




# DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2024.11.22

Design Team


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Revisions

Received Date:  
November 26, 2024



6th Floor, 220 - 12th Avenue SW  
Calgary, AB, Canada T2P 0E9  
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COVER SHEET

DISCOVERY STREET SUPPORTIVE HOUSING  
722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING  
22 | 243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

SCALE	DATE
DRAWN BY: MD/AN/KM	11/27/2024 9:29:38 AM
CHECKED BY: CZ	

DRAWING NO.  
DP0.0

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Municipal Address

722 and 726 DISCOVERY STREET  
VICTORIA, B.C.  
CANADA

Legal Address

LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151

By-Law Zoning

CURRENT ZONING: R-108 MULTIPLE DWELLING  
PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)

Site Summary

SITE AREA: 1,348.6m<sup>2</sup> (0.33 ac)  
PROPOSED BUILDING FOOTPRINT: 573.00 m<sup>2</sup>  
PROPOSED BICYCLE ENCLOSURE: 62.00 m<sup>2</sup>  
TOTAL FOOTPRINT: 635.00m<sup>2</sup>

Site Coverage

SITE AREA: 1,348.6m<sup>2</sup> (0.33 ac)  
SITE COVERAGE: 613.00m<sup>2</sup> (45.4%)  
OPEN SITE SPACE: 735.6m<sup>2</sup> (54.6%)

By-Law Setback

PROPOSED BUILDING SETBACKS  
FRONT (DISCOVERY STREET): 10.0m  
REAR (NORTH): 4.0m  
SIDE (EAST): 2.5m  
SIDE (WEST): 3.0m

Proposed Development

REST HOME - CLASS C (SUPPORTIVE HOUSING)  
BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE:  
BUILDING 'C': GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

Building Height

MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m  
MAXIMUM ALLOWABLE PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT:  
• PARAPETS: 1.0m  
• ROOFTOP STRUCTURES: 5.0m  
PROPOSED BUILDING HEIGHT: +/-27.0m  
PROPOSED PARAPET HEIGHT: +/-1.0m  
PROPOSED ROOFTOP STRUCTURES: +/-2.1m  
TOTAL PROPOSED BUILDING HEIGHT: 29.4m

Floor Space Ratio

MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.
3.5	3.34

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	GFA (SQM)
LEVEL 1	613
LEVEL 2	581
LEVEL 3	581
LEVEL 4	581
LEVEL 5	581
LEVEL 6	581
LEVEL 7	581
LEVEL 8	581
TOTAL GFA	4,680

Dwelling Unit Count

UNIT SUMMARY				
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY	% OF TOTAL
A1/A2	STUDIO	33-36	74	82%
A3	ACCESSIBLE STUDIO	34	8	8%
A3	ADAPTABLE STUDIO	34	8	8%
TOTAL			90	100.0%

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING					
DESCRIPTION	UNIT COUNT	AREA (m2)	FACTOR	REQUIRED	PROVIDED
UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18	0
UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9	0
EMPLOYEE AREAS	N/A	86	1 STALL PER 80 m2	1	0
TOTAL PARKING				28	0

NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.

NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPORTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.

Bicycle Parking Requirements

RESIDENTIAL - LONG TERM PARKING					
DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED	
UNIT COUNT	90	1 PER UNIT	90	30	

NOTE: LONG TERM PARKING COUNT INCLUDES:  
25 WALL MOUNTED BIKE STALLS  
5 FLOOR MOUNTED BIKE STALLS

RESIDENTIAL - SHORT TERM PARKING					
DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED	
UNIT COUNT	90	0.1	9	9	

Waste & Recycling Requirements

SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:

- 4yd<sup>3</sup> WASTE BIN
- 4yd<sup>3</sup> RECYCLE BIN
- TWO 189L ORGANICS BINS

NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.



1 Looking North-West  
DP0.1



2 Looking North  
DP0.1



3 Looking North-East  
DP0.1



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PROJECT STATISTICS & SITE PHOTOS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

22 | 243

NOT FOR  
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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

SCALE 1 : 50  
DATE 11/27/2024 9:29:55 AM  
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DISCOVERY STREET SUPPORTIVE HOUSING  
722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING  
221243

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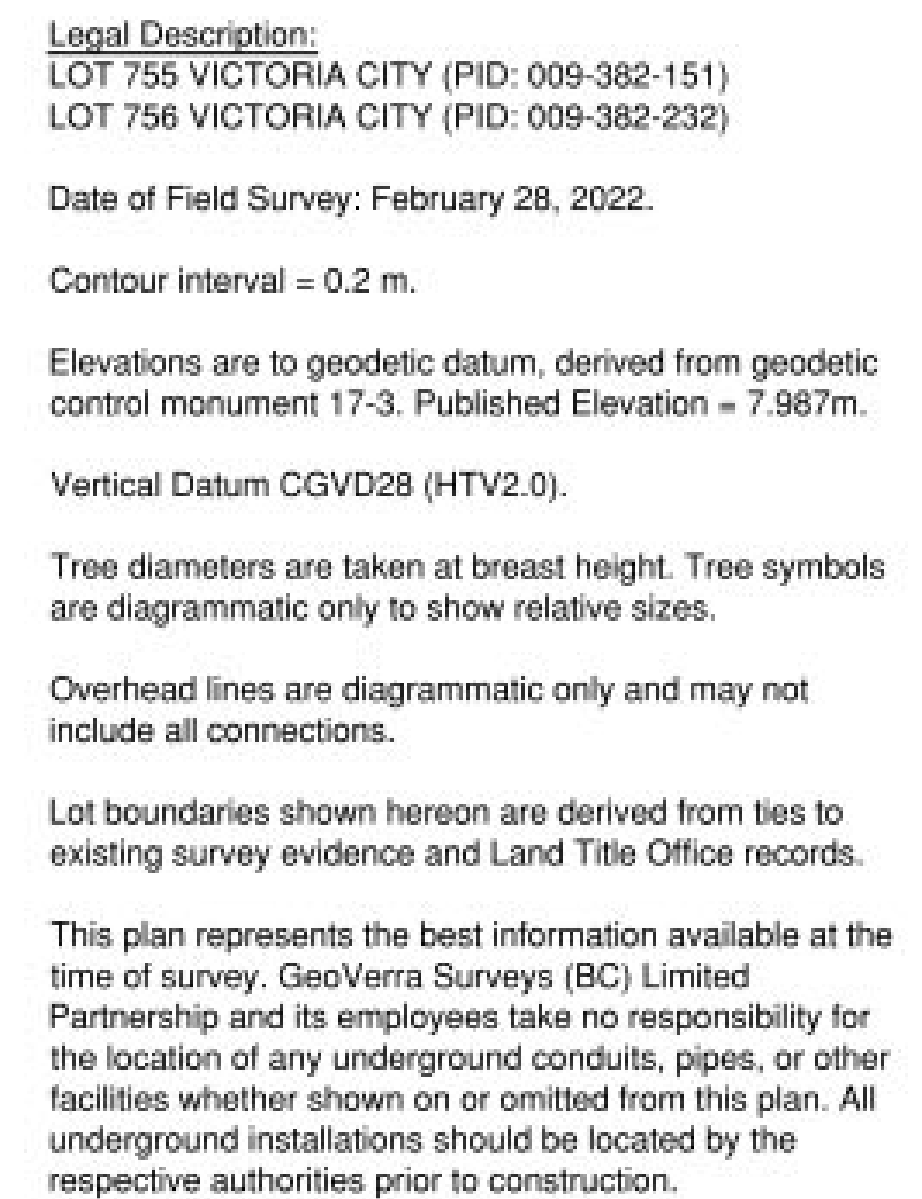
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DRAWING NO.

DP0.3



Geoffrey Hobbs  
QUCXHE

G.M. Hobbs, BCLS 752

						CLIENT:  BC HOUSING MANAGEMENT COMMISSION	  795 Market Street Victoria, BC • V8T 0B4 t: 250-342-9767 • www.geoverra.com	PROJECT: 722 & 726 DISCOVERY STREET VICTORIA, BC	TITLE:  TOPOGRAPHIC SURVEY	
								PROJECT NO: 22-00605	DRAWING NO:  22-00605-001-TOPO01-R1	
								SCALE: As-Noted		SHEET NO:
								DISCIPLINE: GEOMATICS		1 OF 1
1	2022-04-18	RESOLVED LOT BOUNDARIES	MLE	HC	CLIENT REF. NO:					
0	2022-03-09	ORIGINAL PLAN PREPARED	MLE	HC						
ISS/REV	YYYY-MM-DD	DESCRIPTION	DRN	CHK						

lotted: 4/15/2022 5:34 PM User: Hugo.Cristobal

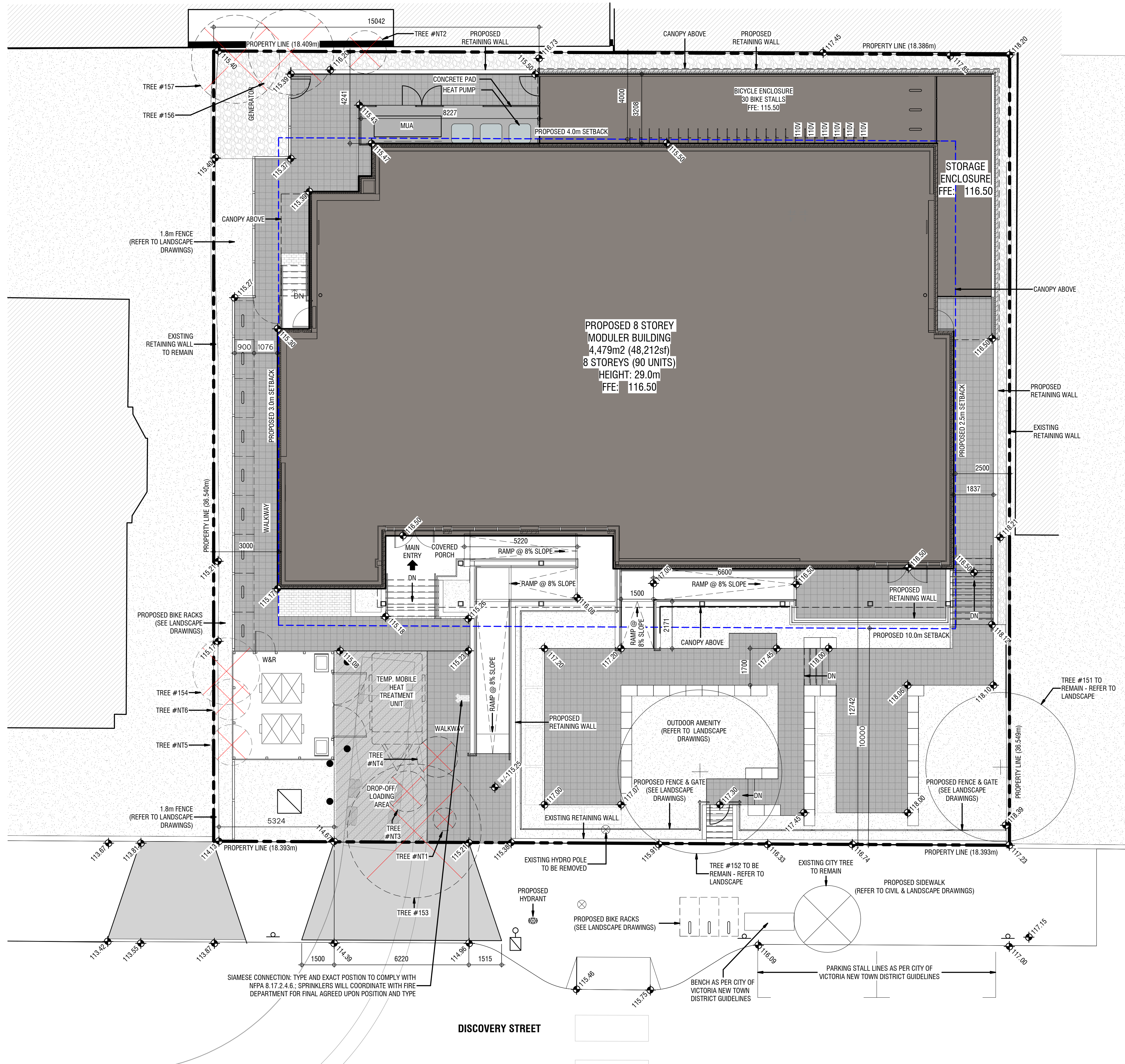


## Site Plan - General Notes

1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.
2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

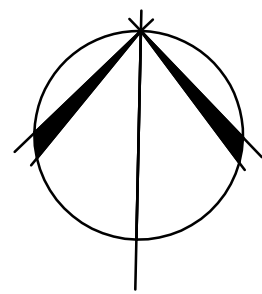
## Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF CONCRETE
- INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY
- INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA - REFER TO LANDSCAPING
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS



## 1 Site Plan

DP1.0 SCALE: 1:100



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## SITE PLAN

## DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

22/24/3

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18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

SCALE As Indicated  
DATE 11/27/2024 9:30:32 AM  
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DP1.0

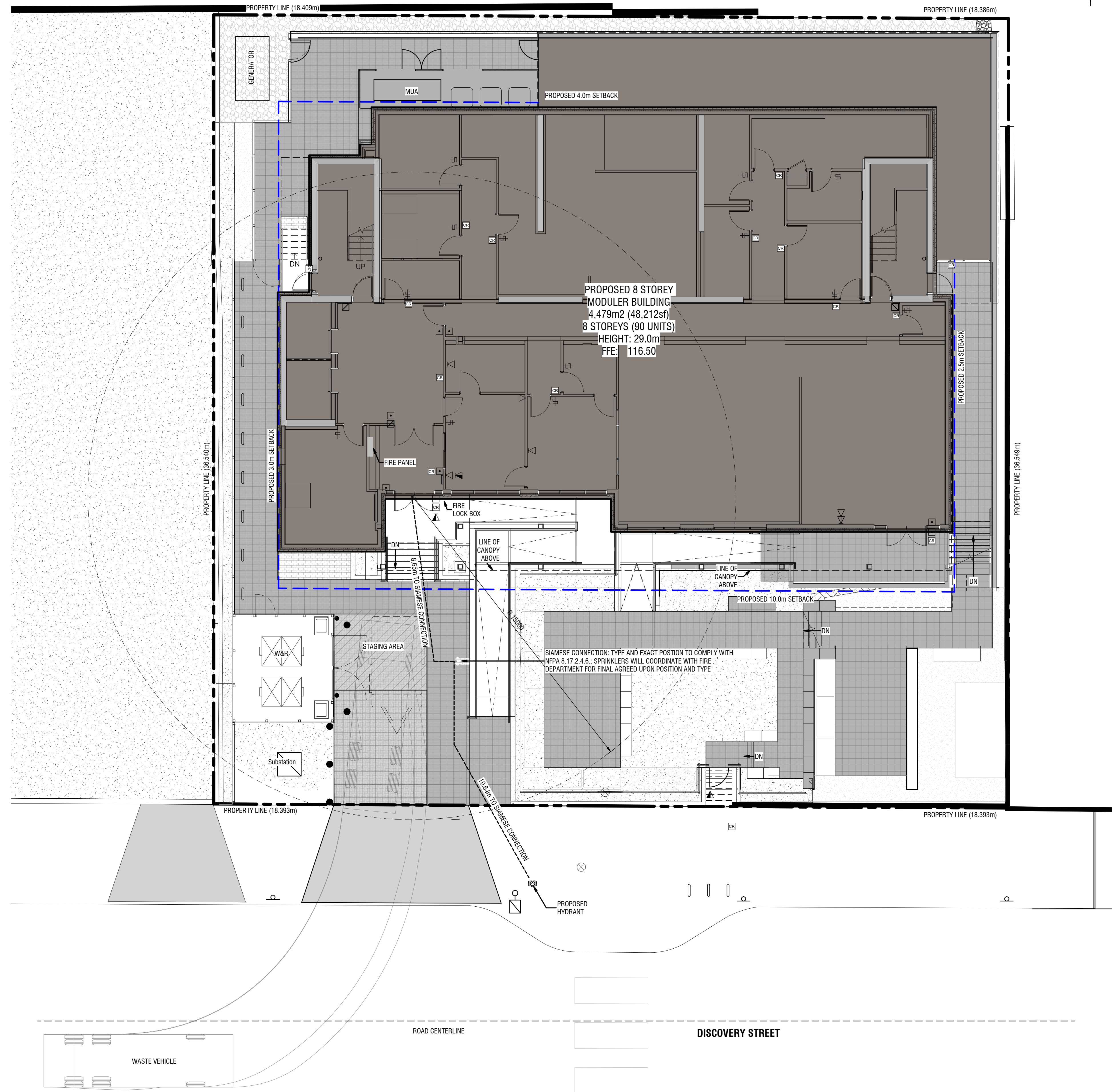


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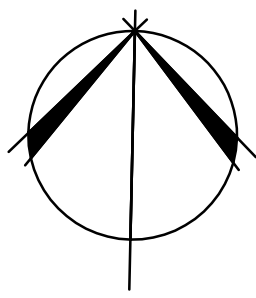
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## 1 Site Access Plan

DP1.1 SCALE: 1:100



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## W&R ACCESS AND FIRE CONNECTION PLAN

## DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

22/24/3

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REVISION	DATE
6 RE-ISSUED FOR DEVELOPMENT PERMIT	09.18.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE	As Indicated
DATE	11/27/2024 9:31:21 AM
DRAWN BY	MD/AN/KM
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DP1.1



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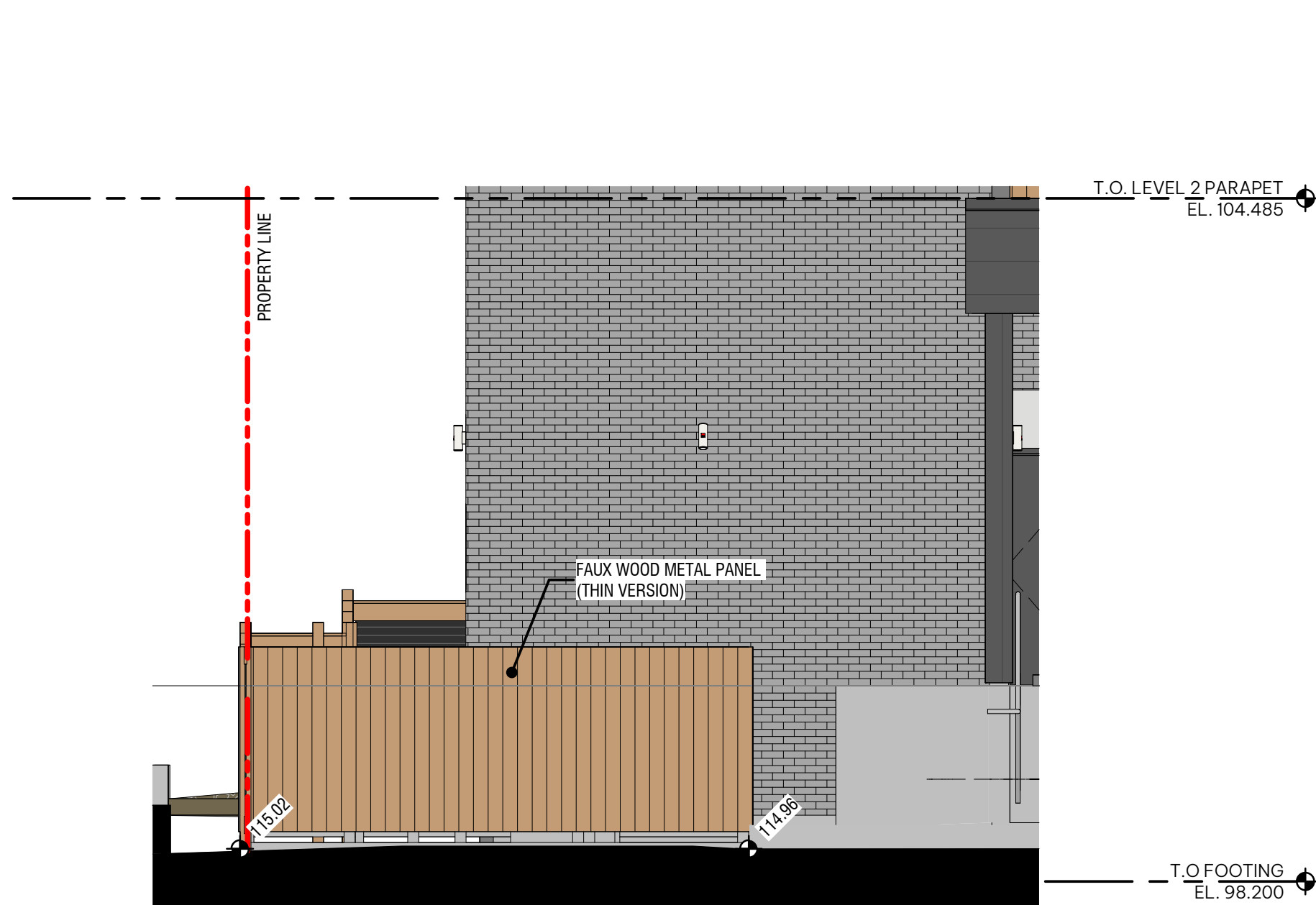
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10 LAND USE & D.P. SUBMISSION	04.29.2022
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

