

1712 FAIRFIELD ROAD

SUMMARY OF REVISIONS

FORM AND CHARACTER

- 1 Block 1+2 balconies face outwards to reduce apparent scale of development
- 2 Roofline lowered along Fairfield Road and Hollywood Park
- 3 Facade expression is simplified

UNIT MIX

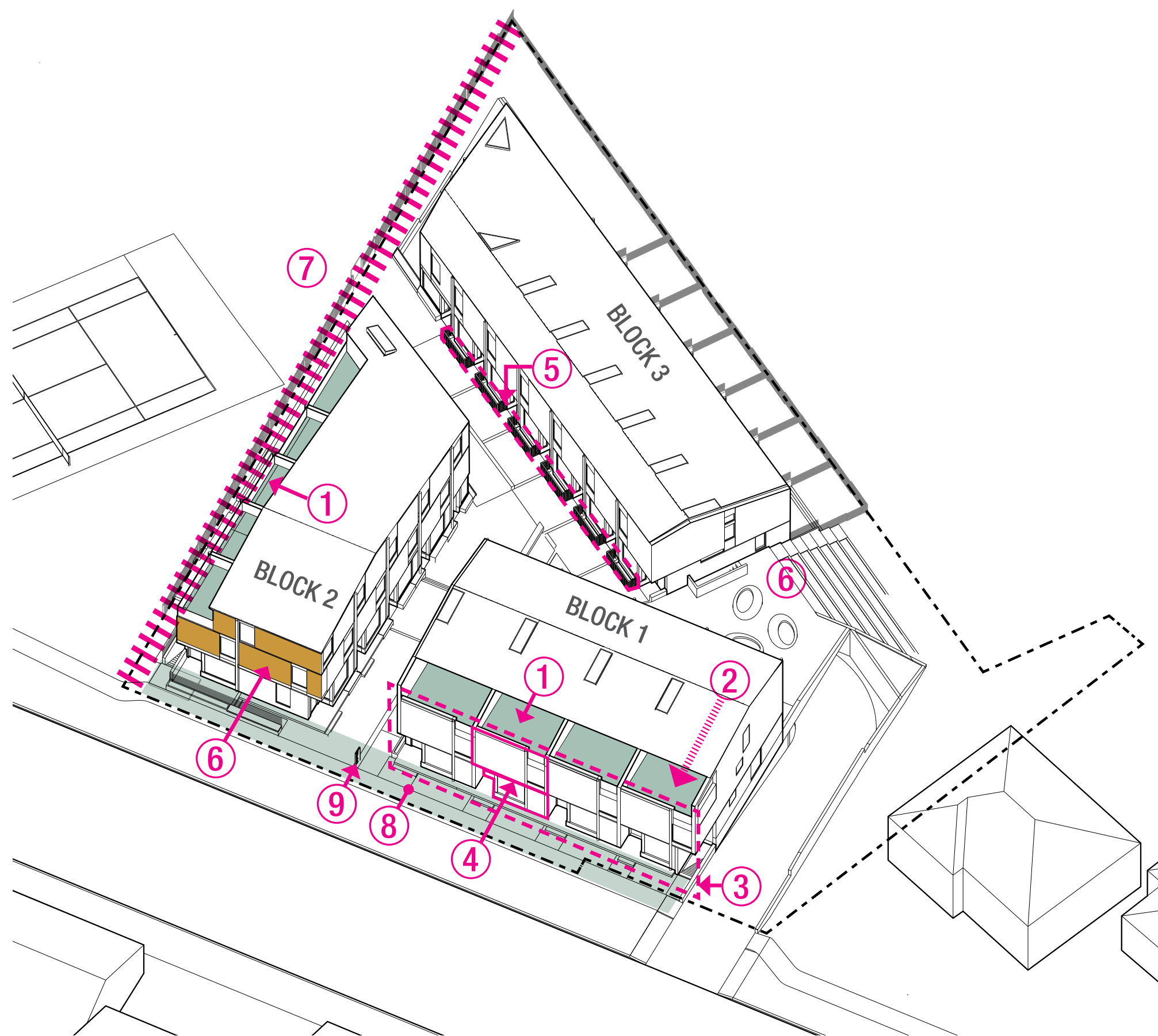
- 4 Block 1 consists of 1 bedroom ground oriented units + 2 bedroom 2 storey stacked units above.
- 5 Additional bedroom added below grade at Unit B3 with lightwell to form 3 bedroom 2 storey (above grade) units.

