



DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2024.11.22

Design Team

CLIENT:
BC Housing
Sean Rorison
PHONE: N/A
EMAIL: srorison@bchousing.org

ARCHITECT:
S2 Architecture
Michael Defina
PHONE: 403.670.7000
EMAIL: m.defina@s2architecture.com

LANDSCAPE:
WSP
Michael Holm
PHONE: 604.631.9637
EMAIL: michael.holm@wsp.com

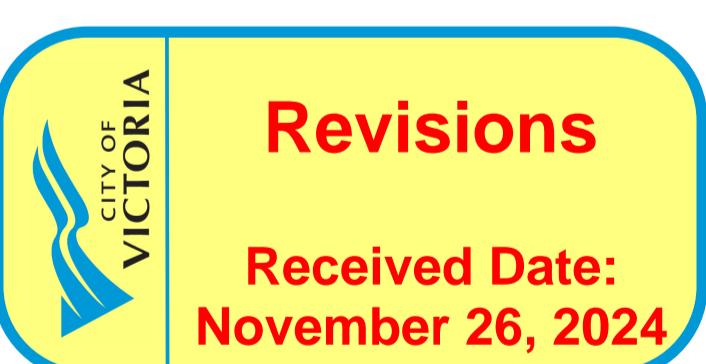
CIVIL:
Lawson Engineering & Development
Stuart Purves
PHONE: 250.832.3220
EMAIL: stuart@lawsondevelopments.com

ELECTRICAL:
HPF Engineering
Neil Rogers
PHONE: 250.828.7992
EMAIL: neal@hpfengineering.com

MECHANICAL:
Falcon Engineering
Loic Letaillleur
PHONE: 778.313.0407
EMAIL: loic.letailleur@falcon.ca



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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

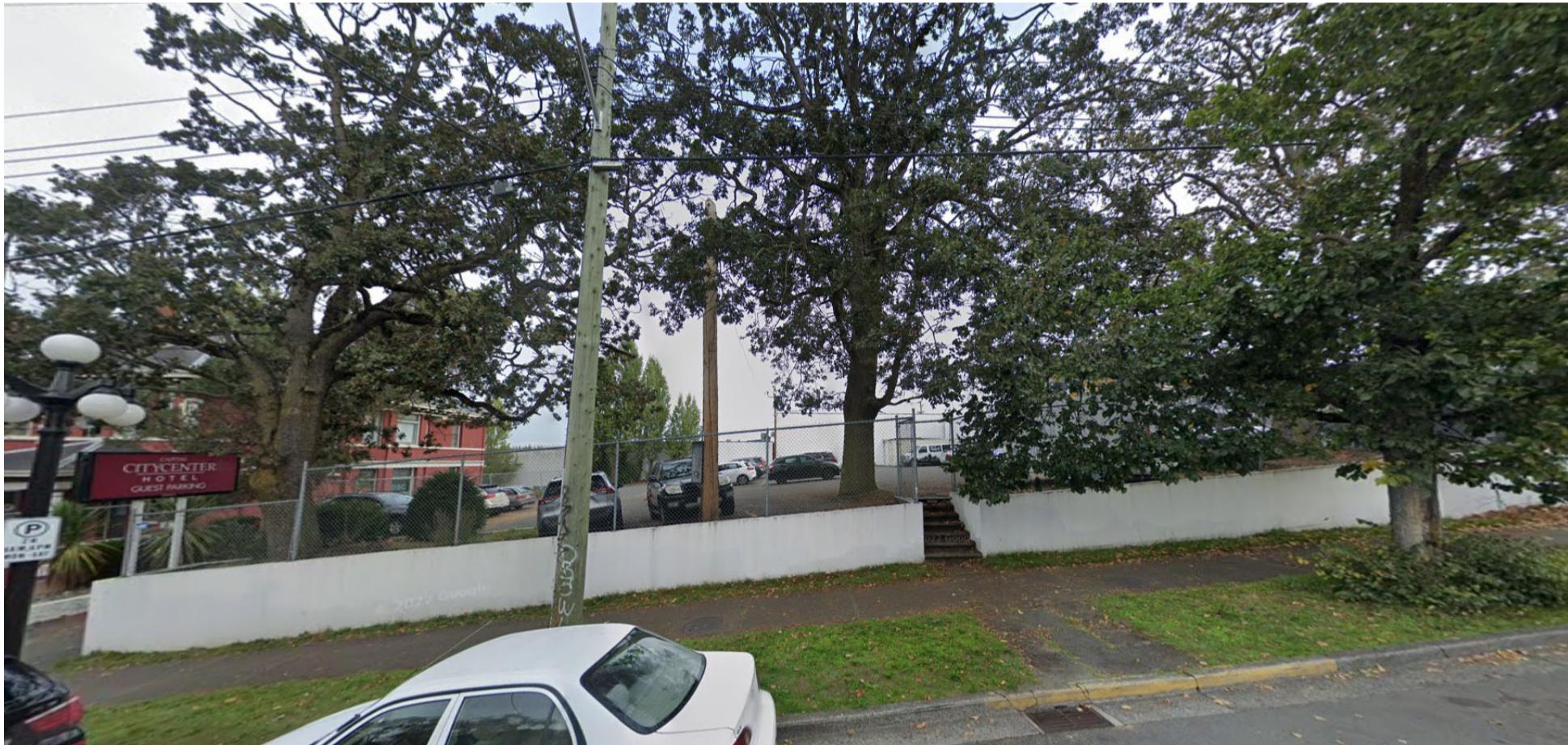
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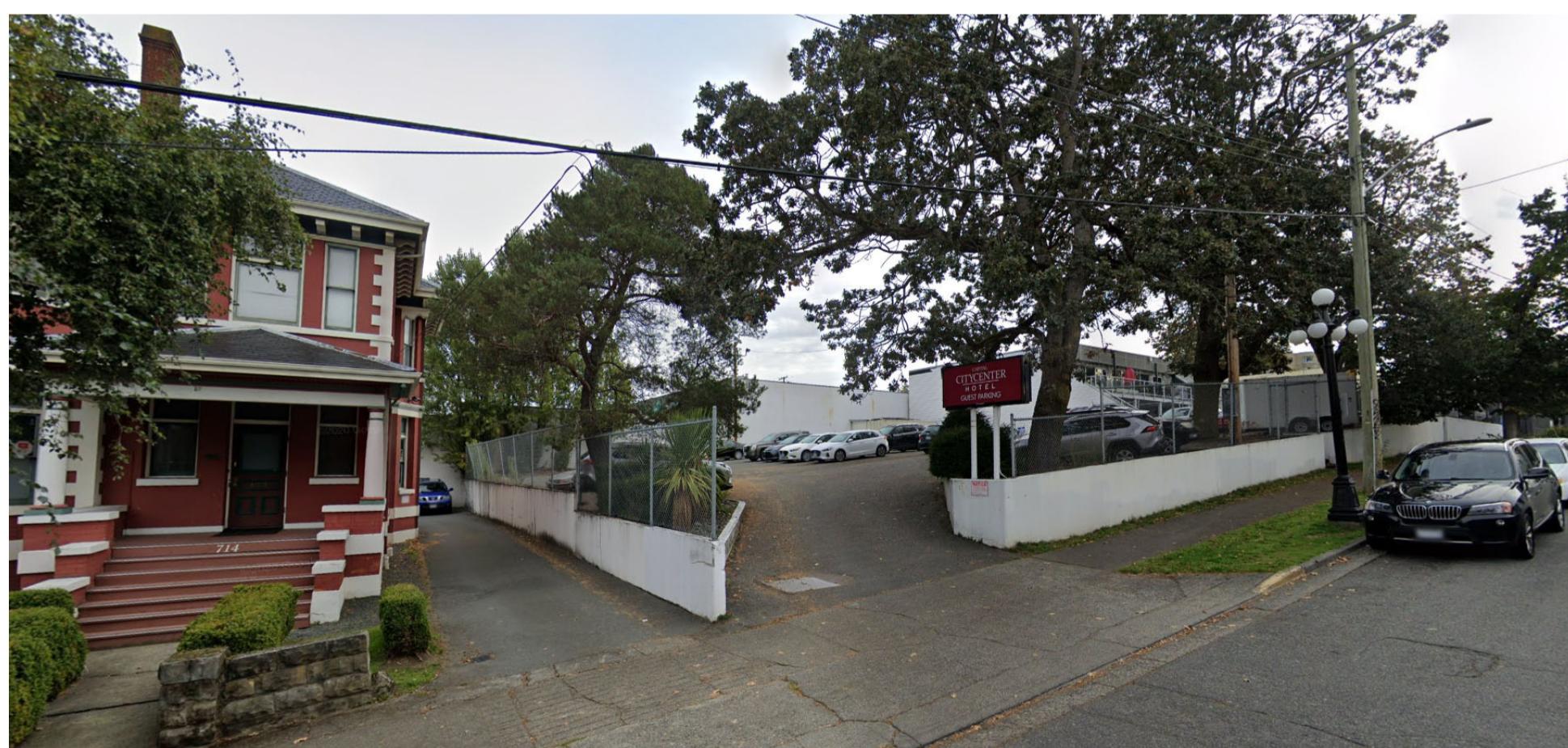
Vicinity Map 		Municipal Address <p>722 and 726 DISCOVERY STREET VICTORIA, B.C. CANADA</p>	Area Summary <p>NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.</p> <table border="1"> <thead> <tr> <th>GROSS FLOOR AREA</th> <th>GFA (SQM)</th> </tr> </thead> <tbody> <tr><td>LEVEL 1</td><td>613</td></tr> <tr><td>LEVEL 2</td><td>581</td></tr> <tr><td>LEVEL 3</td><td>581</td></tr> <tr><td>LEVEL 4</td><td>581</td></tr> <tr><td>LEVEL 5</td><td>581</td></tr> <tr><td>LEVEL 6</td><td>581</td></tr> <tr><td>LEVEL 7</td><td>581</td></tr> <tr><td>LEVEL 8</td><td>581</td></tr> <tr><td>TOTAL GFA</td><td>4,680</td></tr> </tbody> </table>	GROSS FLOOR AREA	GFA (SQM)	LEVEL 1	613	LEVEL 2	581	LEVEL 3	581	LEVEL 4	581	LEVEL 5	581	LEVEL 6	581	LEVEL 7	581	LEVEL 8	581	TOTAL GFA	4,680										
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Legal Address <p>LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151</p>		By-Law Zoning <p>CURRENT ZONING: R-108 MULTIPLE DWELLING PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)</p>	Dwelling Unit Count <table border="1"> <thead> <tr> <th colspan="5">UNIT SUMMARY</th> </tr> <tr> <th>UNIT NAME</th> <th>UNIT TYPE</th> <th>UNIT AREA</th> <th>QUANTITY</th> <th>% OF TOTAL</th> </tr> </thead> <tbody> <tr><td>A1/A2</td><td>STUDIO</td><td>33-36</td><td>74</td><td>82%</td></tr> <tr><td>A3</td><td>ACCESSIBLE STUDIO</td><td>34</td><td>8</td><td>8%</td></tr> <tr><td>A3</td><td>ADAPTABLE STUDIO</td><td>34</td><td>8</td><td>8%</td></tr> <tr><td>TOTAL</td><td></td><td></td><td>90</td><td>100.0%</td></tr> </tbody> </table>	UNIT SUMMARY					UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY	% OF TOTAL	A1/A2	STUDIO	33-36	74	82%	A3	ACCESSIBLE STUDIO	34	8	8%	A3	ADAPTABLE STUDIO	34	8	8%	TOTAL			90	100.0%
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Site Summary <p>SITE AREA: 1,348.6m² (0.33 ac) PROPOSED BUILDING FOOTPRINT 573.00 m² PROPOSED BICYCLE ENCLOSURE 62.00 m² TOTAL FOOTPRINT 635.00 m²</p>		Site Coverage <p>SITE AREA: 1,348.6m² (0.33 ac) SITE COVERAGE: 613.00m² (45.4%) OPEN SITE SPACE: 735.6m² (54.6%)</p>	Motor Vehicle Parking Requirements <table border="1"> <thead> <tr> <th colspan="5">RESIDENTIAL - UNIT PARKING</th> </tr> <tr> <th>DESCRIPTION</th> <th>UNIT COUNT</th> <th>AREA (m²)</th> <th>FACTOR</th> <th>REQUIRED PROVIDED</th> </tr> </thead> <tbody> <tr><td>UNITS - RESIDENTIAL</td><td>90</td><td>N/A</td><td>0.2 STALLS PER UNIT</td><td>18 0</td></tr> <tr><td>UNITS - VISITOR</td><td>90</td><td>N/A</td><td>0.1 STALLS PER UNIT</td><td>9 0</td></tr> <tr><td>EMPLOYEE AREAS</td><td>N/A</td><td>86</td><td>1 STALL PER 80 m²</td><td>1 0</td></tr> <tr><td>TOTAL PARKING</td><td></td><td></td><td></td><td>28 0</td></tr> </tbody> </table> <p>NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.</p> <p>NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPORTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.</p>	RESIDENTIAL - UNIT PARKING					DESCRIPTION	UNIT COUNT	AREA (m ²)	FACTOR	REQUIRED PROVIDED	UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18 0	UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9 0	EMPLOYEE AREAS	N/A	86	1 STALL PER 80 m ²	1 0	TOTAL PARKING				28 0
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By-Law Setback <p>PROPOSED BUILDING SETBACKS FRONT (DISCOVERY STREET): 10.0m REAR (NORTH): 4.0m SIDE (EAST): 2.5m SIDE (WEST): 3.0m</p>		Proposed Development <p>REST HOME - CLASS C (SUPPORTIVE HOUSING) BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE: BUILDING C: GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED</p>	Bicycle Parking Requirements <table border="1"> <thead> <tr> <th colspan="5">RESIDENTIAL - LONG TERM PARKING</th> </tr> <tr> <th>DESCRIPTION</th> <th>QUANTITY</th> <th>FACTOR</th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr><td>UNIT COUNT</td><td>90</td><td>1 PER UNIT</td><td>90</td><td>30</td></tr> </tbody> </table> <p>NOTE: LONG TERM PARKING COUNT INCLUDES: 25 WALL MOUNTED BIKE STALLS 5 FLOOR MOUNTED BIKE STALLS</p> <table border="1"> <thead> <tr> <th colspan="5">RESIDENTIAL - SHORT TERM PARKING</th> </tr> <tr> <th>DESCRIPTION</th> <th>QUANTITY</th> <th>FACTOR</th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr><td>UNIT COUNT</td><td>90</td><td>0.1</td><td>9</td><td>9</td></tr> </tbody> </table>	RESIDENTIAL - LONG TERM PARKING					DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED	UNIT COUNT	90	1 PER UNIT	90	30	RESIDENTIAL - SHORT TERM PARKING					DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED	UNIT COUNT	90	0.1	9	9
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Building Height <p>MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m MAXIMUM ALLOWABLE PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT: • PARAPETS: 1.0m • ROOFTOP STRUCTURES: 5.0m</p>		<p>PROPOSED BUILDING HEIGHT: +/-27.0m PROPOSED PARAPET HEIGHT: +/-1.0m PROPOSED ROOFTOP STRUCTURES: +/-2.1m</p> <p>TOTAL PROPOSED BUILDING HEIGHT: 29.4m</p>	Waste & Recycling Requirements <p>SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCLABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:</p> <ul style="list-style-type: none"> 4yd³ WASTE BIN 4yd³ RECYCLE BIN TWO 189L ORGANICS BINS <p>NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.</p>																														
Floor Space Ratio <table border="1"> <tr> <td>MAXIMUM PERMITTED F.S.R.</td> <td>PROPOSED F.S.R.</td> </tr> <tr> <td>3.5</td> <td>3.34</td> </tr> </table>		MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.	3.5	3.34																												
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1 Looking North-West



2 Looking North



3 Looking North-East

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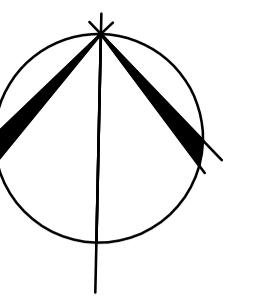
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14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

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SITE PLAN

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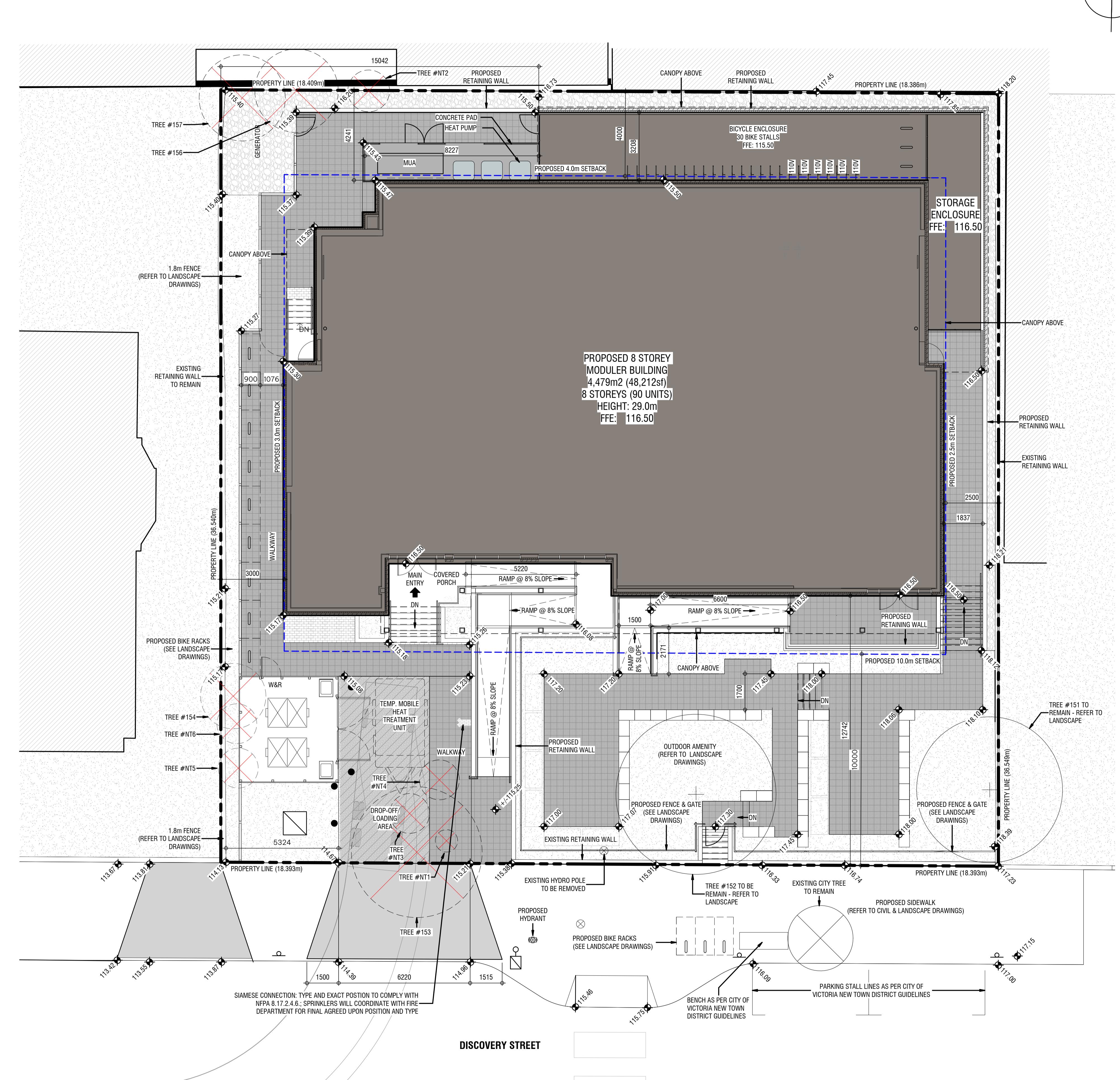
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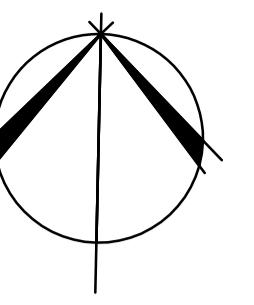
Site Plan - General Notes

