

FERNWOOD ROAD MISSING MIDDLE TOWNHOMES



Project Rendering - North Looking View @ Balmoral Road

PROJECT DESCRIPTION

CIVIC ADDRESS:
1703 Fernwood Rd, 1705 Fernwood Rd, and 1312
Balmoral Rd
Victoria, BC

LEGAL DESCRIPTION
LOT 1, PLAN 5883, LOT C, PLAN 2206, and
LOT D, PLAN 2206, ALL OF SECTION 75,
VICTORIA DISTRICT
(PID #s 006-391-249, 006-391-231, and 005-941-601)

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
Group C, 3 Storey Wood Construction

USES: Residential Townhomes

EXISTING ZONE: R1-B (DPA 16A)

PROPOSED ZONE: Missing Middle (Sched P)

SITE AREA: 2,137.5 m² (23,008 s.f.)

FLOOR AREAS

TOTAL PROPOSED: 2,070 m² (22,281 s.f.)

FLOOR SPACE RATIO: 0.97 FSR

SITE COVERAGE: 40% (855 m²)

OPEN SITE SPACE: 37% (799 m²)

LANDSCAPE SPACE: 10% (208m²)

GRADE OF BUILDING: North Bldg 33.89m
South Bldg 34.75m
West Bldg 36.46m
(See Site Plan for Avg. Grade Calculation)

HEIGHT OF BUILDING: North Bldg 10.35 m
South Bldg 10.37m
West Bldg 8.8 m

NUMBER OF STOREYS: 3 Storeys

RESIDENTIAL PARKING: 16 Stalls Total
15 stalls in garages (100% Level 2 EV)

BICYCLE PARKING: 52 total
38 Class 1/EV Ready (in suites/garages)
14 Short term (racks)

SETBACKS: North Bldg South Bldg West Bldg

FRONT (Street): 18.8 m 18.99 m 1.75 m

REAR: 2.0 m 2.0 m 33.78 m

SIDE (North): 5.1 m 24.62 m 3.56 m

SIDE (South): 23.63 m 2.13 m 0.765 m

COMBINED SIDE: 28.63 m 26.65 m 4.32 m

NB:
Setbacks are from proposed road dedication line. Refer to A101 for locations.

SUITE COMPOSITION:

TOTAL: 19 SUITES
3 Bedroom 19
Ground-Oriented Units 19
Minimum Unit Floor Area 92.22 m²

BUILDING CODE SUMMARY:

BCBC Part 9, Group C, 3 Storey Wood Construction

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

PROJECT DIRECTORY

DEVELOPER
Shelbourne Project Limited Partnership
541 Cornwall Street
Victoria, B.C.
V8V 4K9
P. 604.710.3627

ARCHITECT
dHKarchitects
977 Fort Street
Victoria, BC, V8V 3K3
P. 250.658.3397

ELECTRICAL CONSULTANT
AES Engineering
500 - 3795 Carey Road
Victoria, BC V8Z 6T8
250.550.9580

CIVIL CONSULTANT
Kyle Engineering
Suite 1 - 40 Cadillac Ave
Victoria, BC
250.475.0906

LANDSCAPE CONSULTANT
LADR Landscape Architects Inc.
3-864 Queens Avenue, Street Level,
Victoria, BC, V8T 1M5
P. 250.596.0105

ARBORIST
Capital Tree Service
Victoria, BC
250.415.7244

Drawing List

A000 Project Data
A001 Survey
A002 Perspective Views
A003 Perspective Views
A004 Code Summary - Limiting Distances
A101 Site Plan
A201 Overall L2 Plan
A202 Overall L2 Plan
A203 Overall L3 Plan
A204 Overall Roof Plan
A300 Street Elevations
A301 West Building Elevations
A302 South Building Elevations
A303 North Building Elevations
A401 Building Sections
A900 Area Plans

LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	HW	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVP	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	TD	Tempered / Double Glazed
CL	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	OIH	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	OW	Operable Window	TLGL	Tempered Laminated Glass
C/W	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOD	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FD	Floor Drain	PTD/W	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FFE	Finished Floor Elevation	RA	Roof Anchor	UNO	Unless Noted Otherwise
FG	Finished Grade	RB	Rubber Base	UIS	Underside of..
GB	Grab Bar	RES	Resilient Flooring	VCT	Vinyl Composition Tile
GBL	Glass Block	RD	Roof Drain	VI	Vision Glass
GL	Glass	RD-P	Roof Drain - Planter	VIS	Vinyl Impact Sheet
GWG	Georgian Wire Glass	RWL	Rain Water Leader	VT	Vinyl Tile
HC	Hollow Core	SAFI	Spray Applied Fibrous Insulation	WVC	Vinyl Wall Covering
HCW	Hollow Core Wood	SCW	Solid Core Wood	WC	Water Closet
HC	Handicap	SD	Soap Dispenser	WD	Wood
HM	Hollow Metal	SL	Sealer	WPM	Waterproof Membrane
		SP	Spandrel Glass	WRC	Water Repellent Coating
		SPC	Solid Particleboard Core		

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM ROOM NAME & ROOM NUMBER

201

101a

DOOR NUMBER

See Door Schedule

W-10

WINDOW NUMBER

See Window Schedule

W1

WALL TYPE

See Assemblies Schedule

2.0 hr

RATED WALL DESIGNATION

00.00

ELEVATION DATUM

2440

CEILING HEIGHT

1

KEYNOTE SYMBOL

12

MATERIAL TAG

A901

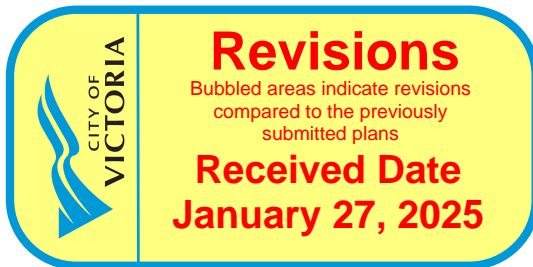
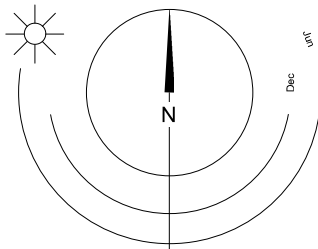
INTERIOR ELEVATION REFERENCE

W1 C1 F1 B1

ROOM FINISHES



Project Location - NTS



4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	ADM/RCI	Checked By	ADM
Scale	As indicated	Project Number	2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

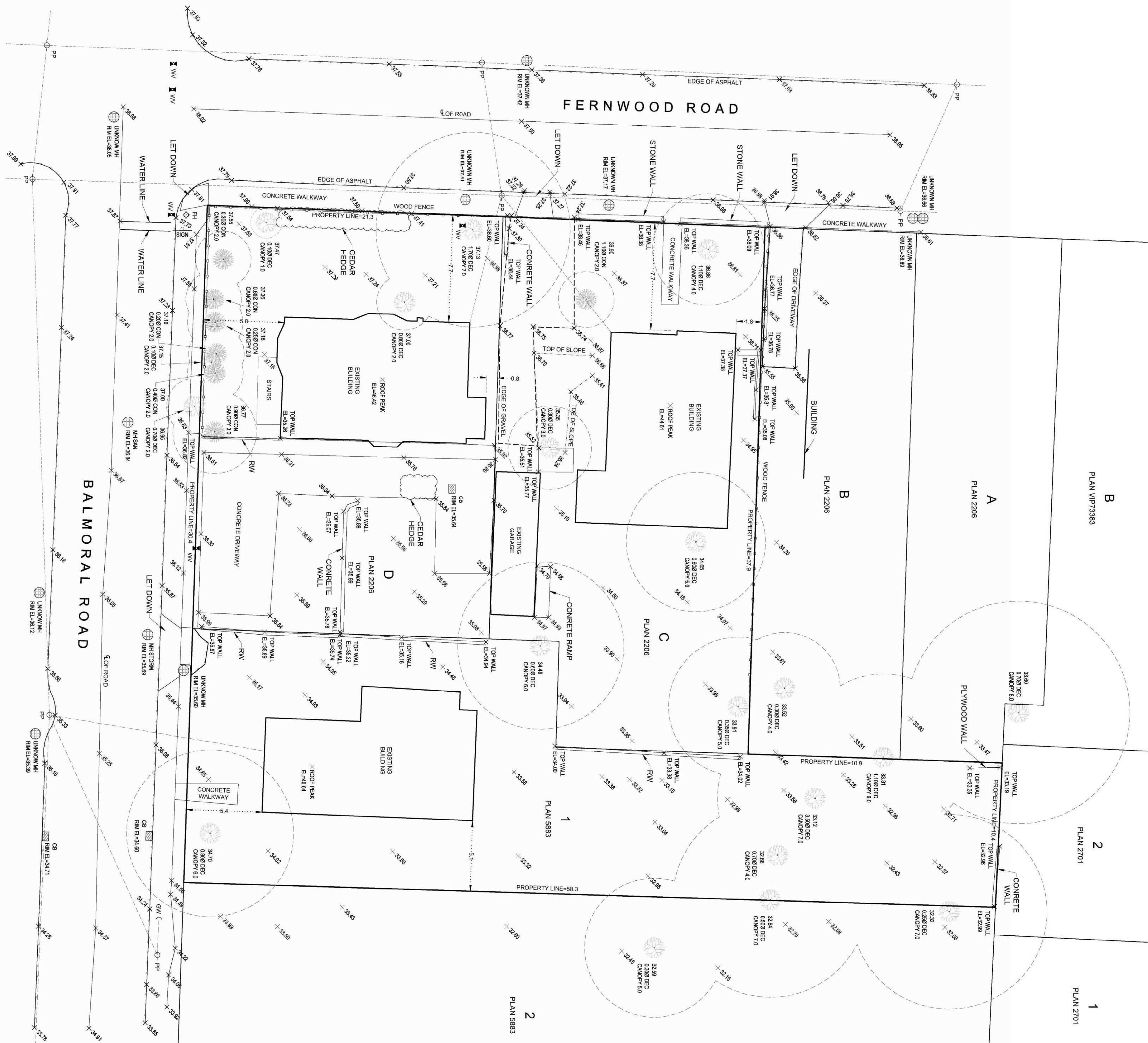
Project Data



A000

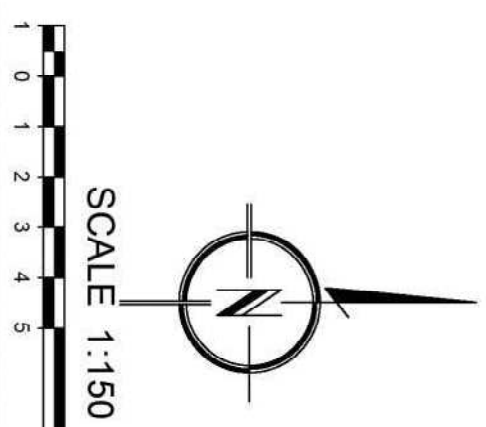
dHKarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-658-3367
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT
















CITY OF VICTORIA INTEGRATED SURVEY AREA #17	CIVIC ADDRESS:	LEGAL ADDRESS:	PID:	AREA:
1703 FERNWOOD ROAD	LOT D, PLAN 2206	006-391-249	647.3 m ²	
1705 FERNWOOD ROAD	LOT C, PLAN 2206	006-391-231	814.6 m ²	
1312 BALMORAL ROAD	LOT 1, PLAN 5683	004-641-601	917.6 m ²	
Total: 2,139.5 m ²				
ZONE: R1-B (SINGLE FAMILY DWELLING DISTRICT)				
CPA: 16A				

TOPOGRAPHIC SURVEY OF
LOT 1, PLAN 5683,
LOT C, PLAN 2206,
AND
LOT D, PLAN 2206,
ALL OF SECTION 75,
VICTORIA DISTRICT.



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

LEGEND:	
	- DENOTES SPOT ELEVATION OF 32.00m (TYPICAL)
	- DENOTES SPRAY-PANED DOT PLACED
	- DENOTES FIRE INDICANT
	- DENOTES POWER POLE ANCHOR
	- DENOTES MANHOLE
	- DENOTES POWER POLE
	- DENOTES STREET SIGN
	- DENOTES WATER VALVE
	- DENOTES C.07m Ø DECIDUOUS TREE
	WITH A GROUND ELEVATION OF 38.95m
	AND A 2m CANOPY.
	- DENOTES C.07m Ø CONIFEROUS TREE
	WITH A GROUND ELEVATION OF 37.10m

DATUM:

MONUMENT 16-43 (606327). PUBLISHED ELEVATION = 32.761 METRES.
ISA NO. 17, MAD 83, (CVD286VRD2018).

PROPERTY DIMENSIONS SHOWN ARE DERIVED FROM: FIELD SURVEY.
OFFSETS TO PROPERTY LINES ARE NOT TO BE USED TO DEFINE
BOUNDARIES.
REFER TO CURRENT CERTIFICATE(S) OF TITLE FOR ADDITIONAL
EXISTING OR PENDING CHARGES.

GENERAL:

THIS PLAN SHOWS THE LOCATION OF VISIBLE FEATURES ONLY, AND DOES NOT INDICATE BURIED SERVICES THAT MAY EXIST ON OR AROUND THE SUBJECT SITE

FEATURES SHOWN WITHOUT DI

BUILDING LOCATION BASED ON SURVEY TIES TO VISIBLE EXTERIOR SURFACES UNLESS OTHERWISE NOTED.

ARBORIST. SHADED AREA IS NOT AN INDICATION OF DRIP LINE LOCATION UNLESS SPECIFICALLY LABELED.

NOTE:
THIS PLAN HAS BEEN PREPARED FOR PRELIMINARY PURPOSES ONLY
AND IS FOR THE EXCLUSIVE USE OF OUR CLIENT.
ALL RIGHTS RESERVED. NO PERSON MAY COPY, REPRODUCE,
TRANSMIT OR ALTER THIS DOCUMENT IN WHOLE OR IN PART WITHOUT
THE CONSENT OF BENNETT LAND SURVIVING LTD.
BENNETT LAND SURVIVING LTD. ACCEPTS NO RESPONSIBILITY OR LIABILITY
FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT OR FOR ANY
USE OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

CERTIFIED CORRECT

Todd Mackenzie
A92B72

Digitally signed by Todd Mackenzie A92B72
Date: 2023.12.13 21:28:30 -0800'

FIELD SURVEY COMPLETED ON THE 7TH DAY OF DECEMBER, 2023.
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED
OR DIGITALLY CERTIFIED.



Perspective Rendering at Fernwood Road

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale		Project Number	2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road Missing Middle Townhomes

Perspective Views

**A002**



dHka Architects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way

V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKA ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



Perspective Rendering at Balmoral Road

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	ADM	Checked By	ADM
Scale		Project Number	2404

NOTE: All dimensions are shown in millimeters.

**Fernwood Road
Missing Middle
Townhomes**

Perspective Views

**A003**



dHKarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810

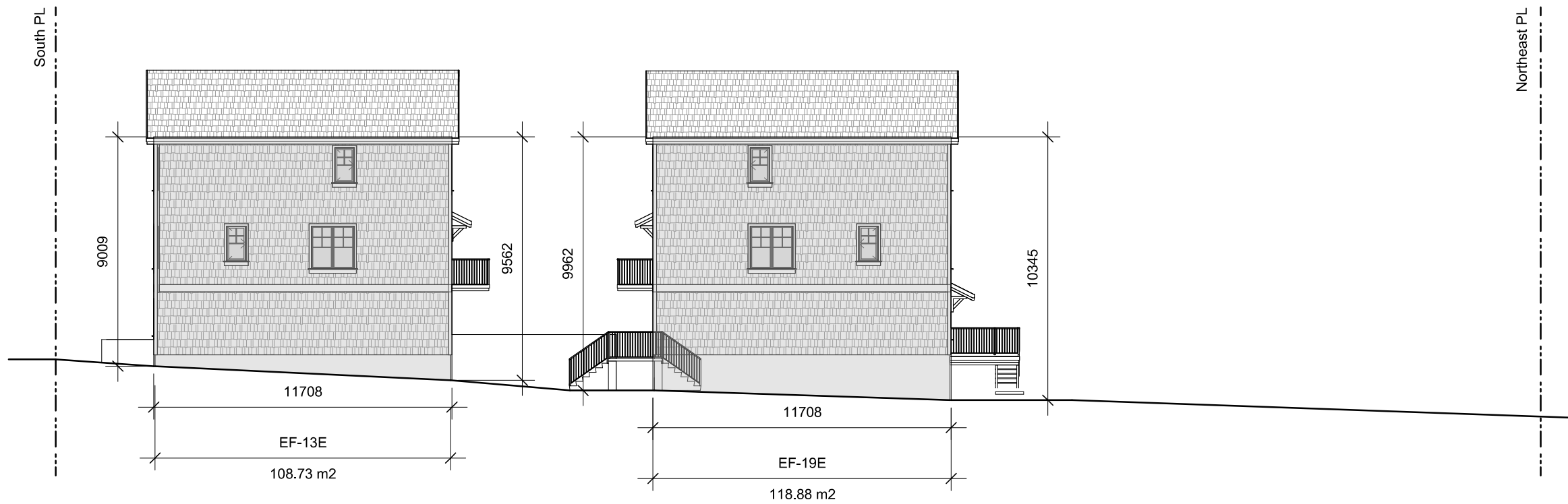
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

LIMITING DISTANCE CALCULATIONS

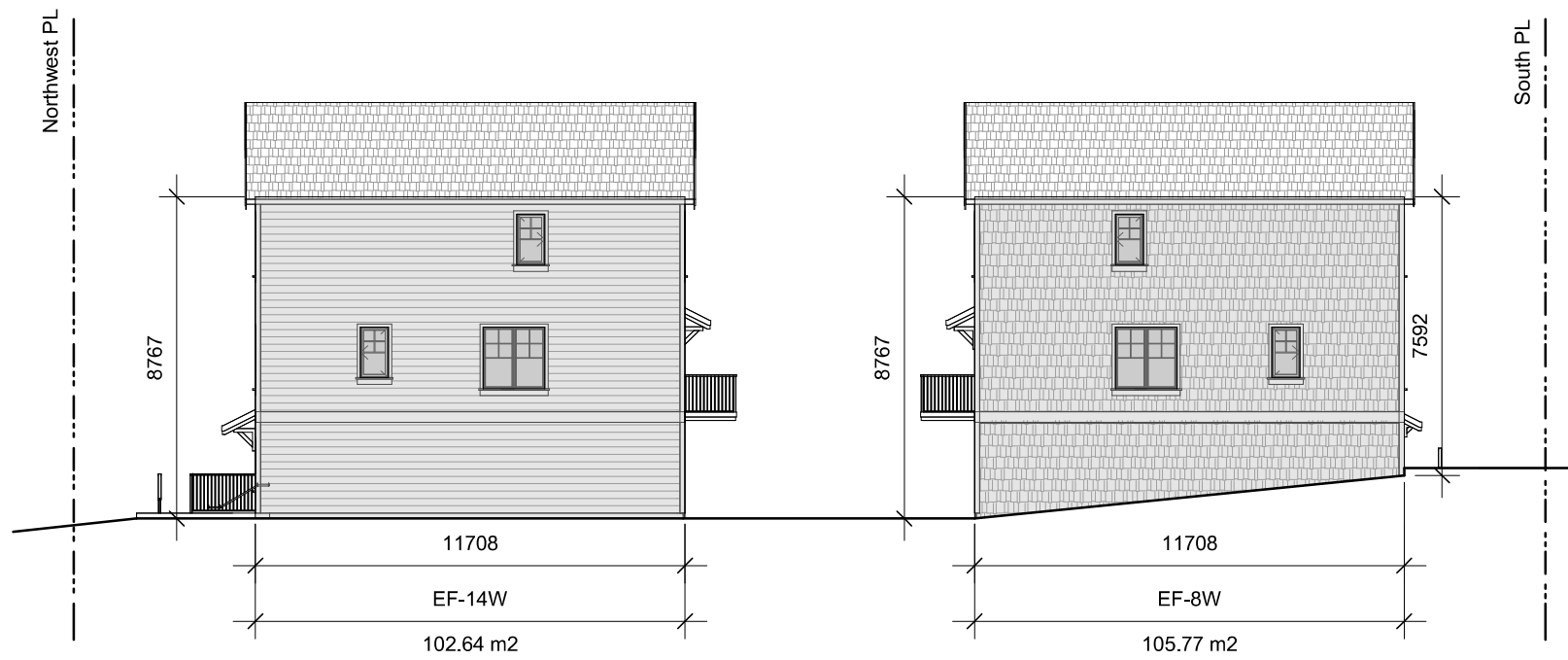
WEST BUILDING										
Wall	Area of Exposed Building Faces (m²)	Limiting Distance (m)	Length/Height (m)	Permitted Max % of Openings	Proposed % of Openings	FRR (Hours)	Permitted Construction	Permitted Cladding	Proposed Construction	Proposed Cladding
EF-1E	40.9	4.0	4.7 x 8.8	28.0	15.2	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-2E	40.1	4.0	4.6 x 8.8	28.0	15.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-3E	40.1	4.0	4.6 x 8.8	28.0	15.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-4E	40.1	4.0	4.6 x 8.8	28.0	15.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-5E	39.3	4.0	4.6 x 8.6	32.0	13.6	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-6E	37.3	4.0	4.6 x 8.1	32.0	14.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-7E	35.6	4.0	4.7 x 8.8	32.0	15.0	N/A	Combustible	Combustible	Combustible	Non-Combustible

SOUTH BUILDING										
Wall	Area of Exposed Building Faces (m²)	Limiting Distance (m)	Length/Height (m)	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Permitted Construction	Permitted Cladding	Proposed Construction	Proposed Cladding
EF-8N	35.9	4.0	4.1 x 8.9	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-9N	35.9	4.0	4.0 x 9.1	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-10N	35.2	4.0	4.0 x 8.9	32.0	17.6	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-11N	35.9	4.0	4.0 x 9.1	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-12N	34.7	4.0	4.0 x 8.8	32.0	17.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-13N	35.5	4.0	4.1 x 8.8	32.0	17.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-13E	108.7	1.8	11.7 x 9.3	7.0	4.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-8W	105.8	4.0	11.7 x 8.2	12.0	4.6	N/A	Combustible	Combustible	Combustible	Non-Combustible

NORTH BUILDING										
Wall	Area of Exposed Building Faces (m²)	Limiting Distance (m)	Length/Height (m)	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Permitted Construction	Permitted Cladding	Proposed Construction	Proposed Cladding
EF-14N	38.0	4.0	4.1 x 10.1	32.0	17.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-15N	39.5	4.0	4.0 x 10.0	32.0	16.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-16N	38.3	4.0	4.0 x 9.9	32.0	17.4	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-17N	39.4	4.0	4.0 x 9.9	32.0	16.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-18N	38.9	4.0	4.0 x 9.8	32.0	17.1	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-19N	40.7	4.0	4.1 x 9.5	28.0	16.4	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-19E	118.9	1.8	11.7 x 10.2	7.0	4.1	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-14S	35.9	4.0	4.1 x 8.9	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-15S	35.9	4.0	4.0 x 9.1	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-16S	35.2	4.0	4.0 x 9.1	32.0	17.6	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-17S	35.9	4.0	4.0 x 9.1	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-18S	34.7	4.0	4.0 x 8.7	32.0	17.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-19S	35.5	4.0	4.1 x 8.7	32.0	17.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-14W	102.6	4.0	11.7 x 8.8	12.0	4.8	N/A	Combustible	Combustible	Combustible	Non-Combustible



