

REISSUED FOR DEVELOPMENT PERMIT
APRIL 11, 2022



257 BELLEVILLE STREET
VICTORIA, BRITISH COLUMBIA

Prepared for the City of Victoria on behalf of ADZ Properties Ltd.

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architectural

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landscape

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Revisions

Received Date:
October 28, 2022

Deemed Date:
June 8, 2022

MUNICIPAL ADDRESS
257 BELLEVILLE STREET, VICTORIA, BC
LEGAL ADDRESS
LOT A, VICTORIA CITY, PLAN 21081

LAND USE DESCRIPTION
EXISTING: R-6S PROPOSED: R-6S

PROJECT STATISTICS			
	Existing Zoning Standard	Existing Building	Proposal
Zoning	R-6S		R-6S
Site Area (m²)	2000	2053.88	2053.88
Site Coverage (%)	45%	30%	53% 1092.56 870.14
Building Area Main Floor (m²)		619.15	
Gross Floor Area (above Grade excl. Balconies, incl mech.)			6153.22
Floor Space Ratio	3.00:1	0.90	2.995
Building Height (m)	30	15	32 (incl. mechanical penthouse)
Number of Floors	N/A	3	9
Setbacks (m)			
1. "North Elevation" GL 1-mid 6/7-8 GL 8-10 GL 10-13	0.0	21.86 3.64 2.30 3.51	5.94 3.00 0.19 3.585
2. "South Elevation"	2.5	2.23	2.50
3. "West Elevation" GL D-G GL A-D	4.5 0.4	4.8	4.575
Note: Existing Setbacks to relative proposed Gridlines		1.34 n/a	0.40 1.26
Open Space (%)	40%	31.7%	28.5%
Parking Stalls	40	25	78
Bicycle Parking	1.25/unit		6 @ Entry & 71 @ Main & Parkade Level

Net to Gross Ratio	1.28
Parkade Level P1 Area	1846 m²
Parkade Level P2 Area	1846 m²
Number of Floors above Grade	9 incl. Roof Top Mechanical (Laurel Point - 11)
Total Height @ Top of Parapet (excl. Mechanical Room)	30000mm (Laurel Point - 32000mm)
Floor to Floor Height (Typ.)	3350mm
Podium Floor to Floor	4500mm
Typ. Slab thickness	225mm
Zero Elevation	8.80m (center of Cross Street near Lobby)
Number of Units	32-57 (Max. 57 units)
Parking stall count	Min 40 required 78 stalls provided / including 6 Handicap and 6 Visitor U/G

GENERAL NOTES REGARDING UNITS:
Building makes use of an open plan concept. Unit sizes and types will vary depending on end-user's unit configuration. Number and type of unit will vary. Below is a sample configuration of the building.

Typical Unit Configuration	Avg. No.	Avg. Area/unit (m²)
1 BEDROOM	5	110
1 Bedroom & Den	15	125
2 BEDROOM	9	195
Ground Oriented Access	3	115

BUILDING AREA CALCULATION
BUILDING GROSS AREAS MEASURED TO THE INSIDE FACE OF THE EXTERIOR WALLS
OPEN SITE SPACE CALCULATION
CALCULATION BASED ON CITY OF VICTORIA "SCHEDULE A" DEFINITION OF OPEN SITE SPACE.
OPEN SITE SPACE MEANS THAT PORTION OF THE LOT: A) WHICH FROM THE SURFACE OF THE LOT IN A VERTICAL COLUMN UPWARD IS NOT OCCUPIED OR OBSTRUCTED BY THE BUILDING OR ITS PARTS EXCEPT 1) ACCESSORY GARDEN STRUCTURE 2) BALCONY OR ROOF PROJECTION B) WHICH IS GRADED AND LANDSCAPED

BUILDING CODE ANALYSIS	
BUILDING AREA	6054.44 M²
NUMBER OF STORIES	9
NO. OF STREETS	2
APPLICABLE CODE	BCBC 2018
MAJOR OCCUPANCY	C
Building is Classified under Section 3.2.2.47 Group C, Any Height, Any Area, Sprinklered	
SPRINKLERED	Yes
FIRE ALARMS REQUIRED	Yes
STANDPIPE & HOSE REQUIRED	Yes
CONSTRUCTION COMBUSTIBLE	No

FIRE RESISTANCE RATINGS	
ROOF	2 Hours
MEZZANINE	n/a
FLOORS	2 Hours
LOAD BEARING	2 Hours
FIREWALL REQUIREMENTS	TBC

SPATIAL SEPARATION & UNPROTECTED OPENINGS				
TABLE 3.2.3.1.C UNPROTECTED OPENING LIMITS FOR A BUILDING THAT IS SPRINKLERED THROUGHOUT - FOR GROUPS A, B, C, D AND F, DIVISION 3 OCCUPANCIES				
"NORTH ELEVATION"				
FLOOR	GRIDLINE	LIMITING DISTANCE	AREA	SHOWN
Main	S-7	PL - 12.18m	23.6m²	100%
Room: Mail Room R112				
Note: Allowable openings as per Code 100%				
Main	Mid 6/7-8	PL - 3.00m	41.2m²	39%
Room: Corridor R111				
Note: Allowable openings as per Code 40%				
Main - 5th	8-10	PL - 0.00m	32.3m²	0%
Room: Stair #03 & #04.				
Note: Allowable openings as per Code 0%.				
Main	10-13	PL - 3.62m	48.4m²	34%
Room: Unit #03 R120				
Note: Allowable openings as per Code 40%.				
2nd - 5th	Mid 6/7-8	PL - 3.00m	19.4m²	73%
Room: Units R212, R312, R412 & R512				
Note: Allowable openings as per Code 74%				
2nd & 3rd	10-12	PL - 3.62m	32.6m²	44%
Room: Units R214 & R314				
Note: Allowable openings as per Code 46%				
4th	10-11	PL - 3.62m	13.6m²	100 %
Room: Unit R413				
Note: Allowable openings as per Code 100%				
6th	Mid 6/7-9	PL - 3.00m	35.2m²	43%
Room: Unit R607				
Note: Allowable openings as per Code 46%				
7th	3-4	PL - 6.01m	15.8m²	100%
Room: Unit R706				
Note: Allowable openings as per Code 100%				
7th	4-5	PL - 7.80m	17.7m²	100%
Room: Unit R706				
Note: Allowable openings as per Code 100%				
7th	5-6	PL - 9.57m	14.9m²	100%
Room: Unit R706				
Note: Allowable openings as per Code 100%				
7th	Mid 6/7-8	PL - 3.00m	26.1m²	47%
Room: Unit R706				
Note: Allowable openings as per Code 52%				
All Eighth Floor 'North' Glazing @ 100% allowable Unprotected Openings				

"EAST ELEVATION"				
FLOOR	GRIDLINE	LIMITING DISTANCE	AREA	SHOWN
Main	C-Mid D/E	PL - 1.65m	28.3m²	17%
Room: Mail Room R112				
Note: Allowable openings as per Code 18%				
2nd - 7th	Mid C/D-D/E	PL - 1.65m	15.4m²	19%
Room: Unit R211, R311, R411, R511, R606 & R707				
Note: Allowable openings as per Code 20%				
2nd - 7th	Mid B/C-C/D	PL - 3.00m	15.3m²	72%
Room: Unit R211, R311, R411, R511, R606 & R706				
Note: Allowable openings as per Code 74%				
8th	Mid B/C-DE	PL - 3.00m	29.9m²	43%
Room: Unit R806				
Note: Allowable openings as per Code 46%				

COMPARTMENTALIZATION - SEPARATIONS
FIRE SEPARATIONS - GENERAL
3.1.8.1 General Requirements
3.3.4.2 Residential Occupancy, Fire Separations
ASSEMBLY OCCUPANCIES
3.3.2.2 In the case of gathering spaces at grade, or assembly functions
CORRIDOR SEPARATION
3.3.1.4 Public Corridor Separation
3.3.2.6 Corridors
EXIT ENCLOSURES
3.4.4 Fire Separation of Exits
FIRE STOPPING
3.1.9 Building Services in Fire Separations and Fire-Rated Assemblies
3.1.11 Fire Stops in Concealed Spaces
3.1.11.5 Fire Stopping of Horizontal Concealed Spaces
FLOOR ASSEMBLY RATINGS
3.2.2 Building Size and Construction Relative to Occupancy

INTERCONNECTED FLOOR SPACES
3.2.8 Mezzanines and openings through Floor Assemblies
3.2.8.2 (6) Interconnected Space conformity requirements
3.2.3.2 (3) Sprinklered Interconnected Spaces and exposed Building Face
3.2.2.2 Means of Egress from Mezzanines
JANITOR ROOMS
3.3.1.21 Janitor's Rooms
CONT'D

PENETRATION OF FIRE SEPARATIONS
3.1.9.4 Combustible Piping Penetrations
3.1.9.5 Openings Through a Membrane Ceiling
REPAIR GARAGES
3.3.5.5 N/A
ROOM WITH FUEL FIRE APPLIANCES
3.6.2.1 Fire Separations Around Service Rooms
3.6.2.2 Service Rooms Under Exits
3.6.2.3 Service Equipment
3.6.2.6 Door Swing for Service Rooms
SERVICE EQUIPMENT THROUGH FIRE SEPARATION
3.1.9.1 Fire Stopping of Service Penetrations
SERVICE ROOMS
3.6.2.1 Fire Separations Around Service Rooms
3.6.2.2 Service Rooms under Exits
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3.3.1.1 Separation of Suites
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3.1.3.1 Separation of Major Occupancies
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3.3.4.3 Storage Rooms
3.6.2.5 Combustible Refuse Storage
STORAGE GARAGES
3.3.5.6 Storage Garage Separation
VERTICAL SERVICE SPACES
3.3.5.6 Storage Garage Separation
VERTICAL SERVICE SPACES
3.1.8.3 Continuity of Fire Separations
3.1.9.1 Fire Stopping of Service Penetrations
3.5.3 Fire Separations
3.6.3.1 Fire Separations for Vertical Service Spaces
3.6.3.3 Linen and Refuse Chutes
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DAMPERS
3.1.8,7,8,9 Fire Dampers, Fire Dampers Waived, Installation of Fire Dampers

DOORS
3.1.8.4 Determination of Ratings
3.1.8.5 Installation of Closures
3.1.8.10 Twenty Minute Closures
3.1.8.11 Self-Closing Devices
DOOR LATCHES
3.1.8.13 Door Latches
HOLD OPEN DEVICES
3.1.8.12 Hold-Open Devices
MAXIMUM OPENINGS PERMITTED IN FIRE SEPARATIONS
3.1.8.6 Maximum Openings
SELF CLOSING DEVICES
3.1.8.11 Self Closing Devices
WIRED GLASS AND GLASS BLOCK
3.1.8.5 Installation of Closures
3.1.8.14 Wired Glass and Glass Block
MAXIMUM AREA OF GLASS IN EXITS AND FIREWALLS
3.1.8.15-16 Temperature Rise Limits, Area Limits for Wired Glass and Glass Block

SIZE AND OCCUPANCY REQUIREMENTS FOR FIRE SAFETY 3.2
BASEMENT FLOOR AND LOAD BEARING RATING
3.2.1.4 Floor Assembly Over Basement
BUILDING HEIGHT (NUMBER OF STOREYS) FIRST STOREY DEFINITION - MAX 2.0m ABOVE GROUND
3.2.1.1 8 Storeys
NUMBER OF STOREYS BUILDING IS FACING WITHIN 15.0m (3.2.2.10)
3.2.2.10 Fire Lanes Requirements
BUILDING CLASSIFICATION (BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY 3.2.2.20-83)
Classification Article - C Residential Construction Type - Non-Combustible Sprinklered - Yes
RATINGS
Floors
Roofs
Load Bearing
SPRINKLER REQUIREMENTS
3.2.5.13 Automatic Sprinkler Systems
FIRE ALARM REQUIREMENTS
3.2.4.1 Determination of Requirement for a Fire Alarm System
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SEPARATION OF SUITES
3.3.1.1 Separation of Suites
3.3.2 Assembly Occupancy
3.3.3 Care or Detention Occupancy
3.3.4 Residential Occupancy
3.3.5 Industrial Occupancy

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3.3.1.4 Public Corridor Separations
CORRIDOR SEPARATION - ASSEMBLY OCCUPANCY
3.3.2.6 Corridors
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3.3.1.5 Egress Doorways
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3.3.1.21 Fire Rating of 1 Hour
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3.3.4.3 Fire Rating of 1 Hour
REPAIR GARAGE SEPARATION
3.3.5.5 Fire Rating of 2 Hours
STORAGE GARAGE SEPARATION
3.3.5.6 Fire Rating of 1.5 Hours

EGRESS AND EXIT REQUIREMENTS 3.3.3.4
ACCESS TO EXIT DIMENSIONS (WIDTH)
3.3.1.9 1100mm Minimum Width
ACCESS TO EXIT DIMENSIONS (CLEARANCE)
3.3.1.8 (see 3.4.3.4) 2100mm Minimum Clearance
CORRIDORS
Corridor and Aisle Widths
3.3.1.9 1100mm minimum width
3.3.2.5 Aisle Seating (N/A)
3.3.3.3 Minimum of 1100mm wide
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3.3.1.9 (3) to 3.3.1.9 (6) Projections limited to 100mm into corridor
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CORRIDOR OBSTRUCTIONS IN EXITS
3.4.3.3 Exit Width Reduction

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3.3.1.13 Doors and Door Hardware
3.3.2.7 Doors
3.4.6.15 Door Release Hardware
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3.2.8.2 Exceptions to special protection
CONSTRUCTION REQUIREMENTS
2.2.8.3 Construction Requirements

SPRINKLERS
2.2.8.4 Building containing interconnected floor space shall be sprinklered throughout
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3.2.8.5 Vestibules
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3.2.8.7 Draft Stops

DOOR SWING
3.3.1.11 Door Swing
3.4.5.11 Direction of Door Swing
DOOR WIDTH
3.3.3.4 Doorway Width
3.4.3 Width and Length of Exits
3.4.6.10 Doors
ELECTROMAGNETIC LOCKS
3.4.6.15 (4) Door Release Hardware - Electromagnetic Locks
TRANSPARENT DOORS AND PANELS
3.3.1.19 Transparent Doors and Panels
3.4.1.8 Transparent Doors and Panels
WIRED GLASS IN DOORS
3.1.8.15 / 16 Temperature Rise Limit for Door / Area Limits for Wired Glass & Blocks
3.1.8.17 Temperature Rise and Area Limits Waived
EMERGENCY LIGHTING AND POWER
3.2.7.3 Emergency Lighting
3.2.7.4 Emergency Power for Lighting
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3.4.3.2 Exit Width
EXIT DIMENSIONS (HEADROOM CLEARANCE)
3.4.3.4 Headroom Clearance
LOCATION OF EXITS FROM FLOOR AREAS
3.4.2.3 Distance between Exits
3.4.2.5 Location of Exits

EXIT CAPACITY
3.4.3.2 Exit Width
EXIT THROUGH LOBBY
3.4.4.2 Exits Through Lobbies
EXIT SIGNAGE
3.4.5 Exit Signs
GUARDS
3.3.2.9 Guards
3.3.1.1.8 Guards
3.4.6.5 Guards
HANDRAILS
3.4.6.4 Handrails
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3.2.7.1 Minimum Lighting Requirements
OBSTRUCTIONS TO EGRESS
3.3.1.23 Obstructions
3.4.3.3 Exit Width Reduction
OCCUPANT LOAD
3.1.17 Occupant Load (3.1.17.1) 2 persons per sleeping room in a dwelling unit
RAMPS
3.3.1.14 Ramps and Stairways
3.4.1.4 Public Corridor Separations
3.4.6.7 Treads, Risers and Tactile Warning
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3.3.2.4 Fixed Seats
3.3.2.8 Fixed Bench Type Seats Without Arms
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3.4.6.3 Landings and Maximum Vertical Rise of Stair Flights
STAIR TREADS AND RISERS
3.3.1.14 Ramps and Stairways
3.3.1.16 Curved or Spiral Stairs
3.3.2.14 Risers for Stairs
3.4.6.7 Treads, Risers and Tactile Warning

STAIR WIDTH
3.4.3.1 Exit Width Based on Occupant Load
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3.4.2.5 Location of Exits

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3.4.4.2 Exits Through Lobbies

LIMITS IN LOBBIES USED AS EXITS
3.4.4.2 Exits Through Lobbies
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3.1.5.10 Combustible Interior Finishes
3.1.12 Flame Spread Rating and Smoke Developed Classification
3.1.13 Interior Finish
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3.8.3.4 Parking Stalls for Persons with Disabilities
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3.8.2.1 Application and Exemptions
3.8.2.3 Specific Requirements
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3.8.3.7 Assistive Living Devices
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3.8.3.5 Main Entrances
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3.8.3.17 Drinking Fountains
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3.8.3.2 Parking and Driveways

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3.8.3.14 Public Counters
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3.8.3.3 Ramps
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3.8.3.12 Directional Signs
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3.8.3.6 Seating Areas
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3.8.3.16 Public Telephones
WASHROOMS
3.8.2.3 Location and Washrooms
STALLS AND WATER CLOSETS
3.8.3.8
3.8.3.9
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3.8.3.10
LAVATORIES
3.8.3.11
UNIVERSAL TOILET ROOMS
3.8.3.12

FIRE ALARM SYSTEMS
DETERMINE THE NEED
3.2.4.1 Determination of Requirement for a Fire Alarm System
Full Fire Alarm System Required & Supplied

REQUIREMENT FOR DEVICES
3.2.4.10-12 Fire Detectors, Smoke Detectors, Prevention of Smoke Circulation
/ 15-17 System Monitoring, Manual Stations, Alert and Alarm Signals
/ 19-21 Visual Signals, Smoke Alarms, Voice Communications Systems
HOSE CABINET DESIGN
3.2.5.10/ .11 Hose Connections, Hose Stations
HOSE CABINET LOCATION
3.2.5.11 Hose Stations
STANDPIPE SYSTEM DESIGN
3.2.5.8 Standpipe System Design
PORTABLE FIRE EXTINGUISHERS
3.2.5.17 Portable Fire Extinguishers. For Types Required and Locations see BC Fire Code
HEALTH REQUIREMENTS
3.7.2.2 Water Closets
3.7.2.3 Lavatories

EXTERIOR WALL ASSEMBLY SCHEDULE
EXTERIOR WALL ABOVE GRADE:
• EXTERIOR FINISH - CLADDING TBD
• 50MM (R10) RIGID INSULATION ON
• 100 MM Z-GIRTS
• AIR BARRIER MEMBRANE
• 15.9 MM EXTERIOR SHEATHING
• 152MM STEEL STUDS CW
• RSI 3.5 (R20) BATT INSULATION
• VAPOUR BARRIER
• GYPSUM WALL BOARD
• PAINT FINISH
THE USE OF HIGHLY CONDUCTIVE METAL FRAMING IS OFFSET THROUGH THE USE OF A CONTINUOUS LAYER OF RIGID INSULATION OVER THE MAIN MEMBERS. FOUNDATION WALLS INCLUDE THE CONTINUATION OF RIGID INSULATION FROM THE ASSEMBLY ABOVE TO 1220MM (4 FEET) BELOW GRADE.
FOUNDATION WALL BELOW GRADE:
• GRAVEL
• DRAINAGE LAYER
• BENTONITE LAYER (IF REQUIRED)
• FOUNDATION WATERPROOFING
• CONCRETE FOUNDATION WALL

WINDOWS
FRAME
CLEAR ANODIZED ALUMINUM WINDOW-WALL SYSTEM. THE INTERIOR FRAMES MAY BE WOOD CLAD WITH MILLED WOOD SILLS. THE FRAME SIDE OF EACH WINDOW IS TO CONFORM TO A PRECISE SEQUENCE OF MEMBRANE INSTALLATION. THE VAPOUR BARRIERS, AND AIR BARRIERS MUST TIE INTO THE ROUGH OPENING OF ALL WINDOW SYSTEMS AT THE WINDOW PLANE.
GLAZING
THE GLAZING DOUBLE GLAZED WITH A LOW-E COATING ON SURFACE 3 FOR THE SEALED UNIT. CONSIDER GLAZING AND FRAMES OF THE HIGHEST AFFORDABLE INSULATING VALUE AND THERMAL PERFORMANCE. AN ADDITIONAL TINT IS RECOMMENDED ON THE GLASS TO REDUCE SOLAR HEAT GAIN.
SOLAR SHADING
HORIZONTAL SOLAR SHADING DEVICES AND OVERHANGS MAY BE USED TO REDUCE SOLAR GAIN EXPOSURE ON THE SOUTH FACADE. ADDITIONAL VERTICAL SHADING DEVICES MAY BE USED ON THE EAST AND WEST FACADES IF REQUIRED AS WELL. FINALLY, THE SLENDER MASSING AND STEPPING ALLOWS FOR INCREASED DAYLIGHT ACCESS.

DRAWING REFERENCE SYMBOLS:
DETAIL NUMBER SHEET NUMBER WHERE LOCATED
ELEVATION NUMBER SHEET NUMBER WHERE LOCATED
SECTION NUMBER SHEET NUMBER WHERE LOCATED
ELEVATION NUMBER
INTERIOR ELEVATION NUMBER SHEET NUMBER WHERE LOCATED
INTERIOR ELEVATION NUMBER ELEVATION NUMBER SHEET NUMBER WHERE LOCATED
DRAWING NUMBER DRAWING TITLE
DRAWING SCALE SHEET NUMBER WHERE LOCATED
DRAWING NUMBER DRAWING TITLE
DRAWING SCALE SHEET NUMBER WHERE LOCATED SHEET NUMBER REFERENCED FROM
OBJECT NAME OBJECT HEIGHT FROM A GIVEN ELEVATION
SLOPE DIRECTION SLOPE INCREMENT
CEILING TYPE HEIGHT ABOVE FINISHED FLOOR
SUB KEYNOTE REFERENCE KEYNOTE REFERENCE NUMBER

SYMBOL LEGEND
INTERIOR WALL ASSEMBLY
EXTERIOR WALL ASSEMBLY
ROOF ASSEMBLY
FLOOR ASSEMBLY
WINDOW TYPE



VIEW FROM BELLEVILLE STREET



VIEW FROM INNER HARBOR



VIEW FROM QUEBEC STREET



VIEW FROM PENDRAY & QUEBEC STREET

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
3	REISSUED DEVELOPMENT PERMIT	DEC 03/2020



alan lowe architect inc.



drawing title	
PERSPECTIVES	
A0.02	
drawn	scale
DL	AS SHOWN
checked	project no.
DL	20.118

