



Revisions
May 12, 2026



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- A96: Building Section N-71
- A97: Building Section N-72
- A98: Building Section N-73
- A99: Building Section N-74
- A00: Building Section N-75

Herald

517-533 Chatham Street + 531-538 Herald Street, Victoria, BC, Canada

Issued for Rezoning and Development Permit

4 May 2026

CLIENT

INTRACORP
190-100-100 Burrard Street
Vancouver BC V1C 2G5
1605.830
1605.830
1605.830
www.intracorp.com

ARCHITECT

SHAPE Architecture Inc.
1402 - 1404 7th Ave.
Vancouver, Canada V6C 1C1
1605.830
1605.830
1605.830
www.shapearch.com

STRUCTURAL

Shaw Earth Systems - Consulting
Structural Engineers
205 Hastings Drive #116, Burnaby
BC V5C 2S3
205.830
205.830
205.830
www.shawearth.com

ELECTRICAL

Q&E Engineering Inc.
1221 Derby Road Victoria, BC
V8P 1P5
250.830
250.830
250.830
www.qandee.com

LANDSCAPE

Edwards Landscape Architecture
3200 Lakeside St. Vancouver
BC V6K 2J7
604.830
604.830
604.830
www.edwardslandscape.com

DMV

J.E. Neilson & Associates
BC Building Services Ltd.
4120 Chestnut Ave. Victoria, BC
V8M 1B7
250.830
250.830
250.830
www.jenilson.com

BUILDING ENVELOPE

BC Building Services Ltd.
4111 Burrard Court, New
Westminster, BC V3M 1Y3
250.830
250.830
250.830
www.bcservices.com

MECHANICAL

GoPac Mechanical Ltd.
2nd Floor - 1381 Douglas Street,
Victoria, BC V8Z 3A1
250.830
250.830
250.830
www.gopacmech.com

BUILDING CODE

OK - Compliance Ltd.
105 - 700 West Pender St.
Vancouver BC Canada V6E 2G8
604.830
604.830
604.830
www.ok-compliance.com

INTERIOR DESIGN

OK - Interior Design
Suite 405 (7th floor) 1000
Vancouver BC Canada V6E 2G8
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BUILDING CODE

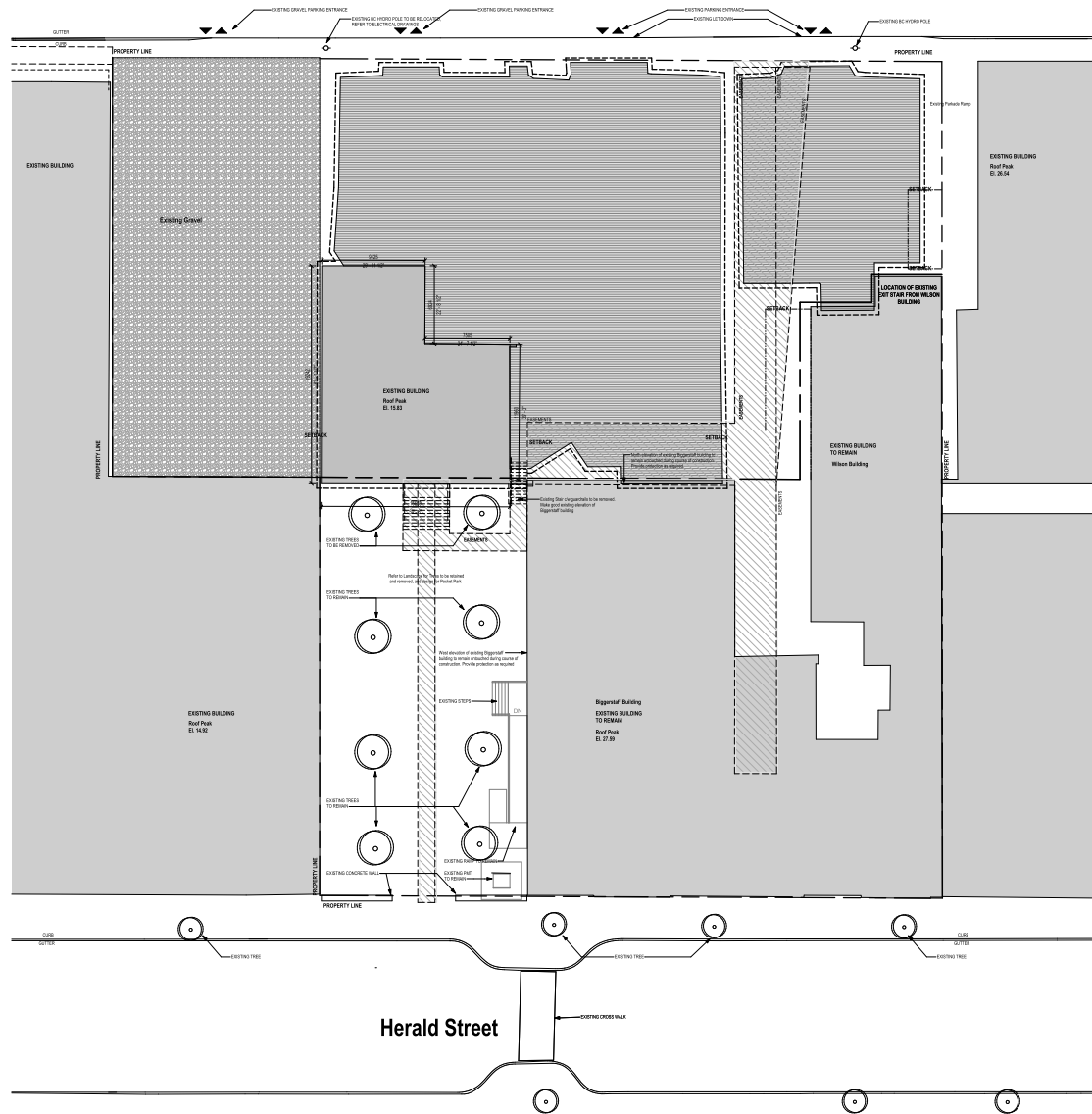
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INTERIOR DESIGN

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604.830
www.ok-interior.com



Chatham Street



No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Project: 2025
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Site Plan - Demolition	
Date:	Author:
Drawn By:	Checked By:
Scale:	1:100
Original Size:	A3



Seal



Sheet



City of Victoria FSR Inclusion and Exclusions

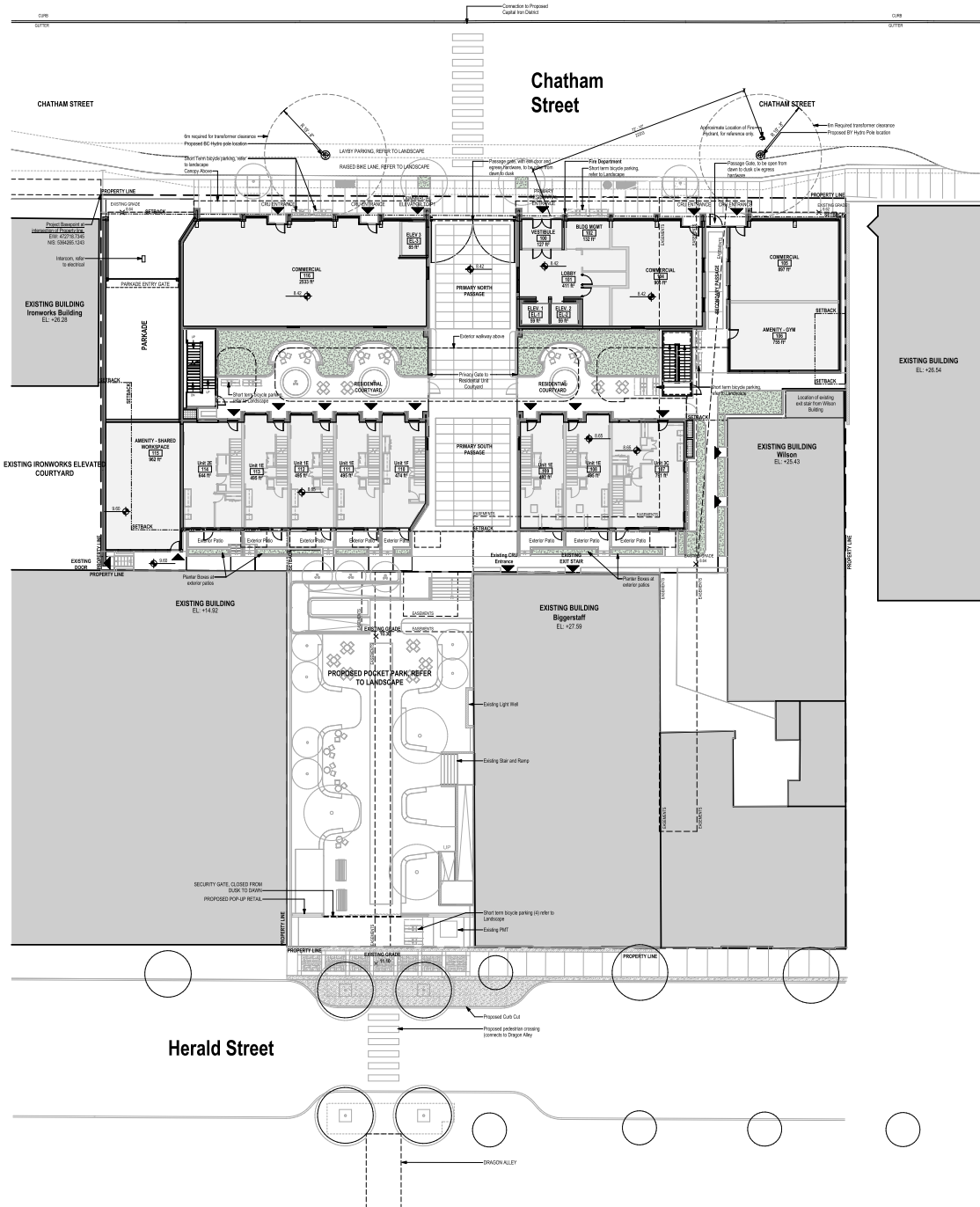
The following inclusions are submitted under the City of Victoria's Density Framework Guidelines and zoning rules (DFG)

- The site is exempt from the density bonus system.
- The site is exempt from the DFG.
- FSR Coverage are measured to the interior face of exterior walls.

PERMITTED EXCLUSIONS

- The area of any concourse or basement.
- The area of any terrace, veranda, screen deck, patio or roof deck.
- Unscreened balconies when calculating Floor Area.
- The area of any enclosure.

The area used to provide bicycle parking required by the law.



No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

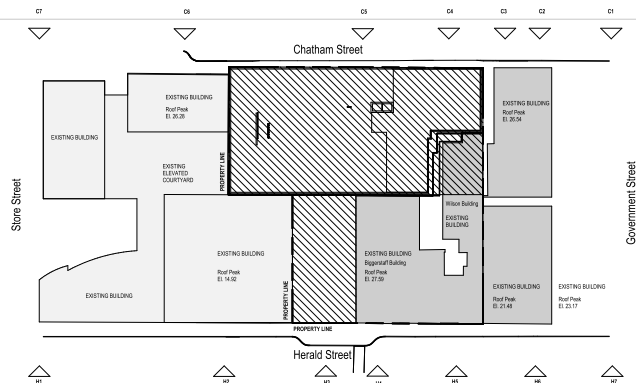
Project: 2025
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Site Plan	
Date:	05
Drawn By:	AS
Checked By:	AT
Scale:	As indicated
Original Size:	A3





SITE IMAGE KEY



CHATHAM STREET



Image Reference # C1
 Description: Commercial Building, Two Storey Residential



Image Reference # C2
 Description: Adjacent Commercial Building, Two Storey Residential



Image Reference # C3
 Description: Adjacent Commercial & Residential Building



Image Reference # C4
 Description: Wilson Building



Image Reference # C5
 Description: North Facade of Biggestuff



Image Reference # C6
 Description: Adjacent Residential Building, Ironworks



Image Reference # C7
 Description: Adjacent Residential Building, Ironworks

HERALD STREET



Image Reference # H1
 Description: Commercial Unit



Image Reference # H2
 Description: Adjacent Commercial Unit



Image Reference # H3
 Description: Site with existing trees



Image Reference # H4
 Description: Adjacent Existing Building, Biggestuff Building (Historical)



Image Reference # H5
 Description: Level Once Commercial, Two Storey Residential



Image Reference # H6
 Description: Break between buildings

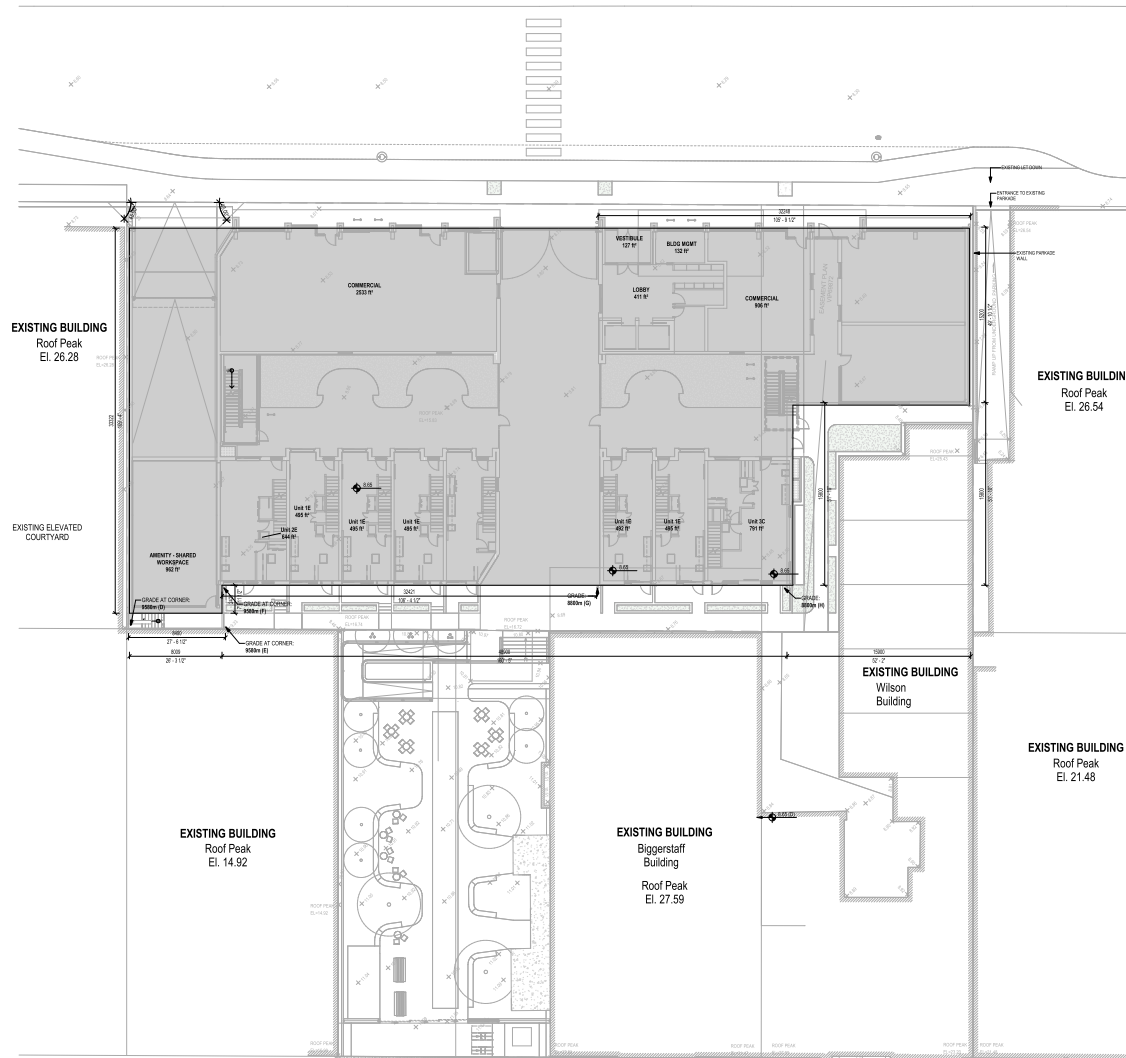


Image Reference # H7
 Description: Commercial Building, Two Storey Residential

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan	
Project	0202
Herald	
517-533 Chatham Street + 530-538 Herald Street, Victoria, BC, Canada	

Site Photos - Street Context	
Date	
Drawn By	AJW
Checked By	AJW
Scale	1:100
Original Size	A3



1 | Site Plan - Average Grade
 A014 | 1 - 150

AVERAGE GRADE POINT CALCULATION:

GRADE POINTS:		
Grade Point A: 0.00	Grade Point E: 0.50	Grade Point I: 0.00
Grade Point B: 0.00	Grade Point F: 0.50	Grade Point J: 0.00
Grade Point C: 0.00	Grade Point G: 0.00	Grade Point K: 0.00
Grade Point D: 0.50	Grade Point H: 0.00	

Calculations:

Grade Points	Average of Points	Distance between grade points	Total
Points B + C	0.00	x 40.17	0.00
Points E + G	0.00	x 144.79	0.00
Points G + H	0.00	x 8.40	0.00
Points E + F	0.50	x 3.70	1.85
Points F + H	0.50	x 30.43	15.21
Points B + H	0.00	x 10.53	0.00
Points D + F	0.50	x 10.50	5.25
Points H + J	0.00	x 144.81	0.00
Points F + K	0.00	x 10.39	0.00
Total			31.31

Grade Calculation: $\frac{31.31}{144.79} = 0.216$

No.	Description	Date
1	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 282

Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

Average Grade Calculations

Date:	05
Drawn by:	AT
Checked by:	
Scale:	1:100
Printed Date:	05





FSR LEGEND

- Exclusion - Bicycle Parking
- Exclusion - Core
- Exclusion - Electrical
- Exclusion - Garbage + Recycling
- Exclusion - Lobby
- Exclusion - Mezzanine
- Exclusion - Open Balcony / Deck
- Exclusion - Parkade (Mechanical)
- Exclusion - Parking / Storage
- Exclusion - Vertical Circulation
- Storage

City of Victoria FSR Inclusion and Exclusions

The following inclusions are referenced under the City of Victoria Density Formers Guidelines and Zoning Bylaw 2015:

- 1. The site is exempt from the density bonus system.
- 2. The site is exempt from the 10% rule.
- 3. FSR Coverage are measured to the interior face of exterior walls.