1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION
2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF CONCRETE
- INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY
- INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA - REFER TO LANDSCAPING
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS



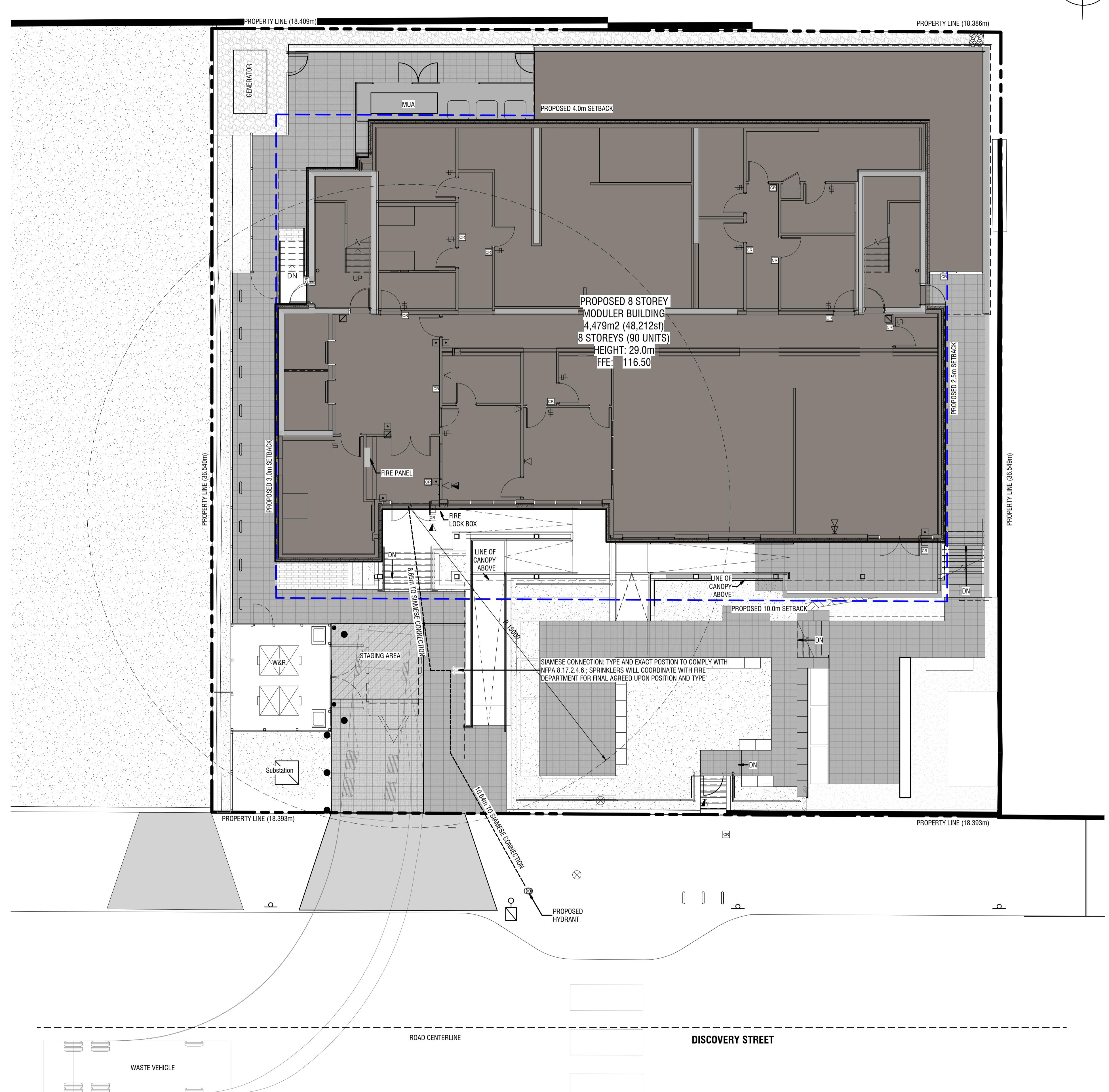


DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

W&R ACCESS AND FIRE CONNECTION PLAN



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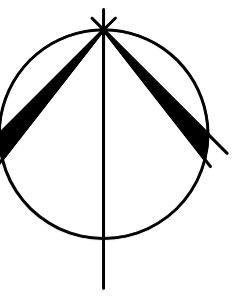
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REVISION	DATE
6 RF-ISSUED FOR DEVELOPMENT PERMIT	09.18.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

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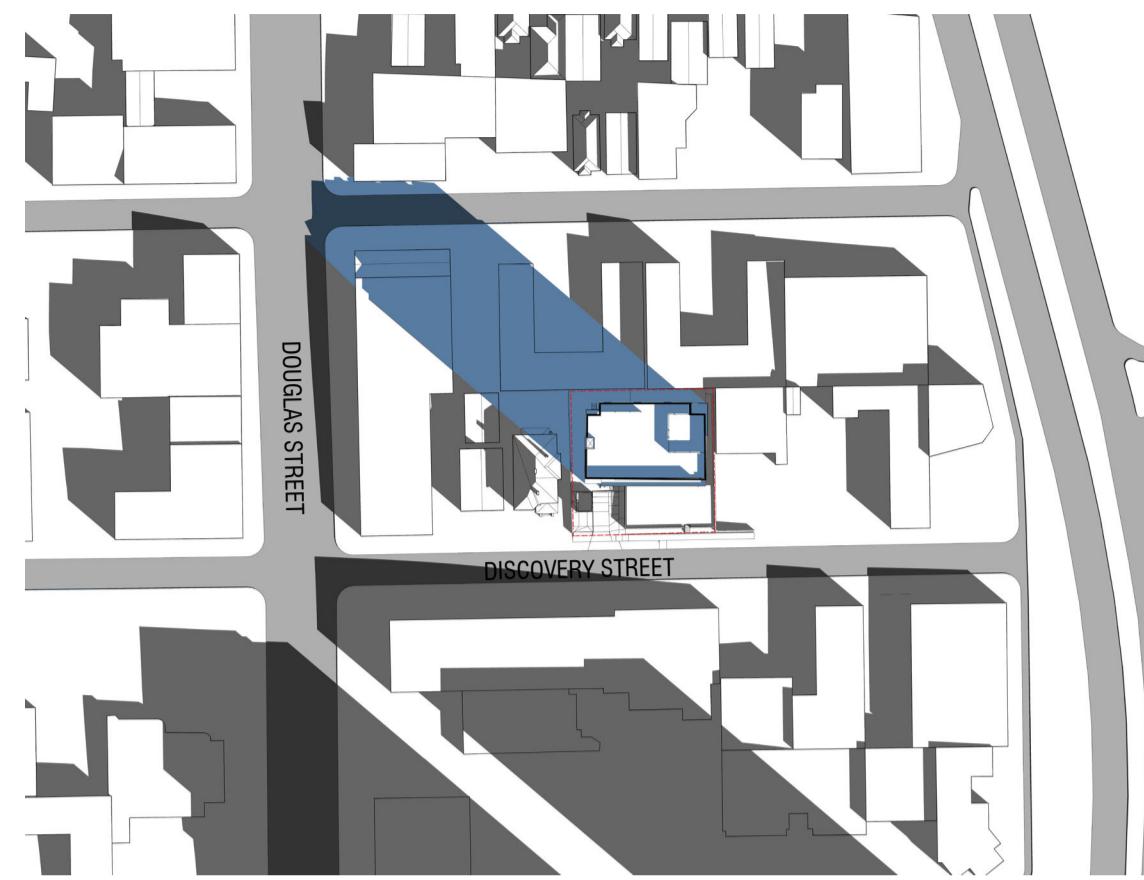
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JUNE 21 - 10:00 AM



SEPTEMBER 21 - 10:00 AM



MARCH 21 - 12:00 PM



JUNE 21 - 12:00 PM



SEPTEMBER 21 - 12:00 PM



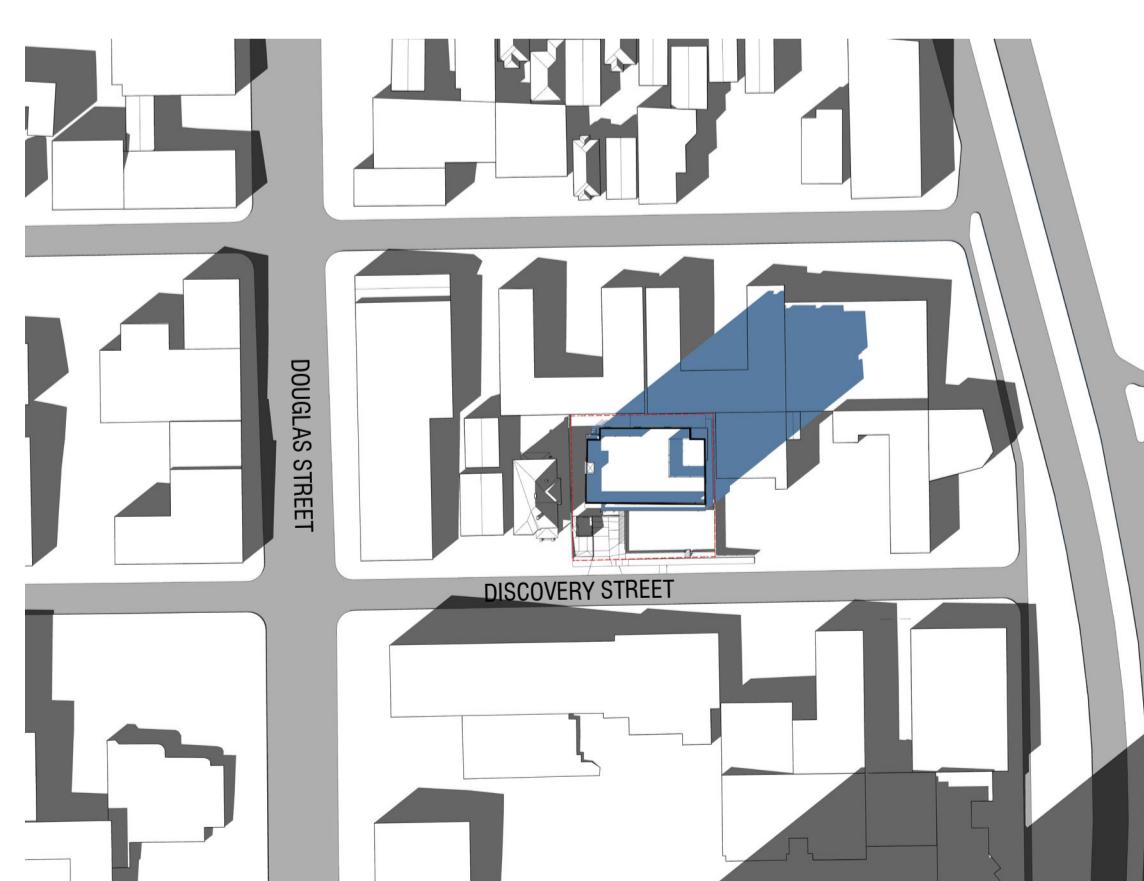
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JUNE 21 - 2:00 PM



SEPTEMBER 21 - 2:00 PM



MARCH 21 - 4:00PM



JUNE 21 - 4:00PM



SEPTEMBER 21 - 4:00PM

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4	DP RE-SUBMISSION 07.04.2023
5	ISSUED FOR SCHEMATIC 07.10.2023
10	TENDER 04.29.2022
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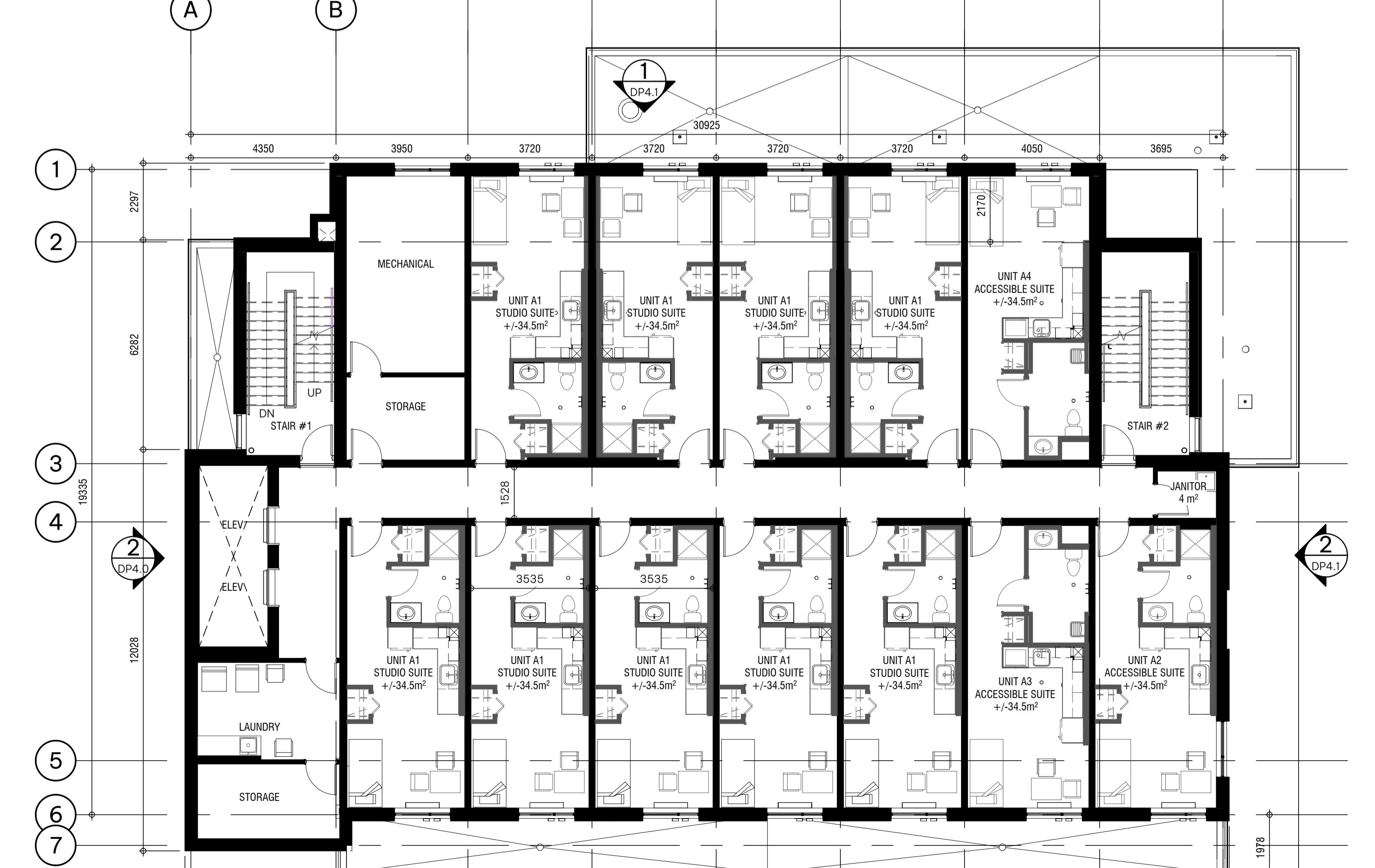
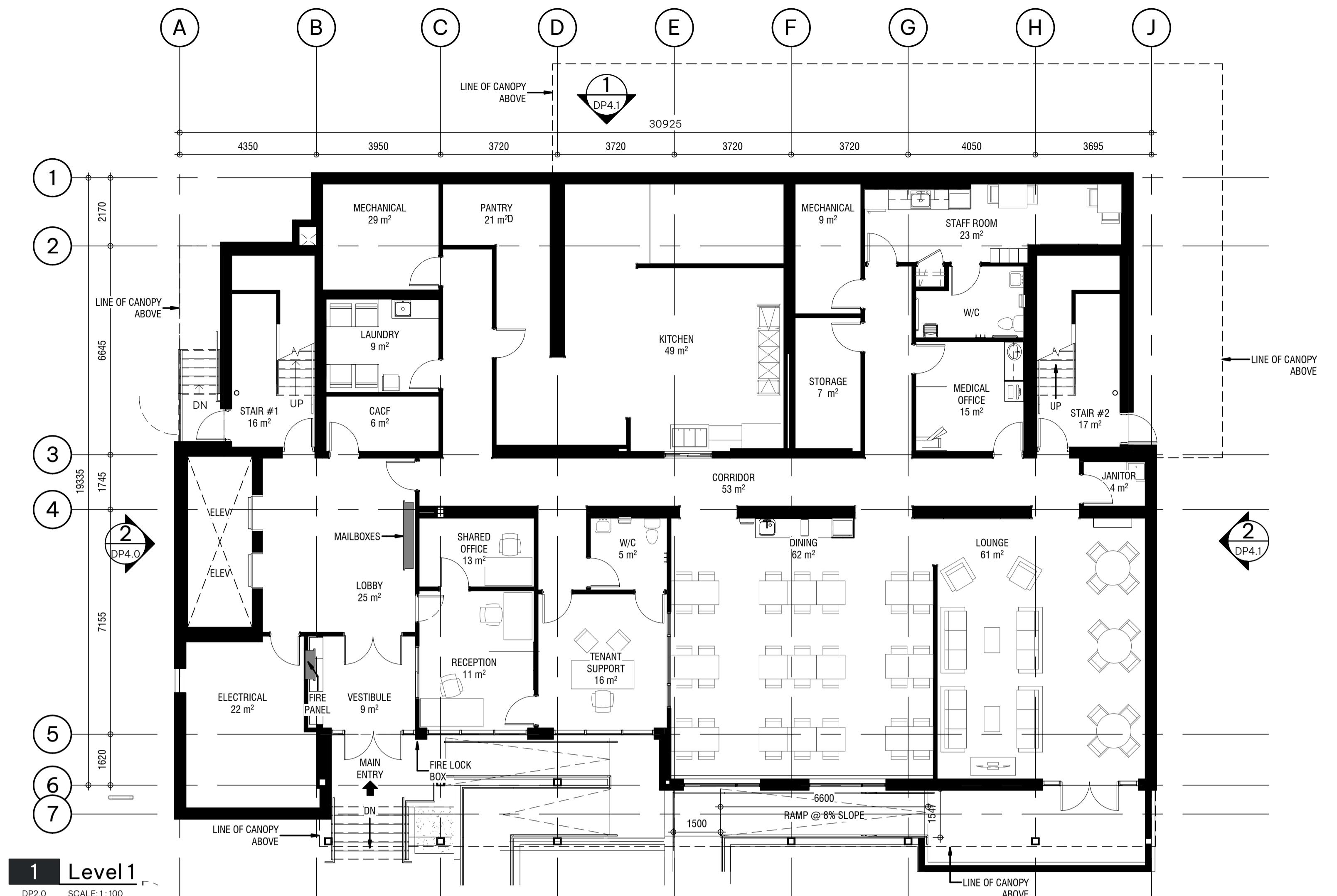
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DISCOVERY STREET SUPPORTIVE HOUSING

