

# FERNWOOD ROAD MISSING MIDDLE TOWNHOMES



Project Rendering - North Looking View @ Balmoral Road

LIST OF ABBREVIATIONS	
The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.	
ACST	Acrylic Stucco
ACT	Acoustical Tile
AFF	Above Finished Floor
AL	Architectural
BG	Building Grade
CEM	Cementitious Backing Board
Conc	Concrete
CBK	Concrete Block
CL	Ceramic Tile
CPT	Carpet Tile
CT	Ceramic Tile
DD	Design Drawings
EL	Elevation
EPC	Epoxy Polymer Coating
EXP AGG	Exposed Aggregate
EXT	Exterior
FD	Floor Drain
FEC	Fire Extinguisher Cabinet
FFE	Finished Floor Elevation
FG	Finished Grade
GB	Grade
GBL	Glass Block
GL	Glass
GWG	Georgia Wire Glass
GWB	Gyproc Wallboard
HC	Hollow Core
HCW	Hollow Core Wood
H/C	Handicap
HM	Hollow Metal
HP	High Point
H/W	Horizontal
INS	Insulated
LAM	Laminated Glass
LP	Low Point
MDFB	Medium Density Fibreboard Base
MR	Mirror
MP	Metal Panel
T/LAM	Tempered / Laminated Glass
TGL	Tempered Glass
T/LGL	Translucent Glass
TCC	Top of Concrete
TOI	Top of Insulation
TOP	Top of Parapet
TOS	Top of Slab
TOW	Top of Wall
TP	Toilet Paper
PTD	Paper Towel Dispenser
PTDW	Paper Towel Dispenser / Waste
PTW	Paper Towel Waste
RA	Roof Anchor
RB	Rubber Base
RES	Resilient Flooring
RD	Root Drain
RD-P	Root Drain - Planter
RWL	Rain Water Leader
SACI	Synthetic Applied Fibrous Insulation
SCW	Solid Core Wood
SD	Soap Dispenser
SL	Sealer
SP	Spandrel Glass
SPC	Solid Particleboard Core
WPM	Waterproof Membrane
WRC	Water Repellent Coating
ST	Structure
STL	Steel
STN	Stained
STNT	Stone Tile
SS	Stainless Steel
SVF	Sheet Vinyl Flooring
TB	Towel Bar
T/D	Tempered / Double Glazed
MDFB	Medium Density Fibreboard Base
MR	Mirror
MP	Metal Panel
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SL	Sealer
SP	Spandrel Glass
SPC	Solid Particleboard Core
WPM	Waterproof Membrane
WRC	Water Repellent Coating

ANNOTATIONS LEGEND	
The following annotations are used on architectural drawings and details:	
BEDROOM	ROOM NUMBER & ROOM NUMBER
101a	DOOR NUMBER See Door Schedule
W-10	WINDOW NUMBER See Window Schedule
W1	WALL TYPE See Assemblies Schedule
2.0 hr	RATED WALL DESIGNATION
0.00	ELEVATION DATUM
2440	CEILING HEIGHT
1	KEYNOTE SYMBOL
12	MATERIAL TAG
1 A901	INTERIOR ELEVATION REFERENCE
W1 C1 F1 B1	ROOM FINISHES







Perspective Rendering at Fernwood Road

4	250122	ISSUED FOR DP REVISIONS
2	241030	ISSUED FOR DP REVISIONS
Rev.		Date/Description

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Scale Project Number 2404

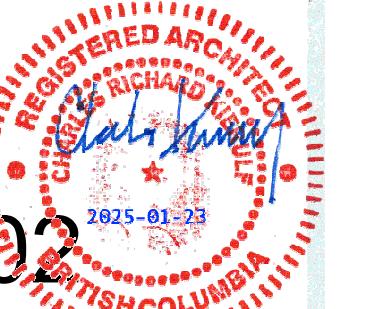
NOTE: All dimensions are shown in millimeters.

**Fernwood Road**  
Missing Middle  
Townhomes

Perspective Views

— dHKa A002

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Perspective Rendering at Balmoral Road

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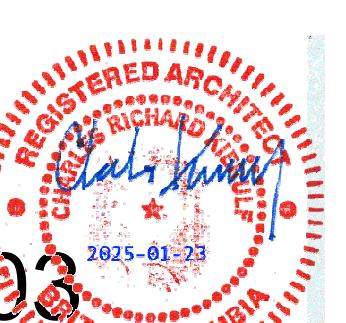
Fernwood Road  
Missing Middle  
Townhomes

Perspective Views

— dHKa

A002

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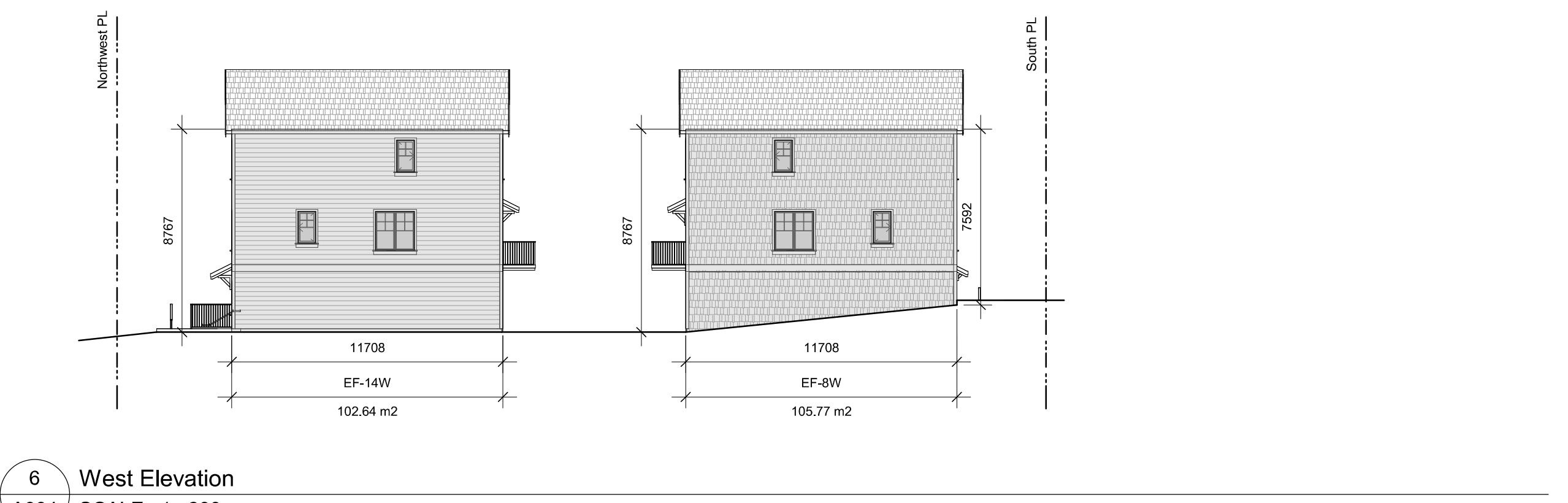
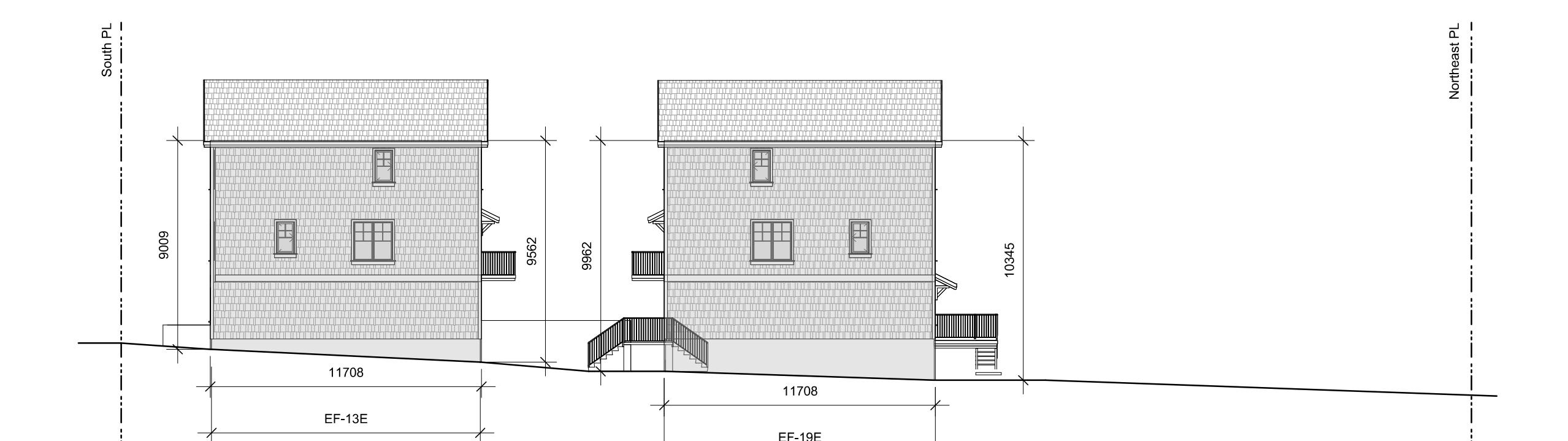


## LIMITING DISTANCE CALCULATIONS

WEST BUILDING										
Wall	Area of Exposed Building Faces (m <sup>2</sup> )	Limiting Distance (m)	Length/Height (m)	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Permitted Construction	Permitted Cladding	Proposed Construction	Proposed Cladding
EF-1E	40.9	4.0	4.7 x 8.8	28.0	15.2	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-2E	40.1	4.0	4.6 x 8.8	28.0	15.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-3E	40.1	4.0	4.6 x 8.8	28.0	15.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-4E	40.1	4.0	4.6 x 8.8	28.0	15.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-5E	39.3	4.0	4.6 x 8.6	32.0	13.6	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-6E	37.3	4.0	4.6 x 8.1	32.0	14.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-7E	35.6	4.0	4.7 x 8.8	32.0	15.0	N/A	Combustible	Combustible	Combustible	Non-Combustible

SOUTH BUILDING										
Wall	Area of Exposed Building Faces (m <sup>2</sup> )	Limiting Distance (m)	Length/Height (m)	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Permitted Construction	Permitted Cladding	Proposed Construction	Proposed Cladding
EF-8N	35.9	4.0	4.1 x 8.9	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-9N	35.9	4.0	4.0 x 9.0	32.0	17.0	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-10N	35.2	4.0	4.0 x 9.0	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-11N	35.9	4.0	4.0 x 9.1	32.0	17.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-12N	34.7	4.0	4.0 x 8.8	32.0	17.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-13N	35.5	4.0	4.1 x 8.8	32.0	17.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-13E	108.7	1.8	11.7 x 9.3	7.0	4.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-8W	105.8	4.0	11.7 x 8.2	12.0	4.6	N/A	Combustible	Combustible	Combustible	Non-Combustible

NORTH BUILDING										
Wall	Area of Exposed Building Faces (m <sup>2</sup> )	Limiting Distance (m)	Length/Height (m)	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Permitted Construction	Permitted Cladding	Proposed Construction	Proposed Cladding
EF-14N	38.0	4.0	4.1 x 10.1	32.0	17.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-15N	39.5	4.0	4.0 x 10.0	32.0	16.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-16N	38.3	4.0	4.0 x 9.9	32.0	17.4	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-17N	39.4	4.0	4.0 x 9.9	32.0	16.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-18N	38.9	4.0	4.0 x 9.8	32.0	17.1	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-19N	40.7	4.0	4.1 x 9.5	28.0	16.4	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-19E	118.9	1.8	11.7 x 10.2	7.0	4.1	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-14S	35.9	4.0	4.1 x 8.9	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-15S	35.9	4.0	4.0 x 9.1	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-16S	35.2	4.0	4.0 x 9.1	32.0	17.0	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-17S	35.9	4.0	4.0 x 9.1	32.0	17.3	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-18S	34.7	4.0	4.0 x 8.7	32.0	17.9	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-19S	35.5	4.0	4.1 x 8.7	32.0	17.5	N/A	Combustible	Combustible	Combustible	Non-Combustible
EF-14W	102.6	4.0	11.7 x 8.8	12.0	4.8	N/A	Combustible	Combustible	Combustible	Non-Combustible

