

PROJECT STATISTICS

PROJECT ADDRESS	819 - 823 AND 825 - 827 FORT STREET
NEIGHBOURHOOD	FAIRFIELD
DOWNTOWN CORE AREA PLAN DISTRICT	RESIDENTIAL MIXED USE DISTRICT
DEVELOPMENT PERMIT AREA	DPA 7B (HC)
LEGAL DESCRIPTION	VICTORIA PARCEL D, LOT 277 & 278, (DD 2635141) LOT A OF LOTS 276 & 277, VICTORIA, PLAN 26769
ZONING (EXISTING)	819-823 FORT STREET: CA-HG 825-827 FORT STREET: CA-2
PROPOSED ZONING:	NEW ZONE
LOT AREA	1248 SQ.M. (13,434 SQ.FT.)
SITE COVERAGE	1232 SQ.M. (13,260 SQ.FT.) (98.7%)
OPEN SITE SPACE	16 SQ.M. (172 SQ.FT.)
TOTAL FLOOR AREA	TOTAL 7,702.5 SQ.M. (82,909 SQ.FT.) (SEE GROSS BUILDING AREA CALCULATION) RESIDENTIAL 6,644.7 SQ.M. (71,523 SQ.FT.) (LEVELS 2 - 10, LESS RETAIL MEZZANINE) RETAIL 453.3 SQ.M. (4,879 SQ.FT.) (TOTAL AREA OF RETAIL UNITS)
FLOOR SPACE RATIO	CURRENT ZONING CA-2: MAXIMUM 2:1 (LOT AREA = 916.3 SQ.M.) CA-HG: MAXIMUM 3:1 ALLOWED UNDER SPECIAL DENSITY AREA (REZONING) PROPOSED: 7702.5 SQ.M. / 1248 SQ.M. = 6.17 F.S.R.
FLOOR PLATE SIZE	REQUIRED UNDER DOWNTOWN CORE AREA PLAN: 0 M - 20 M (0' - 65.6') NO RESIDENTIAL OR COMMERCIAL FLOOR PLATE SIZE RESTRICTIONS 20 M - 30 M (65.6' - 98.4') RESIDENTIAL MAXIMUM 930 SQ.M. (10,010 SQ.FT.) > 30 M (> 98.4') RESIDENTIAL MAXIMUM 650 SQ.M. (7,000 SQ.FT.) PROPOSED: 20 M - 30 M (65.6' - 98.4') 724.6 SQ.M. (7,800 SQ.FT.) > 30 M (> 98.4') 612.8 SQ.M. (6,596 SQ.FT.) 21.6m
AVERAGE GRADE (GEODETIC)	
HEIGHT OF BUILDING (ABOVE AVERAGE GRADE)	ALLOWED UNDER DOWNTOWN CORE AREA PLAN: 30 M (98.4') ALLOWED UNDER CA-2 ZONING: 15.5 M (50.8') ALLOWED UNDER CA-HG ZONING: 43 M (141.1') PROPOSED: MAIN ROOF 31.7 M (102.0') (EXCLUDES 0.61 M PARAPET) HIGHEST ROOFTOP 34.8 M (114.0') (EXCLUDES 0.61 M PARAPET)
NUMBER OF STOREYS	10 STOREYS
STREETWALL	REQUIRED UNDER DOWNTOWN CORE AREA PLAN FOR NARROW STREETS (<25m) PRIMARY FACE: WIDTH, MIN 60% SITE WIDTH: 36.1 M (118.6') x 60% = 21.7 M (71.2') HEIGHT, 10 M - 15 M (32.8' - 49.2') SETBACK, 0 M - 3 M (0' - 9.8') SECONDARY FACE: WIDTH, MIN 30% SITE WIDTH 36.1 M (118.6') x 30% = 10.8 M (35.5') HEIGHT, 18 M - 25 M (59.1' - 82') SETBACK, 3 M - 6 M (9.8' - 19.7') SETBACK ABOVE 25 M (82') MIN 6 M (19.7')
BUILDING SETBACKS	REQUIRED UNDER DOWNTOWN CORE AREA PLAN FOR HEIGHT 0 - 30 M (0' - 98.4') EXTERIOR WALL, FRONT PROPERTY LINE: PRIMARY STREET WALL: 0 - 3 M FROM P. L., HEIGHT = 10 TO 15 M SECONDARY STREET WALL: 3-6 M FROM P. L., HEIGHT = 18 TO 25 M 1.5 BUILDING SETBACK RATIO STARTING AT 15 M ABOVE GRADE EXTERIOR WALL, SIDE PROPERTY LINE: MIN 3 M (9.8') EXTERIOR WALL, REAR PROPERTY LINE: MIN 3 M (9.8') BALCONIES, SIDE PROPERTY LINE: MIN 3.5 M (11.5') BALCONIES, REAR PROPERTY LINE: MIN 3.5 M (11.5')
PARKING	PARKING REQUIRED UNDER NEW ZONING BYLAW SCHEDULE C RESIDENTIAL: 38 UNITS x (0.65/UNIT) = 24.7 56 UNITS x (0.8/UNIT) = 44.8 7 UNITS x (1.2/UNIT) = 8.4 101 UNITS x (0.1/UNIT VISITOR STALLS) = 10 RETAIL: 453.3 SQ.M. (4,879 SQ.FT.) x (1/80 SQ.M.) = 5.666 * 50% PER CA-2 = 2.8 TOTAL: 91
BICYCLE STORAGE	CLASS 1 BICYCLE PARKING REQUIRED UNDER ZONING NEW BYLAW SCHEDULE C 39 x (1/UNIT) = 39 62 x (1.25/UNIT) = 77.5 = 116.5 RETAIL @ 1/200 SQ.M. = 2.27 2 TOTAL: = 118.5
	CLASS 2 BICYCLE PARKING REQUIRED UNDER ZONING NEW BYLAW SCHEDULE C MULTIFAMILY RESIDENTIAL = 101 x (0.1/UNIT) = 10 RETAIL @ 1/200 SQ.M. = 2.26 TOTAL: 12
NUMBER OF STORAGE LOCKERS	NO BYLAW REQUIREMENT 101 x (0.4 / UNIT) = 40
RETAIL	NUMBER OF UNITS: 5 AREA: 453.3 SQ.M. (4,879 SQ.FT.)
SUITE TYPES	TYPE SIZE RANGE QUANTITY STUDIO 304 - 405 SQ.FT. 10 1 BEDROOM 419 - 547 SQ.FT. 47 2 BEDROOM 607 - 741 SQ.FT. 37 3 BEDROOM 877 SQ.FT. 7 GROUND-ORIENTATED N/A 0 TOTAL 101



PROJECT TEAM

OWNER Owner: 825 Fort Holdings Ltd. c/o: CLIENT / DEVELOPMENT MANAGER Company: The Salient Group Address: Suite 225 - 209 Carrall Street Vancouver, BC V6B 2J2 T: 604-669-5536 F: 604-669-5574 Website: thesalientgroup.com	MECHANICAL CONSULTANT Company: Rocky Point Engineering Ltd. Address: 202 - 1701 Island Highway Victoria, BC V9B 1J1 T: 778-400-9825 Website: rockypointengineering.com ELECTRICAL CONSULTANT Company: AES Engineering Ltd. Address: 300 - 1815 Blanshard Street Victoria, BC V8T5A4 T: 250-381-6121 F: 250-381-6811 Website: aesengr.com LANDSCAPE CONSULTANT Company: Considered Design Inc. Address: 201 - 318 Homer Street Vancouver, BC V6B 2V2 T: 778-386-4414 Website: weareconsidered.com GEOTECHNICAL CONSULTANT Company: Ryzuk Geotechnical Address: 28 Crease Avenue Victoria, BC V9A 1S3 T: 250-475-3131 F: 250-475-3611 Website: www.ryzuk.com	SURVEYOR Company: Island Land Surveying Ltd. Address: 1-15 Cadillac Avenue Victoria, BC V8Z 1T3 T: 250-475-1515 F: 250-475-1516 Website: www.islandsurveying.ca CIVIL CONSULTANT Company: J. E. Anderson & Associates Address: 4212 Glanford Avenue Victoria, BC V8Z 4B7 T: 250-727-2214 F: 250-727-3395 Website: jeanderson.com TRAFFIC CONSULTANT Company: Bunt & Associates Engineering Ltd. Address: Suite 421 - 645 Fort Street Victoria, BC V8W 1G2 T: 250-592-6122 Website: www.bunteng.com ENVELOPE CONSULTANT Company: JRS Engineering Ltd. Address: 300 - 4595 Canada Way Burnaby, BC V5G 1J9 604-320-1999 T: Website: www.jrsengineering.com
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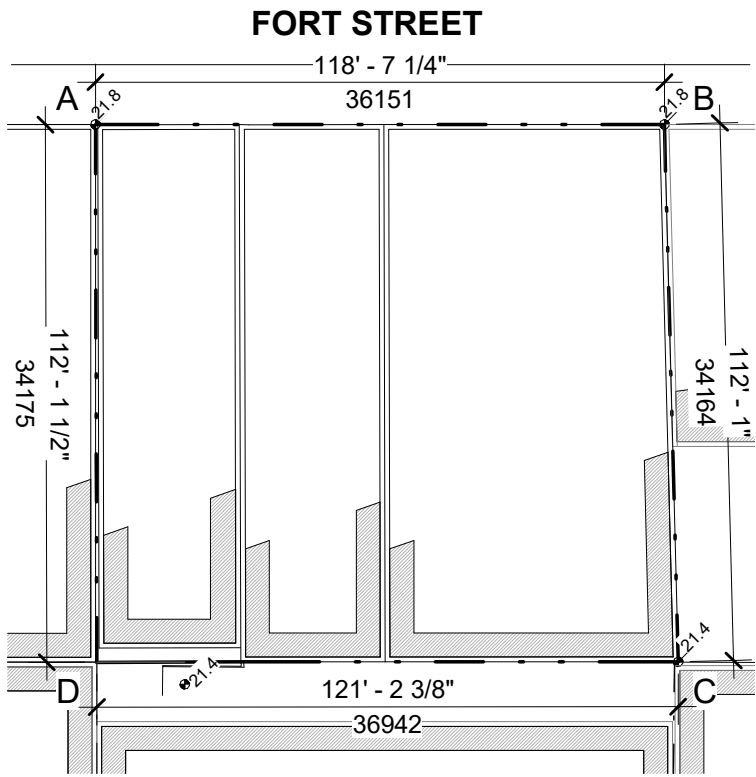
GROSS BUILDING AREA
FSR CALCULATIONS EXCLUDE BELOW GRADE
PARKING, PARKING RAMP, REQUIRED BIKE STALLS,
AND ELEVATOR CORE.

P2	13,139 SQ.FT.	1,220.7 SQ.M.
P1	13,139 SQ.FT.	1,220.7 SQ.M.
L01	10,648 SQ.FT.	989.2 SQ.M.*
L02	9,835 SQ.FT.	913.7 SQ.M.**
L03	9,620 SQ.FT.	893.7 SQ.M.
L04	7,800 SQ.FT.	724.6 SQ.M.
L05	7,800 SQ.FT.	724.6 SQ.M.
L06	7,800 SQ.FT.	724.6 SQ.M.
L07	7,800 SQ.FT.	724.6 SQ.M.
L08	7,800 SQ.FT.	724.6 SQ.M.
L09	7,210 SQ.FT.	669.8 SQ.M.
L10	6,596 SQ.FT.	612.8 SQ.M.
TOTAL:	82,909 SQ.FT.	7,702.5 SQ.M.
ROOF	1,273 SQ.FT.	118.3 SQ.M.***

BIKE STORAGE AREA
HORIZONTAL STALLS 69@0.81 SQ.M. = 55.89 SQ.M.
VERTICAL STALLS 59@0.54 SQ.M. = 31.86 SQ.M.
TOTAL: = 87.75 SQ.M.

FSR: 82,909 SQ.FT / 13,434 SQ.FT. = 6.17
*EXCLUDES 87.75 SQ.M. CLASS 1 & 2 BIKE STORAGE
**INCLUDES 68.6 SQ.M. MEZZANINE IN CRU 1.
***FSR INCLUDING ROOF LEVEL AREA = 6.27

DRAWING INDEX	
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A205	Floor Plan Level 3
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A207	Floor Plan Level 5
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A210	Floor Plan Level 8
A211	Floor Plan Level 9
A212	Floor Plan Level 10
A213	Roof Plan
A301	Streetscape Elevation
A302	North Building Elevation
A303	East Building Elevation
A304	South Building Elevation
A305	West Building Elevation
A401	Building Section
A402	Building Section
C	Preliminary Civil Plan
L1_L1	Ground Floor Landscape General Arrangement
L2_L1	Second Floor General Arrangement
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L9_L1	9th Floor General Arrangement
L10_L1	10th Floor General Arrangement
L11_L1	Roof General Arrangement



Site Plan Existing Grades

SCALE: 1" = 40'-0"

AVERAGE GRADE CALCULATION

GRADES:
A: 21.8 B: 21.8 C: 21.4 D: 21.4*

PROPERTY LINE DISTANCES:

AB	36,151 M
BC	34,164 M
CD	36,942 M
DA	34,175 M
TOTAL	131,432 M

AB	(21.8+21.8)/2 * 36,151 M = 788.0918
BC	(21.8+21.4)/2 * 34,164 M = 521.9424
CD	(21.4+21.4)/2 * 36,942 M = 790.5588
DA	(21.4+21.8)/2 * 34,175 M = 738.1800
TOTAL	= 2838.773

AVERAGE GRADE:
2838.773 / 131.432 M = 21.6

*LEGAL SURVEY INDICATES GRADE D SLIGHTLY AWAY FROM THE SW PROPERTY CORNER. CORNER INACCESSIBLE DUE TO EXISTING SERVICE BUILDING AT 818 BROUGHTON ST, SO THE NEAREST GEODETIC HAS BEEN USED.