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LEVEL 1 & 2 FLOOR PLANS



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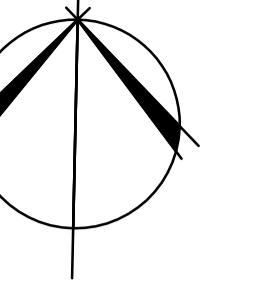
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LEVEL 5 & 6 FLOOR PLANS

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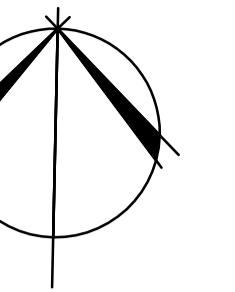
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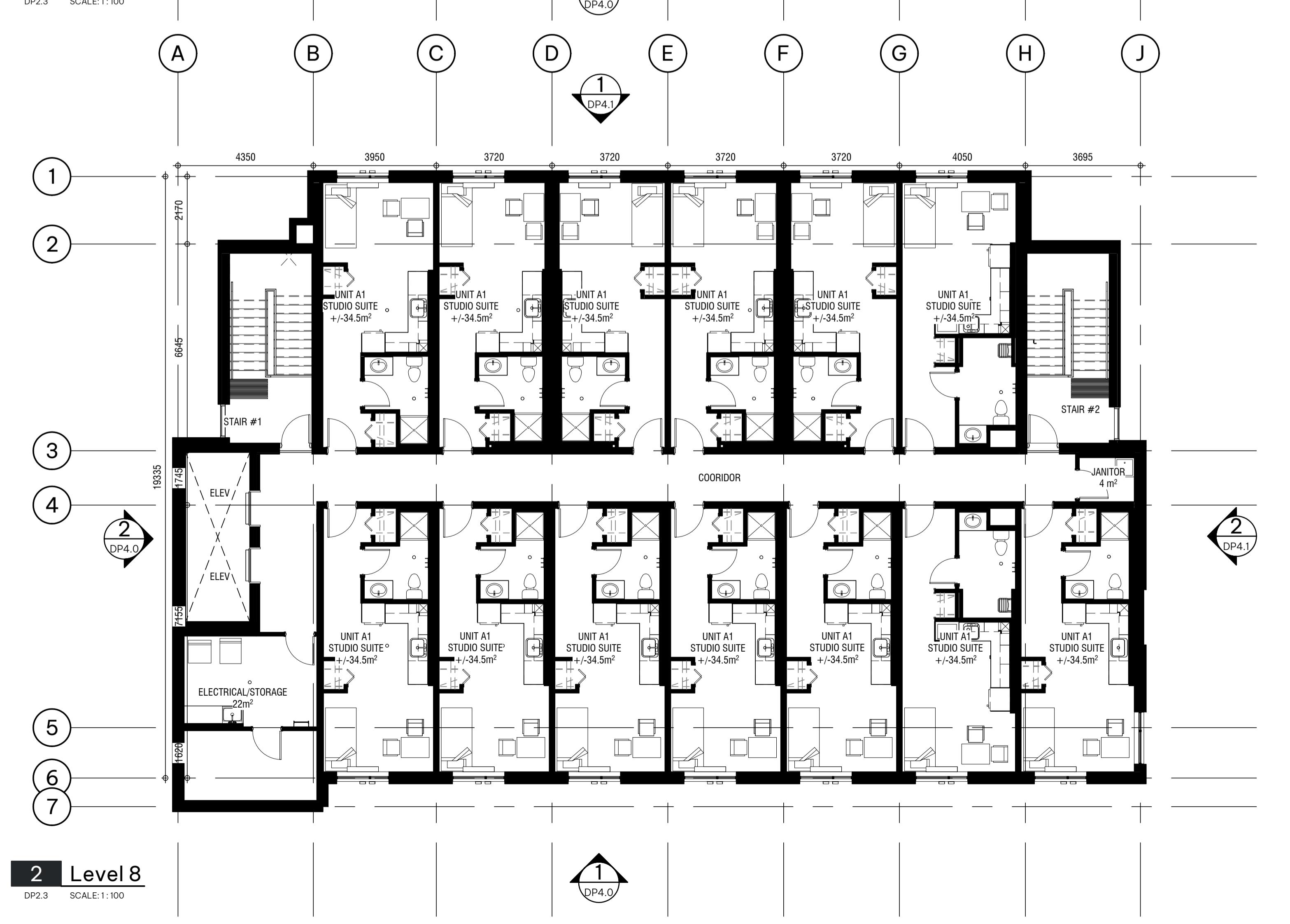
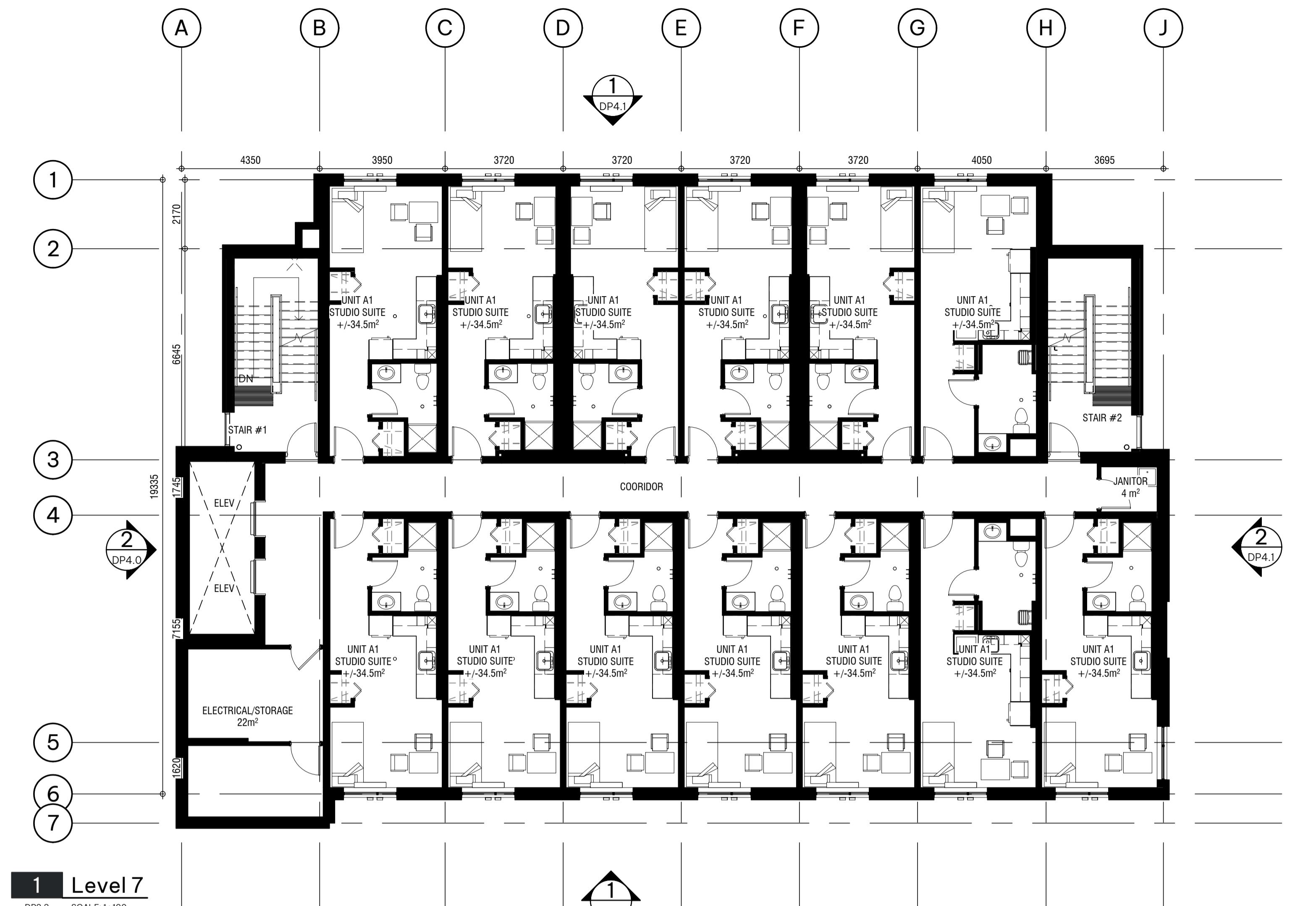
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DISCOVERY STREET SUPPORTIVE HOUSING

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BC HOUSING

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LEVEL 7 & 8 FLOOR PLANS



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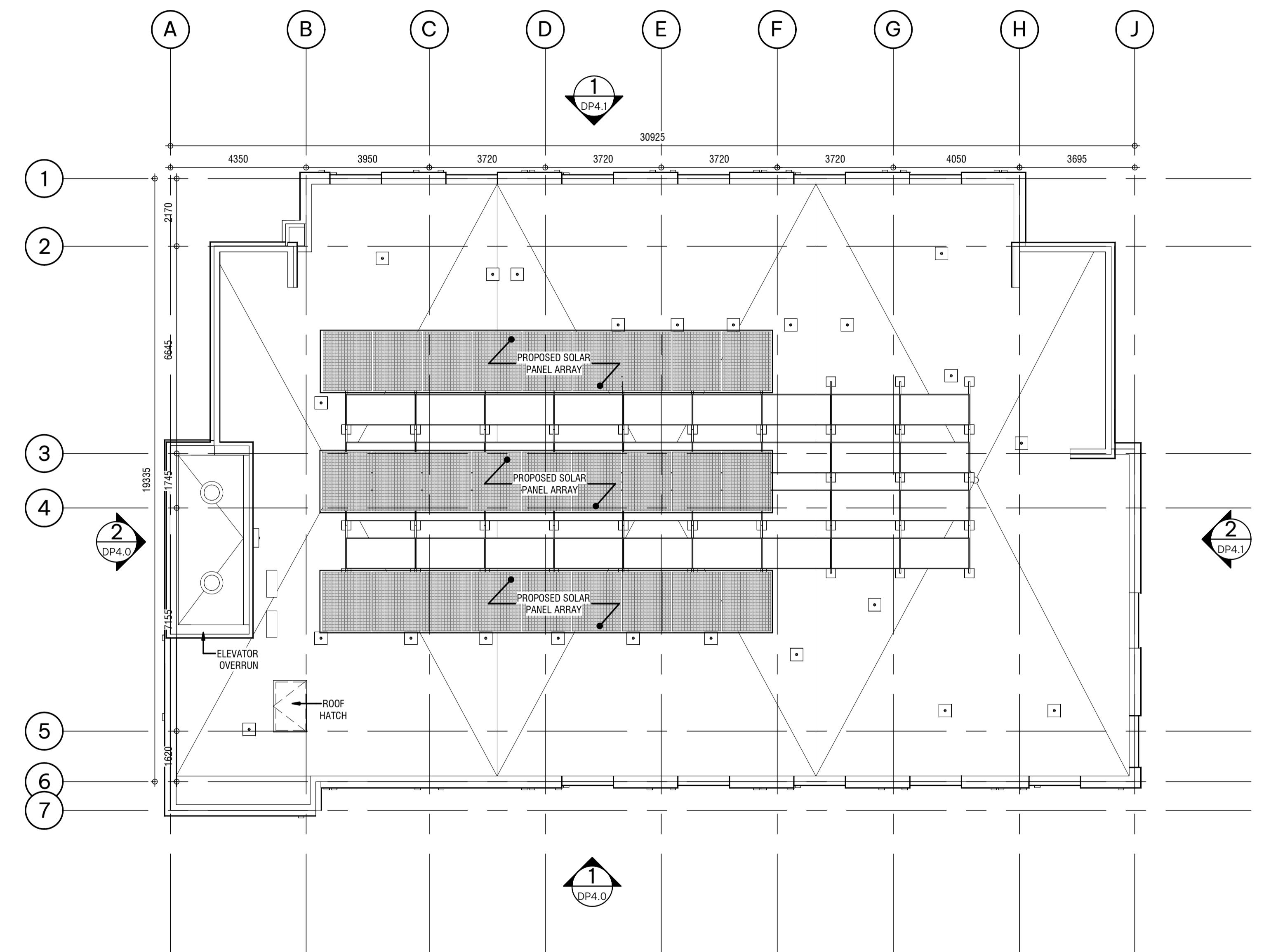
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DISCOVERY STREET SUPPORTIVE HOUSING

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ROOF PLAN



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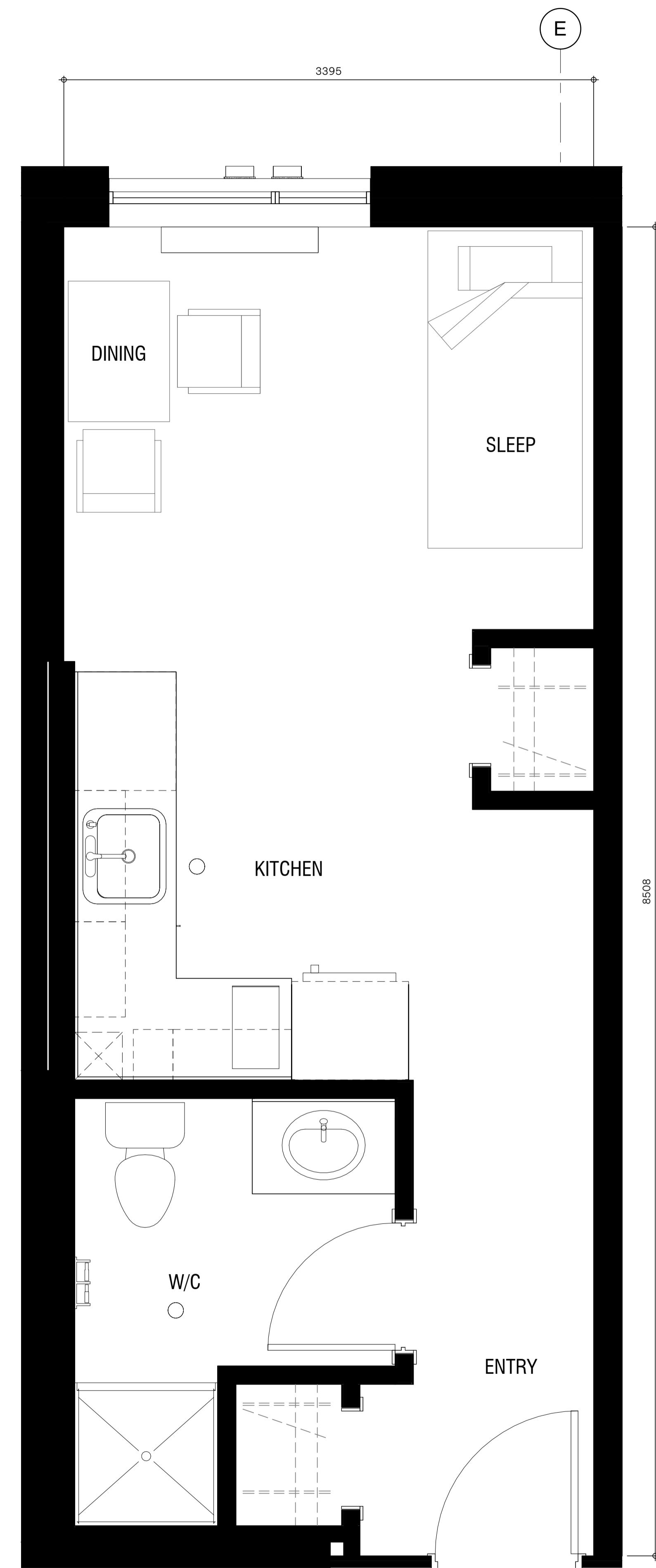
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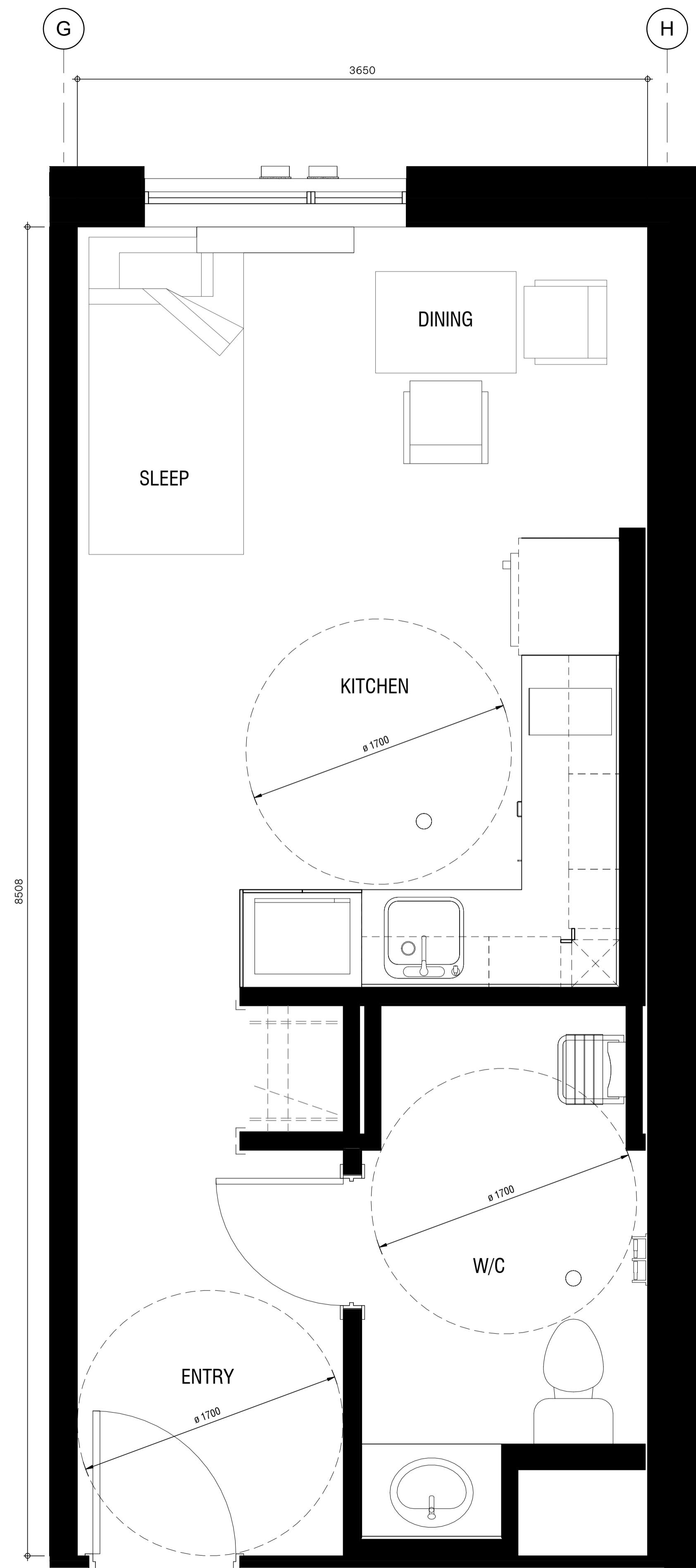
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DRAWING NO.