MARCH SHADOW STUDIES



MARCH 21ST 2011 - 10.00am

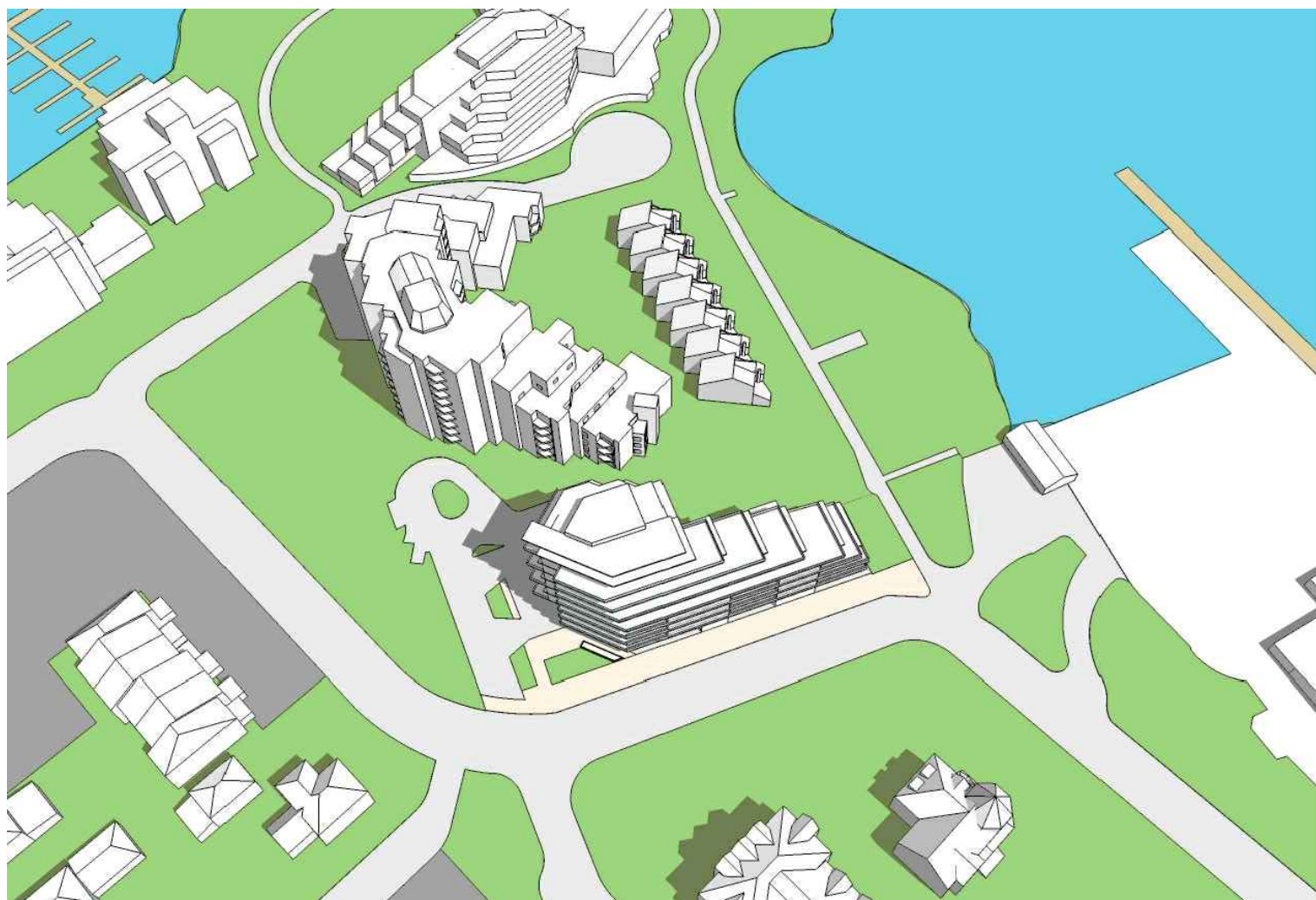


MARCH 21ST 2011 - 12.00pm



MARCH 21ST 2011 - 2.00pm

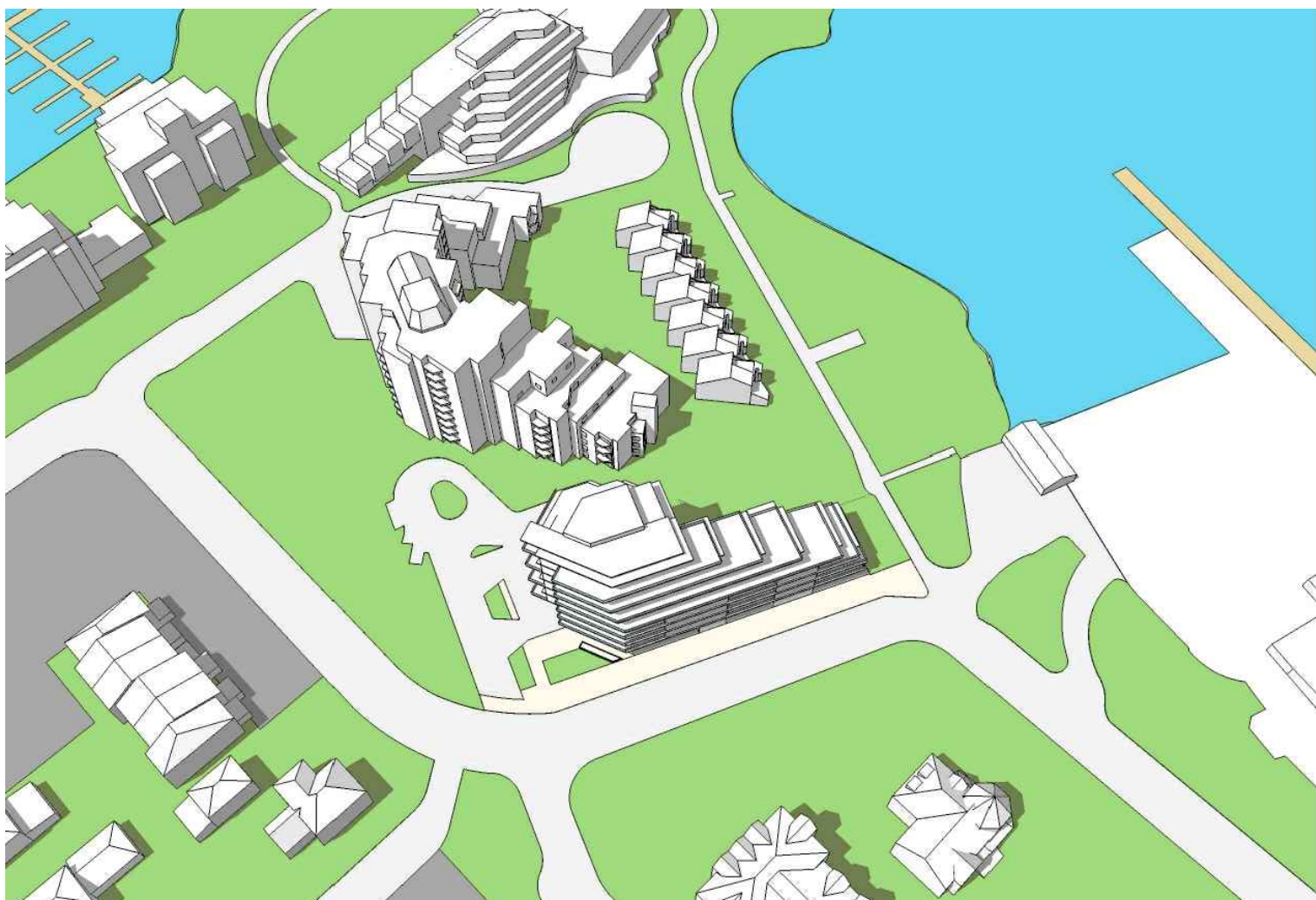
JUNE SHADOW STUDIES



JUNE 21ST 2011 - 10.00am



JUNE 21ST 2011 - 12.00pm

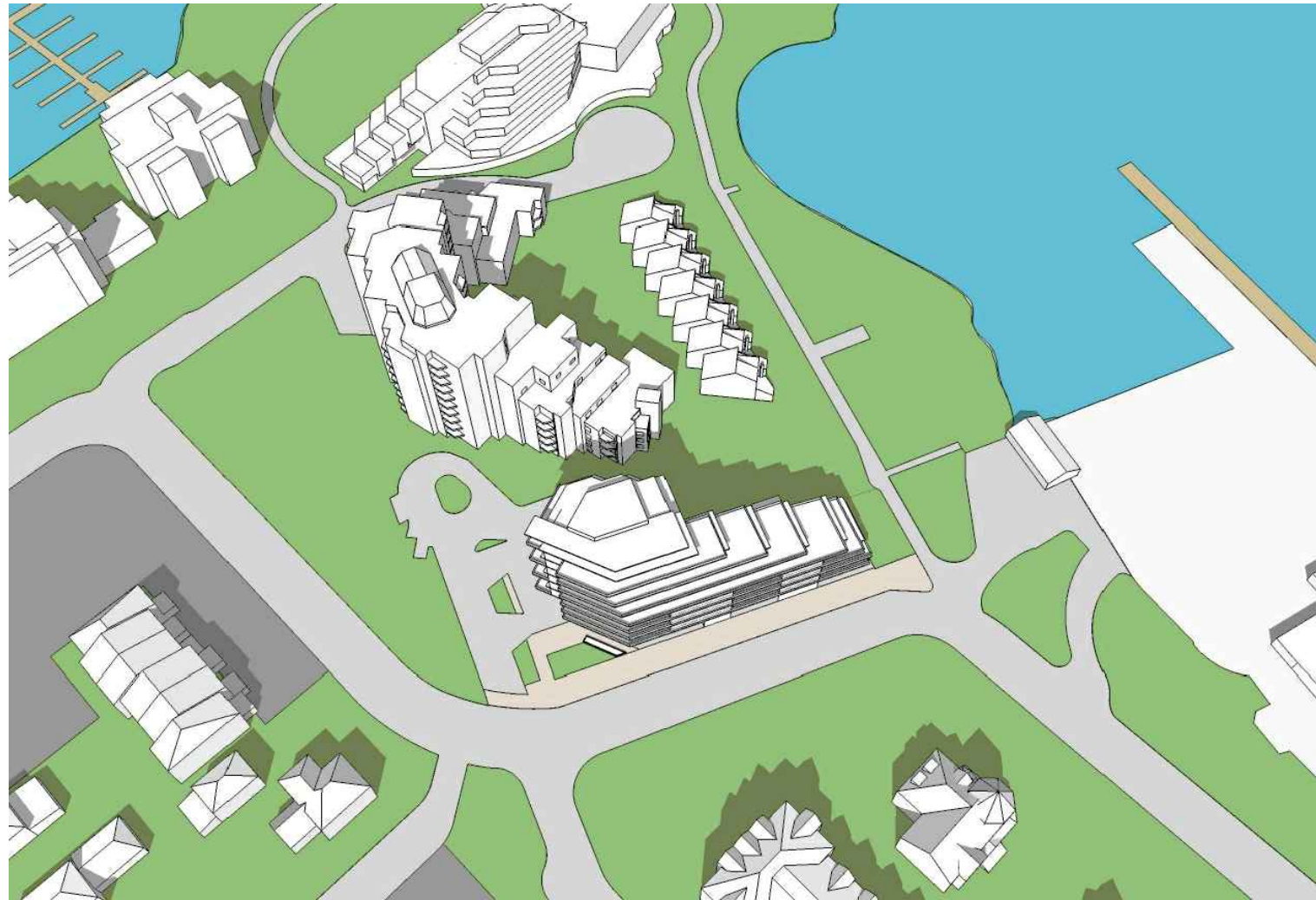


JUNE 21ST 2011 - 2.00pm

SEPTEMBER SHADOW STUDIES



SEPTEMBER 21ST 2011 - 10.00am



SEPTEMBER 21ST 2011 - 12.00pm



SEPTEMBER 21ST 2011 - 2.00pm

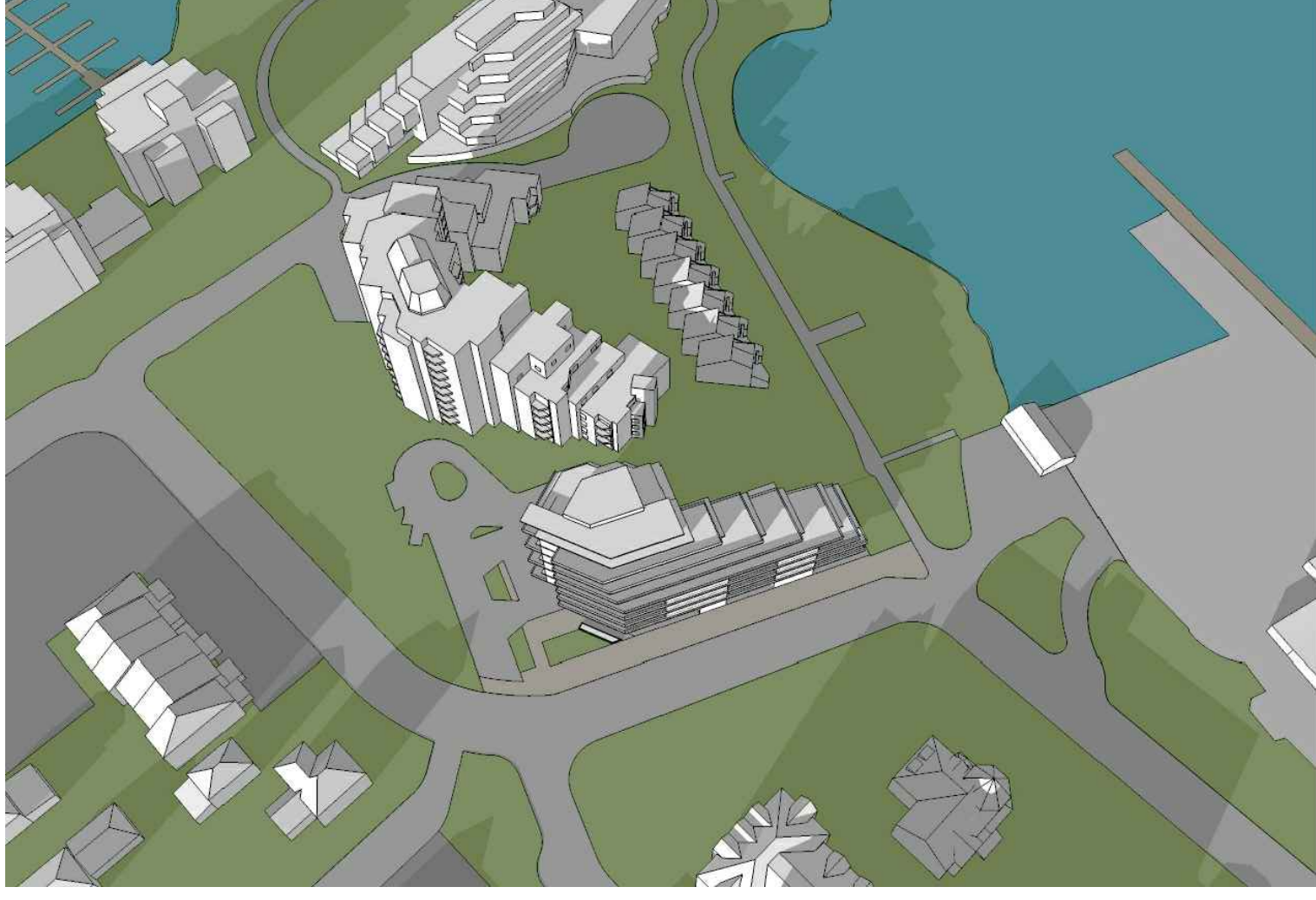
DECEMBER SHADOW STUDIES



DECEMBER 21ST 2011 - 10.00am



DECEMBER 21ST 2011 - 12.00pm



DECEMBER 21ST 2011 - 2.00pm

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
3	REISSUED DEVELOPMENT PERMIT	DEC 03/2020



alan lowe architect inc.



drawing title	
SUN & SHADOW STUDIES	
sheet	
A0.03	
drawn	scale
DS	AS SHOWN
checked	project no.
DL	20.118

[illegible]

mit

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Drawing title

AVERAGE GRADE KEY PLAN

A0.04

meet

scale

DS

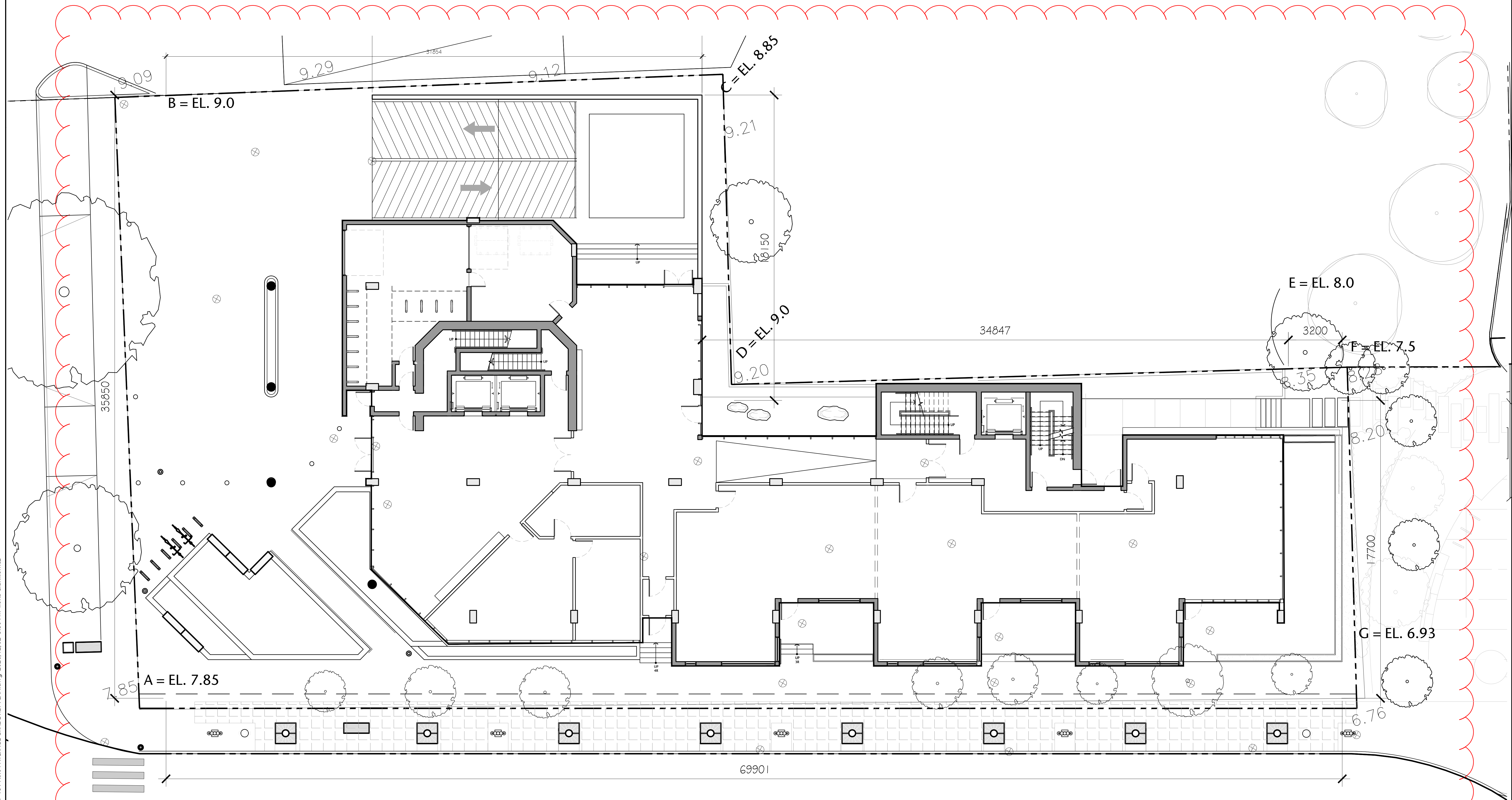
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checked

project no.

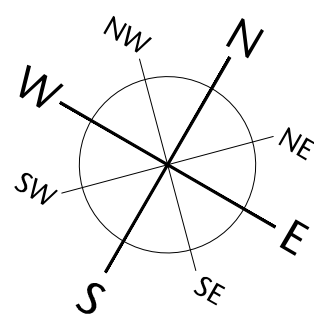
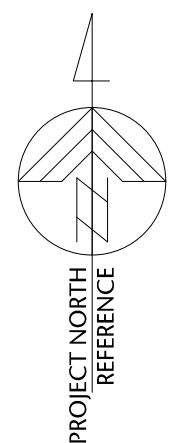
20.118

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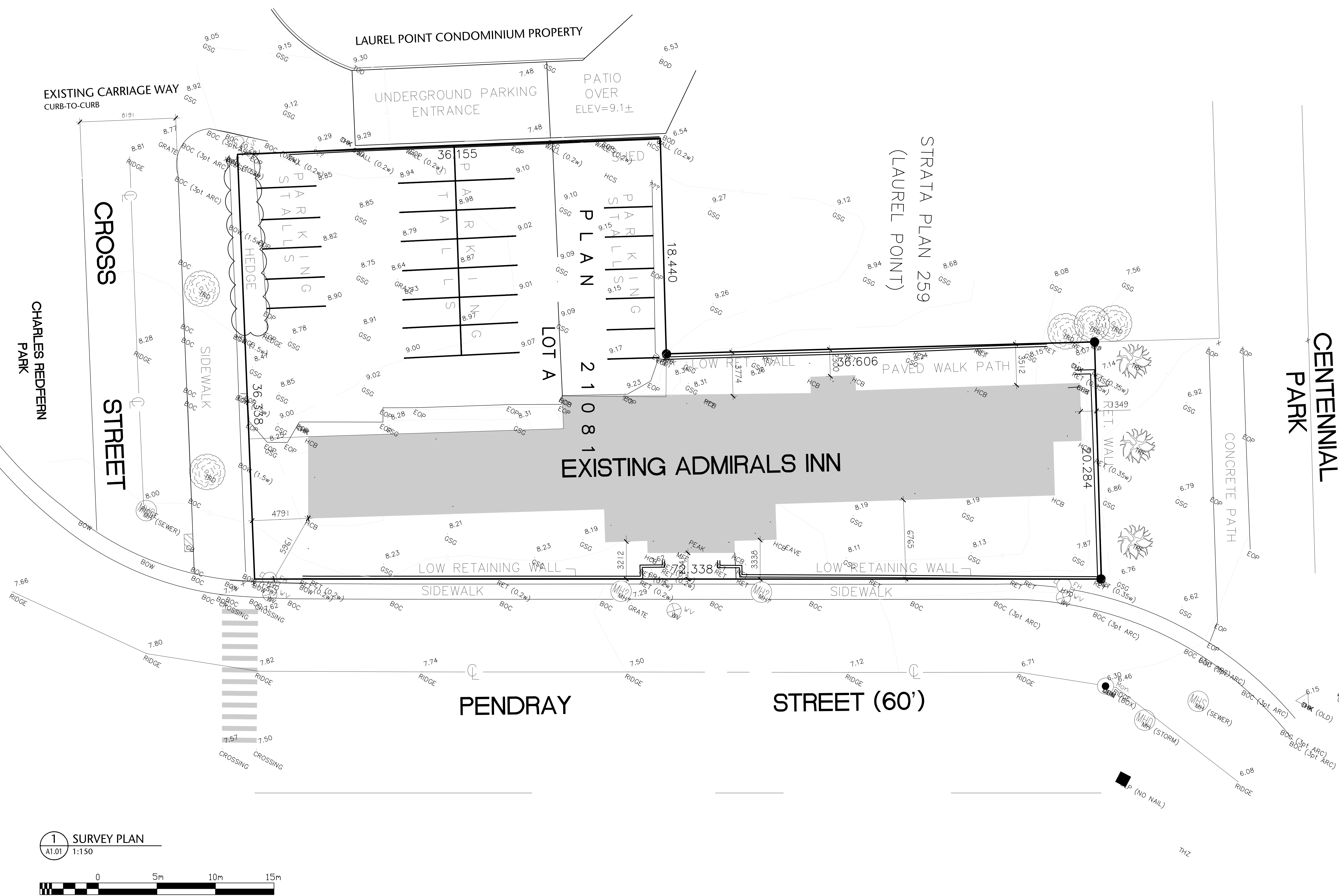


1 AVERAGE GRADE KEY PLAN
A0.04 1:100

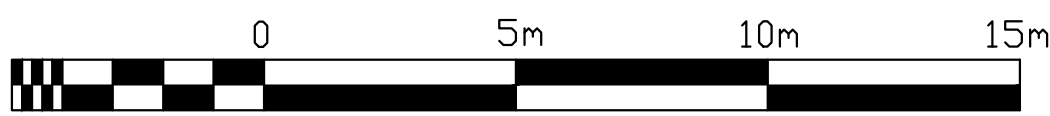
Average Grade Calculation:			
Grade Points	Average of Points	Distance between Points	Totals
A&B	$7.85 + 9/2 = 8.425$	35.850m	302.036
B&C	$9 + 8.85/2 = 8.925$	31.854m	284.297
C&D	$8.85 + 9/2 = 8.925$	18.150m	161.989
D&E	$9 + 8/2 = 8.5$	34.847m	296.199
E&F	$8 + 5.5/2 = 7.75$	3.2m	24.8
F&G	$7.5 + 6.93/2 = 7.215$	17.7m	127.705
G&A	$6.93 + 7.85/2 = 7.39$	69.901m	516.568
Totals:		211.502m	1,713.594
Grade Calculation: $1,713.594/211.502 = 8.102m$			



COMPASS NORTH



1 SURVEY PLAN
A1.01 1:150



257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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	permit
	consultant

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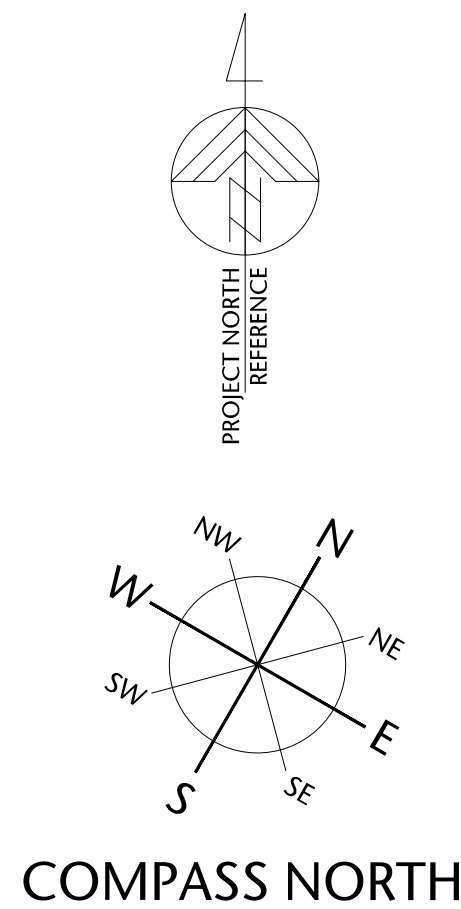
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drawing title
SURVEY PLAN

A1.01 sheet

drawn NA	scale AS SHOWN
checked DL	project no. 20.118

P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\A1.00\20.118.09-151-A1.02 OVERALL CONTEXT PLAN.dwg 20/01/2022 6:10 PM Iona Crunkiewicz



1 OVERALL CONTEXT PLAN
A1.02 NTS

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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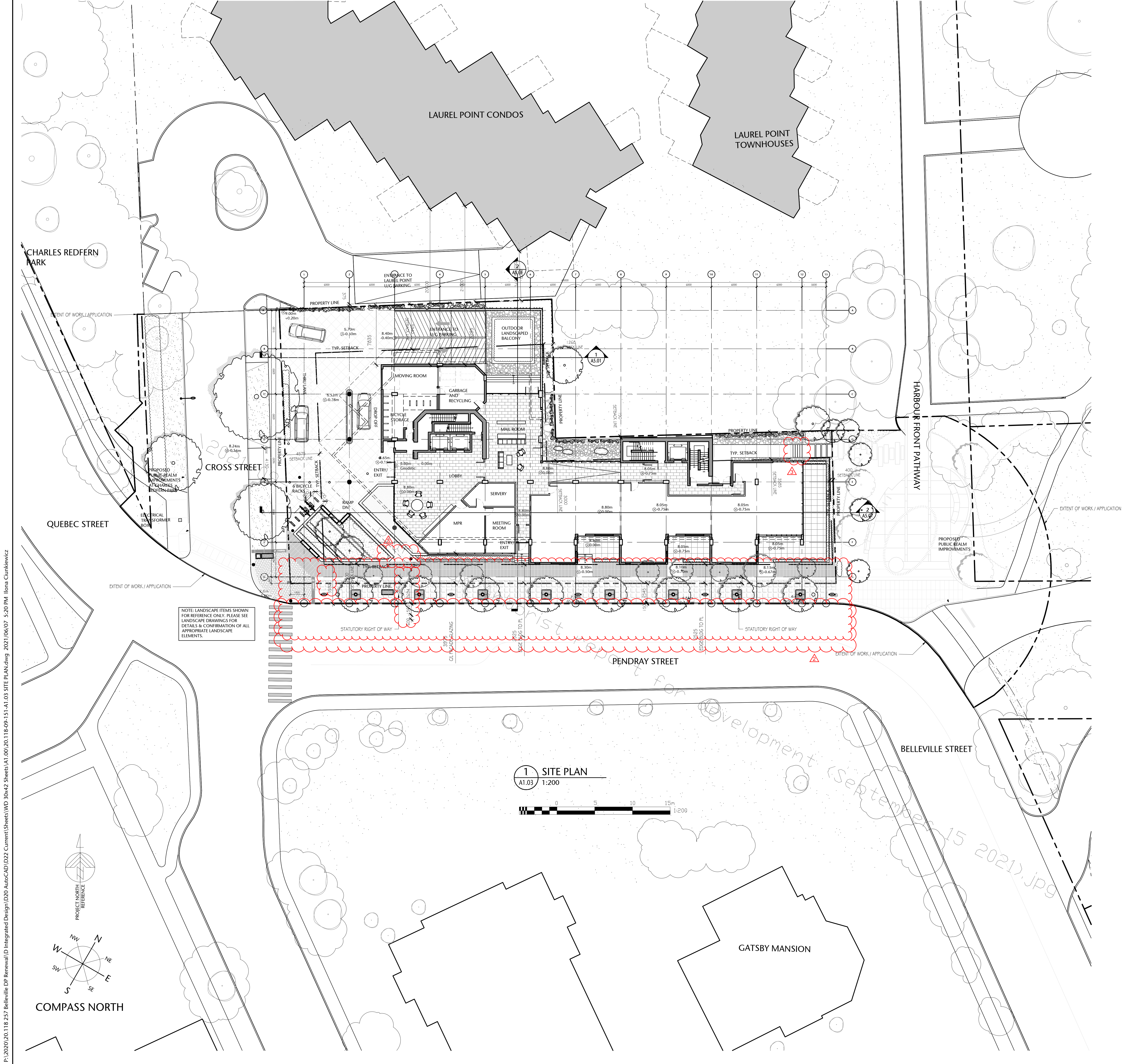
OVERALL CONTEXT PLAN

A1.02

drawn	scale
POR	AS SHOWN
checked	project no.
DL	20.118

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P:\2020\20.118.257 Belleville DP Renewal\1D Integrated Design\20 AutoCAD\022 Current\Sheets\A1.00.20.118.09-151-A1.03 SITE PLAN.dwg 2021/06/07 5:20 PM Iona Cunliffe



MUNICIPAL ADDRESS
257 BELLEVILLE STREET, VICTORIA, BC
LEGAL ADDRESS
LOT A, VICTORIA CITY, PLAN 21081
LAND USE DESCRIPTION
EXISTING: R-65 PROPOSED: R-65

PROJECT STATISTICS			
	Existing Zoning	Existing Building	Proposal
Zoning	R-65		R-65
Site Area (m²)	2000	2053.88	2053.88
Site Coverage (%)	45%	30%	53%
Building Area			1092.56
Main Floor (m²)		619.15	870.14
Gross Floor Area (above Grade excl. Balconies, incl. mech.)			6153.22
Floor Space Ratio	3.00:1	0.90	2.995
Building Height (m)	30	15	32 (incl. mechanical penthouse)
Number of Floors	N/A	3	9
Setbacks (m)			
1. "North Elevation"	0.0		
CL 1-mid 6/7		21.86	5.94
CL mid 6/7-8		3.64	3.00
CL 8-10		2.30	0.19
CL 10-13		3.51	3.585
2. "South Elevation"	2.5	2.23	2.50
3. "West Elevation"	4.5	4.8	4.575
4. "East Elevation"	0.4	1.34	0.40
CL D-G			
CL A-D		1.26	
Note: Existing Setbacks to relative proposed Gridlines			
Open Space (%)	40%	31.7%	28.5%
Parking Stalls	40	25	78
Bicycle Parking	1.25/unit		6 @ Entry & 71 @ Main & Parkade Level

Net to Gross Ratio	1.28
Parkade Level P1 Area	1846 m²
Parkade Level P2 Area	1846 m²
Number of Floors above Grade	9 incl. Roof Top Mechanical (Laurel Point - 11)
Total Height @ Top of Parapet (excl. Mechanical Room)	30000mm (Laurel Point - 32000mm)
Floor to Floor Height (Typ.)	3350mm
Podium Floor to Floor	4500mm
Typ. Slab thickness	225mm
Zero Elevation	8.80m (center of Cross Street near Lobby)
Number of Units	32-57 (Max. 57 units)
Parking stall count	Min 40 required 78 stalls provided / including 6 Handicap and 6 Visitor U/G

GENERAL NOTES REGARDING UNITS:

Building makes use of an open plan concept. Unit sizes and types will vary depending on end-user's unit configuration. Number and type of unit will vary. Below is a sample configuration of the building.