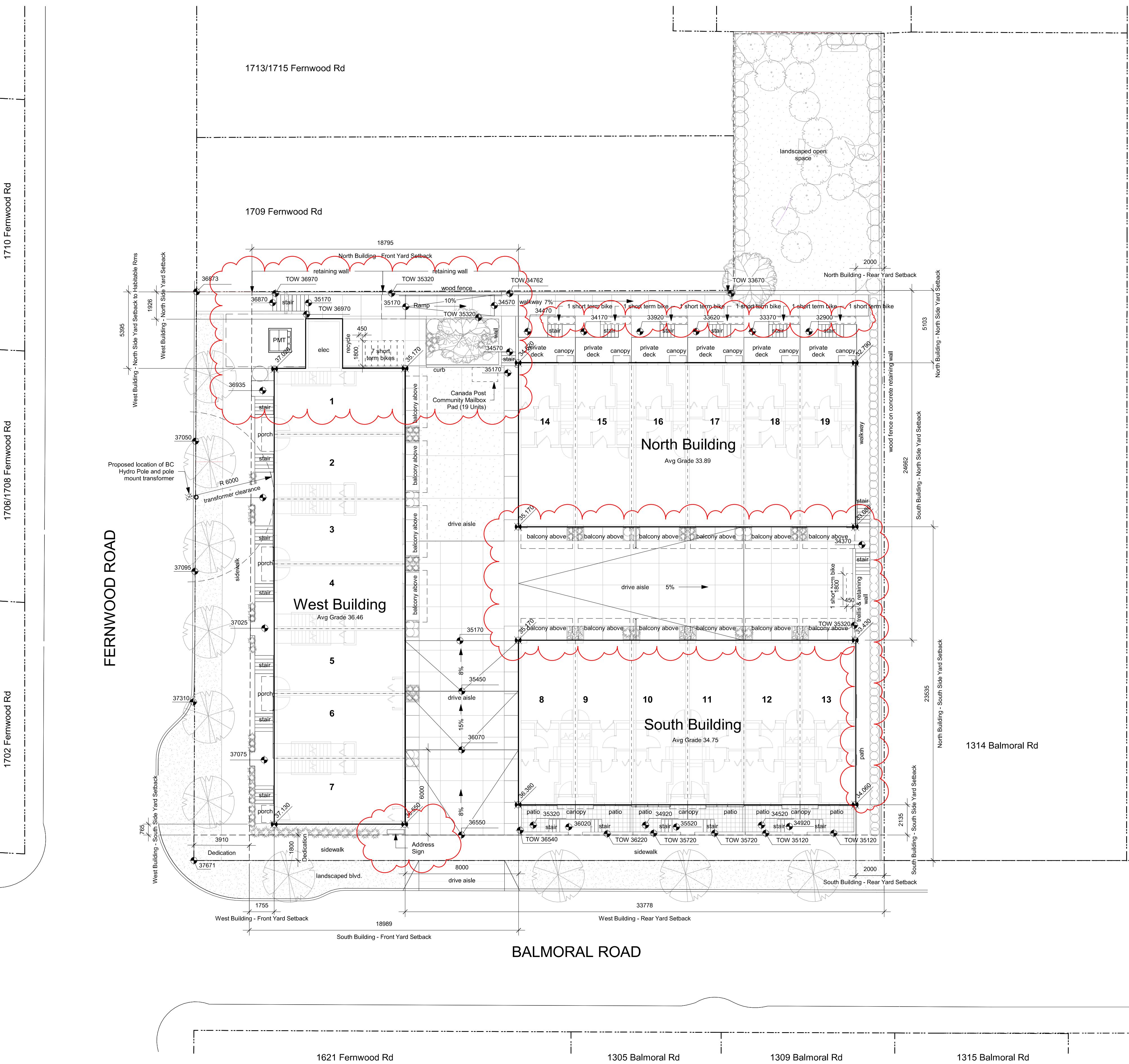


Fernwood Road  
Missing Middle  
Townhomes

Code Summary -  
Limiting Distances

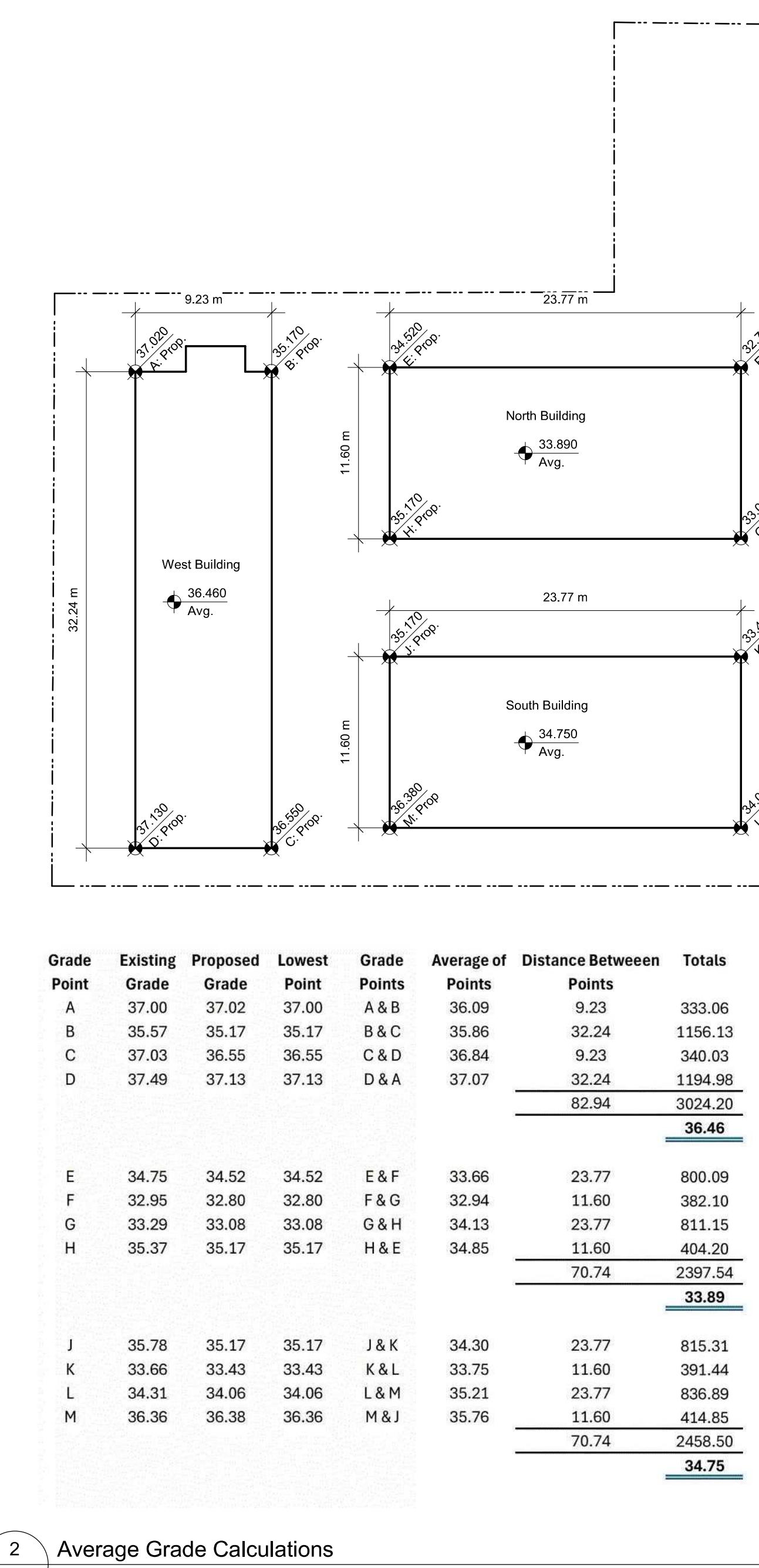


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1 Site Plan - Dedication 240923  
A101 SCALE: 1 : 150

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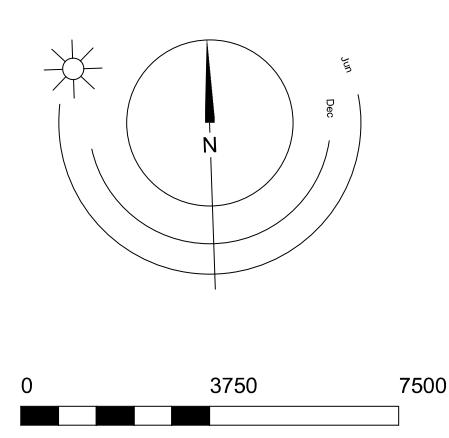
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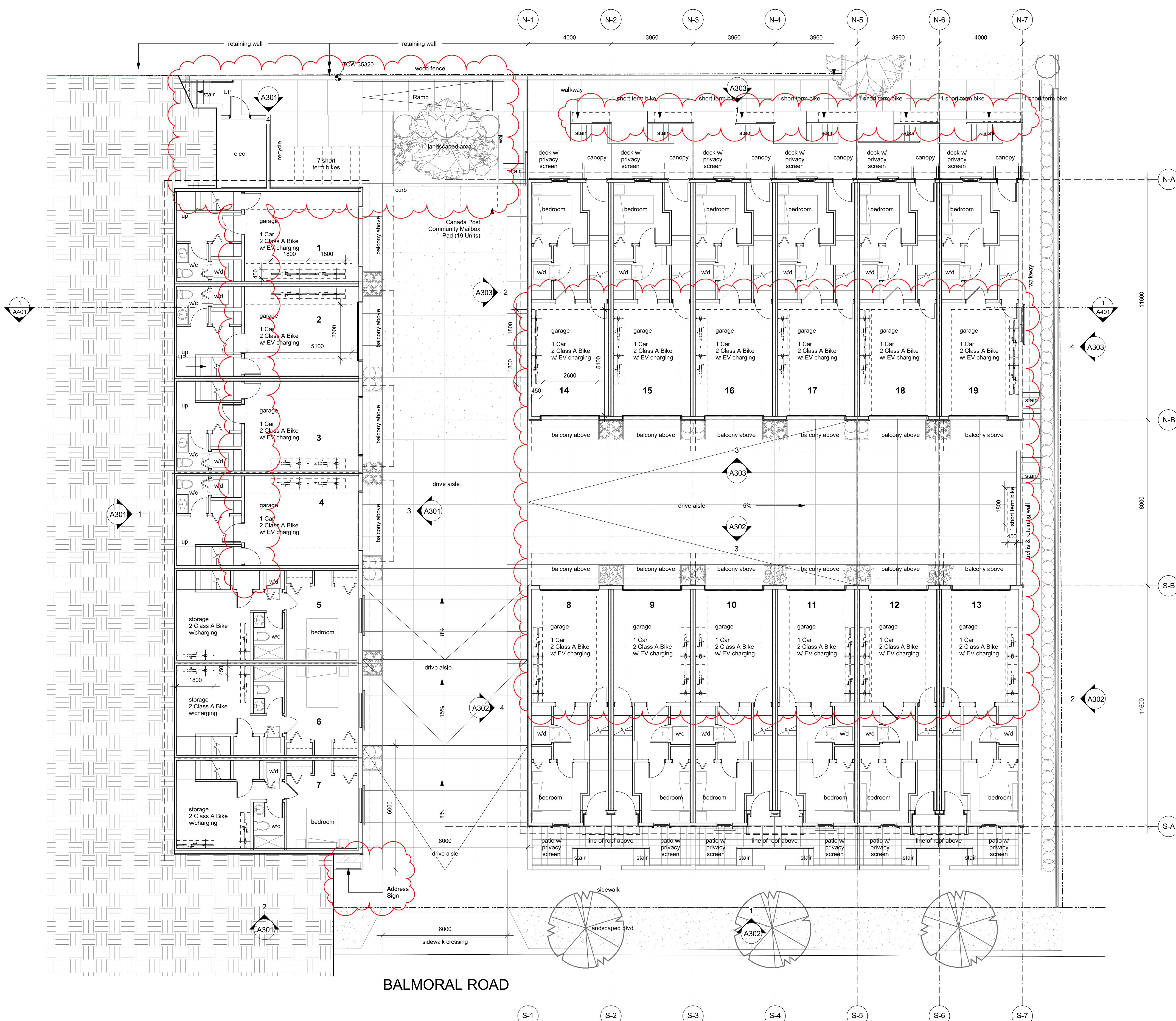
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NOTE: All dimensions are shown in millimeters.  
**Fernwood Road Missing Middle Townhomes**

**Site Plan**

**A101**  
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1 Overall L1 Plan  
A201 SCALE: 1 : 100

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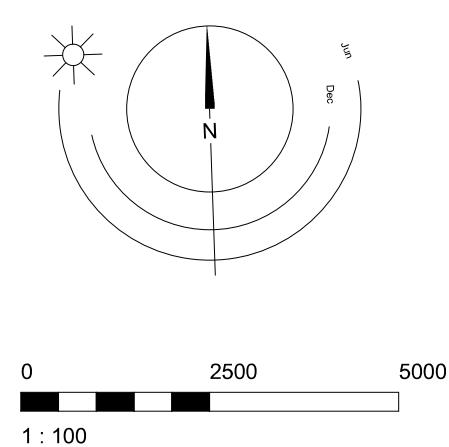
**Fernwood Road  
Missing Middle  
Townhomes**

**Overall L1 Plan**



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V8V 3K3

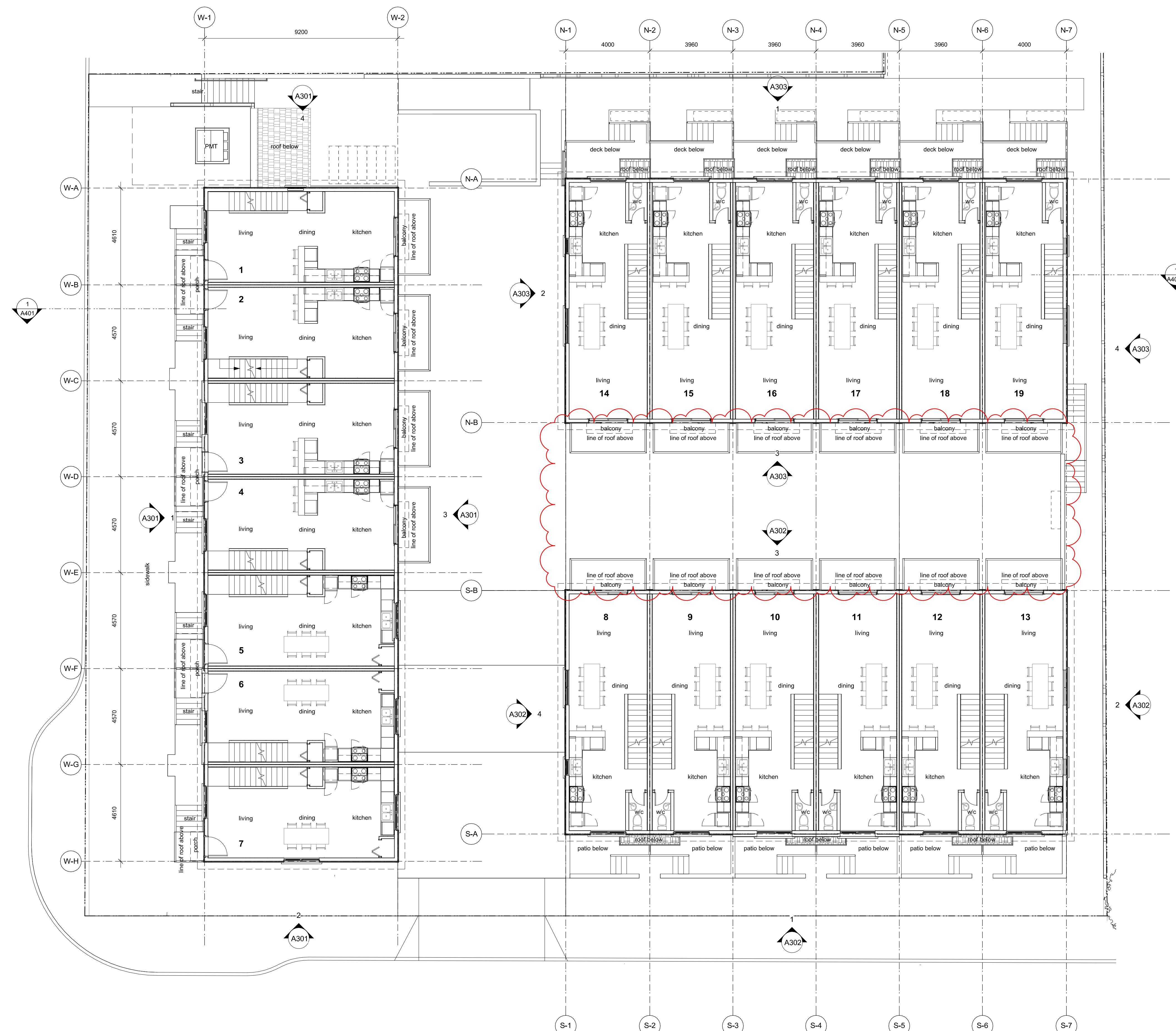
REGISTERED ARCHITECT  
GREGORY RICHARD  
2025-01-23  
BRITISH COLUMBIA



0 2500 5000 mm  
1 : 100

1 : 250

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1 Overall L2 Plan  
A202

SCALE: 1 : 100

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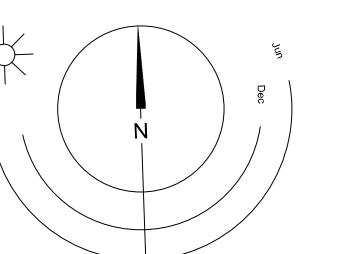
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Scale 1 : 100 Project Number 2404

NOTE: All dimensions are shown in millimeters.  
Fernwood Road  
Missing Middle  
Townhomes

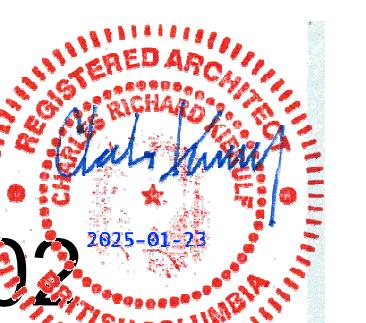
Overall L2 Plan

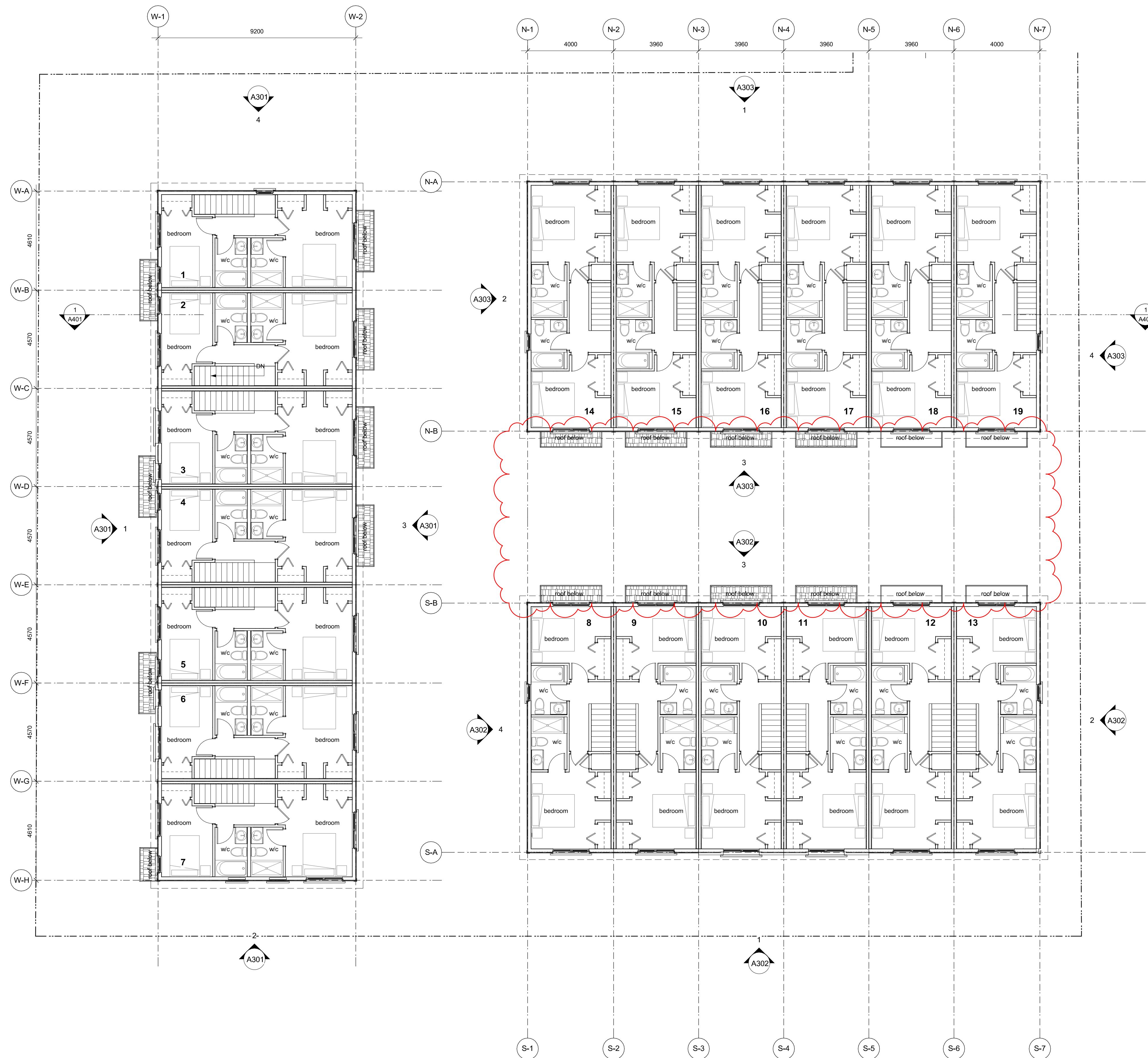
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1 : 100