M C M

Musson
Cattell
Mackey
Partnership

Architects Designers Planners

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Canada V6E 3X1
T. 604.687. 2990
F. 604. 687. 1771
MCMParcitects.com



Revisions

Received Date:
May 28, 2019

3 Rezoning Resubmission 2019-05-24

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

Cover Sheet

Drawing

Scale As indicated

Project 217033

Sheet

A001



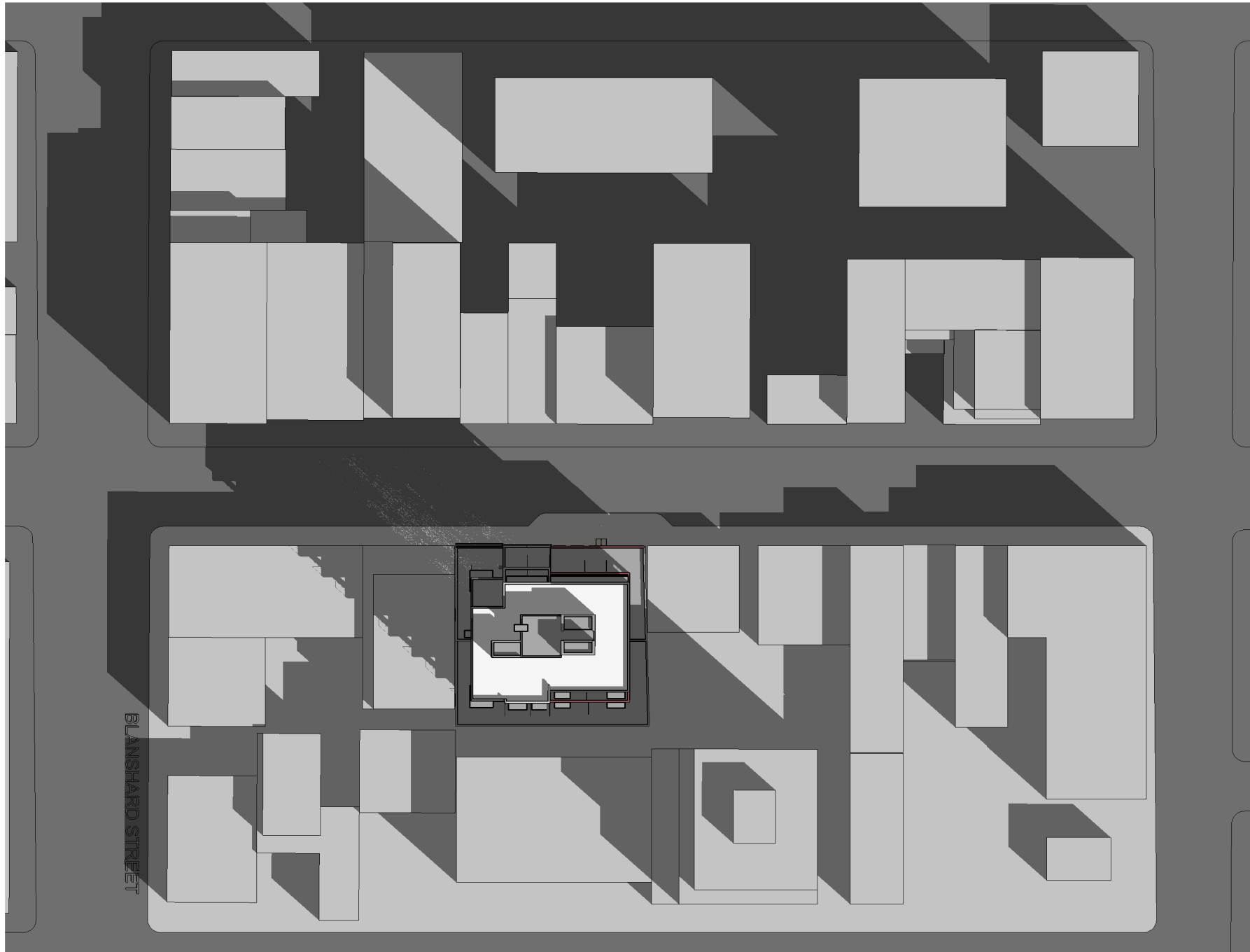
SOUTHEAST VIEW



NORTH VIEW



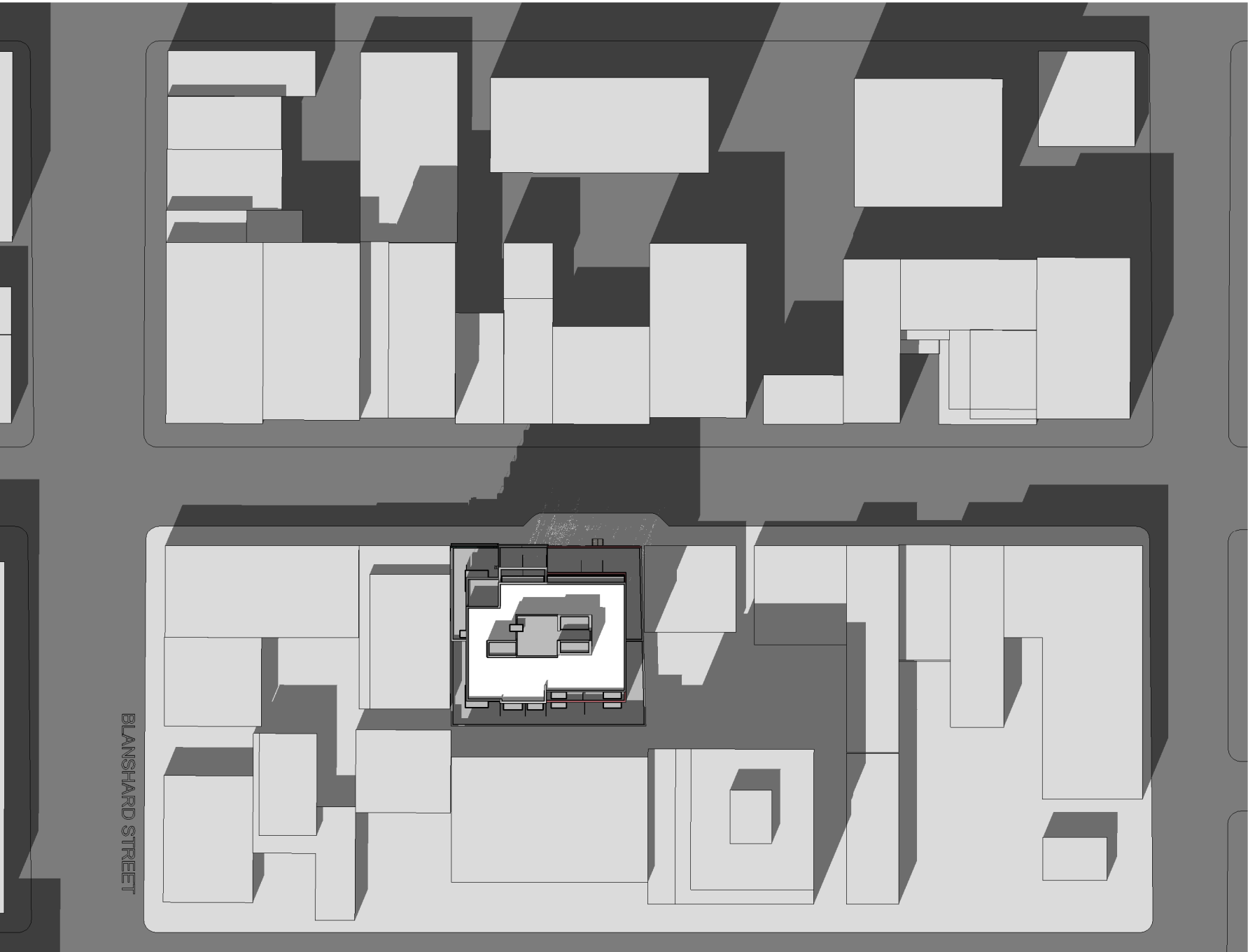
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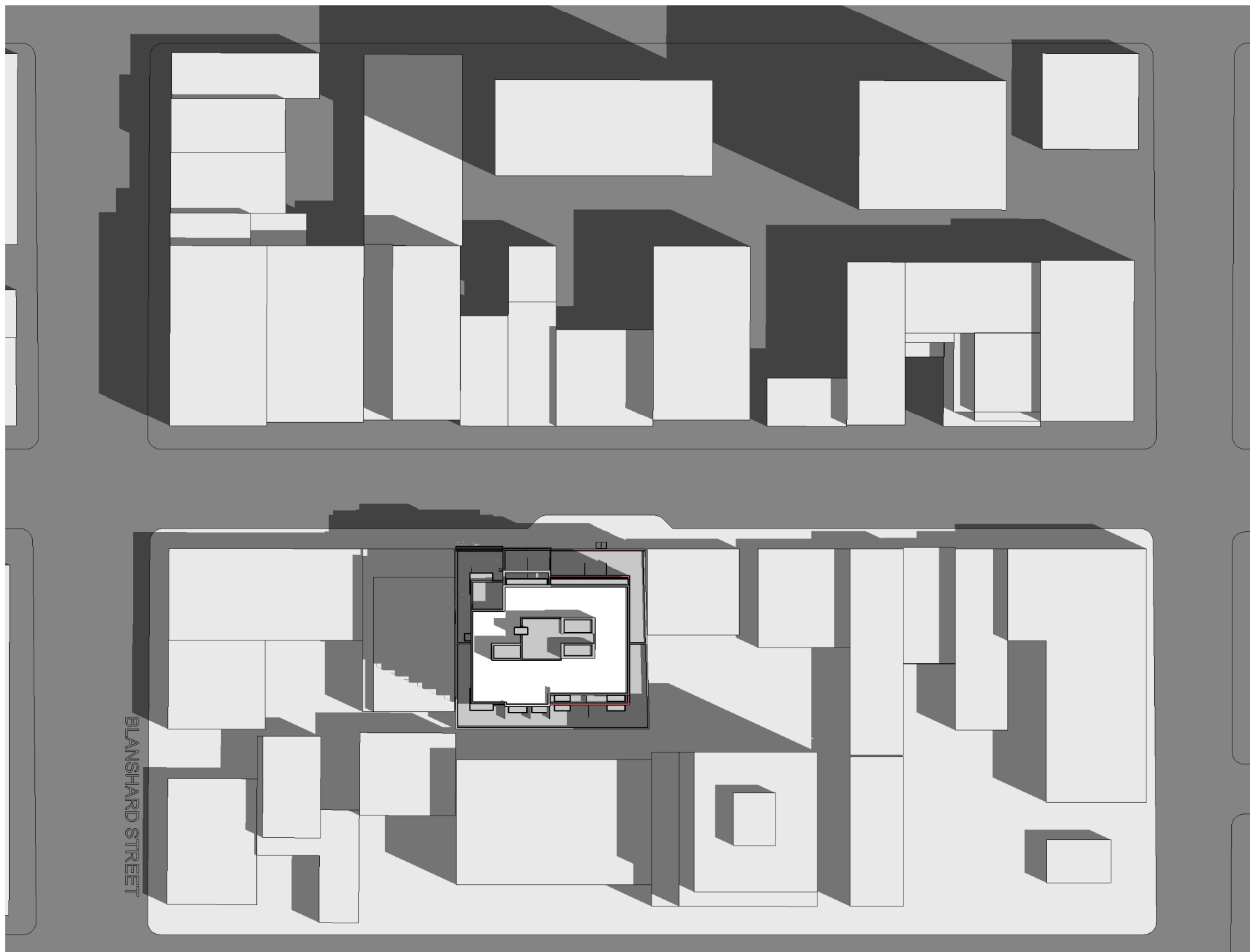
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A003 SCALE:



2 Spring Equinox 12 PM
A003 SCALE:



3 Spring Equinox 2 PM
A003 SCALE:



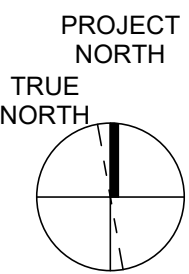
4 Summer Solstice 10 AM
A003 SCALE:



5 Summer Solstice 12 PM
A003 SCALE:



6 Summer Solstice 2 PM
A003 SCALE:



3 Rezoning Resubmission 2019-05-24

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

Shadow Study

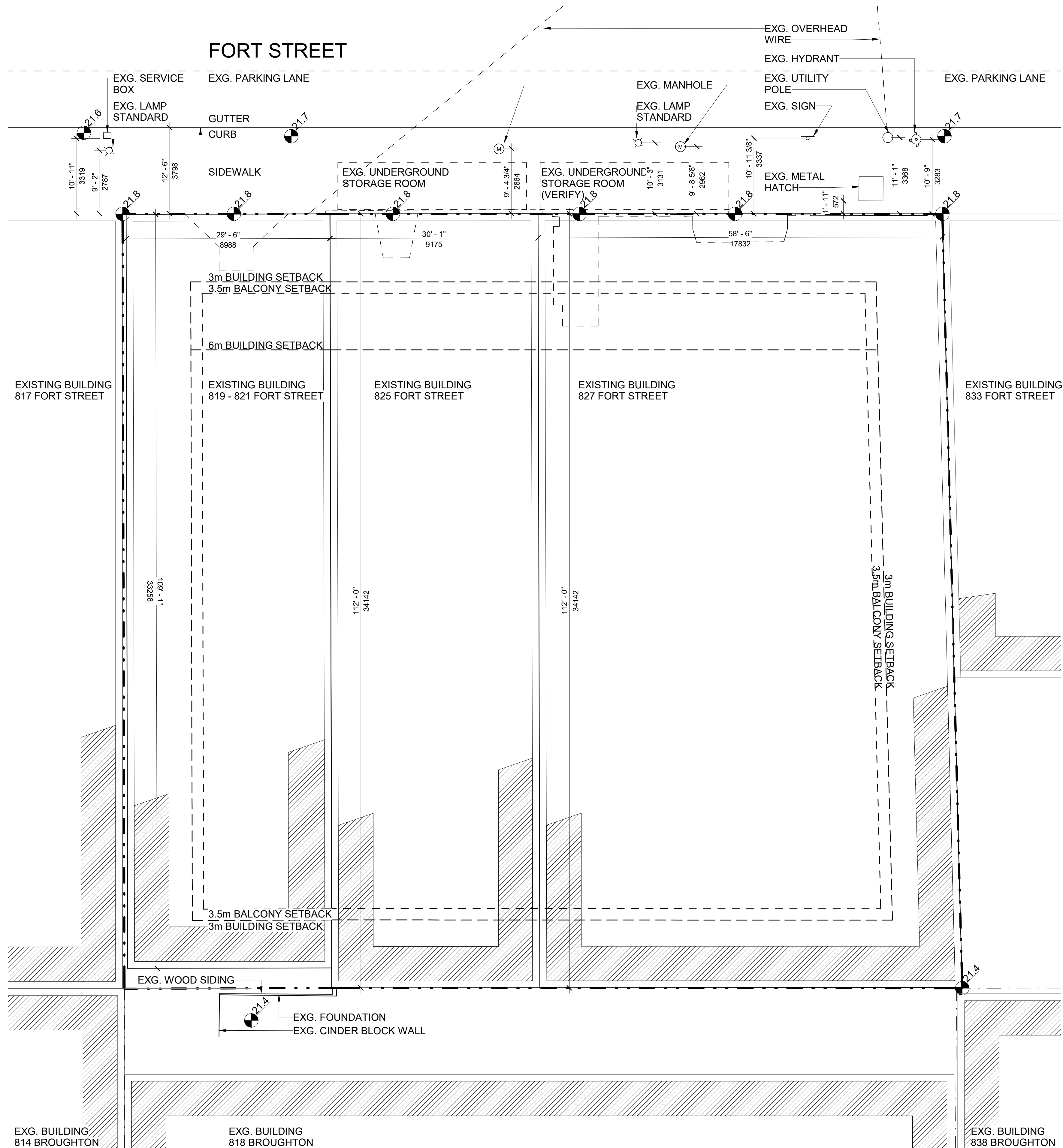
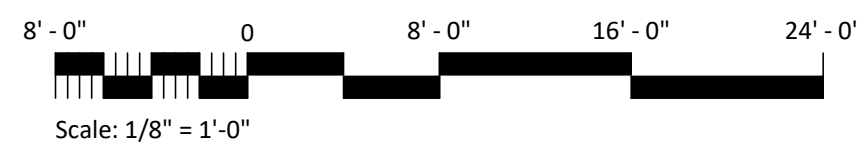
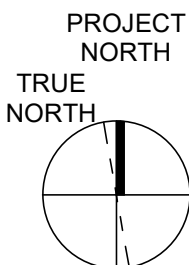
Drawing

Scale

Project 217033

Sheet

A003

1
A101
Site Plan Existing
SCALE: 1 : 100

3 Rezoning Resubmission 2019-05-24

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria825 Fort Street
Victoria, BC