MATERIALITY

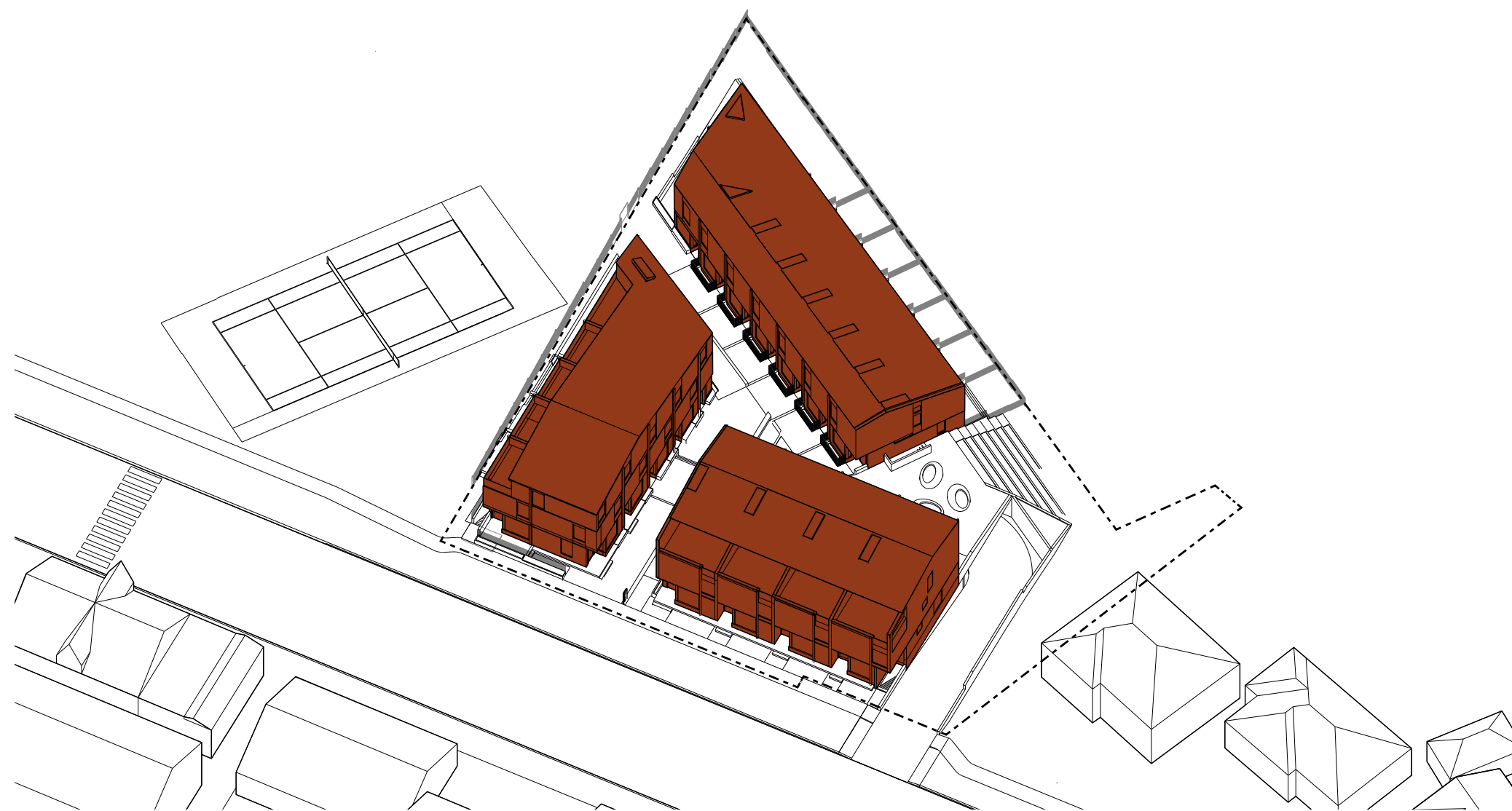
- 6 Buildings will be clad in primarily Cedar shingles above level 1
Vertical Cedar cladding will appear within recessed balcony areas only

