

PROJECT INFORMATION TABLE	
Zone (existing)	CR-3
Proposed zone or site specific zone If unsure, state "new zone"	NEW ZONE
Site area (m²)	1,963 m²
Total floor area (m²)	3,809 m²
Commercial floor area (m²)	688 m²
Floor space ratio	1.94:1
Site coverage (%)	75.0%
Open site space (%)	31.7%
Height of building (m)	15.58 m
Number of storeys	4
Parking stalls (number) on site	47 RESIDENTIAL , 10 COMMERCIAL
Bicycle parking number (Class 1 and Class 2)	48 CLASS 1, 18 CLASS 2
Building Setbacks (m) *	
Front yard	3.35 m (OAK BAY AVENUE)
Rear yard	7.32 m
Side yard (indicate which side)	0.15 m (WEST P.L.)
Side yard (indicate which side)	0.72 m (EAST P.L.)
Combined side yards	0.87 m
Residential Use Details	
Total number of units	35
Unit type, e.g., 1 bedroom	14 1BR, 15 2BR, 6 2BR+DEN / 3BR
Ground-orientated units	0
Minimum unit floor area (m²)	47 m²
Total residential floor area (m²)	2620 m²

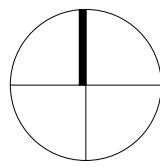
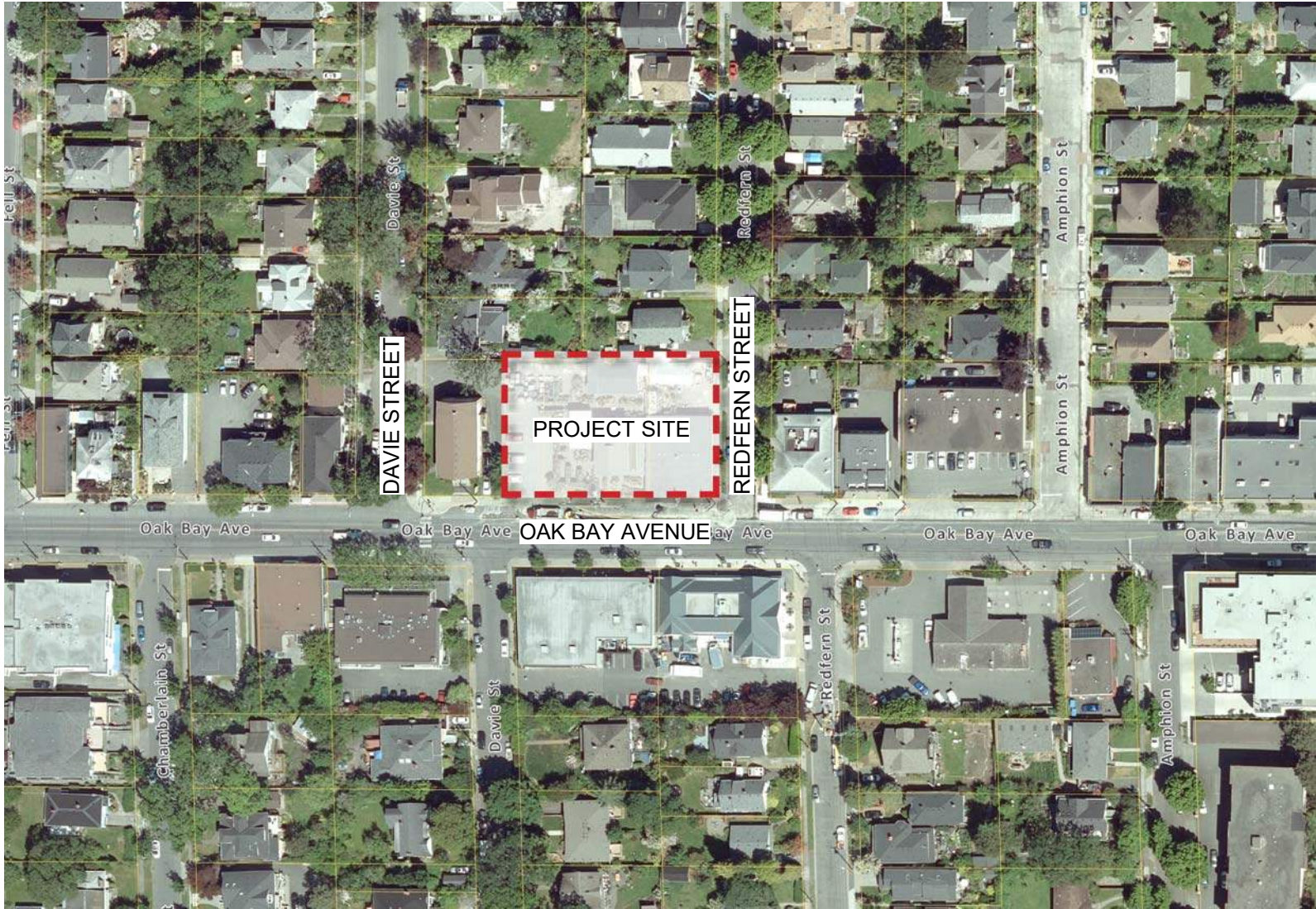
* MEASURED TO BUILDING FACE, EXCLUDES BALCONIES AND ROOF PROJECTIONS



OAK BAY AVENUE & REDFERN STREET CORNER PERSPECTIVE

DRAWING LIST

A0.00	Cover Sheet	A2.02	Second Floor Plan	L1.01	Landscape Materials
A1.00	Survey, Existing Site Plan, Average Grade	A2.03	Third Floor Plan	L1.02	Level 2 Landscape Materials & Planting Plan
A1.01	Code Analysis	A2.04	Fourth Floor Plan	L1.03	Stormwater Management
A1.02	Limiting Distance	A2.05	Roof Plan	L3.01	Planting Plan
A1.03	Overall Site Plan	A3.00	Elevations	T.1	Tree Management Plan
A1.04	Shadow Study - Fall Equinox	A3.01	Elevations	C1.01	Preliminary Servicing
A1.05	Shadow Study - Summer Solstice	A3.02	Context Elevations		
A1.06	Shadow Study - Winter Solstice	A4.00	Building Sections		
A2.00	Parking Level Plan	A4.01	Context Sections		
A2.01	Ground Floor Plan	A9.00	Perspectives		
		A9.01	Materials		



APPLICANT

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LANDSCAPE ARCHITECT

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CONTACT:
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scott@mdidesign.com

CIVIL ENGINEER

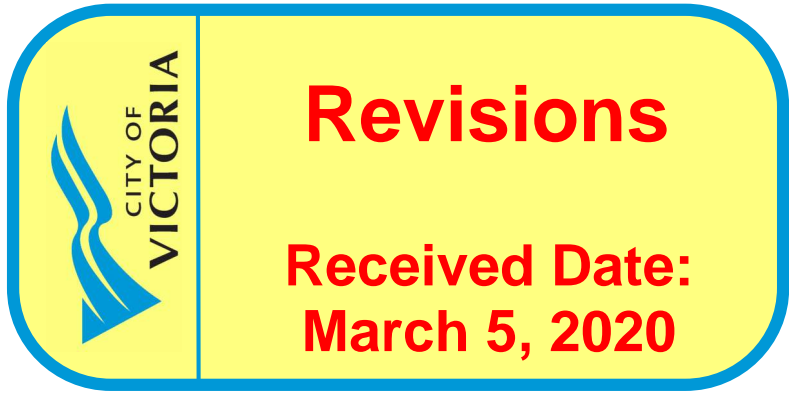
J.E. ANDERSON & ASSOCIATES
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CONTACT:
ROSS TUCK
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TRAFFIC CONSULTANT

URBAN SYSTEMS
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Jawl Residential

Project #	1801	Date	3/4/2020 3:01:42 PM
Sheet #	A0.00	Revision	March 5, 2020

CASCADIA ARCHITECTS INC

101-804 Broughton Street
Victoria BC V8W 1E4 Canada
250.590.3223
cascadiaarchitects.ca



BC LAND SURVEYORS SITE PLAN OF:

Civic: 1908 - 1920 Oak Bay Avenue

Legals: The Western 1/2 of Lot 13, Block 3, Section 76,
Victoria District, Plan 273

Parcel Identifier: 001-045-033 is the City of Victoria

Lot A, Section 76, Victoria District, Plan 38854

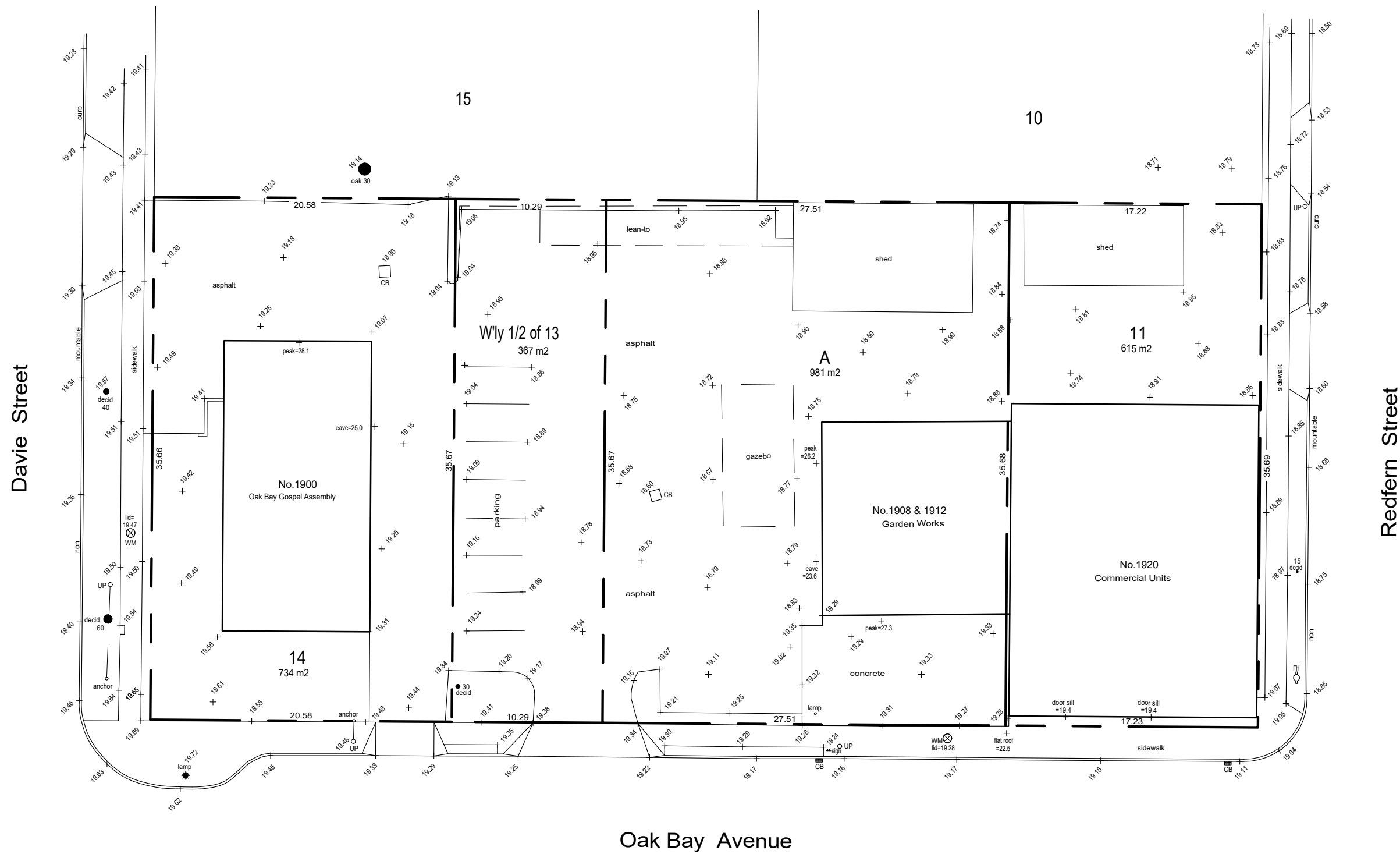
Parcel Identifier: 000-067-719 is the City of Victoria

Lot 11, Block 3, Section 76, Victoria District, Plan 273

Parcel Identifier: 008-105-080 is the City of Victoria

LEGEND

Elevations are to geoidetic datum
+ - denotes - existing elevation
UP - denotes - Utility Pole
- denotes - Catch Basin
- denotes - Catch Basin
Tree diameters are in centimetres.



February 2, 2018

File: 12.709-15
POWELL & ASSOCIATES
B.C. Land Surveyors
256-2950 Douglas Street
Victoria, BC V8T 4M4
phone (250) 362-8855

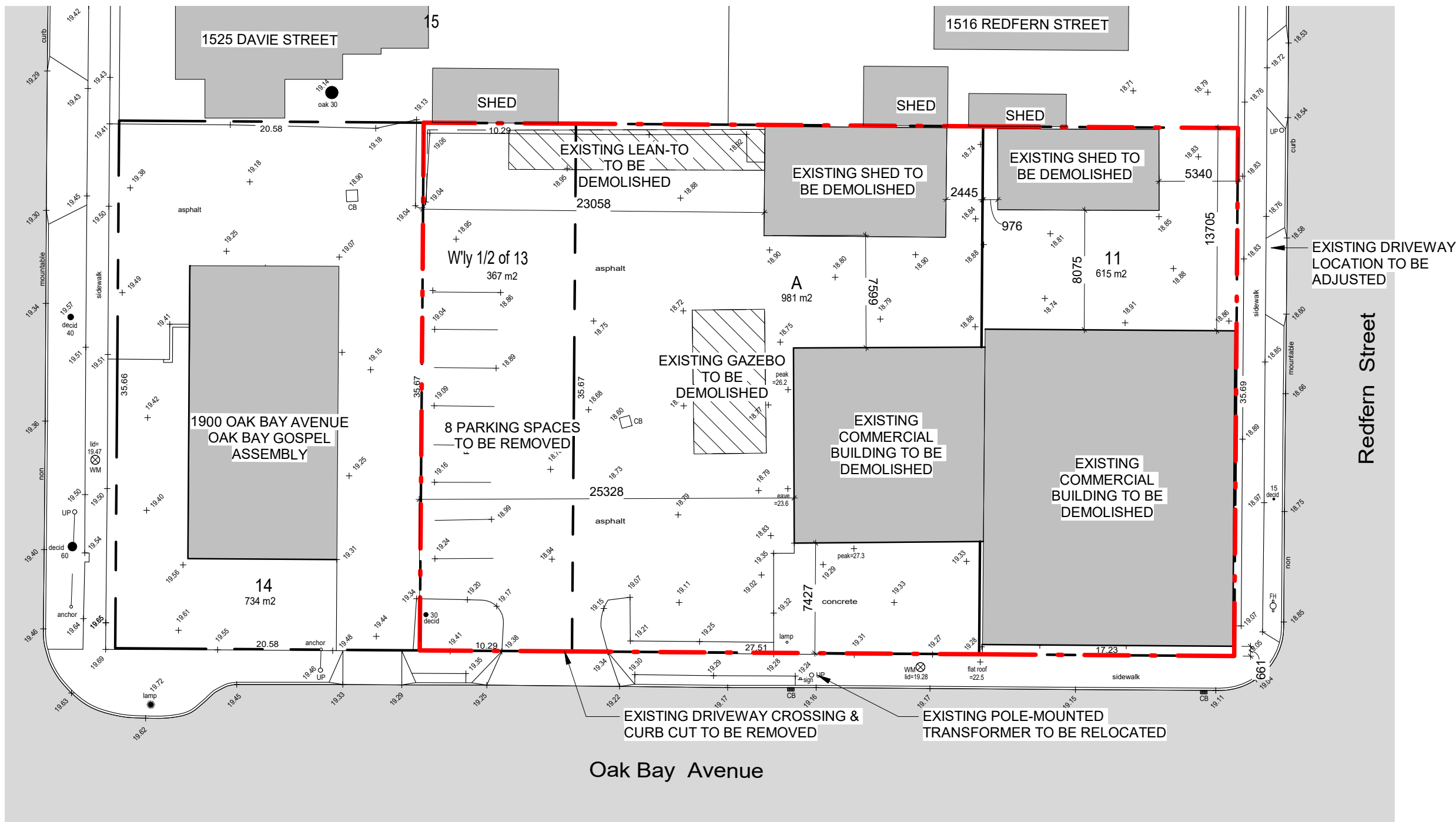
Scale 1:200 Distances are in metres.

The intended print size is 24" by 18".

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

Setbacks are derived from field survey.
Parcel dimensions shown hereon are
derived from Land Title Office records.