Typical Unit Configuration	Avg. No.	Avg. Area/unit (m²)
1 BEDROOM	5	110
1 Bedroom & Den	15	125
2 BEDROOM	9	195
Ground Oriented Access	3	115

BUILDING AREA CALCULATION
BUILDING GROSS AREAS MEASURED TO THE INSIDE FACE OF THE EXTERIOR WALLS
OPEN SITE SPACE CALCULATION
CALCULATION BASED ON CITY OF VICTORIA "SCHEDULE A" DEFINITION OF OPEN SITE SPACE.
OPEN SITE SPACE MEANS THAT PORTION OF THE LOT: A) WHICH FROM THE SURFACE OF THE LOT IN A VERTICAL COLUMN UPWARD IS NOT OCCUPIED OR OBSTRUCTED BY THE BUILDING OR ITS PARTS EXCEPT 1) ACCESSORY GARDEN STRUCTURE 2) BALCONY OR ROOF PROJECTION B) WHICH IS GRADED AND LANDSCAPED

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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4	REISSUED DEVELOPMENT PERMIT	DEC 03/2020
5	REISSUED DEVELOPMENT PERMIT	JUN 07/2021
6	REISSUED DEVELOPMENT PERMIT	DEC 06/2021
7	REISSUED DEVELOPMENT PERMIT	APR 11/2022



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SITE CONTEXT PLAN & DATA SHEET

A1.03	sheet
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checked	project no.
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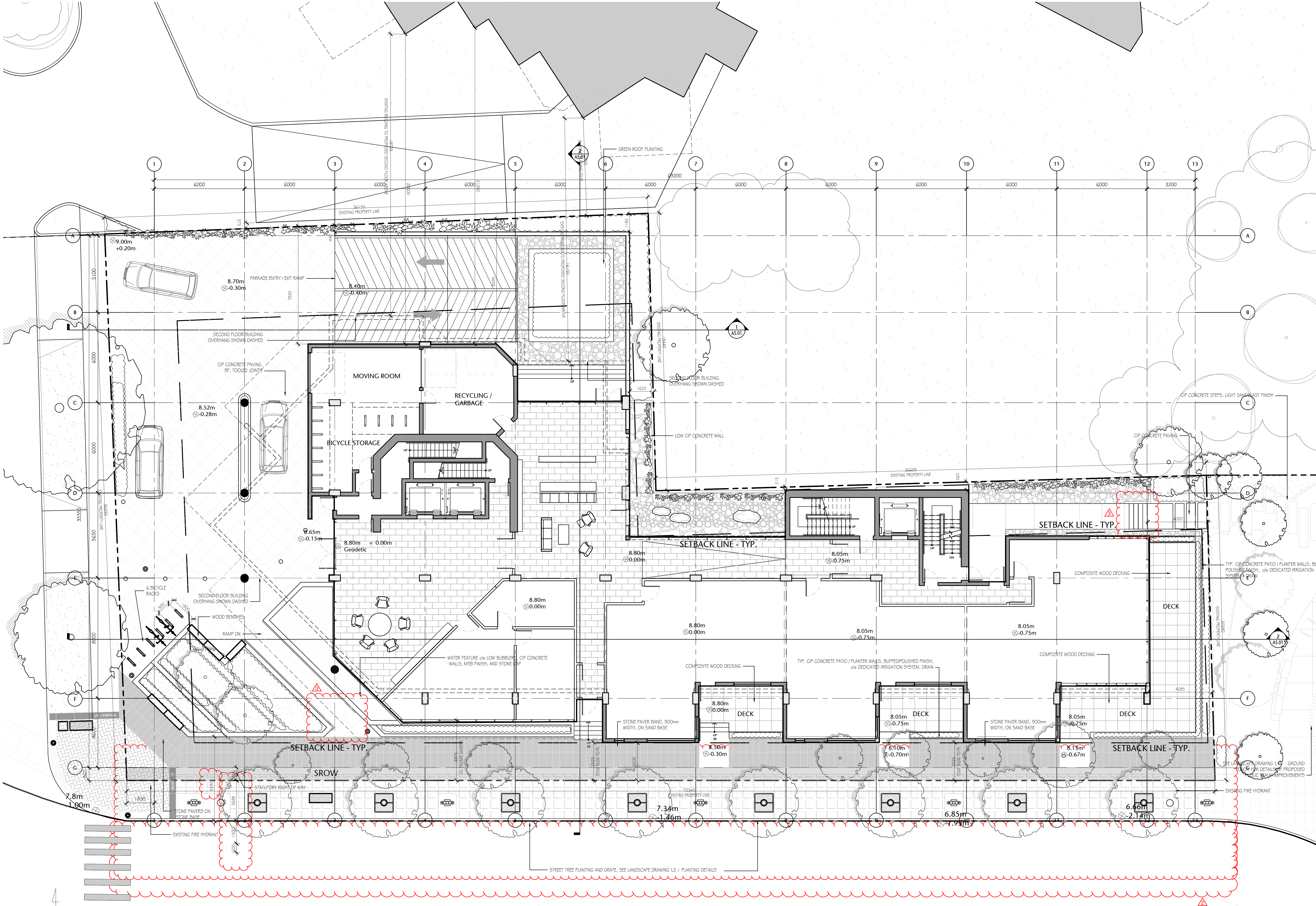


Urban Design Architecture Interior Design

DETAILED SITE PLAN

A1.04

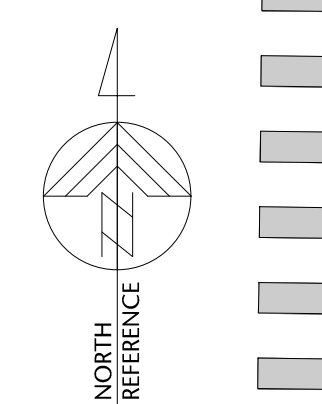
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POR	AS SHOWN
checked	project no.
DL	20.118



NOTE: LANDSCAPE ITEMS SHOWN FOR REFERENCE ONLY. PLEASE SEE LANDSCAPE DRAWINGS FOR DETAILS & CONFIRMATION OF ALL APPROPRIATE LANDSCAPE ELEMENTS.

NOTE: FOR TYPICAL LANDSCAPE FINISHES & GRADING, SEE LANDSCAPE DRAWINGS

SCHEDULE A
STATUTORY RIGHT OF WAY SHOWN HATCHED



1 DETAILED SITE PLAN
A1.04 1:150

COMPASS NORTH

P:\2020\20.118 257 Belleville DP Renewal\DP Renewal\1D Integrated Design\20 AutoCAD\022 Current\Sheets\WD 3042 Sheets\A1 00.118-09-151-A1.04 SITE PHOTOS.dwg 2021/06/07 5:24 PM Ilona Cunliffevitz



1 QUEBEC STREET LOOKING EAST DOWN PENDRAY STREET
NTS

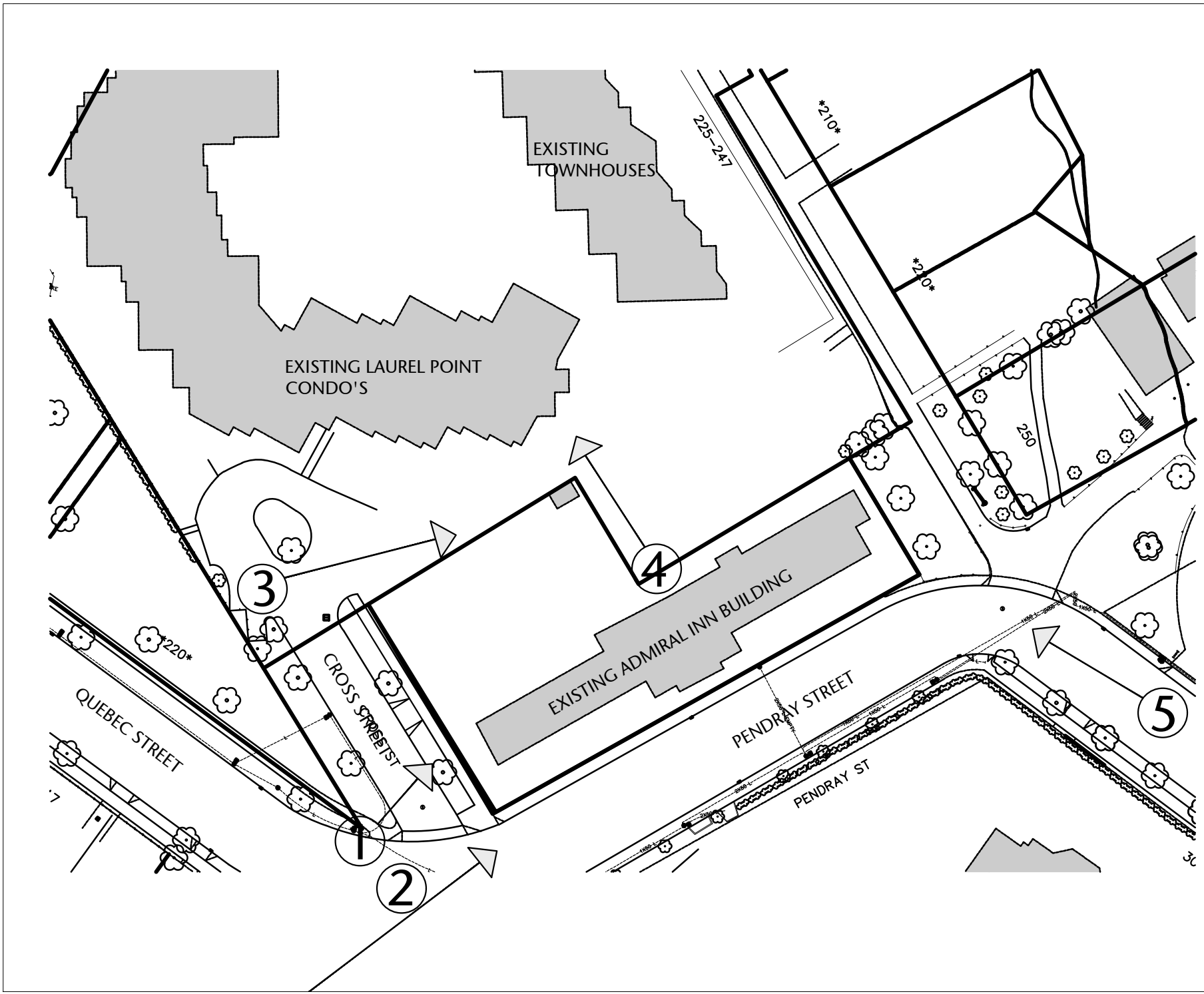


PHOTO LOCATION PLAN
NTS



2 PENDRAY STREET LOOKING NORTH - EXISTING ADMIRAL'S INN BUILDING
NTS



3 VIEW LOOKING SOUTH DOWN CROSS STREET
NTS



4 LOOKING NORTH AT ADJACENT LAUREL POINT CONDO'S
NTS



5 VIEW LOOKING NORTH UP BELLEVILLE STREET - EXISTING ADMIRAL'S INN BUILDING
NTS

257 BELLEVILLE STREET

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drawing title

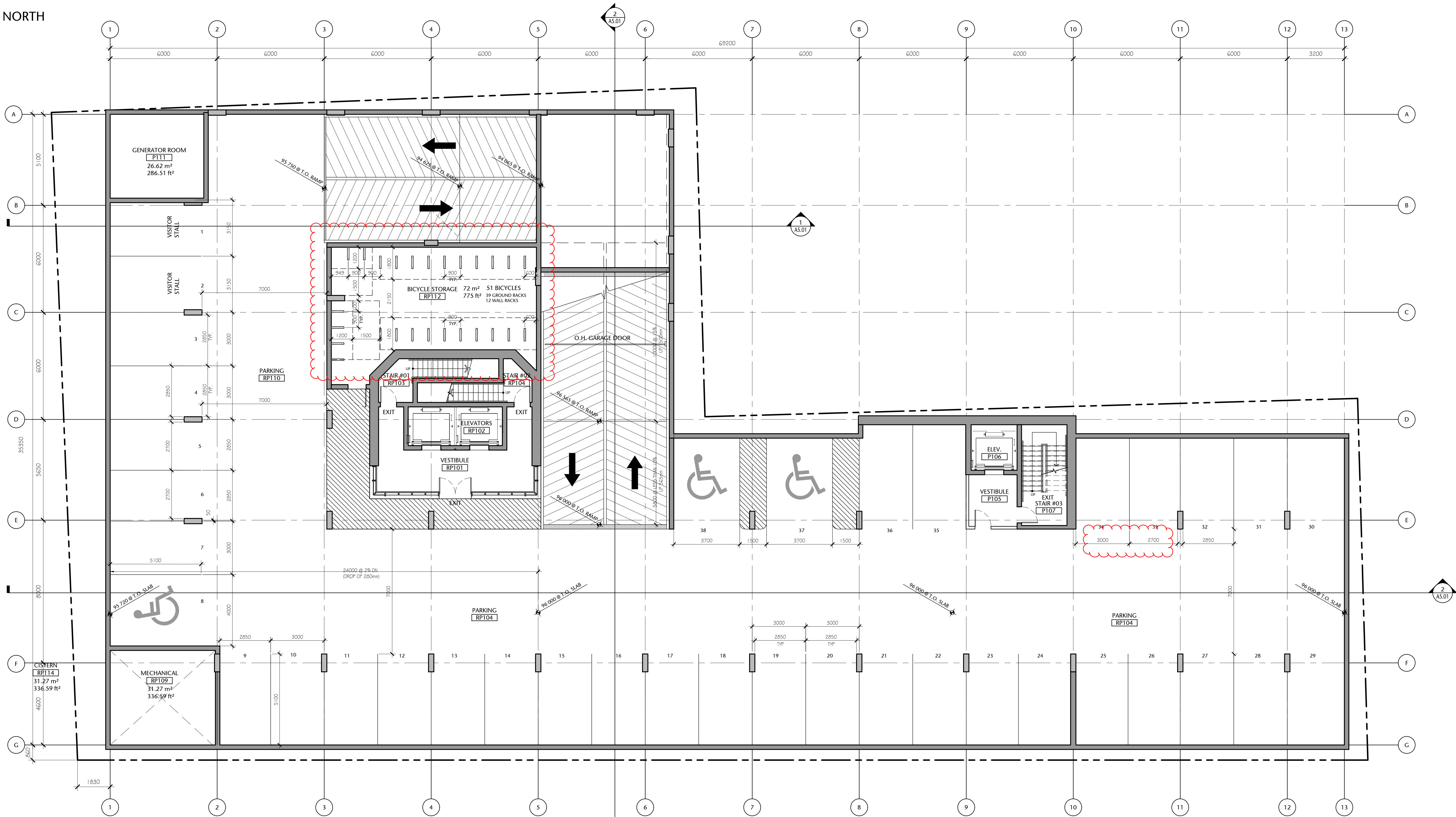
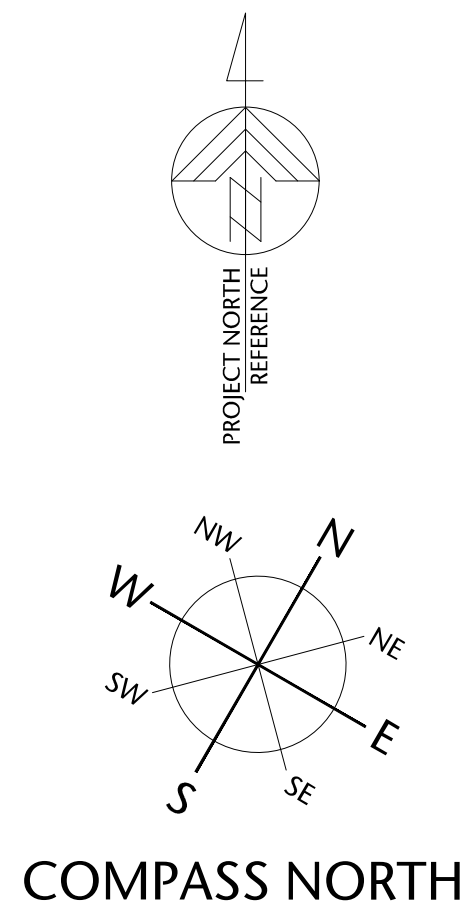
SITE PHOTOS

A1.05

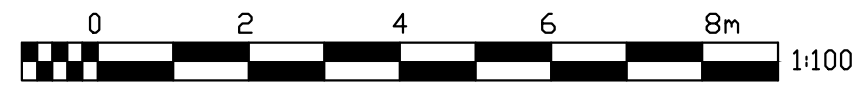
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drawn	scale
NA	NTS
checked	project no.
DL	20.118

P:\2020\20.118 257 Belleville DP Renewal\1D Integrated Design\20 AutoCAD\022 Current\Sheets\WD 30x42 Sheets\A2.01A PARKADE LEVEL P1.dwg 2021/01/05 4:03 PM Iona Ciumkevics



1 PARKADE LEVEL P1
A2.01
1:100



Parkade Level P1 General Notes:

1. PARKING STALL COUNT: 38 STALLS (40 INCLUDES 3 HC STALLS & 2 VISITOR STALLS)
2. TYPICAL STALL DIMENSION, 3m x 5.1m WITH A 7m DRIVE AISLE.
3. MECHANICAL, ELECTRICAL ROOM REQUIREMENTS TO BE CONFIRMED.

257 BELLEVILLE
STREET

VICTORIA, BRITISH COLUMBIA

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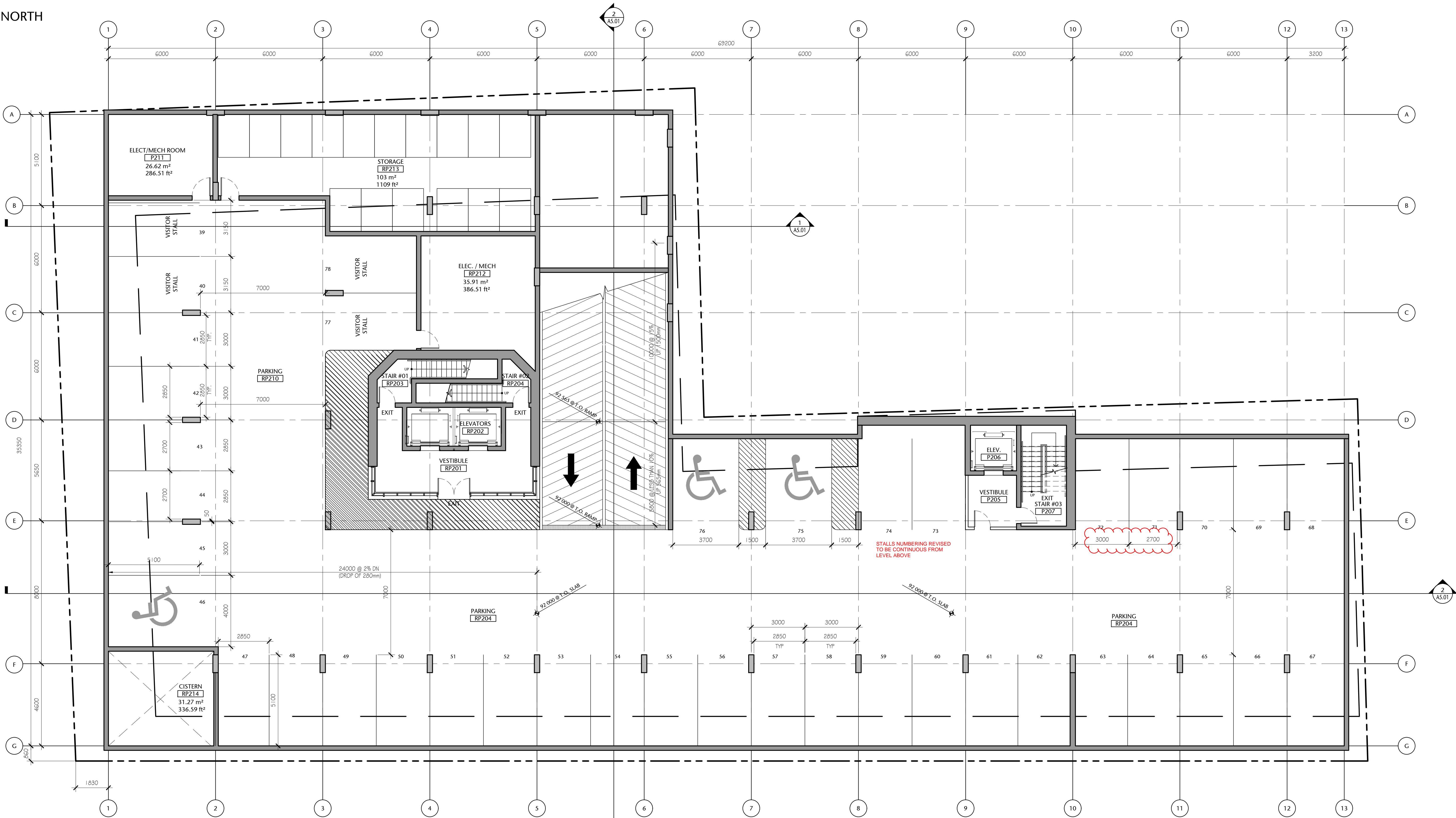
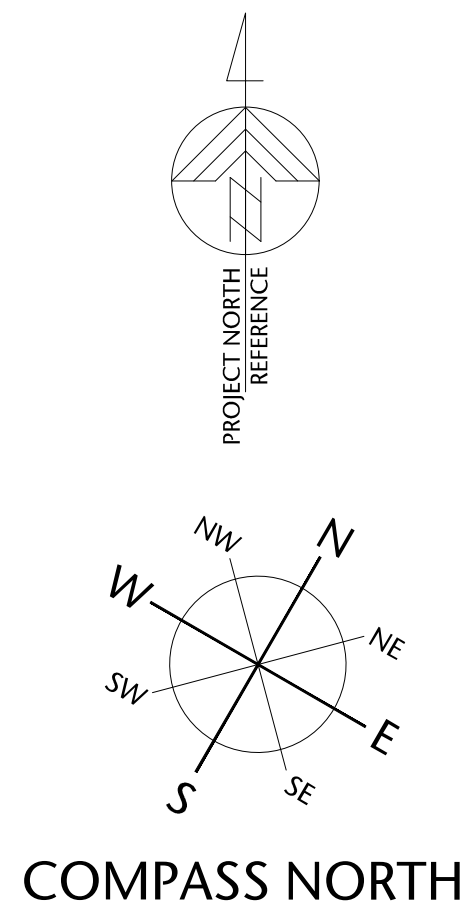
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A2.01A

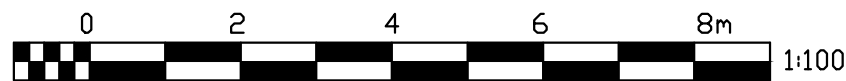
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POR	AS SHOWN
checked	project no.
DL	20.118

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P:\2020\20.118 257 Belleville DP Renewal\1D Integrated Design\1D20 AutoCAD\1D22 Current\Sheets\WD 30x42 Sheets\A2.01B PARKADE LEVEL P2.dwg 2021/01/05 4:05 PM Iona Clunkiewicz



1 PARKADE LEVEL P2
A2.01B 1:100



Parkade Level P2 General Notes:

1. PARKING STALL COUNT: 40 STALLS (40 INCLUDES 3 HC STALLS & 4 VISITOR STALLS)
2. TYPICAL STALL DIMENSION, 3m x 5.1m WITH A 7m DRIVE AISLE.
3. TENANT STORAGE AS SHOWN. MECHANICAL, ELECTRICAL ROOM REQUIREMENTS TO BE CONFIRMED.

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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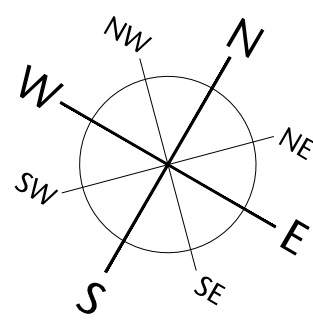
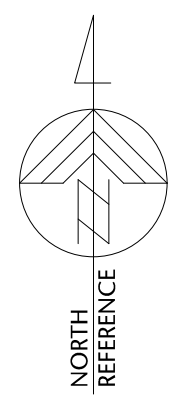
PARKADE LEVEL P2

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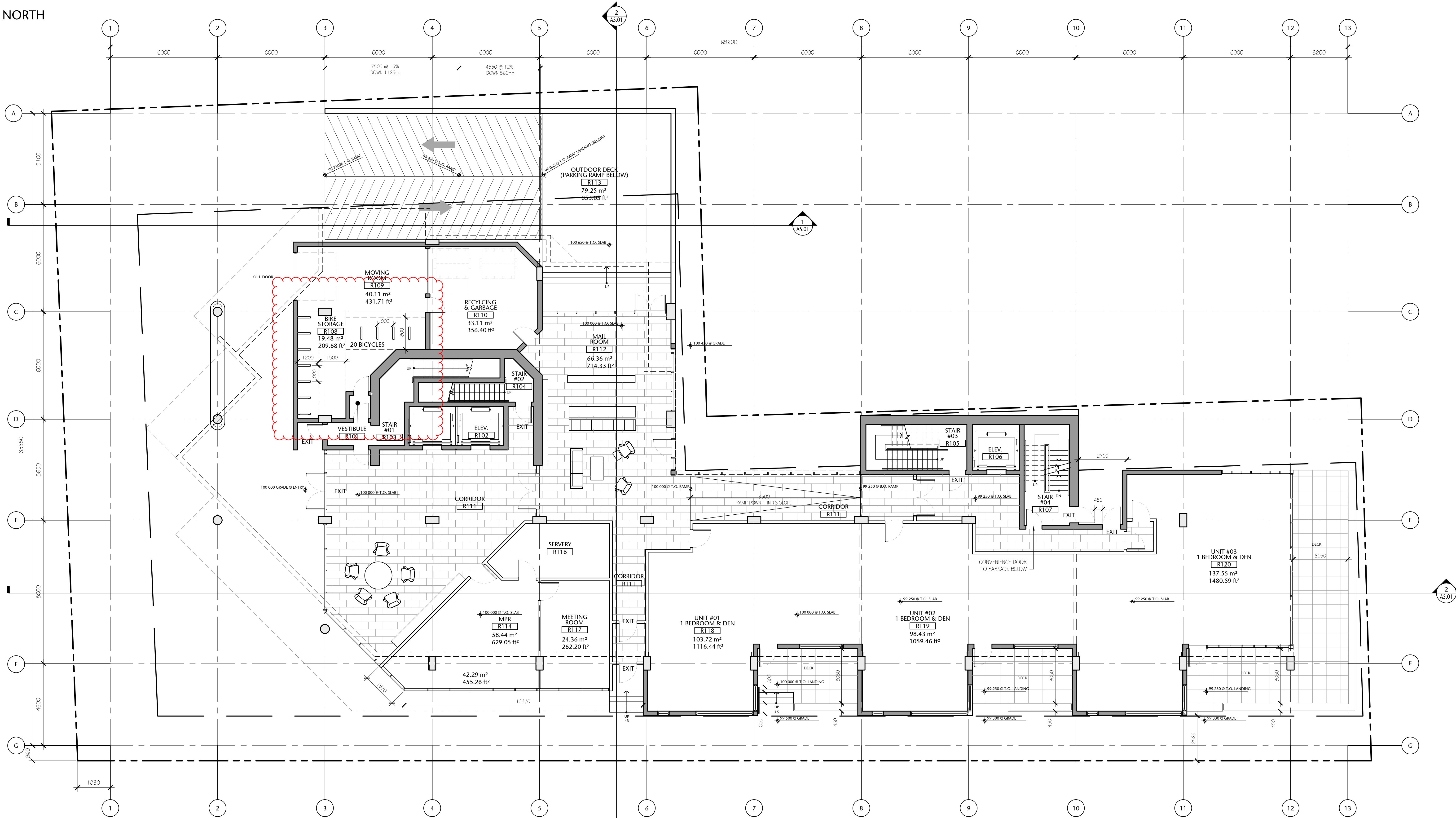
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COMPASS NORTH



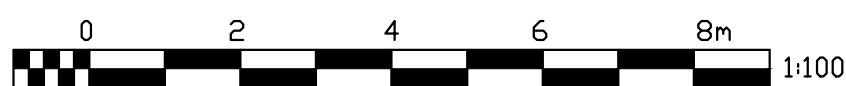
Main Floor Gross Area:
870.14 sq. mts. (9366.10 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 MAIN FLOOR PLAN
A2.02 1:100