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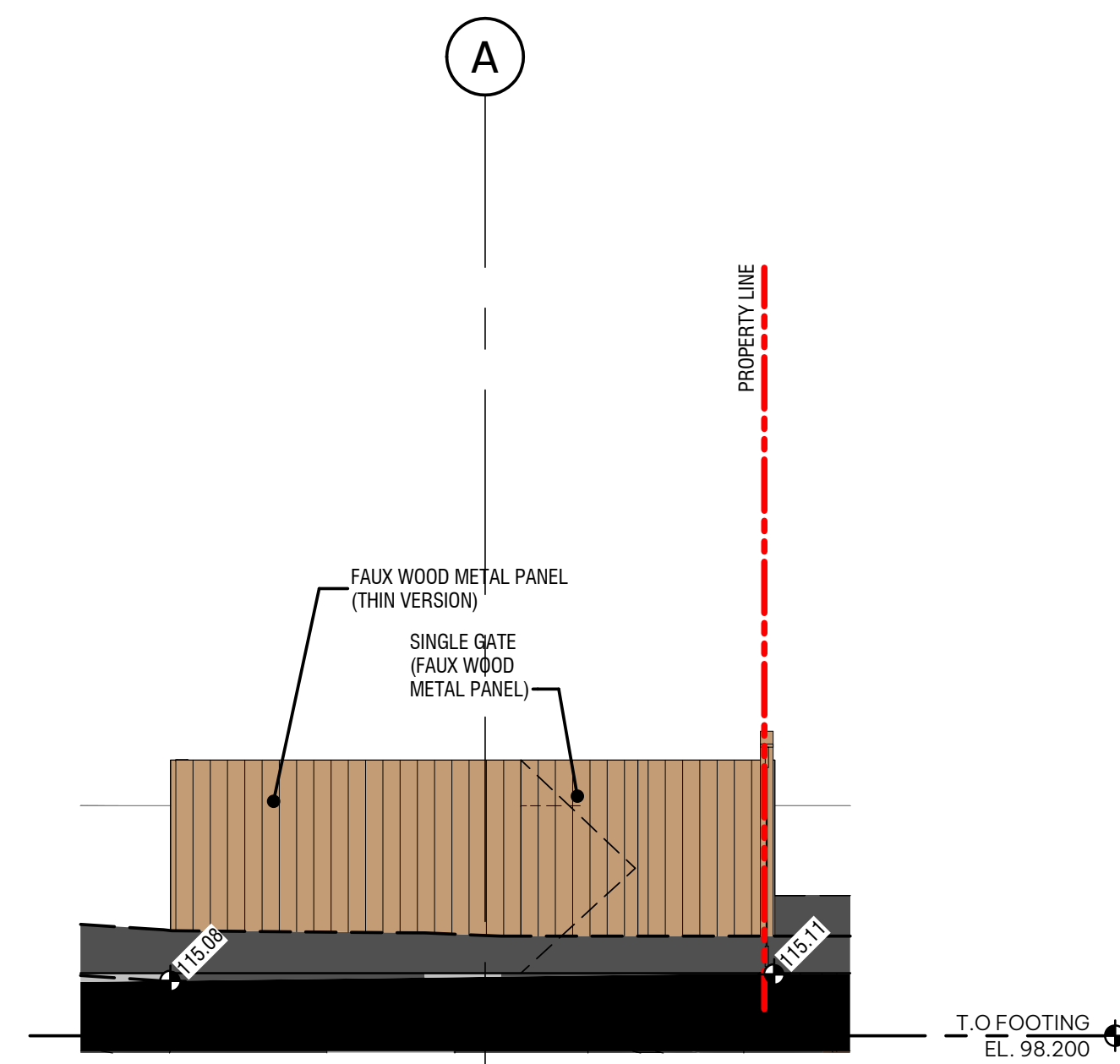
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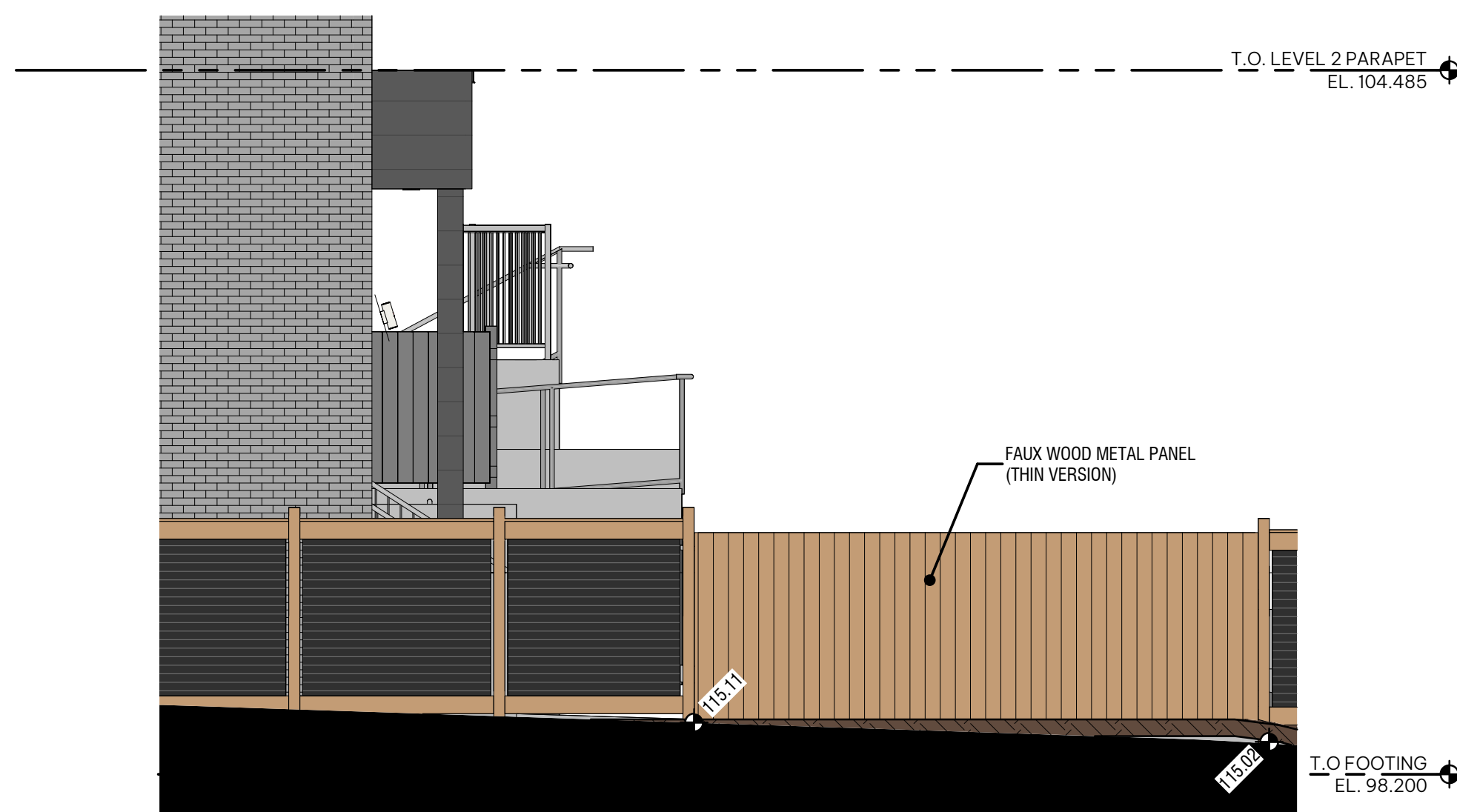
**1 Elevation A (South)**

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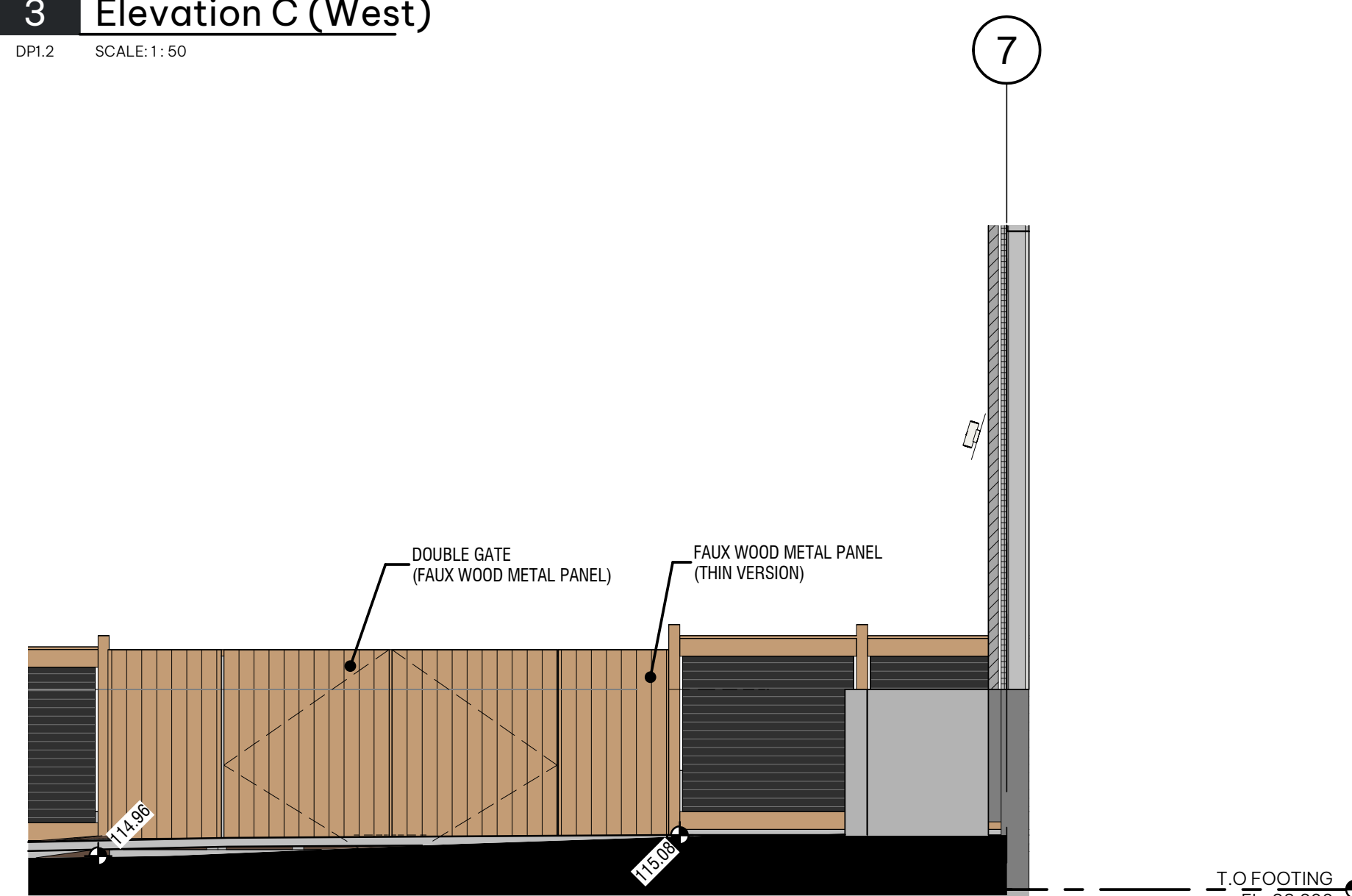
**2 Elevation B (North)**

DP1.2 SCALE: 1:50



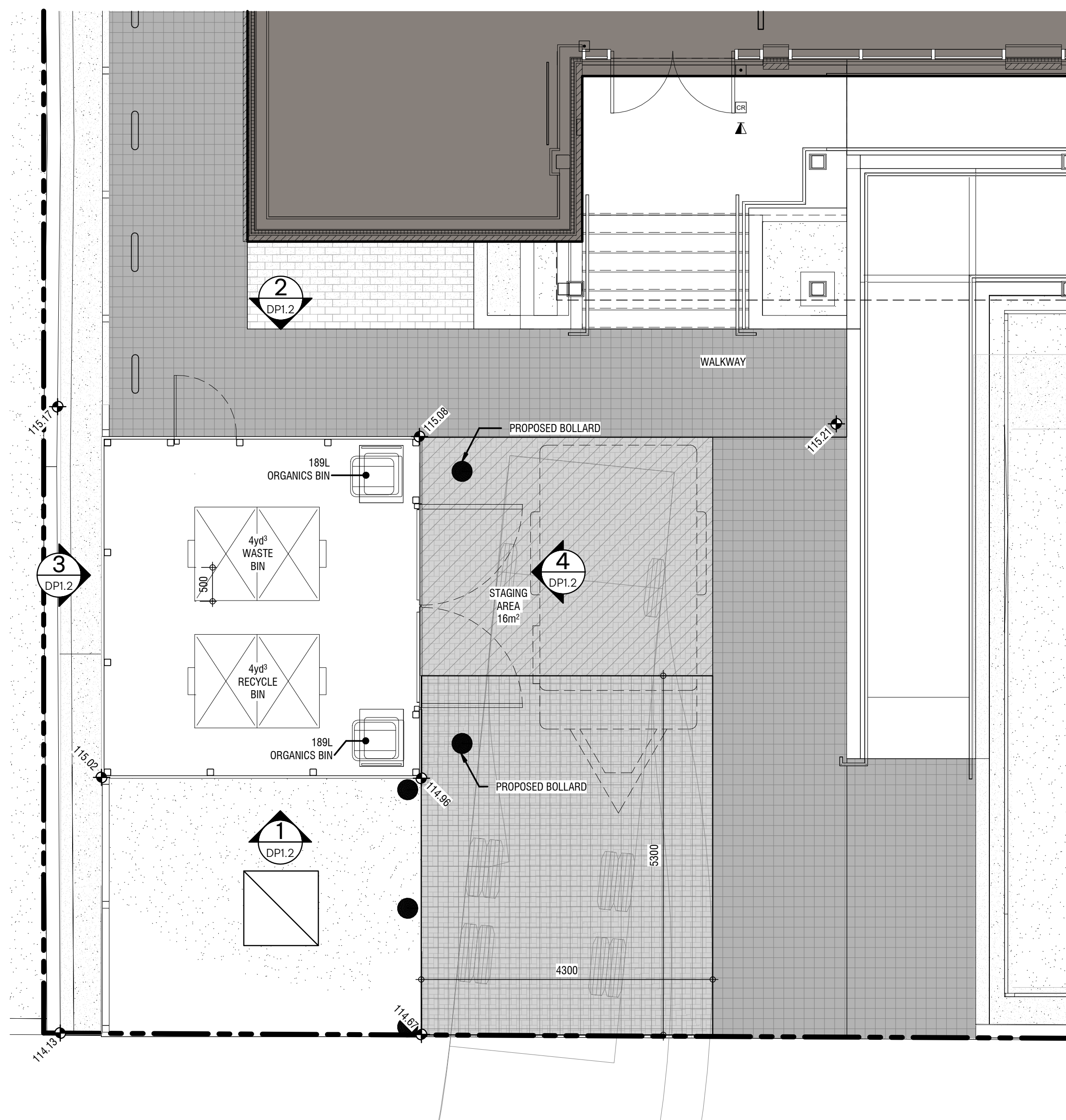
**3 Elevation C (West)**

DP1.2 SCALE: 1:50



**4 Elevation E (East)**

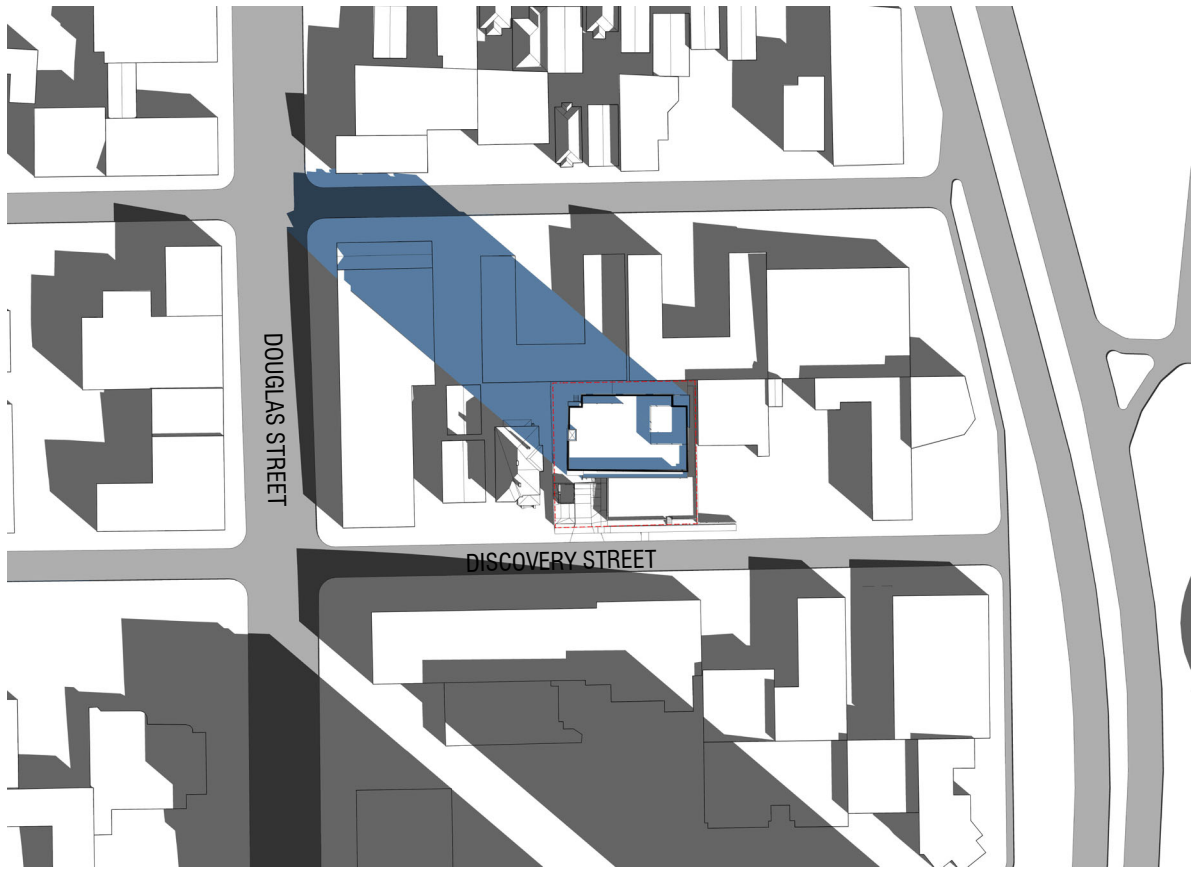
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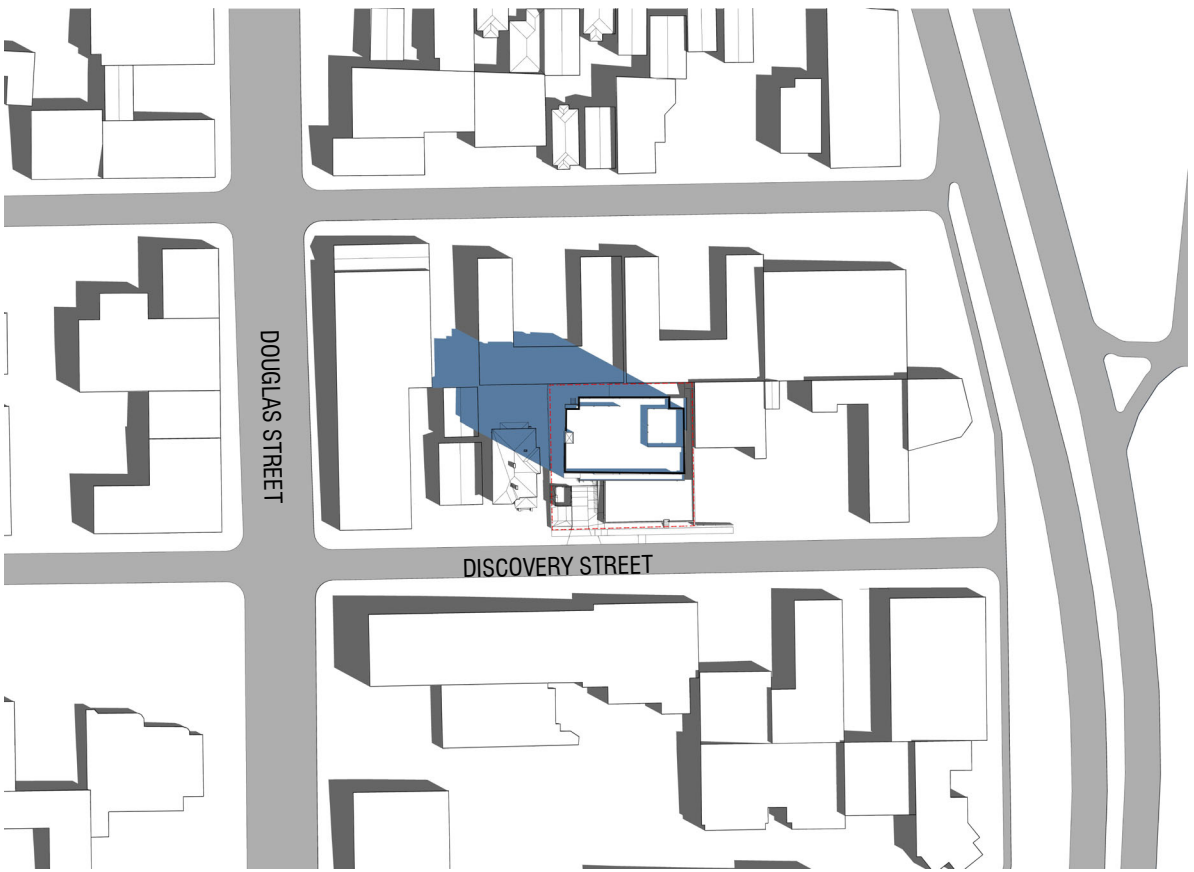
**5 Enlarged W&R & Bicycle Enclosure**