DP2.4



1 Unit A1 - Typical Studio Unit | ±34.5sqm
DP2.5 SCALE:1:20



2 Unit A2/A3 - Accessible & Adaptable Units | ±34.5sqm
DP2.5 SCALE:1:20

UNIT PLANS

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datum, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION DATE
5 ISSUED FOR SCHEMATIC TENDER 07.10.2023

SCALE 1 : 20
DATE 11/27/2024 9:48:45 AM
DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

DP2.5

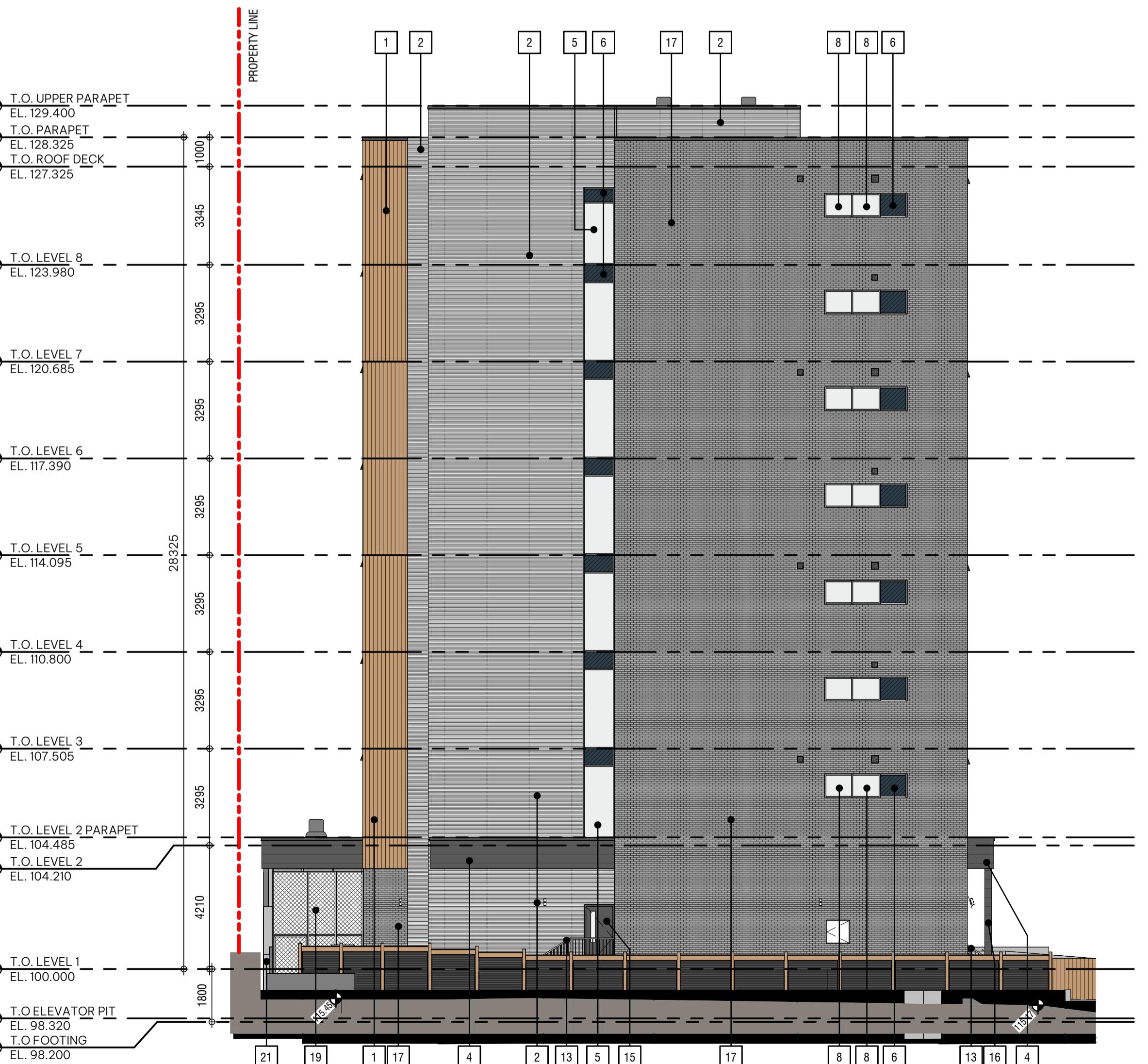
DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

Elevation - Code Legend	
1	VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
2	COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
3	PVC WINDOW - FROSTED GLASS - BLACK FRAME
4	METAL PANEL - CHARCOAL
5	SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
6	METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
7	SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
8	PVC WINDOW - VISION GLASS - BLACK FRAME
9	CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
10	P.T. DECK SKIRTING - GOLDEN OAK TONE
11	P.T. WOOD DECKING - GOLDEN OAK TONE
12	P.T. WOOD STAIRS - GOLDEN OAK TONE
13	METAL HANDRAIL/GUARD - BLACK
14	DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
15	HOLLOW FRAME STEEL DOOR - CHARCOAL
16	PAINTED HEAVY TIMBER COLUMNS - BLACK
17	MODULAR BRICK - MIXED GREY
18	POTENTIAL SOLAR PANEL ARRAY
19	CHAIN LINK FENCE
20	CONCRETE MASONRY UNIT
21	CONCRETE RETAINING WALL

BUILDING ELEVATIONS



2 West Elevation

DP4.0 SCALE 1:125



1 South Elevation

DP4.0 SCALE 1:125

DP4.0

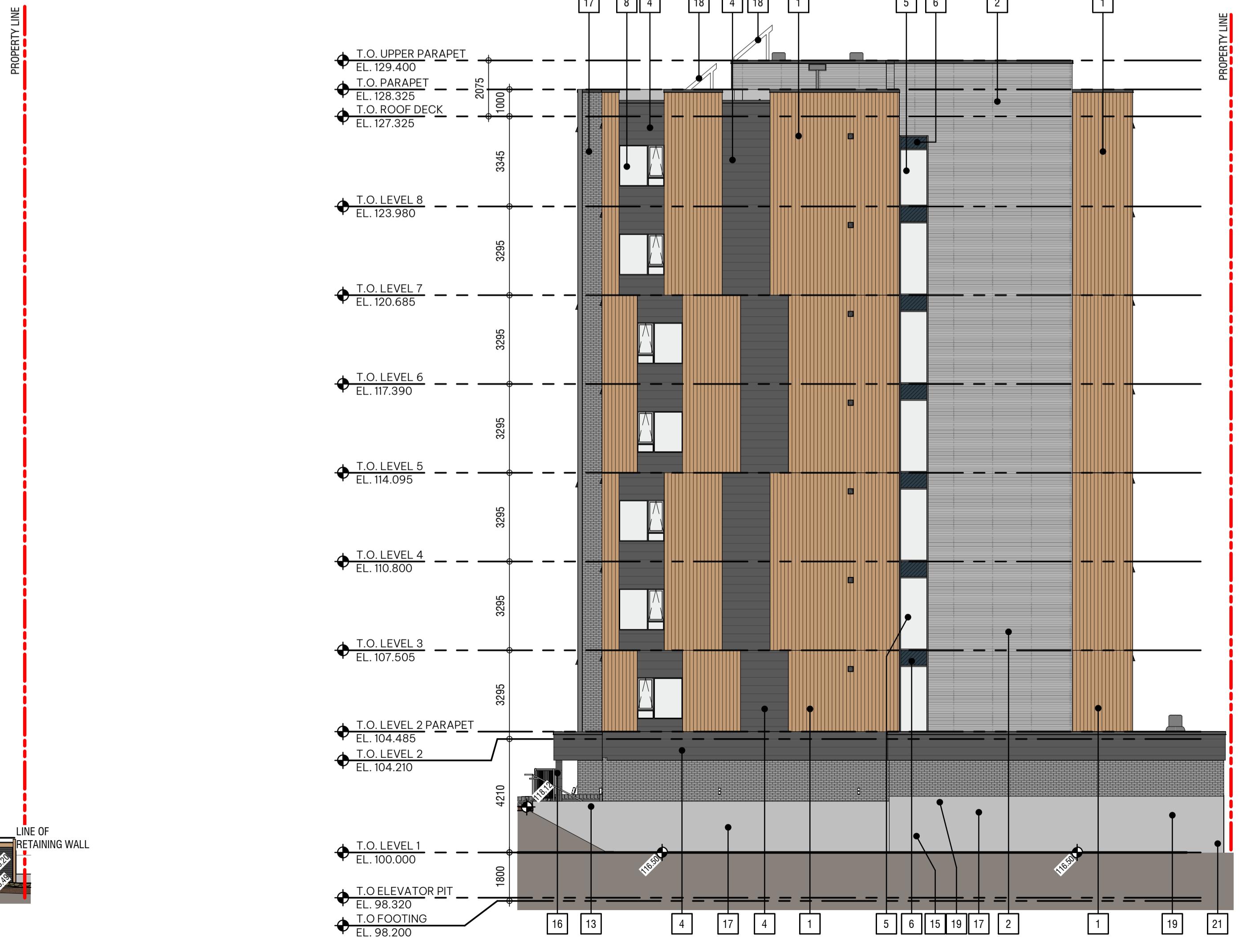
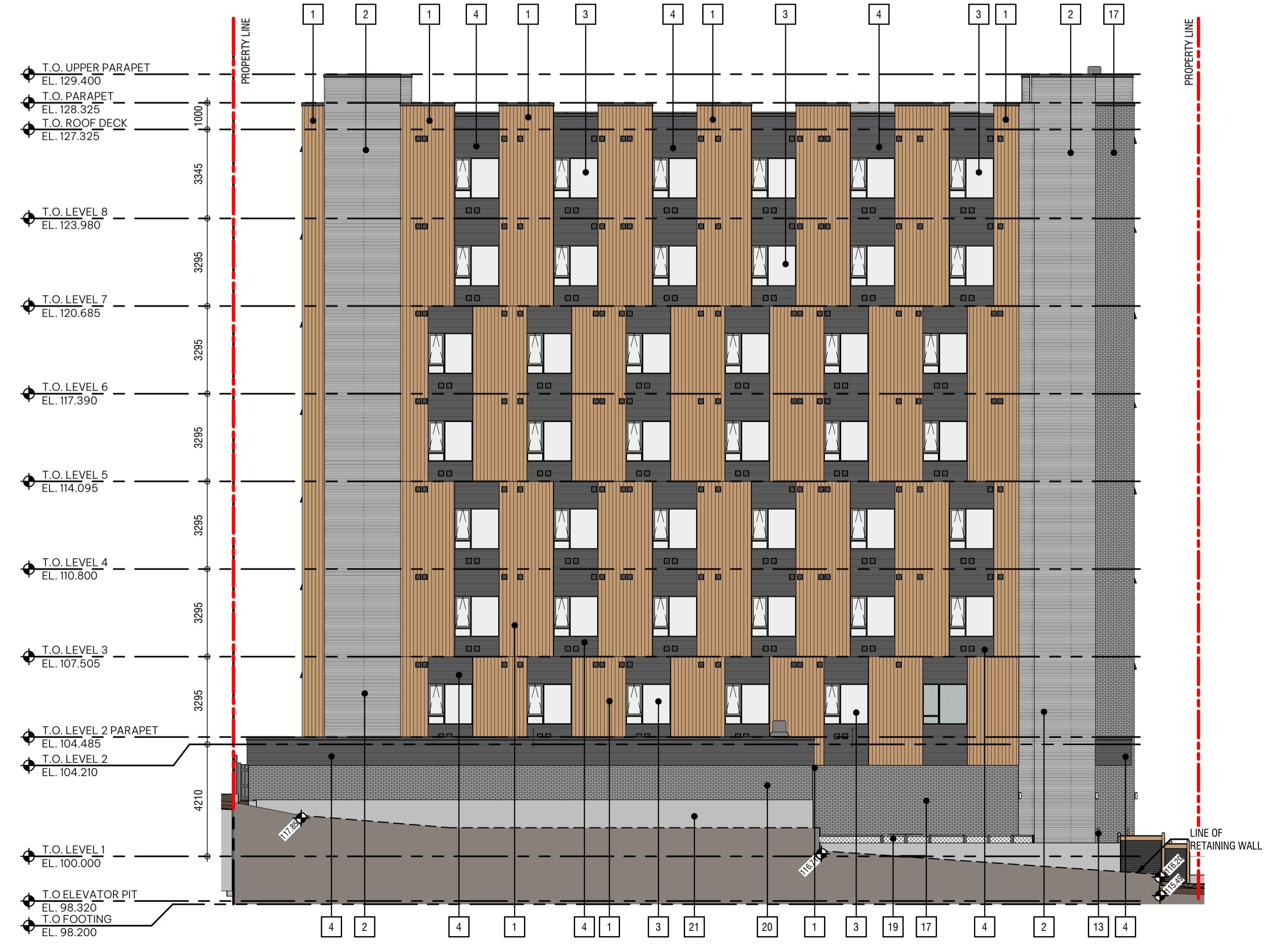
DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

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BUILDING ELEVATIONS



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REVISION DATE

14 ISSUED FOR DELEGATED DP SUBMISSION 2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS 2024.11.22

SCALE As indicated
DATE 11/27/2024 9:49:57 AM
DRAWN BY MD/AN/KM
CHECKED BY CZ

DRAWING NO.

DP4.1

SITE LEGEND & LANDSCAPE MATERIALS LEGEND

SITE LEGEND

	PROPERTY LINE
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING Refer to detail and arborist report.
	TREE TO BE RETAINED Provide tree protection fencing. Refer to detail and arborist report.
	REPLACEMENT / PROPOSED TREE
	REPLACEMENT TREE SOIL VOLUME (m³)
	SOIL CELLS
	TREE TO BE REMOVED

HARDSCAPE LEGEND

	CONCRETE Pedestrian rated access - 100mm thick
	GRAVEL Refer to detail for aggregates size and depth.
	AQUAPAVE PERMEABLE PAVERS - AMENITY SPACE & WALKWAYS Size: 110mm x 221.5mm x 80mm Colour: Harvest Supplier: Belgard
	CLASSIC STANDARD - DROP OFF/LOADING AREA Size: 112.5mm x 225mm x 80mm (4 7/16" x 8 7/8" x 3 1/8") Colour: Natural Supplier: Belgard
	CLASSIC STANDARD - FRONT ENTRY WALKWAY AREA Size: 112.5mm x 225mm x 80mm (4 7/16" x 8 7/8" x 3 1/8") Colour: Harvest Supplier: Belgard
	CLASSIC STANDARD - BANDING UNIT PAVERS Size: 112.5mm x 225mm x 80mm (4 7/16" x 8 7/8" x 3 1/8") Colour: Charcoal Supplier: Belgard
	TEXADA HYDRA-PRESSED PAVERS - BIKE RACKS Size: 610mm x 610mm x 50mm (24" x 24" x 2") Colour: Natural Supplier: Belgard
	WOOD CHIPS At 100mm depth with filter fabric

SITE FURNISHINGS LEGEND

SITE FURNISHING LEGEND

	1 TABLE SEATING Refer to detail for product specifications and sizes.
	2 BENCH SEATING Refer to detail for product specifications and sizes.
	5 STONE STEPS Refer to detail
	6 ROCK EDGE SEAT WALL- 0.50m W x 0.75m L x 0.45m H.
	3 KEY BIKE RACK Refer to detail for product specifications and sizes.