Project

Site Plan
Existing

Drawing

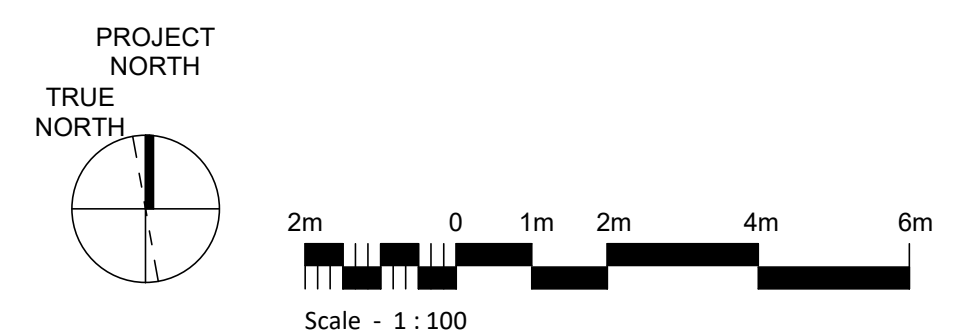
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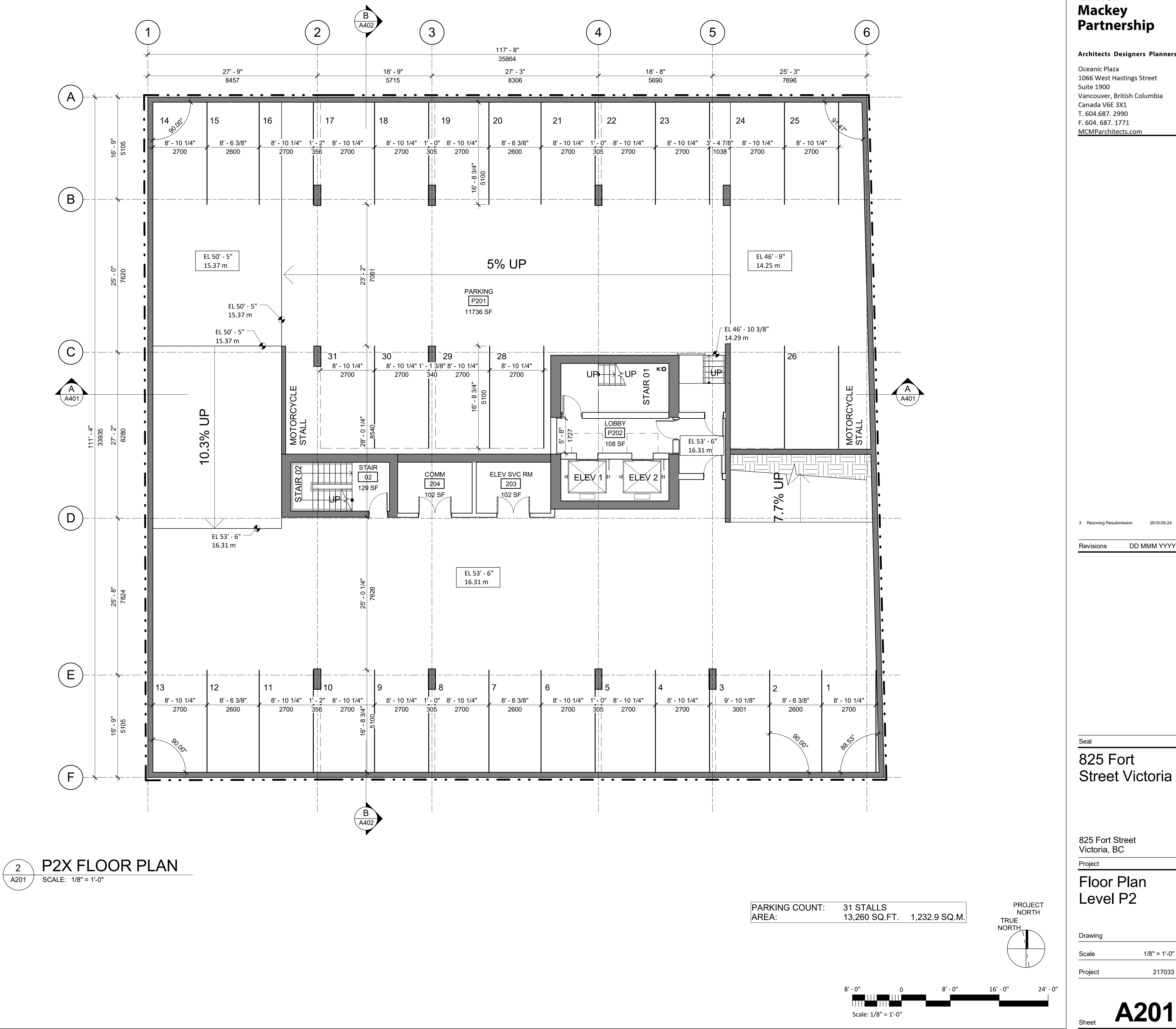
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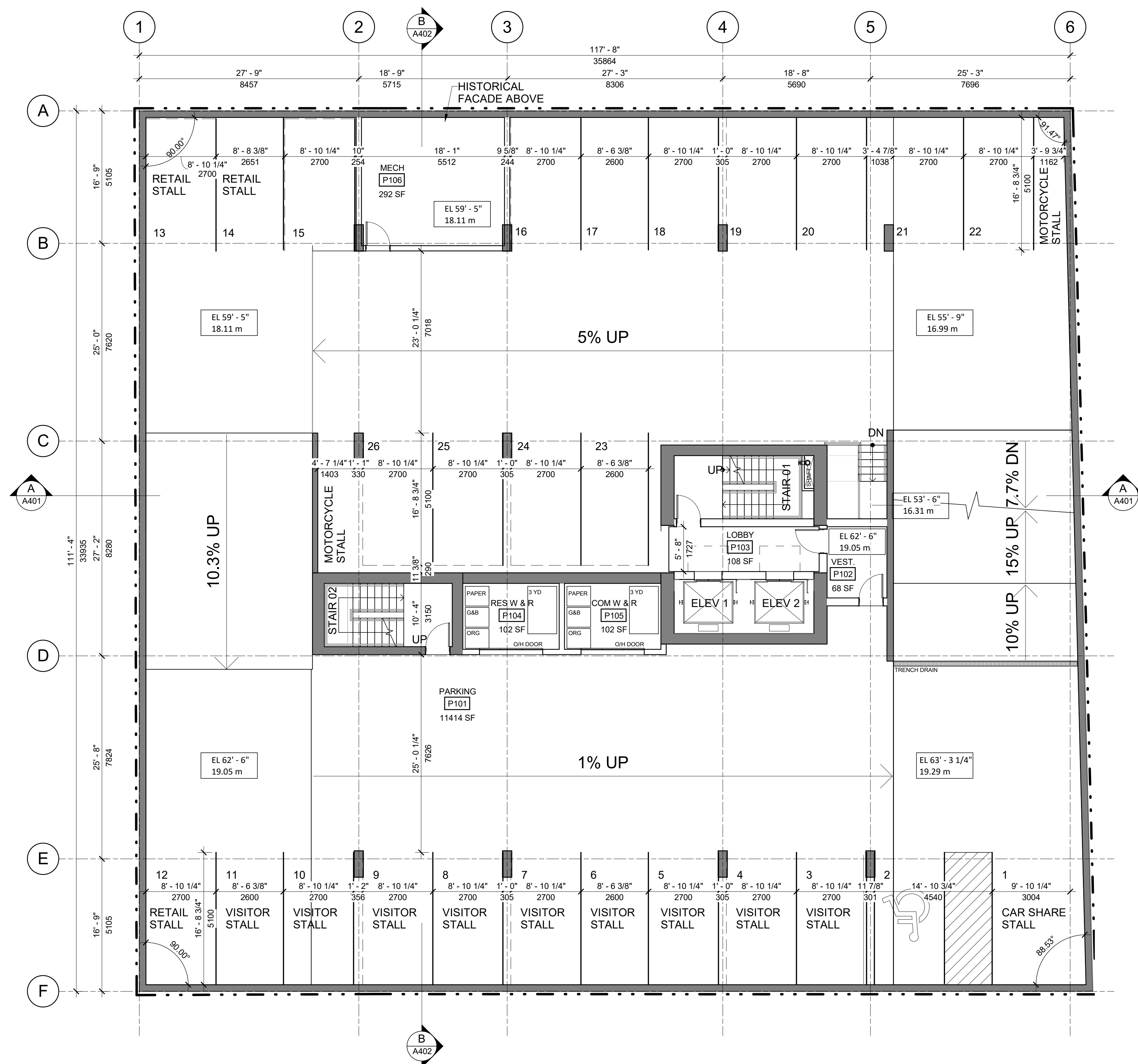
A101

STUDIO	28.2 SQ.M. (304 SQ.FT.)
1 BEDROOM	38.9 SQ.M. (419 SQ.FT.)
2 BEDROOM	56.4 SQ.M. (607 SQ.FT.)
3 BEDROOM	81.5 SQ.M. (877 SQ.FT.)
TOTAL RESIDENTIAL FLOOR AREA: 6,644.7 SQ.M. (71,523 SQ.FT.)	



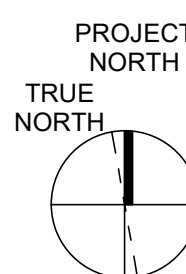
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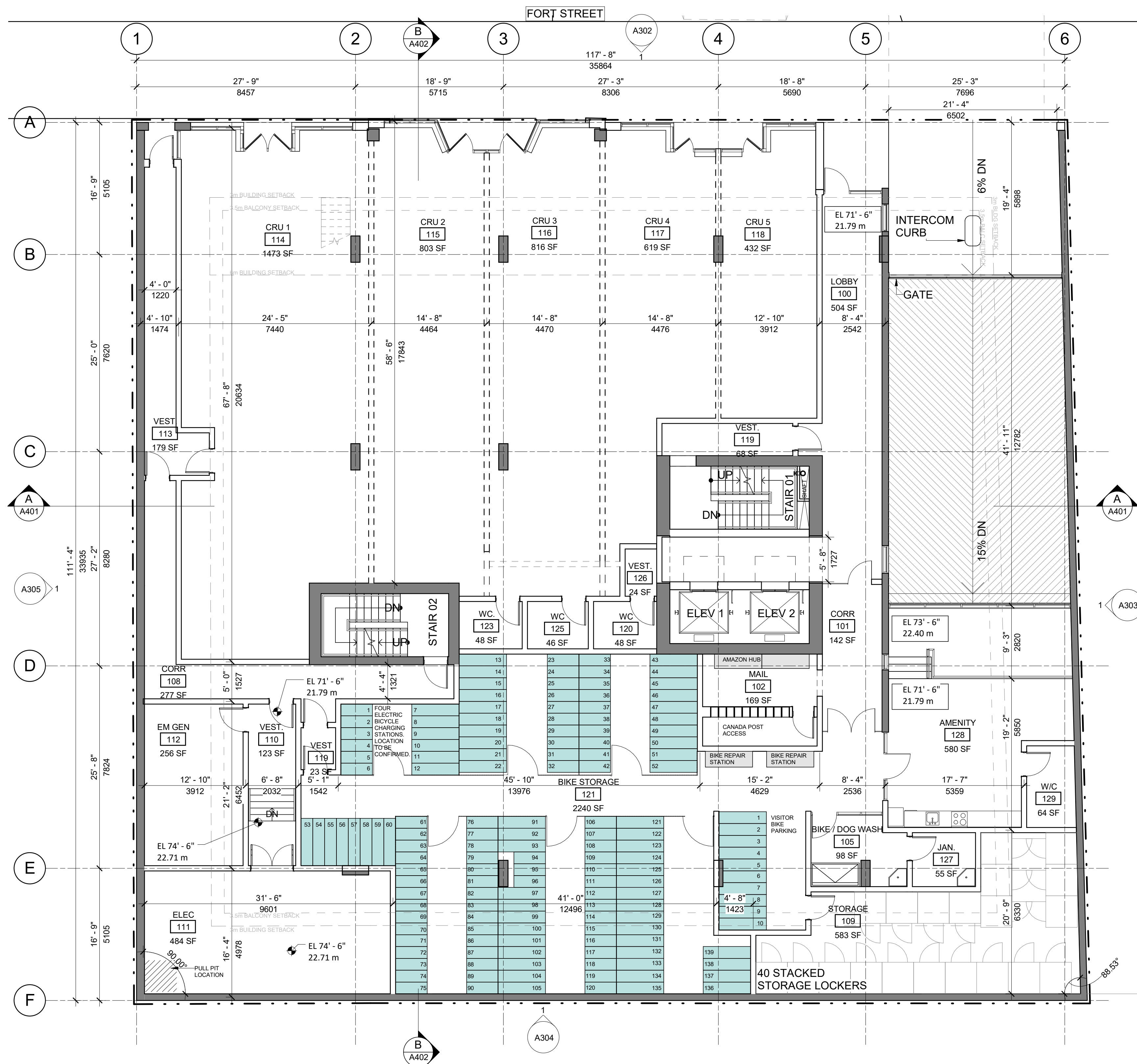


1 P1 FLOOR PLAN
A202 SCALE: 1/8" = 1'-0"

PARKING COUNT: 26 STALLS
AREA: 13,260 SQ.FT. 1,232.9 SQ.M.



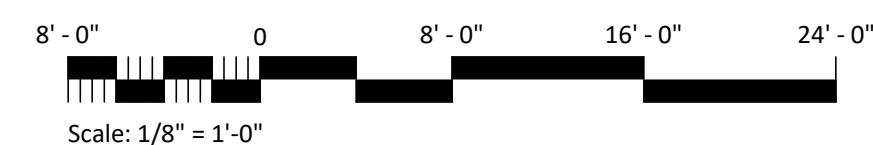
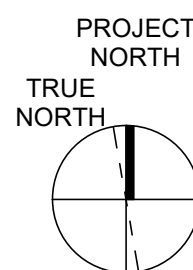
8'-0" 0 8'-0" 16'-0" 24'-0"
Scale: 1/8" = 1'-0"

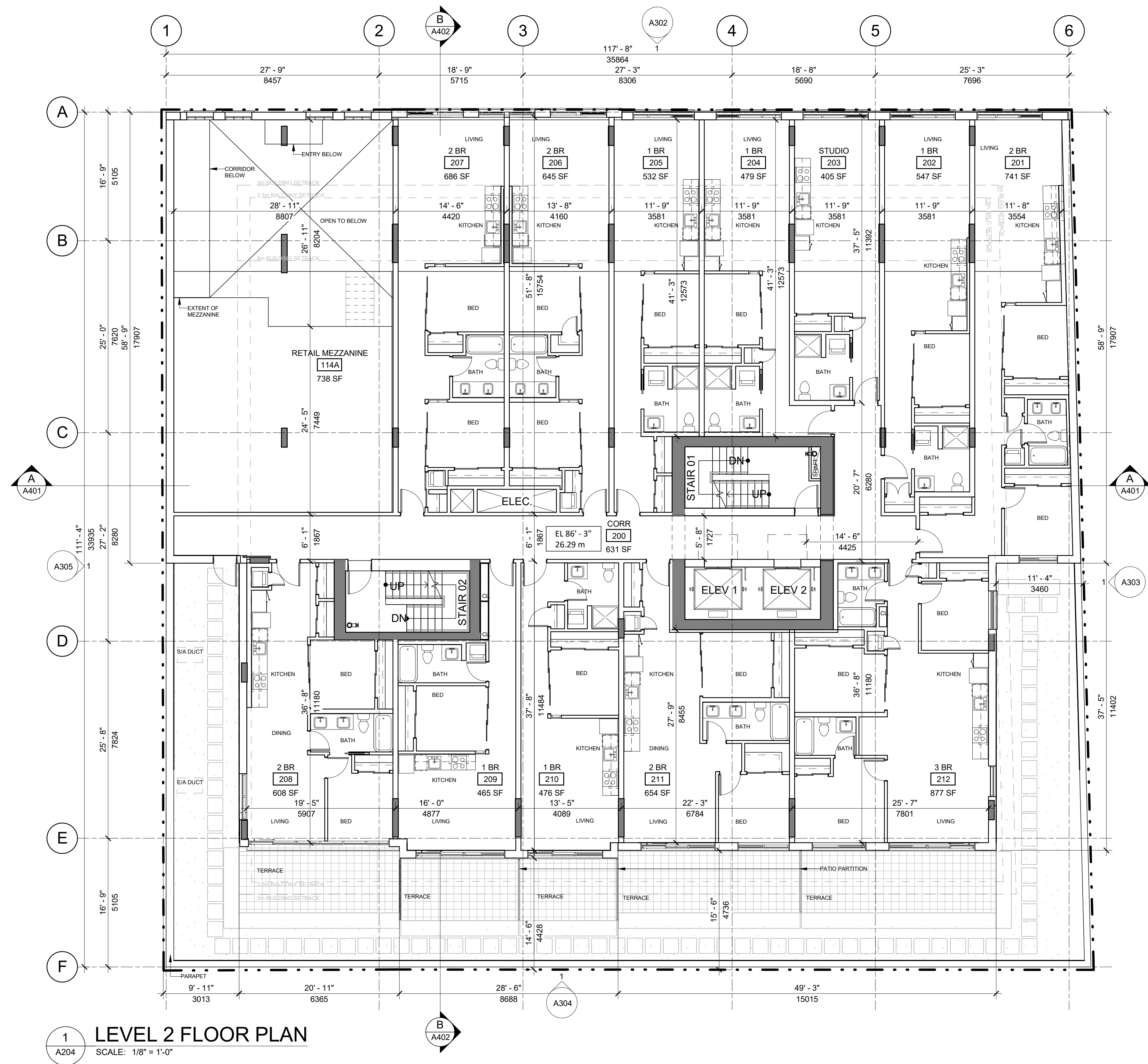


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A203

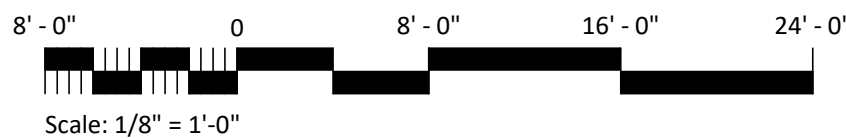
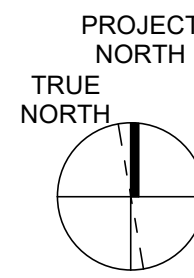
GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
SCHED. C (NEW)	WALL MOUNTED 4'-0" MIN 1.2 m
	GROUND ANCHORED 6'-0" MIN 1.8 m
NUMBER OF STALLS	
TYPE	GROUND ANCHORED
RESIDENTS	65
VISITOR	10
TOTAL: 140 *	
* 2 ADDITIONAL VISITOR STALLS OUTSIDE. REFER TO SITE PLAN.	





