

- CB - denotes - catch basin
 - MHD - denotes - manhole - storm drain
 - MHS - denotes - manhole - sewer
 - UPL - denotes - utility pole with light
 - WM - denotes - water meter
 - denotes - existing elevation
- Tree diameters are in centimetres.

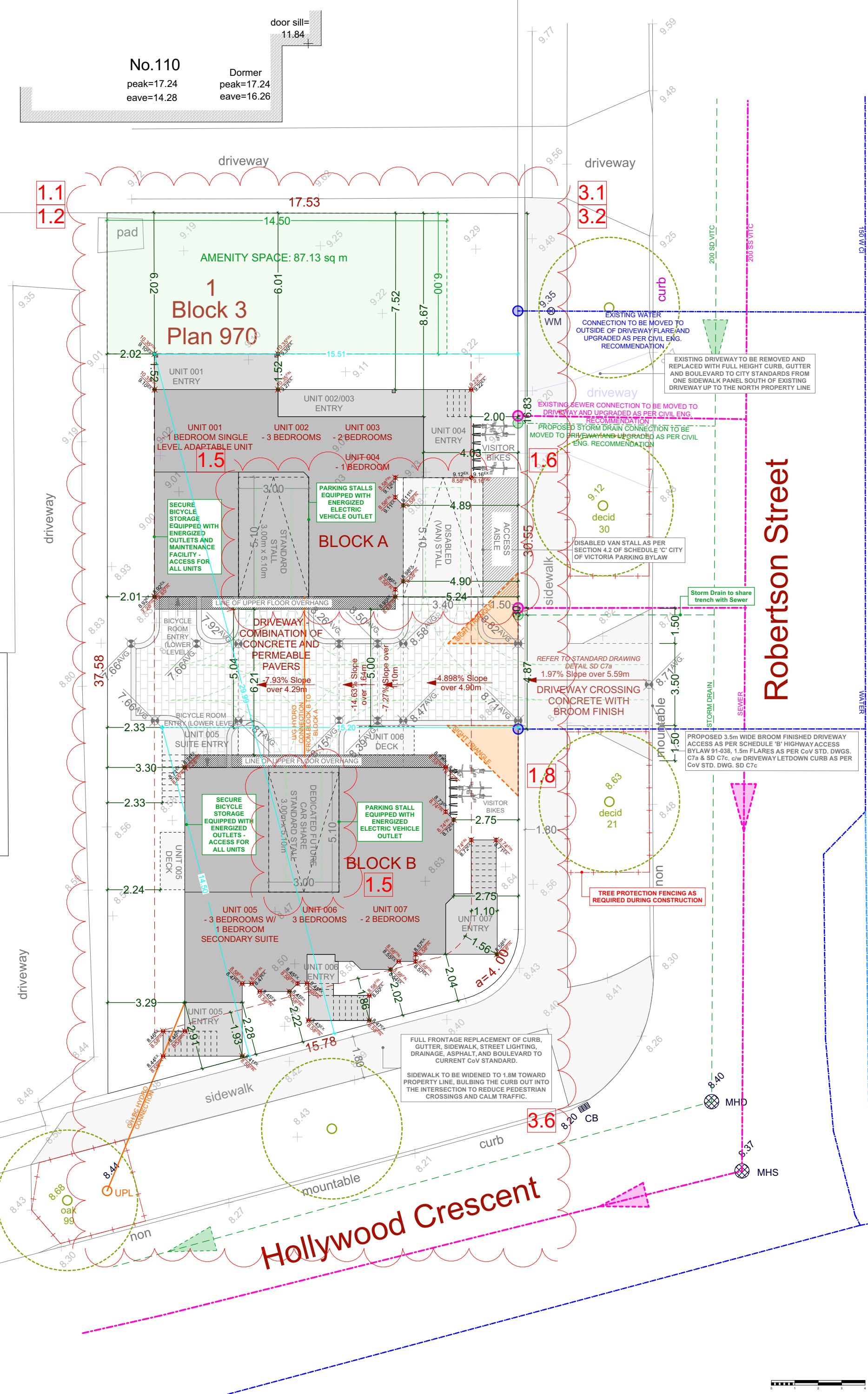
Lot Area = 616.53 m²

28
Block 3
Plan 970

2
Block 3
Plan 970

No.1726
peak=19.77
eave=17.75

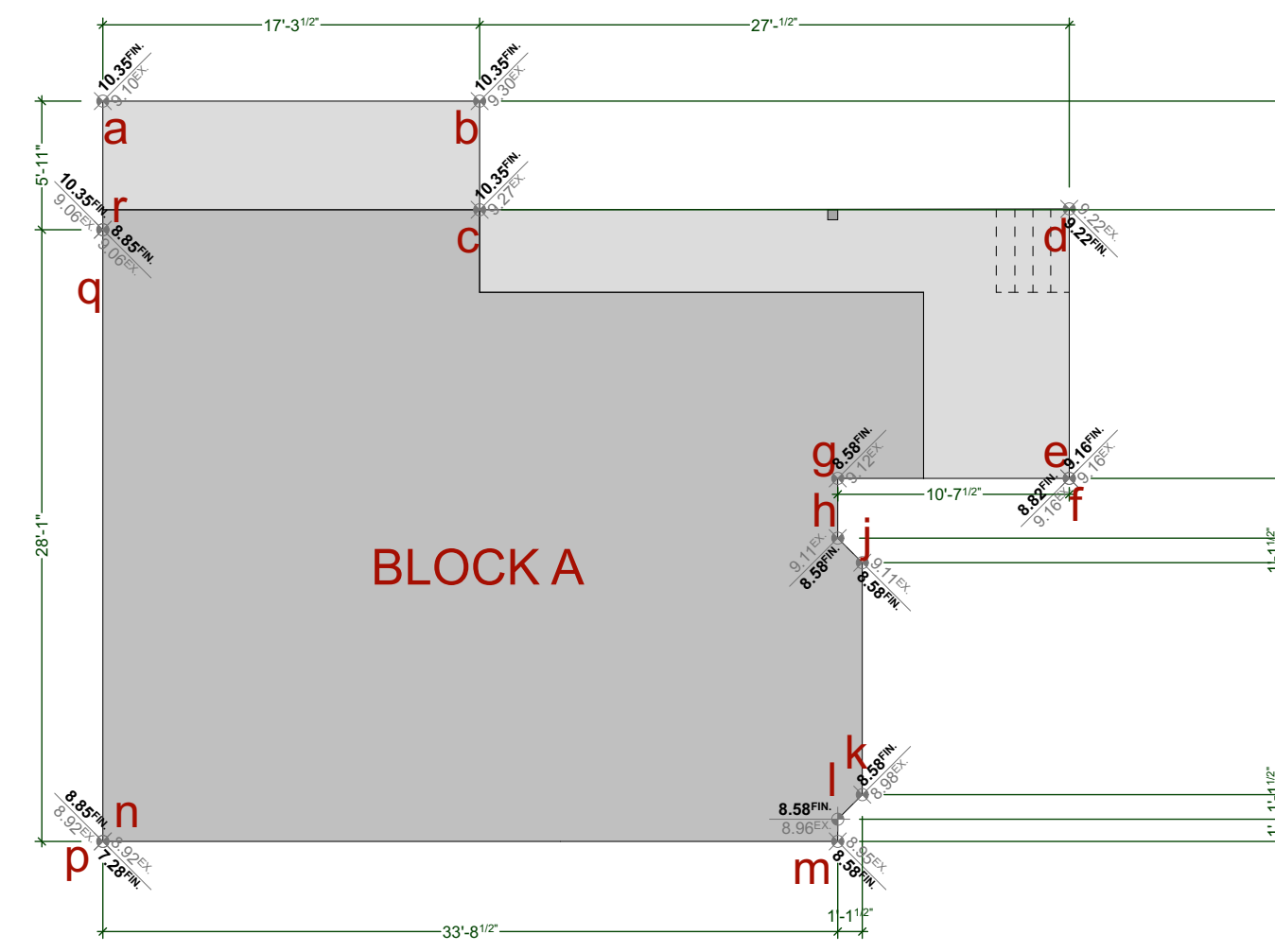
Domer eave=18.60



PROPOSED SITE PLAN
SCALE = 1 : 150

PROJECT DATATABLE - MULTI FAMILY DWELLING			
Address	1734 Hollywood Cres		
Lot Size	616.53m ² (6,636.27 ft ²)		
Zoning	R1-G - MISSING MIDDLE BYLAW - SCHEDULE P		
Location	BLOCK A	BLOCK B	REQUIRED
Lot Width***	17.53m***	20m	
Building to be within 36m of two streets	29.99m	15.20m	
All buildings to be within 20m of a street	15.51m	14.50m	
Floor Area			
Upper Floor Area	90.61m ² (975.34 ft ²)	98.66 m ² (1,061.98 ft ²)	
Main Floor Area	91.84m ² (986.60 ft ²)	98.92 m ² (1,064.81 ft ²)	
Lower Floor Area	88.64m ² (954.12 ft ²)	100.11 m ² (1,077.54 ft ²)	
Basement Floor Area	52.82m ² (568.55 ft ²)	59.44 m ² (639.81 ft ²)	
Bicycle Storage Area	17.12m ² (184.28 ft ²)	17.12 m ² (184.28 ft ²)	
Floor Space Ratio	0.923	1.1	
	565.78 m ² (6,124.39 ft ²)	678.18m ² (7,299.87 ft ²)	
Height			
Average grade	8.77m Geo.	8.40m Geo.	
Building Height (maximum)	11.33m (37.17 ft)	11.68m (38.32 ft)	11.00m - Flat roofs 12.00m - All other roofs
Setbacks, Projections			
Street setback (Robertson) (minimum) (South)	2.00m (6.56 ft)	2.75m (9.02 ft)	2.00m (6.56 ft)
Street setback (Hollywood) (minimum) (East)	-	2.02m (6.63 ft)	2.00m (6.56 ft)
Maximum projections into all setbacks:			
- steps, ramp, porch	1.93m (6.33 ft)	2.00m (6.56 ft)	
North setback (minimum)	6.01m (Habitable) (19.72 ft)	21.95m (Habitable) (72.01 ft)	6.00m (Habitable) 2.00m (Non-hab.)
West setback (minimum)	2.01m (Non-hab.) (6.60 ft)	2.24m (Non-hab.) (7.04 ft)	6.00m (Habitable) 2.00m (Non-hab.)
Eave projections into setback (maximum)	0.65m (2.13 ft)	0.65m (2.13 ft)	0.75m (2.46 ft)
Building separation (minimum)	5.04m (16.54 ft)	5.04m (16.54 ft)	5.00m (16.40 ft)
Site Coverage			
Site coverage (maximum)	39.85% (245.69m ²) (2,644.59ft ²)	45.00% (266.03m ²) (2,863.52ft ²)	40.00% (246.61m ²) (2,654.49ft ²)
Open Site Space (minimum)	45.25% (278.99m ²) (3,002.92ft ²)	45.00% (266.03m ²) (2,863.52ft ²)	45.00% (277.44m ²) (2,986.34ft ²)
Amenity Space (25m ² or 6.5% of lot area and min 4.5m in length on all sides)	14.13% (87.13m ²) (937.88ft ²)	6.50% (40.08m ²) (431.42ft ²)	
Site Impervious Areas	43.25% (266.03m ²) (2,863.52ft ²)	45.00% (266.03m ²) (2,863.52ft ²)	
Permeable Areas	56.65% (350.50m ²) (3,772.75ft ²)	55.00% (342.50m ²) (3,690.00ft ²)	
Rainwater Management Areas	56.85% (350.50m ²) (3,772.75ft ²)	55.00% (342.50m ²) (3,690.00ft ²)	
Parking			
Bicycle Parking	BLOCK A	BLOCK B	REQUIRED
Bicycle Storage	8 long term spaces (2 per unit; 1 per secondary unit)	7 long term spaces (6 short term spaces)	• 15 long term spaces • 5 visitor spaces per bldg
Oversized Bicycle Storage	1 oversized space	1 oversized space	15% of total stalls 2 spaces
Energized Bicycle Spaces	4 energized	4 energized	50% of total stalls 8 spaces
Bicycle Maintenance Facility	1 facility	1 facility	1 Required in each bike room
Van Accessible Parking	1 - Van accessible parking space located close to Block A contains adaptable unit)		1 Required
EV Equipped Parking	1 - Standard EV equipped parking space	1 - Dedicated future car share (SRW) EV equipped parking space	0.15 Parking spaces per unit up to a maximum of 6 car share vehicle parking spaces Required

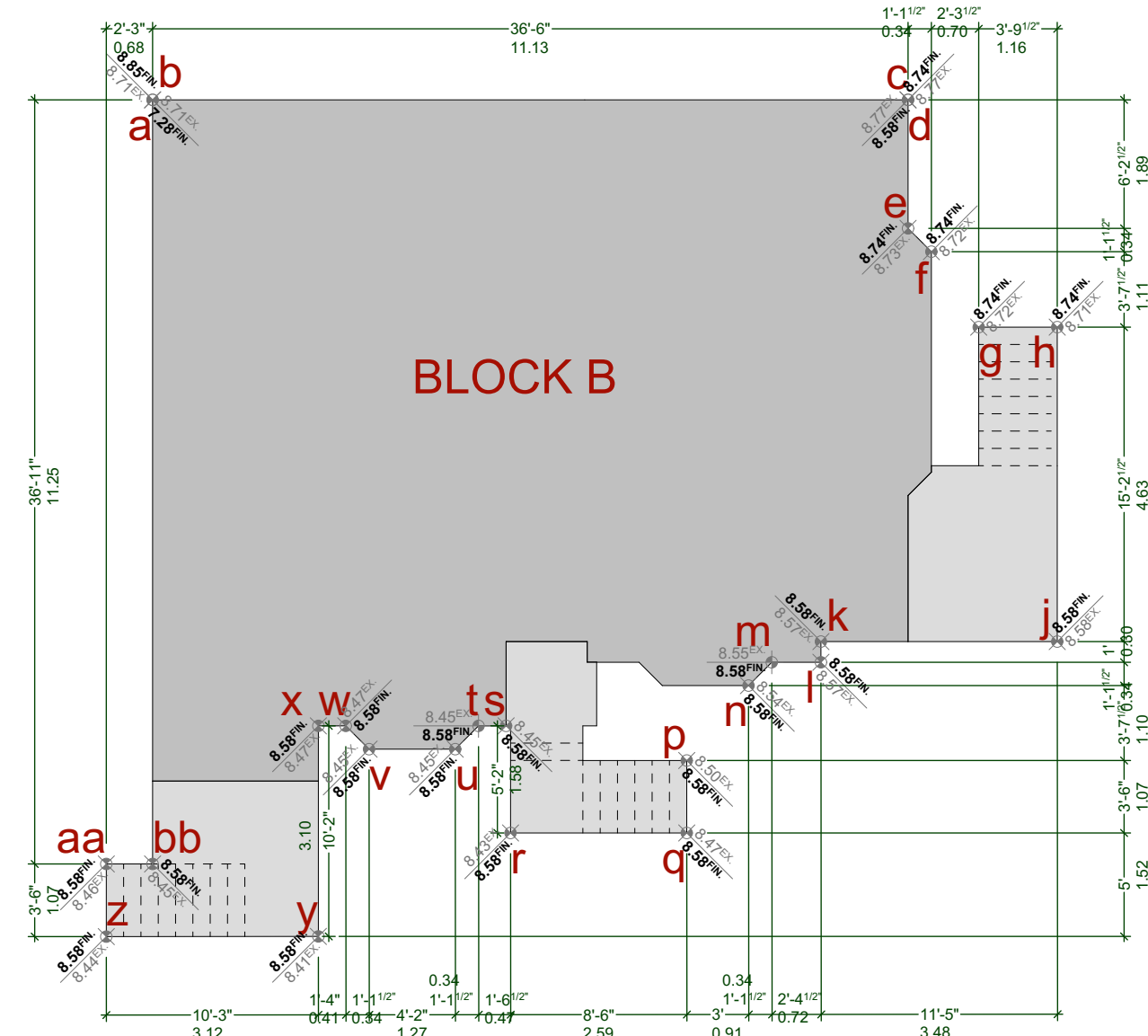
***VARIANCE REQUIRED



PROPOSED GRADE PLAN
NOT TO SCALE

Grade Points	Avg. Of Points	Distance Between	Totals
b / c	9.10 + 9.30 / 2 = 9.20	5.27	45.45
b / d	9.30 + 9.27 / 2 = 9.29	1.52	14.12
f / g	9.27 + 9.22 / 2 = 9.25	0.25	76.31
f / e	9.22 + 9.16 / 2 = 9.19	3.76	34.55
f / h	8.82 + 8.58 / 2 = 8.70	3.24	28.19
g / h	8.58 + 8.58 / 2 = 8.58	0.84	7.21
h / j	8.58 + 8.56 / 2 = 8.57	0.34	2.92
j / a	8.58 + 8.56 / 2 = 8.57	3.25	27.89
k / i	8.58 + 8.56 / 2 = 8.57	0.34	2.92
i / m	8.58 + 8.56 / 2 = 8.57	0.31	2.66
m / n	8.58 + 7.28 / 2 = 7.93	10.28	81.52
p / a	8.85 + 8.56 / 2 = 8.71	5.56	75.78
p / a	9.06 + 9.10 / 2 = 9.08	1.80	16.34
Total:			418.87
Perimeter:			47.76
AVG. GRADE =			8.77