	PROPOSED 1.8m HIGH FENCE Provide shop drawing of fence prior to fabrication. Refer to detail.
	PROPOSED 1.2m HIGH FENCE Provide shop drawing of fence prior to fabrication. Refer to detail.
	PROPOSED 1.2m HIGH ALUMINUM GUARDRAIL Provide shop drawing of fence prior to fabrication. Refer to detail.
	6 CEDAR PLANTER Refer to detail for product specifications and sizes.
	4 EDGER Refer to detail
	4 MODERN STREET BENCH Refer to detail for product specifications and sizes.
	6 ROOT BARRIER Refer to detail for product specifications and sizes.
	STREET WASTE BIN Type: Type A Litter Bin with Recycling Component Material: Metal Frame Colour: Glossy Black (RAL 917) Baked-on Power Coat Dimensions: 42" Height Manufacturer: City of Victoria

STORM WATER AREAS & PLANTING PLAN LEGEND

STORM WATER INFILTRATION AREAS

	SHRUB BED AREAS = 170m² Min. 450mm Depth Refer to Canadian Landscape Standard for Growing Medium - 2P for Soil & Drainage Composition.
	BELGARD PERMEABLE PAVERS AREAS : (refer to L-02 for material info) 193m²
	WOOD CHIPS AREA = 27m² At 100mm depth with filter fabric

SOFTSCAPE LEGEND

	1 TREE TO BE RETAINED Provide tree protection fencing. Refer to detail and arborist report.
	1 PROPOSED / REPLACEMENT TREE Provide tree protection fencing. Refer to detail and arborist report.
	2 & 3 SHRUB PLANTING Minimum 450mm import growing medium complete with mulch. Refer to details. Installed as per Canadian Landscape Standards

EXISTING TURF AREA TO BE RETAINED

TREE SPECIES

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	3	Magnolia Kobus	Kobus magnolia	B&B, 6cm cal., 1.8m ht standard	As shown
	3	Magnolia Stellata 'Royal Star'	Star Magnolia	B&B, 6cm cal., 1.8m ht standard	As shown

SHRUB SPECIES

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
AD	27	Aruncus dioicus ***	Goat's Beard	#2 Pot, full	1200mm o.c.
AM	20	Achillea millefolium ***	Common yarrow	#2 Pot, full	600mm o.c.
AU	65	Arctostaphylos uva-ursi ***	Kinnikinnick	#2 Pot, full	600mm o.c.
GS	6	Gaultheria shallon ***	Salal	#2 Pot, full	900mm o.c.
JC	1	Juniperus communis **	Common juniper	#2 Pot, full	2200mm o.c.
JS	15	Juniperus scopulorum 'Blue Arrow' **	'Blue Arrow' juniper	#2 Pot, full	1200mm o.c.
LP	92	Lavandula x intermedia 'Provence' ***	Provence lavender	#2 Pot, full	600mm o.c.
LC	19	Lonicera ciliosa ***	Orange honeysuckle	#2 Pot, full	1200mm o.c.
ND	19	Nandina domestica 'Gulf Stream' ***	'Gulf Stream' dwarf nandina	#2 Pot, full	900mm o.c.

81% of total proposed species are either native, food-bearing and/or pollinator habitat.

- * Native Species
- ** Food-bearing Species
- *** Pollinator Species

TREE PROTECTION NOTES & PLANTING NOTES

TREE PROTECTION NOTES:

- Refer to arborist report prepared by Capital Tree Service Inc. Reference made to Arborist report for all Tree Numbers, Diameters and Canopy sizes.
- Existing trees to remain protected as indicated on drawings. Contractor to provide tree protection fencing in accordance with the arborist report, and City of Victoria Tree By-law and request review from project arborist prior to mobilization. Arborist will provide any cut-back or health management to trees as deemed required from a public health and safety perspective. Contractor to be present for tree protection fencing review with arborist, and make any adjustments to protection fencing requested under arborist supervision.

PLANTING NOTES

The following are core requirements of plant selection and installation:

- a. Plants are to be regionally sourced, with preference on local nurseries. Key plants or tree species that cannot be locally sourced should be explored for regional availability within the cascade region, complete from BC south through Washington, Oregon and California.
- b. Preparation and fine grading of soft landscapes (lawns, planting beds, trees) to be in accordance with Canadian Landscape Standards.
- c. Composted bark mulch to be continuously provided within plantings beds (unless stated otherwise), at a 50mm depth, increasing to 100mm depth in tree watering well locations. Watering wells to be 1m diameter around trees, in accordance with Canadian Landscape Standards.
- d. Plant materials are to be protected and stored to prevent damage from freezing or weather events prior to installation. Protect and insulate material in accordance with Canadian Landscape Standards as required.
- e. Depths of growing medium to be as follows: 900mm depth required for trees and 450mm depth required for shrubs within all new planting beds, in accordance with 'Level 2P' mix design as defined in the Canadian Landscape Standard. New lawn spaces are to receive 150mm depth growing medium, in accordance with 'Level 2L' mix design as defined in the Canadian Landscape Standard.
- f. Lawn restoration, if required, to meet flush with existing and demonstrate even blend and complete establishment and integration with existing lawn.
- g. Lawn material (i.e. sod or seed/over-seed or hydroseeding) to be provided in accordance with drawing notes. Ensure mix design submitted is provided of product. Sod (if required) is to be non-netted. Seed (if required) is to be evenly distributed. Hydroseeding (if required) is to be applied in even distribution in accordance with manufacturer's specifications. Hydroseeding to include tackifier in accordance with manufacturer's blend. Incidentally increase tackifier under the guidance of the supplier in winter months in applications where slope stability is required.
- h. Parks shall be contacted prior to planting the trees to inspect the planting areas, growing medium, root barriers, barriers and trees shall be inspected for pests, diseases and defects. Following completed planting, mulching, staking, and installation of tree grates a final inspection is required.
- i. Applicant is responsible for procuring and planting the proposed municipal trees.

ESTABLISHMENT MAINTENANCE FOR PLANTING BEDS

Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Maintenance to be compliant with 'Level 2' (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.

ESTABLISHMENT MAINTENANCE FOR LAWN SPACES

Lawns that are constructed with sod are to be 100% established and in accordance with Canadian Landscape Standards. Sodded lawns should appear evenly integrated with adjacent rolls and non-visible for edges or lifts in finish. Seeded lawns are to be evenly covered and established with vigorous growth. All lawns to appear with vigorous growth and maintenance with a minimum of 2 cuttings to a 60mm height for substantial review. Incidentally mow to a continued 60mm height until the time of substantial completion. Do not allow lawns to exceed an 80mm height between cuttings.

ESTABLISHMENT WATERING
Landscape watering to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils; as defined in 'Establishment Watering' requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.

TREE REPLACEMENT SCHEDULES "C"

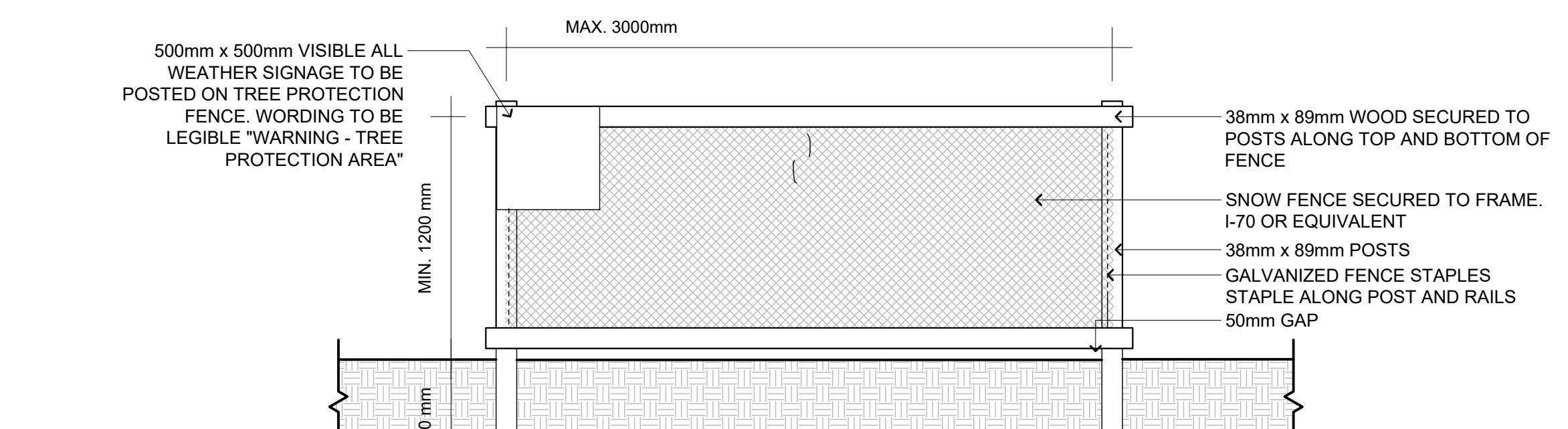
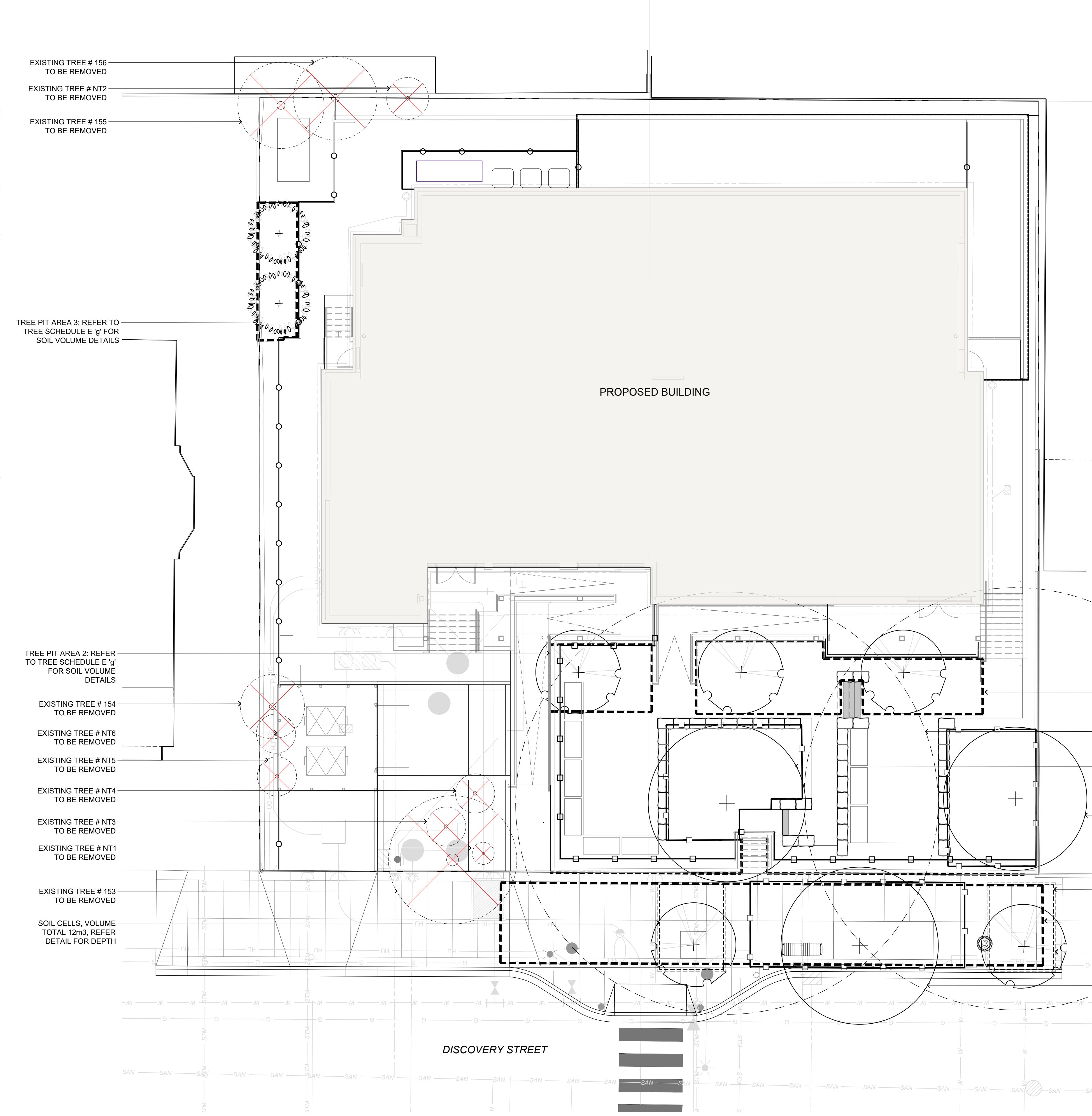
TREE IMPACT SUMMARY

Tree Status	Protected Trees	Trees to be removed	New or replacement trees to be planted	Non-protected trees counted as replacements	Net change
Onsite Trees	8	10	5	0	-2
Offsite Trees	0	2	0	0	0
Municipal Trees	1	2	N/A	N/A	0
Total	9	10	5	0	-2

Onsite tree minimum replacement tree	Count	Multiplier	Total	Offsite tree minimum replacement tree	Protected trees removed	0	1	0
	Protected trees proposed per Schedule "E", part 1 or 3	1	0		Replacement trees proposed per Schedule "E", part 2	0.5	0	0
Onsite replacement tree deficiency	4		2	Onsite replacement tree deficiency	4		0	0
Tree minimum on lot	7		7	Onsite tree minimum replacement tree	7		0	0
Protected trees retained (other than specimen trees)	2	1	2	Offsite replacement tree deficiency	4		0	0
Specimen trees retained	0	3	0	Total replacement trees proposed	2		0	0
Tree per lot deficiency	5		5	Onsite replacement tree deficiency	4		0	0

**NOTE: TABLES AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST

<tbl



1 L-02 TREE PROTECTION FENCING
SCALE: 1:25

**NOTE: REFER TO ARBORIST REPORT FOR ADDITIONAL TREE PROTECTION INFORMATION

TREE PIT AREA 1: REFER TO
TREE SCHEDULE E 'g' FOR SOIL
VOLUME DETAILS

EXISTING TREE # 152
PROTECTED ROOT ZONE

EXISTING TREE # 152
TO BE RETAINED

EXISTING TREE # 151
TO BE RETAINED

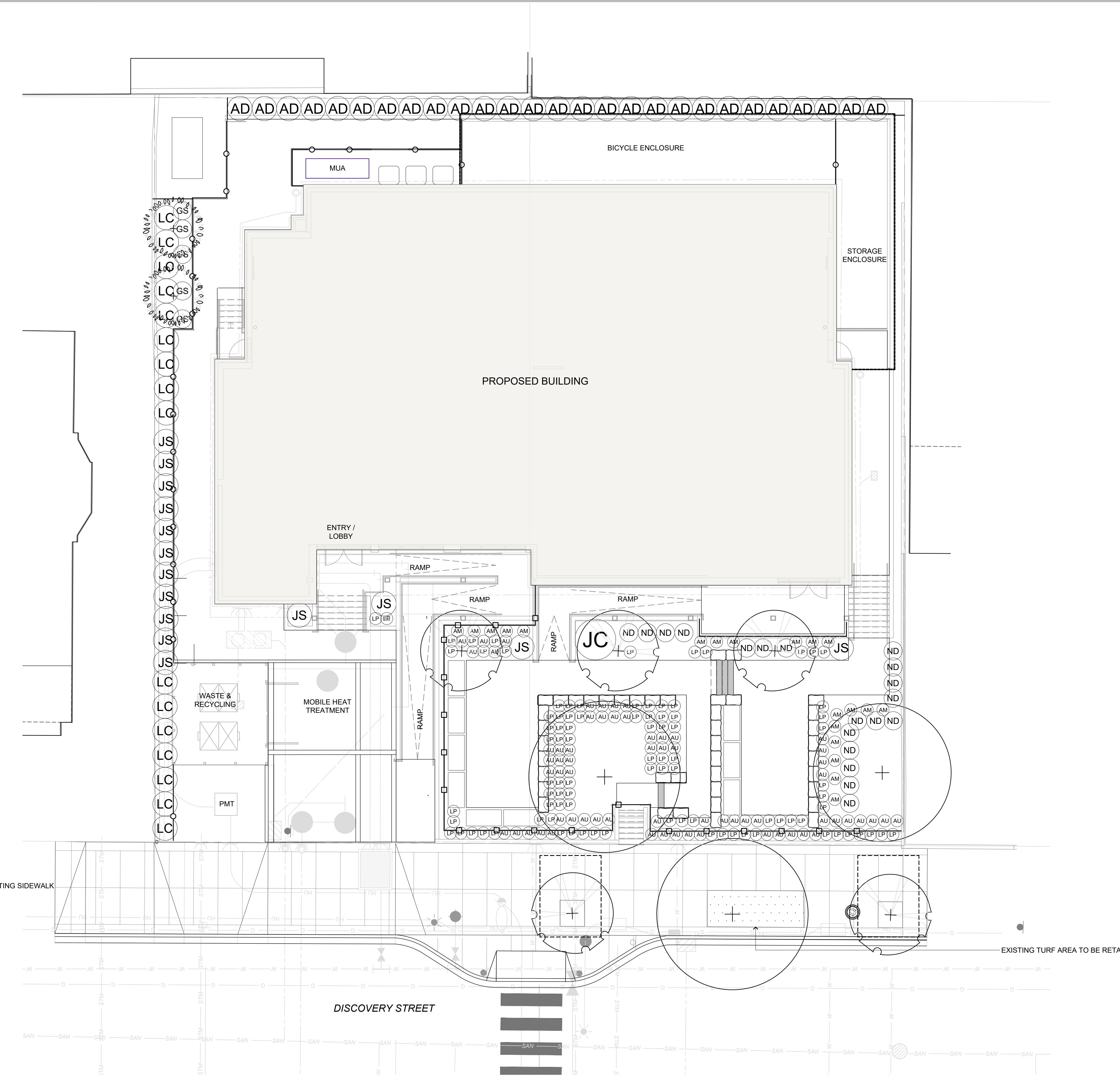
EXISTING TREE # 151
PROTECTED ROOT ZONE

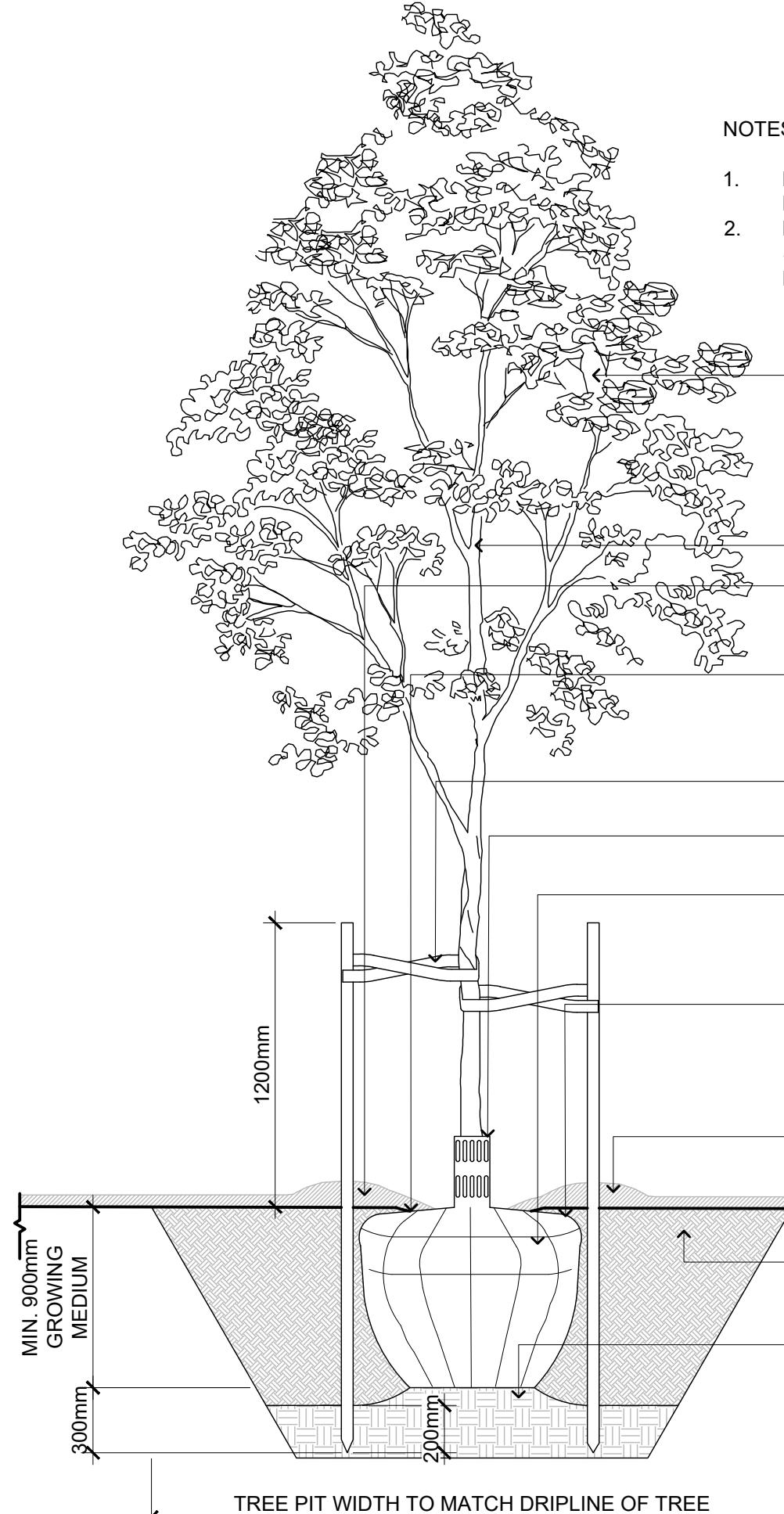
SOIL CELLS, VOLUME TOTAL 12m3, REFER
DETAIL FOR DEPTH

