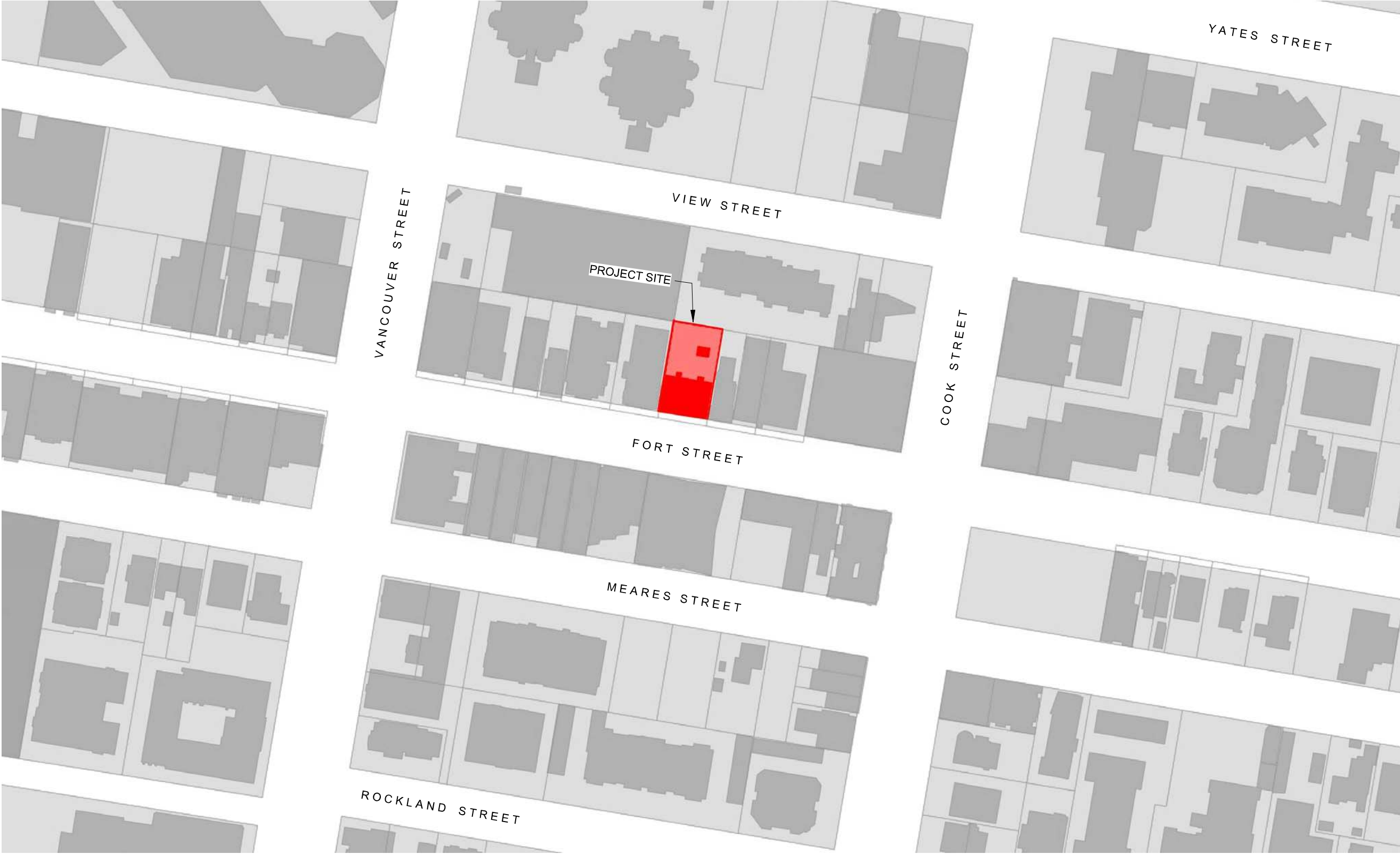




PROJECT LOCATION PLAN (NTS)

CONTACTS

OWNER

1030 Fort Street Holdings Ltd.
Care of Jawl Properties Ltd.
1515 Douglas St Suite 200
Victoria, BC V8W 2G4

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LANDSCAPE DESIGNER

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200 - 524 Cuduthel Road
Victoria, BC V8Z 1G1

Scott Murdoch, Landscape Architect, R.P. Bio.
scott@mdesign.ca
250.412.2891

CIVIL ENGINEER

WSP
301-3600 Uptown Blvd.
Victoria, BC V8Z 0B9

Ben Harms, P. Eng.
Ben.Harms@wsp.com
250.384.5510

LIST OF DRAWINGS

ARCHITECTURAL

- A000 Cover
- A010 Perspectives
- A011 Material Specifications
- A050 Spatial Separation
- A051 Code Analysis
- A100 Site Plan and Project Data
- A101 Proposed Floor Plans L1 & L2
- A102 Proposed L3-6 & Roof Plan
- A200 Building Elevations S-W
- A201 Building Elevations N-E
- A300 Building Sections
- A500 Context & Shadow Study
- A501 Context Perspectives

LANDSCAPE

- L1.01 Landscape Materials

CIVIL

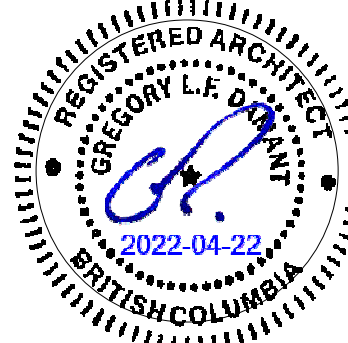
- C1 Conceptual Site Servicing Plan
- C02 Conceptual Surface Works & Site Grading



Revisions

Received Date:
April 22, 2022

Project #	Date	Revision
2112	April 21, 2022	5
Sheet #	A000	





VIEW FROM FORT STREET WEST



VIEW OF FORT STREET FRONTAGE

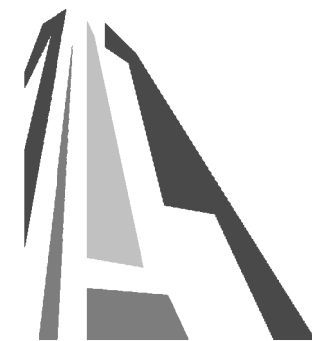


VIEW OF NORTH FACING FACADE



VIEW FROM FORT STREET EAST

5	RZ/DP Response to ADP Comment - Rev3	APRIL 21, 2022
4	RZ/DP Content for ADP - Rev2	FEB 09, 2022
3	RZ/DP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE



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Project		
1030 FORT STREET		
JAWL PROPERTIES		
1030 Fort Street, Victoria BC		
Sheet Name		
Perspectives		
Date		
April 21, 2022		
Scale	Project #	
1 : 200	2112	
Revision		
APRIL 21, 2022		5
Sheet #		
A010		





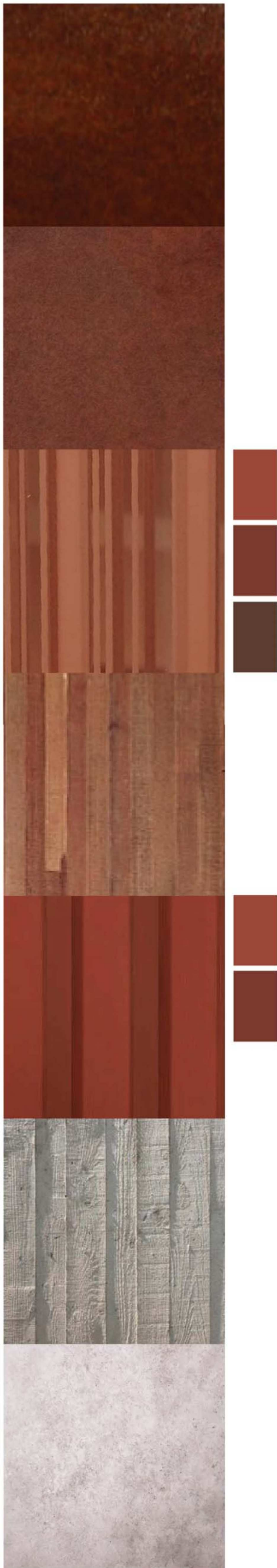
Terra cotta precedent:
10 Bond Street, NYC



Pre-finished metal precedent:
École Ducasse, 64 Rue du Ranelagh, Paris

- 1 **TERRA COTTA**
Glazed ceramic tile in warm red brown color with scalloped profile
- 2 **PRE-FINISHED METAL**
Red brown color with scalloped profile
- 3 **FRITTED GLASS**
Vertical opaque frits of the 3 chosen red brown hues
- 4 **CEDAR SOFFIT**
Vertical grain, clear finish
- 5 **CEMENTITIOUS PANEL**
Board and batten type finish with 2 selected red brown colors
- 6 **ARCHITECTURAL CONCRETE**
- 7 **CONCRETE**

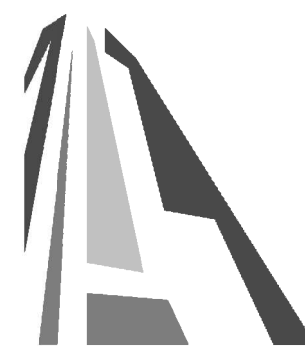
MATERIAL PALETTE



PHYSICAL SAMPLING



5	RZIDP Response to ADP Comment - Rev3	APRIL 21, 2022
4	RZIDP Content for ADP - Rev2	FEB 09, 2022
NO.	DESCRIPTION	DATE



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Project

1030 FORT STREET

JAWL PROPERTIES
1030 Fort Street, Victoria BC

Sheet Name

Material Specifications

Date

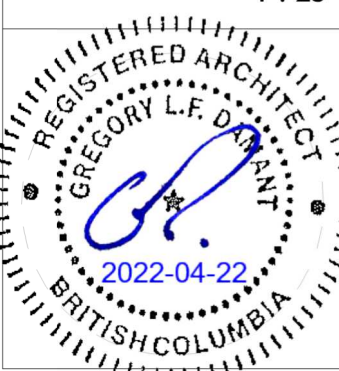
April 21, 2022

Scale	Project #
1 : 25	2112

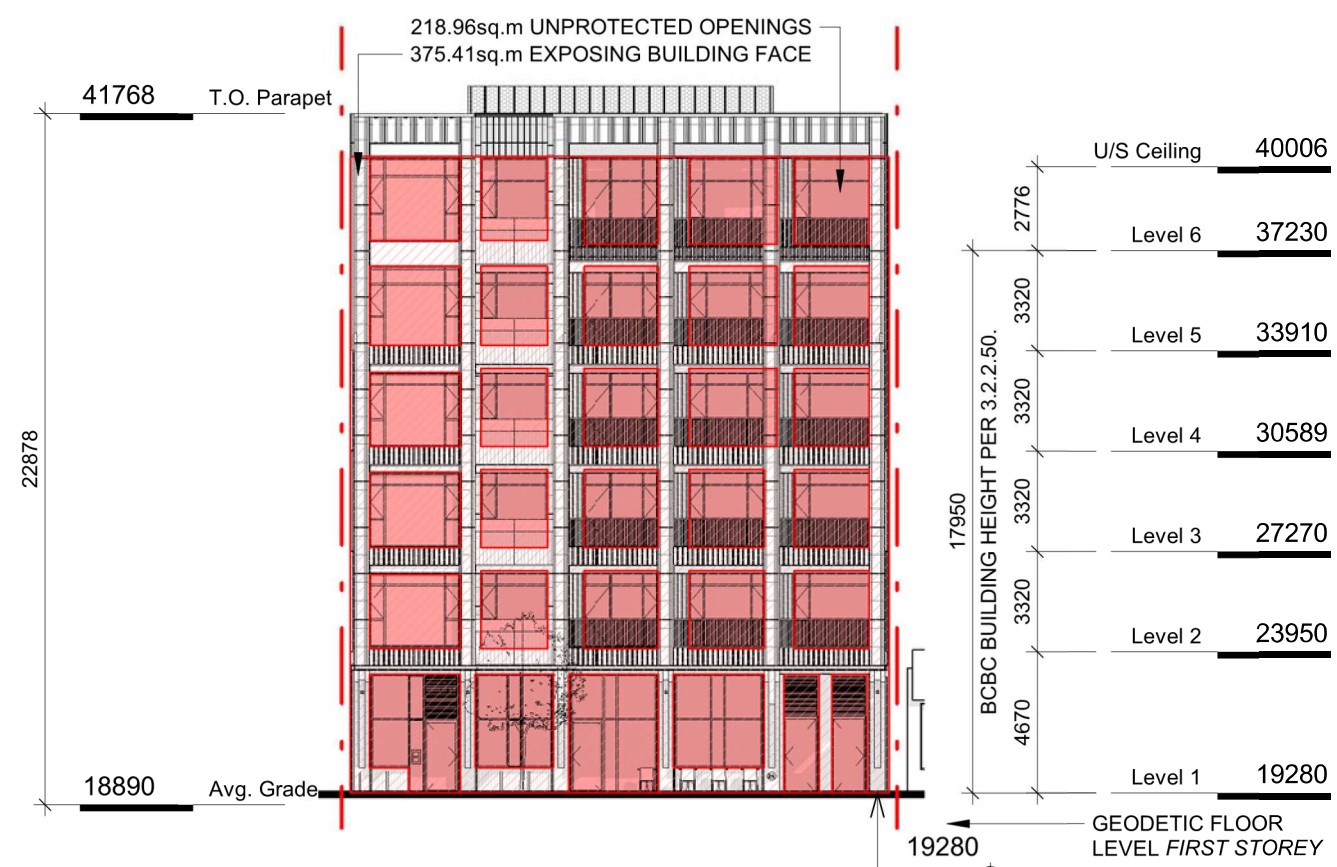
Revision	
APRIL 21, 2022	5

Sheet #

A011



4/21/2022 9:43:15 AM

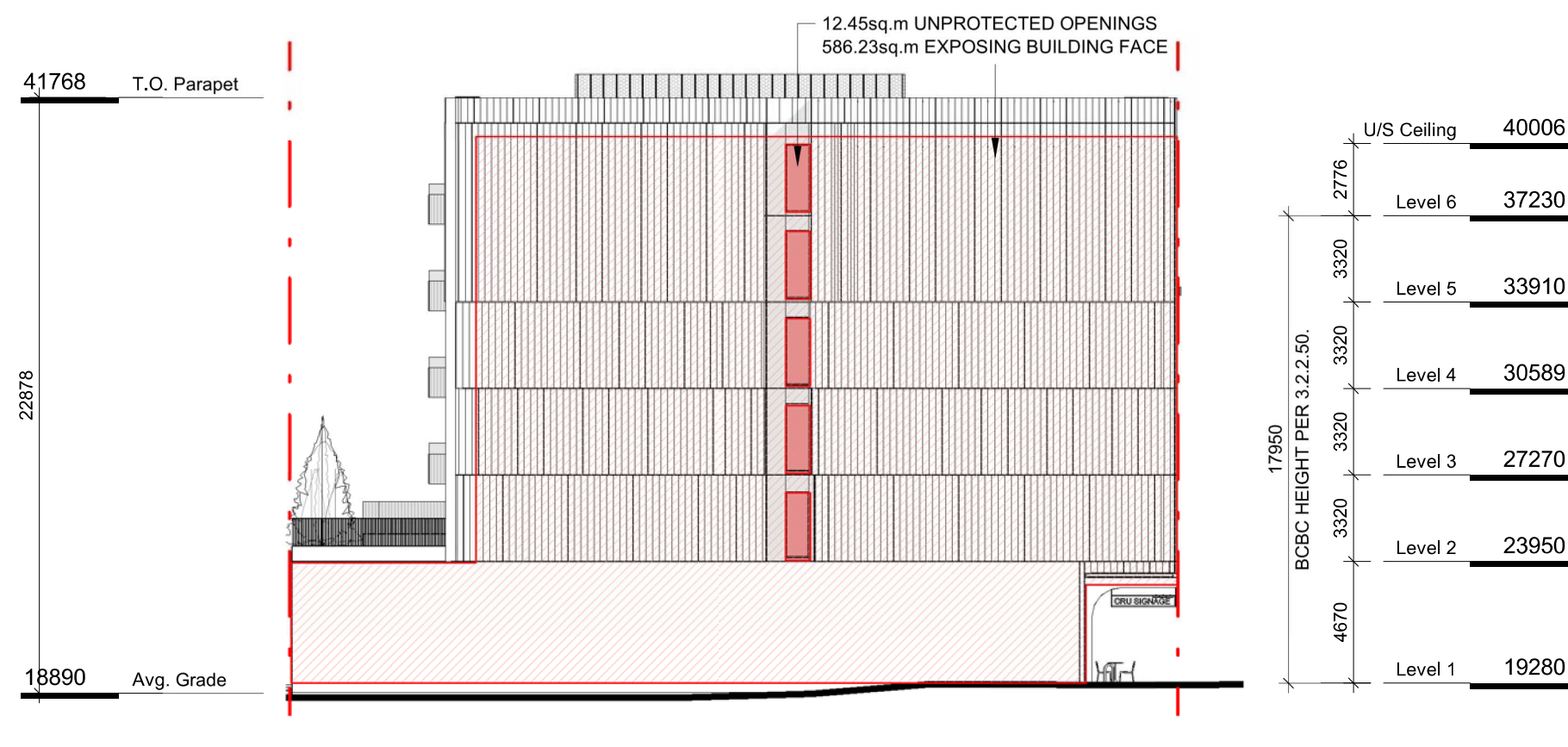


SOUTH ELEVATION

TABLE 3.2.3.1 - D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
(C/L RD) 11.66m	100	375.41	218.96	58	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
(C/L RD) 11.66m	100	N/A	N/A	N/A	N/A