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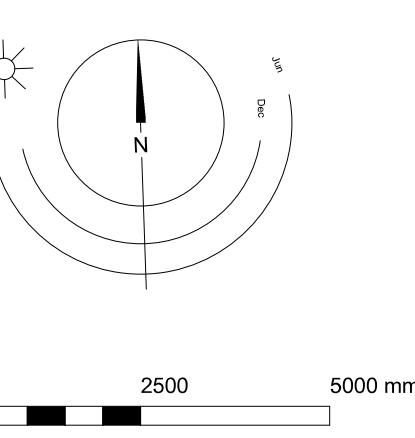
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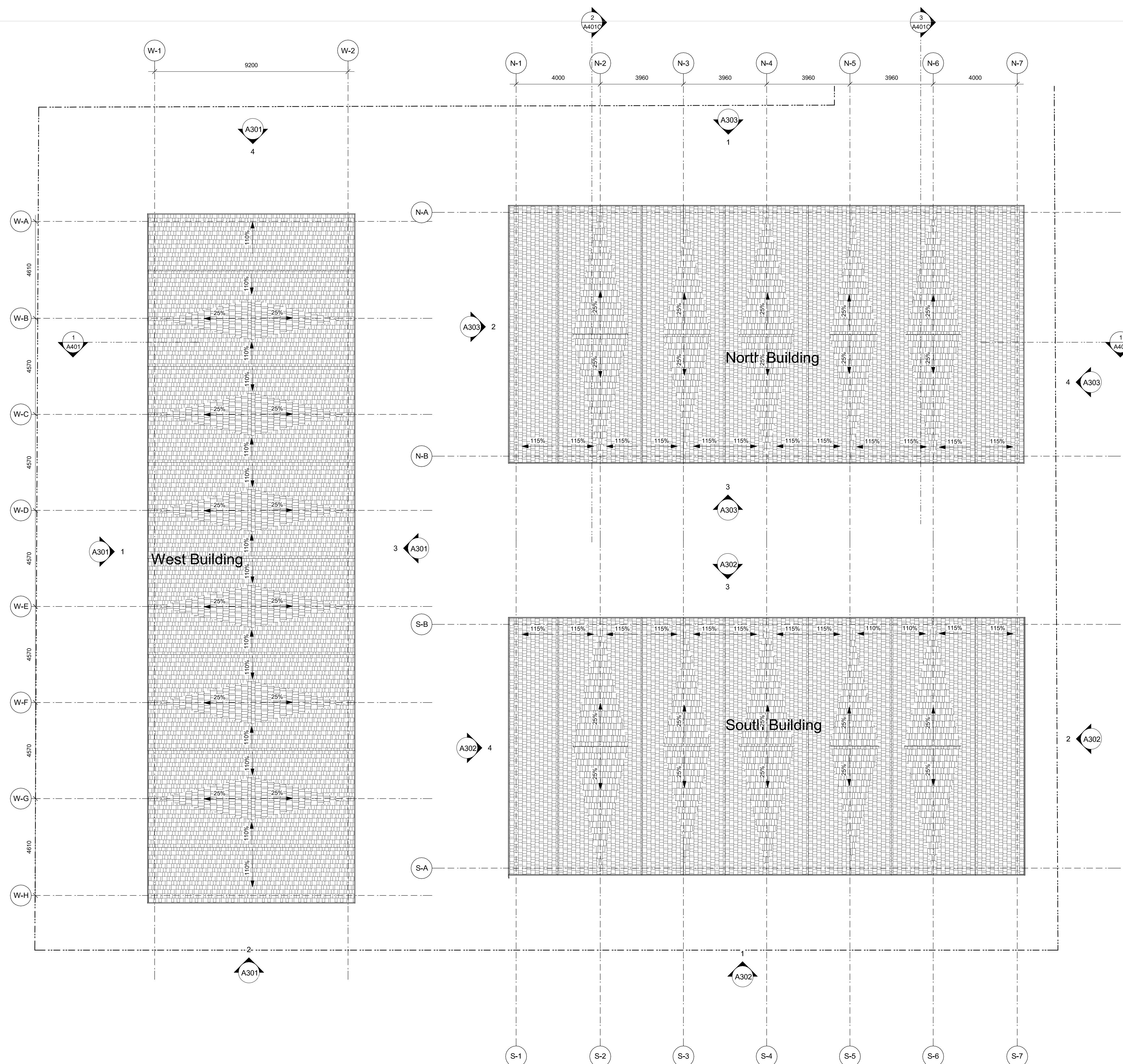
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Fernwood Road  
Missing Middle  
Townhomes

Overall L3 Plan

REGISTERED ARCHITECT  
SARAH RICHARDSON  
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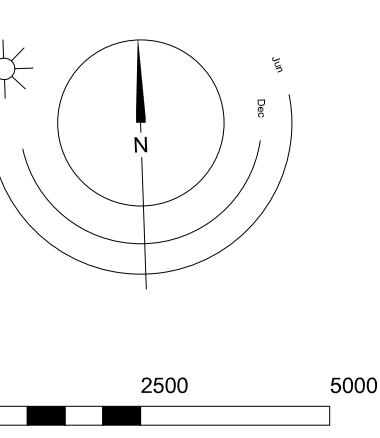


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Scale | 1:100 | Project Number | 2404  
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Fernwood Road  
Missing Middle  
Townhomes

Overall Roof Plan

REGISTERED ARCHITECT  
RICHARD J. SMITH  
A204  
dHKArchitects  
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1 Fernwood Elevation  
A300 SCALE: 1 : 100



2 Balmoral Elevation  
A300 SCALE: 1 : 100

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Checked	2404	Project Number

NOTE: All dimensions are shown in millimeters.

Fernwood Road  
Missing Middle  
Townhomes

Street Elevations

- 1 Concrete - Smooth Finish, Sealed
- 2 Brick Veneer
- 3 Metal Guard Railing
- 4 Pressure Treated Wood Guard
- 5 Pressure Treated Wood Stair/Decking
- 6 Fibre Cement Lap Siding
- 7 Fibre Cement Shingles
- 8 Fibre Cement Panels
- 9 Fibre Cement Trim
- 10 Canopy w/ Knee Braces
- 11 Asphalt Shingles
- 12 Windows - Prefinished Vinyl w/ Low-E Glazing
- 13 Doors - Painted w/ View Lite
- 14 Doors - Painted Fibreglass Overhead Garage
- 15 Doors - Prefinished Vinyl Slide w/ Low-E Glazing
- 16 Doors - Painted Fibreglass Swing
- 17 Prefinished Rainwater Leader
- 18 Carriage Light
- 19 Fence - Wood, See Landscape
- 20 Fence - Metal Picket, See Landscape

## Colour Legend

**A** Arctic White

**B** Night Gray

**C** Pearl Gray

**D** Gray Slate

**E** Boothbay Blue

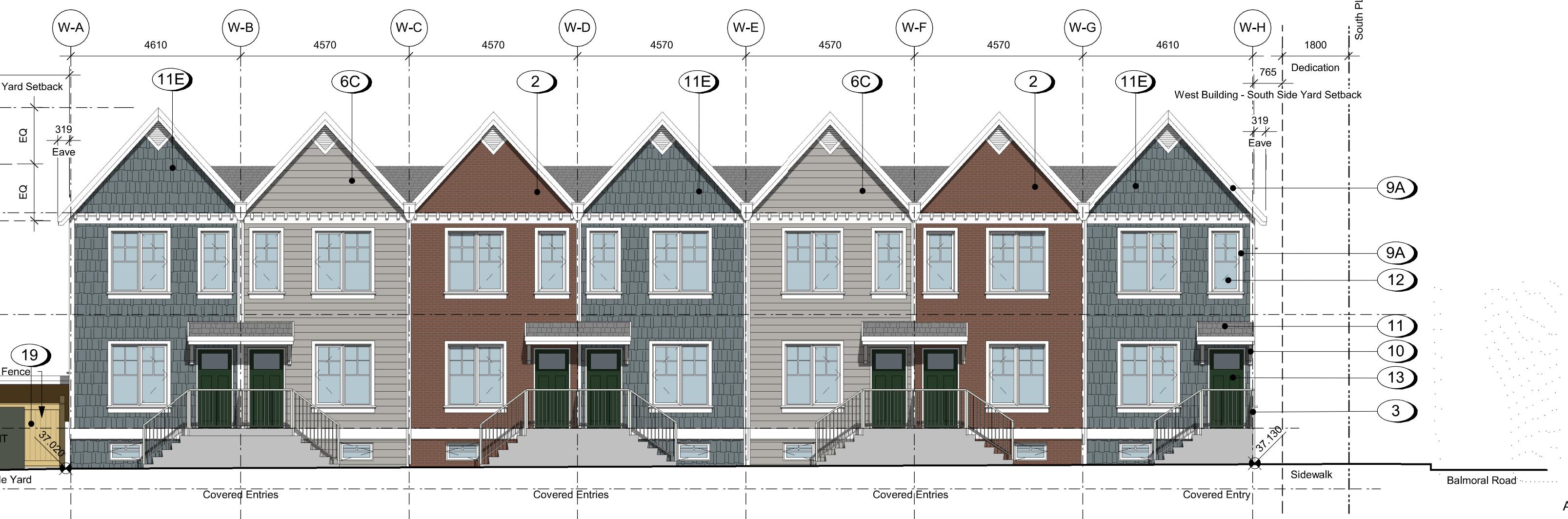
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TE: All dimensions are shown in millimeters.

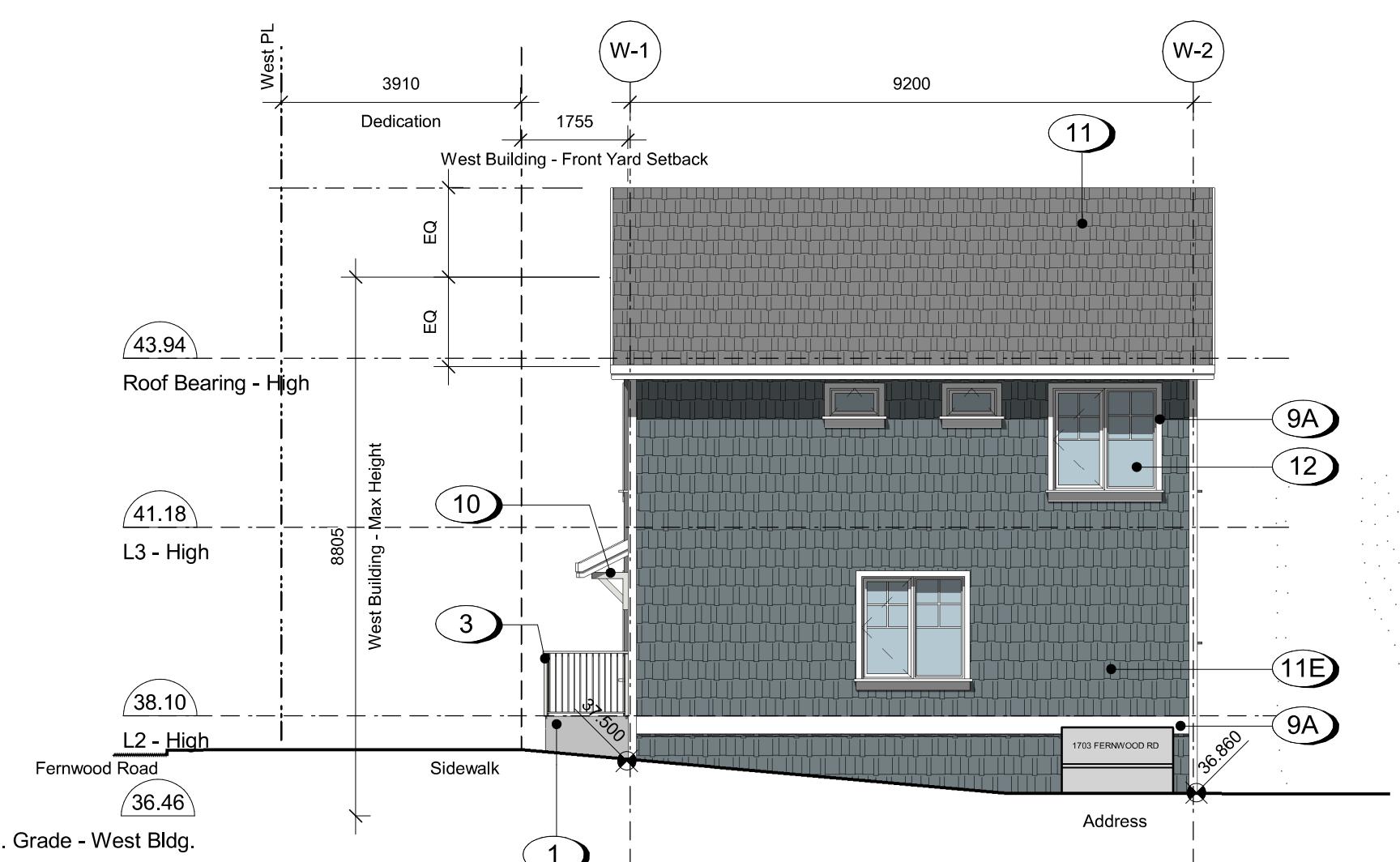
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# Fernwood Road Missing Middle Townhomes