MUNICIPAL TREE PIT AREA: REFER TO
TREE SCHEDULE E 'g' FOR SOIL VOLUME DETAILS

ROOT BARRIER, INSTALL PER MANUFACTURER'S
RECOMMENDATIONS

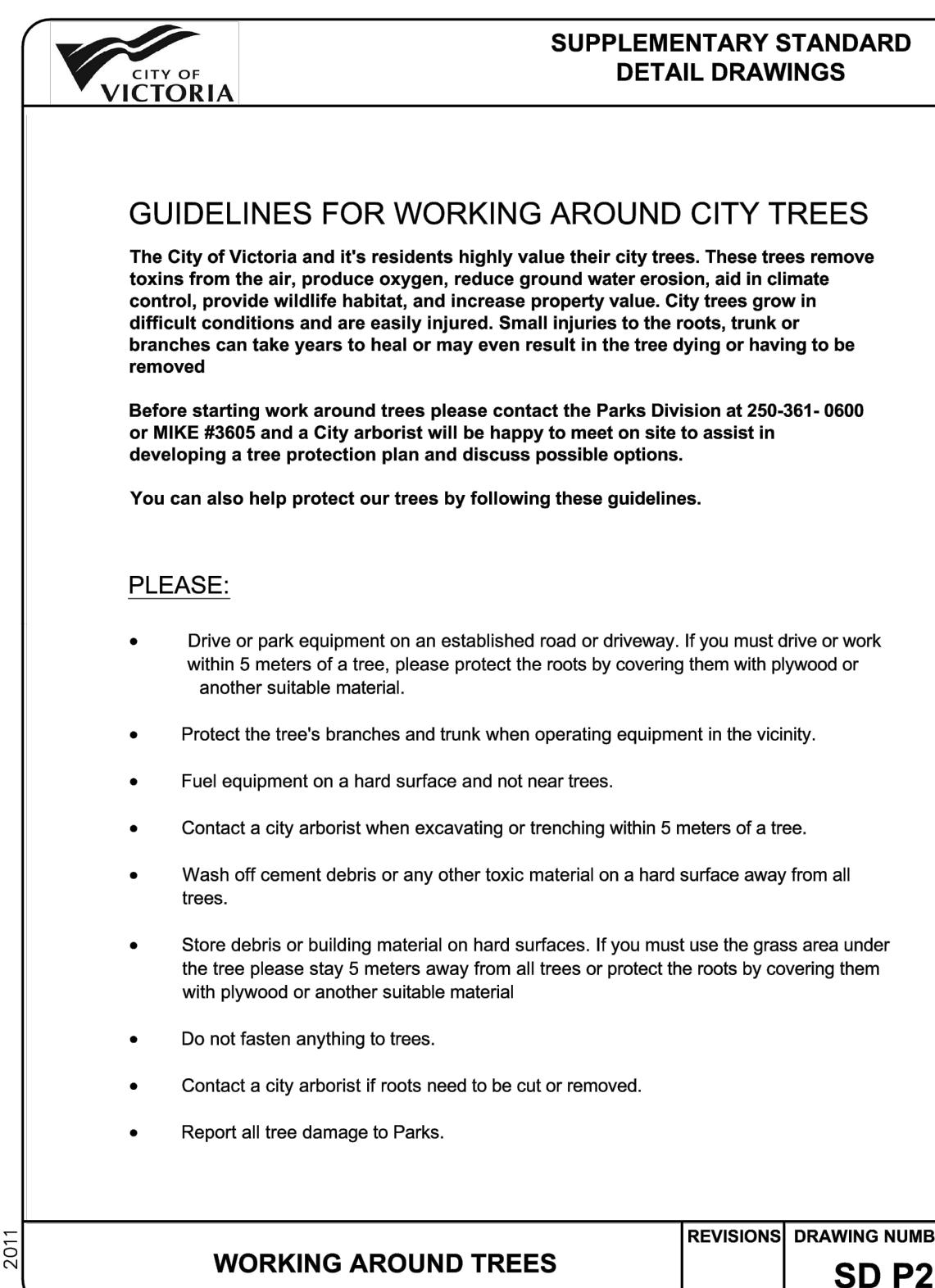
EXISTING TREE # M1
TO BE RETAINED





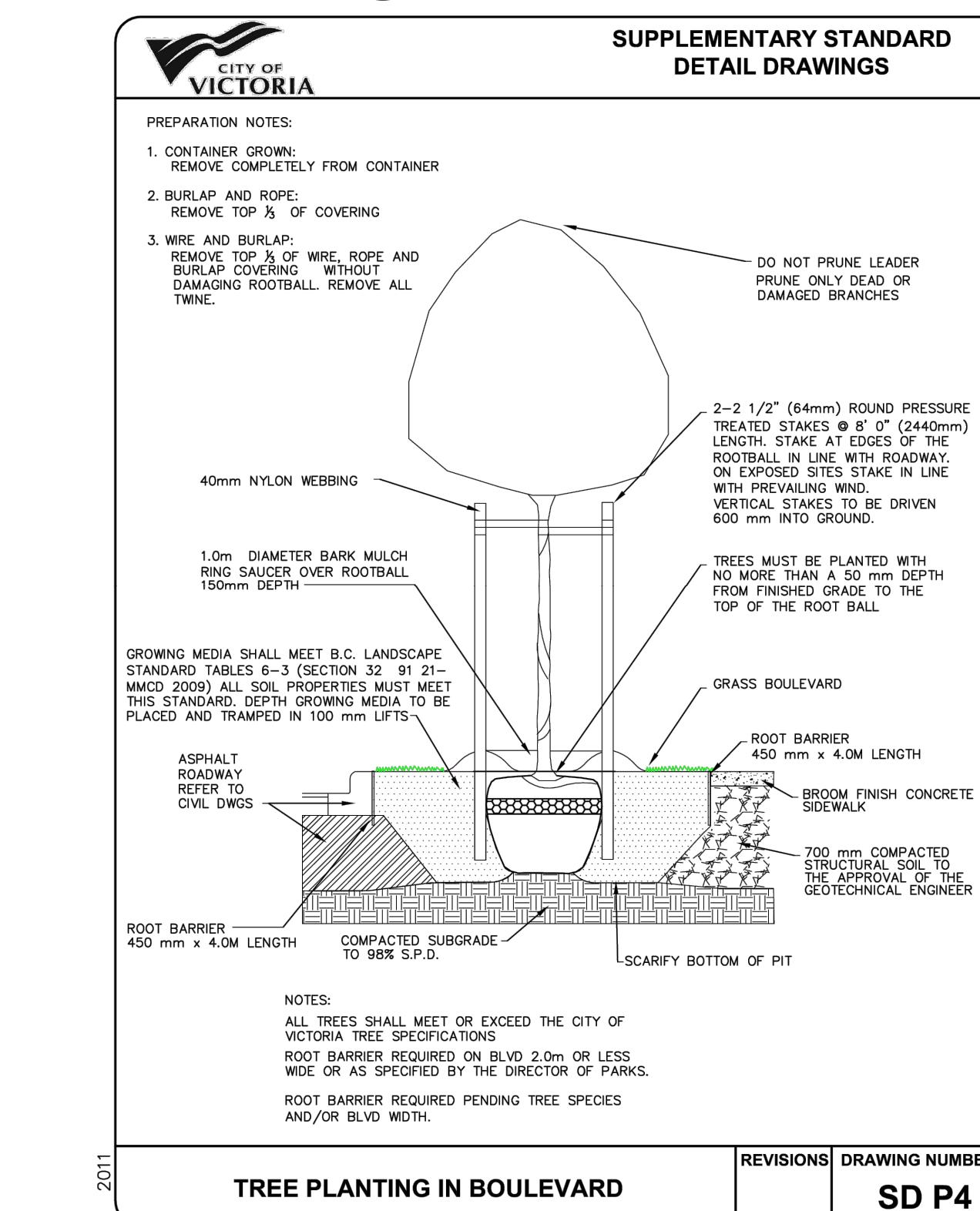
TREE PLANTING

L-05 SCALE: 1:2



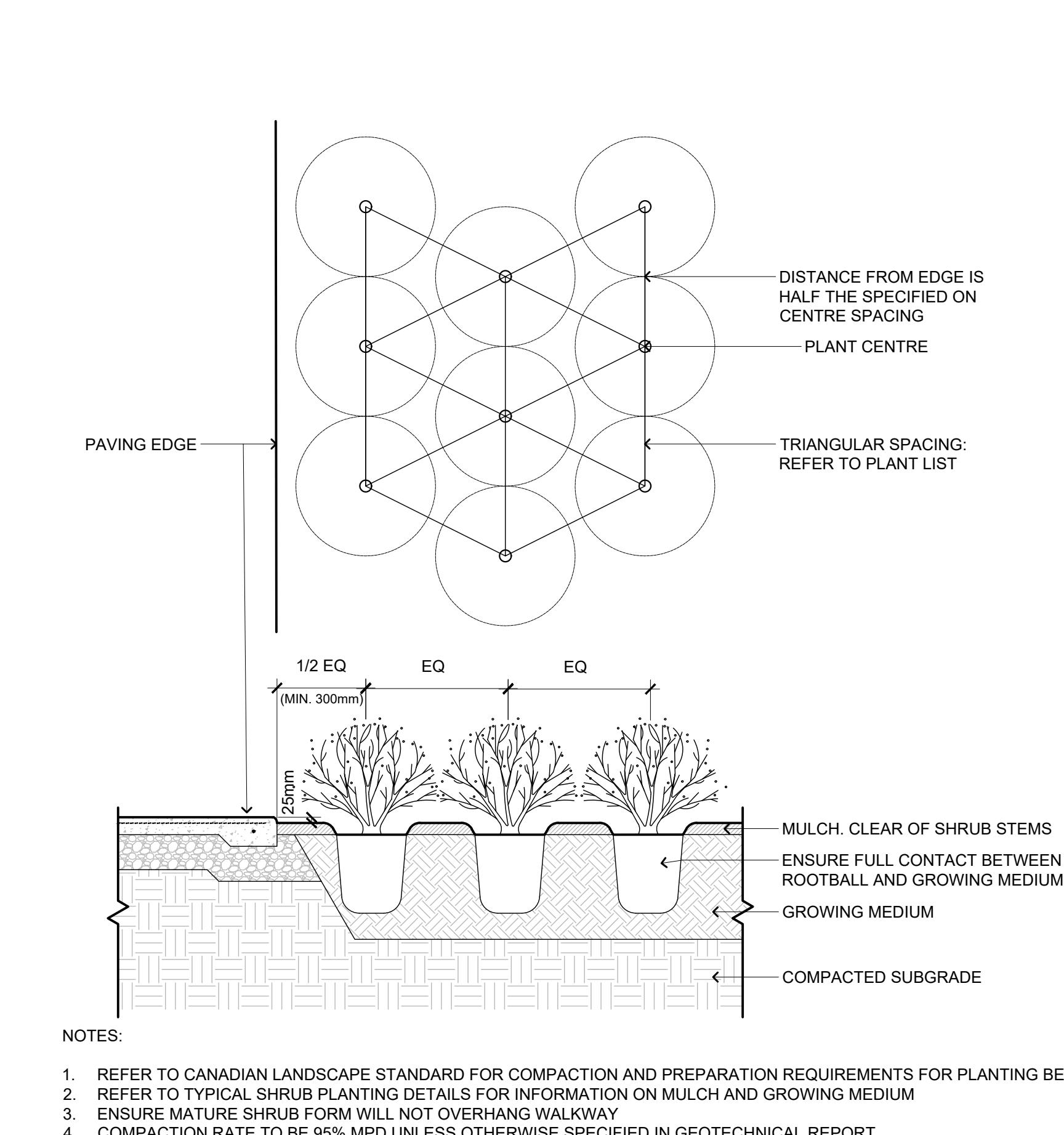
5 CoV - DETAIL SD P2 - WORKING AROUND TREES
L-05 SCALE: NTS

L-05 SCALE: NT



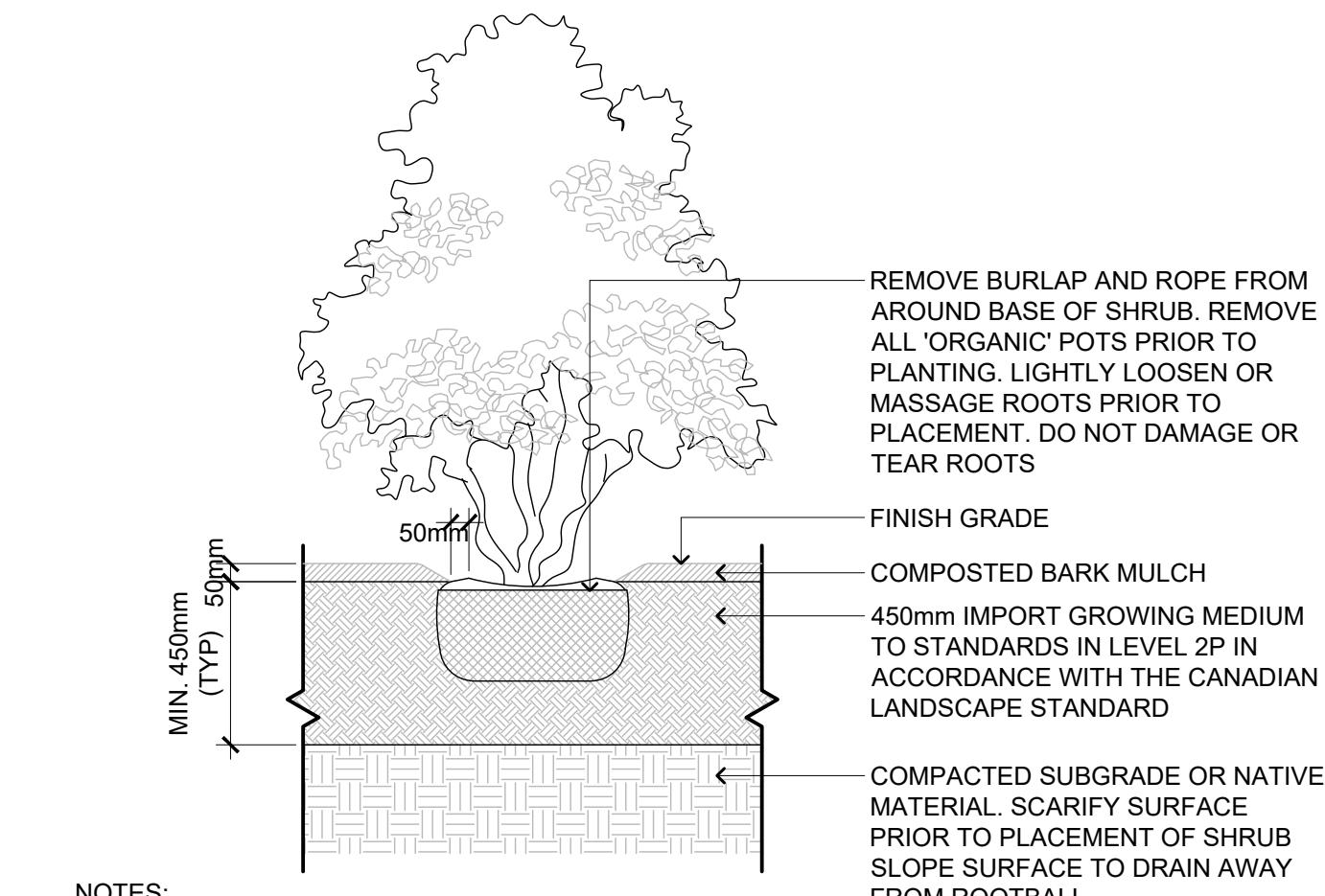
6 CoV - SD P4 - TREE PLANTING IN BOULEVARD
L-05 SCALE: NTS