ALLOWED HEIGHT (12.00m) (8.77 + 12.00m) 20.77m



PROPOSED GRADE PLAN
NOT TO SCALE

Grade Points	Avg. Of Points	Distance Between	Totals
b / c	7.28 + 8.58 / 2 = 7.93	11.13	88.26
f / e	8.74 + 8.73 / 2 = 8.74	1.89	16.52
f / i	8.73 + 8.72 / 2 = 8.73	0.34	2.97
f / g	8.72 + 8.72 / 2 = 8.72	0.70	6.10
g / h	8.72 + 8.71 / 2 = 8.72	1.16	10.12
h / j	8.71 + 8.56 / 2 = 8.65	4.83	40.05
i / a	8.58 + 8.27 / 2 = 8.58	3.48	29.86
k / i	8.57 + 8.57 / 2 = 8.57	0.30	2.57
i / m	8.57 + 8.55 / 2 = 8.56	0.72	6.16
m / n	8.55 + 8.54 / 2 = 8.55	0.34	2.91
p / q	8.54 + 8.50 / 2 = 8.52	1.10	9.37
p / r	8.50 + 8.47 / 2 = 8.49	1.07	9.08
r / q	8.47 + 8.43 / 2 = 8.45	2.59	20.70
f / s	8.43 + 8.45 / 2 = 8.44	1.58	13.34
s / i	8.45 + 8.45 / 2 = 8.45	0.47	3.97
i / u	8.45 + 8.45 / 2 = 8.45	0.47	3.97
u / v	8.45 + 8.45 / 2 = 8.45	1.27	10.73
v / x	8.45 + 8.47 / 2 = 8.46	0.34	2.88
w / x	8.47 + 8.47 / 2 = 8.47	0.41	3.47
x / y	8.47 + 8.41 / 2 = 8.44	3.10	26.16
y / z	8.41 + 8.44 / 2 = 8.43	3.12	26.30
z / aa	8.44 + 8.46 / 2 = 8.45	1.07	9.04
aa / bb	8.46 + 8.45 / 2 = 8.45	0.68	5.75
bb / cc	8.44 + 8.46 / 2 = 8.45	1.07	9.04
cc / a	8.45 + 8.71 / 2 = 8.58	11.25	95.53
Total:			454.75
Perimeter:			54.15
AVG. GRADE =			8.40

ALLOWED HEIGHT (12.00m) (8.40 + 12.00m) 20.40m

ECO-PRIORA

MUTUAL MATERIALS HARDSHARE PRODUCT DATA SHEET

STANDARD SPECIFICATION

For Pavers (manufactured to the same high quality specifications as all other Mutual Materials products) meeting the requirements in ASTM C936, "Standard Specification for Solid Concrete Interlocking Paving Units".

INSTALLATION PATTERNS

AVAILABLE COLORS

Custom colors are available. For more information please contact your Mutual Materials sales representative.

PERMEABLE PAVEMENT DESIGN

For more specific and detailed instructions please contact your Mutual Materials sales representative.

TYPICAL CROSS SECTION FOR FULL INFILTRATION DESIGNS

MUTUAL MATERIALS LOCATIONS

WASHINGTON	OREGON	IDAHO	MONTANA
Asotin	Harney	Blaine	Missoula
Benton	South Umpqua	Clatskanie	Butte
Bellingham	Wahkiakum	Estacada	Helena
Blaine	Yamhill	Hillsboro	Great Falls
Chelan/Douglas	Yonkers	Leavenworth	Missoula
Clallam	Yonkers	Leavenworth	Missoula

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date
December 12, 2024

NAFS REQUIREMENTS:
Performance Grade of 30
Water Test Pressure of 260 Pa

GENERAL NOTES
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.
ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.
DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE
-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN
ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR
ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER
ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.
CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.
CONCRETE AND FOUNDATIONS
ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.
GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPA
FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.
ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.
ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS
BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.
ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN THE "SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES
TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.
ROOFING
ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.
PLUMBING & ELECTRICAL
ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING
ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING.
ALL ROOFING SHALL INCORPORATE STEP FLASHING.
ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.
DOORS - ROUGH OPENING SIZES
FRAME OPENING 1 1/4" WIDER THAN DOOR
FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BI FOLD DOORS AND FRAME HEIGHT 81 5/8".
MISC.
CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.
-CONFORMITY OF PLANS TO SITE.
-ERRORS AND OMISSIONS
-ANY HOUSE BUILT FROM THESE PLANS

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

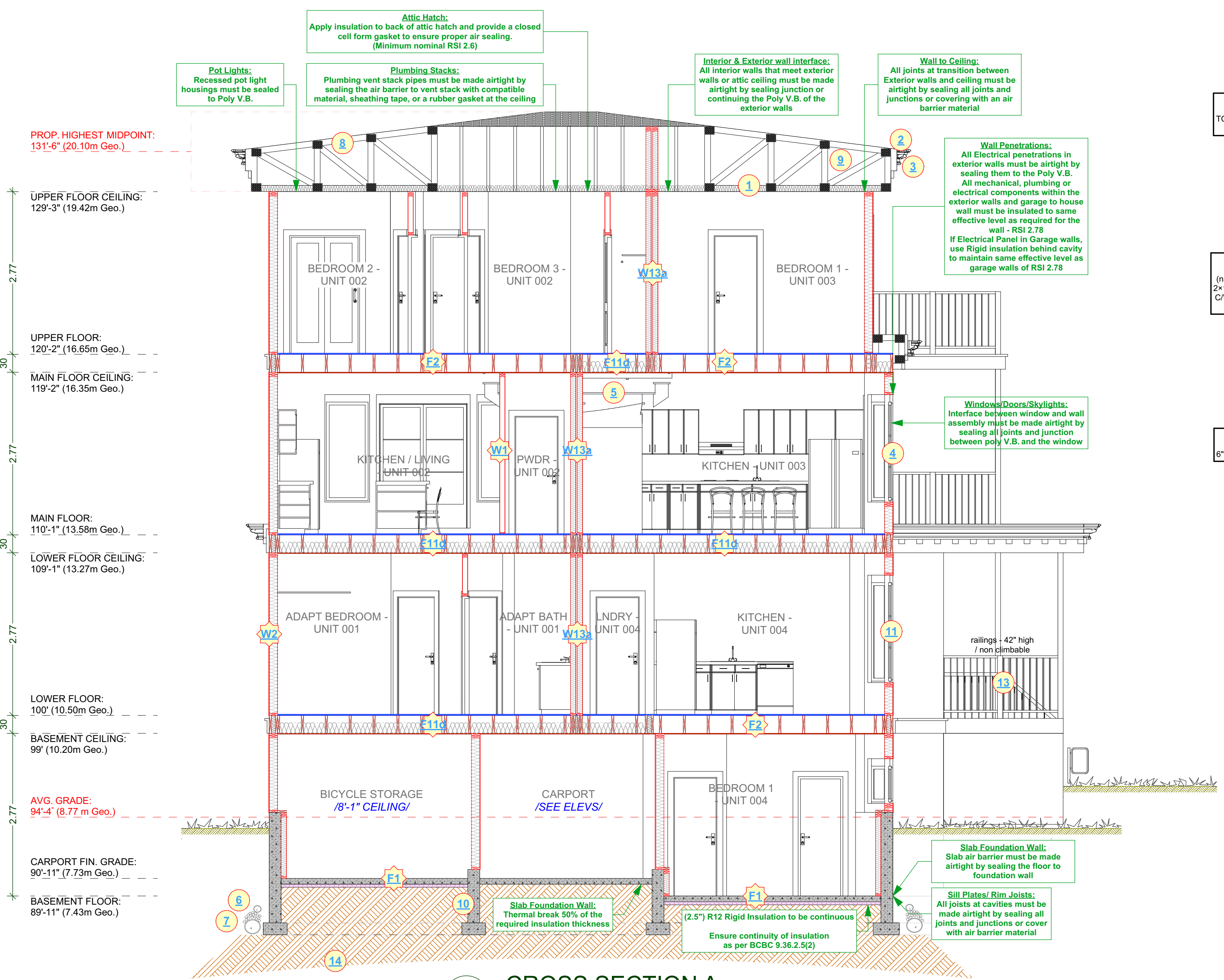
DRAWING NAME:
PROPOSED SITE PLAN, GRADE PLANS AND DATA TABLE
DRAWING SCALE:
SEE DRAWINGS

ISSUE DATE:
OCT 28, 2024
DRAWN BY:
NS
CHECKED BY:
KL

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SHEET NUMBER

A1



CROSS SECTION A

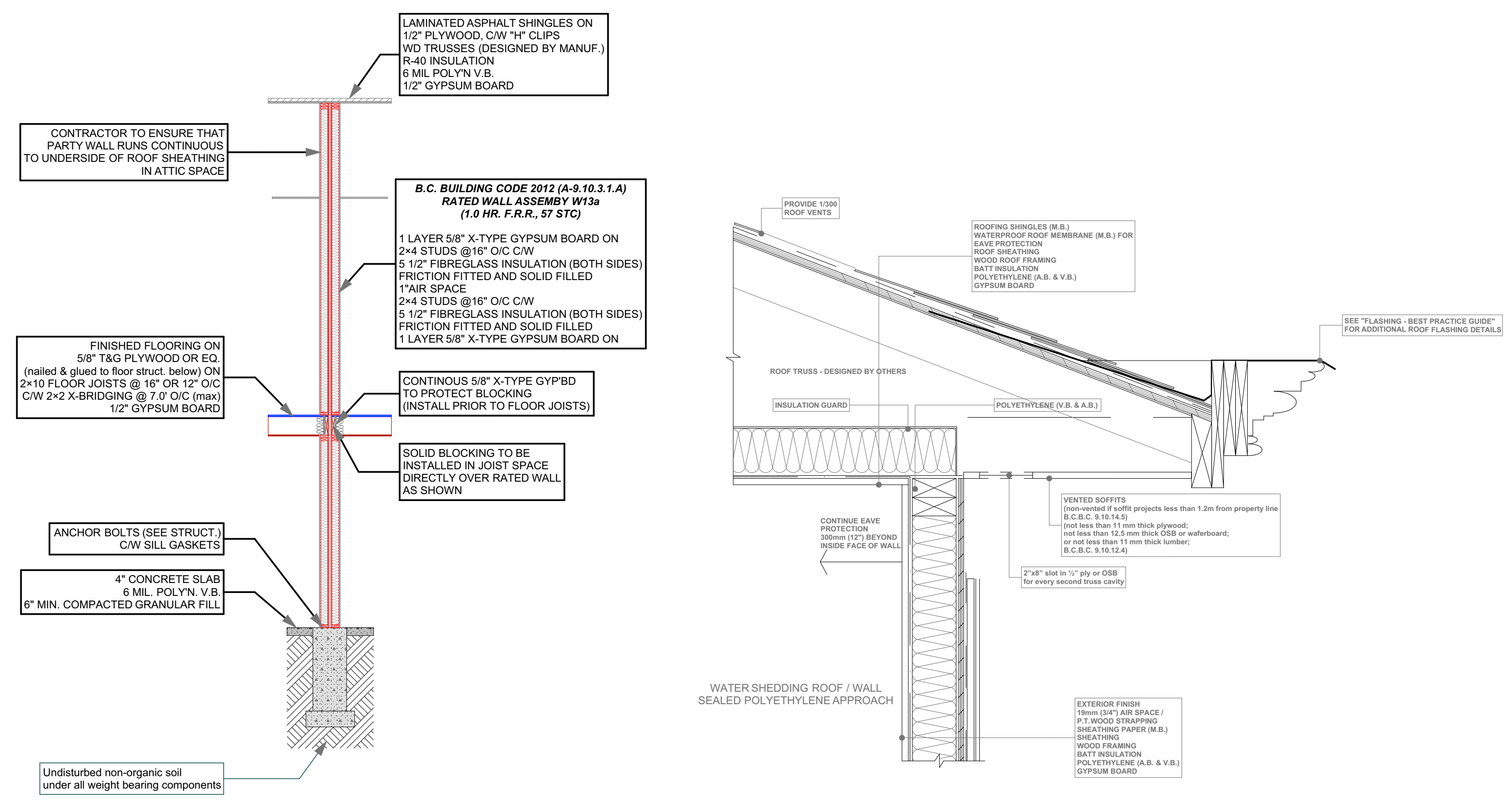
HEAT SOURCES: HEAT PUMPS WITH HWT ON DEMAND FOR ALL UNITS

- CONSTRUCTION NOTES:**
- 1 R40 insulation - 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
 - 2 Continuous gutters
 - 3 Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
 - 4 All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
 - 5 Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
 - 6 Provide drains to perimeter system
 - 7 4" drantille with 6" rock over
 - 8 Provide roof vents: vent 1/300 - See Soffit Detail
 - 9 Eave protection to 12" beyond heated wall
 - 10 8" concrete wall on 8"x16" conc. fgs - 2#4 bar cont. typ. R12 rigid insulation - 2 coats damp proofing
 - 11 caulk over and around all exterior openings
 - 12 10" X 10" post saddle on 8" plaster 2'x2'6" conc. footing. NOT SHOWN
 - 13 42" Non climbable Continuous Handrail.
 - 14 Undisturbed non-organic soil

- CONSTRUCTION ASSEMBLIES:**
- E1 4" concrete floor on compacted granular fill, 6 mil poly VB
 - E2 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
 - R1 Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood), Engineered Trusses designer by supplier @ 24" O.C. typ.
 - W1 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
 - W2 Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 mm building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly V.B., 1/2" Drywall. (See elevations)
 - W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
 - F11d DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 - one subfloor layer of 11mm sanded plywood, or OSB or waterboard
 - one subfloor layer of 15.9mm plywood, OSB or waterboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board