PERMITTED EXCLUSIONS

1. The area of any mezzanine or basement.
2. The area of any balconies, verandas, covered decks, patios or roof (i.e., outdoor amenity spaces) when calculating Floor Area.
3. The area of multiple buildings.
4. The area used to provide bicycle parking required by the bylaw.

Area Schedule (FSR) - Inclusions - P1

Name	Area (m ²)	Area (ft ²)
Exclusion - Underground Parking	1599.7	17247
Exclusion - Elevator	7.4	80
Exclusion - Mechanical	54.3	585
Exclusion - Electrical / Comm	55.8	599
Exclusion - Electrical / Comm	11.5	124
Exclusion - Lobby	13.2	142
Exclusion - Bike Parking	16.4	176
Exclusion - Elevator	18.9	204
Exclusion - Mechanical	13.6	146
Exclusion - Dog Wash Facilities	0.4	4
Exclusion - Storage	23.7	255
Exclusion - Storage	7.9	85
Grand total	2,239	24,097

Area Schedule (FSR) - Exclusions - P1

Name	Area (m ²)	Area (ft ²)
Level P1 (T.O. Structures)		
Exclusion - Bike Parking	320	3440
Exclusion - Elevator	39	421
Exclusion - Electrical / Comm	61	659
Exclusion - Garbage	84	905
Exclusion - Lobby	13	140
Exclusion - Mechanical	14	150
Exclusion - Dog Wash Facilities	8	87
Exclusion - Mechanical	19	205
Exclusion - Underground Parking	1,800	19,398
Exclusion - Stair	47	507
Grand total	2,239	24,097

FSR LEGEND

- Exclusion - Core
- Exclusion - Lobby
- Exclusion - Parkade (Mechanical)
- Exclusion - Parking / Storage
- Exclusion - Vertical Circulation
- Storage

Area Schedule (FSR) - Inclusions - P2

Name	Area (m ²)	Area (ft ²)
Exclusion - Underground Parking	2063.2	22347
Exclusion - Storage	45.3	488
Exclusion - Lobby	24.3	261
Exclusion - Mechanical	4.8	51
Exclusion - Elevator	18.9	204
Exclusion - Stair	20.6	222
Exclusion - Storage	32.0	344
Exclusion - Stair	25.8	277
Exclusion - Storage	8.6	92
Grand total	2,239	24,097

Area Schedule (FSR) - Exclusions - P2

Name	Area (m ²)	Area (ft ²)
Level P2 (T.O. Structures)		
Exclusion - Elevator	19	205
Exclusion - Lobby	24	259
Exclusion - Mechanical	5	54
Exclusion - Mechanical	49	528
Exclusion - Underground Parking	2,063	22347
Exclusion - Storage	81	870
Exclusion - Storage	32	344
Exclusion - Stair	26	279
Exclusion - Stair	26	279
Grand total	2,239	24,097

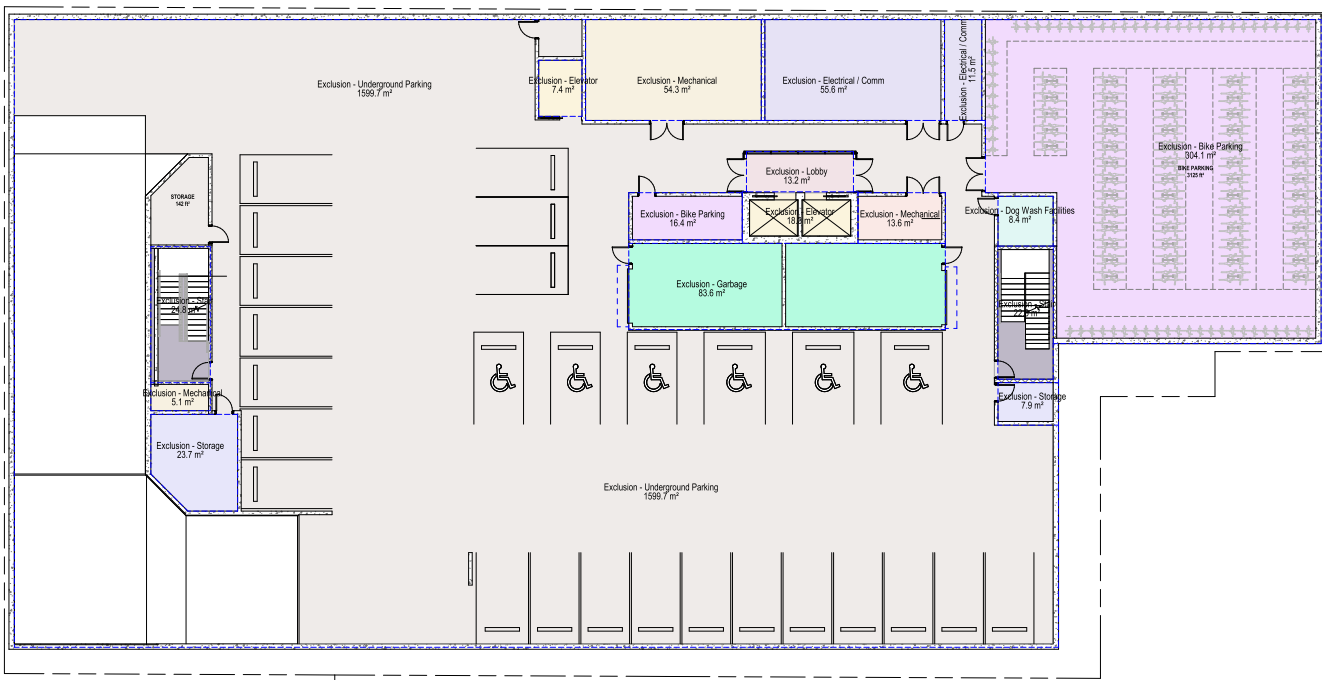
Revisions		
No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

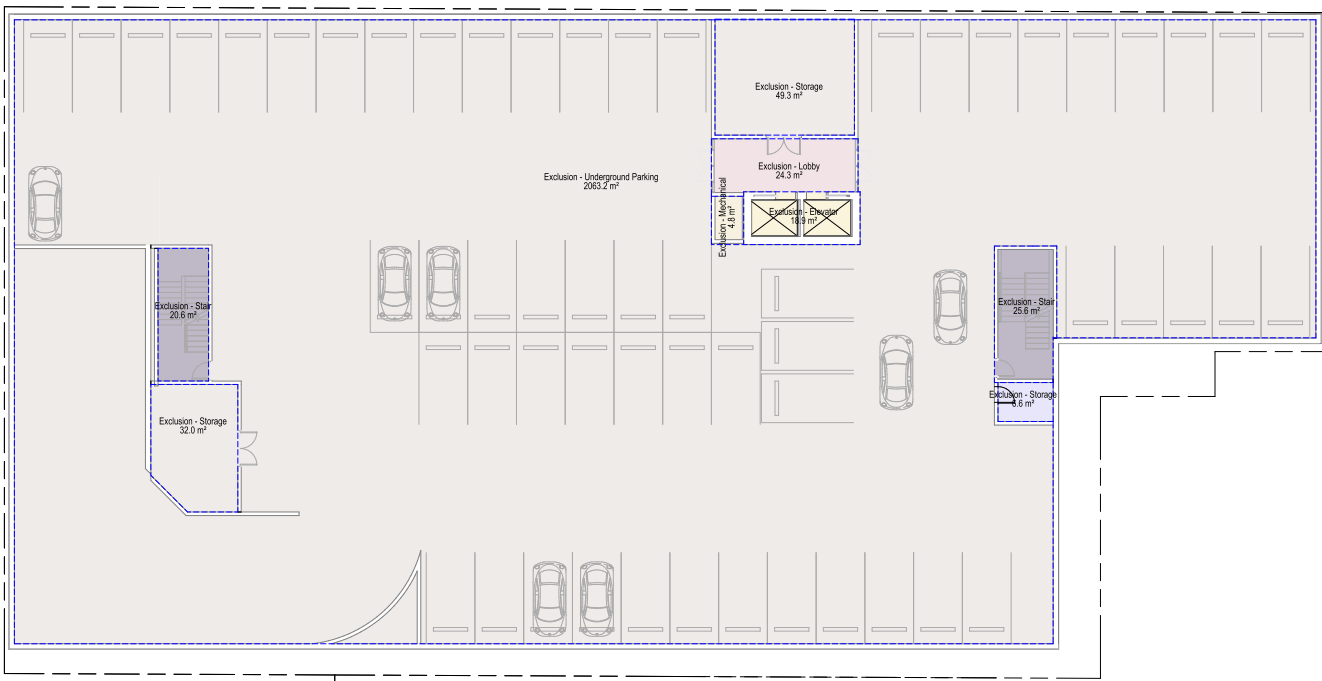
Project: 2025
 Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

FSR - Level P1 + P2

Date	Drawn By	Author
	Checked By	A.T.
	Scale	As indicated
	Original Size	A3



1 | Level P1
 A050 | 1/8" = 1'-0"



2 | Level P2
 A050 | 1/8" = 1'-0"



FSR LEGEND

- Exclusion - Open Balcony / Deck
- Inclusion - Amenity
- Inclusion - Commercial
- Inclusion - Exterior Common/Circulation
- Inclusion - Interior Lobby and Circulation
- Inclusion - Residential

City of Victoria FSR Inclusion and Exclusions

The following inclusions are referenced under the City of Victoria Density Formwork Guidelines and Zoning Bylaw 2101:

- The site is exempt from the density bonus system
- The site is exempt from D121
- FSR Coverage are measured to the interior face of exterior walls.

PERMITTED EXCLUSIONS:

1. The area of any basement.
2. The area of any patios, veranda, covered back, patio or roof (i.e., outdoor amenity space) when calculating Floor Area.
3. The area of rooftop circulation.
4. The area open to ground level parking ramp and by the below.

Area Schedule (FSR) - Exclusions - Level 1

Name	Area (m ²)	Area (ft ²)
Level 1		
Exclusion - Patio	16 m ²	172 ft ²
Exclusion - Amenity	56 m ²	604 ft ²
Grand total	56 m²	604 ft²

Area Schedule (FSR) - Inclusions - Level 1

Name	Area (m ²)	Area (ft ²)
Level 1		
Inclusion - Amenity	162 m ²	1,732 ft ²
Inclusion - Commercial	456 m ²	4,924 ft ²
Inclusion - Exterior Circulation	52 m ²	561 ft ²
Inclusion - Interior Lobby and Circulation	112 m ²	1,207 ft ²
Inclusion - Residential	423 m ²	4,527 ft ²
Level 1	1,192 m²	12,855 ft²
Grand total	1,192 m²	12,855 ft²

FSR LEGEND

- Inclusion - Exterior Common/Circulation
- Inclusion - Residential

Area Schedule (FSR) - Exclusions - Mezzanine

Name	Area (m ²)	Area (ft ²)
Level 1.5 - Mezzanine		
Inclusion - Exterior Circulation	41 m ²	442 ft ²
Inclusion - Residential	188 m ²	2,033 ft ²
Level 1.5 - Mezzanine	209 m²	2,245 ft²
Grand total	209 m²	2,245 ft²

Area Schedule (FSR) - Inclusions - Mezzanine

Name	Area (m ²)	Area (ft ²)
Level 1.5 - Mezzanine		
Inclusion - Exterior Circulation	41 m ²	442 ft ²
Inclusion - Residential	188 m ²	2,033 ft ²
Level 1.5 - Mezzanine	209 m²	2,245 ft²
Grand total	209 m²	2,245 ft²

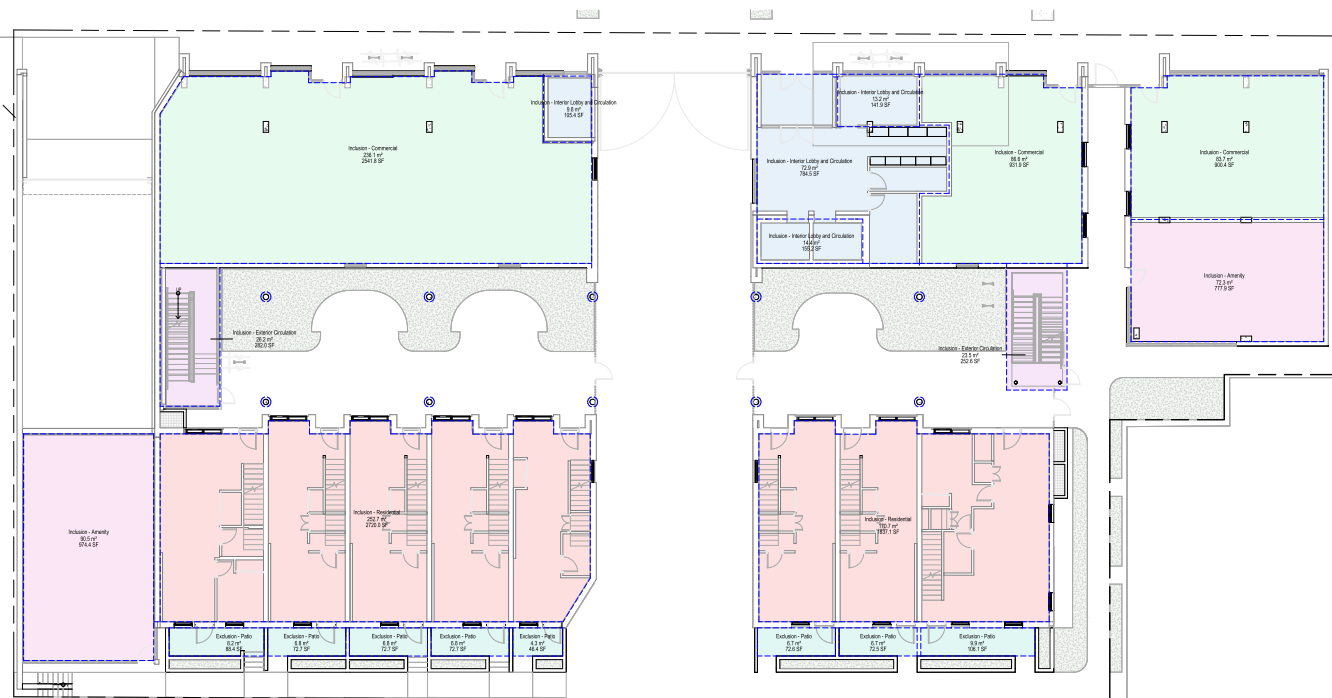
No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

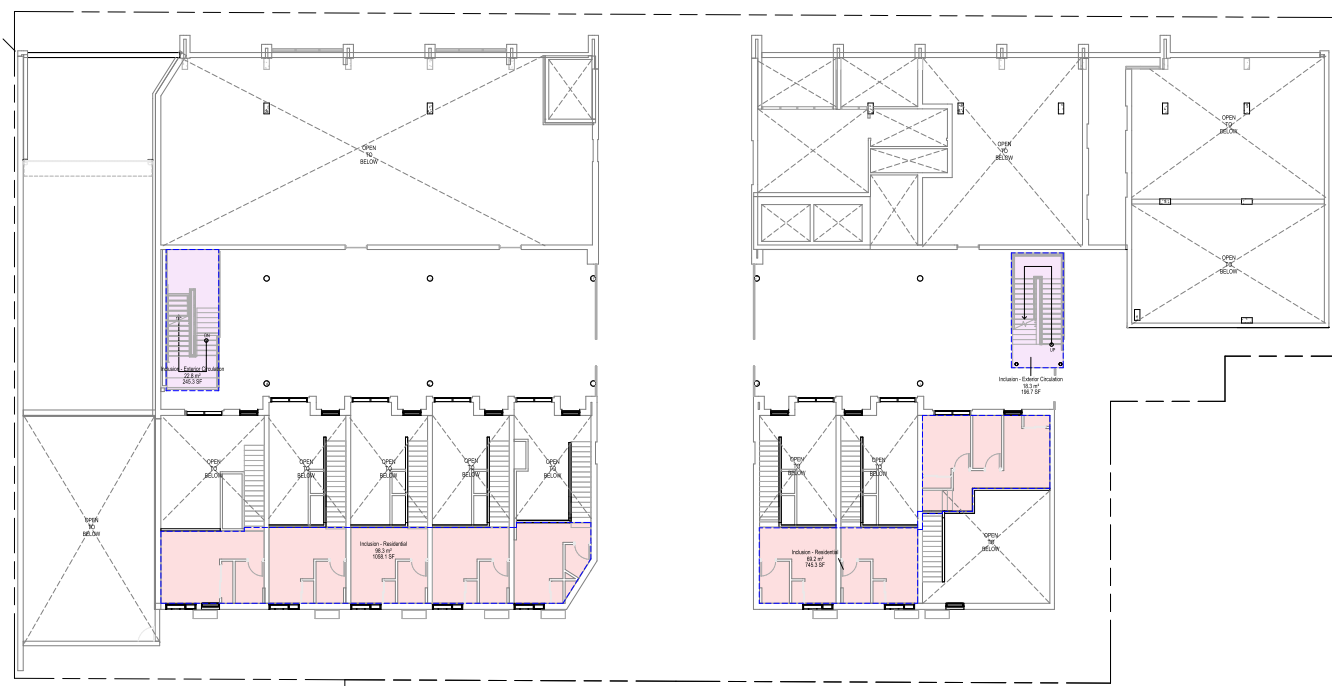
Project: 2102
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

FSR - Level 1 + Mezzanine

Date	Author
Drawn By	AT
Checked By	AT
Scale	As Indicated
Original Size	A3



1 | Level 1
A051 | 1/8" = 1'-0"



2 | Level 1.5 - Mezzanine
A051 | 1/8" = 1'-0"

FSR LEGEND

- Exclusion - Open Balcony / Deck
- Inclusion - Exterior Common/Circulation
- Inclusion - Interior Lobby and Circulation
- Inclusion - Mech/Elec/Service
- Inclusion - Residential

