



Roundhouse at Bayview Rezoning

File No: REZ00729

Final Submission

September 9, 2022

Appendix G: Site Servicing

- 01 Roundhouse at Bayview Place Development:
Sewage Attenuation Calculations - Rev 1 . . . G-2
- 02 Roundhouse Subdivision Master
Planning G-20

* drawings are resized to fit document and are
not to scale



Stantec Consulting Ltd.
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Sept 7, 2022

Project/File: 112610210

Deb Becelaere – Engineering Technologist – Land Development

City of Victoria Engineering Department
#1 Centennial Square,
Victoria, B.C. V8W 1P6

Dear Ms. Becelaere

Reference: Roundhouse at Bayview Place Development: Sewage Attenuation Calculations – Rev 4

Stantec has prepared the following letter to summarize the findings of our recent investigation into the sewage attenuation requirements for the proposed Roundhouse at Bayview Place Development in Victoria, BC.

The City of Victoria has a policy in place concerning new development applications. All applications for rezoning which result in a potentially larger sewage flow than the original zoning must attenuate the additional flow on-site and release to the municipal system at a rate no higher than the maximum possible peak flow with the original zoning designation. The revised zoning to the Roundhouse site would potentially result in an increased density, and as such, sewage attenuation must be considered.

Calculations of the original sewage flows (pre-development calculations) were performed by Stantec and summarized in a technical report “Roundhouse Development: Sewage Attenuation Calculations” sent to the City of Victoria on April 10, 2012 and attached as reference with this report. Using the applicable standards at the time, the 2012 report calculations estimated that the sewage Peak Dry Weather Flow (PDWF) for the site was 33.14 L/s. Details of the calculations can be found in the attached report.

The remainder of this report outlines the calculations for the post-development flows based on the square footage and the various uses planned for the development.

Reference: Roundhouse at Bayview Place Development: Sewage Attenuation Calculations – Rev 4

1. Post-Development Sewage Flow Calculations

During this investigation, Stantec used design criteria from the 2014 Master Municipal Construction Documents (MMCD) Guidelines and the Sewerage System Standard Practice Manual Version 3 in the following calculations. The design criteria and process for calculating post-development sewage flows are summarized below:

AVERAGE DRY WEATHER FLOW CRITERIA

- Residential and Rental Average Dry Weather Flow (rADWF) /capita = 240 L/day/capita.

The rADWF is calculated by multiplying the population equivalent with a flow/capita/day value. Sanitary flow per person has been gradually decreasing over the last 10 years with the introduction of low flow fixtures and more public awareness surrounding water conservation. 2014 MMCD recommends a value for ADWF of 240L/cap/day for metered systems.
- Hotel Average Dry Weather Flow (hADWF)/capita = 200 l/d/capita.

For hotels we used the Sewerage System Standard Practice Manual Version 3 which recommends a value of 200 l/d/capita.
- Commercial and Heritage zoning ADWF (cADWF) = 5l/day/m² (Sewerage System Standard Practice Manual Version 3). The flow for commercial and heritage developments uses the gross floor area of the development to estimate the ADWF.

The ADWF per section of development is then calculated as follows:

POPULATION DENSITY CRITERIA

To calculate the population equivalent in the development, we used the following assumptions:

- Residential and Rental Development Density: 1-person equivalent per 450 ft² (approximately 42m²). We used a 900 ft² condo size as an average size, estimated unit numbers based on this assumption, and estimated 2 People per Condo unit. This is likely a conservative population density estimate.

$$rOccupancy = 1 \text{ person}/450 \text{ ft}^2$$

- Hotel Density: the same factor as for residential zoning was used, assuming 1 person per 450 ft²

$$hOccupancy = 1 \text{ person}/450 \text{ ft}^2$$

Note that currently the area of the development designated as hotel is unknown, so the hotel areas have conservatively been included in the Residential flow calculations.

AVERAGE DRY WEATHER FLOW CALCULATIONS

For each section of the roundhouse development the ADWF is then calculated as follows:

- ADWF (L/d) = (rADWF * rOccupancy * residential and rental Gross floor Area) + (hADWF * hOccupancy * hotel Gross floor Area) + (cADWF * commercial and heritage gross floor area).

The ADWF is then converted into L/s which is more commonly used to illustrate peak instantaneous flows in a system.

Sept 7, 2022
Deb Becelaere – Engineering Technologist – Land Development
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Reference: Roundhouse at Bayview Place Development: Sewage Attenuation Calculations – Rev 4

PEAKING FACTOR AND PEAK DRY WEATHER FLOW CALCULATIONS

2014 MMCD recommends a peaking factor as follows:

- Peaking Factor (PF) = 3.2 if population served <1000 people
- or $PF = 3.2 / ((\text{population served} / 1000)^{0.105})$ if population served > 1000 people

Sanitary flow through a municipal system is not constant throughout the day, and peaks during certain periods (typically morning rush times and evening rush times, with a less pronounced peak around noon) with other off-peak periods, notably at night. To allow for these peaks when designing a system, a peaking factor is applied to the ADWF calculated previously. The peaking factor is directly related to the population connected to a system; the larger the system, the less pronounced the peak is relative to the ADWF. We looked at the Roundhouse development as a whole with an estimated population equivalent of 4260 to calculate the total Peaking Factor.

- Peak Dry Weather Flow (PDWF in L/s) = PF * ADWF (in L/s)

INFLOW AND INFILTRATION CALCULATIONS

- Inflow and Infiltration (I&I) = 0.06 l/s/ha

I & I is an allowance for storm water migrating into the sanitary system and therefore reducing available capacity within the collection system and the treatment system. If system designs neglect to include this allowance, they inevitably become overloaded during heavy winter rainfall events. Although older systems have far higher I & I values, even new systems experience some level of infiltration through manhole lids and minor inflow through pipe joints. Using the estimate from MMCD for pipes above the groundwater table, an I and I allowance of 0.06 L/s/ha has been made in these calculations.

PEAK WET WEATHER FLOW CALCULATIONS

The Peak wet Weather flow is then calculated as follows:

- Peak wet Weather Flow (PWWF, in l/s) = PDWF + I&I

Reference: Roundhouse at Bayview Place Development: Sewage Attenuation Calculations – Rev 4

2. Proposed Zoning

Figure 1 below illustrates the proposed subdivision site plan:

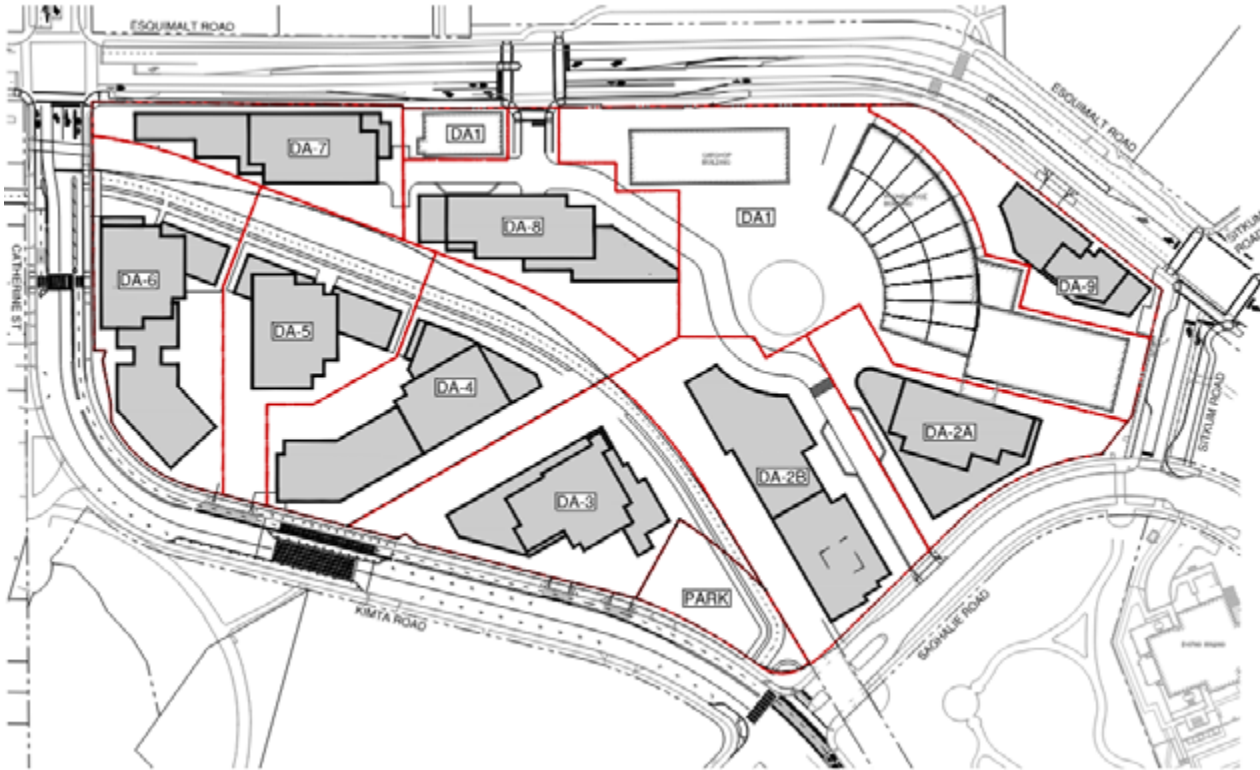


Figure 1. Bayview Site Plan

For the purposes of the sewage attenuation analysis the site has been split into Esquimalt Road and Kimta Road catchments. The proposed composition is described in the table below:

Table 1. Proposed composition of the site post development

Site	Land Use Description
ESQUIMALT ROAD CATCHMENT	
DA-7	Affordable Housing
DA-8	Rental
DA-9	Condo
DA-1	Stores Building
DA-1	Roundhouse + Backshop + Carshop (extension)
KIMTA ROAD CATCHMENT	
DA-6	Condo
DA-2A	Condo
DA-2B	Condo/Hotel
DA-3	E&N Tower
DA-4	Condo/Hotel
DA-5	Condo/Hotel

Reference: Roundhouse at Bayview Place Development: Sewage Attenuation Calculations – Rev 4

3. Results

The Average Dry Weather Flow (ADWF), Peak dry Weather Flow (PDWF) and Peak Wet Weather Flow (PWWF) for the above lots was estimated using the design criteria and calculations described earlier in this report. The following table summarizes the flows for the proposed lots of the Roundhouse Development, as well as for the whole site.

Table 2. Summary of Sanitary flow calculations for the Post Development Site

Site	Land Use Description	Site Area (Ha)	Residential/Hotel (SF)	Rental (SF)	Commercial (SF)	Total - Gross Floor Area (sqf)	ADWF (L/day)	ADWF (L/sec)	POP Eq.	Peaking Factor (PF)	PDWF (L/sec)	I&I (L/sec)	PWWF (L/sec)
DA-7	Affordable Housing	0.212		150,700	4,500	155,200	82,464	0.954	345	3.20	3.05	0.01	3.07
DA-8	Rental	0.315		146,700	11,750	158,450	83,698	0.969	352	3.2	3.10	0.02	3.12
DA-9	Condo	0.190	161,200		300	161,500	86,113	0.997	359	3.2	3.19	0.01	3.20
DA1	Stores Building	0.045			2,924	2,924	1,358	0.016	6	3.2	0.05	0.00	0.05
DA1	Roundhouse + Carshop (extension) + backshop	0.802			32,809	32,809	15,240	0.176	73	3.2	0.56	0.05	0.61
Subtotal Esquimalt Road Catchment		1.56	161,200	297,400	52,283	510,883	268,873	3.1	1,135	3.2	9.83	0.09	9.92
DA-6	Condo	0.361	197,600		2,500	200,100	106,548	1.2	445	3.2	3.95	0.02	3.97
DA-2A	Condo	0.255	217,300		10,050	227,350	120,562	1.4	505	3.2	4.47	0.02	4.48
DA-2B	Condo/Hotel	0.449	232,400		10,000	242,400	128,592	1.5	539	3.2	4.76	0.03	4.79
DA-3	E&N Tower	0.357	205,162		8,611	213,773	113,420	1.3	475	3.2	4.20	0.02	4.22
DA-4	Condo/Hotel	0.410	266,900		14,600	281,500	149,129	1.7	626	3.2	5.52	0.02	5.55
DA-5	Condo/Hotel	0.320	211,000		8,000	219,000	116,249	1.3	487	3.2	4.31	0.02	4.32
Subtotal Kimta Road Catchment		2.15	1,330,362	-	53,761	1,384,123	734,499	8.5	3,076	2.8	24.18	0.13	18.88
Total		3.72	1,491,562	297,400	106,044	1,895,006	1,003,372	11.6	4,211	2.8	31.95	0.22	32.18

the Highlighted numbers are peaked based on the whole site.

The Total Post-Development Peak Dry Weather Flow is therefore estimated as **31.95 L/s** and the Peak Wet Weather Flow is calculated as **32.18 L/s**.

Reference: Roundhouse at Bayview Place Development: Sewage Attenuation Calculations – Rev 4

4. Conclusion

As per the requirements of the City of Victoria, if development of a site results in post-development sewage flows being higher than the pre-development flows, it is the developer's responsibility to attenuate the post-development flows to not exceed the pre-development flows.

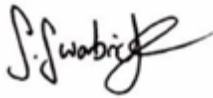
The 2012 sewage attenuation report outlined an original pre-development PDWF of **33.14 L/s**, based on the assumptions of the land use in accordance with the zoning bylaws at the time of writing the report. The 2012 report did not define pre-development PWWF. When applying the I&I calculations defined in this report (0.06 L/s/ha) to the pre-development area of 35,790m², the pre-development PWWF is estimated at **33.36 L/s**.