257 BELLEVILLE
STREET

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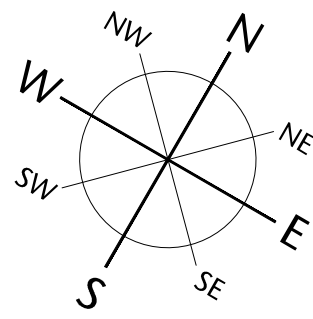
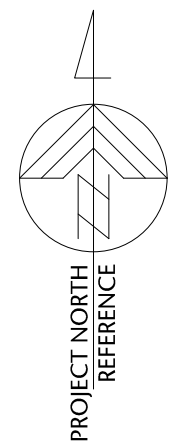
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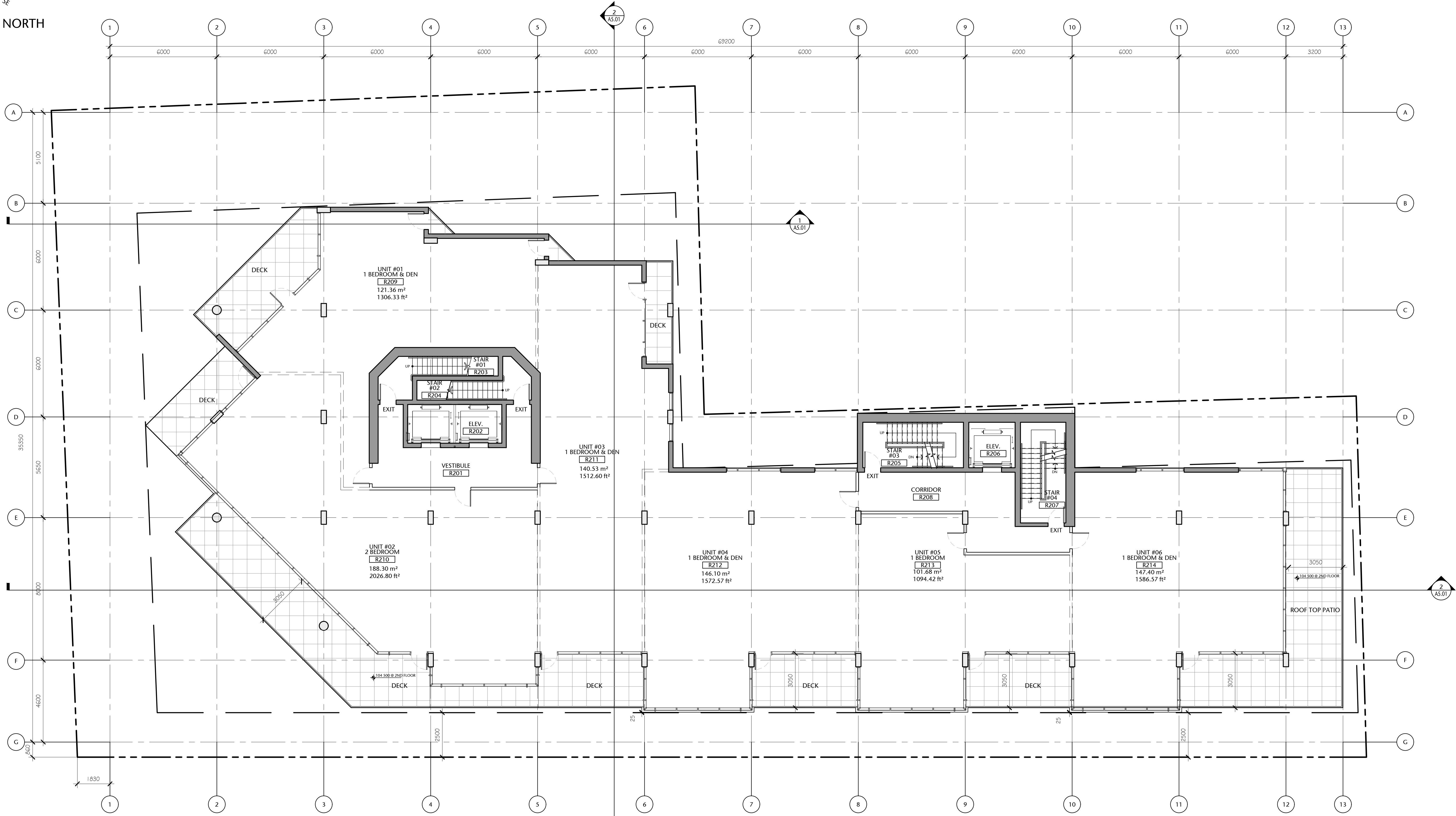
MAIN FLOOR PLAN

A2.02

drawn	scale
POR	AS SHOWN
checked	project no.
DL	20.118



COMPASS NORTH



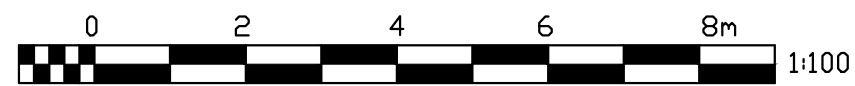
Second Floor Gross Area:
950.23 sq. mts. (10 228 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
TOTAL AREA	6054.44	65,170

1 SECOND FLOOR PLAN
A2.03 1:100



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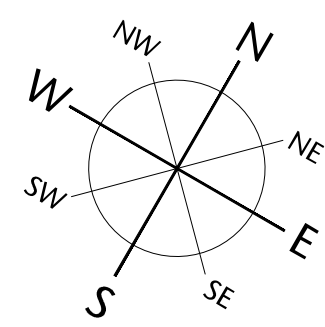
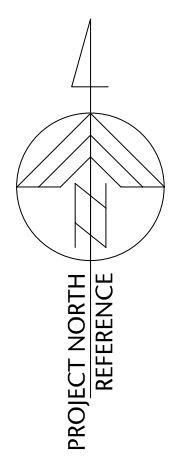
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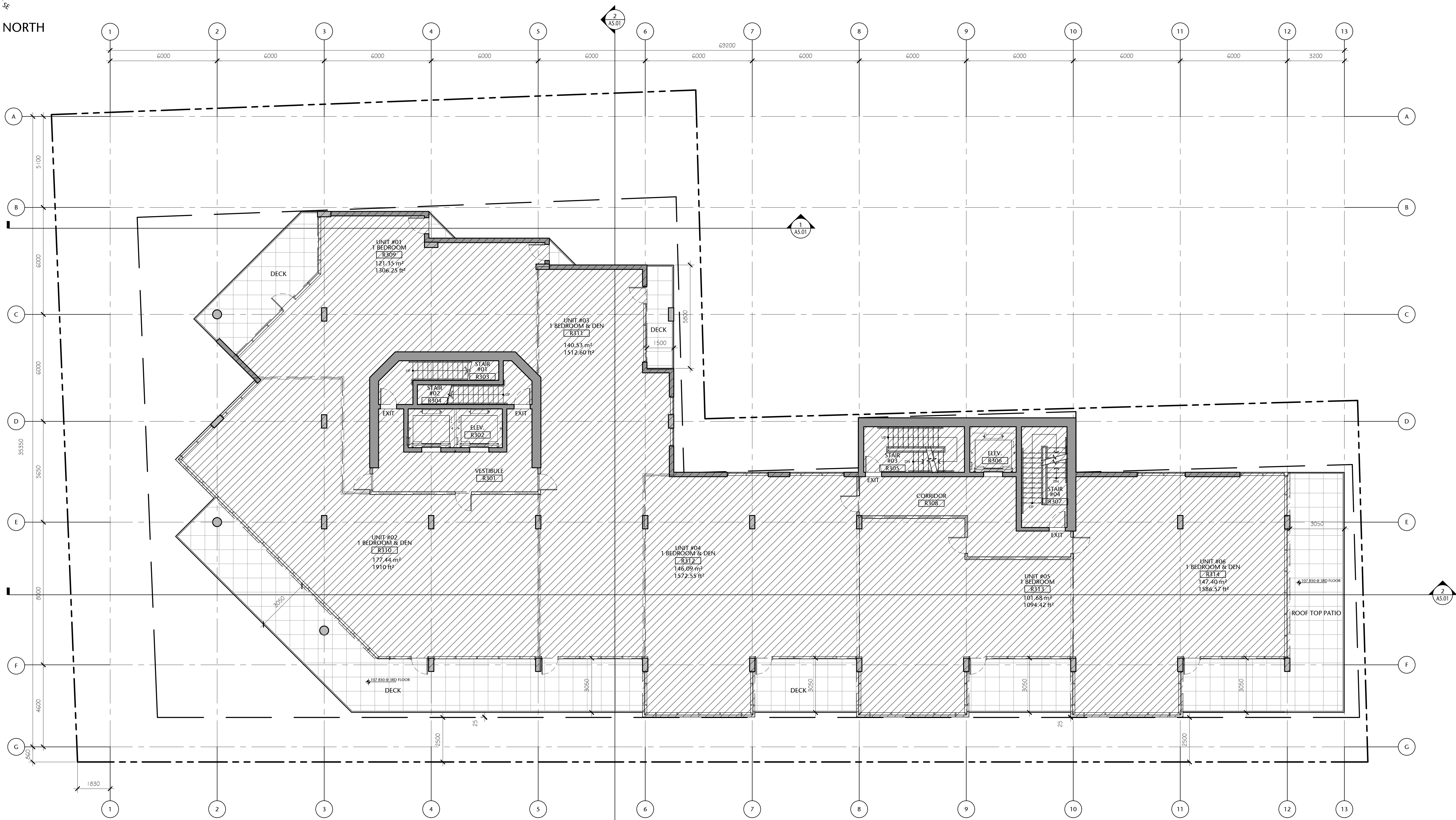
SECOND FLOOR PLAN

A2.03

drawn	scale
POR	AS SHOWN
checked	project no.
DL	20.118



COMPASS NORTH



1 THIRD FLOOR PLAN
A2.04 1:100



Third Floor Gross Area:
937.43 sq. mts. (10 090.41 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

Note: All travel distance's shown under
allowed 45m under the applicable BC
Building Code 2018 Division B - Part 3
'3.4.2.5 Location of Exits (c)'

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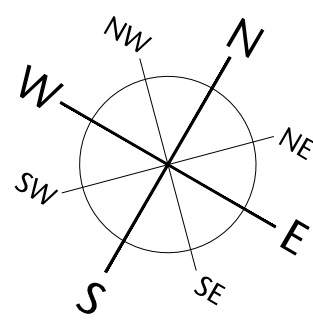
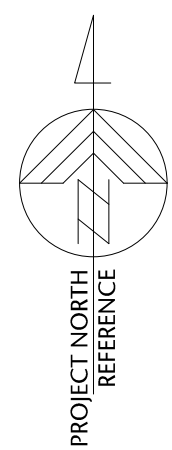
alan **lowe** architect inc.



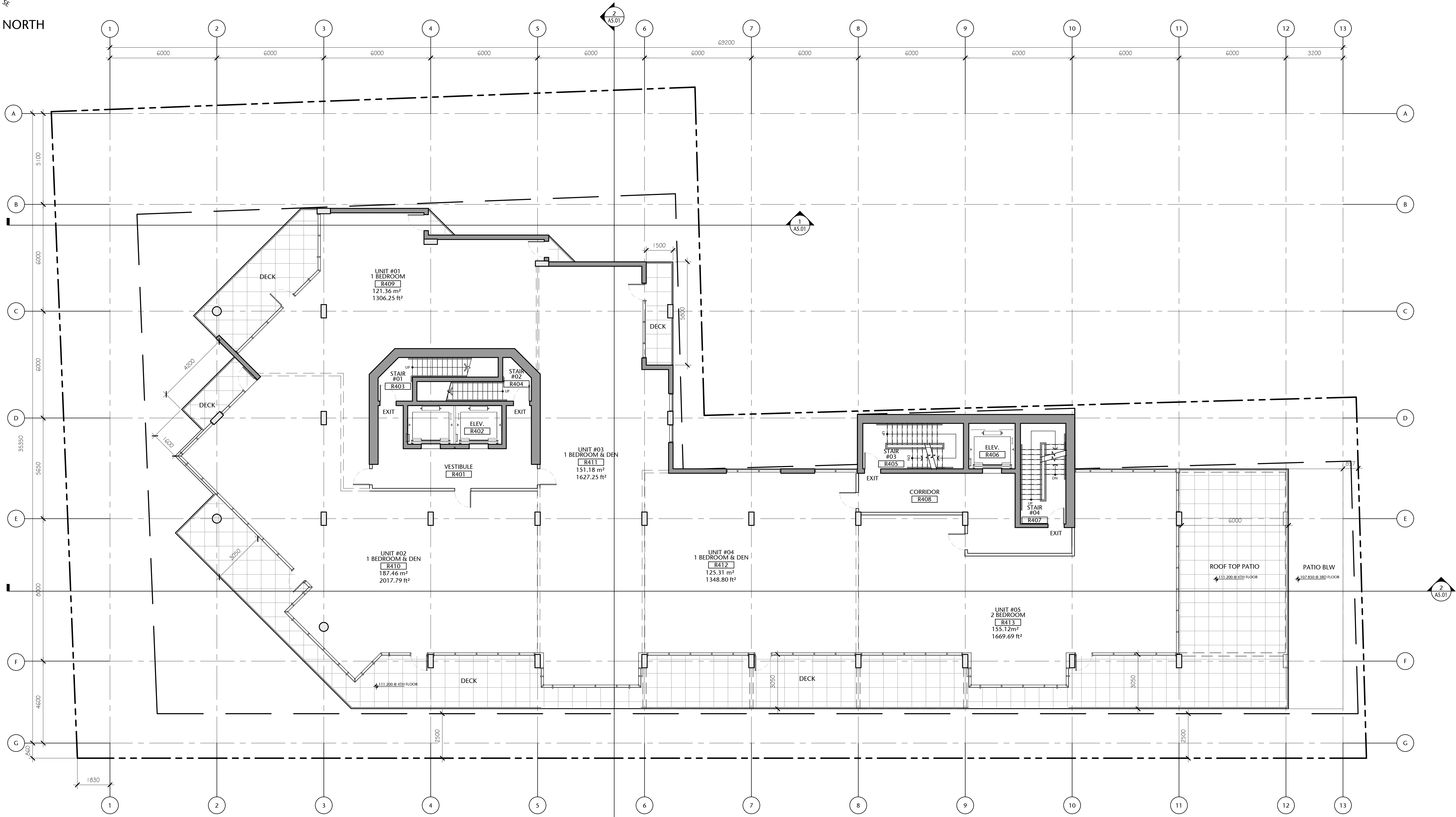
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drawing title
THIRD FLOOR PLAN

A2.04		sheet
drawn POR	scale AS SHOWN	
checked DL	project no. 20.118	



COMPASS NORTH



Fourth Floor Gross Area:
857.23 sq. mts. (9227.15 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 FOURTH FLOOR PLAN
A2.05
1:100



257 BELLEVILLE
STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
3	REISSUED DEVELOPMENT PERMIT	DEC 03/2020



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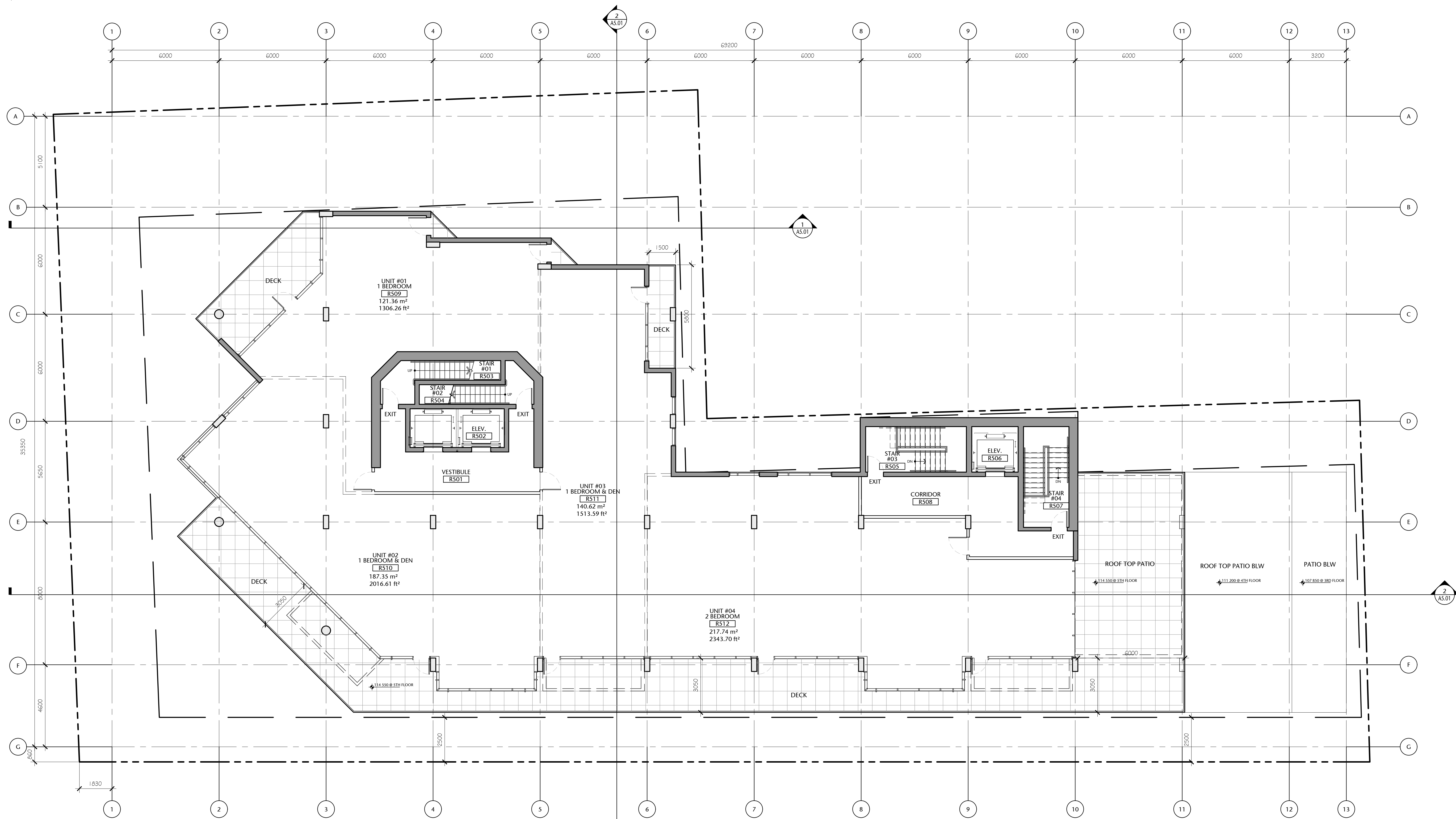
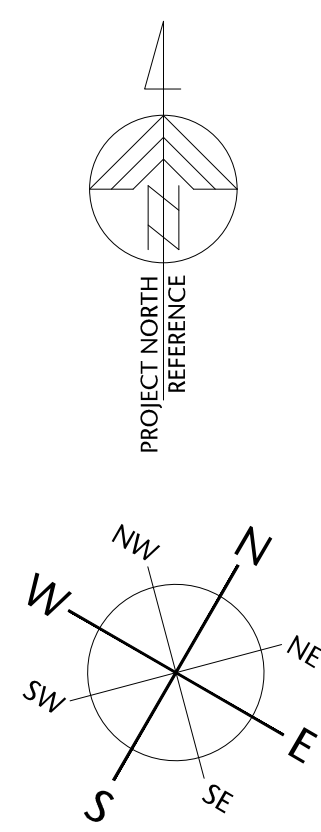
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FOURTH FLOOR PLAN

A2.05

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POR	AS SHOWN
checked	project no.
DL	20.118

P:\2020\20_118_257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\A2.00\20_118_09-151-A2.06 FIFTH FLOOR PLAN.dwg 2020/12/02 7:57 PM Iona Cunkiewicz



1 FIFTH FLOOR PLAN
A2.06 1:100



Fifth Floor Gross Area:
785.82 sq. mts. (8458.5 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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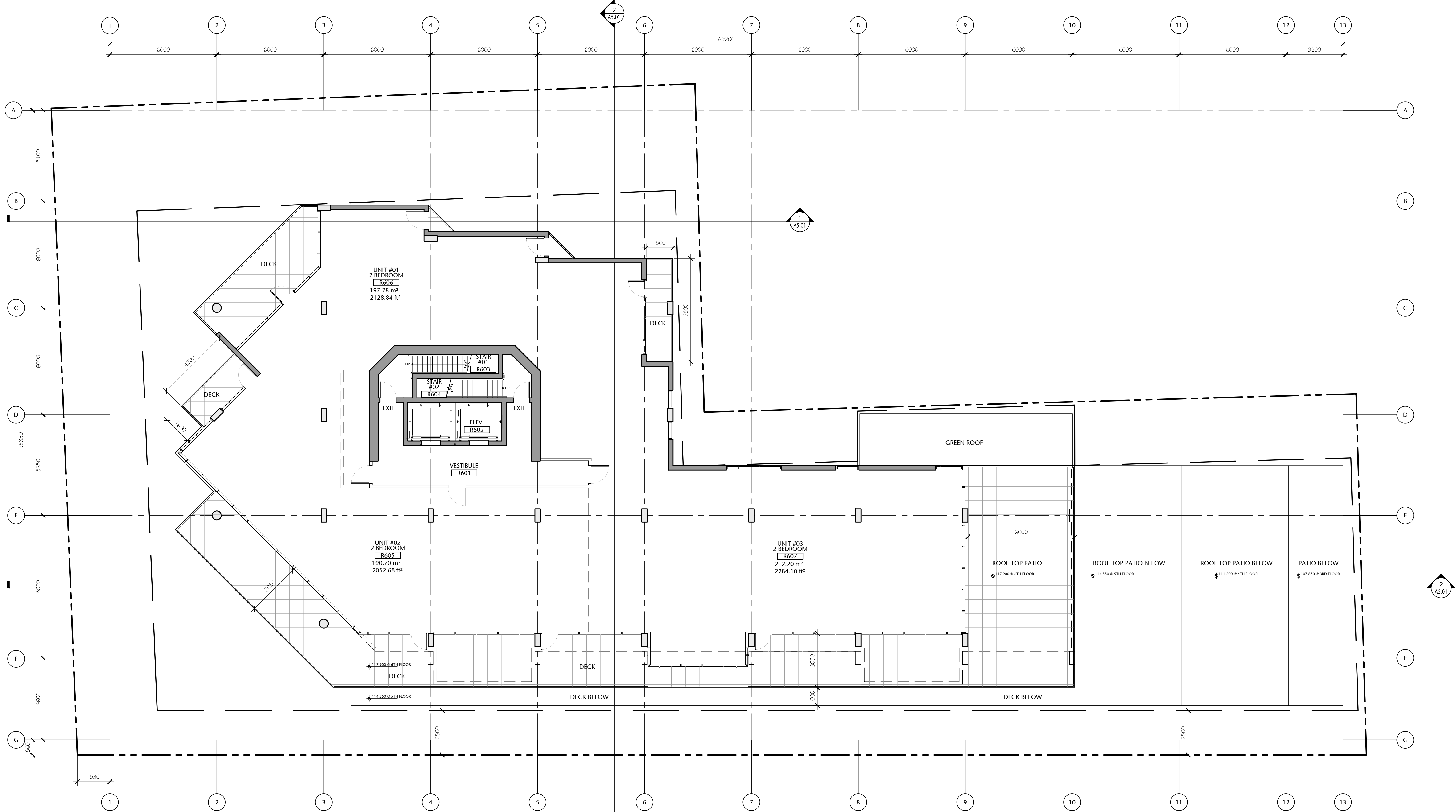
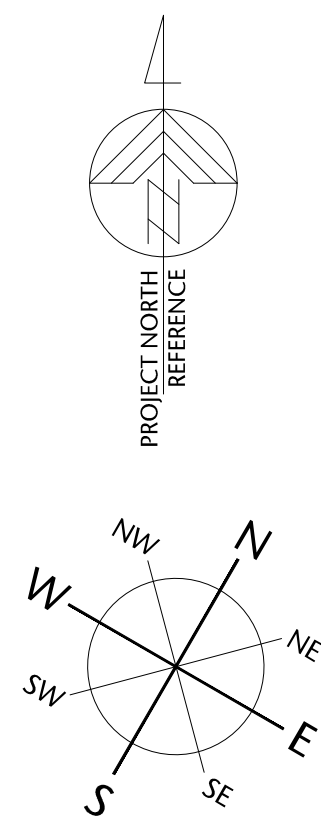
FIFTH FLOOR PLAN

A2.06

drawn	scale
POR	AS SHOWN
checked	project no.
DL	20.118

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P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\WD 30x42 Sheets\A2.00\20.118-09-151-A2.07 SIXTH FLOOR PLAN.dwg 2020/12/02 7:59 PM Iona Cumberlidge



1 SIXTH FLOOR PLAN
A2.07 1:100



Sixth Floor Gross Area:
651.25 sq. mts. (7010 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

257 BELLEVILLE
STREET

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drawing title

SIXTH FLOOR PLAN

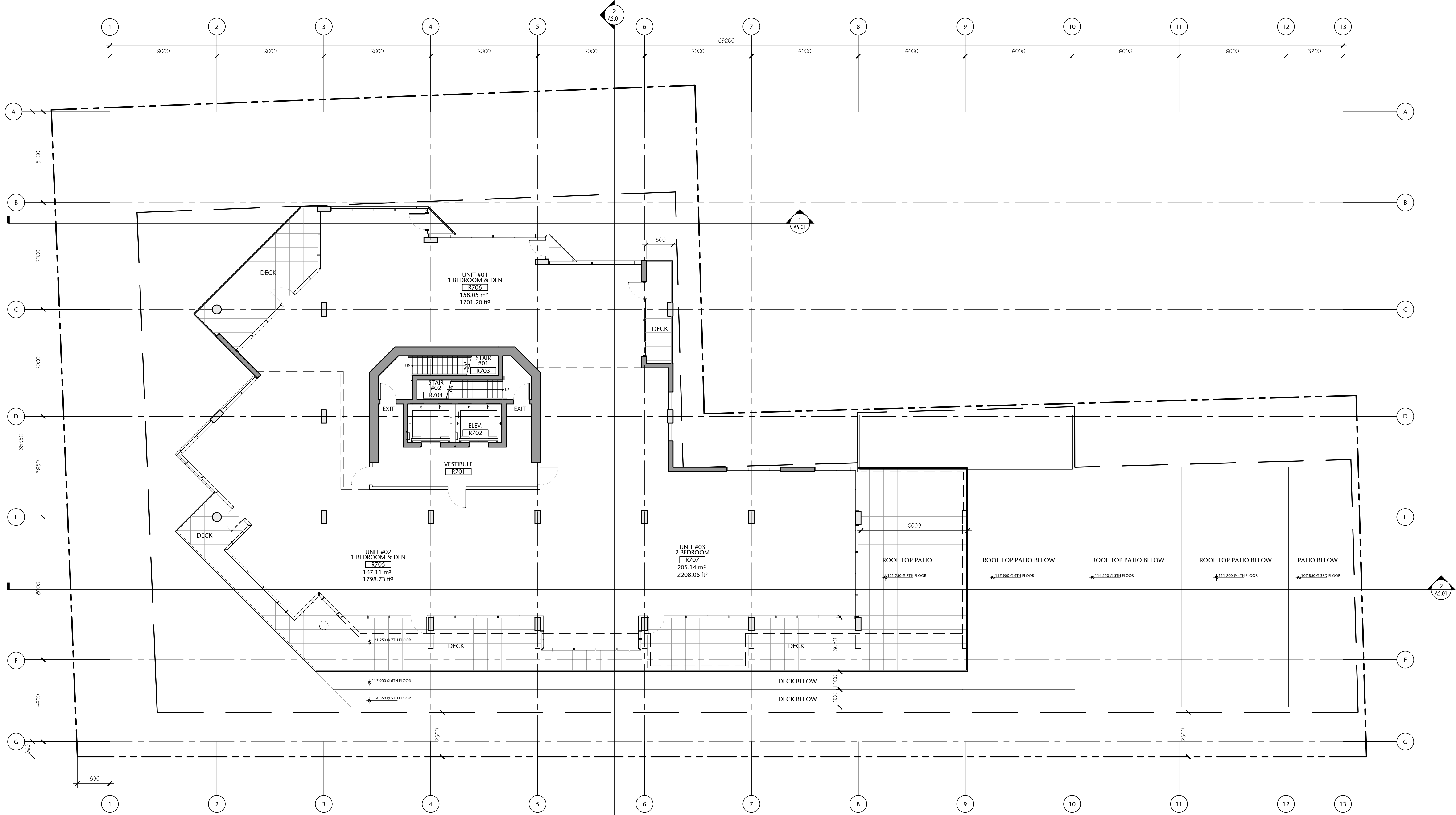
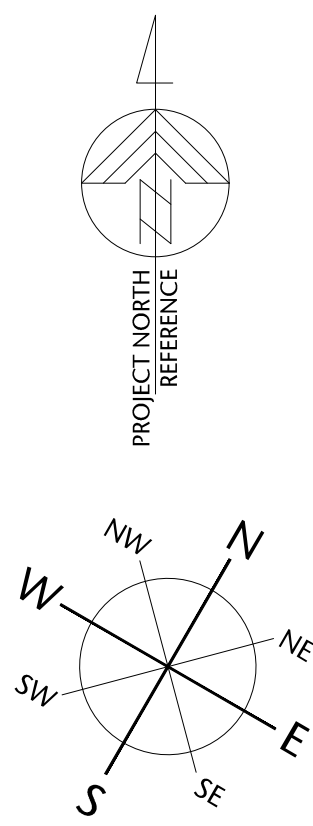
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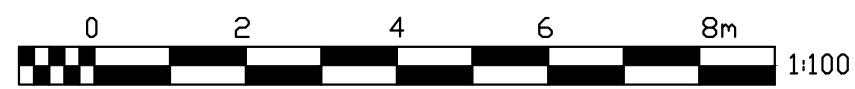
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POR	AS SHOWN
checked	project no.
DL	20.118

