

Contacts + Drawing List

Owner	Civil	Landscape	Architectural	Structural	Mechanical	Electrical	Geotechnical	Surveyor
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	C1 Preliminary Site Servicing	L0.01 Cover L1.00 General Information Sheet L1.01 Landscape Materials L1.02 Tree Replacements and Soil Volume L2.00 Stormwater Management L3.01 Planting Plan L4.01 Landscape Sections	A0.0 Cover A0.2 Average Grade A0.3 Area Plans and Project Data A0.4 Rendered Views A0.5 Context Views A0.6 Shadow Studies A0.7 Existing Site Survey A1.00 Site Plan A2.02 Level P2 Plan A2.03 Level P1 Plan A2.04 Level 1 Plan A2.05 Level 1 Mezzanine Plan A2.06 Level 2 Plan A2.08 Level 3-6 Typical Plan A2.11 Level 7 Plan A2.12 Level 8 Plan A2.13 Level 9 - 12 Typical Plan A2.18 Roof Plan A4.01 Elevations - East A4.02 Elevations - South A4.03 Elevations - West A4.04 Elevations - North A4.05 Context Elevations A5.01 Overall Building Sections A5.02 Overall Building Sections					



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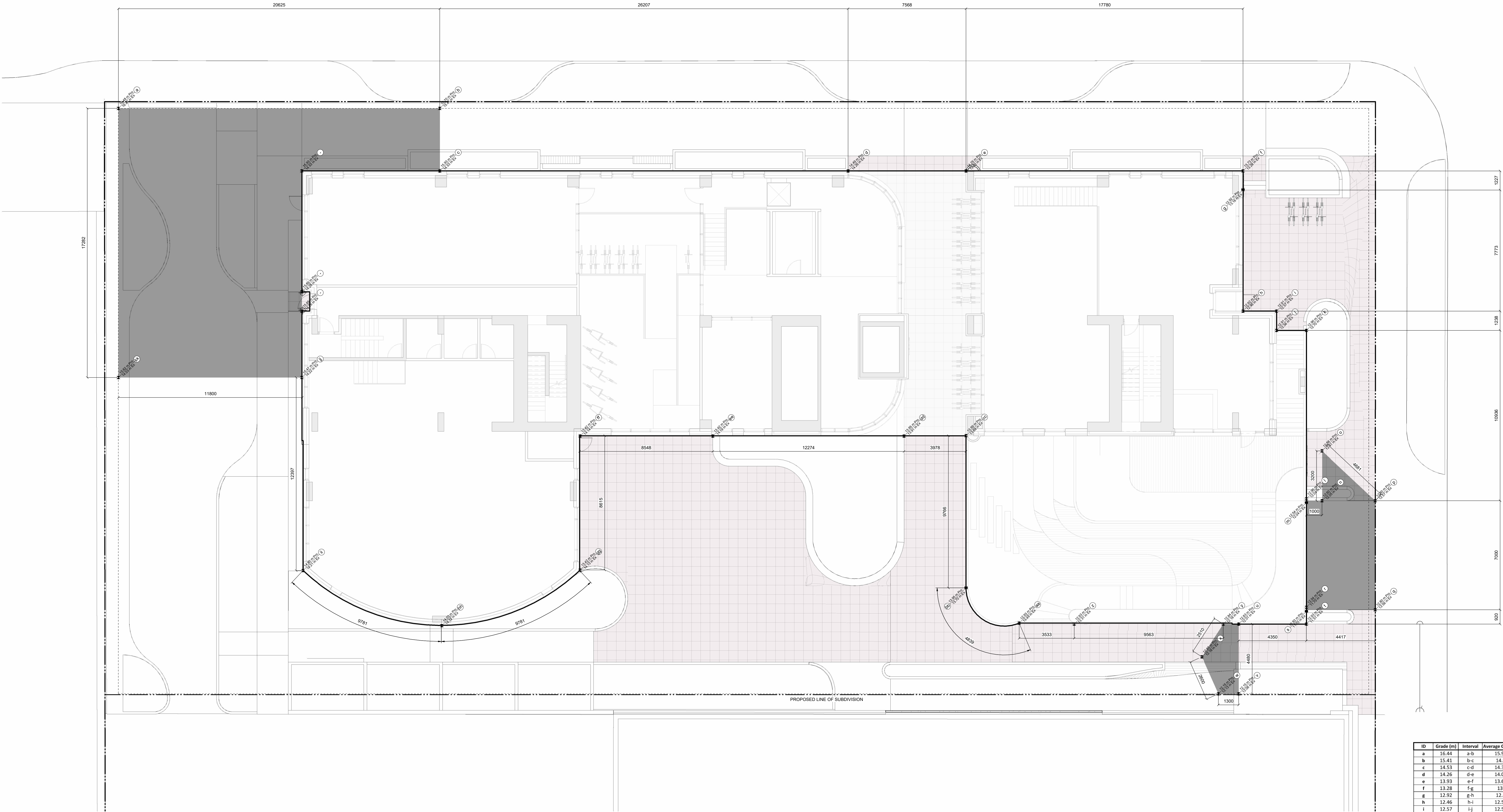
#1926
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

Application for Rezoning and Development Permit

23/06/05



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ID	Grade (m)	Interval	Average Grade	Distance (m)	Subtotal
a	15.44	a-b	15.925	20.53	328.45
b	15.41	b-c	14.97	4.02	60.18
c	14.53	c-d	14.395	26.21	377.29
d	14.26	d-e	14.095	7.57	106.79
e	13.93	e-f	13.605	17.78	241.83
f	13.28	f-g	13.1	1.23	16.07
g	12.92	g-h	12.69	7.77	98.64
h	12.46	h-i	12.515	2.15	26.94
i	12.57	i-j	12.565	1.24	15.56
j	12.56	j-k	12.63	1.92	24.21
k	12.7	k-l	12.37	10.94	135.28
l	12.04	l-m	12.04	0.00	0.00
m	12.04	m-n	12.045	1.00	12.05
n	12.05	n-o	12.23	3.20	39.14
o	12.41	o-p	12.49	4.68	58.47
p	12.57	p-q	12.565	7.00	87.96
q	12.56	q-r	12.165	4.42	53.73
r	11.77	r-s	11.74	0.00	0.00
s	11.71	s-t	11.61	0.92	10.68
t	11.51	t-u	11.76	4.35	51.16
u	12.01	u-v	12.045	4.48	53.96
v	12.08	v-w	12.105	1.30	15.74
w	12.13	w-x	13.33	2.60	34.66
x	12.16	x-y	12.16	2.51	30.52
y	12.16	y-z	12.735	9.56	121.78
z	13.31	z-aa	13.415	2.53	47.41
aa	13.52	aa-bb	13.61	4.84	65.86
bb	13.7	bb-cc	13.69	9.77	133.71
cc	13.88	cc-dd	13.795	4.00	55.18
dd	13.91	dd-ee	13.665	12.25	167.42
ee	13.42	ee-ff	13.42	8.55	114.71
ff	13.42	ff-gg	13.42	8.66	116.16
gg	13.42	gg-hh	13.725	9.78	134.24
hh	14.03	hh-ii	14.12	9.78	138.11
ii	14.21	ii-jj	14.215	12.40	176.22
jj	14.22	jj-kk	14.375	11.77	169.19
kk	14.53	kk-a	15.485	17.28	267.61
Subtotal				260.07	3586.83

Average Grade =

13.792

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rev no	description	date

project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Average Grade

project no. #1926

scale 1 : 100

drawn by MZ

date issued 23/05/29

sheet no. A0.2



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Project Data

(the following data pertains to the entire site)

Legal Address
Lot 2, Section 4, Victoria District, Plan 23740

Civic Address
2615 - 2629 Douglas Street

Zoning
Current Zone: S-12
Proposed Zone: Site Specific Zone or Comprehensive Development Zone

Site Area
10090.0 m² (existing - refer to A1.00 Site Plan for proposed site areas)

Gross Floor Areas (FSR) • 15,129 m² Permitted

Not Placed	0 m ²
Level 1	749 m ²
Level 1 Mezzanine	319 m ²
Level 2	1039 m ²
Level 3	1001 m ²
Level 4	1001 m ²
Level 5	1001 m ²
Level 6	1001 m ²
Level 7	965 m ²
Level 8	965 m ²
Level 9	1001 m ²
Level 10	1001 m ²
Level 11	1001 m ²
Level 12	1001 m ²
Proposed (New)	12521 m ²
Existing Floor Area:	12,463 m ²
Proposed Total Floor Area:	24,988 m ²

Floor Space Ratio
2.48 : 1 Proposed • 1.5 Permitted

Site Coverage
85% Proposed • 60% Permitted

Height of Building
Proposed: 45m • 15m Permitted
Storeys: 12 • Permitted not Specified in Current Zone

Unit Type Summary

1-Bdrm	37
2-Bdrm	17
Cohousing	24
Jr. 1-Bdrm	39
Studio	43
Total Unit Count:	160

Vehicle Parking

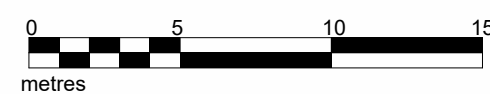
Number of on-site stalls:	124			
Building Use	No. of Units	Stalls per Unit	LT Stalls Req'd	ST Stalls Req'd
Residential Apartments				
Area < 45 sq.m.	32	0.6	19.2	3.2
45 sq.m. < Area < 70 sq.m.	79	0.7	55.3	7.9
70 sq.m. < Area	49	1.1	53.9	4.9
Commercial / Office	334	1 per 25 sq.m.		13.4
Total			128.4	29.4

Bicycle Parking

Number of Class I Spaces:	307			
Number of Class II Spaces:	32			
Building Use	No. of Units	Spaces per Unit	Spaces Req'd Class I	Class II
Residential Apartments	128	1.25	160	12.8
Residential Apartments	32	1.0	32	3.2
Commercial / Office	334 sq.m.		1	3.3
Total			193	20

Setbacks (see Site Plan)

Kings Road (S)	4.0m
Ross Lane (E)	3.2m
Internal Side (W)	4.5m
Rear Yard (N)	12.2m