Survey Plan
1 : 300



Existing Site Plan
1 : 300

AVERAGE GRADE CALCULATIONS

GRADE POINTS:
(PROPOSED)

A:	19.012	18.986
B:	19.012	18.939
C:	19.012	18.970
D:	19.012	18.844
E:	19.012	18.801
F:	18.859	18.835
G:	18.855	18.883
H:	18.857	18.894
I:	18.856	18.878
J:	18.905	18.907
K:	19.100	18.978
L:	19.089	19.159
M:	19.100	19.307
N:	19.100	19.303
O:	19.417	19.116
P:	19.400	18.969
Q:	19.400	18.952
R:	19.417	19.096
S:	19.401	19.322

GRADE POINTS:
(NATURAL)

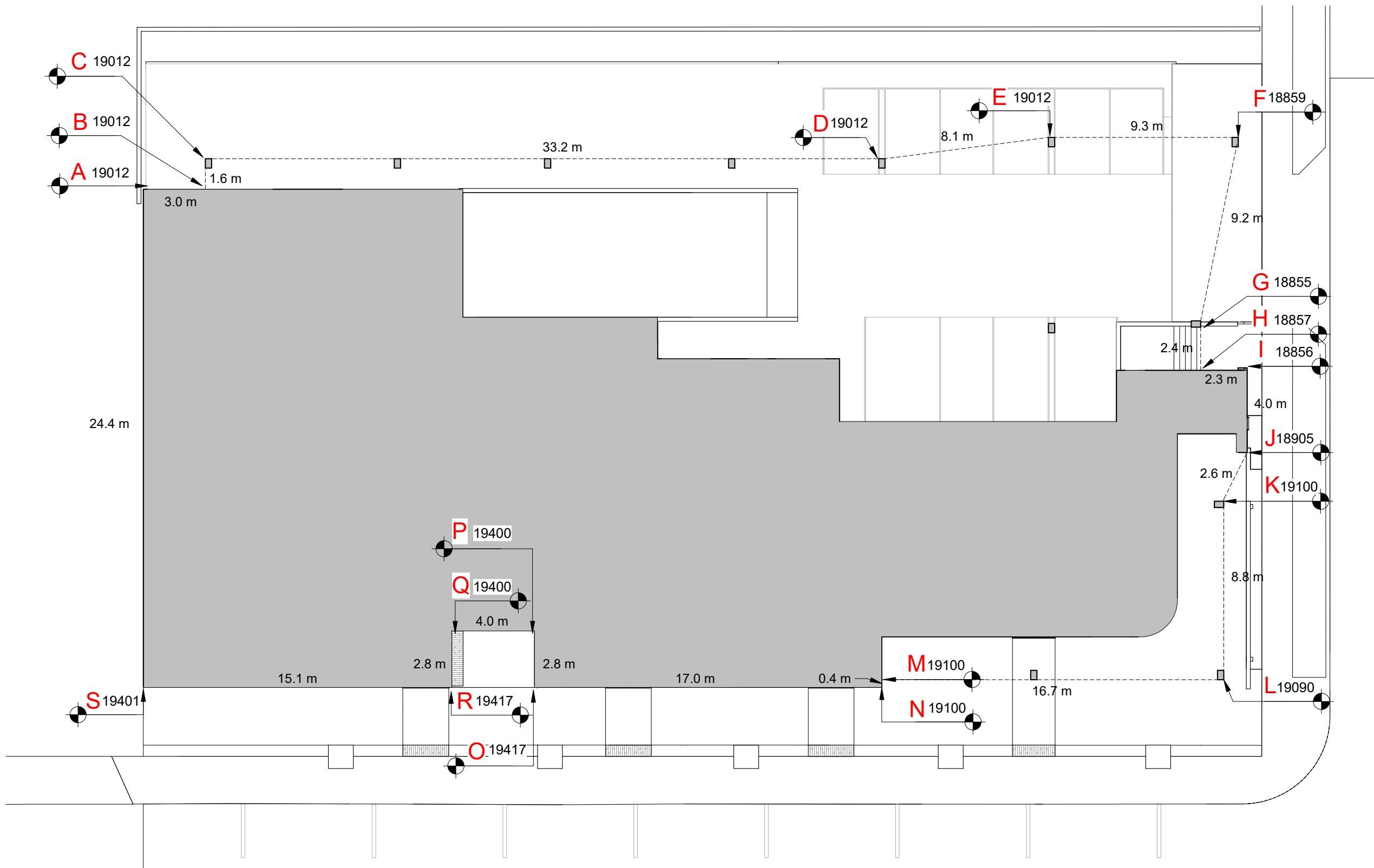
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B:	19.012
C:	19.012
D:	19.012
E:	19.012
F:	18.859
G:	18.883
H:	18.894
I:	18.878
J:	18.907
K:	18.978
L:	19.159
M:	19.307
N:	19.303
O:	19.116
P:	18.969
Q:	18.952
R:	19.096
S:	19.322

GRADE POINTS:

A-B:	((18.986+18.939)+2)	x	03.0	=295.04
B-C:	((18.939+18.970)+2)	x	01.6	=161.28
C-D:	((18.970+18.844)+2)	x	33.2	=112.26
D-E:	((18.844+18.801)+2)	x	08.1	=20.60
E-F:	((18.801+18.835)+2)	x	09.3	=256.07
F-G:	((18.835+18.855)+2)	x	09.2	=68.34
G-H:	((18.855+18.857)+2)	x	02.4	=233.91
H-I:	((18.857+18.856)+2)	x	02.3	=47.45
I-J:	((18.856+18.905)+2)	x	04.0	=121.02
J-K:	((18.905+18.978)+2)	x	02.6	=58.51
K-L:	((18.978+19.089)+2)	x	08.8	=64.35
L-M:	((19.089+19.100)+2)	x	16.7	=152.21
M-N:	((19.100+19.100)+2)	x	00.4	=24.83
N-O:	((19.100+19.116)+2)	x	17.0	=24.83
O-P:	((19.116+18.969)+2)	x	02.8	=240.66
P-Q:	((18.969+18.952)+2)	x	04.0	=53.48
Q-R:	((18.952+19.096)+2)	x	02.8	=325.19
R-S:	((19.096+19.322)+2)	x	15.1	=59.13
S-A:	((19.322+18.986)+2)	x	24.4	=460.27

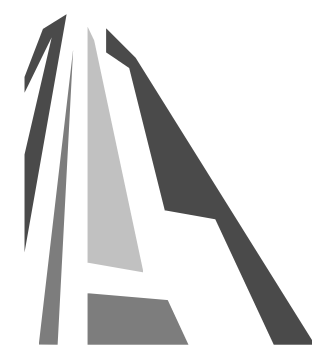
167.5 3184.03

AVERAGE GRADE = 3184.03+167.5 = 19.0



Average Grade Plan
1 : 200

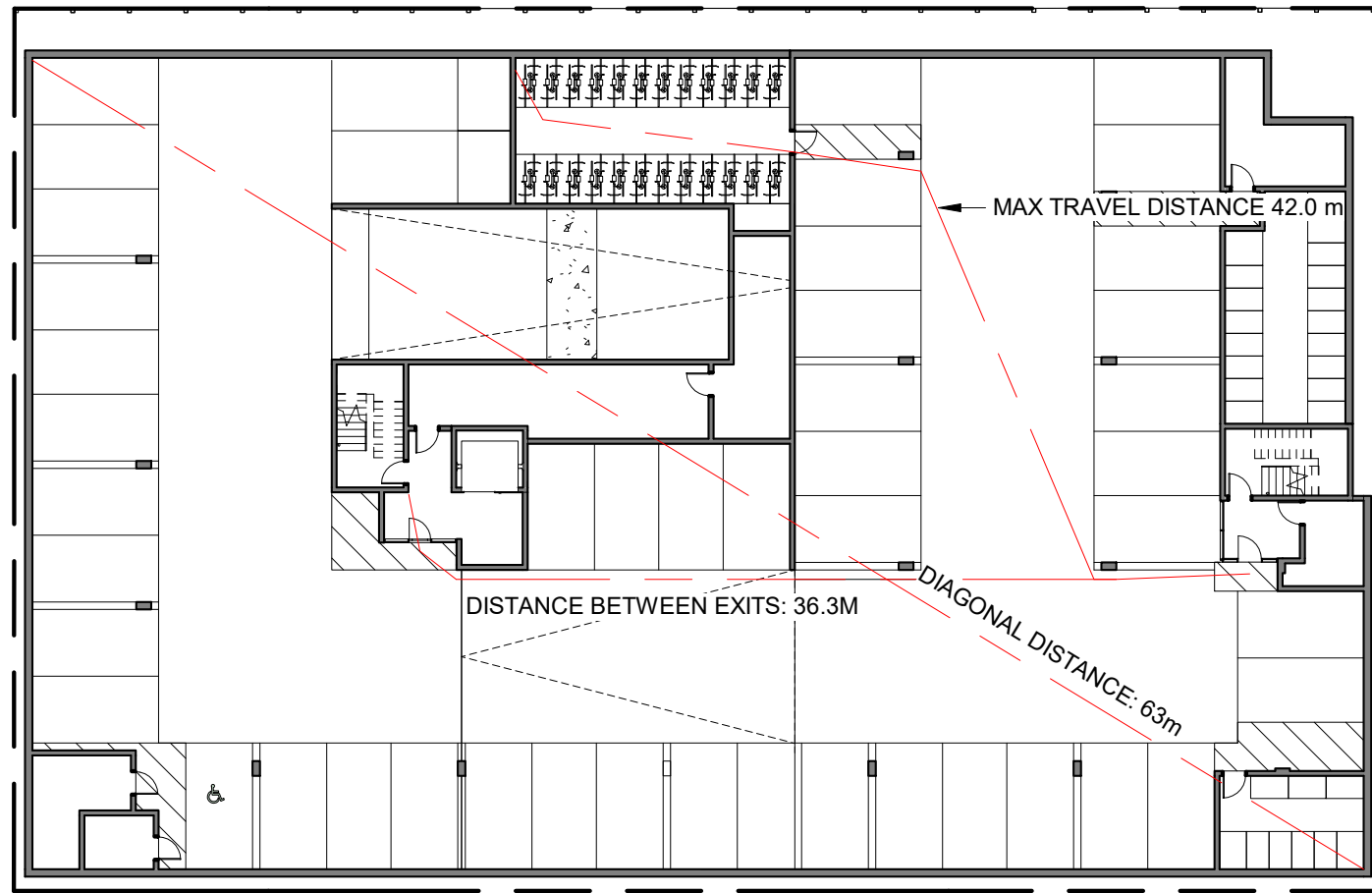
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1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



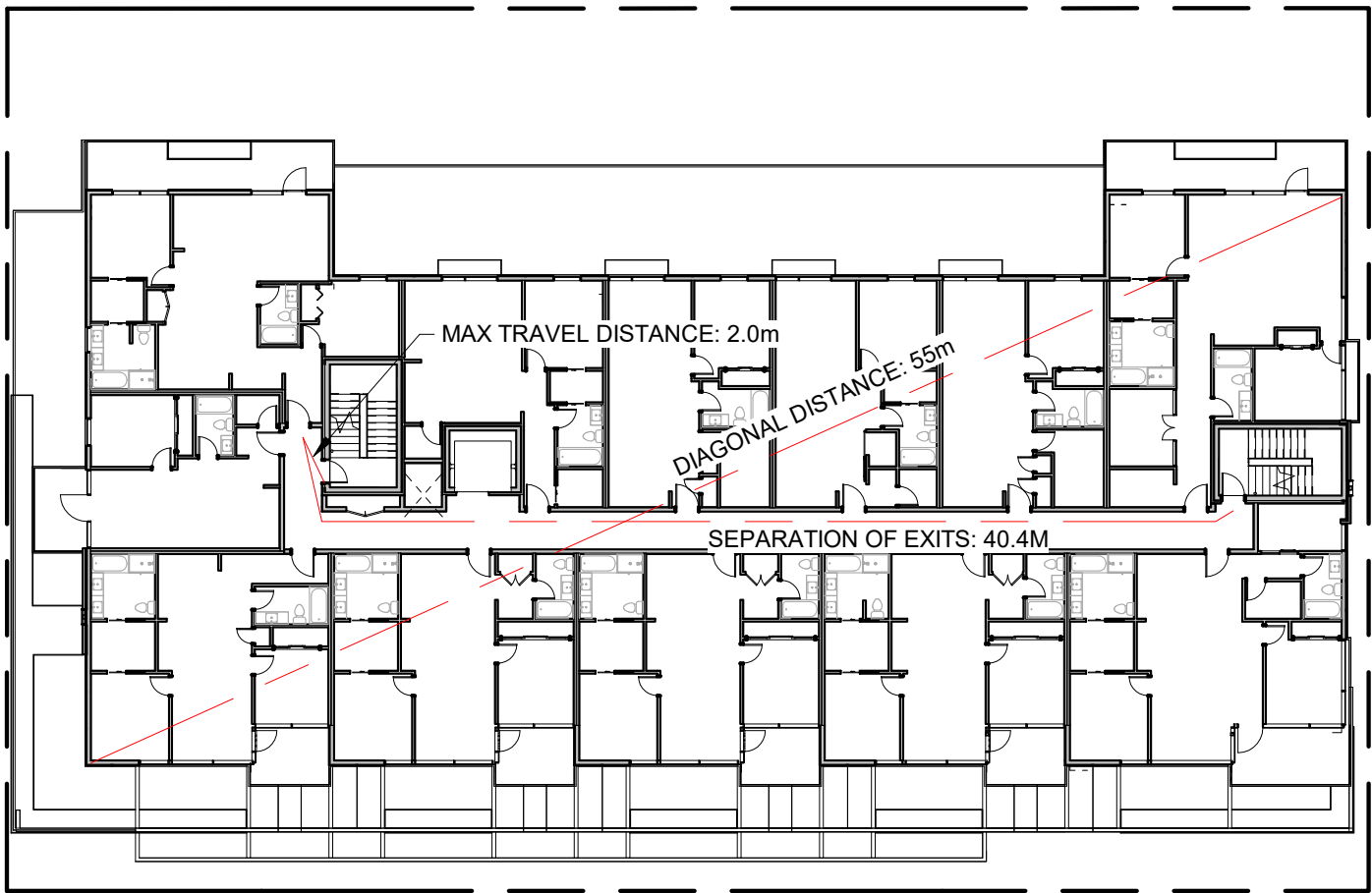
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Project	Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC
Sheet Name	Survey, Existing Site Plan, Average Grade
Date	2020/03/05
Scale	As indicated
Project #	1801
Revision	March 5, 2020 2
Sheet #	A1.00



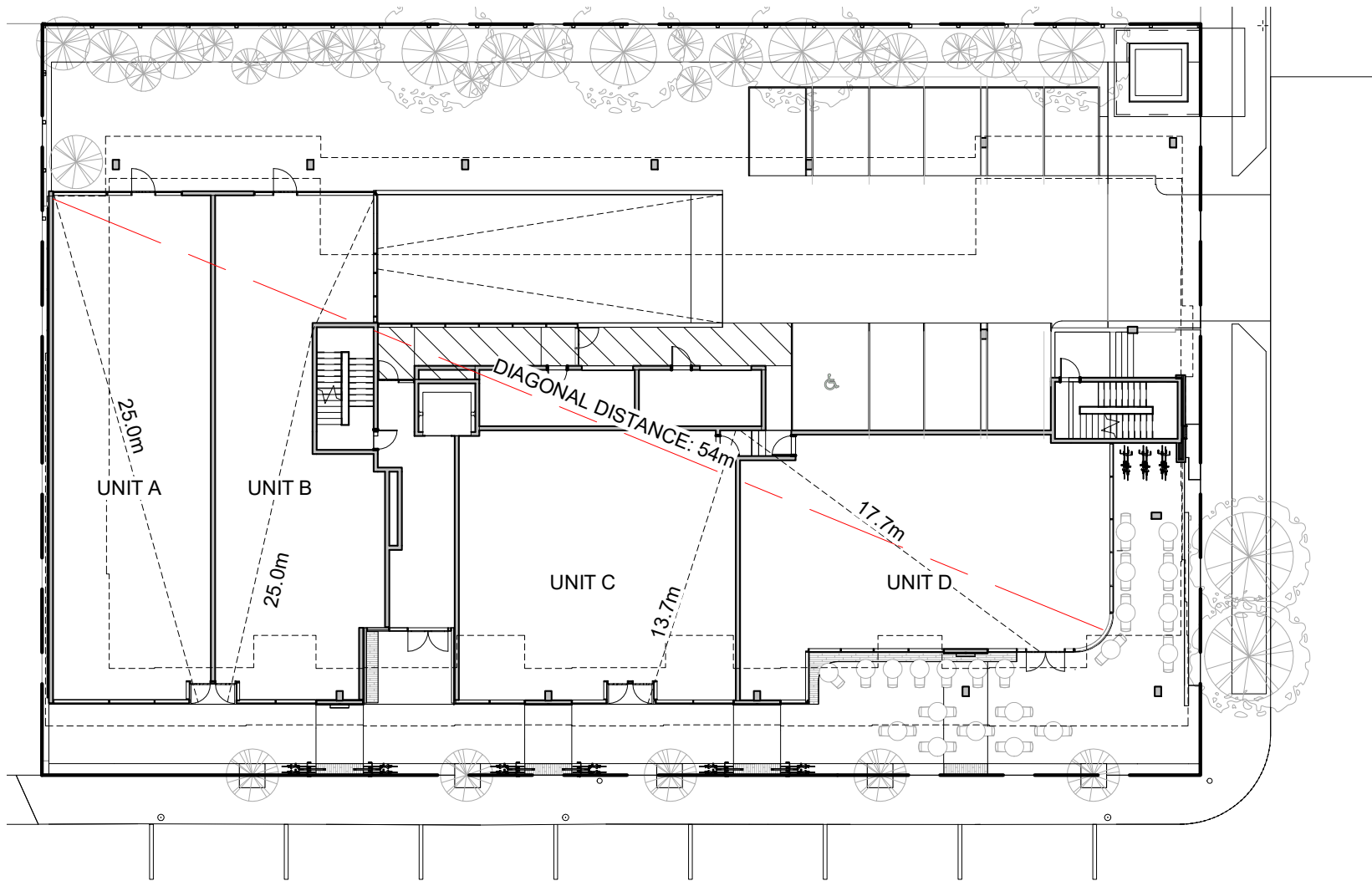
MIN. SEPARATION BETWEEN EXITS: 31.5 m
OCCUPANCY: GROUP F, DIVISION 3
OCCUPANT LOAD: 1799 m² / 46 m² PER PERSON = 40 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 59 = 244mm
STAIRS : 8mm/PERSON X 40 = 320mm



