

NO. 22-029

A BYLAW OF THE CITY OF VICTORIA

The purpose of this Bylaw is to designate the exterior portions of the building as indicated in Schedule A, and located at 1125 Fort Street, to be protected heritage property.

Under its statutory powers, including Section 611 of the *Local Government Act*, the Municipal Council of The Corporation of the City of Victoria in an open meeting assembled enacts the following provisions:

1. This Bylaw may be cited as the “HERITAGE DESIGNATION (1125 FORT STREET) BYLAW”.
2. The exterior portions of the building, as indicated in the diagram in Schedule A attached to this bylaw, and located at 1125 Fort Street (legally described as PID: 009-394-311, The Easterly 20 Feet of Lot 1112, Victoria City except the Northerly 8 Feet thereof, and PID: 009-394-338, The Westerly 20 Feet of Lot 1111, Victoria City except the Northerly 8 Feet thereof, are designated to be protected heritage property.

READ A FIRST TIME the day of 2022

READ A SECOND TIME the _____ day of _____ 2022

Public Hearing Held On the _____ day of _____ 2022

READ A THIRD TIME the _____ day of _____ 2022

ADOPTED on the _____ day of _____ 2022

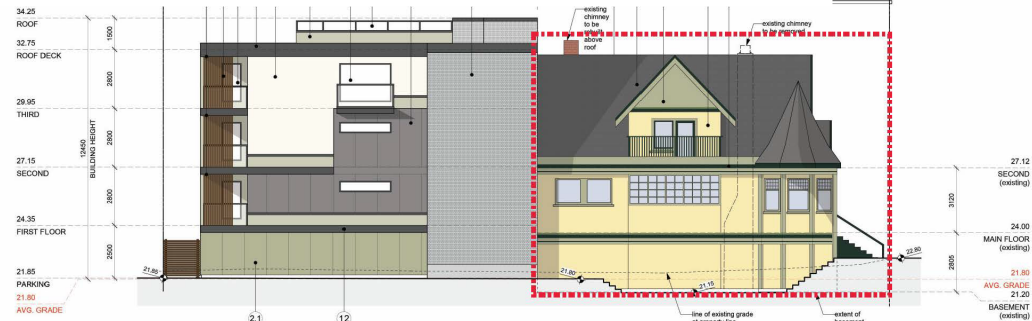
CITY CLERK

MAYOR

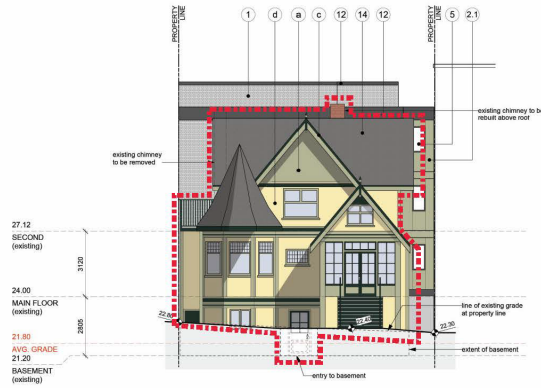
Schedule A



1 MEARE'S STREET (REAR) SOUTH ELEVATION
Scale: 1:100



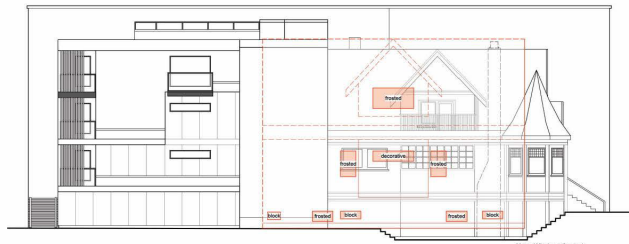
2 EAST ELEVATION
Scale: 1:100



3 FORT STREET (FRONT) NORTH ELEVATION
Scale: 1:100



4 WEST ELEVATION
Scale: 1:100



5 EAST ELEVATION WINDOW OVERLAY
N.T.S.
*Windows at 1127 Fort Street

MATERIALS SCHEDULE

MATERIALS

- 1 BRICK GLAZING (various bands)
- 2 INITIAL MATERIALS - 154 GREY (SMOOTH)
- 2.1 HARDEPANEL VERTICAL SIDING - KEYLINE (or similar cement board panel)
- 2.2 HARDEPANEL VERTICAL SIDING - GRAY SLATE (or similar cement board panel)
- 3 SOFT TEXTURED STUCCO - PAINTED (BM-VG-1 OXFORD IVORY)
- 4 CONCRETE BLOCK
- 5 VINYL WINDOWS - CHARCOAL
- 6 VINYL SLIDING DOORS - CHARCOAL
- 7 METAL DOOR - PAINTED (BM-VG-20 VANCOUVER GREEN)
- 8 ALUMINUM AND GLAZED DOOR - CHARCOAL
- 9 ALUMINUM AND FROSTED GLASS GUARDS - CHARCOAL
- 10 STAINED CEDAR SOFFITS
- 11 STAINED CEDAR SCREENING WITH GATES
- 12 ALUMINUM FLASHING - CHARCOAL
- 13 ALUMINUM AND GLASS OVERHEAD DOOR
- 14 ASPHALT SHINGLES - CHARCOAL
- 15 WOOD AND METAL CANOPY

COLOURS

- 1 BM-VG-18 COMOX BAGE
- 2 BENJAMIN MOORE - VANCOUVER COLLECTION
- 3 BM-VG-1 OXFORD IVORY
- 4 BENJAMIN MOORE - VANCOUVER COLLECTION (or similar precoloured stucco)
- 5 BM-VG-20 VANCOUVER GREEN
- 6 BENJAMIN MOORE - VANCOUVER COLLECTION
- 7 EDWARDIAN CREAM
- 8 BENJAMIN MOORE - VANCOUVER COLLECTION

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COMMENTS

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY DESIGN	18/11/04	JK
2	PRELIMINARY DESIGN	19/01/05	JK
3	REZONING SUBMISSION	19/09/15	JA
4	REZONING SUBMISSION REVISIONS	20/03/02	NS
5	REZONING SUBMISSION REVISIONS	20/09/08	NS

GENERAL NOTES

Use of these drawings is limited to that identified in the authorization column. Do not construct from these drawings unless marked "reused for construction". All drawings, plans, models, designs, specifications and other documents prepared by Key Architecture Ltd. (KAL) and used in connection with the project remain the property of KAL. Whether the "work" is executed or not, KAL reserves the copyright in them and in the work executed from them. These drawings or other may not be reproduced or used in part or in whole, without the expressed and written consent of KAL.



PROJECT

PROPOSED DEVELOPMENT
1125 FORT STREET
VICTORIA

SHEET TITLE

ELEVATIONS

SCALE

AS SHOWN

PLOT DATE
Sep 08, 2020

DRAWN
JKNS

JOB No.
1741

A-3.0