Area Schedule (FSR) - Exclusions - Level 4

Name	Area (m ²)	Area (ft ²)
Level 4		
Exclusion - Balcony	88 m ²	945 ft ²
Exclusion - Balcony	88 m ²	945 ft ²
Grand total	88 m²	945 ft²

Area Schedule (FSR) - Inclusions - Level 4

Name	Area (m ²)	Area (ft ²)
Level 4		
Inclusion - Exterior Common/Circulation	235 m ²	2,527 ft ²
Inclusion - Interior Lobby and Circulation	13 m ²	139 ft ²
Inclusion - Mech/Elec/Service	11 m ²	121 ft ²
Inclusion - Residential	1,999 m ²	14,729 ft ²
Level 4	1,628 m²	17,522 ft²
Grand total	1,628 m²	17,522 ft²

FSR LEGEND

- Exclusion - Open Balcony / Deck
- Inclusion - Exterior Common/Circulation
- Inclusion - Interior Lobby and Circulation
- Inclusion - Mech/Elec/Service
- Inclusion - Residential

Area Schedule (FSR) - Exclusions - Level 5

Name	Area (m ²)	Area (ft ²)
Level 5		
Exclusion - Balcony	88 m ²	945 ft ²
Exclusion - Balcony	88 m ²	945 ft ²
Grand total	88 m²	945 ft²

Area Schedule (FSR) - Inclusions - Level 5

Name	Area (m ²)	Area (ft ²)
Level 5		
Inclusion - Exterior Common/Circulation	235 m ²	2,527 ft ²
Inclusion - Interior Lobby and Circulation	13 m ²	139 ft ²
Inclusion - Mech/Elec/Service	11 m ²	121 ft ²
Inclusion - Residential	1,999 m ²	14,729 ft ²
Level 5	1,628 m²	17,522 ft²
Grand total	1,628 m²	17,522 ft²

Revisions

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

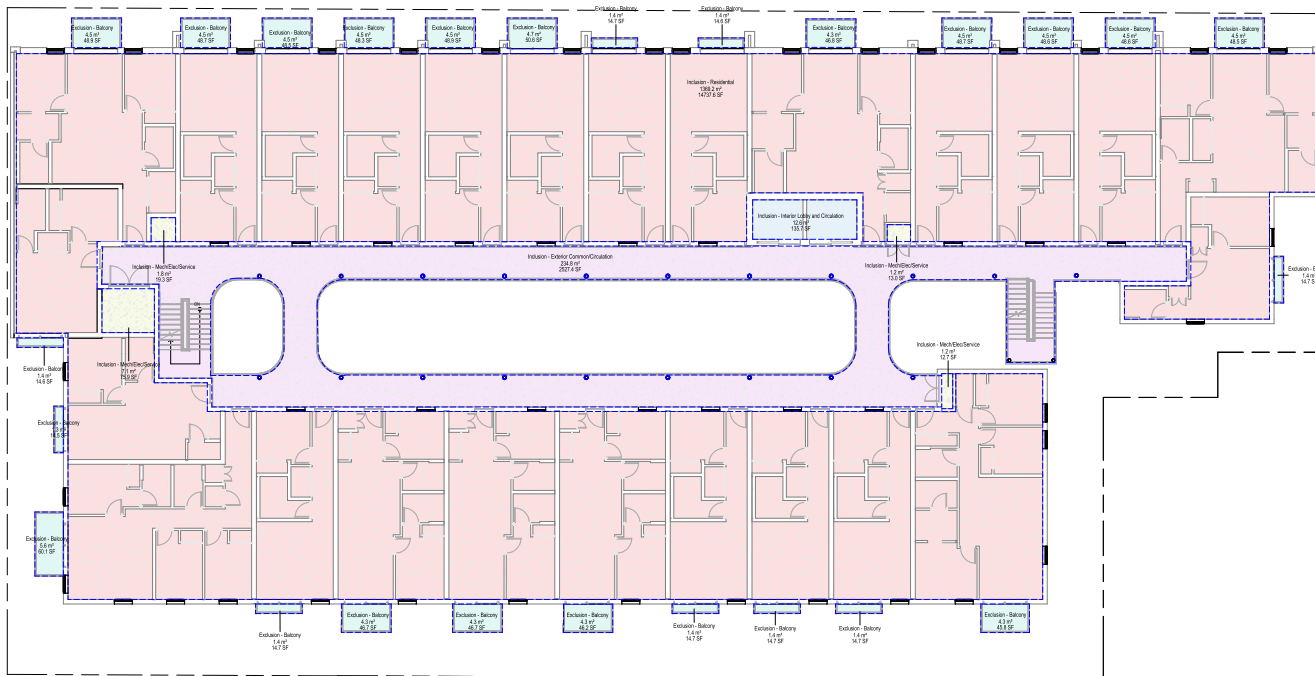
Key Plan

Project: 2022

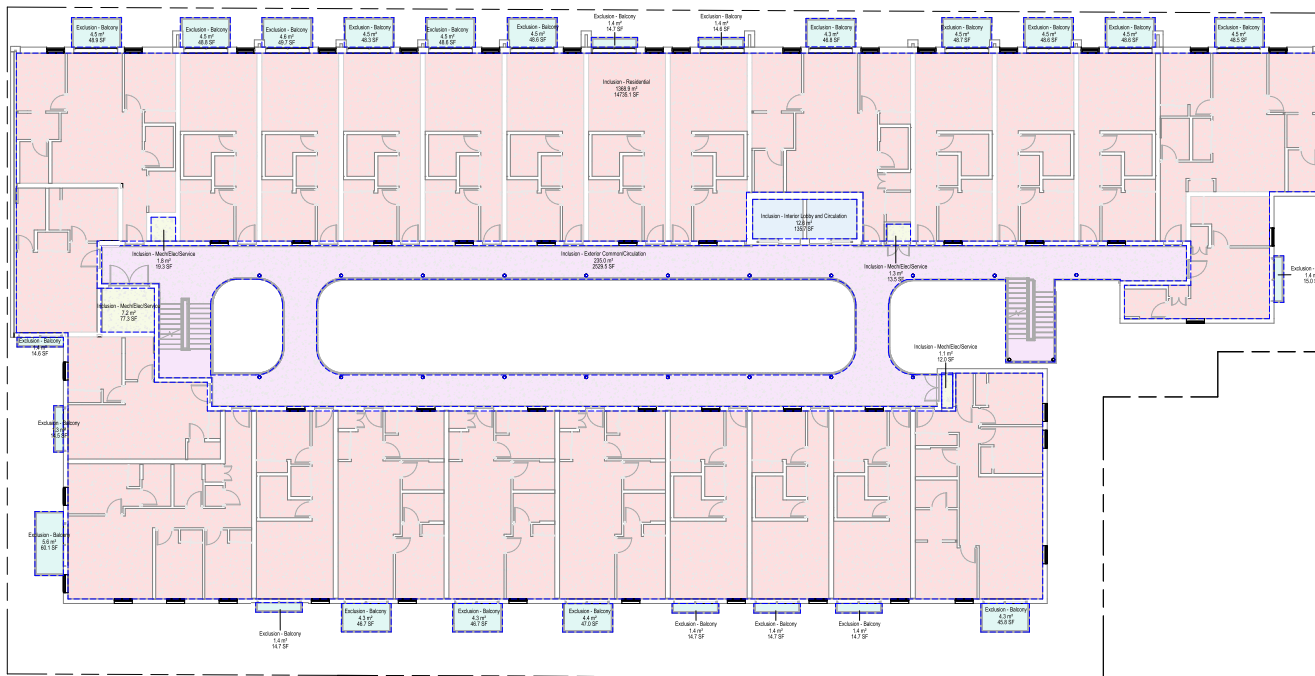
Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

FSR - Level 4 + 5

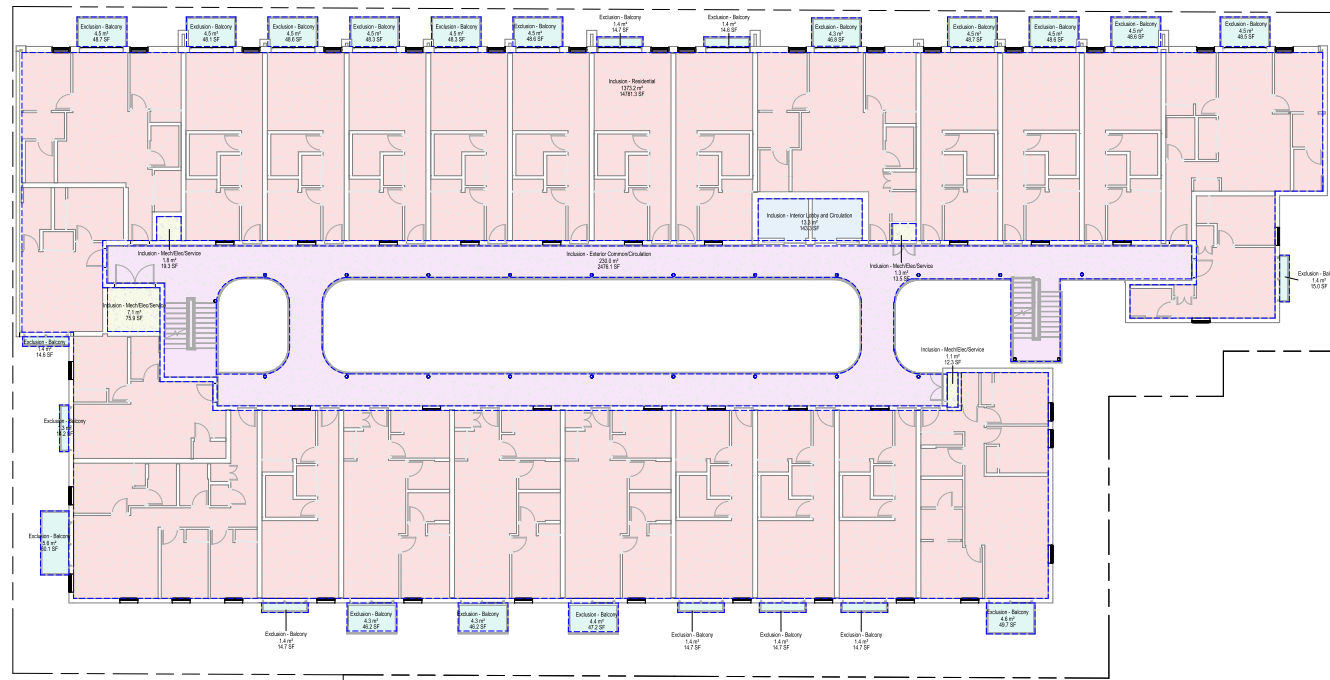
Date	Drawn By	Author
	Checked By	AT
	Scale	As Indicated
	Original Size	A3



1 | Level 4
 A053 | 1/8" = 1'-0"



2 | Level 5
 A053 | 1/8" = 1'-0"



1 | Level 6
A054 | 1/8" = 1'-0"

FSR LEGEND

- Exclusion - Open Balcony / Deck
- Inclusion - Exterior Common/Circulation
- Inclusion - Interior Lobby and Circulation
- Inclusion - Mech/Elec/Service
- Inclusion - Residential

Area Schedule (FSR) - Exclusions - Level 6

Name	Area (m ²)	Area (ft ²)
Level 6		
Exclusion - Balcony	88 m ²	945 ft ²
Grand Total	88 m²	945 ft²

Area Schedule (FSR) - Inclusions - Level 6

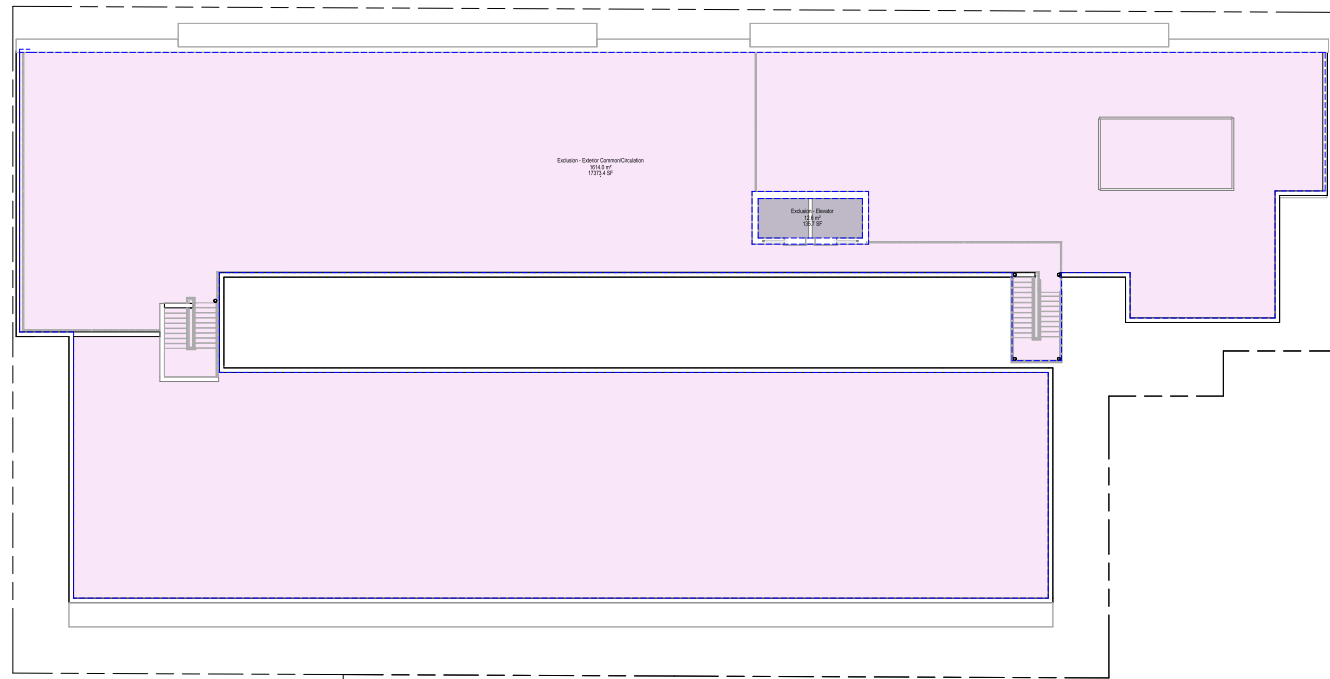
Name	Area (m ²)	Area (ft ²)
Level 6		
Inclusion - Exterior Common/Circulation	230 m ²	2,470 ft ²
Inclusion - Interior Lobby and Circulation	13 m ²	140 ft ²
Inclusion - Mech/Elec/Service	11 m ²	121 ft ²
Inclusion - Residential	1,373 m ²	14,739 ft ²
Level 6	1,627 m²	17,522 ft²
Grand Total	1,627 m²	17,522 ft²

City of Victoria FSR Inclusion and Exclusions

- The following inclusions are referenced under the City of Victoria Density Formers Guidelines and Zoning Bylaw 2174:
- 1. The site is zoned for the density bonus system.
 - 2. The area of any outdoor, vehicle, covered deck, patio or roof (i.e., outdoor amenity space) shall be included in the floor area.
 - 3. The area of rooftop circulation.
 - 4. The area used to provide for parking required by the bylaw.

PERMITTED EXCLUSIONS

1. The area of any residence in a basement.
2. The area of any outdoor, vehicle, covered deck, patio or roof (i.e., outdoor amenity space) shall be included in the floor area.
3. The area of rooftop circulation.
4. The area used to provide for parking required by the bylaw.



2 | Roof Level
A054 | 1/8" = 1'-0"

FSR LEGEND

- Exclusion - Exterior Common/Circulation
- Exclusion - Vertical Circulation

Area Schedule (FSR) - Exclusions - Roof

Name	Area (m ²)	Area (ft ²)
Roof Level		
Exclusion - Exterior Common/Circulation	1,614 m ²	17,353 ft ²
Exclusion - Vertical	12 m ²	130 ft ²
Grand Total	1,627 m²	17,589 ft²
Level 6	1,627 m²	17,589 ft²

Area Schedule (FSR) - Inclusions - Roof

Name	Area (m ²)	Area (ft ²)
Level 6		
Grand Total	1,627 m²	17,589 ft²

Revisions

No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

0202
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

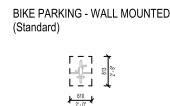
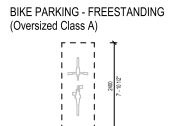
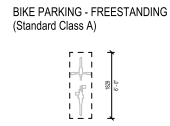
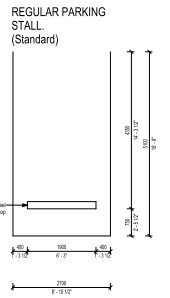
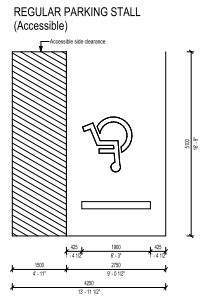
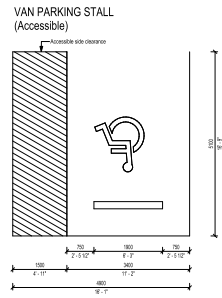
FSR - Level 6 + Roof