The calculations in this report estimate a PDWF of **31.95 L/s** and a PWWF of **32.18 L/s**. Therefore, the calculated post-development flows are less than the pre-development flows estimated in 2012. As there have been many assumptions built into these calculations and because circumstances may change as the development gets built out, we recommend that sewage attenuation requirements be evaluated as each property is designed and developed.

If you have any questions concerning the above, please contact the undersigned.

Regards,

Stantec Consulting Ltd.



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Attachments: Roundhouse Development: Sewage Attenuation Calculations, April 10, 2012



Stantec

April 10, 2012
File: 112610210

City of Victoria Engineering Department,
#1 Centennial Square,
Victoria, B.C. V8W 1P6

Attention: Steven Fifield, Manager of Underground Utilities

Dear Mr Fifield:

Reference: Roundhouse Development: Sewage Attenuation Calculations

Stantec has prepared the following letter to summarize the findings of our recent investigation into the sewage attenuation requirements for the proposed Roundhouse Development in Victoria, BC.

The City of Victoria has a policy in place concerning new development applications. All applications for rezoning which result in a potentially larger sewage flow than the original zoning must attenuate the additional flow on-site and release to the municipal system at a rate no higher than the maximum possible peak flow with the original zoning designation. The revised zoning to the Roundhouse site would potentially result in an increased density, and as such sewage attenuation must be considered.

The site was originally divided into four different zoning designations:

- M1 Zone, Limited Light Industrial. Area = 7,150m²
- M2 Zone, Light Industrial. Area = 20,475m² (plus 4,895m² of rail easement also zoned M2)
- M3 Zone, Heavy Industrial. Area = 3,270m²
- SRS Zone, Songhees Single Family Residential District. Area = 1,570m²
- TOTAL SITE AREA = 37,360m²

Figure 1 on the following page shows the original parcels and zoning designations on the Roundhouse site:

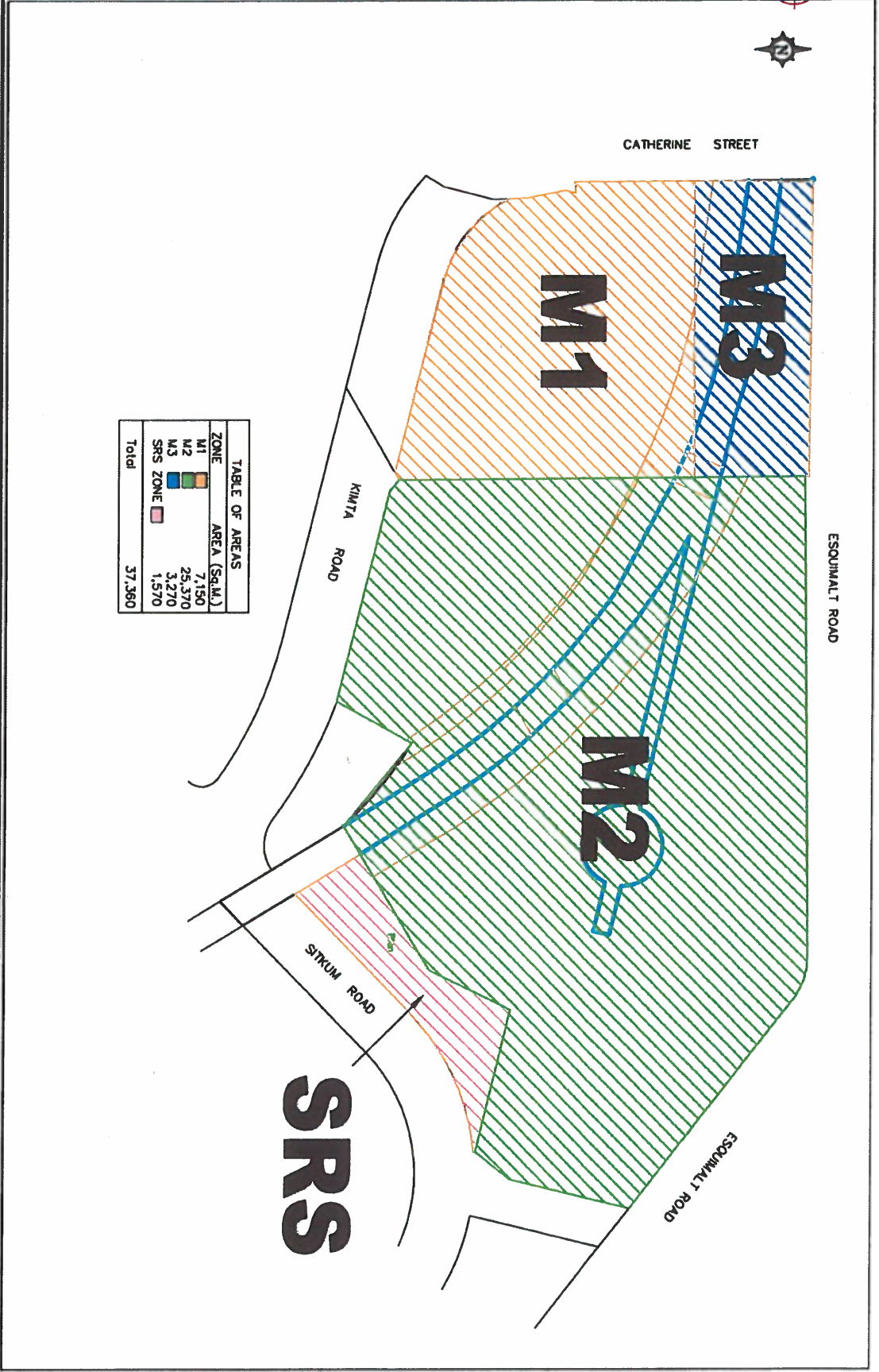


TABLE OF AREAS	
ZONE	AREA (Sq.M.)
M1	7,150
M2	28,370
M3	3,270
SRS ZONE	1,570
Total	37,360

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City of Victoria
 CITY OF VICTORIA
 ROUNDHOUSE DEVELOPMENT
 SEWAGE ATTENUATION
 Figure No. _____
 Fig 1
 ORIGINAL ZONING SITE PLAN

2012
 112610210

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April 10, 2012
Steven Fifield, Manager of Underground Utilities
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Reference: Roundhouse Development: Sewage Attenuation

To calculate the total amount of required retention, it is necessary to first calculate the potential flow from the existing site with the original zonings. The below summary details a method of calculating the original zoning sewage flow by using the maximum allowable FSR and allowable occupancies under the applicable zoning designations.

Calculation of the Original Zoning Sewage Flows

During this investigation, we have used figures quoted in the following publications:

- MMCD Design Guideline Manual, 2005
- The BC Sewerage Standard Practice Manual Version 2 (September 2007).
- City of Victoria Zoning Bylaw.

Calculation by Worst Case Scenario Based on FSR and Acceptable Uses

A potential method of calculating the potential sewage flows as per the existing zoning is by applying the allowable uses and FSR permitted in the zoning bylaw for each zoning designation. This method allows for an infinite number of potential scenarios based on what combination of the allowable uses was used to calculate the flow. Some of these potential scenarios may not be a realistic proposition, but the zoning bylaw allows these potentially unrealistic scenarios to be built.

We calculated the flows for a given scenario in which the areas zoned as M1, M2, M3 had various high sanitary use businesses on-site, such as car washes, gas stations, restaurants, manufacturing plants, dry cleaners/Laundromats etc. as allowed in the zoning bylaw. Although the scenarios may not be realistic, the exercise proved that it is possible to estimate very large flows for the original zoning designation by this method, to the point where the flows as per the original zoning designation can match and exceed the post-development sewage flows.

This method is typically used to calculate flows when the actual uses and the size of the non-residential units on a site are better defined. Using it in this instance, as mentioned earlier, can result in an infinite number of potential scenarios.

One potential scenario with its resultant original zoning flow is outlined below:

- The maximum allowable FSR allowed by Industrial zones M1, M2 and M3 is 3:1, and an allowable occupancy of all the zonings is a restaurant. This scenario assumes all zones designated as industrial are to be used exclusively as a large scale restaurant complex.
- The total area of the industrial zones on the site is 35,790m². With a FSR of 3:1, this results in total floor space on the site being 107,370m².
- It is assumed for this scenario that 2/3 of that space is restaurant seating area, with the other 1/3 being for other uses. Assuming dense table spacing, it is assumed that the density is 1 table of 4 per 9m². This results in there being a number of 7,953 tables with 31,812 seats.

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April 10, 2012
 Steven Fifield, Manager of Underground Utilities
 Page 4 of 7

Reference: Roundhouse Development: Sewage Attenuation

- The BC Sewerage SPM quotes a recommended figure for estimating sanitary loading of 90L/day/seat, which results in a total flow of 2,863,080L/day = **33.14L/s**.

While it is acknowledged that the scenario presented here is a very unlikely one in practicality, it is a possibility under current applicable zoning bylaw regulations.

Detailed calculations for the above described flows are provided at the end of this report.

A more practical example may be that of a brewery being placed on the site. The M3 zone allows for breweries to be built, and with a FSR of 3:1, the total area on the M3 portion of the site would be just over a hectare (the M3 portion of the site is less than 10% of the total site area). Stantec have in recent years performed sewage discharge reviews for breweries in BC and Ontario, and found the discharge rate to be approximately 1 Million L/day/hectare. If these numbers were applied to the original zoning on the Roundhouse Site, approximately 1Million L/day could be generated from the M3 parcel alone. This is an example of the potentially high sanitary discharges from uses such as breweries and distilleries.

The below table summarizes the existing sewage flows and projected sewage flows from a brewery located on a 2 hectare site on the BC mainland, as determined through Stantec's investigations:

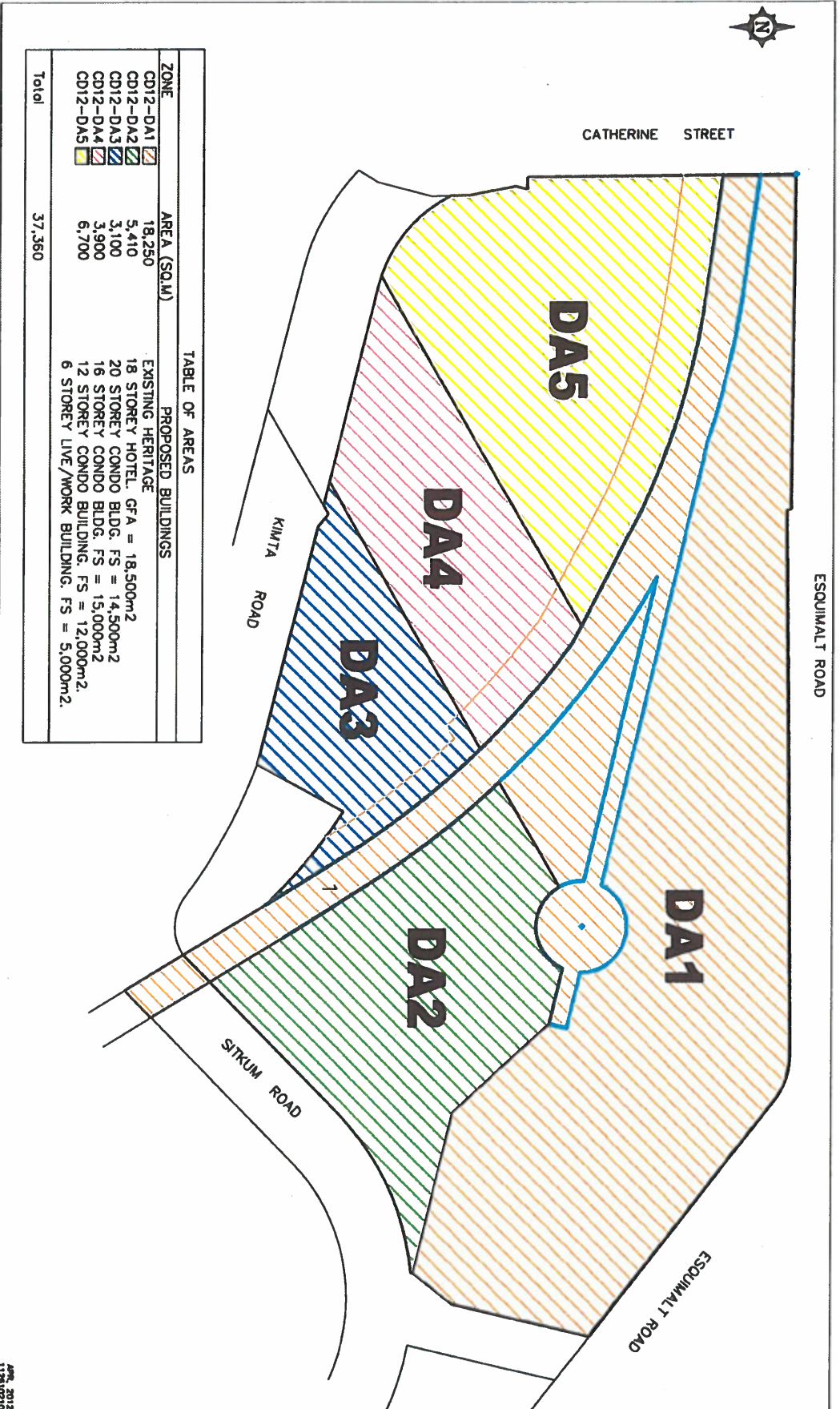
Existing and Projected Flows from a 2 Hectare Brewery – BC Mainland						
Year	2010	2011	2012	2013	2014	2015
Production Increase from 2010 Levels	0	0.2%	0.2%	9%	13%	23%
Average Sanitary Flow (m ³ /day)	1,925	1,928	1,928	2,096	2,181	2,375

Calculation of the Post-Development Sewage Flows

The following design criteria were used during this investigation:

- Average Sewage Flow per person = 300L/day
- Peaking Factor = Harmons Equation
- Residential Condo size = 900ft² (approximately 83m²)
- People per Condo unit = 2

Figure 2 on the following page illustrates the current zoning on the site:



ORIGINAL SHEET - ISO A3

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City/Project
 CITY OF VICTORIA
 ROUNDHOUSE DEVELOPMENT
 SEWAGE ATTENUATION
 FIG. 2
 CURRENT ZONING SITE PLAN

DATE: 2012
 11/28/2012

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April 10, 2012
 Steven Fifield, Manager of Underground Utilities
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Reference: Roundhouse Development: Sewage Attenuation

The proposed development at the Roundhouse site is divided into 5 separate parcels. The proposed composition of the units for the parcels, which the following calculations are based upon, is as follows:

- Lot 1: Retail and Public Use (Existing heritage buildings)
- Lot 2: 18 Storey Hotel with 1 Storey Retail.
- Lot 3: 20 Storey Condo Building
- Lot 4: 16 Storey Condo Building
- Lot 5: 12 Storey Condo Building and 6 Storey Live/Work Space Building

The Average Dry Weather Flow (ADWF) for the above lots was calculated using the design criteria quoted earlier in this report. In the absence of more complete data for the commercial units, the Equivalent Population of 120 people/ha was used to estimate the sewage flows for those units.