3 South Elevation - LD Key
SCALE = 1 : 250

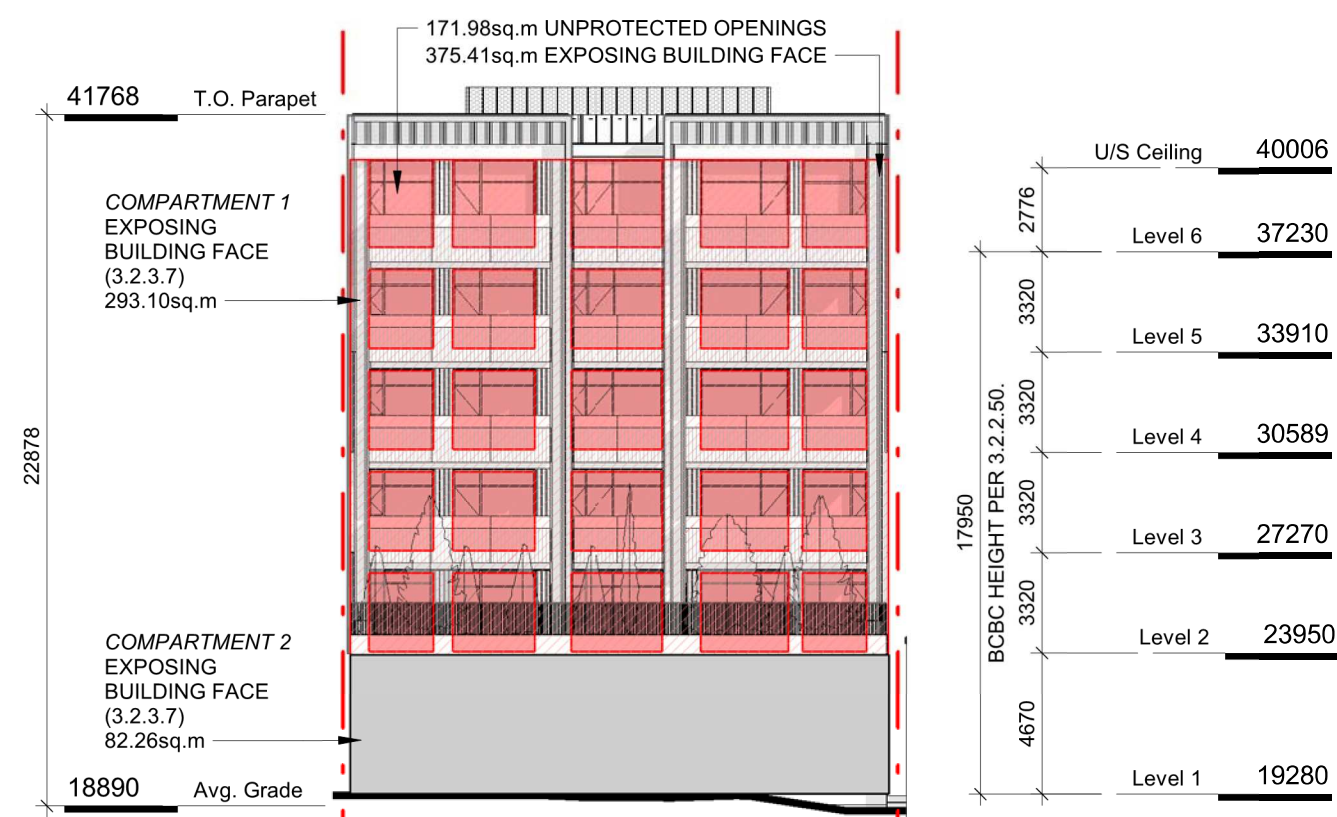


WEST ELEVATION

TABLE 3.2.3.1 - D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
2.33m (2m)	16	586.23	12.45	2	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
0.225 (0)	0	1 hr	Noncombustible	Noncombustible	

6 West Elevation - LD Key
SCALE = 1 : 250



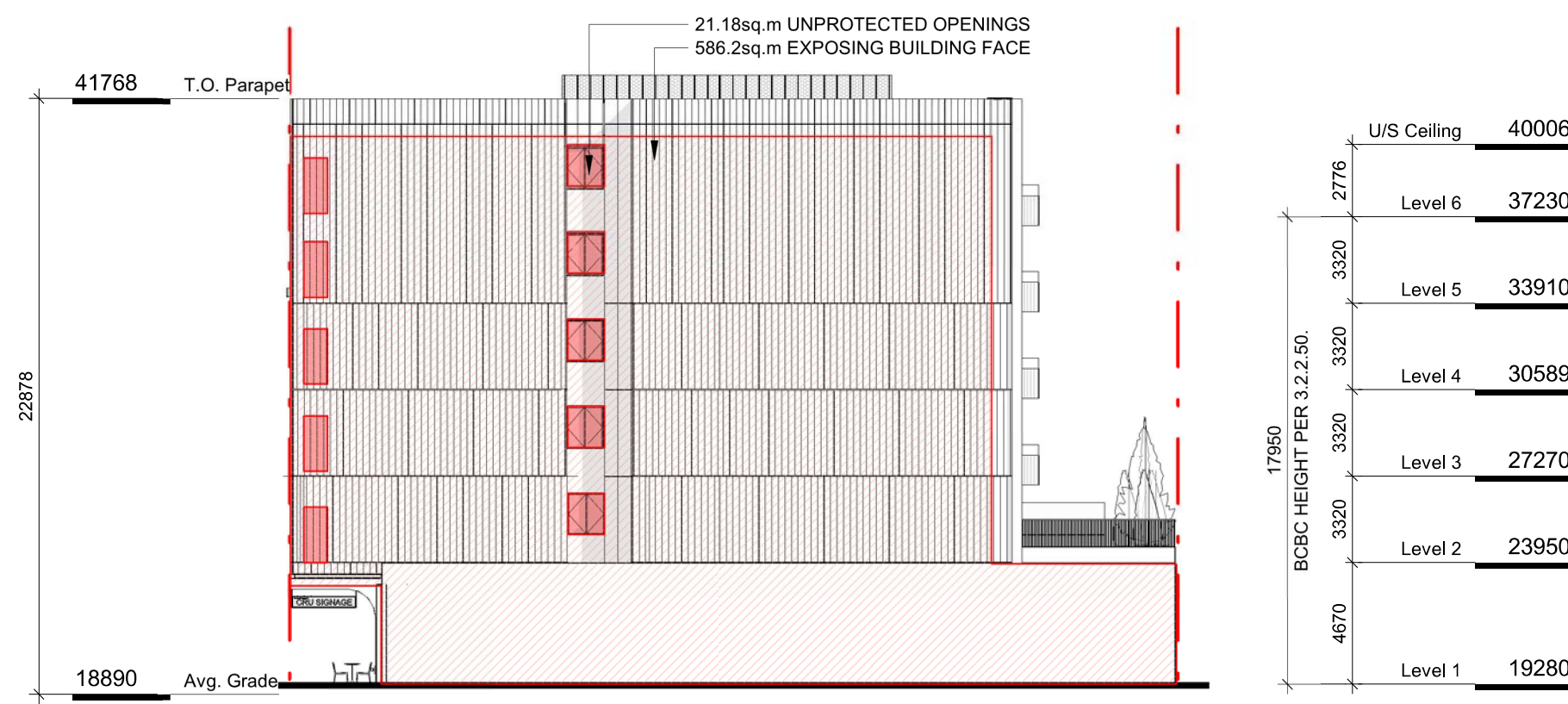
NORTH ELEVATION

TABLE 3.2.3.1 - D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
6.92 (6)	52	375.41	171.98	46	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
6.9m (6)	52	45 min	ALL	ALL	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
0.1m (0)	0	1 hr	Noncombustible	Noncombustible	

5 North Elevation - LD Key
SCALE = 1 : 250

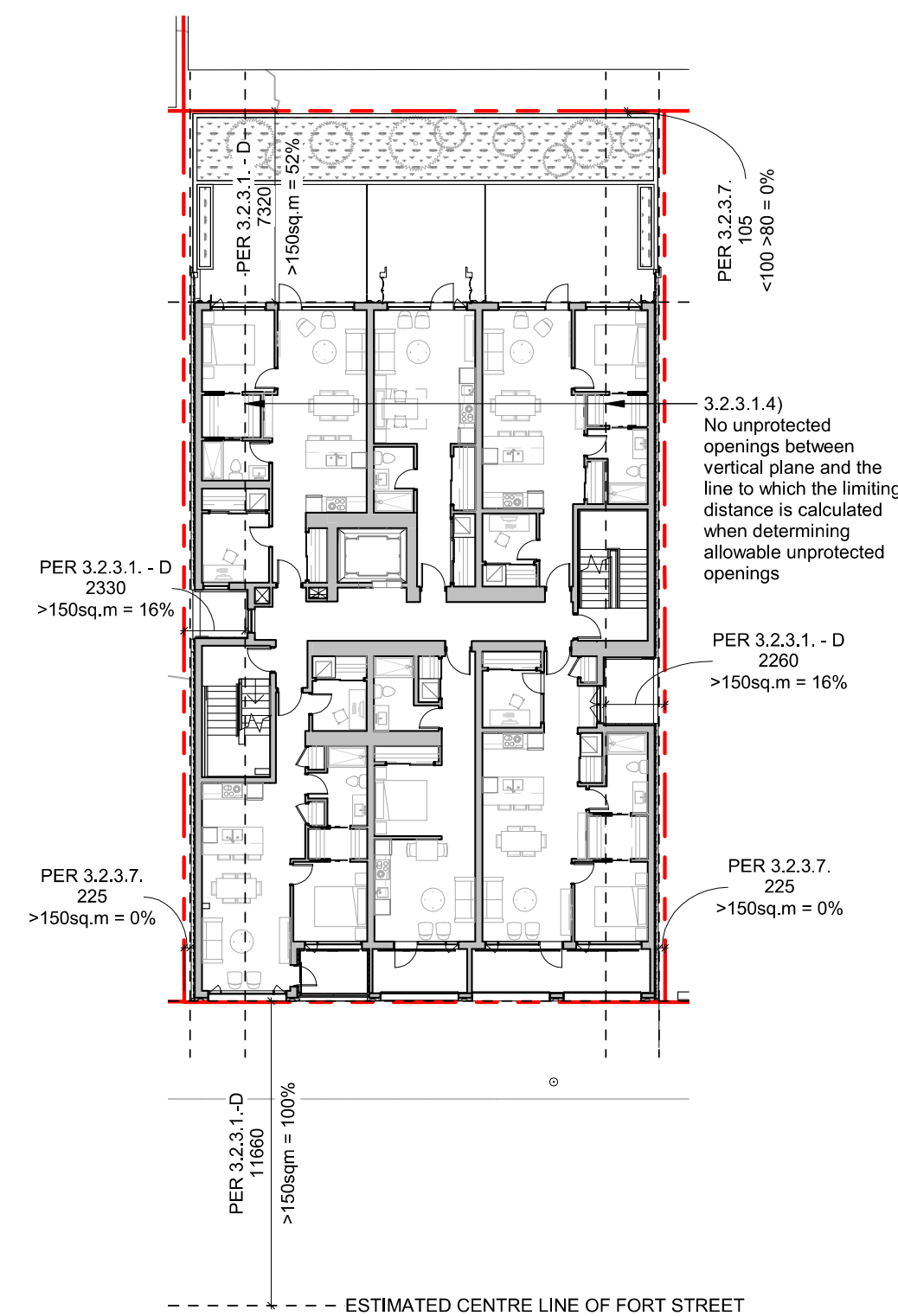


EAST ELEVATION

TABLE 3.2.3.1 - D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
2.26m (2m)	16	586.23	21.18	4	

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
0.225 (0)	0	1 hr	Noncombustible	Noncombustible	

4 East Elevation - LD Key
SCALE = 1 : 250



9 Spatial Separation Keyplan
SCALE = 1 : 250

NO.	DESCRIPTION	DATE
5	RZ/DP Response to ADP Comment - Rev3	APRIL 21, 2022
3	RZ/DP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DP	SEPT 15, 2021