Date	Author
	AT
Checked by	AT
Scale	As indicated
Original Size	A3

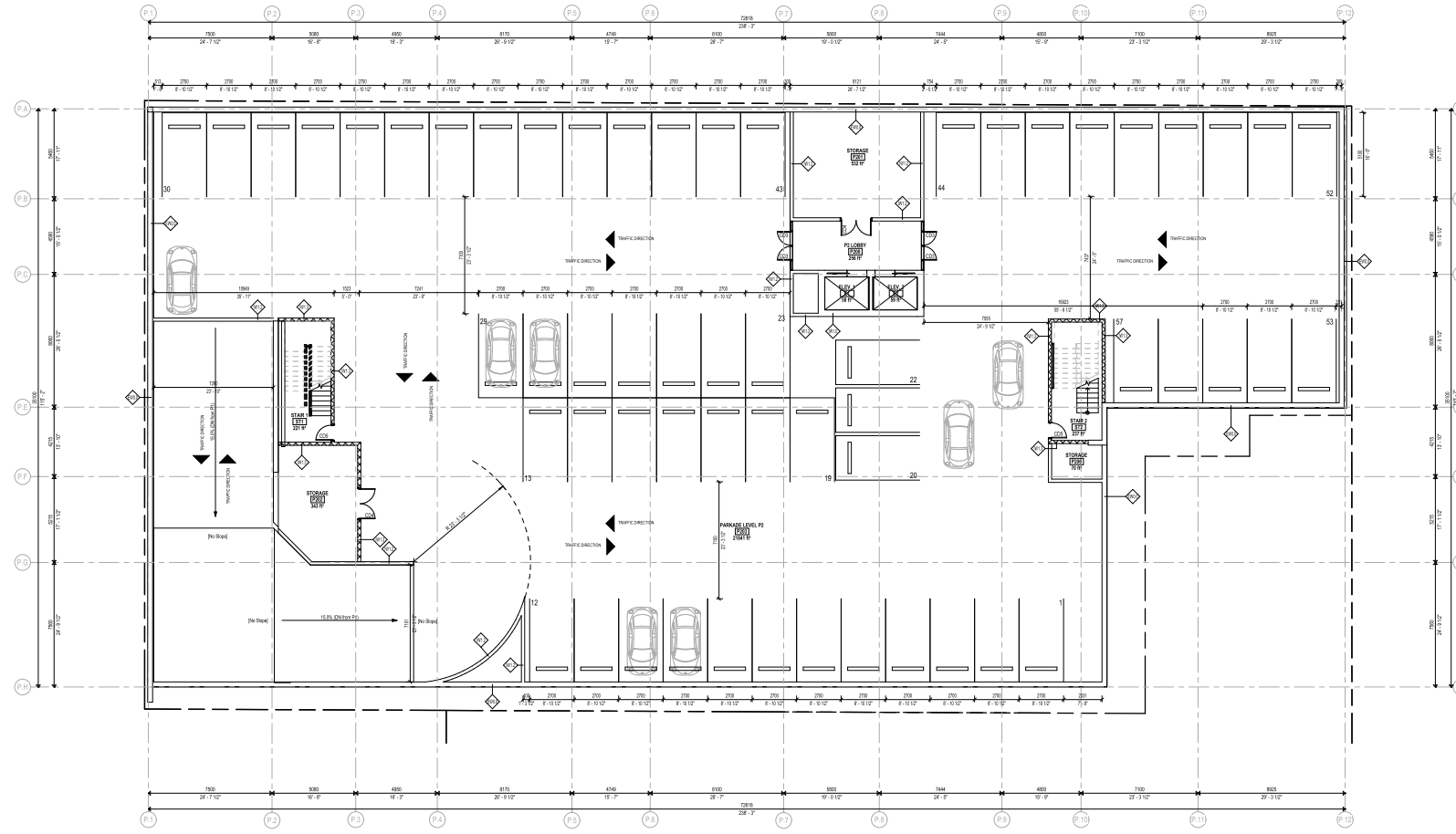


GENERAL NOTES - FLOOR PLANS

1. Read and compare all Drawings and Specifications. Notify the Architect of any discrepancies prior to commencing work.
2. Obey all codes, regulations, and standards.
3. Verify all dimensions, materials, and quantities and coordinate with fabricator and contractor. Report discrepancies to the Architect. Discrepancies are the responsibility of the contractor unless otherwise indicated.
4. Coordinate all work with Structural, Mechanical, Electrical, Civil and other disciplines. Report conflicts to the contractor.
5. Provide shop drawings, product data, and samples when specified. Do not proceed with fabrication until such time as the architect issues written approval.
6. Install all materials and assemblies in accordance with manufacturer's written instructions and recommendations.
7. Provide shop drawings, drawings, quantities, and measurements in ready to fabricate format. Materials, equipment, and components.
8. Maintain continuity of the installation including walls, floors, ceilings, and penetrations. Seal penetrations through walls, floors, and ceilings with approved fire stopping systems.
9. Fire stoppings shall extend the height to the underside of structure or to the next assembly above unless noted otherwise.
10. As noted, seal cracks and seal penetrations in the structure.
11. Building Code 2018 and all applicable standards must be followed. Accessibility includes clear clearance, ramps, stairs, and vestibules shall comply with accessibility requirements of BCOC Section 10. Accessible routes shall be provided.
12. All exterior and interior lighting fixtures, fans, and wiring shall conform to BCOC requirements.
13. Hardware and accessories shall conform to BCOC requirements and be securely fastened to structure.
14. Maintain continuity of the air barrier, vapor barrier, and weather barrier at all penetrations, transitions, and junctions. Seal and fasten all penetrations through the building envelope to maintain weather tightness.
15. Provide flashing at all openings, penetrations, and transitions in accordance with manufacturer's instructions and specifications.
16. Slope of exterior roofs to drains at a minimum of 2% unless noted otherwise.
17. Provide maintenance free floor drainage systems unless otherwise noted.
18. Repairs and replacements shall be done in accordance with the manufacturer's instructions and specifications.
19. Markings shall comply with the applicable building code and in accordance with applicable regulations.



Typical Parking Stall Legend
1/4" = 1'-0"



No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

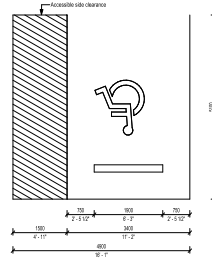
Key Plan

Project: 2025

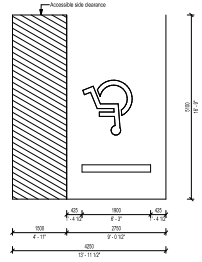
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Level P2 Plan	
Date:	1/25
Drawn by:	ME
Checked by:	AT
Scale:	As indicated
Original Size:	A3

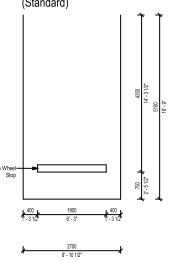
VAN PARKING STALL (Accessible)



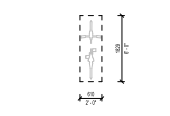
REGULAR PARKING STALL (Accessible)



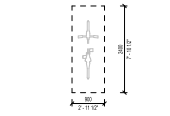
REGULAR PARKING STALL (Standard)



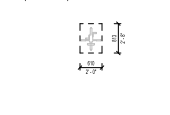
BIKE PARKING - FREESTANDING (Standard Class A)



BIKE PARKING - FREESTANDING (Oversized Class A)



BIKE PARKING - WALL MOUNTED (Standard)



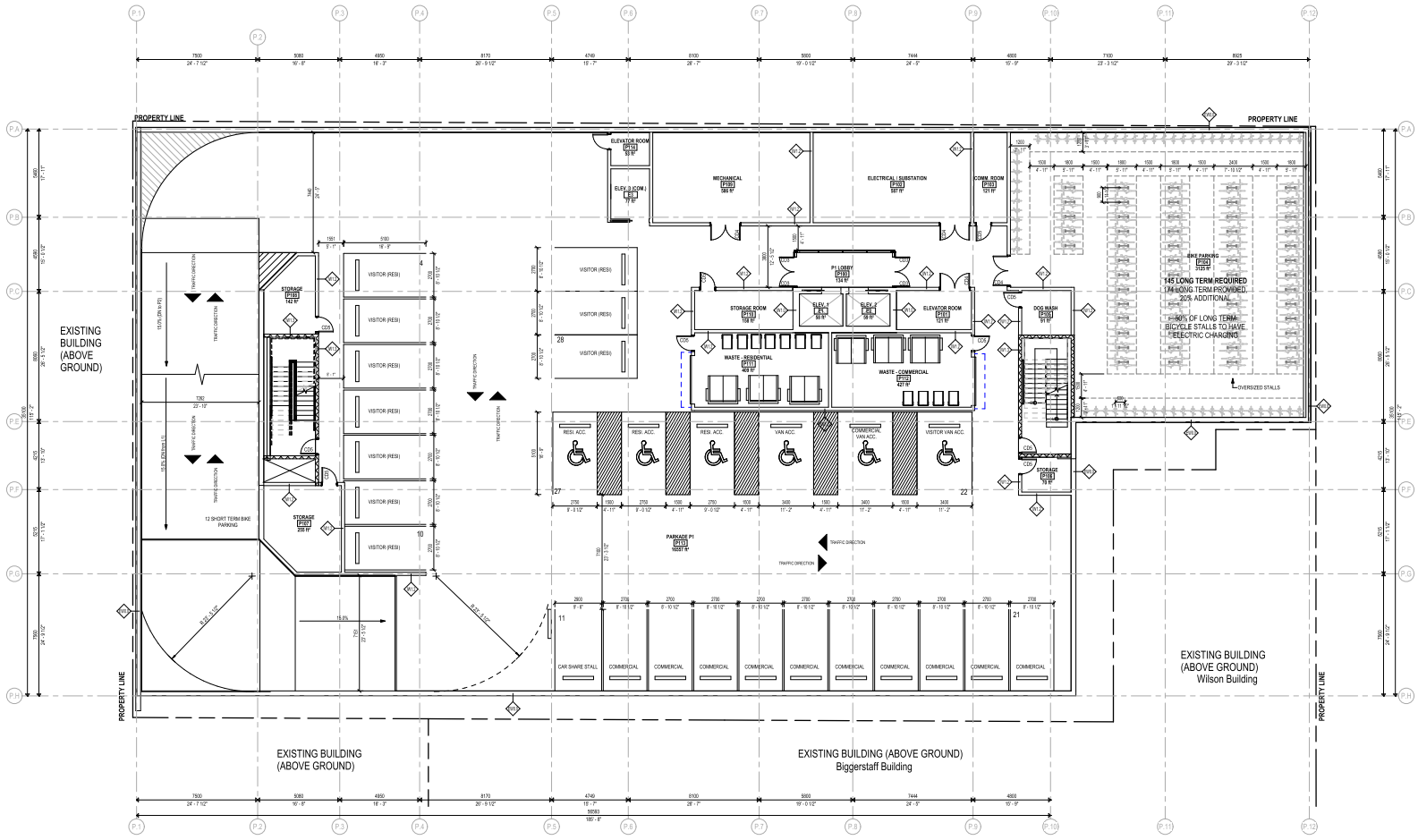
Typical Parking Stall Legend
1/4" = 1'-0"

GENERAL NOTES - FLOOR PLANS

1. Read and compare all Drawings and Specifications. Notify the Architect if any discrepancies exist in a written memorandum.
2. Do not scale drawings. Use the figure dimensions only.
3. Verify all dimensions, materials, and quality and quantities prior to fabrication and construction. Report discrepancies to the Architect. Discrepancies are the responsibility of the contractor.
4. Coordinate all work with Structural, Mechanical, Electrical, Civil and Landscape drawings. Report conflicts to the Contractor.
5. Provide all drawings, including notes, and materials when specified. Do not proceed with fabrication until all drawings are reviewed and approved.
6. Install all materials and assemblies in accordance with manufacturer's written instructions and specifications.
7. Provide all specifications, drawings, and information in order for materials to be fabricated, installed, and maintained.
8. Maintain continuity of the installation assemblies including walls, floors, ceilings, and penetrations. Seal penetrations through rigid materials with approved fire stopping systems.
9. Fire stopping shall extend the height to the underside of structure or to the next assembly above unless noted otherwise.
10. All work shall comply with the requirements of the British Columbia Building Code (BCBC) and applicable standards and practices.
11. Accessibility shall comply with the requirements of the BCBC Section 3.8 unless otherwise noted.
12. All entrance and egress including stairs, floors, and ramps shall conform to BCBC requirements.
13. Identify and protect steel members to BCBC requirements and be removed if necessary.
14. Maintain continuity of the barrier, support, barrier, and weather barrier system of all frames, materials, and penetrations. Seal and fasten all penetrations through the building envelope to maintain weather tightness.
15. Provide fire rating of openings, penetrations, and transitions in accordance with manufacturer's specifications.
16. Slope of exterior roofs to drains at a minimum of 2% unless noted otherwise.
17. Fabrication materials shall have a minimum 20-year warranty. Report or replace damaged materials to the satisfaction of the Architect.
18. Material shall comply with the applicable construction code in accordance with applicable regulations.



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www.shapearchitecture.com email: info@shapearchitecture.com



1 | Floor Plan - Level P1
A201 1/8" = 1'-0"

Revisions	
No.	Description
1	Issued for Development Permit and Planning
2	Issued for Development Permit and Planning

Key Plan

Project: 202
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Level P1 Plan	
Date:	1/27/2024
Drawn by:	ME
Checked by:	AT
Scale:	As indicated
Original Size:	A3

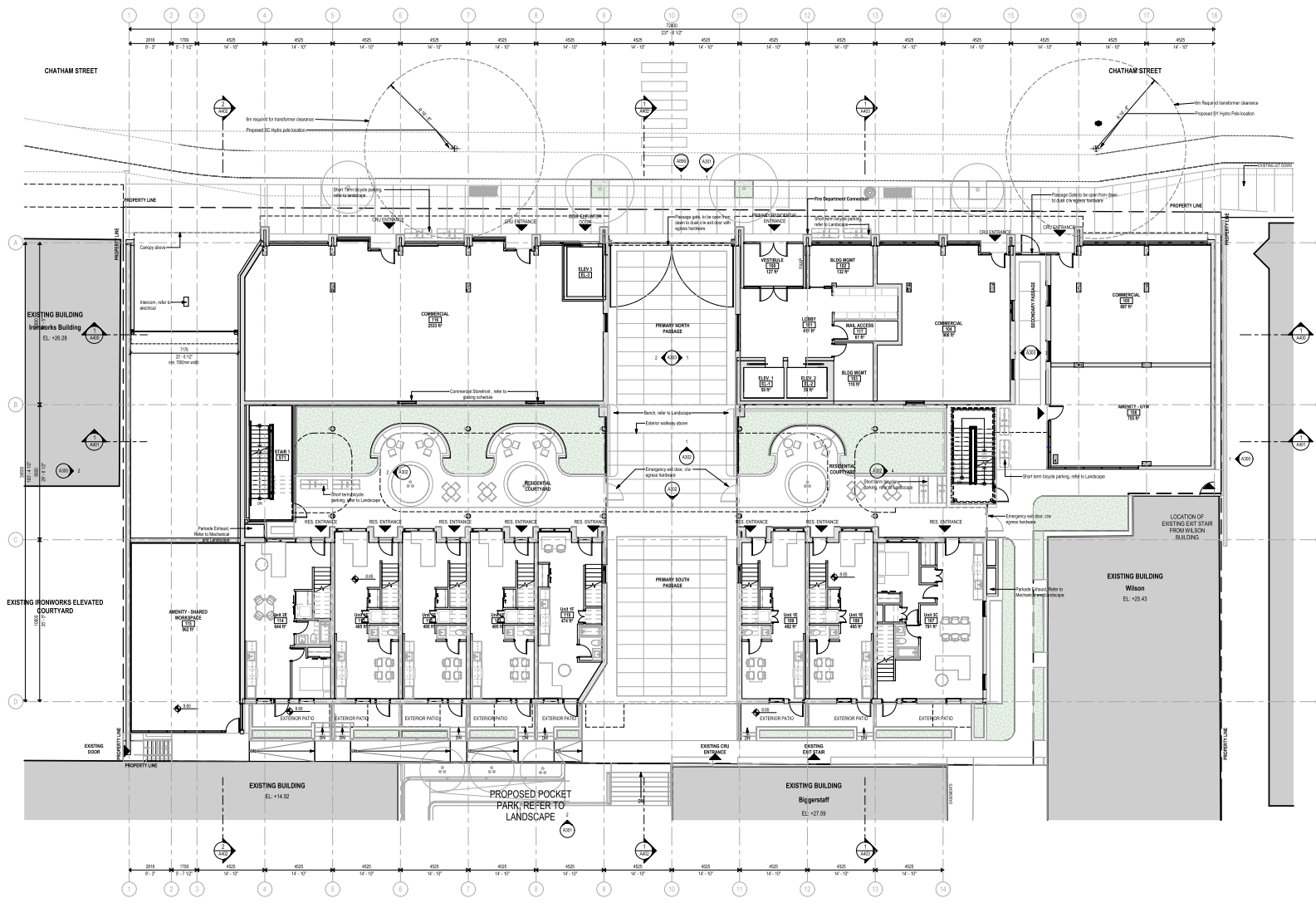


GENERAL NOTES - FLOOR PLANS

1. Read and compare all Drawings and Specifications. Notify the Architect of any discrepancies prior to commencing work.
2. Do not scale drawings. Use the given dimensions only.
3. Verify all dimensions, elevations, and existing conditions on site before fabrication and construction. Report discrepancies to the Architect. Discrepancies are the Owner's risk and are not to be construed as a change in the contract.
4. Coordinate all work with the Architect, Engineer, Electrical, Civil, and Landscape Architect. Report conflicts to the Architect.
5. Provide shop drawings, product data, and samples when specified. Do not proceed with fabrication until work is complete and approved.
6. Install all materials and assemblies in accordance with manufacturer's written instructions and specifications.
7. Provide all necessary permits, approvals, and certifications in accordance with applicable codes, standards, regulations, and specifications. Obtain all necessary permits, approvals, and certifications in accordance with applicable codes, standards, regulations, and specifications. Obtain all necessary permits, approvals, and certifications in accordance with applicable codes, standards, regulations, and specifications.
8. Provide fire-rated doors and windows in accordance with applicable codes, standards, regulations, and specifications. Obtain all necessary permits, approvals, and certifications in accordance with applicable codes, standards, regulations, and specifications.
9. Provide fire-rated doors and windows in accordance with applicable codes, standards, regulations, and specifications. Obtain all necessary permits, approvals, and certifications in accordance with applicable codes, standards, regulations, and specifications.
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18. Provide fire-rated doors and windows in accordance with applicable codes, standards, regulations, and specifications. Obtain all necessary permits, approvals, and certifications in accordance with applicable codes, standards, regulations, and specifications.