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P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\WD 30x42 Sheets\A2.00\20.118-09-151-A2.08 SEVENTH FLOOR PLAN.dwg, 2020/12/02, 8:00 PM, Iona Cunliewicz



1 SEVENTH FLOOR PLAN
A2.08 1:100



Seventh Floor Gross Area:
577.83 sq. mts. (6219.71 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

257 BELLEVILLE
STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
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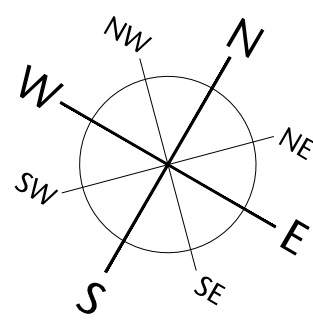
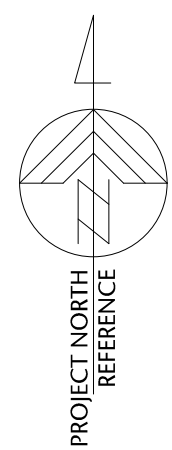
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drawing title
SEVENTH FLOOR PLAN

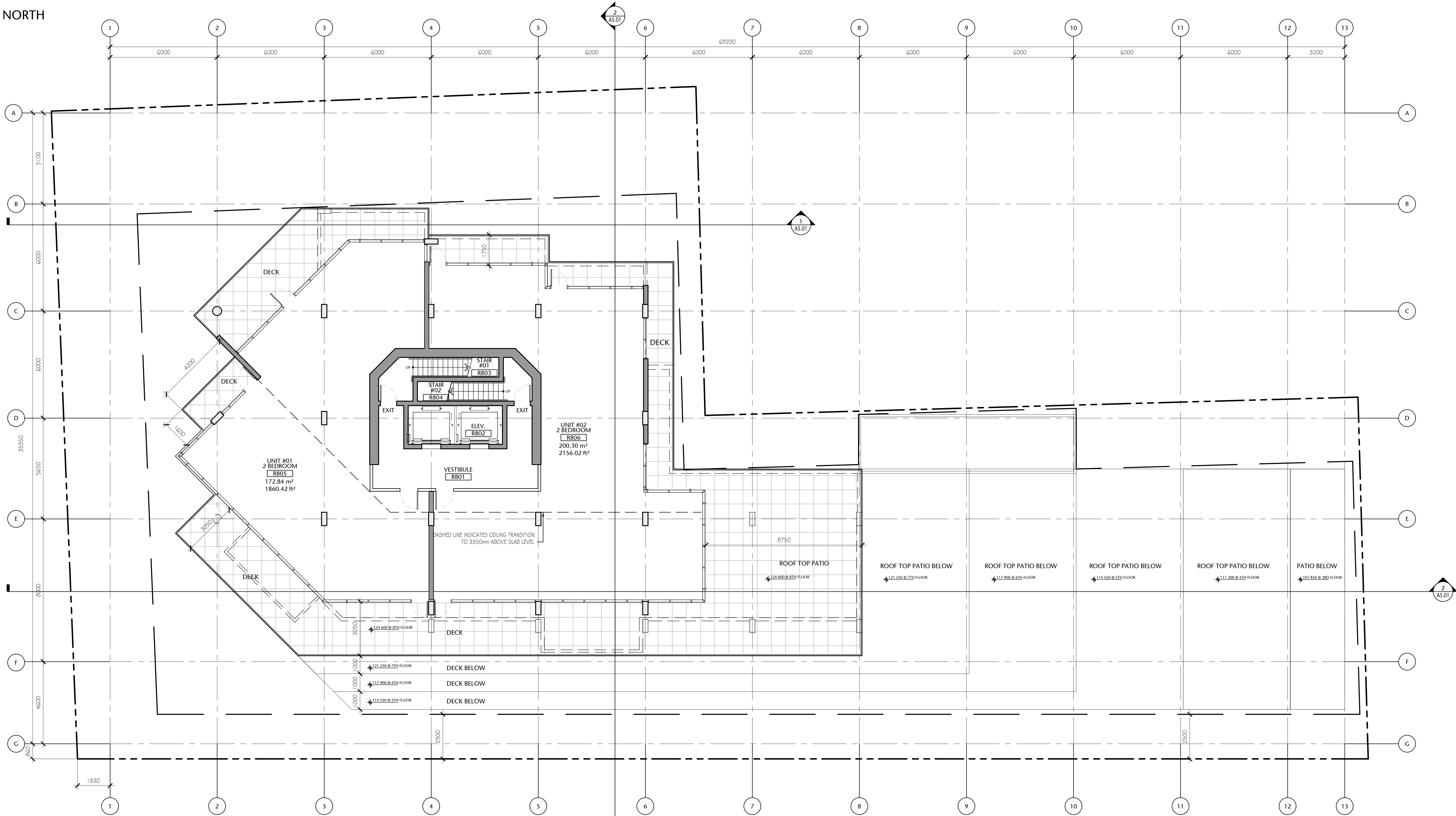
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drawn	scale
POR	AS SHOWN
checked	project no.
DL	20.118

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COMPASS NORTH



Eighth Floor Gross Area:
424.51 sq. mts. (4 569 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 EIGHTH FLOOR PLAN
A2.09 1:100



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STREET

VICTORIA, BRITISH COLUMBIA

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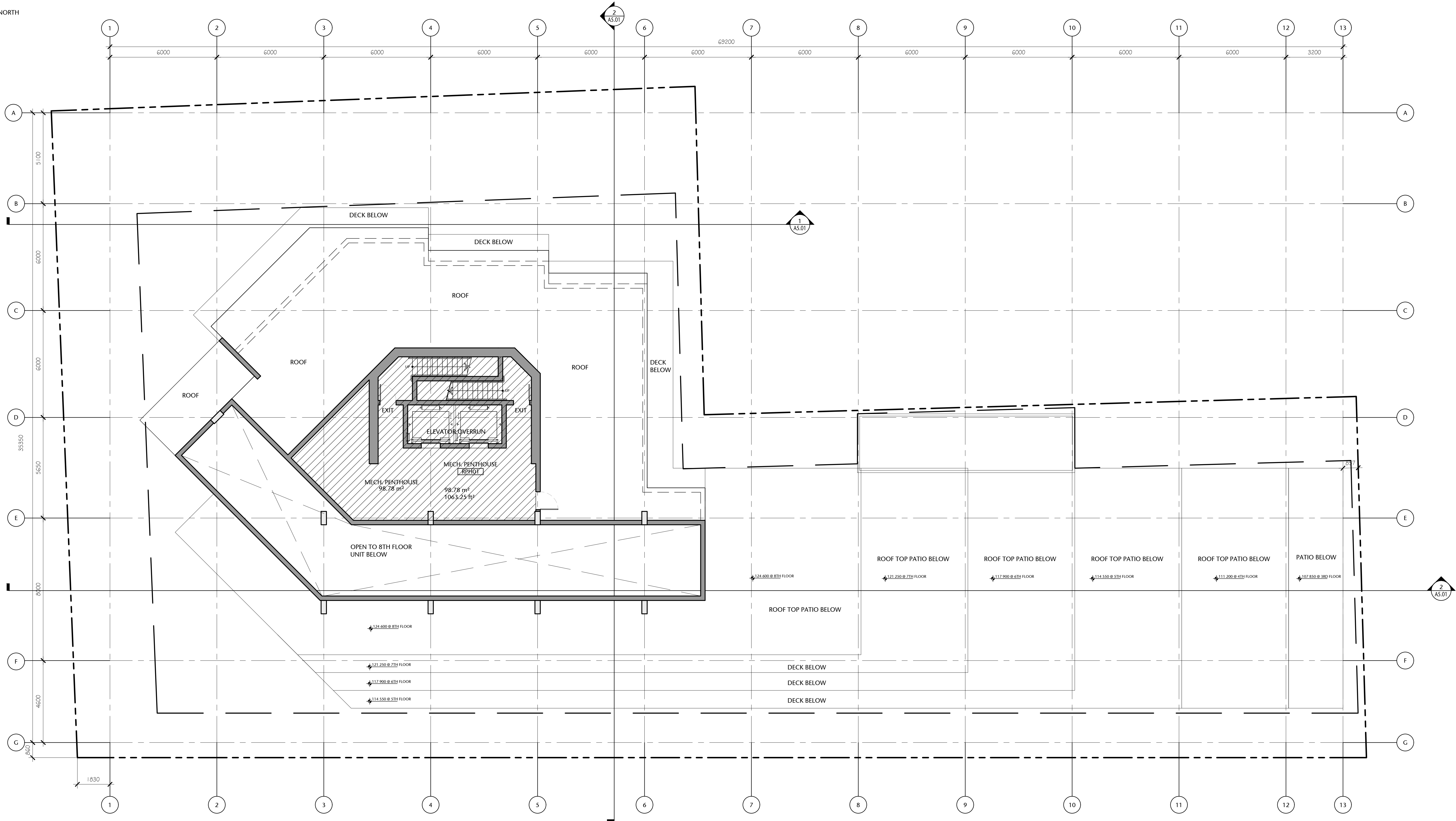
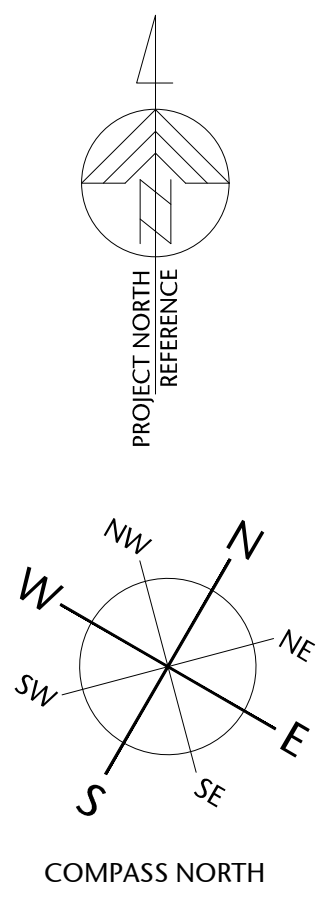
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EIGHTH FLOOR PLAN

A2.09

drawn POR	scale AS SHOWN
checked DL	project no. 20.118

P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\WD 30x42 Sheets\A2.00\20.118-09-151-A2.10 MECH. PENTHOUSE PLAN.dwg 20/01/2022 8:05 PM Iona Cunkiewicz



1 MECH. PENTHOUSE PLAN
A2.10 1:100



Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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MECH. PENTHOUSE PLAN

A2.10

drawn	scale
POR	AS SHOWN
checked	project no.
DL	20.118

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drawing title

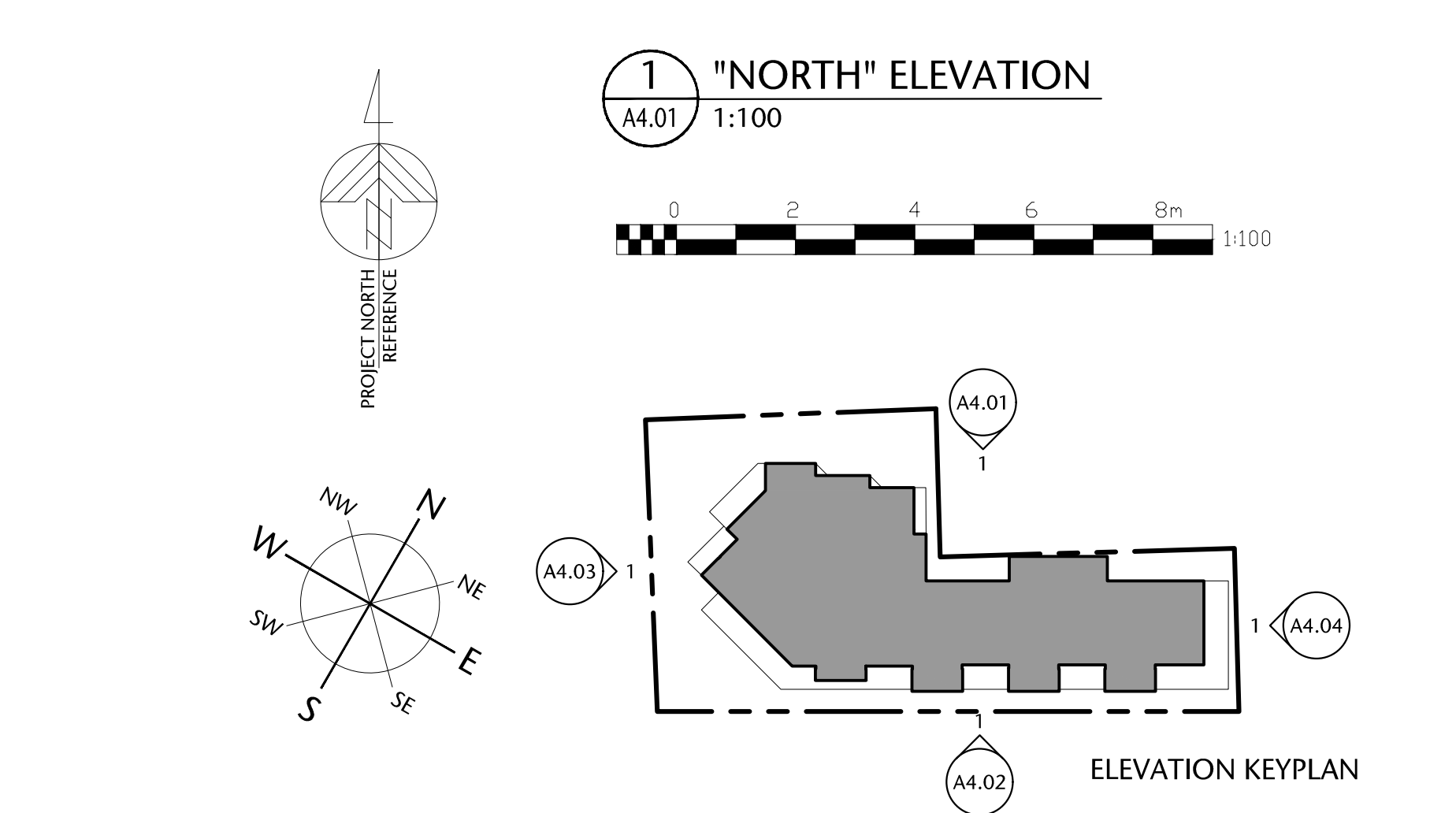
ROOF PLAN

A2.11

heet

DS, POR ^{drawn}	AS SHOWN ^{scale}
DL ^{checked}	20.118 ^{project no.}

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- 1 cast in place concrete
- 2 smooth red stack bond brick
- 3 British Columbia western red cedar
- 4 anodized aluminium
- 5 gray painted aluminium
- 6 composite wood panel - rustic color
- 7 prefinished gray aluminium
- 8 clear glass handrail
- 9 tinted vision glass
- 10 corrugated anodized aluminium

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
3	REISSUED DEVELOPMENT PERMIT	DEC 03/2020
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ELEVATIONS

A4.01

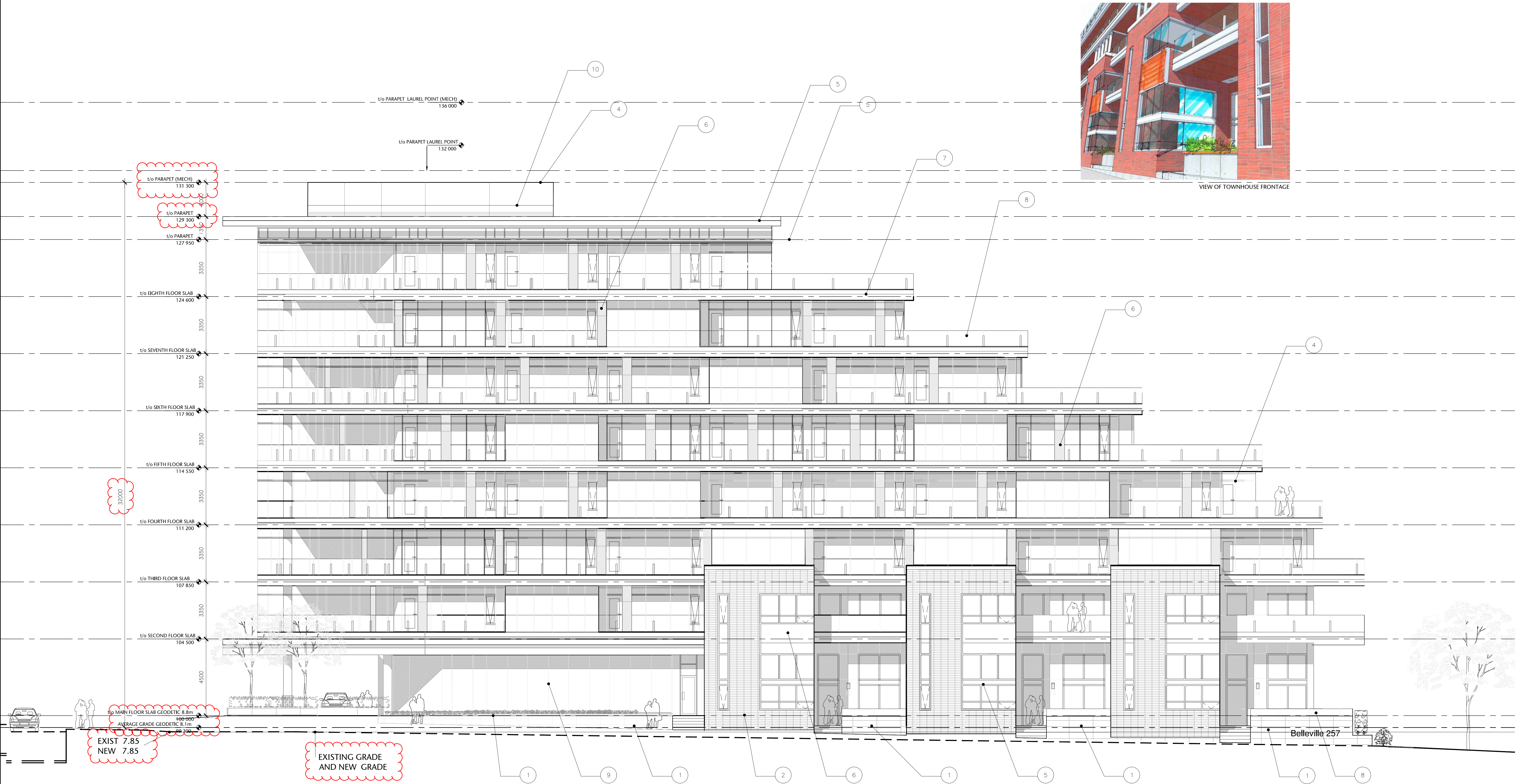
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drawn scale
AS SHOWN

scale

project no.
20.118

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257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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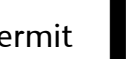
ELEVATIONS

A4.02

drawn	DL	AS SHOWN
checked	DL	20.118

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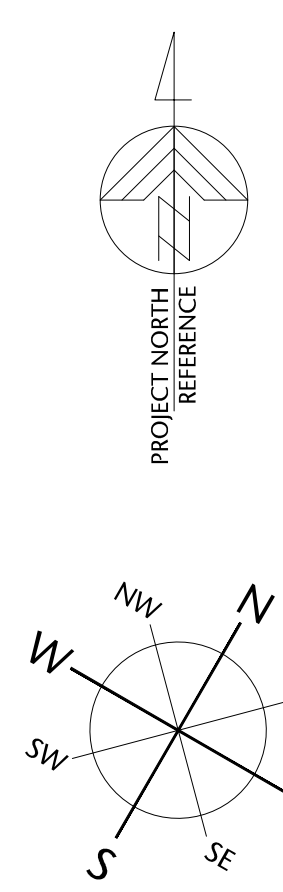
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Drawing title

sheet

checked	project no 20.118
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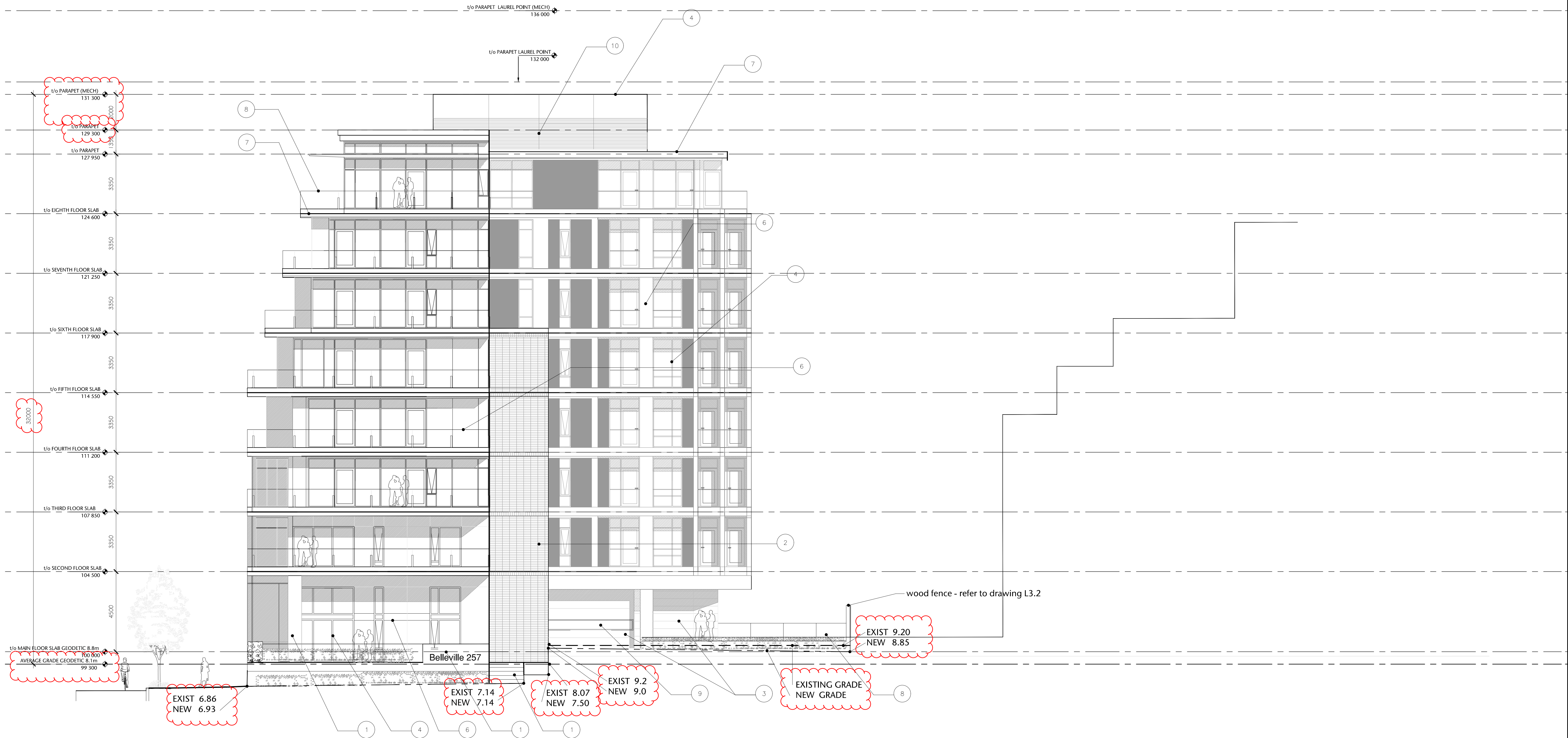


ELEVATION KEYPLAN

— — — — — EXISTING GRADE
— — — — — NEW GRADE

- 1 cast in place concrete
- 2 smooth red stack bond brick
- 3 British Columbia western red cedar
- 4 anodized aluminium
- 5 gray painted aluminium
- 6 composite wood panel - rustic color
- 7 prefinished gray aluminium
- 8 clear glass handrail
- 9 tinted vision glass
- 10 corrugated anodized aluminium

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STREET

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1	DEVELOPMENT PERMIT	OCT 23/2012
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4	REISSUED DEVELOPMENT PERMIT	APR/11/2022



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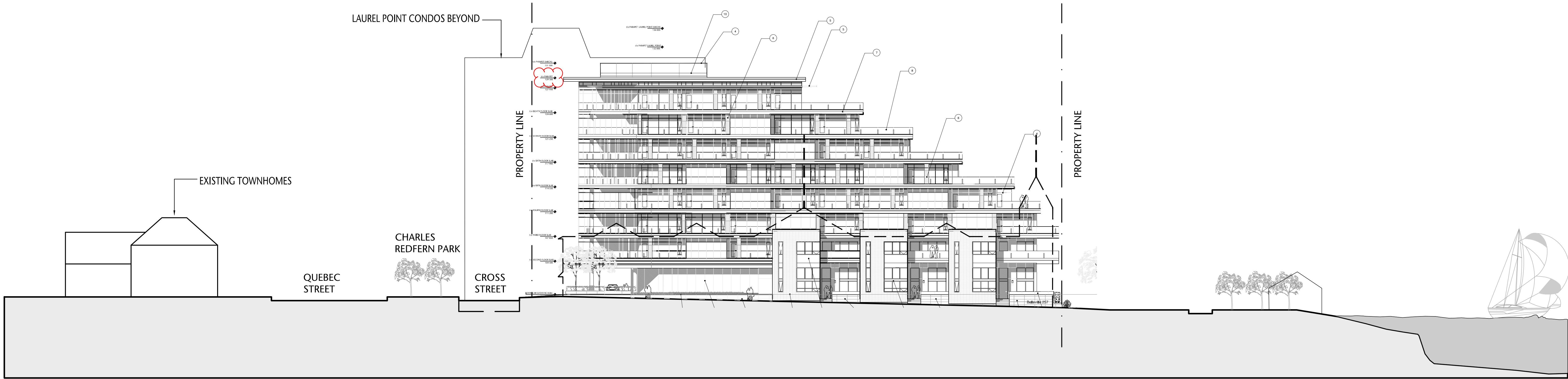
ELEVATIONS