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Project

1030 FORT STREET

JAWL PROPERTIES
1030 Fort Street, Victoria BC

Sheet Name

Spatial Separation

Date

April 21, 2022

Scale

1 : 250

Project #

2112

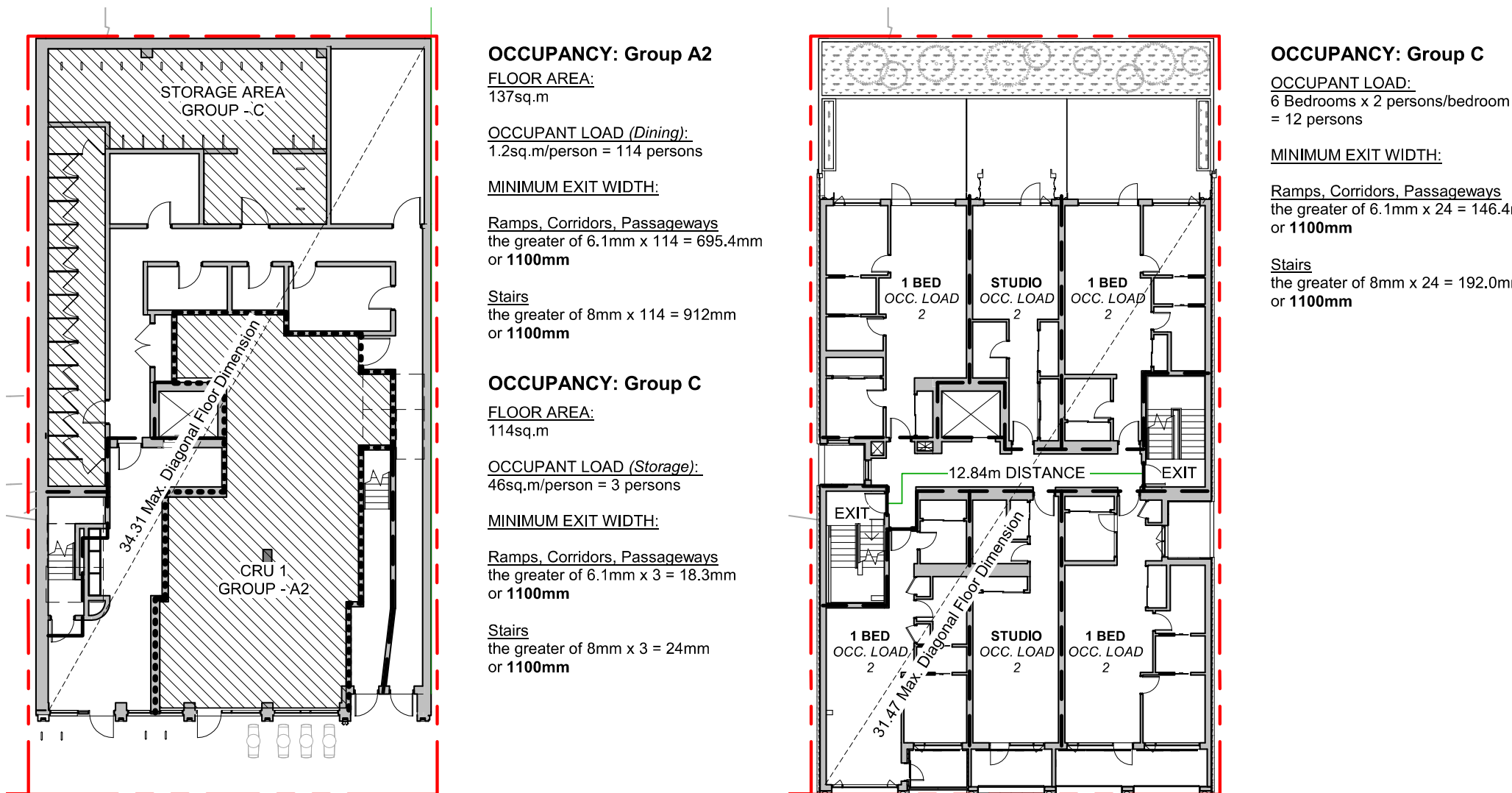
Revision

APRIL 21, 2022

5

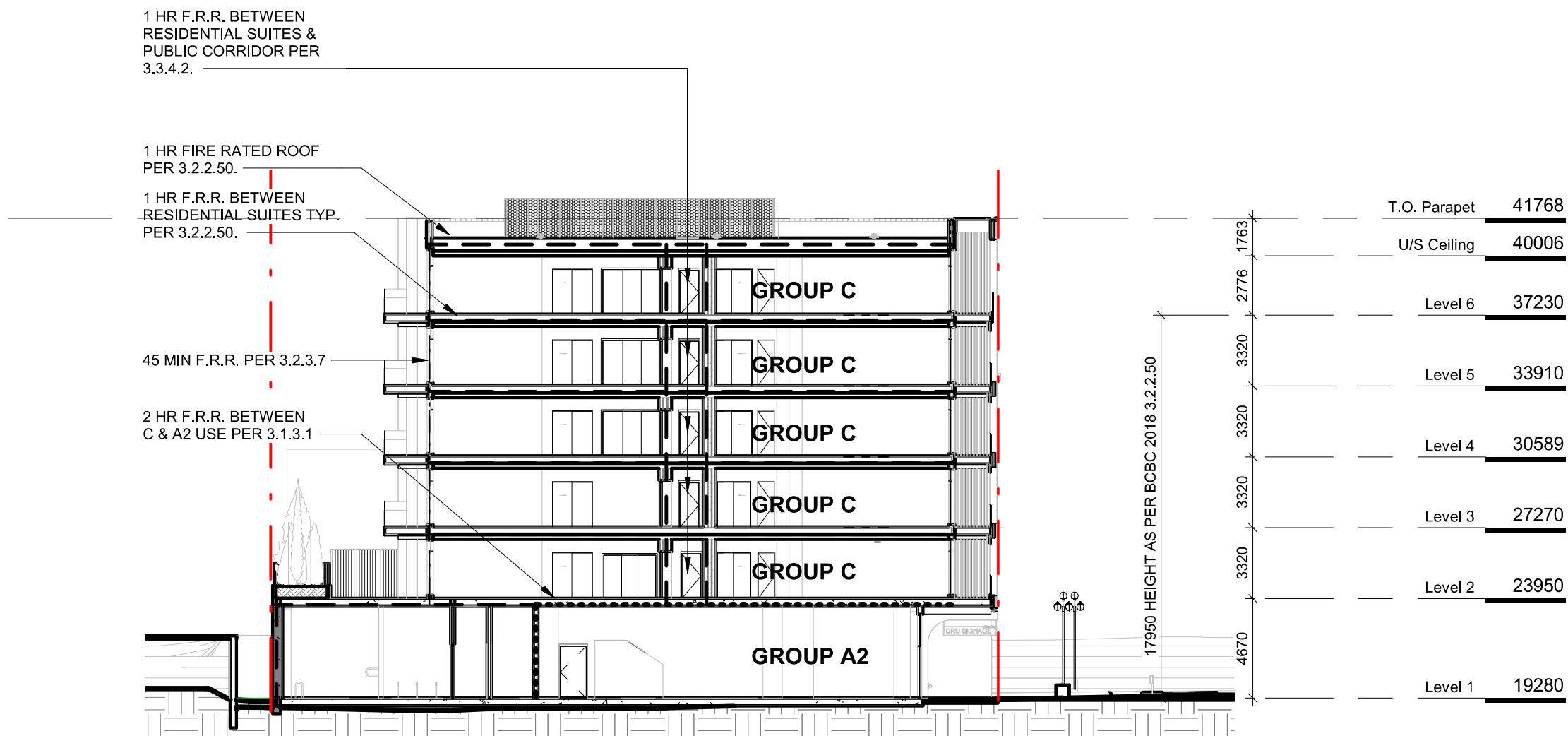
Sheet #

A050



1 Level 1 Code Plan
SCALE = 1 : 250

2 Level 2-6 Typ. Code Plan
SCALE = 1 : 250



3 F.R.R. Separations - Key Section
SCALE = 1 : 250

BUILDING CODE ANALYSIS

PROJECT TYPE	☒ NEW CONSTRUCTION	☐ RENOVATION	☐ ADDITION
GOVERNING BUILDING CODE	2018 BC BUILDING CODE	☒ PART 3	☐ PART 9
MAJOR OCCUPANCY	A1 A2 A3 A4 B1 B2 B3 C D E F1 F2 F3	☐ ☐ ☐ ☐ ☐ ☐ ☒ ☐ ☐ ☐ ☐ ☐	3.1.2.1
SUPERIMPOSED OCCUPANCY	A1 A2 A3 A4 B1 B2 B3 C D E F1 F2 F3	☐ ☒ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐	3.2.2.7
BUILDING AREA	576	m²	1.4.1.2
GRADE	18.75	m geodetic	1.4.1.2
BUILDING HEIGHT (STOREYS, m)	6	STOREYS ABOVE GRADE	<18 m, LEVEL 1 TO LEVEL 6
	0	STOREYS BELOW GRADE	1.4.1.2, 3.2.2.50

BUILDING FIRE SAFETY & CONSTRUCTION CLASSIFICATION

CLASSIFICATION	GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.50
No. OF STREETS FACING	1	3.2.2.10
CONSTRUCTION TYPES PERMITTED	☒ COMBUSTIBLE ☐ NON-COMBUSTIBLE	3.2.2.50
FIRE ALARM SYSTEM	YES NO	3.2.4.1
STANDPIPE SYSTEM	YES NO	3.2.5.8
HIGH BUILDING	YES NO	3.2.6.1
INTERCONNECTED FLOOR SPACE	YES NO	3.2.8

FIRE RESISTANCE RATINGS

HORIZONTAL SEPARATIONS	1 hr FLOORS 1 hr MEZZANINE 1 hr ROOF	3.2.2.50
LOADBEARING WALLS, COLUMNS & ARCHES	1 hr (NOT LESS THAN THAT REQUIRED FOR SUPPORTED STRUCTURE)	3.2.2.50
EXITS	1 hr	3.4.4.1
MAJOR OCCUPANCY SEPARATION	2 hr C to A2	3.1.3.1

EXITS FROM FLOOR AREAS

NUMBER OF EXITS REQUIRED	2	3.4.2.1
SEPARATION OF EXITS (MIN.)	1/2 MAX. DIAGONAL FLOOR AREA, BUT NEED NOT BE > 9 m	3.4.2.3
MAX. TRAVEL DISTANCE ALLOWED	45 m, GROUP C 45 m, GROUP A2	3.4.2.5
MEZZANINE	YES NO	3.2.8

OCCUPIED FLOOR AREAS & OCCUPANT LOAD

LEVEL 1	137	sq.m, A2 (Dining)	114	sq.m, C (Storage)	0 bds	C (Residential)	1.4.1.2, 3.1.17.1
LEVEL 2 - 6	0	sq.m, A2 (Dining)	0	sq.m, C (Storage)	6 bds	C (Residential)	1.4.1.2, 3.1.17.1
TOTAL	137	sq.m, A2 (Dining)	114	sq.m, C (Storage)	30 bds	C (Residential)	1.4.1.2, 3.1.17.1
OCCUPANT LOAD	114	1.2sq.m./person	3	46sq.m./person	60	2 persons*bdm	3.1.17.1

WATER CLOSETS

LEVEL 1(A2)	114	PERSONS	2	M	3	F	T.B.D. AT T.I.	3.7.2.2-A
-------------	-----	---------	---	---	---	---	----------------	-----------

ACCESSIBILITY

UNIVERSAL WASHROOM	REQUIRED AT LEVEL 1	3.8.2.8.3
--------------------	---------------------	-----------

FIRE RESISTANCE RATING - KEY	
----	UNRATED FIRE SEPERATIONS
----	45 MIN
----	1 HOUR
----	1.5 HOUR
----	2 HOUR

3	RZIDP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZIDP	SEPT 15, 2021
NO.	DESCRIPTION	DATE

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Project

1030 FORT STREET

JAWL PROPERTIES

1030 Fort Street, Victoria BC

Sheet Name

Code Analysis

Date

April 21, 2022

Scale

As indicated

Project #

2112

Revision

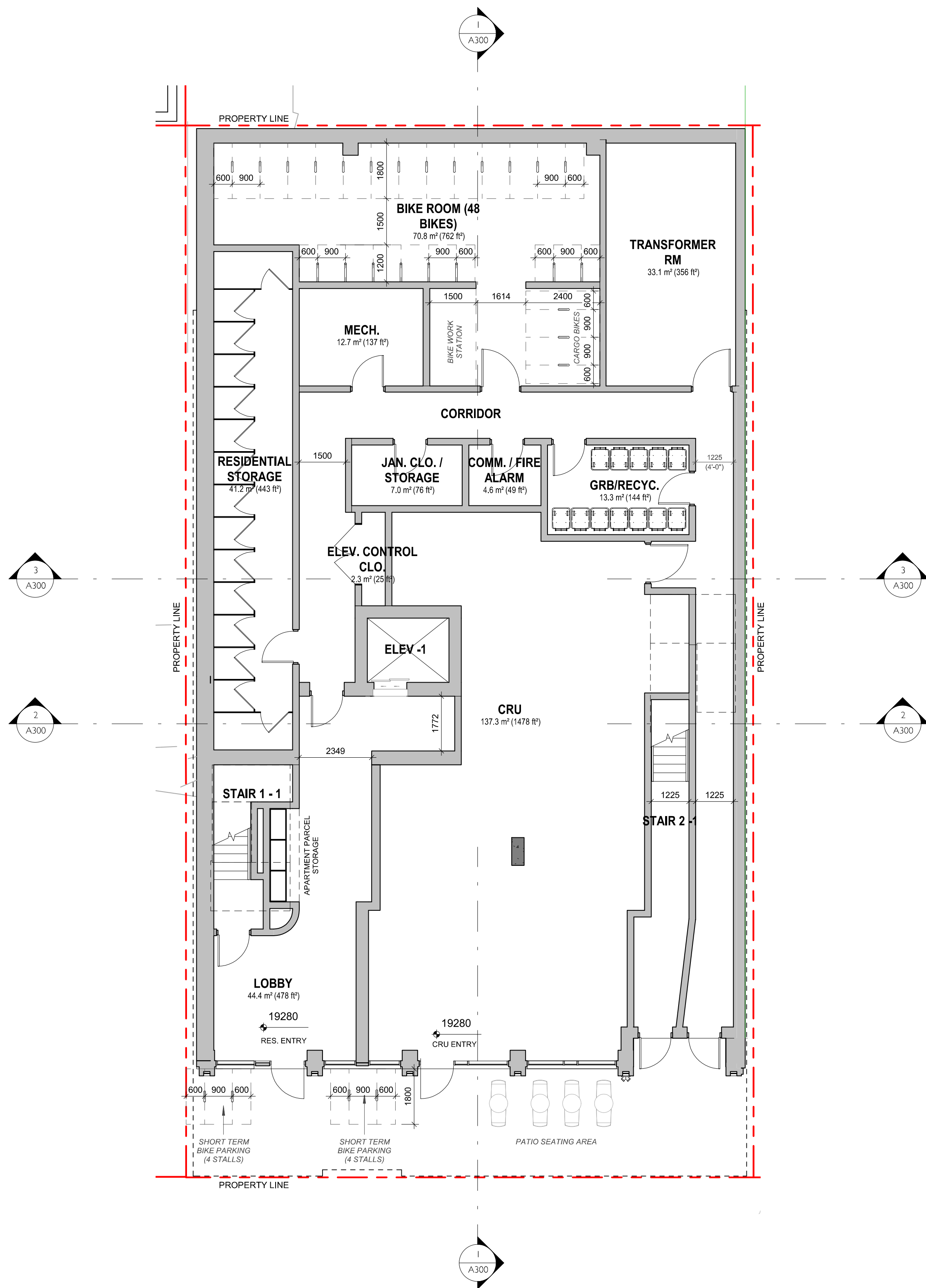
NOV 30, 2021

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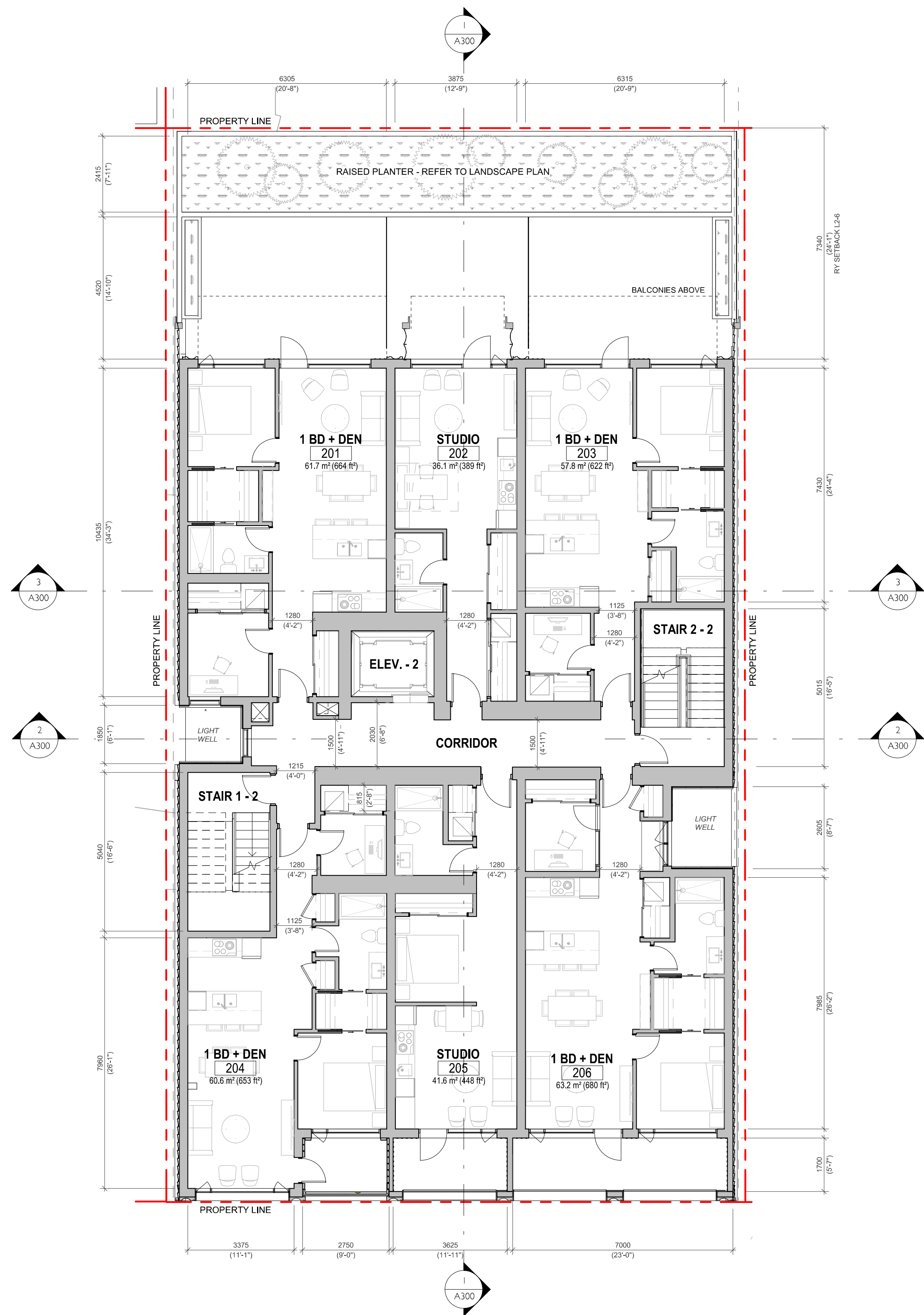
Sheet #