L 02 UNITS	
1 BR	5
2 BR	5
3 BR	1
STUDIO	1



3 Rezoning Resubmission 2019-05-24

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria825 Fort Street
Victoria, BC

Project

Floor Plan
Level 2

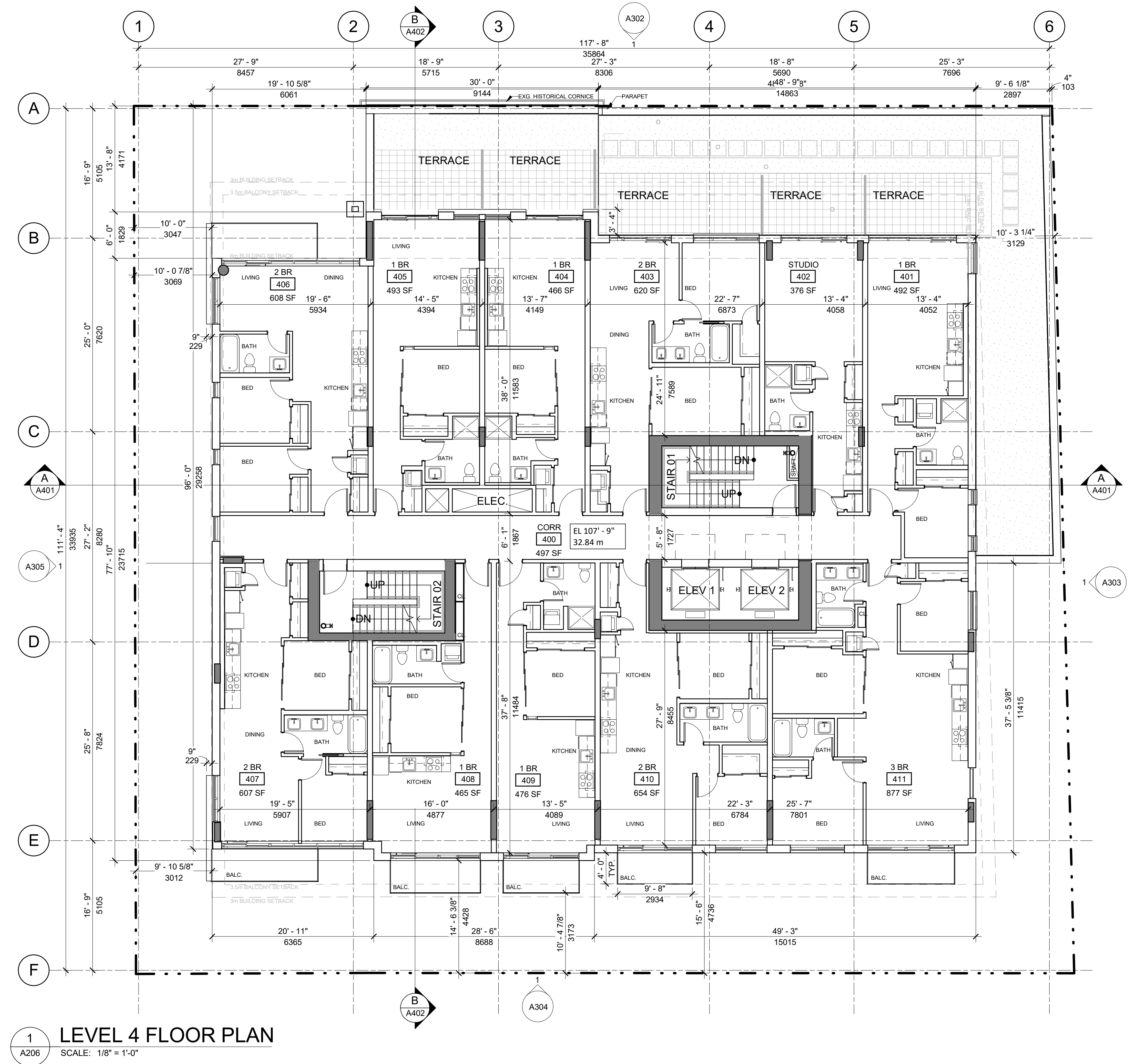
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Scale 1/8" = 1'-0"

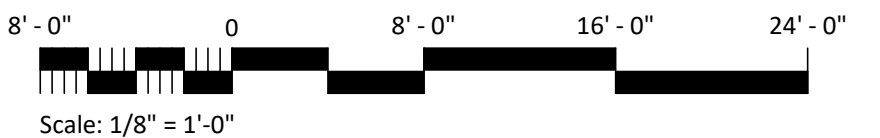
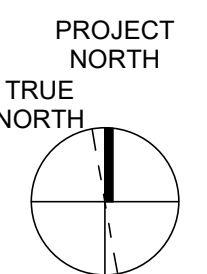
Project 217033

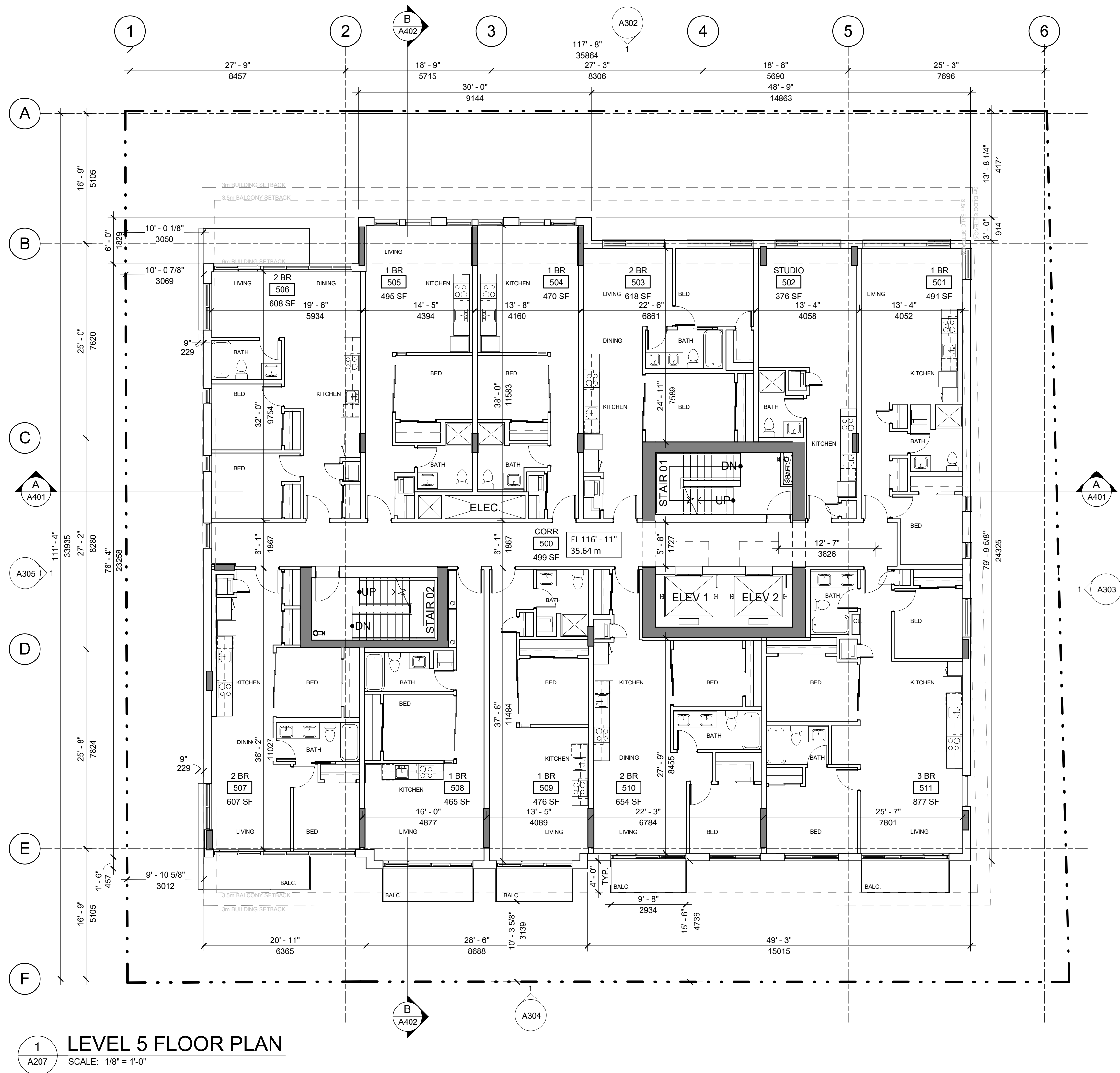
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A204



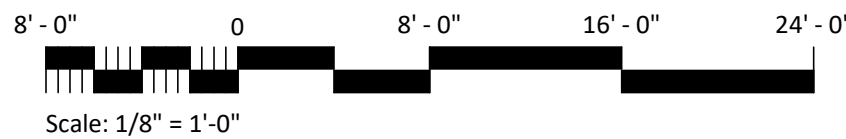
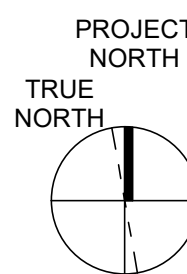
L 04 UNITS	
1 BR	5
2 BR	4
3 BR	1
STUDIO	1

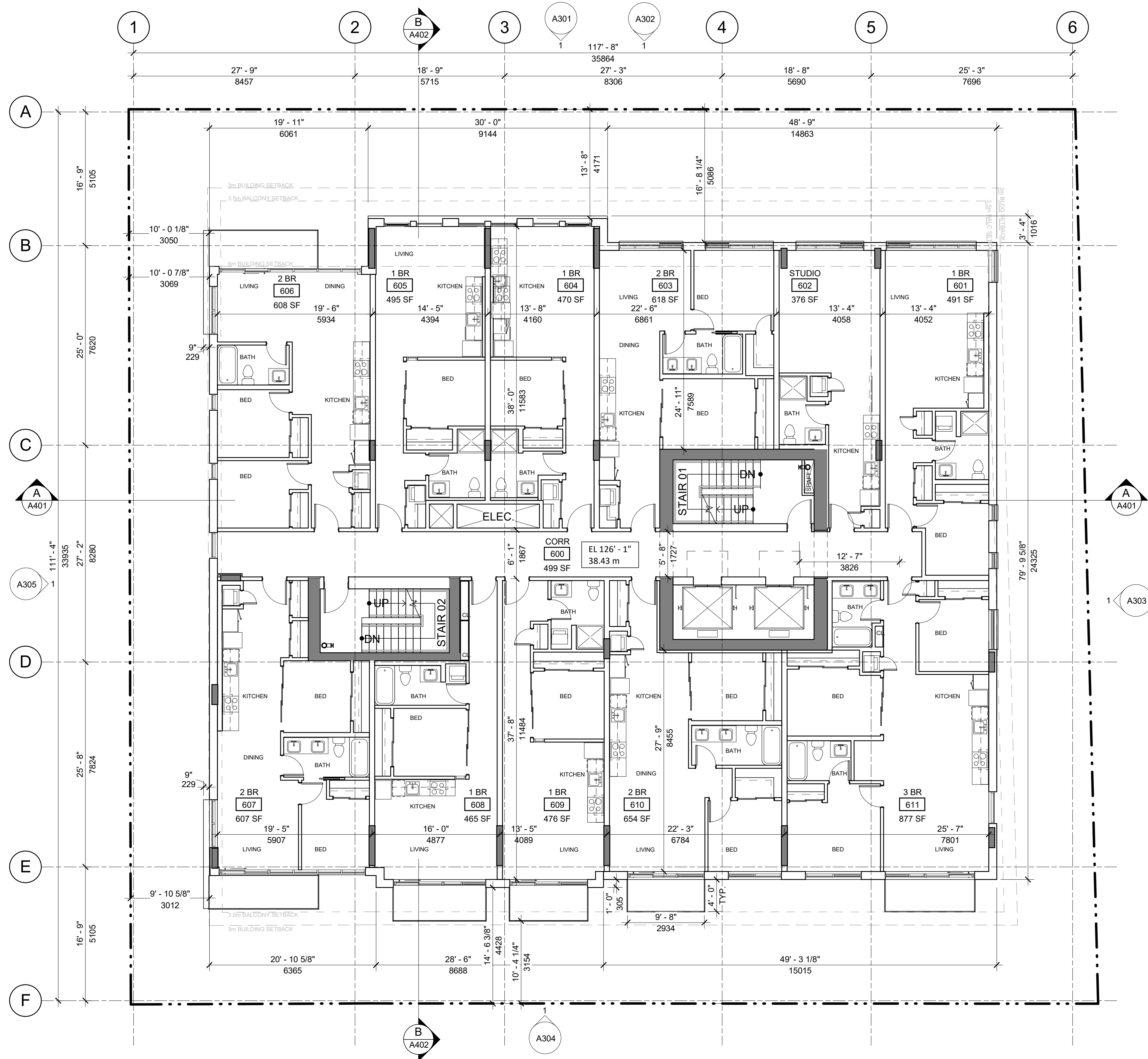




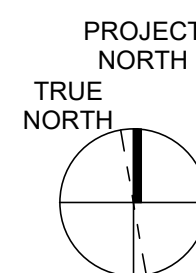
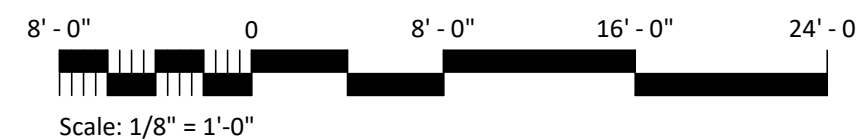
1 LEVEL 5 FLOOR PLAN
A207 SCALE: 1/8" = 1'-0"