The following table summarizes the ADWF for proposed Lots 1-5 of the Roundhouse Development:

<u>Lot # and Description</u>	<u>ADWF (L/day)</u>
Lot 1: Retail and Public Use	65,100L/day
Lot 2: 18 Storey Hotel with 1 Storey Retail.	133,795L/day
Lot 3: 20 Storey Condo Building	105,000L/day
Lot 4: 16 Storey Condo Building	108,600L/day
Lot 5: 12 Storey Condo Building/ 6 Storey Live/Work	123,600L/day
TOTAL	536,095L/day (6.2L/s)

Applying the Peaking Factor as per Harmons equation, the Total Post-Development Peak Dry Weather Flow is calculated as **22.44L/s**.

Detailed calculations for the above post-development flow summary are provided at the end of this report.

Sewage Attenuation Options and Volumes

As per the requirements of the City of Victoria, if development of a site results in post-development sewage flows being higher than the pre-development flows, it is the developer's responsibility to attenuate the post-development flows to not exceed the pre-development flows.

It should be noted that Inflow and Infiltration has not been allowed for in either the original zoning or Post-Development flow calculations for storage.

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April 10, 2012
Steven Fifield, Manager of Underground Utilities
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Reference: Roundhouse Development: Sewage Attenuation

Sewage Attenuation Required when Original Flows Calculated Using FSR and Allowable Occupancies

PDWF Pre-Development = **33.14L/s** (our demonstrated scenario).

PDWF Post-Development = **22.44L/s**.

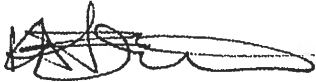
As was noted earlier in this report, the method of calculating the original zoning sewage flows by Allowable Occupancies as per the Zoning bylaw results in an infinite number of potential scenarios which result in an infinite number of different sewage flows. Our calculations proved that the Post-Development flows could be matched by using the higher sanitary use allowable occupancies under the zoning bylaw and maximizing the FSR, to calculate the original zoning Flows.

In this case, no attenuation would be required.

If you have any questions concerning the above, please contact the undersigned.

Respectfully,

Stantec Consulting Ltd.



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Fax: (250) 382-0514
ken.french@stantec.com

Attachment:

cc. Ally Dewji

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Stantec

January 25th, 2012
112610210 Task 302

①

Roundhouse Dev. Sewage Attenuation
Original Zoning (Pre-Development) Flows

Max Sewage Flows By Allowable Occupancies (Original Zoning):

- M1 Area = 7,150m². Zoned Limited Light Industrial.
- M2 Area = 20,475m². Zoned Light Industrial.
- M3 Area = 3,270m². Zoned Heavy Industrial.

Scenario 1: Whole of the site is a restaurant.

An allowable use for M1, M2, M3 is a restaurant. The following calculations assure the entire roundhouse site could be used as a large restaurant complex (except for the SRS Zone):

- Area of M1, M2 and M3 zones = 35,790m².
- Max Allowable FSR = 3:1. ∴ Total floor area = 35,790 × 3 = 107,370m²

- Assume 2/3 of total area = Restaurant Seating Area.
- Assume dense table spacing of 1 table of 4 per 9m².

$$\therefore 107,370 \times \frac{2}{3} = 71,580\text{m}^2 \text{ (Restaurant Seating Area)}$$

$$\frac{71,580}{9} = 7,953.3 \approx 7,953 \text{ Tables}$$

$$7,953 \times 4 = 31,812 \text{ Seats}$$

- As per BC Sewerage Manual, assume 90L/day/seat.

$$\begin{aligned} \text{Total Estimated Flow} &= 31,812 \text{ seats} \times 90 \text{ L/day} \\ &= 2,863,080 \text{ L/day} = \underline{\underline{33.1\text{kL/s}}} \end{aligned}$$

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January 6th, 2012 112610210 Task 302
 Roundhouse Dev. Sewage Attenuation

⑤

Proposed Flows (By Parcel)

CONFIRM THESE NUMBERS
 WITH ALI DEWJI (388-9924)

Lot 1: Retail + Public Use

No new Buildings being added. Simply retaining existing heritage Buildings.

As per discussion with Ali Dewji (client), in the absence of more definitive information on restaurant size and other retail uses, we will use M.M.C.D. Equivalent population for commercial buildings of 120 people/hectare.

$$\begin{aligned} \text{Total Floor space of existing buildings} &= 2860 + 735 + 270 \text{ m}^2 \\ &= \underline{\underline{3,865 \text{ m}^2}} \end{aligned}$$

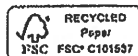
$$\text{Total Area of Lot} = 18,082 \text{ m}^2$$

$$\begin{aligned} \text{Equivalent Population} &= 1.8082 \times 120 \\ &= 216.98 \approx 217 \text{ people} \end{aligned}$$

$$\begin{aligned} \text{ADWF} &= 217 \times 300 \text{ L/day/cap} \\ &= \underline{\underline{65,100 \text{ L/day}}} \end{aligned}$$

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January 6th, 2012 112610210 Task 302
 Roundhouse Dev. Sewerage Attenuation

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Lot 2: 18 Storey Hotel with 1 storey Retail. Approx 18,500m² floor space.
 - 17 storey Residential. $\frac{17}{18} \times 18,500 = 17,475\text{m}^2$ Residential.

$$\begin{aligned} \text{Assume 1 unit} &= 900\text{ft}^2 (\approx 83\text{m}^2) \\ \therefore \# \text{ of units} &= \frac{17,475}{83} = 210.5 \text{ units} \approx 211 \text{ units.} \end{aligned}$$

Assume 2 people per condo: $211 \times 2 = 422$ people.

$$\begin{aligned} \text{ADWF from Lot 2 (Residential)} &= 422 \times 300\text{L/day/capita} \\ &= \underline{\underline{126,600\text{L/day}}} \end{aligned}$$

1 storey retail (Assume General Retail i.e. no café or restaurant):

"BC Sewerage BPM ~~etc~~ provides figure of 7L/day/m² of floor space for shopping centre (excluding café or laundry).

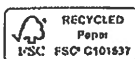
$$\therefore \text{Estimated ADWF for retail} = \left(\frac{1}{18} \times 18,500\right) \times 7\text{L/day}$$

$$= 7,194.44 \approx \underline{\underline{7,195\text{L/day}}}$$

$$\text{Total ADWF from both residential and retail} = \underline{\underline{133,795\text{L/day}}}$$

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⑦

Lot 3: 20 Storey Condo Building

$$\text{Floor Space} = 14,500\text{m}^2 \quad \therefore \# \text{ of units @ } 83\text{m}^2 \text{ each} \\ = \frac{14,500}{83} = 174.69 \approx 175 \text{ units}$$

$$\therefore \text{Population @ 2 people per unit} = 175 \times 2 \\ = 350 \text{ people}$$

$$\therefore \text{ADWF} = 350 \times 300\text{L/day/c} = \underline{105,000\text{L/day}}$$

Lot 4: 16 Storey Condo Building

$$\text{Floor Space} = 15,000\text{m}^2 \quad \therefore \# \text{ of units @ } 83\text{m}^2 \text{ each} \\ = \frac{15,000}{83} = 180.72 \approx 181 \text{ units}$$

$$\therefore \text{Population @ 2 people per unit} = 181 \times 2 = 362 \text{ people}$$

$$\therefore \text{ADWF} = 362 \times 300\text{L/day/c} = \underline{108,600\text{L/day}}$$

Lot 5: 12 Storey Condo Building + 6 Storey Live/work Space

$$12 \text{ Storey Condo: Floor space} = 12,000\text{m}^2 \quad \therefore \# \text{ of units} = 144.57 \text{ units} \\ \approx 145 \text{ units}$$

$$\text{Population @ 2 people per condo} = 145 \times 2 = 290 \text{ people}$$

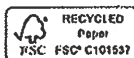
$$\text{(Treat as condos)} \quad 6 \text{ storey Live/work: Floor Space} = 5,000\text{m}^2 \quad \therefore \# \text{ of units} = 60.25 \text{ units} \\ \approx 61 \text{ units}$$

$$\text{Population @ 2 people per unit} = 61 \times 2 = 122 \text{ people}$$

$$\text{Total Lot 5 Equiv. Pop.} = 122 + 290 = 412 \text{ People} \quad \text{ADWF} = 412 \times 300\text{L/day/cap} \\ = \underline{123,600\text{L/day}}$$

Designed by:

Checked by:



Printed on FSC-certified and 100 percent recycled post-consumer waste paper



Stantec

January 6th, 2012

112610210 Task 302

Roundhouse Dev: Sewage Attenuation



TOTAL POST-DEVELOPMENT FLOW:

- Lot 1 = 65,100 L/day
- Lot 2 = 133,795 L/day
- Lot 3 = 105,000 L/day
- Lot 4 = 108,600 L/day
- Lot 5 = 123,600 L/day

$$536,095 \text{ L/day} = \underline{6.2 \text{ L/s}} \quad (\text{ADWF}) \quad (\text{Eq. Pop} = 1,786.98)$$

$$PF = 1 + \frac{14}{4 + \sqrt{11000}} \quad (\text{Harrons})$$

$$= 1 + \frac{14}{4 + \sqrt{11,786}} = 3.62$$

$$\therefore \text{PDWF} = 3.62 \times 6.2 = \underline{22.44 \text{ L/s}}$$

(Peaking Factor based on entire site, not individual parcels)

1 and 1 allowance (MMCO = 0.17 L/s/hectare)

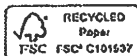
$$= 3.786 \times 0.17 = 54,874 \text{ L/day}$$

$$= \underline{0.635 \text{ L/s}} \quad (\text{Same as pre-development})$$

$$\text{TOTAL POST-DEVELOPMENT FLOW} = 22.44 + 0.635 = \underline{23.08 \text{ L/s}}$$

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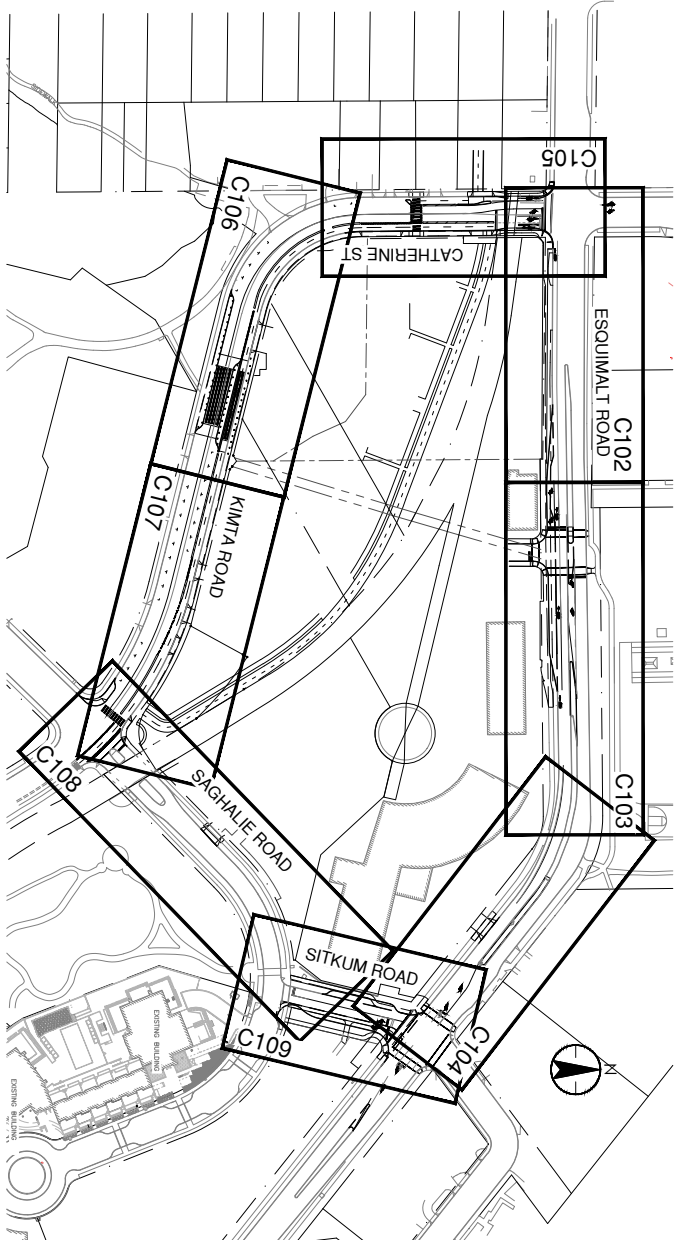
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ROUNDHOUSE SUBDIVISION MASTER PLANNING