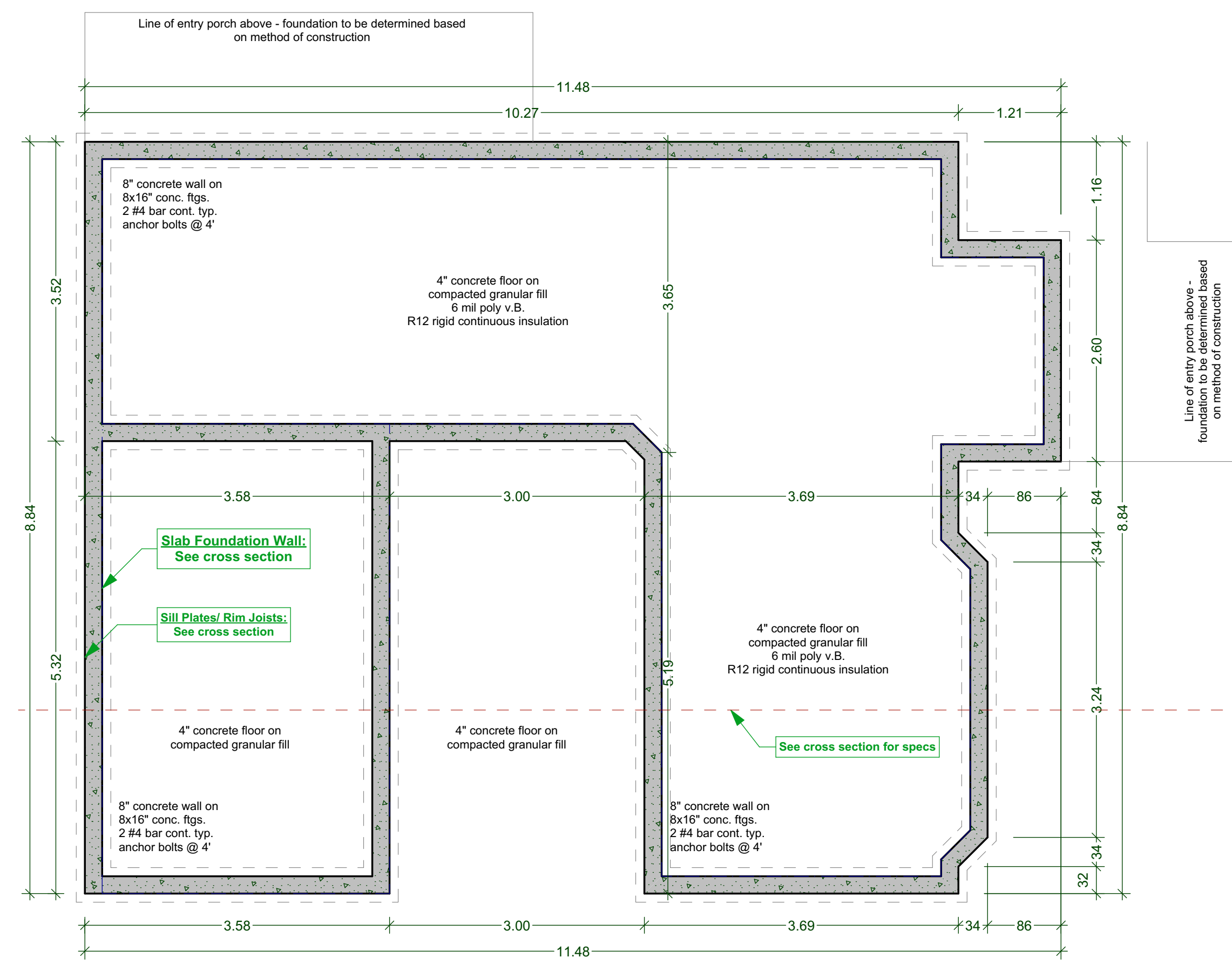
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

****ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS** MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION - ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.7.A) - GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1**



W13a - PARTY WALL DETAIL
SCALE: 1/4" = 1' - 0"

SOFFIT DETAIL
SCALE: 1" = 1' - 0"



A FOUNDATION PLAN (ON SLAB)

CUSTOMER: **AMIT AND KARISHMA SETHI**
ADDRESS: **LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA**

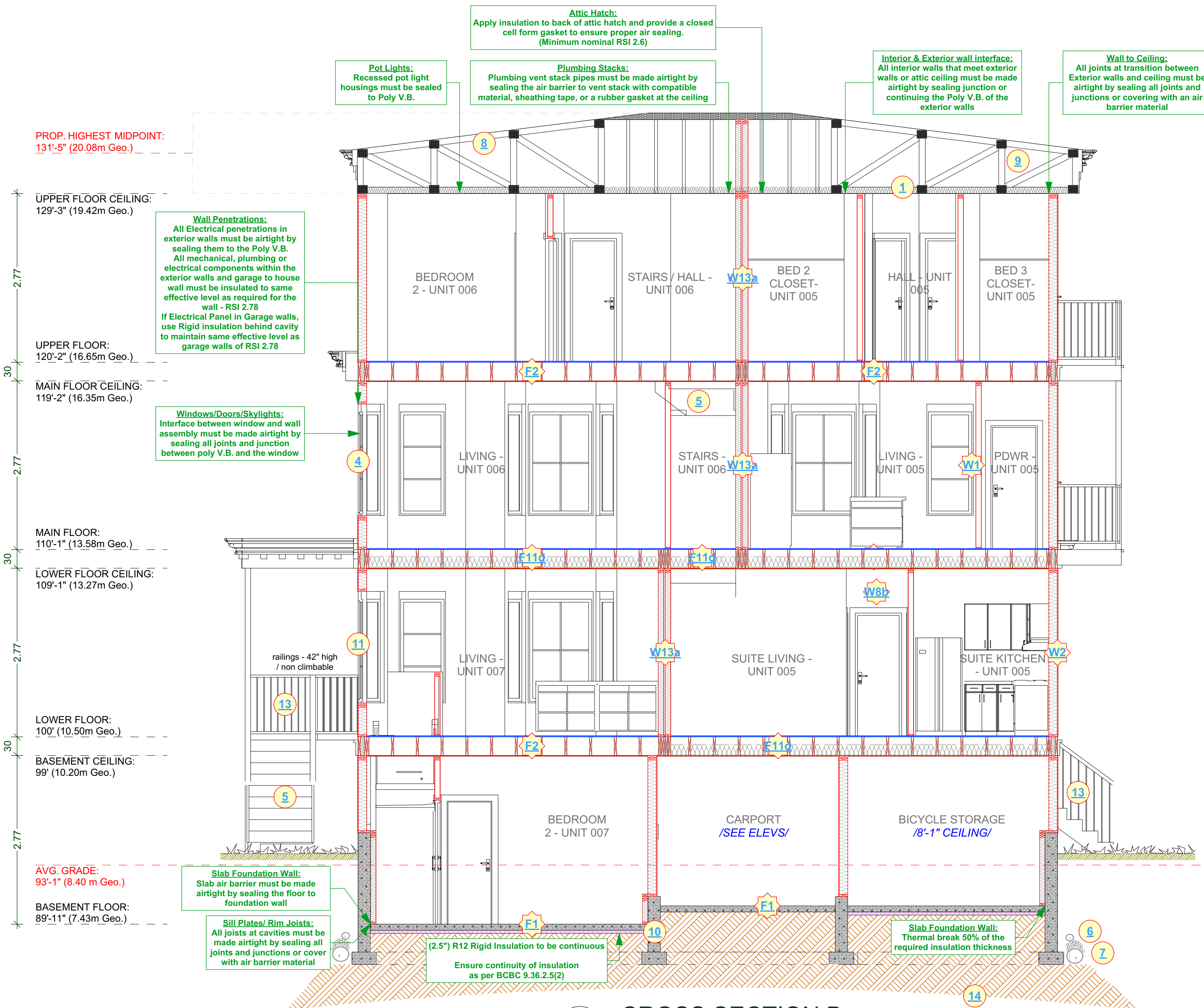
DRAWING NAME: **CROSS SECTION - BLOCK A FOUNDATION PLAN AND SOFFIT DETAIL**
DRAWING SCALE: **SEE DRAWINGS**

ISSUE DATE: **OCT.28, 2024**
DRAWN BY: **NS**
CHECKED BY: **KL**

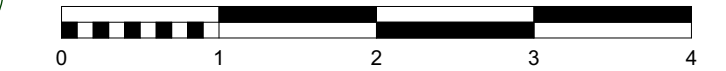
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SHEET NUMBER

A2



CROSS SECTION B

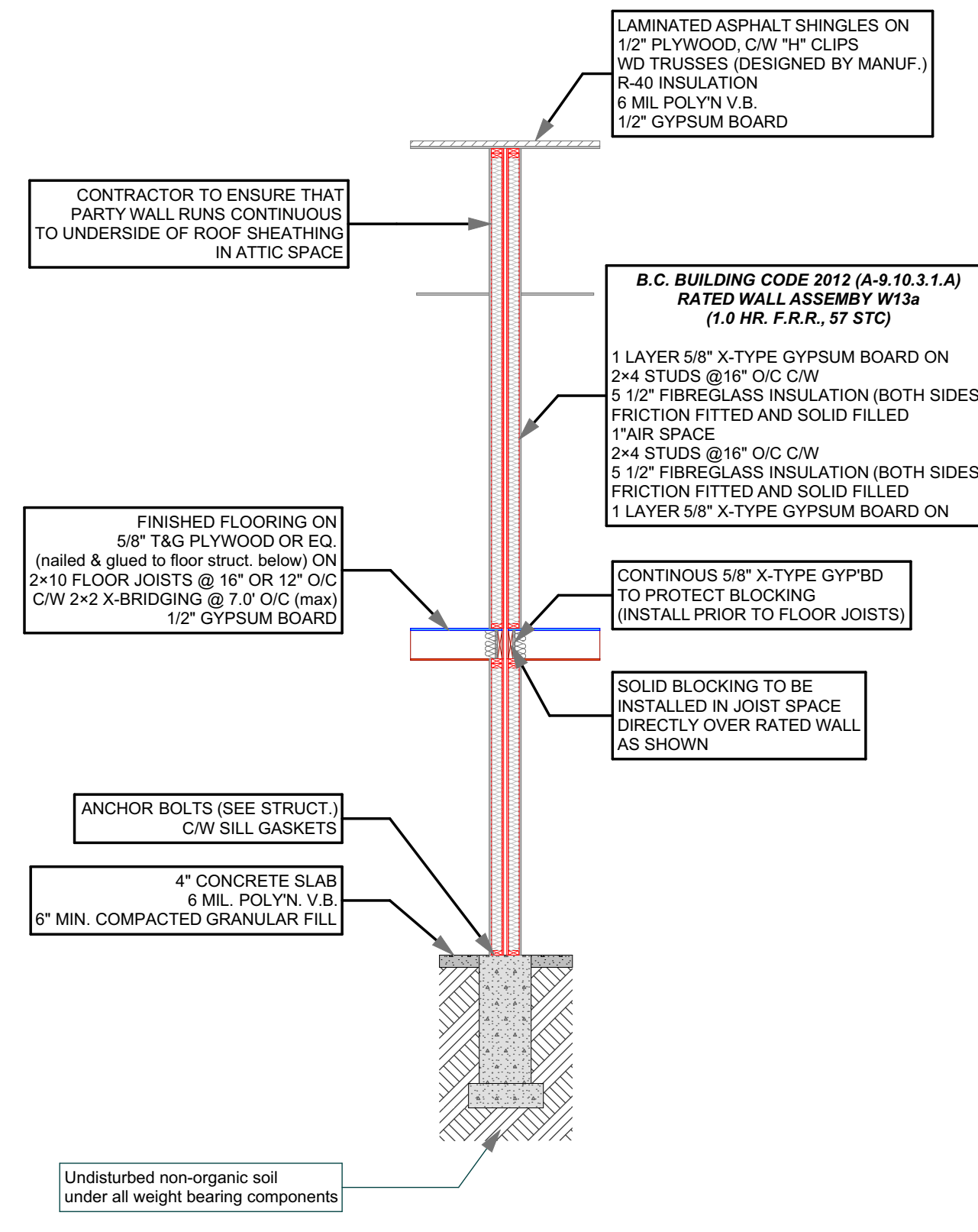


- #### CONSTRUCTION NOTES:
- R40 Insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
 - Continuous gutters
 - Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
 - All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
 - Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
 - Provide drains to perimeter system
 - 4" drantille with 6" rock over
 - Provide roof vents: vent 1/300 - See Soffit Detail
 - Eave protection to 12" beyond heated wall
 - 8" concrete wall on 8"x16" conc. fgs - 2#4 bar cont.-R12 rigid insulation - 2 coats dampproofing
 - caulk over and around all exterior openings
 - 10" X 10" post saddle on 8" plaster 2'6x2' conc. footing. NOT SHOWN
 - 42" Non climbable Continuous Handrail.
 - Undisturbed non-organic soil

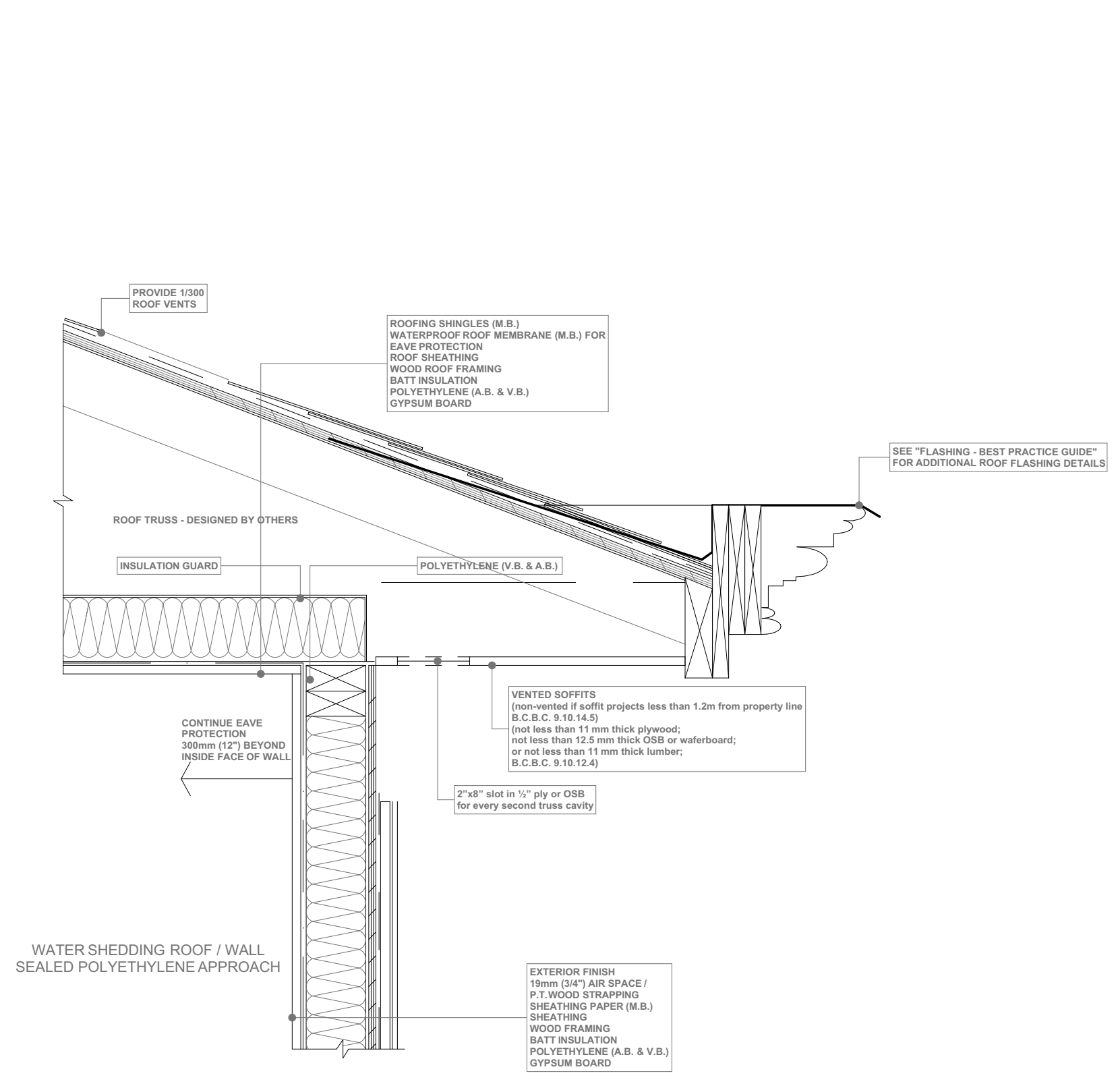
- #### CONSTRUCTION ASSEMBLIES:
- F1** 4" concrete floor on compacted granular fill, 6 mil poly V.B.
- E2** 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
- R1** Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood), Engineered Trusses designer by supplier @ 24" O.C. typ.
- W1** 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
- W2** Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 min building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 Mil Poly V.B., 1/2" Drywall. (See elevations)
- W8b** **DEMISING WALL:** (45min as per W8b - Table A-9.10.3.1.A)
 • 2 layers of 12.7mm Type X gypsum board to one side
 • Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 • 89mm thick absorptive material on one side
 • 12.7mm Type X gypsum board on other side
- W13a** **DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side
- F11a** **DEMISING FLOOR:** (1h as per F11a - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.9mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board
- F8d** **DEMISING FLOOR:** (30min as per F8d - Table A-9.10.3.1.B)
 • SUBFLOOR OF 15.9mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 • WOOD JOISTS OR WOOD JOISTS SPACED max of 600mm O.C.
 • ABSORPTIVE MATERIAL IN CAVITY
 • RESILIENT METAL CHANNELS SPACED 600mm
 • 15.9mm TYPE "X" GYPSUM BOARD