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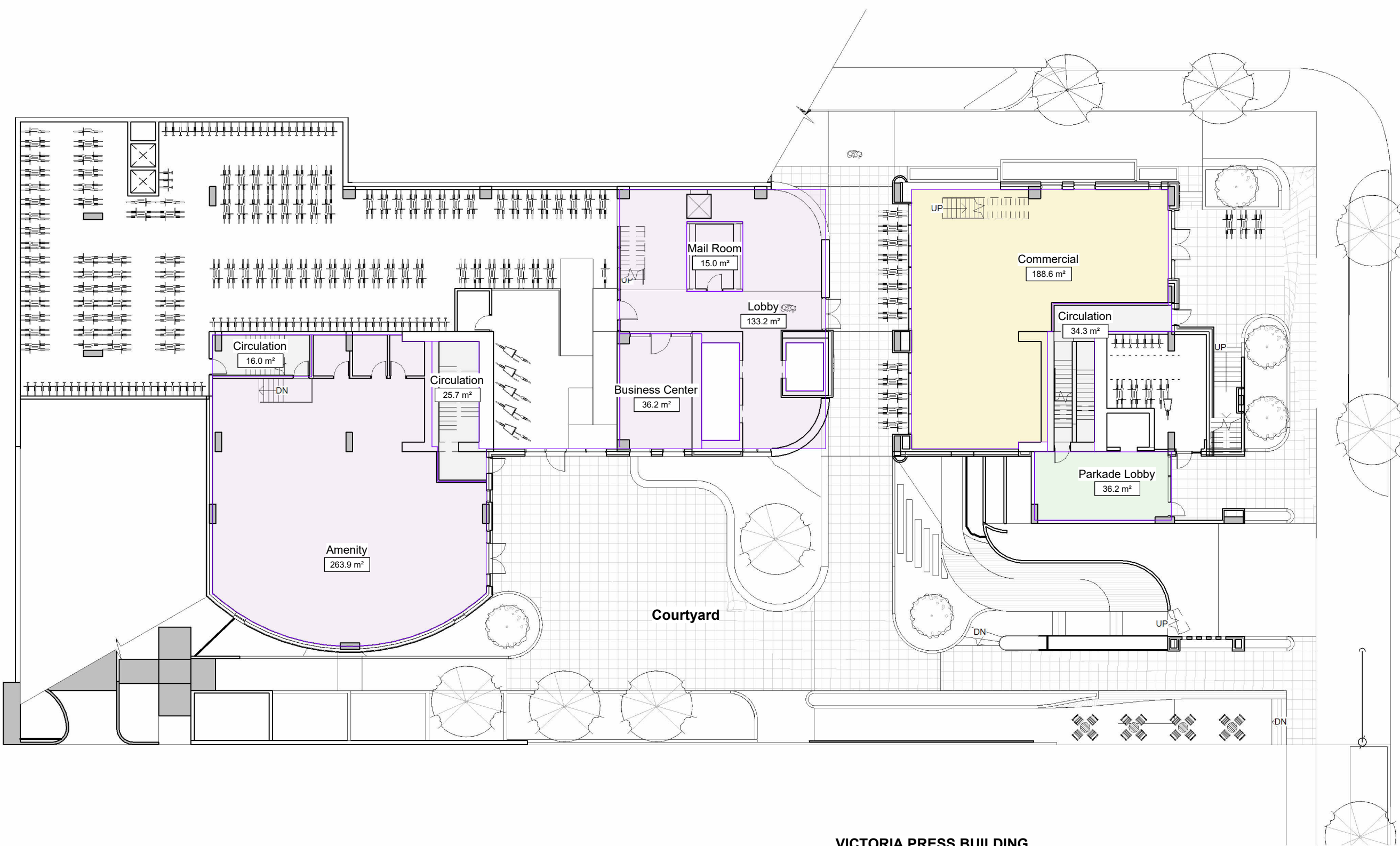
project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title Area Plans and Project Data

project no.	#1926
scale	As indicated
drawn by	MZ
date issued	23/05/29
sheet no.	A0.3

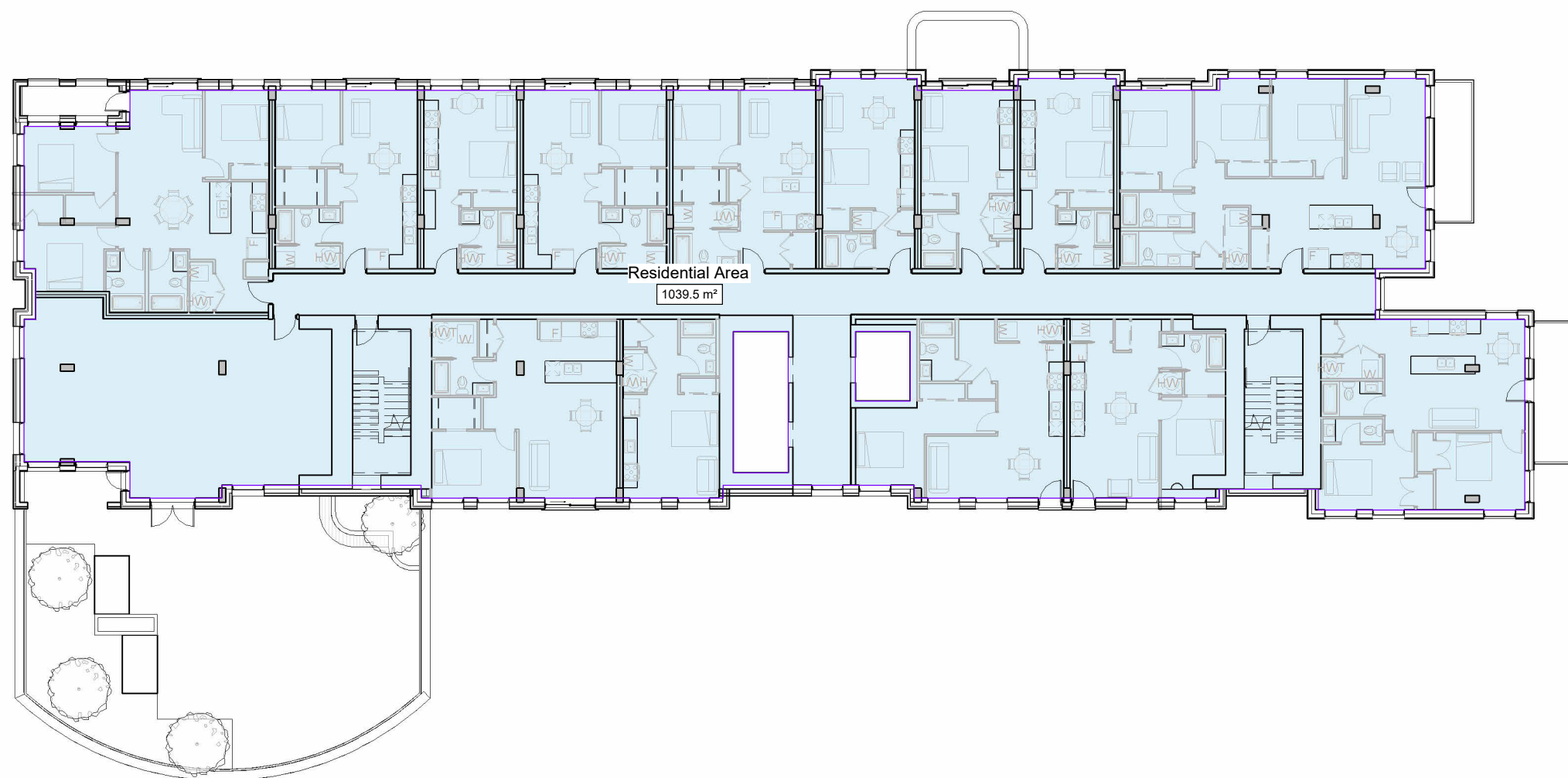
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ROSS PLACE SENIORS COMMUNITY

