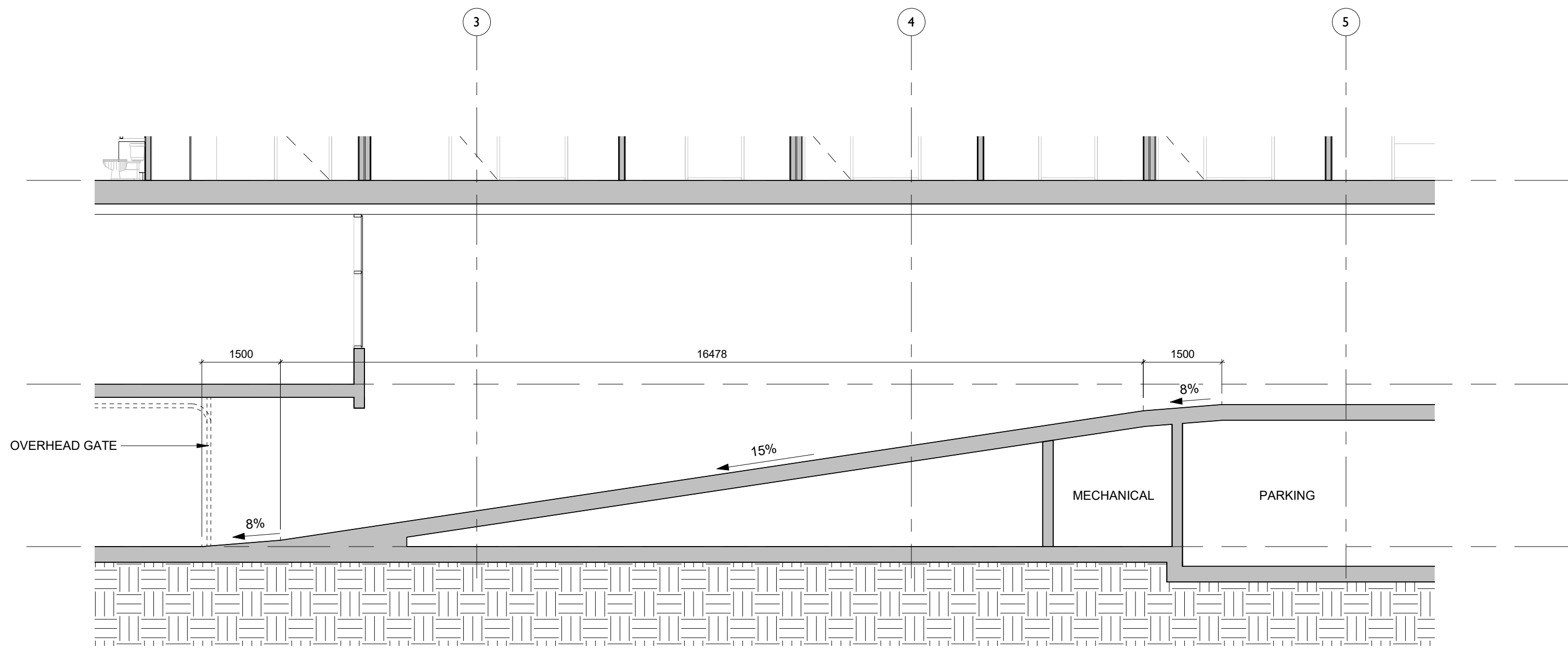
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4	Re-Zoning & DP Rev 3	May 19, 2020
3	Re-Zoning & DP Rev 2	April 16, 2020
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