KEY PLAN
SCALE: 1:1000

LEGEND:

- 0- EXISTING PROPERTY LINE
- 1- EXISTING SANITARY
- 2- EXISTING GAS
- 3- EXISTING HYDRO
- 4- EXISTING HYDRO
- 5- EXISTING LIGHTNING
- 6- EXISTING DRAIN MANHOLE
- 7- EXISTING SANITARY MANHOLE
- 8- EXISTING SANITARY MANHOLE
- 9- EXISTING CATCH BASIN
- 10- EXISTING WATER VALVE
- 11- EXISTING FIRE HYDRANT
- 12- EXISTING PARKING METE
- 13- EXISTING HYDRO BOX
- 14- EXISTING HYDRO MANHOLE
- 15- EXISTING TEL MANHOLE
- 16- EXISTING TEL BOX
- 17- EXISTING SIGN
- 18- PROPOSED SANITARY MAN
- 19- PROPOSED SANITARY MANHOLE
- 20- PROPOSED SANITARY SERVICE
- 21- PROPOSED SANITARY MANHOLE
- 22- PROPOSED WATER SERVICE

Roundhouse Subdivision - Utility and Storm Services Plan - Preliminary Calculations

Lot	Area (sqm)	Area (sqft)	Volume (m³)	Volume (ft³)	Flow (L/s)	Flow (GPM)	Flow (MGD)
C101	1200	13000	1200	13000	1.2	1.8	0.0001
C102	1500	16000	1500	16000	1.5	2.2	0.0001
C103	1800	19000	1800	19000	1.8	2.7	0.0001
C104	2100	22000	2100	22000	2.1	3.1	0.0001
C105	2400	25000	2400	25000	2.4	3.6	0.0001
C106	2700	28000	2700	28000	2.7	4.0	0.0001
C107	3000	32000	3000	32000	3.0	4.5	0.0001
C108	3300	35000	3300	35000	3.3	4.9	0.0001
C109	3600	38000	3600	38000	3.6	5.3	0.0001
C110	3900	41000	3900	41000	3.9	5.7	0.0001
C111	4200	44000	4200	44000	4.2	6.1	0.0001

Roundhouse Subdivision - Storm Services Plan - Preliminary Calculations

Lot	Area (sqm)	Area (sqft)	Volume (m³)	Volume (ft³)	Flow (L/s)	Flow (GPM)	Flow (MGD)
C101	1200	13000	1200	13000	1.2	1.8	0.0001
C102	1500	16000	1500	16000	1.5	2.2	0.0001
C103	1800	19000	1800	19000	1.8	2.7	0.0001
C104	2100	22000	2100	22000	2.1	3.1	0.0001
C105	2400	25000	2400	25000	2.4	3.6	0.0001
C106	2700	28000	2700	28000	2.7	4.0	0.0001
C107	3000	32000	3000	32000	3.0	4.5	0.0001
C108	3300	35000	3300	35000	3.3	4.9	0.0001
C109	3600	38000	3600	38000	3.6	5.3	0.0001
C110	3900	41000	3900	41000	3.9	5.7	0.0001
C111	4200	44000	4200	44000	4.2	6.1	0.0001

GENERAL NOTES:

1. ALL WORK AND MATERIAL TO BE IN ACCORDANCE WITH THE SE DRAWINGS PROJECT SPECIFICATIONS, CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS AND APPLICABLE SECTIONS OF MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MCMCD) LATEST EDITION.
2. ALL TRUCK TURNING MOVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA TRUCK TURNING MOVEMENTS SPECIFICATIONS.
3. ALL TRUCK TURNING MOVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA TRUCK TURNING MOVEMENTS SPECIFICATIONS.
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5. ALL TRUCK TURNING MOVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA TRUCK TURNING MOVEMENTS SPECIFICATIONS.
6. REFER TO LANDSCAPE DRAWINGS AND TREATMENTS AS WELL AS THE'SHRIUB PLANNING DET A1'S WITHIN CITY RIGHT OF WAY.
7. REFER TO ARCHITECTURAL & LANDSCAPE DRAWINGS FOR STREET FURNITURE LOCATIONS AND DETAILS.
8. REFER TO ARCHITECTURAL & LANDSCAPE DRAWINGS FOR STREET FURNITURE LOCATIONS AND DETAILS.
9. NEW PAVEMENT MARKINGS AND SIGNS TO COMPLY WITH TOP VICTORIA REQUIREMENTS AND TRANSPORTATION ASSOCIATION OF CANADA MANUAL OF STANDARD CONTROL DEVICES FOR CANADA. ALL PAVEMENT MARKINGS AND LANE LINE ADJUSTMENTS TO BE BY CITY OF VICTORIA AT REDEVELOPER'S EXPENSE.
10. ALL PARKING FACILITY DRAWINGS AS PER THE CITY OF VICTORIA HIC DRAWINGS FOR THE PROJECT.



Sheet List Table

Sheet Name	Sheet No.
KEY PLAN, LOCATION PLAN, LEGEND, GENERAL NOTES AND SHEET INDEX	C100
SITE PLAN - FRONTAGE ROADWORKS	C101
SITE PLAN - FRONTAGE UTILITIES	C102
ESQUIMALT RD STA 5+00 TO 3+10	C103
ESQUIMALT RD STA 5+10 TO 3+20	C104
ESQUIMALT RD STA 5+20 TO 3+30	C105
ESQUIMALT RD STA 5+30 TO 3+40	C106
KIMTA RD STA 5+00 TO 1+00	C107
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SAGHALIE RD STA 1+00 TO 1+100	C109
SAGHALIE RD STA 2+00 TO 2+100	C110
ACCESS PROFILES	C111
TRUCK TURNING MOVEMENTS	C111

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ROUNDHOUSE REZONING
CONCEPTUAL OFFSITE
ROADS AND SERVICING

Victoria BC

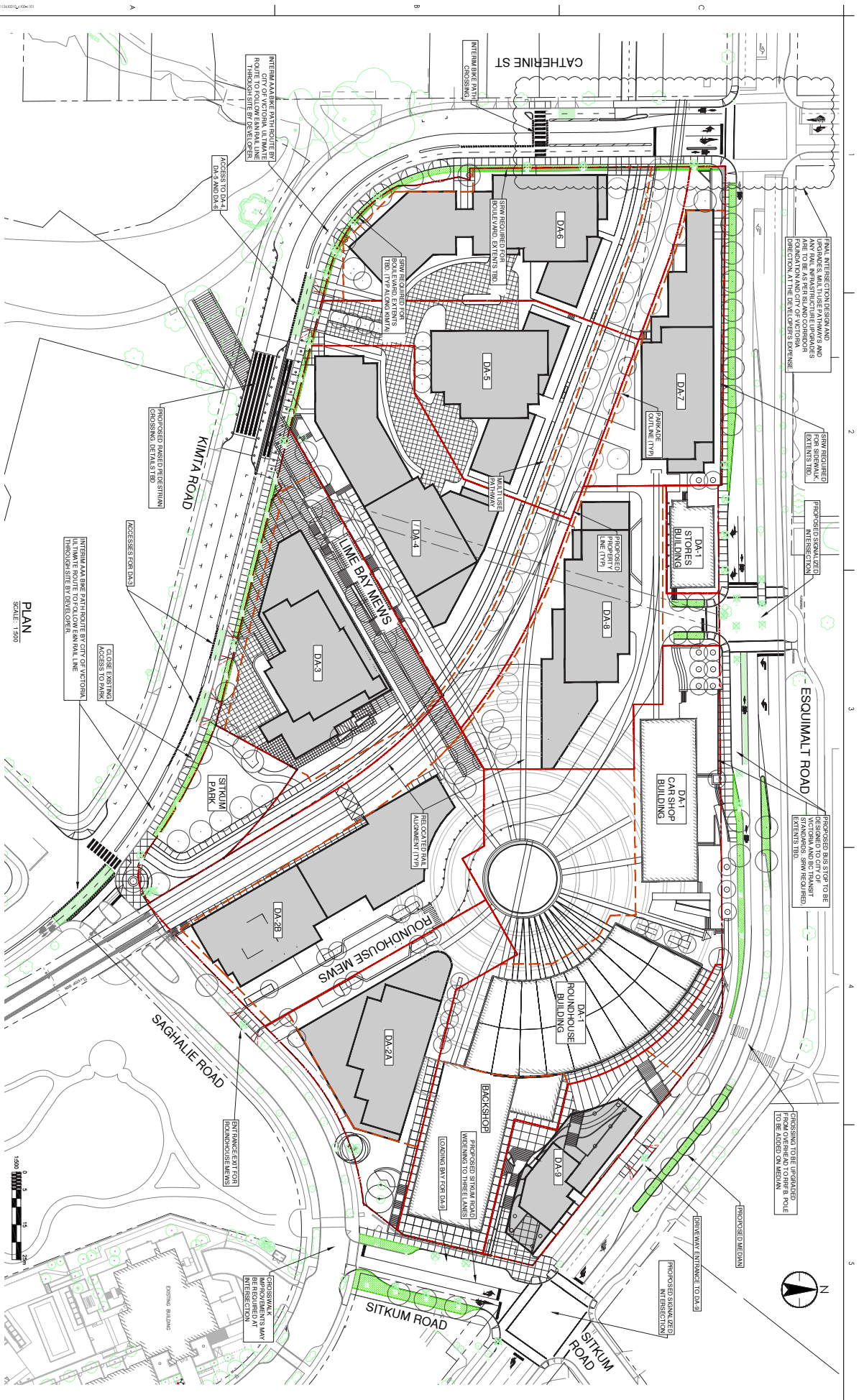
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Revision: Sheet 01
Drawing No: C000