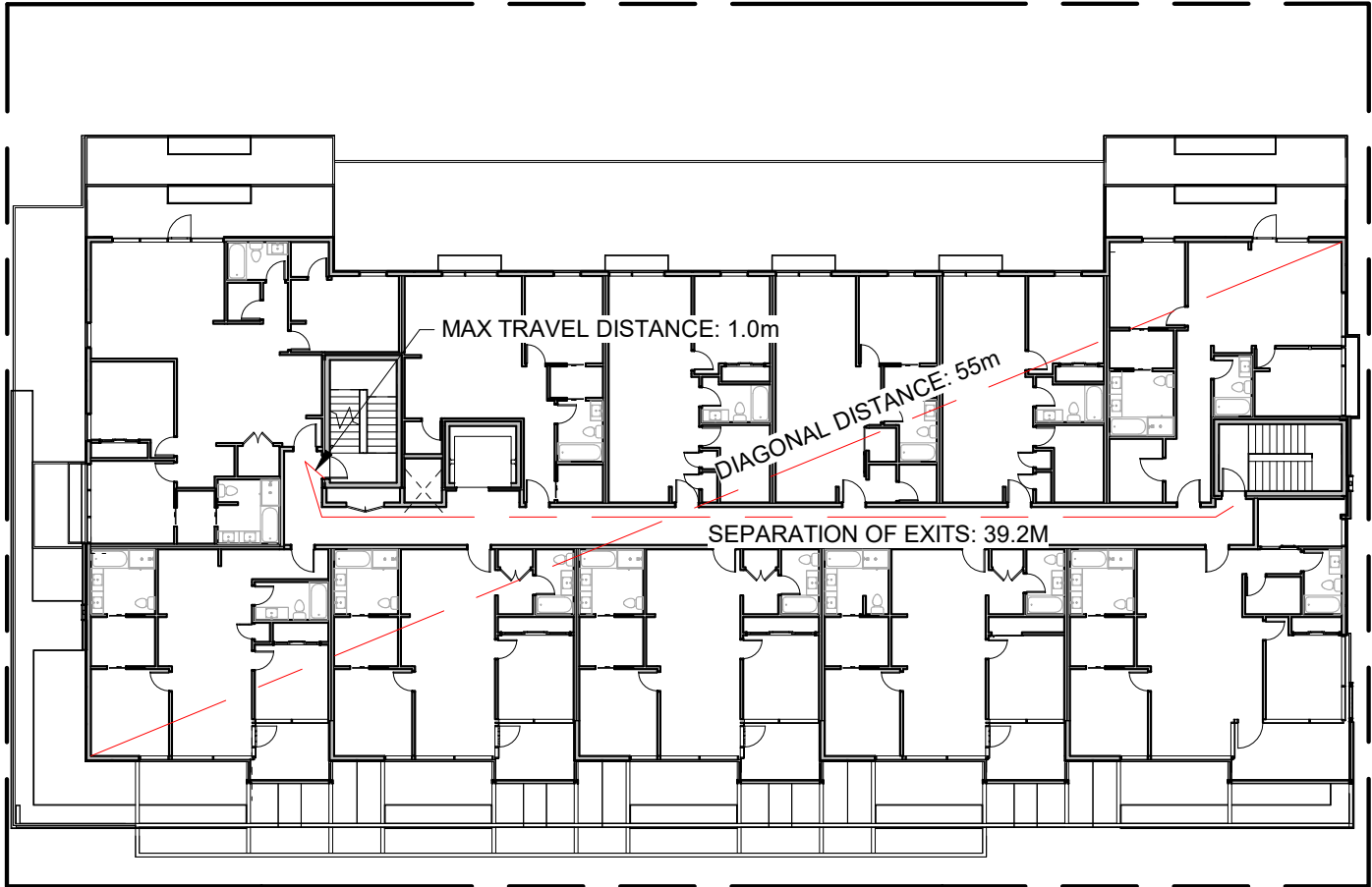
MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

1 Parking Level - Code Plan
SCALE = 1 : 300

4 Level 3 - Code Plan
SCALE = 1 : 300



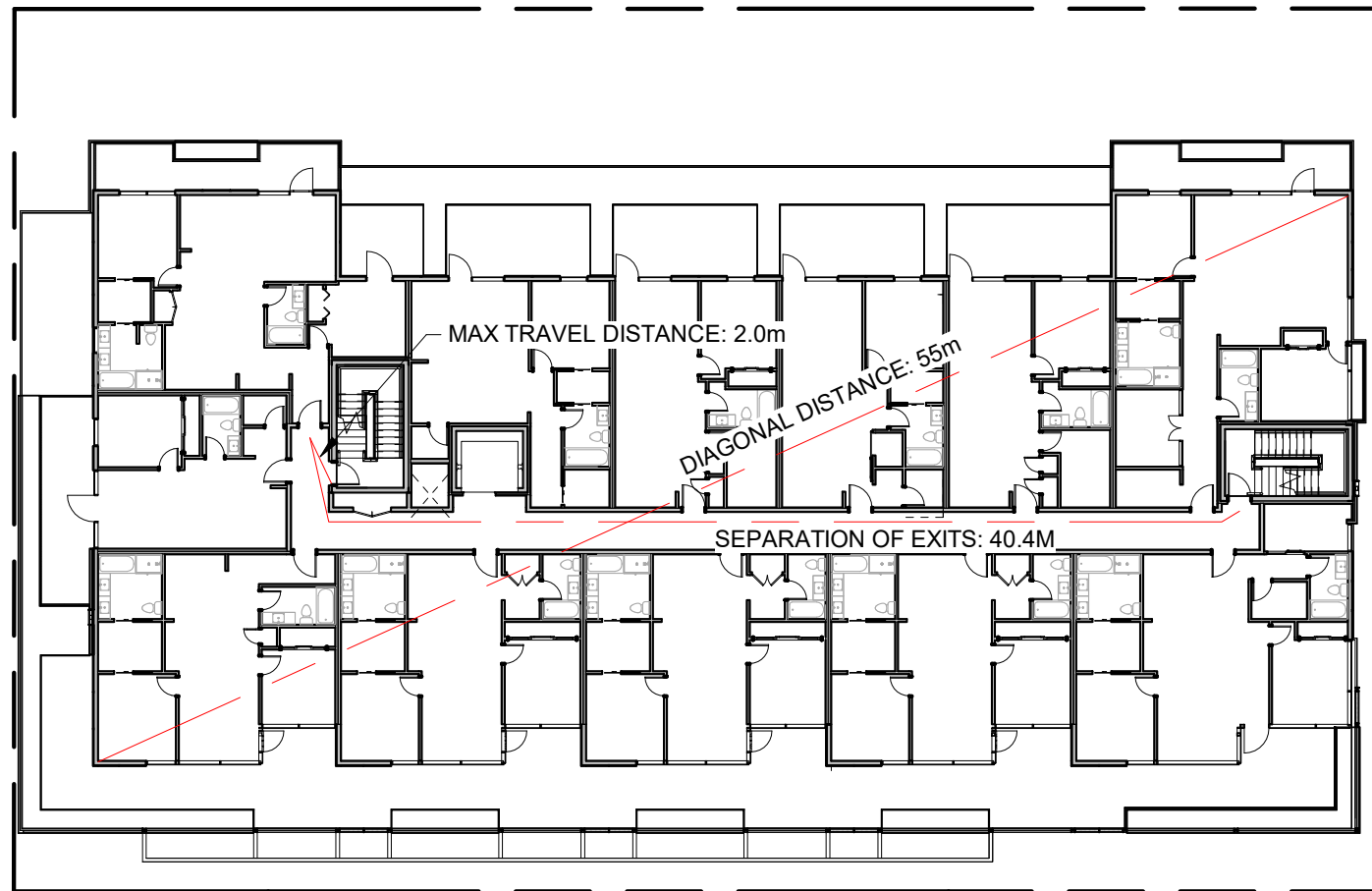
COMMERCIAL AREA
UNIT A
OCCUPANCY: GROUP E
OCCUPANT LOAD: 186 m² / 3.7 m² PER PERSON = 51 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 51 = 311mm
STAIRS : 8mm/PERSON X 51 = 408mm
UNIT B
OCCUPANCY: GROUP E
OCCUPANT LOAD: 159 m² / 3.7 m² PER PERSON = 43 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 43 = 262mm
STAIRS : 8mm/PERSON X 43 = 344mm
UNIT C
OCCUPANCY: GROUP E
OCCUPANT LOAD: 177 m² / 3.7 m² PER PERSON = 48 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 48 = 293mm
STAIRS : 8mm/PERSON X 48 = 384mm
UNIT D
OCCUPANCY: GROUP E
OCCUPANT LOAD: 194 m² / 3.7 m² PER PERSON = 53 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 53 = 323mm
STAIRS : 8mm/PERSON X 53 = 424mm



MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

2 Ground Floor - Code Plan
SCALE = 1 : 300

5 Level 4 - Code Plan
SCALE = 1 : 300



MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

3 Level 2 - Code Plan
SCALE = 1 : 300

BC BUILDING CODE 2018

3.1 GENERAL

3.1.2.1 OCCUPANCY CLASSIFICATION:

GROUP E: GROUND FLOOR LEVEL
GROUP C RESIDENTIAL OCCUPANCY: LEVEL 2-4
GROUP F, DIVISION 3: PARKING LEVEL

3.1.3 SEPARATION OF USES

F-C(STORAGE GARAGE) TO E REQUIRES 1.5HR F.R.R.
F-C TO C REQUIRES 1HR F.R.R.
C TO E REQUIRES A 2 HR F.R.R.

3.1.17 OCCUPANT LOAD

SEE A1.01

3.2 FIRE SAFETY

BUILDING AREA:
1196 m²

3.2.2 BUILDING SIZE AND CONSTRUCTION

3.2.2.50 GROUP C, UP TO 6 STORIES, SPRINKLERED
SPRINKLERED: YES

3.4 EXITS

3.4.2.1 MINIMUM NUMBER OF EXITS: 2 PER FLOOR

3.4.2.5 DISTANCE BETWEEN EXITS: SEE A1.01

3.4.2.5 LOCATION OF EXITS

MAX TRAVEL PERMITTED (RESIDENTIAL) : 30m
MAX TRAVEL PERMITTED (F3 USE) : 45m

3.7 HEALTH REQUIREMENTS

NUMBER OF REQUIRED WASHROOMS : T.B.D.

3.8 REQUIREMENTS FOR PERSONS WITH DISABILITIES

T.B.D.

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Code Analysis		
Date		
2020/03/05		
Scale	Project #	
1 : 300	1801	
		Revision
		March 5, 2020
		2
Sheet #		A1.01

GROUP E OCCUPANCY

LIMITING DISTANCE: 11.5 m
EXPOSING BUILDING FACE: 67 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY

SEE TABLE



1 East Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

LIMITING DISTANCE: 8.7 m
EXPOSING BUILDING FACE: 55 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY

SEE TABLE



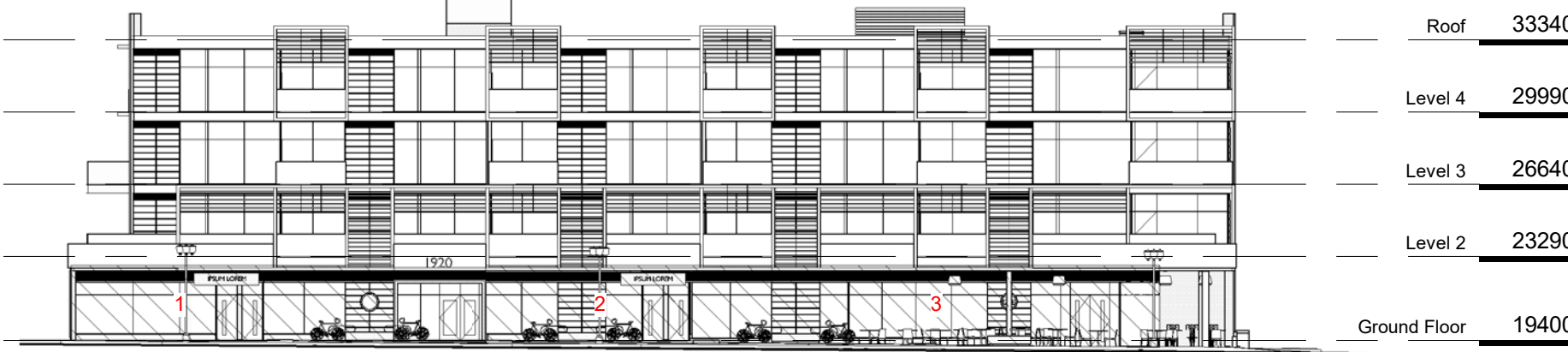
2 North Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

SEE TABLE

GROUP C OCCUPANCY

LIMITING DISTANCE: 13.8 m
EXPOSING BUILDING FACE: 150+ m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



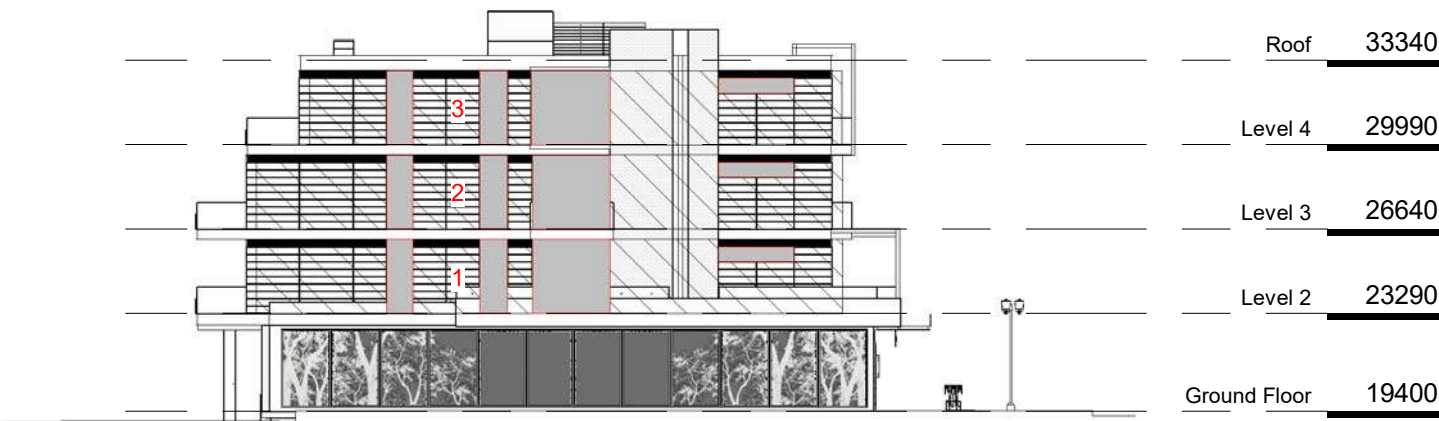
3 South Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

N/A

GROUP C OCCUPANCY

SEE TABLE



4 West Elevation - Limiting Distance
SCALE = 1 : 300

EAST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	8.2 m	69 m²	100%
2	8.2 m	69m²	100%
3	8.2 m	63m²	100%

NORTH ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	16.2 m	134 m²	100%
2	7.7 m	29 m²	100%
3	11.3 m	92 m²	100%
4	7.7 m	30 m²	100%
5	7.7 m	29 m²	100%
6	11.3 m	92 m²	100%
7	7.7 m	30 m²	100%
8	9.8 m	29 m²	100%
9	11.3 m	92 m²	100%
10	9.8 m	30 m²	100%

SOUTH ELEVATION - GROUP E OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	12.1 m	52 m²	100%
2	11.8 m	47m²	100%
3	11.8 m	67m²	100%

WEST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING	PROPOSED AREA OF OPENING	PROPOSED % OPENING
1	3.2 m	69 m²	33%	17.5 m²	25%
2	3.2 m	69 m²	33%	17.5 m²	25%
3	3.2 m	63 m²	34%	17.5 m²	28%