4600 West 7th Avenue
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1 | Floor Plan - Level 1
A202 | 1/8" = 1'-0"

Revisions		Date
1	Issued for Development Permit and Planning	2025-05-04
2	Issued for Development Permit and Planning	2025-05-04

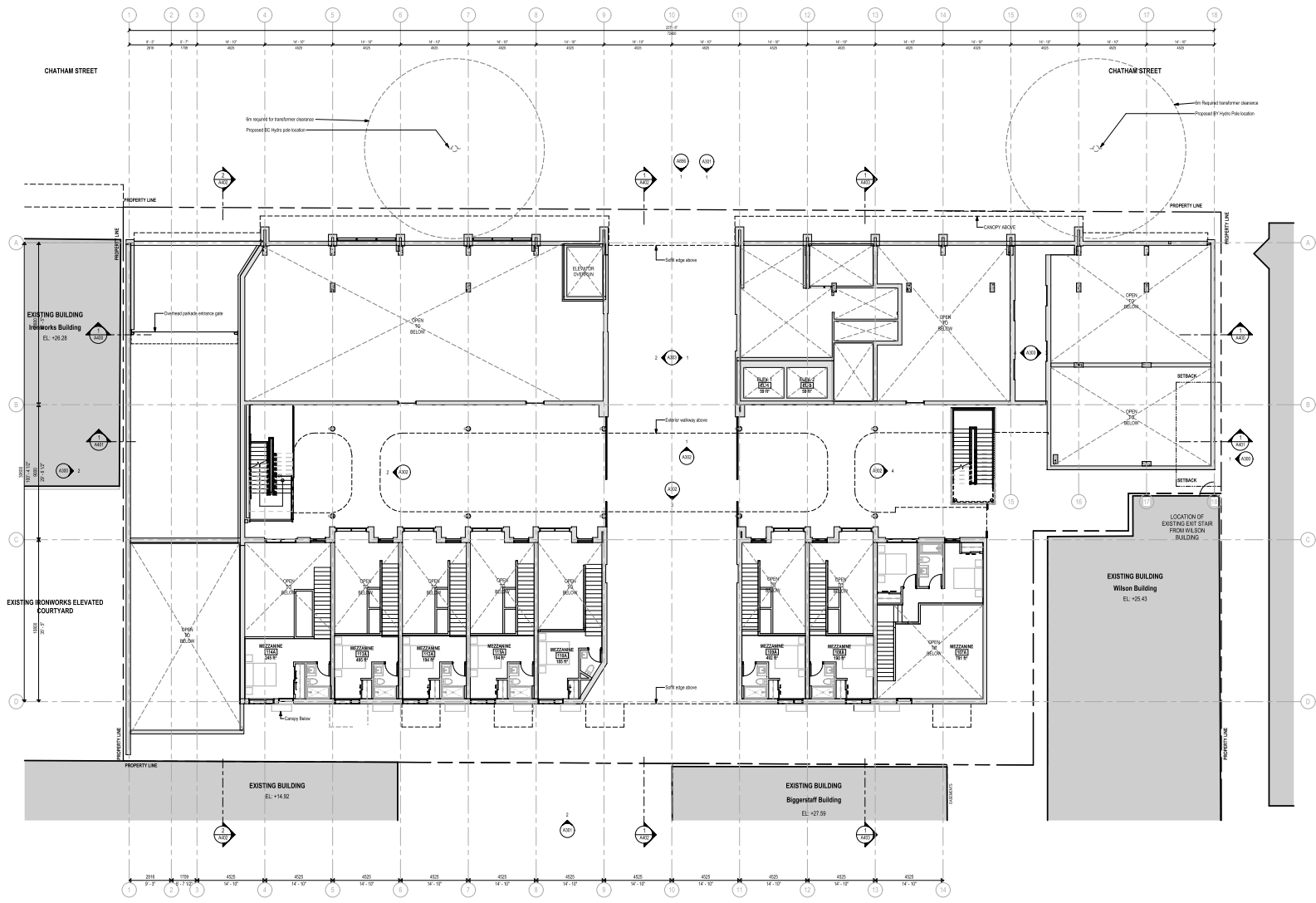
Key Plan

Project: 2025
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Level 1 Plan	
Date:	1/25
Drawn by:	AT
Checked by:	AT
Scale:	As indicated
Original Size:	A3

GENERAL NOTES - FLOOR PLANS

1. Read and compare all Drawings and Specifications. Notify the Architect if any discrepancies exist in a written memorandum.
2. Do not scale drawings. Use the figure dimensions only.
3. Verify all dimensions, quantities, and materials and quantities shown in fabrication and contracts. Report discrepancies to the Architect. Discrepancies are the Contractor's responsibility unless otherwise specified.
4. Coordinate all work with the Architect. Do not proceed with construction until the Architect has approved the construction program in writing.
5. Coordinate all work with the Architect. Do not proceed with construction until the Architect has approved the construction program in writing.
6. Coordinate all work with the Architect. Do not proceed with construction until the Architect has approved the construction program in writing.
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15. Coordinate all work with the Architect. Do not proceed with construction until the Architect has approved the construction program in writing.
16. Coordinate all work with the Architect. Do not proceed with construction until the Architect has approved the construction program in writing.
17. Coordinate all work with the Architect. Do not proceed with construction until the Architect has approved the construction program in writing.
18. Coordinate all work with the Architect. Do not proceed with construction until the Architect has approved the construction program in writing.



No.	Description	Date
1	Issued for Development Permit and Planning	2025-05-04

Key Plan

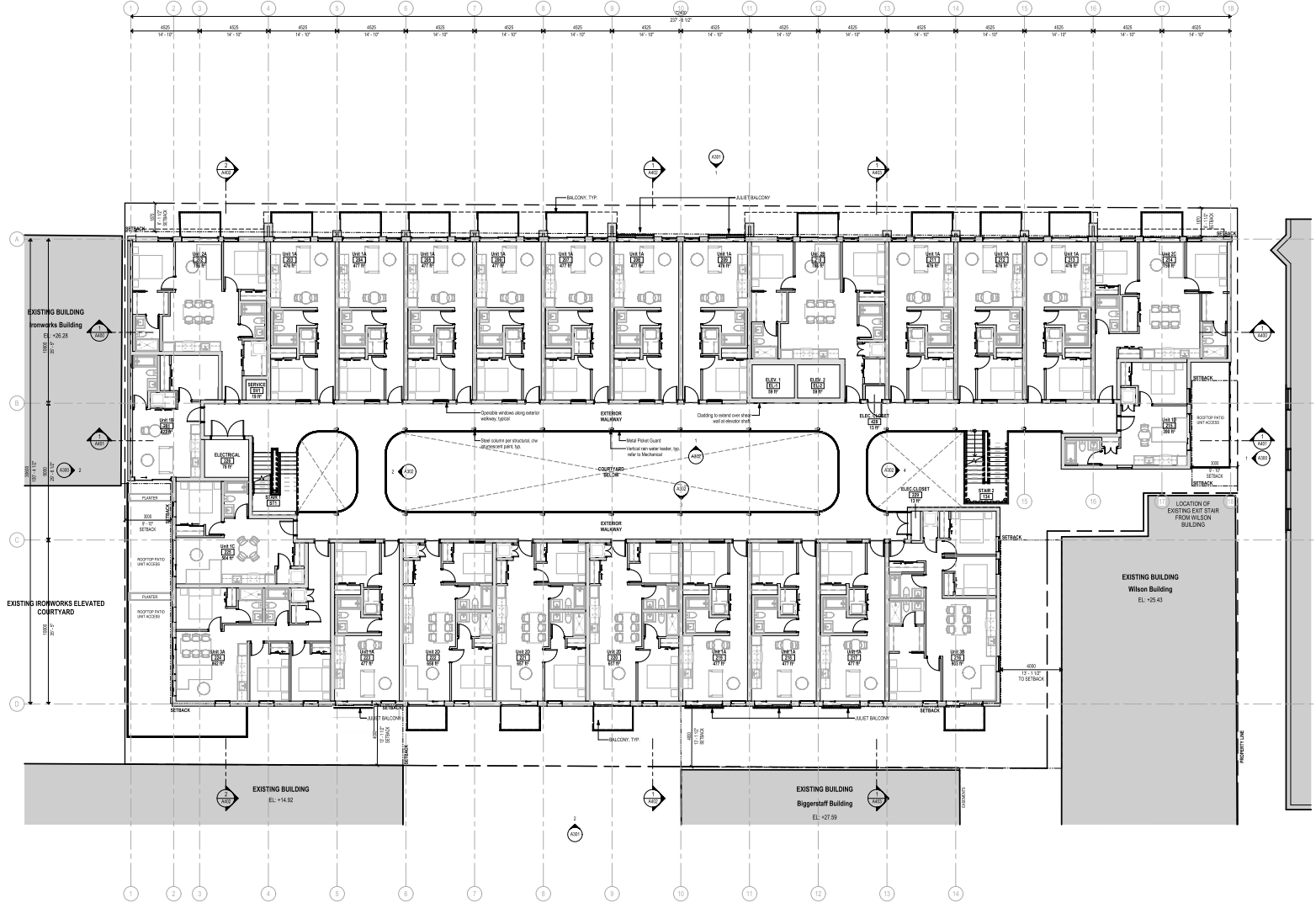
Project: 2102
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Level 1.5 Mezzanine Plan	
Date:	ME
Drawn by:	AT
Checked by:	AS
Scale:	As indicated
Original Size:	A3

1 | Floor Plan - Level 1.5 (Mezzanine Plan)
A203 | 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

1. Read and compare all Drawings and Specifications. Notify the Architect of any discrepancies prior to commencement of work.
2. Do not scale drawings. Use figure dimensions only.
3. Verify all dimensions, quantities, and materials and compare notes to fabricator and contractor. Report discrepancies to the Architect. Dimensions are given in metric but are not intended as a precise measure of structure unless noted otherwise.
4. Coordinate all work with Structural, Mechanical, Electrical, Civil, and Landscape drawings. Refer conditions to the contractor.
5. Provide shop drawings, product data, and samples when specified. Do not proceed with fabrication until work is complete unless required.
6. Install all materials and assemblies in accordance with manufacturer's written instructions and specifications.
7. Provide shop drawings, drawings, and information in ready for construction format. Drawings, quantities, and materials.
8. Maintain continuity of the installation and assemblies including walls, floor, ceiling, and penetrations. Seal penetrations through solid materials with approved fire stopping systems.
9. Fire stopping shall extend the height to the structure or structure of the steel assembly unless noted otherwise.
10. All work shall comply with the requirements of the British Columbia Building Code 2018 and all applicable standards and provisions.
11. Assembly shall include, but not be limited to, steel, steel, and stainless steel work with applicable requirements of SCS Section 05 unless otherwise noted.
12. All frames and cases including frames, doors, and windows shall conform to BCSB requirements.
13. Hardware and accessories shall conform to BCSB requirements and be installed in accordance with the manufacturer's instructions.
14. Maintain continuity of the barrier, support barrier, and weather barrier system of all window, door, and penetration.
15. Seal and bar all penetrations through the building envelope to include window openings.
16. Provide flashing of all openings, penetrations, and transitions in accordance with manufacturer's instructions and specifications.
17. Show the slope ratio to drain at a minimum of 2% unless noted otherwise.
18. Fabrication materials shall have a design safety factor on the higher or higher design value as the subject of the fabricator.
19. Material shall comply with the applicable construction requirements in accordance with applicable regulations.



No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 2025
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Level 2 Plan	
Date:	05/04
Drawn By:	AS
Checked By:	AS
Scale:	As indicated
Original Size:	A3

1 | Floor Plan - Level 2 Plan
A204 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

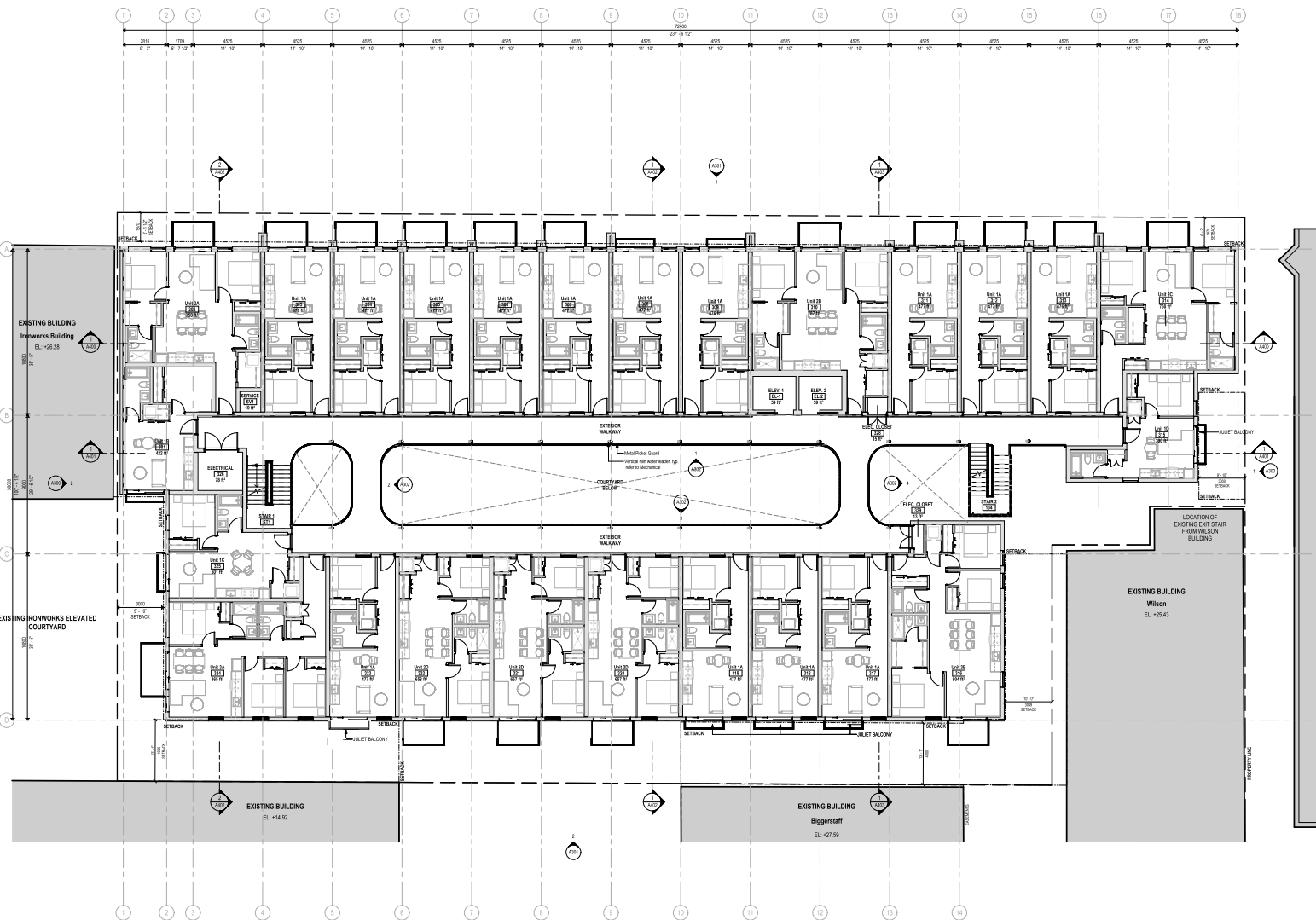
1. Read and compare all Drawings and Specifications. Notify the Architect if any discrepancies exist in a written memorandum.
2. Do not scale drawings. Use the Architect's dimensions only.
3. Verify all dimensions, elevations, and existing conditions on-site before fabrication and construction. Report discrepancies to the Architect. Discrepancies are the Contractor's responsibility unless a note otherwise is contained in the drawings.
4. Coordinate all work with the Architect, Structural, Mechanical, Electrical, Civil and Landscape Engineers. Refer all questions to the Architect.
5. Provide shop drawings, material samples and samples when specified. Do not proceed with fabrication until work is approved in writing.
6. Install all materials and assemblies in accordance with manufacturer's written instructions and specifications.
7. Provide shop drawings, drawings, quantities, and measurements in writing for all materials, fixtures, finishes, equipment, and accessories.
8. Maintain continuity of the installation and assemblies including walls, floor, ceiling, and penetrations. Seal penetrations through walls and floors with approved fire stopping systems.
9. The appearance and finish of the work shall be the responsibility of the Contractor to the extent specified in the contract documents.
10. All work shall comply with the requirements of the British Columbia Building Code (BCBC) and all applicable standards and specifications.
11. Building Code 2006 and all applicable standards and specifications shall apply to all construction including, but not limited to, fire, and seismic and energy efficiency requirements of BCBC Section 3.2 unless otherwise specified.
12. All energy and energy efficiency measures, fans, and wiring shall conform to BCBC requirements.
13. Maintain and protect existing conditions to BCBC requirements and be responsible for their protection.
14. Maintain continuity of the structure, support, and weather barrier of all exterior walls, windows, and penetrations. Seal and finish all penetrations through the building envelope to match existing conditions.
15. Provide finishing of all openings, penetrations, and transitions in accordance with architectural details and specifications.
16. Show the proper slope to drains at a minimum of 2% unless noted otherwise.
17. Provide manufacturer name for all energy efficiency measures. Report or replace damaged materials to the satisfaction of the Architect.
18. Maintain all records and site logs throughout construction in accordance with applicable regulations.