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KEY PLAN, LOCATION PLAN, LEGEND,
GENERAL NOTES AND SHEET INDEX

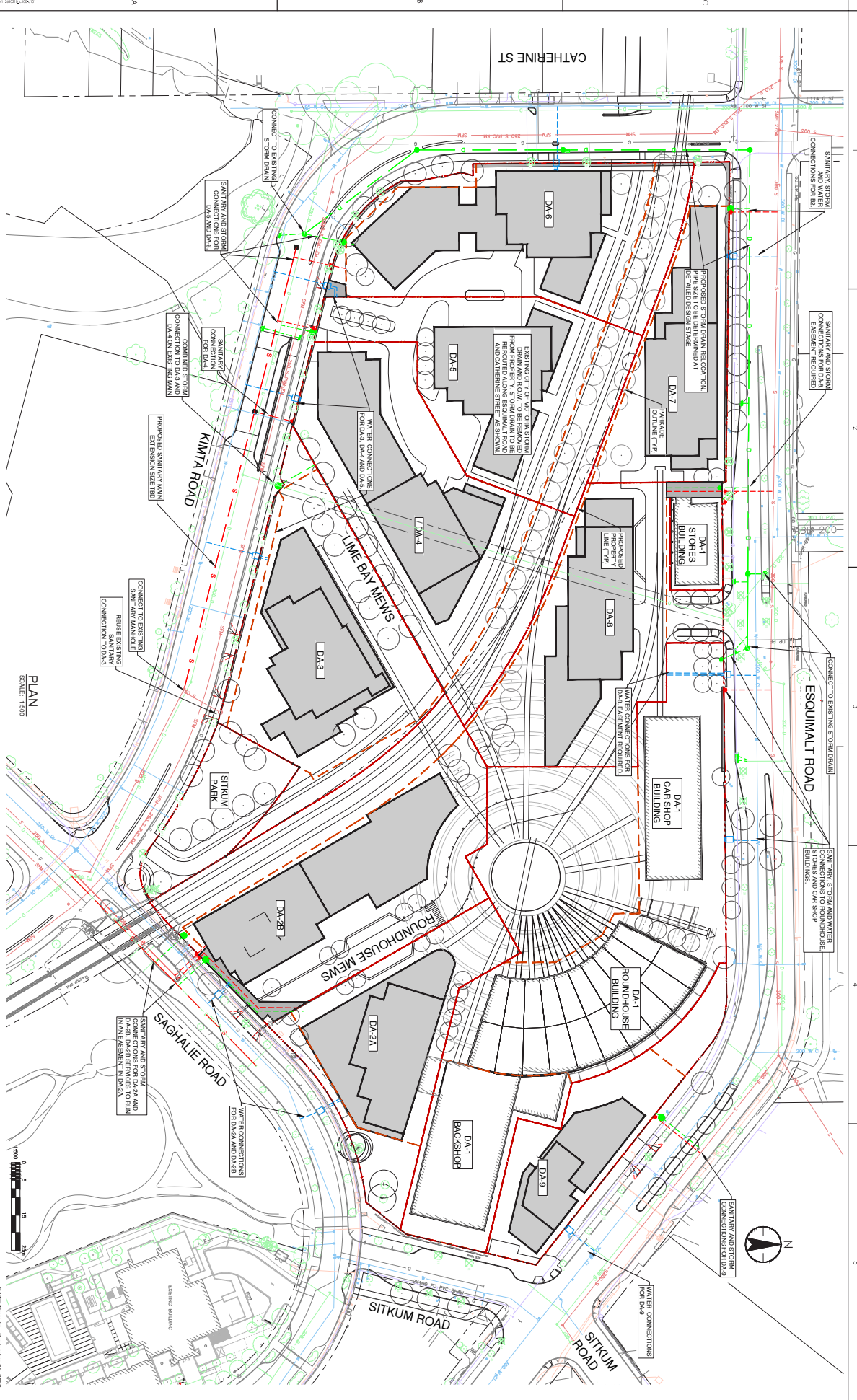
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PLAN
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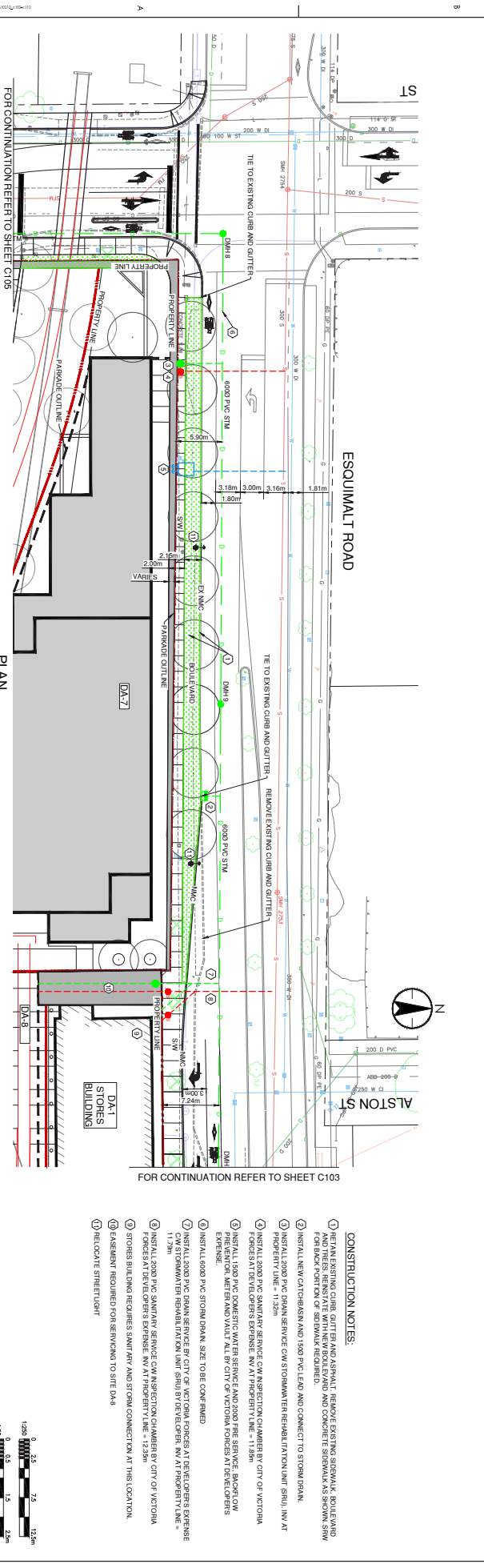
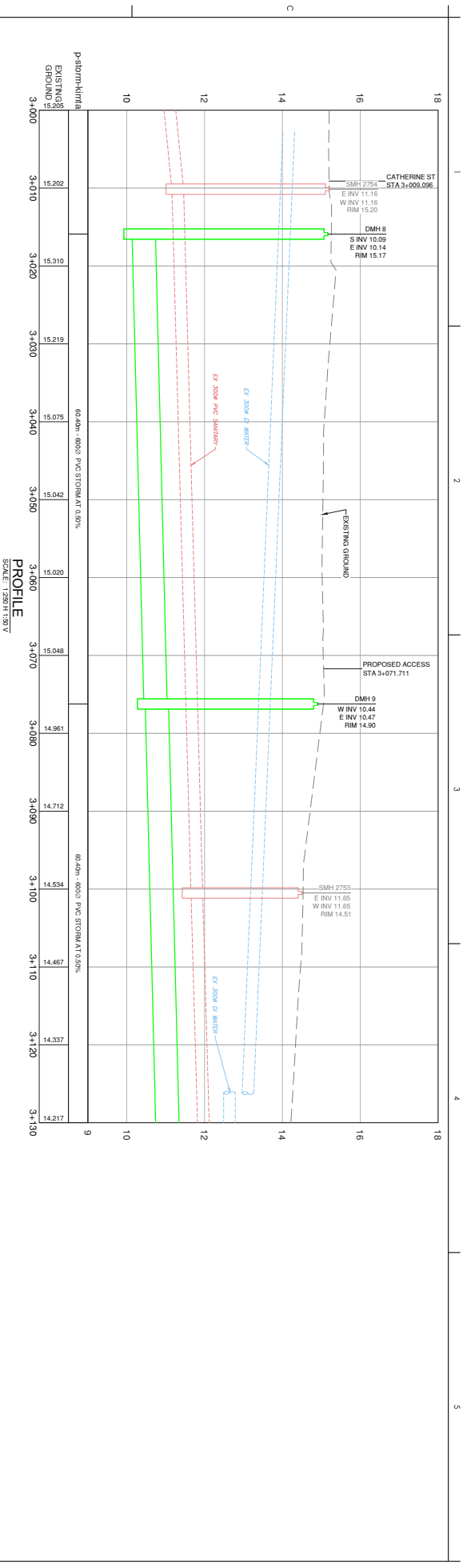
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DATE: Thursday, September 08, 2022

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This document has not been generated for use in a court of law.</p>	<p>Condition</p> <p>Stattec Site Planning & Design 1100 North 17th Street Vancouver, BC V6L 2A5 www.stattec.com</p> <p>Copyright Reserved</p>	<p>Client/Project Logo</p>	<p>Client/Project</p> <p>FOCUS EQUITIES LTD. ROUNDHOUSE REZONING CONCEPTUAL OFFSITE ROADS AND SERVICES VANCOUVER, BC</p>	<p>Title</p> <p>SITE PLAN - FRONTAGE UTILITIES CONCEPTUAL DESIGN</p> <p>Project No. 11281010 Revision Sheet 01 Scale AS SHOWN Drawing No. C101</p>
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Revision

No.	Description	Date
1	ISSUE FOR PERMITS	2022/09/09
2	FOR CONSTRUCTION	2022/09/09
3	FOR CONSTRUCTION	2022/09/09

Permit/Spec

PRELIMINARY NOT FOR CONSTRUCTION

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Client/Project

FOCUS EQUITIES LTD.
ROUNDHOUSE REZONING
CONCEPTUAL OFFSITE
ROADS AND SERVING

Victoria BC

Title

ESQUIMALT RD STA 3+000 TO 3+130
PLAN AND PROFILE

Project No: 11281010
Revision: Sheet 01

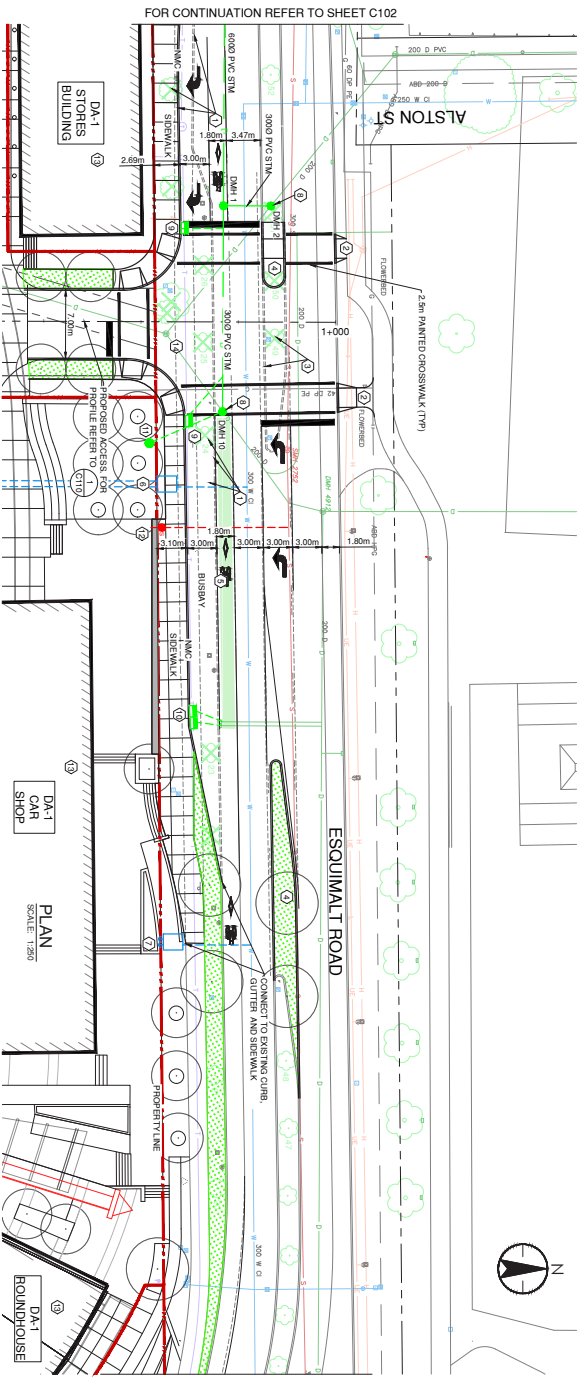
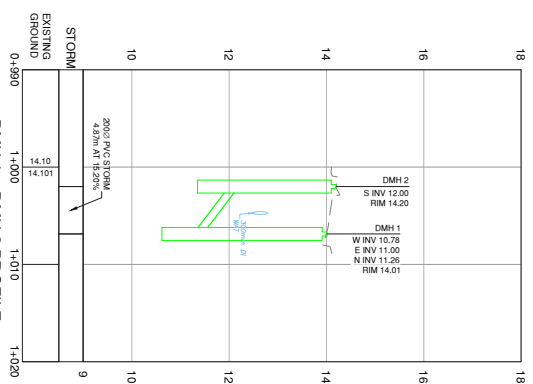
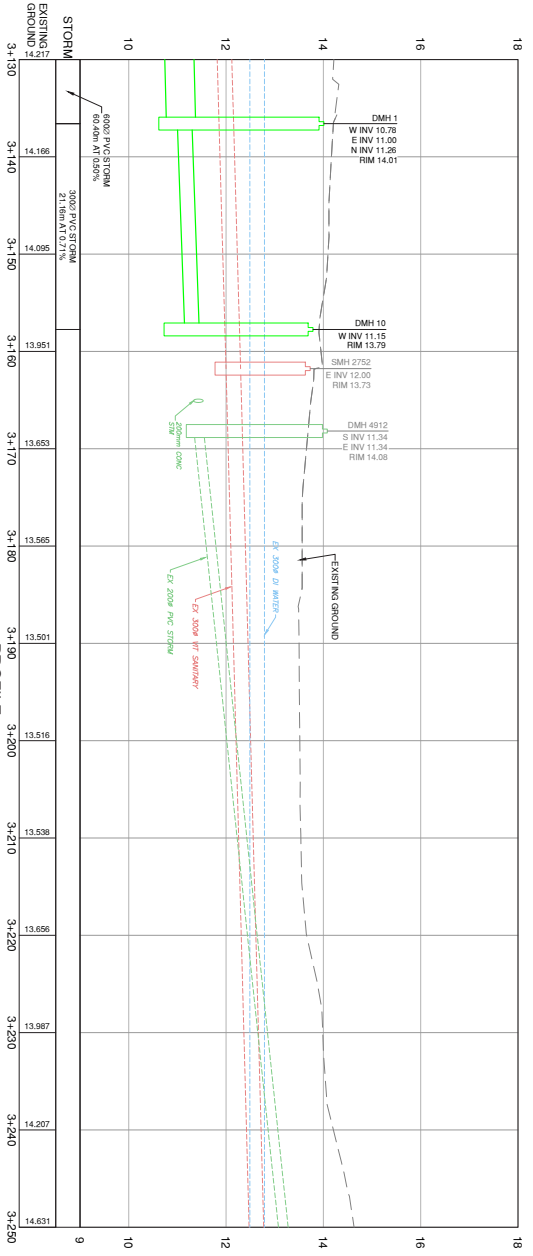
Scale

AS SHOWN

Drawing No: C102

Scale

FOR CONTINUATION REFER TO SHEET C103



- CONSTRUCTION NOTES:**
- REMOVE EXISTING CURB, GUTTER, ASPHALT, SIDEWALK, BOULEVARD, TREES AND REINSTATE WITH NEW WORKS SHOWN.
 - CONSTRUCT NEW SIDEWALK AND CURB LETTOWNS.
 - REMOVE EXISTING CURB, GUTTER AND TREES TO SUIT NEW WORKS SHOWN.
 - CONSTRUCT NEW KERB TO SUIT NEW WORKS.
 - CONSTRUCT NEW CONCRETE BUS STOP AND BIKE PATH.
 - INSTALL 1500 PVC DOMESTIC WATER SERVICE AND 2000 FIBRE SERVICE BACKFLOW PREVENTION WATER AND WALK TALL BY CITY OF VICTORIA FORCES OF FLUID FOR SERVING.
 - INSTALL 1500 PVC DOMESTIC WATER SERVICE AND 2000 FIBRE SERVICE BACKFLOW PREVENTION WATER AND WALK TALL BY CITY OF VICTORIA FORCES AT DEVELOPER'S EXPENSE.
 - INSTALL OVERHEAD MANHOLE ON EXISTING 2000 MAIN.
 - INSTALL NEW CATCHBASIN AND 1500 PVC LEADS AND CONNECT TO EXISTING CATCHBASIN LEADS.
 - INSTALL NEW CATCHBASIN AND 1500 PVC LEADS AND CONNECT TO EXISTING CATCHBASIN LEADS.
 - INSTALL 2000 PVC MAIN SERVICE C/W STORMWATER REHABILITATION UNIT (SRU) INV AT PROPERTY LINE = +11.50M.
 - INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER BY CITY OF VICTORIA FORCES AT DEVELOPER'S EXPENSE. INV AT PROPERTY LINE = +12.30M.
 - ANY SANITARY SERVICE TO THE CAR SHOP, ROUNDHOUSE AND/OR STORES BUILDING MAY REQUIRE PLUMBING TPO.
 - EXISTING CITY OF VICTORIA STORM DRAIN AND R.O.W. TO BE REMOVED FROM CATHERINE ST AS SHOWN.
 - NEW INTERSECTION CONFLICT WITH TRAFFIC SIGNALS AND NEW LIGHTING DETAILS TO BE DETERMINED AT TIME OF DETAILED DESIGN.