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS... IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

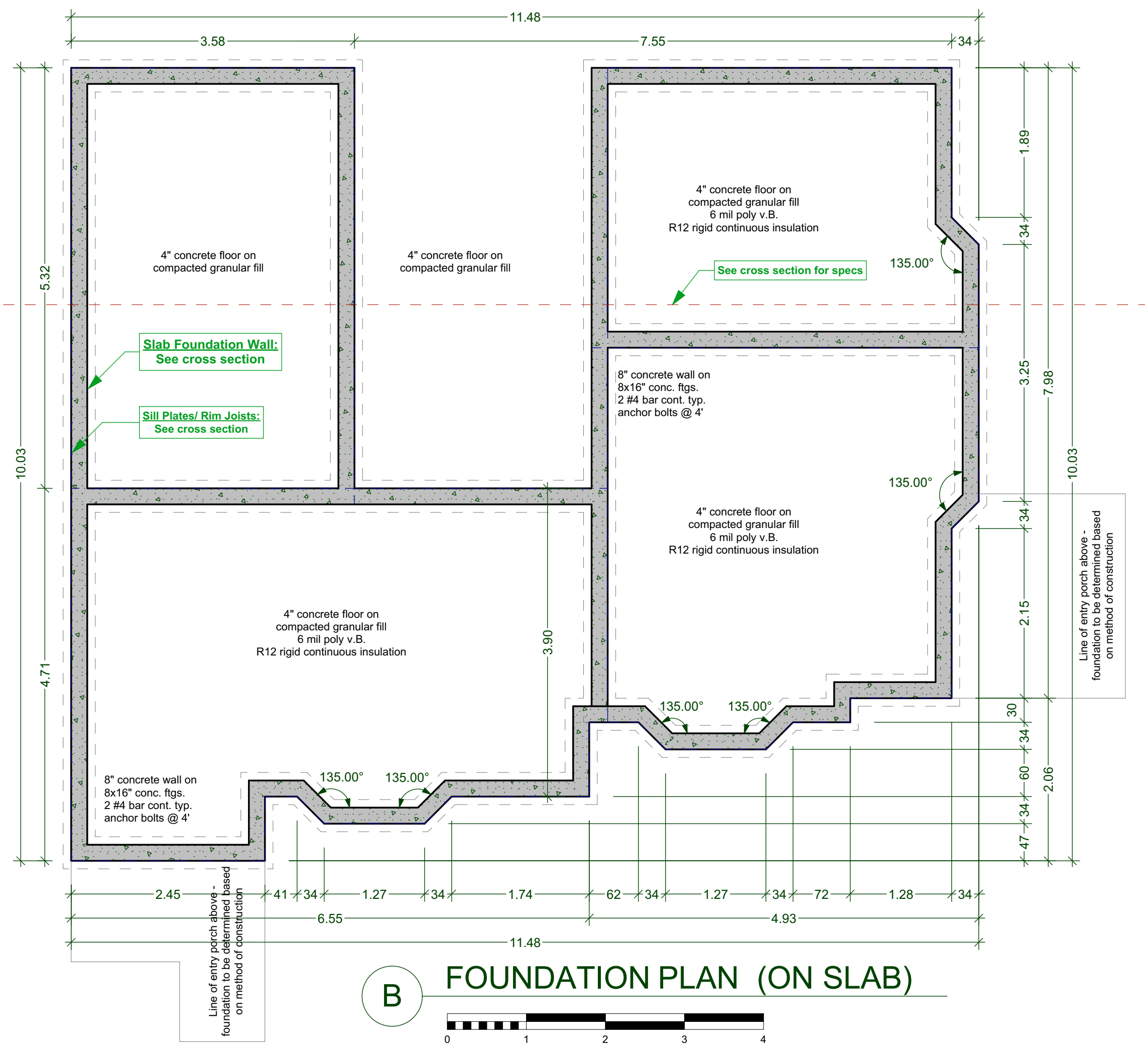
ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19. SECONDARY DWELLING UNIT TO BE SEPARATED FROM PRIMARY DWELLING UNIT BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min, AS PER 9.37.2.15.(b)



W13a - PARTY WALL DETAIL
SCALE: 1/4" = 1' - 0"



SOFFIT DETAIL
SCALE: 1" = 1' - 0"



B FOUNDATION PLAN (ON SLAB)

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

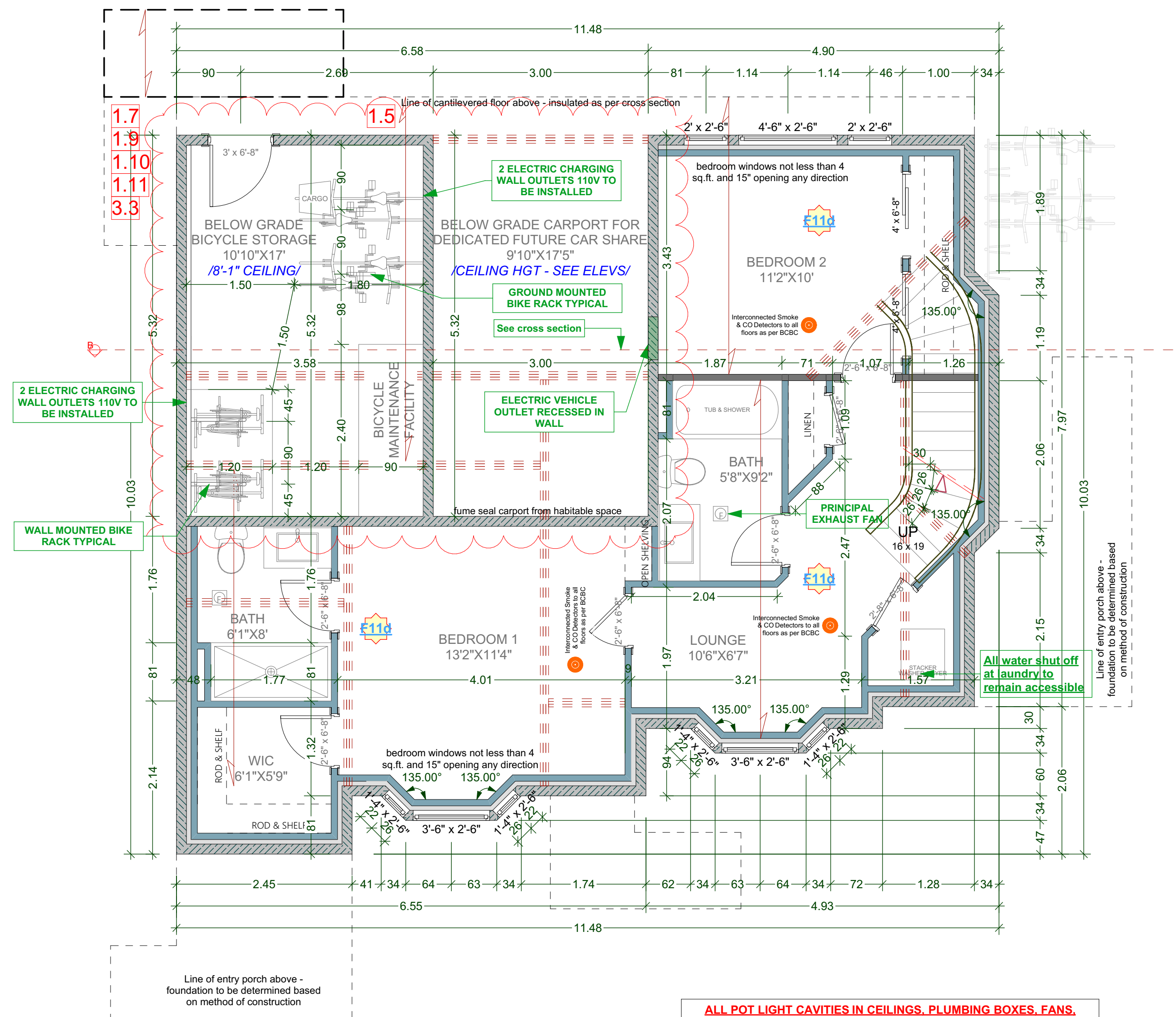
DRAWING NAME: CROSS SECTION - BLOCKA
DETAIL: FOUNDATION PLAN AND SOFFIT
DRAWING SCALE: SEE DRAWINGS

ISSUE DATE: OCT.28, 2024
DRAWN BY: NS
CHECKED BY: KL

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A3

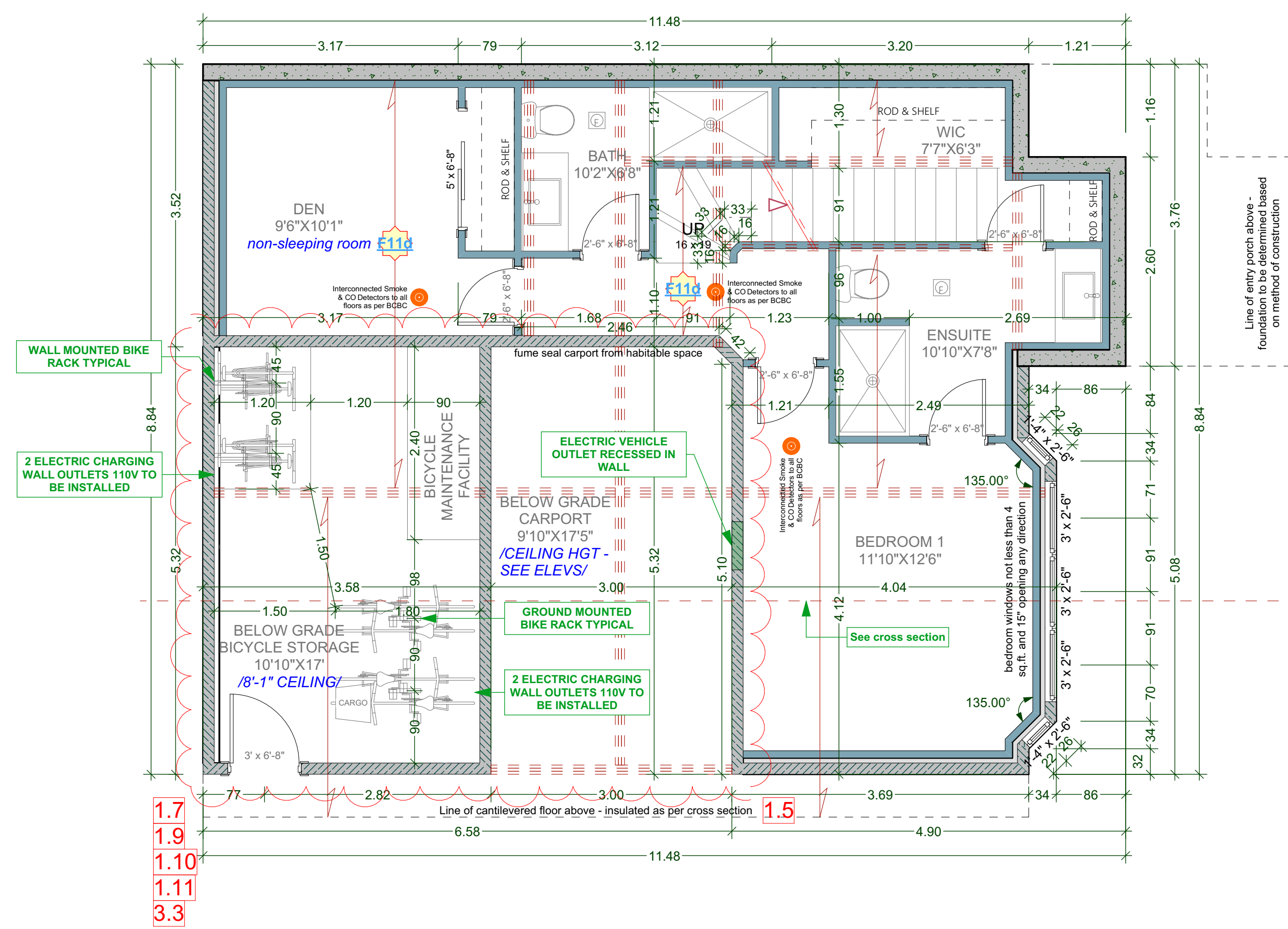


B BASEMENT FLOOR PLAN
 UNIT 007 AREA: 639.81 Sq Ft
 BICYCLE AREA: 184.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

F11d DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board



A BASEMENT FLOOR PLAN
 UNIT 004 AREA: 568.55 Sq Ft
 BICYCLE AREA: 184.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

F11d DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

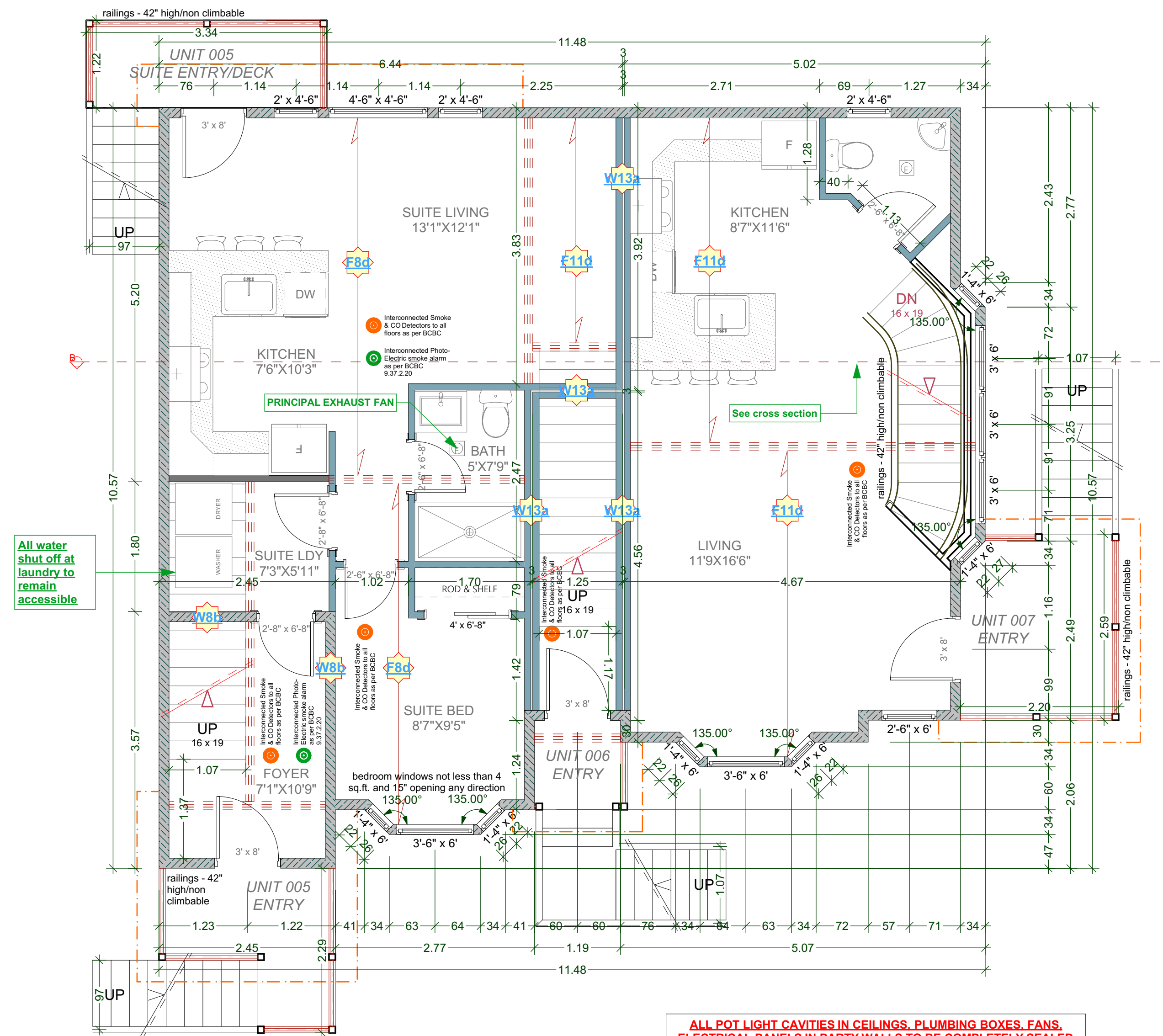
CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1 - 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED
 BASEMENT FLOOR PLANS**
 DRAWING SCALE:
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B LOWER FLOOR PLAN