# West Building Elevations



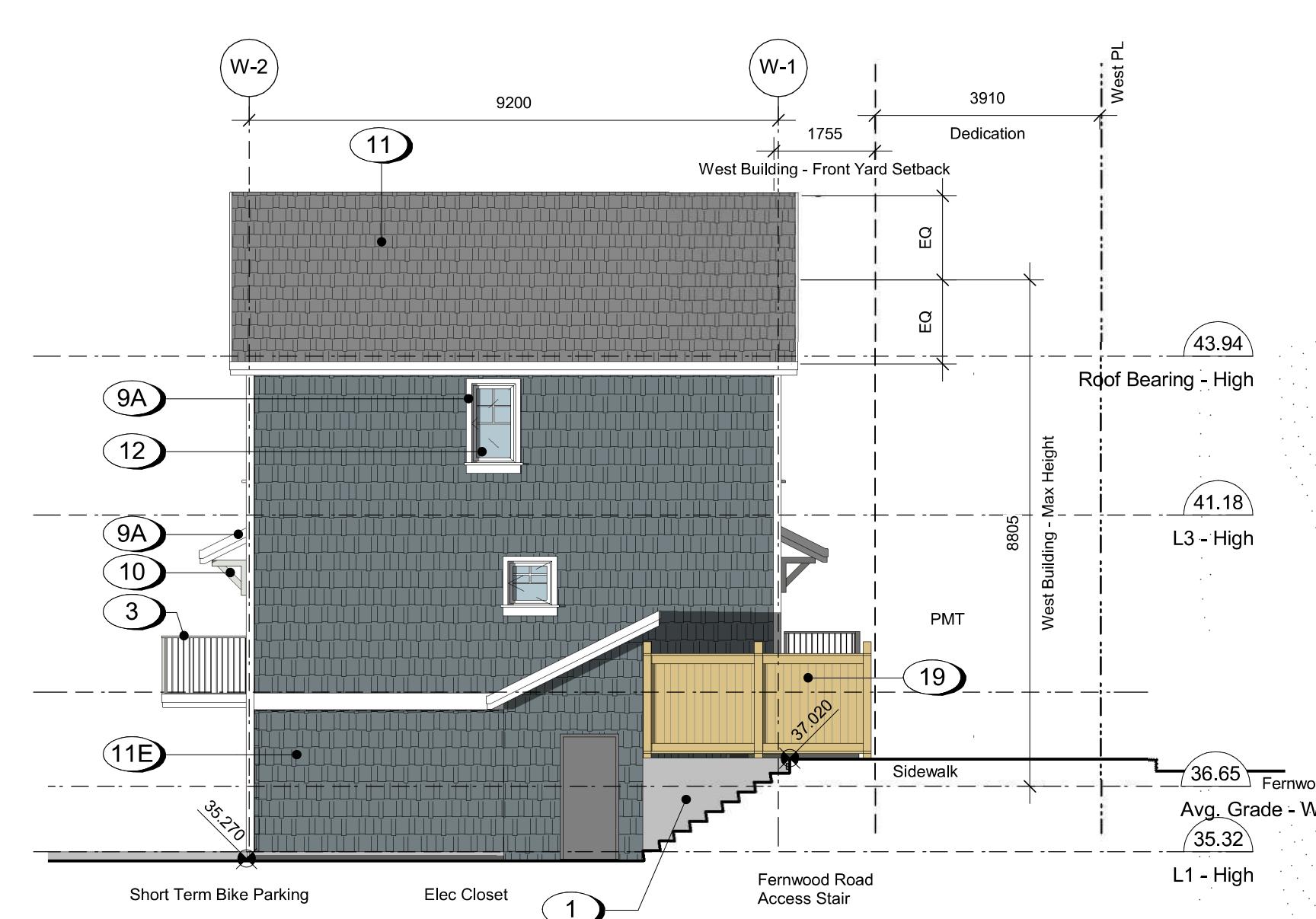
1 West Building - West Elevation  
A301 SCALE: 1 : 100



2 West Building - South Elevation  
A301 SCALE: 1 : 100



3 West Building - East Elevation  
A301 SCALE: 1 : 100



4 West Building - North Elevation  
A301 SCALE: 1 : 100

**Materials Legend**

- 1 Concrete - Smooth Finish, Sealed
- 2 Brick Veneer
- 3 Metal Guard Railing
- 4 Pressure Treated Wood Guard
- 5 Pressure Treated Wood Stair/Decking
- 6 Fibre Cement Lap Siding
- 7 Fibre Cement Shingles
- 8 Fibre Cement Panels
- 9 Fibre Cement Trim
- 10 Canopy w/ Knee Braces
- 11 Asphalt Shingles
- 12 Windows - Prefinished Vinyl w/ Low-E Glazing
- 13 Doors - Painted w/ View Lite
- 14 Doors - Painted Fibreglass Overhead Garage
- 15 Doors - Prefinished Vinyl Slide w/ Low-E Glazing
- 16 Doors - Painted Fibreglass Swing
- 17 Prefinished Rainwater Leader
- 18 Carriage Light
- 19 Fence - Wood, See Landscape
- 20 Fence - Metal Picket, See Landscape

**Colour Legend**

- A Arctic White
- B Night Gray
- C Pearl Gray
- D Gray Slate
- E Boothbay Blue

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NOTE: All dimensions are shown in millimeters.

**Fernwood Road  
Missing Middle  
Townhomes**

**South Building  
Elevations**

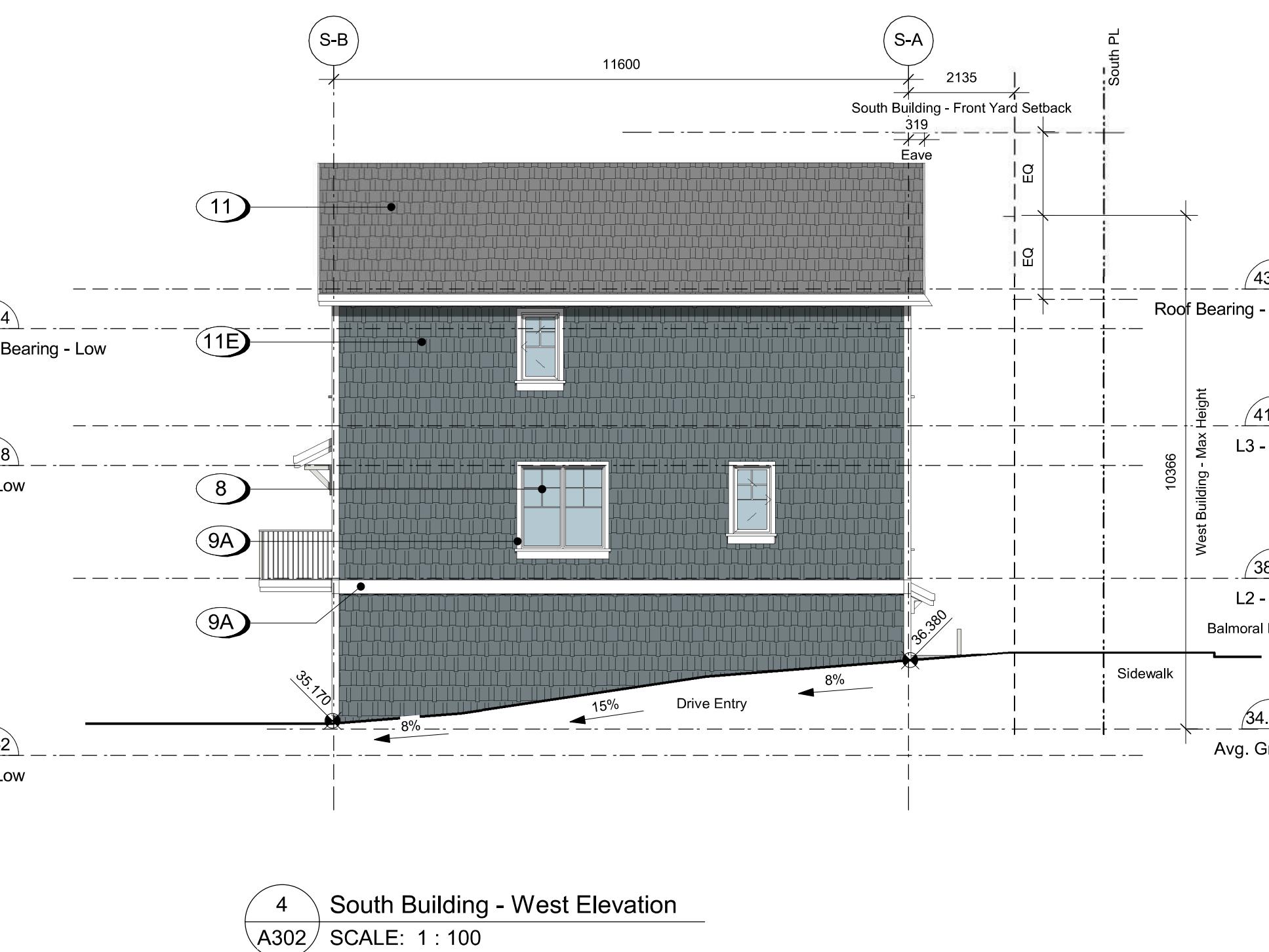
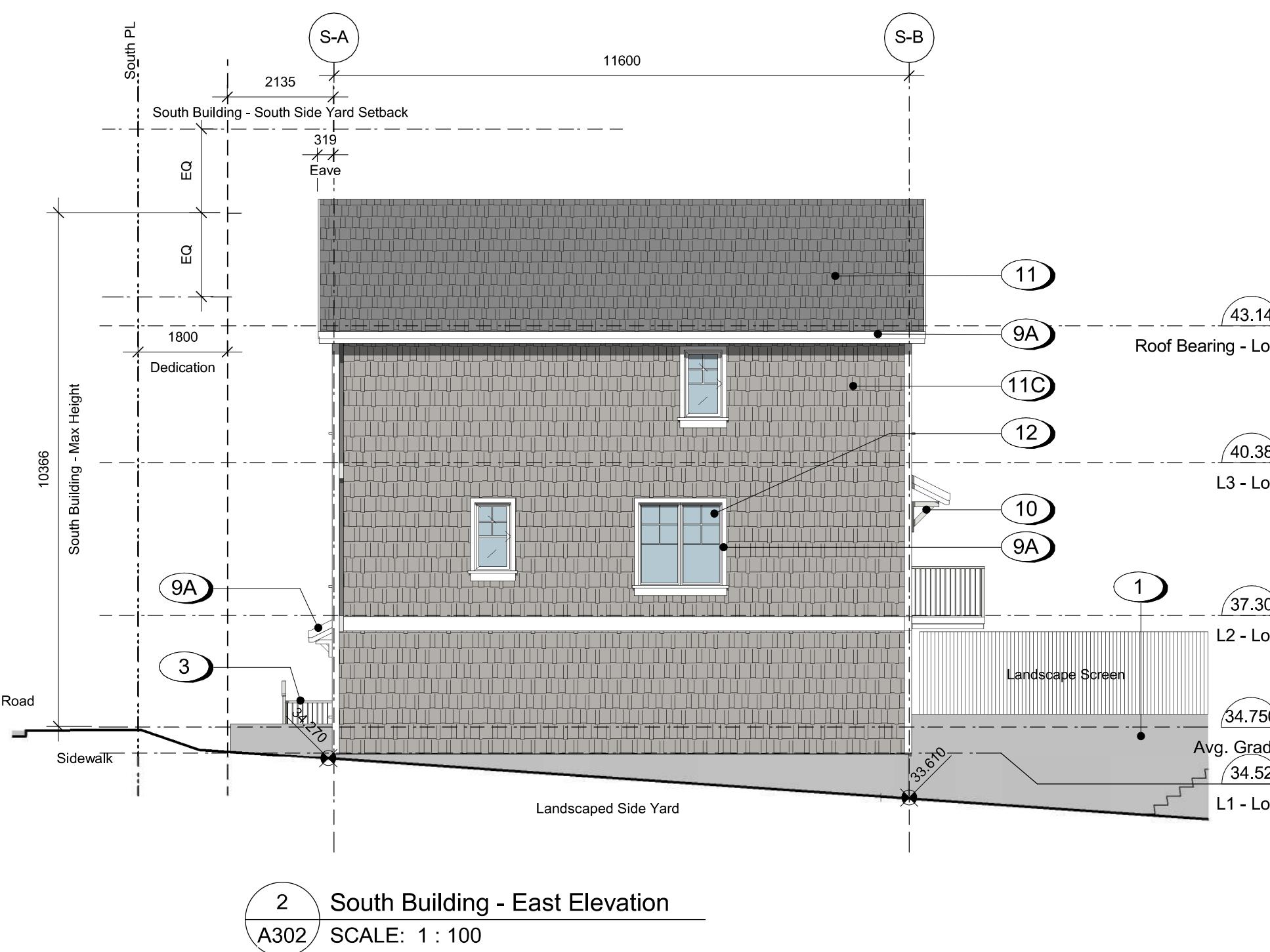


A302

dHKArchitects Victoria 977 Fort Street 88V 3K3 T 1-250-658-5810

102-5190 Dublin Way 9V7 OH2 T 1-250-585-5810

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**Materials Legend**

- 1 Concrete - Smooth Finish, Sealed
- 2 Brick Veneer
- 3 Metal Guard Railing
- 4 Pressure Treated Wood Guard
- 5 Pressure Treated Wood Stair/Decking
- 6 Fibre Cement Lap Siding
- 7 Fibre Cement Shingles
- 8 Fibre Cement Panels
- 9 Fibre Cement Trim
- 10 Canopy w/ Knee Braces
- 11 Asphalt Shingles
- 12 Windows - Prefinished Vinyl w/ Low-E Glazing
- 13 Doors - Painted w/ View Lite
- 14 Doors - Painted Fibreglass Overhead Garage
- 15 Doors - Prefinished Vinyl Slide w/ Low-E Glazing
- 16 Doors - Painted Fibreglass Swing
- 17 Prefinished Rainwater Leader
- 18 Carriage Light
- 19 Fence - Wood, See Landscape
- 20 Fence - Metal Picket, See Landscape

**Colour Legend**

- A Arctic White
- B Night Gray
- C Pearl Gray
- D Gray Slate
- E Boothbay Blue

4 250122 ISSUED FOR DP REVISIONS  
2 241030 ISSUED FOR DP REVISIONS  
Rev. Date/Description