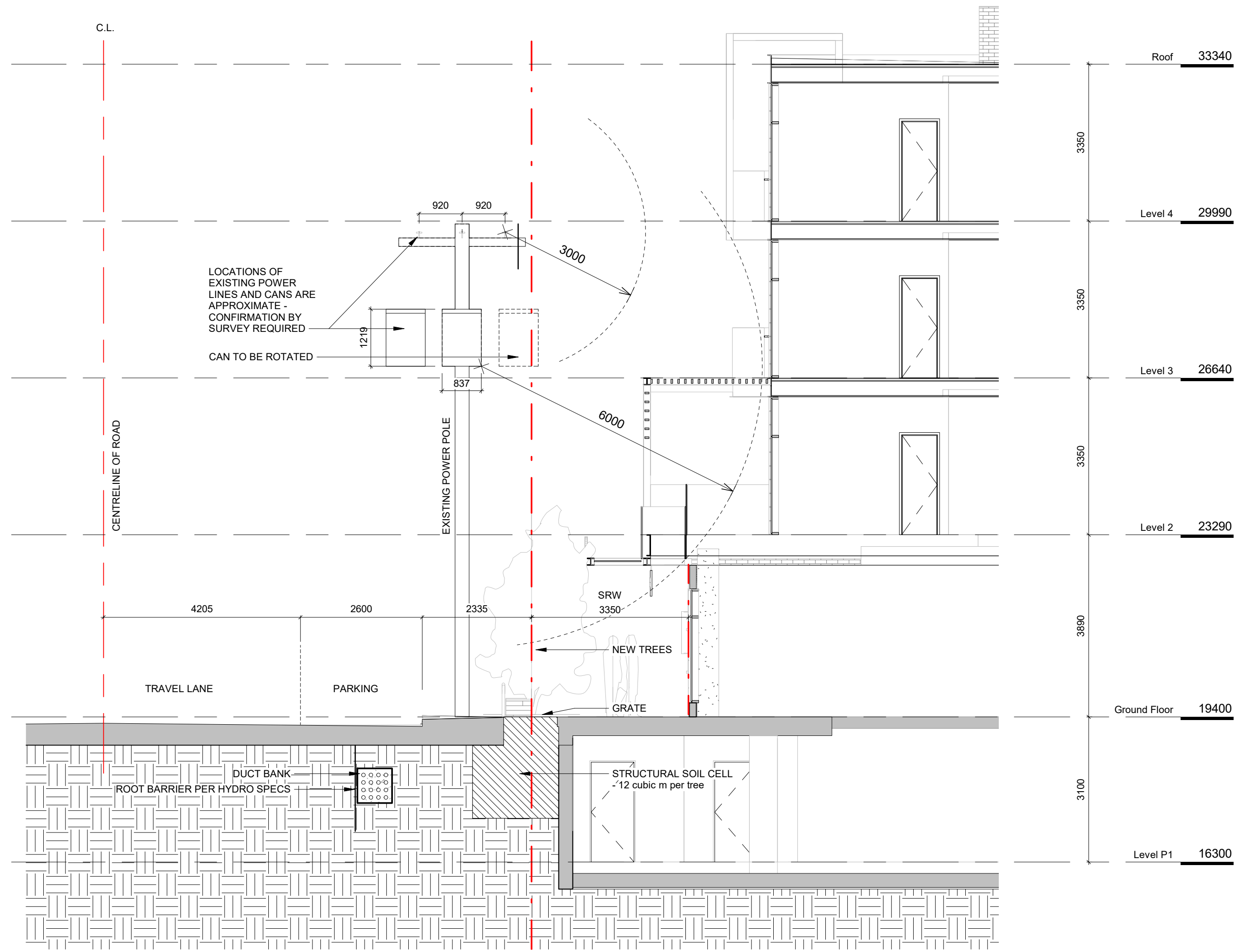
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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Building Sections		
Date		
2020/09/28		
Scale	Project #	
1 : 100	1801	
	Revision	5
	Sept 28, 2020	
	Sheet #	A4.00



2 Parking Ramp Section
1 : 75



1 Street Section
1 : 75

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Context Sections		
Date		
2020/09/28		
Scale	Project #	
1 : 75	1801	
	Revision	
	March 5, 2020	2
Sheet #		A4.01