LANDSCAPE

- 7 Cedar hedges and fencing added along park to serve as landscape buffers
- 8 Landscape along Fairfield road has been refined
- 9 Development signage has been reduced in size



BUILDING MASS - 3 INTERLOCKING BUILDINGS



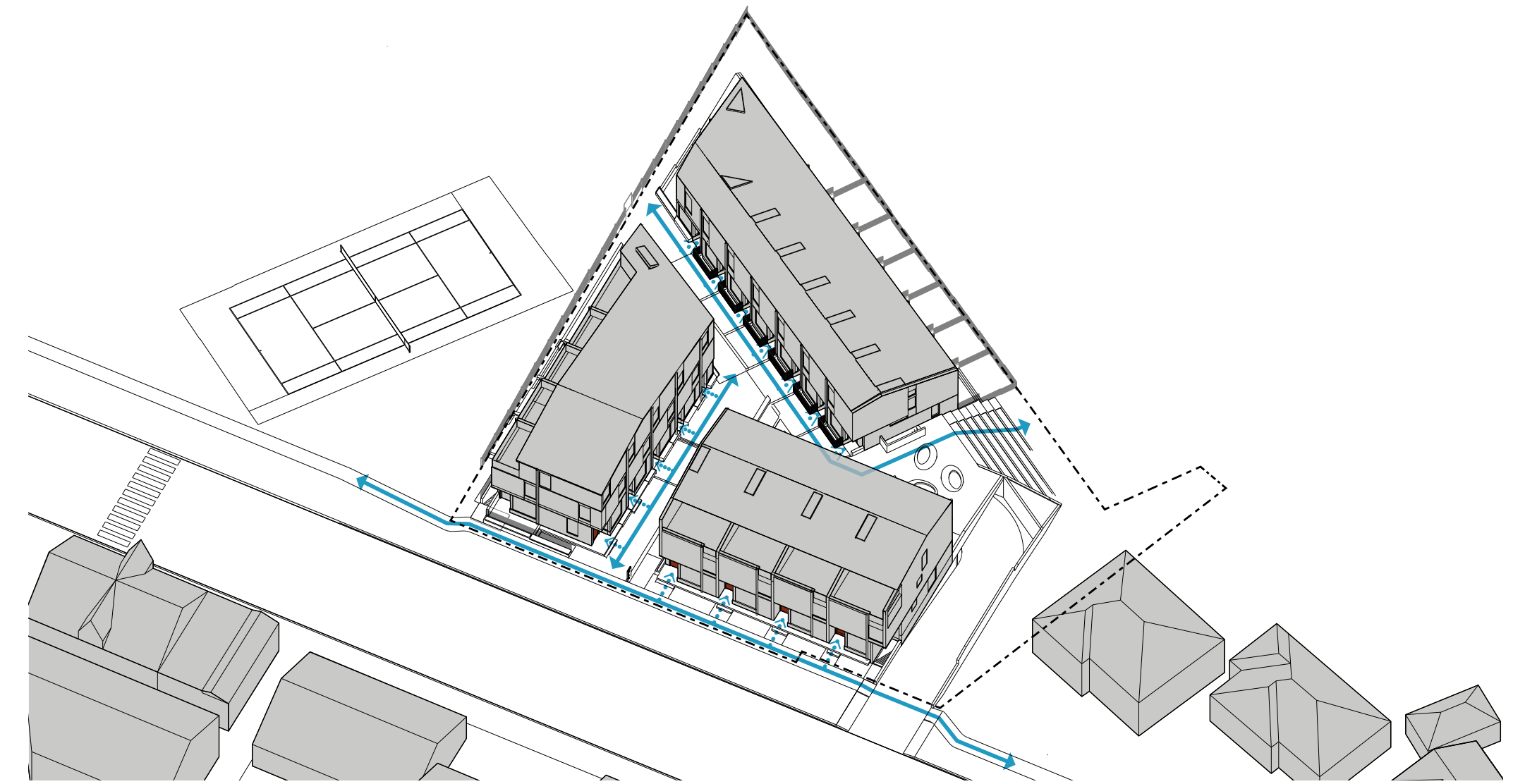
UNIT DENSITY - 20 UNITS



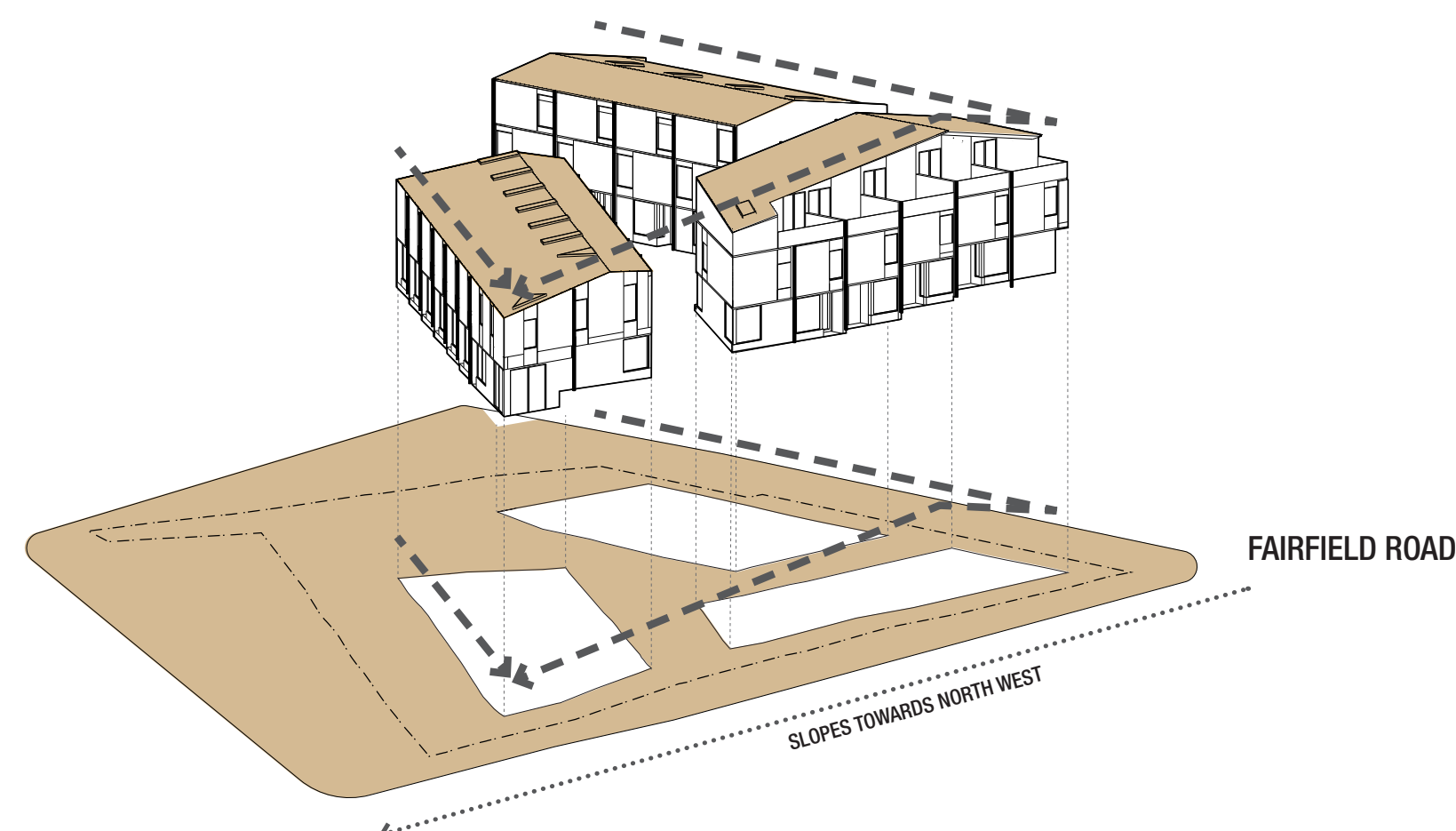
BUILDING VOID - OPEN SITE TO INCREASE ACCESS TO LIGHT