5 East Elevation
A004 SCALE: 1 : 200



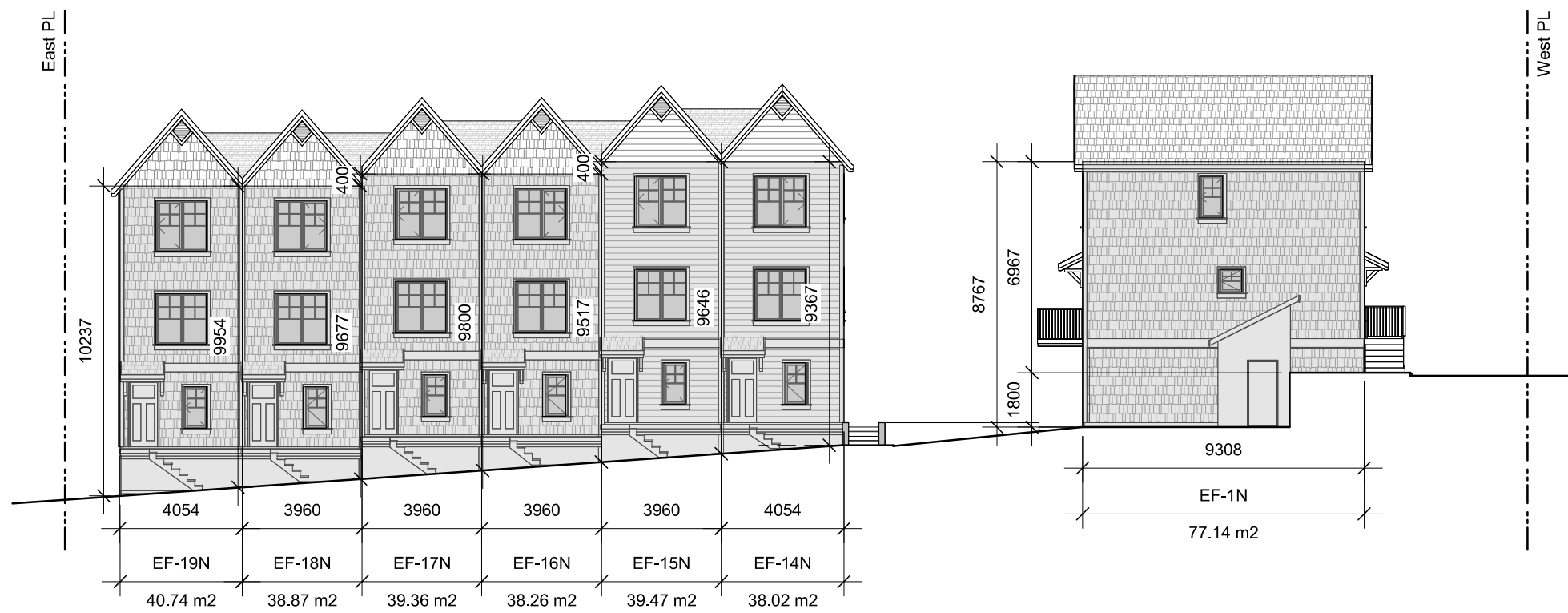
6 West Elevation
A004 SCALE: 1 : 200



7 West Building - East Elevation
A004 SCALE: 1 : 200



1 South Elevations
A004 SCALE: 1 : 200



2 North Elevations
A004 SCALE: 1 : 200



3 South Building - North Elevation
A004 SCALE: 1 : 200



4 North Building - South Elevation
A004 SCALE: 1 : 200

2	241030	ISSUED FOR DP REVISIONS	
Rev.	Date Description		
Issued	2025-01-23	Description	DP Documents
Drawn By	ADM	Checked By	ADM
Scale	1 : 200	Project Number	2404

NOTE: All dimensions are shown in millimeters.

NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

Code Summary -
Limiting Distances

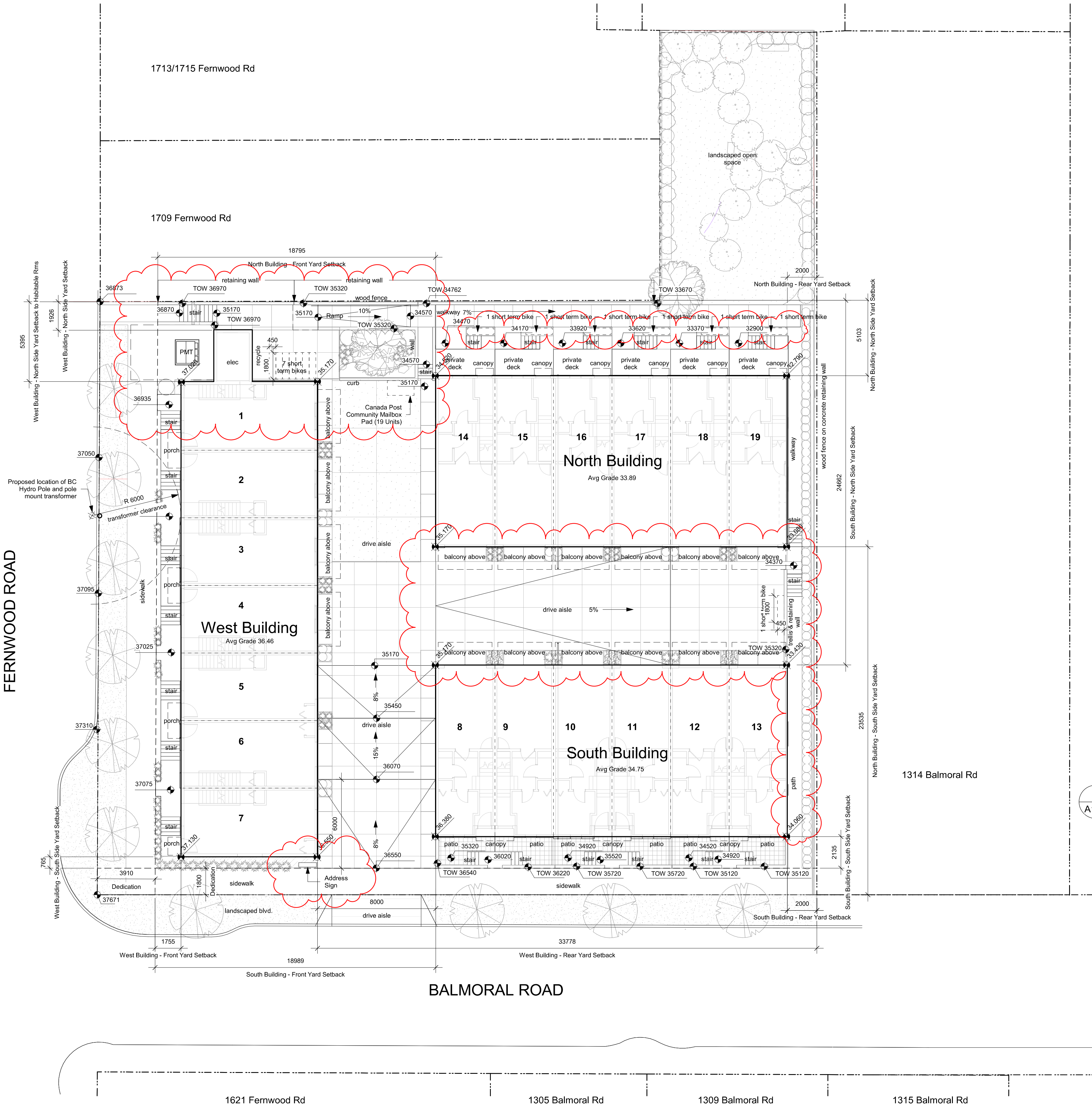


dHkArchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHkARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

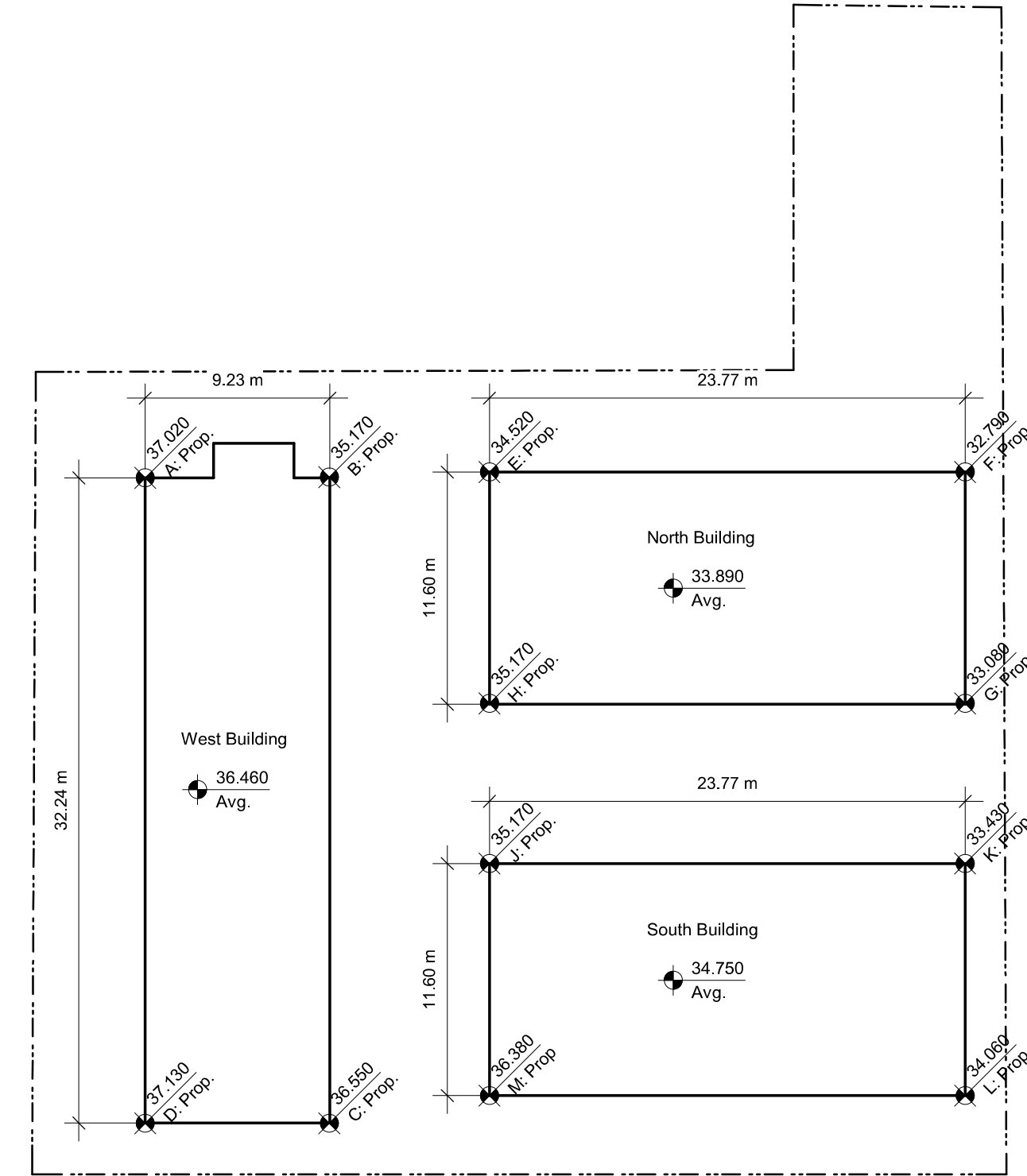
1 Site Plan - Dedications 240923
A101 SCALE: 1 : 150

FERNWOOD ROAD



2 Average Grade Calculations
A101 SCALE: 1 : 300

Grade Point	Existing Grade	Proposed Grade	Lowest Point	Grade Points	Average of Points	Distance Between Points	Totals
A	37.00	37.02	37.00	A & B	36.09	9.23	333.06
B	35.57	35.17	35.17	B & C	35.86	32.24	1156.13
C	37.03	36.55	36.55	C & D	36.84	9.23	340.03
D	37.49	37.13	37.13	D & A	37.07	32.24	1194.98
						82.94	3024.20
							36.46
E	34.75	34.52	34.52	E & F	33.66	23.77	800.09
F	32.95	32.80	32.80	F & G	32.94	11.60	382.10
G	33.29	33.08	33.08	G & H	34.13	23.77	811.15
H	35.37	35.17	35.17	H & E	34.85	11.60	404.20
						70.74	2397.54
							33.89
J	35.78	35.17	35.17	J & K	34.30	23.77	815.31
K	33.66	33.43	33.43	K & L	33.75	11.60	391.44
L	34.31	34.06	34.06	L & M	35.21	23.77	836.89
M	36.36	36.38	36.38	M & J	35.76	11.60	414.85
						70.74	2458.50
							34.75



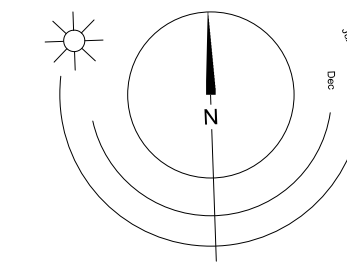
4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	As indicated	Project Number	2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

Site Plan



dHk Architects

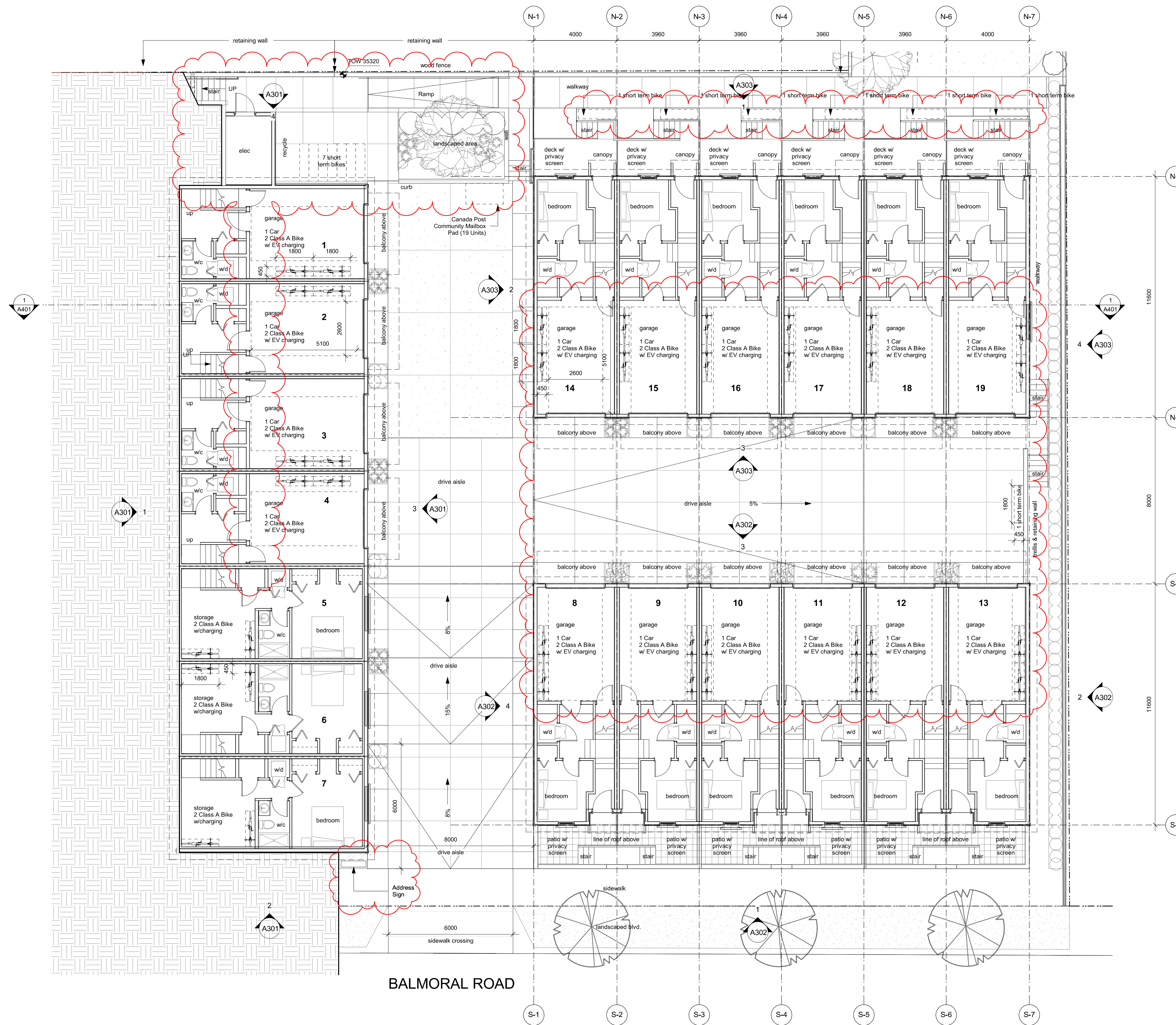
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way

V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHk ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



A101



1 Overall L1 Plan
A201 SCALE: 1 : 100

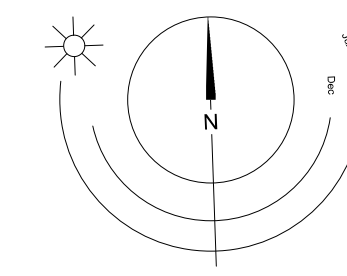
4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2404

NOTE: All dimensions are shown in millimeters.

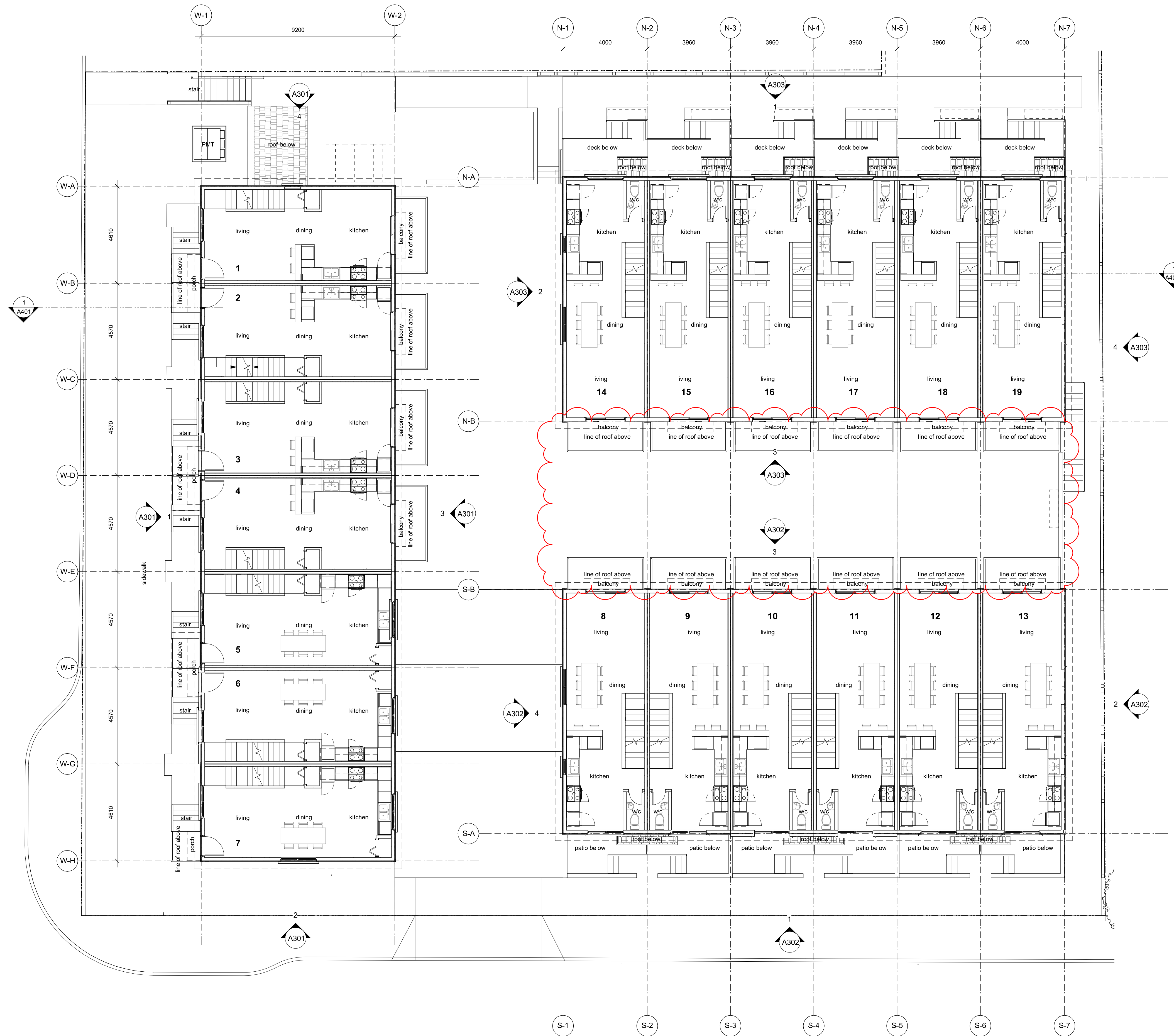
**Fernwood Road
Missing Middle
Townhomes**

Overall L1 Plan



dHKarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



1 Overall L2 Plan
A202 SCALE: 1 : 100

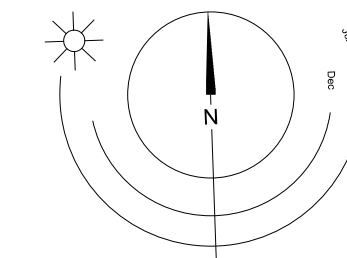
4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road Missing Middle Townhomes

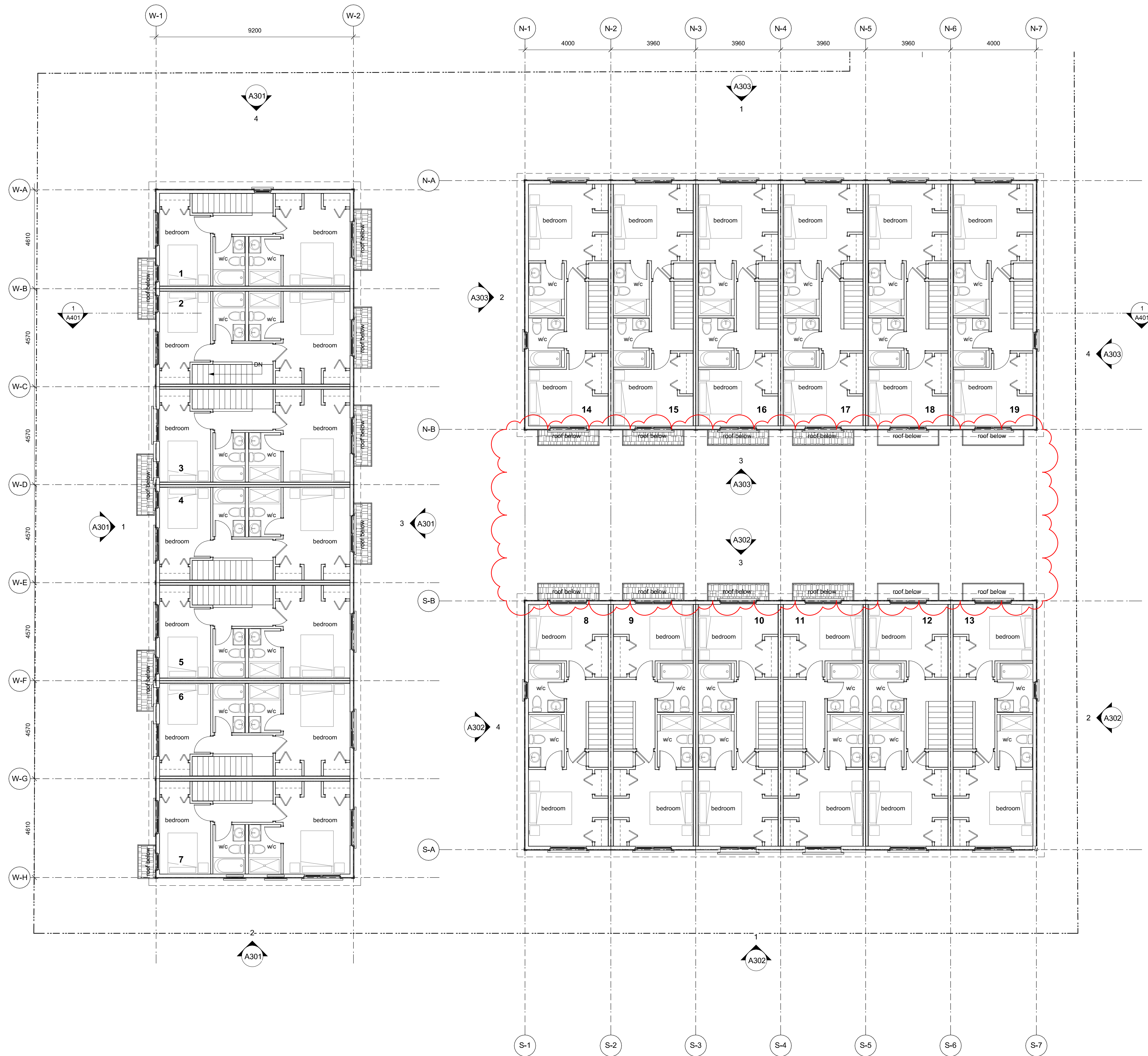
Overall L2 Plan



dHka

A202

dHKarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



1 Overall L3 Plan
A203 SCALE: 1 : 100

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2404

NOTE: All dimensions are shown in millimeters.