VIEW FROM CORNER OF OAK BAY AVENUE & REDFERN STREET



VIEW REDFERN STREET LOOKING TOWARDS OAK BAY AVENUE



RESIDENTIAL LOBBY



COMMERCIAL CORNER PATIO

3	Re-Zoning & DP Rev 2	April 16, 2020
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE

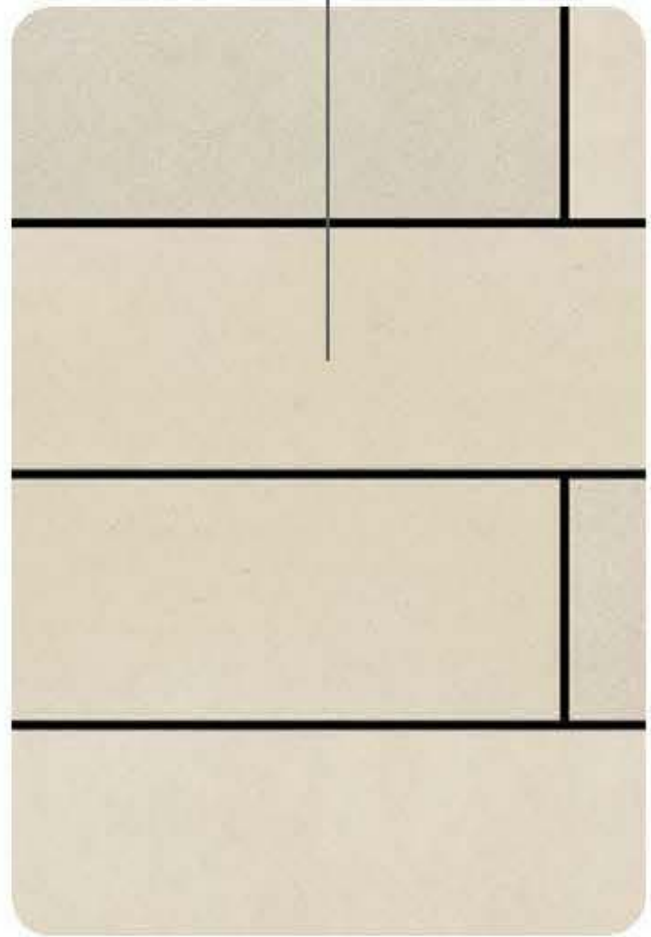


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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Perspectives		
Date		
2020/09/28		
Scale	Project #	
1 : 20	1801	
Revision		
April 16, 2020		3
Sheet #		
A9.00		

PROJECT MATERIALS



PANEL



BRICK



PAVING



GLASS



CONCRETE



PLANTING

ACCENT



WOOD



METAL

CLADDING

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Materials		
Date		
2020/09/28		
Scale	Project #	1801
	Revision	March 5, 2020
	2	
	Sheet #	A9.01

1525 DAVIE ST.

1516 REDFERN ST.

NEIGHBOURING FRUIT TREES. WORK WITHIN THIS ZONE TO FOLLOW ARBORISTS RECOMMENDATIONS. REFER TO ARBORISTS PLAN FOR FULL DETAILS.

CONCRETE CURB UPSTAND C/W WOOD FENCE ALONG THIS PROPERTY LINE.

SHED

TR-06

TR-07

SHED

SHED

RAIN GARDEN

RAIN GARDEN

RAIN GARDEN

PMT

BUILDING ABOVE

150MM HIGH CURB C/W DRAINAGE INLETS FOR RAIN GARDEN COLLECTION.

3m SIGHTLINE TRIANGLE AS PER CoV HIGHWAY ACCESS BYLAW - SCHEDULE C.

PARKADE RAMP

DRIVEWAY CROSSING BY CIVIL ENGINEER TO CoV BYLAWS.

CLIMBING VINES

CHURCH PROPERTY

LEVEL 1

SEATING BENCH AS PER CoV 'URBAN VILLAGE' SUITE (TYP.).

BLUE DASHED LINE DENOTES SRW LINE.

SEATING BENCH AS PER CoV 'URBAN VILLAGE' SUITE (TYP.).

BUILDING ABOVE

AWING ABOVE

PROPOSED RAIN PLANTER

PROPOSED HYDRO VAULT, SEE CIVIL.

REDFERN STREET

TR-02

TR-03

TR-04

TR-05

GARBAGE RECEPTACLE AS PER CoV 'URBAN VILLAGE' SUITE (TYP.).

GARBAGE RECEPTACLE AS PER CoV 'URBAN VILLAGE' SUITE (TYP.).

MATERIALS AND DESIGN OF MUNICIPAL R.O.W. TO BE DETERMINED.

STREET TREE IN TREE GRATE AS PER CITY OF VICTORIA STREETSCAPE DESIGN (TYP.).

EXISTING U/G BC HYDRO VAULT. STREET TREE MOVED TO AVOID THIS.

HATCHED AREA DENOTES EXTENT OF STRUCTURAL SOIL CELLS.

BOULEVARD IRRIGATION POINT OF CONNECTION. REFER TO CIVIL DRAWINGS.

APPROX 12 CU. M. OF SOIL VOLUME PER TREE @ AVERAGE 900MM DEPTH GROWING MEDIUM.

EXISTING FIRE HYDRANT.

LET DOWN, REFER TO CIVIL DRAWINGS

APPROX 12 CU. M. OF SOIL VOLUME PER TREE @ AVERAGE 800 MM DEPTH GROWING MEDIUM. ACHIEVED USING STRUCTURAL SOIL CELLS UNDER SIDEWALK.

ABD TRACKS

OAK BAY AVENUE



TREE SUMMARY

New Trees Proposed On-site: 40 (L1, L2 and Roof)
New Trees Proposed Off-site: 7

Refer L3.01 Planting Plan for additional information. Final species to be determined in consultation with City of Victoria Parks staff.

REFER TO CURRENT ARBORIST'S TREE MANAGEMENT PLAN BY GYE & ASSOCIATES FOR FULL DETAILS.