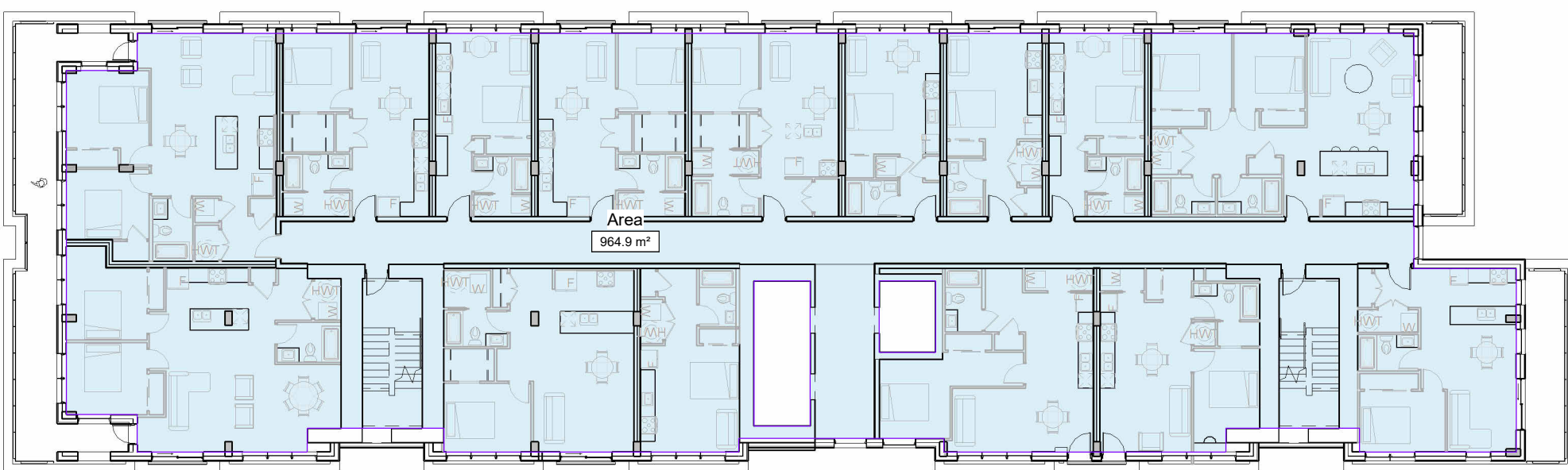


VICTORIA PRESS BUILDING

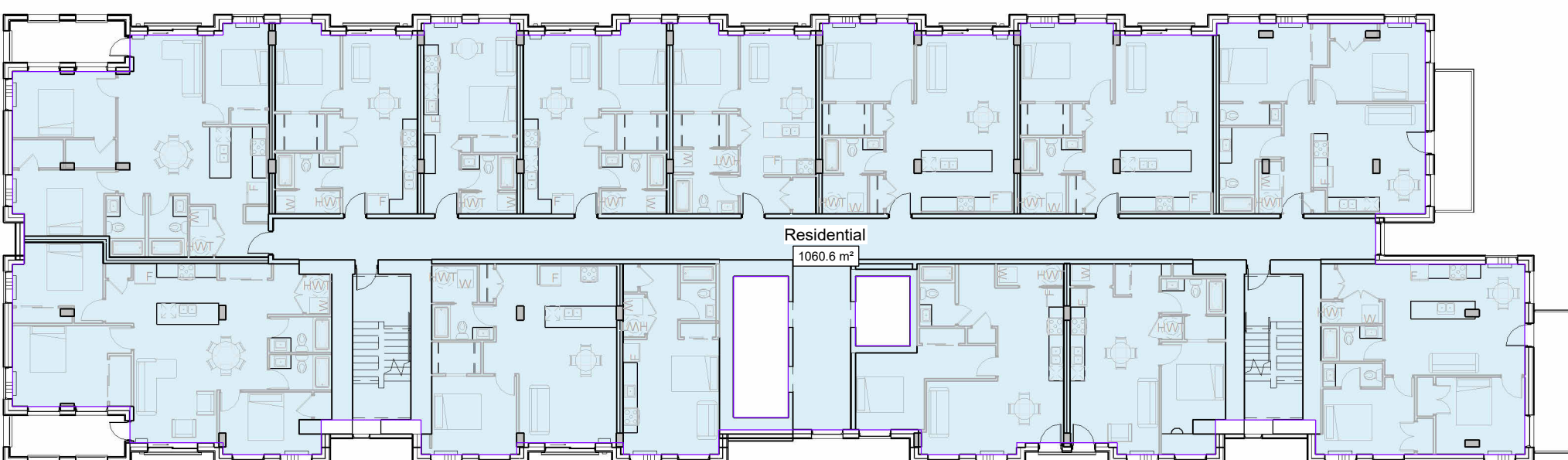
1 Level 1
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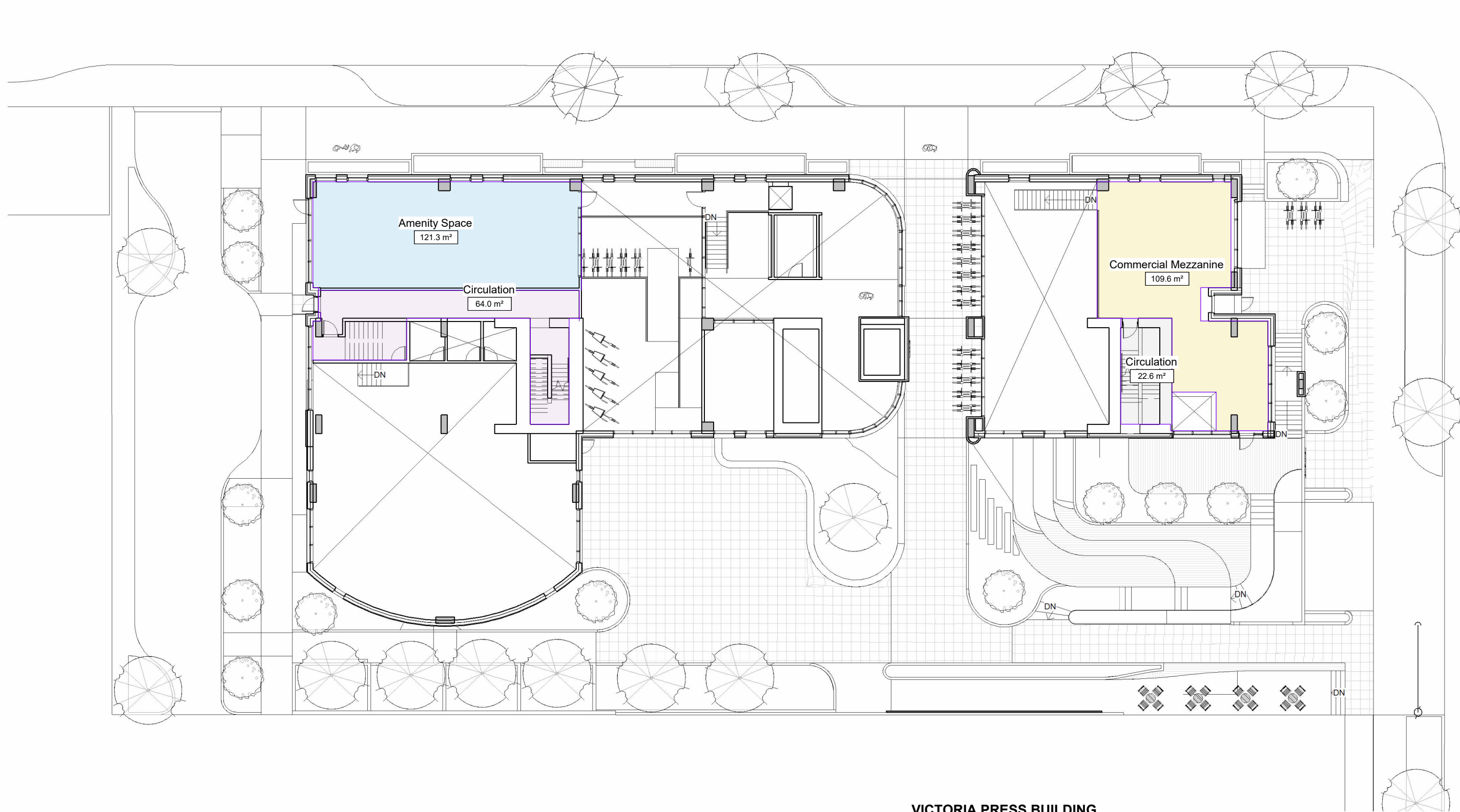
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5 Level 7
1 : 250

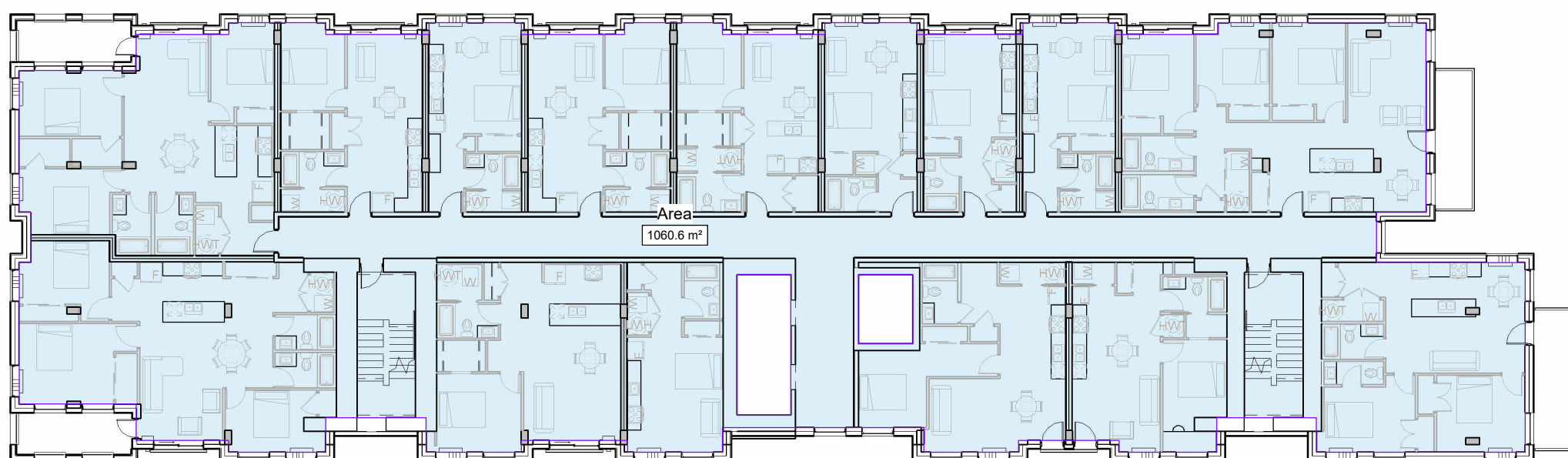


7 Level 9 - 12
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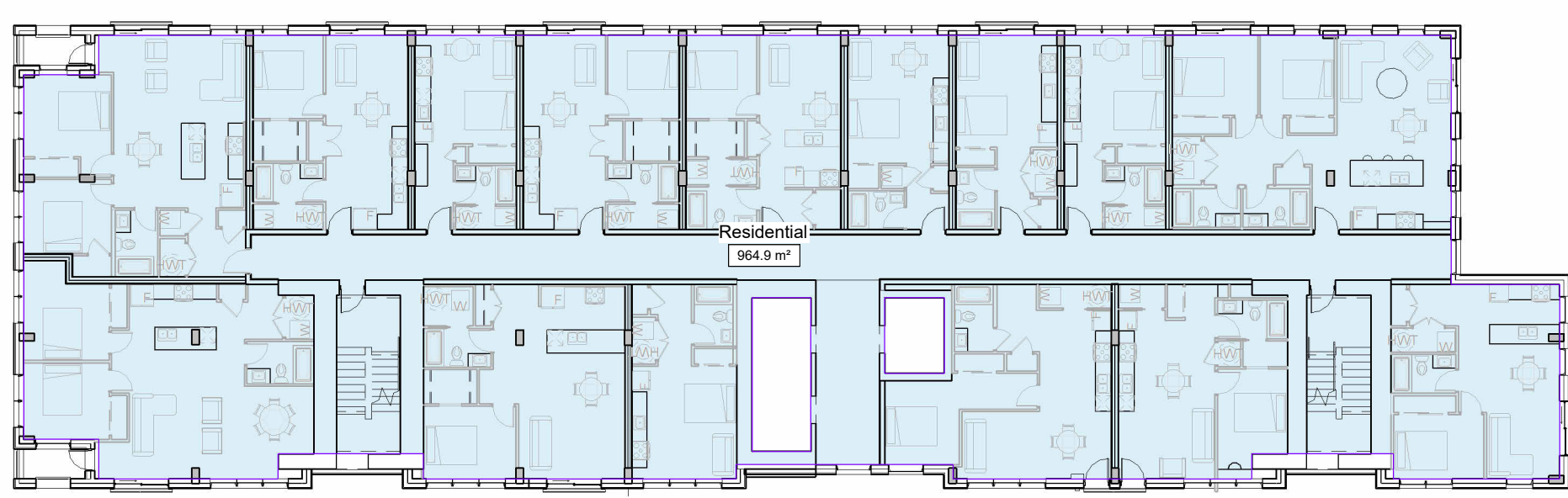


VICTORIA PRESS BUILDING

2 Level 1 Mezzanine
1 : 250



4 Level 3 - 6
1 : 250



6 Level 8
1 : 250

AREA DEFINITION: "Area" when used in reference to a floor of a storey of a building means the entire area which in plan is enclosed by the interior face of the exterior walls of the storey at floor level plus the area enclosed by any cantilevered element that is within that storey and that is above floor level, but does not include of the following areas:
a. the area used or intended to be used for required parking or movement of motor vehicles, as set out in this bylaw, which is calculated starting from the lowest level of the building;
b. the area used or intended to be used for required Bicycle Parking, Long-Term, as set out in this bylaw, which is calculated starting from the lowest level of the building;
c. the area or areas of balconies, exposed decks, patios or roofs; and
d. the area of elevator shafts."