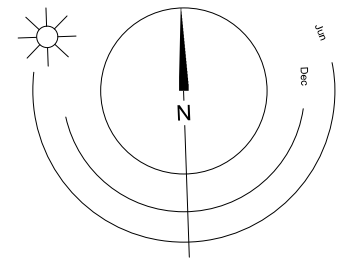
Fernwood Road
Missing Middle
Townhomes

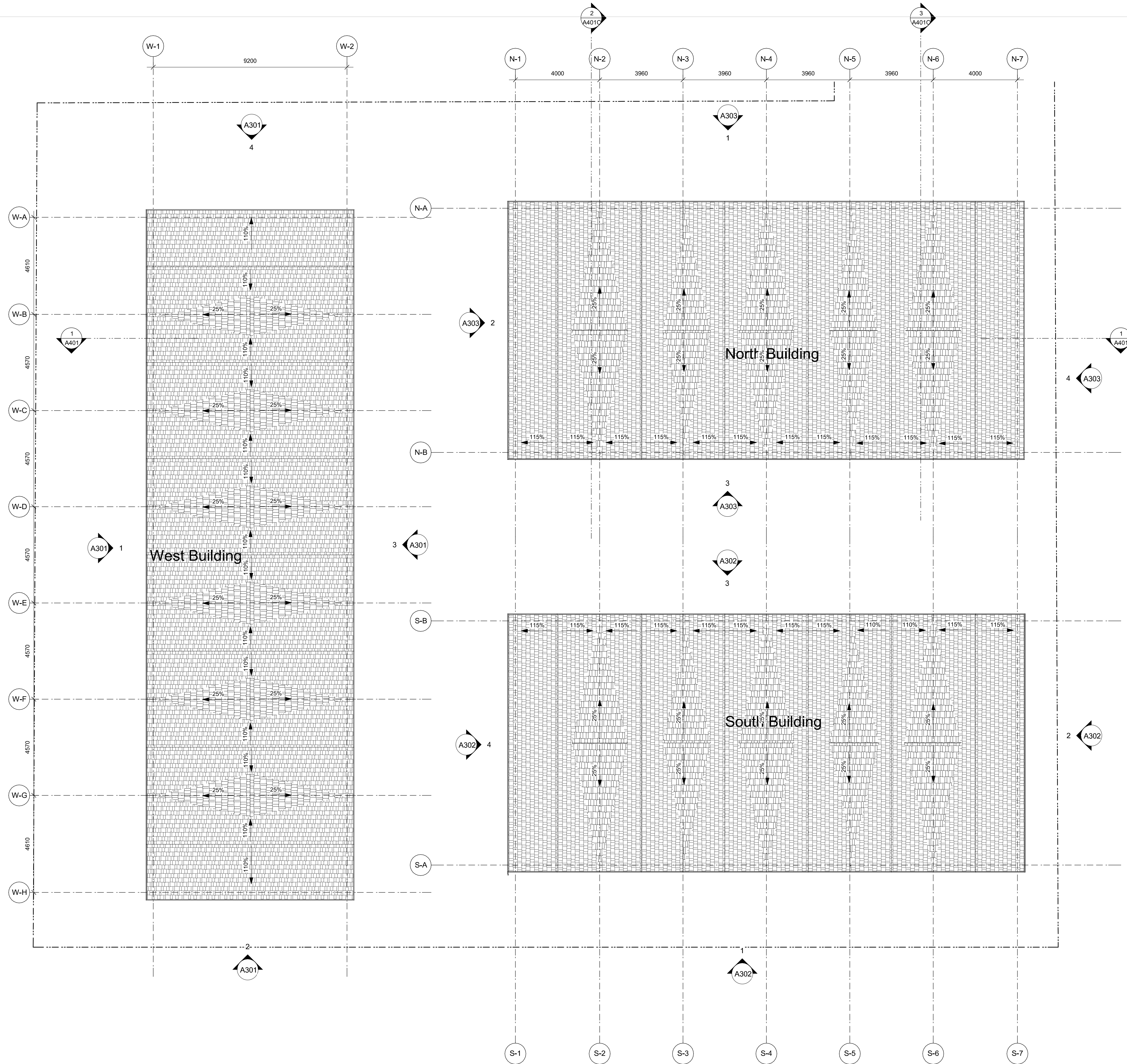
Overall L3 Plan

dHka

A203

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT





1 Overall Roof Plan
A204 SCALE: 1 : 100

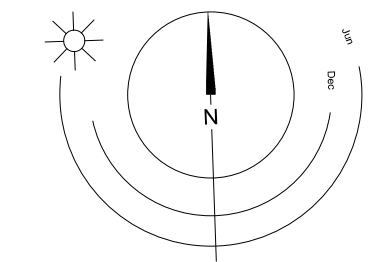
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description
1	2025-01-23	ISSUED FOR DP REVISIONS

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

Overall Roof Plan



dHka A204

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



1 Fernwood Elevation
A300 SCALE: 1 : 100



2 Balmoral Elevation
A300 SCALE: 1 : 100

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road Missing Middle Townhomes

Street Elevations

dHka

A300

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

Materials Legend

- Concrete - Smooth Finish, Sealed
- Brick Veneer
- Metal Guard Railing
- Pressure Treated Wood Guard
- Pressure Treated Wood Stair/Decking
- Fibre Cement Lap Siding
- Fibre Cement Shingles
- Fibre Cement Panels
- Fibre Cement Trim
- Canopy w/ Knee Braces
- Asphalt Shingles
- Windows - Prefinished Vinyl w/ Low-E Glazing
- Doors - Painted w/ View Lite
- Doors - Painted Fibreglass Overhead Garage
- Doors - Prefinished Vinyl Slide w/ Low-E Glazing
- Doors - Painted Fibreglass Swing
- Prefinished Rainwater Leader
- Carriage Light
- Fence - Wood, See Landscape
- Fence - Metal Picket, See Landscape

Colour Legend

- Arctic White
- Night Gray
- Pearl Gray
- Gray Slate
- Boothbay Blue

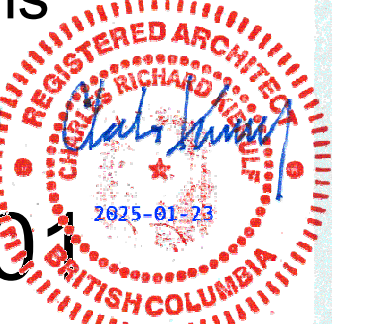
4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	As indicated	Project Number	2404

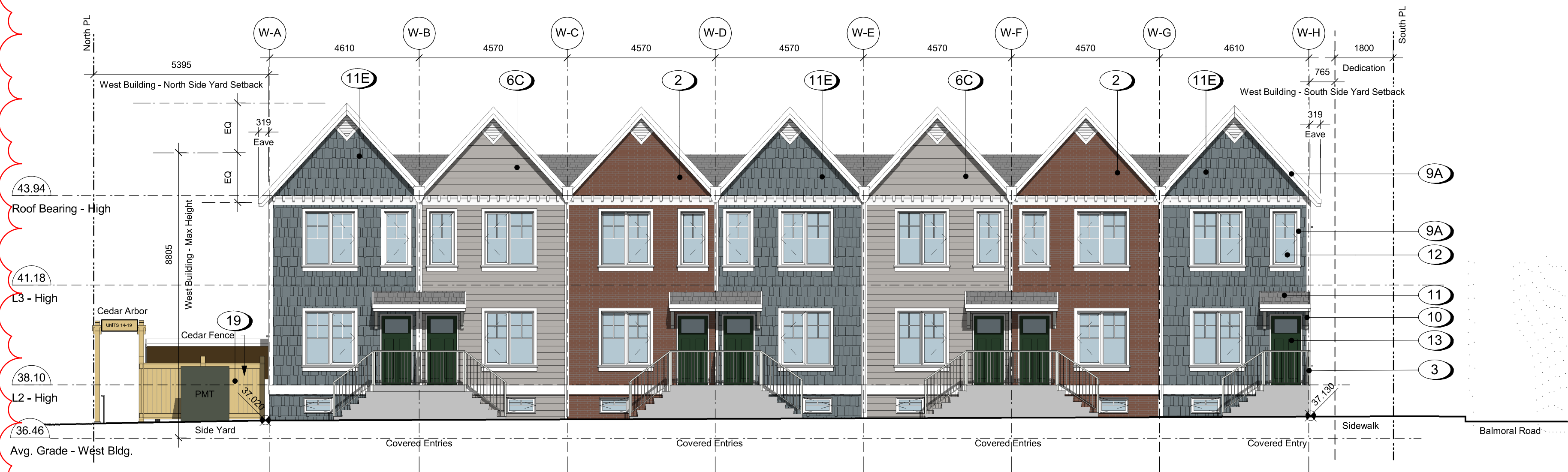
NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

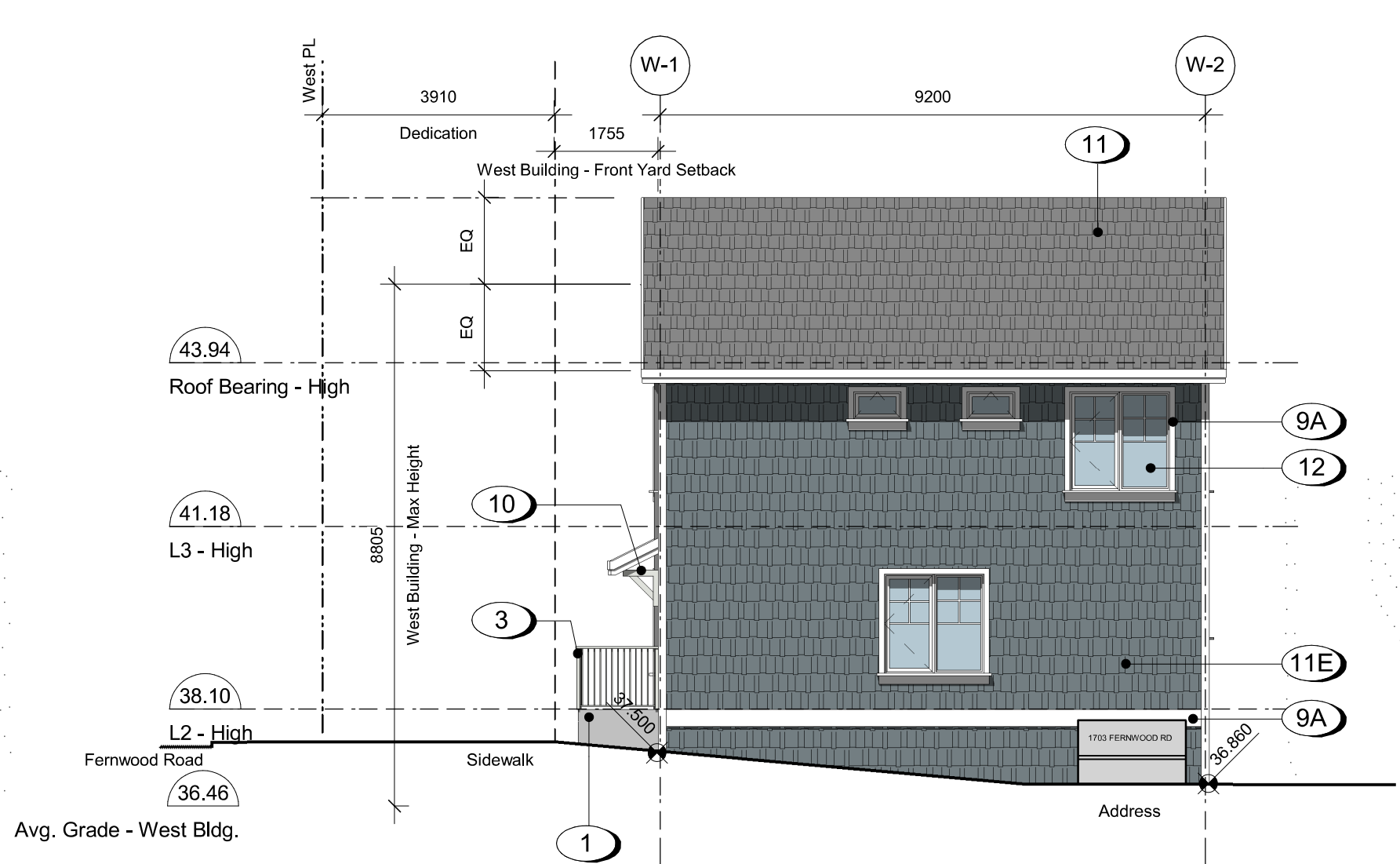
West Building
Elevations



dHKa
A301
dHK Architects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHK ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



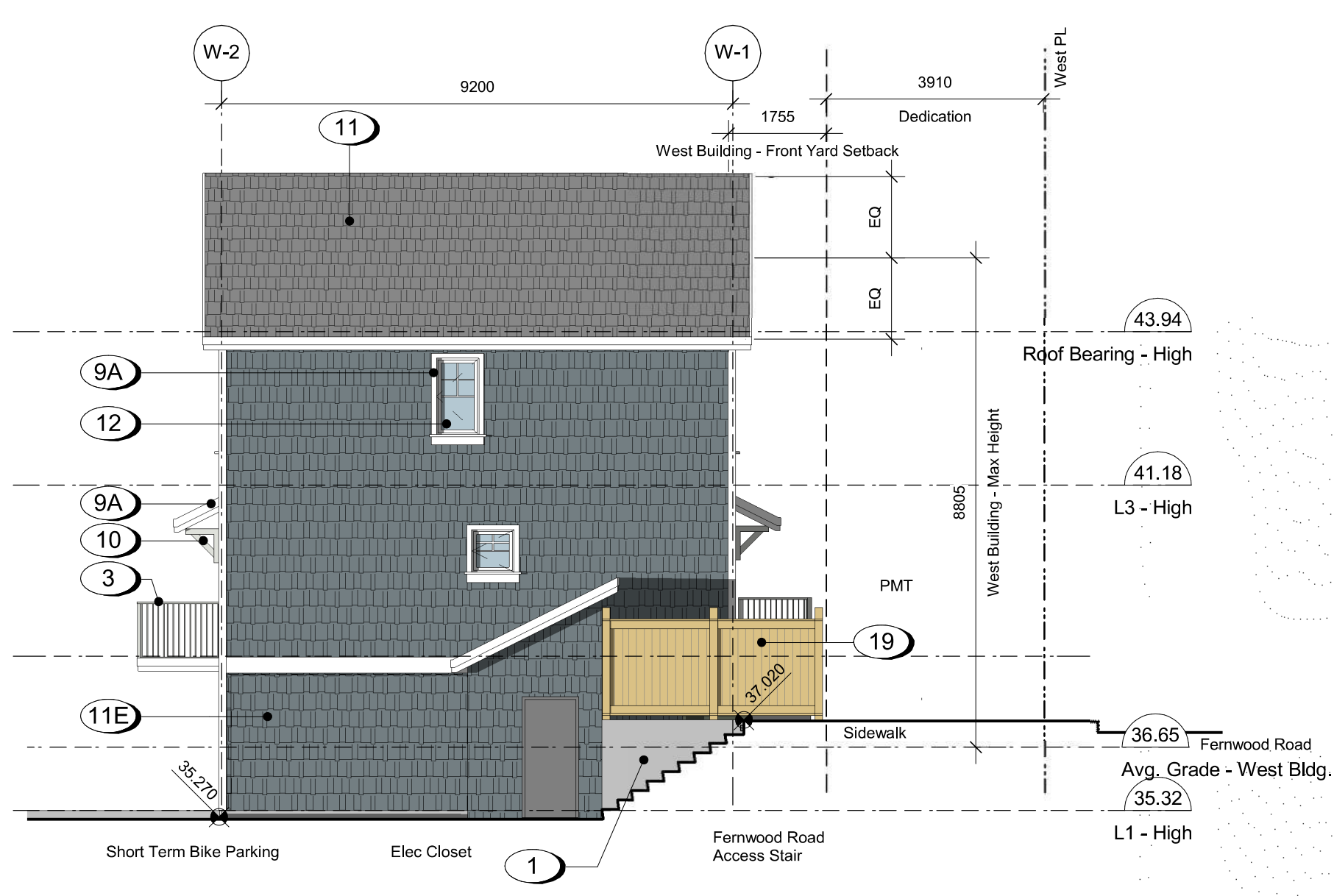
1 West Building - West Elevation
A301 SCALE: 1 : 100



2 West Building - South Elevation
A301 SCALE: 1 : 100



3 West Building - East Elevation
A301 SCALE: 1 : 100



4 West Building - North Elevation
A301 SCALE: 1 : 100

Materials Legend

- Concrete - Smooth Finish, Sealed
- Brick Veneer
- Metal Guard Railing
- Pressure Treated Wood Guard
- Pressure Treated Wood Stair/Decking
- Fibre Cement Lap Siding
- Fibre Cement Shingles
- Fibre Cement Panels
- Fibre Cement Trim
- Canopy w/ Knee Braces
- Asphalt Shingles
- Windows - Prefinished Vinyl w/ Low-E Glazing
- Doors - Painted w/ View Lite
- Doors - Painted Fibreglass Overhead Garage
- Doors - Prefinished Vinyl Slide w/ Low-E Glazing
- Doors - Painted Fibreglass Swing
- Prefinished Rainwater Leader
- Carriage Light
- Fence - Wood, See Landscape
- Fence - Metal Picket, See Landscape

Colour Legend

- Arctic White
- Night Gray
- Pearl Gray
- Gray Slate
- Boothbay Blue

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	As indicated	Project Number	2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

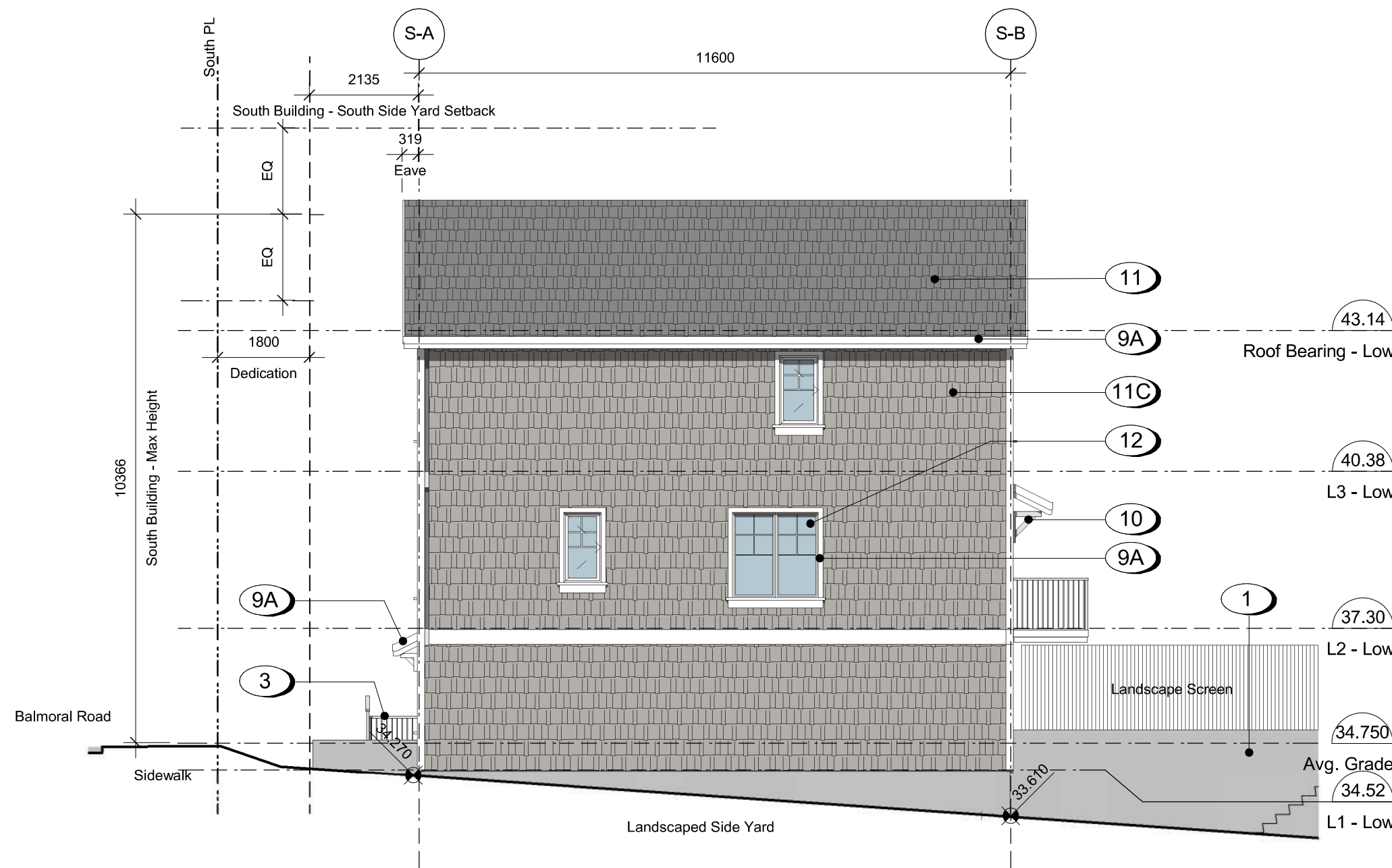
South Building
Elevations



dHk Architects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHk ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