UNIT 005 SUITE AREA: 503.83 Sq Ft
 UNIT 005 AREA: 84.02 Sq Ft
 UNIT 006 AREA: 59.32 Sq Ft
 UNIT 007 AREA: 430.37 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

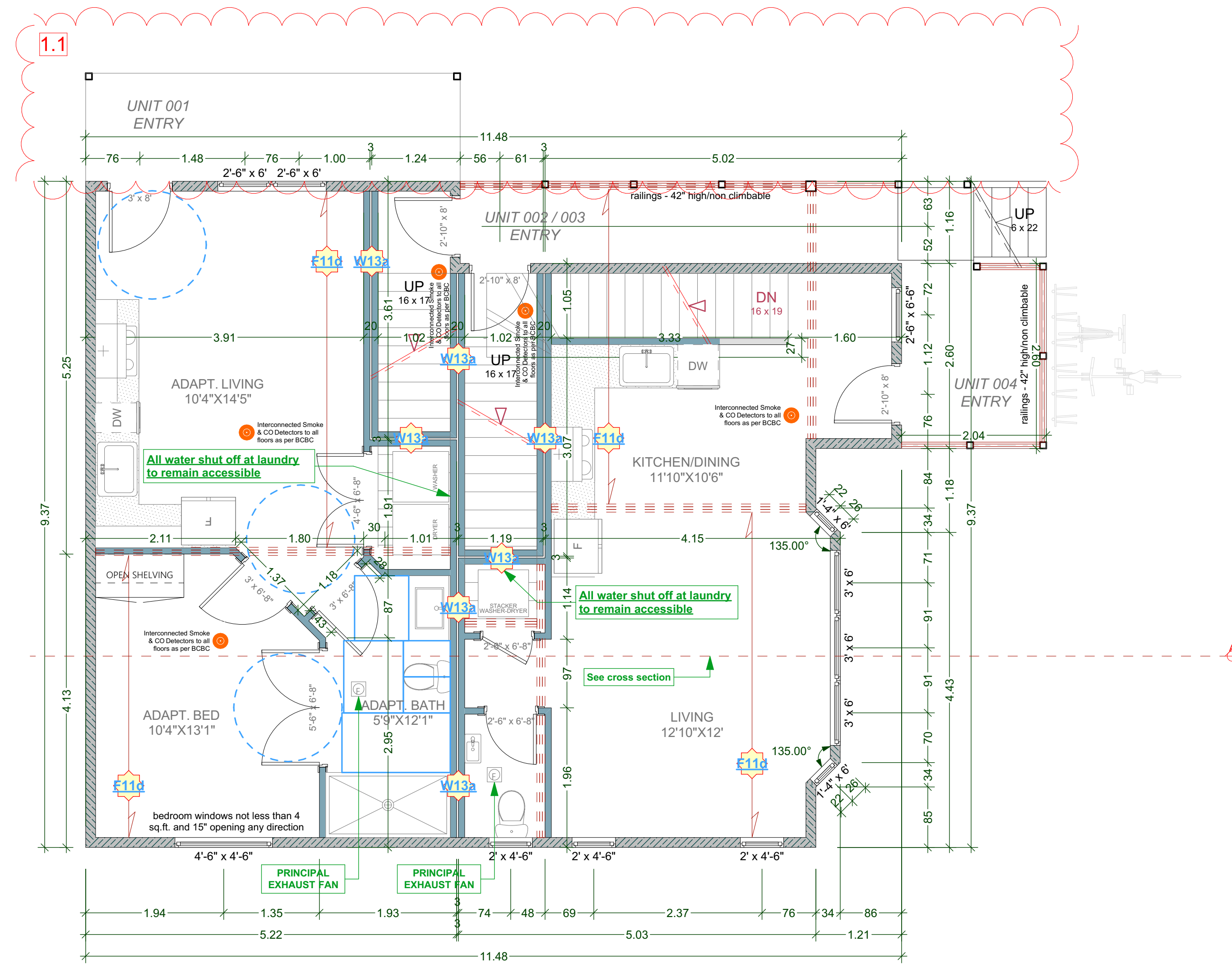
DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS.....IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)
 • SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 • WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C.
 • ABSORPTIVE MATERIAL IN CAVITY
 • RESILIENT METAL CHANNELS SPACED 600mm
 • 15.9mm TYPE 'X' GYPSUM BOARD

DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)
 • 2 layers of 12.7mm Type X gypsum board to one side
 • Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 • 89mm thick absorptive material on one side
 • 12.7mm Type X gypsum board on other side



A LOWER FLOOR PLAN



UNIT 001 AREA: 451.24 Sq Ft
 UNIT 002 AREA: 43.52 Sq Ft
 UNIT 003 AREA: 51.14 Sq Ft
 UNIT 004 AREA: 408.22 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED LOWER FLOOR
 PLANS**
 DRAWING SCALE:
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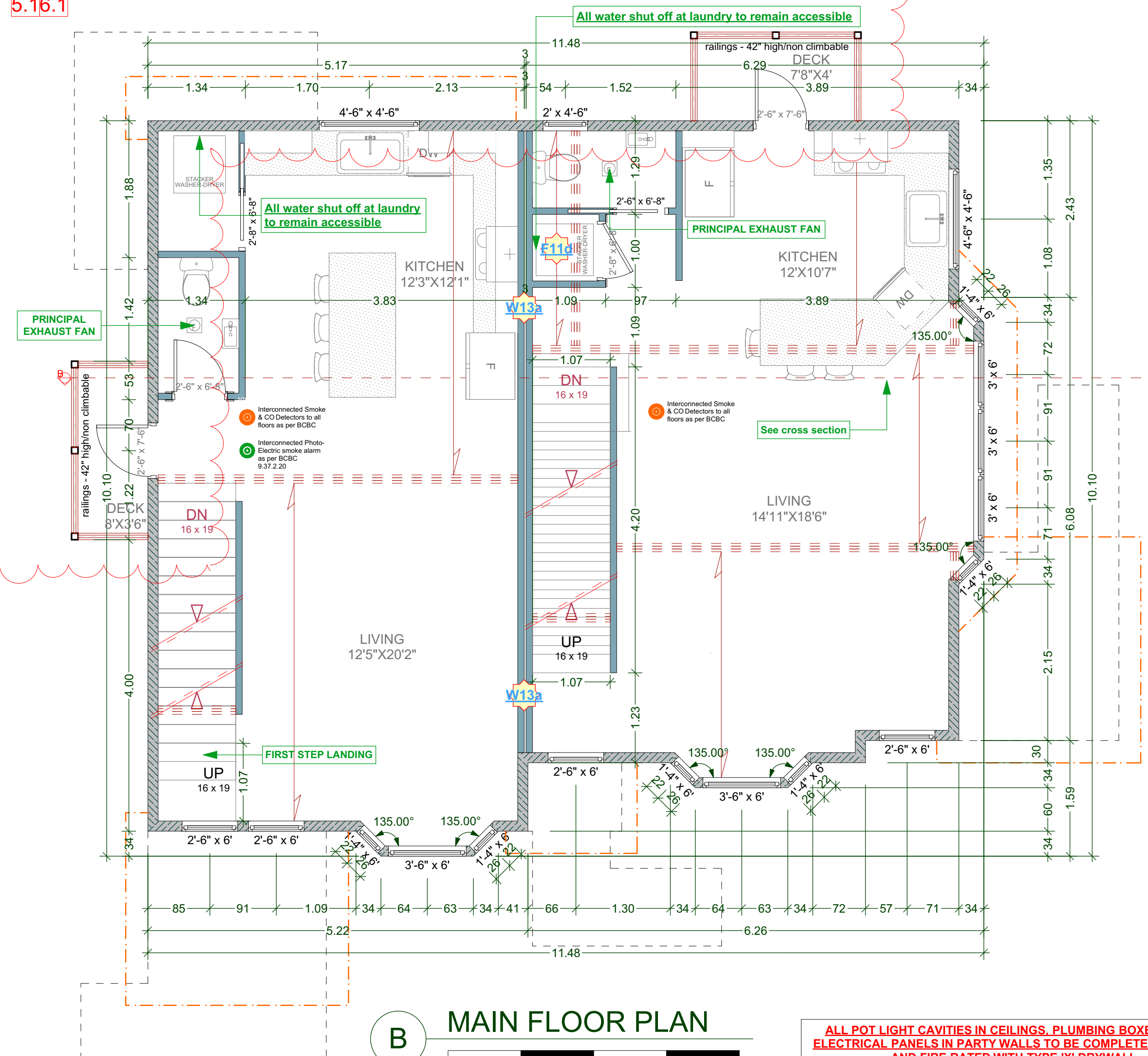
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5.16.1



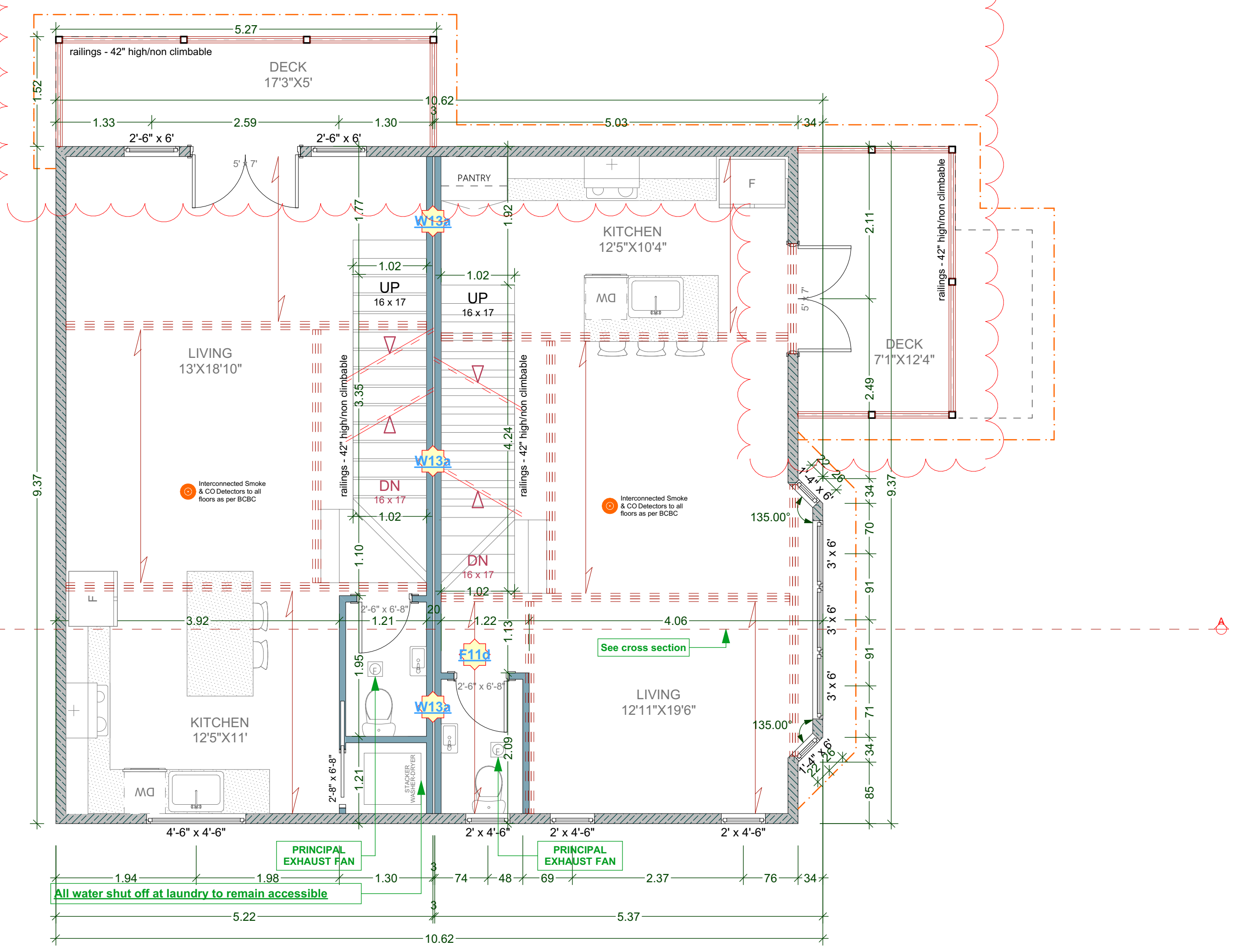
B MAIN FLOOR PLAN
 UNIT 005 AREA: 517.42 Sq Ft
 UNIT 006 AREA: 547.39 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a
DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

F11d
DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

5.16.1



A MAIN FLOOR PLAN
 UNIT 002 AREA: 497.16 Sq Ft
 UNIT 003 AREA: 491.44 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

W13a
DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

F11d
DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED
 MAIN FLOOR PLANS**
 DRAWING SCALE:
1/4"=1'-0"

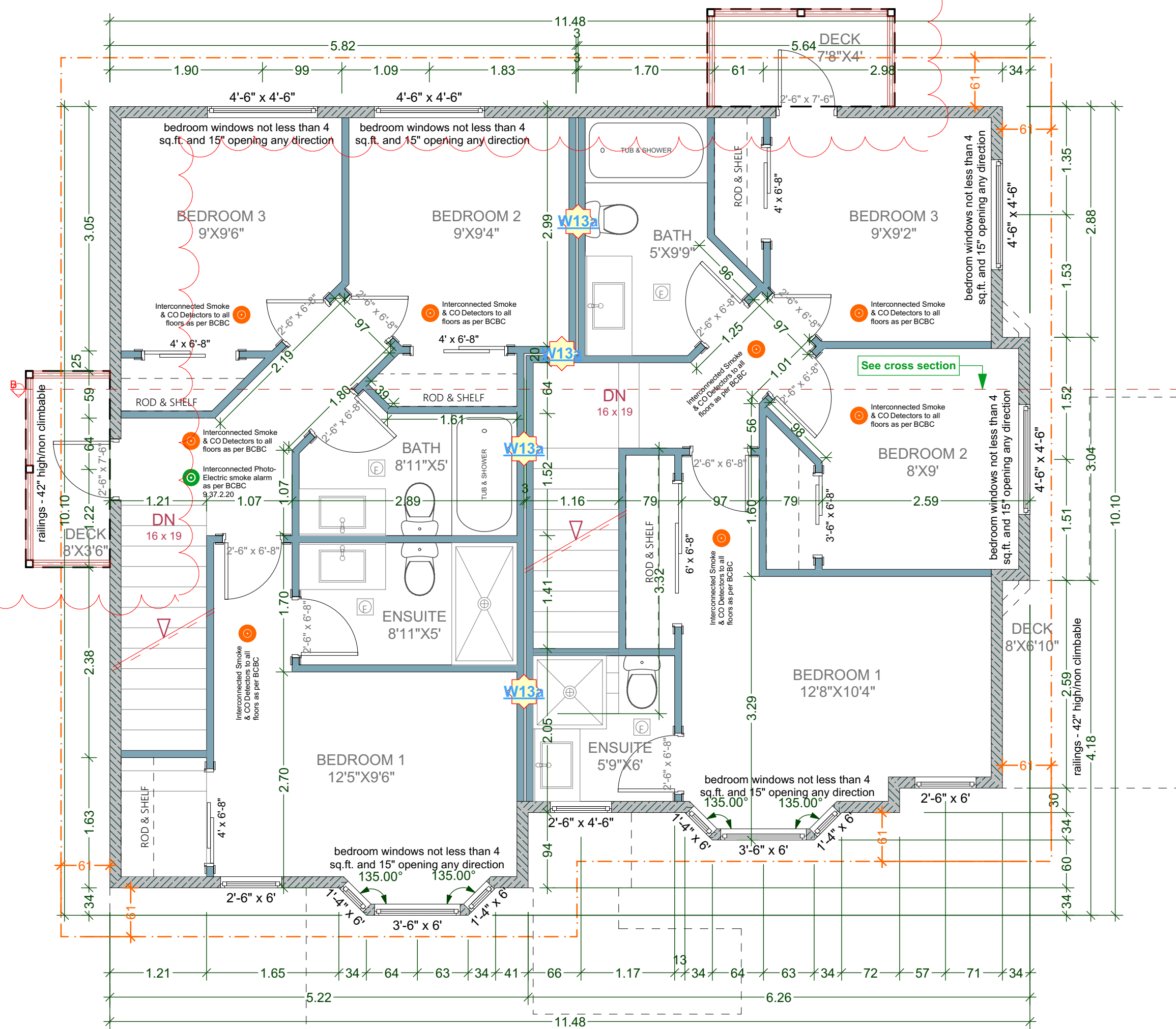
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B UPPER FLOOR PLAN