LEGEND

- PROPERTY LINE
- STATUTORY RIGHT OF WAY
- EXTENT OF PARKADE, BELOW
- BUILDING LINE ABOVE
- RAIN GARDEN - TOP OF POOL
- RAIN GARDEN - BOTTOM OF POOL
- MUNICIPAL SIDEWALK: CAST IN PLACE CONCRETE C/W BROOM FINISH & TOOLED CONTROL JOINTS. JOINT PATTERN AS PER CITY OF VICTORIA, SHOWN INDICATIVELY.
- CAST IN PLACE CONCRETE C/W BROOM FINISH & TOOLED CONTROL JOINTS.
- UNIT PAVING TYPE 1: STANDARD SERIES, 225x112x60MM, RUNNING BOND PERPENDICULAR TO BUILDING, COLOUR: 50% NATURAL, 50% SHADOW.
- UNIT PAVING TYPE 2: PIAZZA SERIES, 600x400x100x100MM, OFFSET RUNNING BOND PARALLEL TO BUILDING, COLOUR: CHARCOAL.
- UNIT PAVING TYPE 3 (VEHICULAR): STANDARD SERIES, 225x112x80MM, 90° HERRINGBONE C/W SOLIDER COURSE BORDER, COLOUR: SHADOW C/W CHARCOAL BORDER.
- UNIT PAVING TYPE 4 (PATIO): HYDRA-PRESSED SLAB PAVERS. TEXADA, 610x610x50MM, COLOUR: NATURAL.
- LAWN AREA
- SHRUB PLANTING AREA
ORNAMENTAL AND AMENITY PLANTINGS. SPECIES TO INCLUDE NATIVE AND APPROPRIATE NON-NATIVE SPECIES THAT ARE ADAPTED TO SITE CONDITIONS, CLIMATE AND DESIGN INTENT.
- RAIN GARDEN AREA
- LANDSCAPE BUFFER. SEE PLANTING PLAN.
- SOLID FENCE, 1.8M HEIGHT MAX., WOOD CONSTRUCTION TO CoV BYLAW, TOP MOUNTED TO CURB.
- BIKE RACK (SEE ARCH PLANS FOR NUMBERS)
- SITE FURNISHINGS, MUNICIPAL PROPERTY:
The City of Victoria will provide the types, colours and specifications for the Urban Village suite of public furnishings prior to building permit submission.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IABAC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