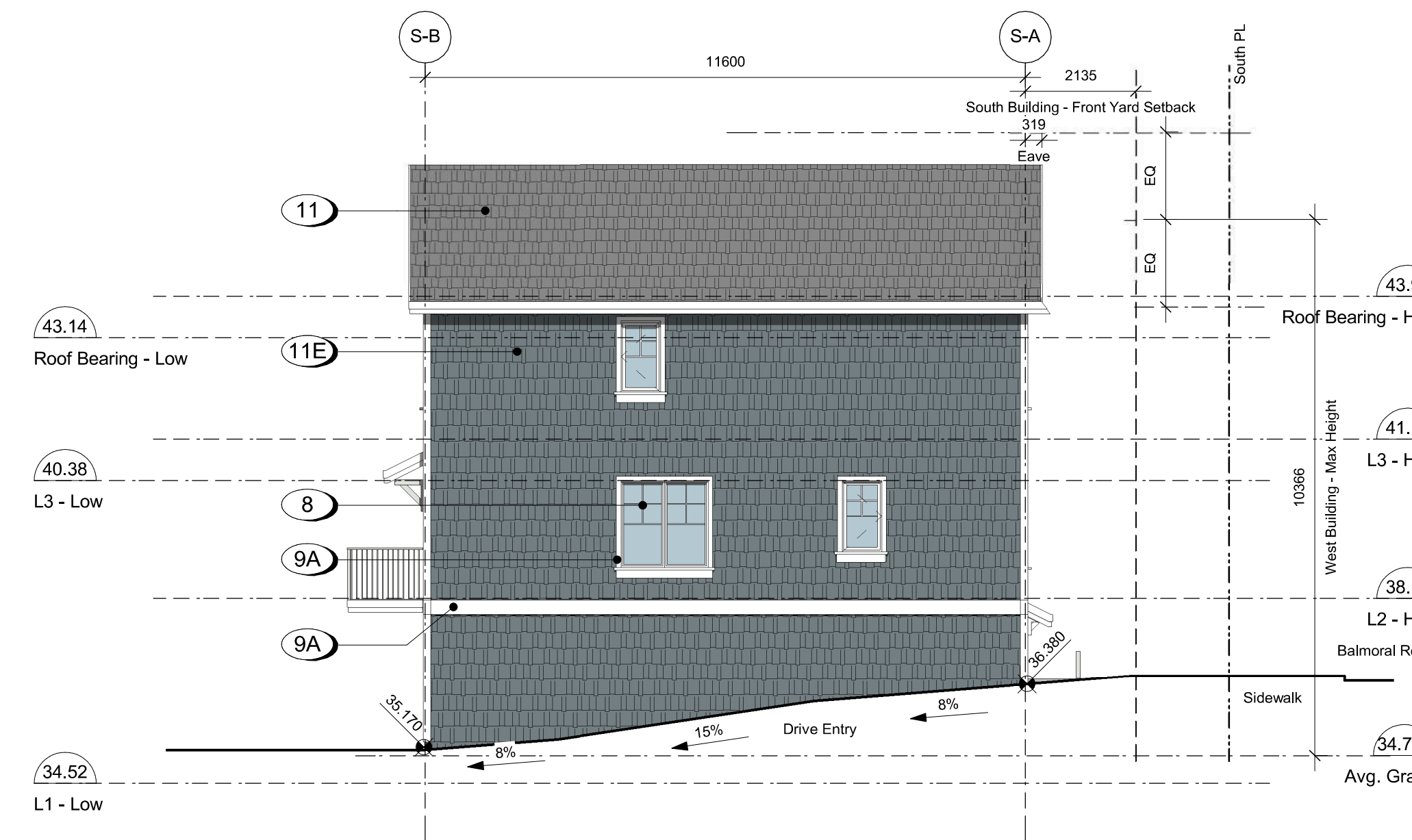
1 South Building - South Elevation
A302 SCALE: 1 : 100



2 South Building - East Elevation
A302 SCALE: 1 : 100



3 South Building - North Elevation
A302 SCALE: 1 : 100



4 South Building - West Elevation
A302 SCALE: 1 : 100

Materials Legend

- Concrete - Smooth Finish, Sealed
- Brick Veneer
- Metal Guard Railing
- Pressure Treated Wood Guard
- Pressure Treated Wood Stair/Decking
- Fibre Cement Lap Siding
- Fibre Cement Shingles
- Fibre Cement Panels
- Fibre Cement Trim
- Canopy w/ Knee Braces
- Asphalt Shingles
- Windows - Prefinished Vinyl w/ Low-E Glazing
- Doors - Painted w/ View Lite
- Doors - Painted Fibreglass Overhead Garage
- Doors - Prefinished Vinyl Slide w/ Low-E Glazing
- Doors - Painted Fibreglass Swing
- Prefinished Rainwater Leader
- Carriage Light
- Fence - Wood, See Landscape
- Fence - Metal Picket, See Landscape

Colour Legend

- Arctic White
- Night Gray
- Pearl Gray
- Gray Slate
- Boothbay Blue

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	As indicated	Project Number	2404

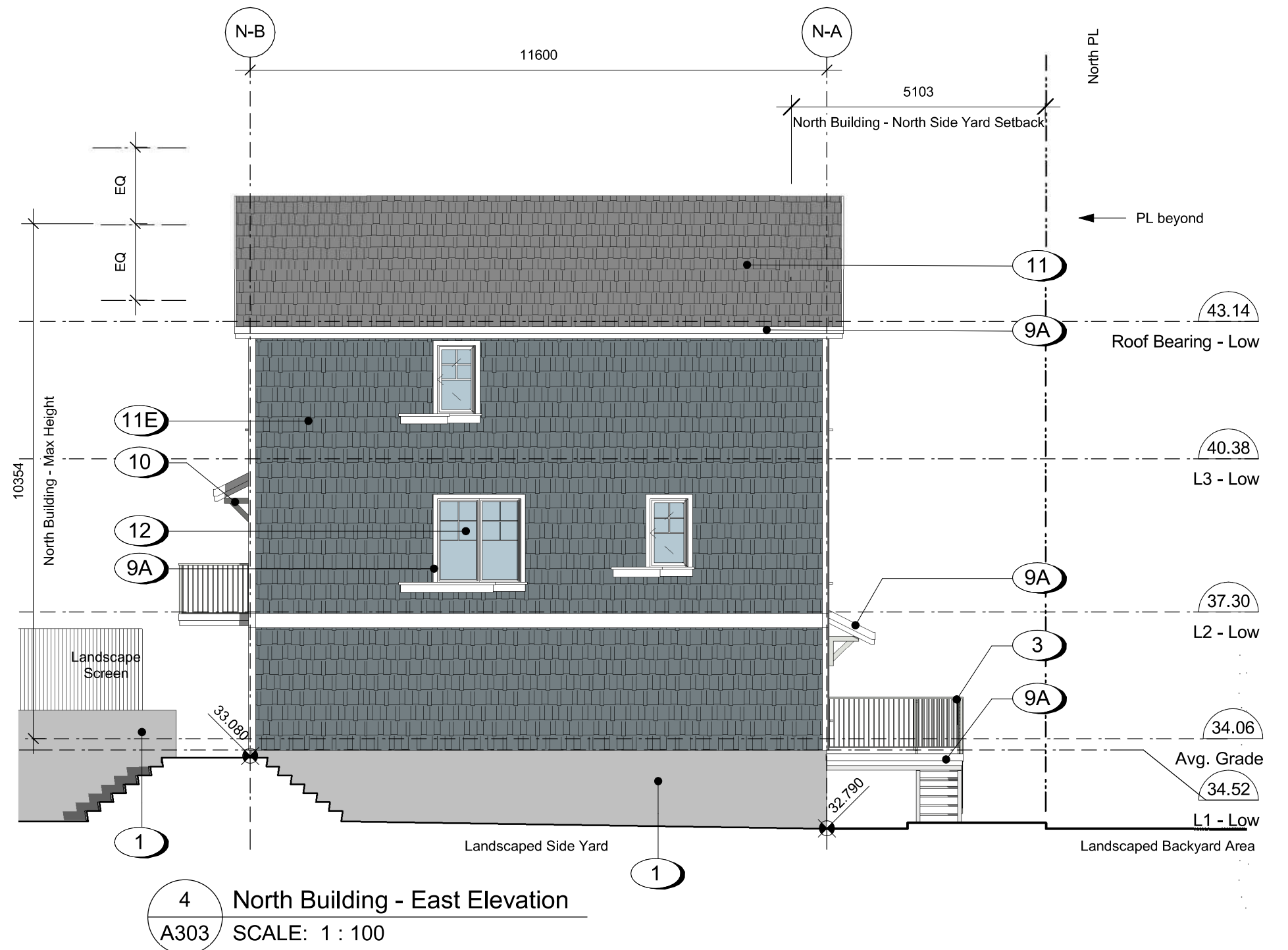
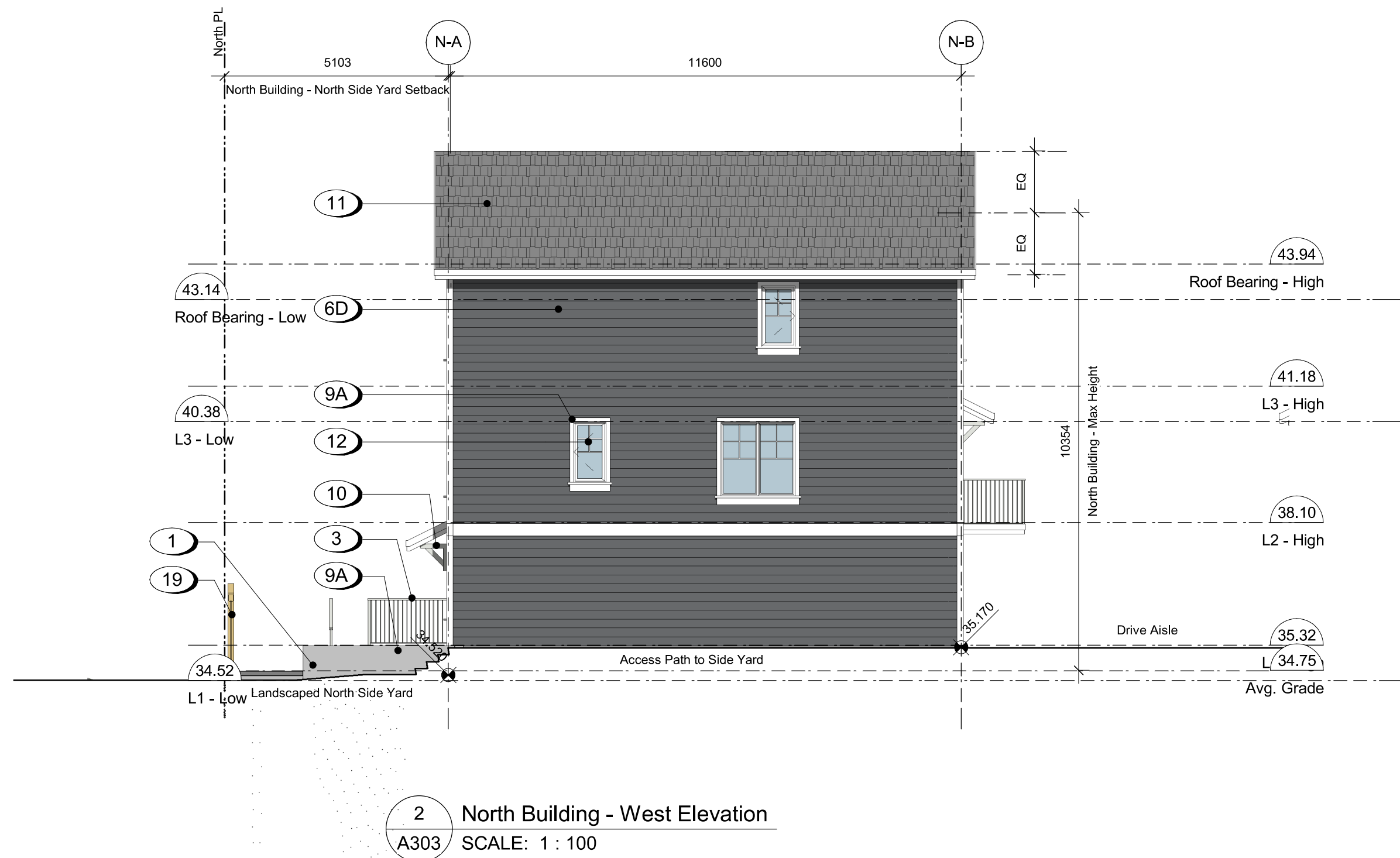
NOTE: All dimensions are shown in millimeters.

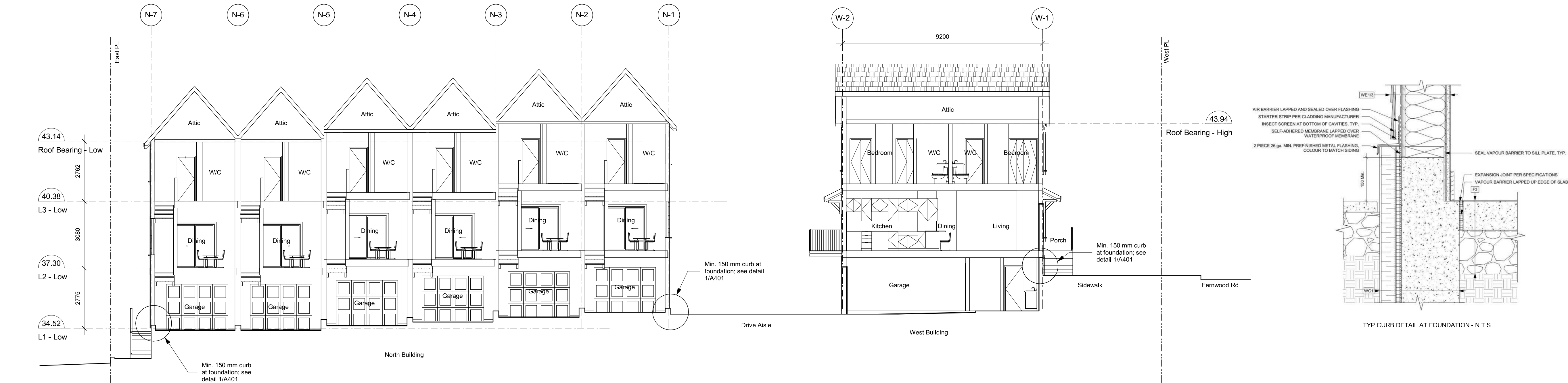
Fernwood Road
Missing Middle
Townhomes

North Building
Elevations



dHk Architects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHk ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT





1 Building Section A - West and North Buildings, Typ
A401 SCALE: 1 : 100

2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2404

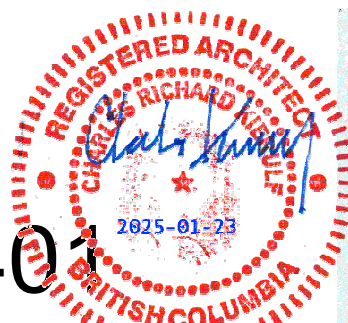
NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