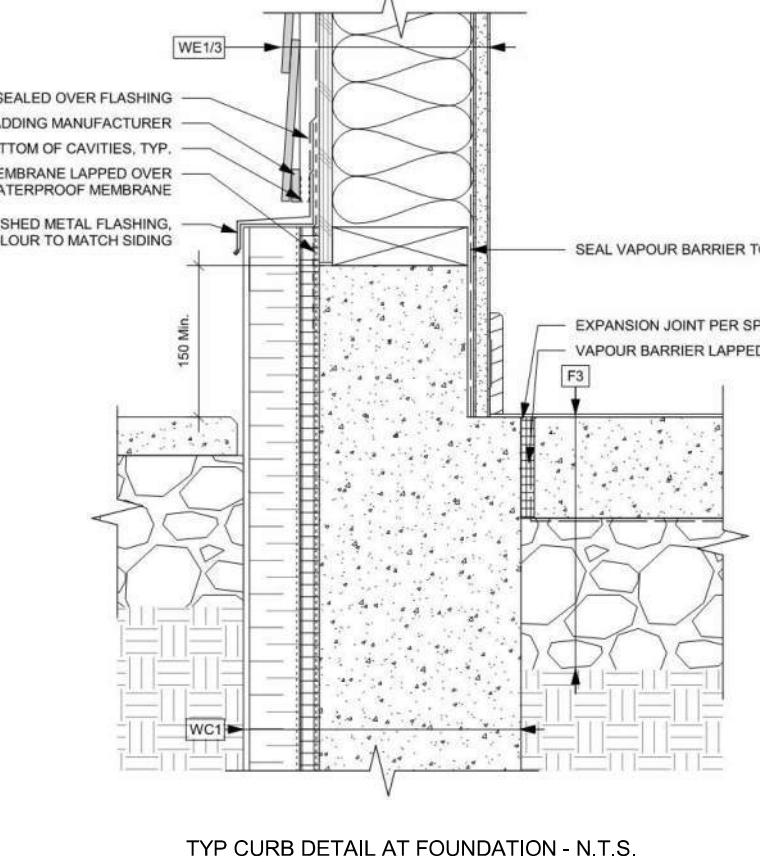
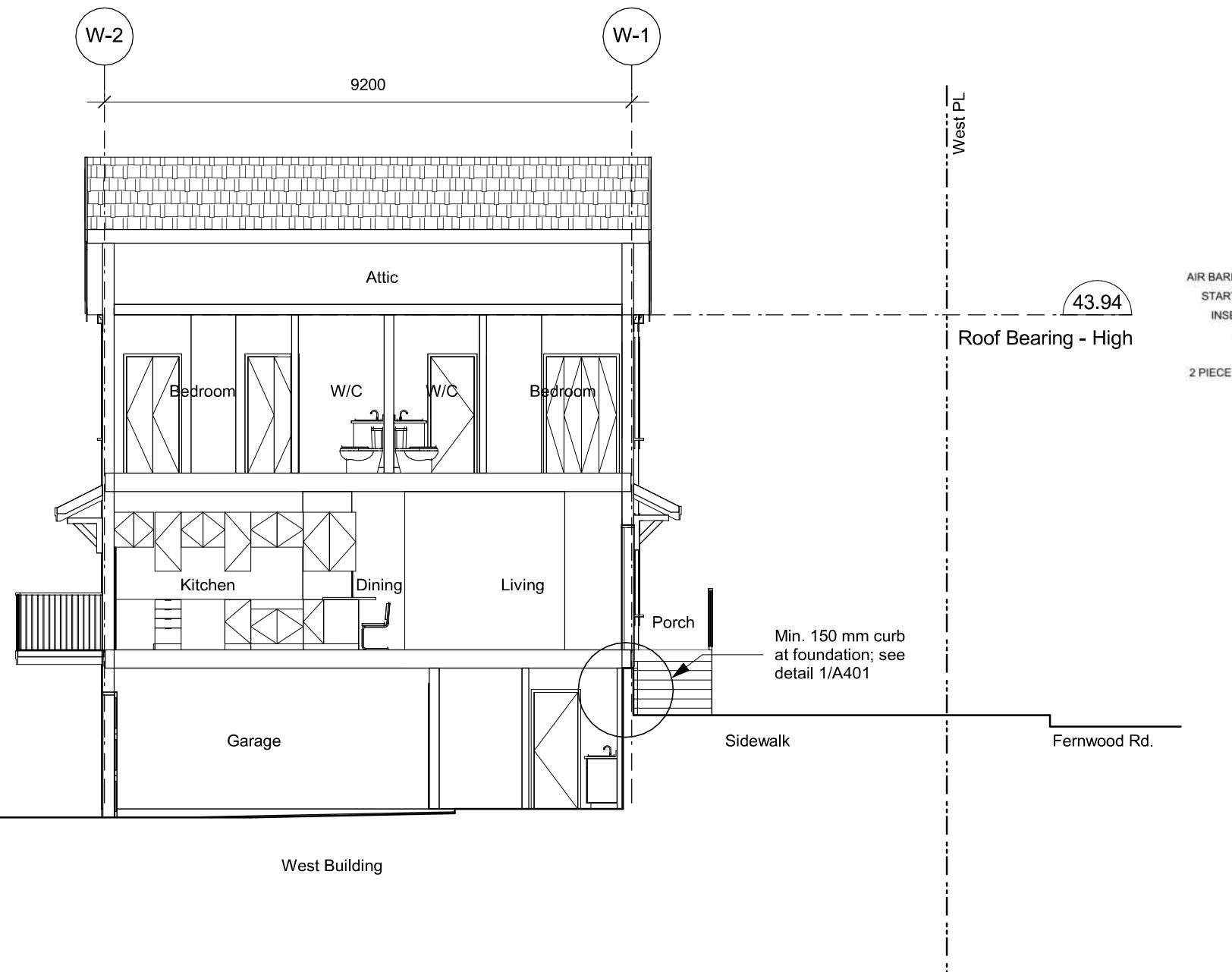
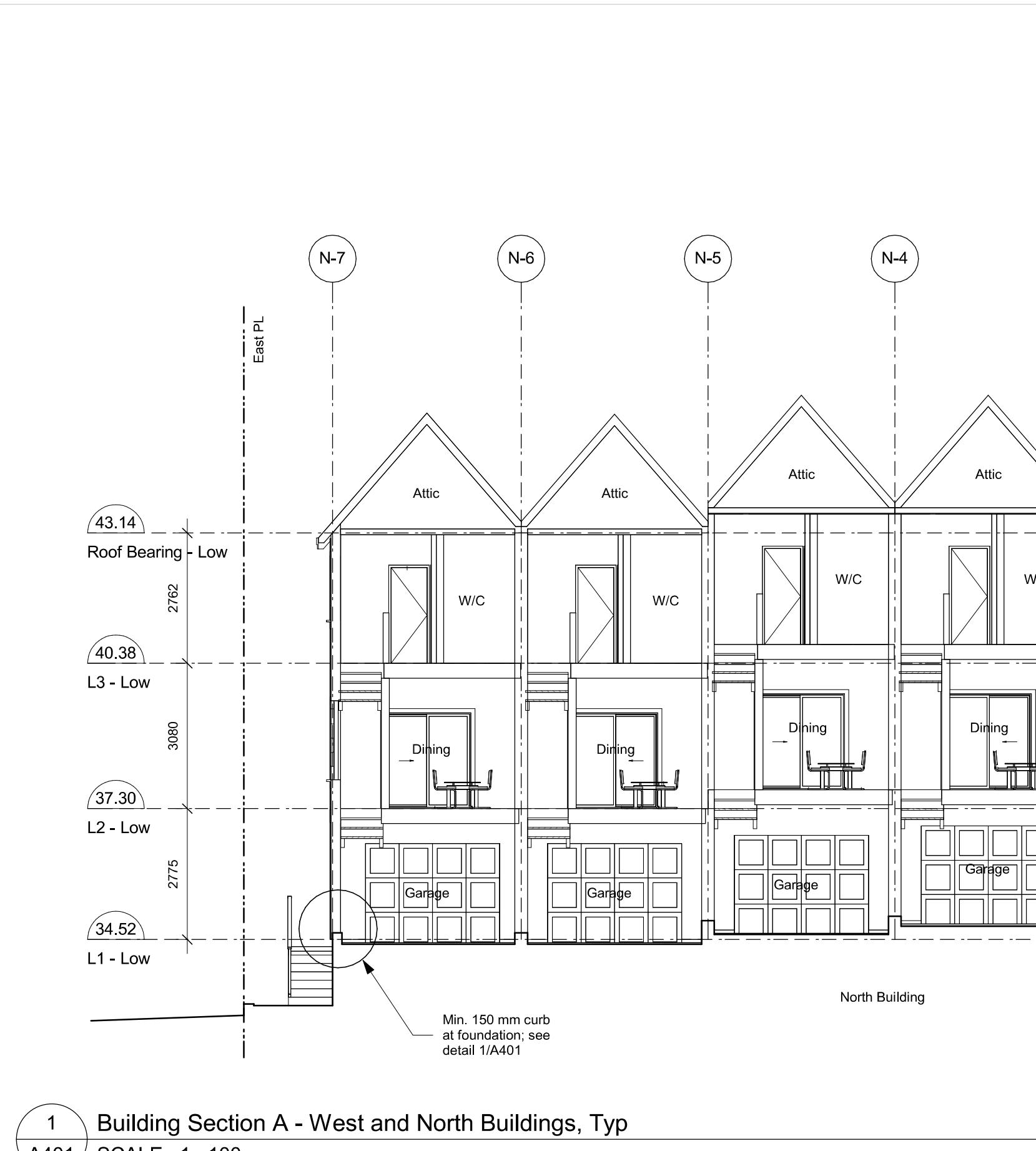
Issued 2025-01-23 Description DP Documents  
Drawn By Author Checked By Checker  
Scale As Indicated Project Number 2404

NOTE: All dimensions are shown in millimeters.

**Fernwood Road  
Missing Middle  
Townhomes**

**North Building  
Elevations**





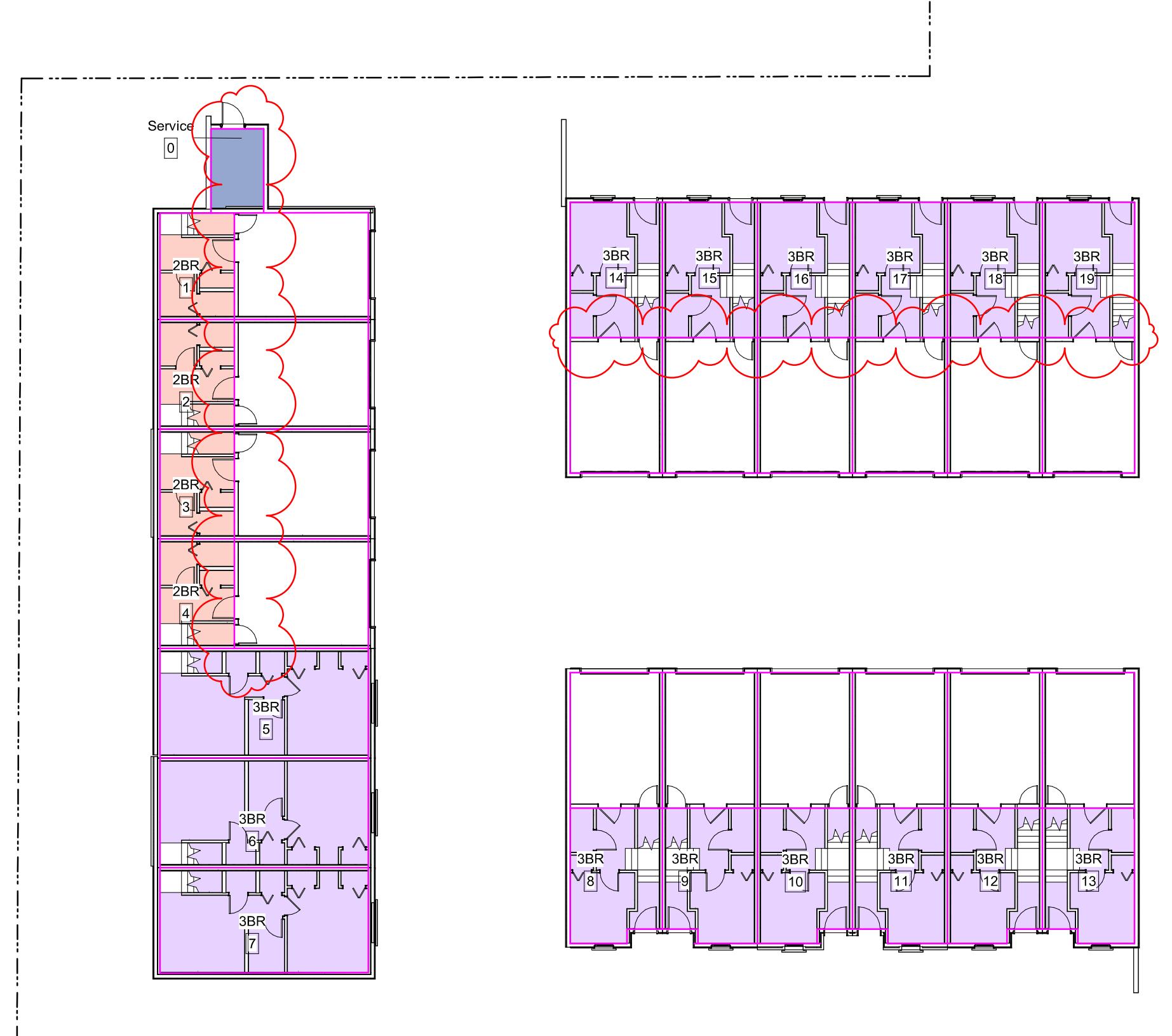
2 241030 ISSUED FOR DP REVISIONS  
Rev. Date/Description

Issued 2025-01-23 Description DP Documents  
Drawn By Author Checked By Checker  
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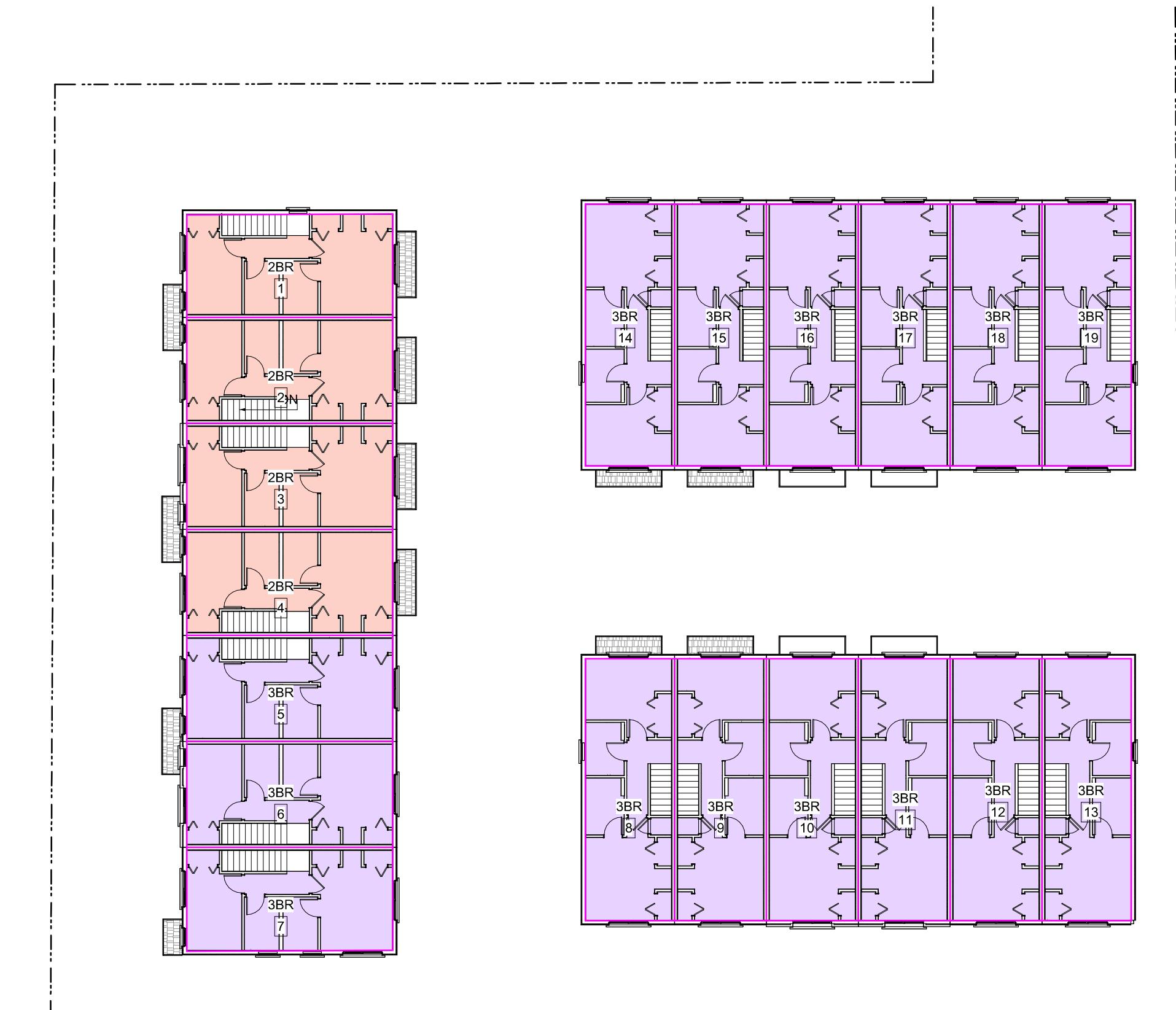
NOTE: All dimensions are shown in millimeters.