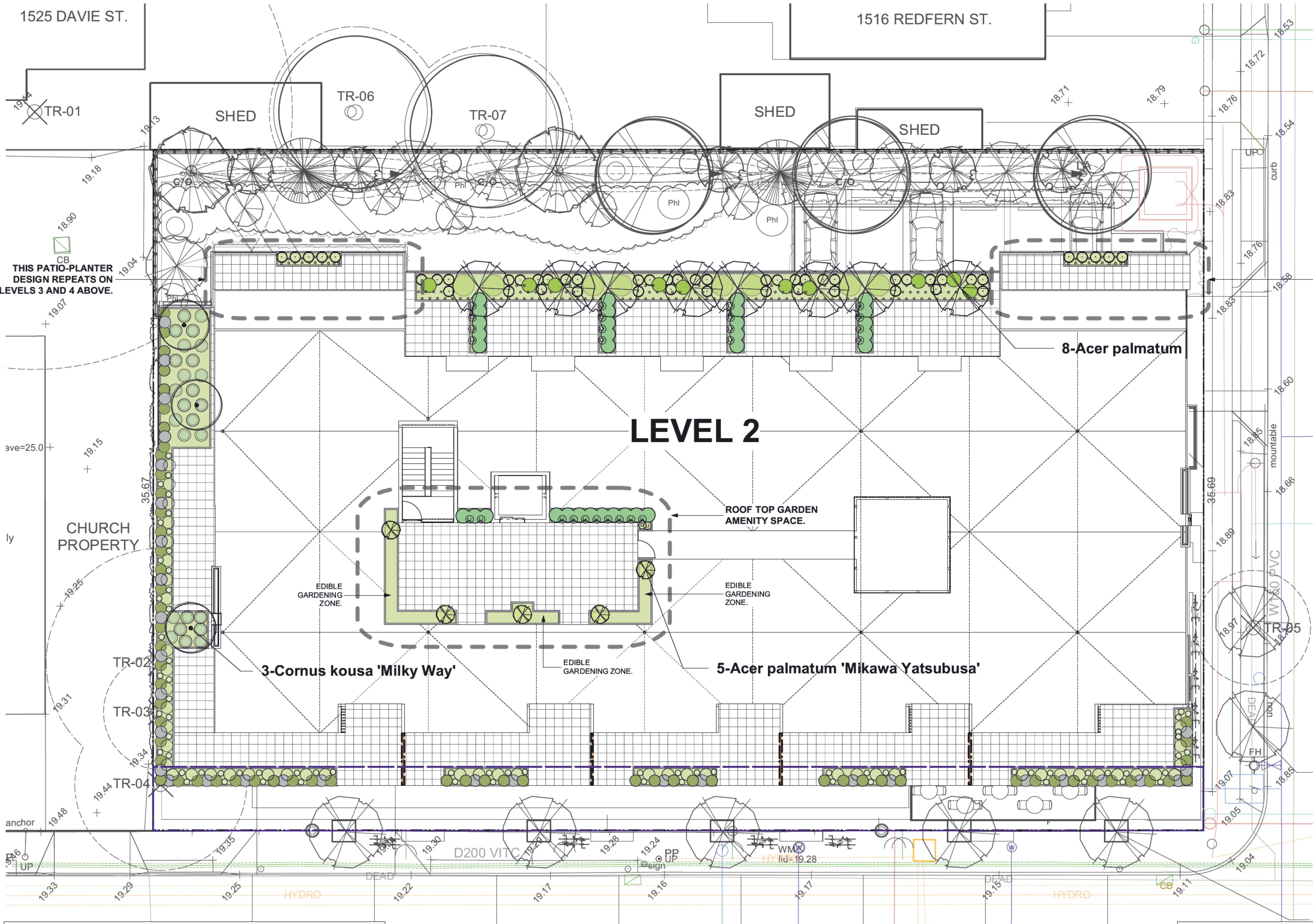


rev no	description	date
5	DEP/REZ. REV.4	SEPT.28.2020
4	DP/REZ. REV.3	JUN.22.2020
3	DP/REZ. REV.2	APR.20.2020
2	DP/REZ. REV.1	MAR.05.2020
1	DP/REZONING	APR.24.2019

Murdoch de Greeff INC
Landscape Planning & Design
230 - 554 Columbia Road
Victoria, BC V8Z 1G1
Phone: 250.412.2881
Fax: 250.412.2882

BRITISH COLUMBIA SOCIETY OF
REGISTERED MEMBER
Scott Murdoch
341
2020-09-28

client	JAWL RESIDENTIAL
project	1920 OAK BAY AVE 1920 OAK BAY AVE VICTORIA, BC
sheet title	Landscape Materials
project no.	118.30
scale	1: 100 @ 24"x36"
drawn by	JK/JD
checked by	SM
revision no.	5
sheet no.	L1.01



LEGEND

- PROPERTY LINE
- UNIT PAVING: HYDRA-PRESSED SLAB PAVERS
- SHRUB PLANTING AREA WITHIN PRE-FABRICATED RAISED PLANTER.
- ARCHITECTURAL PRIVACY SCREEN BY OTHERS. REFER ARCH. DWGS.

PLANTING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- All planters to be filled with voiding foam or other suitable voiding material to limit maximum soil depth. Structural engineer to confirm maximum soil depth (assumed 450-600mm - TBD).
- Each patio to receive independent irrigation system for planters. Allow for hose bib connection c/w residential grade backflow device, battery controller and suitable dripline and/or micro sprays. Conceal irrigation equipment. Provide conduit sleeving through base of aluminum planters for irrigation lines.

THIS PATIO-PLANTER DESIGN REPEATS ON LEVELS 3 AND 4 ABOVE.

PLANT LIST - ROOF LEVEL

Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
5		Acer palmatum 'Mikawa Yatsubusa'	Japanese Maple	min. 1m height
SHRUBS/FERNS/GRASSES/VINES:				
Lim	12	Liriope muscari	Lily turf	#1 pot
Tax	12	Taxus x media	Hybrid Yew	#5 pot

PLANT LIST - LEVEL 2, 3, & 4

Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
8		Acer palmatum	Japanese Maple	3.0m ht, b&b
3		Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b
SHRUBS/FERNS/GRASSES/VINES:				
Anl	26	Anemathely lessoniana	Pheasant's Tail Grass	#1 pot
Arc	63	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Ctp	75	Carex testacea 'Prairie Fire'	Prairie Fire Sedge	Sp3
Cda	31	Cotoneaster dammeri	Bearberry	#1 pot / 50 cm O.C.
Gsh	198	Gaultheria shallon	Salal	#1 pot
Hto	70	Hebe topiaria	Topiari's hebe	#1 pot
Lim	16	Liriope muscari	Lily turf	#1 pot
Lp	48	Lonicera pileata	Privet Honeysuckle	#2 pot
Ma	8	Mahonia aquifolium	Oregon Grape	#3 pot
Tax	20	Taxus x media	Hybrid Yew	#5 pot
Vo	10	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#1 pot
0				

LEGEND

- PROPERTY LINE
- UNIT PAVING: HYDRA-PRESSED SLAB PAVERS
- SHRUB PLANTING AREA WITHIN PRE-FABRICATED RAISED PLANTER.
- ARCHITECTURAL PRIVACY SCREEN BY OTHERS. REFER ARCH. DWGS.