FOR CONTINUATION REFER TO SHEET C102

FOR CONTINUATION REFER TO SHEET C104

DA-1 STORES BUILDINGS

ALSTON ST

ESCUMALT ROAD

DA-1 SHOP

DA-1 ROUNDHOUSE

PLAN SCALE: 1:250

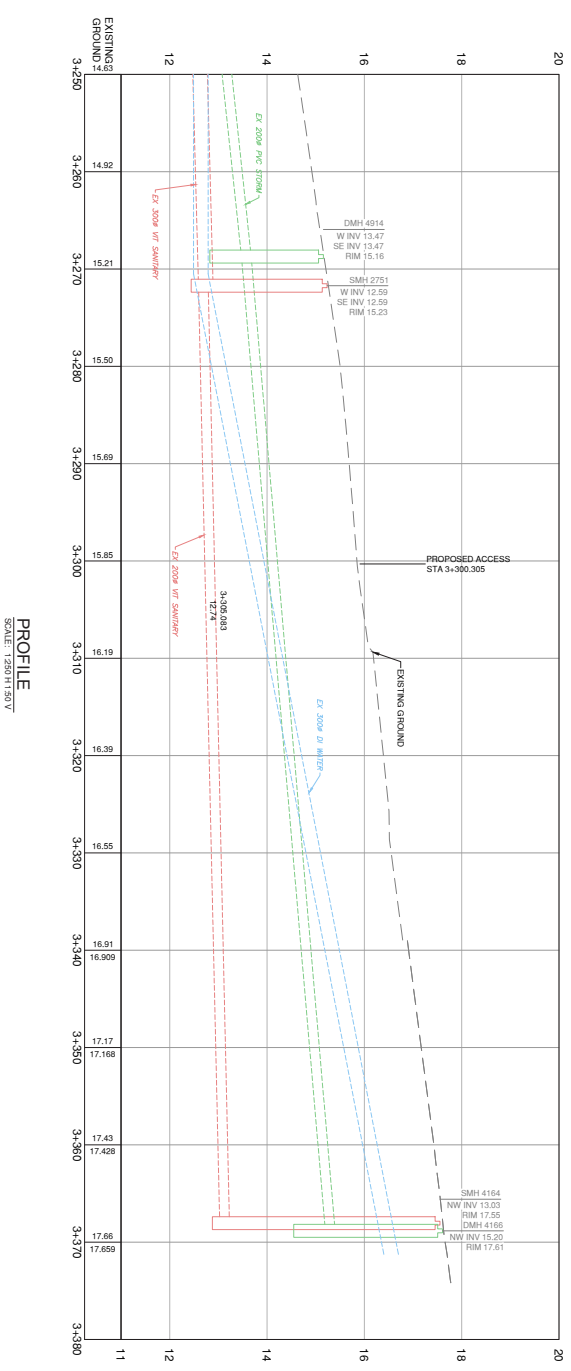
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ROUNDHOUSE REZONING CONCEPTUAL OFFSITE ROADS AND SERVICING

ESQUIMALT RD STA 3+130 TO 3+250 PLAN AND PROFILE

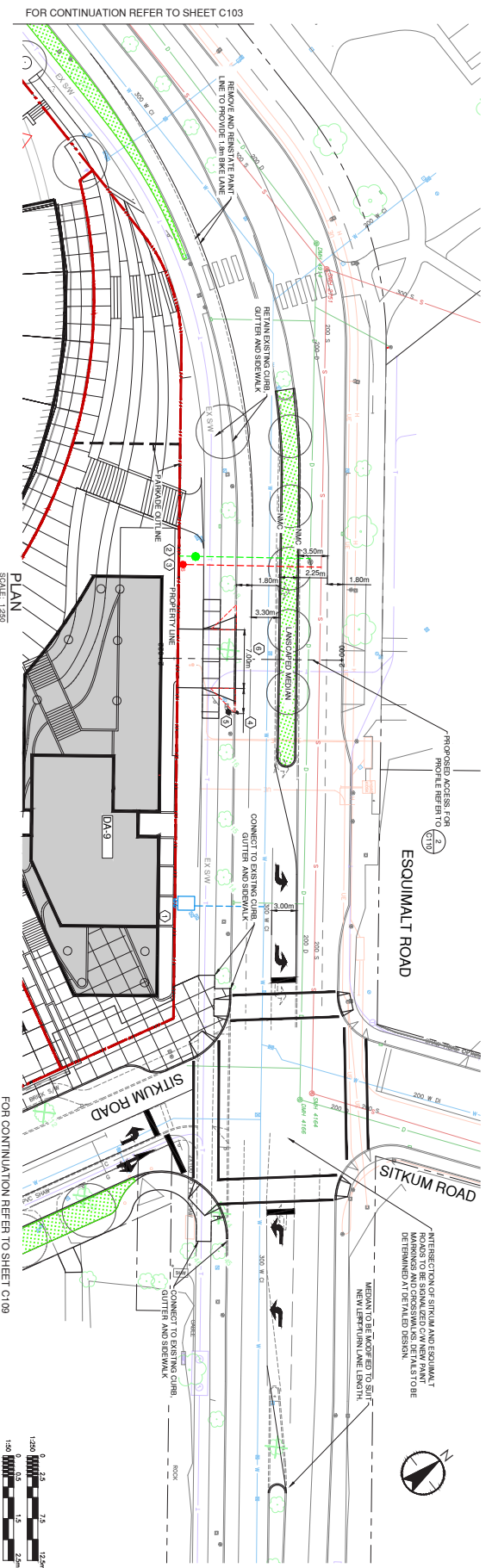
Project No: 11281010 Scale: AS SHOWN

Revision: Sheet of Drawing No: C103



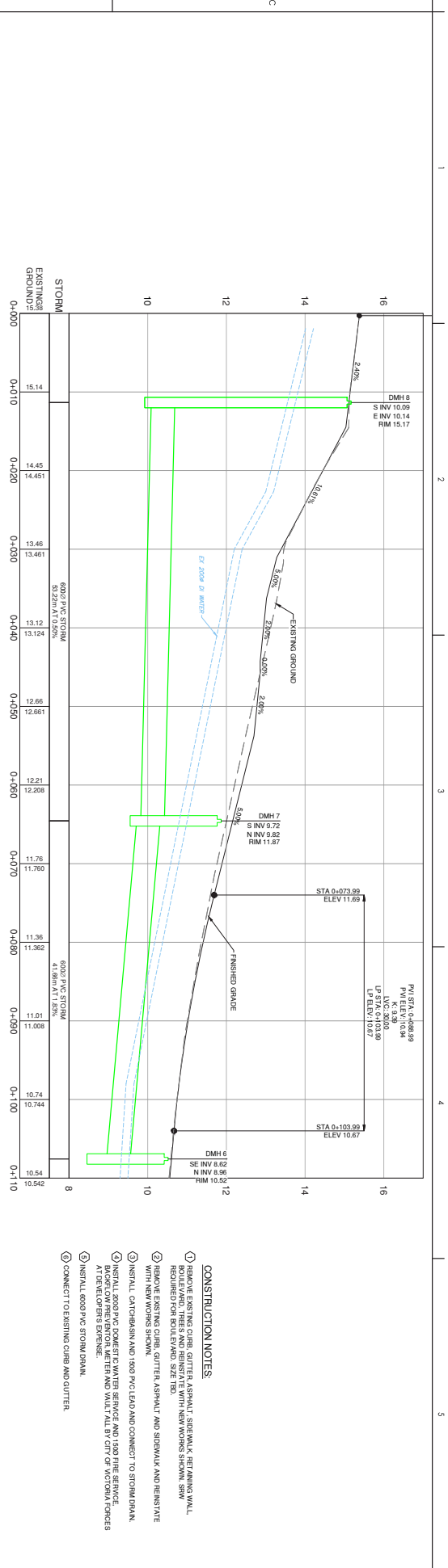
PROFILE
SCALE: 1:200 (1"=20')

- CONSTRUCTION NOTES:**
- ① INSTALL 2000 PVC DOMESTIC WATER SERVICE AND 1600 FIBRE SERVICE BACKFLOW PREVENTION METER AND VALVE TAIL BY CITY OF VICTORIA FORCES IN DEPENDENT SERVICE.
 - ② INSTALL 2000 PVC DOMESTIC SERVICE C/W STOP/WATER REGULATION UNIT IN DEPENDENT SERVICE.
 - ③ INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER BY CITY OF VICTORIA FORCES IN DEPENDENT SERVICE. INVAIT PROPERTY LINE = 13.44m.
 - ④ 300mm SPENT TRUNKLINE, TYPICAL BOTH SIDES.
 - ⑤ RELOCATE EXISTING STREET LIGHT.
 - ⑥ CONSTRUCT NEW CONCRETE DRIVEWAY TO CITY OF VICTORIA STANDARDS. SEE PROFILE 2 ON SHEET C10.



PLAN
SCALE: 1:250

<p>Revision</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Description	Date				<p>Permitted/Not Permitted</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Description	Date				<p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p>Not for permits, pricing or other official purposes. This document has not been prepared for use as a contract and shall be governed by the conditions of sale.</p>	<p>Condition</p>	<p>Client/Project Logo</p>	<p>Identify/Project</p> <p>FOCUS EQUITIES LTD.</p> <p>ROUNDHOUSE REZONING CONCEPTUAL OFFSITE ROADS AND SERVICING</p> <p>Victoria BC</p>	<p>Title</p> <p>ESQUIMALT RD STA 3+250 TO 3+380 PLAN AND PROFILE</p>
No.	Description	Date																
No.	Description	Date																
<p>Project No. 11281010</p> <p>Revision Sheet 01</p>		<p>Scale AS SHOWN</p> <p>Drawing No. C104</p>		<p>Stattec</p> <p>Stattec Consulting Ltd. Victoria BC V8A 4A5 www.stattec.com</p> <p>Copyright Reserved</p>			<p>Date: 2022/09/09</p> <p>Scale: 1:250</p>											

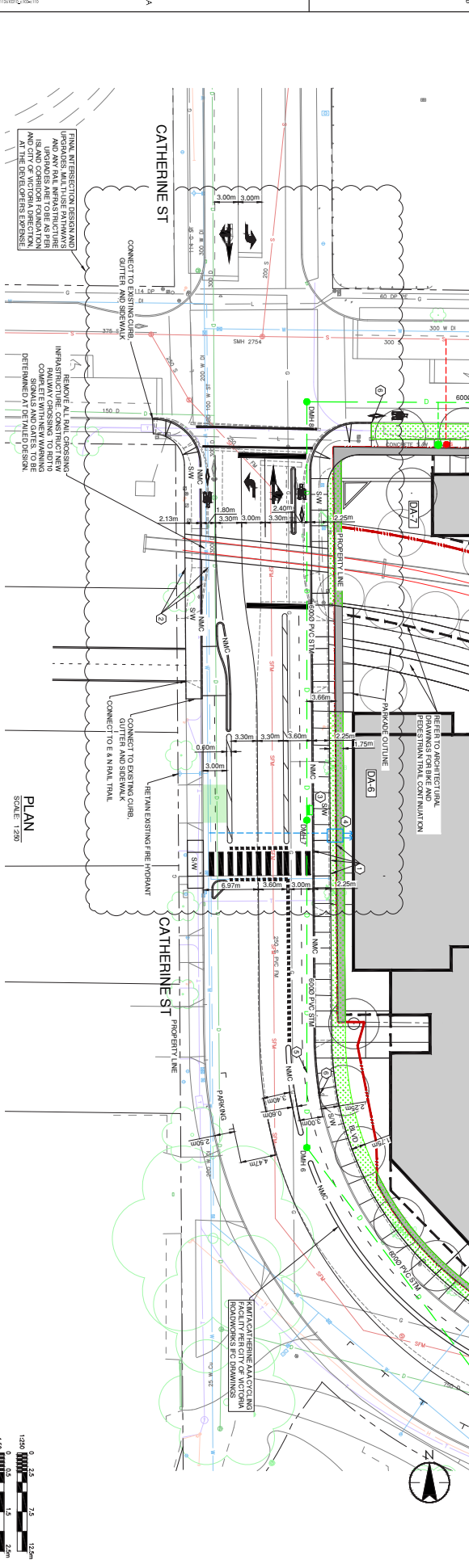


FOR CONTINUATION REFER TO SHEET C102

PROFILE
SCALE: 1:250 (1"=50')

FOR CONTINUATION REFER TO SHEET C106

- CONSTRUCTION NOTES:**
- REMOVE EXISTING CURB, GUTTER, ASPHALT SIDEWALK, REMAINING WALL, ROULETARD, TREES AND RESTITUTE WITH NEW WORKS SHOWN. SWM RECONSTRUCTION ROULETARD, SEE BID.
 - REMOVE EXISTING CURB, GUTTER, ASPHALT AND SIDEWALK AND RESTITUTE WITH NEW WORKS SHOWN.
 - INSTALL CATCHBASIN AND 1800 PVC LEAD AND CONNECT TO STORM DRAIN.
 - INSTALL 2000 PVC DOWNSTRET WATER SERVICE AND 180 FINE SERVICE AND CONNECT TO EXISTING WATER MAIN. VALVE SHALL BE CITY OF VICTORIA FORCES AT THE OFFICERS' EXPENSE.
 - INSTALL 8000 PVC STORM DRAIN.
 - CONNECT TO EXISTING CURB AND GUTTER.