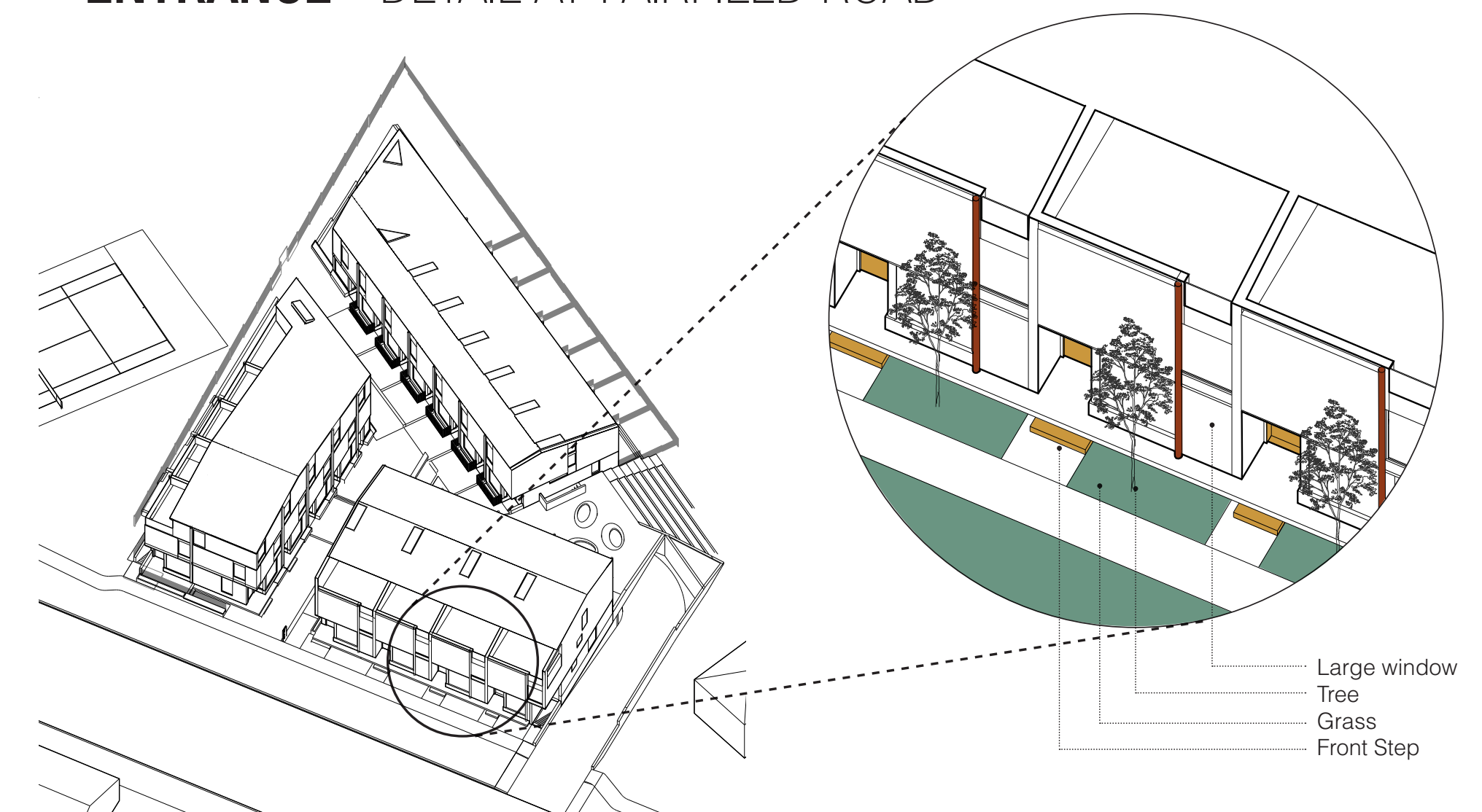
PUBLIC REALM - PATHWAYS THROUGH THE SITE