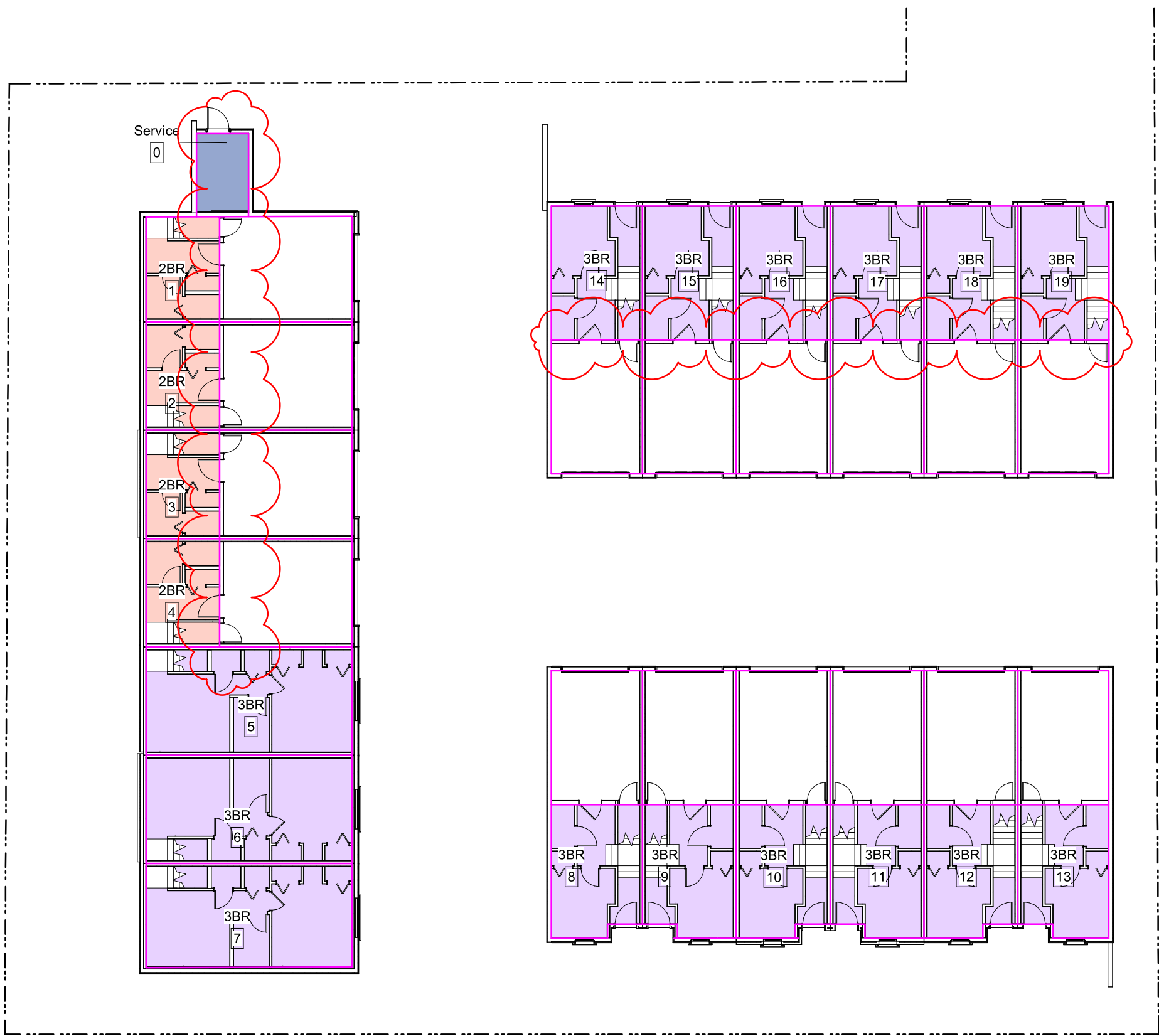
Building Sections



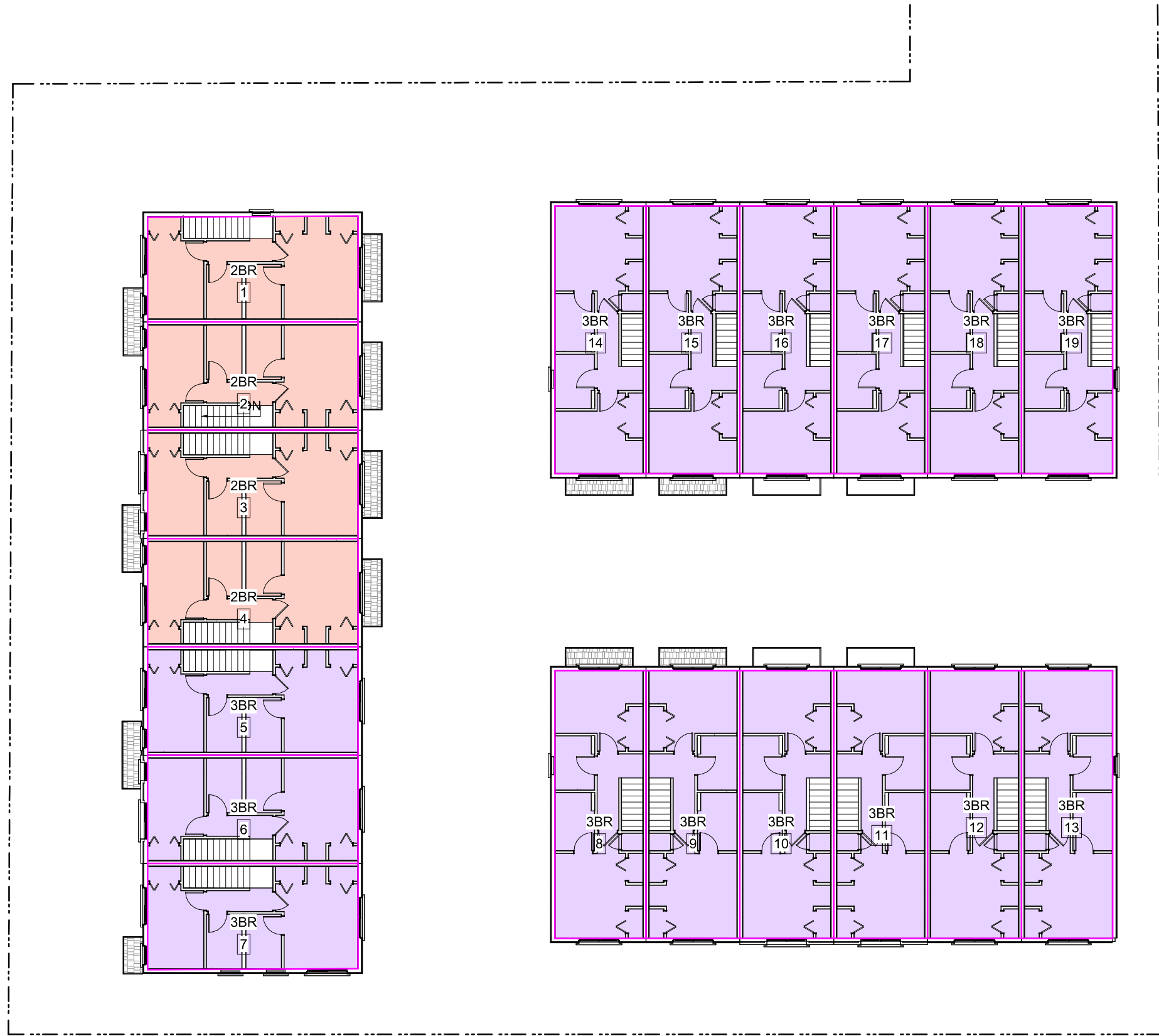
A401



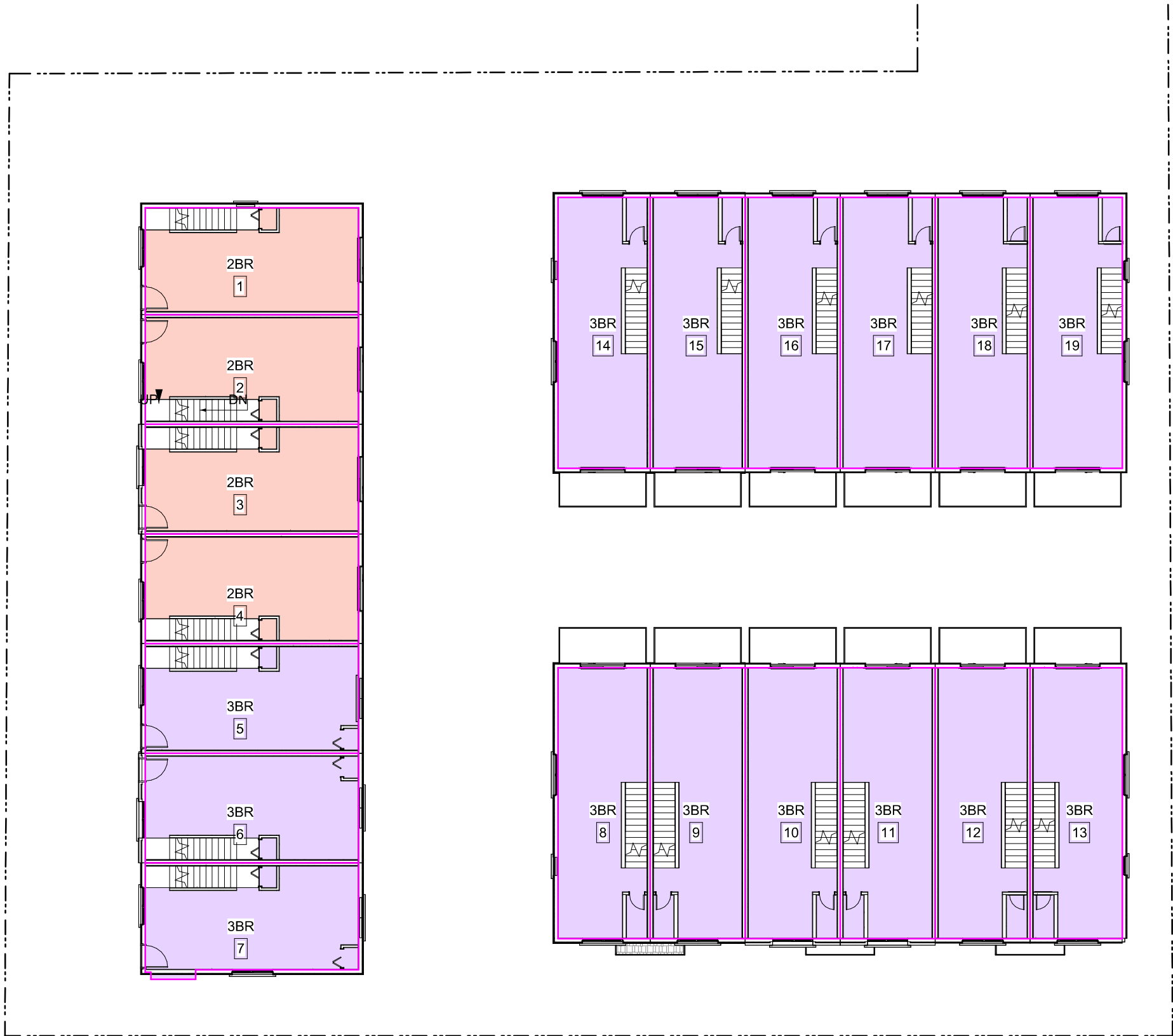
dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



1 Level 1 Areas
A900 SCALE: 1 : 200



3 Level 3 Areas
A900 SCALE: 1 : 200



2 Level 2 Areas
A900 SCALE: 1 : 200

Unit Areas(FAR)	
Level	Area

Elec Closet	
L1 - Mid	7.71 m²

Unit 1	
L1 - Mid	13.77 m²
L3 - Mid	39.44 m²
L2 - Mid	39.64 m²

Unit 2	
L1 - Mid	14.19 m²
L3 - Mid	40.57 m²
L2 - Mid	40.65 m²

Unit 3	
L1 - Mid	14.19 m²
L3 - Mid	40.58 m²
L2 - Mid	40.65 m²

Unit 4	
L1 - Mid	14.19 m²
L3 - Mid	40.57 m²
L2 - Mid	40.65 m²

Unit 5	
L1 - Mid	39.71 m²
L3 - Mid	40.57 m²
L2 - Mid	40.65 m²

Unit 6	
L1 - Mid	39.71 m²
L3 - Mid	40.57 m²
L2 - Mid	40.65 m²

Unit 7	
L1 - Mid	38.09 m²
L3 - Mid	39.60 m²
L2 - Mid	40.40 m²

Unit Areas(FAR)	
Level	Area

Unit 8	
L1 - Mid	20.82 m²
L3 - Mid	43.45 m²
L2 - Mid	43.45 m²

Unit 9	
L1 - Mid	21.45 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 10	
L1 - Mid	21.45 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 11	
L1 - Mid	21.45 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 12	
L1 - Mid	21.45 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 13	
L1 - Mid	20.73 m²
L3 - Mid	43.45 m²
L2 - Mid	43.45 m²

Unit 14	
L1 - Mid	21.70 m²
L3 - Mid	43.45 m²
L2 - Mid	43.45 m²

Unit Areas(FAR)	
Level	Area

Unit 15	
L1 - Mid	22.34 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 16	
L1 - Mid	22.34 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 17	
L1 - Mid	22.34 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 18	
L1 - Mid	22.34 m²
L3 - Mid	44.72 m²
L2 - Mid	44.72 m²

Unit 19	
L1 - Mid	21.70 m²
L3 - Mid	43.45 m²
L2 - Mid	43.45 m²
Grand total: 58	
2070.01 m²	

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.	Date	Description

Issued	2025-01-23	Description	DP Documents
Drawn By	Author	Checked By	Checker
Scale	1 : 200	Project Number	2404

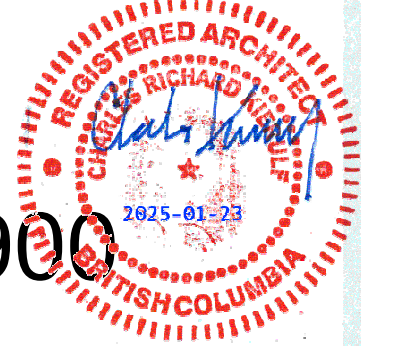
NOTE: All dimensions are shown in millimeters.

Fernwood Road
Missing Middle
Townhomes

Area Plans

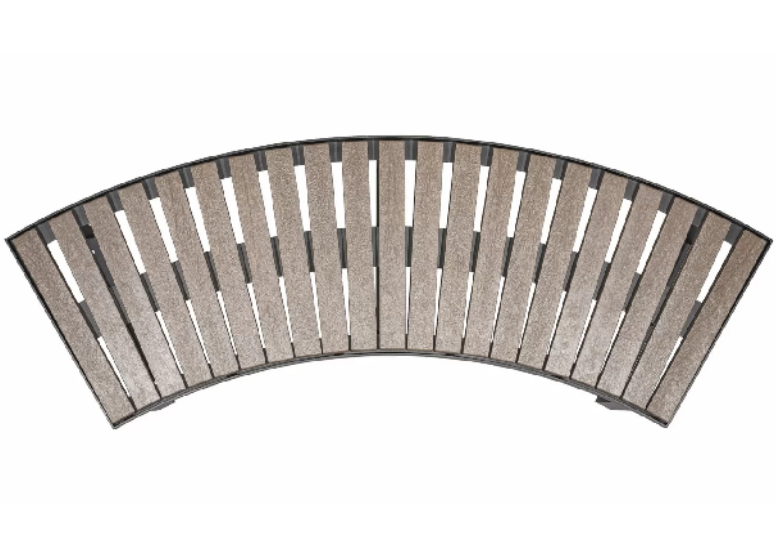
dHka

A900



dHkarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-658-3367
1-250-585-5810
COPYRIGHT RESERVED, THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHkarchitects TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

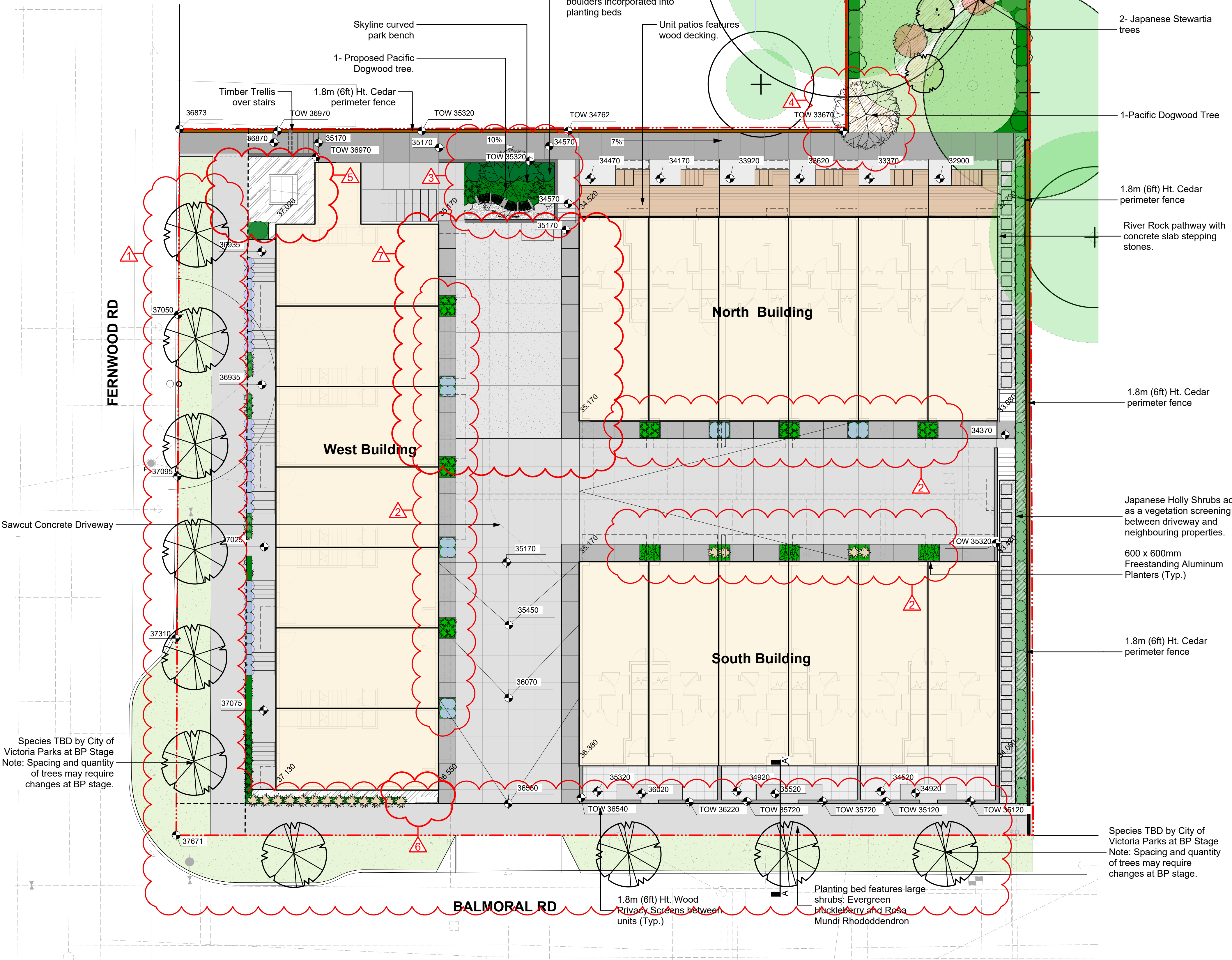
CHARACTER IMAGES



1: Skyline curved park bench



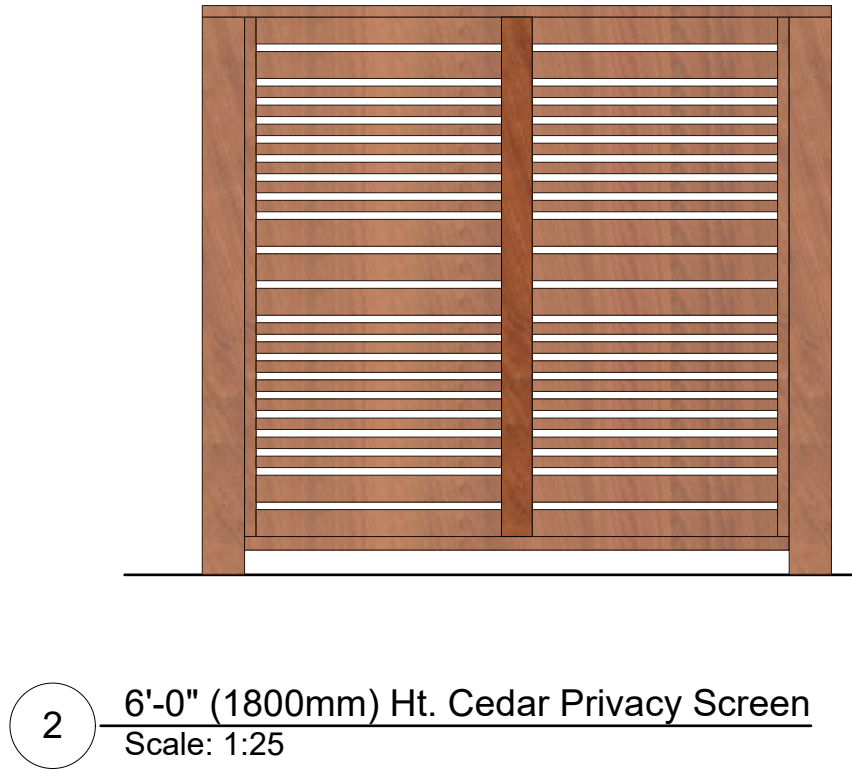
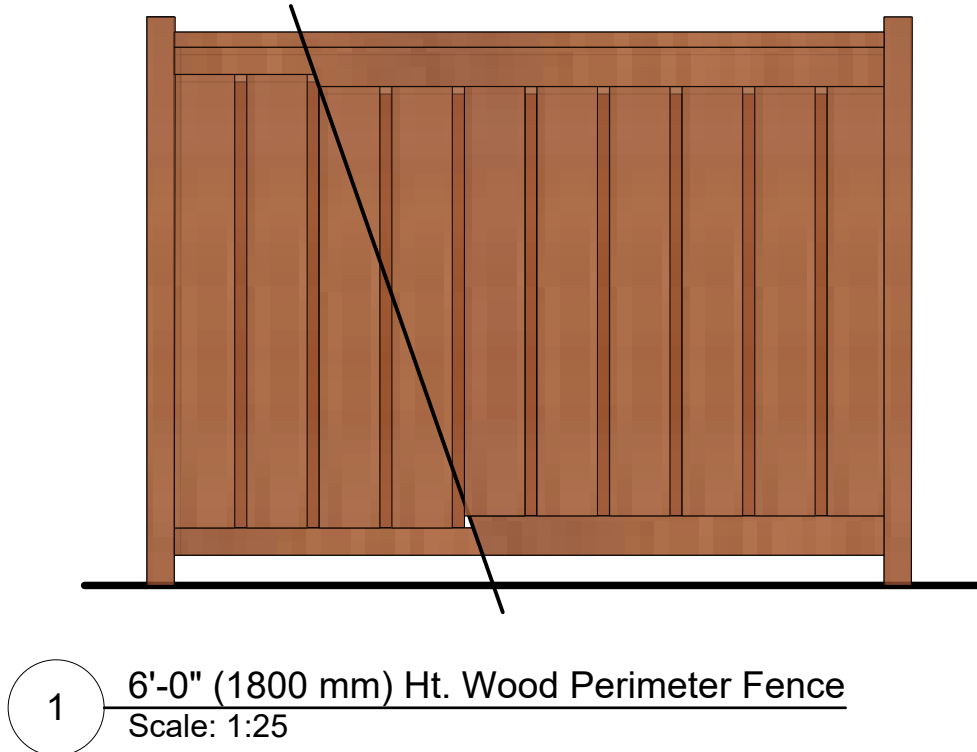
1: Skyline curved park bench



Recommended Nursery Stock

Trees			
Total: 16			
	Botanical Name	Common Name	Size
	Acer circinatum	Vine Maple	6cm cal.
	Cornus nuttallii	Pacific Dogwood	2M Ht.
	Stewartia pseudocamellia	Japanese Stewartia	6cm cal.
	Street Trees - Species to be determined by the City of Victoria Parks Dept.		
TBD	10		
Large Shrubs			
ID	Quantity	Botanical Name	Common Name
Total: 46		Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea
		Mahonia aquifolium	Tall Oregon Grape
		Vaccinium ovatum	Evergreen Huckleberry
			#2 pot
Small Shrubs			
Total: 100			
	Botanical Name	Common Name	Size
	Gaultheria shallon	Salal	#1 pot
	Lavender stoechas 'Anoluk'	Spanish Lavender	#1 pot
	Nandina domestica 'Fire Power'	Fire Power Heavenly Bamboo	#1 pot
Perennials, Annuals and Ferns			
Total: 104			
	Botanical Name	Common Name	Size
	Blechnum spicant	Deer Fern	#1 pot
	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	Polystichum munitum	Sword Fern	#1 pot

- Notes:
- 1. All work to be completed to current BCSLA Landscape Standards
 - 2. All soft landscape to be irrigated with an automatic irrigation system

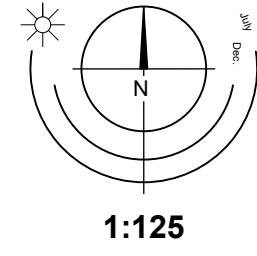
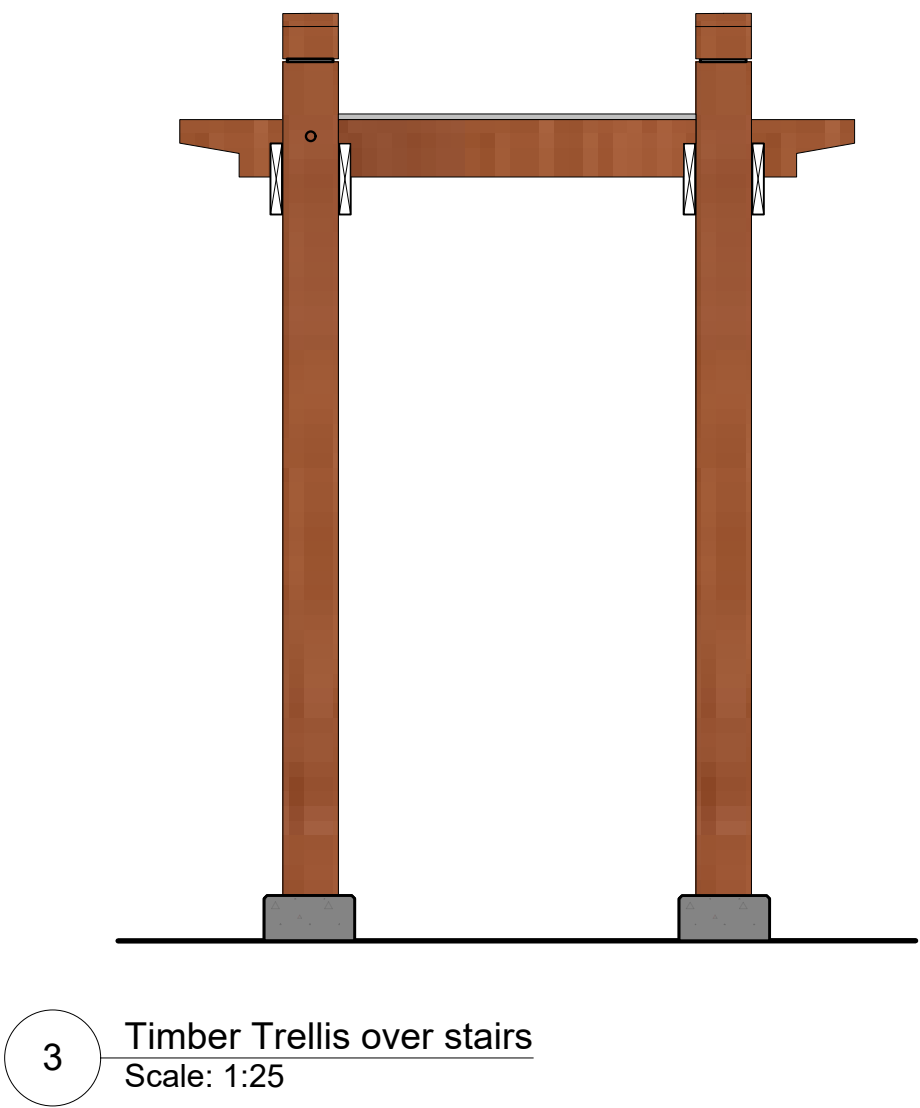