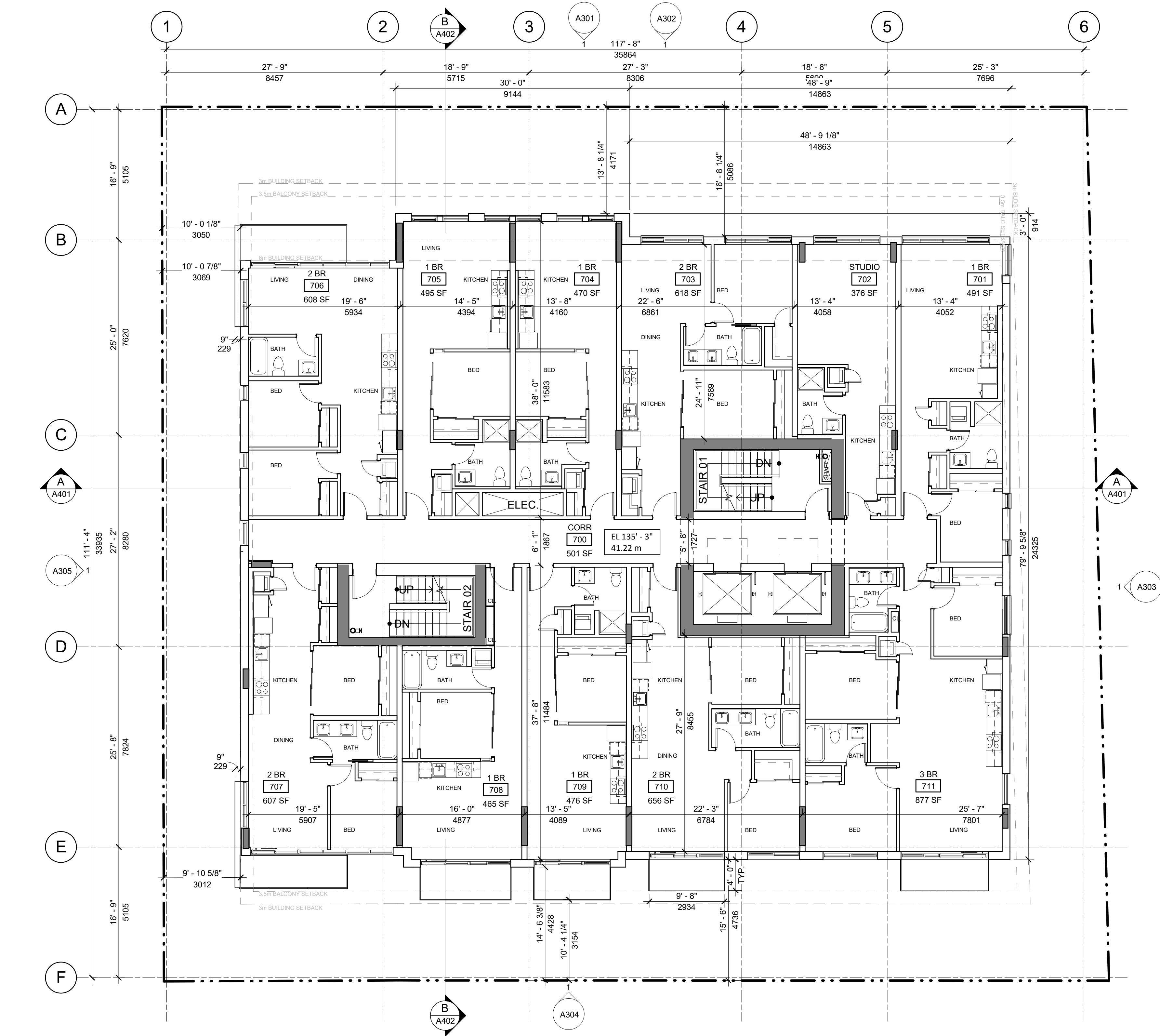
L 05 UNITS	
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2 BR	4
3 BR	1
STUDIO	1



1 LEVEL 6 FLOOR PLAN
A208 SCALE: 1/8" = 1'-0"

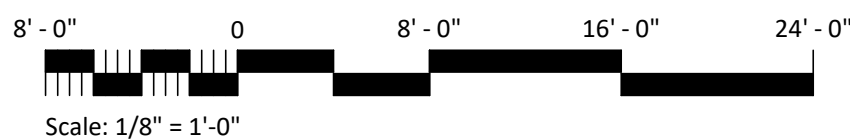
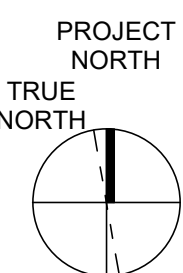
L 06 UNITS	
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2 BR	4
3 BR	1
STUDIO	1

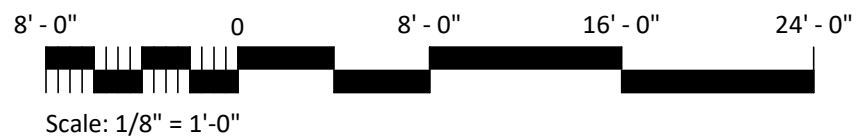


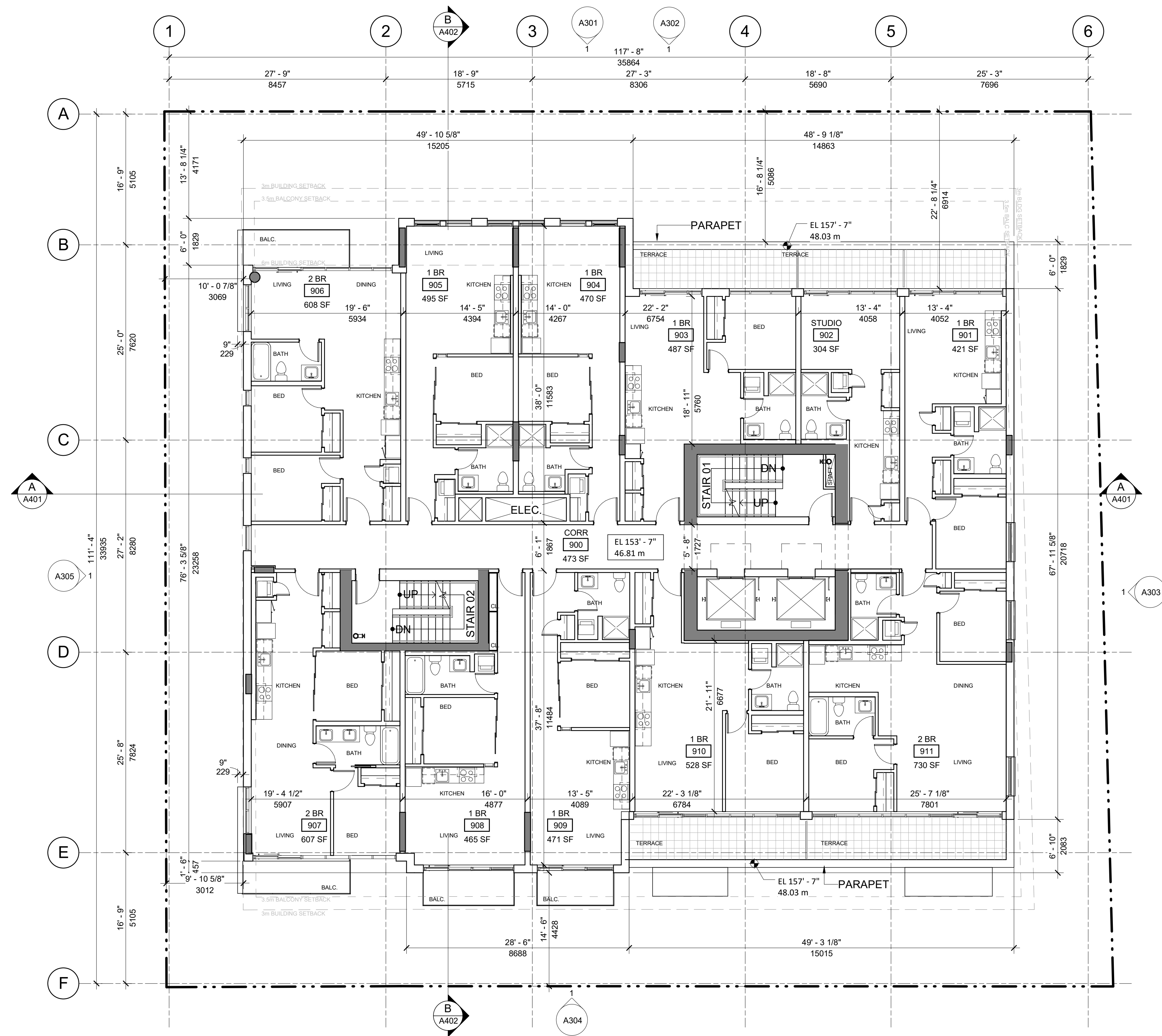


1 LEVEL 7 FLOOR PLAN
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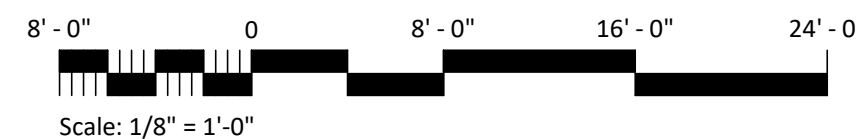
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2 BR	4
3 BR	1
STUDIO	1

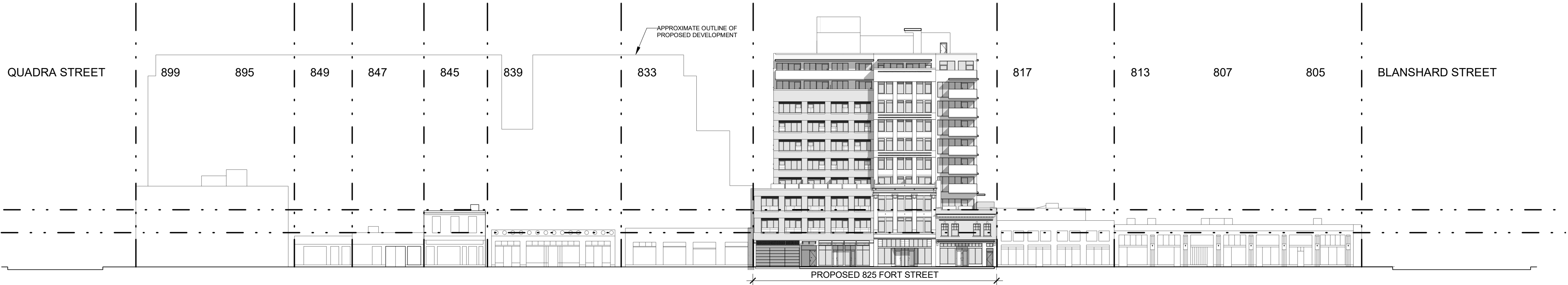




1 LEVEL 9 FLOOR PLAN
A211 SCALE: 1/8" = 1'-0"

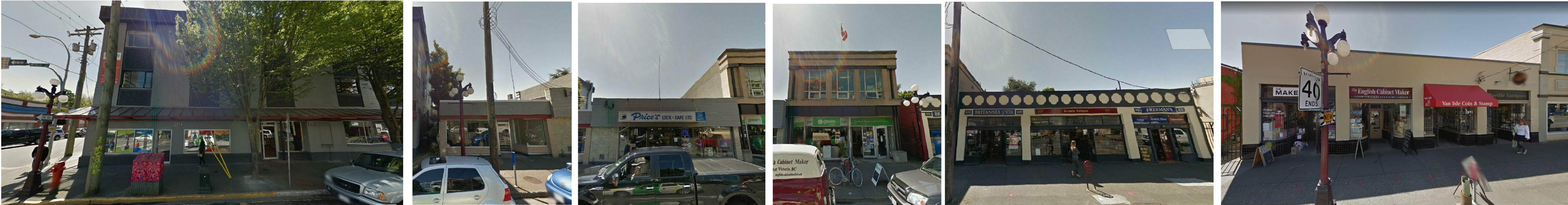
L 09 UNITS	
1 BR	7
2 BR	3
STUDIO	1



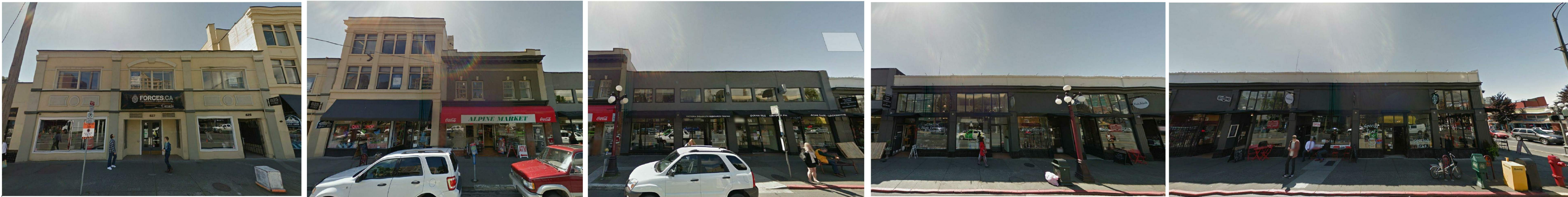


1 NORTH ELEVATION - FORT ST 800 BLOCK
A301 SCALE: 1/32" = 1'-0"

FORT STREET IMAGES :
EXSISTING STREETScape



899 895 849 847 845 839 833



827 825 819 817 813 807 805

EXISTING DEVELOPMENTS AT 819 - 827 FORT STREET

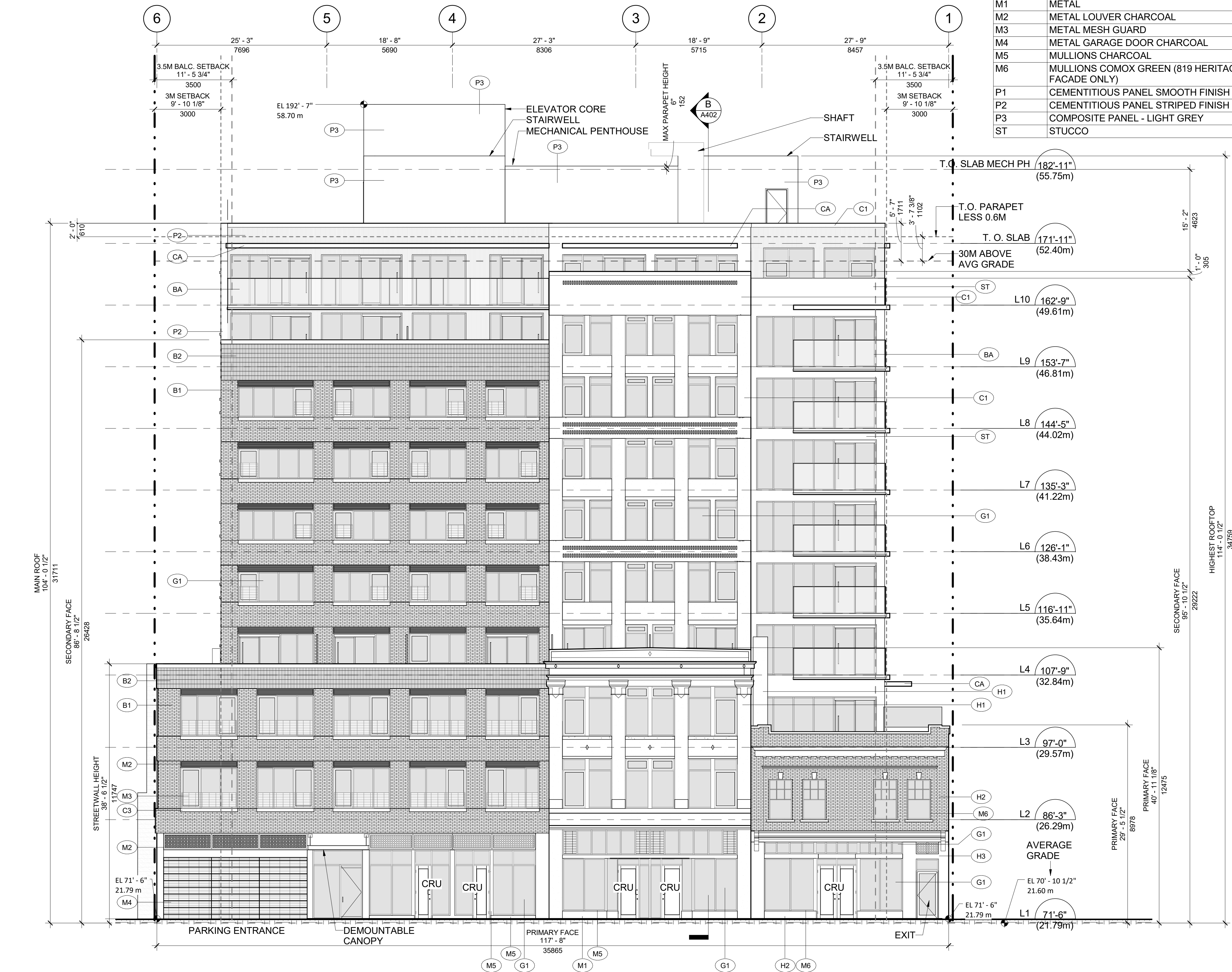
3 Rezoning Resubmission	2019-05-24
Revisions	DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC
Project
Streetscape
Elevation