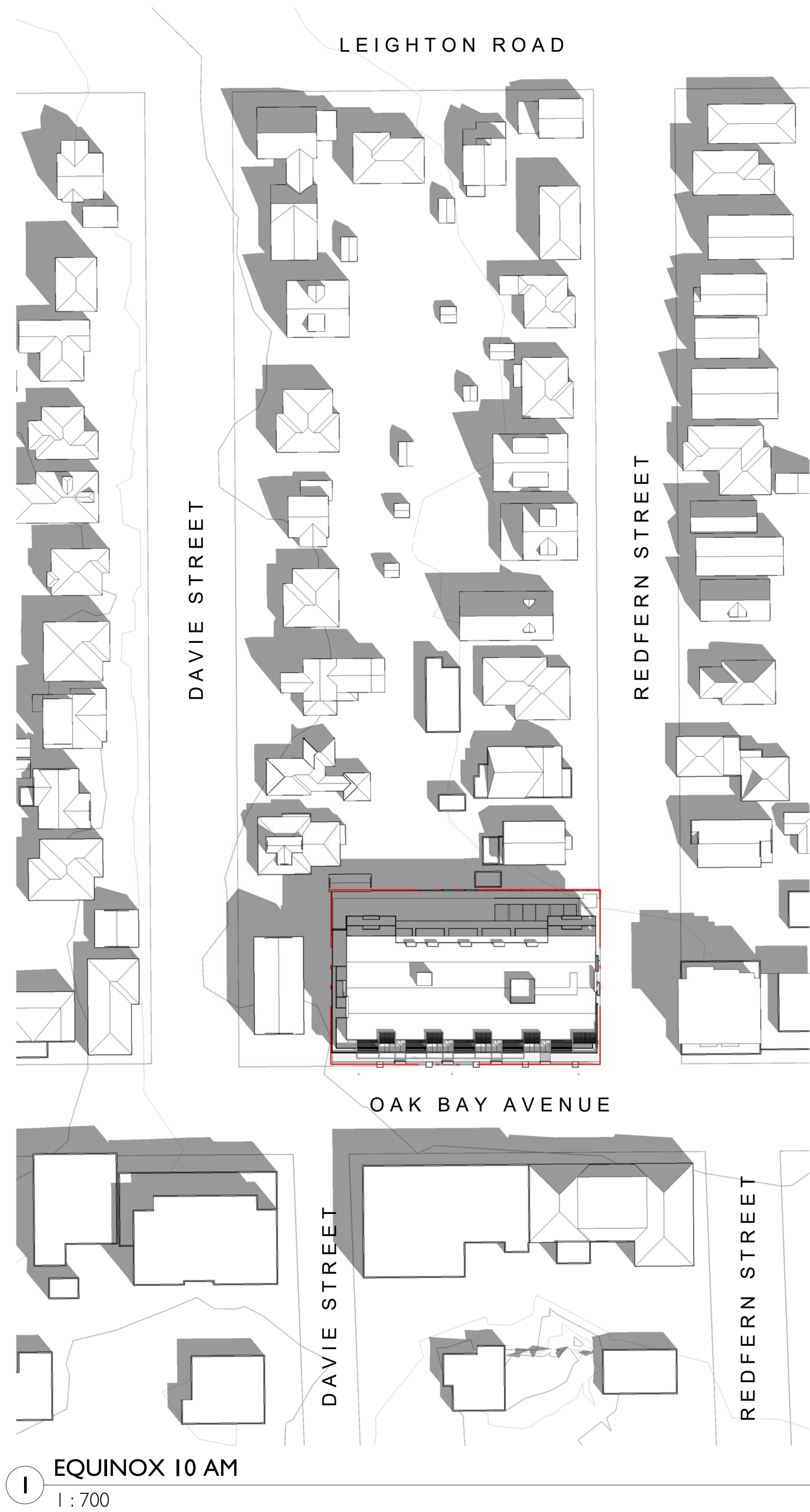
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NO.	DESCRIPTION	DATE



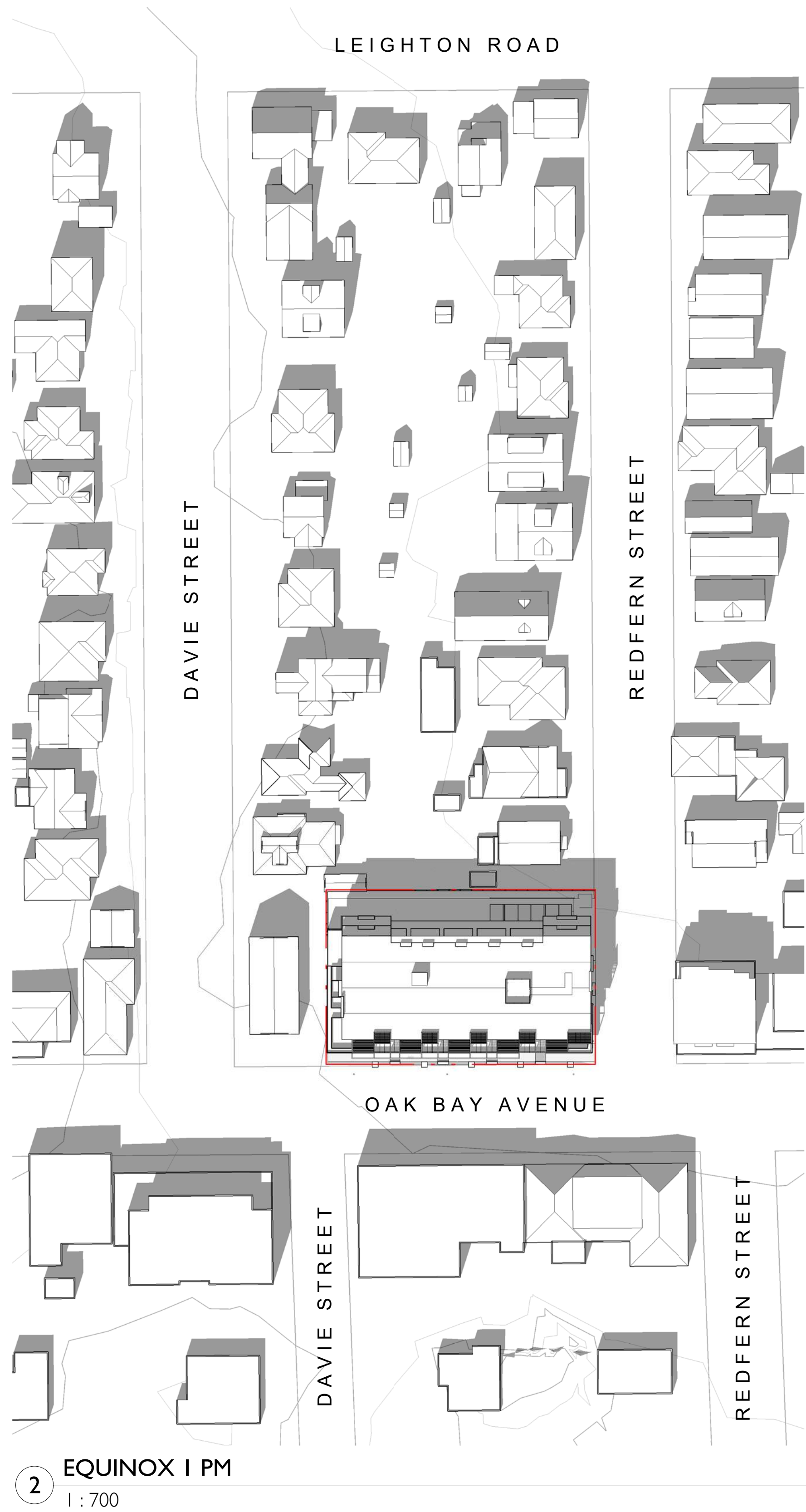
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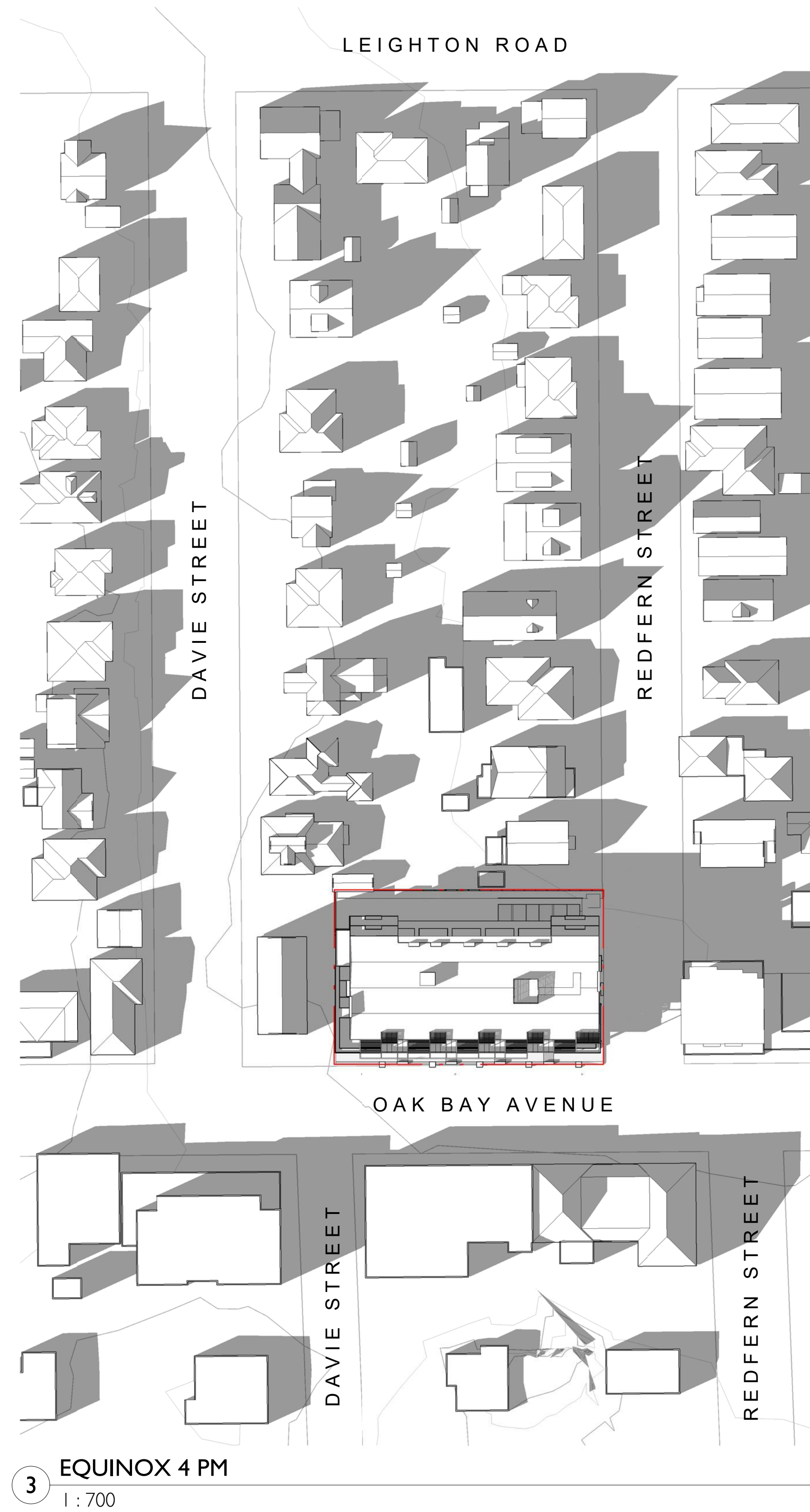
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Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Limiting Distance	
Date	
2020/03/05	
Scale	Project #
1 : 300	1801
	Revision
	March 5, 2020 2
Sheet #	
A1.02	



1 EQUINOX 10 AM
1 : 700



2 EQUINOX 1 PM
1 : 700



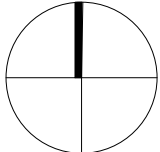
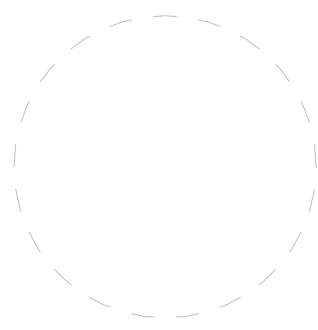
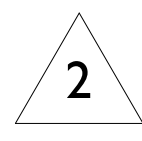
3 EQUINOX 4 PM
1 : 700

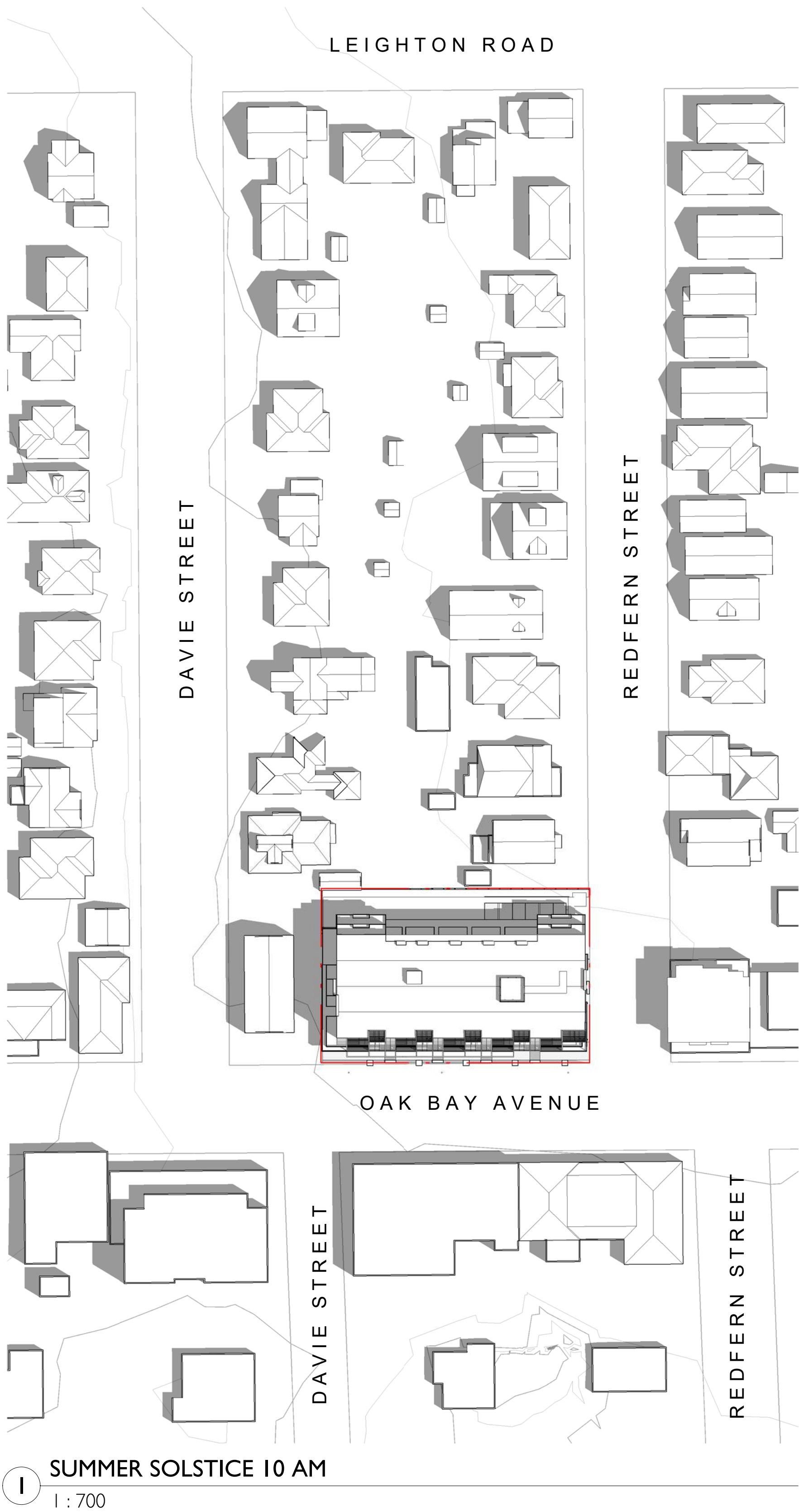
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1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