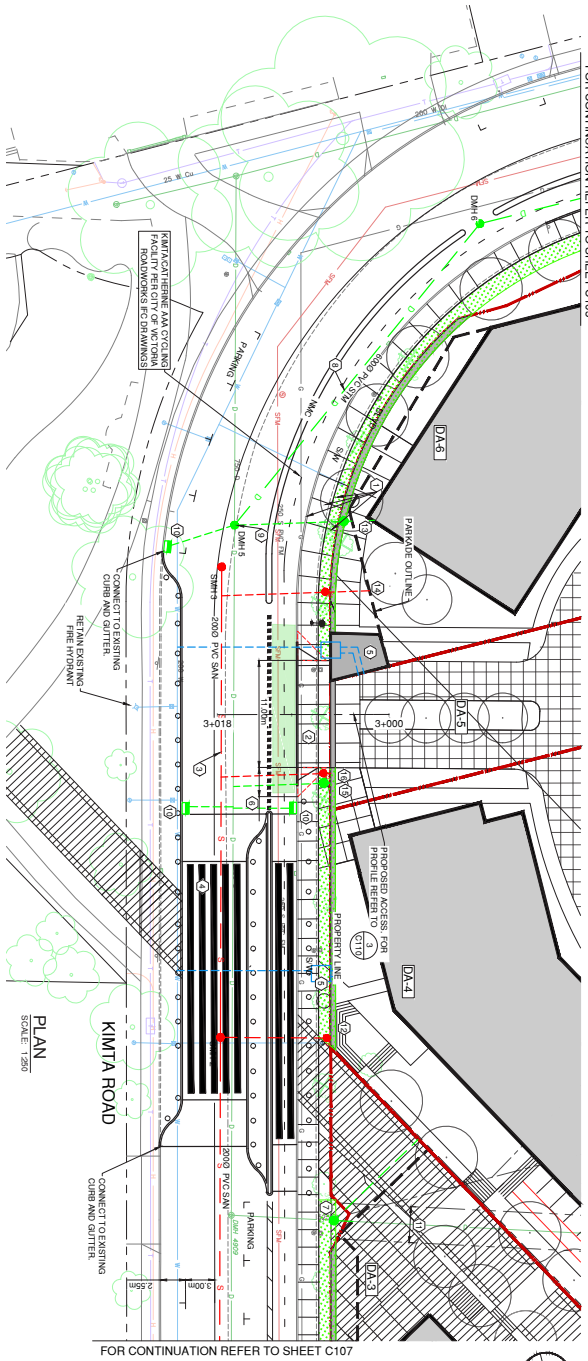
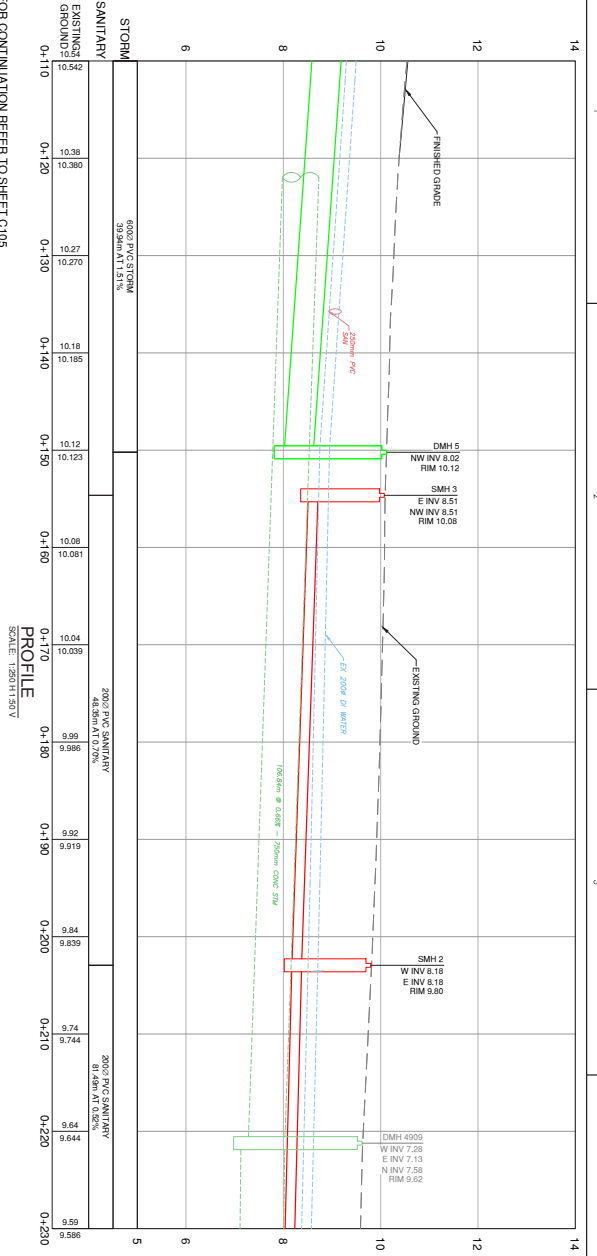
FINAL INTERSECTION DESIGN AND UPGRADES MUST BE SUBMITTED TO THE CITY OF VICTORIA FOR REVIEW AND APPROVAL. UPGRADES MUST BE AS PER ISLAND CORRIDOR FOUNDATION AND MUST BE COMPLETED AT THE OFFICERS' EXPENSE.

REMOVE ALL FINAL CROSSING INFRASTRUCTURE INCLUDING CURB, GUTTER AND SIDEWALK TO BE DETERMINED BY DETAILED DESIGN.

REFER TO ARCHITECTURAL DRAWINGS FOR BEE AND RESTITUTE FINAL CONSTRUCTION PARKING AREA OUTLINE.

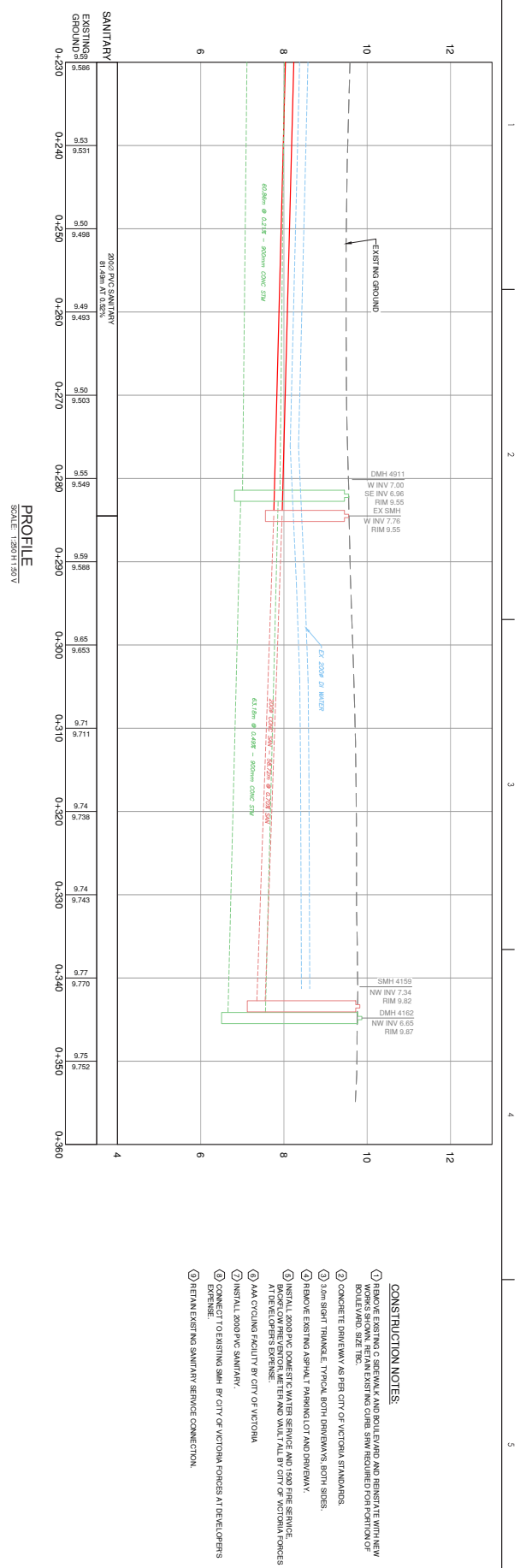
REFER TO ARCHITECTURAL DRAWINGS FOR FACILITY PERMITS OR VICTORIA ROADWORKS ETC DRAWINGS.

<p>Revision</p> <table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>1</td> <td>ISSUED FOR PERMITS</td> <td>11/28/2020</td> </tr> <tr> <td>2</td> <td>FOR CONSTRUCTION</td> <td>11/28/2020</td> </tr> </table>	No.	Description	Date	1	ISSUED FOR PERMITS	11/28/2020	2	FOR CONSTRUCTION	11/28/2020	<p>Permit/Scale</p> <p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p>Not for permits, pricing or other official purposes. This document has not been generated for construction purposes.</p>	<p>Condition</p>	<p>Client/Project Logo</p>	<p>Client/Project</p> <p>FOCUS EQUINES LTD. ROUNDHOUSE REZONING CONCEPTUAL OFFSITE ROADS AND SERVICING VICTORIA BC</p>	<p>Title</p> <p>CATHERINE ST STA 0+000 TO 0+100 PLAN AND PROFILE</p>
No.	Description	Date												
1	ISSUED FOR PERMITS	11/28/2020												
2	FOR CONSTRUCTION	11/28/2020												
<p>Project No.</p> <p>11281010</p>	<p>Scale</p> <p>AS SHOWN</p>	<p>Revision</p> <p>Sheet</p> <p>d1</p>	<p>Drawing No.</p> <p>C105</p>	<p>Stattec</p> <p>Stattec Consulting Ltd. Suite 200 1000-10th Street Victoria BC V8A 2A5 www.stattec.com</p> <p>Copyright Reserved</p>	<p>DATE: SEPTEMBER 9, 2022 FILE: APP-G-SITE-SERVICING-REZ00729-20220909.INDD</p>									

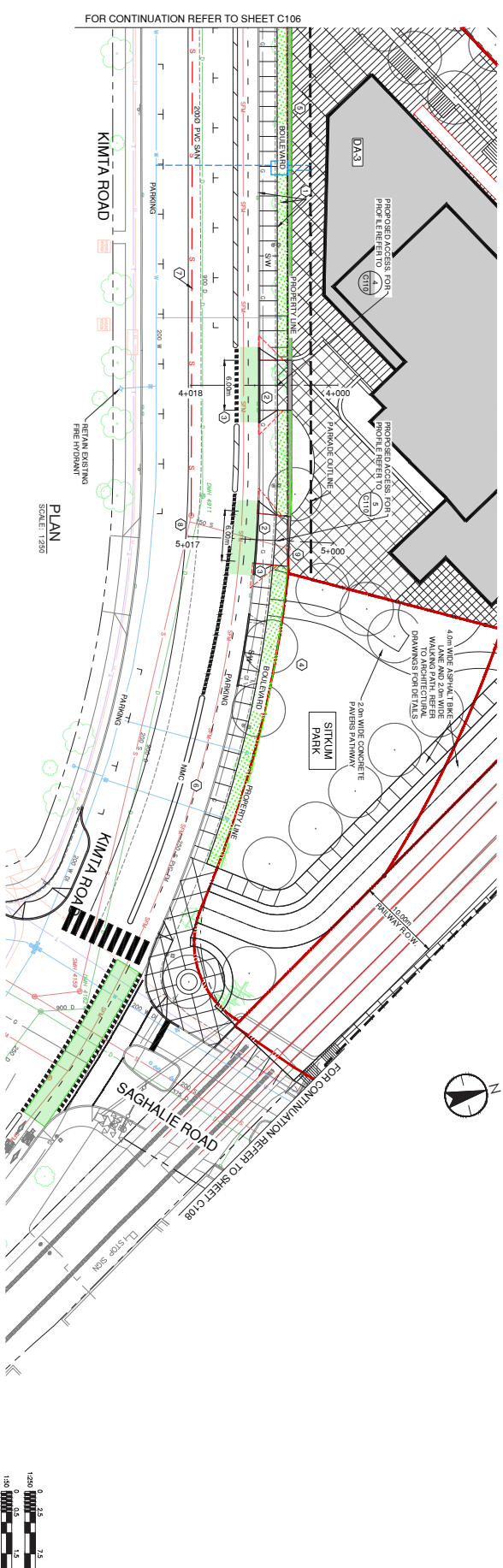


- CONSTRUCTION NOTES:**
1. REMOVE EXISTING CURB AND REGRADE EXISTING SIDEWALK. RETAINING WALL, BOLLARDS, TREES AND REINSTATE WITH NEW WORKS AS SHOWN. SHW REQUIRED FOR BOLLARDS. SIZE TO BE DETERMINED.
 2. CONCRETE DRIVEWAY AS PER CITY OF VICTORIA STANDARDS.
 3. INSTALL 2000 PVC SANITARY.
 4. CONSTRUCT RASSED PESTRUM CROSSING, SHIFTS AND FINAL DETAILS TO BE DETERMINED.
 5. INSTALL 2000 PVC DOMESTIC WATER SERVICE AND 1500 FIRE SERVICE BACKFLOW PREVENTOR METER AND MOUNT TALL BY CITY OF VICTORIA FORCES AT DEVELOPER'S EXPENSE.
 6. 3.0m SIGHT TRIANGLE, TYPICAL BOTH SIDES.
 7. INSTALL STORMWATER REHABILITATION UNIT (SRU) ON EXISTING 6000 STORM DRAIN. PROVIDE 2000 SERVICE CONNECTIONS. CONNECT TO THE NEW SRU. NW AT PROPERTY LINE = 8.00m.
 8. INSTALL 6000 PVC STORM DRAIN.
 9. INSTALL NEW DRAIN MANHOLE ON EXISTING 7500 STORM DRAIN.
 10. INSTALL NEW CATCHBASIN AND 1500 PVC LEAD AND CONNECT TO EXISTING STORM DRAIN.
 11. EXISTING CITY OF VICTORIA STORM DRAIN AND R.O.W. TO BE REMOVED FROM PROPERTY STORM DRAIN TO BE REROUTED ALONG BROADMILL RD AND CHURCH ST AS SHOWN.
 12. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 13. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 14. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 15. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 16. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 17. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 18. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 19. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.
 20. INSTALL 2000 PVC SANITARY SERVICE C/W INSPECTION CHAMBER. NW AT PROPERTY LINE = 8.00m.