PLANTING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- All planters to be filled with voiding foam or other suitable voiding material to limit maximum soil depth. Structural engineer to confirm maximum soil depth (assumed 450-600mm - TBD).
- Each patio to receive independent irrigation system for planters. Allow for hose bib connection c/w residential grade backflow device, battery controller and suitable dripline and/or micro sprays. Conceal irrigation equipment. Provide conduit sleeving through base of aluminum planters for irrigation lines.

THIS PATIO-PLANTER DESIGN REPEATS ON LEVELS 3 AND 4 ABOVE.

5	DEP/REZ. REV.4	SEPT.28.2020
4	DP/REZ. REV.3	JUN.22.2020
3	DP/REZ. REV.2	APR.20.2020
2	DP/REZ. REV.1	MAR.05.2020
1	DP/REZONING	APR.24.2019
rev no	description	date

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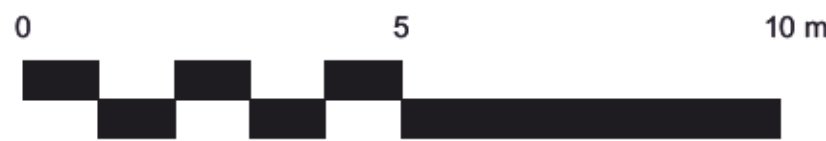
BRITISH COLUMBIA SOCIETY OF
REGISTERED
MEMBER
Scott Murdoch
341
2020-09-28