Per City of Victoria Bylaw 80-159 (Amended July 26, 2018, Bylaw 18-017)

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project name Victoria Press Apartments 2615 - 2629 Douglas St, Victoria, BC			
sheet title Rendered Views			
project no.		#1926	
scale			
drawn by			
date issued 23/05/29		sheet no. A0.4	



Southwest from Douglas Street at Kings



South from Bay Street at Armoury



Southeast from Bay Street at Blanshard



East from Blanshard at Kings Rd



Northeast from Blanshard at Hillside



North from Hillside at Ross Lane



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Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Context Views

project no. #1926

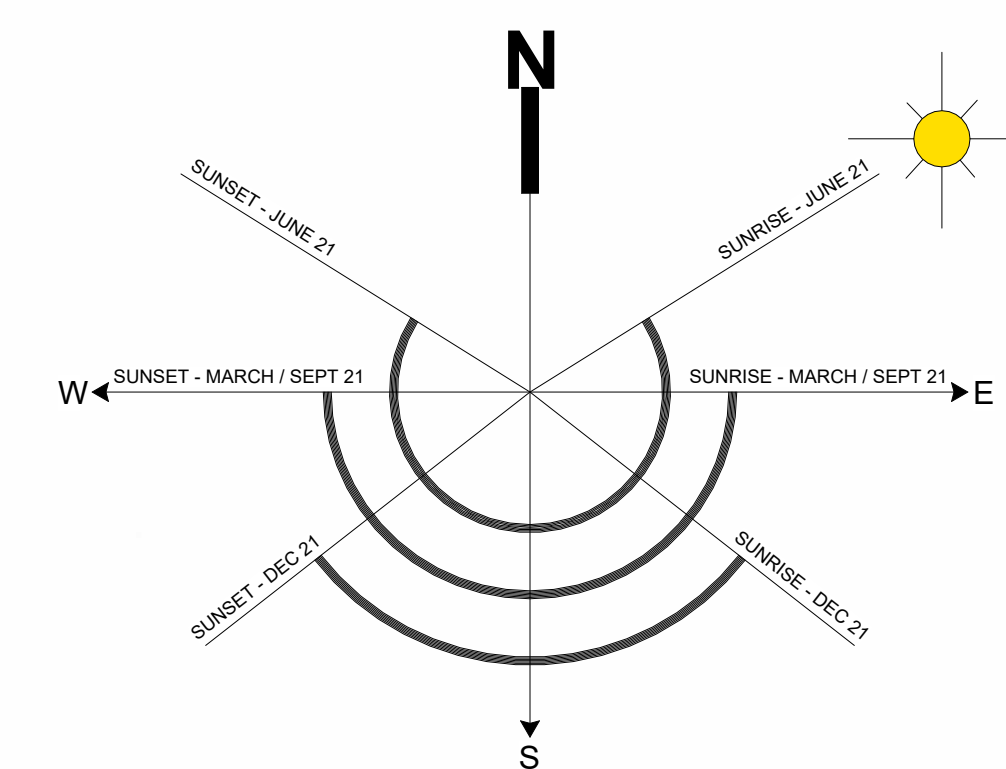
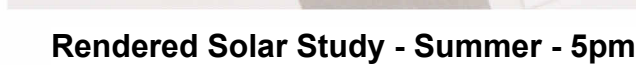
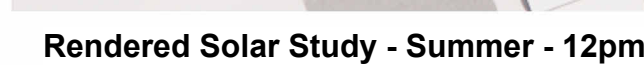
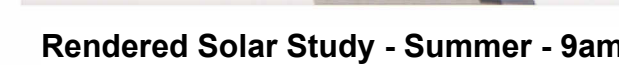
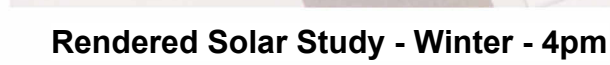
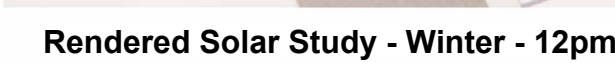
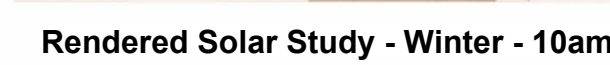
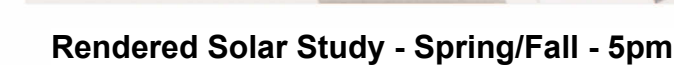
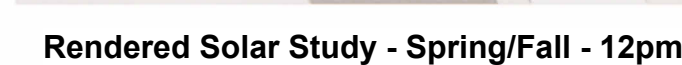
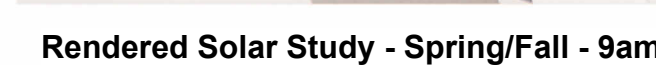
scale

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date issued 23/05/29

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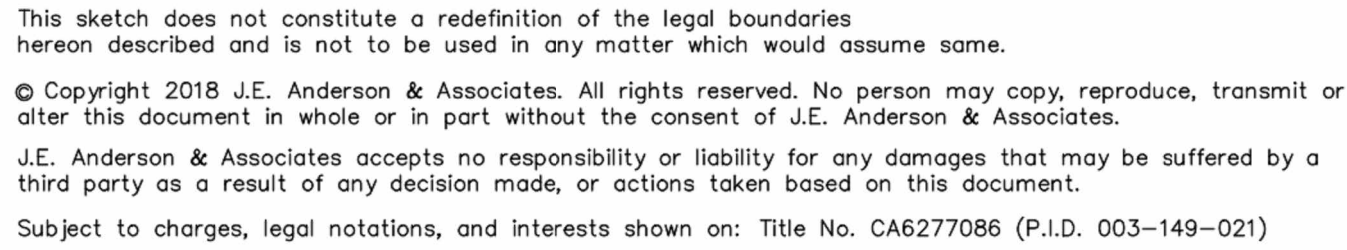
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Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Shadow Studies

project no.	#1926
scale	

scale	
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NOTES:

1. REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR INFORMATION ON PAVING, FENCING, PLANTING AND TREES.
2. REFER TO ARCHITECTURAL PLANS A2.04 AND A2.05 FOR SITE PLAN DETAILS.



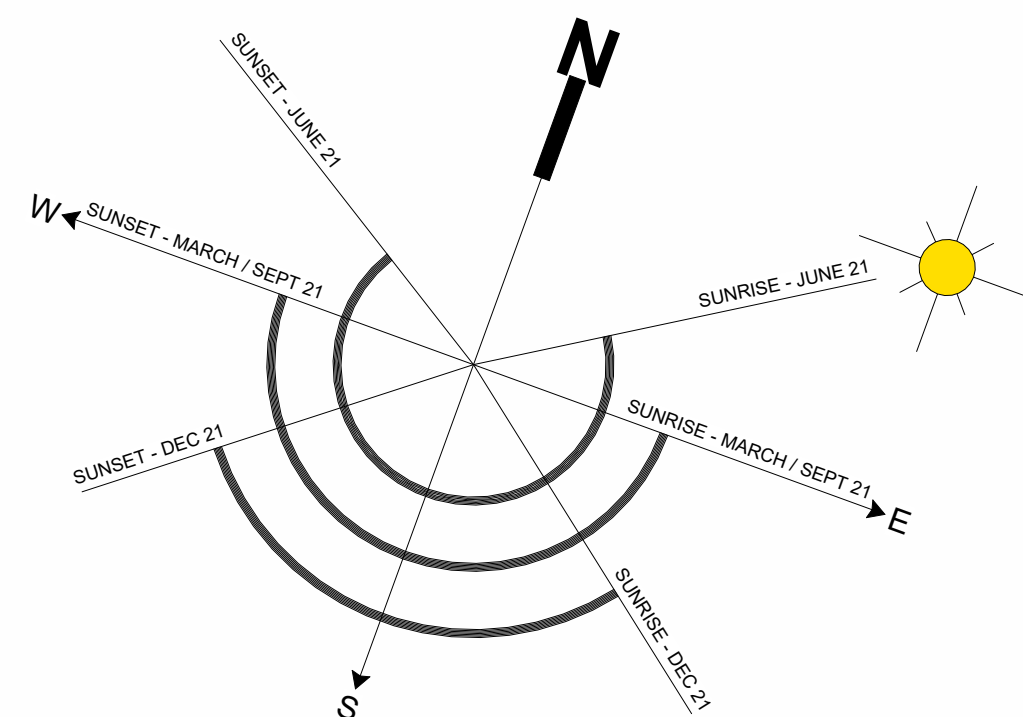
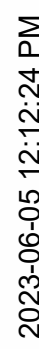
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sheet title
Site Plan

project no.	#192
scale	1 : 20

date issued	sheet no.
23/05/29	A1.00



CURRENT ZONING

Press Building: 12463m²

Gross Floor Areas (FSR)	
Not Placed	0 m ²
Level 1	749 m ²
Level 1 Mezzanine	318 m ²
Level 2	1039 m ²
Level 3	1061 m ²
Level 4	1061 m ²
Level 5	1061 m ²
Level 6	1061 m ²
Level 7	965 m ²
Level 8	965 m ²
Level 9	1061 m ²
Level 10	1061 m ²
Level 11	1061 m ²
Level 12	1061 m ²
Proposed (New)	12521 m ²

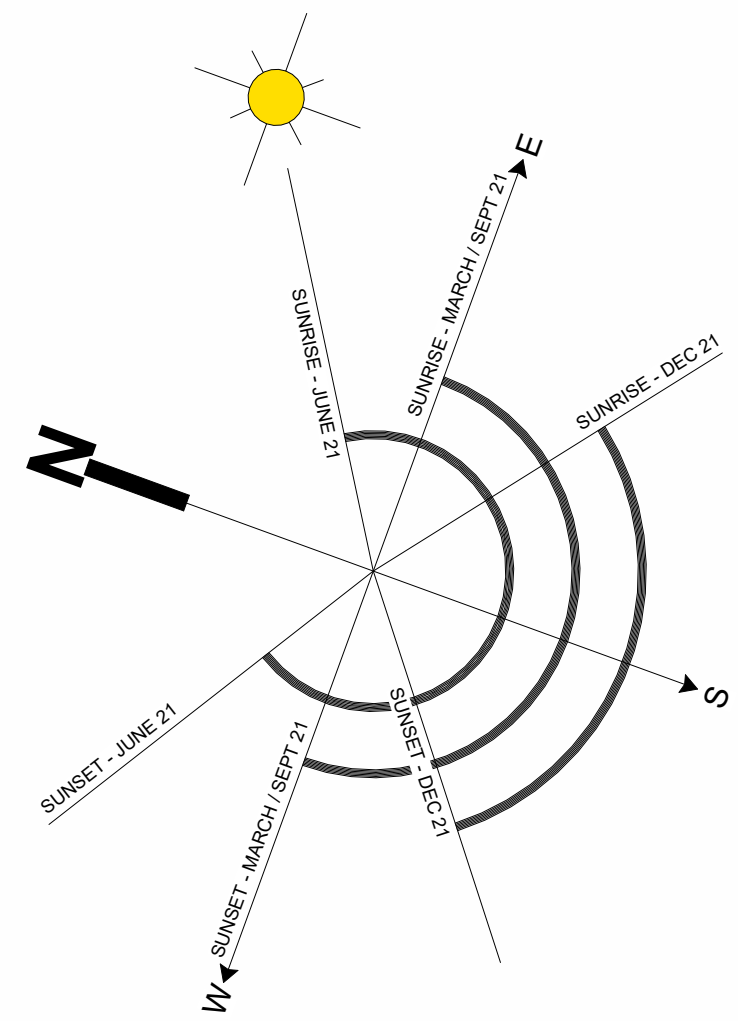
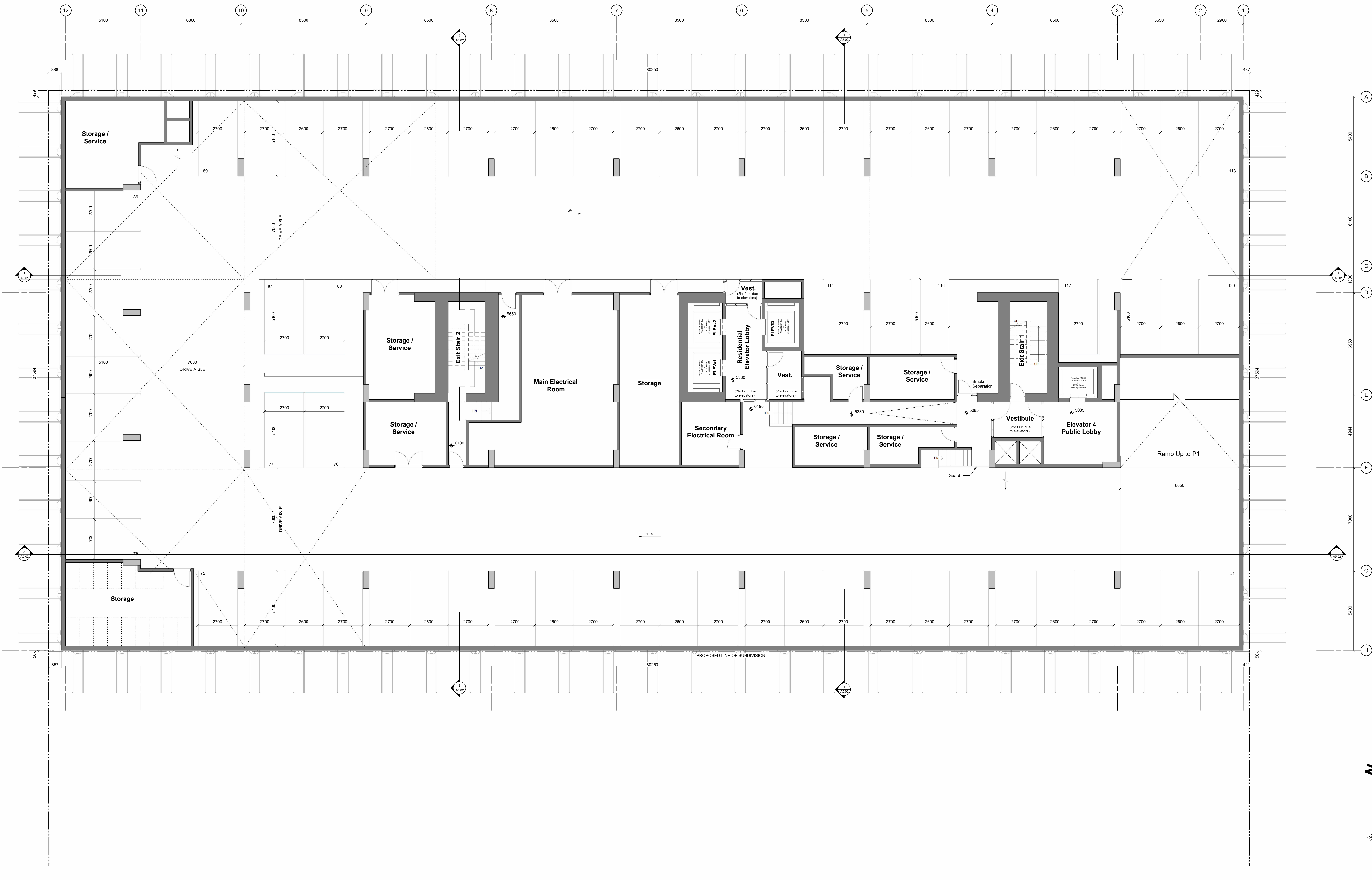
Commercial & Residential Visitor - 24 Stalls