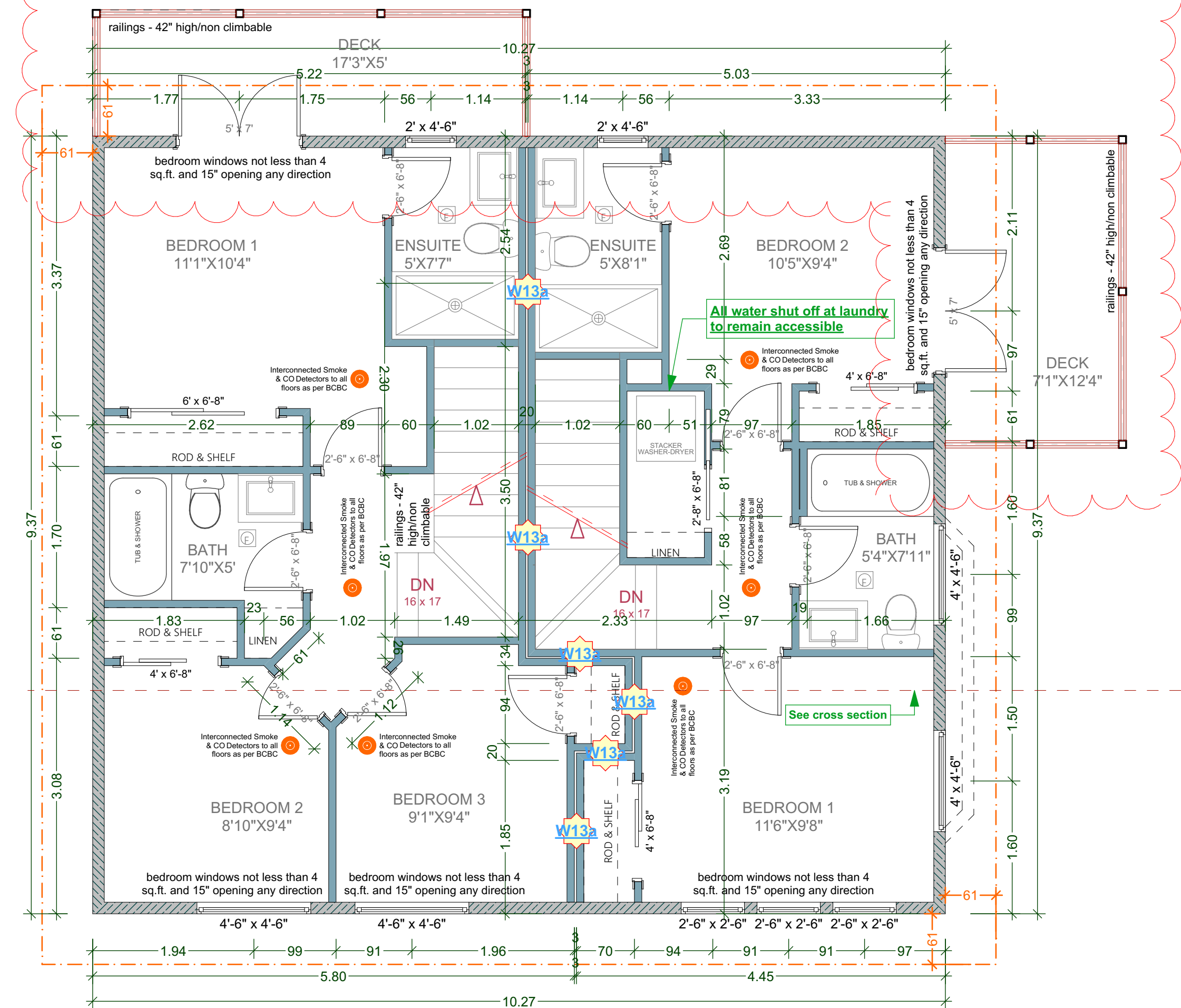
UNIT 005 AREA: 537.99 Sq Ft
UNIT 006 AREA: 523.99 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

5.16.1



A UPPER FLOOR PLAN

UNIT 002 AREA: 524.06 Sq Ft
UNIT 003 AREA: 451.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

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**PROPOSED
UPPER FLOOR PLANS**

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B PROPOSED SOUTH ELEVATION

HOLLYWOOD CRES.



A PROPOSED SOUTH ELEVATION

EXPOSING BUILDING FACE: 121.36 m²
 LIMITING DISTANCE: 3.105 m
 AREA OF GLAZED OPENINGS: 9.49 m²
 % GLAZED OPENINGS: 7.82 %
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 9.71 m²

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI
 ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: PROPOSED SOUTH ELEVATIONS
 DRAWING SCALE: 1/4"=1'-0"

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SHEET NUMBER

A8



1726 HOLLYWOOD CRES
SCALE: 1/4" = 1' - 0"



PROPOSED SOUTH ELEVATION
HOLLYWOOD CRES.

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANIF SPECS	F WALL FINISH:
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	G BELLY BAND:
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS. PAINTED AS PER OWNERS SPECS	H RAILINGS:
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS WITH ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:
			SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
			2x10 BELLY BAND W/ 2X2 DETAILS PAINTED CW FLASHING. COLOUR AS PER OWNERS SPECS
			ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
			PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
			ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

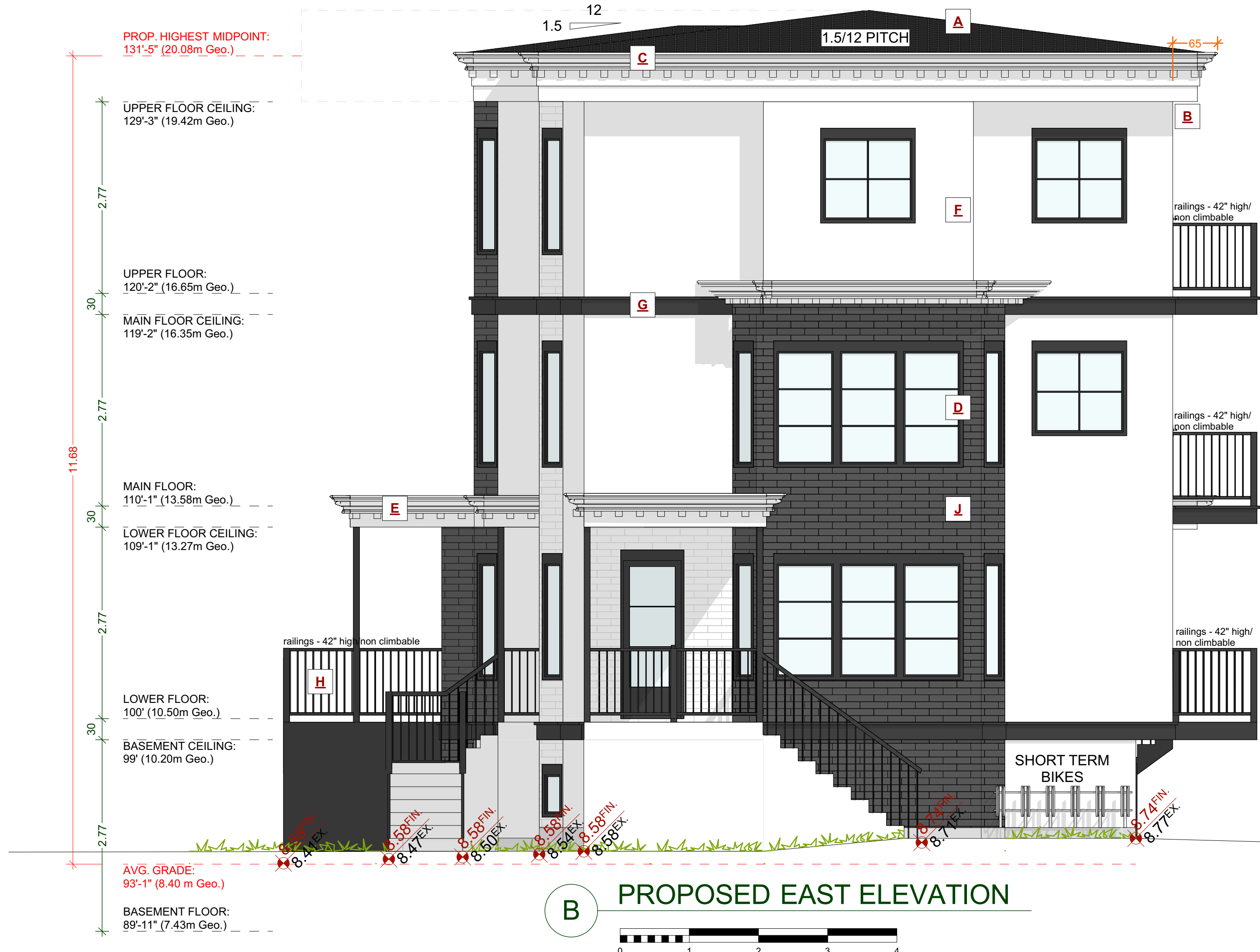
DRAWING NAME:
**PROPOSED HOLLYWOOD
CRES STREETSCAPE**
DRAWING SCALE:
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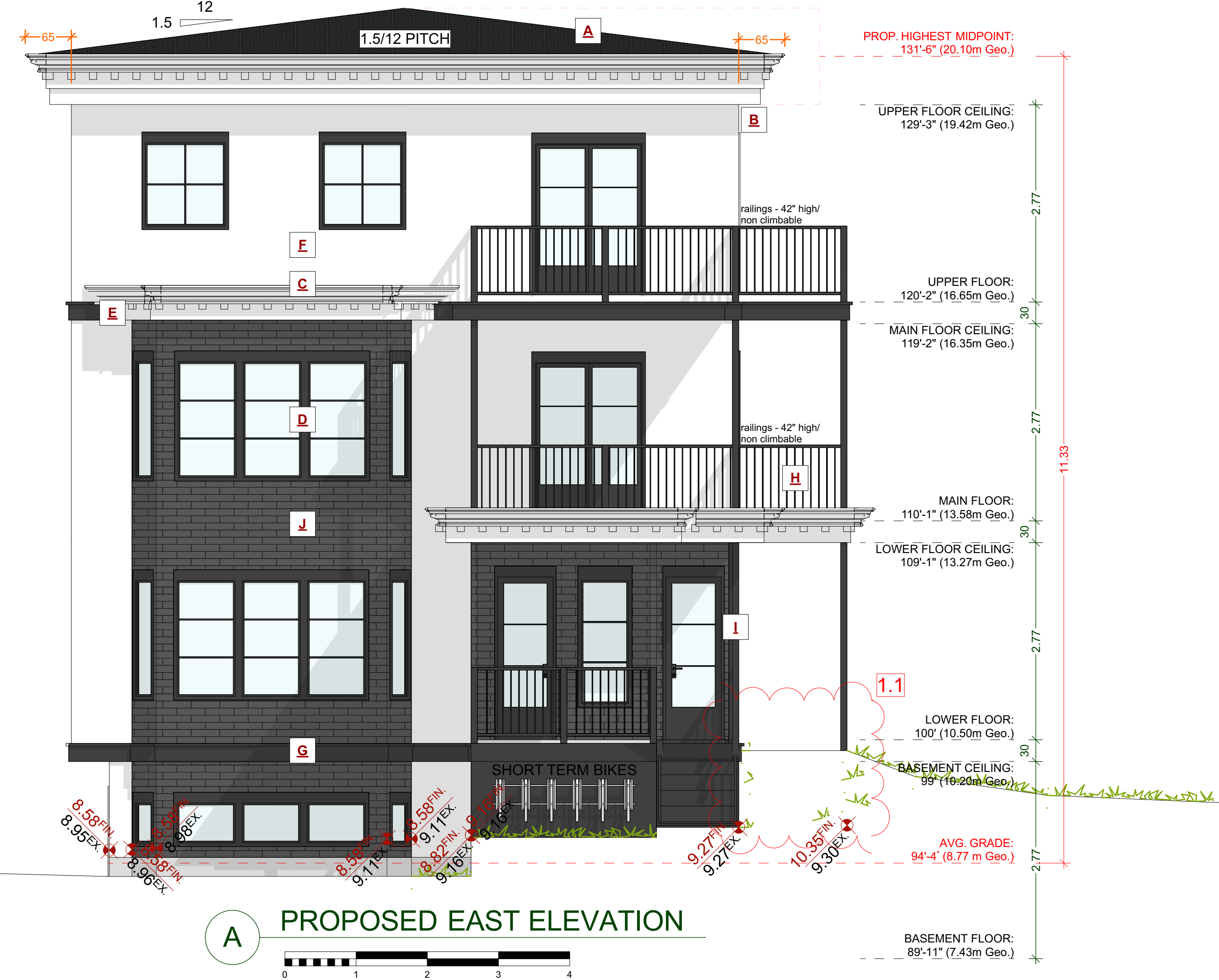
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SHEET NUMBER

A9



B PROPOSED EAST ELEVATION



A PROPOSED EAST ELEVATION
ROBERTSON STREET

EXTERIOR FINISHES SCHEDULE				
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD, ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED REAR AND
 RIGHT ELEVATIONS**
 DRAWING SCALE:
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EXTERIOR FINISHES SCHEDULE				
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS.	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED CW FLASHING. COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3x4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
 ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
 VICTORIA**

DRAWING NAME:
**PROPOSED ROBERTSON
 STREET STREETSCAPE**

DRAWING SCALE:
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A11



A PROPOSED NORTH ELEVATION

EXPOSING BUILDING FACE: 101.43 m²
 LIMITING DISTANCE: 7.52 m
 AREA OF GLAZED OPENINGS: 11.40 m²
 % GLAZED OPENINGS: 11.24 %
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 55.75 %
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 56.55 m²



B PROPOSED NORTH ELEVATION

EXPOSING BUILDING FACE: 132.21 m²
 LIMITING DISTANCE: 3.105 m
 AREA OF GLAZED OPENINGS: 10.53 m²
 % GLAZED OPENINGS: 7.97 %
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 10.58 m²

EXTERIOR FINISHES SCHEDULE			
A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS WITH ROOF MOULDING AND TRIM - PAINTED / STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