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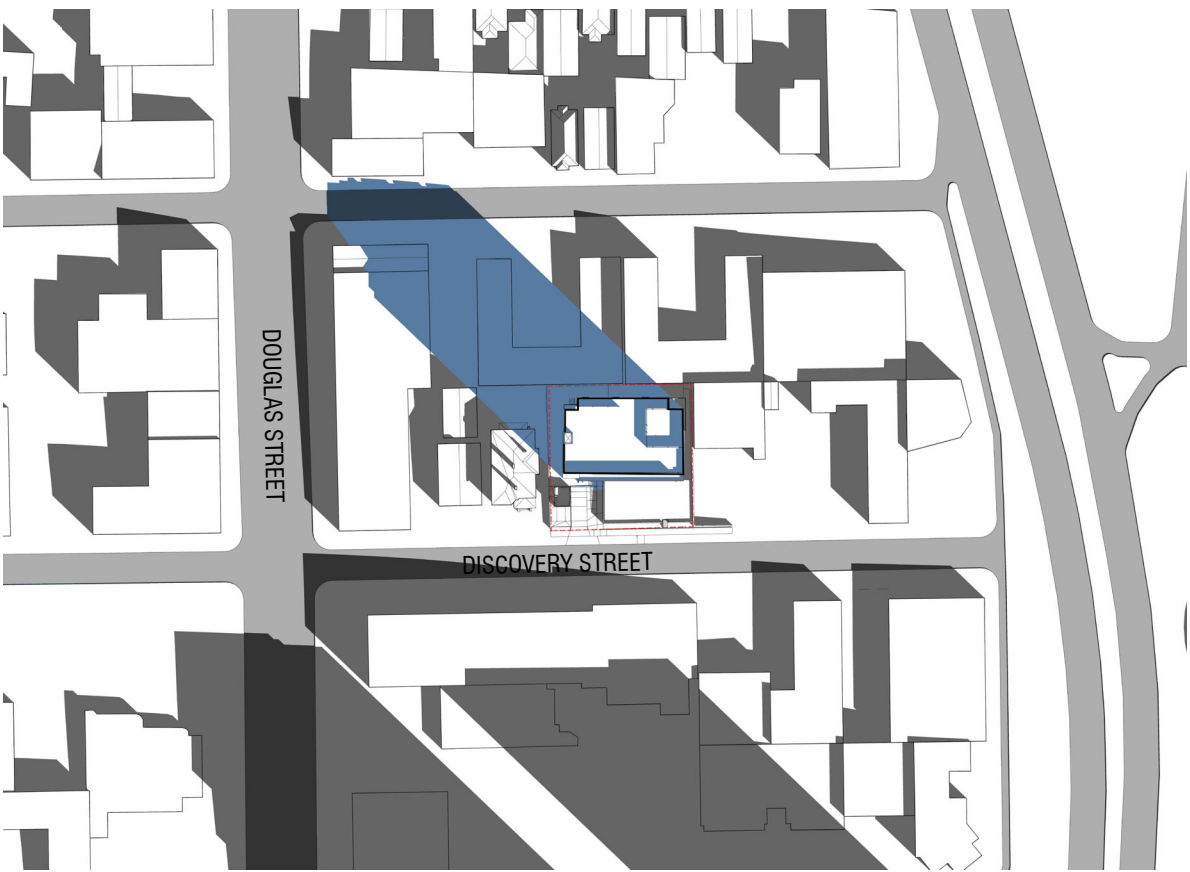




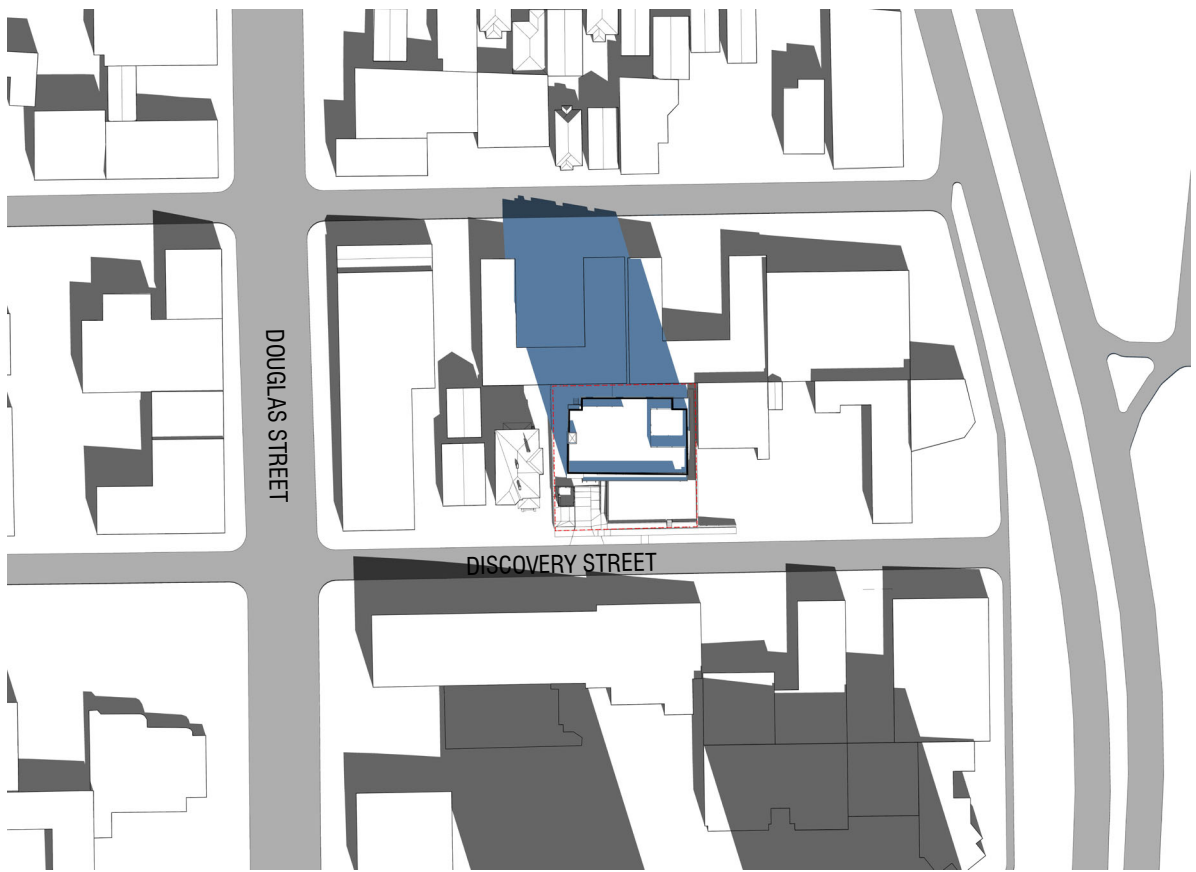
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JUNE 21 - 10:00 AM



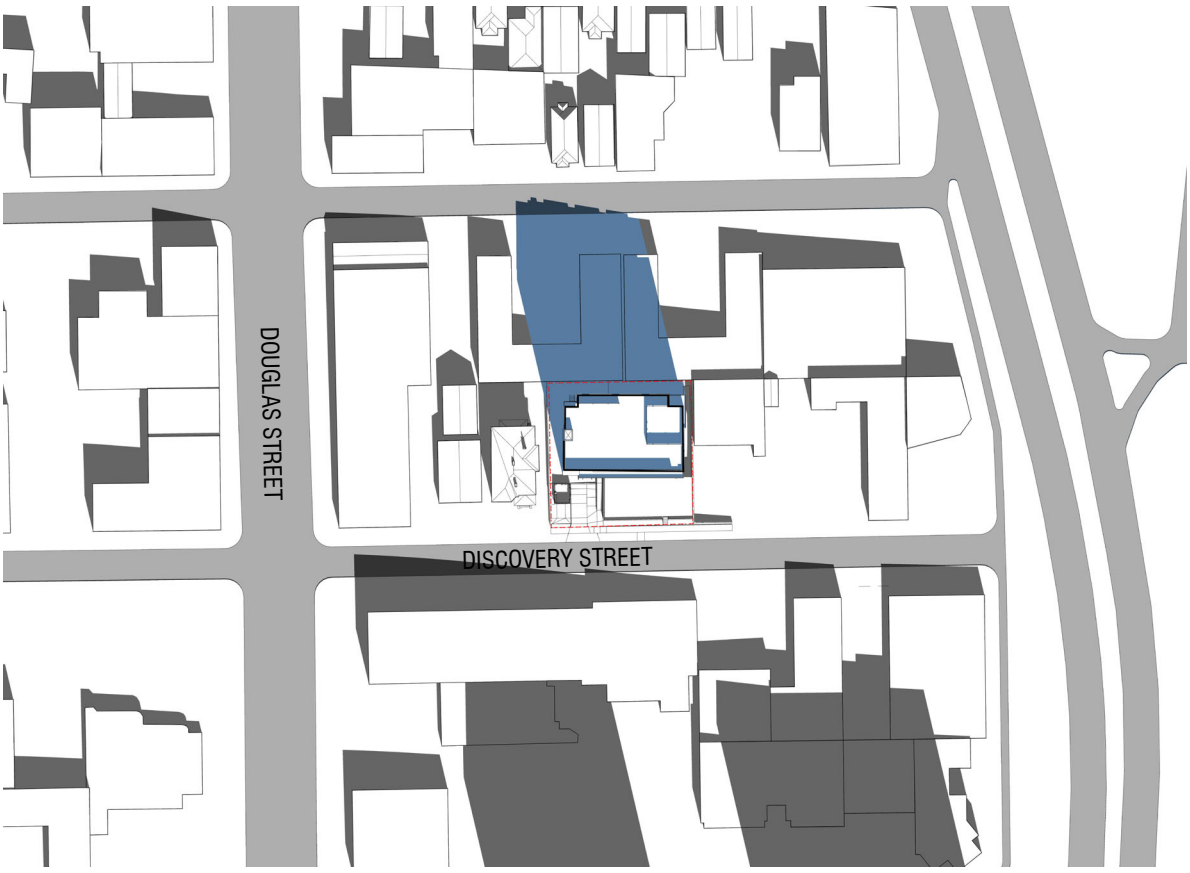
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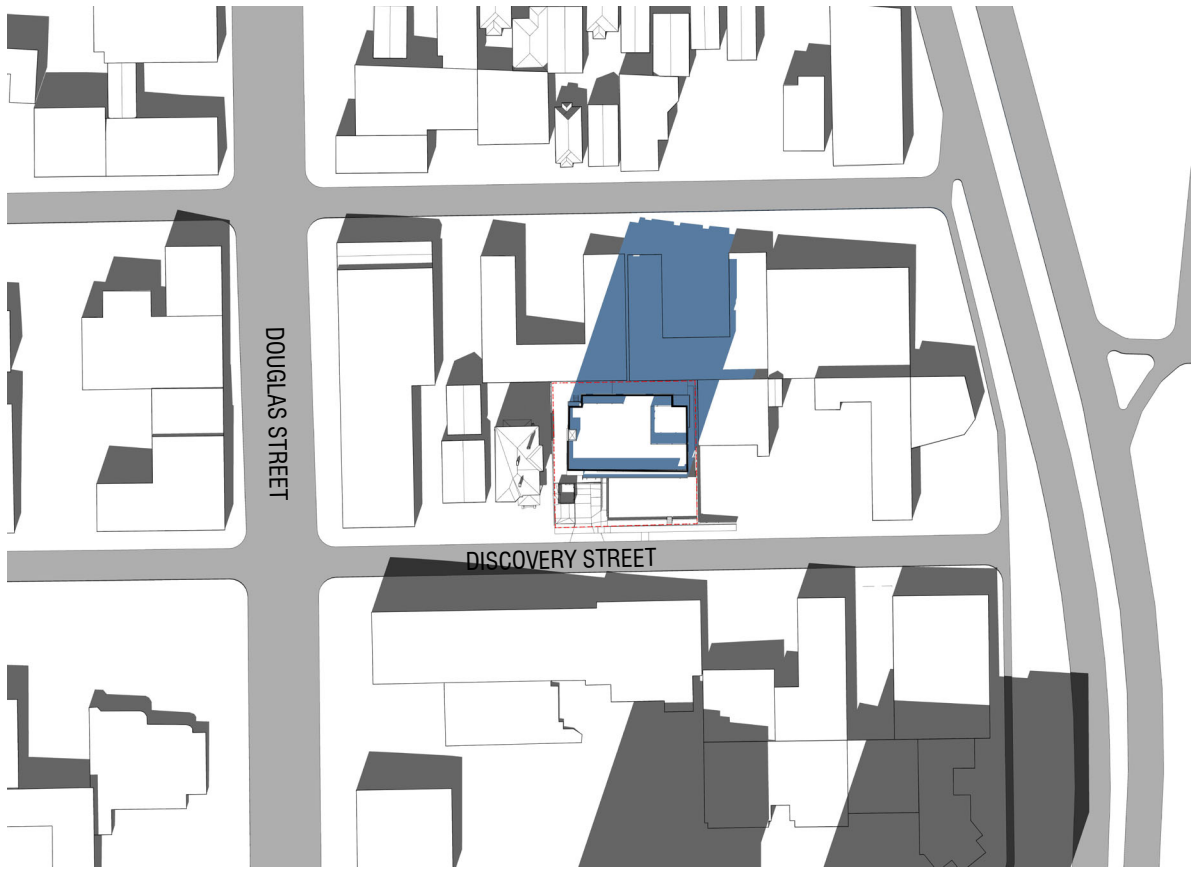
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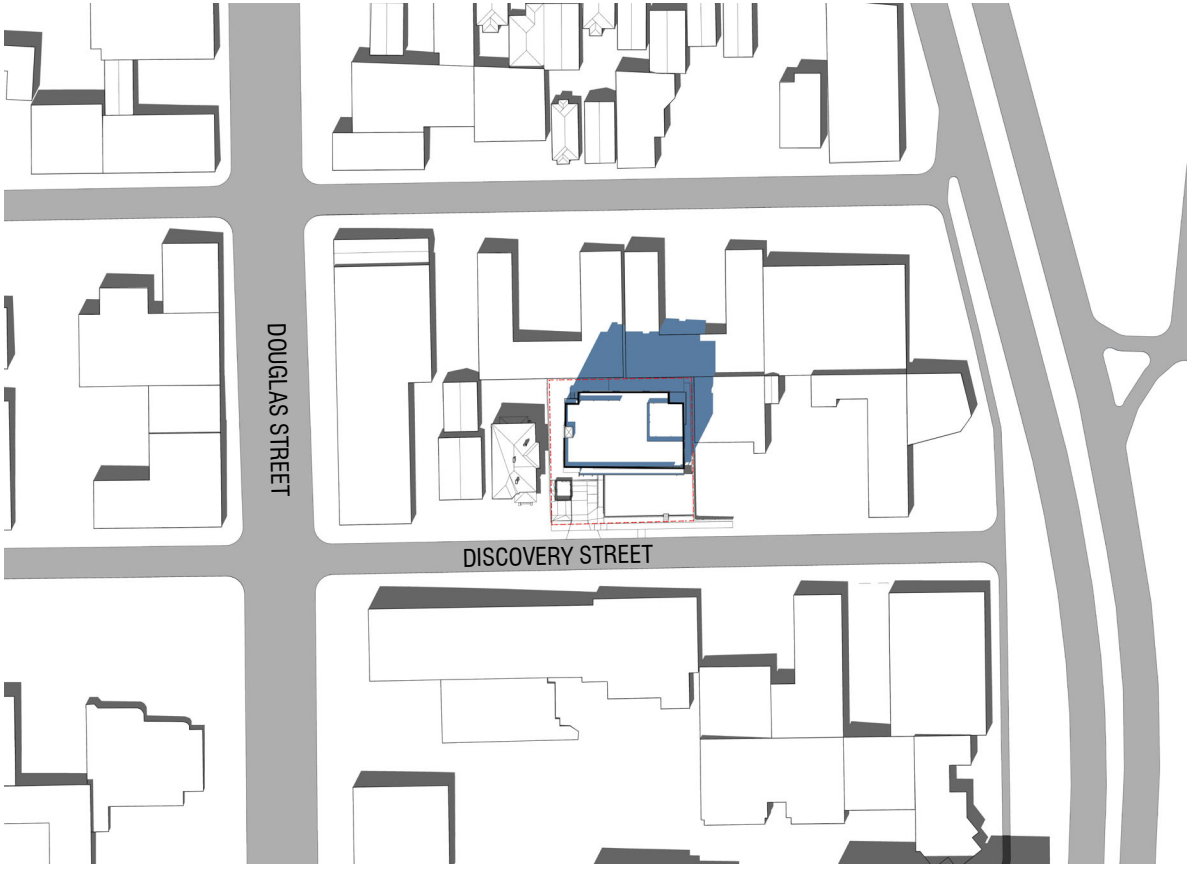
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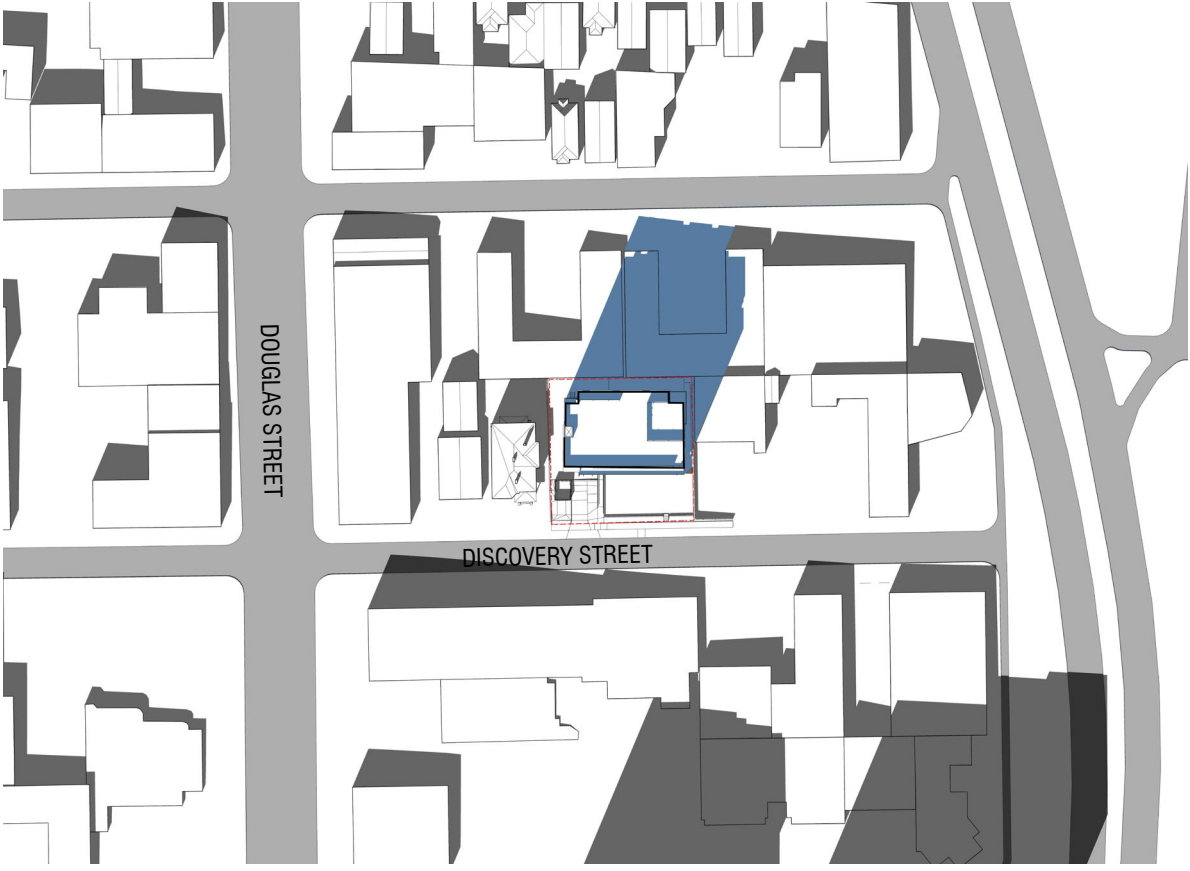
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MARCH 21 - 2:00 PM