BICYCLE PARKING

PROJECT INFORMATION TABLE		Site Area A	Site Area B
Zone (existing)	S-12		
Proposed zone or site specific zone If unsure, state "see zone"	Site Specific or CD Zone		
Site area (m ²)	10,088 sq.m. (Existing)	6,981 sq.m. (Area A)	3,105 sq.m. (Area B)
Total floor area (m ²)		12,463 sq.m. (existing)	12,021 sq.m. (proposed)
Commercial floor area (m ²)		12,463 sq.m. (existing)	334 sq.m. (proposed)
Floor space ratio	2.48 : 1 (Existing + Proposed)	1.79 : 1 (Area A)	4.03 : 1 (Area B)
Site coverage (%)	65% (Existing + Proposed)	66%	58%
Open site space (%)			44%
Height of building (m)		15m (Area A / existing)	45m (Area B / proposed)
Number of stories		12m (Area B / proposed)	12m (Area B / proposed)
Parking stalls (number) on site	4 Stalls at Grade - 120 Stalls in Parkade		
Bicycle parking number (Class 1 and Class 2)	NEW - 339 Total - 307 Class 1 + 32 Class 2		
Building Setbacks (m)			
Front yard		4.0 m (Kings Road)	
Rear yard		12.2 m (North)	
Side yard (indicate which side)		4.5 m (Interior / West)	
Side yard (indicate which side)		3.2 m (Ross Lane)	
Combined side yards		7.7 m	
Residential Use Details			
Total number of units	160		
Unit type, e.g., 1 bedroom	Studio, Jr. 1-Bdrm, 1-Bdrm, 2-Bdrm, Cohousing		
Ground-oriented units	None		
Minimum unit floor area (m ²)	30 sq.m.		
Total residential floor area (m ²)	12,187 sq.m.		



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2	Rezoning/DP	23/06/05

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Level P2 Plan

project no. #1926

scale 1 : 100

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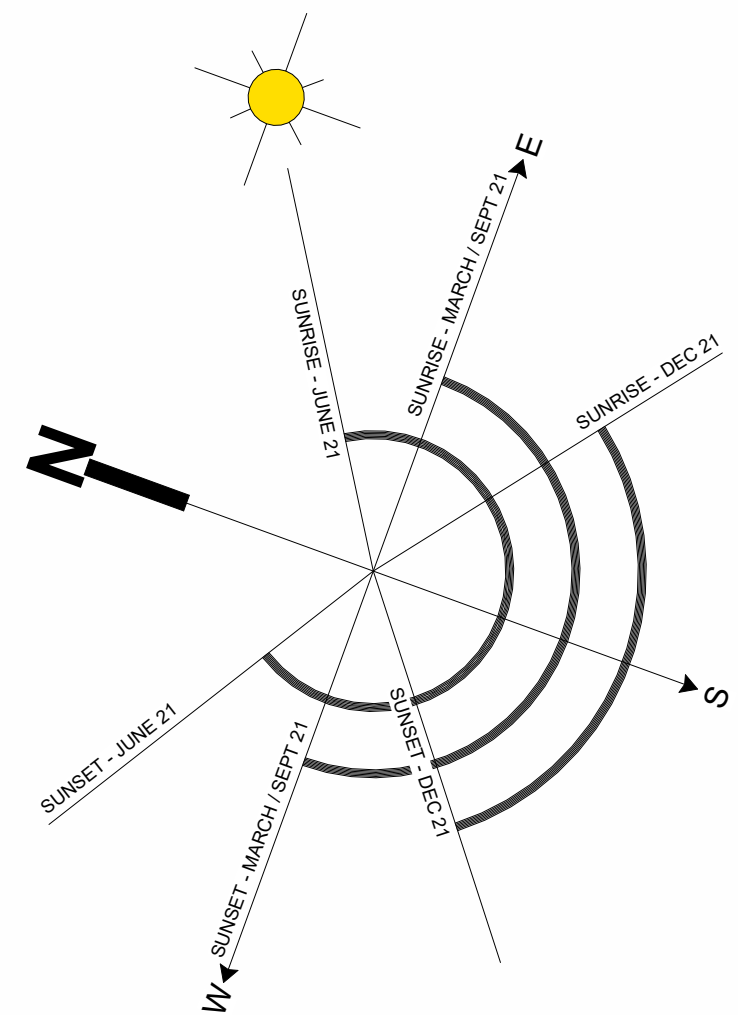
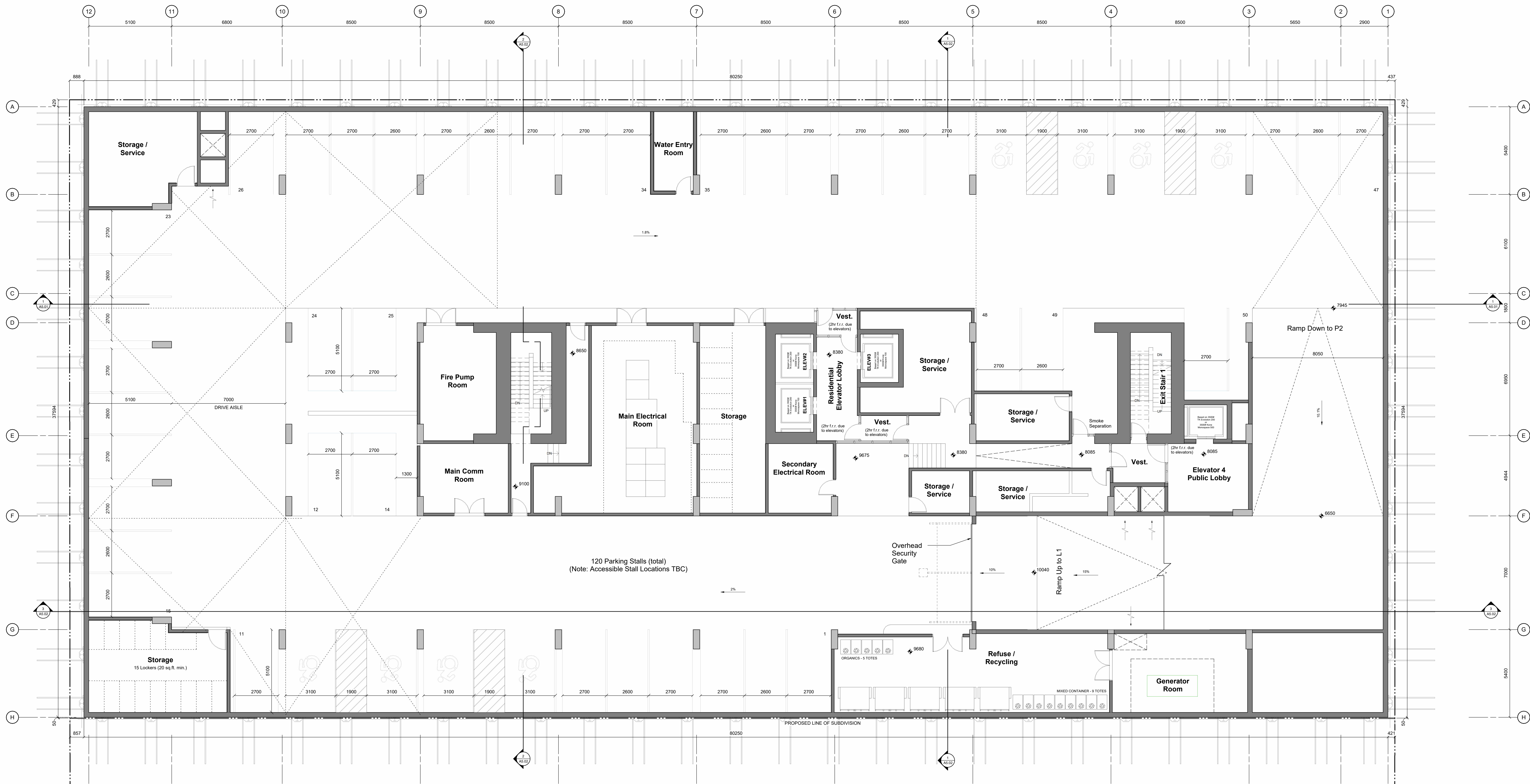
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Level P1 Plan

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Victoria Press Apartments
5 - 2629 Douglas St, Victoria, BC