SHAPE
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www.shapearchitecture.com



INTRACORP
Building the Extraordinary



No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 2025
Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

Level 3-6 Plan	
Date:	04/25
Drawn By:	AK
Checked By:	AK
Scale:	As indicated
Original Size:	A3

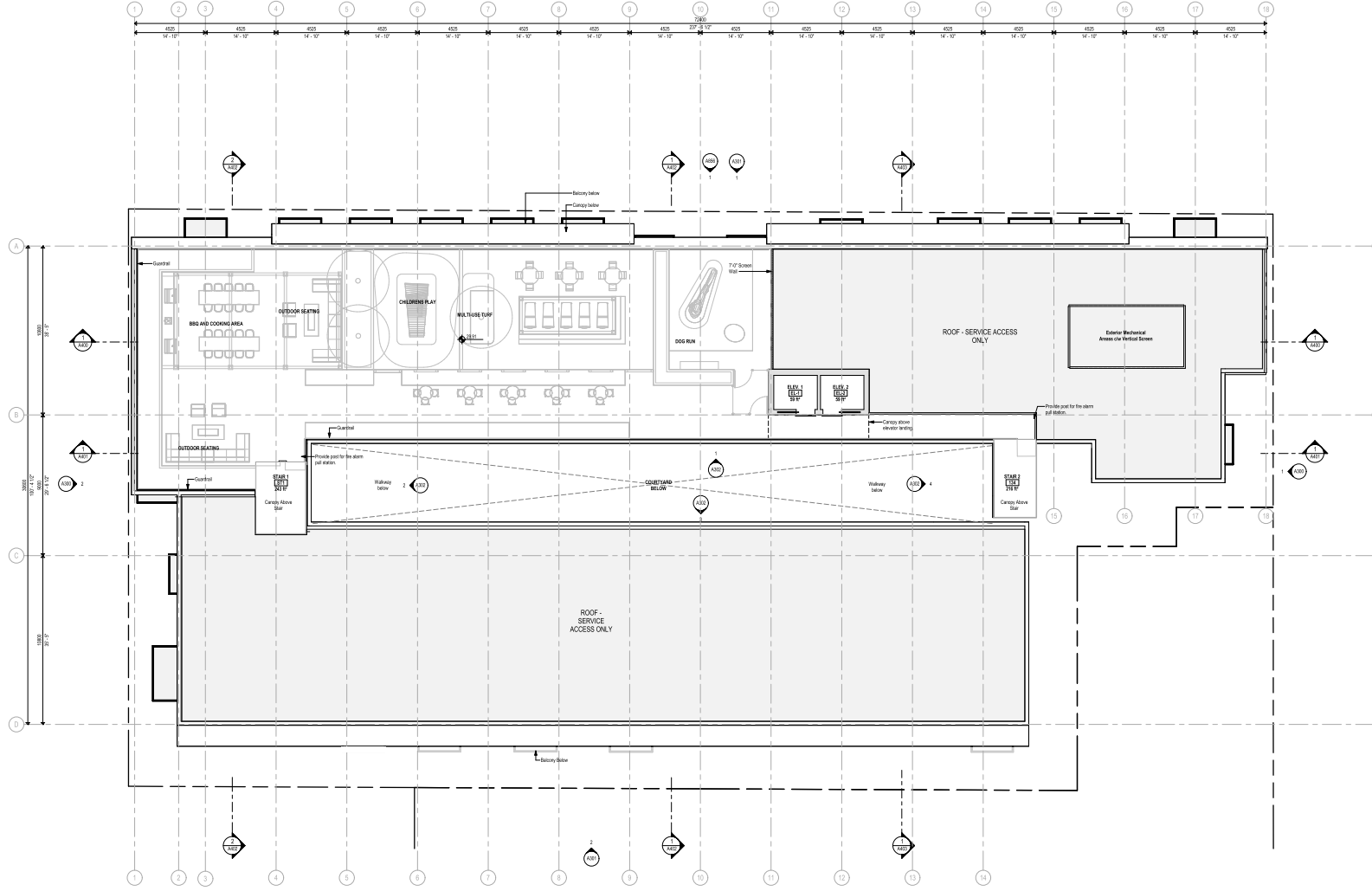


1 | Floor Plan - Level 3-6 Actual
A205 1/8" = 1'-0"



GENERAL NOTES - FLOOR PLANS

1. Read and compare all Drawings and Specifications. Notify the Architect of any discrepancies prior to commencing work.
2. Do not scale drawings. Use the dimensions only.
3. Verify all dimensions, quantities, and existing and proposed work to Manufacturer and contractor. Report discrepancies to the Architect. Discrepancies are the Owner's risk unless noted otherwise.
4. Coordinate all work with Structural, Mechanical, Electrical, Civil and Landscape drawings. Report conflicts to the Contractor.
5. Provide shop drawings, product data, and samples when specified. Do not proceed with fabrication until work is complete unless required.
6. Install all materials and assemblies in accordance with manufacturer's written instructions and specifications.
7. Provide shop drawings, drawings, quantities, and information in ready for installation format. Drawings, quantities, and information.
8. Maintain continuity of the installation and assemblies including walls, floor, ceiling, and penetrations. Seal penetrations through rigid materials with approved fire stopping systems.
9. Fire stopping shall extend the height to the underside of structure or to the rated assembly unless noted otherwise.
10. Airtight, fire, smoke and sound transmission limiting products.
11. Rating Class 200 and fire resistance assemblies meeting production. Available in walls, door closures, vents, stairs, and penetrations shall comply with applicable requirements of B.C. Section 3.5 unless otherwise specified.
12. All penetrations and details including stairs, floors, and ceilings shall conform to B.C. requirements.
13. Headers and girders shall conform to B.C. requirements and be adequately braced to prevent lateral displacement.
14. Maintain continuity of the barrier, support barrier, and weather barrier systems of all window, door frame, and penetrations. Seal and fasten all penetrations through the building envelope to include weather stripping.
15. Provide flashing of all openings, penetrations, and transitions in accordance with manufacturer's instructions and specifications.
16. Show fire stop details to comply with a minimum of 2% unless noted otherwise.
17. Provide manufacturer's name for every energy control device. Report or replace energy control device to the satisfaction of the Architect. Marked with asterisks and the word "throughout" construction in accordance with applicable regulations.



No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project: 2025

Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Roof Level Plan	
Date:	
Drawn By:	ME
Checked By:	AT
Scale:	As indicated
Original Size:	A3



MATERIAL

- 01 Glazing
- 02 Sliding Glass Door
- 03 Red Brick
- 04 Grey Brick
- 05 Metal - Vertical Picket Guards
- 06 Cementitious Panel - Light
- 07 Cementitious Panel - Dark
- 08 Metal Facade Panel
- 09 Metal Vertical Picket Screen
- 10 Fibre Cement Board Soffit
- 11 Concrete Masonry Units
- 12 Balcony Privacy Screen
- 13 Concrete Wall
- 14 Roof Canopy
- 15 Metal Soffit

*Applicant to explore enhanced materiality in cementitious panel through course of development permit process



1 Overall East Elevation
 A300 1/8" = 1'-0"



2 Overall West Elevation
 A300 1/8" = 1'-0"

Revisions

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project

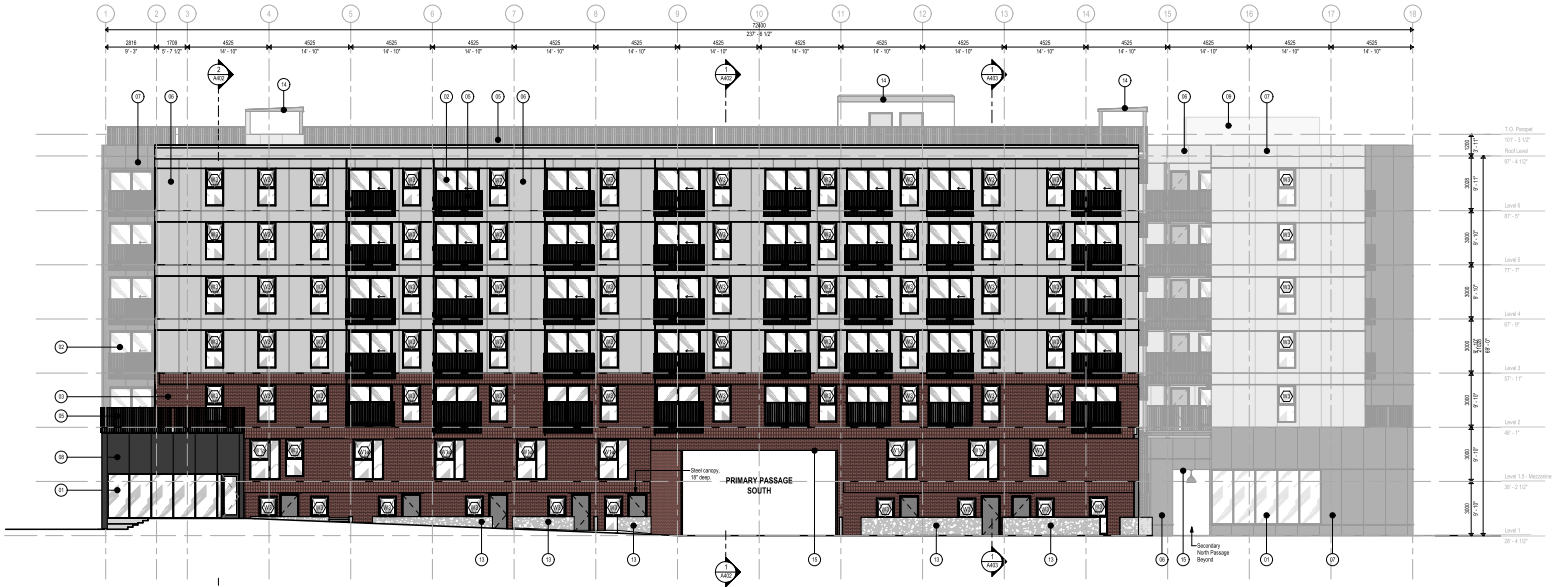
0202
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Building Elevations - East and West

Date	
Drawn By	ME
Checked By	AT
Scale	As indicated
Original Size	A3



1 | Overall North Elevation
 A301 | 1/8" = 1'-0"



2 | Overall South Elevation
 A301 | 1/8" = 1'-0"

MATERIAL

- 01 Glazing
- 02 Sliding Glass Door
- 03 Red Brick
- 04 Grey Brick
- 05 Metal - Vertical Pocket Guards
- 06 Cementitious Panel - Light
- 07 Cementitious Panel - Dark
- 08 Metal Facade Panel
- 09 Metal Vertical Pocket Screen
- 10 Fibre Cement Board Soffit
- 11 Concrete Masonry Units
- 12 Balcony Privacy Screen
- 13 Concrete Wall
- 14 Roof Canopy
- 15 Metal Soffit

*Applicant to explore enhanced materiality to cementitious panel through course of development permit process

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project: 2025
 Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

Building Elevations - North and South

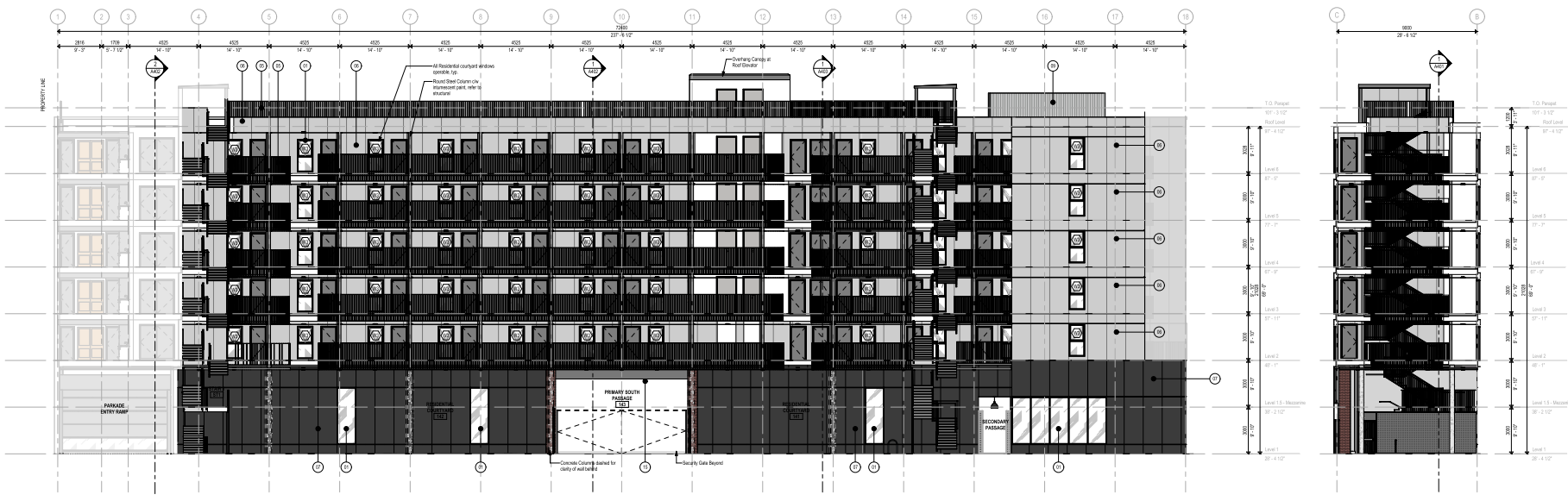
Date:	05
Drawn By:	AT
Checked By:	AT
Scale:	As indicated
Original Size:	A3



MATERIAL

- 01 Glazing
- 02 Sliding Glass Door
- 03 Red Brick
- 04 Grey Brick
- 05 Metal - Vertical Picket Guards
- 06 Cementitious Panel - Light
- 07 Cementitious Panel - Dark
- 08 Metal Facade Panel
- 09 Metal Vertical Picket Screen
- 10 Fibre Cement Board Soffit
- 11 Concrete Masonry Units
- 12 Balcony Privacy Screen
- 13 Concrete Wall
- 14 Roof Canopy
- 15 Metal Soffit

*Applicant to explore enhanced materiality in cementitious panel through course of development permit process



1 | Elevation - Courtyard Looking North
 A302 | 1/8" = 1'-0"

2 | Elevation - West Courtyard
 A302 | 1/8" = 1'-0"



3 | Elevation - Courtyard Looking South
 A302 | 1/8" = 1'-0"

4 | Elevation - East Courtyard
 A302 | 1/8" = 1'-0"

Revisions

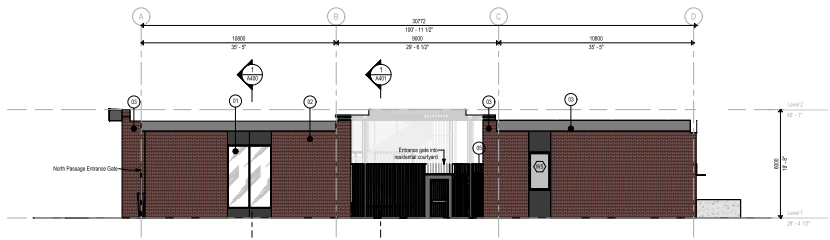
No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

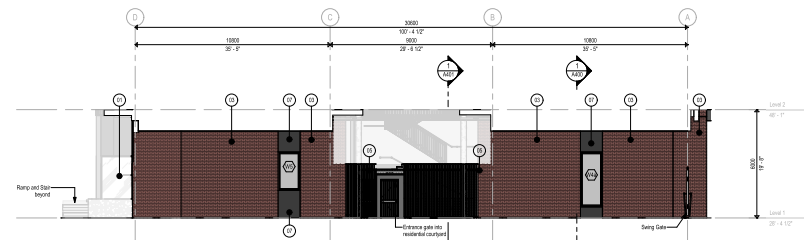
Project
 082
Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

Building Elevations - Courtyard

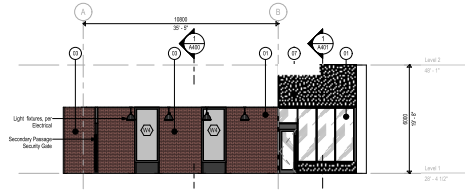
Date	Drawn By	Checked By	Scale	Original Size
	ME	AT	As indicated	A3



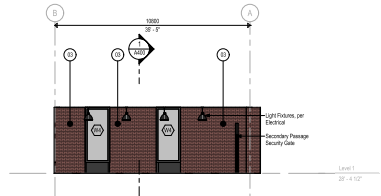
1 | Elevation - Exterior Passage - East Elevation
 A303 | 1/8" = 1'-0"



2 | Elevation - Exterior Passage - West Elevation
 A303 | 1/8" = 1'-0"



3 | Elevation - Secondary Passage East
 A303 | 1/8" = 1'-0"



4 | Elevation - Secondary Passage West
 A303 | 1/8" = 1'-0"

MATERIAL

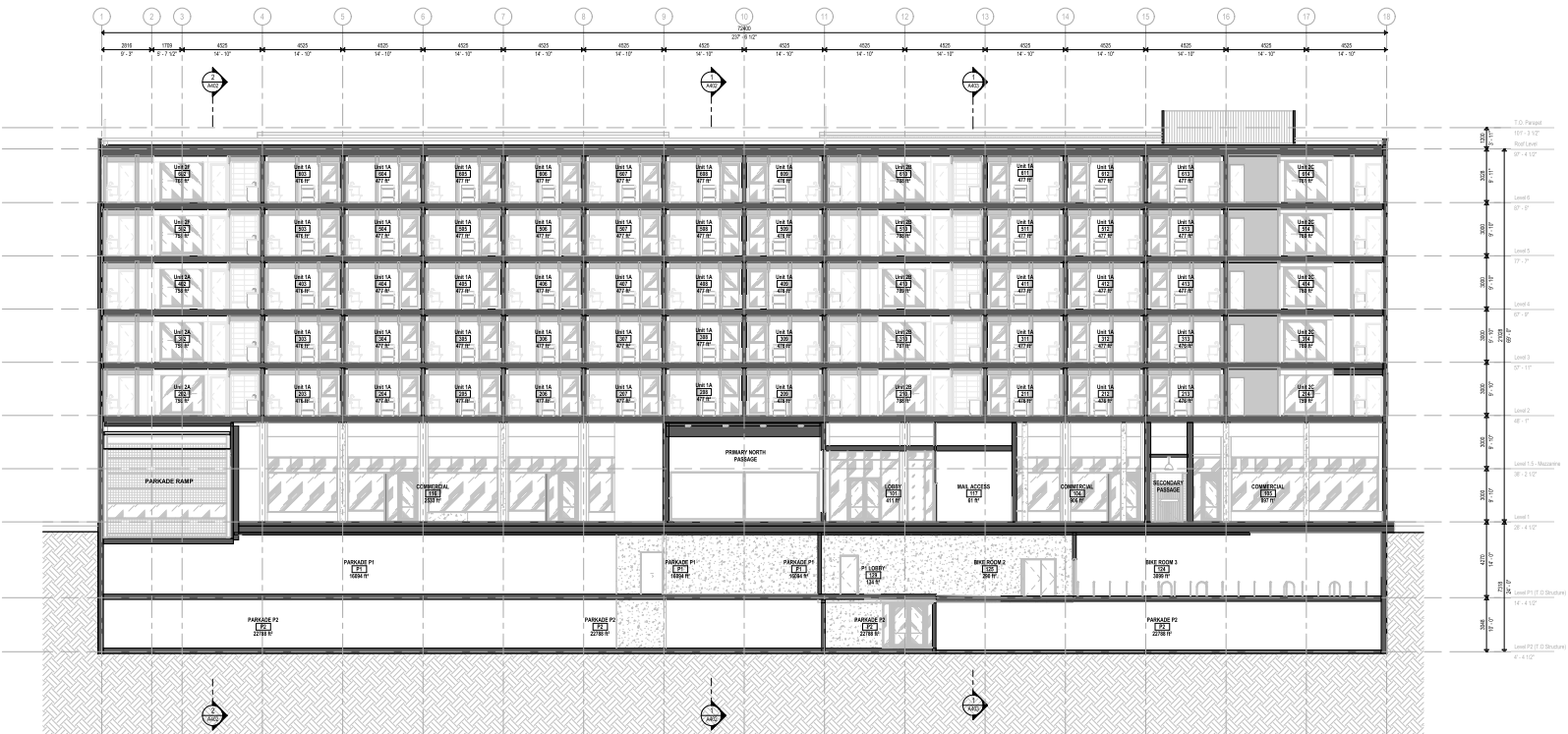
- 01 Glazing
- 02 Sliding Glass Door
- 03 Red Brick
- 04 Grey Brick
- 05 Metal - Vertical Picket Guards
- 06 Cementitious Panel - Light
- 07 Cementitious Panel - Dark
- 08 Metal Fascia Panel
- 09 Metal Vertical Picket Screen
- 10 Fibre Cement Board Soffit
- 11 Concrete Masonry Units
- 12 Balcony Privacy Screen
- 13 Concrete Wall
- 14 Roof Canopy
- 15 Metal Soffit