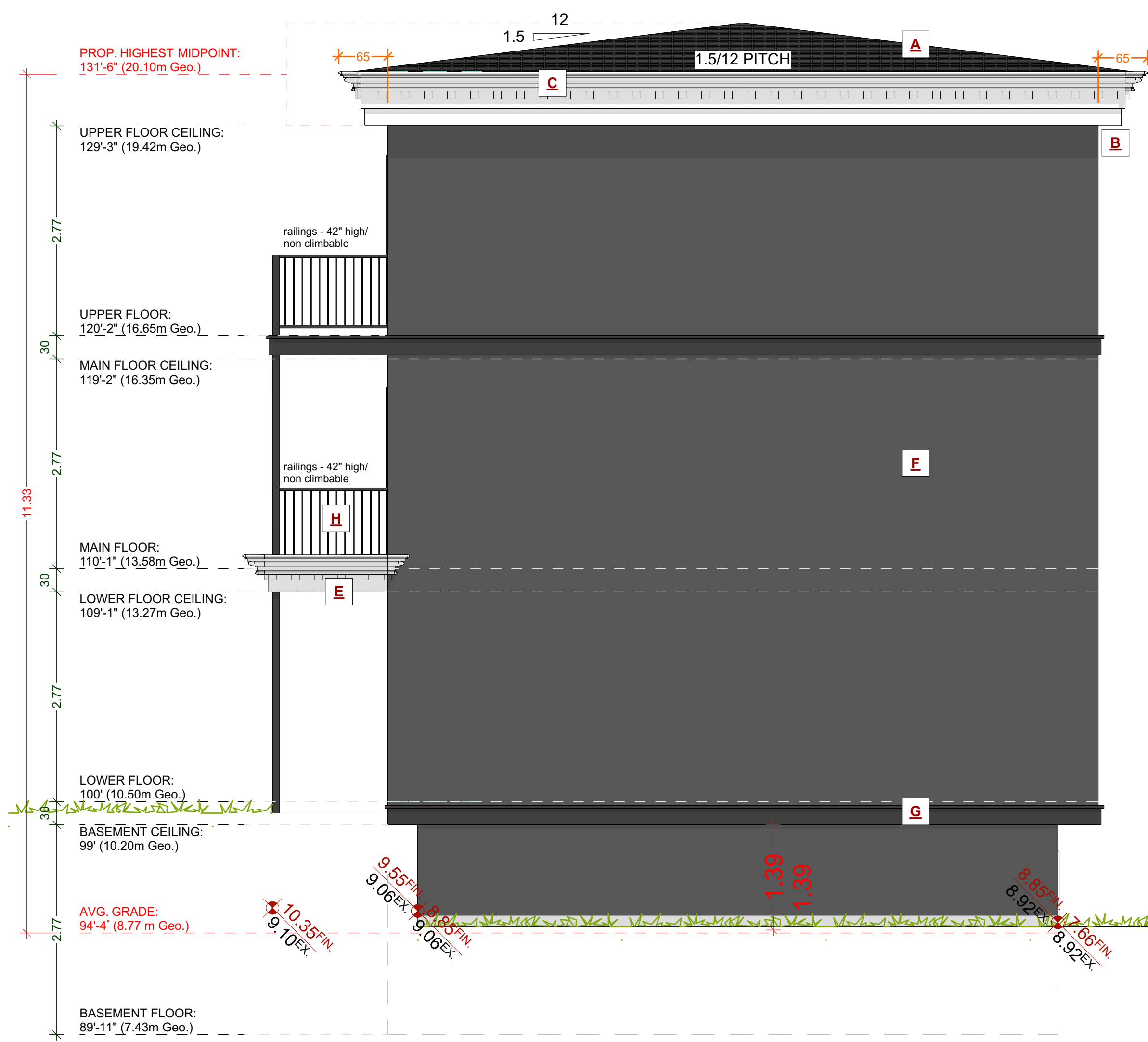
ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI
 ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

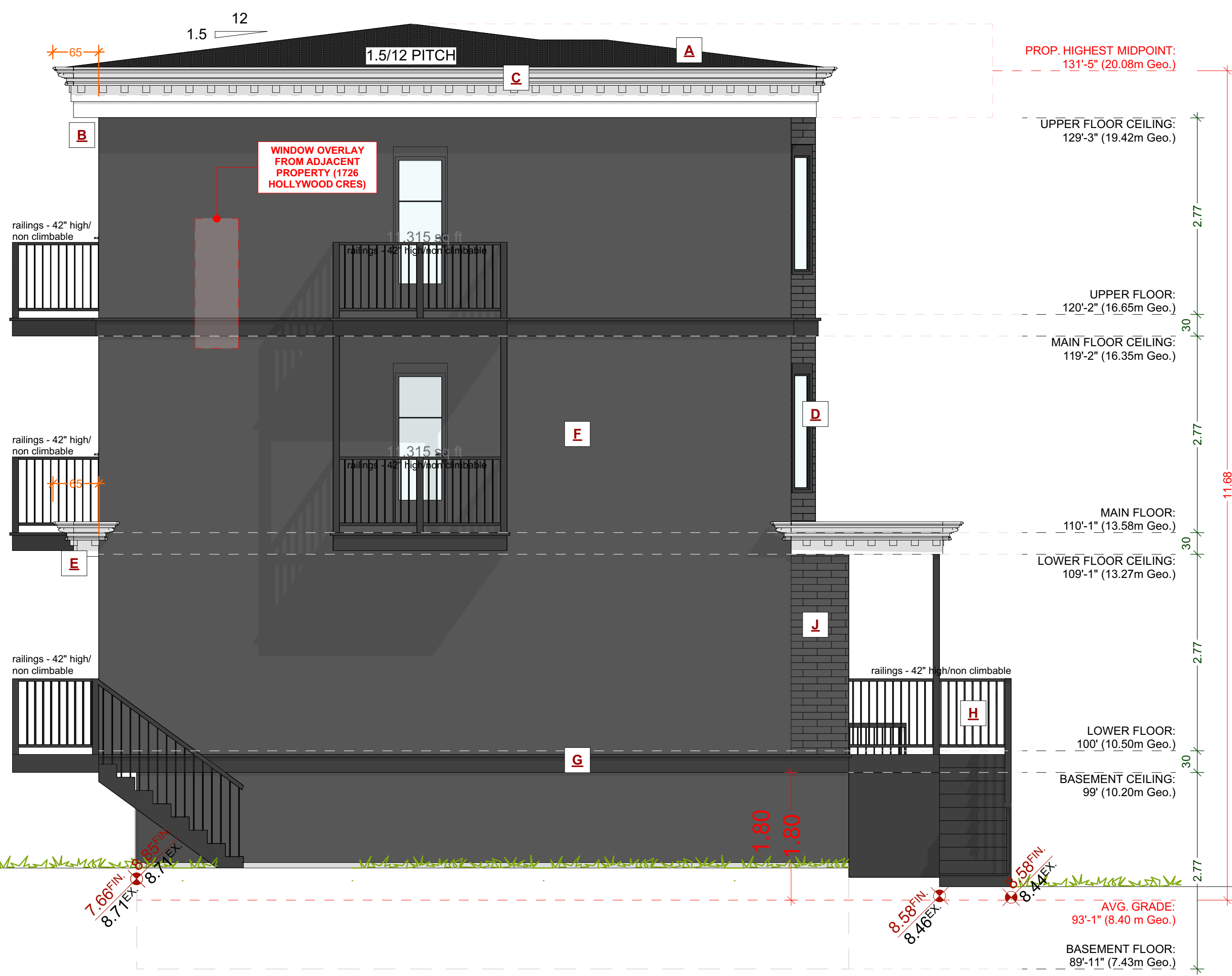
DRAWING NAME: PROPOSED WEST ELEVATIONS - BLOCK A AND B
 DRAWING SCALE: 1/4"=1'-0"

ISSUE DATE: OCT 28, 2024
 DRAWN BY: NS
 CHECKED BY: KL

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A PROPOSED WEST ELEVATION



B PROPOSED WEST ELEVATION

EXPOSING BUILDING FACE: 108.29 m² 1,165.612 sq ft
 LIMITING DISTANCE: 3.29 m
 AREA OF GLAZED OPENINGS: 2.10 m²
 % GLAZED OPENINGS: 1.94 %
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits

EXTERIOR FINISHES SCHEDULE			
A ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
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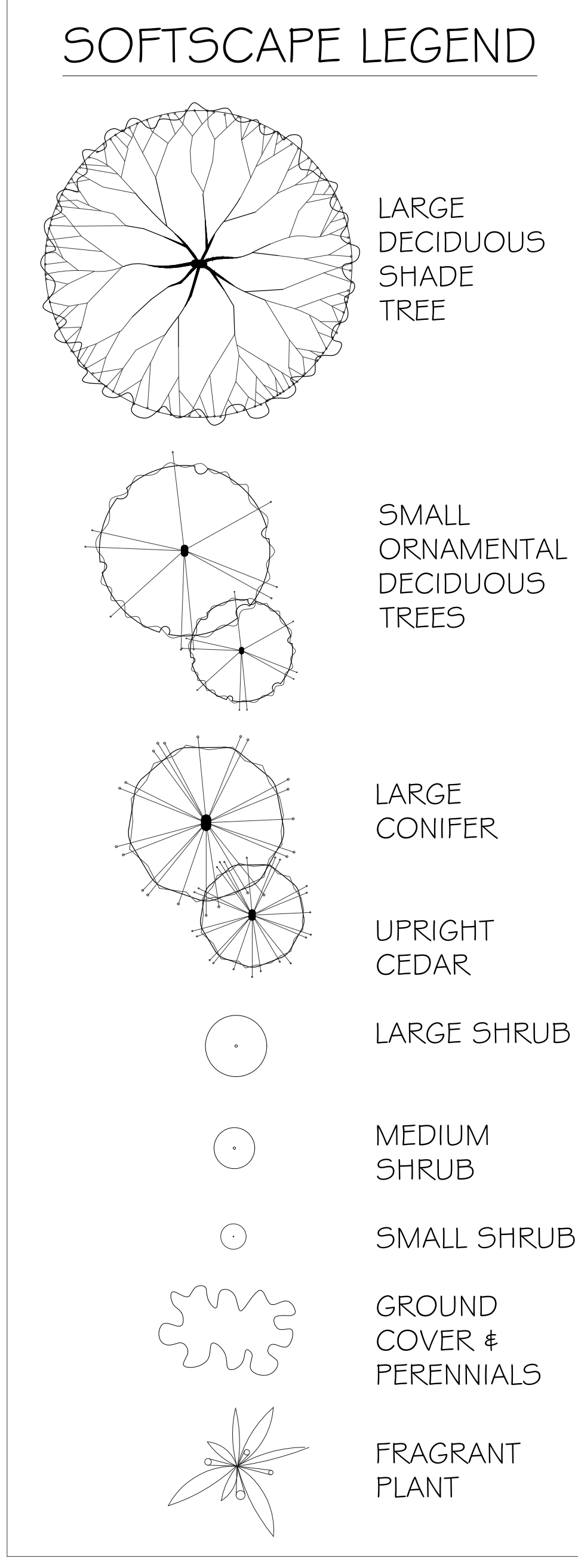
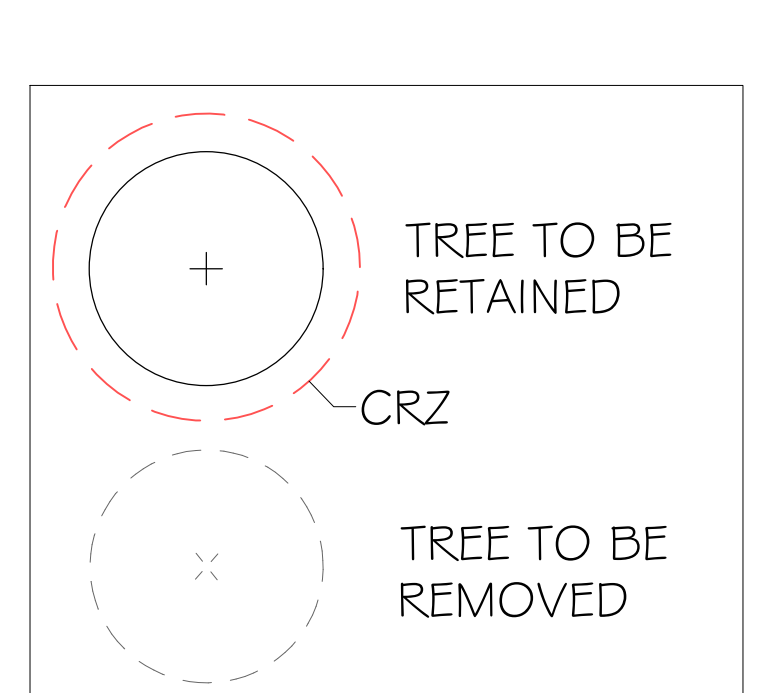
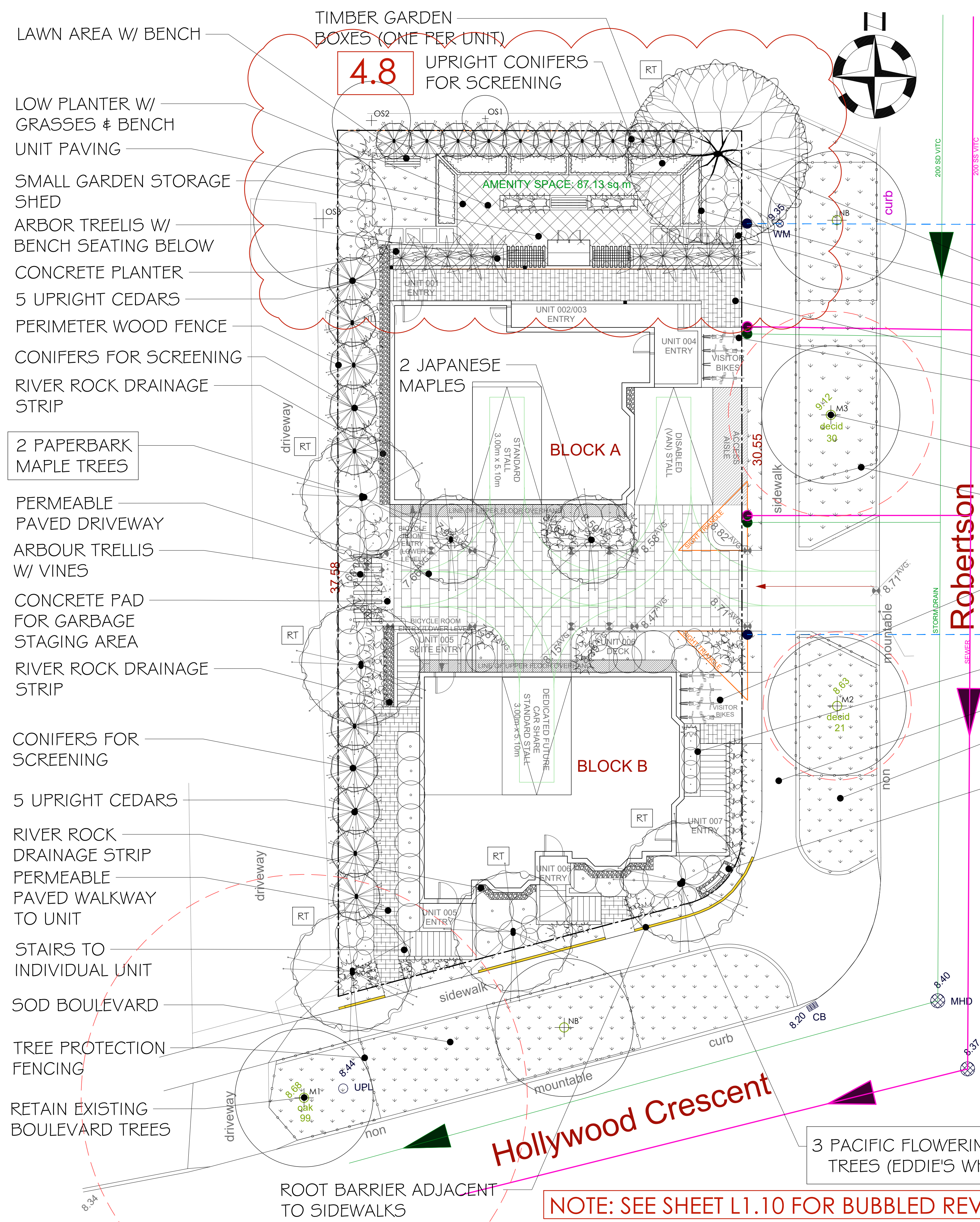
CUSTOMER: AMIT AND KARISHMA SETHI
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DRAWING NAME: PROPOSED WEST ELEVATIONS - BLOCK A AND B
 DRAWING SCALE: 1/4"=1'-0"