Level 1 Plan

Project no.	#1926
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1 : 100

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23/05/29

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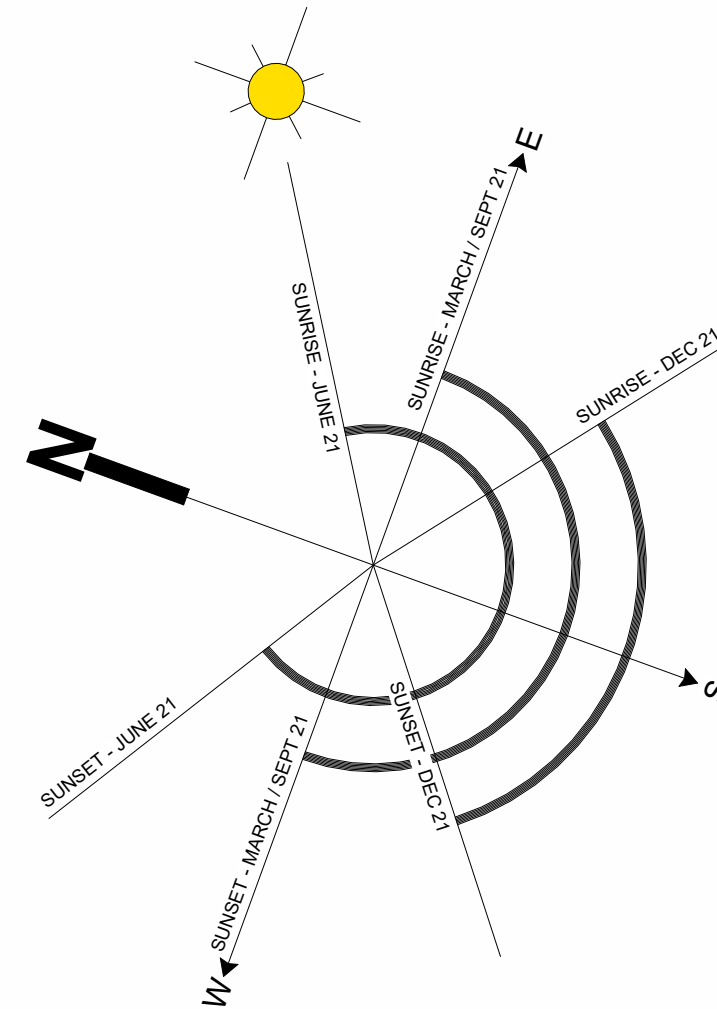


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NOTES:

1. REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR INFORMATION ON PAVING, FENCING, PLANTING AND TREES.

0 5m
1:100 scale in meters



rev no	description	date
2	Rezoning/DP	23/06/05

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Level 2 Plan

project no. #1926

scale 1 : 100

drawn by MZ

date issued 23/05/29

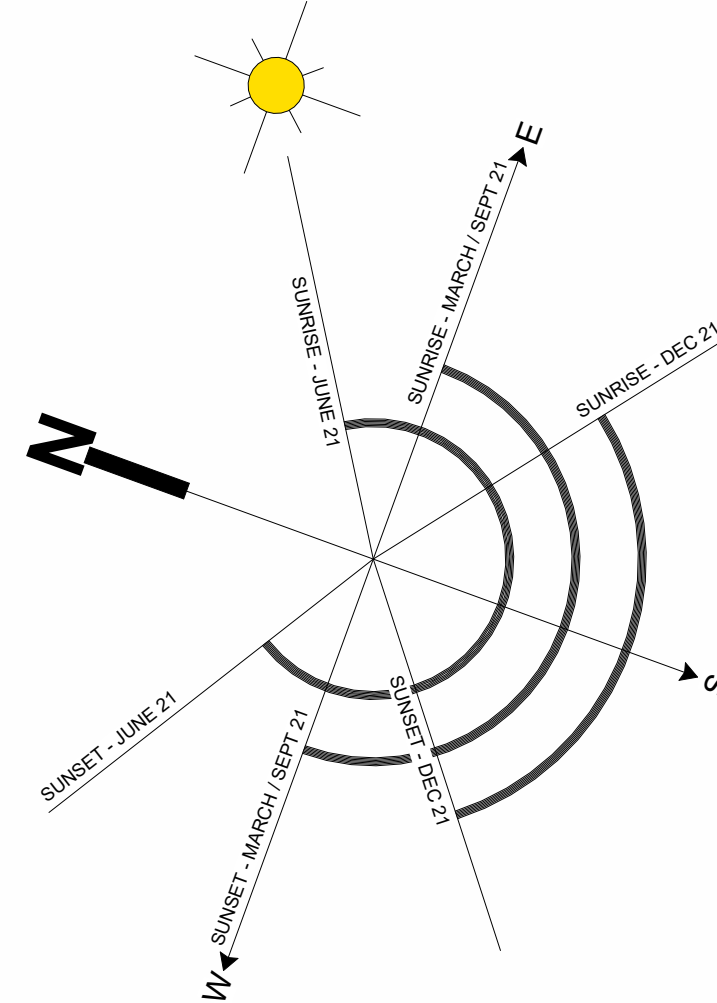
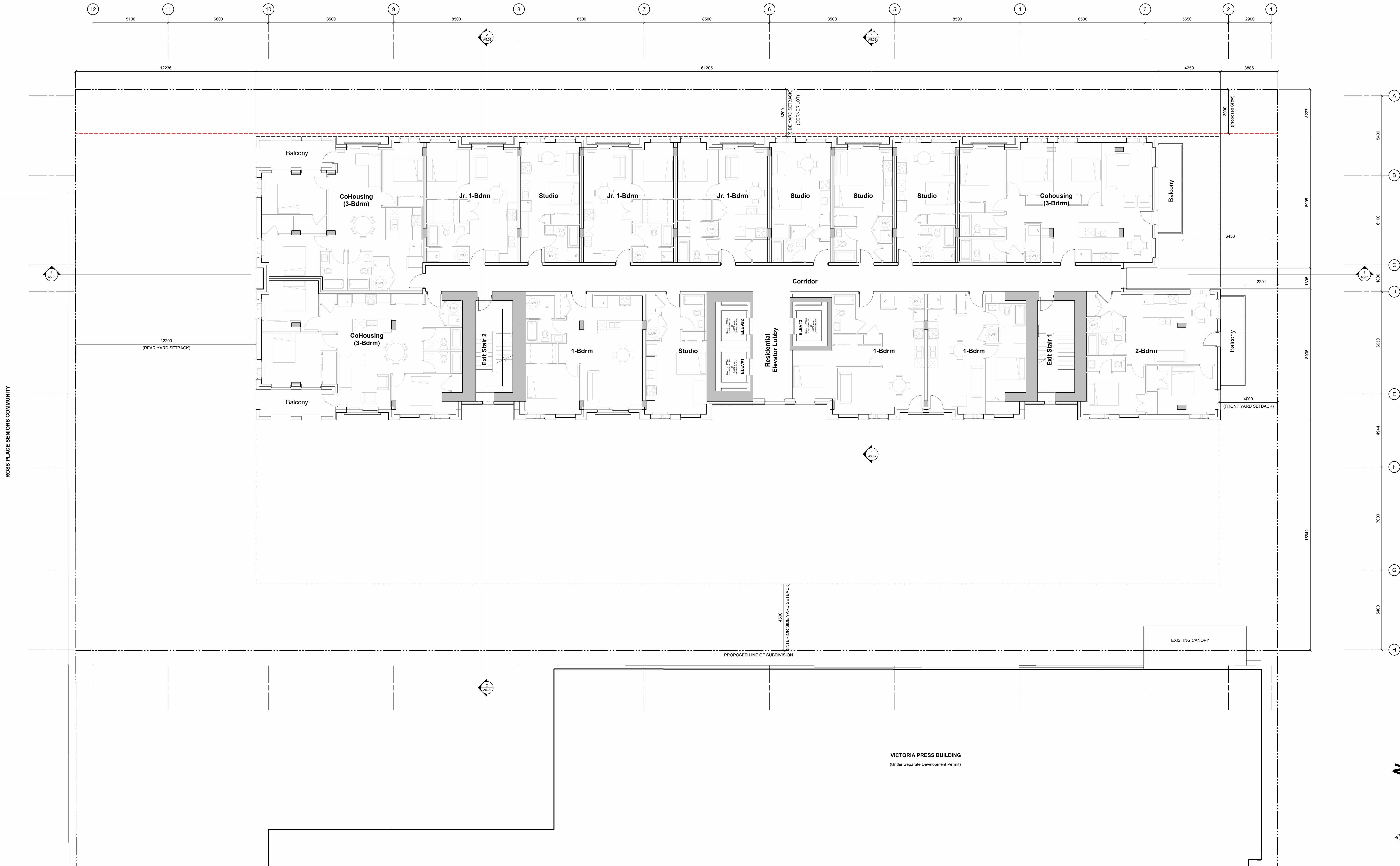
sheet no. A2.06

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2 Rezoning/DP 23/06/05
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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Level 3-6 Typical Plan

project no. #1926

scale 1 : 100

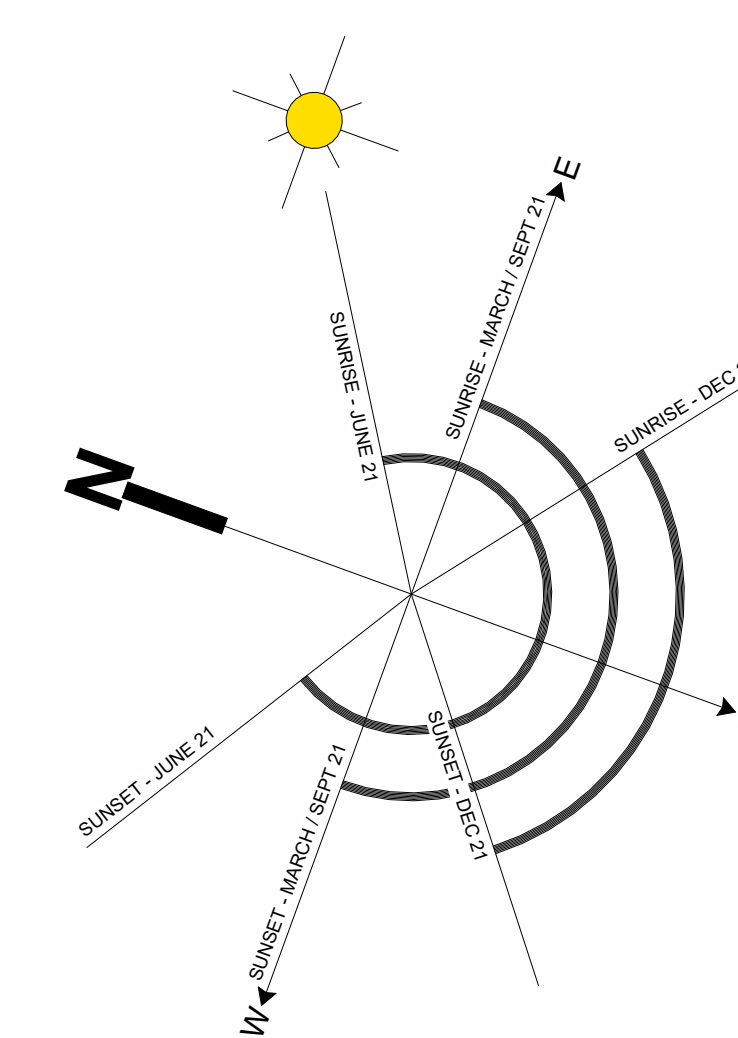
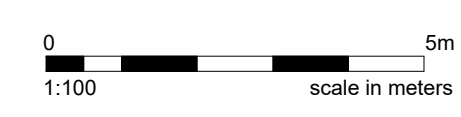
drawn by MZ

date issued 23/05/29

sheet no.