A4.04

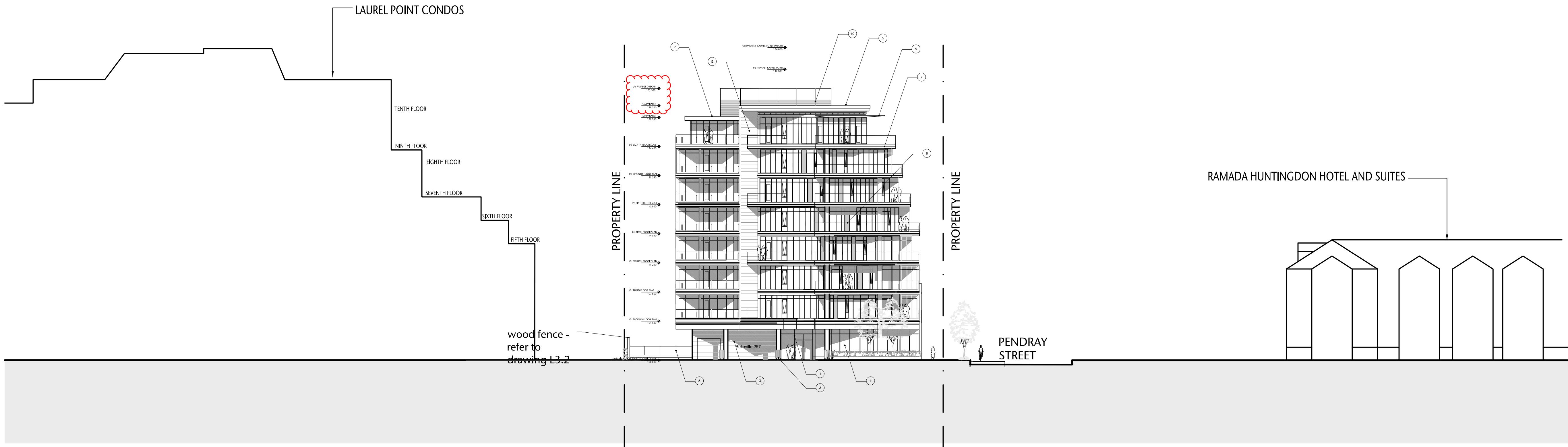
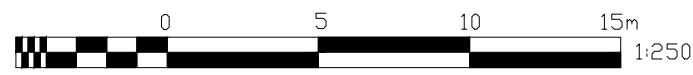
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checked	DL	project no.	20.118

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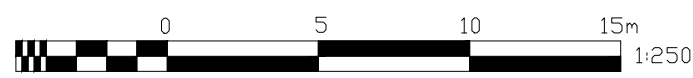
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1 STREETScape ELEVATION ALONG PENDRAY STREET
A4.05 1:250



2 STREETScape ELEVATION ALONG QUEBEC STREET
A4.05 1:250



257 BELLEVILLE STREET

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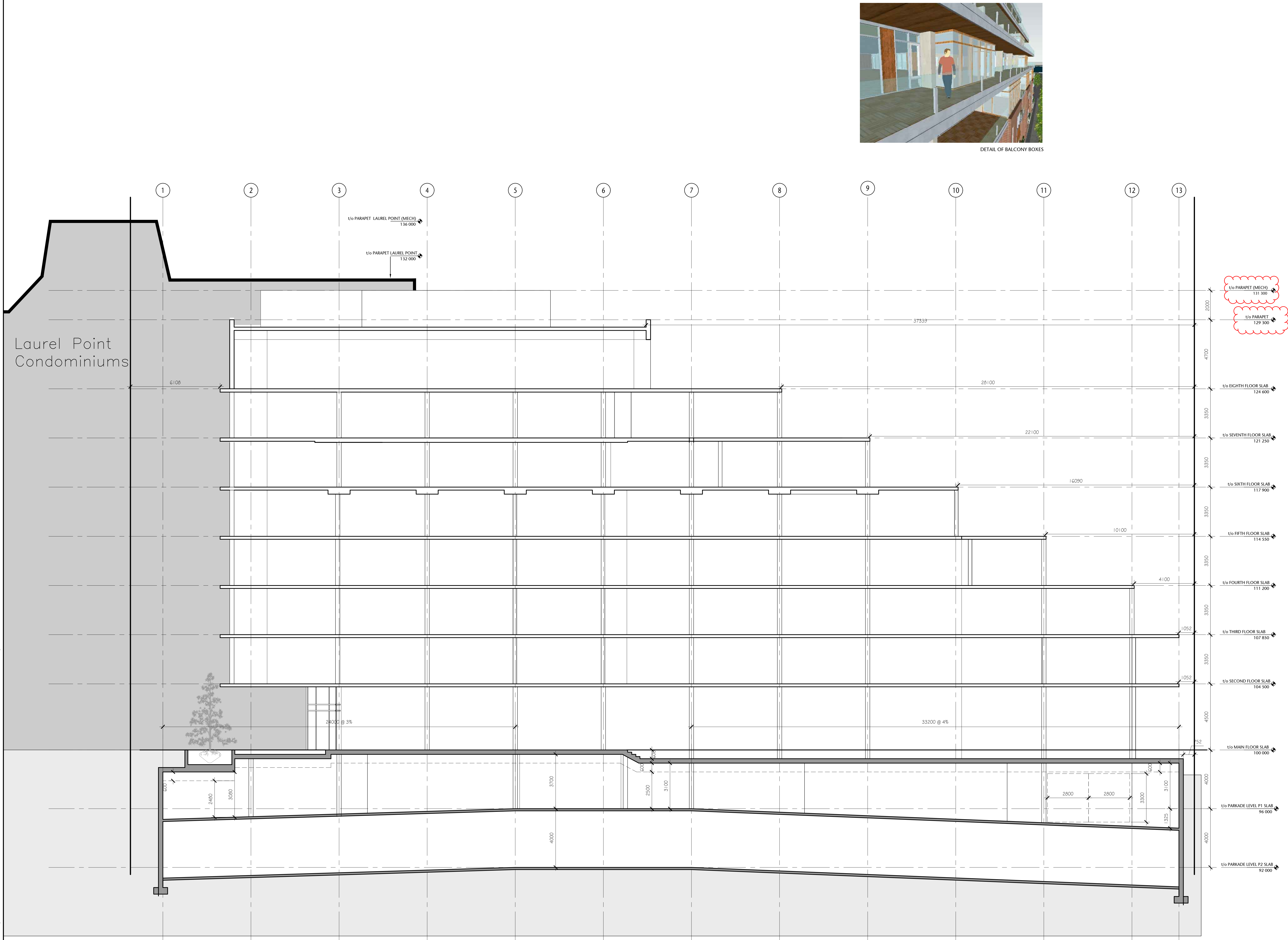
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drawing title
STREETScape ELEVATIONS

A4.05		sheet
POR, DS	AS SHOWN	scale
DL	20.118	project no.

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P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current Sheets\WD 30x42 Sheets\A5.00\20.118.09-151-A5.02 BUILDING SECTIONS.dwg 2020/12/02 10:01 PM Iona Clunkiewicz



1 BUILDING SECTION
A5.02
1:100

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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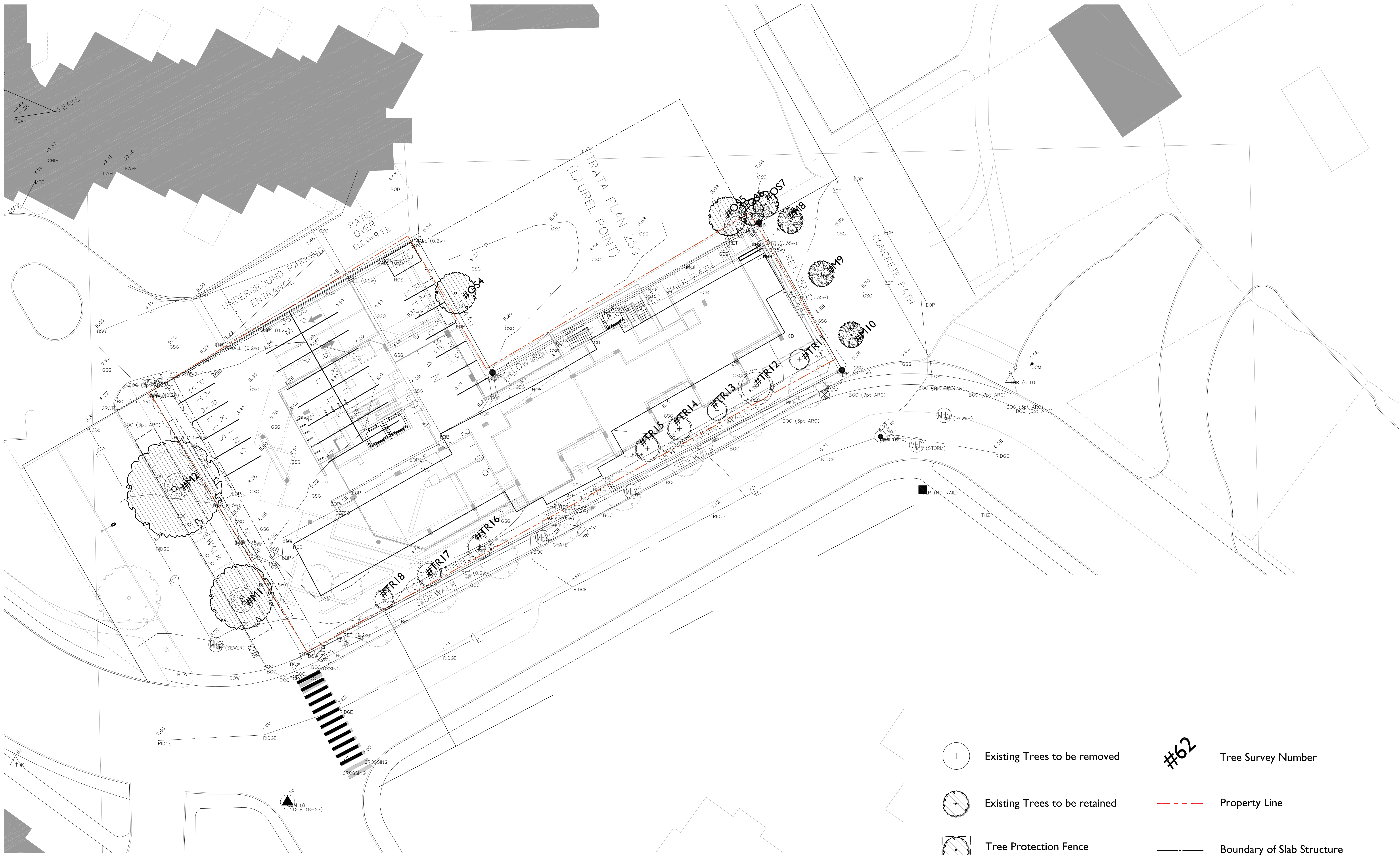
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drawing title
BUILDING SECTIONS

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PO, DS, DL	drawn	AS SHOWN	scale
DL	checked	project no.	
		20.118	

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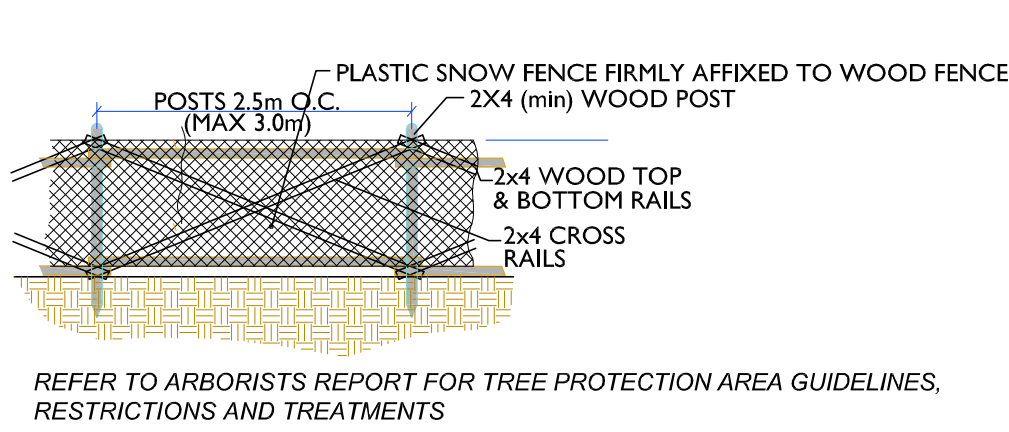


- Existing Trees to be removed
- Existing Trees to be retained
- Tree Protection Fence
- Property Line
- Boundary of Slab Structure
- Tree Survey Number

GENERAL NOTES:

- THIS DRAWING IS FOR REFERENCE ONLY. REFER TO THE SURVEY MAP DATED APRIL 17, 2014 PROVIDED BY BENNETT LAND SURVEYING LTD.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL.
- ALL PRUNING TO BE DONE UNDER THE SUPERVISION OF THE APPOINTED ARBORIST AS PER SPEC.
- REFER TO ELECTRICAL DRAWINGS FOR ALL SERVICE TERMINATION AND REINSTATEMENT.
- ALL ONSITE LANDSCAPE FEATURES AND PLANTS NOT IDENTIFIED FOR RETENTION OR RELOCATION ARE TO BE REMOVED.
- REFER TO CERTIFIED ARBORISTS TREE MANAGEMENT PLAN FOR TREE PRESERVATION.
- ALL EXISTING STREET CURBS TO BE RETAINED UNLESS OTHERWISE NOTED.
- POSSIBLE RETENTION OF TREES FOR SNAGS ALONG LANGARA TRAIL. ARBORIST TO REVIEW FEASIBILITY IN TERMS OF SAFETY.
- REFER TO CIVIL DRAWINGS FOR REMOVAL, RETENTION AND/OR RELOCATION OF EXISTING PARKING AND SITE SERVICES.

TREE PROTECTION FENCE DETAIL (NTS):



257 BELLEVILLE STREET
VICTORIA,
BRITISH COLUMBIA.

no.	issued for	date
	Development Permit	Nov 15/10
	Revised Development Permit	Feb 04/11
	Revised Development Permit	Feb 16/11
	Revised Development Permit	Apr 29/11
	Issued for Costing	Nov 07/11
	Re-issued for Development Permit	Dec 05/12
	Re-issued for Development Permit	Nov 26/20
	Re-issued for Development Permit	June 03/21
	For Coordination	July 30/21
	Re-issued for Development Permit	Dec 06/21

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drawing	title	sheet
	TREE MANAGEMENT PLAN	
	L0.1	
MD	drawn	1:200 scale
CP	checked	08005 project no.



257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA.

no.	issued for	date
—	Development Permit	Nov 15/10
—	Revised Development Permit	Feb 04/11
—	Revised Development Permit	Feb 16/11
—	Revised Development Permit	Apr 29/11
—	Issued for Costing	Nov 07/11
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—	Re-issued for Development Permit	Nov 26/20
—	Re-issued for Development Permit	June 03/21
—	For Coordination	July 30/21
—	Re-issued for Development Permit	Dec 06/21



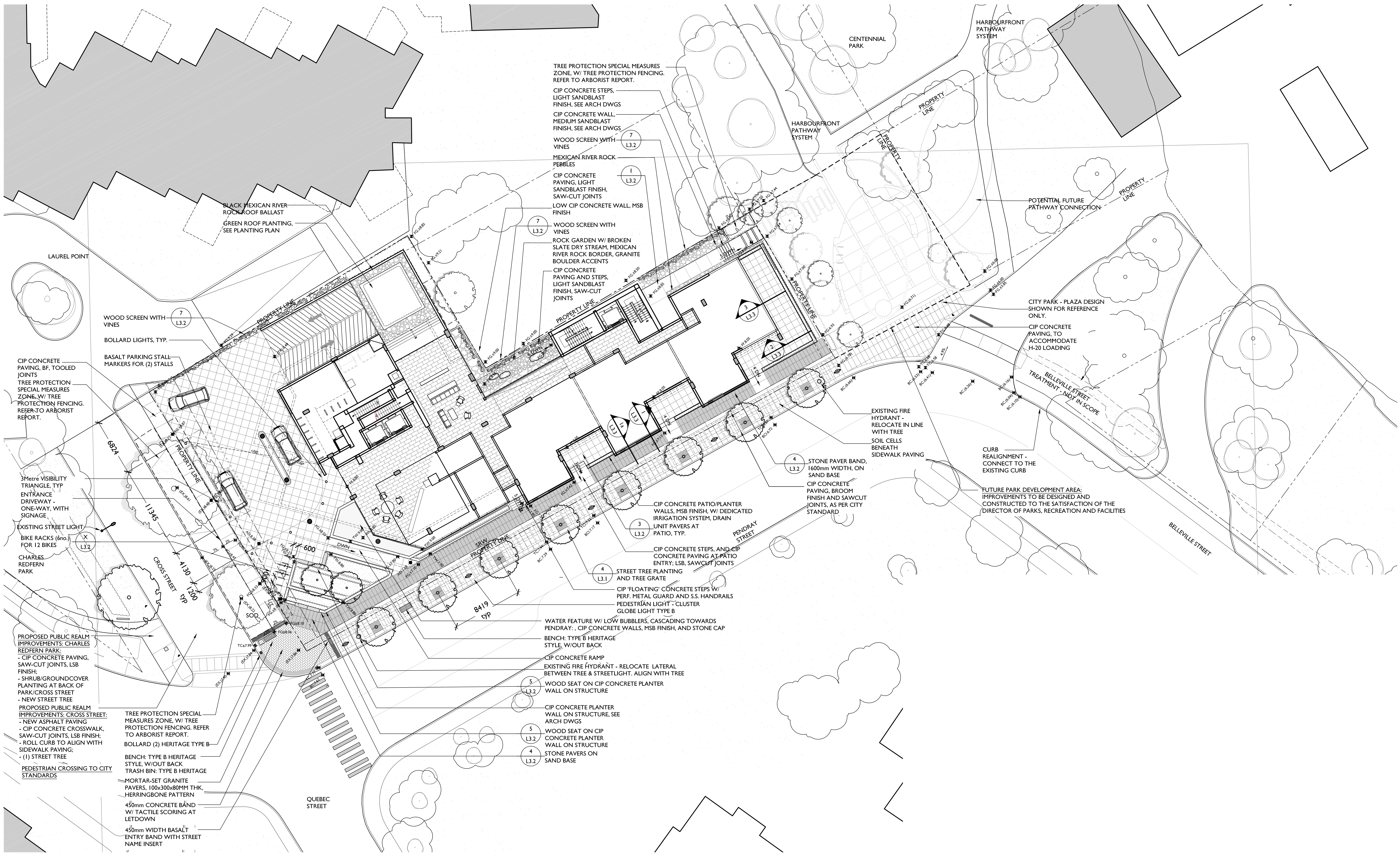
no.	issued for	date
—	Development Permit	Nov 15/10
—	Revised Development Permit	Feb 04/11
—	Revised Development Permit	Feb 16/11
—	Revised Development Permit	Apr 29/11
—	Issued for Costing	Nov 07/11
—	Re-issued for Development Permit	Dec 05/12
—	Re-issued for Development Permit	Nov 26/20
—	Re-issued for Development Permit	June 03/21
—	For Coordination	July 30/21
—	Re-issued for Development Permit	Dec 06/21



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LANDSCAPE PLAN -
GROUND FLOOR

no.	issued for	date
—	Development Permit	Nov 15/10
—	Revised Development Permit	Feb 04/11
—	Revised Development Permit	Feb 16/11
—	Revised Development Permit	Apr 29/11
—	Issued for Costing	Nov 07/11
—	Re-issued for Development Permit	Dec 05/12
—	Re-issued for Development Permit	Nov 26/20
—	Re-issued for Development Permit	June 03/21
—	For Coordination	July 30/21
—	Re-issued for Development Permit	Dec 06/21



LANDSCAPE KEY LEGEND

CIP	CAST-IN-PLACE
PB	POOL BOTTOM
WL	WATER LEVEL
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
AD	AREA DRAIN
10.0M	PROPOSED SPOT ELEVATION (FINISHED GRADE)

rh	PLANT SPECIES
12	PLANT QUANTITY
3.0	SECTION NUMBER
1.0	SET SHEET NO.
2.0	DETAIL NUMBER
1.0	SET SHEET NO.

GENERAL NOTES

1. PROVIDE ADEQUATE SUB-SURFACE DRAINAGE IN ALL LAWN AND PLANTING AREAS.
2. SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR GRADING.
3. ENSURE POSITIVE DRAINAGE.
4. STREETScape TO APPROVAL OF ENGINEERING SERVICES. ALL STREET TREES TO HAVE 8" WIDE 18" DEPTH 'DEEP ROOT' ROOT BARRIER, OR PRE-APPROVED EQUIVALENT, AT ALL SIDEWALK LOCATIONS.
5. ALL STREET TREE SPECIES AND SPACING TO CONFORM TO CITY OF VICTORIA STANDARD SPACING AND CLEARANCE.
6. FINAL TREE LOCATIONS TO BE DETERMINED TO THE SATISFACTION OF ENGINEERING SERVICES.
7. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANT MATERIAL, INCLUDING STREETLEVEL PLANTINGS AND GREEN ROOF PLANTINGS. HOSEBIBS SHALL BE PROVIDED IN ALL PRIVATE COURTYARD AND PATIO AREAS. IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
8. ALL PLANT MATERIAL TO CNLA AND CSLA STANDARDS.
9. ROOT BARRIERS TO BE 'DEEP ROOT', 'ROOT SOLUTIONS' OR EQUAL.

IRRIGATION: GENERAL NOTES

1. ALL LANDSCAPE IRRIGATION SHALL CONFORM TO IABC STANDARDS.
2. LANDSCAPE DRIPLINE SHALL BE LOOPED UNLESS OTHERWISE SPECIFIED.
3. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR ADEQUATE FOR THE SCOPE OF WORK. THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF THE IRRIGATION INDUSTRY ASSOCIATION OF B.C. AND HAVE MET THE QUALIFICATION STANDARDS CURRENTLY APPLIED TO CONTRACTORS BY THAT ORGANIZATION.
4. UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, ALL LANDSCAPE IRRIGATION EQUIPMENT SHALL BE SUPPLIED BY A SINGLE MANUFACTURER. ANY SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT WILL BE REJECTED.

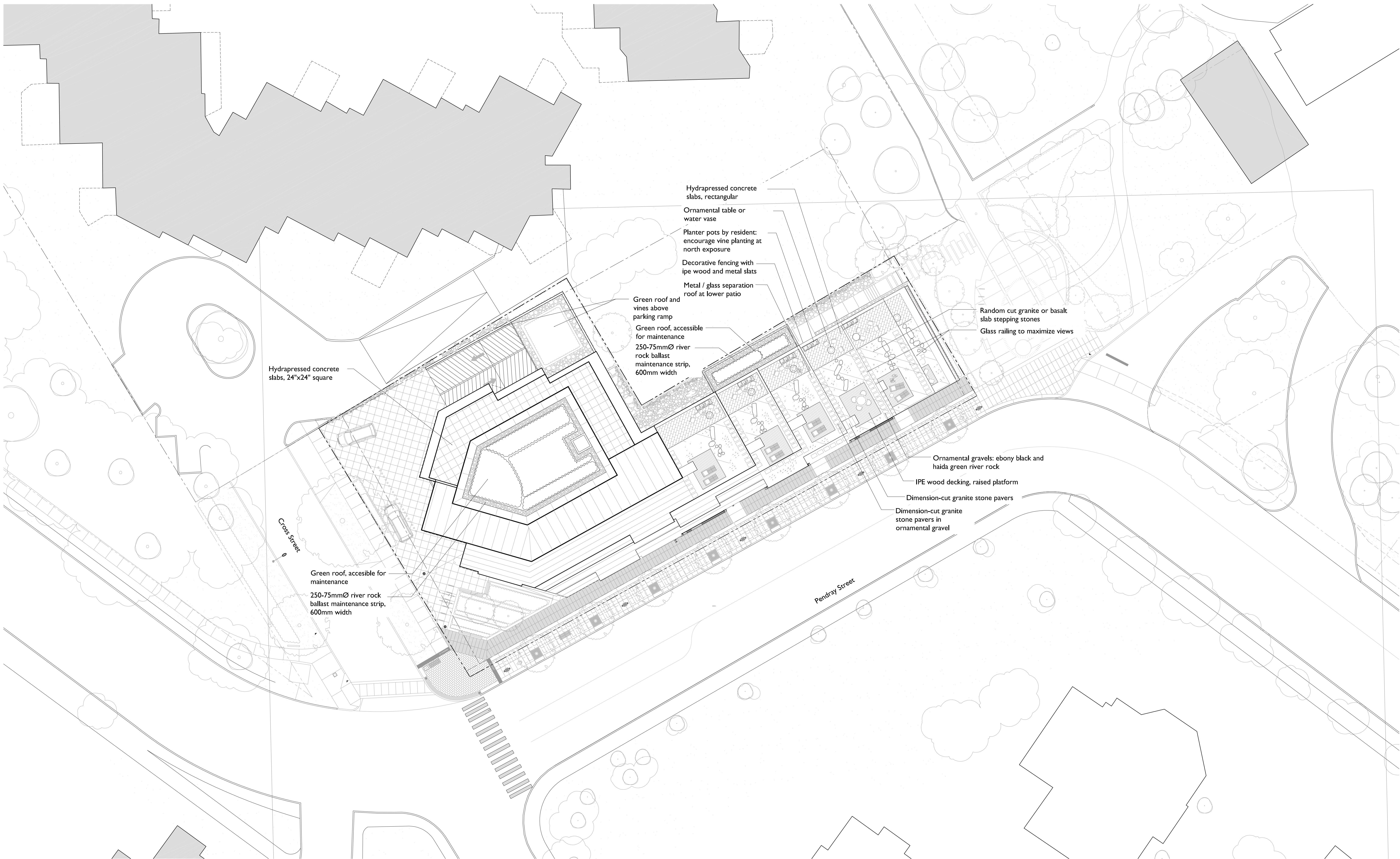
LAYOUT AND MATERIALS: GENERAL NOTES

1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
5. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
6. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
7. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
8. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.

GRADING: GENERAL NOTES

1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN LAWN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 4:1 (25%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.

THIS DRAWING MUST NOT BE SCALED. ALL DIMENSIONS, DATA AND LEVELS SHOWN ARE VERIFIED BEFORE CONSTRUCTION AND SHALL BE RE-VERIFIED IMMEDIATELY TO THE ARCHITECT.



LAYOUT AND MATERIALS: GENERAL NOTES

1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
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5. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
6. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
7. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
8. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.

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4. UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, ALL LANDSCAPE IRRIGATION EQUIPMENT SHALL BE SUPPLIED BY A SINGLE MANUFACTURER. ANY SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT WILL BE REJECTED.
5. GREEN ROOF PLANTING IS TO BE FULLY IRRIGATED.

257 BELLEVILLE STREET

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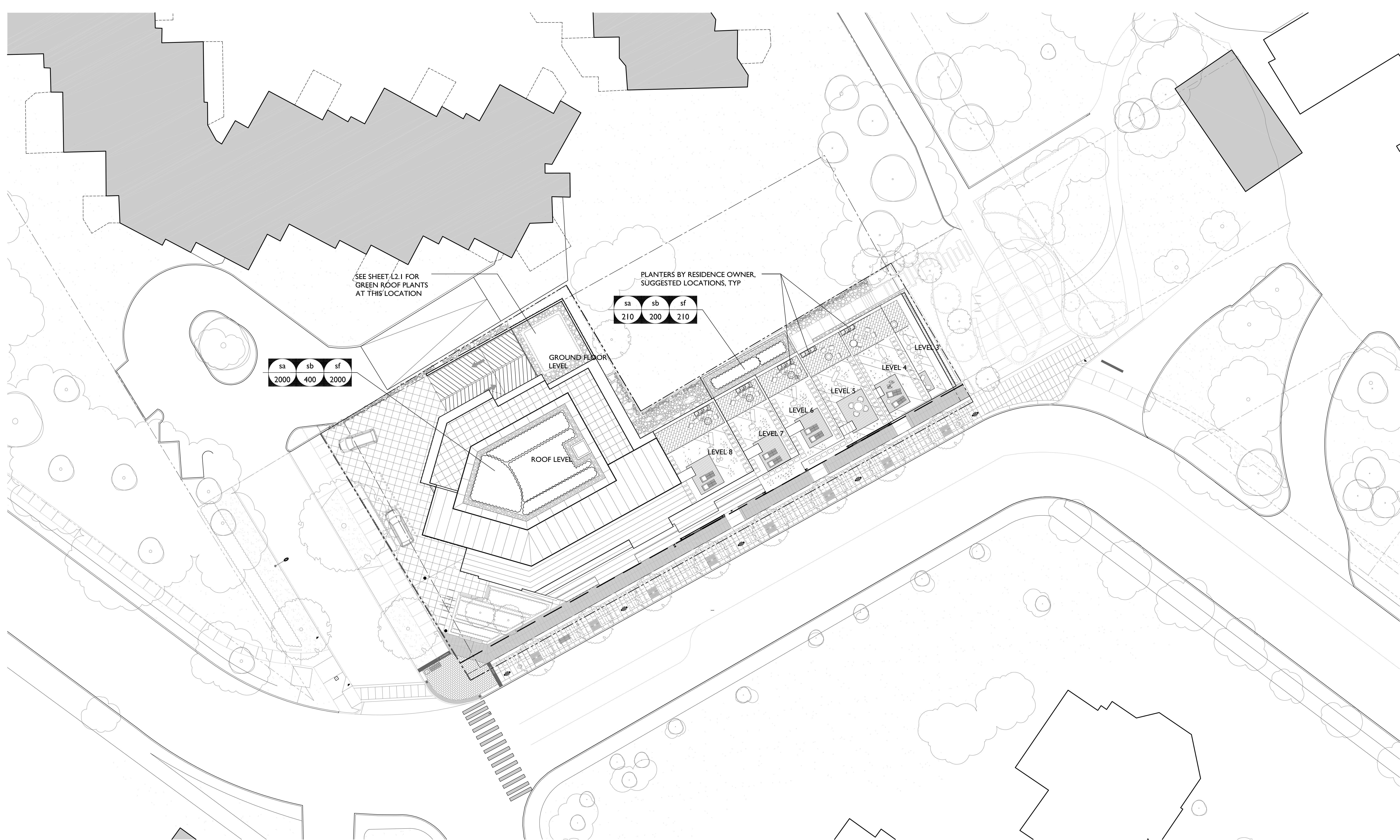
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LANDSCAPE PLAN - ROOF LEVELS

MD	drawn	1:200	scale
CP	checked	08005	project no.