A051

4/21/2022 9:43:42 AM



1 Level 1 Proposed Plan
SCALE = 1 : 100



2 Levels 2 Proposed Plan
SCALE = 1 : 100

5	RZ/DIP Response to ADIP Comment - Rev3	APRIL 21, 2022
3	RZ/DIP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DIP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

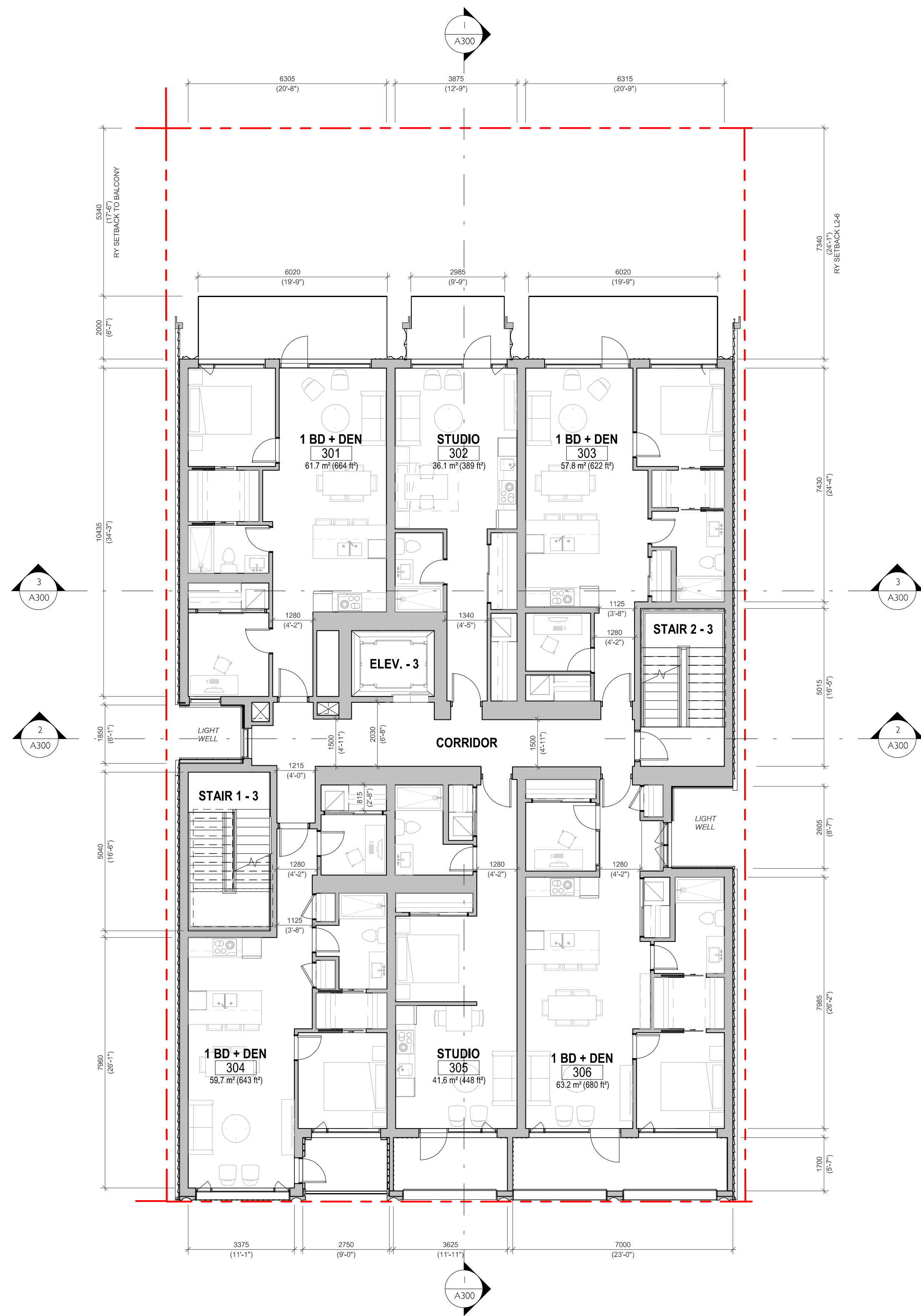


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Project		1030 FORT STREET	
		JAWL PROPERTIES	
		1030 Fort Street, Victoria BC	
Sheet Name		Proposed Floor Plans LI & L2	
Date		April 21, 2022	
Scale	1 : 100	Project #	2112
Revision		5	
Sheet #		A101	

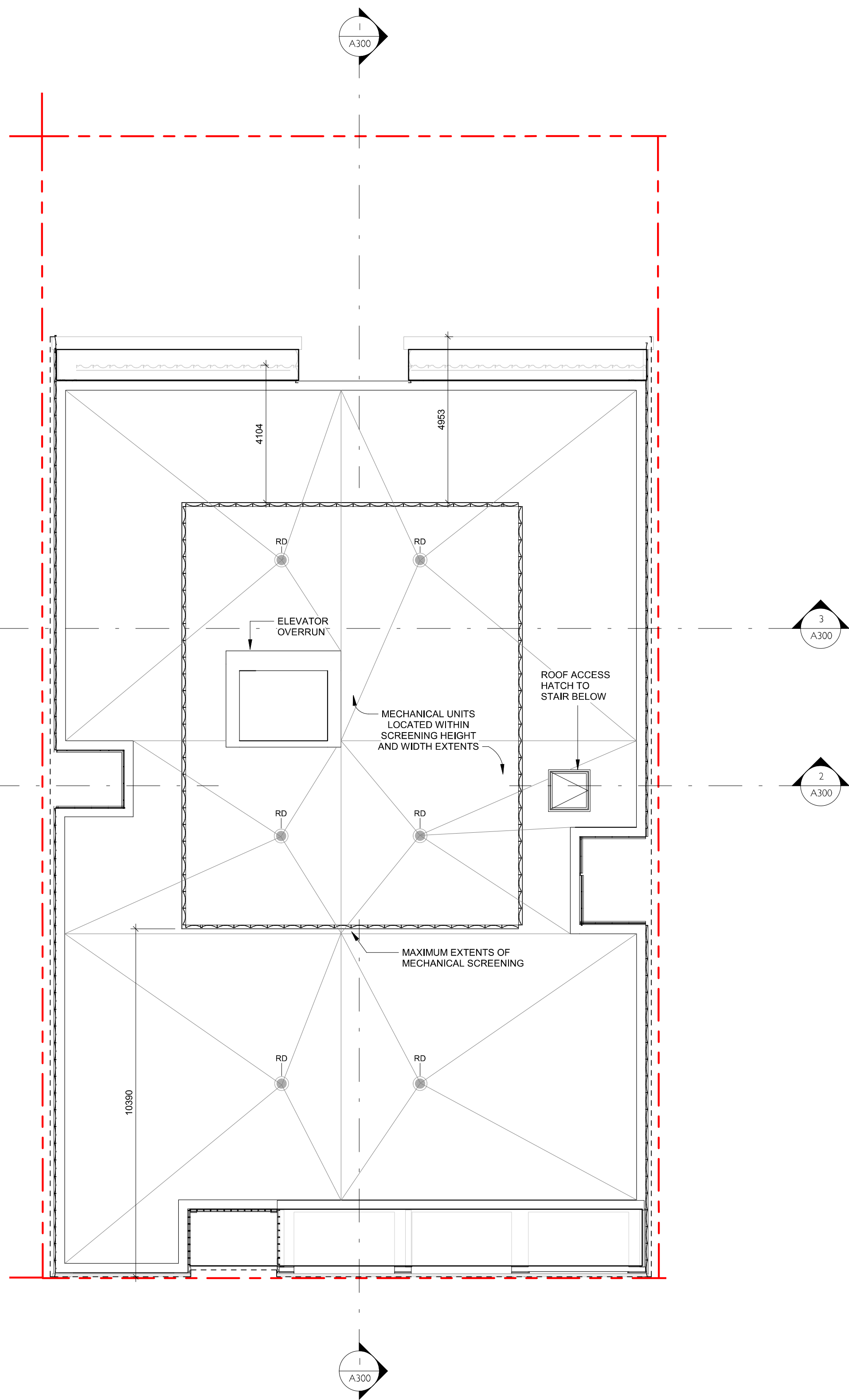




LEVEL 2-6 - ZONING REGULATION BYLAW - FLOOR AREA: 403sq.m
(measured to inside face of exterior wall, excluding elevator shaft & required bike parking)

LEVEL 2-6 - ZONING BYLAW 2018 - FLOOR AREA: 409sq.m
(measured to inside face of exterior wall)

2 Level 3-6 Typical Proposed Plan
SCALE = 1 : 100

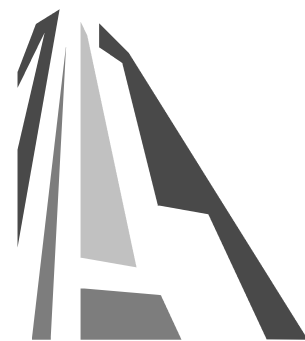


ZONING BYLAW 2018 - ROOF AREA: 491sq.m

ZONING BYLAW 2018 - ROOFTOP STRUCTURE EXTENTS: 130sq.m

1 Roof Plan
SCALE = 1 : 100

5	RZ/DIP Response to ADP Comment - Rev3	APRIL 21, 2022
3	RZ/DIP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DIP	SEPT 15, 2021
NO.	DESCRIPTION	DATE



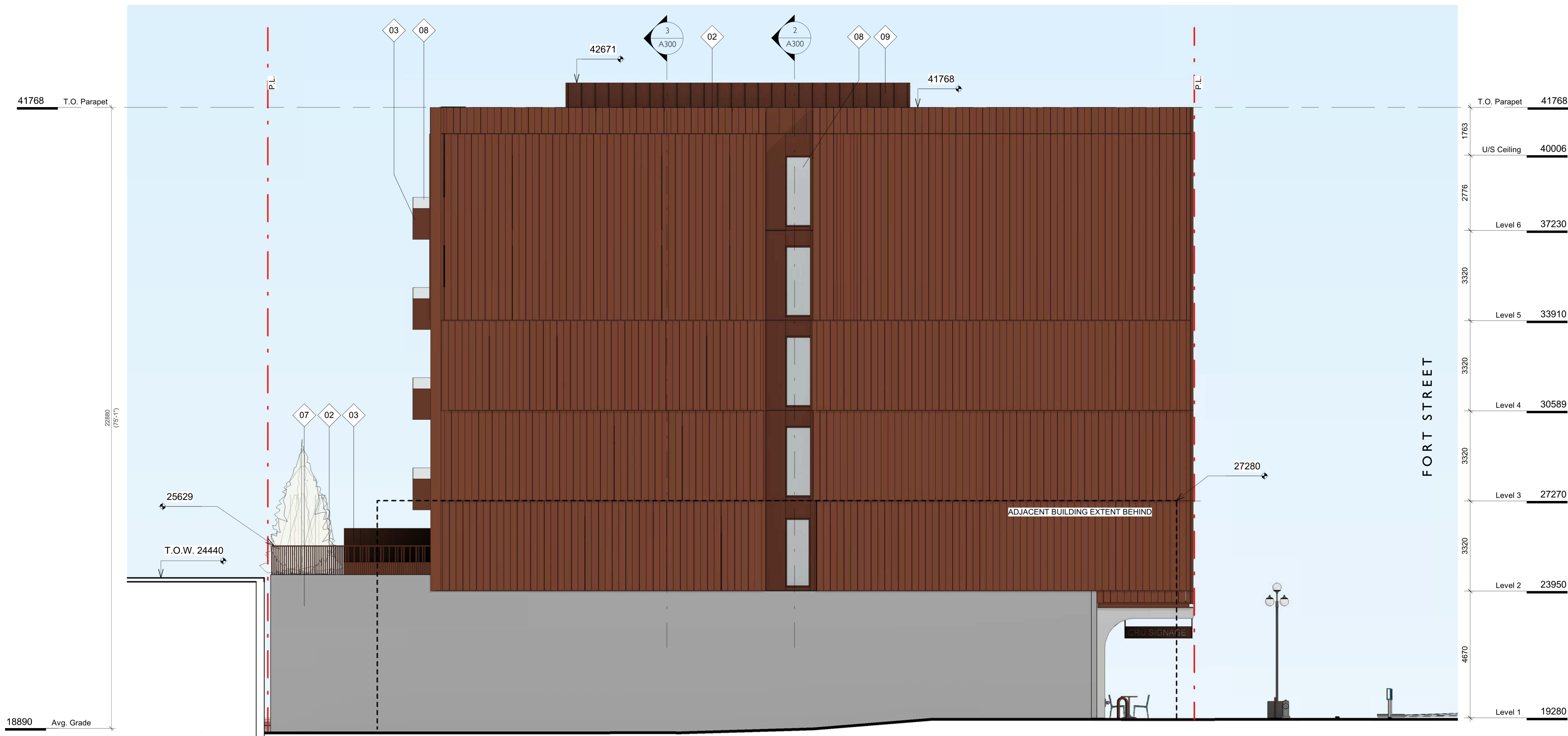
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Project	
1030 FORT STREET	
JAWL PROPERTIES 1030 Fort Street, Victoria BC	
Sheet Name Proposed L3-6 & Roof Plan	
Date April 21, 2022	
Scale 1 : 100	Project # 2112
	Revision APRIL 21, 2022 5
	Sheet # A102