Fernwood Road  
Missing Middle  
Townhomes

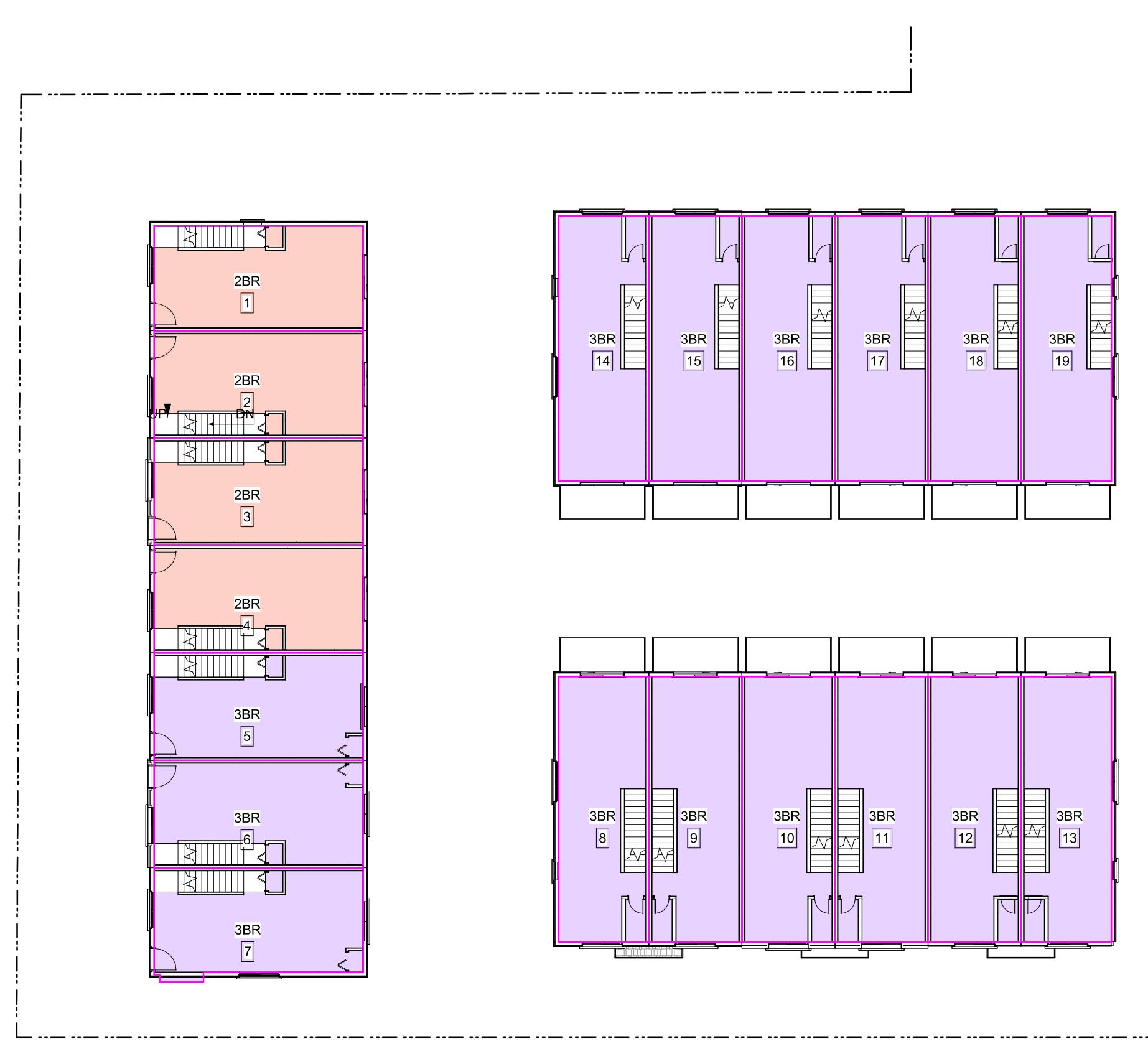
Building Sections



1 Level 1 Areas  
A900 SCALE: 1 : 200



3 Level 3 Areas  
A900 SCALE: 1 : 200



2025-01-23 12:48:04 PM

2 Level 2 Areas  
A900 SCALE: 1 : 200

Unit Areas(FAR)  
Level Area

Elec Closet  
L1 - Mid 7.71 m<sup>2</sup>

Unit 1  
L1 - Mid 13.77 m<sup>2</sup>  
L3 - Mid 39.44 m<sup>2</sup>  
L2 - Mid 39.64 m<sup>2</sup>

Unit 2  
L1 - Mid 14.19 m<sup>2</sup>  
L3 - Mid 40.57 m<sup>2</sup>  
L2 - Mid 40.65 m<sup>2</sup>

Unit 3  
L1 - Mid 14.19 m<sup>2</sup>  
L3 - Mid 40.58 m<sup>2</sup>  
L2 - Mid 40.65 m<sup>2</sup>

Unit 4  
L1 - Mid 14.19 m<sup>2</sup>  
L3 - Mid 40.57 m<sup>2</sup>  
L2 - Mid 40.65 m<sup>2</sup>

Unit 5  
L1 - Mid 39.71 m<sup>2</sup>  
L3 - Mid 40.57 m<sup>2</sup>  
L2 - Mid 40.65 m<sup>2</sup>

Unit 6  
L1 - Mid 39.71 m<sup>2</sup>  
L3 - Mid 40.57 m<sup>2</sup>  
L2 - Mid 40.65 m<sup>2</sup>

Unit 7  
L1 - Mid 38.09 m<sup>2</sup>  
L3 - Mid 39.60 m<sup>2</sup>  
L2 - Mid 40.40 m<sup>2</sup>

Unit Areas(FAR)  
Level Area

Unit 8  
L1 - Mid 20.82 m<sup>2</sup>  
L3 - Mid 43.45 m<sup>2</sup>  
L2 - Mid 43.45 m<sup>2</sup>

Unit 9  
L1 - Mid 21.45 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 10  
L1 - Mid 21.45 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 11  
L1 - Mid 21.45 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 12  
L1 - Mid 21.45 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 13  
L1 - Mid 20.73 m<sup>2</sup>  
L3 - Mid 43.45 m<sup>2</sup>  
L2 - Mid 43.45 m<sup>2</sup>

Unit 14  
L1 - Mid 21.70 m<sup>2</sup>  
L3 - Mid 43.45 m<sup>2</sup>  
L2 - Mid 43.45 m<sup>2</sup>

Unit Areas(FAR)  
Level Area

Unit 15  
L1 - Mid 22.34 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 16  
L1 - Mid 22.34 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 17  
L1 - Mid 22.34 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 18  
L1 - Mid 22.34 m<sup>2</sup>  
L3 - Mid 44.72 m<sup>2</sup>  
L2 - Mid 44.72 m<sup>2</sup>

Unit 19  
L1 - Mid 21.70 m<sup>2</sup>  
L3 - Mid 43.45 m<sup>2</sup>  
L2 - Mid 43.45 m<sup>2</sup>

Grand total:  
58 2070.01 m<sup>2</sup>

4 250122 ISSUED FOR DP REVISIONS  
2 241030 ISSUED FOR DP REVISIONS  
Rev. Date/Description

Issued 2025-01-23 Description DP Documents  
Drawn By Author Checked By Checker  
Scale 1 : 200 Project Number 2404

NOTE: All dimensions are shown in millimeters.

Fernwood Road  
Missing Middle  
Townhomes

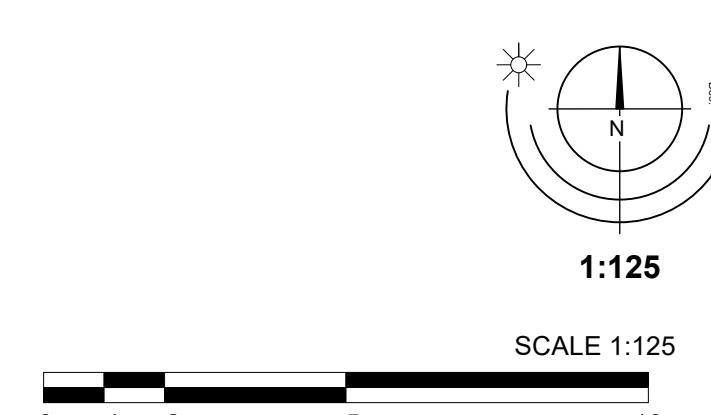
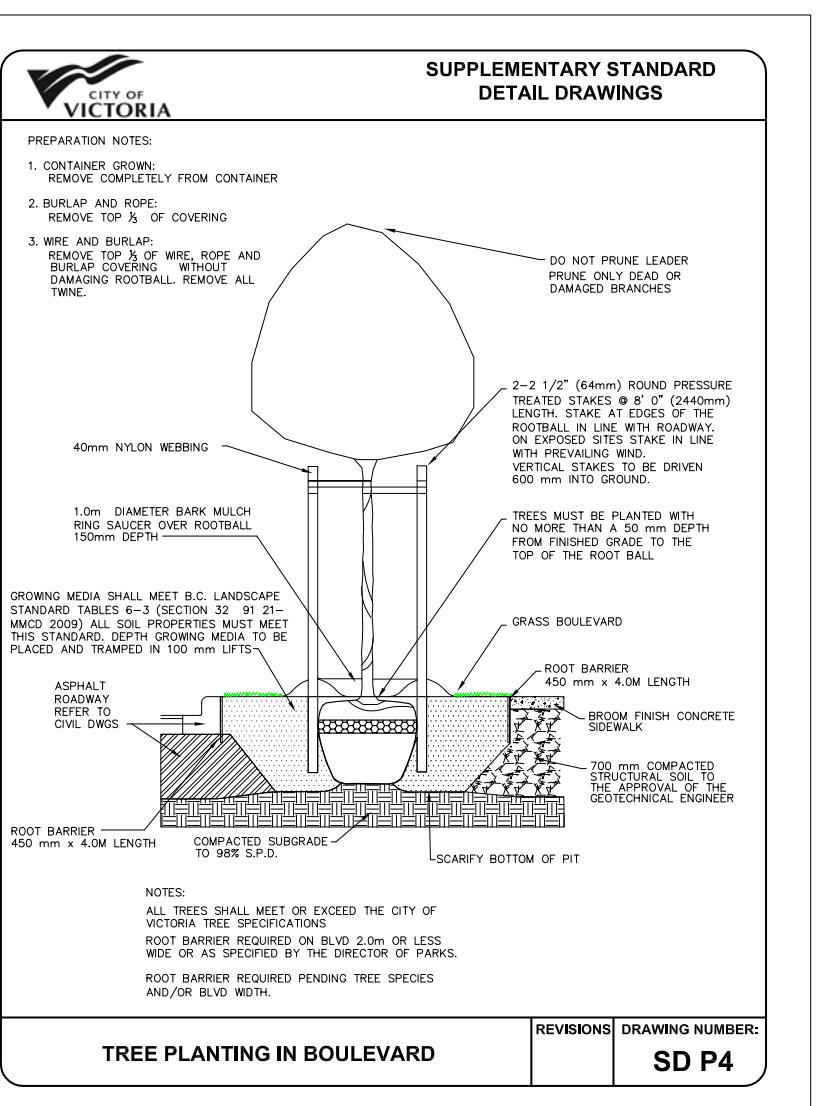
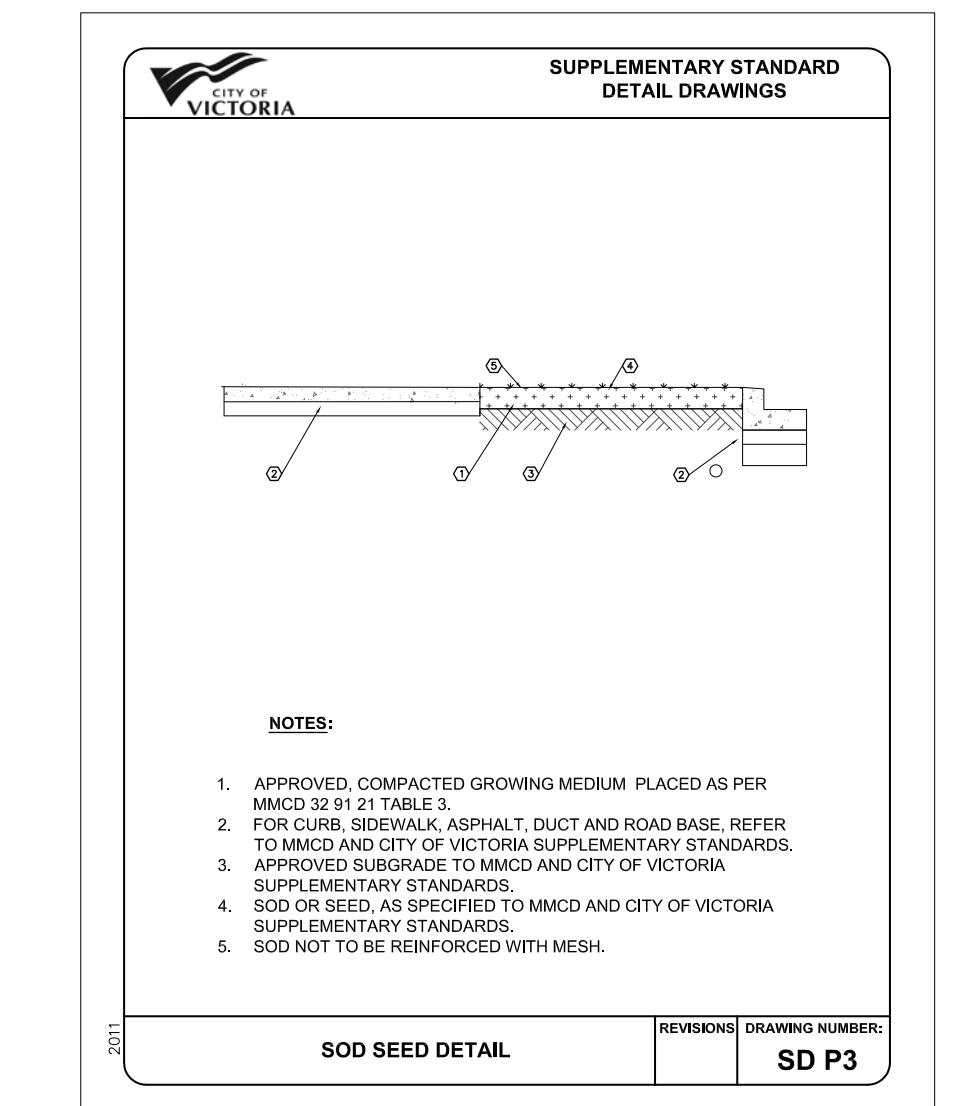
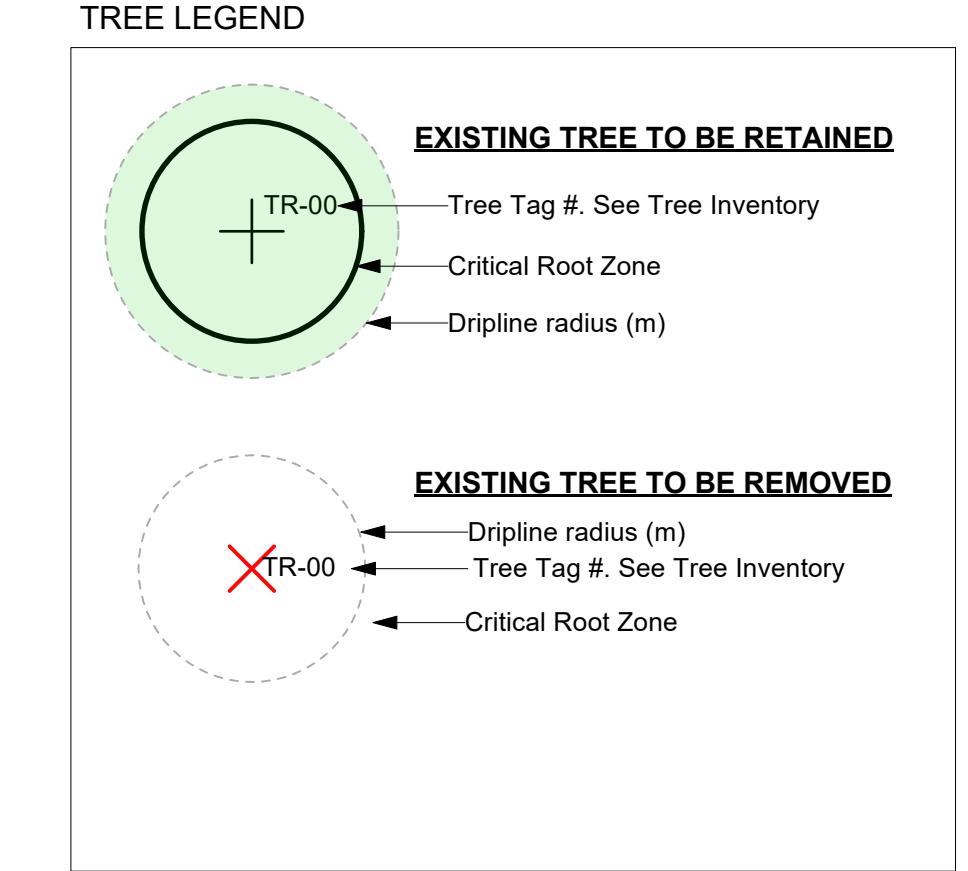
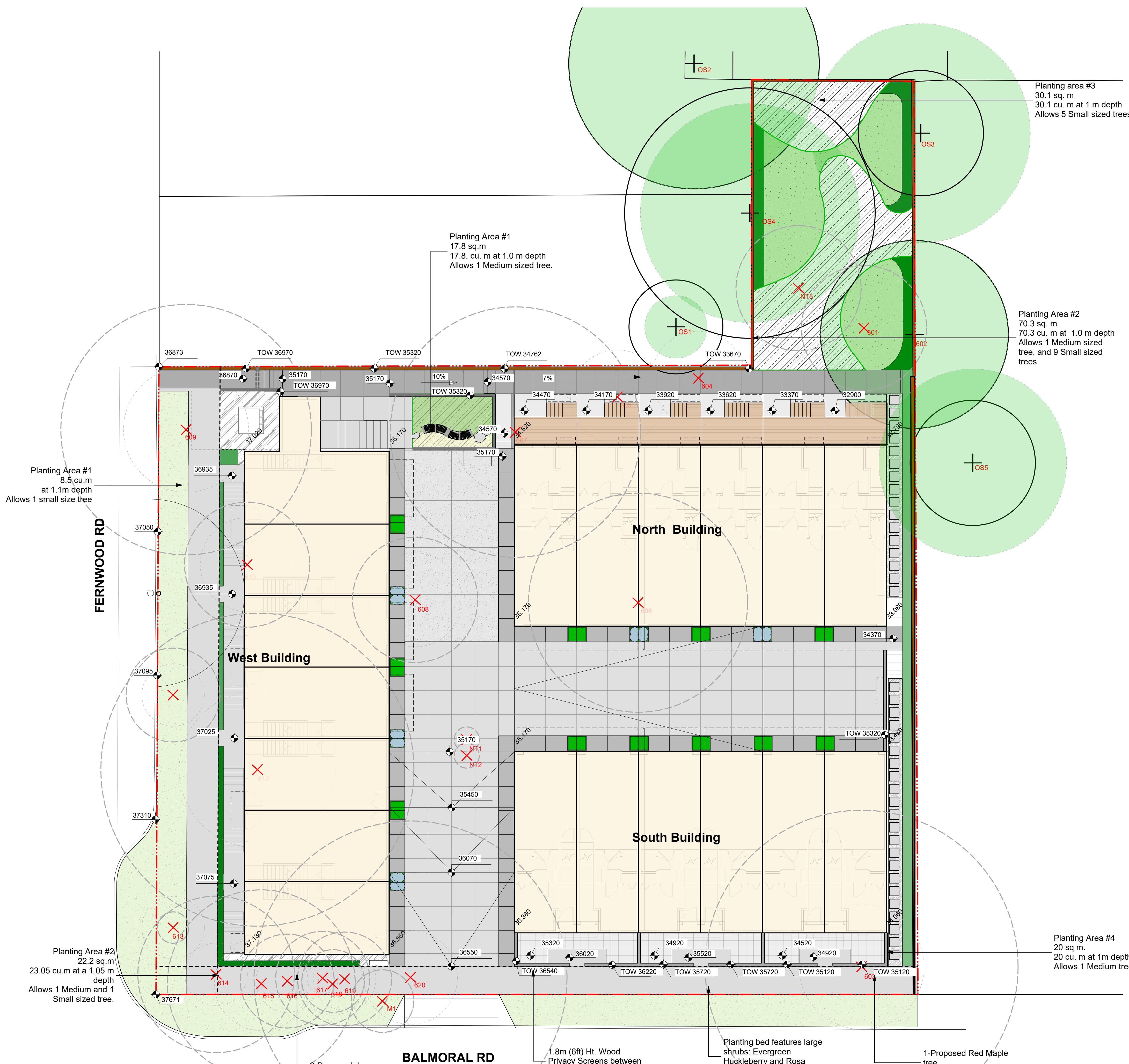
Area Plans