SEDUM SPECIES



EXTENSIVE GREEN ROOF PLANTING EXAMPLES



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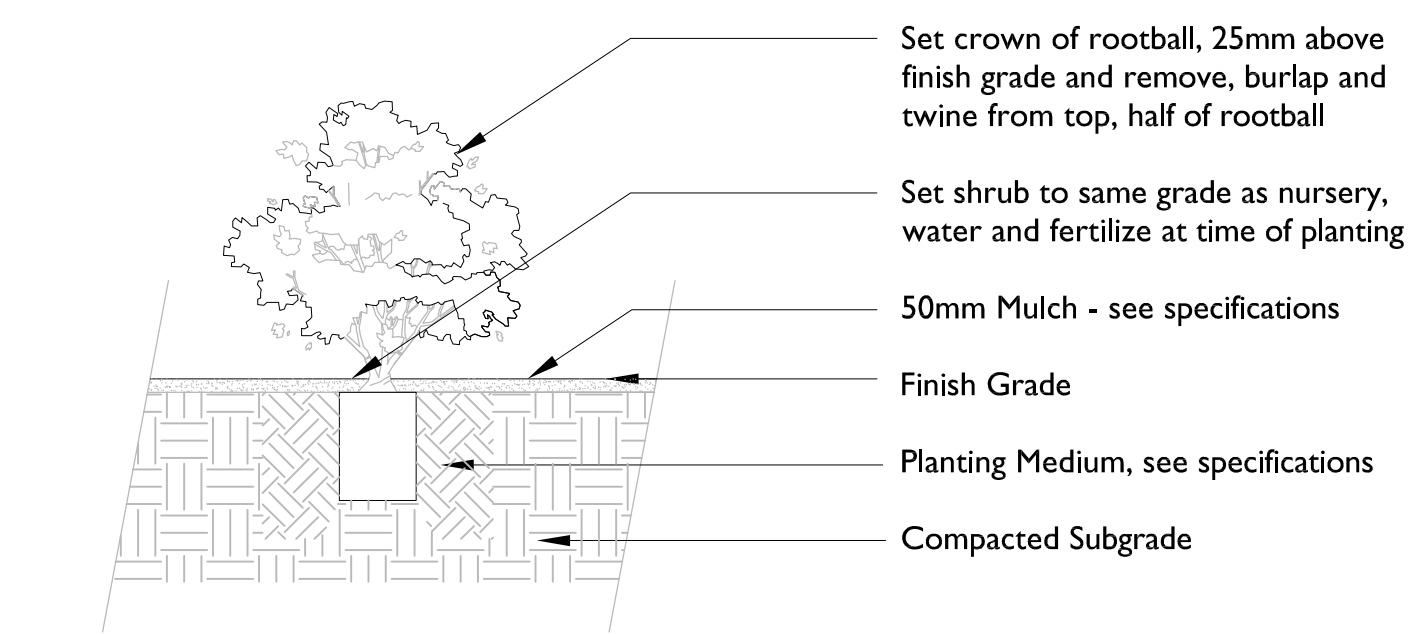


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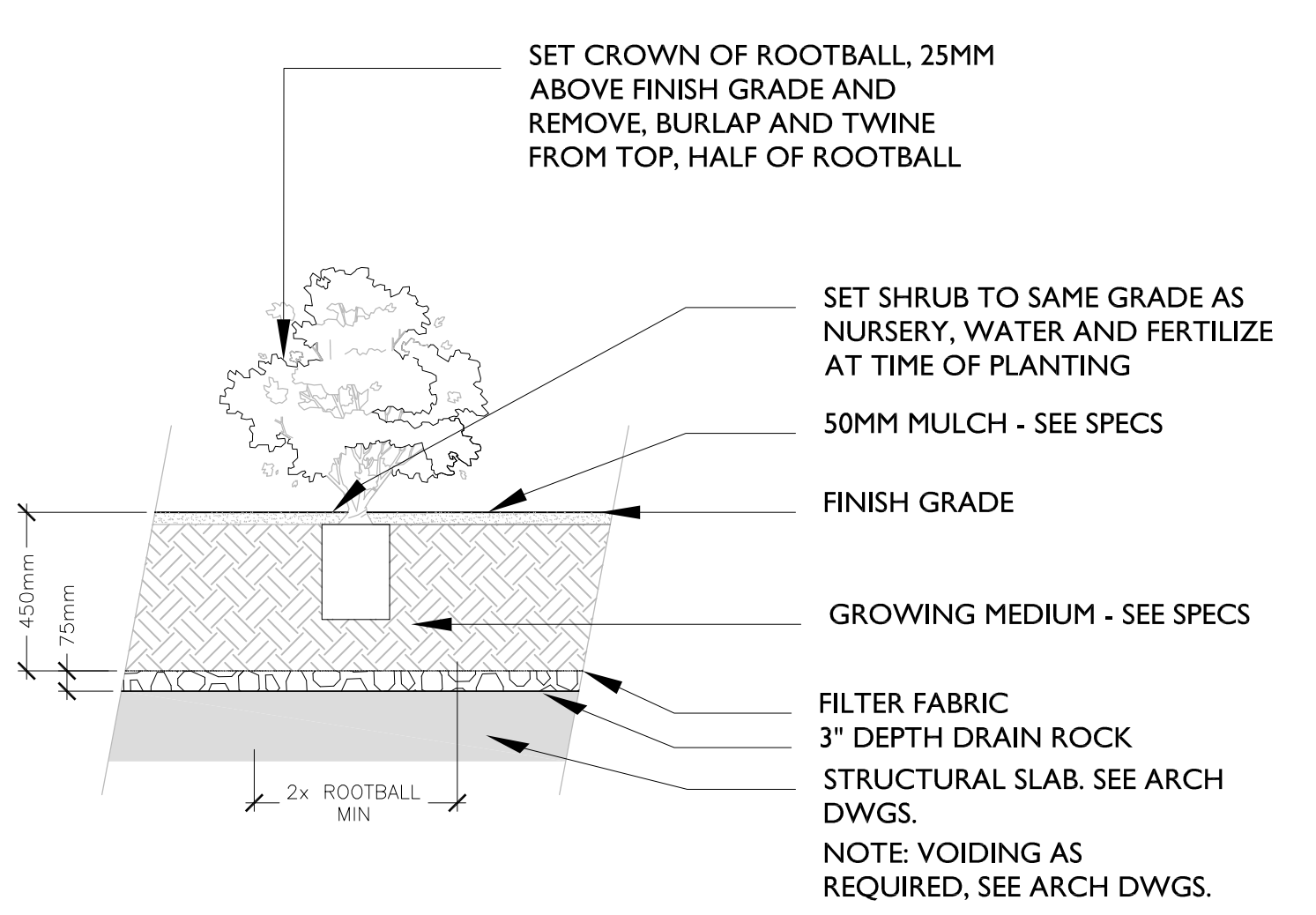
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	scale	project no.

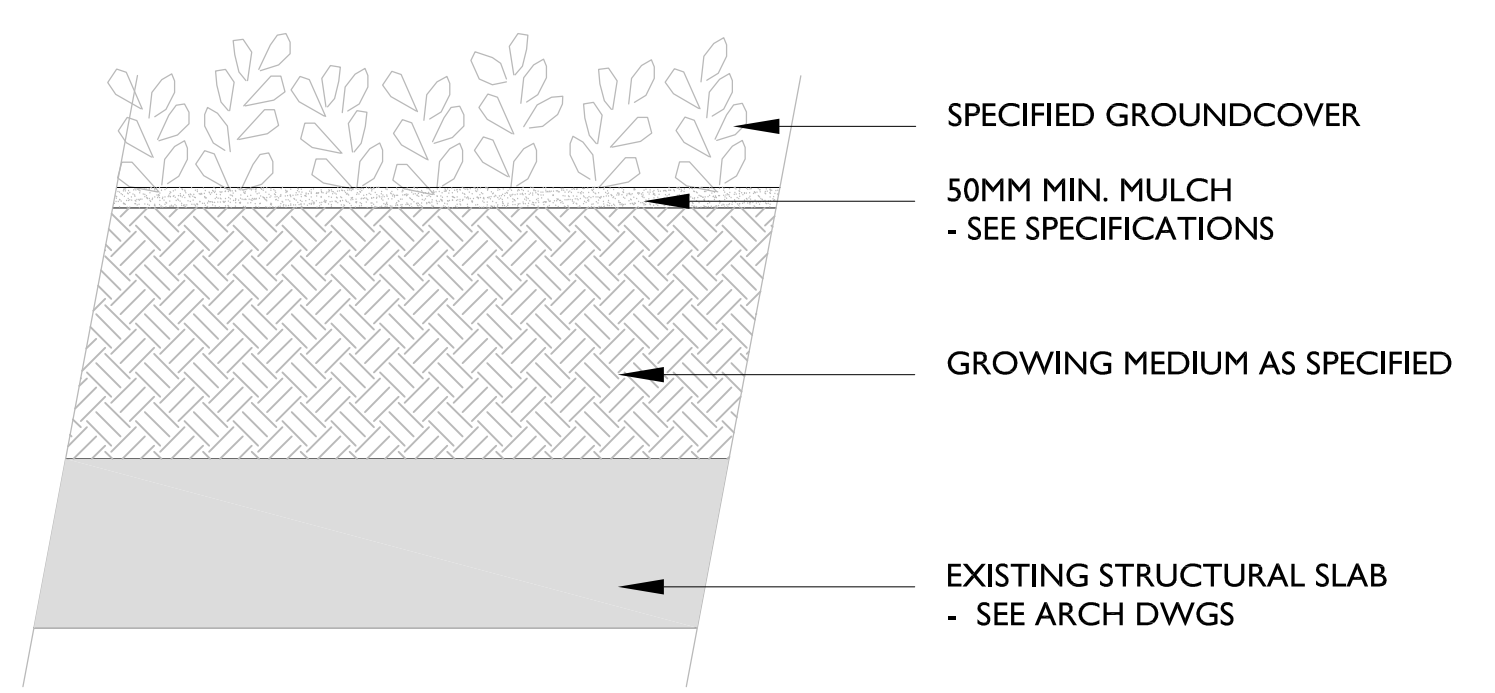
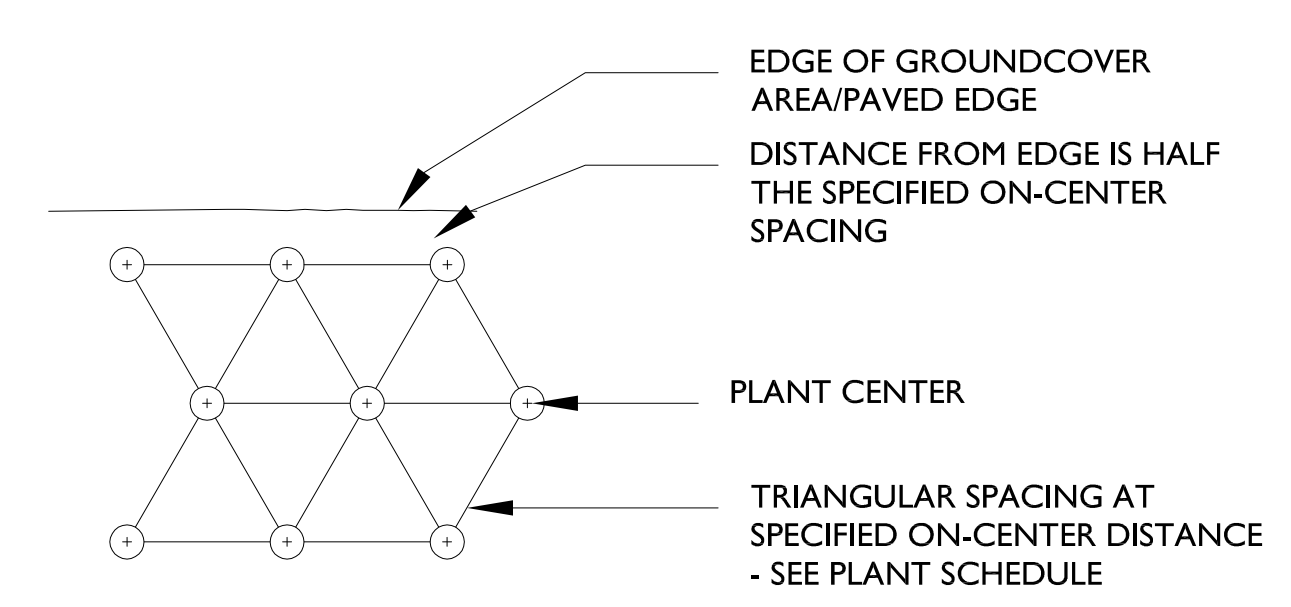




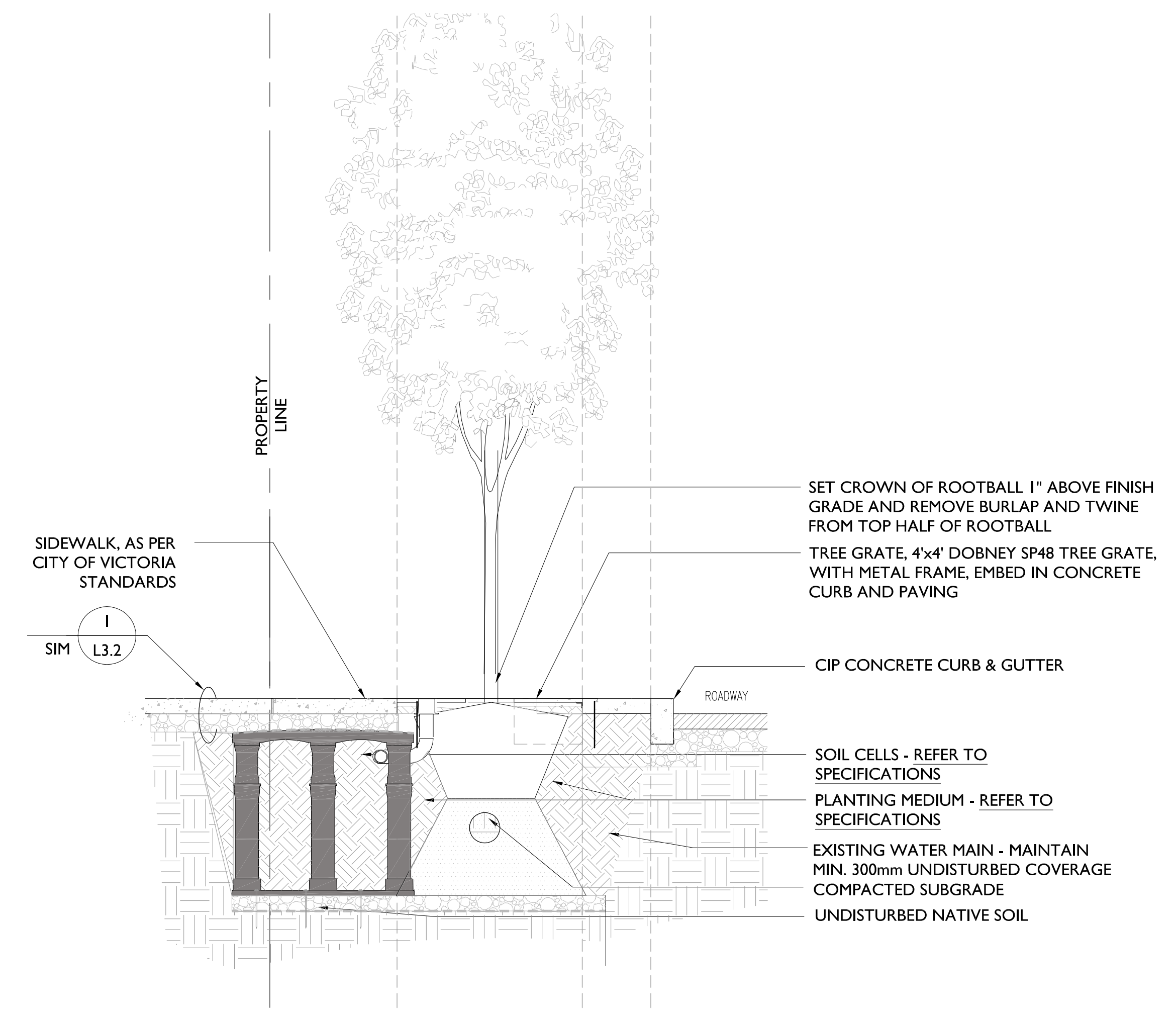
1 SHRUB PLANTING ON GRADE
L3.1 SCALE: 1:25



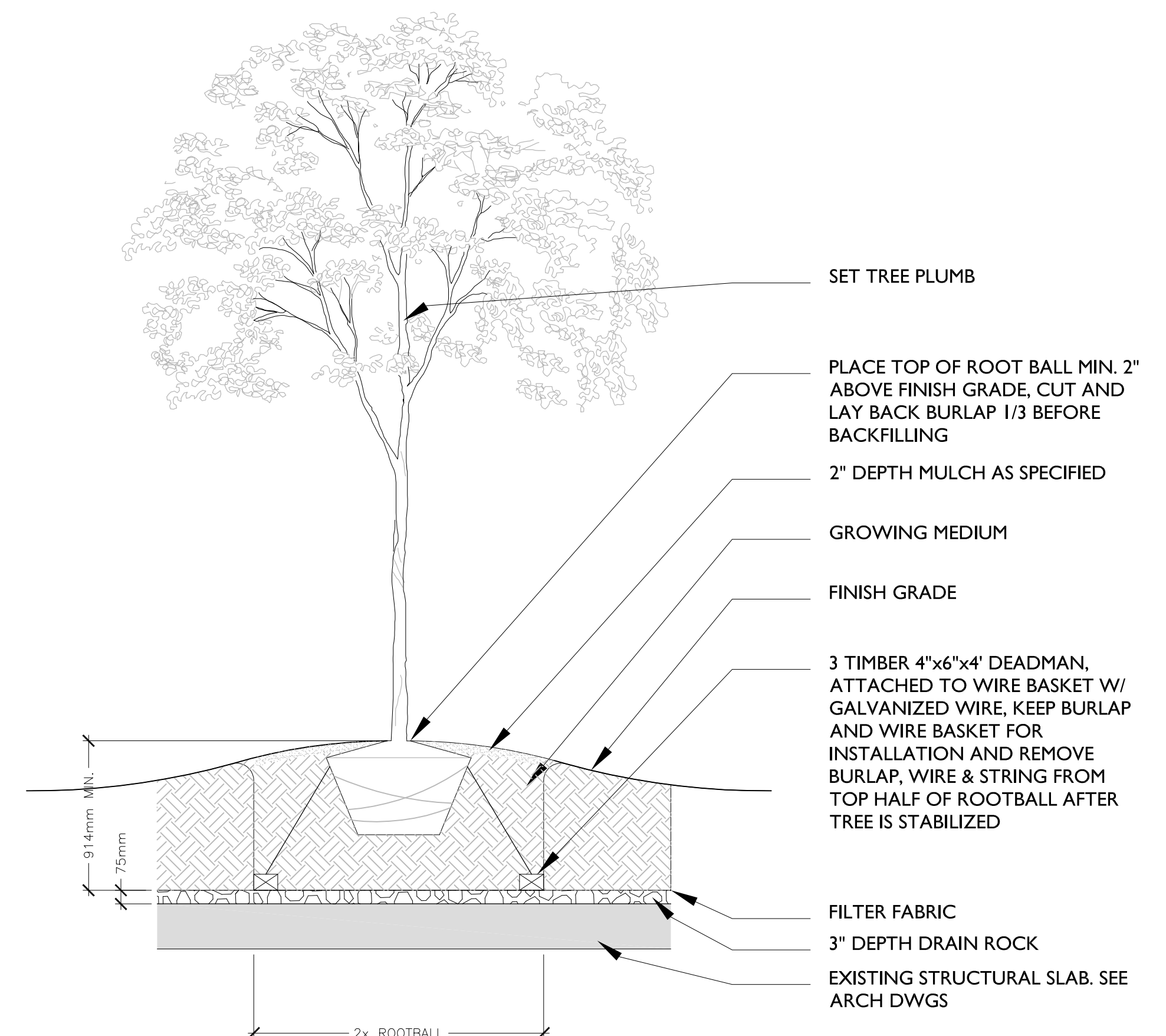
2 SHRUB PLANTING ON SLAB
L3.1 SCALE: 1:25