MATERIALS LEGEND

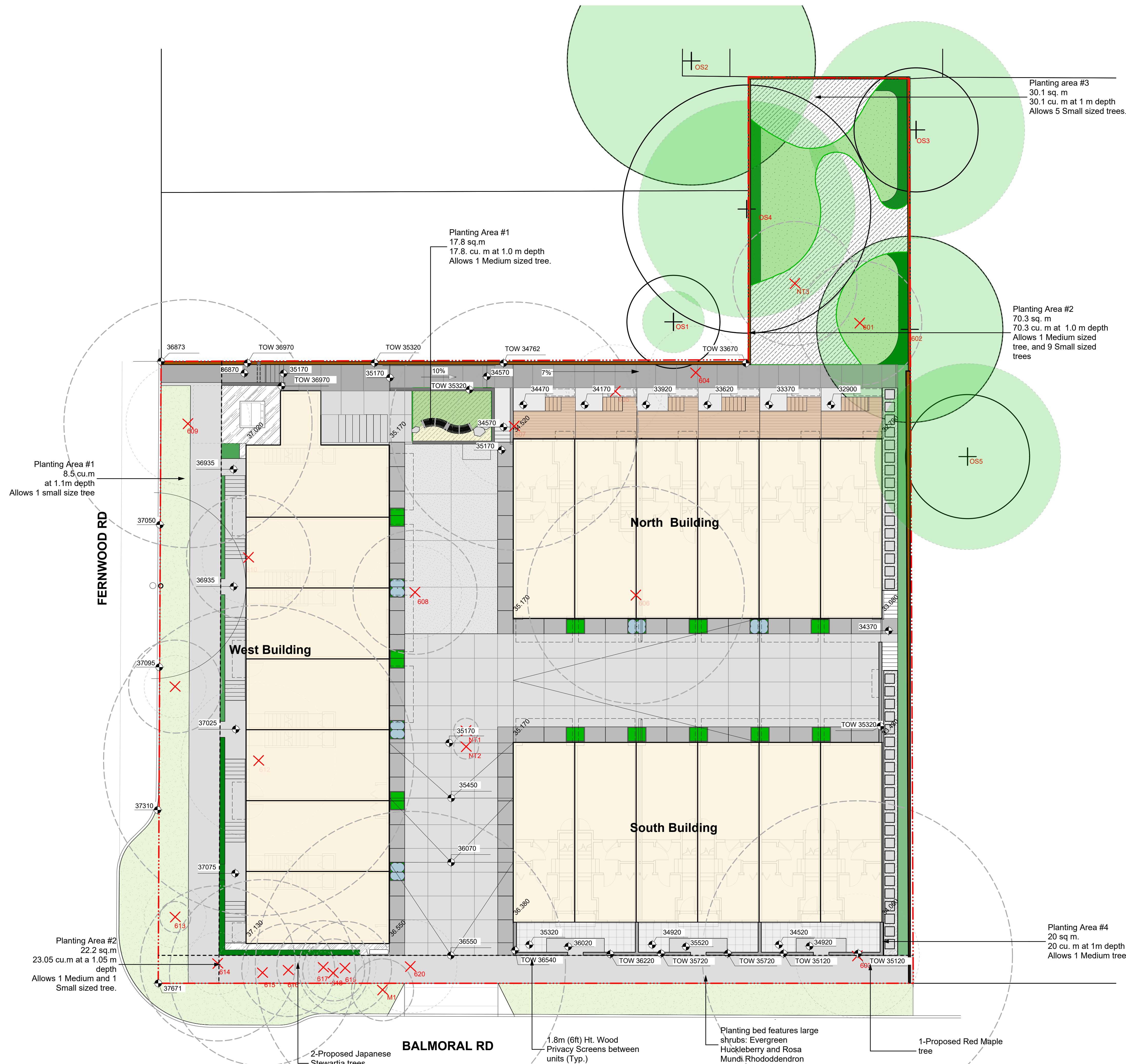
	Hydrapressed concrete slabs
	Colored sawcut concrete - Dark Grey
	Colored sawcut concrete - Natural
	Grass - Sod lawn
	Aggregate - Internal trail paths
	Planting Beds
	River Rock maintenance border
	Concrete-Exposed Aggregate

REVISION LEGEND

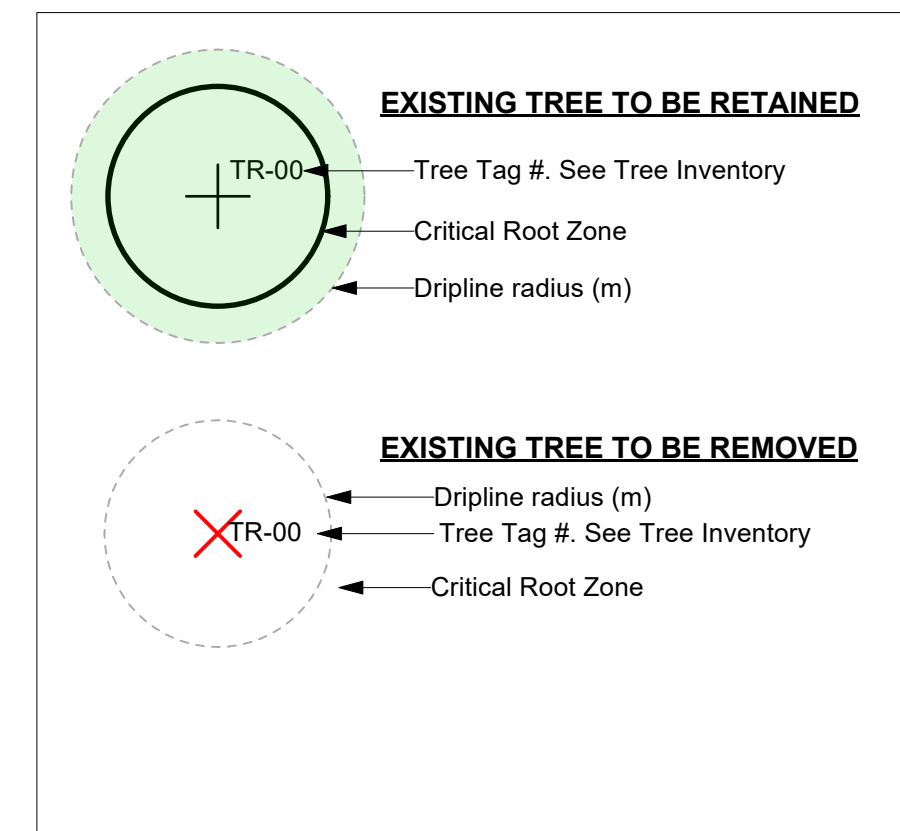
- 1 Boulevard trees by the City of Victoria added
- 2 Larger planters added to expand landscaped area.
- 3 Zen garden adjusted. Tree species substituted for Pacific Dogwood
- 4 Tree species substituted for Pacific Dogwood
- 5 PTM adjusted
- 6 Address Sign added.
- 7 Updated material for "shared drive" area to exposed aggregate concrete to frame area.



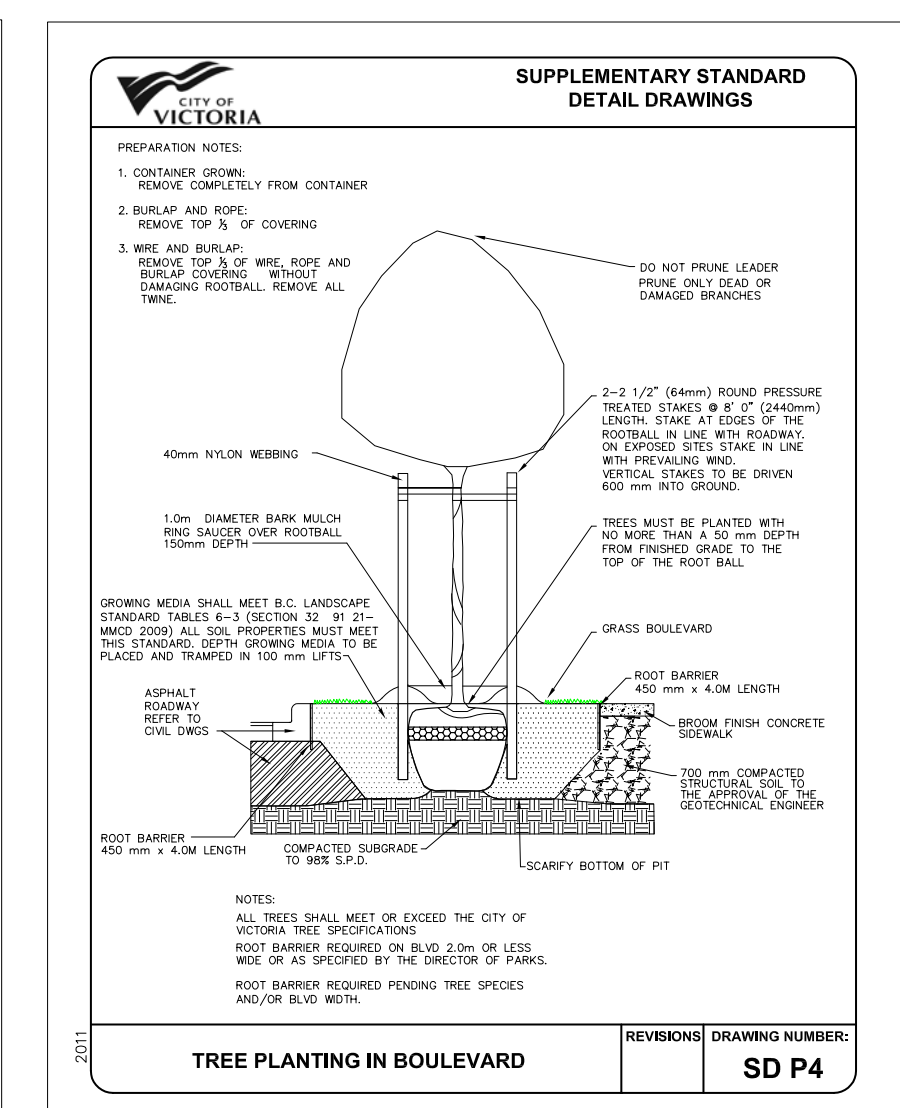
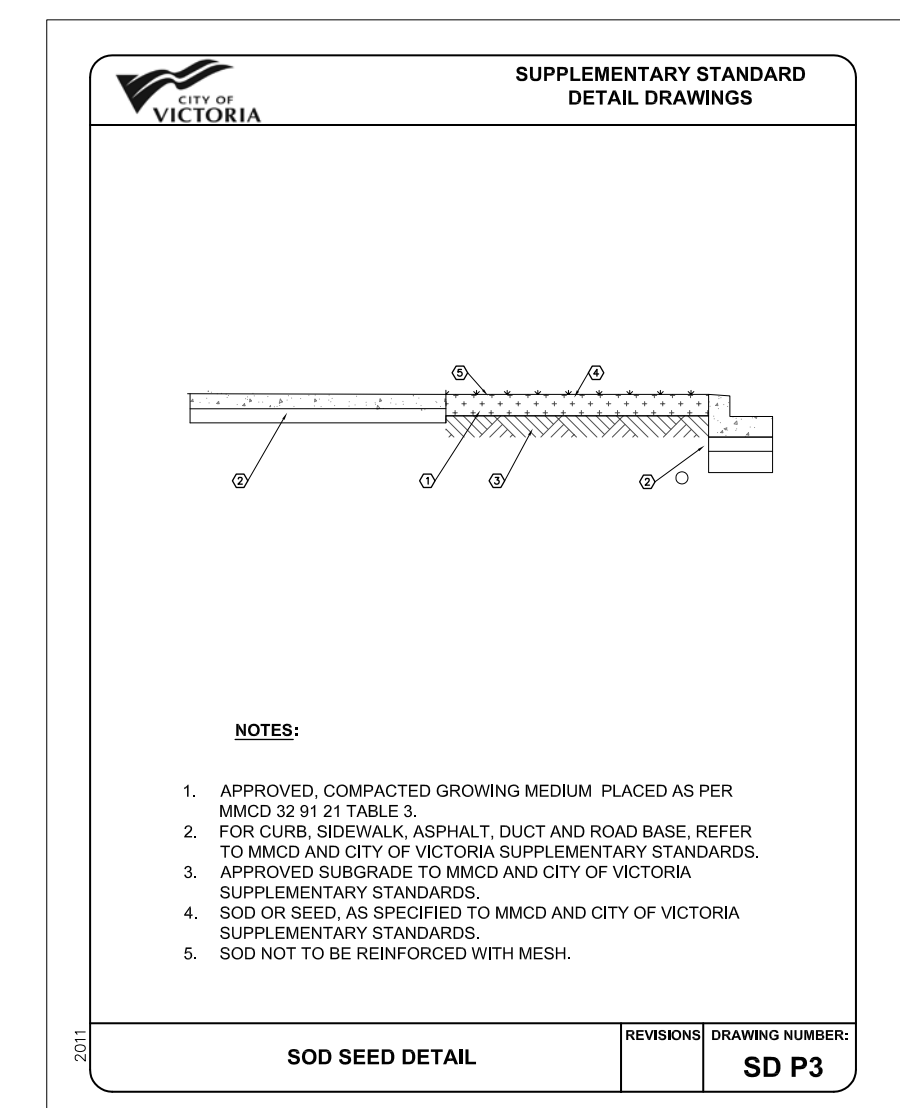
1705 Fernwood | Landscape Concept | L1



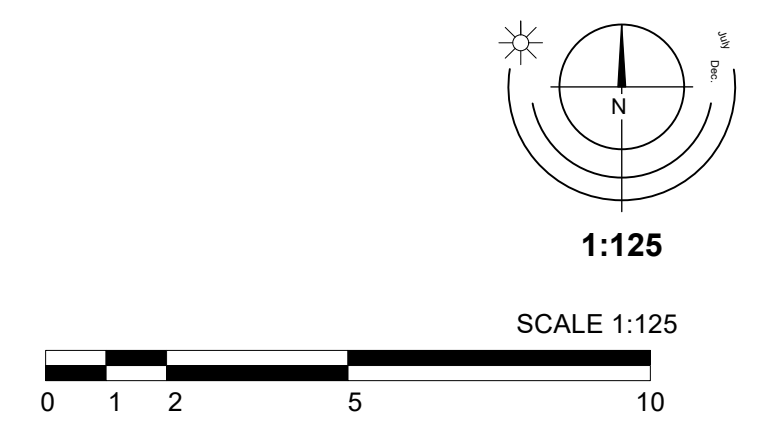
TREE LEGEND



NOTES:
REFER TO ARBORIST REPORT FOR MORE INFORMATION.
THE PROJECT ARBORIST TO SUPERVISE ALL EXCAVATION REQUIRED WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES.



1705 Fernwood | Tree Replacement Plan | L2



THE CITY OF VICTORIA January 14, 2025 / U:\CS\1400 Customer Files\2024\CV Civil\CV24-10 Fernwood - A Frame\03 EN-CN\040 Internal Drawings\00 Current\CV24-10 25 Site Servicing Plan.dwg

ENVIRONMENTAL NOTES:

- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:
 - CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
 - NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
 - A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
 - SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
 - COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
 - STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
 - PLACE DRAIN ROCK AND FILET FABRIC AT THE INLET OF CULVERT.
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT CITY ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS REQUIRED.
- ADHERE TO ALL CONDITIONS OF THE PROJECT ENVIRONMENTAL PROTOCOL WORKSHEET.

GENERAL CONSTRUCTION NOTES:

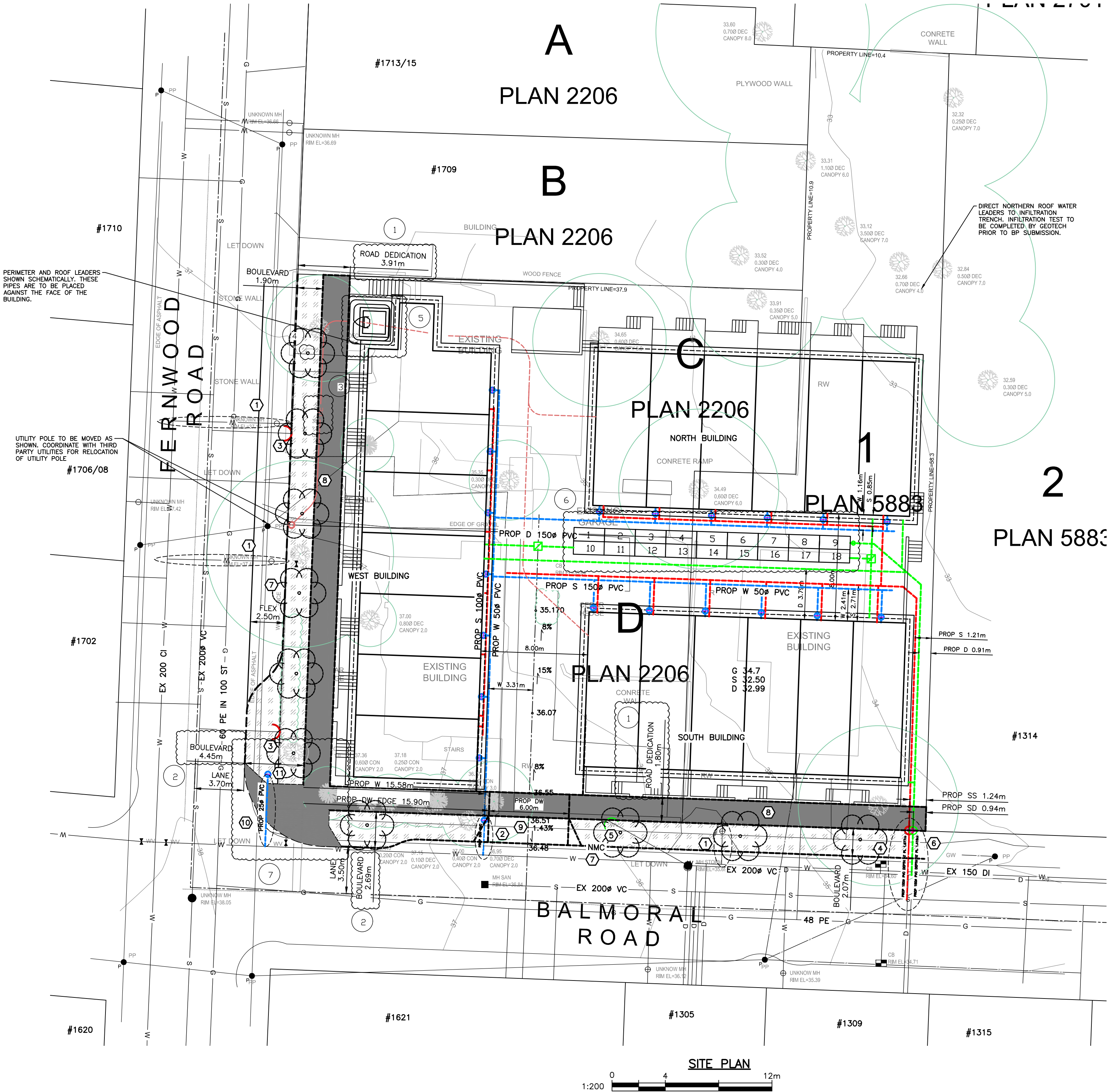
- CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
- REINSTATE ALL PRIVATE PROPERTY TO PRE-CONSTRUCTION CONDITIONS.
- CONTACT CITY PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
- ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
- CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
- ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.
- SIGNS ARE TO BE CONSTRUCTED AS PER CoV STANDARD DRAWINGS
- ALL BOULEVARDS TO BE RESTORED WITH 200mm TOPSOIL AND GRASS.
- MAINTAIN VEHICLE AND PEDESTRIAN ACCESS AT ALL TIMES.
- ALL EXISTING AND PROPOSED APPURTENANCES TO MEET FINAL GRADES.
- ALL TRENCHING EXCAVATIONS AND BEDDING TO BE PER MMCD G4

DETAILED CONSTRUCTION NOTES:

- THREE (3) EXISTING WATER CONNECTIONS AND METERS TO BE DECOMMISSIONED BY CoV AT APPLICANTS EXPENSE.
- NEW 50mm WATER SERVICE AND METER BY CoV AT APPLICANTS EXPENSE.
- EXISTING SEWER CONNECTIONS TO BE CAPPED AT PL BY CONTRACTOR
- 150mm PVC SEWER CONNECTION AT 1% AND IC BY CoV AT APPLICANTS EXPENSE.
- EXISTING STORM CONNECTION TO BE CAPPED AT PL BY CONTRACTOR.
- 150mm PVC STORM WATER CONNECTION AND IC BY CONTRACTOR AT APPLICANTS EXPENSE.
- REMOVE EXISTING AND REPLACE WITH NEW CURB AND GUTTER WITH NEW 300mm GUTTER PAN NON MOUNTABLE CURB AND GUTTER (MMCD C4) AS SHOWN
- REMOVE EXISTING AND REPLACE WITH NEW SIDEWALK ALONG FRONTAGE TO NEAREST JOINT LINE. AS SHOWN. (2.0m WIDE ON FERNWOOD, 1.8m WIDE ON BALMORAL) CoV STANDARD DRG SD C7c. BROOM FINISHED
- PROVIDE 6.0m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 2.0m DEEP.
- PROVIDE WHEEL CHAIR RAMP FOR SIDEWALK DROP IN ACCORDANCE WITH CoV STANDARD DRAWING SD C9a
- NEW 25mm WATER CONNECTION FOR IRRIGATION ALONG WITH ALL CHECK VALVES ETC REQUIRED BY CITY STANDARDS, BY CITY AT APPLICANTS EXPENSE.