*Applicant to explore enhanced materiality to cementitious panel through course of development permit process

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Project: 2102
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Building Elevations - Passages	
Date:	
Drawn By:	ME
Checked By:	AT
Scale:	As indicated
Original Size:	A3



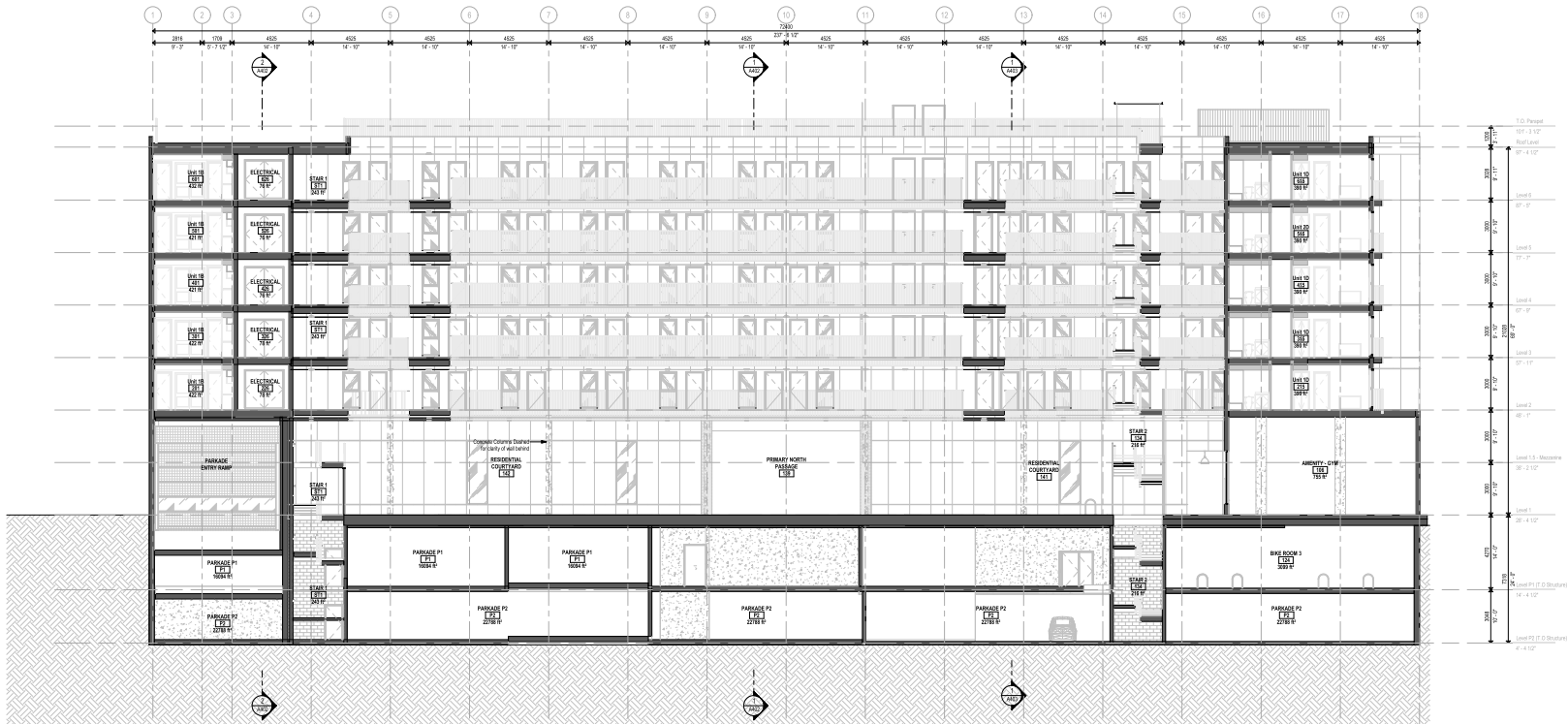
Revisions		
No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project: 2025
 Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

Building Sections E-W	
Date	Drawn By
	Author
	AT
	Scale: 1/8" = 1'-0"
	Original Size: A3

1 | East West Building Section through North Block
 A400 | 1/8" = 1'-0"



Revisions		
No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

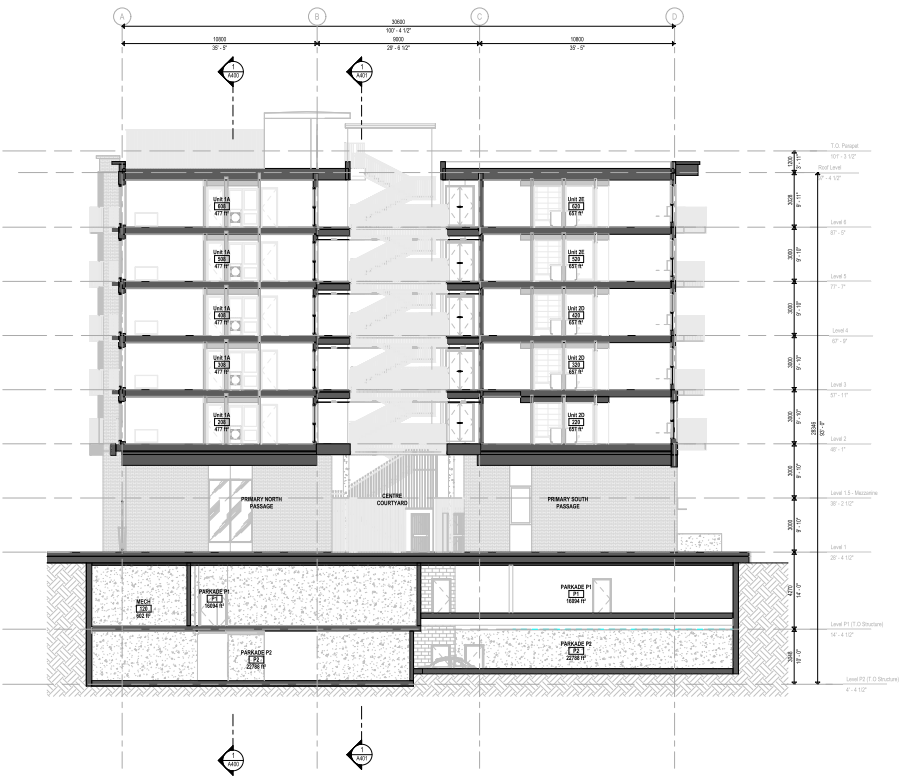
Project: 2502

Herald
517-533 Chatham Street + 530-538
Herald Street, Victoria, BC, Canada

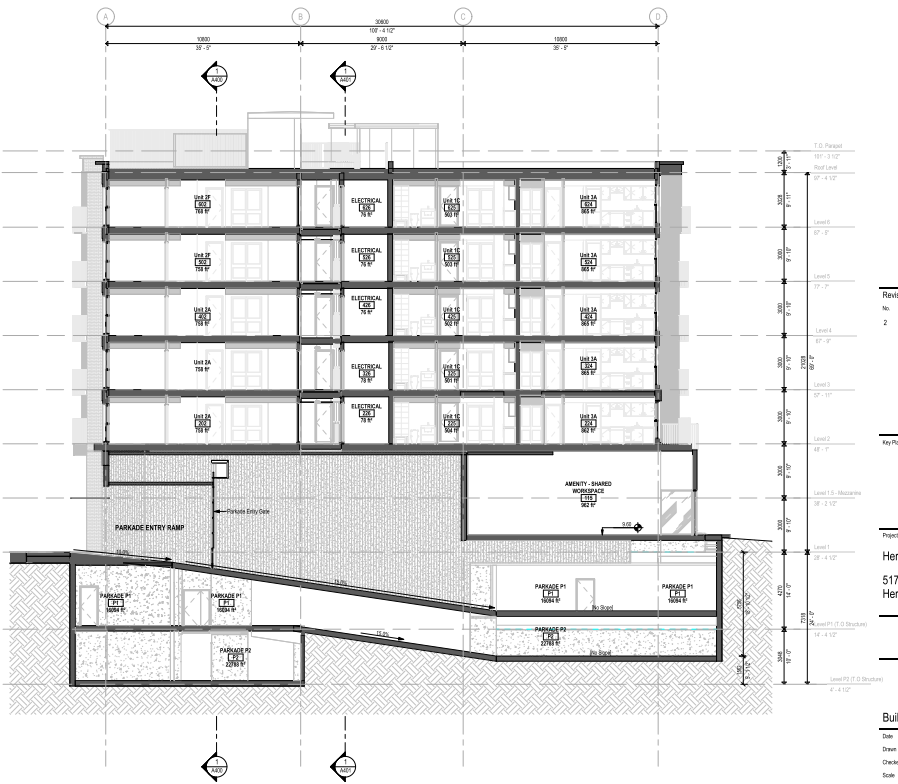
Building Sections E-W

Date:	
Drawn By:	AJR
Checked By:	AJR
Scale:	1/8" = 1'-0"
Original Size:	A3

1 | East West Building Section through South Block
A401 | 1/8" = 1'-0"



1 | North South Section through Courtyard and Primary Passages
 A402 | 1/8" = 1'-0"



2 | North South Section through Parkade Ramp
 A402 | 1/8" = 1'-0"

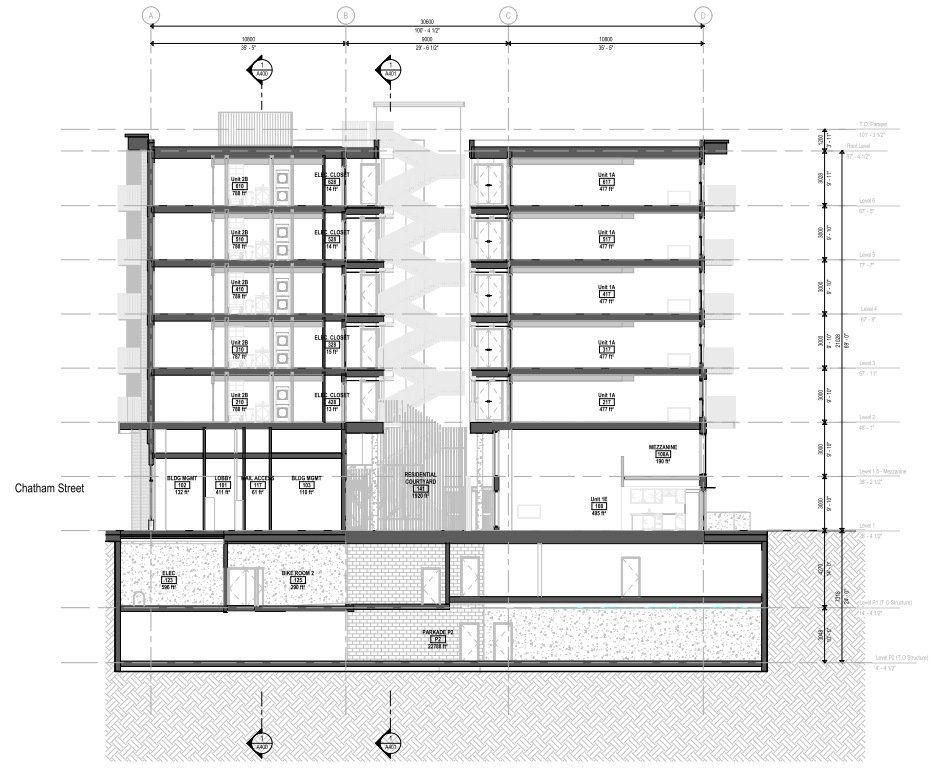
No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project: 2025

Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

Building Sections N-S	
Date:	05
Drawn By:	ME
Checked By:	AT
Scale:	1/8" = 1'-0"
Original Size:	A3



1 | North South Section through Stairwell
 A403 | 1/8" = 1'-0"

Revisions		
No.	Description	Date
2	Issued for Development Permit and Flooring	2025-05-04

Key Plan

Project: 2025
 Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

Building Sections N-S	
Date:	
Drawn By:	ME
Checked By:	AT
Scale:	1/8" = 1'-0"
Original Size:	A3



December 1st at 8:00am

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 2025
Herald
517-533 Chatham Street • 530-538
Herald Street, Victoria, BC, Canada

Renders	
Date:	
Drawn By:	AT
Checked By:	AT
Scale:	
Original Size:	A3



July 1st at 6:00pm

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 082
Herald
517-533 Chatham Street • 530-538
Herald Street, Victoria, BC, Canada

Renders	
Date:	
Drawn By:	JP
Checked By:	AT
Scale:	
Original Size:	A3



July 1st at 7:25pm

Revisions

No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

082
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	AT
Scale	
Original Size	A3



July 1st at 7:00am

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 0802
Herald
517-533 Chatham Street • 530-538
Herald Street, Victoria, BC, Canada

Renders	
Date:	05
Drawn By:	AT
Checked By:	AT
Scale:	AS
Original Size:	A3



July 1st at 8:30pm

Revisions

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project

020
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	AT
Scale	
Original Size	A3



July 1st at 1:00pm

Revisions

No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

020
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	AT
Scale	
Original Size	A3



December 1st at 12:00pm

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

002
Herald
517-533 Chatham Street • 530-538
Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	AT
Scale	
Original Size	A3



July 1st at 1:00pm

Revisions

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project

002
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JF
Checked By	JF
Scale	
Original Size	A3



July 1st at 5:15pm

Revisions

No.	Description	Date
2	Issued for Development Permit and Rezoning	2025-05-04

Key Plan

Project

Herald
517-533 Chatham Street • 530-538
Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	AT
Scale	
Original Size	A3



July 1st at 7:45am

Revisions

No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

002
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	AT
Scale	
Original Size	A3



July 1st at 1:00pm

Revisions

No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

082
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renderers

Date	
Drawn By	AT
Checked By	AT
Scale	
Original Size	A3



July 1st at 1:00pm

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 2025
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renders	
Date:	
Drawn By:	JP
Checked By:	JT
Scale:	
Original Size:	A3



July 1st at 9:00am

Revisions

No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

002
Herald
517-533 Chatham Street • 530-538
Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	AT
Scale	
Original Size	A3



June 1st at 5:00pm

Revisions

No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project

002
 Herald
 517-533 Chatham Street + 530-538
 Herald Street, Victoria, BC, Canada

Renders

Date	
Drawn By	JP
Checked By	JT
Scale	
Original Size	A3



July 1st at 1:00pm

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project	
Project	082
Herald	
517-533 Chatham Street + 530-538 Herald Street, Victoria, BC, Canada	

Renders	
Date	
Drawn By	JP
Checked By	JT
Scale	
Original Size	A3



June 1st at 2:00pm

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project 2025

Herald
517-533 Chatham Street • 530-538
Herald Street, Victoria, BC, Canada

Renders	
Date	
Drawn By	JP
Checked By	JT
Scale	
Original Size	A3



July 1st at 8:00am

Revisions		
No.	Description	Date
2	Issued for Development Permit and Planning	2025-05-04

Key Plan

Project: 2025
 Herald
 517-533 Chatham Street • 530-538
 Herald Street, Victoria, BC, Canada

Renders	
Date:	
Drawn By:	AT
Checked By:	AT
Scale:	
Original Size:	A3



Revisions

No.	Description	Date
1	Issue for Public Review	8/1/18
2	Issue for Public Review	8/1/18
3	Issue for Public Review	8/1/18
4	Issue for RFP	8/1/18
5	Issue for Public Review	8/1/18
6	Issue for RFP	8/1/18
7	Issue for RFP	8/1/18
8	Issue for RFP	8/1/18
9	Issue for RFP	8/1/18

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Herald

11/22/2018

COVER SHEET

Title	LA
Project	04
Site	04
Sheet No.	04

HERALD & CHATHAM

ISSUED FOR COTW

JULY 06, 2018

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 WWW.CONNECTLA.COM

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 202.462.1000
 WWW.SHAPIROARCHITECTURE.COM

LANDSCAPE DRAWING INDEX

SHEET NO.	SHEET NAME
LA.00	COVER SHEET
LA.01	INSPIRATION AND PRINCIPLES
LA.02	CONCEPTS
LA.03	INITIAL STUDY
LA.04	TREE MANAGEMENT PLAN
LA.05	GENERAL NOTES
LA.06	STORMWATER MANAGEMENT ENGINEERING
LA.07	PROGRAM & MATERIAL PRECEDENTS
LA.08	PROGRAM & MATERIAL PRECEDENTS
LA.09	OVERALL SITE PLAN
LA.10	NATURAL PLAY - GROUND LEVEL, NORTH
LA.11	NATURAL PLAY - GROUND LEVEL, SOUTH
LA.12	NATURAL PLAY - ROOF
LA.13	SWIMMING POOL - GROUND LEVEL, NORTH
LA.14	SWIMMING POOL - GROUND LEVEL, SOUTH
LA.15	SOFT PLAY - GROUND LEVEL
LA.16	SOFT PLAY - ROOF
LA.17	PLAY LIST AND SAGES
LA.18	PLAYING PLAN - GROUND LEVEL
LA.19	PLAYING PLAN - ROOF
LA.20	LIGHTING PLAN - GROUND LEVEL
LA.21	LIGHTING PLAN - ROOF
LA.22	IRRIGATION PLAN - GROUND LEVEL
LA.23	IRRIGATION PLAN - ROOF
LA.24	SECTIONS + ELEVATIONS (1)
LA.25	SECTIONS + ELEVATIONS (2)
LA.26	SECTIONS + ELEVATIONS (3)
LA.27	SECTIONS + ELEVATIONS (4)
LA.28	HARDSCAPE DETAILS
LA.29	HARDSCAPE DETAILS
LA.30	SOFTSCAPE & TREE DETAILS
LA.31	FURNISHING DETAILS
LA.32	OFFICE DETAILS (1)
LA.33	OFFICE DETAILS (2)





VISION

Inspired by the local context at the edge of historic Chinatown and Old Town in Victoria, the landscape emphasizes placemaking, culture, and green space. The design aspires to create a vibrant public and private realm where neighbors and the local community can come together through shared spaces and activities.