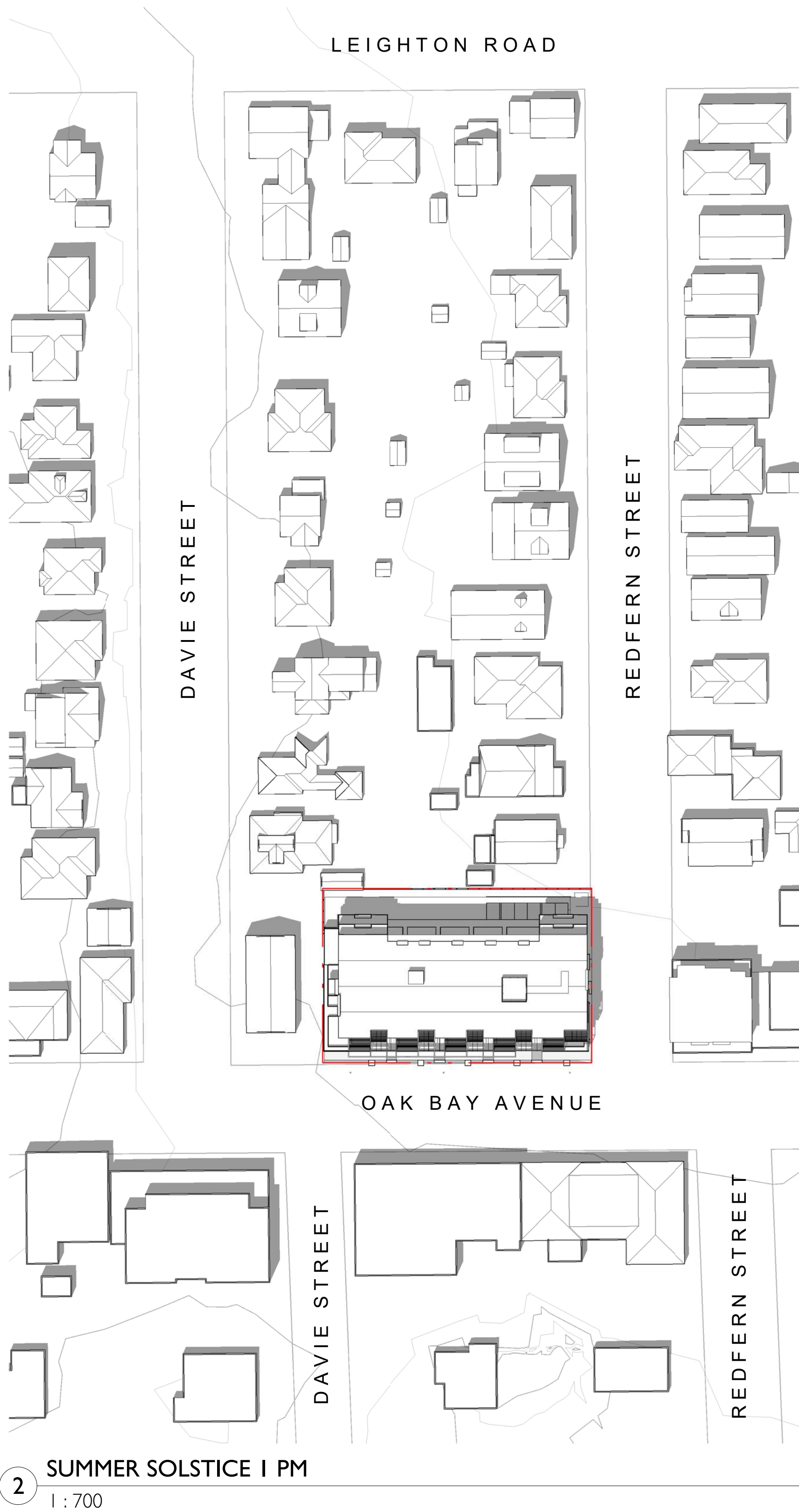
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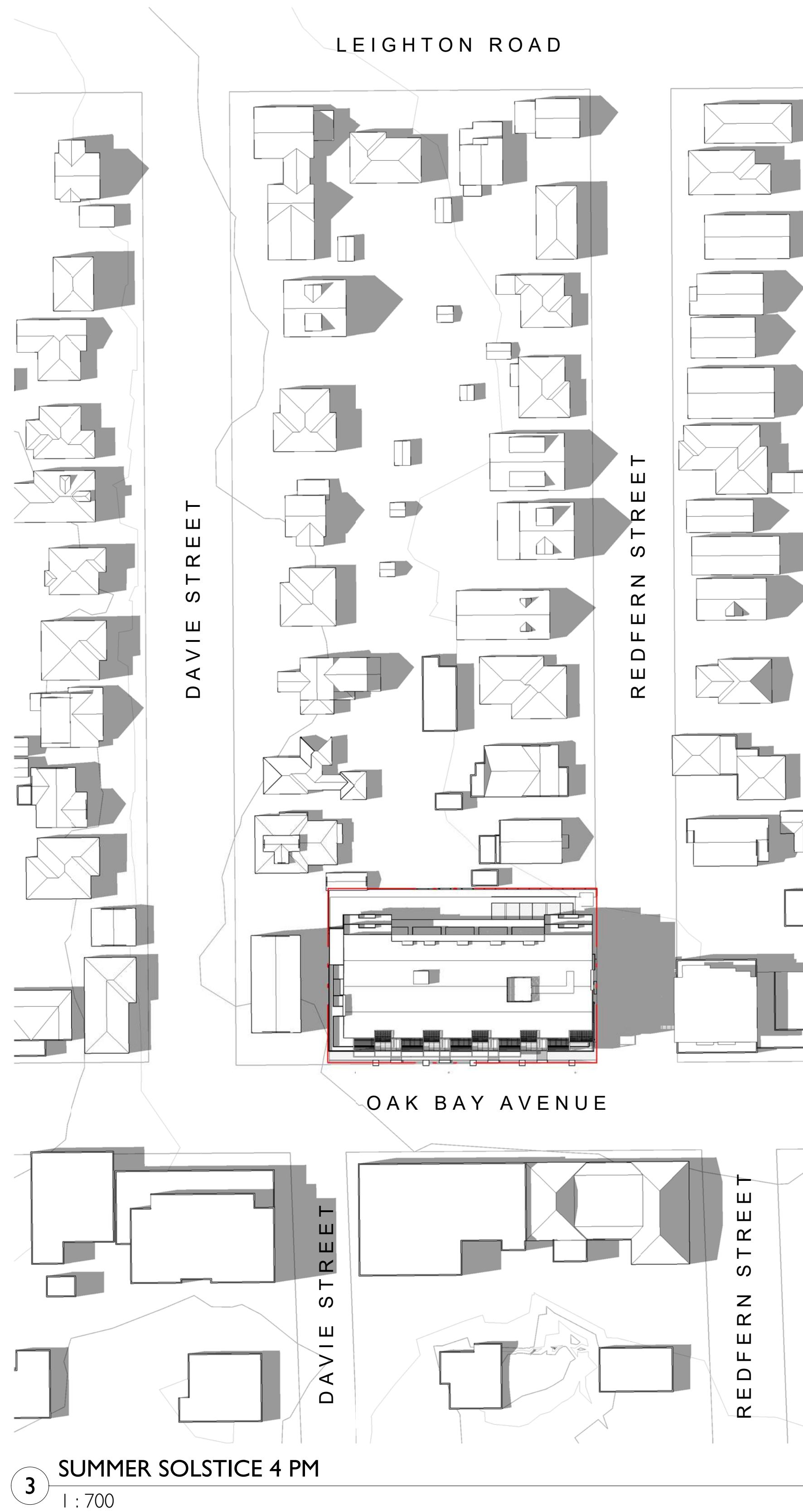
Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Shadow Study - Fall Equinox	
Date 2020/03/05	
Scale 1 : 700	Project # 1801
	Revision March 5, 2020 
	Sheet # A1.04



1 SUMMER SOLSTICE 10 AM
1 : 700

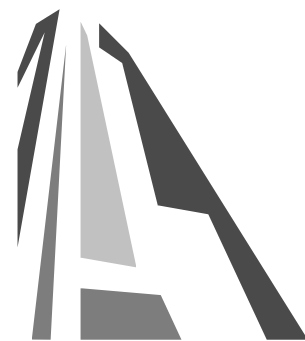


2 SUMMER SOLSTICE 1 PM
1 : 700



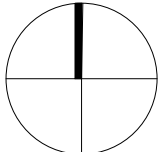
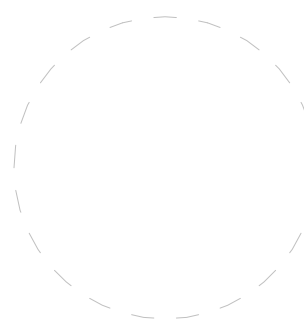
3 SUMMER SOLSTICE 4 PM
1 : 700

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Shadow Study - Summer Solstice	
Date	
2020/03/05	
Scale	Project #
1 : 700	1801
	Revision
	March 5, 2020 2
Sheet #	
A1.05	



1 WINTER SOLSTICE 10 AM
1 : 700

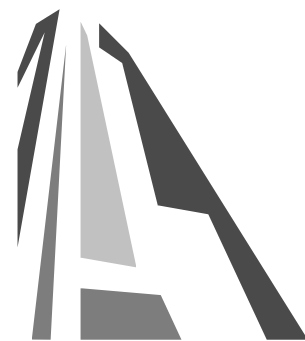


2 WINTER SOLSTICE 1 PM
1 : 700



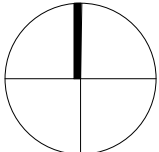
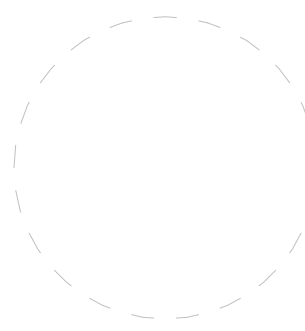
3 WINTER SOLSTICE 3 PM
1 : 700

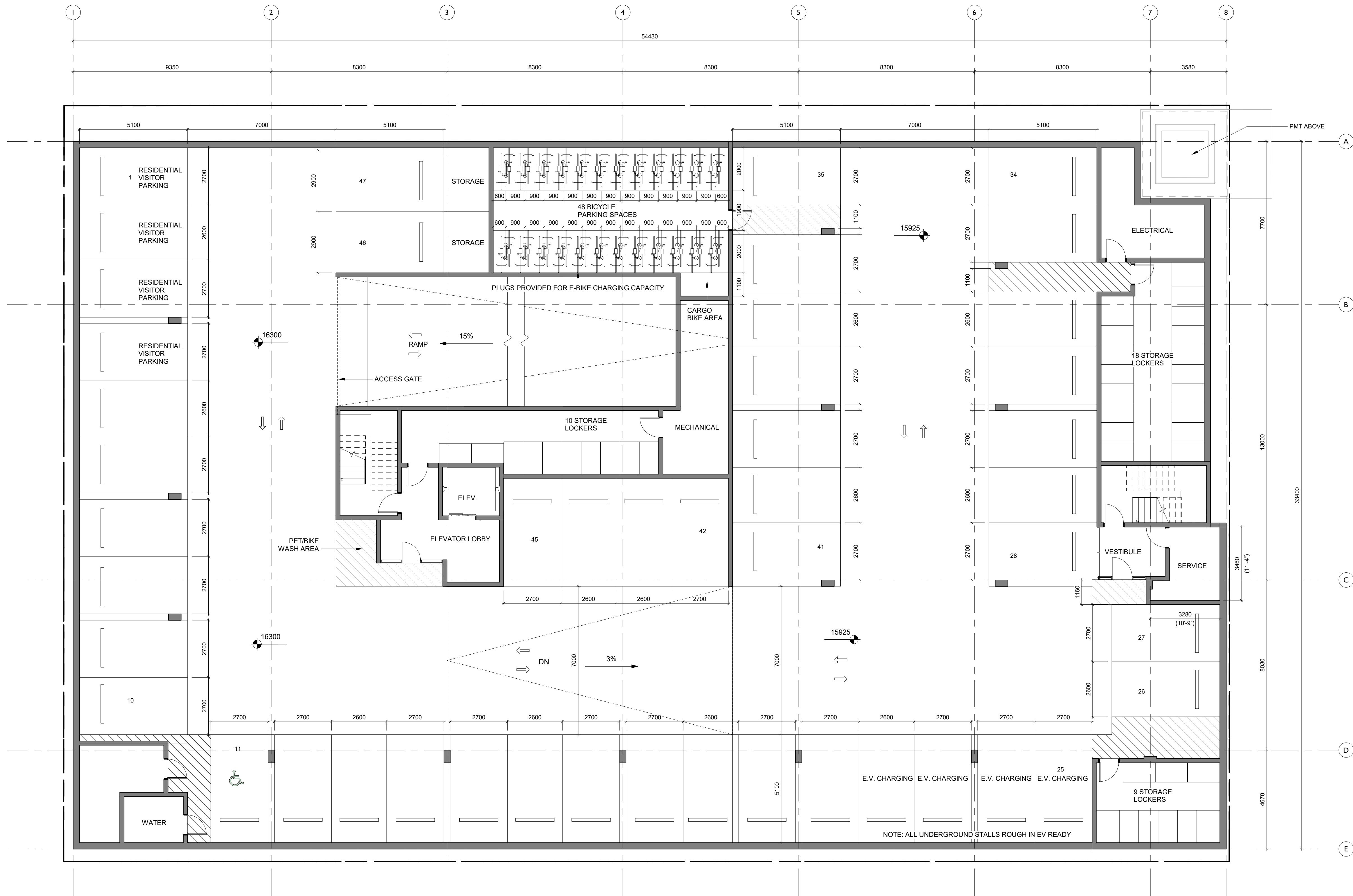
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Shadow Study - Winter Solstice	
Date	
2020/03/05	
Scale	Project #
1 : 700	1801
	Revision
	March 5, 2020 2
Sheet #	
A1.06	



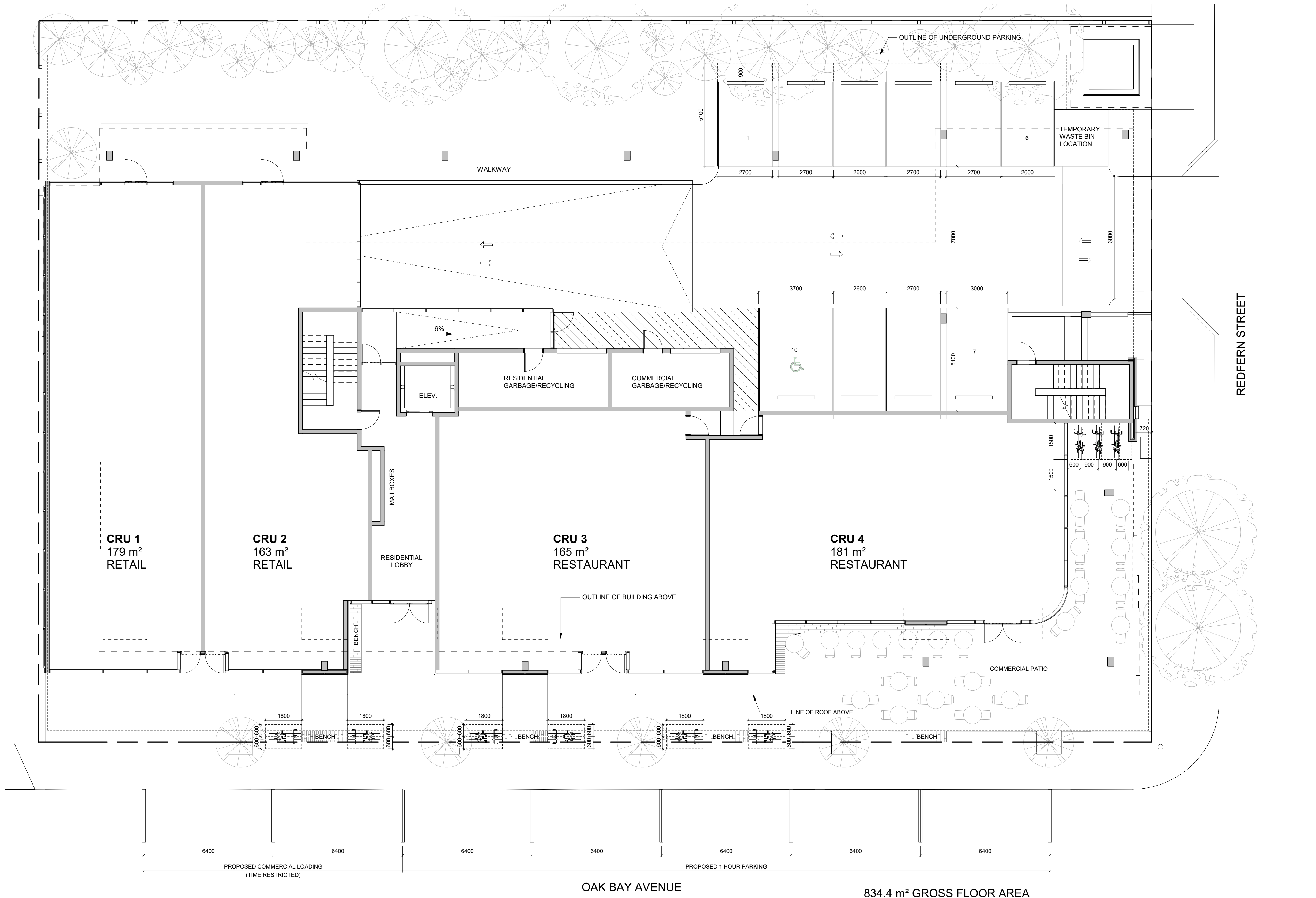
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Parking Level Plan	
Date	
2020/03/05	
Scale	Project #
1 : 100	1801
	Revision
	March 5, 2020 2
Sheet #	
A2.00	



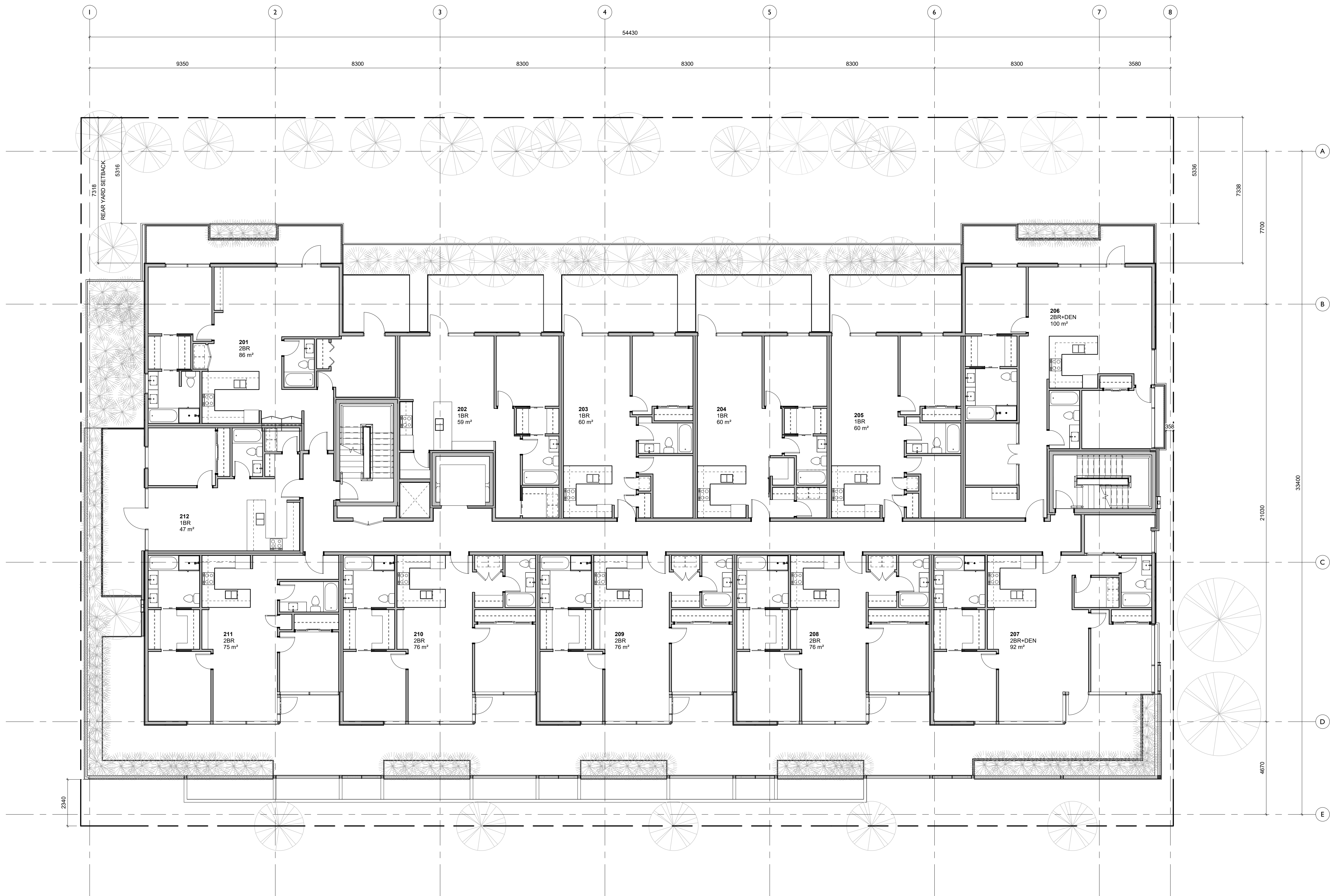
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Ground Floor Plan		
Date		
2020/03/05		
Scale	Project #	
1 : 100	1801	
Revision		
March 5, 2020		2
Sheet #		
A2.01		