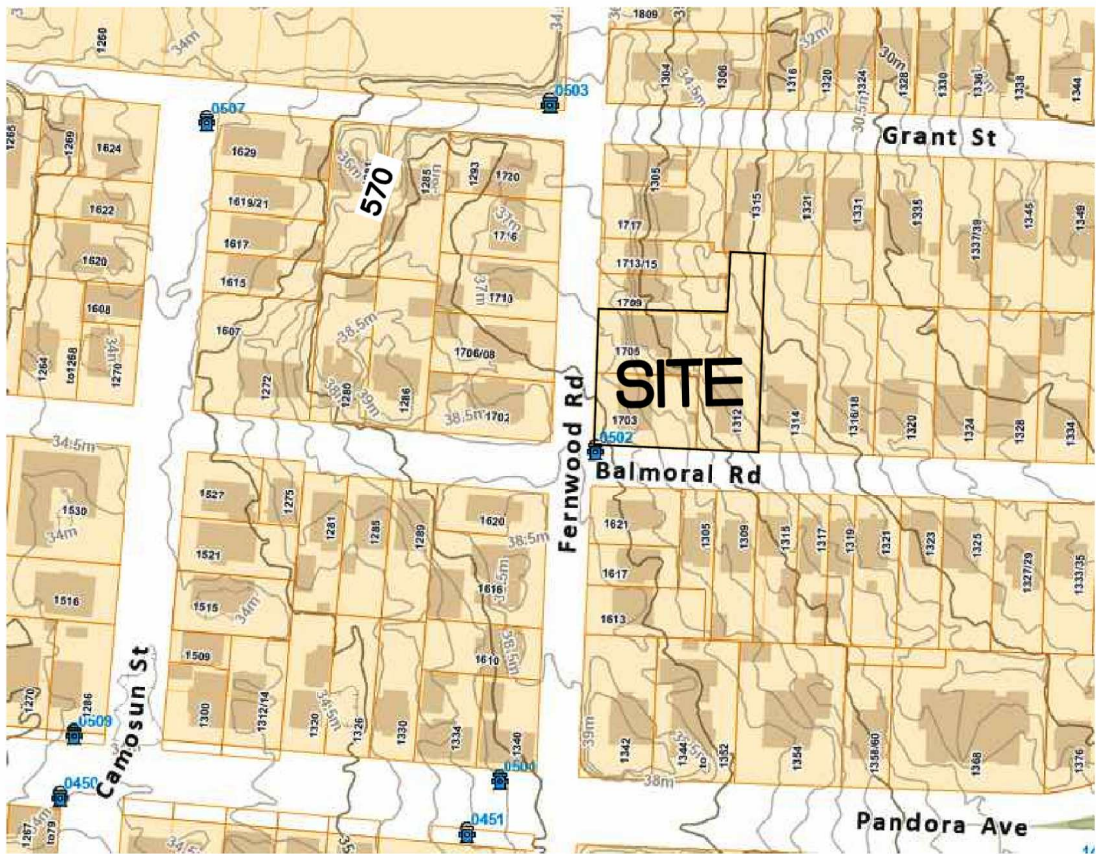
REVISION TABLE

NUMBER	DETAILS
1	ROAD DEDICATION SHOWN
2	BOULEVARD SHOWN
3	HYDRO LINE RELOCATED AND LABELED AS UE
4	TREE LOCATIONS SHOWN
5	PMT RELOCATED
6	STORMWATER MANAGEMENT SYSTEM REVISED
7	SIDEWALK AT INTERSECTION REVISED



GENERAL NOTES:

- DRAWING INFORMATION**
DIMENSIONS ARE METRIC; MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:250 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.
- INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT. AS THE PROJECT PROGRESSES, THE DEGREE OF DETAIL THAT IS PROVIDED MAY REQUIRE ADDITIONS OR DELETIONS.
- EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY. ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON THESE DRAWINGS.
- EXISTING SERVICES TO BE VERIFIED OR EXPOSED IN FIELD. CONTACT ENGINEER IF THERE ARE ANY CONFLICTS. ALL ALTERNATE DESIGNS ARE TO BE SUBMITTED THROUGH CONSULTING ENGINEER.
- GENERAL REQUIREMENTS**
REFER TO KYLE ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.
- REFER TO CITY STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION, BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, AND OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.
- ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND ADDENDUMS.
- UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS INSPECTOR.
- USE OF INFORMATION**
THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF KYLE ENGINEERING AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR ANY LEGAL INSTRUMENT.
- COORDINATION REQUIREMENTS**
- COMMUNICATION AND REPORTING**
CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR FOR SERVICES LOCATE. 1-800-474-6886
- THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION AND COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.
- THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK. ENGINEER WILL THEN SEND RELATED DOCUMENTATION TO CITY WITH REGARDS TO ITS INFRASTRUCTURE.
- PERMITS**
A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.
- A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.
- A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT 1-877-599-0996
- NOTIFICATION**
WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.
- FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.
- IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.
- CHANGE REQUESTS**
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. CITY TO BE ENGAGED FOR CHANGES RELATED TO CITY OWNED INFRASTRUCTURE.
- TESTING REQUIREMENTS**
CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTORS TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY CITY OR THE ENGINEER.
- ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- MISCELLANEOUS**
ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.
- ALL LANDSCAPING AND STRUCTURES TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER.
- PAVEMENT RESTORATION FOR RESIDENTIAL ROADS TO BE PER CoV STD DWGS



KEY PLAN - 1:2000

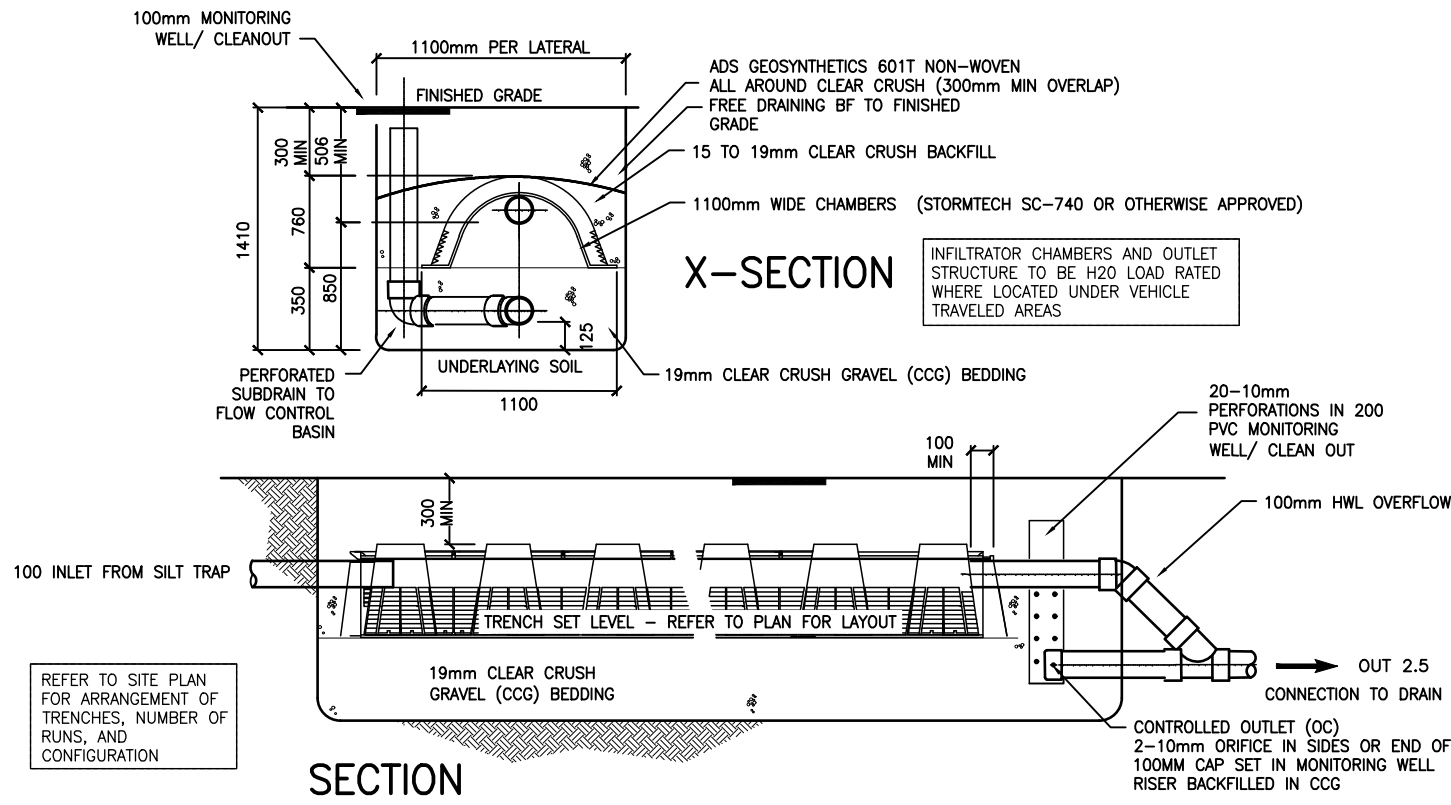
PERMIT TO PRACTICE NUM: 1000348



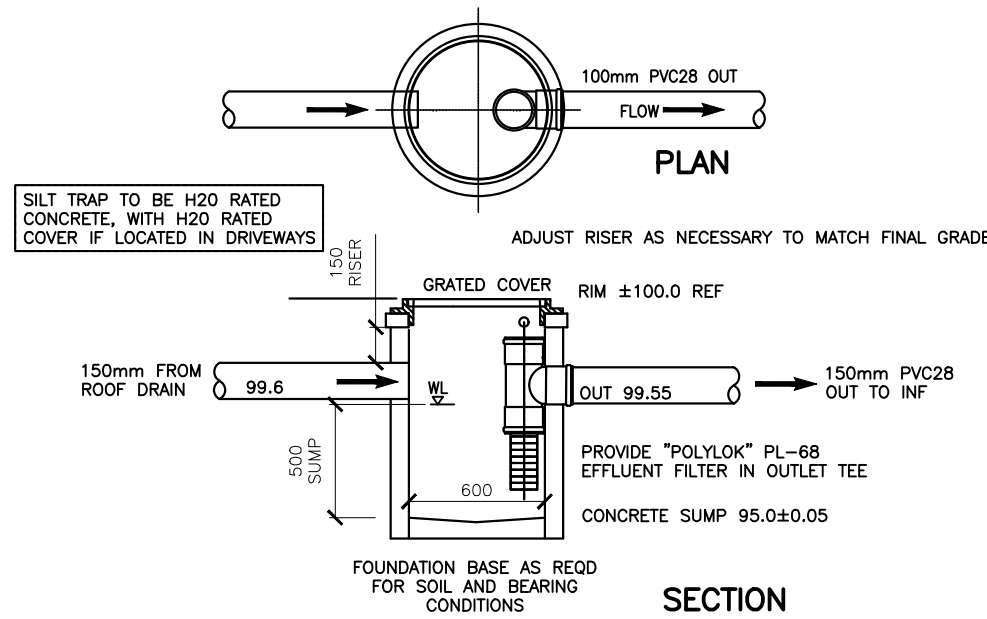
FOR PROPOSED SEWER OF LOT 1 & C & D, SECTION 75, VICTORIA DISTRICT, PLAN 5883 & 2206
PID 006-391-249
006-391-231 & 005-941-601
1705,1703 FERNWOOD & 1312 BALMORAL ROAD
KYLE ENGINEERING
SUITE 1, 40 CADILLAC AVE, VICTORIA, BC, V8Z 1T2
250 475 6906

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.	LEGEND										REVISIONS			REVISIONS APPROVED									DESIGN APPROVED			CITY OF VICTORIA		FILE No.	—
	Existing Municipal Infrastructure ———— Drain —○— Curb —C— Concrete Box ☒ Valve ☒ X										6			REVISION # 1			REVISION # 2			REVISION # 3			Approved By			1705,1703 FERNWOOD & 1312 BALMORAL ROAD		DESIGN No.	—
	Proposed Municipal Infrastructure - - - - - Ditch —D— Sidewalk 57W Wood Box ☐ Flush Valve ☒ X										5			Approved			Approved			Approved			Date			SEWER, STORM, WATER AND ROAD SERVICES			
	Existing External U/G Utilities —e— t— g— c— Sewer —S— Manhole ☐ Catch Basin ☒ Hydrant ☒										4			Design Engineer			Design Engineer			Design Engineer			Design Engineer			B.M. : GMC 286187		DRAWING No.	Sheet 1 of 5
	Proposed External U/G Utilities - - - - - Water —W— Cleanout ☐ Culvert —)— Reducer ☒										3			Manager of Development			Manager of Development			Manager of Development			Manager of Development			Elev: 37.792			
Street Lighting Pole Mount —P— Standard Mount —S— Traffic Sign ☐ Silt Trap ☒										2			Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Design: ESK			Checked: ESK	
Post Top —T— Pedestrian Signal —P— Traffic Signal —T— Ctrl Monument —C— Traverse Hub ☒ Gas Valve ☐ Water Meter ☐										1												Scale: Hor: 1:200 Vertical: 1:40			Date: APRIL 2024				

THE DISTRICT OF SAANICH: January 14, 2025 / U:\CS\1400 Customer Files\2024\04 Civil\04 Internal Drawings\00 Current\024-10 25 Site Servicing Plan.dwg

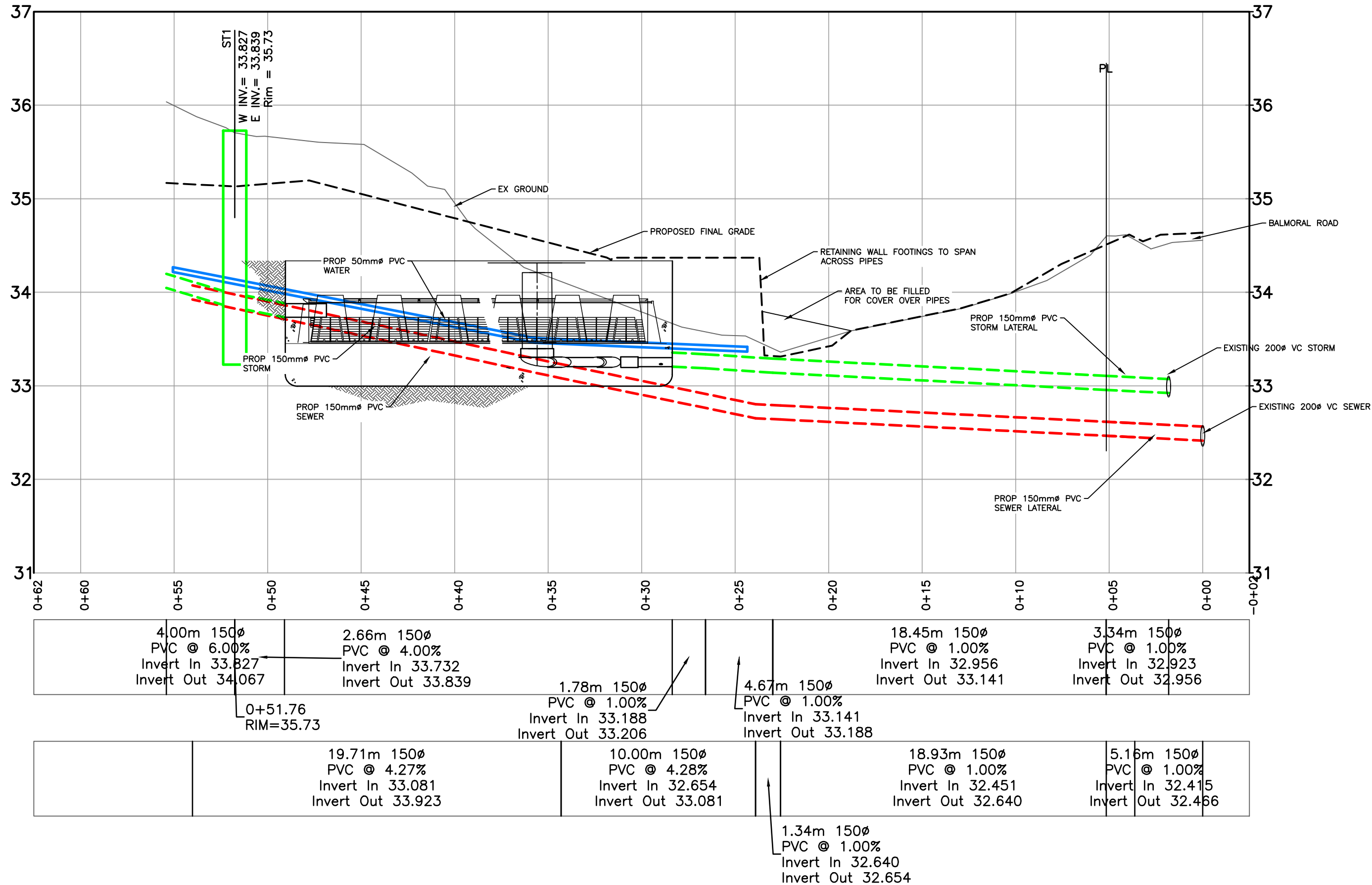


SECTION
SWM STORAGE/FILTRATION TRENCH - D11C



Prop Storm Data:

Prop Sewer Data:



ON SITE STORMWATER MANAGEMENT (SWM) NOTES

CONTRACTORS OBLIGATION

PRE-CONSTRUCTION MEETING
THE CONTRACTOR MUST ARRANGE WITH THE ENGINEER, A PRE-CONSTRUCTION MEETING TO REVIEW THE SWM OBJECTIVES BEFORE SETTING OF ANY FOUNDATION OR BUILDING PERIMETER DRAINS.

REFER TO GENERAL NOTES

SEDIMENT RETENTION
DURING CONSTRUCTION AND RE-ESTABLISHMENT OF VEGETATION AND LAWN, SURFACE WATER RUN-OFF FROM DISTURBED AREAS OF THE PROJECT, OR ANY OTHER SOURCE OF SEDIMENT OR POLLUTANT LADEN WATER, SHALL NOT BE ROUTED THROUGH ANY STORMWATER MANAGEMENT SYSTEM. A SEDIMENT POND, TRAP, PERIMETER PROTECTION, SUCH AS SILT FENCES, OR OTHER ENGINEER APPROVED SURFACE TREATMENTS SHALL BE USED.

COMMISSIONING OF SWM SYSTEMS
TEMPORARY EROSION AND SILT CONTROL TREATMENTS SHALL REMAIN IN PLACE UNTIL THE ENTIRE SITE HAS BEEN STABILIZED AND VEGETATION RE-ESTABLISHED.

SWM OBJECTIVES

GENERAL
ALL LOTS SHALL BE PROVIDED WITH STORMWATER MANAGEMENT SYSTEMS FOR IMPERVIOUS SURFACES.

THIS PLAN SHOWS REPRESENTATIVE EXAMPLES OF TYPICAL SWM CONFIGURATIONS FOR EACH LOT.

THE OWNER AND CONTRACTOR SHALL CONSULT WITH THE ENGINEER REGARDING THE ULTIMATE ARRANGEMENT AND SCOPE OF REQUIRED SWM COMPONENTS.

INTENT OF SWM IS TO REDIRECT ALL HARD LANDSCAPE RUNOFF INTO ENGINEERED SYSTEMS FOR WATER RECHARGE TO SURFACE OR GROUND FOR DISPERSION AND OR INFILTRATION AS WELL AS TO REDUCE THE IMPACT THE DOWNSTREAM MUNICIPAL MAIN.

BUILDING FOUNDATION PERIMETER DRAINS

THE FOUNDATION PERIMETER DRAINS (PD) FROM BUILDINGS SHALL BE DIRECTLY CONNECTED TO THE COMMON OR MUNICIPAL DRAIN CONNECTION AS APPLICABLE, AND NOT ROUTED THROUGH THE ROOF OR DRIVEWAY DRAIN SYSTEMS.

FOUNDATION DRAINS TO BE PROVIDED OTHERWISE AS REQUIRED BY THE BC BUILDING CODE.

BUILDING ROOF DRAINS

THE ROOF DOWNSPOUTS (RD) FROM DWELLINGS ARE TO BE SEPARATE FROM THE FOUNDATION PERIMETER DRAIN AND ROUTED THROUGH THE SWM SYSTEMS PRESCRIBED HEREIN.

ON-SITE DRIVEWAYS

NEW DRIVEWAY SURFACE AREAS HAVE BEEN INCLUDED IN STORMWATER STORAGE CALCULATIONS.

EMERGENCY STORM OVERFLOWS MUST BE DIRECTED TO MUNICIPAL SYSTEM AS INDICATED IN D11C.

SWM SYSTEM DESIGN NOTES

FOUNDATION PERIMETER DRAINS
PROVIDE DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC PLUMBING CODE UNLESS OTHERWISE APPROVED BY THE ENGINEER.

ROOF DRAINS

PROVIDE ROOF WATER LEADERS AND PERIMETER ROOF DRAINS SUBSTANTIALLY IN ACCORDANCE WITH THE BC BUILDING CODE AS SHOWN ON THE APPROVED BUILDING PLANS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

DIRECT 100MM ROOF WATER COLLECTION PIPE TO STORAGE/FILTRATION CHAMBER TRENCHES VIA SWM SILT TRAP AS INDICATED.

REFER TO DETAIL D11C

STORMWATER MANAGEMENT

- A SILT TRAP**
SWM RELATED SILT TRAPS (ST) TO BE CONSTRUCTED AS SHOWN IN DETAIL D12B
- B STORAGE/ FILTRATION CHAMBER TRENCHES**
CHAMBER TRENCHES (TRN) TO BE CONSTRUCTED AS SHOWN IN DETAIL D11C
- C TRENCH DAMS**
ALL TRENCH DAMS ARE TO BE PROVIDED AS FULL DEPTH COMPACTED CLAY OR OTHER APPROVED IMPERVIOUS BARRIER. OBJECTIVE IS TO ISOLATE THE INFILTRATOR TRENCH AND BED AREA FROM UPSTREAM WATER INGRESS AND DOWNSTREAM WATER EGRESS. LOCATIONS TO BE INDICATED BY ENGINEER ON SITE.
- D CONTROLLED OUTLETS / MONITORING WELLS**
CONTROL STRUCTURE AS SHOWN IN DETAIL D11C. COVER TO BE SET FLUSH WITH FINISHED GRADE.

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES

THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND	
Existing Municipal Infrastructure	Drain —D—
Proposed Municipal Infrastructure	Ditch —D—
Existing External U/G Utilities	Sewer —S—
Proposed External U/G Utilities	Water —W—
Street Lighting	Pole Mount —P—
Post Top	Pedestrian Signal —P—
	Traffic Signal —T—
	Ctrl Monument —C—
	Traverse Hub —H—
	Gas Valve —G—
	Water Meter —M—
	Valve —V—
	Flush Valve —FV—
	Hydrant —H—
	Reducer —R—
	Air Valve —A—
	Water Meter —M—

REVISIONS

REVISION # 1			REVISION # 2			REVISION # 3		
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed
Design Engineer			Design Engineer			Design Engineer		
Manager of Development			Manager of Development			Manager of Development		
Development Coordinator			Development Coordinator			Development Coordinator		

DESIGN APPROVED

Approved By	Date	Signed
Design Engineer		
Manager of Development		
Development Coordinator		

DISTRICT OF SAANICH

1705,1703 FERNWOOD & 1312 BALMORAL ROAD

SEWER, STORM, WATER AND ROAD SERVICES

B.M. : GMC 286187	Elev: 37.792
Design: ESK	Drawn: ESK
Scale: Hor: 1:250	Vertical: 1:50
Date: APRIL 2024	Checked: ESK

SAANICH FILE No.

SAANICH DESIGN No.

DRAWING No.