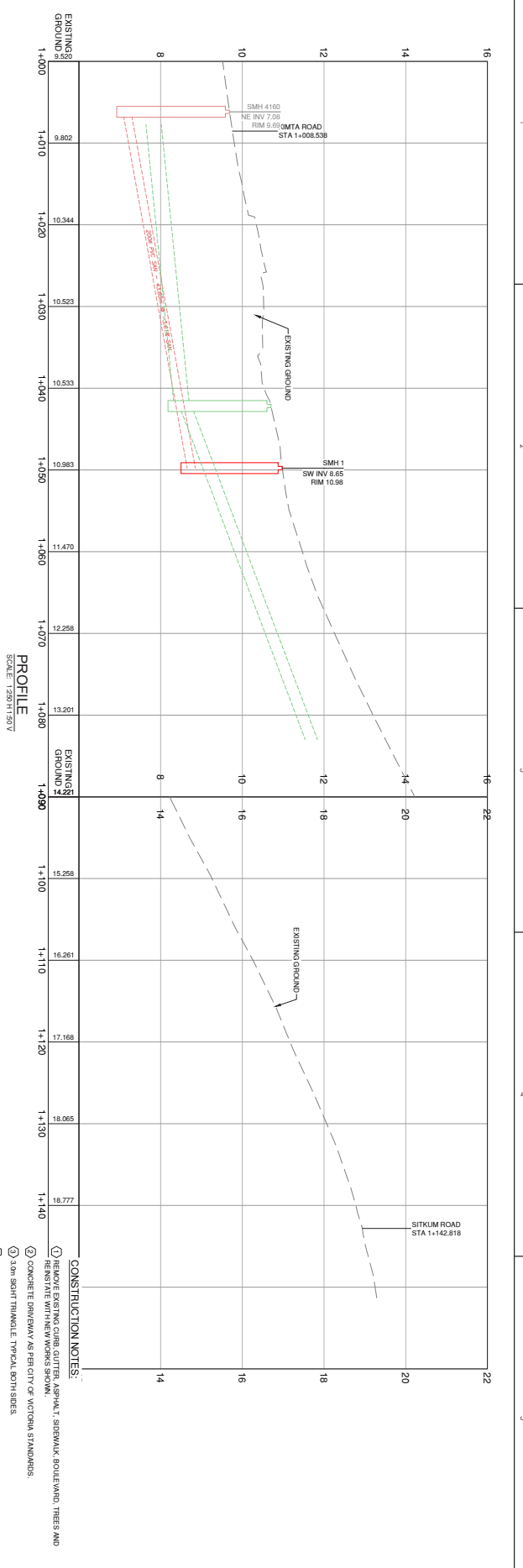
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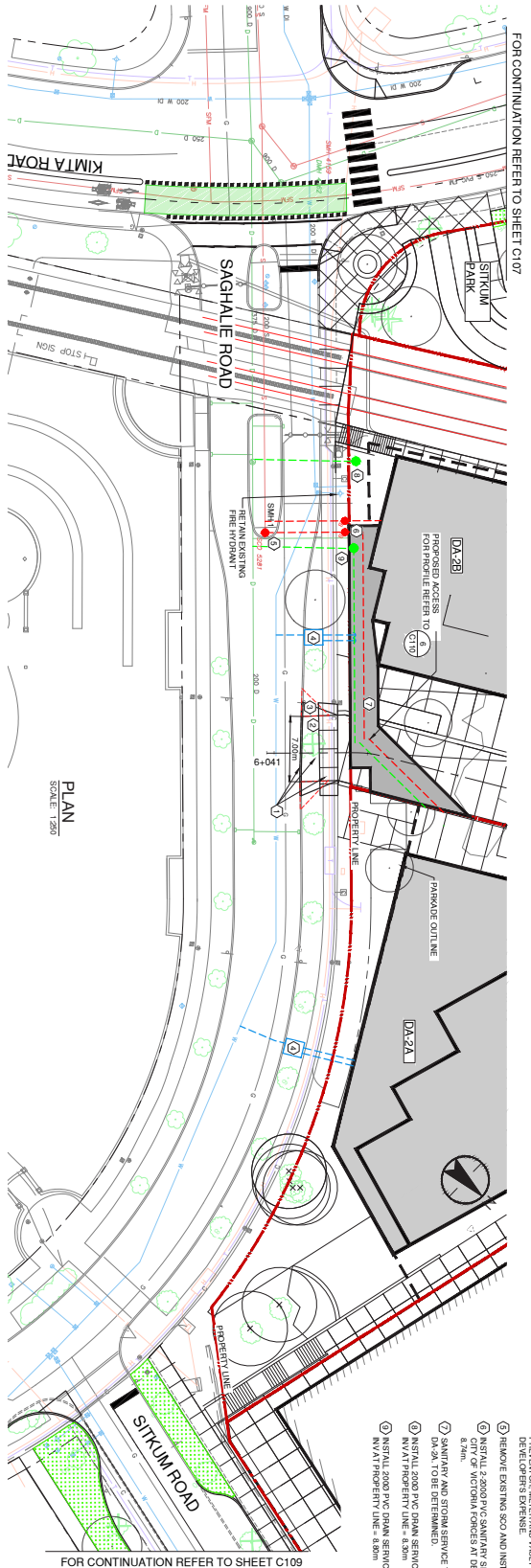
- CONSTRUCTION NOTES:**
- REMOVE EXISTING CURB WALL AND BOULEVARD AND REINSTATE WITH NEW BOULEVARD, 3.6M AND 3.0M CONC. SWH (AS SHOWN) 1.5M STRIP ON 1.5M STRIP.
 - CONCRETE DRIVEWAY AS PER CITY OF VICTORIA STANDARDS.
 - 3.0M SIGHT TRIANGLE, TYPICAL BOTH DIRECTIONS, BOTH SIDES.
 - REMOVE EXISTING ASPHALT PARKING LOT AND DRIVEWAY.
 - INSTALL 2000 PVC DOWNER TO WATER SERVICE AND 1500 FIBRE SERVICE BRIDGE OVER FIRE SERVICE METER AND VALVE TALL BY CITY OF VICTORIA FORCES AT EXISTING SERVICE.
 - 4M CYCLING FACILITY BY CITY OF VICTORIA.
 - INSTALL 2000 PVC SANITARY.
 - CONNECT TO EXISTING SMH BY CITY OF VICTORIA FORCES AT DEVELOPERS EXPENSE.
 - RETAIN EXISTING SANITARY SERVICE CONNECTION.



<p>Revision</p> <table border="1"> <tr><th>No.</th><th>Description</th><th>By</th><th>Date</th></tr> <tr><td>1</td><td>ISSUE FOR PERMITS</td><td>AS</td><td>2022/09/09</td></tr> <tr><td>2</td><td>REVISED SUBMITTAL</td><td>AS</td><td>2022/09/09</td></tr> <tr><td>3</td><td>REVISED SUBMITTAL</td><td>AS</td><td>2022/09/09</td></tr> </table>	No.	Description	By	Date	1	ISSUE FOR PERMITS	AS	2022/09/09	2	REVISED SUBMITTAL	AS	2022/09/09	3	REVISED SUBMITTAL	AS	2022/09/09	<p>Permitted/Scale</p> <p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p>Not for permits, pricing or other official purposes. This document has not been prepared for or on behalf of a client and is not intended to be relied upon for any purpose.</p>	<p>Condition</p>	<p>Client/project logo</p>	<p>Client/project</p> <p>FOCUS EQUITIES LTD. ROUNDHOUSE REZONING CONCEPTUAL OFFSITE ROADS AND SERVICING VICTORIA BC</p>	<p>Title</p> <p>KIMTA RD STA 0+230 TO 0+360 PLAN AND PROFILE</p>
No.	Description	By	Date																		
1	ISSUE FOR PERMITS	AS	2022/09/09																		
2	REVISED SUBMITTAL	AS	2022/09/09																		
3	REVISED SUBMITTAL	AS	2022/09/09																		
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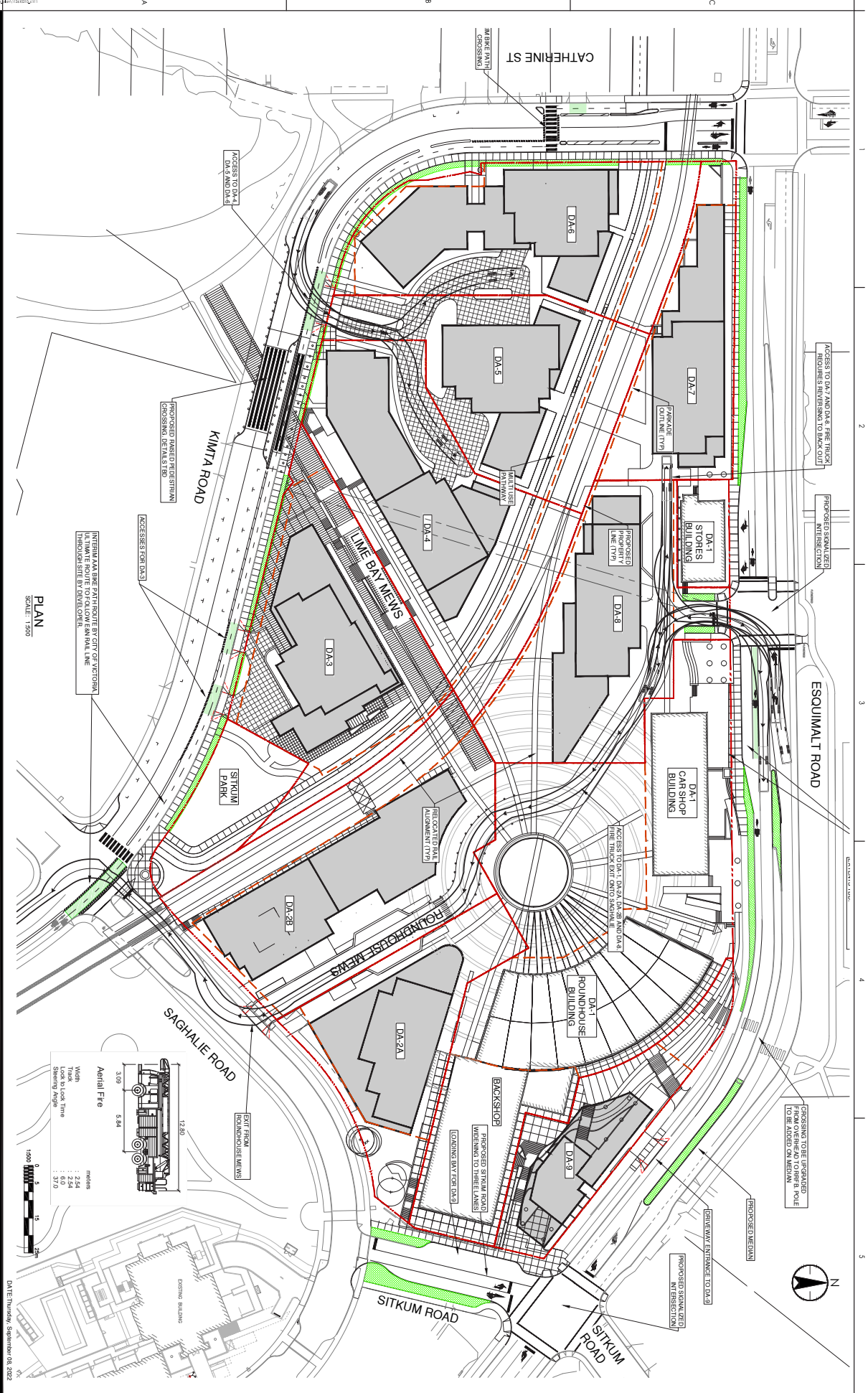
PROFILE
SCALE: 1:200 H.T. 1/30 V.



PLAN
SCALE: 1:200

- CONSTRUCTION NOTES:**
- ① REMOVE EXISTING CURB AND GUTTER, ASPHALT, SIDEWALK, BOULEVARD, TREES AND REINSTATE WITH NEW WORK AS SHOWN.
 - ② CONCRETE DRIVEWAY AS PER CITY OF VICTORIA STANDARDS.
 - ③ 3.0% SHORT TRIANGLE TYPICAL BOTH SIDES.
 - ④ INSTALL 2000 PVC DOMESTIC WATER SERVICE AND 1500 FPE SERVICE BACKFLOW PREVENTOR, WATER AND VALVE FALL BY CITY OF VICTORIA FORCES AT 8.75M TO 8.9M SERVICE.
 - ⑤ REMOVE EXISTING SOD AND INSTALL NEW MANHOLE.
 - ⑥ INSTALL 2,000 PVC SANITARY SERVICE AT 1.0% C/W INSPECTION CHAMBER BY 8.75M.
 - ⑦ SANITARY AND STORM SERVICE TO D-2A REQUIRES AS EASEMENT THROUGH D-2A-2 TO BE DETERMINED.
 - ⑧ INSTALL 2000 PVC DRAIN SERVICE CW STORMWATER REHABILITATION UNIT SRU, INV AT PROPERTY LINE = 4.80M.
 - ⑨ INSTALL 2000 PVC DRAIN SERVICE CW STORMWATER REHABILITATION UNIT SRU, INV AT PROPERTY LINE = 4.80M.

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