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SHEET NUMBER
A13



SUGGESTED PLANT LIST				
KEY	COMMON NAME	BOTANICAL NAME	SIZE	
TREES	PDOG Pacific Flowering Dogwood	Cornus nuttallii var. 'Eddie's White Wonder'	5 cm Cal.	
	GRIS Paperbark Maple	Acer glabrum	6 cm Cal.	
	SOAK Scarlet Oak	Quercus coccinea	7 cm Cal.	
	GLEH Honey Locust	Gleditsia tricanthos var. 'Shademaster'	7 cm Cal.	
LARGE SHRUBS	PIER Lily of the Valley	Pieris japonica var. 'Forest Flame'	#5 Pot	
	CEAN California Lilac	Ceanothus var. 'Victoria'	1.5 m Ht.	
	THUJ Upright Cedar	Thuja occidentalis var. 'Smaragd'	1.5 m Ht.	
	LRHA Rhododendron	Rhododendron var. 'Pink Walloper'	#5 Pot	
	LRHB Rhododendron	Rhododendron var. 'Gomer Waterer'	#5 Pot	
	NINE Pacific Ninebark	Physocarpus opulifolius var. 'Diablo'	#5 Pot	
	MAH Oregon Grape	Mahonia aquifolium		
MEDIUM SHRUBS	ALAT Dwarf Burning Bush	Euonymus alata var. 'Compacta'	#5 Pot	
	MAHC Dwarf Oregon Grape	Mahonia aquifolium var. 'Compacta'	#2 Pot	
	VACC Evergreen Huckleberry	Vaccinium ovatum var. 'Thunderbird'	#2 Pot	
	MRHA Rhododendron	Rhododendron var. 'Unique'	#5 Pot	
	MRHB Rhododendron	Rhododendron var. 'Christmas Cheer'	#5 Pot	
	DOG Vanegated Dogwood	Cornus alba var. 'Ivory Halo'	#2 Pot	
	ABE Glossy Abelia	Abelia x grandiflora var. 'Edward Goucher'	#2 Pot	
	DVIB David Viburnum	Viburnum davidii	#1 Pot	
	SALA Salal	Gaultheria shallon		
SMALL SHRUBS	DWFL Dwarf Lily of the Valley	Pieris japonica var. 'Debutante'	#1 Pot	
	EUIOF Creeping Euonymus	Euonymus fortunei var. 'Emerald & Gold'	#1 Pot	
	AZAP Evergreen Azalea	Azalea japonica var. 'Gumpo Pink'	#2 Pot	
	AZAW Evergreen Azalea	Azalea japonica var. 'Pumpkin White'	#2 Pot	
	DWRH Dwarf Rhododendron	Rhododendron var. 'Bow Bella' & 'Jock'	#2 Pot	
	POLY Sword Fern	Polystichum munitum	#1 Pot	
	ILEX Japanese False Holly	Ilex crenata convexa	#1 Pot	
	WHEA December Red Heather	Erica carnea var. 'December Red'	#1 Pot	
	SNOW Snowberry	Symphoricarpos albus	#1 Pot	
	SPFG Goldflame Spiraea	Spiraea bumalda var. 'Gold Flame'	#1 Pot	
	DWMO Dwarf Mock Orange	Philadelphus lewisii var. 'Snowdwarf'	#1 Pot	
	MAHN Cascade Oregon Grape	Mahonia nervosa	#1 Pot	
GROUND COVERS	BEAR Bearberry	Arctostaphylos uva-ursi var. 'Vancouver Jade'	SP4	
	COTO Trailing Cotoneaster	Cotoneaster	SP5	
	GAUL Wintergreen	Gaultheria procumbens		
PERENNIALS & GRASSES	CARX Vanegated Sedge	Carex morrowii var. 'Ice Dance'	#1 Pot	
	HEUC Coral Bells	Heuchera micrantha var. 'Bressingham Bronze'	SP5	
	LAV English Lavender	Lavandula angustifolia var. 'Hidcote'	SP5	
	TEST Flame Sedge	Carex testacea	SP5	
	KARL Feather Reed Grass	Calamagrostis acutifolia var. 'Karl Foerster'	SP5	
	JUNC Common Rush	Juncus effusus	SP5	
	HEMI Dwarf Daylily	Hemerocallis middendorffii var. 'Stella D'oro'	SP5	
VINES	CLEM Montana Clematis	Clematis montana var. 'Elizabeth'	#5 Pot	
	ARM Evergreen Clematis	Clematis armandii	#5 Pot	

1 HONEY LOCUST TREE

FENCE STEPPING STONE WALKWAY

UNIT PAVING VISITOR BIKE PARKING ON CONCRETE PAD

RETAIN EXISTING BOULEVARD TREES

TREE PROTECTION FENCING

VISITOR BIKE PARKING ON CONCRETE PAD

CONCRETE PLANTER

CONCRETE SIDEWALK

SOD BOULEVARD

DECORATIVE SIGN

NOTES:

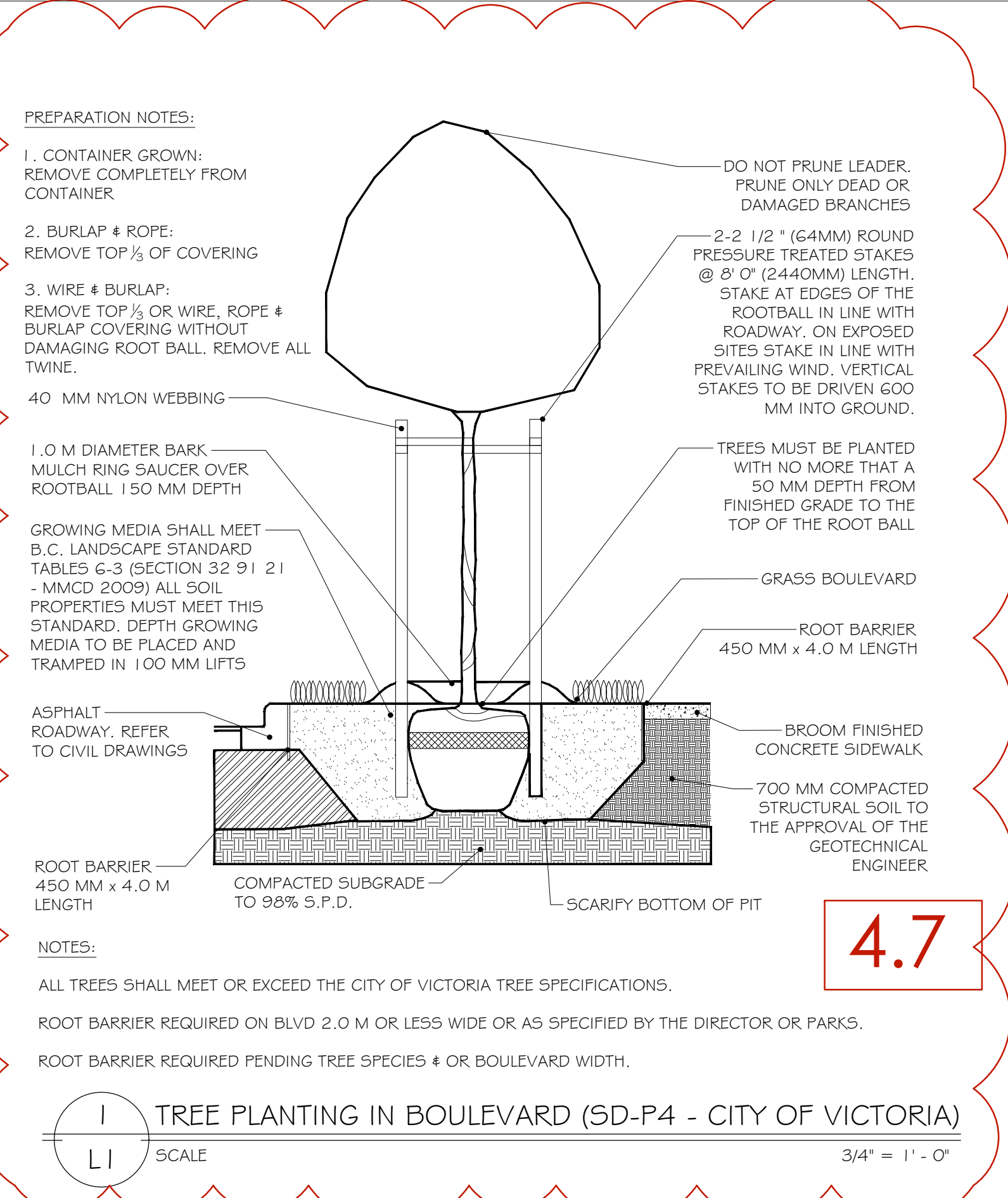
- REFER TO SHEET L1.10 FOR SOIL VOLUME CALCULATIONS FOR TREES
- AT LEAST 30% OF ALL PLANTINGS ON SITE SHALL BE NATIVE PLANTS.
- INSTALL ROOT BARRIER UB 24-2 (1.0M DEPTH) DEEP ROOT CANADA CORP. 1-800-561-3883. PLACE SO THAT IT EXTENDS 3.65m BEYOND TREE TRUNK (6 PANELS @ 610mm LONG PANEL.) INSTALL AS PER MANUFACTURERS INSTRUCTIONS.

RT DENOTES REPLACEMENT TREE*

*TOTAL NUMBER OF REPLACEMENT TREES: 6

4.6

ROOT BARRIER



REV. DATE	NUMBER	DESCRIPTION
07-29-24	1	LANDSCAPE DP SET
08-28-24	2	LANDSCAPE DP SET - REVISED
10-24-24	3	LANDSCAPE DP SET - REVISED
11-01-24	4	LANDSCAPE DP SET - RESUBMISSION

REVISIONS AS PER TRANSMITTAL LETTER:

4.4 ADDITION OF SHEET L1.10 DEFINING PLANTING AREAS FOR PROPOSED REPLACEMENT TREES AS DEFINED IN SCHEDULE E 2(F) OF THE BYLAW.

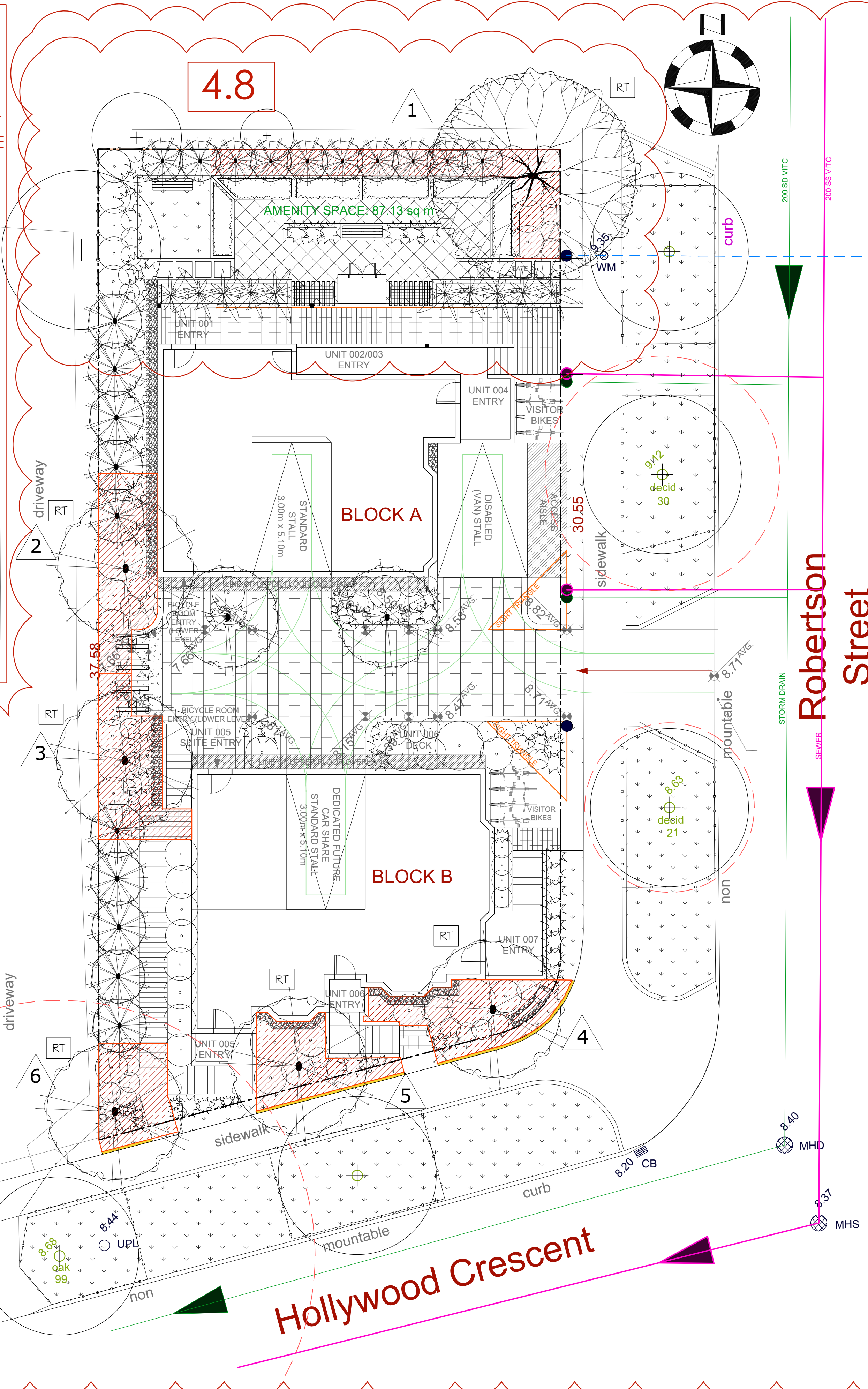
4.5 ADDITIONAL TABLE SHOWING ON SHEET L1.10 CALCULATIONS FOR THE ESTIMATED SOIL VOLUME FOR EACH REPLACEMENT TREE.

4.6 ADDITION OF 'RT' SYMBOL TO INDICATE EACH PROPOSED TREE TO BE A REPLACEMENT TREE ON SHEET L1.00 & L1.10

4.7 TREE PLANTING DETAIL SD-1 ADDED TO SHEET L1.00

ADDITIONAL REVISIONS:

4.8 AMENITY SPACE MODIFIED:
 - PMT REMOVED
 - PROPOSED TREE RELOCATED
 - GARDEN TIMBER BOXES RESIZED
 - OFFSITE TREES LOCATED AS PER ARBORIST REPORT



ROW #	TREE SIZE	MIN. SPACING
1	SMALL TREE (SCHEDULE "E", PART 2)	2.0M
2	MEDIUM TREES (SCHEDULE "E", PART 1)	4.0M
3	LARGE TREES (SCHEDULE "E", PART 1)	6.0M

NOTE:
 SOIL CELLS TO BE STRATAVAULT 45 STRUCTURAL MODULES (450 kPa/65.3 psi loads)
 CONTACT: CITY GREEN URBAN LANDSCAPE SOLUTIONS
 PHONE: 1-888-999-3990

SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

Planting Area ID	Area (m ²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m ³)	Replacement Trees Proposed			Soil Volume Required (m ³)			Total**
				B # Small	C # Medium	D # Large	B # Small	C # Medium	D # Large	
ONSITE										
1	20	1.5M	30		1			1		30
2	15	1.0M	15		1			1		15
3	15	1.0M	15		1			1		15
4	15	1.0M	15		1			1		15
5	12	1.5M	18		1			1		15
6	10	1.5M	15		1			1		15

Notes:
 (1) All soil volume calculations are for replacement trees only
 (2) All replacement trees are ONSITE
 (3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
 (4) All replacement trees meet soil volume requirements for this project.

USABLE PLANTING SOIL VOLUME FOR EACH REPLACEMENT TREE

4.6
4.4

4.5



FORSITE LANDSCAPE ARCHITECTURE
 #408-1581H HILLSIDE AVE.
 VICTORIA, BC V8T 2C1
 forsiteland@hotmail.com
 250.508.7885

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LANDSCAPE ARCH. STAMP

1734 HOLLYWOOD CRESCENT
 VICTORIA, BC

CLIENT

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DATE NOVEMBER 1, 2024
 SCALE 1:100
 DRAWN BY BF/RF

SOIL VOLUMES PLAN

L1.10