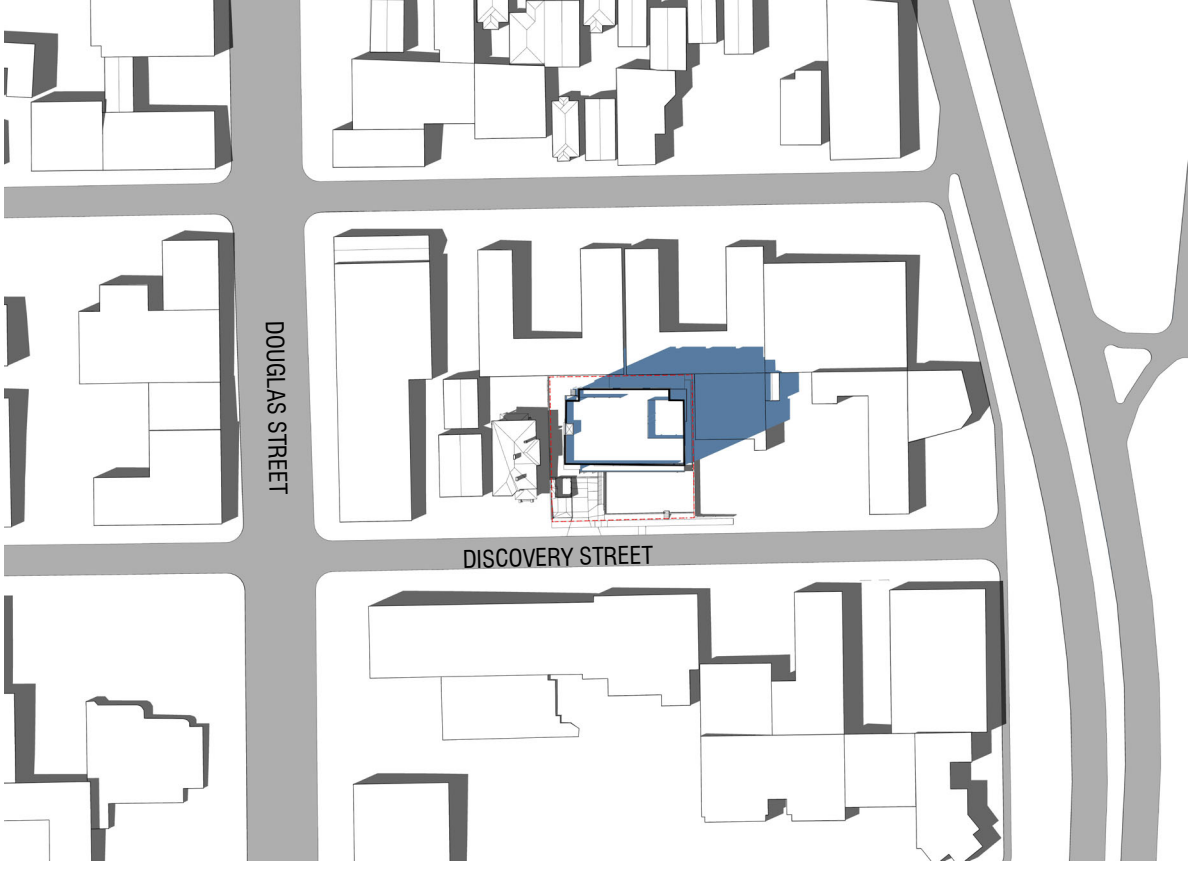
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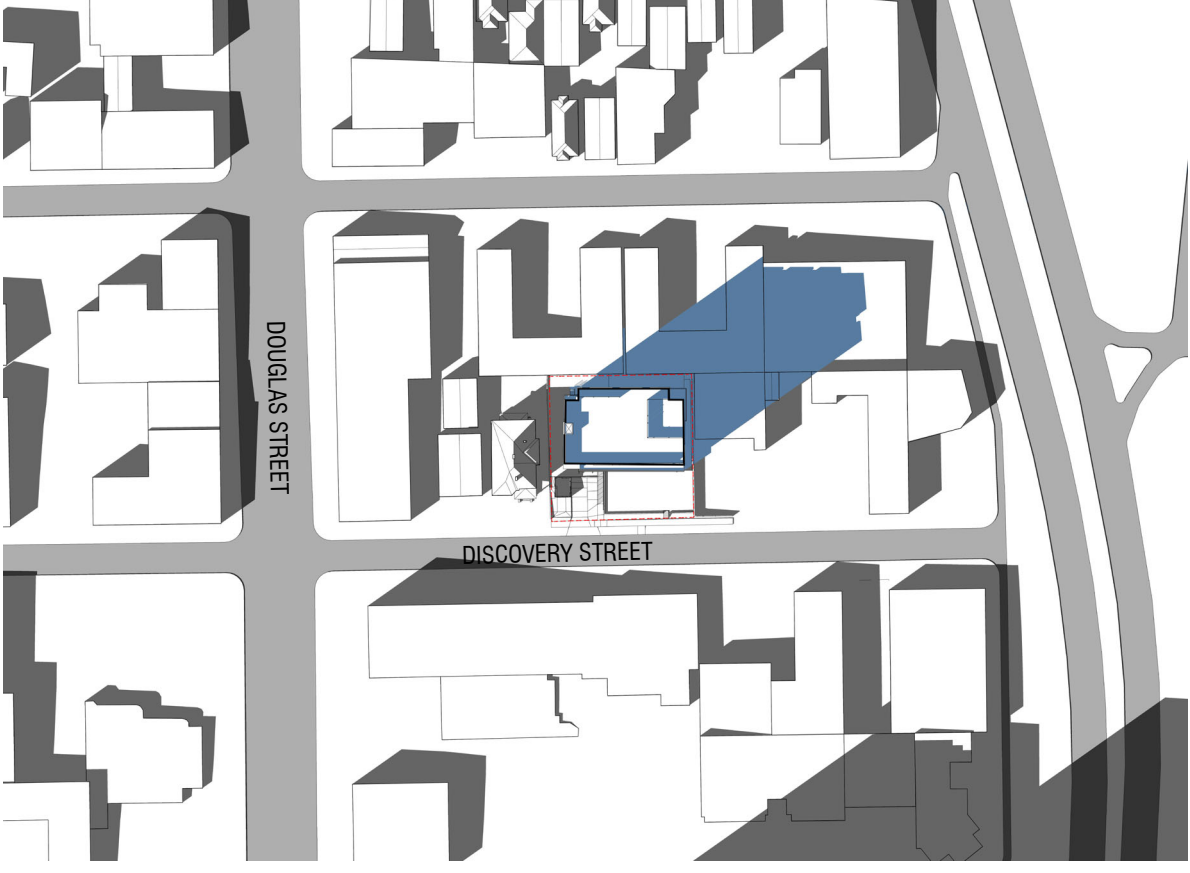
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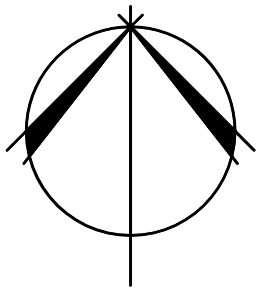
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JUNE 21 - 4:00PM



SEPTEMBER 21 - 4:00PM



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SHADOW STUDY

## DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

221243

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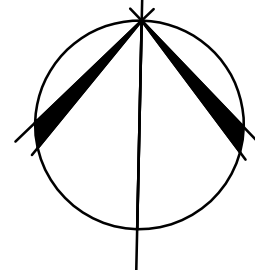
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REVISION		DATE
4	DP RE-SUBMISSION	07.04.2023
5	ISSUED FOR SCHEMATIC TENDER	07.10.2023
10	LAND USE & D.P. SUBMISSION	04.29.2022

SCALE	
DATE	11/27/2024 9:47:01 AM
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CHECKED BY	CZ

DRAWING NO.	DP1.4
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LEVEL 1 & 2 FLOOR PLANS

# DISCOVERY STREET SUPPORTIVE HOUSING

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BC HOUSING

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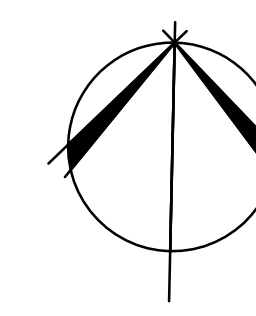
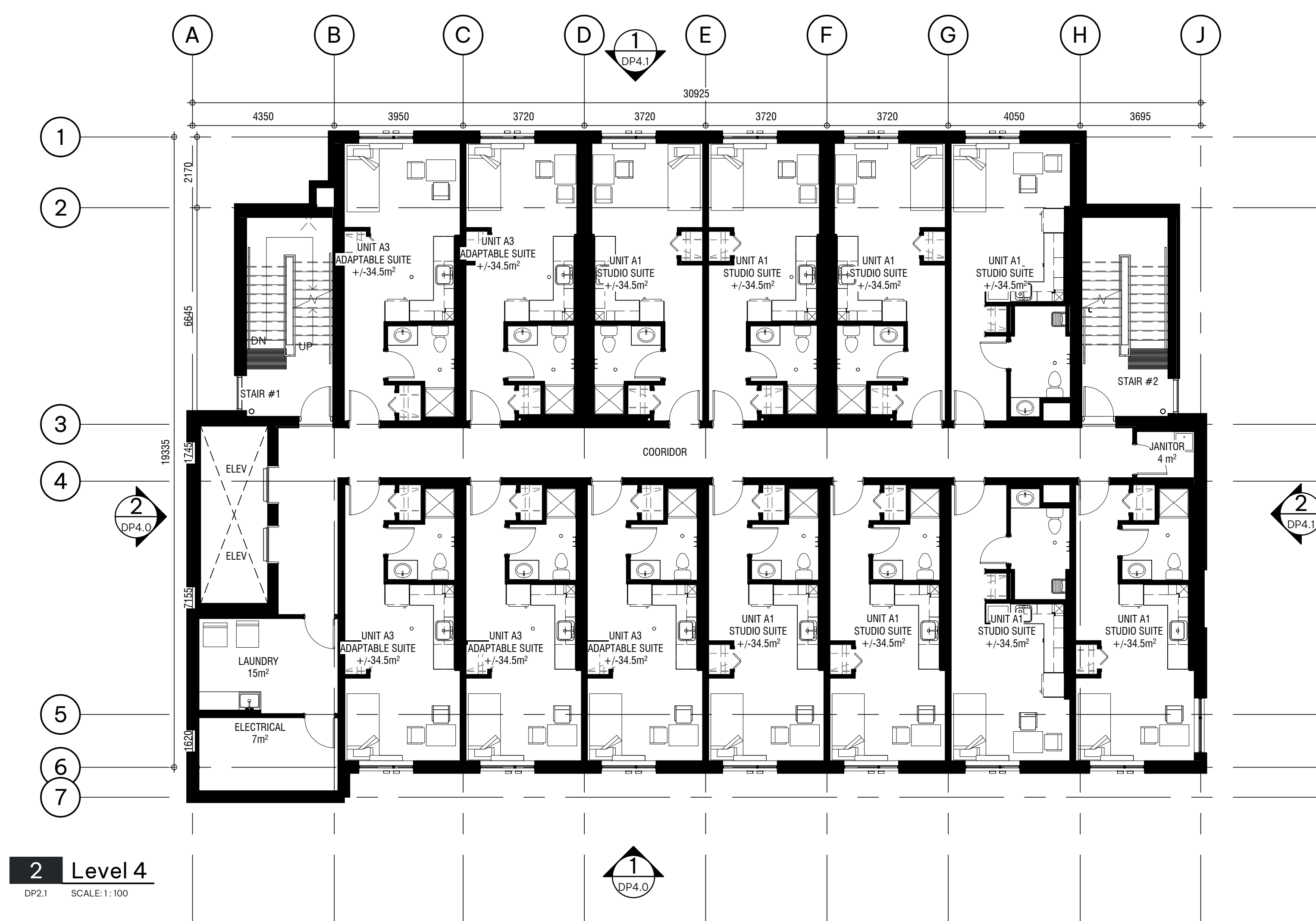
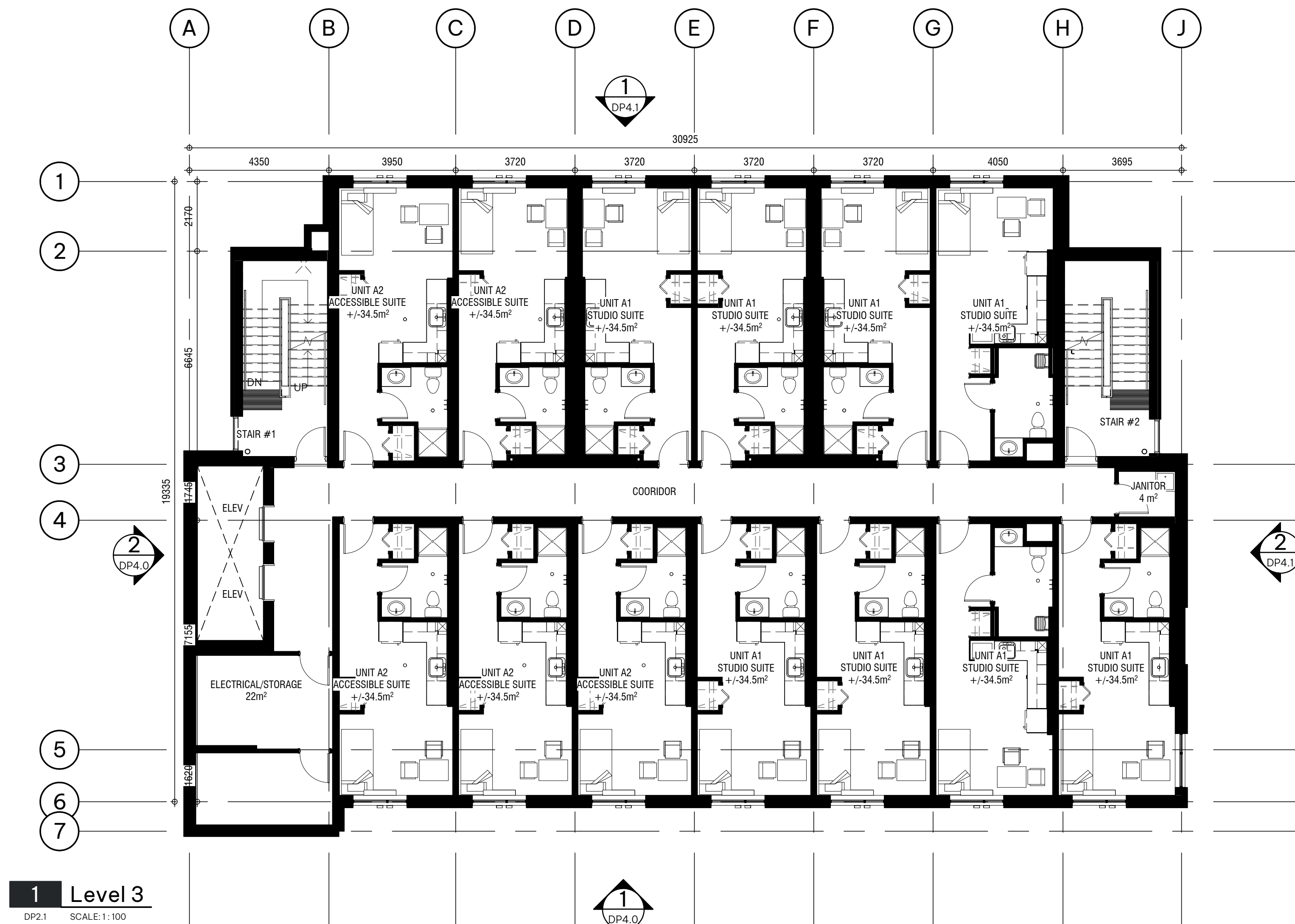
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14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

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LEVEL 3 & 4 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

221243

NOT FOR  
CONSTRUCTION

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REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