L-05 SCA



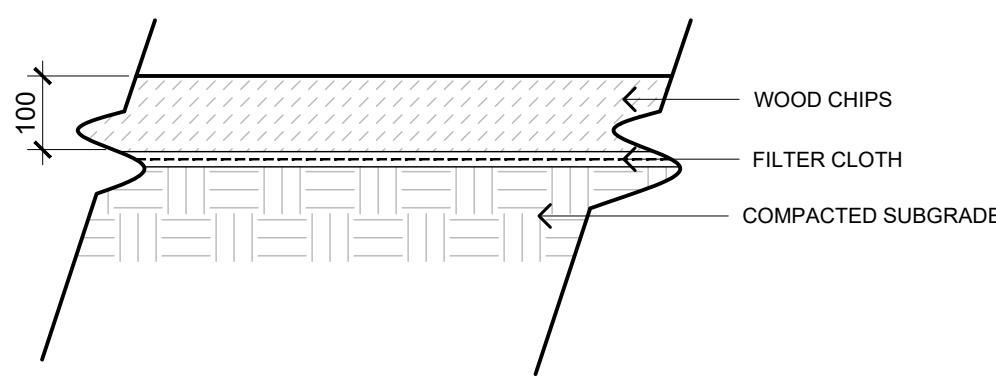
2 SHRUB SPACING DETAIL
L-05 SCALE: 1:15

L-05 SCALE:



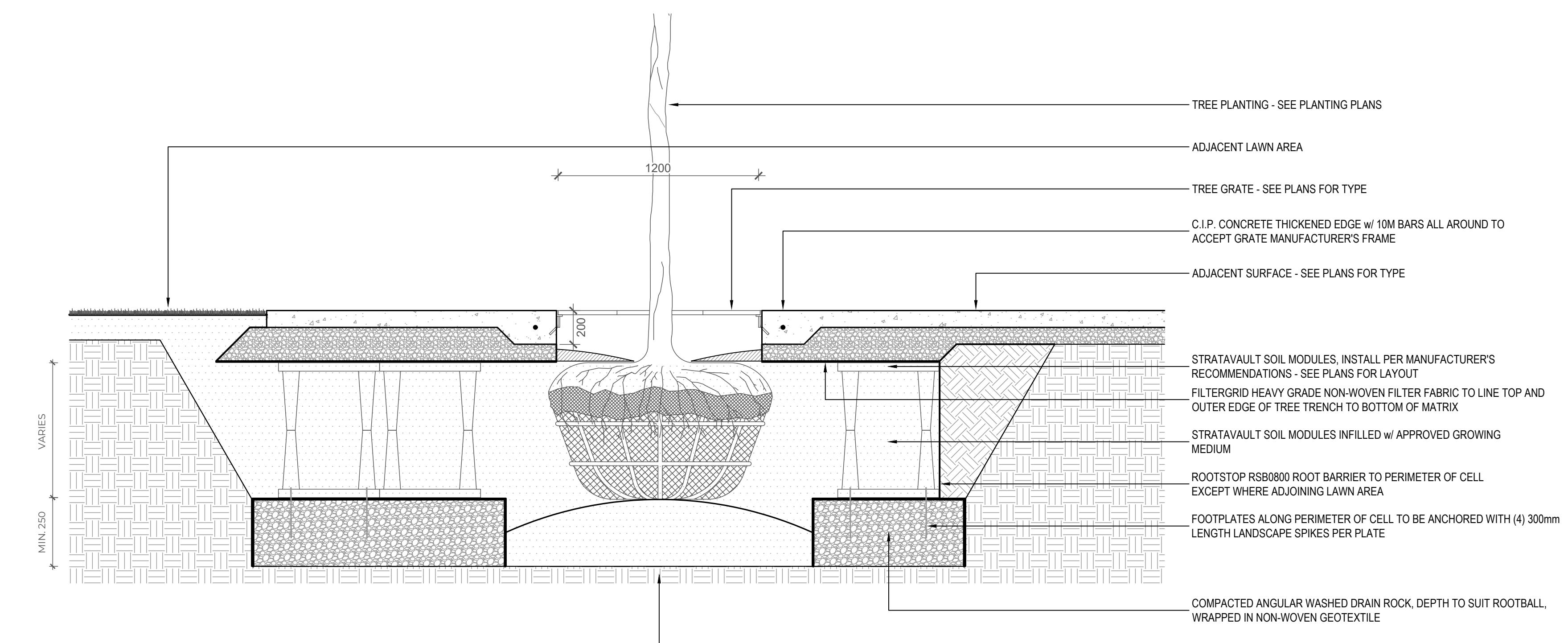
3 SHRUB PLANTING DETAIL
L-05 SCALE: 1:20

L-05 SCALE: 1:



WOOD CHIPS | MULCH

L-05 SCALE: 1

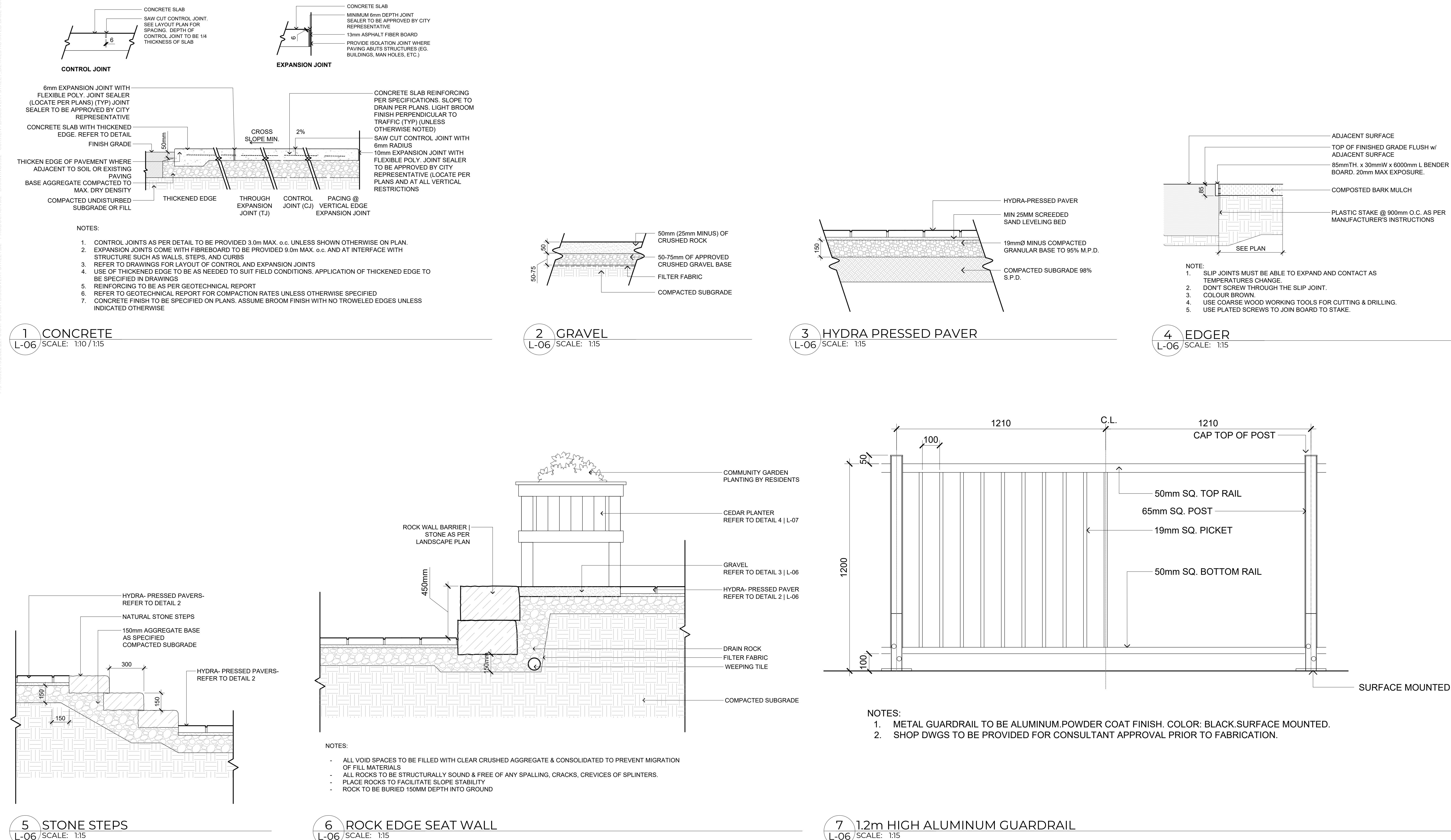


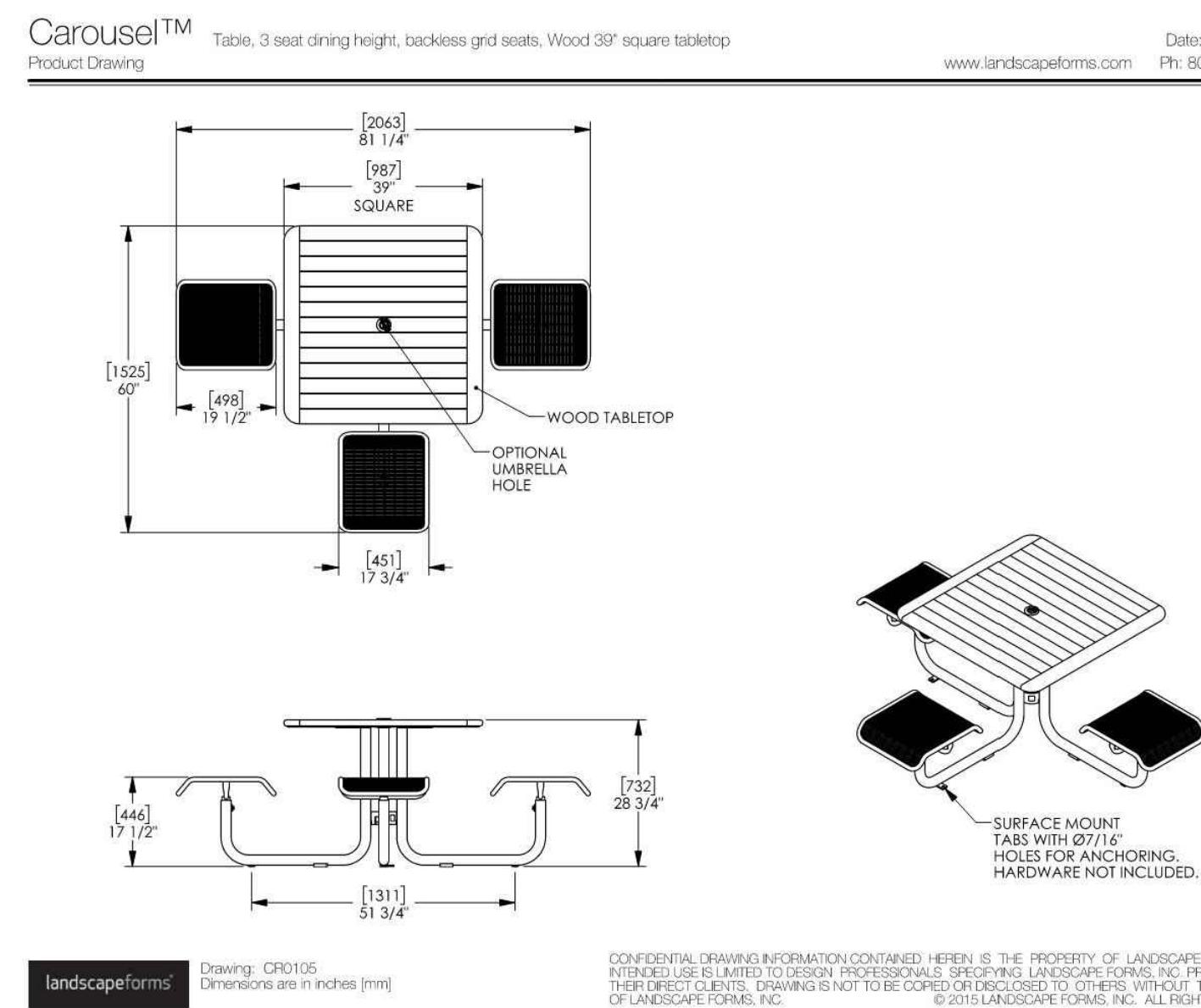
7 L-05 TREE PLANTING WITH SOIL CELLS

SCALE: 1:20

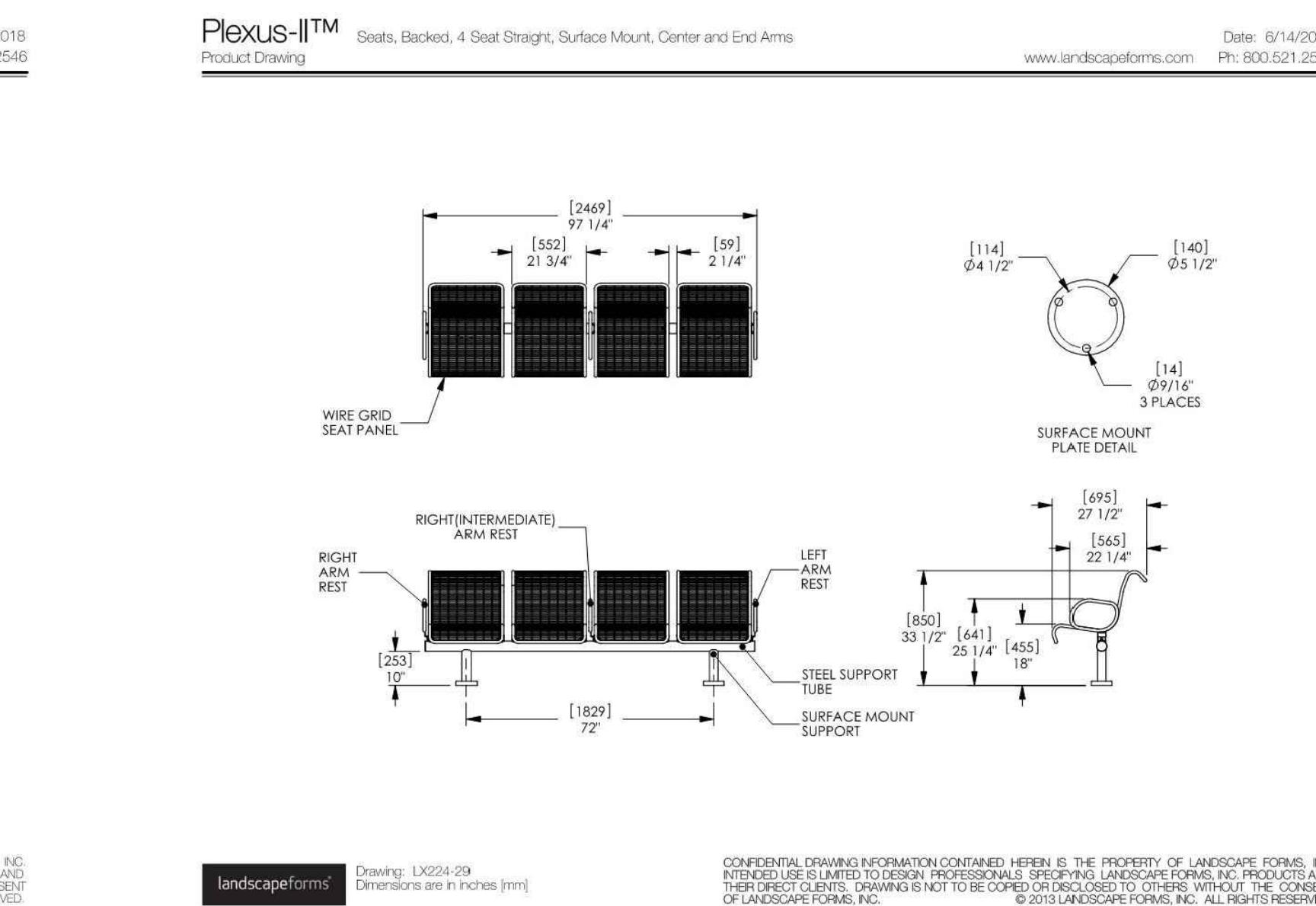
L-05 SCALE: 1:20

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")				SEALED	DESIGN BY	MjH	SHEET TITLE PLANTING DETAILS
11	24/11/22	RESPONSE TO DDP COMMENTS	RC		DRAWN BY	ER / RC	
10	24/11/15	ISSUED FOR TENDER	RC		CHECKED BY	GS / TC	
9	24/11/13	ISSUED FOR COORDINATION	RC		PROJECT #	211-01841-00	
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC		SCALE	AS SHOWN	
NO	DATE	DESCRIPTION	BY				