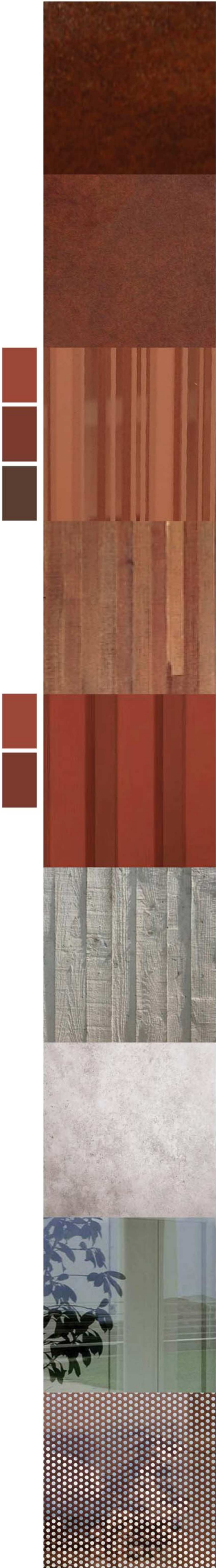


1 South Elevation
SCALE = 1 : 100



2 West Elevation
SCALE = 1 : 100

FINISH MATERIALS



01. TERRA COTTA

02. PRE-FINISHED METAL

03. FRITTED GLASS

04. CEDAR SOFFIT

05. CEMENTITIOUS PANEL

06. ARCHITECTURAL CONCRETE

07. CONCRETE

08. TRANSPARENT GLASS

09. PRE-FINISHED PERFORATED METAL

5	RZ/DP Response to ADP Comment - Rev3	APRIL 21, 2022
4	RZ/DP Content for ADP - Rev2	FEB 09, 2022
3	RZ/DP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

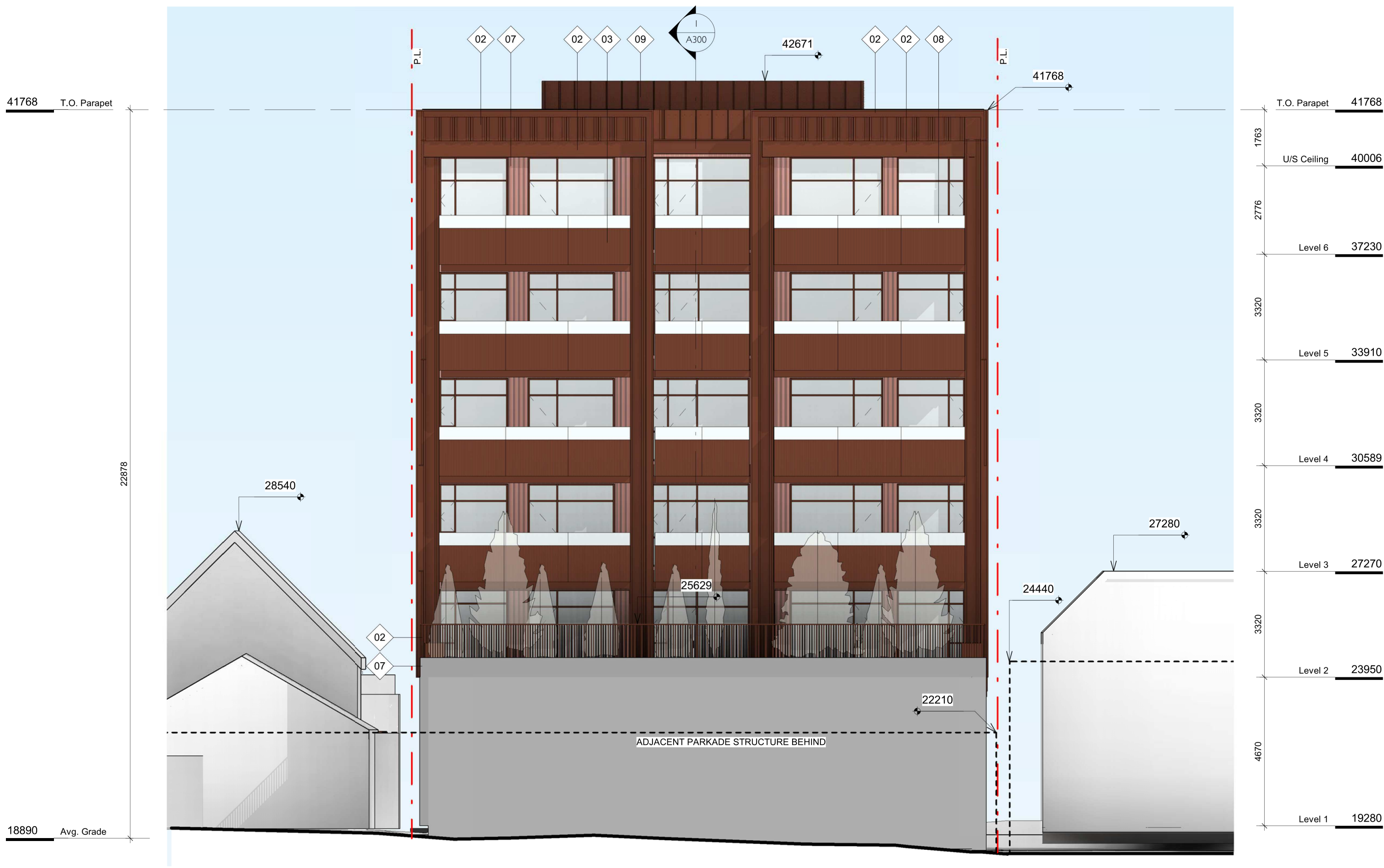


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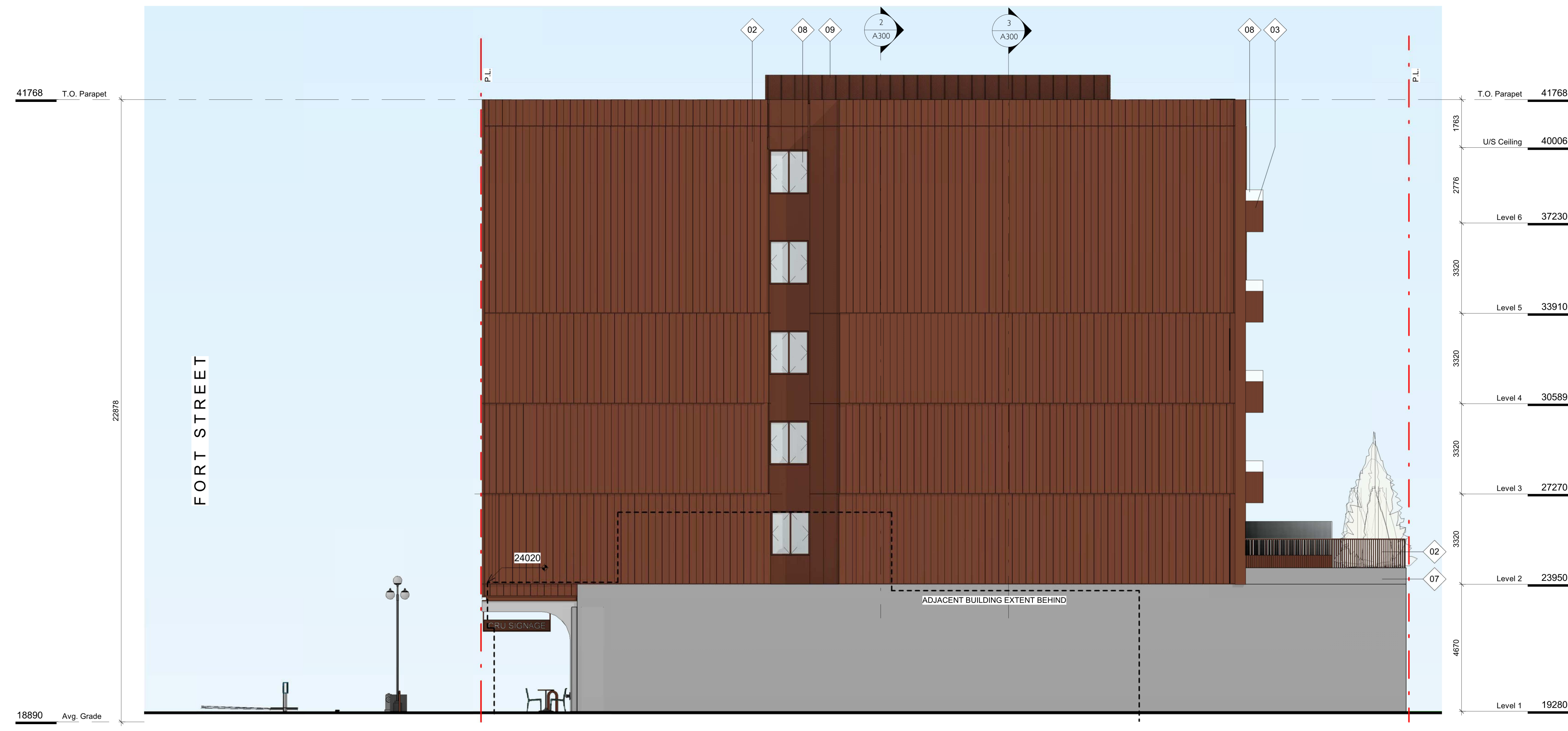
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Project		
1030 FORT STREET		
JAWL PROPERTIES		
1030 Fort Street, Victoria BC		
Sheet Name		
Building Elevations S-W		
Date		
April 21, 2022		
Scale	Project #	
As indicated	2112	
Revision		
APRIL 21, 2022		5
Sheet #		
		A200





1 North Elevation
SCALE = 1 : 100



2 East Elevation
SCALE = 1 : 100

FINISH MATERIALS

01. TERRA COTTA

02. PRE-FINISHED METAL

03. FRITTED GLASS

04. CEDAR SOFFIT

05. CEMENTITIOUS PANEL

06. ARCHITECTURAL CONCRETE

07. CONCRETE

08. TRANSPARENT GLASS

09. PRE-FINISHED PERFORATED METAL

5	RZ/DP Response to ADP Comment - Rev3	APRIL 21, 2022
4	RZ/DP Content for ADP - Rev2	FEB 09, 2022
3	RZ/DP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE



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Project

1030 FORT STREET

JAWL PROPERTIES

1030 Fort Street, Victoria BC

Sheet Name

Building Elevations N-E

Date

April 21, 2022

Scale

As indicated

Project #

2112

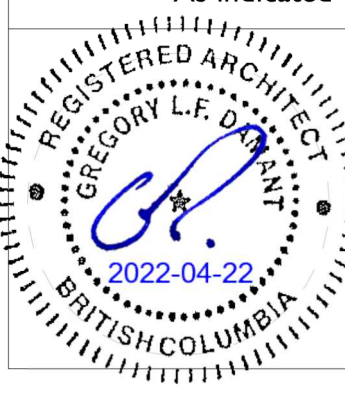
Revision

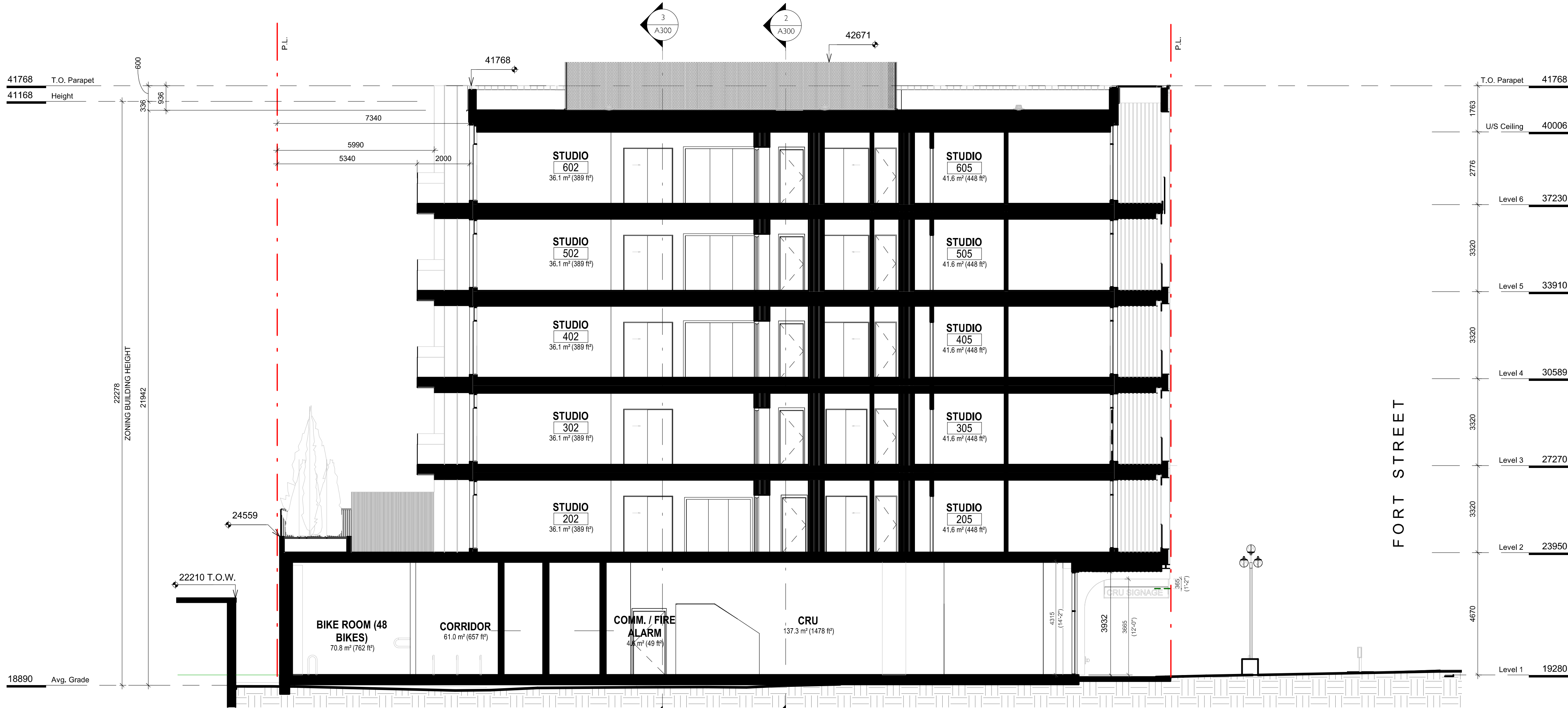
APRIL 21, 2022

5

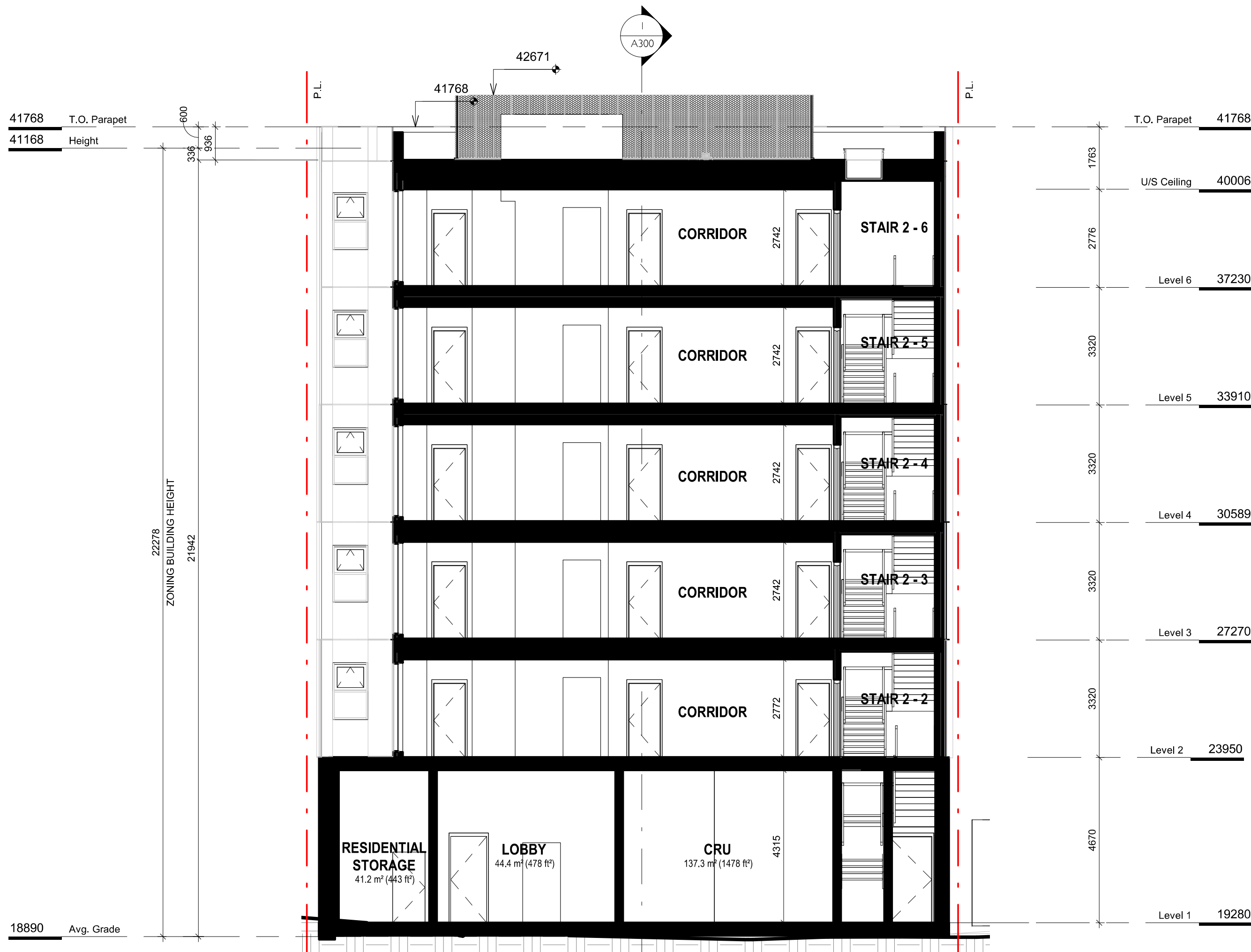
Sheet #

A201

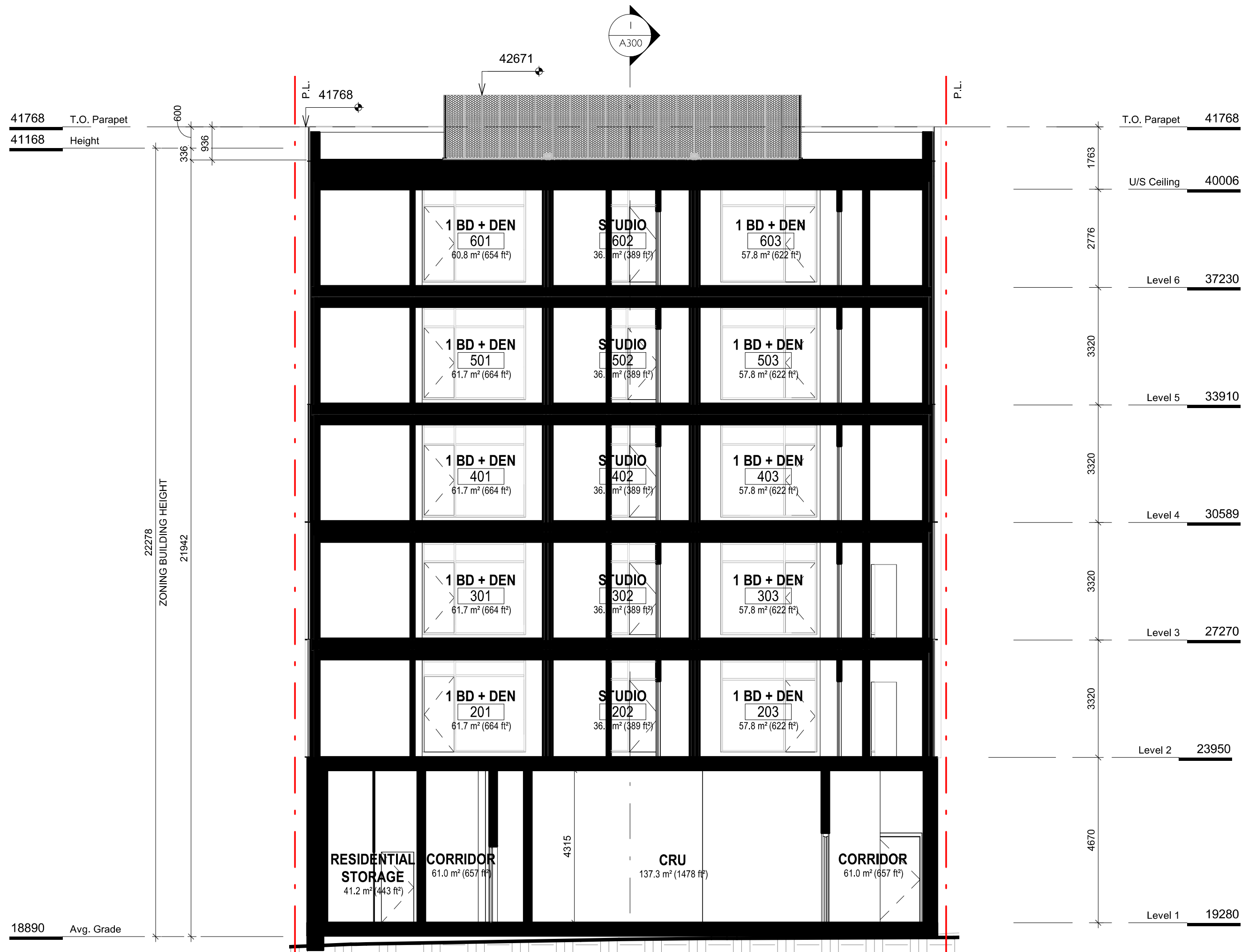




1 Building Section 1
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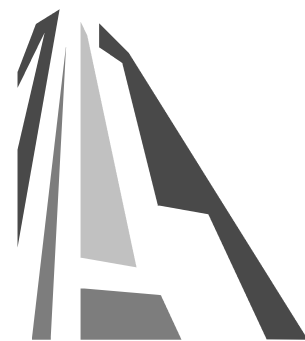


2 Building Section 2
SCALE = 1 : 100



3 Building Section 3
SCALE = 1 : 100

5	RZ/DIP Response to ADIP Comment - Rev3	APRIL 21, 2022
3	RZ/DIP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DIP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

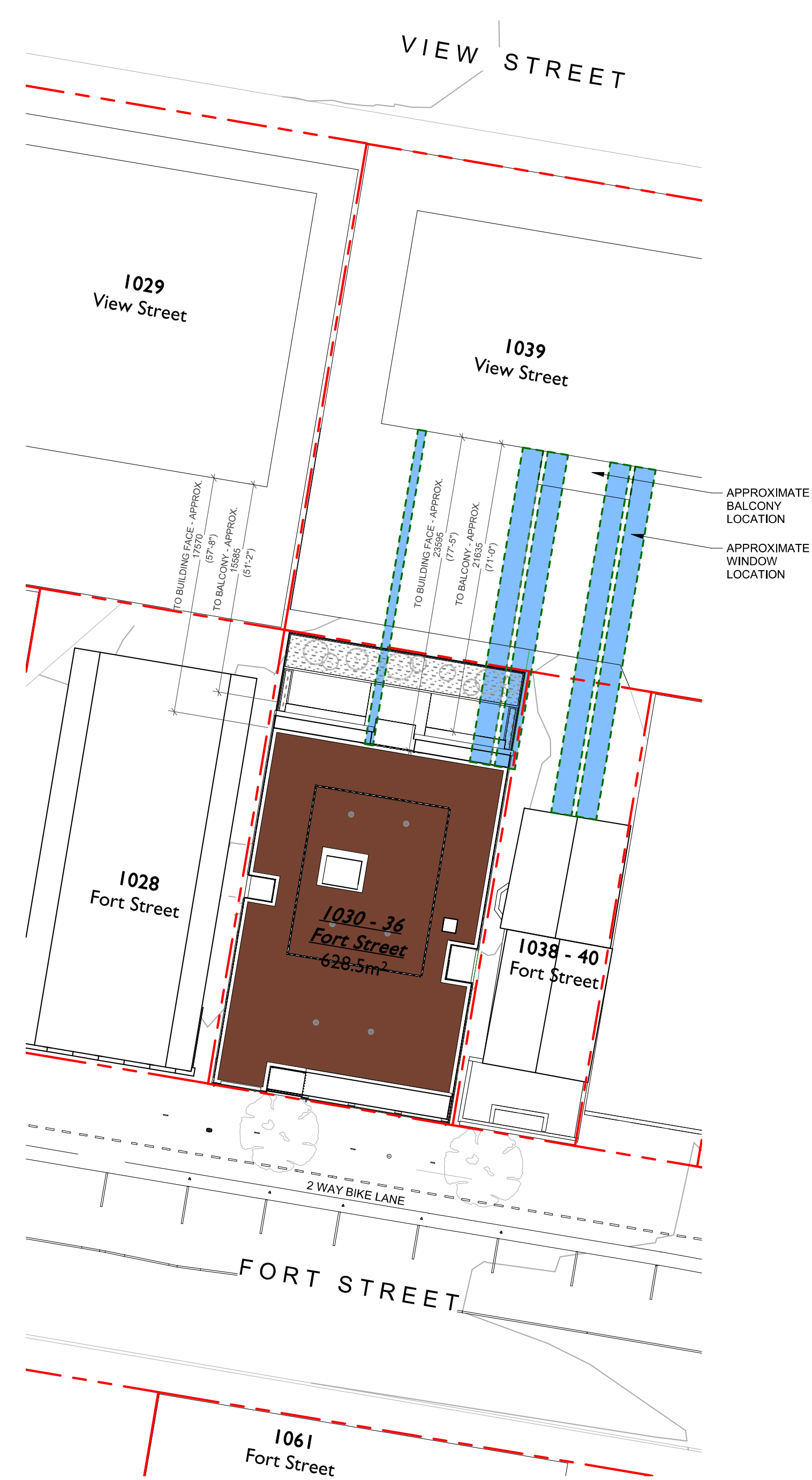
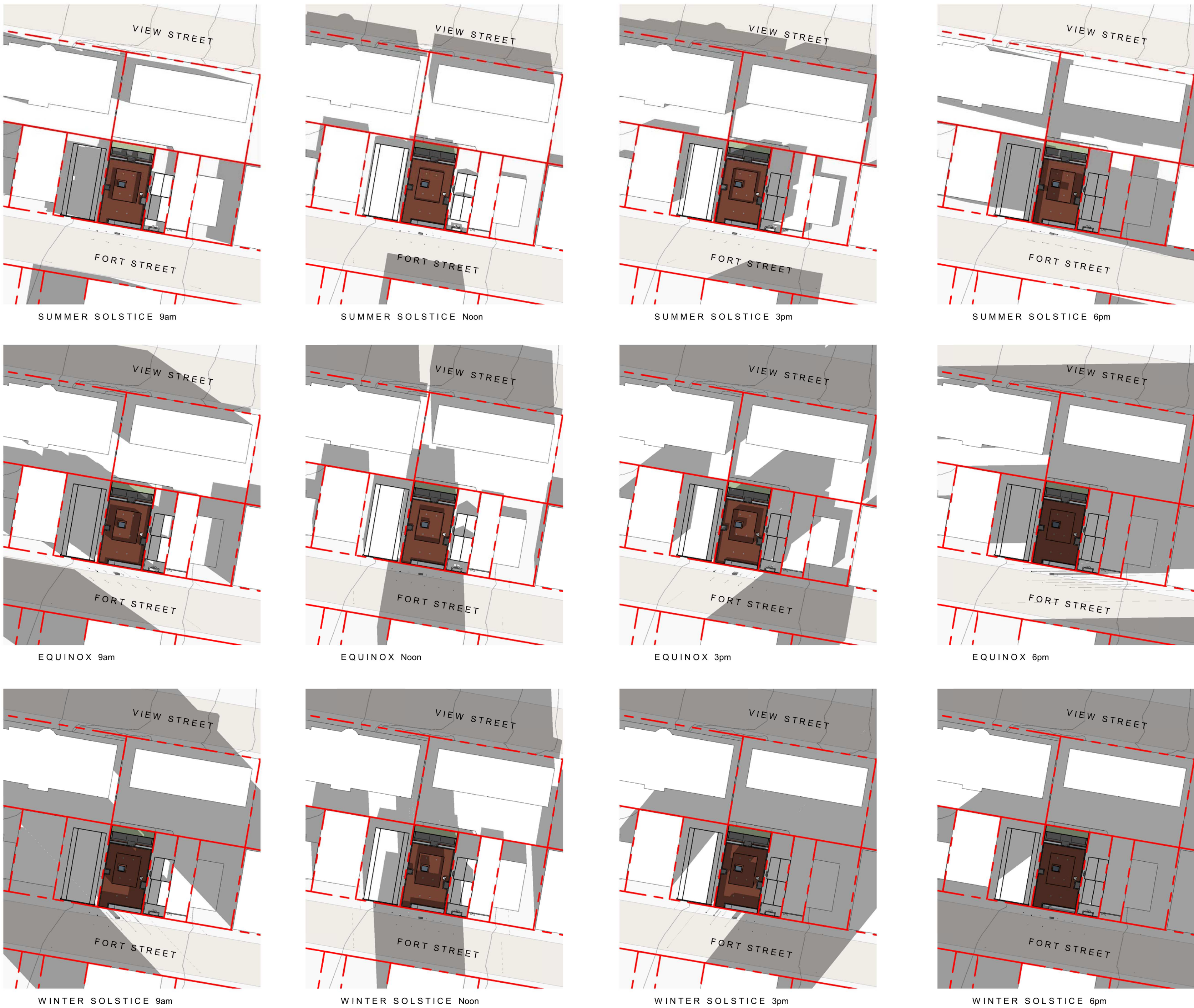


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Project		
1030 FORT STREET		
JAWL PROPERTIES		
1030 Fort Street, Victoria BC		
Sheet Name		
Building Sections		
Date		
April 21, 2022		
Scale	Project #	
1 : 100	2112	
Revision		
APRIL 21, 2022		5
Sheet #		
		A300