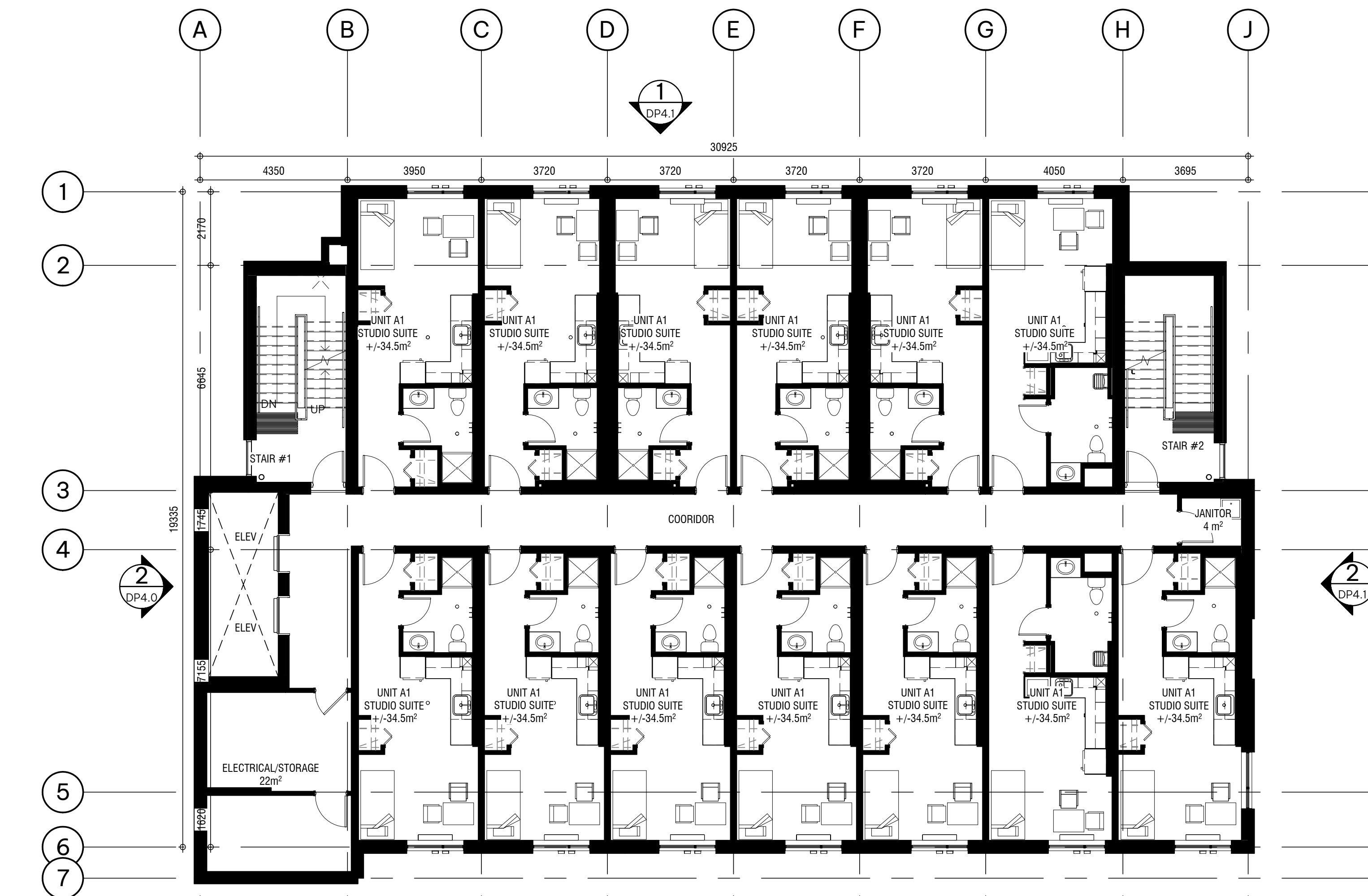
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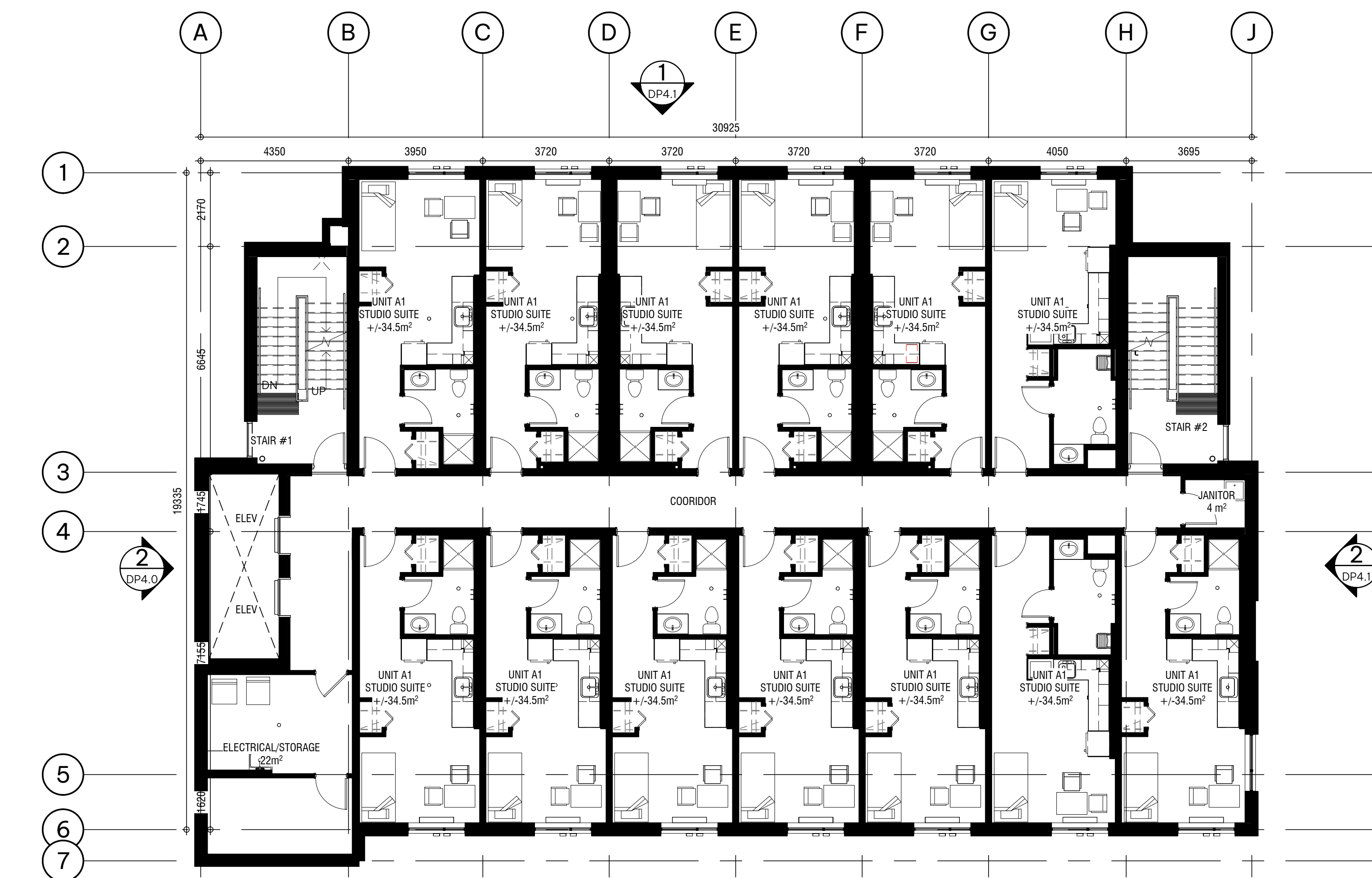
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**1 Level 5**  
DP2.2 SCALE:1:100



**2 Level 6**  
DP2.2 SCALE:1:100



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LEVEL 5 & 6 FLOOR PLANS

# DISCOVERY STREET SUPPORTIVE HOUSING

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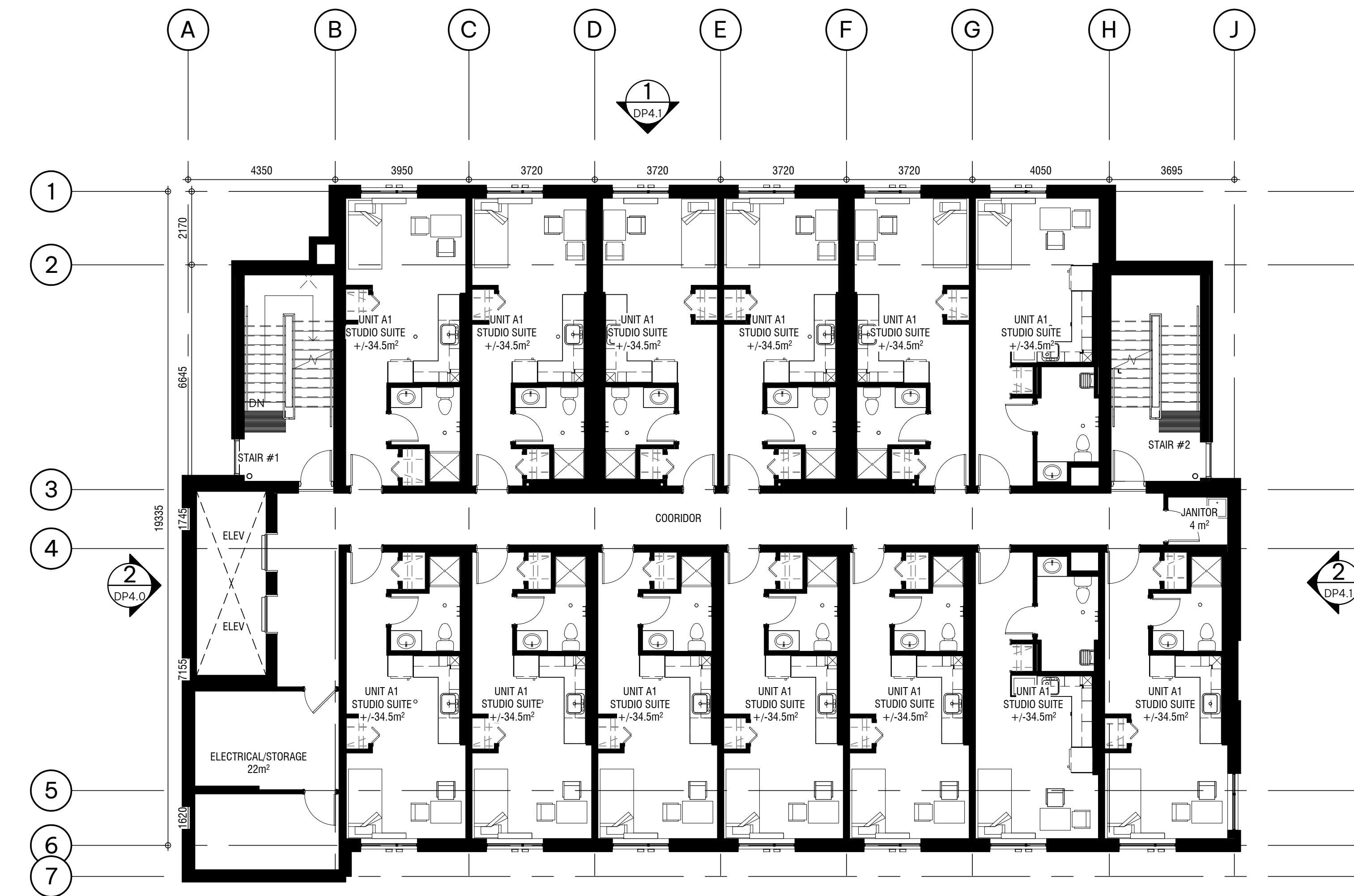
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4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

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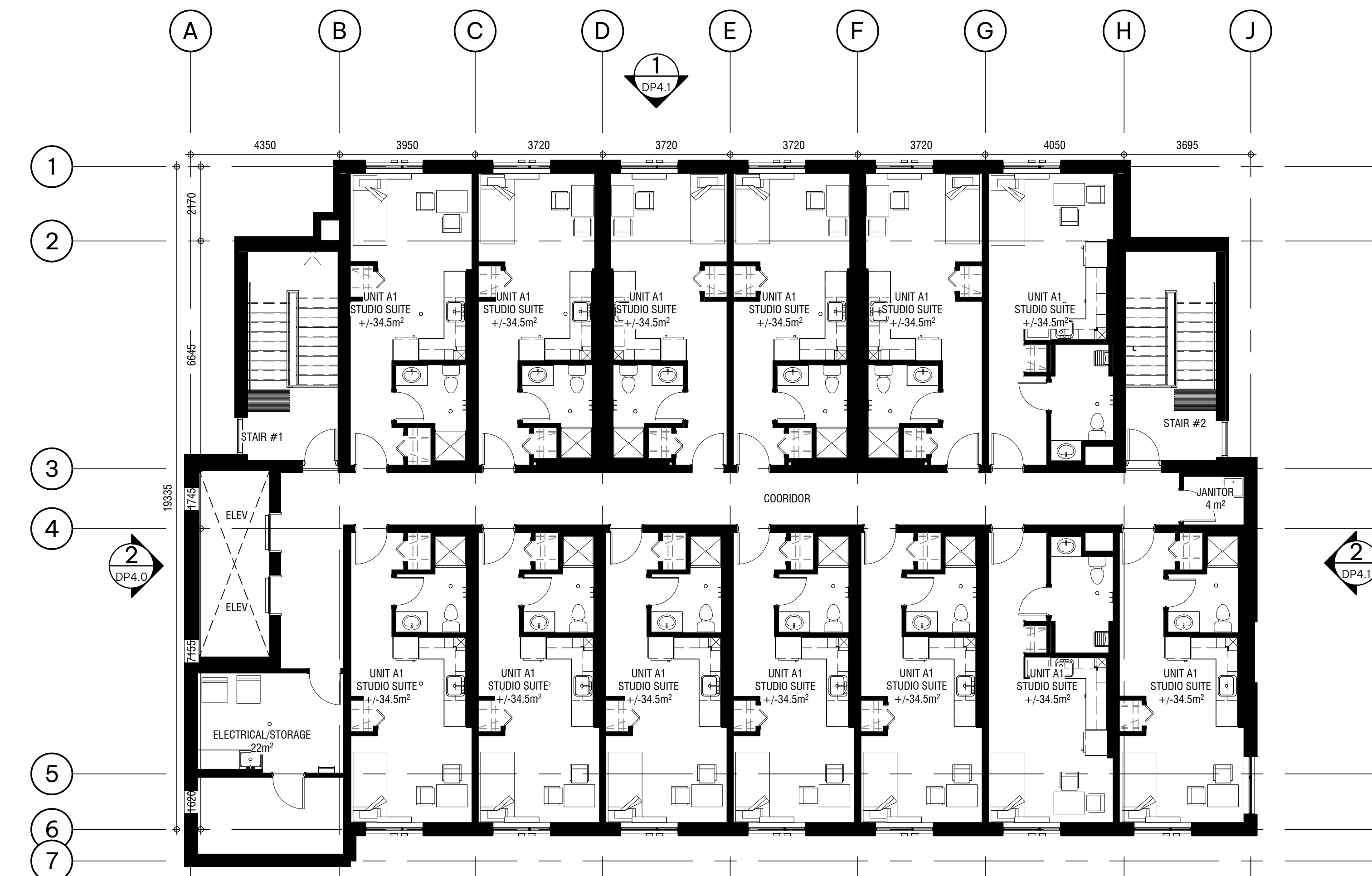
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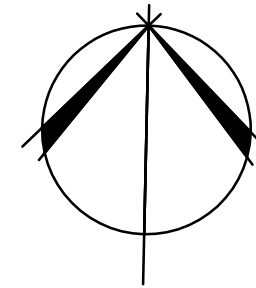




**1 Level 7**  
DP2.3 SCALE: 1:100



**2 Level 8**  
DP2.3 SCALE: 1:100



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LEVEL 7 & 8 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

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BC HOUSING

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DP2.3





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ROOF PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

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BC HOUSING

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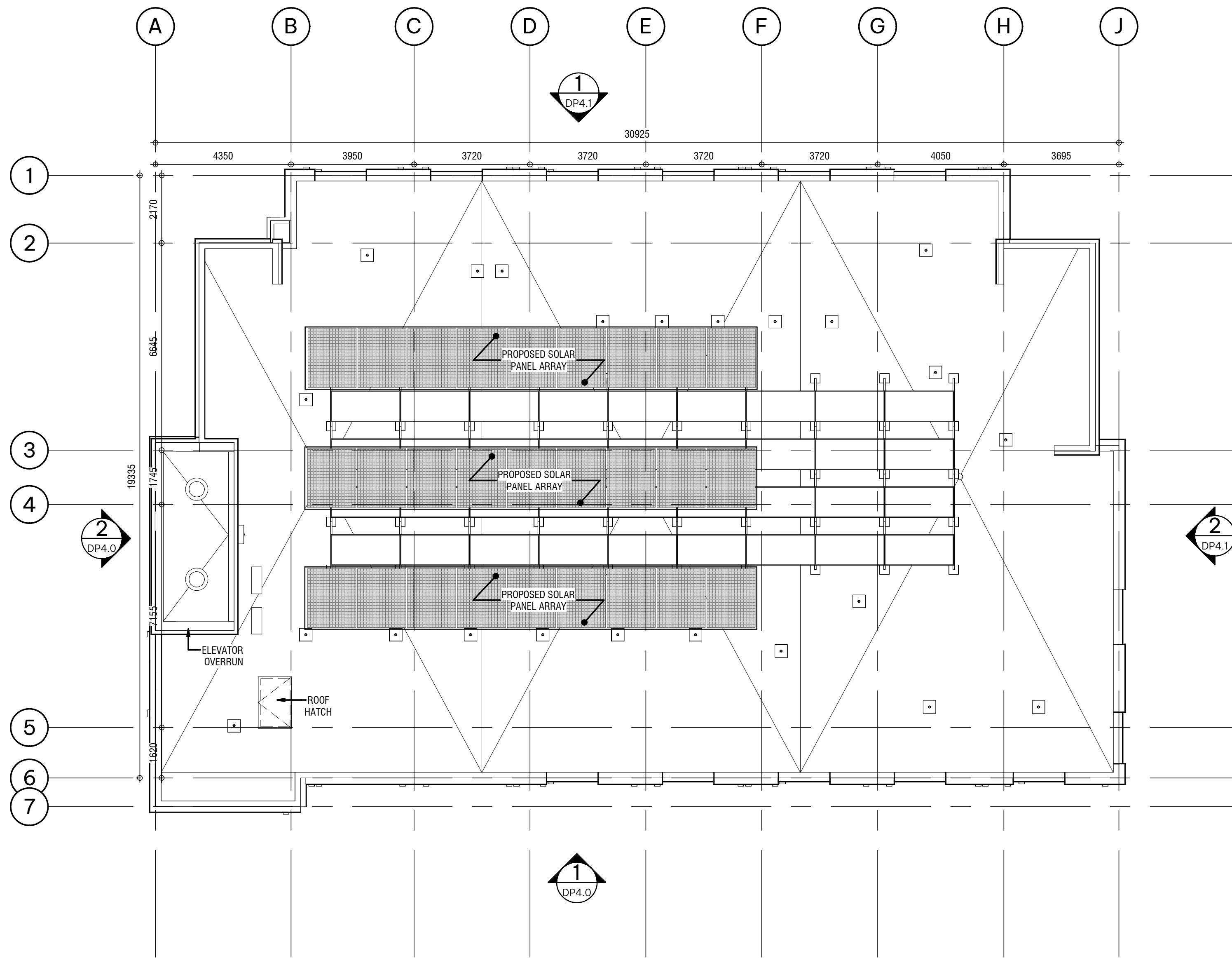
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10 LAND USE & D.P. SUBMISSION	04.29.2022
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

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DP2.4



1 Roof Plan

DP2.4 SCALE: 1:100

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NOTE: Dimensions are for reference only and are subject to changed based on construction documentation.



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UNIT PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

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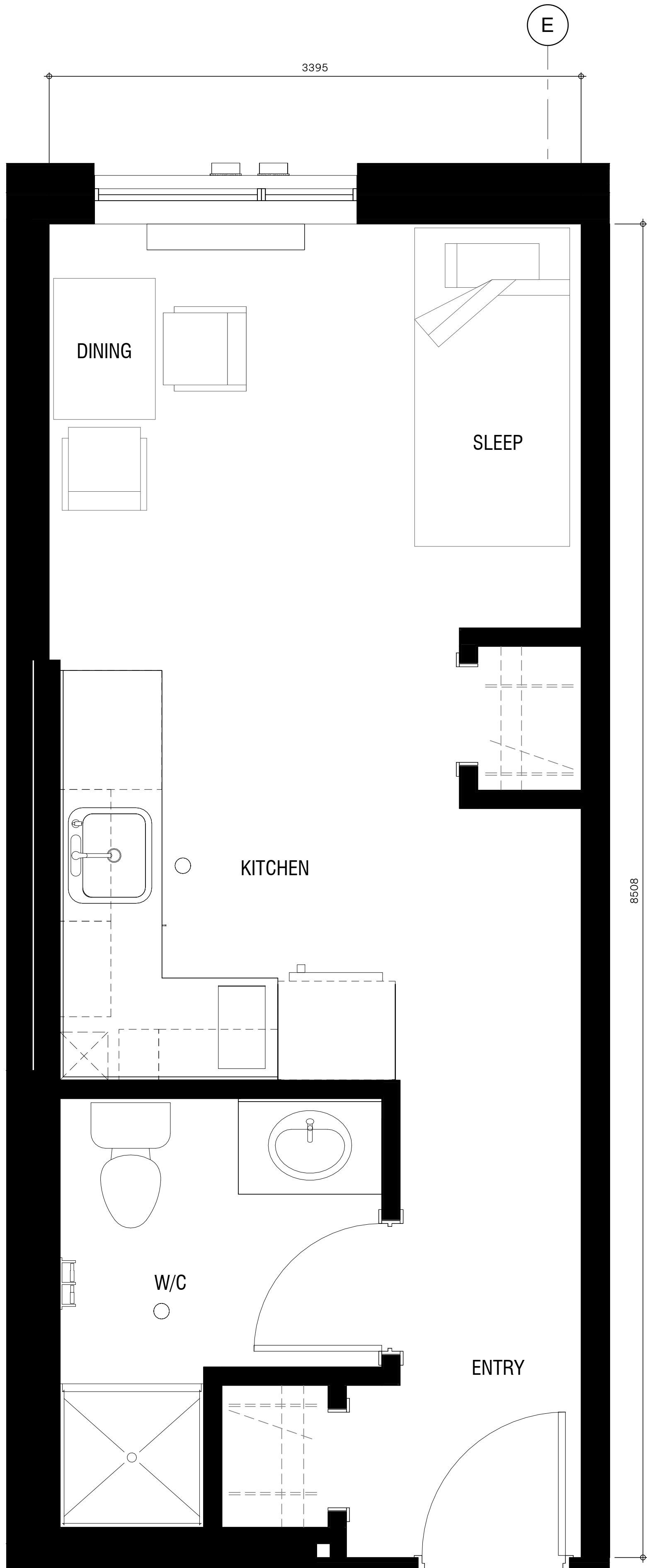
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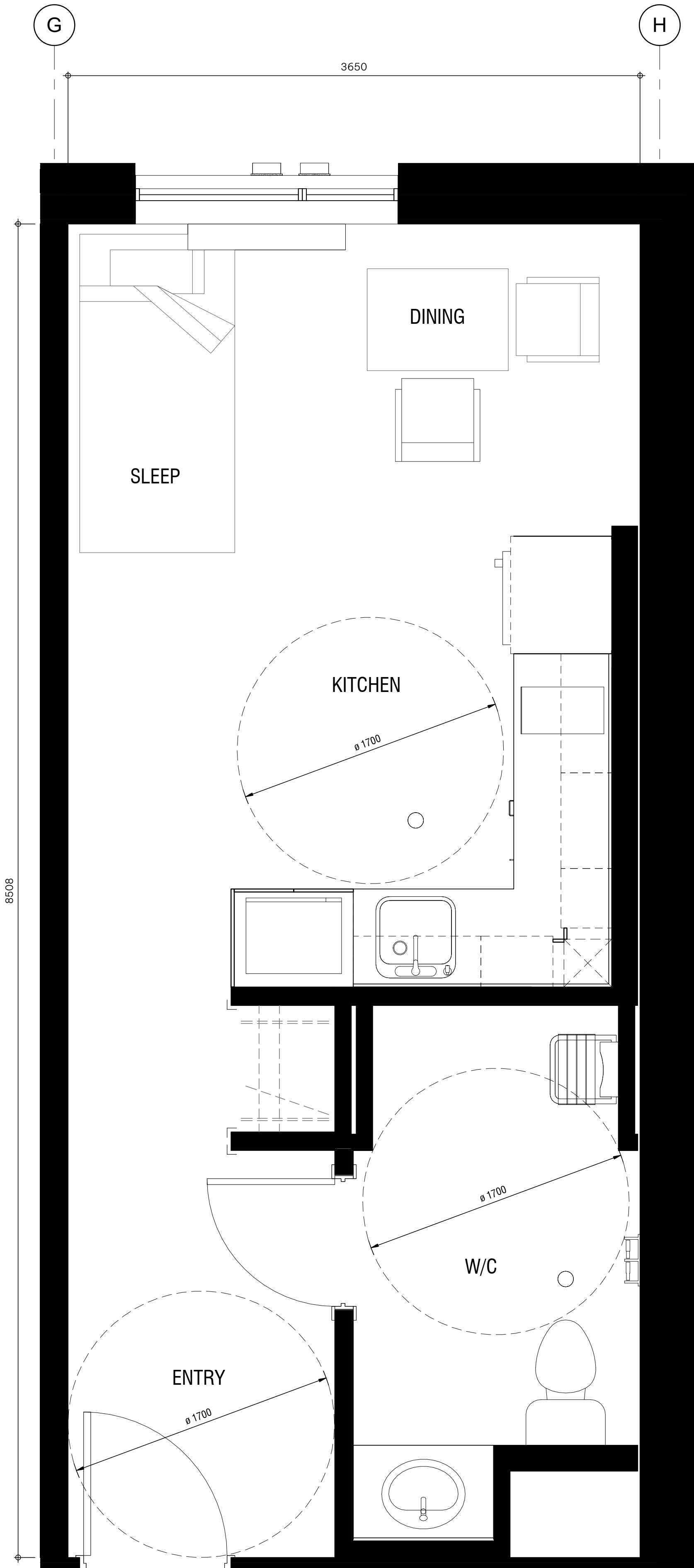
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DP2.5