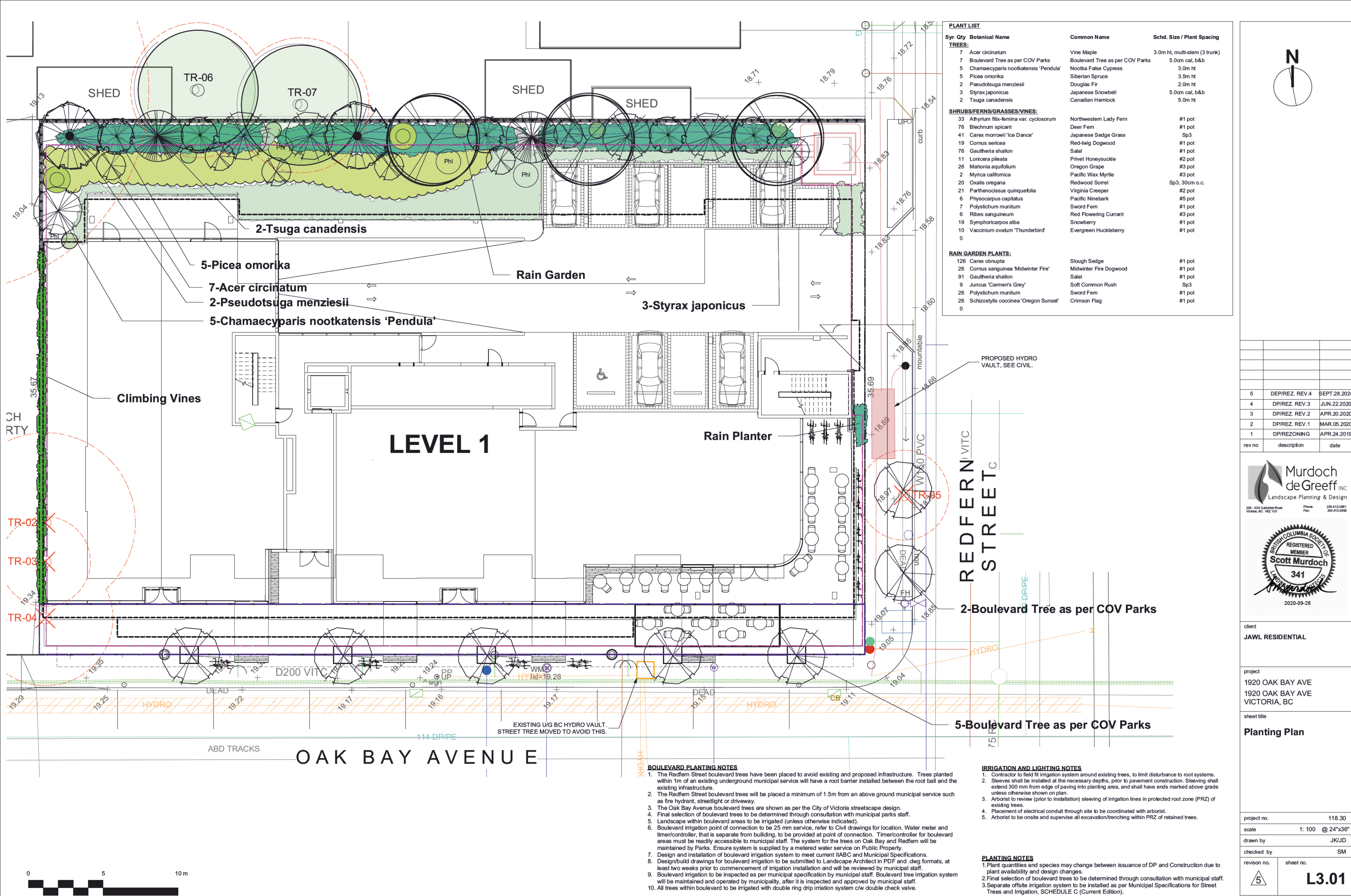
client
JAWL RESIDENTIAL

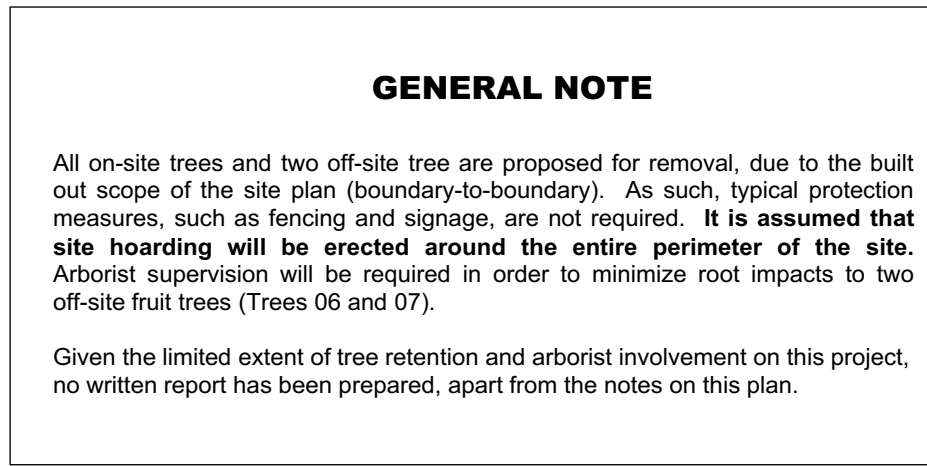
project
1920 OAK BAY AVE
1920 OAK BAY AVE
VICTORIA, BC

sheet title
Level 2 Landscape Materials & Planting Plan

project no.	118.30
scale	1: 100 @ 24"x36"
drawn by	JK/JD
checked by	SM
revision no.	sheet no.
5	L1.02







- | TREE TABLE | | | | | | | | | |
|-------------|------------------|----------------|----------|------------------|--------|----------------------|-----------------------|-------------------------|-----------------|
| G&A Tree ID | Common Name | DBH (cm) | PRZr (m) | Crown Radius (m) | Health | Structural Condition | Bylaw Protected Tree? | Comments | Recommendations |
| 01 | Garry oak | 90 | 13.5 | 6 | Poor | Fair | Yes | Off-site tree (no tag) | Remove |
| 02 | Sycamore maple | 10+10+10+5+5+5 | 6 | 2 | Fair | Poor | No | On-site tree (no tag) | Remove |
| 03 | Silver birch | 15+15 | 4 | 3 | Good | Good | No | On-site tree (no tag) | Remove |
| 04 | Sweetgum | 30 | 4.5 | 4 | Good | Fair | No | On-site tree (no tag) | Remove |
| 05 | Flowering cherry | 17 | 3 | 2 | Good | Good | No | Boulevard tree (no tag) | Remove |
| 06 | Fruiting apple | 30 | 4.5 | 4 | Fair | Good | Yes | Off-site tree (no tag) | Protect |
| 07 | Fruiting plum | 30 | 4.5 | 4 | Good | Good | Yes | Off-site tree (no tag) | Protect |