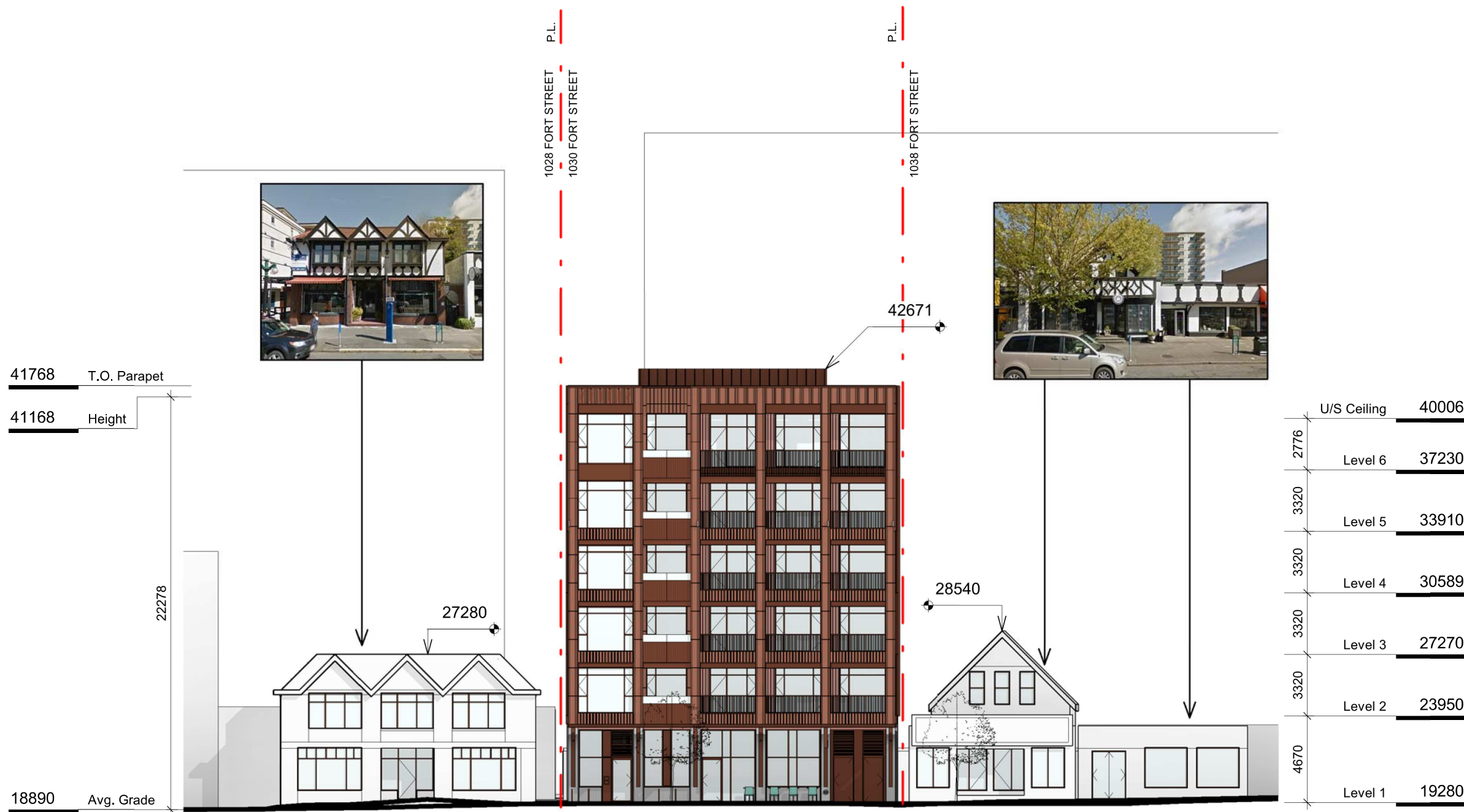


15 Adjacent North Properties
SCALE = 1 : 300

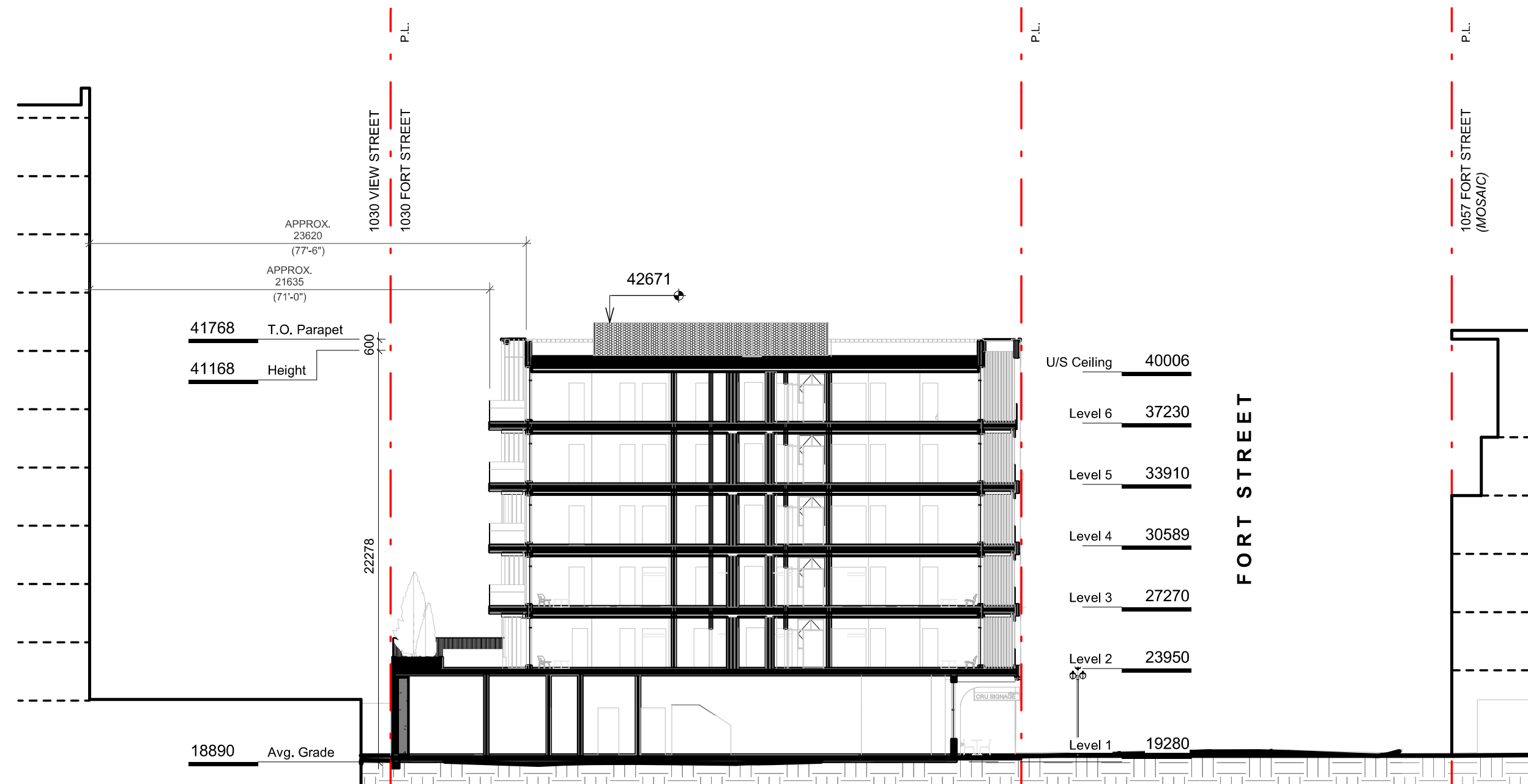
5	RZ/DIP Response to ADIP Comment - Rev3	APRIL 21, 2022
3	RZ/DIP Response to TRG Comment - Rev1	NOV 30, 2021
2	RZ/DIP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

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1 South Elevation - Fort Street Context
SCALE = 1 : 250



14 Section - Fort Street & Context
SCALE = 1 : 250

1030 FORT STREET

JAWL PROPERTIES
1030 Fort Street, Victoria BC

Sheet Name
Context & Shadow Study

Date
April 21, 2022

Scale
As indicated

Project #
2112

Revision
APRIL 21, 2022

Sheet #
5

A500

2022-04-22

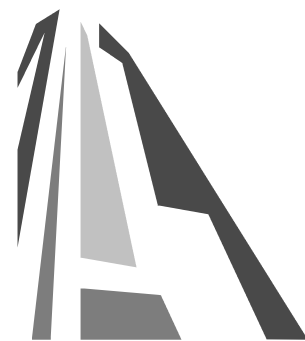


CONTEXT VIEW FROM FORT STREET WEST



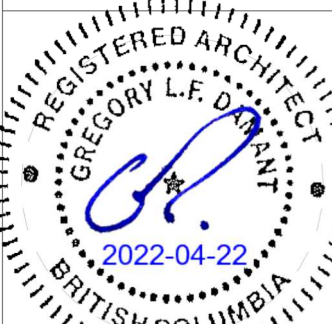
CONTEXT VIEW FROM FORT STREET EAST

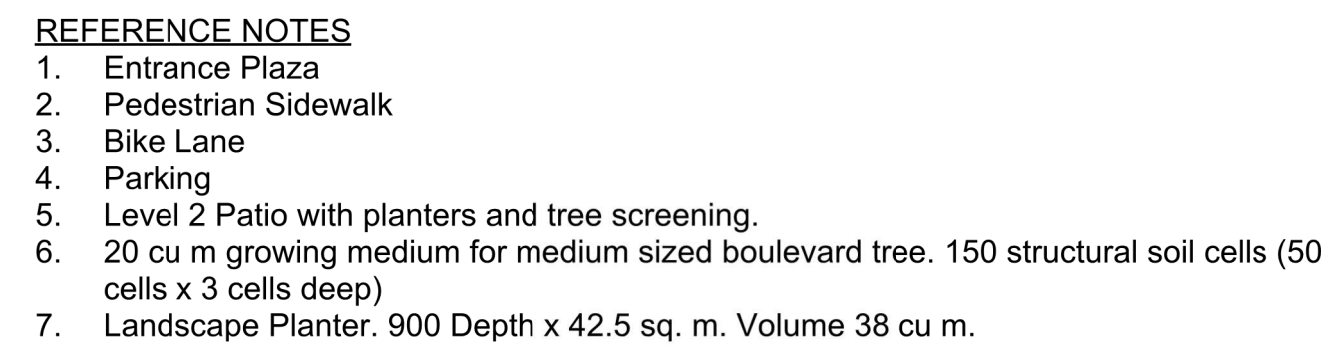
5	RZ/DP Response to ADP Comment - Rev3	APRIL 21, 2022
NO.	DESCRIPTION	DATE



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Project		1030 FORT STREET	
		JAWL PROPERTIES	
		1030 Fort Street, Victoria BC	
Sheet Name		Context Perspectives	
Date			
		April 21, 2022	
Scale	1 : 200	Project #	2112
		Revision	5
		APRIL 21, 2022	
		Sheet #	A501



1200

450

Equal

Equal

450

150

Concrete band along curb; 450mm width with control joint every 3rd panel.

1200mm score line pattern perpendicular to the curb with a centre line parallel to the curb.

Tree grate outlines.

Curb by Others

1 Sidewalk Paving Detail
Scale: 1:50

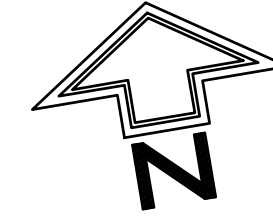
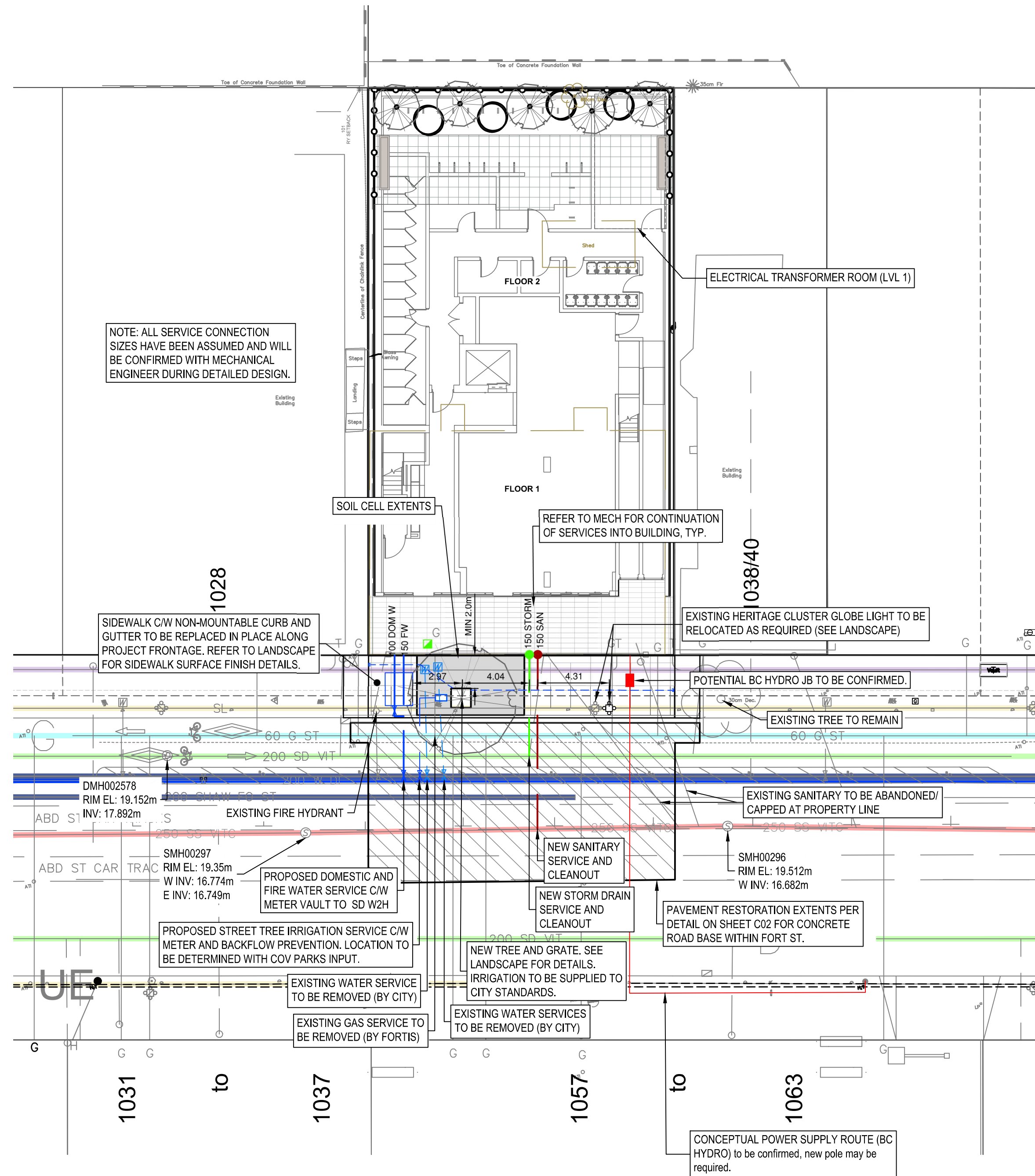
- ### **DRAWING NOTES**
- 1. DO NOT SCALE DRAWING:** Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - 2. All plan dimensions in metres and all detail dimensions in millimetres.**
 - 3. Plant quantities on Plans shall take precedence over plant list quantities.**
 - 4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.**
 - 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.**
 - 6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications, Boulevard irrigation system to meet City of Victoria Supplementary Specification for Street Trees and Irrigation Bylaw.**
 - 7. Landscape installation to carry a 1 year warranty from date of acceptance.**
 - 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.**
 - 9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.**
 - 10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work**



sheet title	
Landscape Materials	
project no.	121.29
scale	1: 100 @ 24"x36"
drawn by	EB
checked by	SM
revision no.	sheet no.
	L1.01

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MCMC) PLATINUM EDITION, AND THESE DRAWINGS.
2. ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
3. PERMIT TO CONSTRUCT WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
4. ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. CONTACT BC-1 (1-800-474-8886), BC HYDRO, TELUS, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS 72 HOURS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO VIDEO INSPECT EXISTING 200mm STORM DRAIN BETWEEN EAST AND WEST PROPERTY LINES ALONG PROJECT FRONTAGE PRE AND POST CONSTRUCTION TO CONFIRM PIPE CONDITION.
7. EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE RELAYED TO ENGINEER AND CITY TECHNICIAN IMMEDIATELY.
9. ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES. CITY CREWS TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
11. WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CREW, AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
12. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVICING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDRO/TELUS/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
13. UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TELUS DRAWINGS AND SPECIFICATIONS.
14. OVERHEAD WIRING IS NOT SHOWN ON CONTRACT DRAWINGS.
15. STREETS SHALL BE SWEEPED CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
16. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER BYLAW.
17. REMOVE ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
18. ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MCMC AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
19. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS. OUTBOUND ARTERIAL ROAD TRAVEL LANES TO BE OPEN AFTER 3:00 P.M.
20. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
21. ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
22. COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAYS WITH CITY OF VICTORIA WORKS CREWS.
23. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
24. FIELD SURVEY COMPLETED BY GEOVERRA 2020/2021.
25. CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.