1 Unit A1 - Typical Studio Unit | ±34.5sqm

DP2.5 SCALE:1:20



2 Unit A2/A3 - Accessible & Adaptable Units | ±34.5sqm

DP2.5 SCALE:1:20

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BUILDING ELEVATIONS

# DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

22/243

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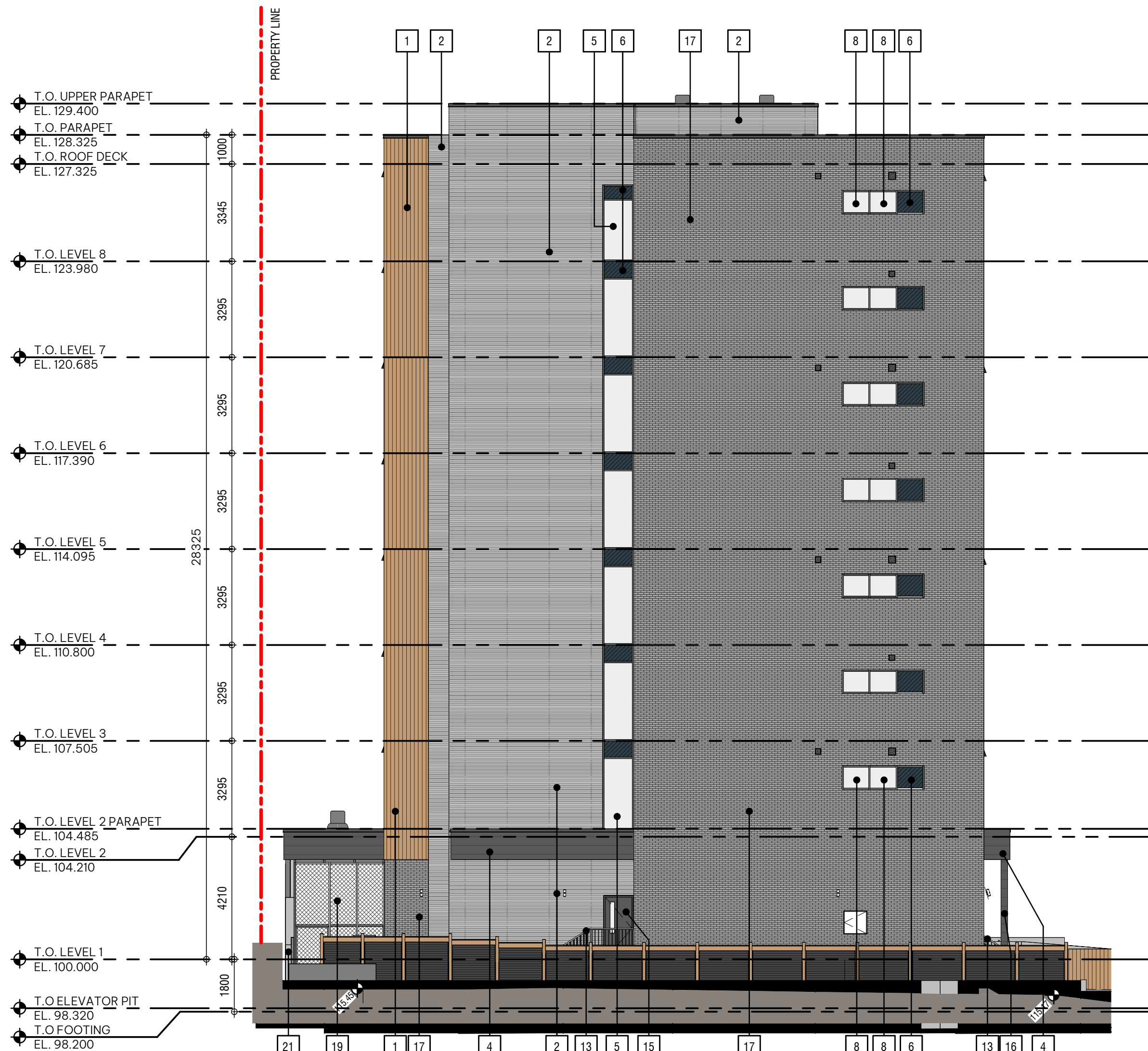
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10 LAND USE & D.P. SUBMISSION	04.29.2022
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

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DATE 11/27/2024 9:49:45 AM  
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DRAWING NO. DP4.0

### Elevation - Code Legend

- 1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- 2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- 3 PVC WINDOW - FROSTED GLASS - BLACK FRAME
- 4 METAL PANEL - CHARCOAL
- 5 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
- 6 METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
- 7 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
- 8 PVC WINDOW - VISION GLASS - BLACK FRAME
- 9 CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
- 10 P.T. DECK SKIRTING - GOLDEN OAK TONE
- 11 P.T. WOOD DECKING - GOLDEN OAK TONE
- 12 P.T. WOOD STAIRS - GOLDEN OAK TONE
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
- 15 HOLLOW FRAME STEEL DOOR - CHARCOAL
- 16 PAINTED HEAVY TIMBER COLUMNS - BLACK
- 17 MODULAR BRICK - MIXED GREY
- 18 POTENTIAL SOLAR PANEL ARRAY
- 19 CHAIN LINK FENCE
- 20 CONCRETE MASONRY UNIT
- 21 CONCRETE RETAINING WALL







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BUILDING ELEVATIONS

DISCOVERY STREET SUPPORTIVE HOUSING  
722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING  
22/243

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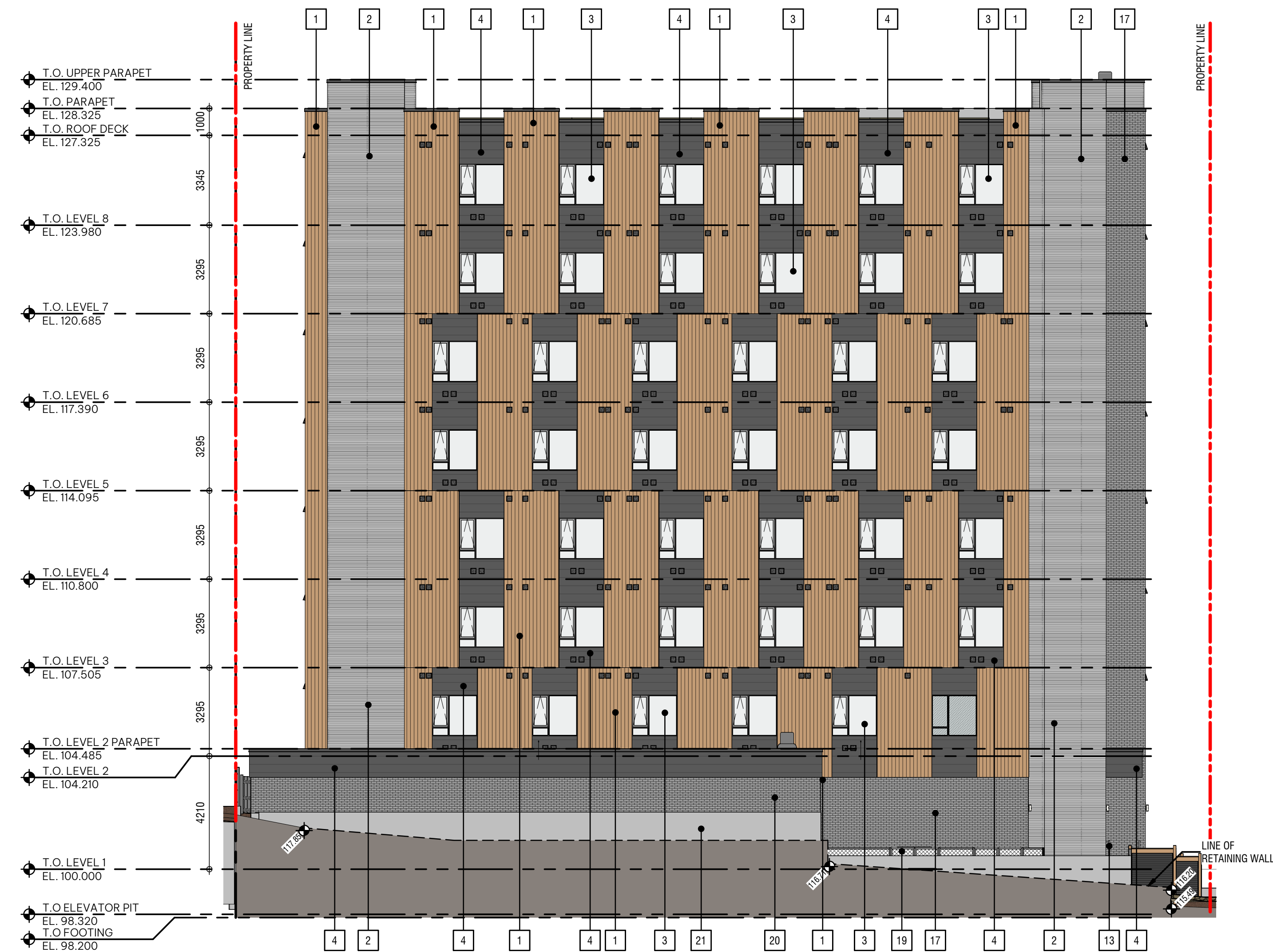
REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

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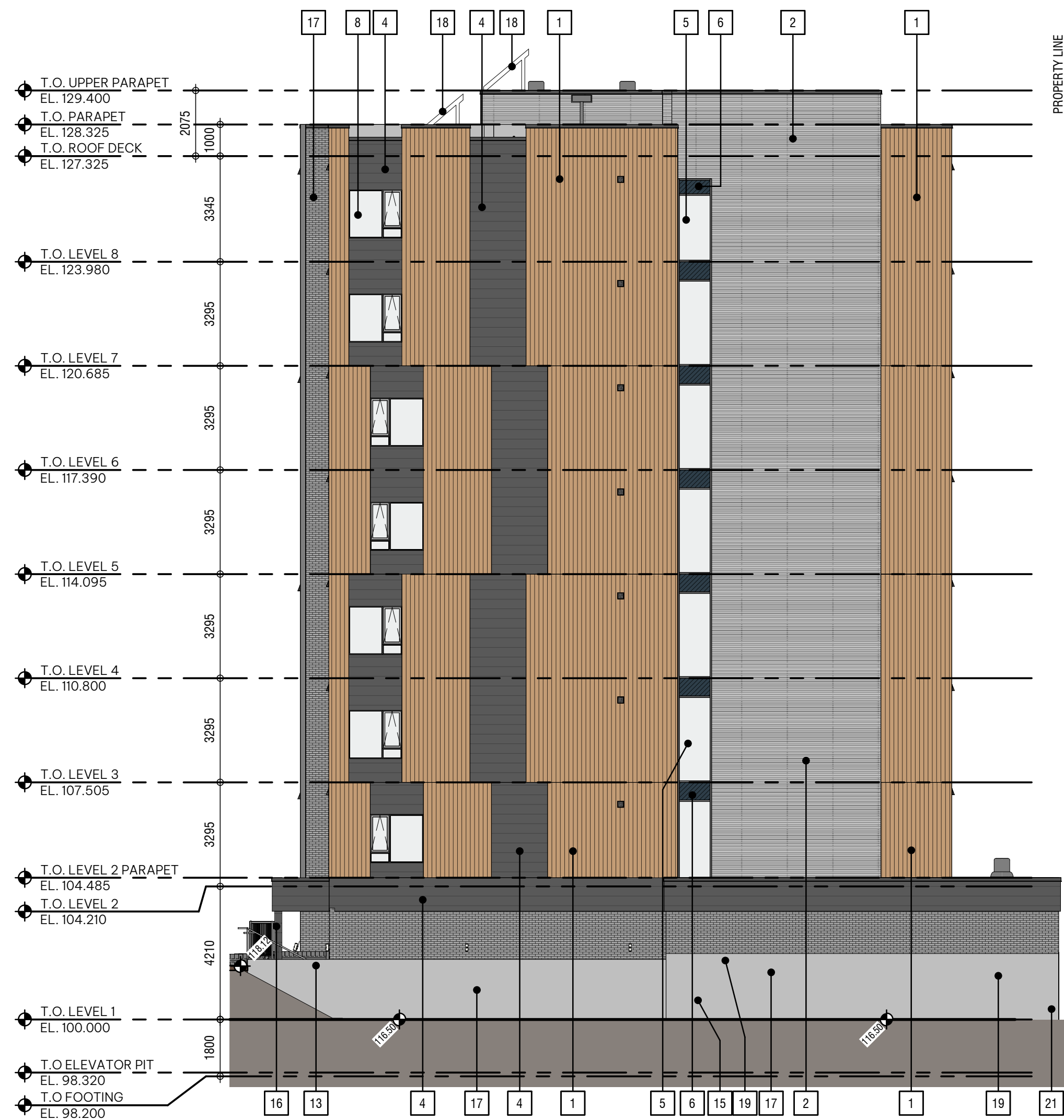
Elevation - Code Legend

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- 2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- 3 PVC WINDOW - FROSTED GLASS - BLACK FRAME
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- 19 CHAIN LINK FENCE
- 20 CONCRETE MASONRY UNIT
- 21 CONCRETE RETAINING WALL



1 North Elevation

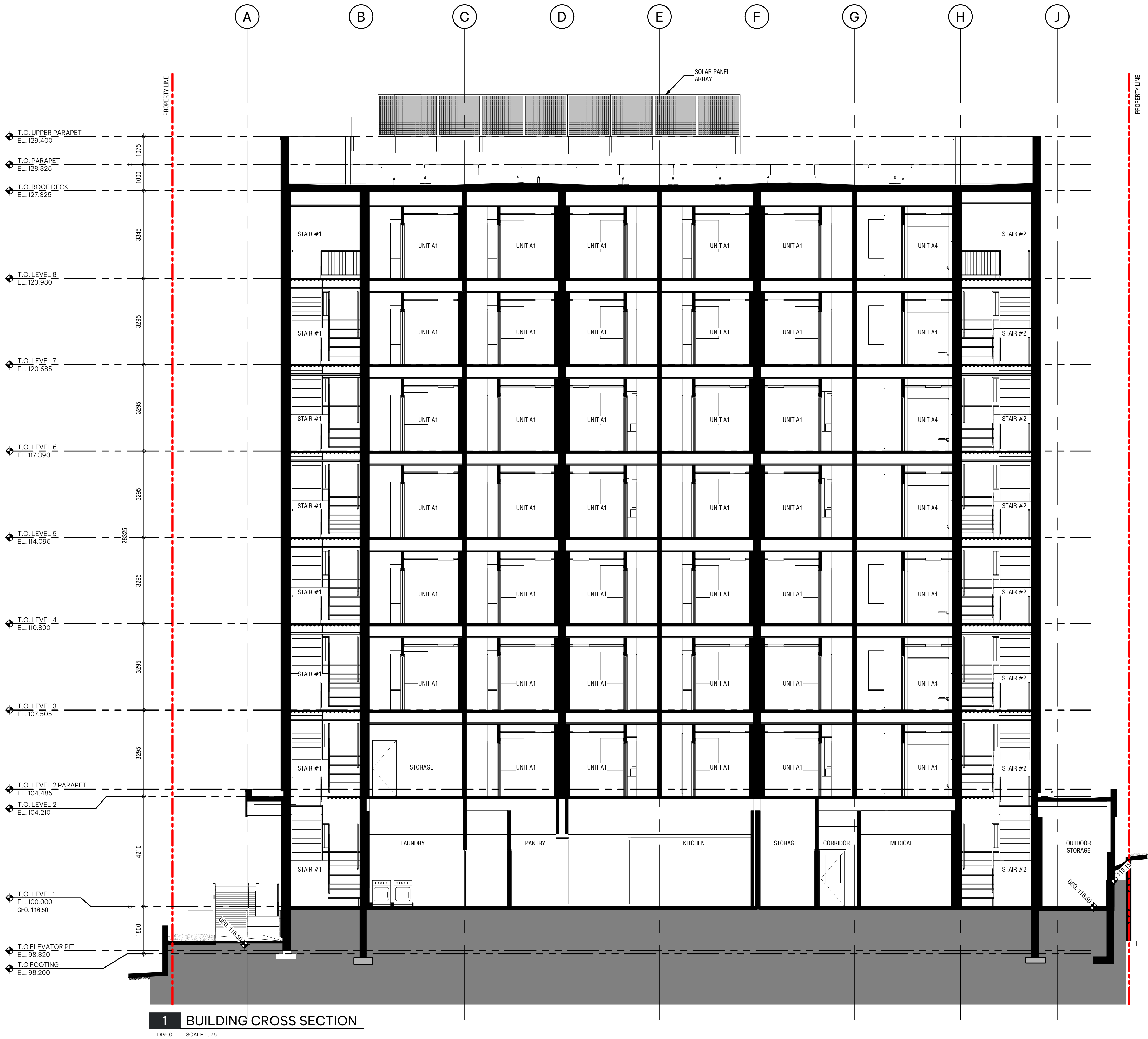
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2 East Elevation

DP4.1 SCALE:1:125





1 BUILDING CROSS SECTION  
DP5.0 SCALE: 1:75



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BUILDING SECTIONS

## DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

22/243

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10 LAND USE & D.P. SUBMISSION	04.29.2022
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BUILDING SECTIONS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.  
BC HOUSING