Drawing	
Scale	1/32" = 1'-0"
Project	217033

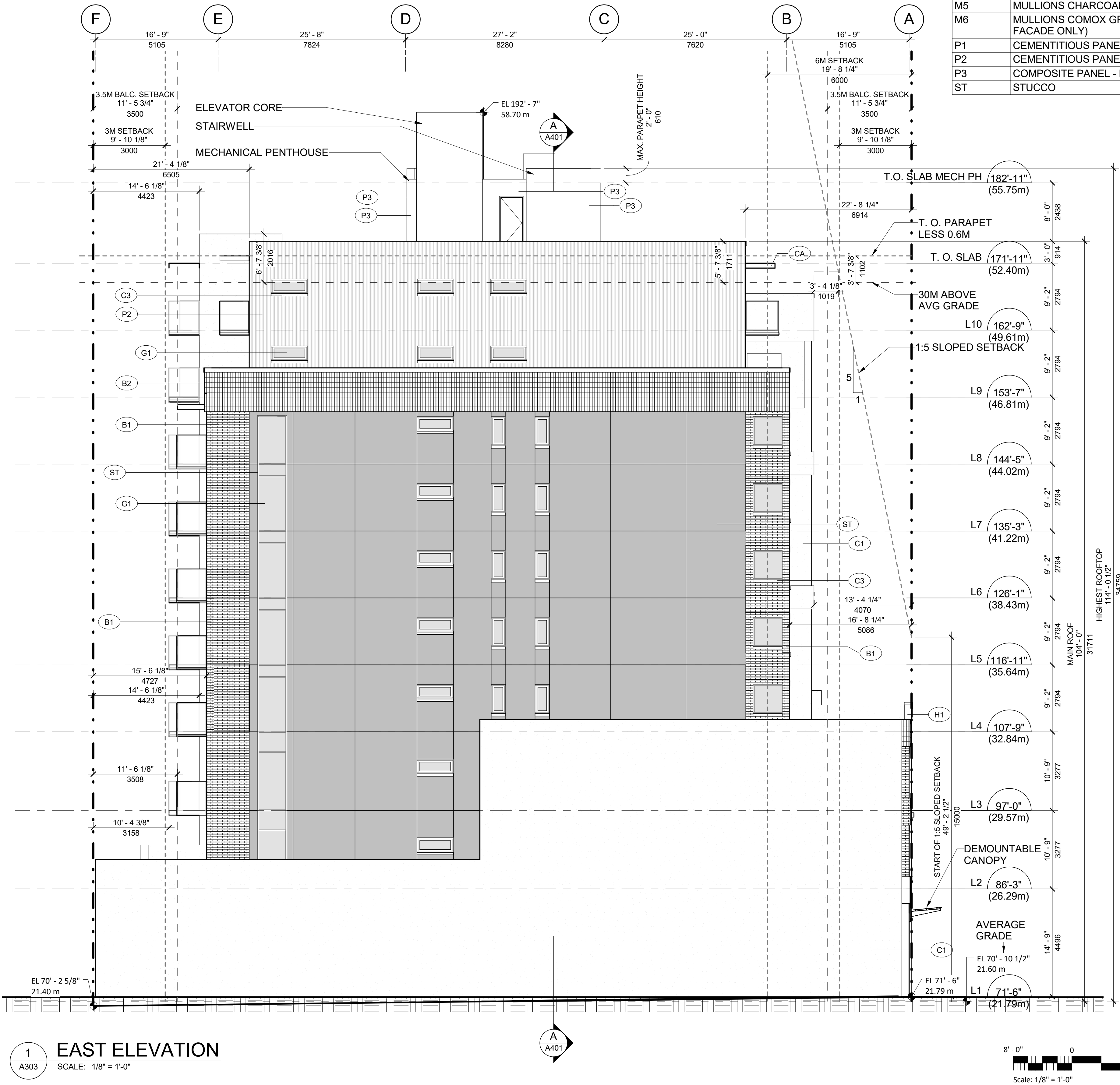
Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M4	METAL GARAGE DOOR CHARCOAL
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
P3	COMPOSITE PANEL - LIGHT GREY
ST	STUCCO



1
A302

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M4	METAL GARAGE DOOR CHARCOAL
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
P3	COMPOSITE PANEL - LIGHT GREY
ST	STUCCO

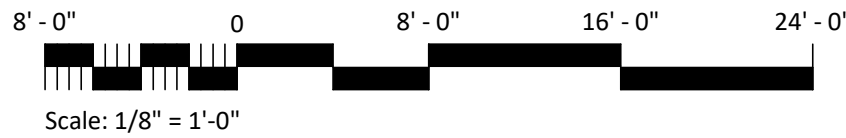


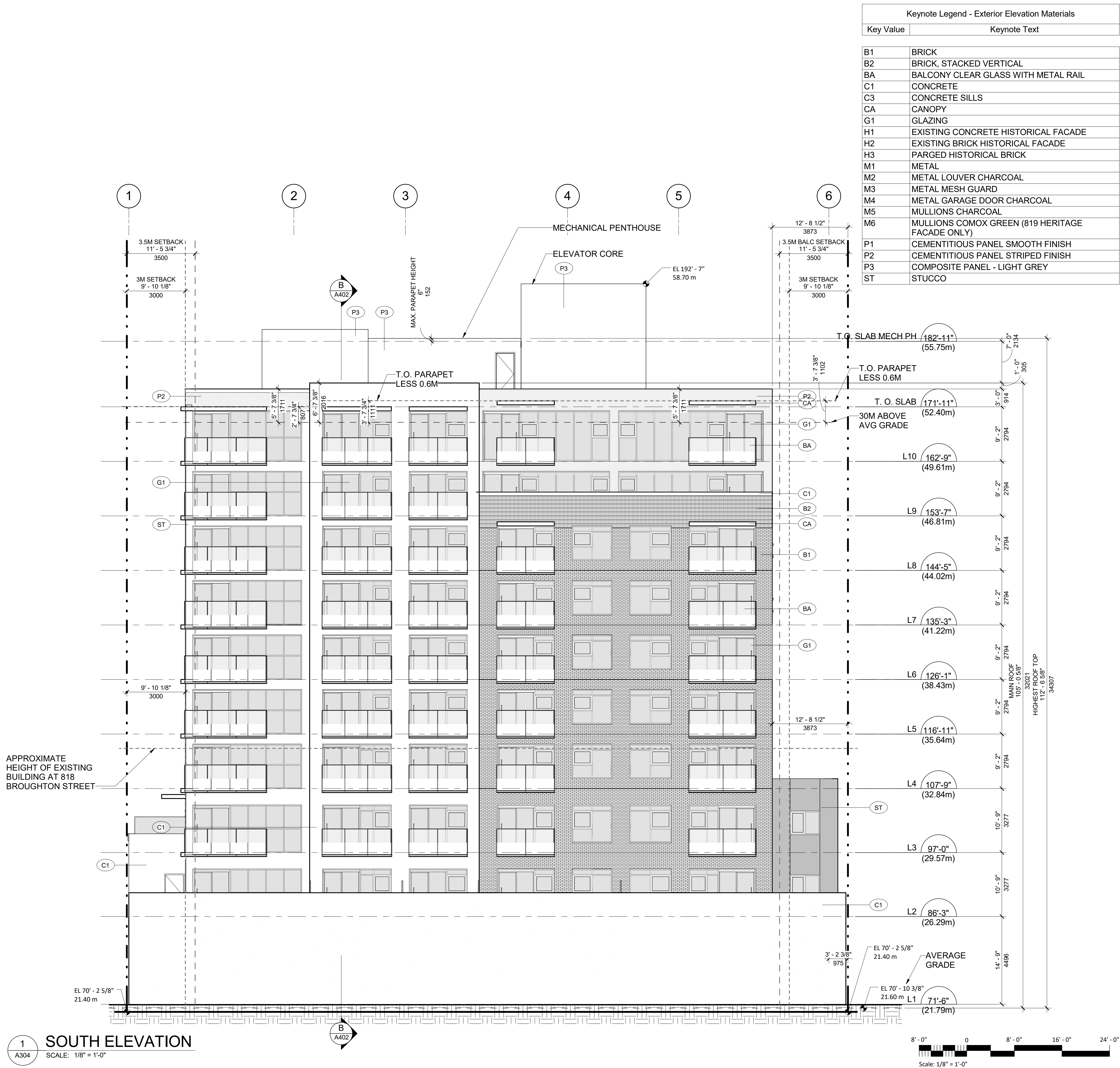
1
A303

EAST ELEVATION

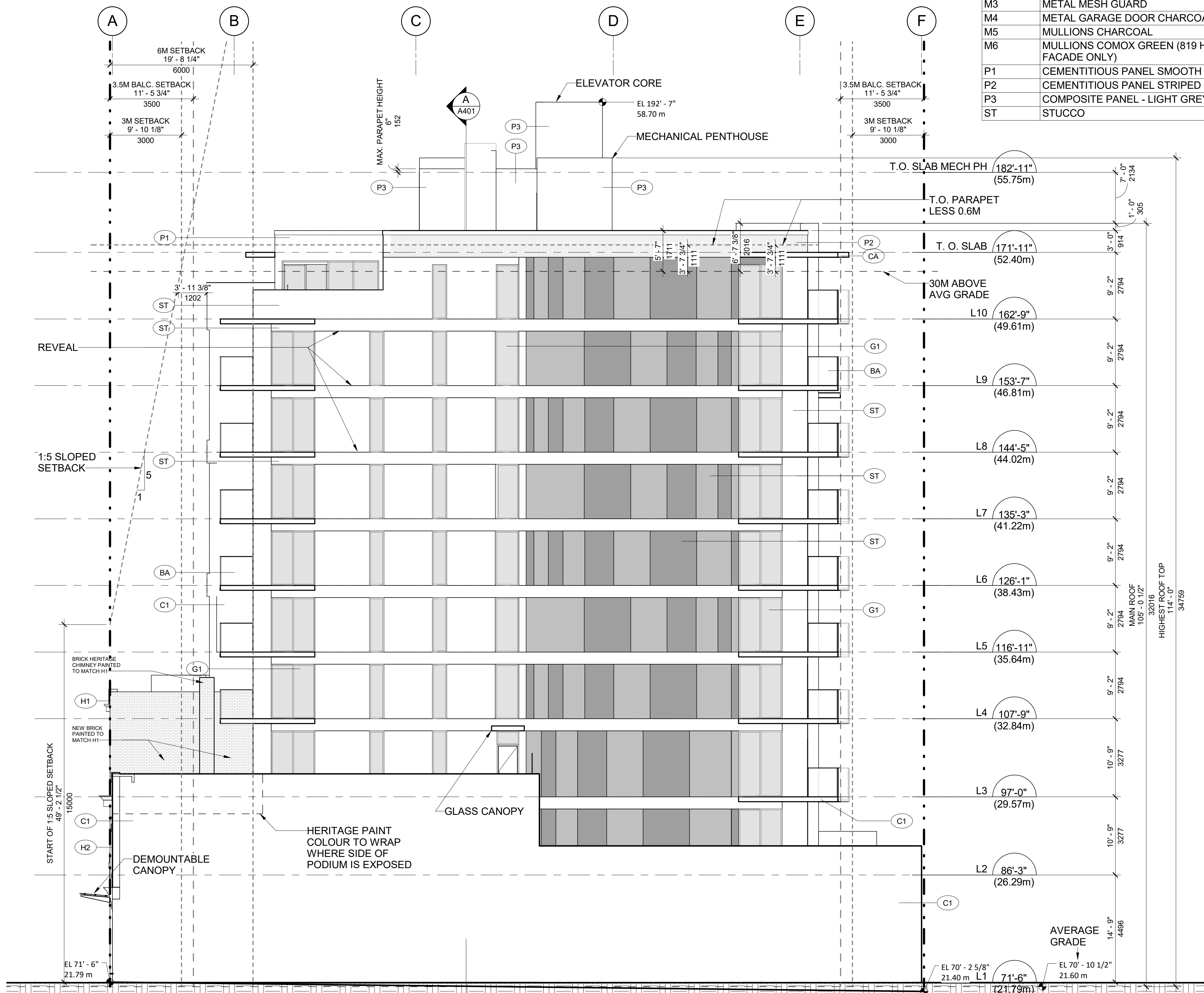
SCALE: 1/8" = 1'-0"