ROOFLINE FOLLOWS SLOPE OF TOPOGRAPHY



ENTRANCE - DETAIL AT FAIRFIELD ROAD





FAIRFIELD ROAD SW CORNER



MEWS LOOKING EAST



MEWS LOOKING WEST



FAIRFIELD ROAD ENTRANCES



FAIRFIELD ROAD



FAIRFIELD ROAD ENTRANCE TO MEWS



IMPACT RENDERING FAIRFIELD ROAD



IMPACT RENDERING FAIRFIELD ROAD N



IMPACT RENDERING HOLLYWOOD PARK SW



IMPACT RENDERING HOLLYWOOD PARK NE



IMPACT RENDERING WILDWOOD AVE

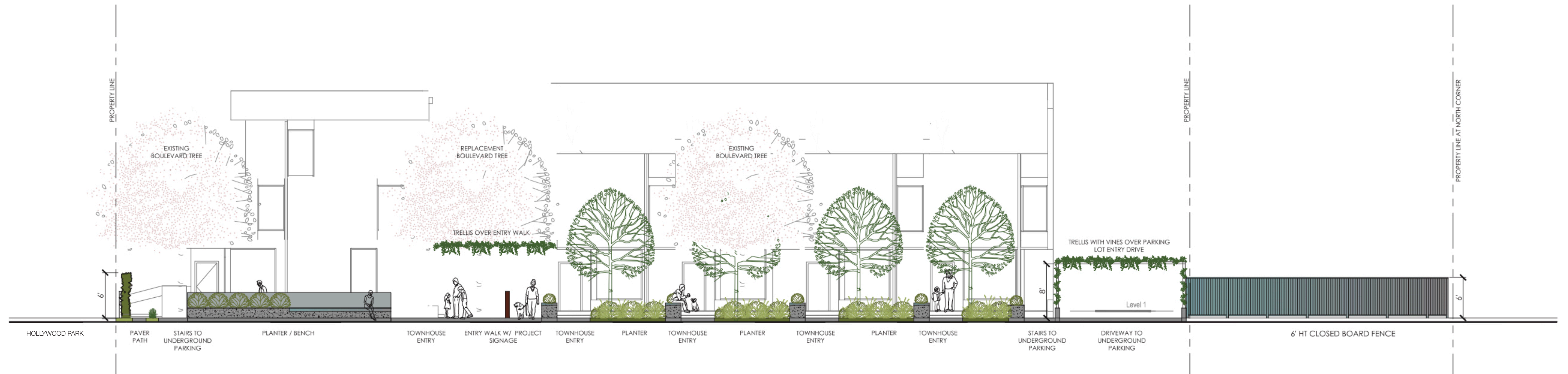


IMPACT RENDERING HOLLYWOOD PARK PLAYGROUND



LANDSCAPE PLAN

LANDSCAPE ELEVATION FROM HOLLYWOOD PARK



LANDSCAPE ELEVATION FROM FAIRFIELD ROAD