22/243

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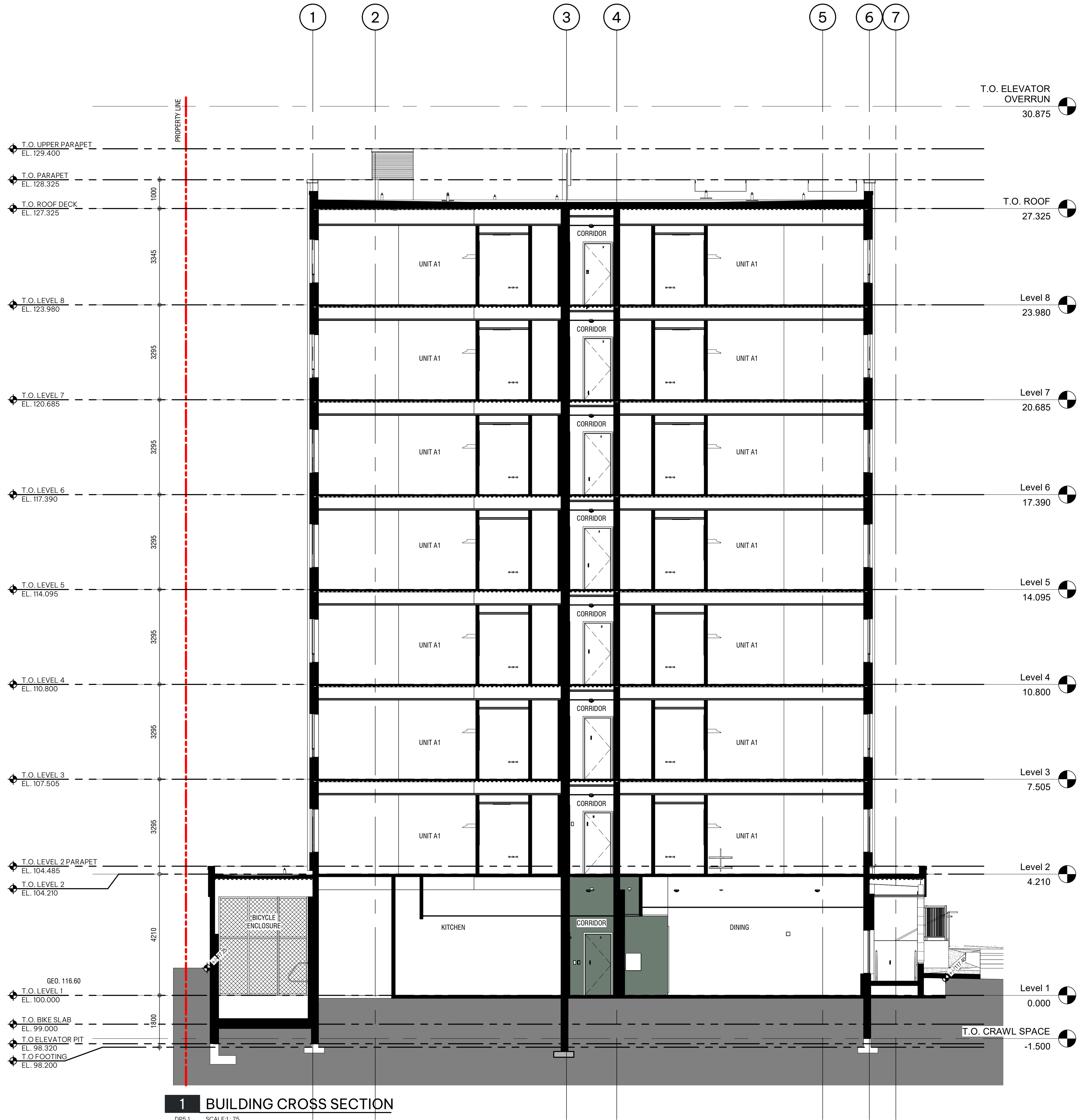
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14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

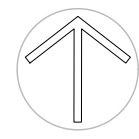
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DRAWING NO.

DP5.1







722, 726 / 732 Discovery Street, Victoria, B.C.

## DRAWING LIST

WSP LANDSCAPE ARCHITECTURE

**RENZO CORTES**  
Landscape Designer  
Email: glennrenzo.cortes@wsp.com  
Phone: (226) 203-8444

CANADIAN LANDSCAPE STANDARD:

RFI'S:  
Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.

**SUBMITTALS:**

Submittals on landscape include but are not limited to:

- Shop drawings on all specified furnishings including notes on colour and dimensions
- Shop drawings on all custom site elements (i.e. walls, railings, fences, etc.) including notes on colour, finishes and dimensions
- A growing medium (or amended soil report, if required) submittal compliant with the Canadian Landscape Standard Seed or sod mix designs (Canada No. 1 grade) as defined within with drawings and in compliance with Canadian Landscape Standards
- A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues with timeline. If quantities of a shrub or tree are minimal, shop submittals will be reviewed as an alternate.
- Bark mulch to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 1L sample or website information prior to purchase
- Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern, and compaction.
- Mix design and supplier information of hard surface poured or placed materials (i.e. aggregates, concrete, asphalt), including base preparation materials and affiliated compaction testing
- Primer and paint submittals, if required for project

## LANDSCAPE SCHEDULE

**LANDSCAPE CRITICAL REVIEWS:**  
Landscape critical review meetings include (but are not limited to):

- Tree protection fencing setup requires a review by the arborist prior to construction.
- Project kick-off on landscape, and review of stockpile and preservation of existing materials
- Mobilization and preparation/installation of hard surfaces or drainage features (i.e. raingardens), if specified within landscape drawings
- Tree stakes to be provided for review of tree placements to demonstrate compliance and offsets from utilities. Alignment of tree plantings to be reviewed.
- Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages).  
Note that soils may be tested up to 2 times for verification of compliancy of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
- Mobilization of custom works (i.e. wooden walkways or custom benches), if applicable to contract, will be required for a critical review meeting of proposed layout and connections.
- Delivery of the plant material to site (mobilization of planting works)
- General progress reviews for installation of soft landscape materials (trees, ground covers, shrubs, lawns, etc).
- Substantial and total performance of the landscape
- Commissioning reviews, if required

ORIGINAL SIZE 60.96cm x 91.44cm [24" x 36"]				SEALED	DESIGN BY MJH	SHEET TITLE
11	24/11/22	RESPONSE TO DDP COMMENTS	RC		DRAWN BY ER / RC	COVER
10	24/11/15	ISSUED FOR TENDER	RC		CHECKED BY GS / TC	
9	24/11/13	ISSUED FOR COORDINATION	RC		PROJECT # 211-01841-00	
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC		SCALE	
NO.	DATE	DESCRIPTION	BY		N/A	

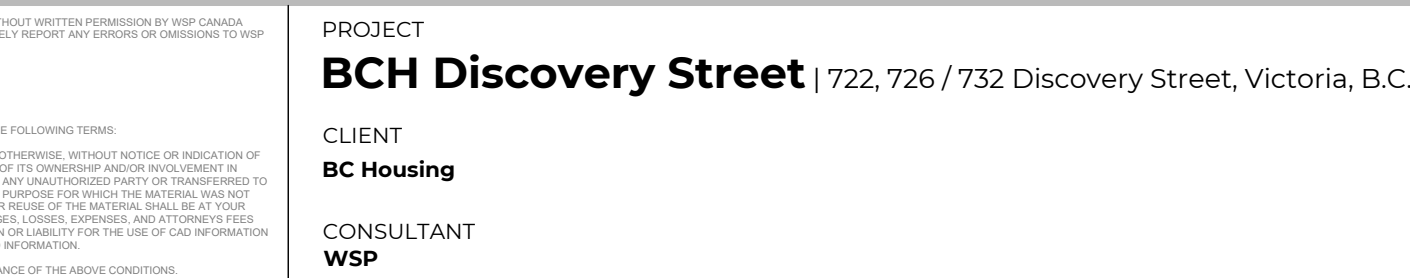
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## SITE LEGEND



### SITE FURNISHING LEGEND



## STORM WATER INFILTRATION AREAS

SHRUB SPECIES

81% of total proposed species are either native, food-bearing and/or pollinator habitat.  
 \* Native Species  
 \*\* Food-bearing Species  
 \*\*\* Pollinator Species

## TREFF PROTECTION NOTES:

- Refer to arborist report prepared by Capital Tree Service Inc. Reference made to Arborist report for all Tree Numbers, Diameters and Canopy sizes.
- Existing trees to remain protected as indicated on drawings. Contractor to provide tree protection fencing in accordance with the arborist report, and City of Victoria Tree By-law and request review from project arborist prior to mobilization. Arborist will provide any cut-back or health management to trees as deemed required from a public health and safety perspective. Contractor to be present for tree protection fencing review with arborist, and make any adjustments to protection fencing requested under arborist supervision.

### PLANTING NOTES

The following are core requirements of plant selection and installation:

- a. Plants are to be regionally sourced, with preference on local nurseries. Key plants or tree species that cannot be locally sourced should be explored for regional availability within the cascade region, complete from BC south through Washington, Oregon and California.
- b. Preparation and fine grading of soft landscapes (lawns, planting beds, trees) to be in accordance with Canadian Landscape Standards
- c. Composted bark mulch to be continuously be provided within plantings beds (unless stated otherwise), at 50mm depth, increasing to 100mm depth in tree watering well locations. Watering wells to be 1m diameter around trees, in accordance with Canadian Landscape Standards.
- d. Plant materials are to be protected and stored to prevent damage from freezing or weather events prior to installation. Protect and insulate material in accordance with Canadian Landscape Standards as required.
- e. Depths of growing medium to be as follows: 900mm depth required for trees and 450mm depth required for shrubs within all new planting beds, in accordance with "Level 2P" mix design as defined in the "Canadian Landscape Standard. New lawn spaces are to receive "150mm depth growing medium, in accordance with "Level 2L" mix design as defined in the Canadian Landscape Standard.
- f. Fertilization, if required, to meet design intent. Flush with existing and demonstrate even blend and complete establishment and integration with existing lawn.
- g. Lawn material (i.e. sod or seed/over-seed or hydroseed) to be provided in accordance with drawing notes. Ensure mix design submittal is provided of product. Sod (if required) is to be non-netted. Seed (if required) is to be evenly distributed. Hydroseed (if required) is to be applied in even distribution in accordance with manufacturer's specifications. Hydroseed to include tackifier in accordance with manufacturer's blend. Incidentally increase tackifier under the guidance of the supplier in winter months in applications where slope stability is required.
- h. Parks will be contacted prior to planting the trees to inspect the planting areas, growing medium, root barriers, and trees. Trees shall be inspected for pests, diseases and defects. Following completed planting, mulching, staking, and installation of tree grates a final inspection is required.
- i. Applicant is responsible for procuring and planting the proposed municipal trees.

## ESTABLISHMENT MAINTENANCE FOR PLANTING BEDS

Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Maintenance to be compliant with "Level 2" (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.

## ESTABLISHMENT MAINTENANCE FOR LAWN SPACES

Lawns that are constructed with sod are to be 100% established and in accordance with Canadian Landscape Standards. Sodded lawns should appear evenly integrated with adjacent rolls and non-visible for edges or lifts in finish. Seeded lawns are to be evenly covered and established with vigorous growth. All lawns to appear with vigorous growth and maintenance with a minimum of 2 cuttings to a 60mm height for substantial review. Incidentally now to a continued 60mm height until the time of substantial completion. Do not allow lawns to exceed an 80mm height between cuttings.

## ESTABLISHMENT WATERING

Landscape watering to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils; as defined in 'Establishment Watering' requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.

### TREE REPLACEMENT SCHEDULES "C"

## TREE IMPACT SUMMARY

		Count	Multiplier	Total
Onsite minimum replacement tree	Protected trees removed	6	1	6
	Replacement trees proposed per Schedule "E", Part 1		1	0
	Replacement trees proposed per Schedule "E", Part 2	5	0.5	2.5
	Replacement trees proposed per Schedule "E", Part 3		1	0
	Total replacement trees proposed	2		
Onsite replacement tree deficiency				4
Onsite tree minimum	Tree minimum on lot			7
	Protected trees retained (other than specimen trees)	2	1	2
	Specimen trees retained	0	3	0
	Tree per lot deficiency			5

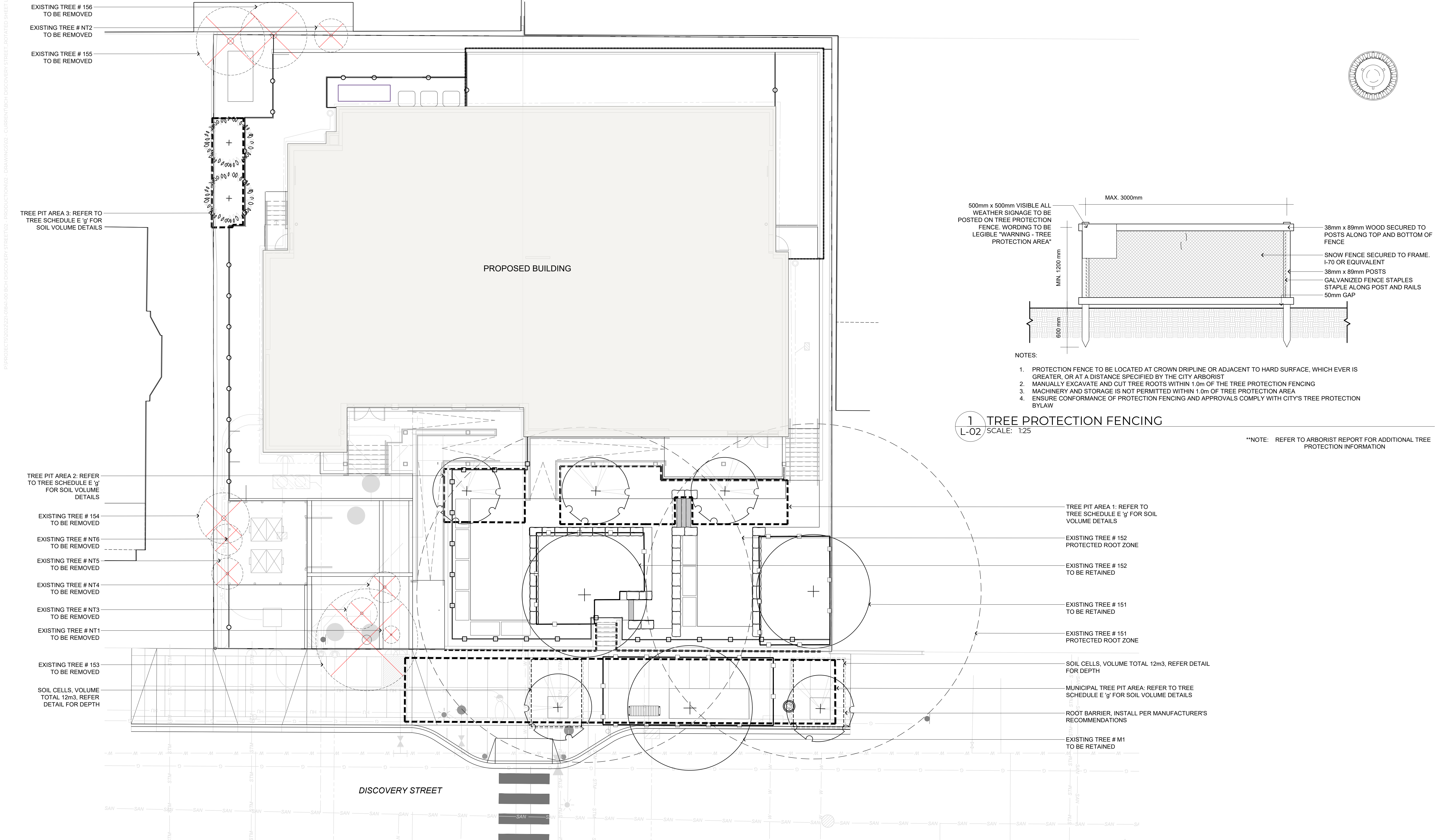
\*\*\*NOTE: TABLES AS PER CAPITAL TREE SERVICES CERTIFIED ARBORISTS

**\*\*NOTE: TABLES AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST**

Offsite Tree Minimum	Protected trees removed	0	1	0
	Replacement trees proposed per Schedule "E", part 1 or 3		1	0
	Replacement trees proposed per Schedule "E", part 2		0.5	0
	Total Replacement trees proposed			0
Cash-in-lieu	Offsite replacement tree deficiency			0
	Onsite trees proposed of cash-in-lieu			4
	Offsite trees proposed for cash-in-lieu			0
	Proposed cash-in-lieu			\$8000



P:\PROJECTS\2022\2021-0864-00 BCH DISCOVERY STREET\02 - PRODUCTION\02 - DRAWINGS\02 - CURRENT\BCH DISCOVERY STREET\_ROTATED SHEET LAYOUTS.DWG



## 1 TREE PROTECTION FENCING

L-02 SCALE: 1:25

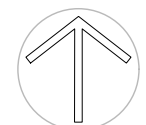
\*\*NOTE: REFER TO ARBORIST REPORT FOR ADDITIONAL TREE PROTECTION INFORMATION



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CLIENT  
**BC Housing**  
CONSULTANT  
**WSP**



Scale: 1:100  
Metres

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")			
11	24/11/22	RESPONSE TO DDP COMMENTS	RC
10	24/11/15	ISSUED FOR TENDER	RC
9	24/11/13	ISSUED FOR COORDINATION	RC
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC
NO.	DATE	DESCRIPTION	BY

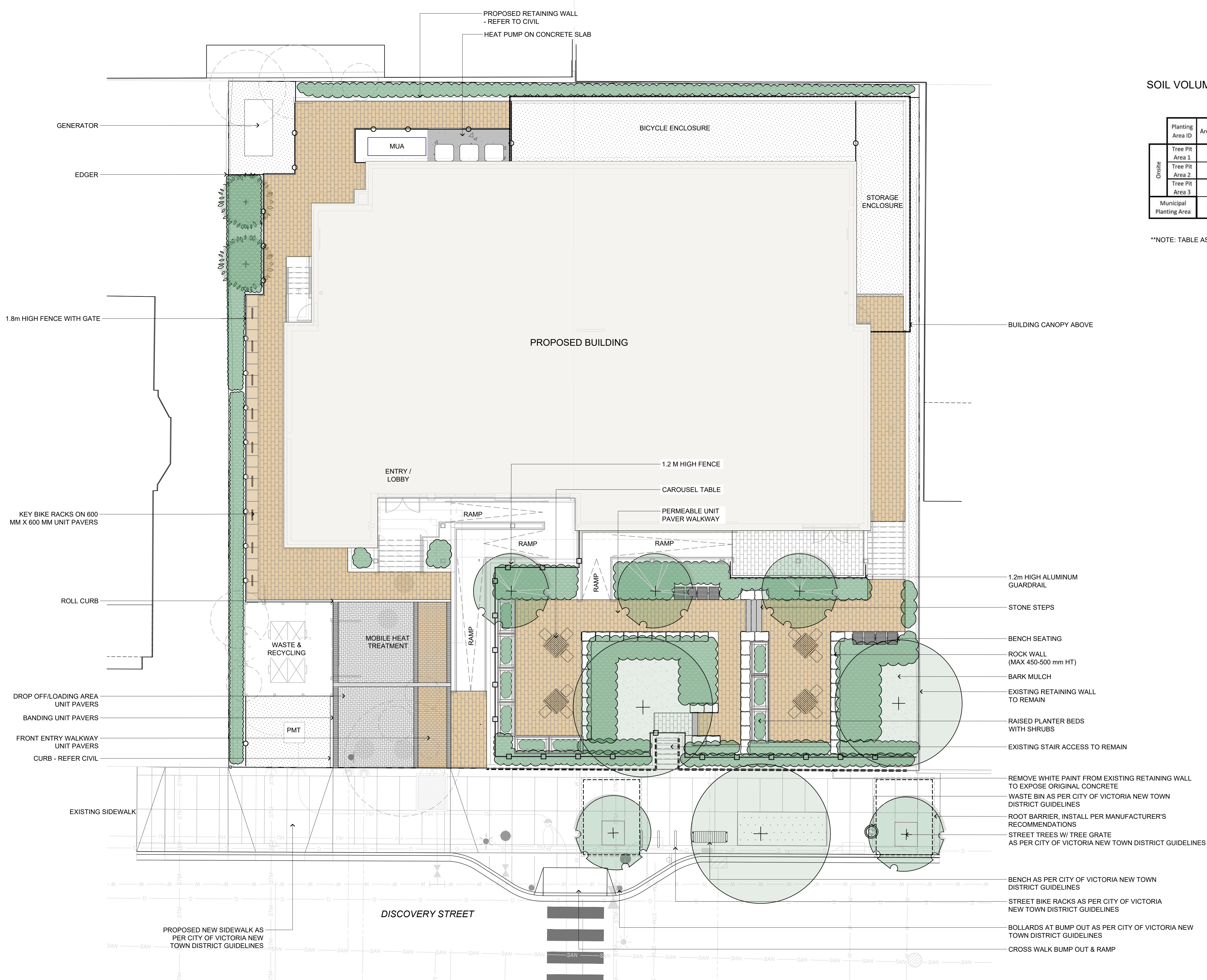
SEALED

DESIGN BY MJH  
DRAWN BY ER / RC  
CHECKED BY GS / TC  
PROJECT # 211-01841-00  
SCALE 1:100

SHEET TITLE  
**TREE MANAGEMENT & REPLACEMENT PLAN**  
SHEET NO.