A
A401

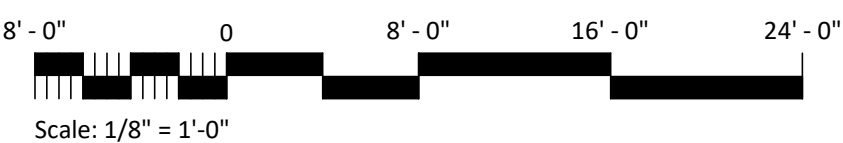


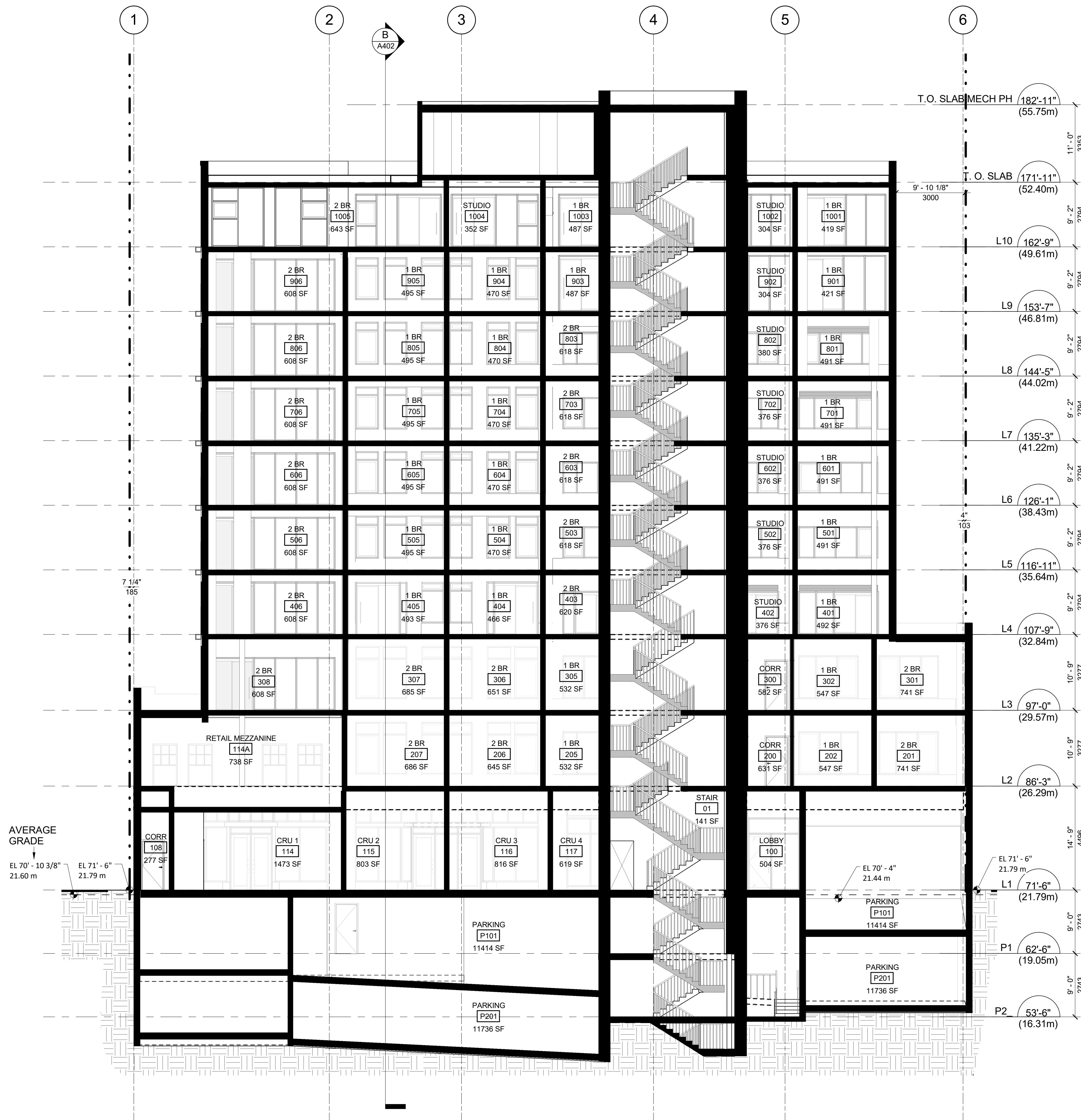


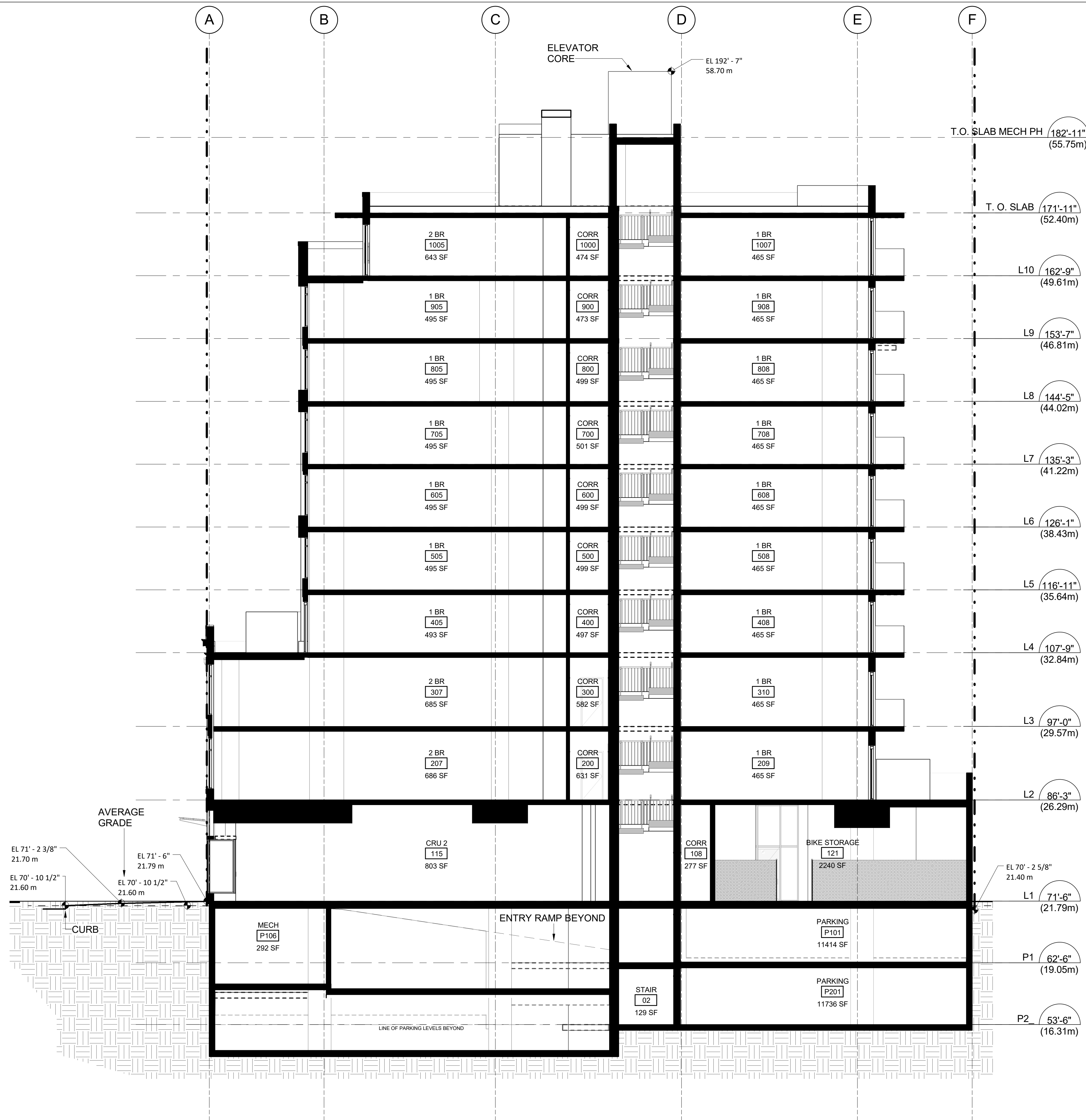
Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
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C3	CONCRETE SILLS
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H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M4	METAL GARAGE DOOR CHARCOAL
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
P3	COMPOSITE PANEL - LIGHT GREY
ST	STUCCO



1 WEST ELEVATION
A305 SCALE: 1/8" = 1'-0"

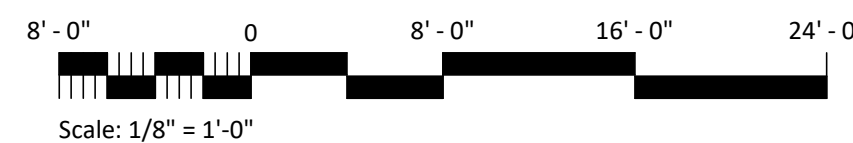


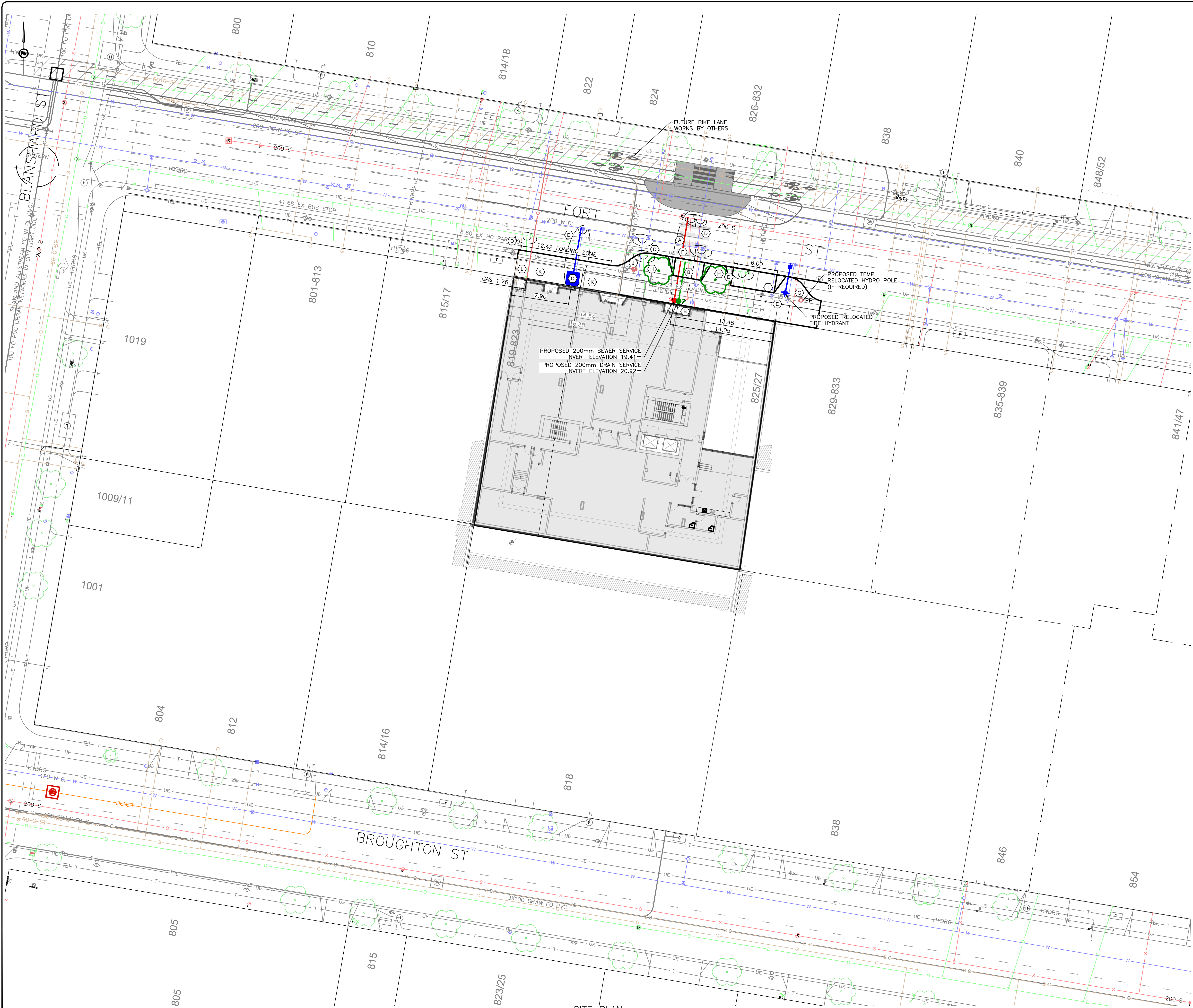




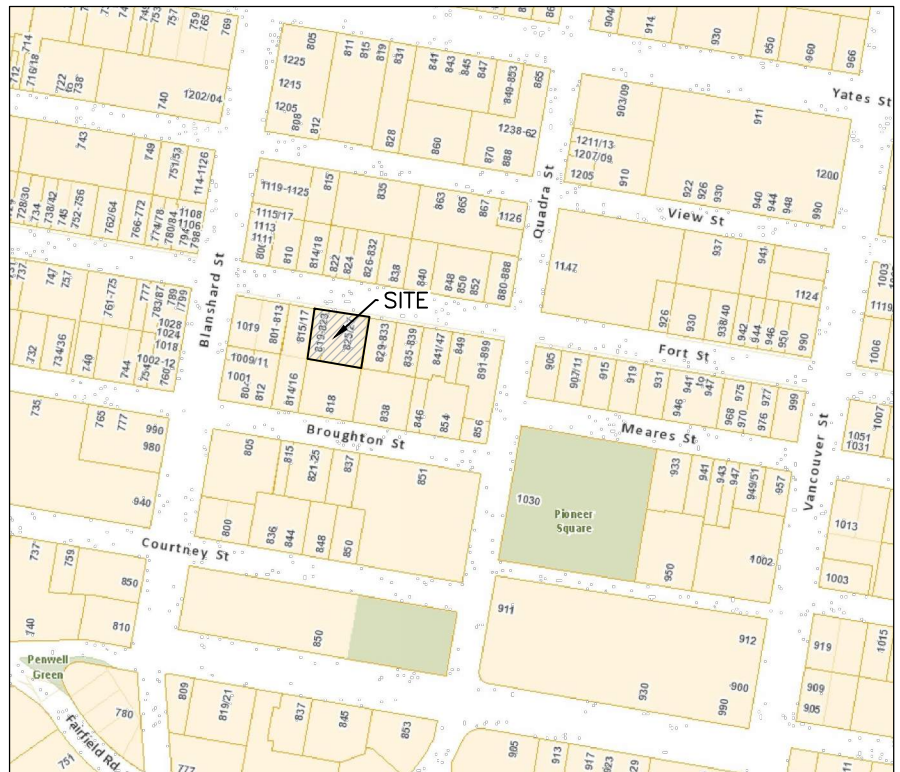
B
A402

Section B
SCALE: 1/8" = 1'-0"





- DETAILED CONSTRUCTION NOTES:
- (A) CITY OF VICTORIA TO INSTALL NEW 200mm SEWER SERVICE TO PROPERTY LINE. ELEVATION OF NEW SERVICE TO BE CONFIRMED.
 - (B) CITY OF VICTORIA TO INSTALL NEW 200mm DRAIN SERVICE TO PROPERTY LINE. ELEVATION OF NEW SERVICE TO BE CONFIRMED.
 - (C) CITY OF VICTORIA TO INSTALL 200mm FIRE AND 150mm DOMESTIC FIRE SERVICES TO PROPERTY LINE AT DEVELOPERS EXPENSE.
 - (D) CITY OF VICTORIA TO CAP AND ABANDON EXISTING SERVICES AT DEVELOPERS EXPENSE.
 - (E) CONTRACTOR TO INSTALL 6.0m WIDE DRIVEWAY DROP AS PER CITY OF VICTORIA STANDARD DRAWING C7B. FULL PANEL REPLACEMENT REQUIRED.
 - (F) CONTRACTOR TO INSTALL MID BLOCK CROSSWALK.
 - (G) BC HYDRO CREWS TO RELOCATE EXISTING SERVICE POLE IF REQUIRED.
 - (H) CONTRACTOR TO INSTALL PROPOSED STREET TREES AS PER CITY OF VICTORIA STANDARDS.
 - (I) CITY OF VICTORIA TO REMOVE EXISTING FIRE HYDRANT AND INSTALL NEW FIRE HYDRANT AT DEVELOPERS EXPENSE.
 - (J) CONTRACTOR TO INSTALL NEW STREET LIGHT CONDUIT, JUNCTION BOXES AND STREET LIGHT BASES AS PER CITY OF VICTORIA STANDARDS. CITY OF VICTORIA TO REMOVE EXISTING STREET LIGHT PRIOR TO CONSTRUCTION AND REINSTALL STREET LIGHT AFTER CONSTRUCTION AT DEVELOPERS EXPENSE.
 - (K) CONTRACTOR TO FILL EXISTING UNDERGROUND BASEMENT UNDER DIRECTION AND SUPERVISION OF DEVELOPERS GEO-TECHNICAL ENGINEER.
 - (L) FORTIS FORCES TO CAP EXISTING GAS SERVICES AND INSTALL NEW GAS SERVICE.



KEY PLAN
NTS

**825 FORT STREET
PRELIMINARY CIVIL PLAN**

Scale
horiz. 1:250
Sheet 1 of 1
Eng. Project No. 30703

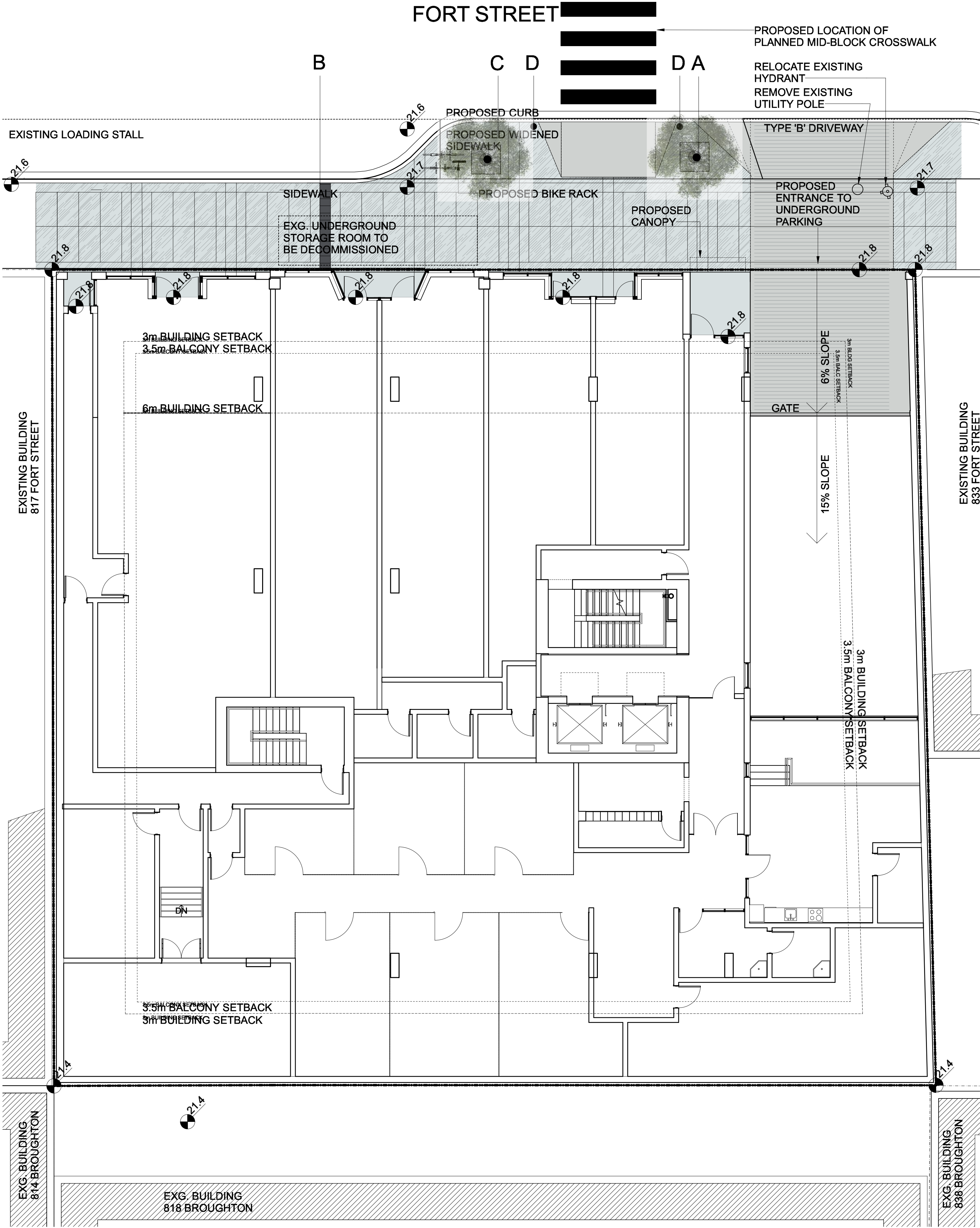
J E ANDERSON & ASSOCIATES
JEA
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE
PHONE: 250-727-2214 FAX: 250-727-3395