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2	Rezoning/DP	23/06/05
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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Level 7 Plan

project no.	#1926
scale	1 : 100
drawn by	MZ
date issued 23/05/29	sheet no. A2.11

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2	Rezoning/DP	23/06/05
rev no	description	date

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Level 8 Plan

project no.	#1926
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scale	1 : 100
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drawn by	MZ
date issued	sheet no.

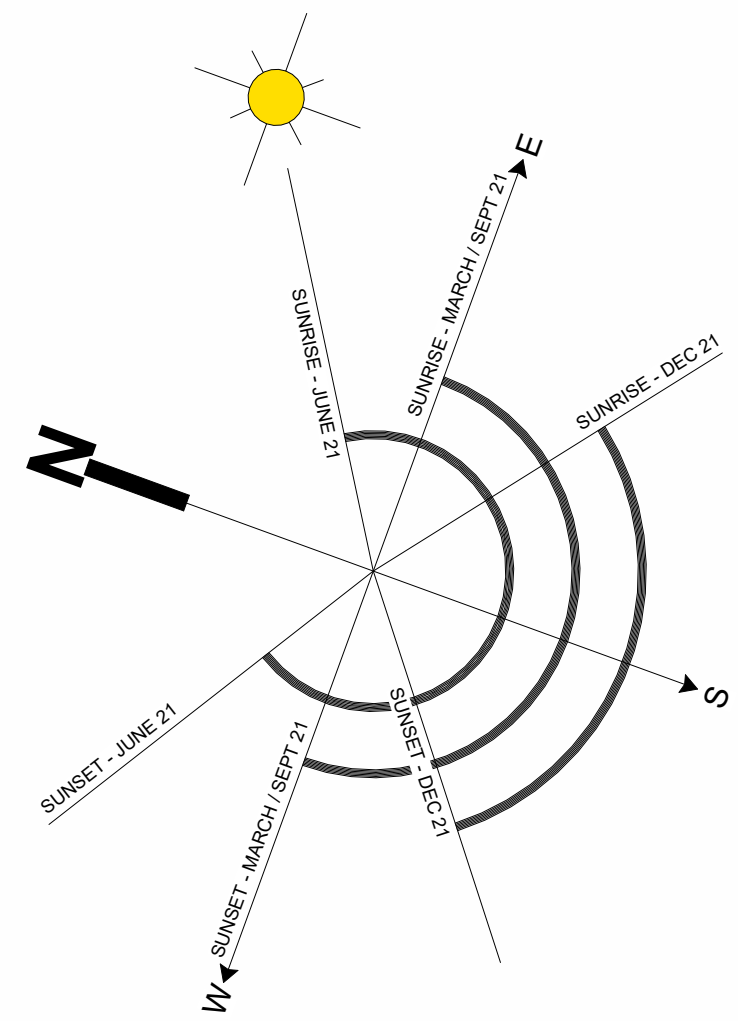
23/05/29 A2 12

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0 5m
1:100 scale in meters

rev no	description	date
2	Rezoning/DP	23/06/05

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Level 9 - 12 Typical Plan

project no. #1926

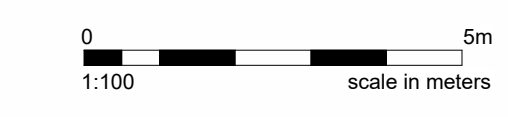
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drawn by MZ

date issued 23/05/29

sheet no. A2.13

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2	Rezoning/DP	23/06/0
rev no	description	date
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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, B

sheet title
Roof Plan

project no.	#1926
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scale	1 : 10
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drawn by M2

date issued	sheet no.
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23/05/29	A2 18
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	7/2/10
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Elevation Material Key

- 1 Pre-finished Composite Metal Panel
Profile: Flat
Colour: Off-White
- 2 Pre-finished Metal Cladding
Profile: Diamond Shingle
Colour: Weathered Zinc
- 3 Clay Brick
Pattern: Stack Bond
Colour: Dark Taupe
- 4 Exposed Architectural Concrete
- 5 Clear Glazing
- 6 Glazed Balcony Guard
- 7 Window Frame
Colour: Charcoal Grey
- 8 Window Frame
Colour: Light Grey
- 9 Wood Toned Soffits
- 10 Corten Steel (Planter)
- 11 Perforated Metal Panel
Profile: TBD
Colour / Finish: TBD

0 5m
1:100 scale in meters

2	Rezonning/DP	23/06/06
rev no	description	date

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Elevations - East

project no. #1926

scale 1 : 100

drawn by GK

date issued 23/05/29

sheet no. A4.01

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Elevation Material Key

- 1 Pre-finished Composite Metal Panel
Profile: Flat
Colour: Off-White
- 2 Pre-finished Metal Cladding
Profile: Diamond Shingle
Colour: Weathered Zinc
- 3 Clay Brick
Pattern: Stack Bond
Colour: Dark Taupe
- 4 Exposed Architectural Concrete
- 5 Clear Glazing
- 6 Glazed Balcony Guard
- 7 Window Frame
Colour: Charcoal Grey
- 8 Window Frame
Colour: Light Grey
- 9 Wood Toned Soffits
- 10 Corten Steel (Planter)
- 11 Perforated Metal Panel
Profile: TBD
Colour / Finish: TBD

0 5m
1:100 scale in meters

rev no	description	date
2	Rezoning/DP	23/06/05

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Elevations - South

project no. #1926

scale 1 : 100

drawn by GK

date issued 23/05/29

sheet no. A4.02

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Elevation Material Key

- 1 Pre-finished Composite Metal Panel
Profile: Flat
Colour: Off-White
- 2 Pre-finished Metal Cladding
Profile: Diamond Shingle
Colour: Weathered Zinc
- 3 Clay Brick
Pattern: Stack Bond
Colour: Dark Taupe
- 4 Exposed Architectural Concrete
- 5 Clear Glazing
- 6 Glazed Balcony Guard
- 7 Window Frame
Colour: Charcoal Grey
- 8 Window Frame
Colour: Light Grey
- 9 Wood Toned Soffits
- 10 Corten Steel (Planter)
- 11 Perforated Metal Panel
Profile: TBD
Colour / Finish: TBD

0 5m
1:100
scale in meters

2	Rezoning/DP	23/06/05
rev no	description	date

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Elevations - West

project no. #1926

scale 1 : 100

drawn by GK

date issued 23/05/29

sheet no. A4.03





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Elevation Material Key

- 1 Pre-finished Composite Metal Panel
Profile: Flat
Colour: Off-White
- 2 Pre-finished Metal Cladding
Profile: Diamond Shingle
Colour: Weathered Zinc
- 3 Clay Brick
Pattern: Stack Bond
Colour: Dark Taupe
- 4 Exposed Architectural Concrete
- 5 Clear Glazing
- 6 Glazed Balcony Guard
- 7 Window Frame
Colour: Charcoal Grey
- 8 Window Frame
Colour: Light Grey
- 9 Wood Toned Soffits
- 10 Corten Steel (Planter)
- 11 Perforated Metal Panel
Profile: TBD
Colour / Finish: TBD

0 5m
1:100 scale in meters

rev no	Rezoning/DP description	23/06/05 date
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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Elevations - North

project no. #1926

scale 1 : 100

drawn by GK

date issued 23/05/29

sheet no.

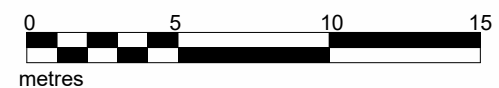
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WORK IN PROGRESS



2	Rezoning/DP	23/06/05
rev no	description	date

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Context Elevations

project no. #1926

scale 1 : 250

drawn by MZ

date issued 23/05/29

sheet no. A4.05

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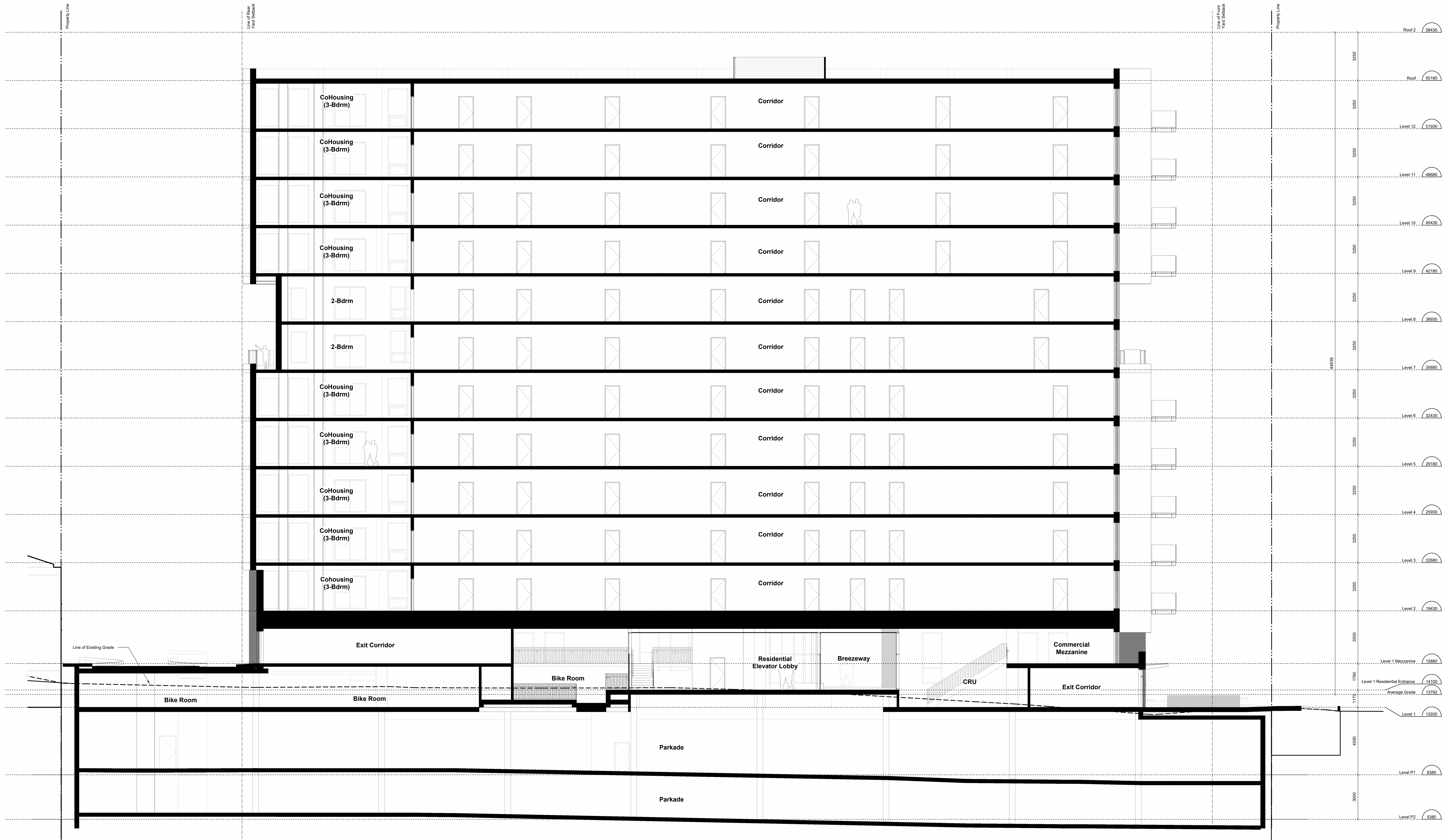
1 Ross Lane Streetscape
1 : 250