L-02



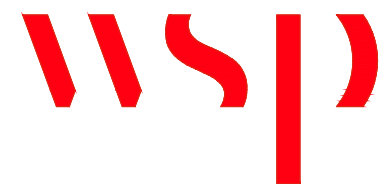
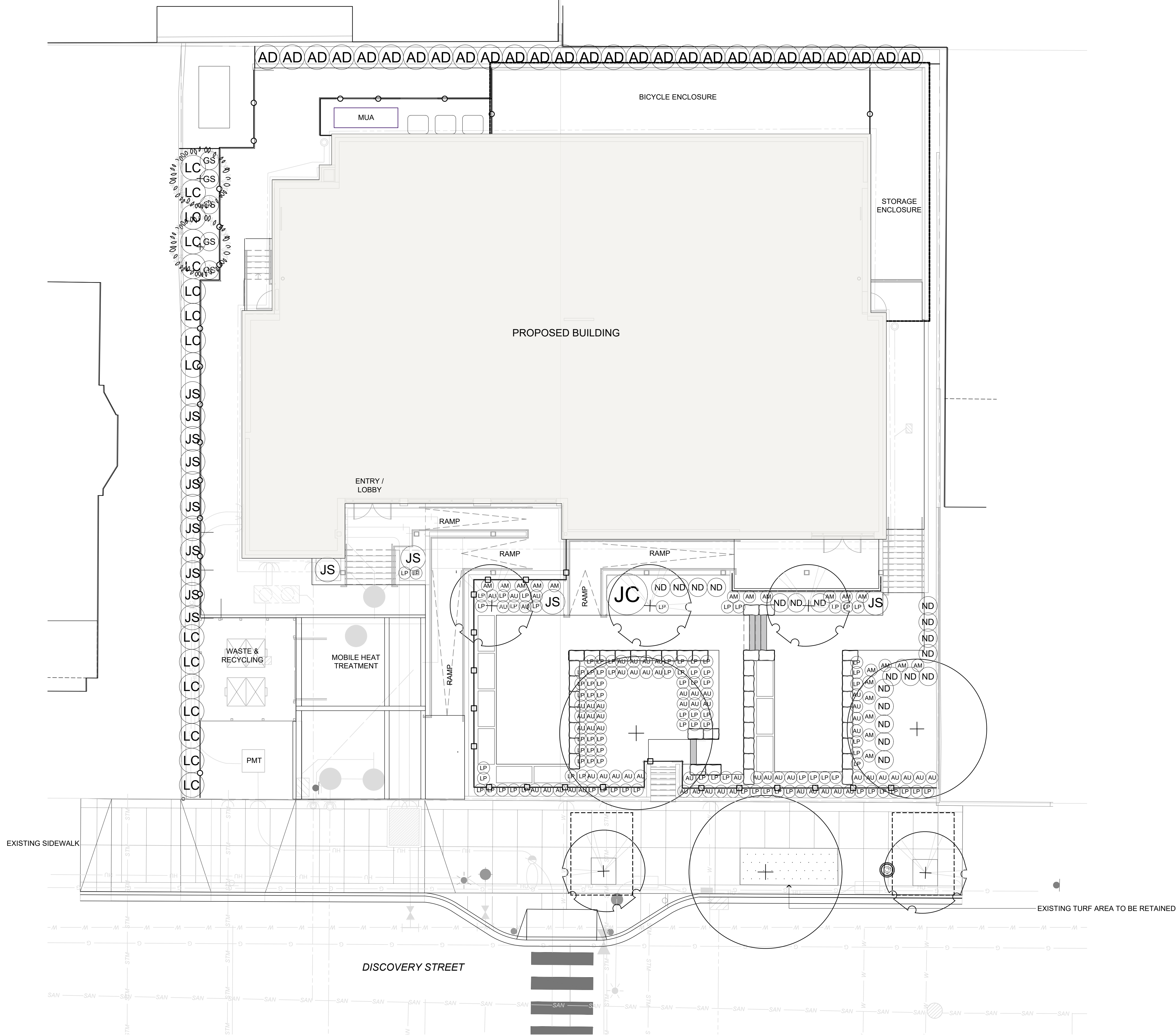


### SOIL VOLUME SCHEDULE E 'g'

					Proposed Replacement Trees			Soil Volume Required			
	Planting Area ID	Area M2	Soil Depth	Estimated soil volume	Small (ea)	Medium (ea)	Large (ea)	Small (m3)	Medium (m3)	Large (m3)	Total (m3)
Onsite	Tree Pit Area 1	38	1	38 m3		2			30		30
	Tree Pit Area 2	15	1	15 m3		1			15		15
	Tree Pit Area 3	12	1	12 m3	1			12			12
Municipal Planting Area		97	0.92	89 m3	2	1		12	15		27

\*\*NOTE: TABLE AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST

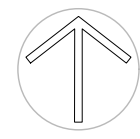




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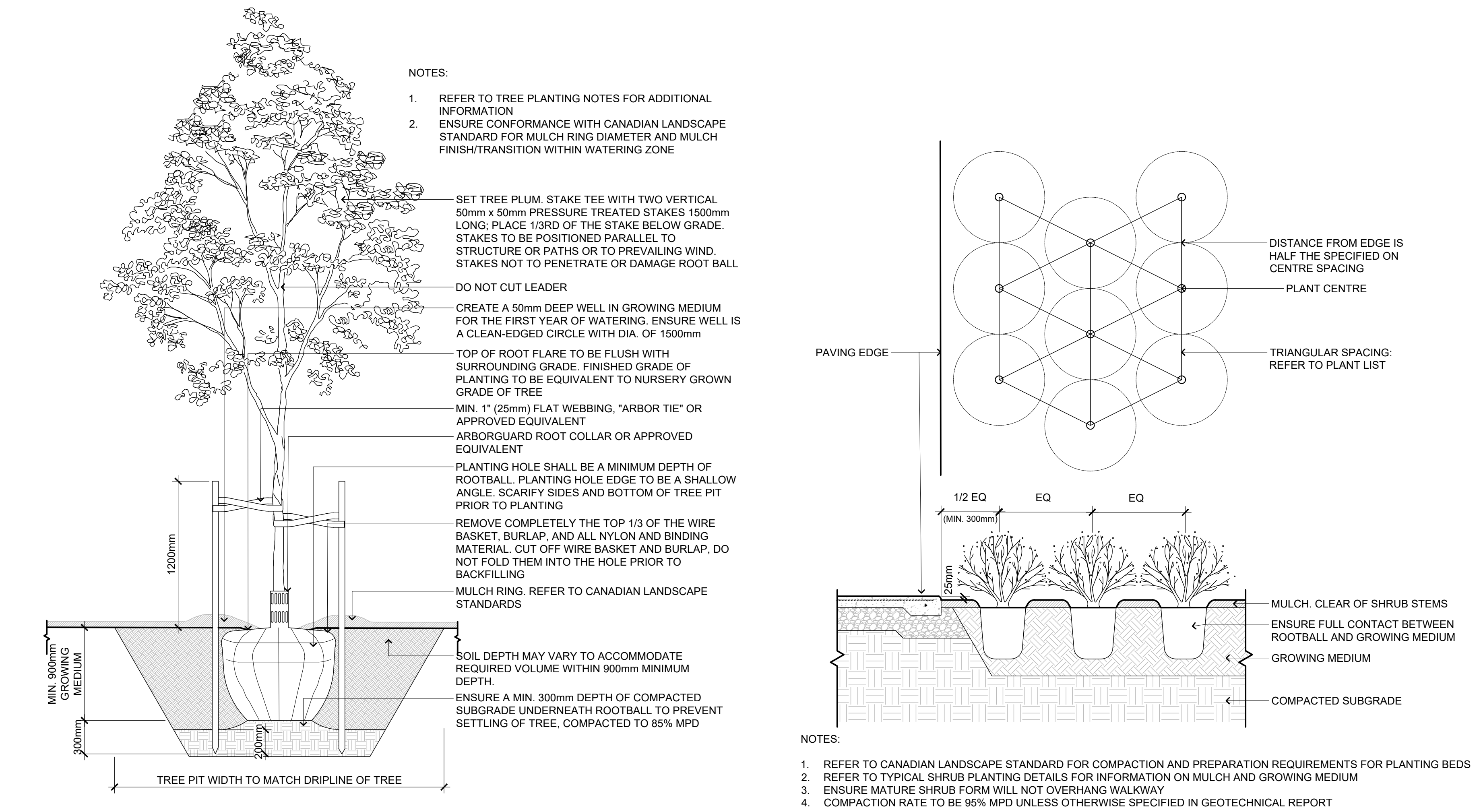
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DESIGN BY M/JH  
DRAWN BY ER / RC  
CHECKED BY GS / TC  
PROJECT # 211-01841-00  
SCALE 1:100

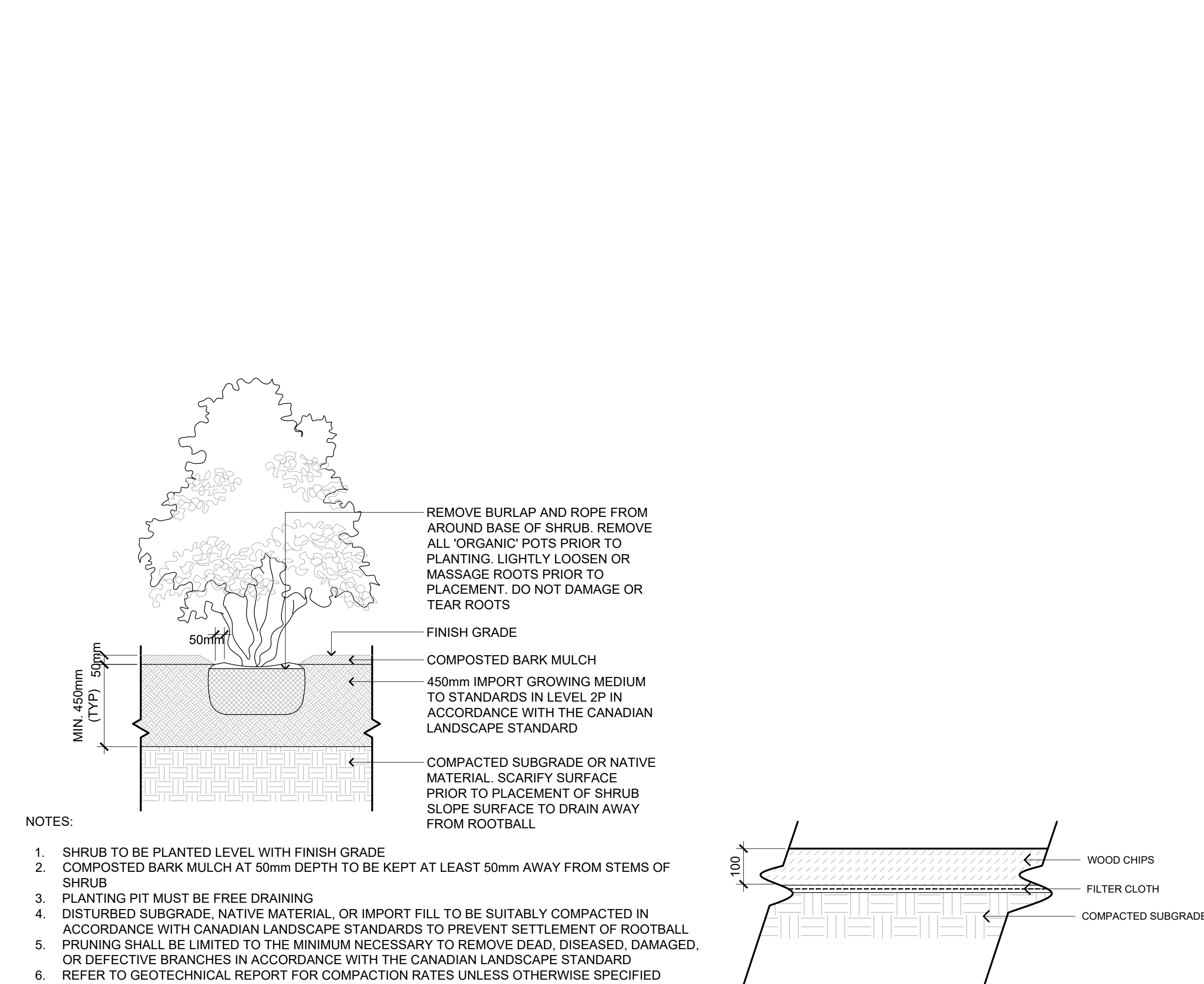
SHEET TITLE  
**PLANTING PLAN**  
SHEET NO.

L-04





1 TREE PLANTING  
L-05 SCALE: 1:25



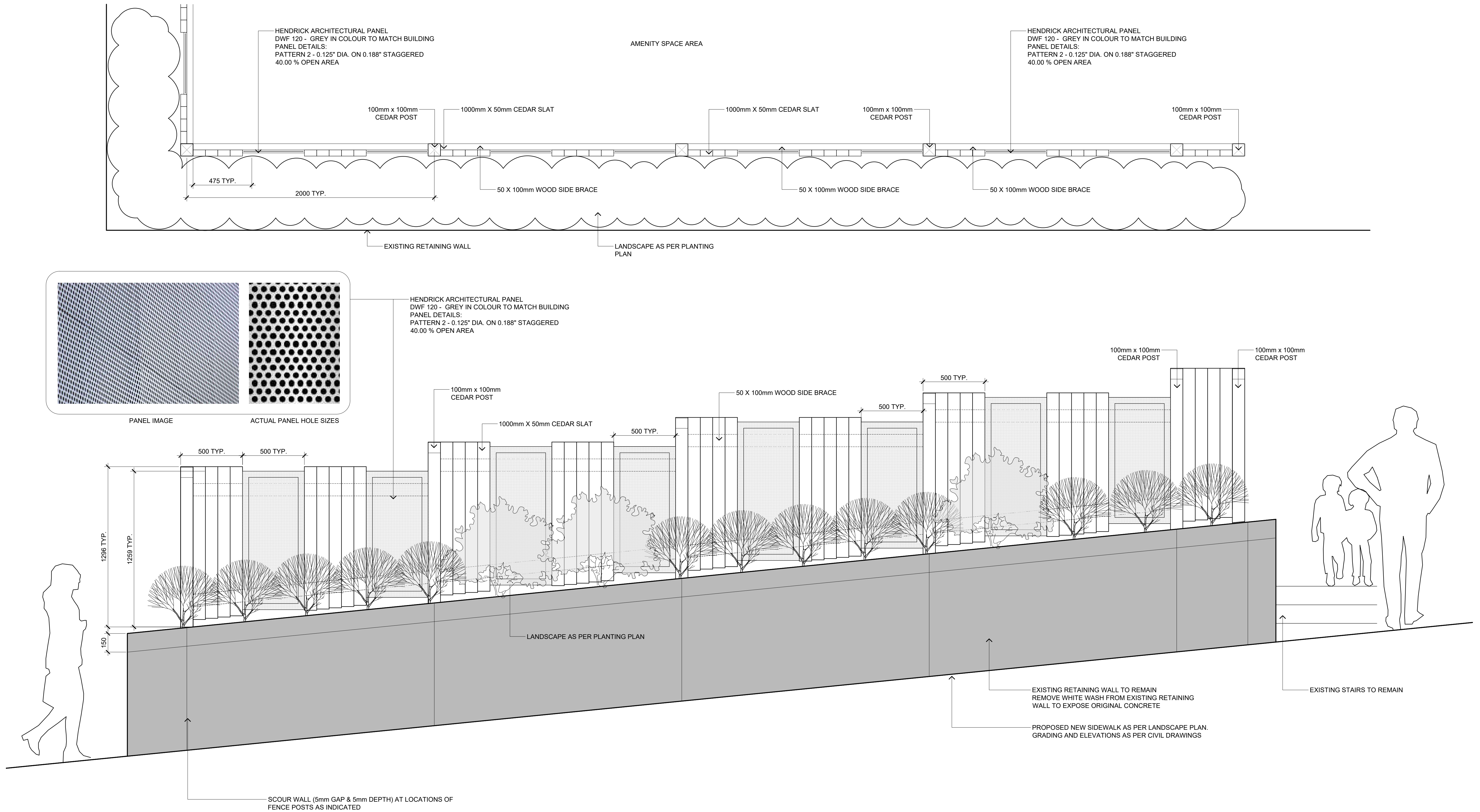












1 1.2m HIGH FENCE  
L-08 SCALE: 1:15



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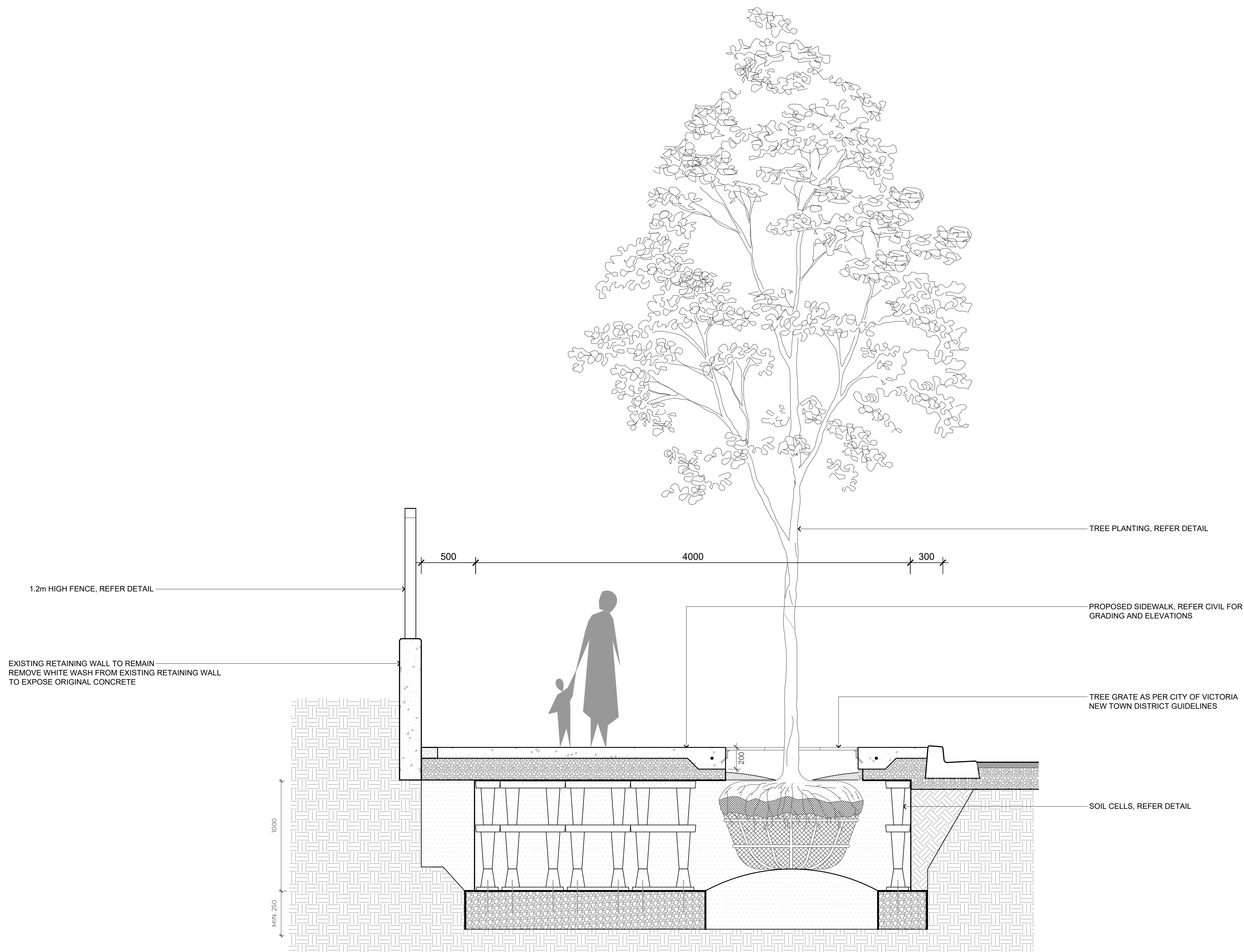
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DESIGN BY MJH  
DRAWN BY ER / RC  
CHECKED BY GS / TC  
PROJECT # 211-01841-00  
SCALE AS SHOWN

SHEET TITLE  
**FENCING DETAILS**  
SHEET NO.

L-08





# 1 SECTIONS - SOIL CELL LAYOUT