dHKa A900

dHKArchitects  
Victoria  
977 Fort Street  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-658-5810  
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THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND  
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT





Rev.3: Jan 20 - 25  
Rev.2: Oct 30 - 24  
Rev.1: Oct 17 - 24



**LADR** LANDSCAPE ARCHITECTS

Project No: 2405

JUN-11-24

#3-864 Queens Ave, Victoria B.C. V8T 1M5  
Phone: (250) 598-0105

**ENVIRONMENTAL NOTES:**

- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:

- CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
- NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
- A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
- SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
- COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
- STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
- PLACE DRAIN ROCK AND FELT FABRIC AT THE INLET OF CULVERT.
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT CITY ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILF FENCING AS REQUIRED.
- ADHERE TO ALL CONDITIONS OF THE PROJECT ENVIRONMENTAL PROTOCOL WORKSHEET.

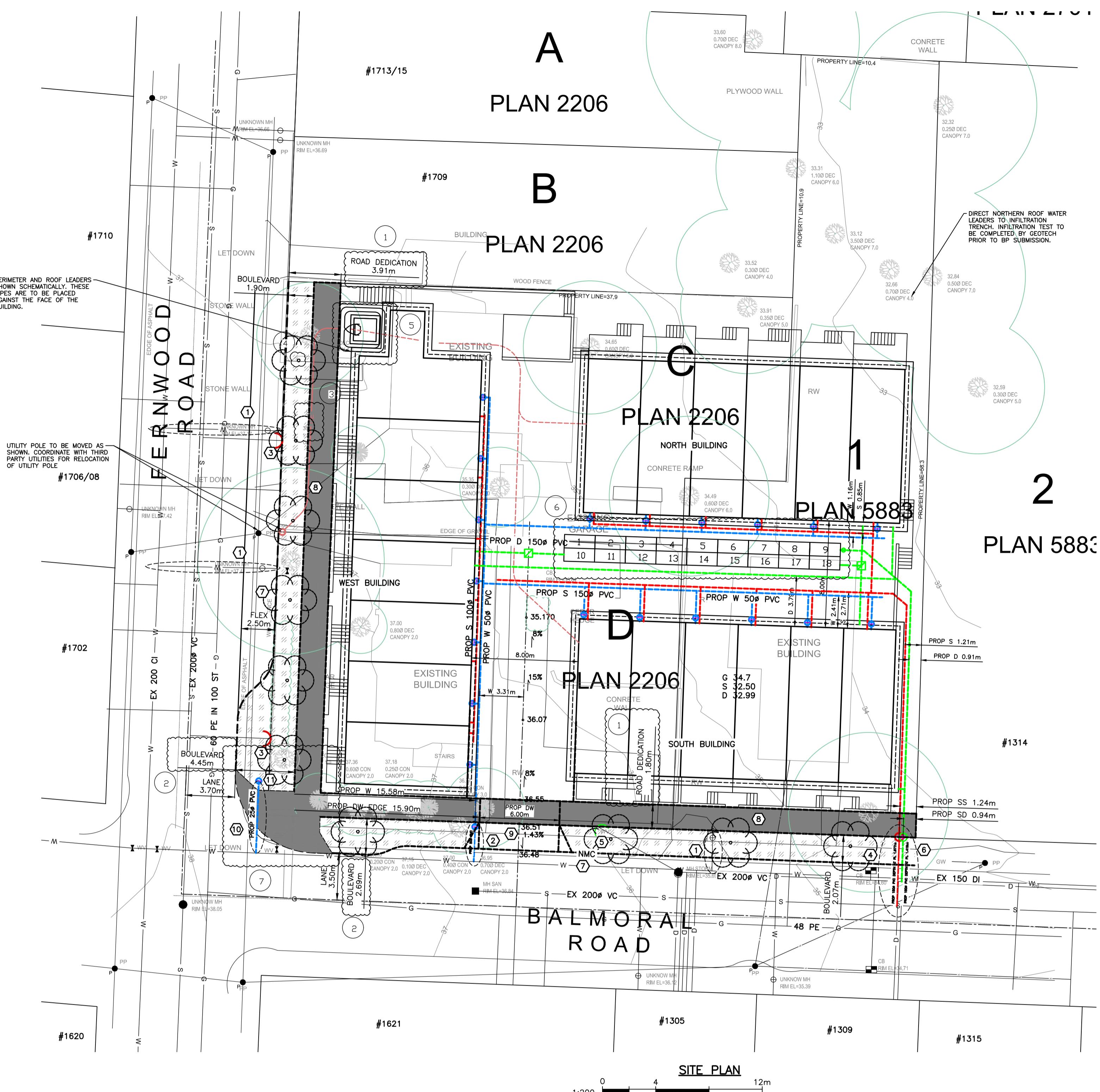
**GENERAL CONSTRUCTION NOTES:**

1. CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
3. REPAIR/AND OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION TO BE RESTORED TO PRE-CONSTRUCTION CONDITIONS.
4. REPAIR ALL PRIVATE PROPERTY TO PRE-CONSTRUCTION CONDITIONS.
5. CONTACT CITY PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
6. ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
7. NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING CONSTRUCTION.
8. CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
9. ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.
10. SIGNS ARE TO BE CONSTRUCTED AS PER COV STANDARD DRAWINGS
11. ALL BOULEVARDS TO BE RESTORED WITH 200mm TOPSOIL AND GRASS.
12. MAINTAIN VEHICLE AND PEDESTRIAN ACCESS AT ALL TIMES.
13. ALL EXISTING AND PROPOSED APPURTENANCES TO MEET FINAL GRADES.
14. ALL TRENCHING EXCAVATIONS AND BEDDING TO BE PER MMCD C4

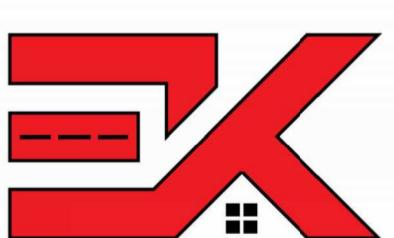
**DETAILED CONSTRUCTION NOTES:**

- ① THREE (3) EXISTING WATER CONNECTIONS AND METERS TO BE DECOMMISSIONED BY COV AT APPLICANTS EXPENSE.
- ② NEW 50mm WATER SERVICE AND METER BY COV AT APPLICANTS EXPENSE.
- ③ EXISTING SEWER CONNECTIONS TO BE CAPPED AT PL BY CONTRACTOR
- ④ 150mm PVC SEWER CONNECTION AT 1% AND IC BY COV AT APPLICANTS EXPENSE.
- ⑤ EXISTING STORM CONNECTION TO BE CAPPED AT PL BY CONTRACTOR.
- ⑥ 150mm PVC STORM WATER CONNECTION AND IC BY CONTRACTOR AT APPLICANTS EXPENSE.
- ⑦ REMOVE EXISTING AND REPLACE WITH NEW CURB AND GUTTER WITH NEW 300mm GUTTER PAN NON MOUNTABLE CURB AND GUTTER (MMCD C4) AS SHOWN
- ⑧ REMOVE EXISTING AND REPLACE WITH NEW SIDEWALK ALONG FRONTOAGE TO NEAREST JOINT LINE, AS SHOWN. (2.0m WIDE ON FERNWOOD, 1.8m WIDE ON BALMORAL) COV STANDARD DRG SD C7c. BROOM FINISHED
- ⑨ PROVIDE 6.0m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 2.0m DEEP.
- ⑩ PROVIDE WHEEL CHAIR RAMP FOR SIDEWALK DROP IN ACCORDANCE WITH COV STANDARD DRAWING SD C9a
- ⑪ NEW 25mm WATER CONNECTION FOR IRRIGATION ALONG WITH ALL CHECK VALVES ETC REQUIRED BY CITY STANDARDS, BY CITY AT APPLICANTS EXPENSE.

REVISION TABLE	
NUMBER	DETAILS
1	ROAD DEDICATION SHOWN
2	BOULEVARD SHOWN
3	HYDRO LINE RELOCATED AND LABELED AS UE
4	TREE LOCATIONS SHOWN
5	PMT RELOCATED
6	STORMWATER MANAGEMENT SYSTEM REVISED
7	SIDEWALK AT INTERSECTION REVISED



PERMIT TO PRACTICE NUM: 1000348


 FOR PROPOSED SEWER OF  
LOT 1 & C & D, SECTION 75, VICTORIA DISTRICT, PLAN 5883 & 2206  
HOEL ENGINEERING LTD DBA  
006-391-231 & 005-941-601  
1705,1703 FERNWOOD & 1312 BALMORAL ROAD

 KYLE ENGINEERING  
SUITE 1, 40 CADILLAC  
AVE, VICTORIA, BC, V8Z 1T2  
250 475 6906

CITY OF VICTORIA			FILE No.
1705,1703 FERNWOOD & 1312 BALMORAL ROAD	DESIGN No.	—	—
SEWER, STORM, WATER AND ROAD SERVICES	DRAWING No.	—	—
B.M. : GMC 286187	Elev. : 37.792		
Design: ESK	Drawn: ESK	Checked: ESK	
Scale: Hor: 1:200	Vertical: 1:40	Date: APRIL 2024	

 CONFIRM UNDERGROUND LOCATIONS WITH  
UTILITY COMPANIES  
THE LOCATION AND ELEVATION OF THE EXISTING  
UNDERGROUND INFRASTRUCTURE SHOWN ON THIS  
DRAWING MAY NOT BE ACCURATE OR COMPLETE.  
THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS  
MUST BE CONFIRMED PRIOR TO THE START OF  
ANY EXCAVATION.

LEGEND									
Existing Municipal Infrastructure	Drain	D-	Curb	C-	Concrete Box	☒	Valve	☒	6
Proposed Municipal Infrastructure	Ditch	↔D-	Sidewalk	S-W	Wood Box	○	Flush Valve	☒	5
Existing External U/G Utilities	e	—t	g	c	Sewer	—S—	Manhole	○	4
Proposed External U/G Utilities	Water	—W—	Cleanout	□	Culvert	—>	Hydrant	○	3
Street Lighting Pole Mount	Traffic Sign	—e—	Silt Trap	☒	Cap / Plug	—>	Reducer	—>	2
Standard Mount	Ctrl Monument	—o—	Traverse Hub	☒	Air Valve	○			1
Post Top	Pedestrian Signal	—p—	Traffic Signal	☒	Gas Valve	☒	Water Meter	○	

## REVISIONS

## REVISIONS APPROVED

## DESIGN APPROVED

REVISION # 1			REVISION # 2			REVISION # 3			Approved By	Date	Signed
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Design Engineer		
Design Engineer			Design Engineer			Design Engineer			Manager of Development		
Manager of Development			Manager of Development			Manager of Development			Development Coordinator		
Development Coordinator			Development Coordinator			Development Coordinator					

**GENERAL NOTES:**

 DRAWING INFORMATION  
DIMENSIONS ARE METRIC, MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:250 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.

INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT, AS THE PROJECT PROGRESSES, THE DEGREE OF DETAIL THAT IS PROVIDED IS DEPENDENT ON THE REQUIREMENTS OF THE CONTRACTOR.

EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY, ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON THESE DRAWINGS.

EXISTING SERVICES TO BE VERIFIED OR EXPOSED IN FIELD, CONTACT ENGINEER IF THERE ARE ANY CONCERN'S ALTERNATE DESIGNS ARE TO BE SUBMITTED THROUGH CONSULTING ENGINEER.

 GENERAL REQUIREMENTS  
REFER TO KYLE ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.

REFER TO CITY STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.

ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND ADDENDUMS.

UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS INSPECTOR.

 USE OF INFORMATION  
THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF KYLE ENGINEERING AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR ANY LEGAL INSTRUMENT.

 COORDINATION REQUIREMENTS  
COMMUNICATION AND REPORTING  
CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR SERVICES LOCATE. 1-800-474-6886

THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION OR COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK. ENGINEER WILL THEN SEND RELATED DOCUMENTATION TO CITY WITH REGARDS TO ITS INFRASTRUCTURE.

 PERMITS  
A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.

A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.

A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT 1-877-599-0996

 NOTIFICATION  
WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.

FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.

IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.

 CHANGE REQUESTS  
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. CITY TO BE ENGAGED FOR CHANGES RELATED TO CITY OWNED INFRASTRUCTURE.

 TESTING REQUIREMENTS  
CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTOR'S TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY CITY OR THE ENGINEER.

ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

 MISCELLANEOUS  
ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.  
ALL LANDSCAPING AND STRUCTURES TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER.  
PAVEMENT RESTORATION FOR RESIDENTIAL ROADS TO BE PER COV STD DWGS


KEY PLAN - 1:2000

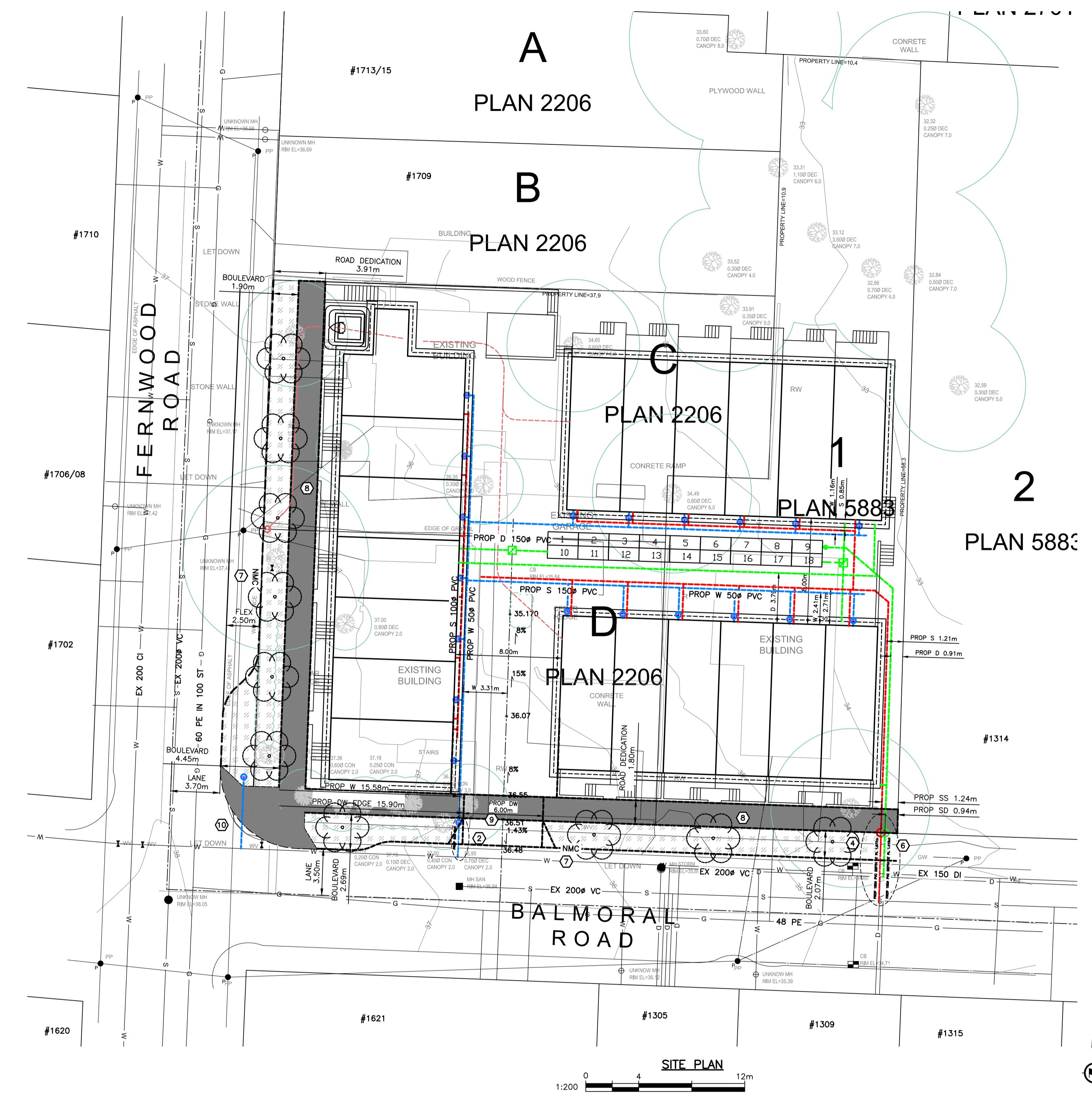


## NOTES:

THIS DRAWING SHOWS THE FINAL SERVICES LAYOUT, WITH THE SERVICES TO BE CAPPED REMOVED FROM THE DRAWING FOR CLARITY.

## DETAILED CONSTRUCTION NOTES:

- ① REMOVED
- ② NEW 50mm WATER SERVICE AND METER BY CoV AT APPLICANTS EXPENSE.
- ③ REMOVED
- ④ 150mm PVC SEWER CONNECTION AT 1% AND IC BY CoV AT APPLICANTS EXPENSE.
- ⑤ REMOVED
- ⑥ 150mm PVC STORM WATER CONNECTION AND IC BY CONTRACTOR AT APPLICANTS EXPENSE.
- ⑦ REMOVE EXISTING AND REPLACE WITH NEW CURB AND GUTTER WITH NEW 300mm GUTTER PAN NON MOUNTABLE CURB AND GUTTER (MMCD C4) AS SHOWN
- ⑧ REMOVE EXISTING AND REPLACE WITH NEW SIDEWALK ALONG FRONTOAGE TO NEAREST JOINT LINE, AS SHOWN. (2.0m WIDE ON FERNWOOD, 1.8m WIDE ON BALMORAL) CoV STANDARD DRG SD C7c. BROOM FINISHED
- ⑨ PROVIDE 6.0m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 2.0m DEEP.
- ⑩ PROVIDE WHEEL CHAIR RAMP FOR SIDEWALK DROP IN ACCORDANCE WITH CoV STANDARD DRAWING SD C9a



PERMIT TO PRACTICE NUM: 1000348



CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.	

## LEGEND

Existing Municipal Infrastructure	Drain	D-	Curb	C-	Concrete Box	<input checked="" type="checkbox"/>	Valve	X	
Proposed Municipal Infrastructure	Ditch	—D—	Sidewalk	S—W	Wood Box	<input type="checkbox"/>	Flush Valve	—X—	
Existing External U/G Utilities	e	—e—	t	—t—	g	—g—	c	—c—	
Proposed External U/G Utilities	Water	—W—	Cleanout	<input type="checkbox"/>	Culvert	<input type="checkbox"/>	Reducer	—R—	
Street Lighting	Pole Mount	—P—	Standard Mount	—S—	Traffic Sign	—T—	Silt Trap	—S—	
Post Top	<input type="checkbox"/>	Pedestrian Signal	<input type="checkbox"/>	Traffic Signal	<input type="checkbox"/>	Ctrl Monument	<input type="checkbox"/>	Traverse Hub	<input type="checkbox"/>
								Gas Valve	<input type="checkbox"/>
								Water Meter	<input type="checkbox"/>

## REVISIONS

## REVISIONS APPROVED

## DESIGN APPROVED

## CITY OF VICTORIA

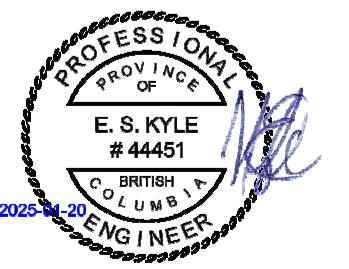
## FILE No.

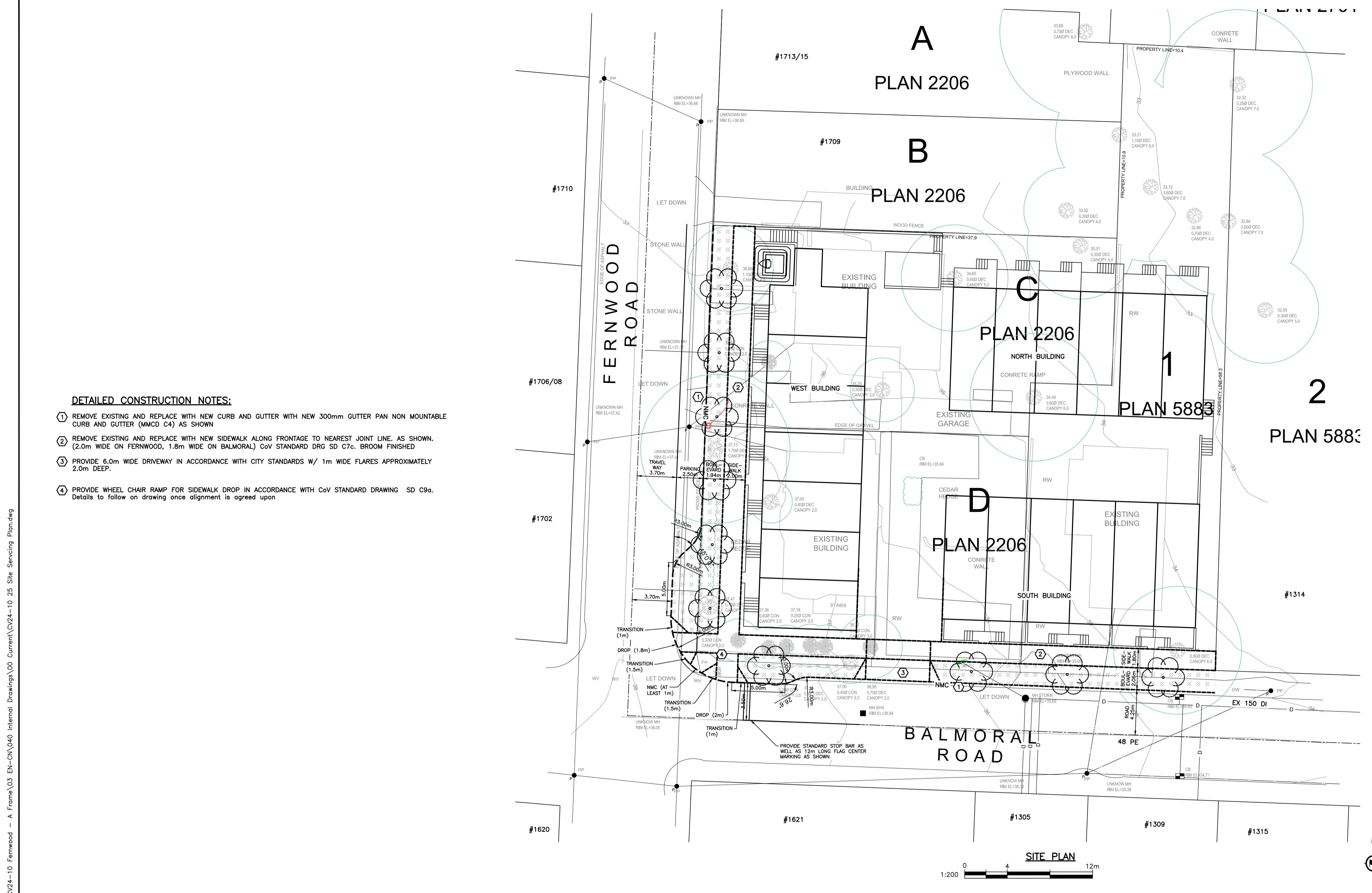
REVISION # 1								REVISION # 2								REVISION # 3								Approved By			Date			Signed		
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed						
Design Engineer			Design Engineer			Design Engineer			Design Engineer			Design Engineer			Design Engineer			Manager of Development			Manager of Development			Manager of Development			Manager of Development					
Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator			Development Coordinator					
B.M. : GMC 286187			Elev: 37.792																													
Design: ESK			Drawn: ESK																													
Scale: Hor: 1:200			Vertical: 1:40																													
Date: APRIL 2024																																

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DESIGN No.	—	—	—
DRAWING No.	—	—	—
Sheet 3 of 5	—	—	—

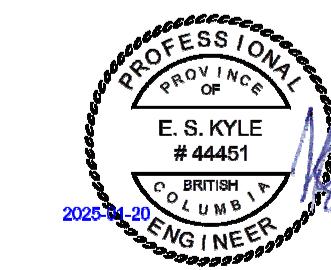


CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	LEGEND						REVISIONS	REVISIONS APPROVED						DESIGN APPROVED			CITY OF VICTORIA			FILE No.	-				
								REVISION # 1			REVISION # 2			REVISION # 3			Approved By	Date	Signed						
Existing Municipal Infrastructure	Drain	D	Curb	C	Concrete Box	☒	Valve	☒	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Design Engineer						DESIGN No.	-
Proposed Municipal Infrastructure	Dash-Dash	Ditch	Dash-Dash	Sidewalk	SZ/W	Wood Box	☒	Flush Valve	☒	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Manager of Development						
Existing External U/G Utilities	e	t	g	c	Sewer	S	Manhole	○	Catch Basin	☒	Hydrant	○	Approved	Date	Signed	Approved	Date	Signed	Manager of Development			DRAWING No.	Sheet 4 of 5		
Proposed External U/G Utilities	---	---	---	---	Water	W	Cleanout	□	Culvert	---	Reducer	---	Approved	Date	Signed	Approved	Date	Signed	Development Coordinator						
Street Lighting	Pole Mount	○	Standard Mount	○	Traffic Sign	→	Silt Trap	☒	Cap / Plug	→	Air Valve	○	Approved	Date	Signed	Approved	Date	Signed	Development Coordinator			Scale: Hor: 1:200 Vertical: 1:40 Date: APRIL 2024	-		
Post Top	Diamond	Pedestrian Signal	Diamond	Traffic Signal	○	Ctrl Monument	○	Traverse Hub	+	Gas Valve	○	Water Meter	○	Approved	Date	Signed	Approved	Date	Signed	Development Coordinator					
THE CITY OF VICTORIA	CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE CURRENT OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.	LEGEND	REVISIONS	REVISIONS APPROVED	DESIGN APPROVED	CITY OF VICTORIA	FILE No.	-																
Existing Municipal Infrastructure	Drain	D	Curb	C	Concrete Box	☒	Valve	☒	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Design Engineer			DRAWING No.	Sheet 4 of 5			
Proposed Municipal Infrastructure	Dash-Dash	Ditch	Dash-Dash	Sidewalk	SZ/W	Wood Box	☒	Flush Valve	☒	Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Manager of Development						
Existing External U/G Utilities	e	t	g	c	Sewer	S	Manhole	○	Catch Basin	☒	Hydrant	○	Approved	Date	Signed	Approved	Date	Signed	Development Coordinator			Scale: Hor: 1:200 Vertical: 1:40 Date: APRIL 2024	-		
Proposed External U/G Utilities	---	---	---	---	Water	W	Cleanout	□	Culvert	---	Reducer	---	Approved	Date	Signed	Approved	Date	Signed	Development Coordinator						
Street Lighting	Pole Mount	○	Standard Mount	○	Traffic Sign	→	Silt Trap	☒	Cap / Plug	→	Air Valve	○	Approved	Date	Signed	Approved	Date	Signed	Development Coordinator			Scale: Hor: 1:200 Vertical: 1:40 Date: APRIL 2024	-		
Post Top	Diamond	Pedestrian Signal	Diamond	Traffic Signal	○	Ctrl Monument	○	Traverse Hub	+	Gas Valve	○	Water Meter	○	Approved	Date	Signed	Approved	Date	Signed	Development Coordinator					





PERMIT TO PRACTICE NUM: 1000348



HOEL ENGINEERING LTD DBA  
KYLE ENGINEERING  
SUITE 1, 40 CADILLAC  
AVE, VICTORIA, BC, V8Z 1T2  
250 475 6906

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES		LEGEND					REVISIONS APPROVED			DESIGN APPROVED			CITY OF VICTORIA			FILE No.	-			
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.		Existing Municipal Infrastructure	—	Drain	—D—	Curb	—C—	Concrete Box	☒	Valve	☒	6	REVISION # 1	REVISION # 2	REVISION # 3	Approved By	Date	Signed		
		Proposed Municipal Infrastructure	— - - - -	Ditch	~D~	Sidewalk	S/W	Wood Box	∅	Flush Valve	☒	5				Approved	Date	Signed		
		Existing External U/G Utilities	—e—t—g—c—	Sewer	—S—	Manhole	○	Catch Basin	☒	Hydrant	○	4				Design Engineer				
		Proposed External U/G Utilities	— - - - -	Water	—W—	Cleanout	□	Culvert	—	Reducer	—	3				Design Engineer				
		Street Lighting	Pole Mount	○	Standard Mount	○	Traffic Sign	○—○	Silt Trap	☒	Cap / Plug	→	2	B.M.: CMC 28617	Elv.: 37.792		Manager of Development			
		Post Top	○	Pedestrian Signal	○	Traffic Signal	○	Ctrl. Monument	○	Traverse Hub	▲	Gas Valve	☒	1	Design: ESK	Draw: ESK	Checked: ESK	Development Coordinator		
															Scale: Hor: 1:20	Vertical: 1:40	Date: APRIL 2024	Development Coordinator		