LEGEND			
LAMP STANDARD	LS	CLEANOUT	
POLE(Hydro, Tel.)	PP	CATCHBASIN	
U/G WIRING	UE	MANHOLE	
GAS	G	SERVICE RISER	
WATER	W	MOUNTABLE CURB	
SEWER	S	NON-MOUNT. CURB	
DRAIN	D	EDGE ASPHALT	
		DITCH	
		METER	
		FLUSH VALVE	
		VALVE	
		REDUCER	
		HYDRANT	
		AIR VALVE	

ISSUED FOR DEVELOPMENT PERMIT



FORT STREET



1 LANDSCAPE - GROUND FLOOR GENERAL ARRANGMENT
L1_L1 1:100 METRIC

- A STREET TREE AND GRILLE AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017. STREET TREES IN BUMP OUT DUE TO UNDERGROUND UTILITY CONFLICTS.
- B 450mm WIDE BASALT BAND AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017. BASALT FLAME TEXTURED 350X450X80MM
- C #4 DOWNTOWN BIKE RACKS AS PER PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017. (8 BIKES)
- D TYPE B BOLLARD AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLE IN ONE LOCATION FOR REVIEW.

GENERAL

ALL WORK, INCLUDING: PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD, INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED; AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

IRRIGATION

THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE IRRIGATION SYSTEM E.G. RAIRBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSEBIB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEIOUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

FAILURE TO TEST AND PROVIDE APPROPRIATE DOCUMENTATION OF TEST RESULTS MAY BE CONSIDERED GROUNDS FOR REJECTION OF A PROPOSED GROWING MEDIUM AND MAY RESULT IN THE REMOVAL OF REJECTED MATERIAL AT THE CONTRACTOR'S EXPENSE.

GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7, GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE T-6.3.5.1. AND CONFORM TO TABLE T-6.3.5.2, PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED. APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO.1 PREMIUM OR NO.2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12, CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEIOUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1. MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE

SITE TO BE MAINTAINED TO LEVEL 1 "WELL-GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS. AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

MUNICIPAL AND LOCAL AUTHORITIES' LEGISLATION AND REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL LEGISLATION AND REQUIREMENTS, WHICH MAY RESTRICT OR PROHIBIT CERTAIN ACTIVITIES SUCH AS APPLICATION OF PESTICIDES, HERBICIDES, AND INSECTICIDES.

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Acer R	2	Acer rubrum	Red Maple, Swamp Maple	6-8cm Cal B&B	Straight Trunk/ Full Crown

considered design inc

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issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019

revision	date
A	19.04.2018
B	16.05.2019

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
GROUND FLOOR
LANDSCAPE GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L0

number

L1_L1



- A CRUSHED ANGULAR WHITE GRAVEL
- B 2'x2' PCC WHITE PAVER
- C P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE EG. BUXUS
- D 1'x1' PCC PAVER ON PEDESTALS

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

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ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM EG. RAINBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSES/BIB LOCATION.

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PLANTS & MULCH

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GREENROOFS

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issue
REZONING/ DP
REZONING/ DP
REZONING/ DP RESUBMISSION

date
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19.04.2018
16.05.2019

revision
A
B

date
19.04.2018
16.05.2019

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
SECOND FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L0

number

L2_L1

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Bs	56	Buxus sempervirens	Boxwood	#5 Cont	Full & Bushy
Cean	39	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants

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REZONING/ DP RESUBMISSION	16.05.2019

revision	date
A	19.04.2018
B	16.05.2019

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
THIRD FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L0

number

L3_L1

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

GENERAL

ALL WORK, INCLUDING: PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD. INDUSTRY REQUIREMENTS NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

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IRRIGATION

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ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM EG. RAIRBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSES&BIB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANECEOUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

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GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7, GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR FOR LEVEL 1 "WELL-GROOMED" AREAS - TAB T-6.3.5.1, AND CONFORM TO TABLE T-6.3.5.2, PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED. APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO.1 PREMIUM OR NO.2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12, CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANECEOUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1. MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE

SITE TO BE MAINTAINED TO LEVEL 1 "WELL-GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

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- A CRUSHED ANGULAR WHITE GRAVEL
- B 2'x2' PCC WHITE PAVER
- C P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE EG. BUXUS
- D 1'x1' PCC PAVER ON PEDESTALS

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Bs		18 Buxus sempervirens	Boxwood	#5 Cont	Full & Bushy

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issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019

revision	date
A	19.04.2018
B	16.05.2019

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
4th FLOOR TO 8TH FLOOR GENERAL ARRANGEMENT

seal

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- D 1"x1' PCC PAVER



1 4th FLOOR GENERAL ARRANGEMENT
L4_L1 1:200 METRIC

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Cean	50	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants



scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L0

number

L4-8_L1

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REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019

revision	date
A	19.04.2018
B	16.05.2019

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
9th FLOOR LANDSCAPE GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

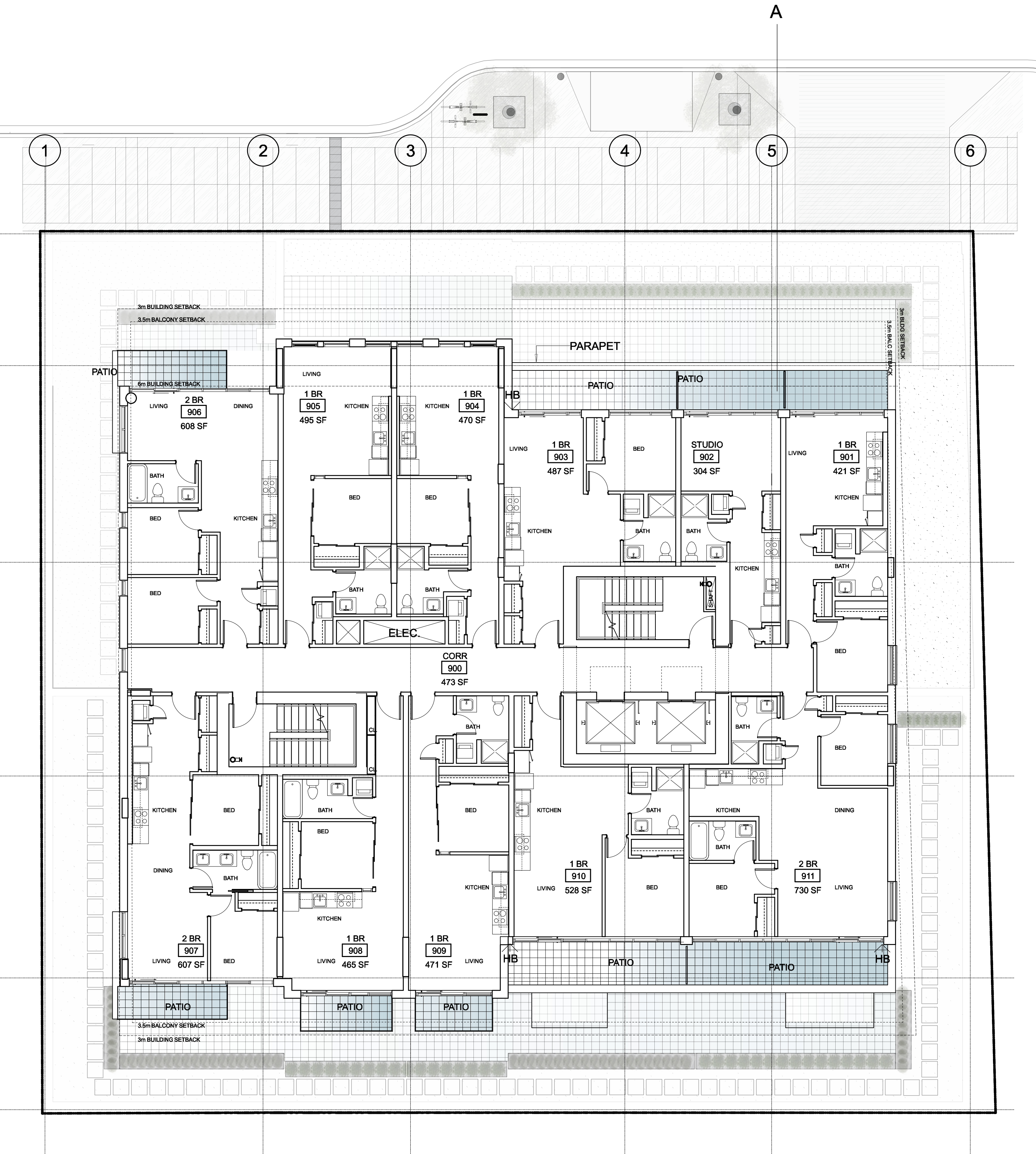
checked
JP

reference
2017.09_02 L0

number

L9_L1

A 1'x1' PCC PAVER ONTO PEDESTALS



1 9TH FLOOR GENERAL ARRANGEMENT
L9_L1 1:100 METRIC



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B	16.05.2019

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
10TH FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L0

number

L10_L1

A 12" SQ. PCC CONCRETE PAVING ONTO PEDESTALS



1 10th FLOOR GENERAL ARRANGEMENT
L10_L1 1:100 METRIC



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issue	date
REZONING/ DP RESUBMISSION	16.05.2019

revision	date
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project
819-827 FORT STREET VICTORIA BC.

legal

drawing
ROOF GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L11_L1

number

L11_L1

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MAINTENANCE

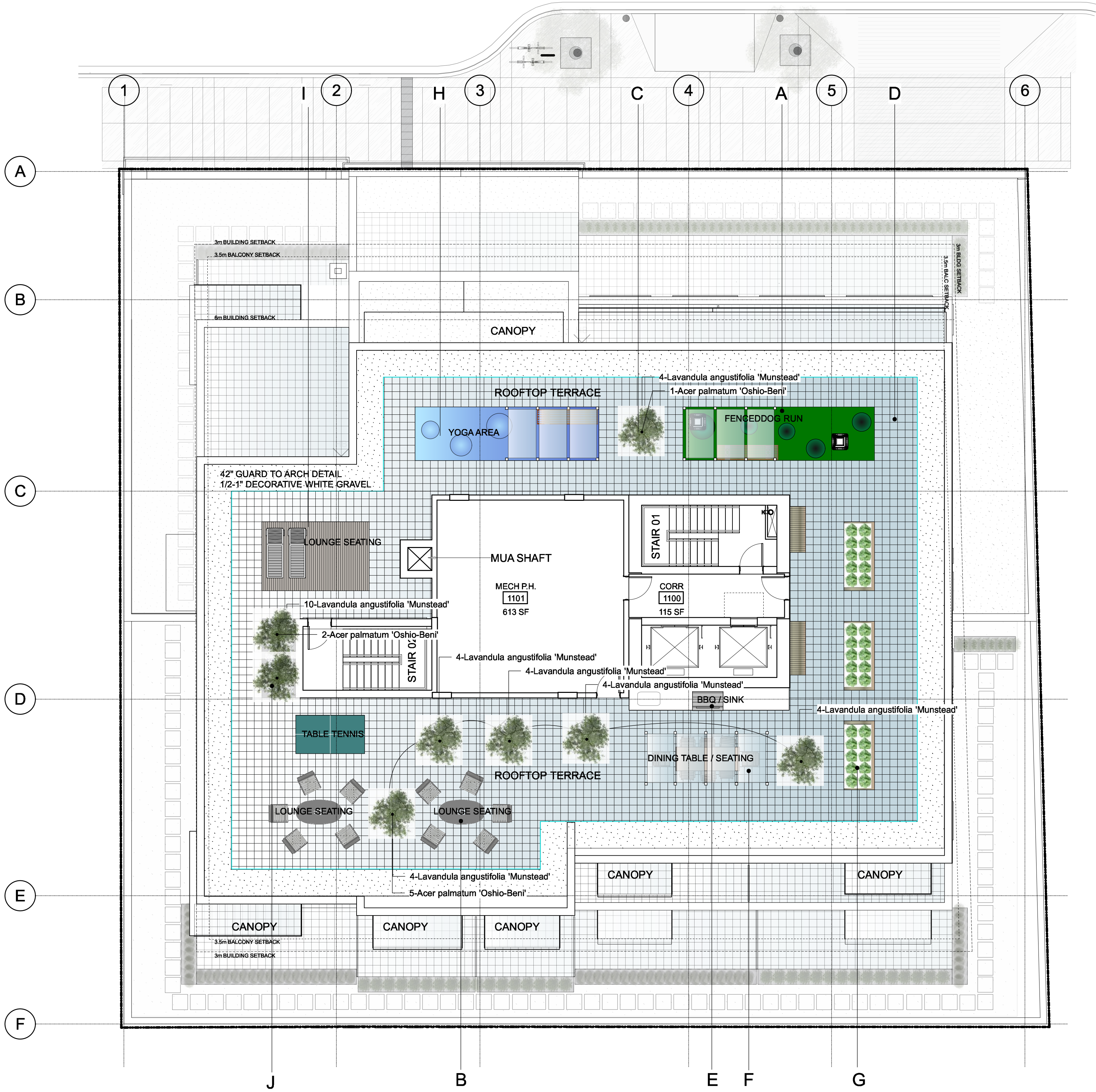
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- A DOG RUN AREA WITH LOGS/ FAKE HYDRANTS. SURFACE TO BE WASHABLE PET FRIENDLY SYNETHIC GRASS. SPRINKLER SYSTEM TO BE INSTALLED FOR MAINTENANCE. DOG WASTE RECIPTICLES AND DOG WASTE BAG DISPENSER.
- B LOUNGE SEATING SPECIFICATION TBC.
- C P/C ALUMINIUM PLANTER MIN 4' PLANTING DEPTH / SMALL TREE - SP. ACER AND LAVANDER SHRUBS.
- D 1'x1' PCC PAVER
- E BBQ AREA
- F DINNING TABLE/ COVERED SEATING AREA
- G UNNIVERSALLY ACCEPTABLE URBAN AGRICULTURE BEDS
- H POURED IN PLACE RUBBER SURFACE FLUSH WITH PAVING.
- I S/W TIMBER DECK AREA
- J P/C ALUMINIUM PLANTER MIN 4' PLANTING DEPTH / SMALL TREE - SP. ACER AND LAVANDER SHRUBS.



1 ROOF GENERAL ARRANGEMENT
L11_L1 1:100 METRIC

Plant Schedule					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
ApOB	8	Acer palmatum 'Oshio-Beni'	Oshio-Beni Japanese Maple	#10 Cont.	Full Crown/ Container Grown
Lav ang 'M'	34	Lavandula angustifolia 'Munstead'	Munstead Lavender	#3 Cont.	Full and bushy plants