1,004.85 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project

Jawl Residential
1920 Oak Bay Ave.
Oak Bay, BC

Sheet Name

Second Floor Plan

Date

2020/03/05

Scale

1 : 100

Project #

1801

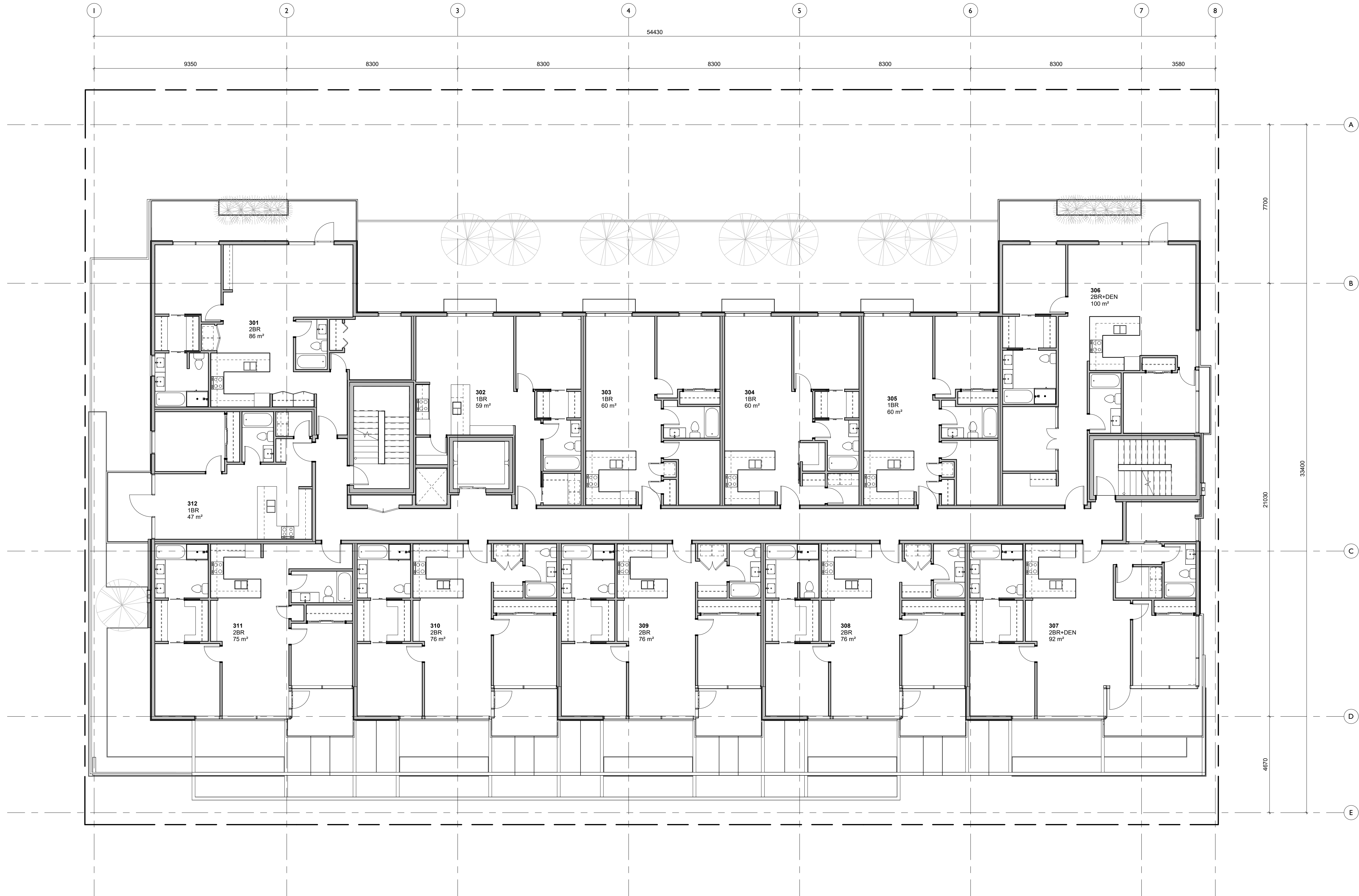
Revision

March 5, 2020

2

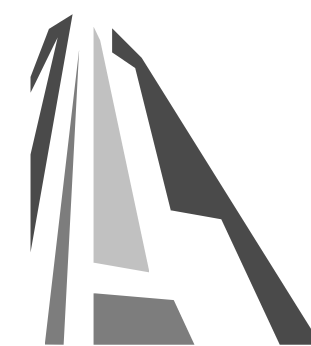
Sheet #

A2.02



1,004.85 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

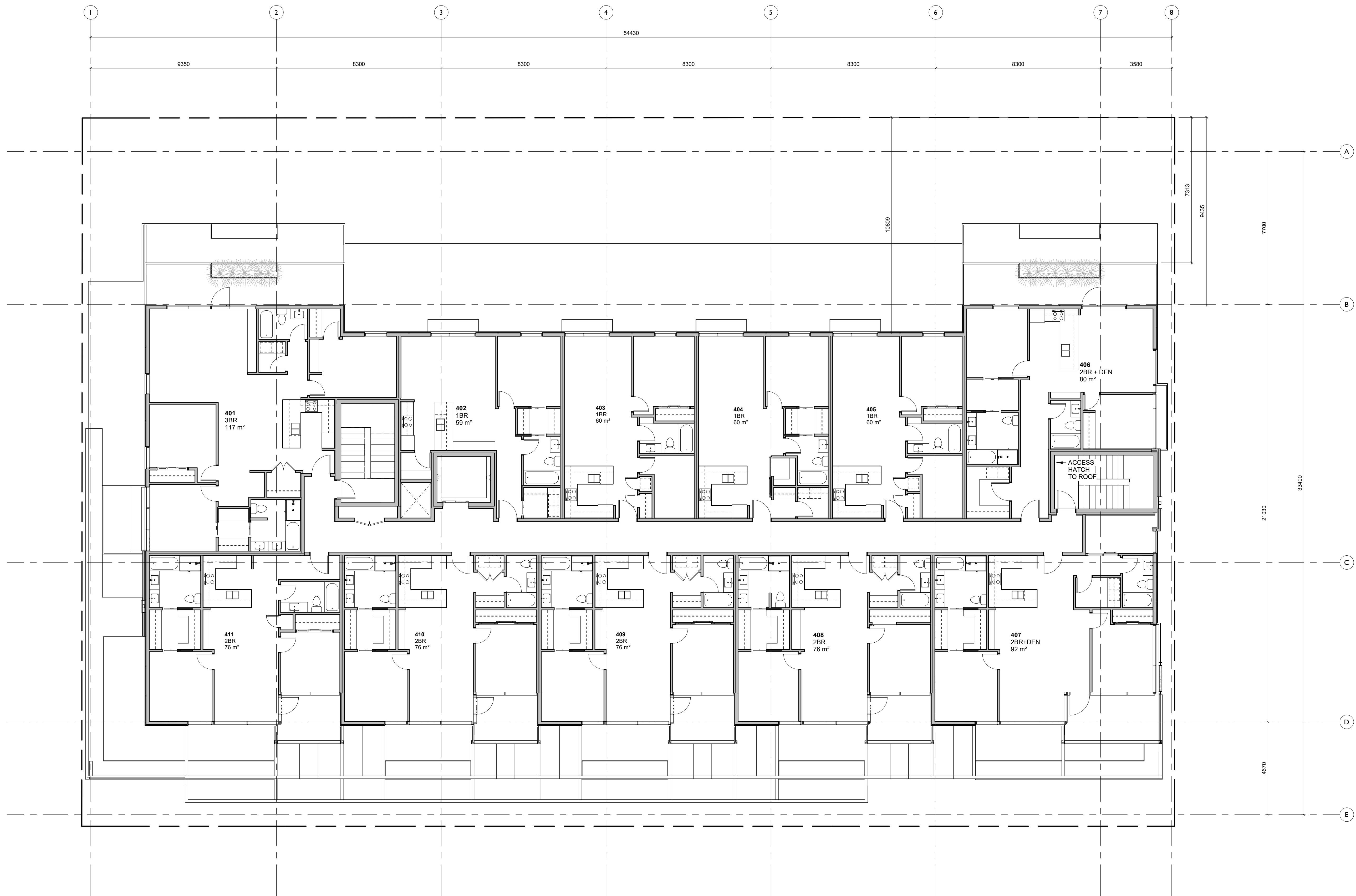
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Third Floor Plan	
Date	
2020/03/05	
Scale	Project #
1 : 100	1801
Revision	
March 5, 2020	2
Sheet #	
A2.03	



965.03 m² GROSS FLOOR AREA (EXCLUDING ELEV. SHAFT)

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project



Sheet Name

Jawl Residential
1920 Oak Bay Ave.
Oak Bay, BC

Fourth Floor Plan

Date

2020/03/05

Scale

1 : 100

Project #

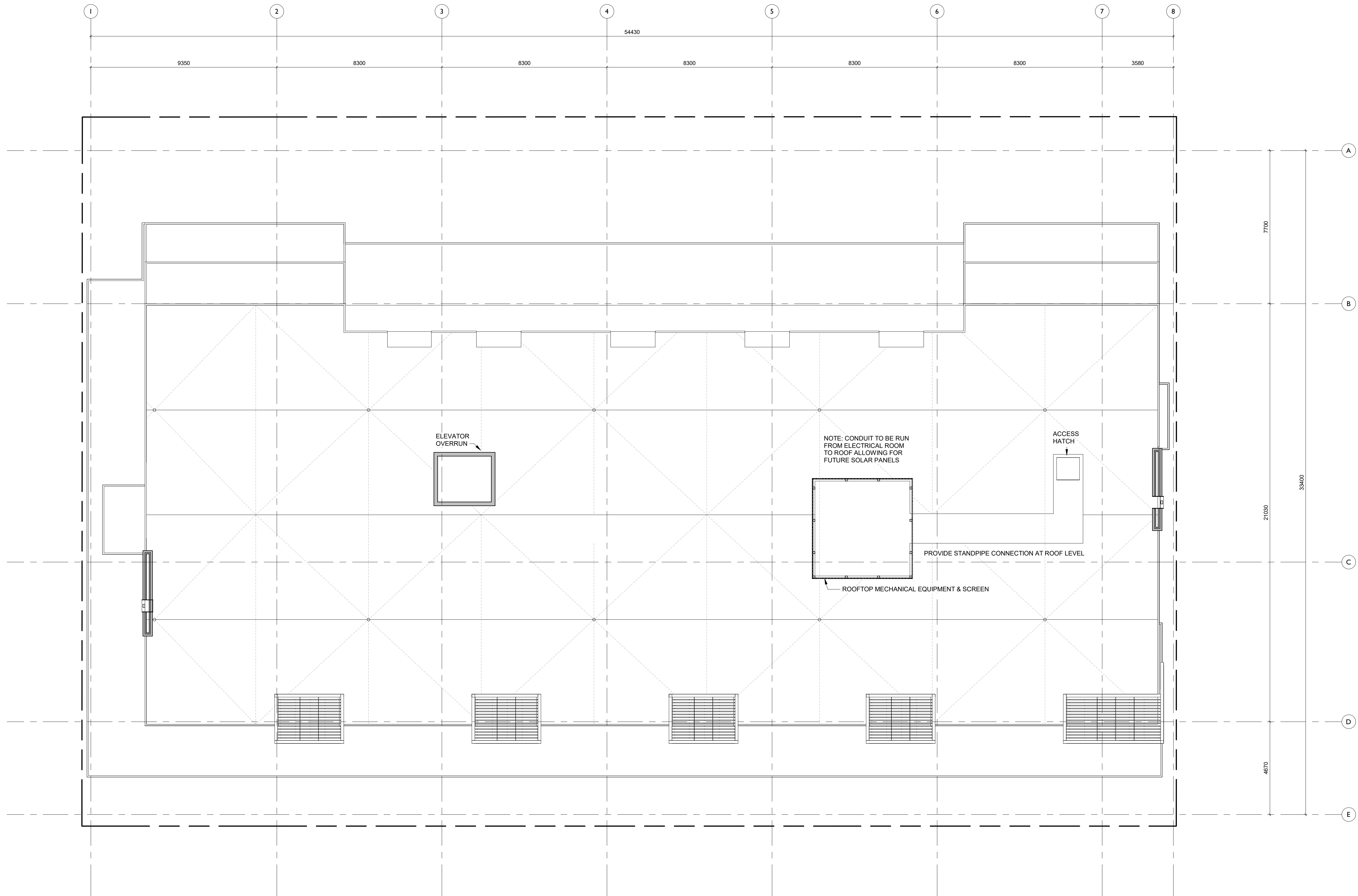
1801

Revision

March 5, 2020

Sheet #

A2.04



2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
	Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC
Sheet Name	
Roof Plan	
Date	
2020/03/05	
Scale	Project #
1 : 100	1801
	Revision
	March 5, 2020 2
Sheet #	
A2.05	



1 South Elevation
1 : 100



2 East Elevation
1 : 100

MATERIALS LEGEND			
1	CEMENTITIOUS PANEL CLADDING	7	CLEAR SEALED WOOD
2	TRANSPARENT GLAZING	8	CONCRETE
3	PRE-FINISHED METAL	9	METAL LOUVRE
4	PAINTED STEEL OR ALUMINUM	10	CONCRETE BLOCK
5	WOOD-TEXTURED SHADE SCREEN	11	WOOD FENCING
6	T&G CEDAR SOFFIT	12	BRICK

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



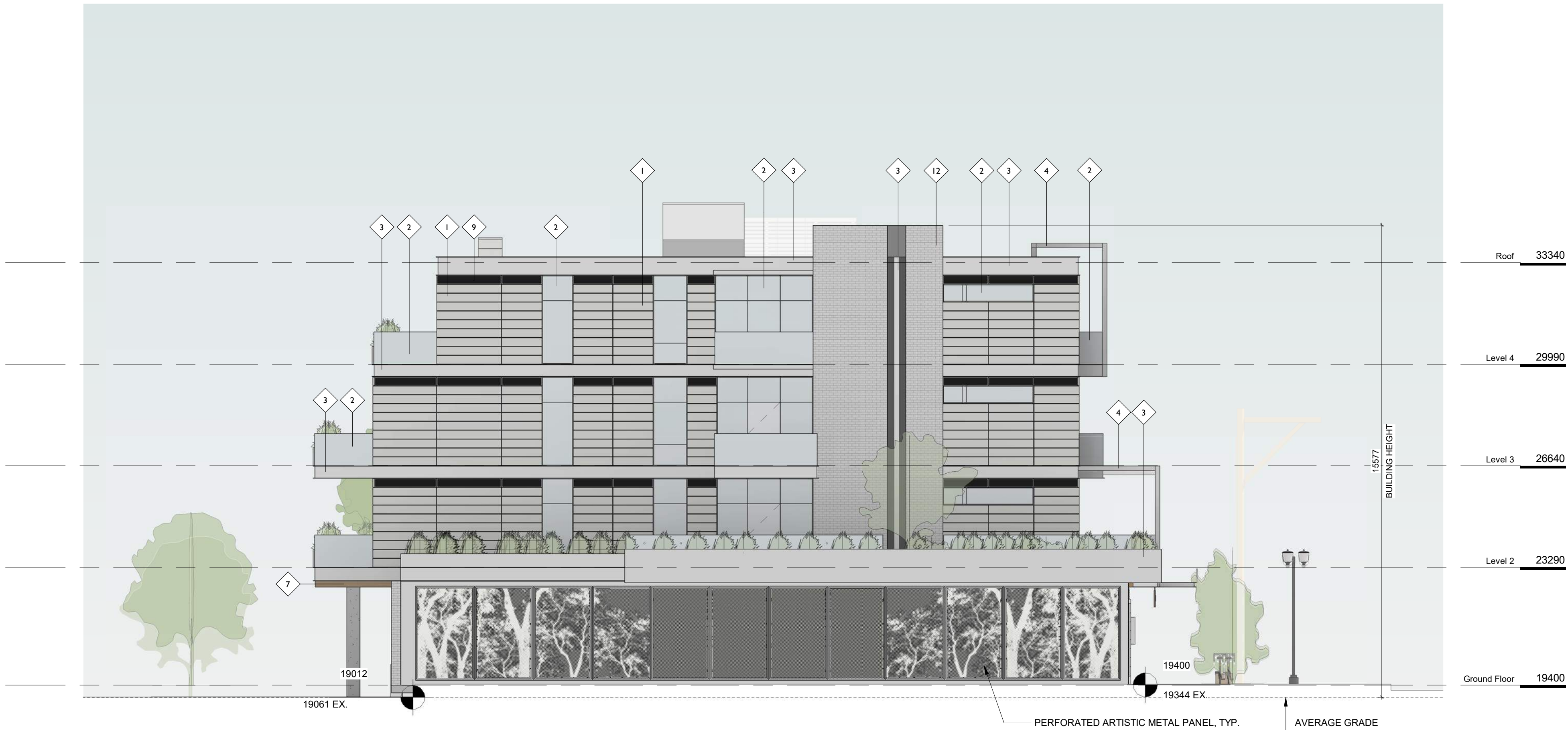
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Project		Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name		Elevations	
Date		2020/03/05	
Scale	1 : 100	Project #	1801
Revision		March 5, 2020	
Sheet #		A3.00	