2 Kings Road Streetscape
1 : 250



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1 Building Section 01
1 : 100

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2	Rezoning/DP	23/06/05

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project name
Victoria Press Apartments
2615 - 2629 Douglas St, Victoria, BC

sheet title
Overall Building Sections

project no. #1926

scale 1 : 100

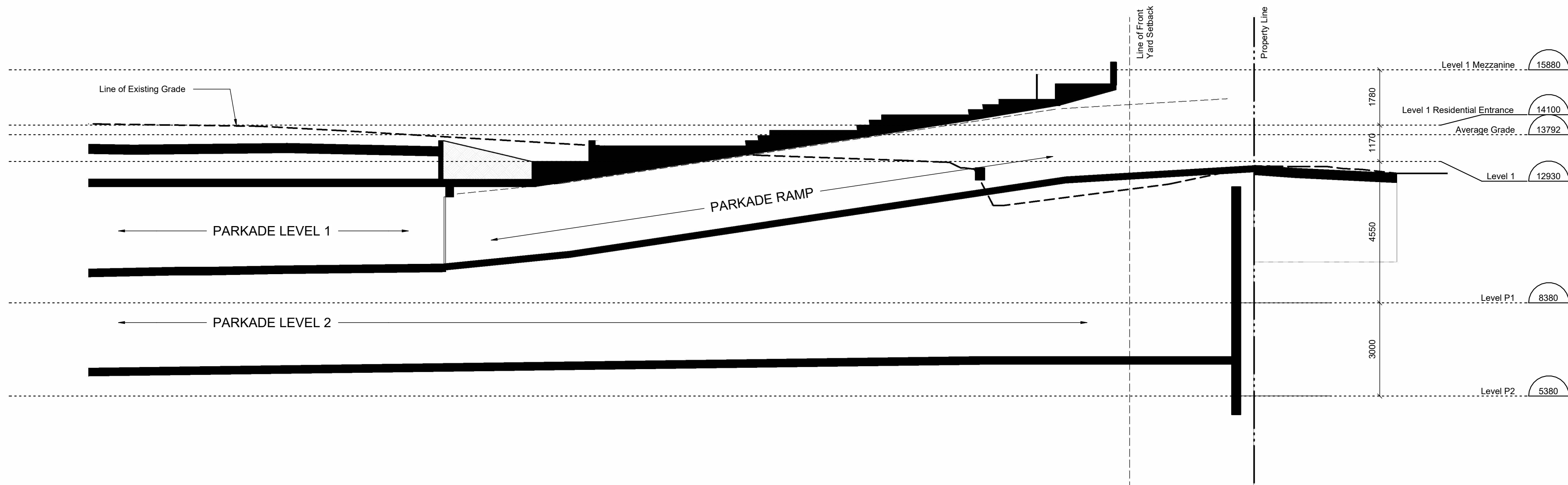
drawn by MZ

date issued 23/05/29

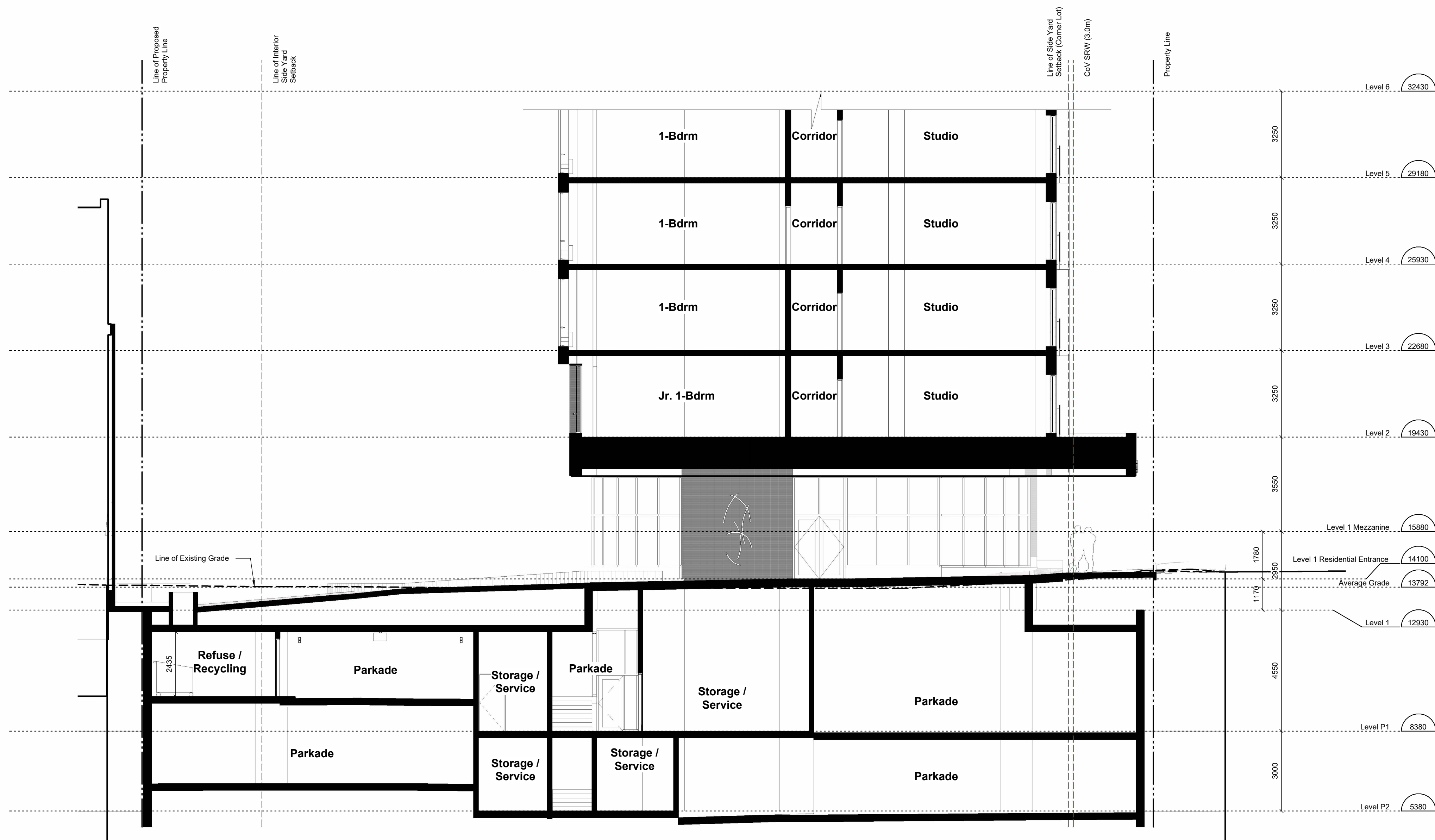
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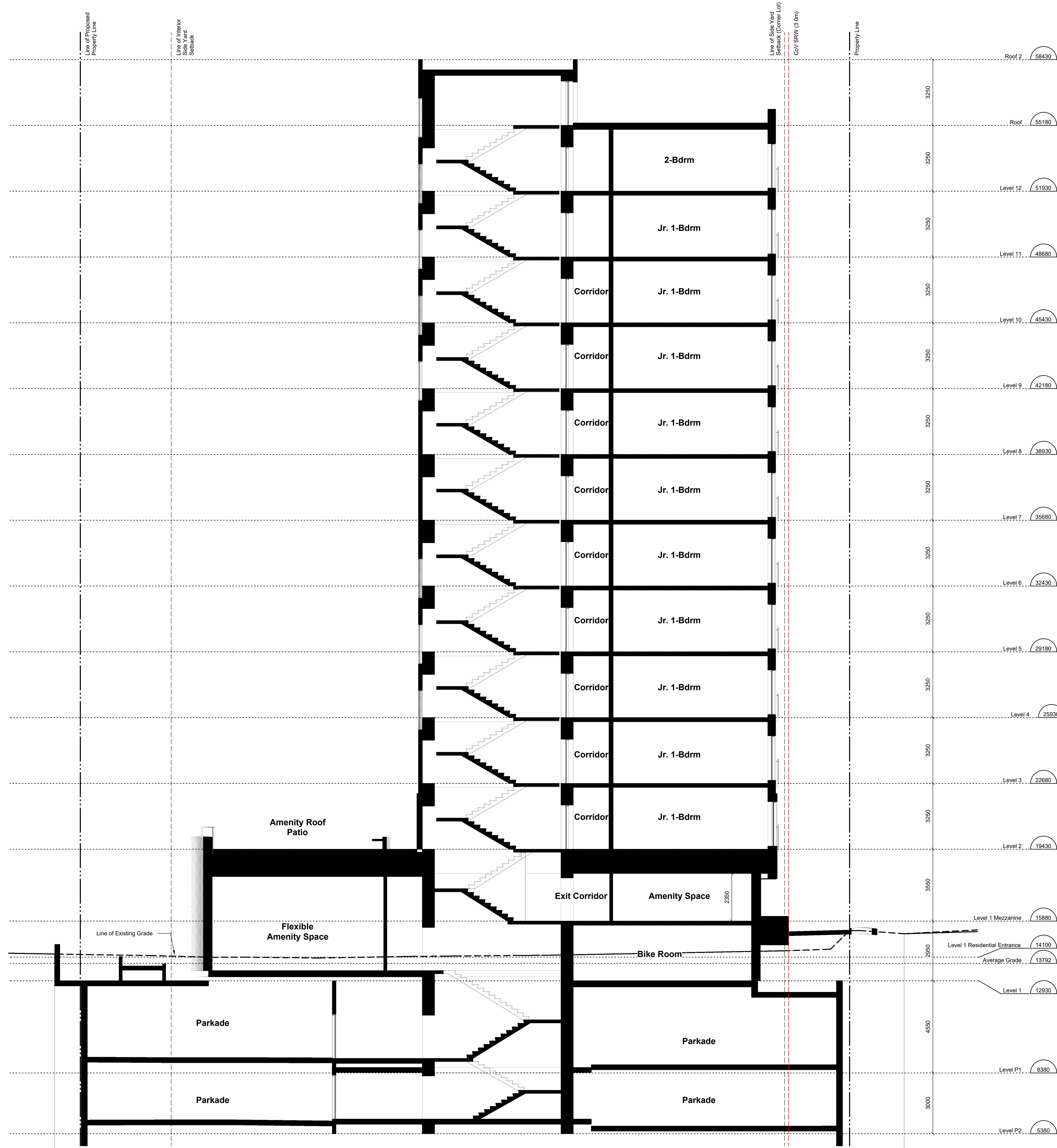
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3 Parkade Ramp Section
1 : 100



1 Building Section 02
1 : 100



2 Building Section 03
1 : 100

0 5m
1:100 scale in meters

rev no	Rezonning/DP description	23/06/05 date
2		

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project name
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2615 - 2629 Douglas St, Victoria, BC

sheet title
Overall Building Sections

project no. #1926

scale 1 : 100

drawn by MZ

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