LEGEND

— edge of disturbance/ excavation

CONIFER

TREE CANOPY

TREE CENTRE

PROTECTED ROOT ZONE

Trees to be retained undisturbed

TREE FENCING

DECIDUOUS

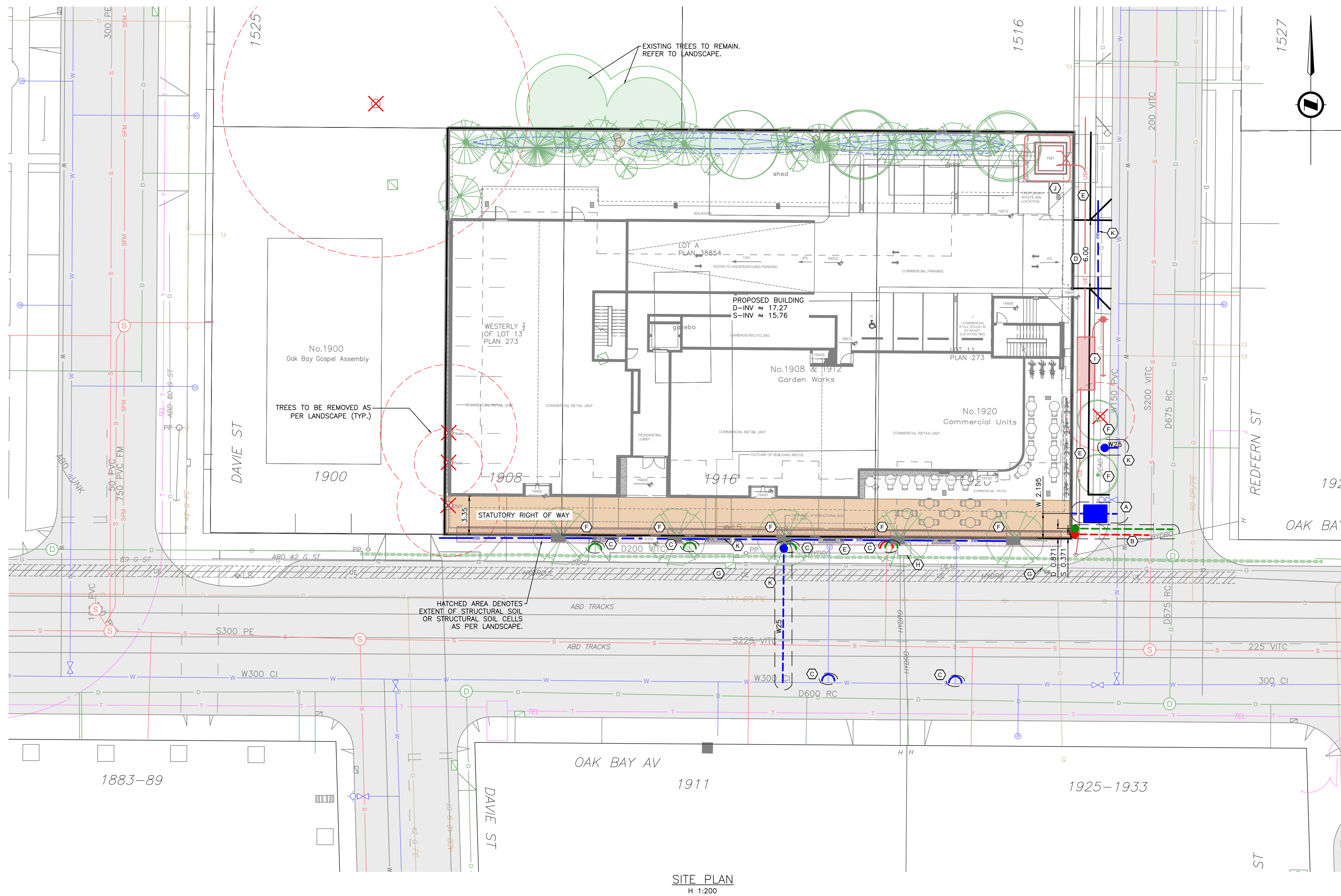
RT

REPLACEMENT TREE

TREE TAG #

REMOVE TREE SYMBOL

Trees to be removed



SHEET NOTES:

- (A) CITY OF VICTORIA TO INSTALL 150mm FIRE AND 100mm DOMESTIC WATER SERVICE AT DEVELOPERS EXPENSE.
- (B) CITY OF VICTORIA TO INSTALL 150mm SANITARY AND DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBERS AT DEVELOPERS EXPENSE.
- (C) CITY OF VICTORIA TO CAP EXISTING SERVICES AT DEVELOPERS EXPENSE.
- (D) CONTRACTOR TO INSTALL 6.0m DRIVEWAY TO CITY OF VICTORIA STANDARDS.
- (E) CONTRACTOR TO REMOVE EXISTING SIDEWALK AS NEEDED AND INSTALL NEW SIDEWALK TO CITY OF VICTORIA STANDARDS.
- (F) CONTRACTOR TO INSTALL NEW BOULEVARD TREES. SEE LANDSCAPE DESIGN.
- (G) CONTRACTOR TO REINSTATE CATCHBASINS AS NEEDED.
- (H) BC HYDRO TO ADJUST LID AT DEVELOPERS EXPENSE.
- (I) BC HYDRO TO INSTALL HYDRO POLE, VAULT AND UNDERGROUND SERVICING AT DEVELOPERS EXPENSE.
- (J) CONTRACTOR TO COORDINATE WITH UTILITY AS REQUIRED.
- (K) CONTRACTOR TO INSTALL IRRIGATION SERVICES AND SLEEVES AS REQUIRED.



KEY PLAN
NTS

OAK BAY AVE & REDFERN
PRELIMINARY SERVICING

Scale
horiz. 1:200
Sheet 1 of 1
Eng. Project No. 31757

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ISSUED FOR DEVELOPMENT PERMIT