1 North Elevation
1 : 100



2 West Elevation
1 : 100

MATERIALS LEGEND			
1	CEMENTITIOUS PANEL CLADDING	7	CLEAR SEALED WOOD
2	TRANSPARENT GLAZING	8	CONCRETE
3	PRE-FINISHED METAL	9	METAL LOUVRE
4	PAINTED STEEL OR ALUMINUM	10	CONCRETE BLOCK
5	WOOD-TEXTURED SHADE SCREEN	11	WOOD FENCING
6	T&G CEDAR SOFFIT	12	BRICK

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Elevations	
Date	
2020/03/05	
Scale	Project #
1 : 100	1801
	Revision
	March 5, 2020 2
Sheet #	
A3.01	



VIEW FROM OAK BAY AVENUE & DAVIE STREET



VIEW FROM OAK BAY AVENUE LOOKING EAST



VIEW FROM OAK BAY AVENUE LOOKING WEST



1 Oak Bay Ave Context Elevation
1 : 200



2 Redfern St Context Elevation
1 : 200

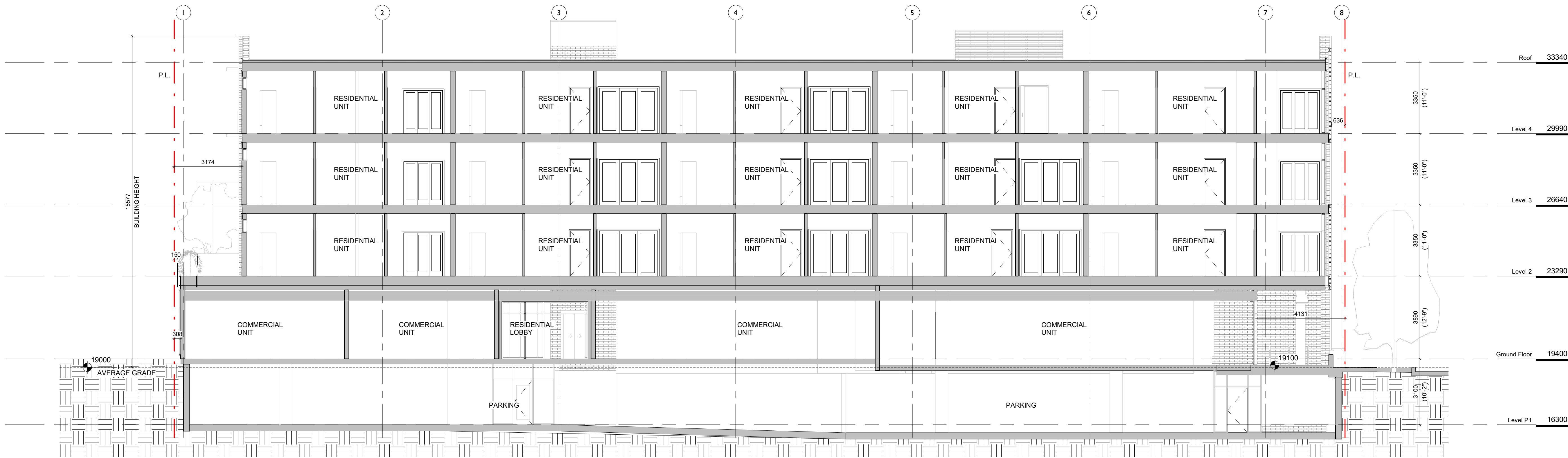
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



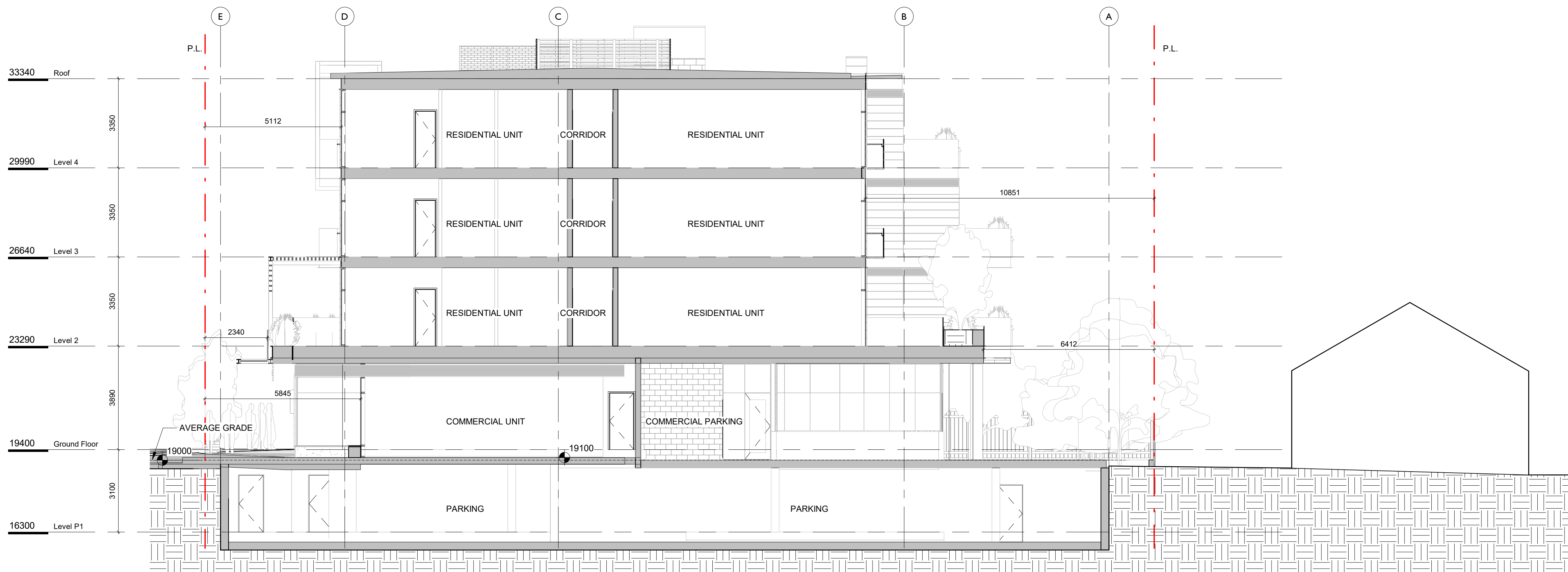
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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Context Elevations		
Date		
2020/03/05		
Scale	Project #	
1 : 200	1801	
	Revision	
	March 5, 2020	2
Sheet #		A3.02

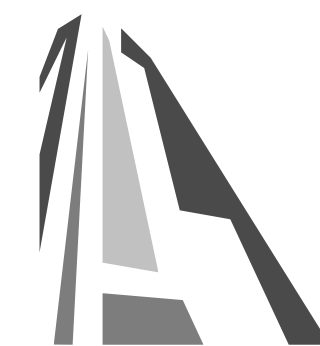


1 Long Section
1 : 100



2 Cross Section
1 : 100

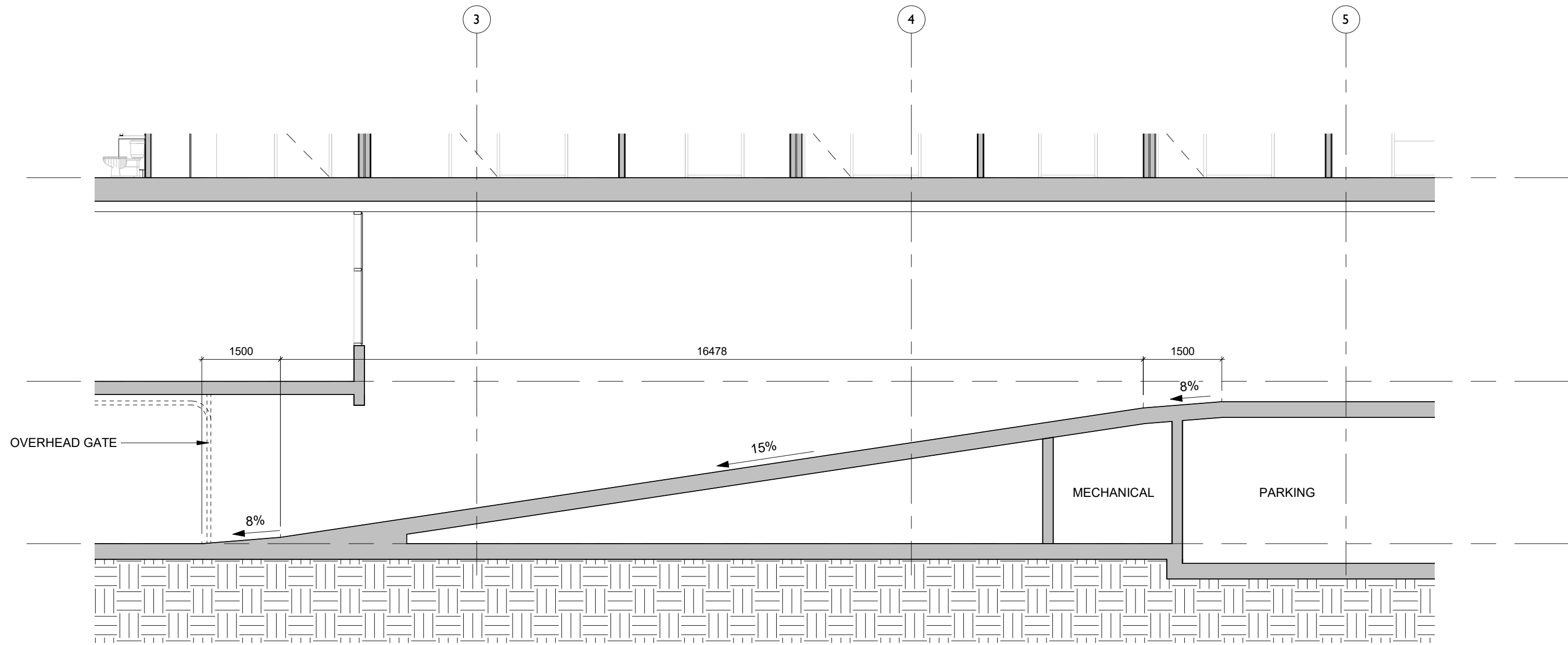
2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



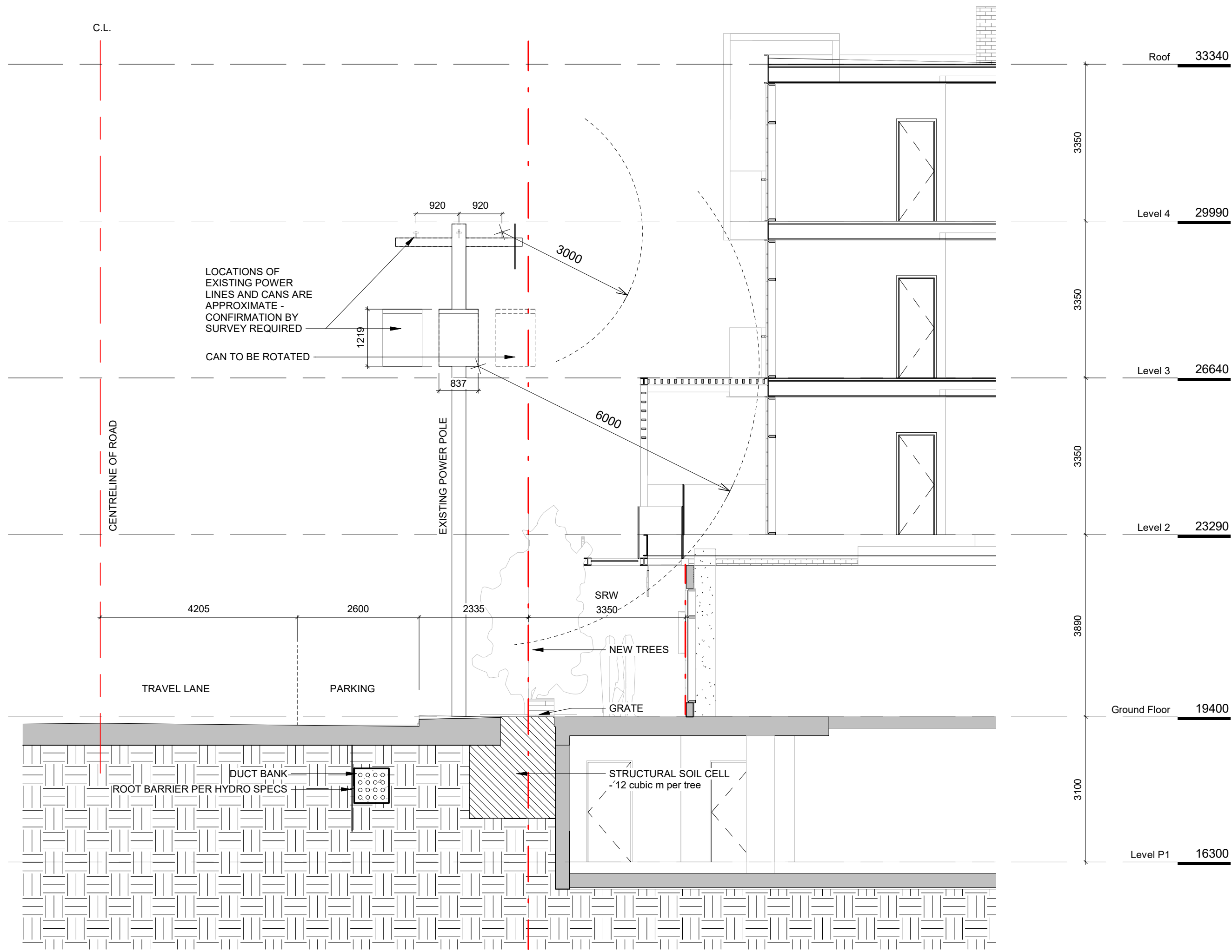
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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Building Sections		
Date		
2020/03/05		
Scale	Project #	
1 : 100	1801	
	Revision	2
	March 5, 2020	
Sheet #		A4.00

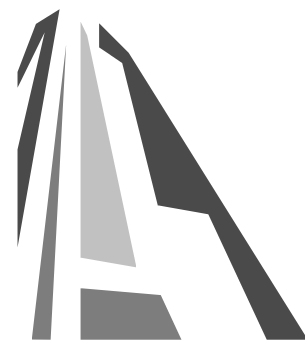


2 Parking Ramp Section
1 : 75



1 Street Section
1 : 75

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Context Sections		
Date		
2020/03/05		
Scale	Project #	
1 : 75	1801	
	Revision	
	March 5, 2020	2
Sheet #		A4.01



VIEW FROM CORNER OF OAK BAY AVENUE & REDFERN STREET



VIEW REDFERN STREET LOOKING TOWARDS OAK BAY AVENUE

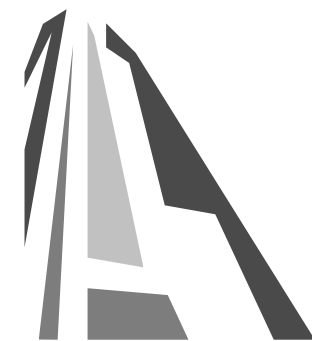


RESIDENTIAL LOBBY



COMMERCIAL CORNER PATIO

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE

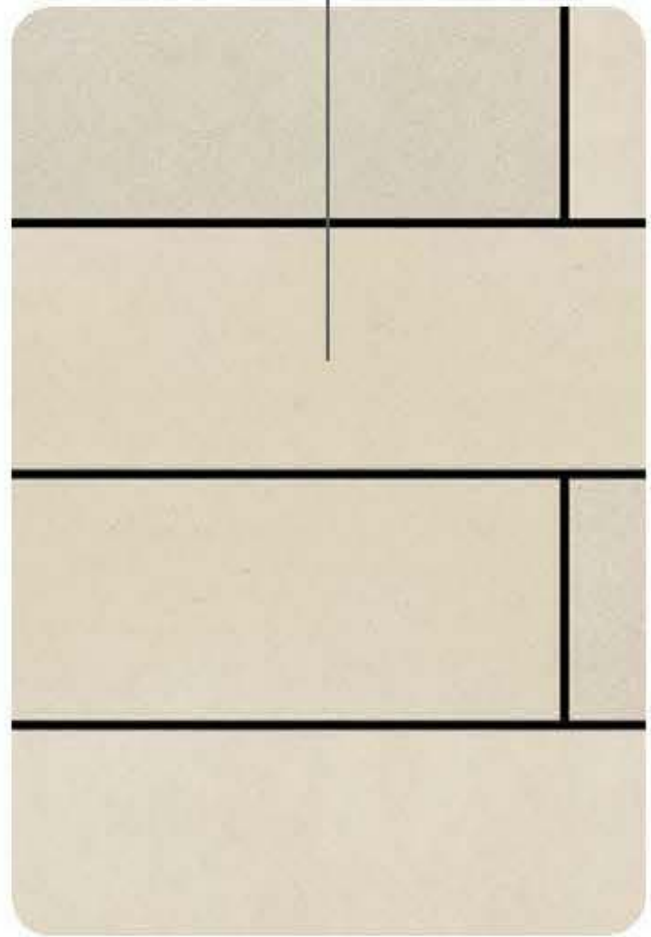


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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Perspectives		
Date		
2020/03/05		
Scale	Project #	
1 : 20	1801	
Revision		
March 5, 2020		2
Sheet #		
		A9.00