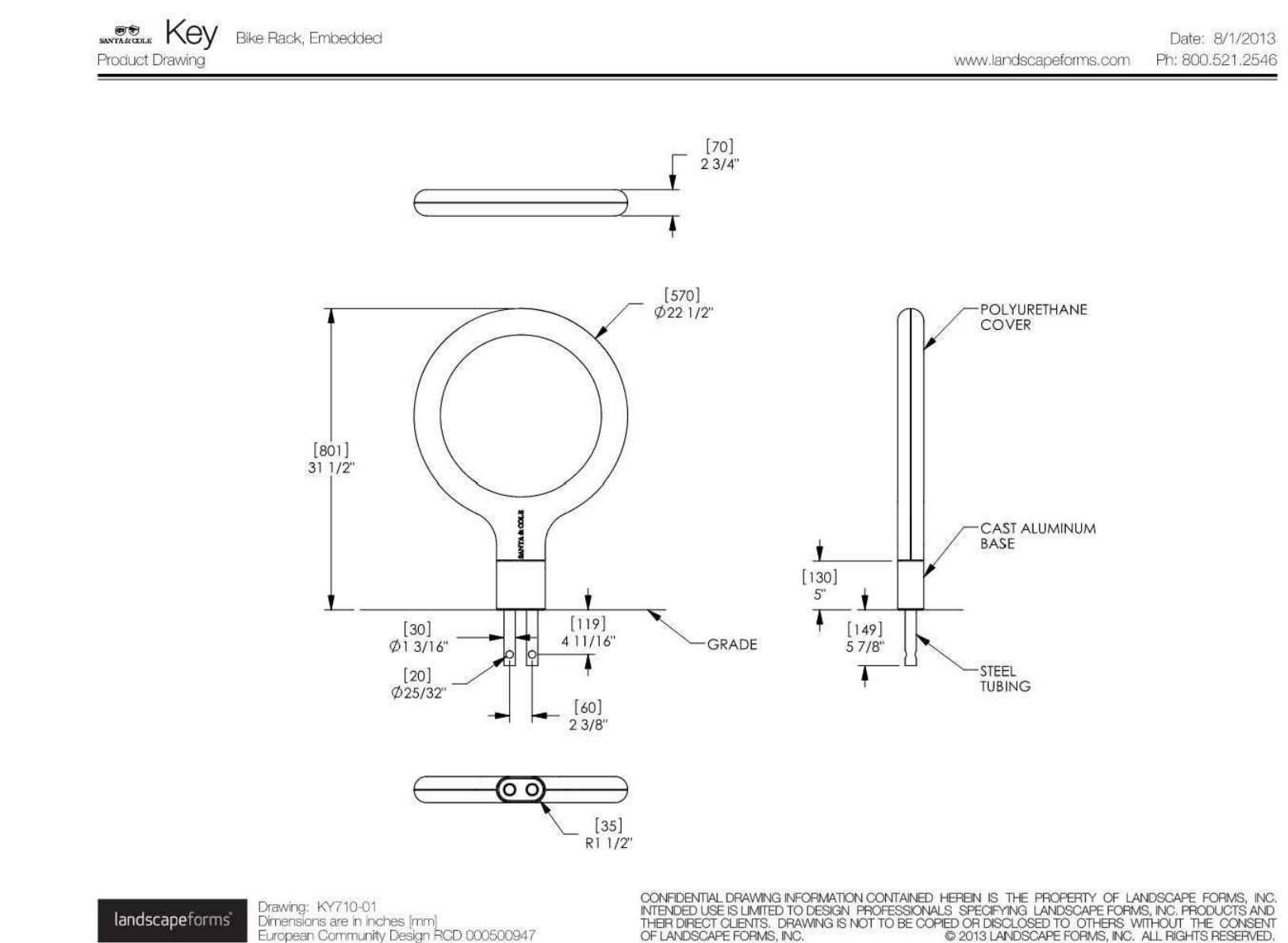




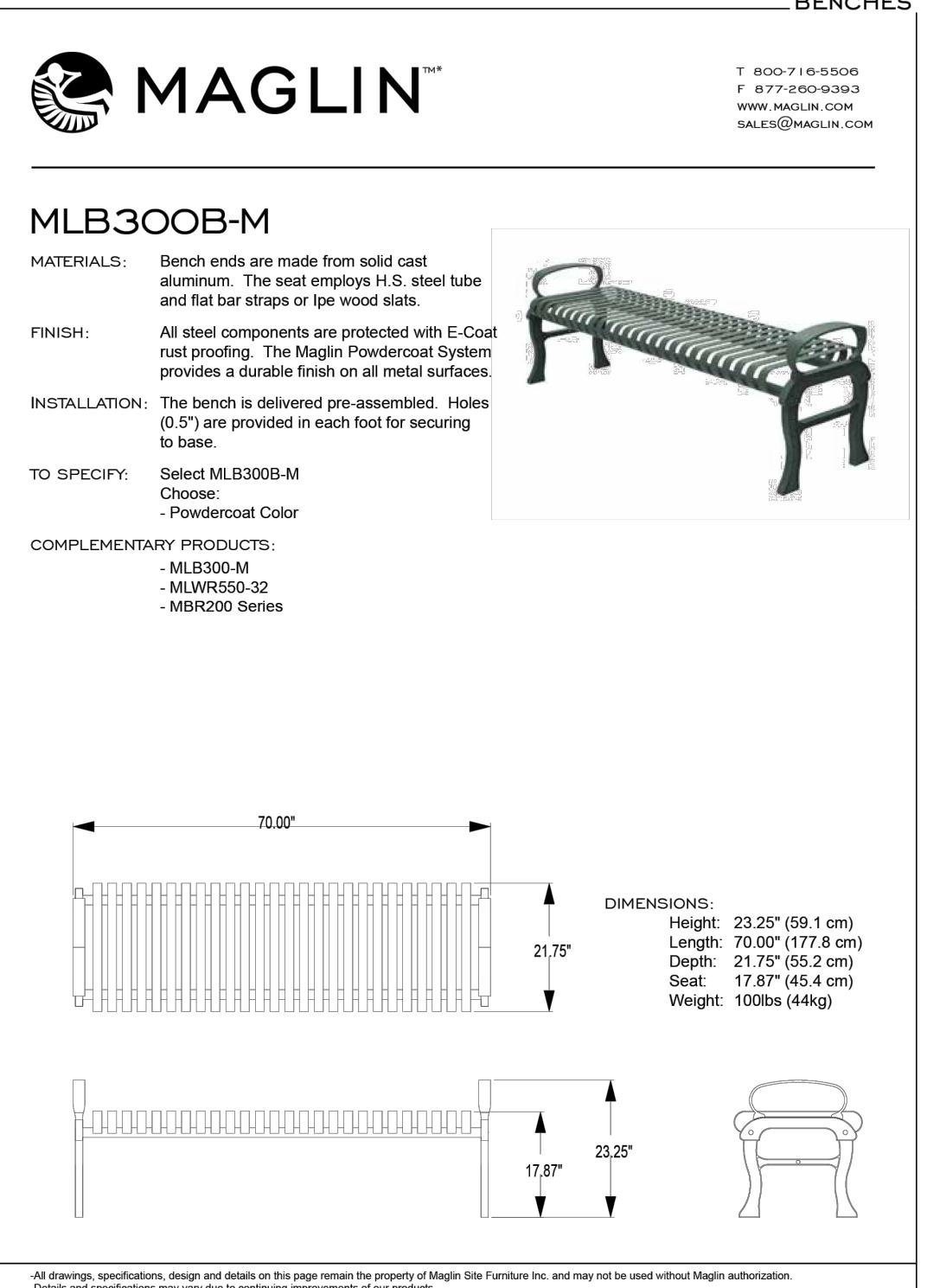
COLOUR: WOOD / BLACK



COLOUR: BLACK

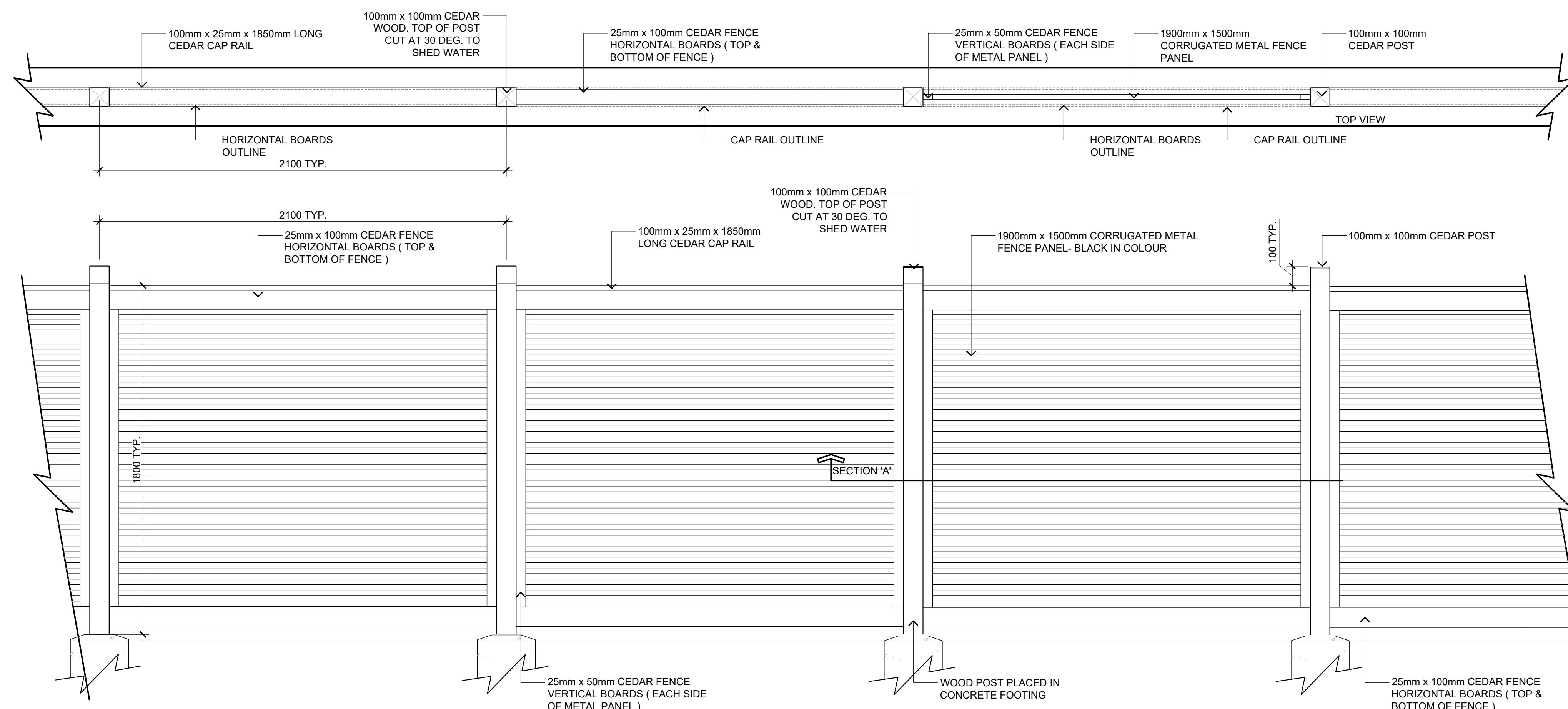


COLOUR: GREY



4 MODERN STREET BENCH

L-07 SCALE: N.T.S.

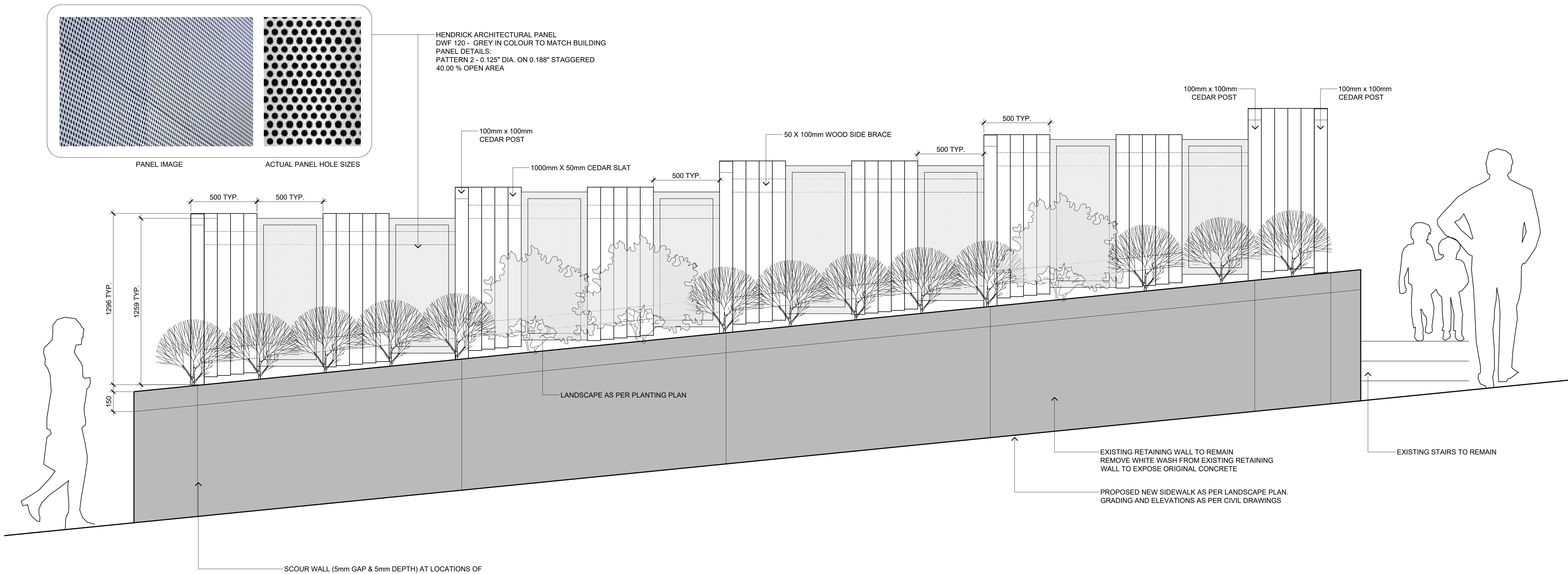
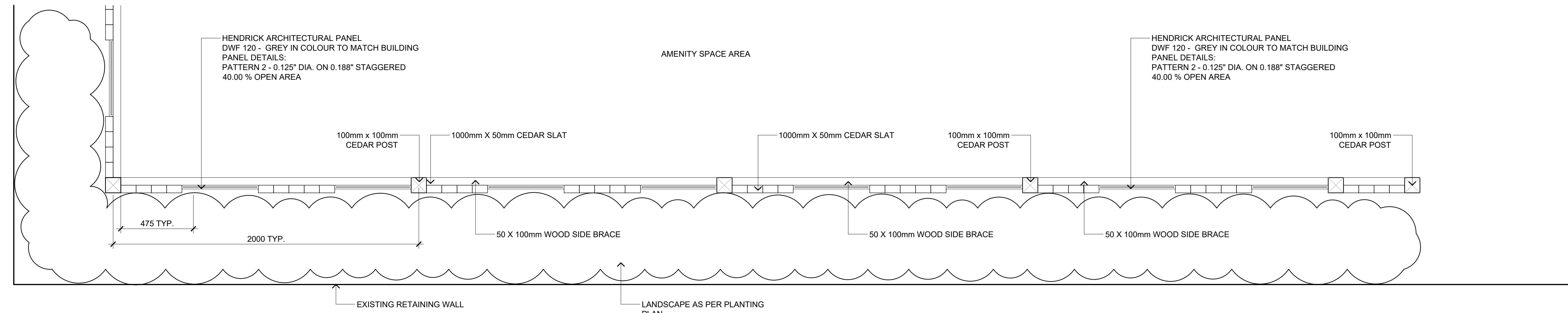


5 1.8m HIGH FENCE
L-07 SCALE: 1:15

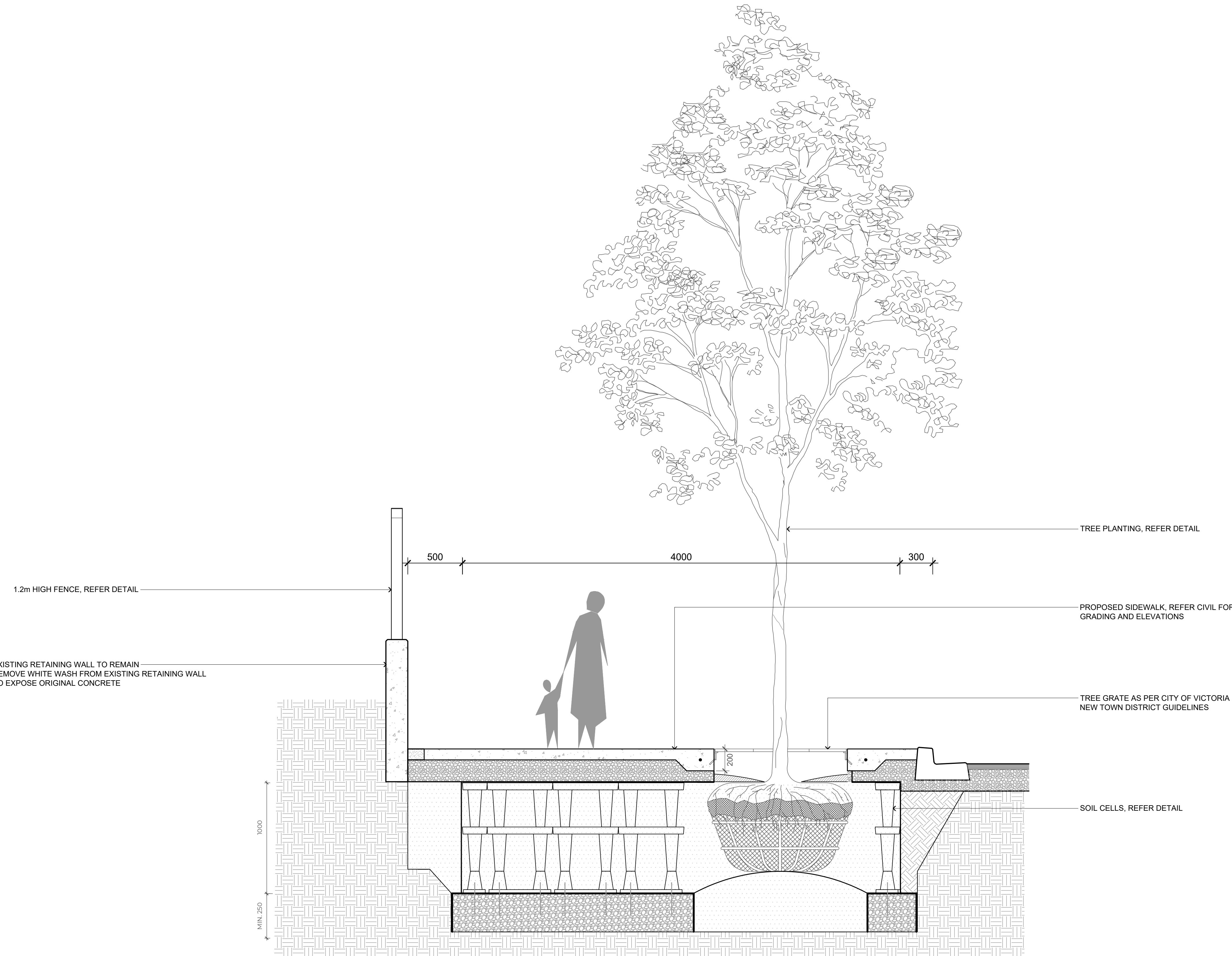


ODEL: RAISED PLANTER
ZE: 6' L X 3' W X 3' H
UPPLIER: ZOFF'S GREENHOUSE PLANTER





1.2m HIGH FENCE
SCALE: 1:15



1
L-09 **SECTIONS - SOIL CELL LAYOUT**
SCALE: 1:20



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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PROJECT
BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.
CLIENT
BC Housing
CONSULTANT
WSP

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")
11 24/11/22 RESPONSE TO DDP COMMENTS RC
10 24/11/15 ISSUED FOR TENDER RC
9 24/11/13 ISSUED FOR COORDINATION RC
8 24/08/27 ISSUED FOR BUILDING PERMIT RC
NO. DATE DESCRIPTION BY

SEALED
DESIGN BY M/H
DRAWN BY ER / RC
CHECKED BY GS / TC
PROJECT # 211-01841-00
SCALE AS SHOWN
SHEET TITLE SOIL CELL SECTION
SHEET NO.