ADDRESS	1030 FORT STREET
LOT:	REM 1010
BLOCK:	
PLAN:	VIP1A
ZONING:	CA-42
LAND USE:	COMMERCIAL/RESIDENTIAL



SERVICE	ESTIMATED SIZE	UTILITY PROVIDER	INSTALLATION FORCES	COST(\$) ¹
WATER	150mm	City of Victoria	City of Victoria	At Cost
SANITARY	150mm	City of Victoria	City of Victoria	At Cost
STORM DRAIN	150mm	City of Victoria	City of Victoria	At Cost
GAS	² Unconfirmed	Fortis	Utility Contractor	Based on Size
HYDRO	² Unconfirmed	BC Hydro	Utility Contractor	Based on Size
COMMUNICATIONS	² Unconfirmed	Telus/Shaw	Utility Contractor	Based on Size

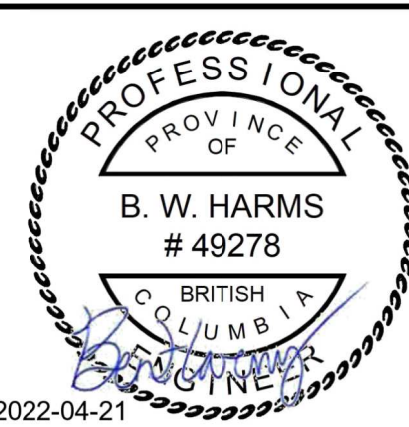
² Design loads and service size to be confirmed by mechanical and Electrical consultants during detailed design stage.

WORKS AND SERVICES CHECK TABLE				
PLAN CHECKER		AUTHORIZED REPRESENTATIVE		DATE
		NAME	SIGNATURE	
UTILITY	BC HYDRO			
	TELUS			
	FORTIS BC			
	SHAW			
MUNICIPAL	UNDERGROUND UTILITIES			
	TRANSPORTATION DESIGN & INFRASTRUCTURE			
	LAND DEVELOPMENT			

SURFACE DETAIL		Y	SEWER LATERAL	Ⓣ	TEL MANHOLE	⊖	SIGNAL PULL BOX - SIDEWALK	✕	HYDRO/TEL POLE TO BE REMOVED	—	SANITARY
Ⓢ	STORM DRAIN MANHOLE	Ⓜ	WATER VALVE ON MAIN	Ⓢ	TEL POLE	Ⓢ	LIGHT/SIGNAL PULL BOX - STREET	Ⓜ	GAS METER	—	STORM
Ⓢ	STORM DRAIN VENT	Ⓜ	WATER SERVICE VALVE	Ⓢ	TEL POLE WITH DIP	Ⓢ	LIGHT POLE (STEEL)	Ⓜ	GAS VALVE	—	WATER
Ⓢ	CATCH BASIN	Ⓜ	WATER METER	Ⓢ	TEL POLE WITH LIGHT	Ⓢ	SIGNAL POLE (STEEL)	Ⓜ	GAS SNIFFER	—	HYDRO
Ⓢ	DRAIN CLEANOUT	Ⓜ	BOULEVARD SERVICE	Ⓢ	TEL SERVICE BOXES	Ⓢ	LIGHT/SIGNAL POLE (STEEL)	Ⓜ	TEST HOLE	—	LIGHTING
Ⓢ	DRAIN LATERAL	Ⓜ	FIRE HYDRANT	Ⓢ	TEL VAULT	Ⓢ	CLUSTER LAMP - TYPE A	✕	FENCE LINE	—	GAS
Ⓢ	SANITARY SEWER MANHOLE	Ⓜ	REDUCER	Ⓢ	POLE ANCHOR	Ⓢ	CLUSTER LAMP - TYPE B	✕	RETAINING WALL	—	TEL/CABLE
Ⓢ	SANITARY SEWER VENT	Ⓜ	LIGHT MANHOLE	Ⓢ	HYDRO/TEL POLE TO BE RELOCATED	Ⓢ	STREET SIGN	Ⓜ	TREE		
Ⓢ	SEWER CLEANOUT	Ⓜ	LIGHT PULL BOX - SIDEWALK			Ⓢ	PARKING METER	Ⓜ	ROCK OUTCROP		

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	####	####	####	####	####	####	####
DISCLAIMER:	####	####	####	####	####	####	####
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.	2	2022/04/21	RE-ISSUED FOR DEVELOPMENT PERMIT	BH	CD	JCS	BH
	1	2021/12/01	RE-ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING	BH	CD	JCS	BH
	0	2021/09/15	ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING	BH	CD	JCS	BH
	ISS/REV	YYYY-MM-DD	DESCRIPTION	DES	DRN	CHK	PM
THIS DRAWING IS NOT TO BE SCALED.							

SEAL



Engineers and Geoscientists BC
Permit to Practice #1000200

CLIENT

JAWL PROPERTIES LTD.
1515 Douglas St Suite 200,
Victoria, BC



301-3600 Uptown Blvd
Victoria BC, Canada
V8Z 0B9
T+ 1 250-384-5510
F+ 1 250-386-2844
wsp.com

PROJECT: **1030 FORT STREET
MIXED-USE DEVELOPMENT**

PROJECT NO:	211-06978-00
SCALE:	1:200
DISCIPLINE:	

TITLE: **CONCEPTUAL CIVIL PLAN**

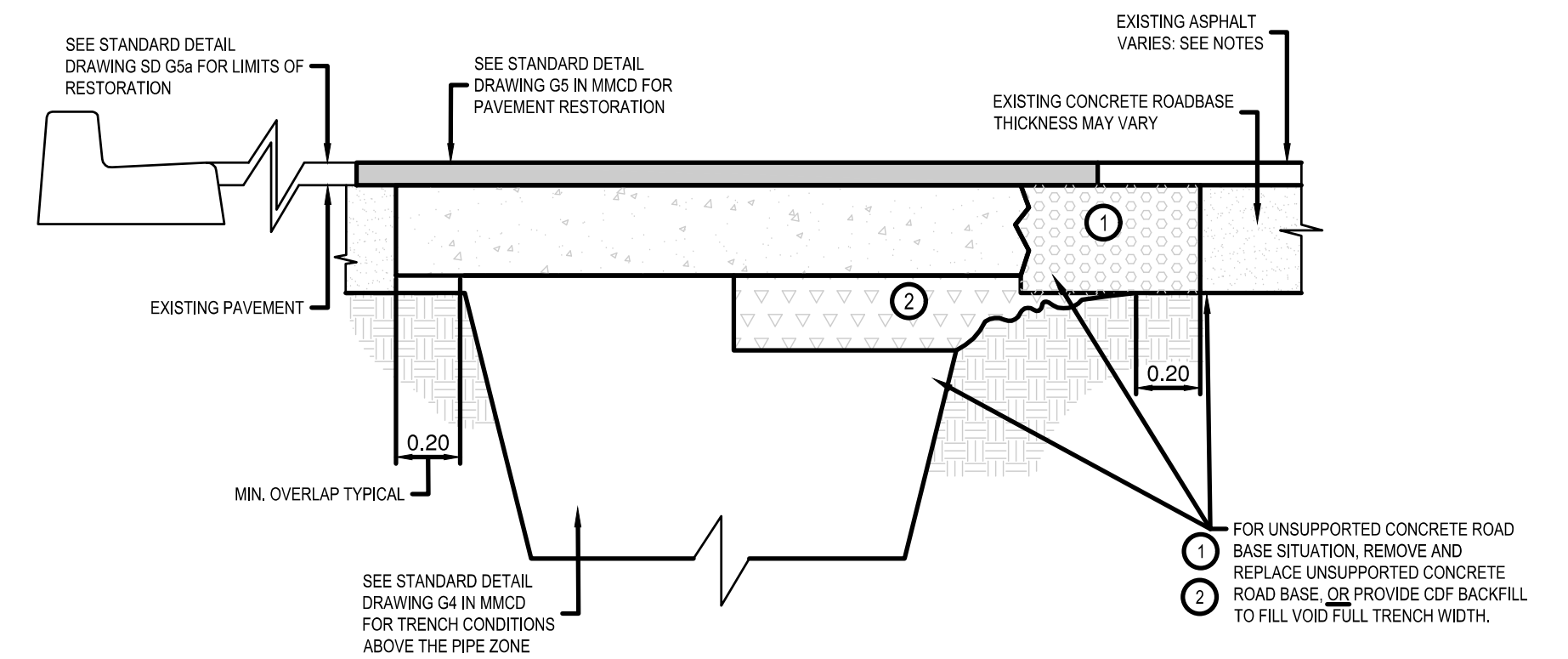
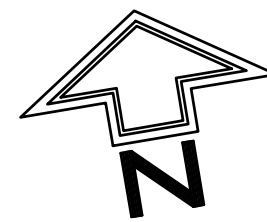
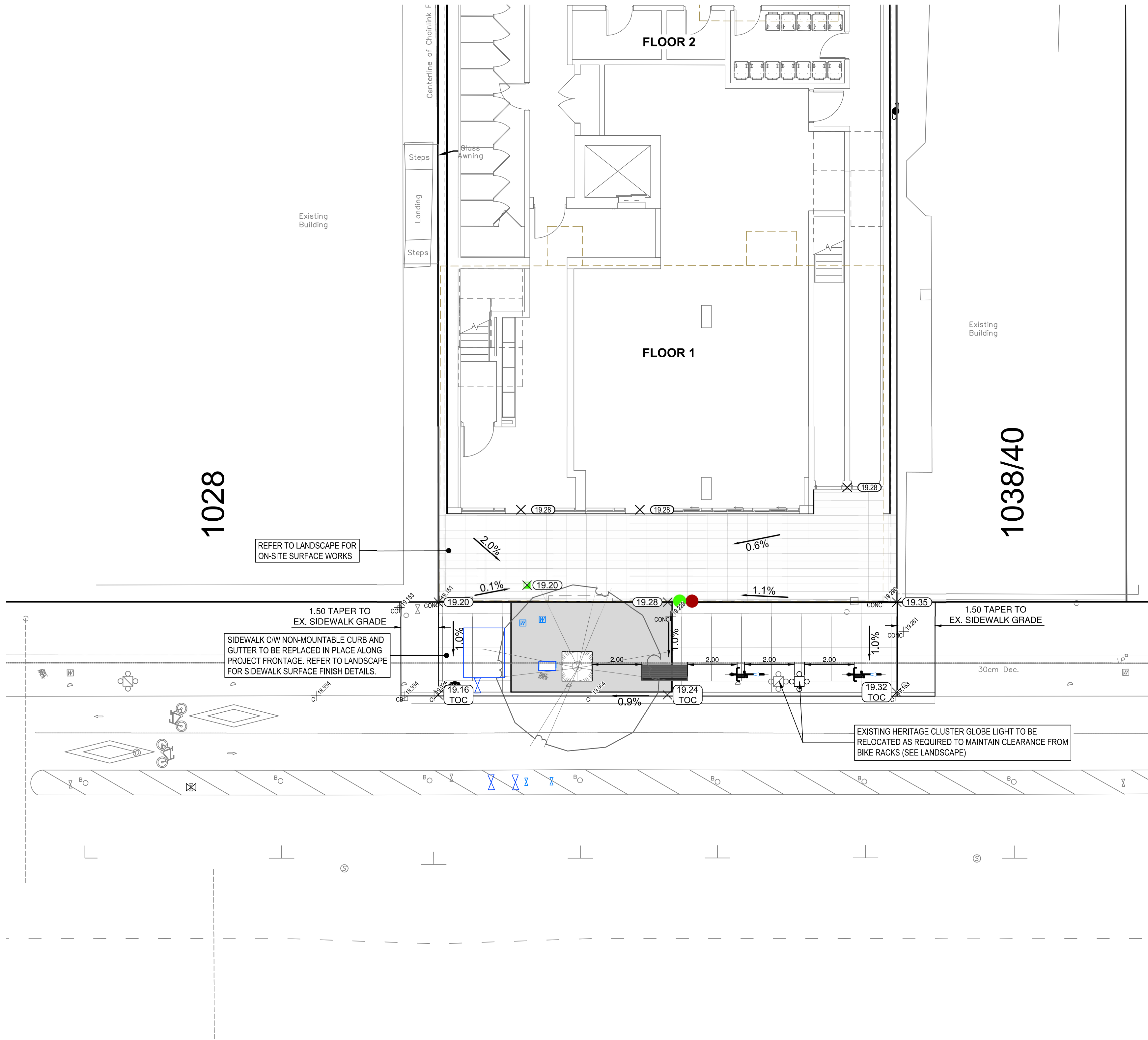
DRAWING NO: C01

SHEET NO: 1 OF 2

RE-ISSUED FOR DEVELOPMENT PERMIT
2022/04/21

10 m

ISS/REV: 2



- NOTES:
- IF PAVEMENT THICKNESS IS 150mm OR LESS, REPLACE CONCRETE ROAD BASE UP TO EXISTING PAVEMENT LOWER LEVEL.
 - IF PAVEMENT THICKNESS IS GREATER THAN 150mm REPLACE CONCRETE ROAD BASE UP TO A LEVEL OF 150mm BELOW THE SURFACE OF EXISTING PAVEMENT.
 - MUNICIPALITY MAY REQUEST FURTHER ASPHALT REMOVAL DEPENDING ON PAVEMENT CONDITIONS.
 - REFER TO CONTRACT DRAWINGS FOR DETAILED SPECIFICATIONS.
 - RESTORE CONCRETE ROAD BASE TO 200mm THICKNESS.
 - DOWEL NEW CONCRETE ROAD BASE INTO EXISTING AT THE DISCRETION OF THE CITY ENGINEER.

TRENCH RESTORATION FOR CONCRETE ROAD BASE

1:20
CoV SD G5b

LEGEND

SURFACE DETAIL							
⊙ STORM DRAIN MANHOLE	Ⓜ HYDRO MANHOLE	Y SEWER LATERAL	Ⓜ TEL MANHOLE	Ⓜ SIGNAL PULL BOX - SIDEWALK	✕ HYDRO/TEL POLE TO BE REMOVED		
Ⓟ STORM DRAIN VENT	Ⓜ HYDRO POLE	Ⓜ WATER VALVE ON MAIN	Ⓜ TEL POLE	Ⓜ LIGHT/SIGNAL PULL BOX - STREET	Ⓜ GAS METER		
Ⓜ CATCH BASIN	Ⓜ HYDRO POLE WITH DIP	Ⓜ WATER SERVICE VALVE	Ⓜ TEL POLE WITH DIP	Ⓜ LIGHT POLE (STEEL)	Ⓜ GAS VALVE		
Ⓜ DRAIN CLEANOUT	Ⓜ JOINT POLE	Ⓜ WATER METER	Ⓜ TEL POLE WITH LIGHT	Ⓜ SIGNAL POLE (STEEL)	Ⓜ GAS SNIFFER		
Ⓜ DRAIN LATERAL	Ⓜ HYDRO POLE WITH LIGHT	Ⓜ BOULEVARD SERVICE	Ⓜ TEL SERVICE BOXES	Ⓜ LIGHT/SIGNAL POLE (STEEL)	Ⓜ TEST HOLE		
Ⓜ SANITARY SEWER MANHOLE	Ⓜ HYDRO SERVICE BOXES	Ⓜ FIRE HYDRANT	Ⓜ TEL VAULT	Ⓜ CLUSTER LAMP - TYPE A	Ⓜ FENCE LINE		
Ⓜ SANITARY SEWER VENT	Ⓜ HYDRO VAULT	Ⓜ REDUCER	Ⓜ POLE ANCHOR	Ⓜ CLUSTER LAMP - TYPE B	Ⓜ RETAINING WALL		
Ⓜ SEWER CLEANOUT		Ⓜ LIGHT MANHOLE	Ⓜ HYDRO/TEL POLE TO BE RELOCATED	Ⓜ STREET SIGN	Ⓜ TREE		
		Ⓜ LIGHT PULL BOX - SIDEWALK		Ⓜ PARKING METER	Ⓜ ROCK OUTCROP		

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DISCLAIMER: THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.																																								DRAWING NO: C02																																																																																									
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