PROJECT MATERIALS



PANEL



BRICK



PAVING



GLASS



CONCRETE



PLANTING

ACCENT



WOOD



METAL

CLADDING

2	Re-Zoning & DP Rev 1	March 5, 2020
1	Re-Zoning & DP	April 24, 2019
NO.	DESCRIPTION	DATE



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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Materials		
Date		
2020/03/05		
Scale		Project #
		1801
		Revision
		March 5, 2020
		2
		Sheet #
		A9.01



 **Murdoch
de Greeff** INC
Landscape Planning & Design

200 - 524 Cudithuel Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

March 5, 2020

JAWL RESIDENTIAL

project
1920 OAK BAY AVE
1920 OAK BAY AVE
VICTORIA, BC

sheet title

Level 2 Landscape Materials & Planting Plan

project no.	118.30
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drawn by JK/JD

checked by	SM
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revision no.	sheet no.
△	— — — —

2 L1.02



BOULEVARD PLANTING NOTES

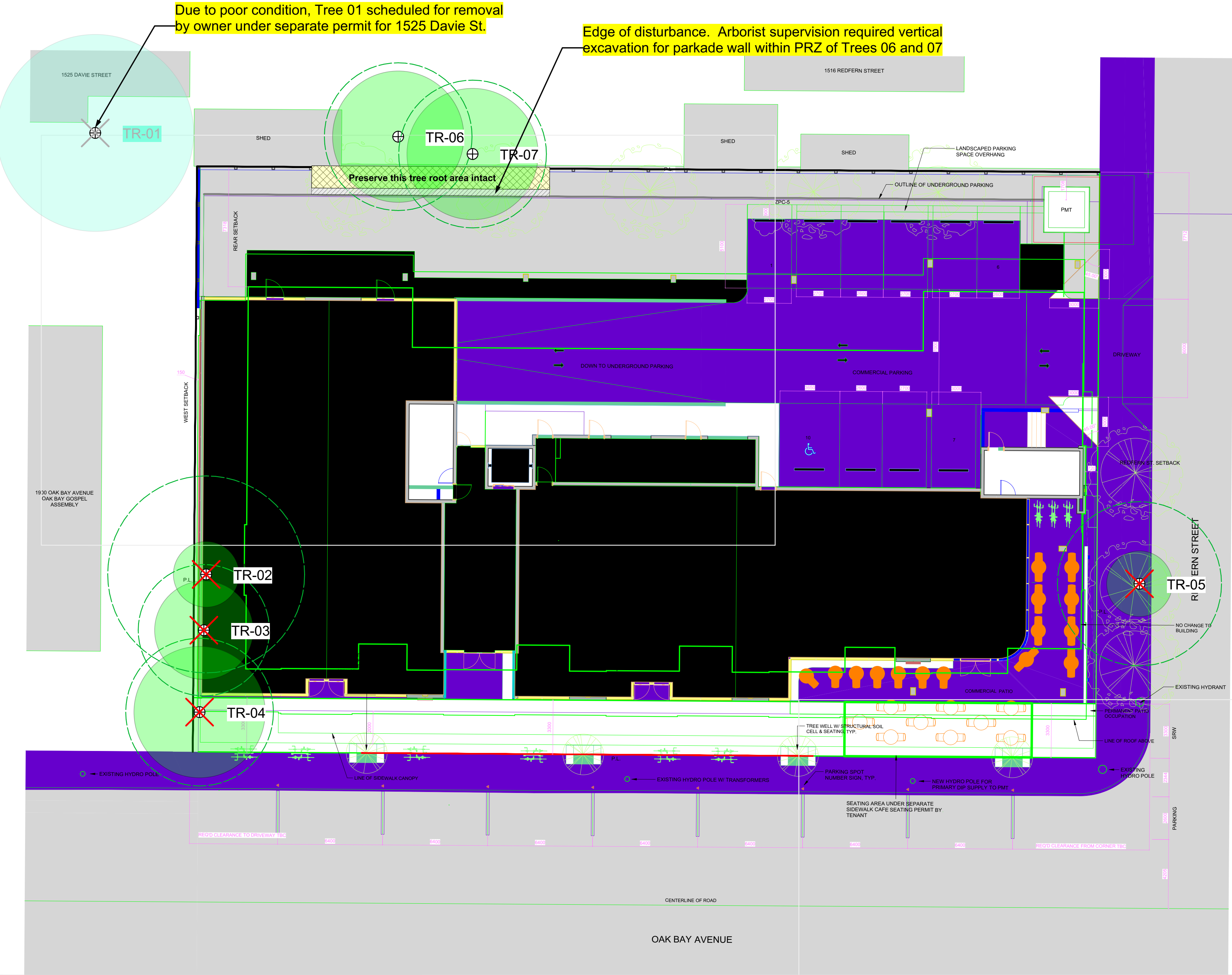
1. The Redfern Street boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. The Redfern Street boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
3. The Oak Bay Avenue boulevard trees are shown as per the City of Victoria streetscape design.
4. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
5. Landscape within boulevard areas to be irrigated (unless otherwise indicated).
6. Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Water meter and timer/controller, that is separate from building, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
7. Design and installation of boulevard irrigation system to meet current IABC and Municipal Specifications.
8. Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
9. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
10. All trees within boulevard to be irrigated with double ring drip irrigation system c/w double check valve.

IRRIGATION AND LIGHTING NOTES

1. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
2. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown on plan.
3. Arborist to review (prior to installation) sleeving of irrigation lines in protected root zone (PRZ) of existing trees.
4. Placement of electrical conduit through site to be coordinated with arborist.
5. Arborist to be onsite and supervise all excavation/trenching within PRZ of retained trees.

PLANTING NOTES

1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
2. Final selection of boulevard trees to be determined through consultation with municipal staff.
3. Separate offsite irrigation system to be installed as per Municipal Specifications for Street Trees and Irrigation, SCHEDULE C (Current Edition).



GENERAL NOTE

All on-site trees and two off-site trees are proposed for removal, due to the built out scope of the site plan (boundary-to-boundary). As such, typical protection measures, such as fencing and signage, are not required. **It is assumed that site hoarding will be erected around the entire perimeter of the site.** Arborist supervision will be required in order to minimize root impacts to two off-site fruit trees (Trees 06 and 07).

Given the limited extent of tree retention and arborist involvement on this project, no written report has been prepared, apart from the notes on this plan.

TREE PRESERVATION MEASURES

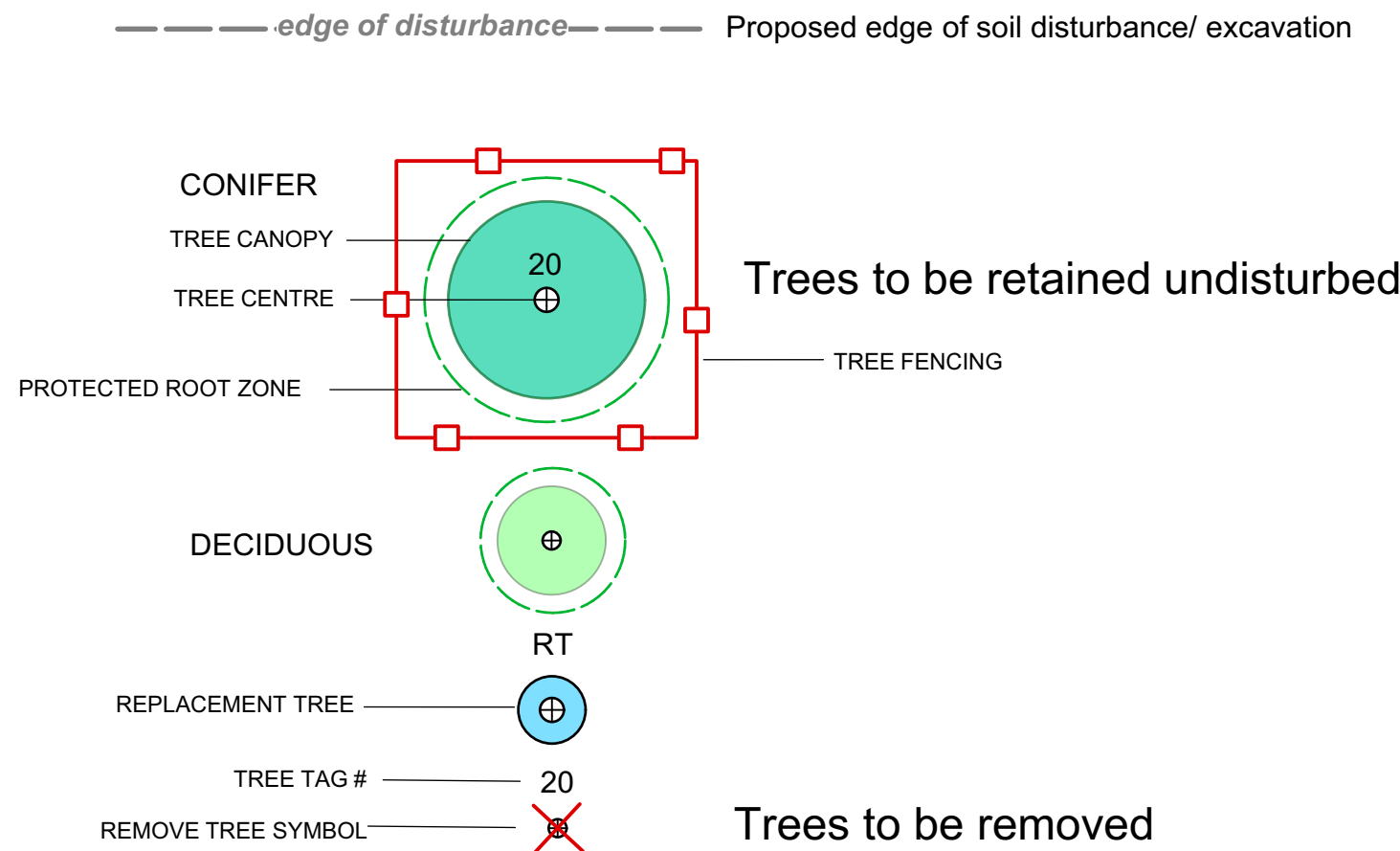
- 1. Start-up meeting:** Before demolition, site servicing or other site work commences, the owner and contractor shall meet with the arborist to review the Tree Protection Plan.
- 3. Tree protection fencing:** No protective tree fencing is required on this project.
- 8. Arborist supervision of site works:** The arborist shall be present to oversee stump removal, excavation, sub-grading, lane or pathway base preparation, service trenching, blasting or any other form of disturbance within, or adjacent to, the off-site tree protection area (TPA) for Tree 01. Any tree roots or branches damaged shall be pruned back to undamaged tissue by the arborist.
- 9. Covering excavated cuts:** Any excavated cut within or adjacent to the TPA shall be securely covered with heavy-gauge plastic to prevent soil desiccation and erosion.
- 10. Site monitoring:** The Project Arborist shall monitor the site on a regular basis during the site preparation, construction and landscaping phases to ensure ongoing and effective compliance with the tree protection measures specified in this tree plan and in on-site meetings with the General Contractor and relevant consultants and sub-contractors.
- 11. Pre-blasting meeting:** If rock blasting is required, the General Contractor and blasting sub-contractor shall meet with the arborist to review the blasting plan prior to drilling. Modified blasting practices or rock removal techniques shall be utilized where considered necessary by the arborist to minimize blasting impacts to protected trees.
- 15. Replacement tree requirements:** Four (4) replacement trees shall be planted on the subject property as indicated on the Tree Plan. All replacement trees shall meet or exceed the minimum size requirements set forth in Section 44 of the City's tree bylaw (1.5m in height or 4cm caliper). See Landscape Planting Plans for details. If there are an insufficient number of plantable spaces available to accommodate all replacement trees, the applicant may discuss a cash-in-lieu payment to the City for trees surplus to requirements.
- 16. Plan posting:** A full-size all-weather copy of the Tree Plan shall be posted in the site office in plain site.
- 17. Post-construction inspection and sign-off:** A post-construction inspection and assessment of the site and protected trees shall be conducted by the Project Arborist in the company of the General Contractor. Any deficiencies will be identified. Once all deficiencies have been addressed to the satisfaction of the Project Arborist and the City of Victoria, a post-construction letter of completion will be prepared by the arborist and submitted to the City.

TREE TABLE									
G&A Tree ID	Common Name	DBH (cm)	PRZr (m)	Crown Radius (m)	Health	Structural Condition	Bylaw Protected Tree?	Comments	Recommendations
01	Garry oak	90	13.5	6	Poor	Fair	Yes	Off-site tree (no tag)	Remove
02	Sycamore maple	10+10+10+5+5+5	6	2	Fair	Poor	Yes	On-site tree (no tag)	Remove
03	Silver birch	15+15	4	3	Good	Good	No	On-site tree (no tag)	Remove
04	Sweetgum	30	4.5	4	Good	Fair	Yes	On-site tree (no tag)	Remove
05	Flowering cherry	17	3	2	Good	Good	No	Boulevard tree (no tag)	Remove
06	Fruiting apple	30	4.5	4	Fair	Good	Yes	Off-site tree (no tag)	Protect
07	Fruiting plum	30	4.5	4	Good	Good	Yes	Off-site tree (no tag)	Protect

SUMMARY TREE STATISTICS

CATEGORY	# OF TREES
Total number of trees inventoried	7
On site trees	3
(Bylaw protected trees)	(2)
Off-site trees	3
Boulevard (municipal) trees	1
Total number of trees to be retained	2
On-site bylaw-protected trees to be retained	0
Off-site trees to be retained	2
Boulevard trees to be retained	0
Total number of trees to be removed	4
On-site bylaw-protected trees to be removed	2
On-site non-bylaw protected trees to be removed	1
Off-site bylaw-protected trees to be removed (by owner)	1
Boulevard (municipal) trees to be removed	1
Total number of replacement trees required	4

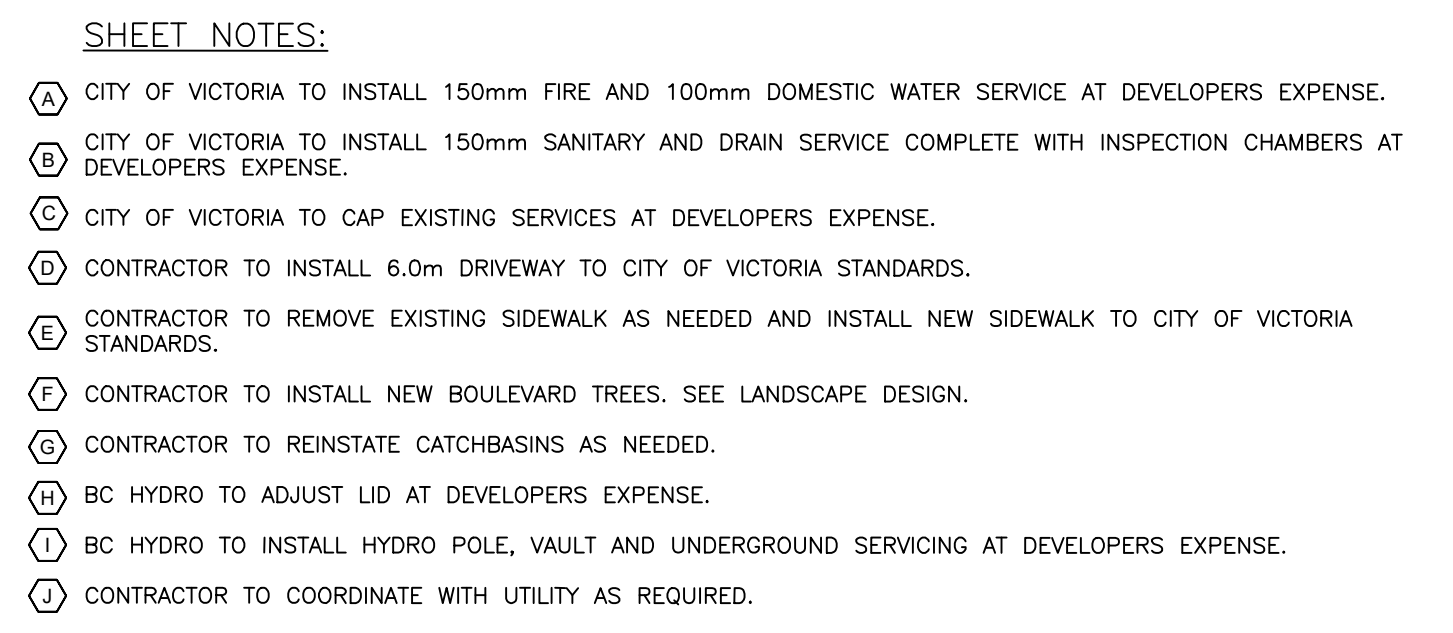
LEGEND



PROJECT
1920 Oak Bay Avenue,
Victoria, BC

SHEET TITLE
Tree Management Plan

0	FOR REVIEW	
REV NO	DESCRIPTION	DATE
PROJECT NO. 20-002		
DATE March 3, 2020		
SCALE 1:150		
DRAWN BY JG		
SHEET NO.		



Scale
horiz. 1:250

Sheet 1 of 1

Eng. Project No. 31757