3 GROUND COVER ON SLAB
L3.1 SCALE: 1:20



4 TYPICAL STREET TREE PLANTING W/ TREE GRATE AND STRUCTURAL SOIL
L3.1 SCALE: 1:25



5 DECIDUOUS TREE PLANTING ON SLAB
L3.1 SCALE: 1:25

TREES

ACER RUBRUM 'BOWHALL'
BOWHALL UPRIGHT RED MAPLE

ACER RUBRUM 'RED SUNSET'
RED SUNSET RED MAPLE

STYRAX JAPONICA -
JAPANESE SNOWBALL

SHRUBS /
GROUNDCOVERS

TAXUS MEDIA 'HICKSII' -
HICK'S YEW

BUXUS JAPONICUM -
'GREEN BEAUTY' BOXWOOD

STIPA TENNUISIMA -
MEXICAN FEATHER GRASS

RUDBECKIA 'GOLDSTURM' -
GOLDSTURM CONEFLOWER



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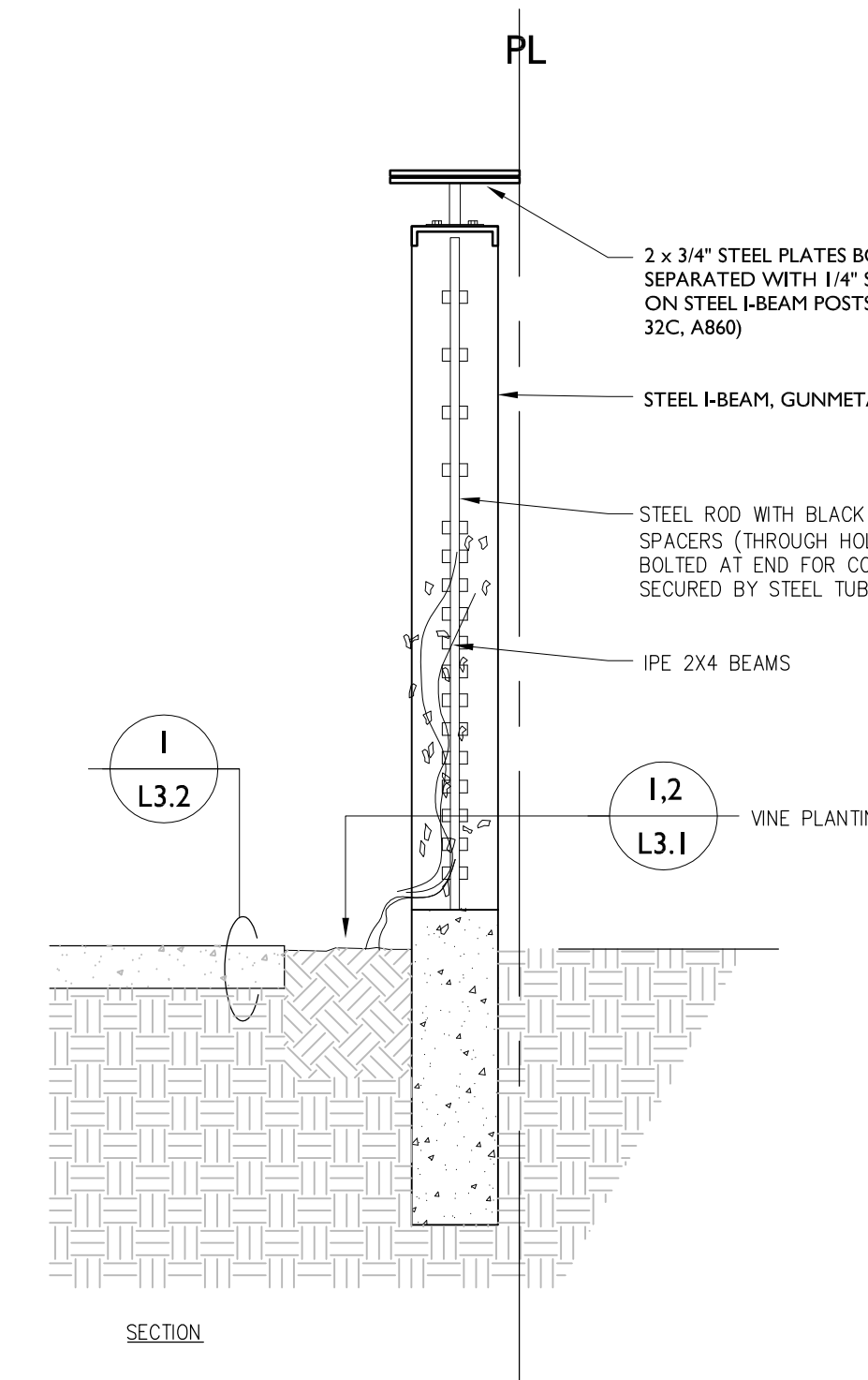
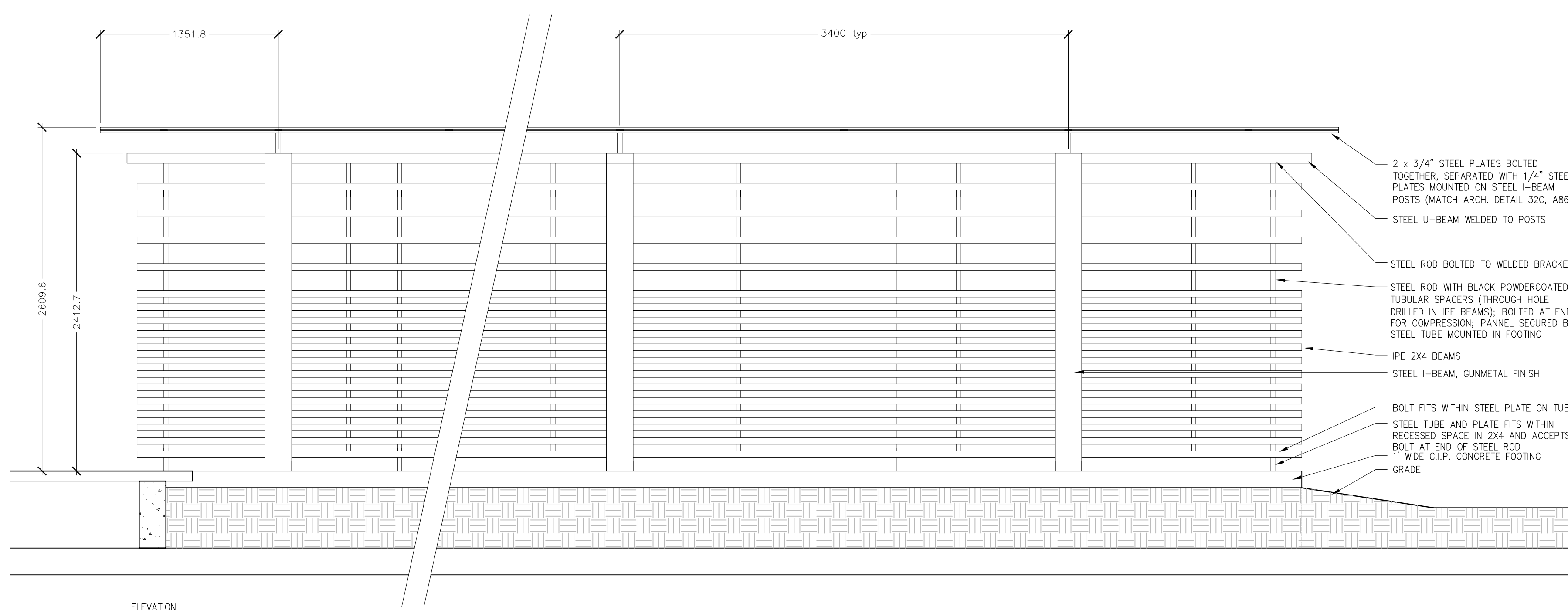
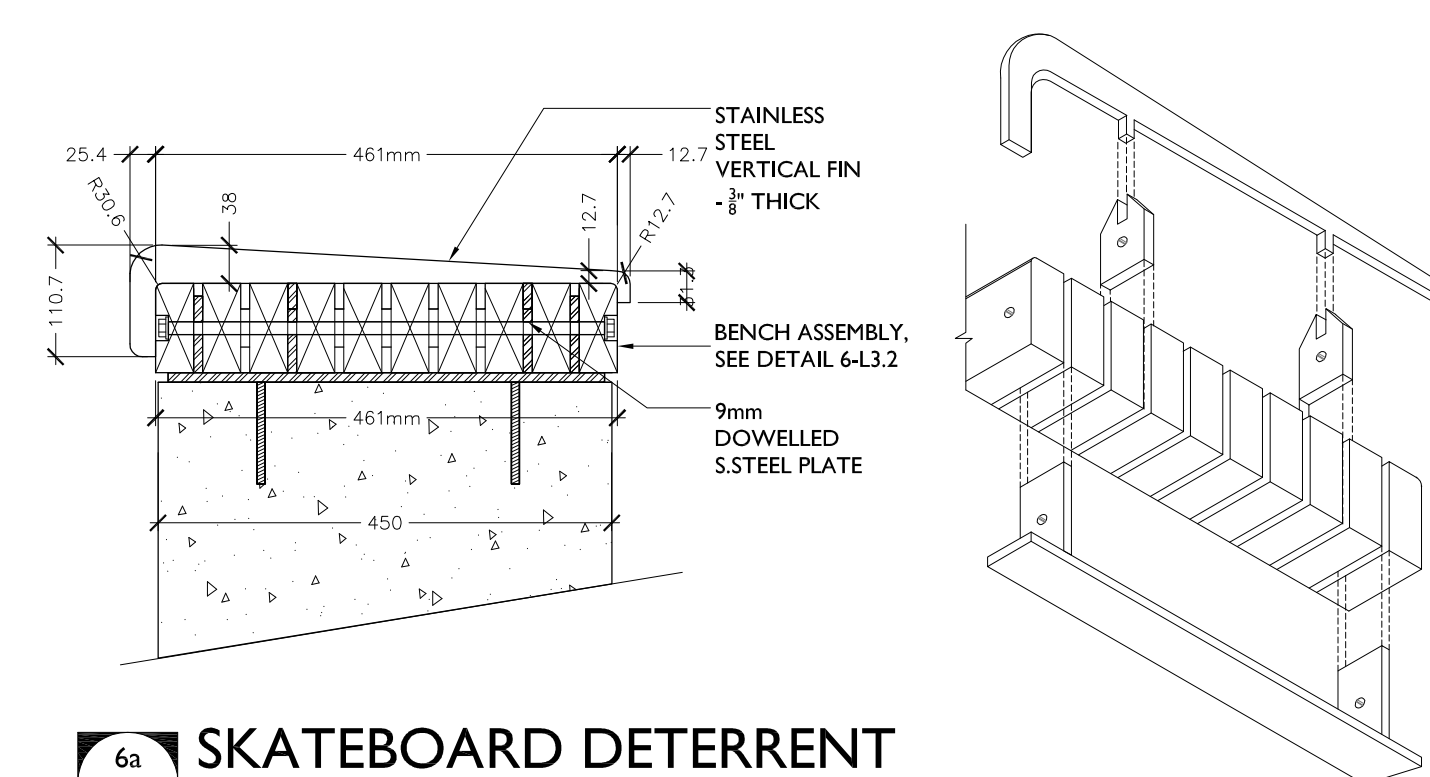
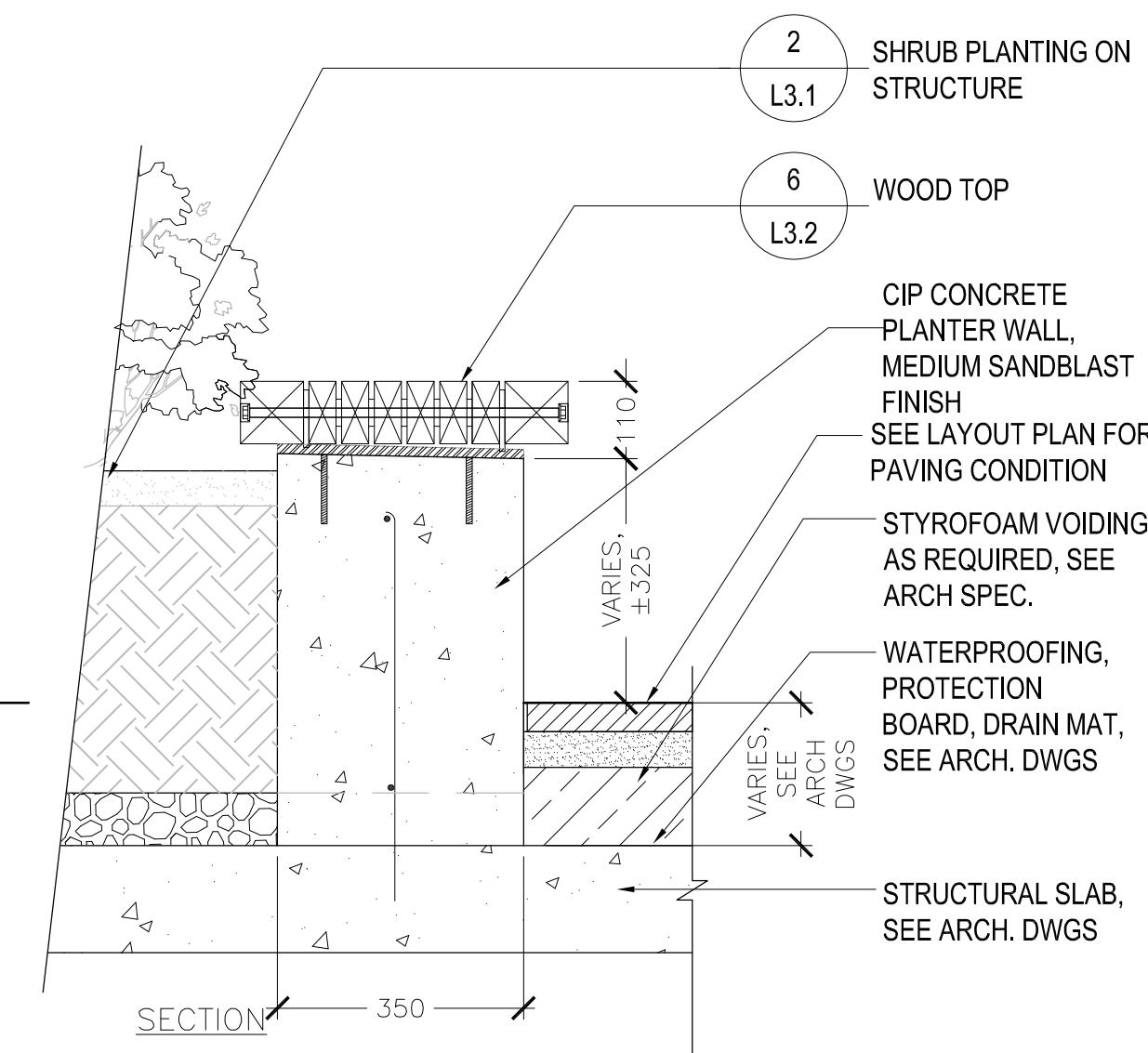
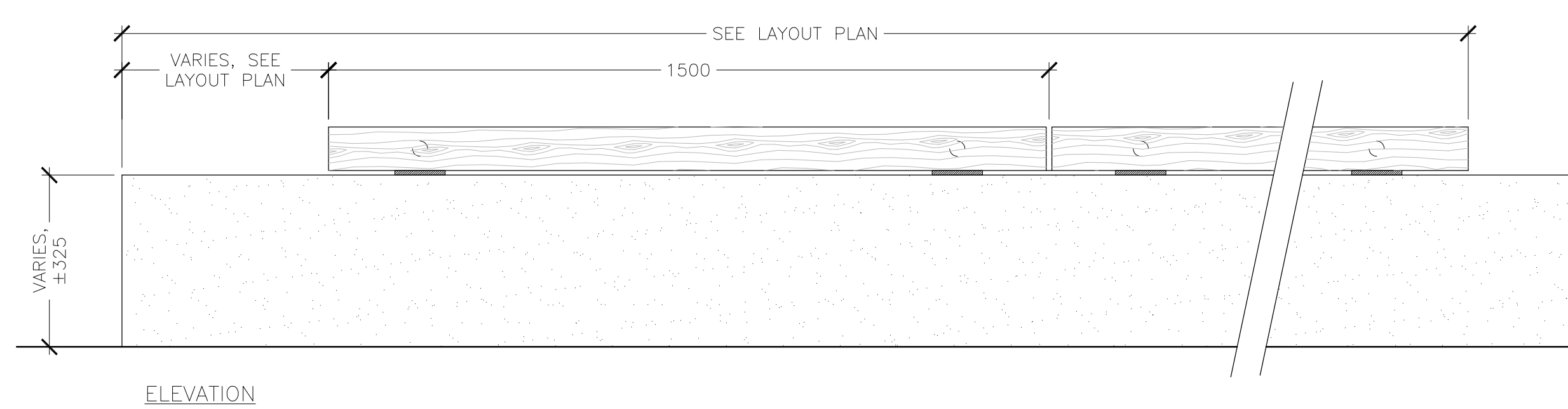
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drawing title	sheet
PLANTING DETAILS	L3.1
MD drawn	AS NOTED scale
CP checked	08005 project no.

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LANDSCAPE SECTIONS
and DETAILS

sheet

drawn | scale

MD	drawn	L200	scale
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MD 1:200

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CP	08005
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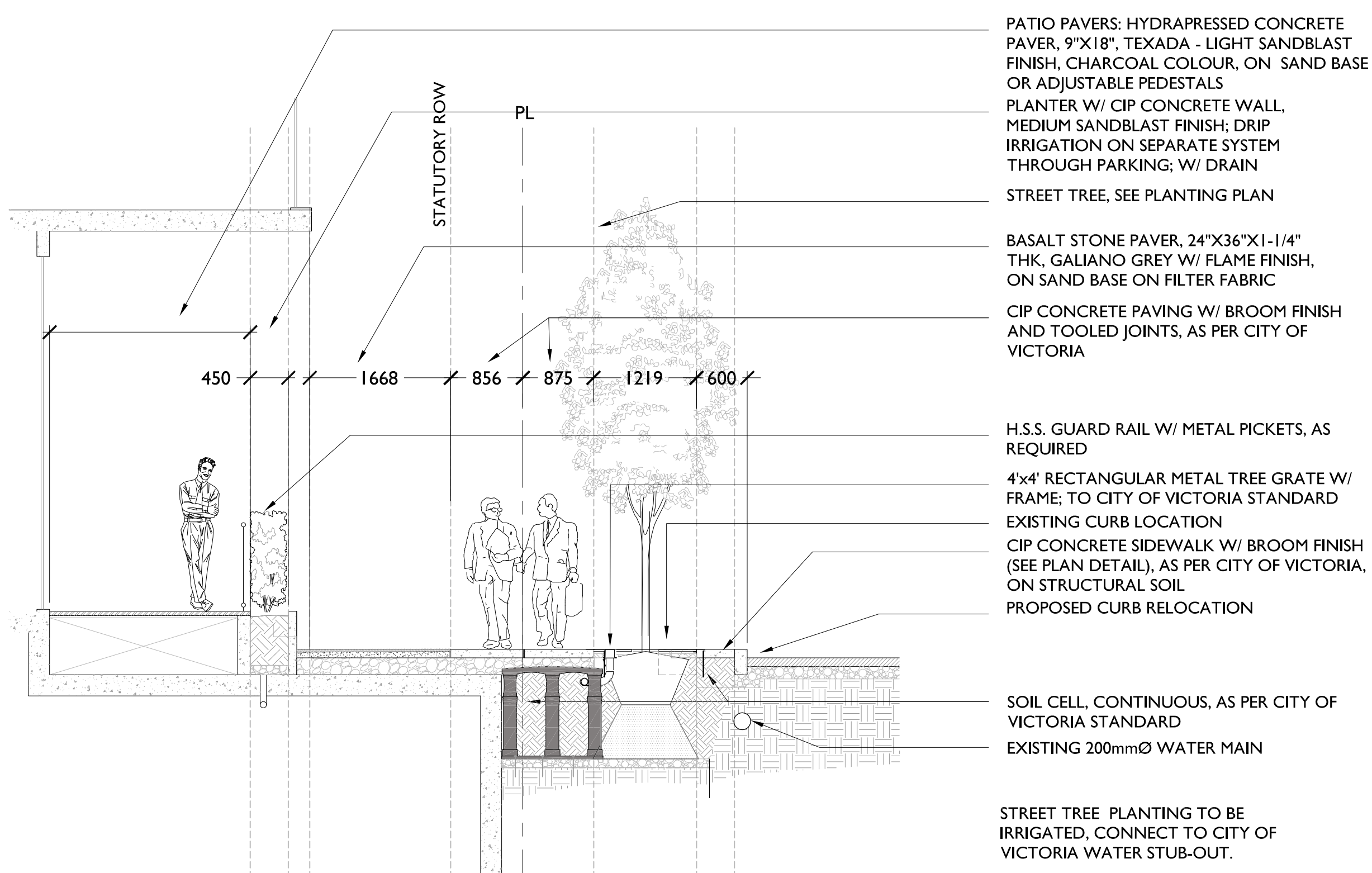
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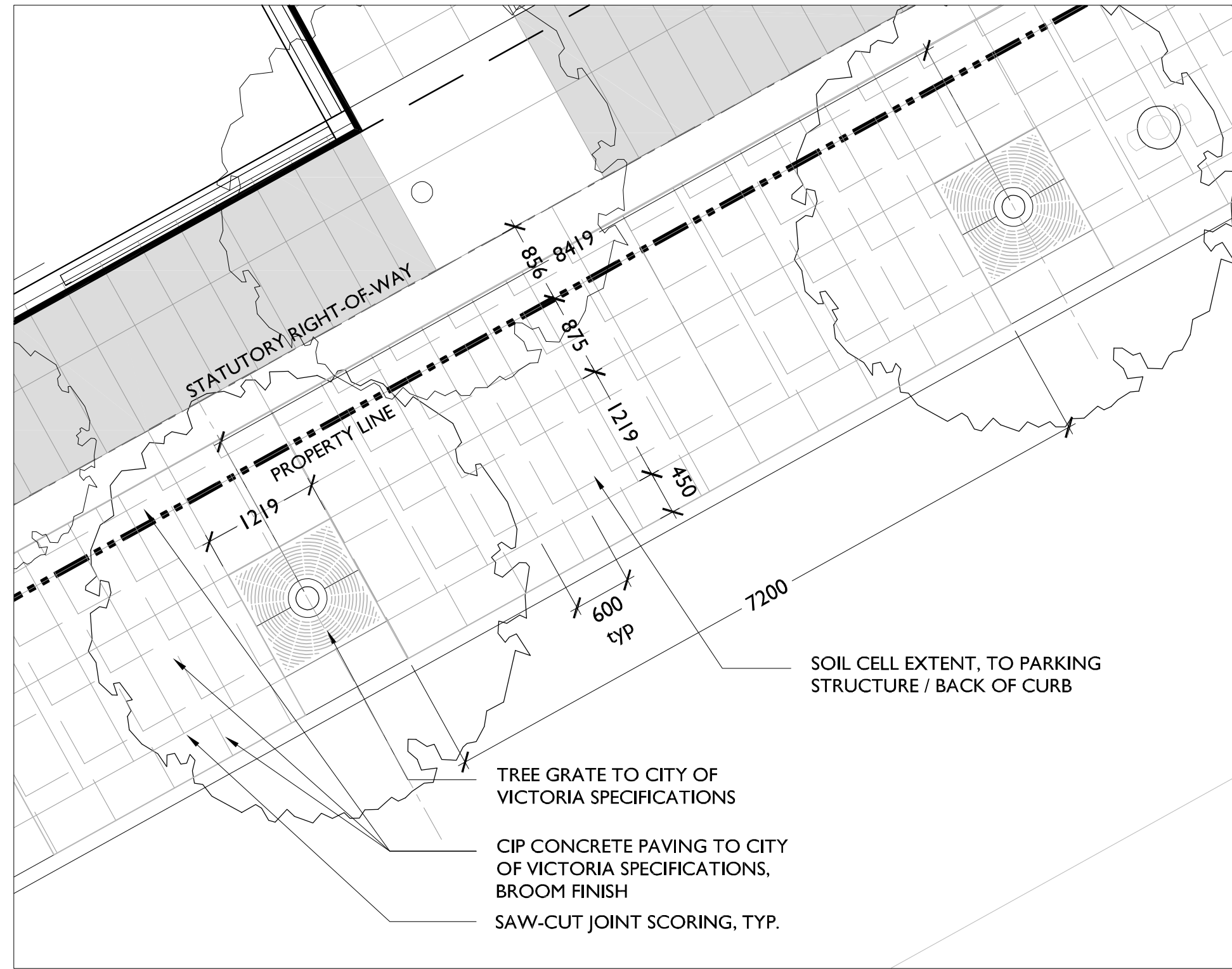
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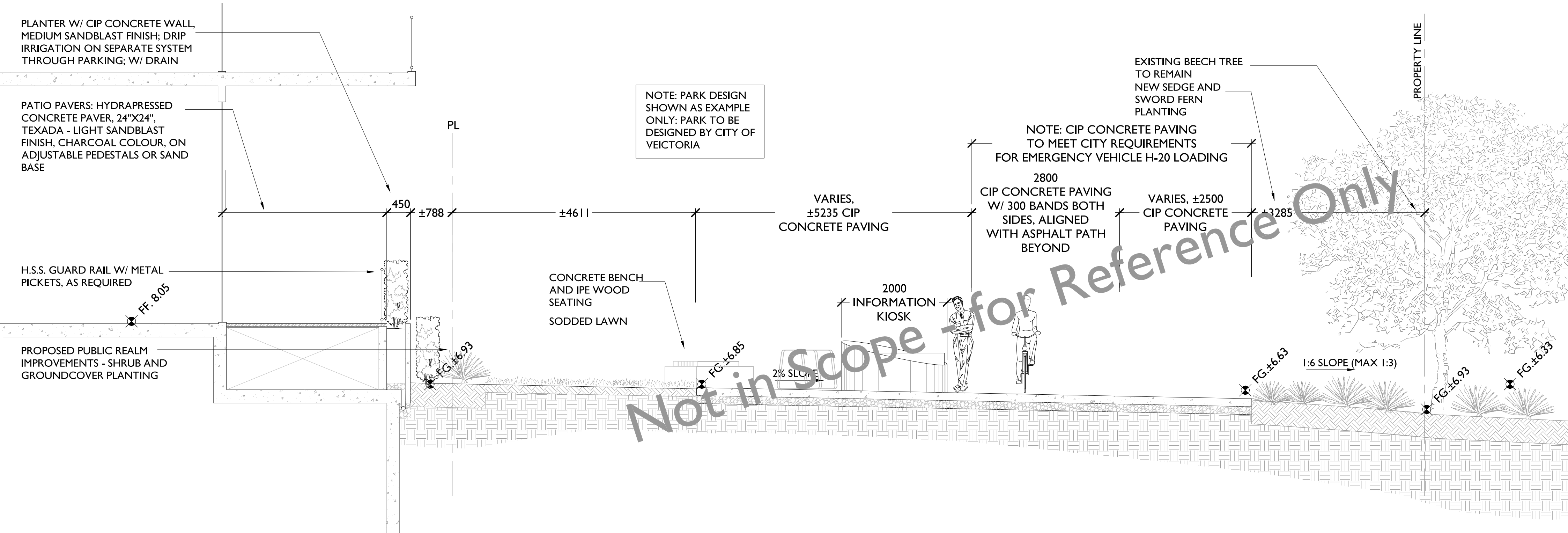
SECTION KEY
NOT TO SCALE



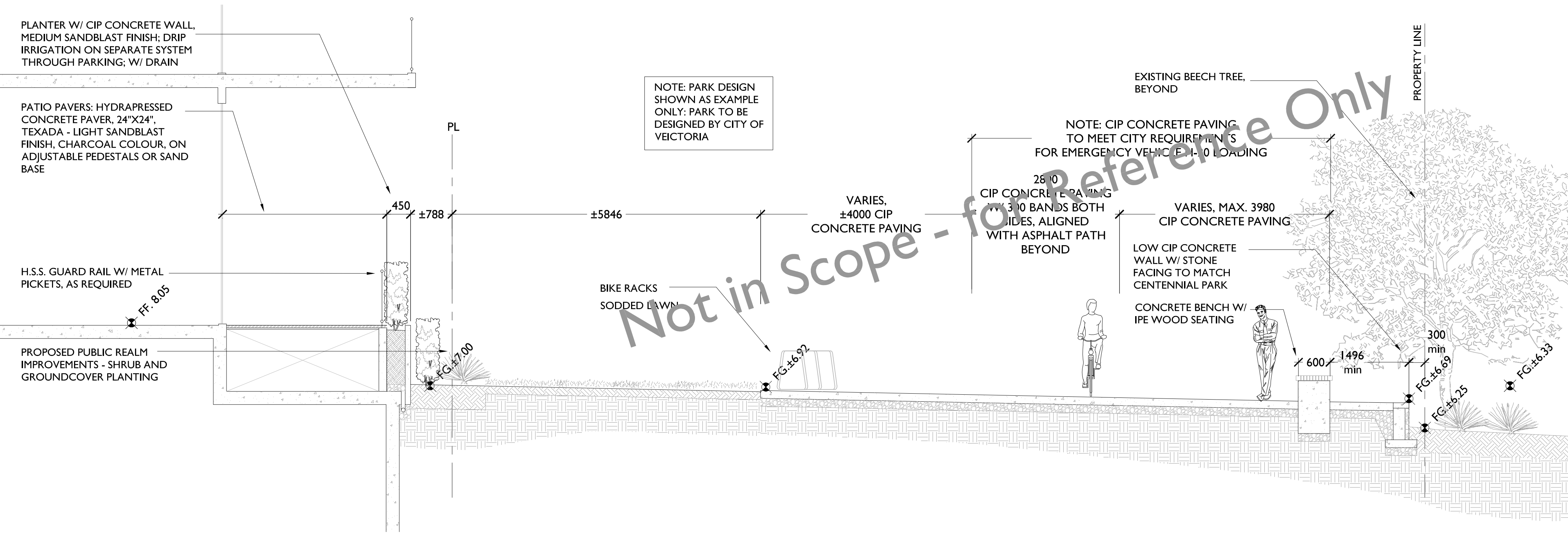
SECTION I - AT PENDRAY STREET - STREET TREE & GRATE
SCALE: 1:50



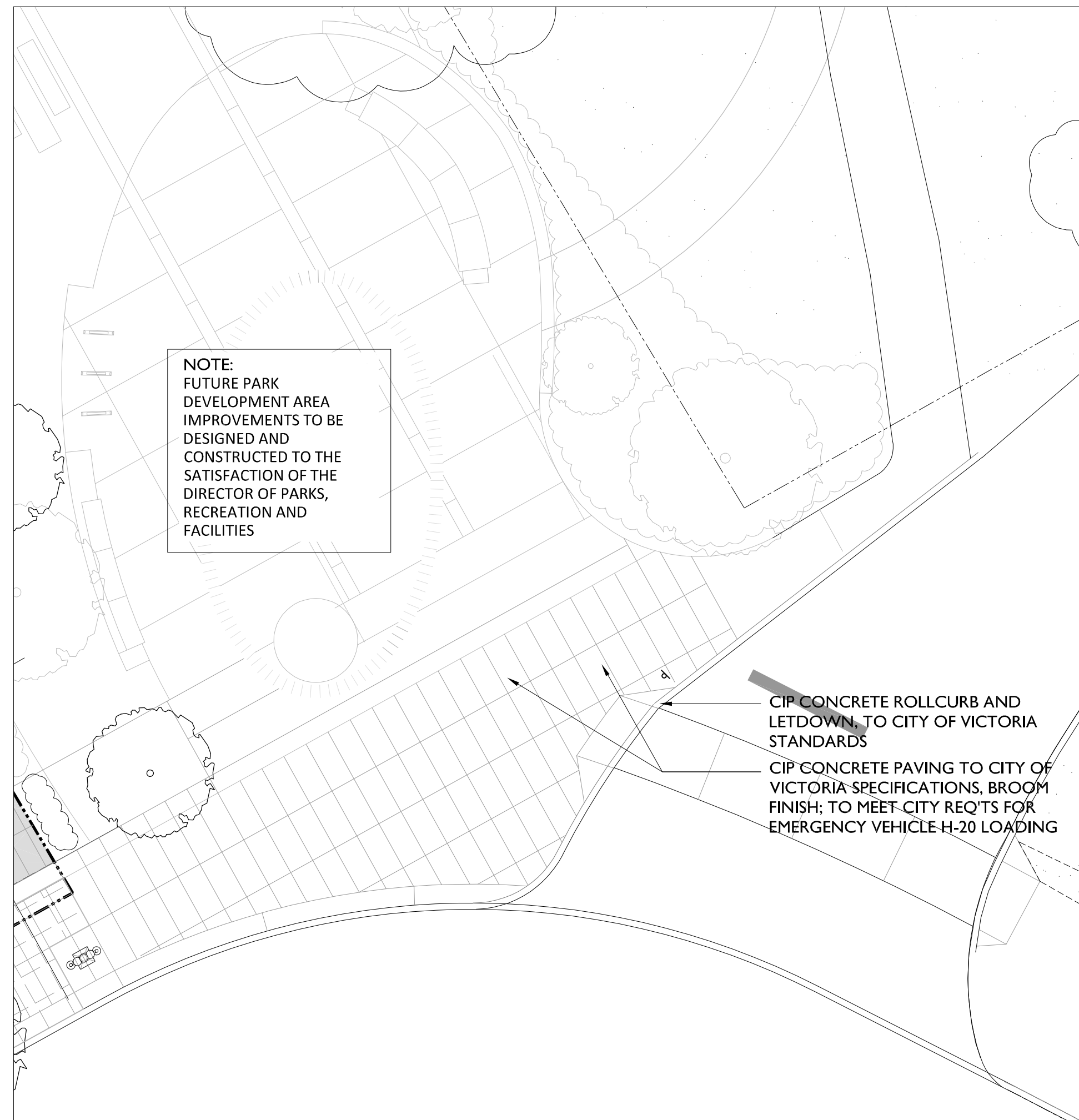
PLAN DETAIL- PENDRAY STREET SIDEWALK PAVING
SCALE: 1:50



SECTION 2 - AT PUBLIC R.O.W., NORTH-WEST
SCALE: 1:50



SECTION 3 - AT PUBLIC R.O.W., NORTH-WEST
SCALE: 1:50



PLAN DETAIL - PUBLIC R.O.W., NW (N.I.C.)
SCALE: 1:100



PRECEDENT:
CENTENNIAL PARK - LOW WALL W/ STONE FACING

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LANDSCAPE SECTIONS
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L3.3

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