Sheet 2 of 5



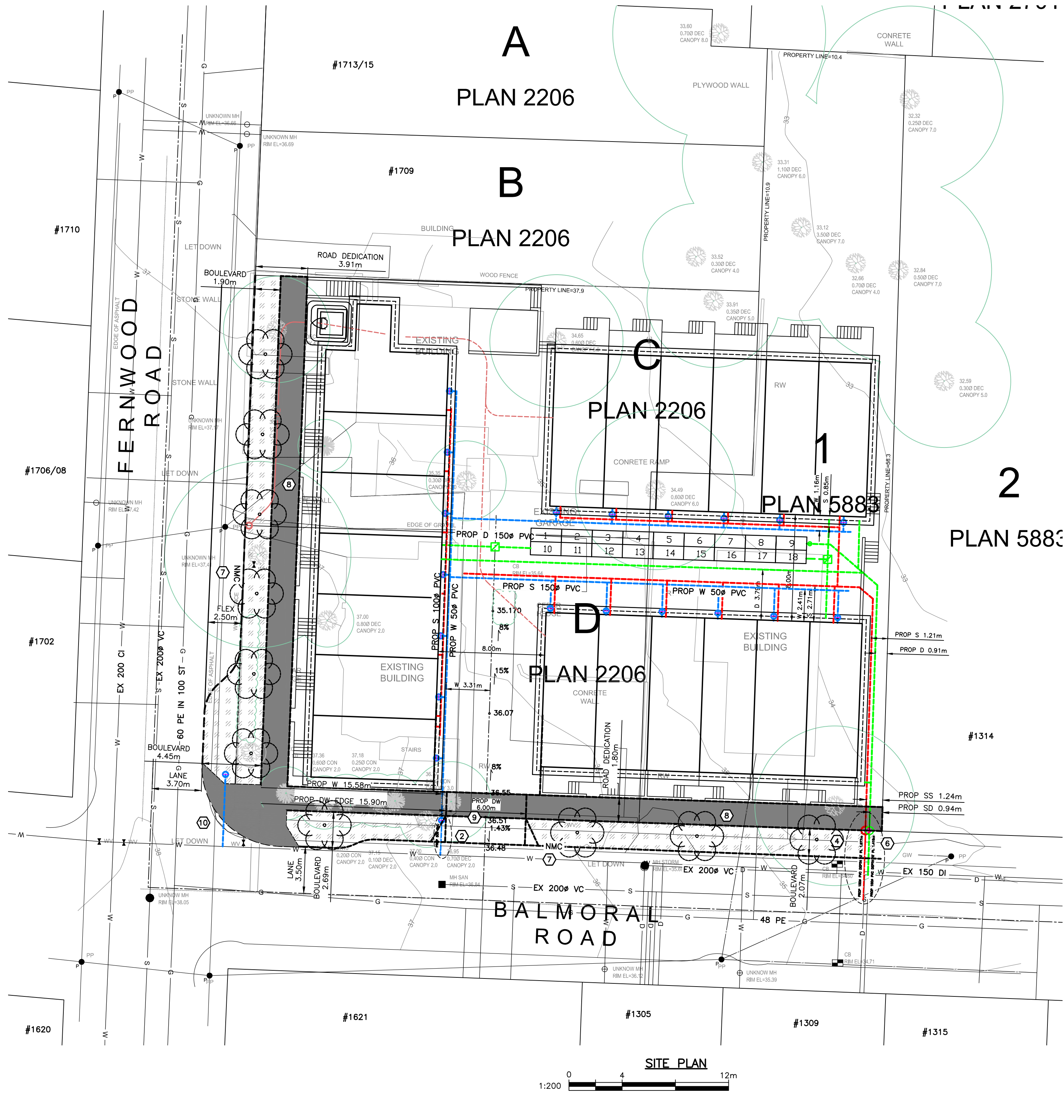
THE CITY OF VICTORIA January 14, 2025 / U:\CS1400 Customer Files\2024\CV Civil\CV24-10 Fernwood - A Frame\03 EN-CN\040 Internal Drawings\00 Current\CV24-10 25 Site Servicing Plan.dwg

NOTES:

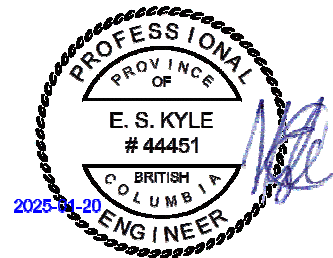
THIS DRAWING SHOWS THE FINAL SERVICES LAYOUT, WITH THE SERVICES TO BE CAPPED REMOVED FROM THE DRAWING FOR CLARITY.

DETAILED CONSTRUCTION NOTES:

- 1 REMOVED
- 2 NEW 50mm WATER SERVICE AND METER BY CoV AT APPLICANTS EXPENSE.
- 3 REMOVED
- 4 150mm PVC SEWER CONNECTION AT 1% AND IC BY CoV AT APPLICANTS EXPENSE.
- 5 REMOVED
- 6 150mm PVC STORM WATER CONNECTION AND IC BY CONTRACTOR AT APPLICANTS EXPENSE.
- 7 REMOVE EXISTING AND REPLACE WITH NEW CURB AND GUTTER WITH NEW 300mm GUTTER PAN NON MOUNTABLE CURB AND GUTTER (MMCD C4) AS SHOWN
- 8 REMOVE EXISTING AND REPLACE WITH NEW SIDEWALK ALONG FRONTAGE TO NEAREST JOINT LINE. AS SHOWN. (2.0m WIDE ON FERNWOOD, 1.8m WIDE ON BALMORAL) CoV STANDARD DRG SD C7c. BROOM FINISHED
- 9 PROVIDE 6.0m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 2.0m DEEP.
- 10 PROVIDE WHEEL CHAIR RAMP FOR SIDEWALK DROP IN ACCORDANCE WITH CoV STANDARD DRAWING SD C9a

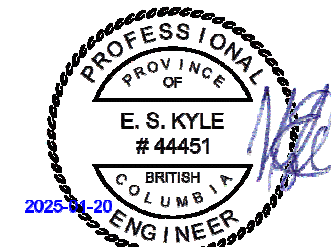
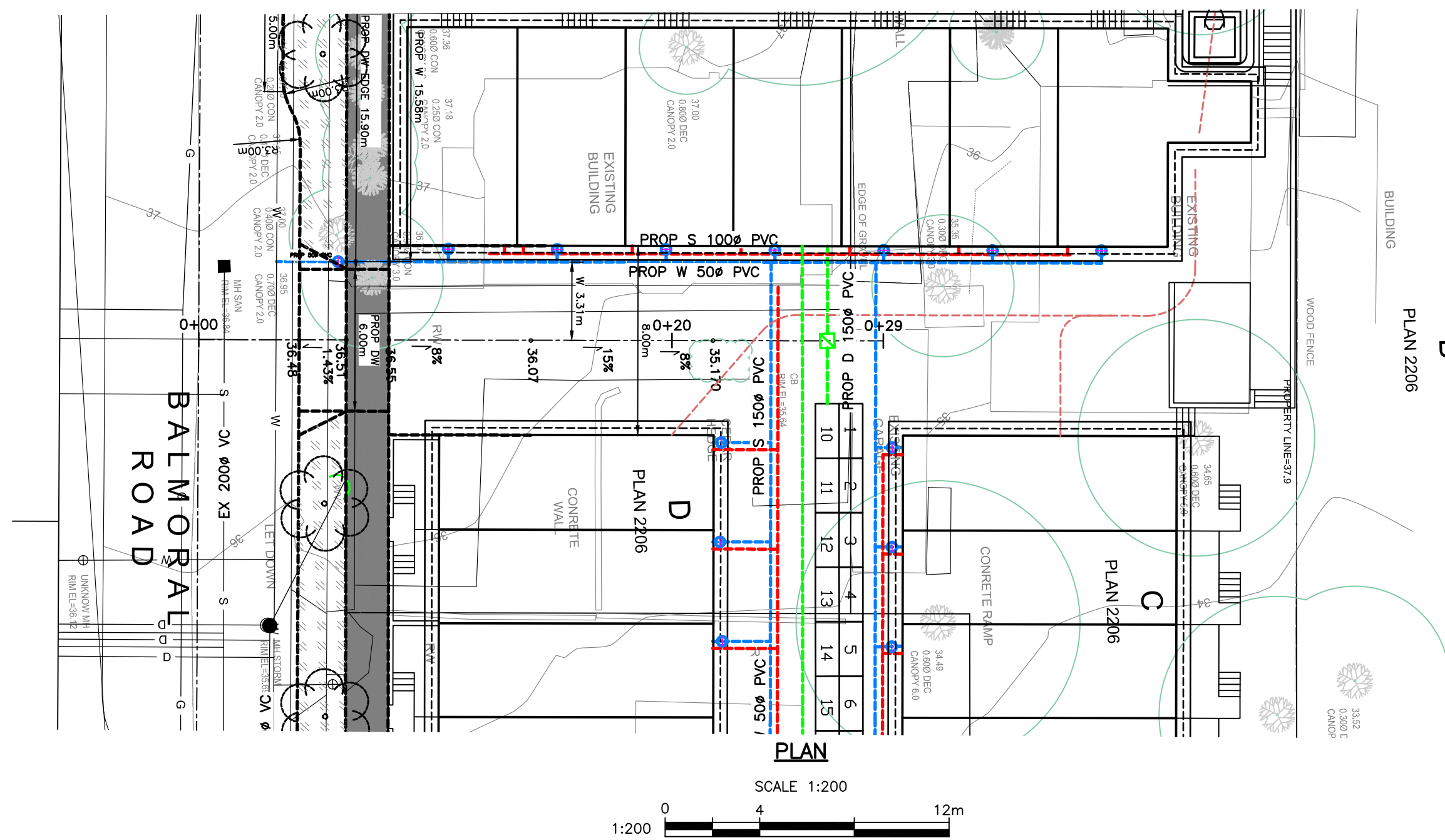
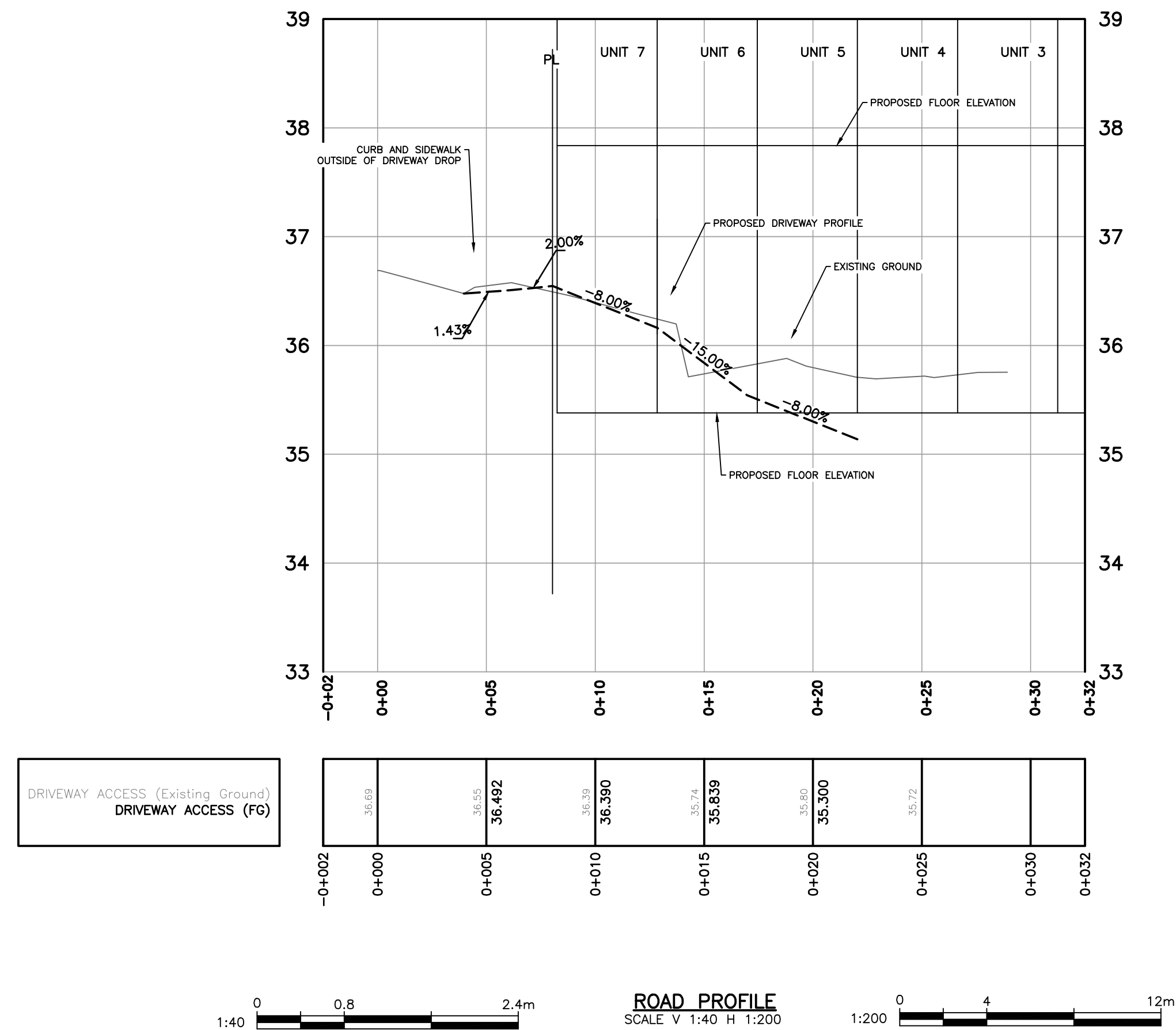


PERMIT TO PRACTICE NUM: 1000348



KYLE ENGINEERING LTD DBA
KYLE ENGINEERING
SUITE 1, 40 CADILLAC
AVE. VICTORIA, BC, V8Z 1T2
250 475 6906

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	LEGEND										REVISIONS		REVISIONS APPROVED									DESIGN APPROVED			CITY OF VICTORIA		FILE No.	—					
													REVISION # 1			REVISION # 2			REVISION # 3			Approved By			Date	Signed	1705,1703 FERNWOOD & 1312 BALMORAL ROAD		DESIGN No.	—			
													Approved			Date	Signed	Approved			Date	Signed	Approved			Date	Signed	SEWER, STORM, WATER AND ROAD SERVICES			DRAWING No.	Sheet 3 of 5	
													Design Engineer			Design Engineer			Design Engineer			Design Engineer			Manager of Development			B.M. : GMC 286187			Elev: 37.792		
													Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Design: ESK			Checked: ESK					
													Scale: Hor: 1:200			Vertical: 1:40			Date: APRIL 2024														
															</																		



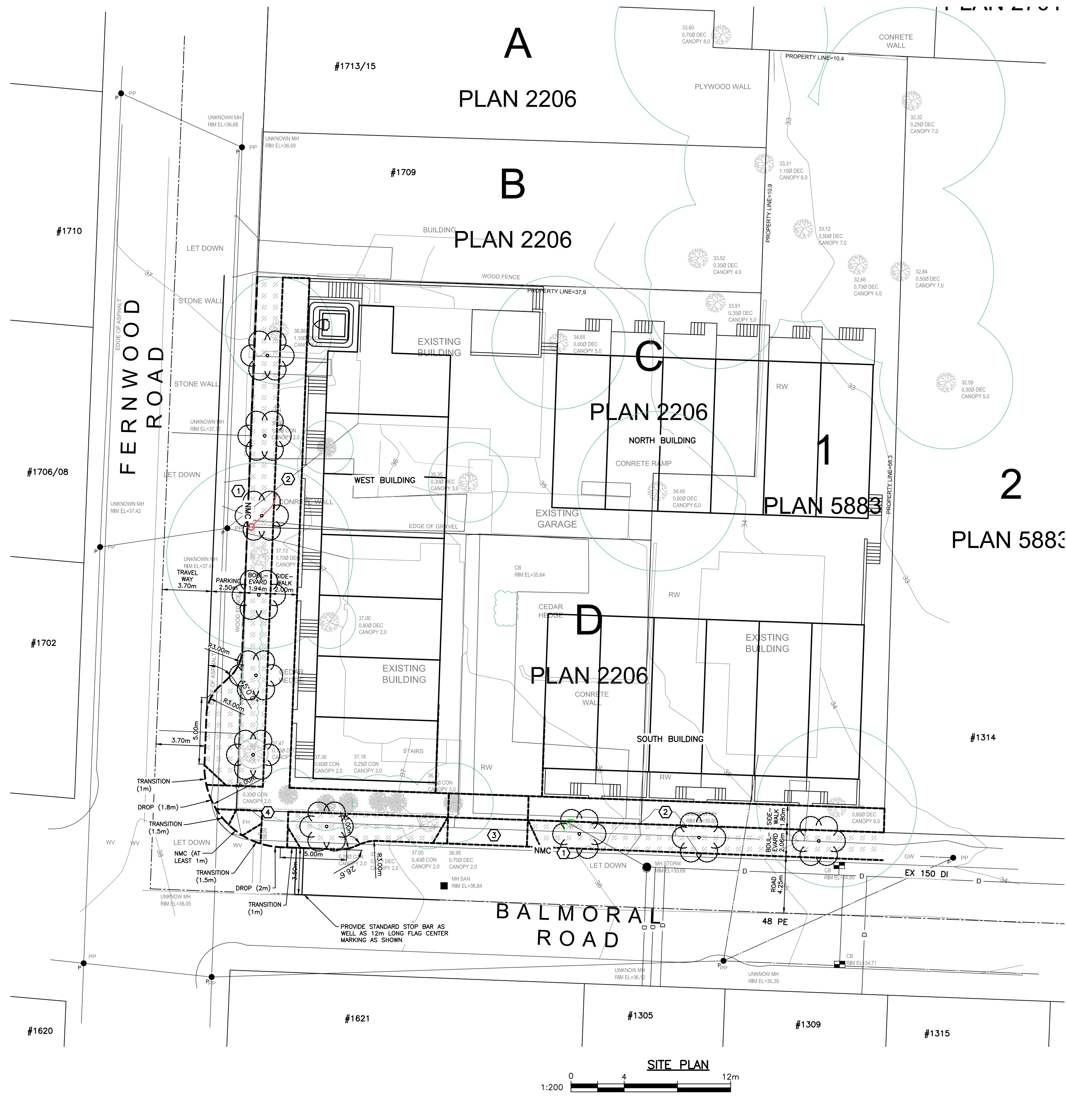
<div>CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES</div> <div>THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.</div>	LEGEND										REVISIONS						REVISIONS APPROVED									DESIGN APPROVED			CITY OF VICTORIA		FILE No.	—	
	Existing Municipal Infrastructure										Drain —D	Curb —C	Concrete Box ☒	Valve ⊗	5	REVISION # 1			REVISION # 2			REVISION # 3			Approved By	Date	Signed	1705,1703 FERNWOOD & 1312 BALMORAL ROAD		DESIGN No.	—		
	Proposed Municipal Infrastructure										Ditch —D—	Sidewalk 5/7	Wood Box ☒	Flush Valve ⊗	6	Approved	Date	Signed	Design Engineer	Date	Signed	Design Engineer	Date	Signed	Design Engineer				DRIVEWAY ENTRANCE DETAILS				
	Existing External U/G Utilities										Sewer —S—	Manhole ☐	Catch Basin ☒	Hydrant ⊗	4				Manager of Development			Manager of Development			Manager of Development				B.M. : GMC 286187	Elev: 37.792			
	Proposed External U/G Utilities										Water —W—	Cleanout ☐	Culvert ☒	Reducer ⊗	3												Design: ESK	Drawn: ESK	Checked: ESK				
	Street Lighting										Pole Mount ☐	Standard Mount ☐	Traffic Signal ☐	Silt Trap ☐	2				Development Coordinator			Development Coordinator			Development Coordinator				Scale: Hor: 1:200	Vertical: 1:40	Date: APRIL 2024		
	Post Top										Pedestrian Signal ☐	Traffic Signal ☐	Ctrl Monument ☐	Traverse Hub ☐	1																		

Sheet 4 of 5

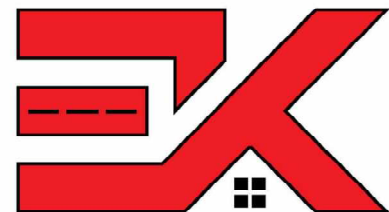
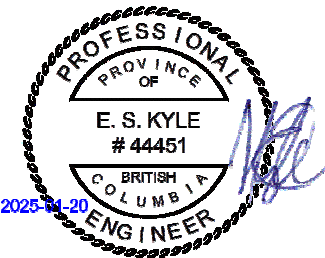
THE CITY OF VICTORIA January 14, 2025 / U:\CS\1400 Customer Files\2024\CV Civil\CV24-10 Fernwood - A Frame\03 EN-CN\040 Internal Drawings\00 Current\CV24-10 25 Site Servicing Plan.dwg

DETAILED CONSTRUCTION NOTES:

- 1 REMOVE EXISTING AND REPLACE WITH NEW CURB AND GUTTER WITH NEW 300mm GUTTER PAN NON MOUNTABLE CURB AND GUTTER (MMCD C4) AS SHOWN
- 2 REMOVE EXISTING AND REPLACE WITH NEW SIDEWALK ALONG FRONTAGE TO NEAREST JOINT LINE. AS SHOWN. (2.0m WIDE ON FERNWOOD, 1.8m WIDE ON BALMORAL) CoV STANDARD DRG SD C7c. BROOM FINISHED
- 3 PROVIDE 6.0m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 2.0m DEEP.
- 4 PROVIDE WHEEL CHAIR RAMP FOR SIDEWALK DROP IN ACCORDANCE WITH CoV STANDARD DRAWING SD C9a. Details to follow on drawing once alignment is agreed upon



PERMIT TO PRACTICE NUM: 1000348



KYLE ENGINEERING LTD DBA
SUITE 1, 40 CADILLAC
AVE. VICTORIA, BC, V8Z 1T2
250 475 6906

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.	LEGEND										REVISIONS			REVISIONS APPROVED									DESIGN APPROVED			CITY OF VICTORIA			FILE No.	—																
																										1705,1703 FERNWOOD & 1312 BALMORAL ROAD			DESIGN No.	—																
																										ROAD SERVICES			DRAWING No.	Sheet 5 of 5																
	THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.																																													
											Existing Municipal Infrastructure											Drain	—D—	Curb	—C—	Concrete Box	☒	Valve	☒	6	REVISION # 1			REVISION # 2			REVISION # 3			Approved By	Date	Signed	B.M. :	GMC 286187	Elev:	37.792
											Proposed Municipal Infrastructure											Ditch	—D—	Sidewalk	—S/W—	Wood Box	☒	Flush Valve	☒	5	Approved	Date	Signed	Design Engineer			Design:	ESK	Drawn:	ESK	Checked:	ESK				
											Existing External U/G Utilities											Sewer	—S—	Manhole	☒	Catch Basin	☒	Hydrant	☒	4	Design Engineer			Manager of Development			Manager of Development			Scale:	Hor: 1:200	Vertical: 1:40	Date: APRIL 2024			
											Proposed External U/G Utilities											Water	—W—	Cleanout	☒	Culvert	☒	Reducer	☒	3	Manager of Development			Manager of Development			Development Coordinator									
Street Lighting											Pole Mount	☒	Standard Mount	☒	Traffic Sign	☒	Silt Trap	☒	2	Development Coordinator			Development Coordinator																							
Post Top											☒	Pedestrian Signal	☒	Traffic Signal	☒	Ctrl Monument	☒	Traverse Hub	☒	1																										
																Gas Valve	☒	Water Meter	☒																											