PLACE MAKING

Seamlessly blends in the historic Old Town neighbourhood context.



CULTURE & COMMUNITY

Invite gathering, play, celebration, and reflection. Cultivate engagement and foster social connection.



URBAN NATURE

Enrich urban life by weaving green space throughout. Dissolve boundaries between built and wild.

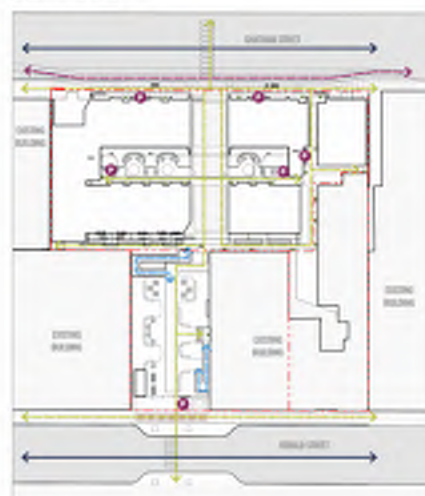
Revisions	
No.	Description
1	Issue for Public Consultation
2	Issue for Public Consultation
3	Issue for Public Consultation
4	Issue for RFP
5	Issue for Public Consultation
6	Issue for RFP
7	Issue for Public Consultation
8	Issue for RFP
9	Issue for RFP

Form	14
Function	28
Use	34
Support	44

SUN/SHADE



CIRCULATION



CIRCULATION LEGEND

- PEDESTRIAN CIRCULATION
- BICYCLE CIRCULATION
- VEHICULAR CIRCULATION
- BICYCLE PARKING
- ACCESSIBLE PEDESTRIAN CIRCULATION

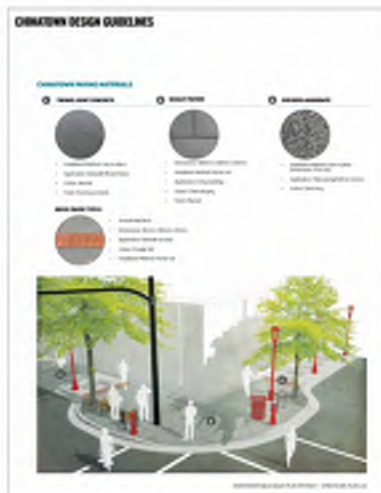
PROGRAM



PROGRAM LEGEND

- 1. CANTON STREETSCAPE
- 2. THE PORCH
- 3. ROOF AMENITY
- 4. THE PICKET FENCE
- 5. THE COURTYARD

DESIGN GUIDELINES



NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITTING	8/1/18
2	ISSUE FOR PERMITTING	8/1/18
3	ISSUE FOR PERMITTING	8/1/18
4	ISSUE FOR PERMITTING	8/1/18
5	ISSUE FOR PERMITTING	8/1/18
6	ISSUE FOR PERMITTING	8/1/18
7	ISSUE FOR PERMITTING	8/1/18
8	ISSUE FOR PERMITTING	8/1/18
9	ISSUE FOR PERMITTING	8/1/18

DIAGRAMS

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITTING	8/1/18
2	ISSUE FOR PERMITTING	8/1/18
3	ISSUE FOR PERMITTING	8/1/18

SUN HOP PARK, VANCOUVER



MELLEMGRUMMET PARK, COPENHAGEN



MARKET SQUARE, VICTORIA



HERALD & CHATHAM



No.	Description	Date
1	Issue for Public Consultation	2018-06
2	Issue for Public Consultation	2018-07
3	Issue for Public Consultation	2018-08
4	Revised for RFP	2018-09
5	Issue for Public Consultation	2018-10
6	Revised for RFP	2018-11
7	Issue for Public Consultation	2018-12
8	Issue for RFP	2019-01

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Herold

22-02-18-001-001

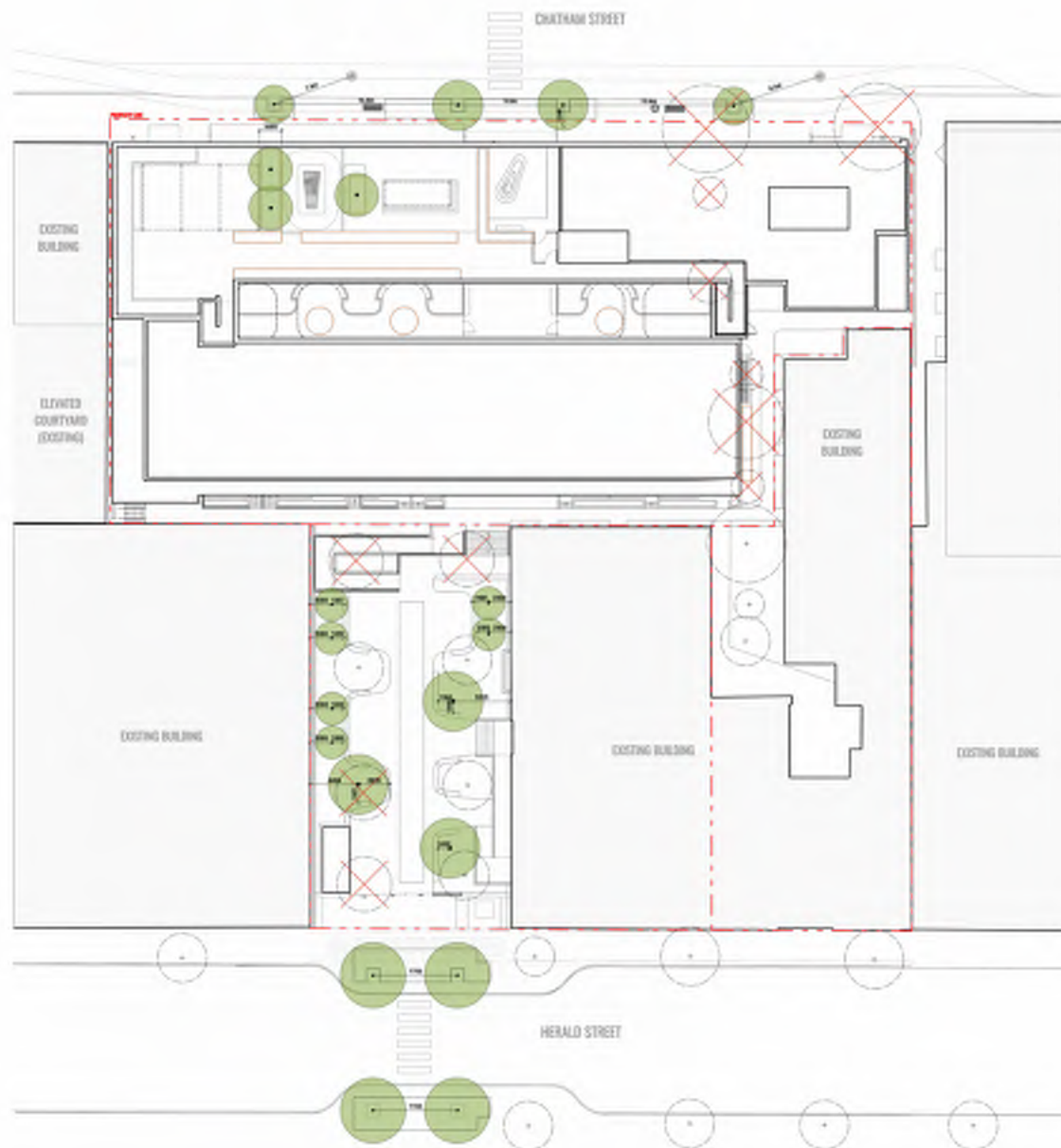
SPATIAL STUDIES

Scale	1:1
Project	2018
Date	2018
Project No.	2018

TREE MANAGEMENT LEGEND

- KEY
-  EXISTING TREE TO BE RETAINED AND PROTECTED
 -  EXISTING TREE TO BE REMOVED
 -  PROPOSED NEW PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE TREE MANAGEMENT PLAN

NOTE: ALL PROPOSED TREE PLANTING IS SUBJECT TO APPROVAL BY THE LOCAL COUNCIL AND THE NSW DEPARTMENT OF ENVIRONMENT AND HERITAGE. THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE NECESSARY APPROVALS.



Legend

No.	Description	Qty
1	Plant to be Retained	10
2	Plant to be Removed	5
3	Plant to be Retained	15
4	Plant to be Retained	10
5	Plant to be Retained	10
6	Plant to be Retained	10
7	Plant to be Retained	10
8	Plant to be Retained	10
9	Plant to be Retained	10
10	Plant to be Retained	10

Page: 10/10

Herold

100 HERALD STREET

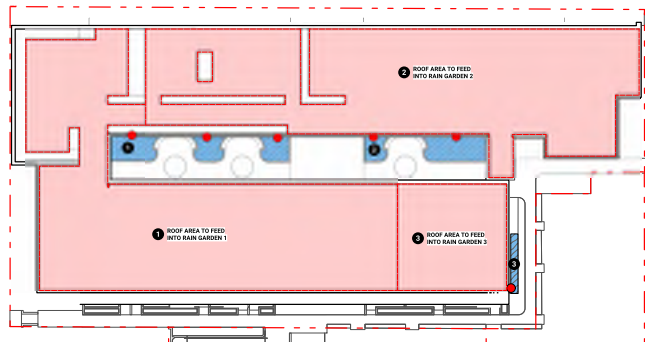
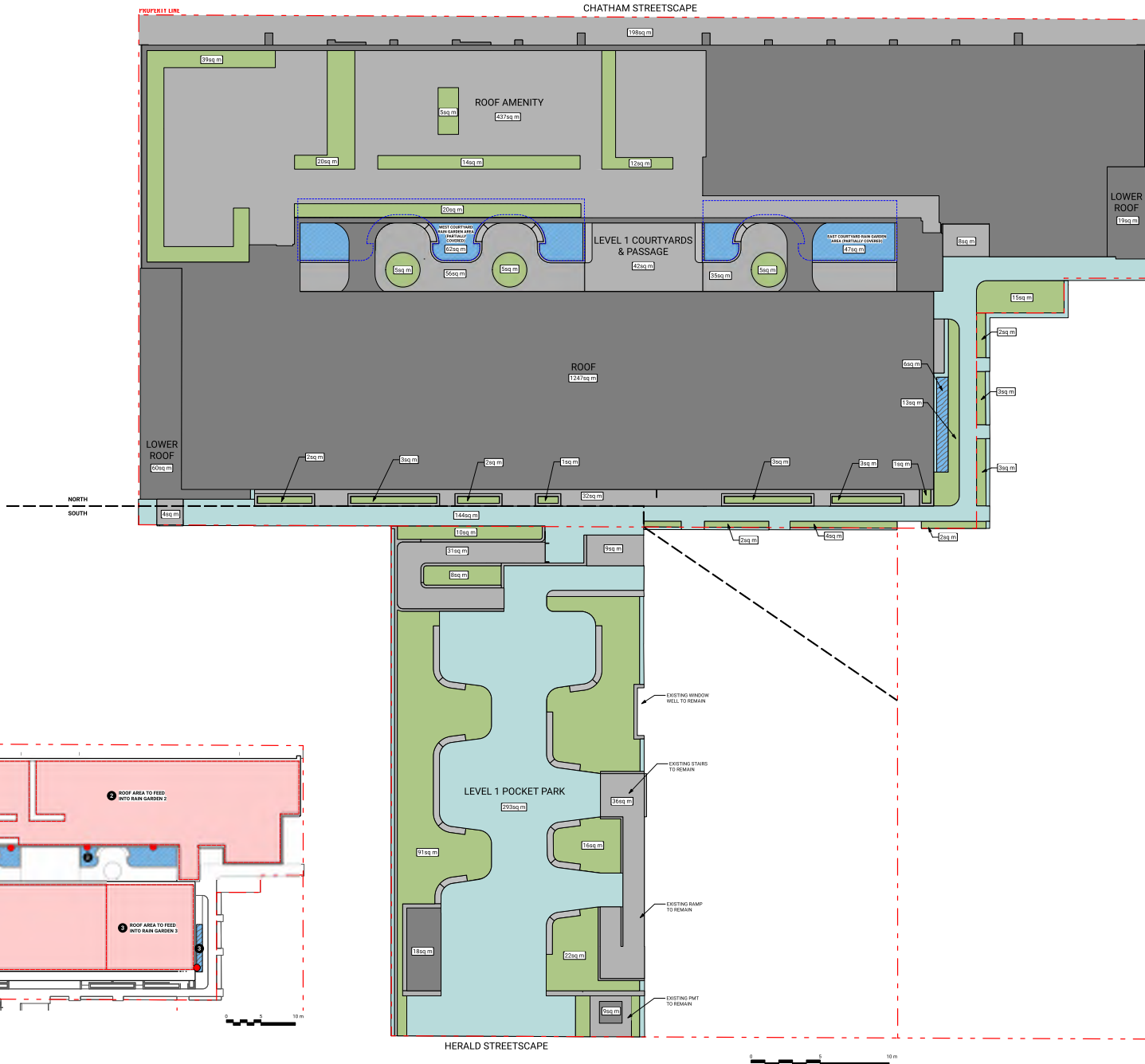
TREE MANAGEMENT PLAN

No.	Date
1	10/10/2023
2	10/10/2023
3	10/10/2023





KEY	DESCRIPTION
	PERMEABLE PAVING
	PROPOSED SHRUB / GROUND COVER PLANTING
	PROPOSED RAIN GARDEN ZONES
	IMPERMEABLE HARDSCAPING
	ROOF
	OUTLET TO RAIN GARDEN LOCATIONS PER ARCH



1 ROOF DRAINAGE ZONES
Scale: 1:200

Revisions	No.	Description	Date
	12	Issued for Review/Coordination	26-01-26
	13	Issued for Review/Coordination	26-01-27
	14	Issued for Review/Coordination	26-02-03
	15	Released for RZDP	26-02-04
	16	Issued for Review/Coordination	26-03-31
	17	Released for RZDP	26-04-02
	18	Issued for Civil 3D/CAD	26-04-23
	19	Issued for CDTW	26-05-05

Key Plan

Project: 25-108

Herald

320-021 Herald Street & 317-003 Chatham Street

STORMWATER MANAGEMENT DIAGRAMS

Date:	UK
Drawn By:	DM
Checked By:	1:100
Original Size:	

POCKET PARK

Nestled within the urban fabric, the Pocket Park offers a welcoming green retreat for the community—a place to pause, connect, or enjoy a quiet moment. A central walkway, framed by lush planting, guides visitors through the space, with access provided via a staircase and accessible ramp from the north. This intimate park balances openness and enclosure, creating a flexible, inclusive environment for everyday use.



POP-UP RETAIL

Anchored by a refurbished shipping container, the Pop-Up Retail brings a food and beverage offering to the Pocket Park, creating a lively destination within the green space. This unique feature invites park-goers to gather, dine, and socialize, becoming a vibrant focal point that enhances the park's sense of place and community.



THE PASSAGE

The Passage is a publicly accessible north-south corridor that connects Chatham and Herald Street, offering a clear and welcoming route through the development. Designed to support the historic network of alleyways and laneways in adjacent Chinatown, it invites the public into the site while reinforcing the area's cultural and spatial heritage. This connection enhances permeability and encourages exploration within the urban fabric.



CHATHAM FRONTAGE

The Chatham Street frontage is envisioned as a vibrant commercial edge, supporting local businesses and encouraging pedestrian activity through active retail frontages. Streetscape materials are selected in alignment with the Old Town Design Guidelines, reinforcing the historic character of the area. This treatment creates a cohesive and inviting public realm that blends heritage with contemporary urban life.



Schedule	
1. Concept	100%
2. Approval of Preliminary	100%
3. Approval of Final	100%
4. Approval of Final	100%
5. Approval of Final	100%
6. Approval of Final	100%
7. Approval of Final	100%
8. Approval of Final	100%

Page 28/28

Herald

11-11-2024

PROGRAM & MATERIAL PRECEDENTS

100	100
100	100
100	100
100	100

THE COURTYARD

The Courtyard is a quiet, private garden space designed for residents to enjoy from within their homes or viewed from above. Shaded seating, lush planting, and a sculptural water bowl create a serene atmosphere for reflection, conversation, or calm retreat. This intimate landscape offers a moment of pause within the residential setting.



ROOFTOP AMENITY

The rooftop amenity offers residents a dynamic, multi-use outdoor space designed to foster connection and community. With features including a pet relief area, edible gardens, sun deck with bocce court, BBQ dining, playspace and lounge zones, it supports a wide range of shared activities. This elevated retreat becomes a social heart of the building, encouraging everyday interaction and relaxation.



NO.	DESCRIPTION	DATE
01	Issue for Pre-Construction	08-21-20
02	Issue for Pre-Construction	09-01-20
03	Issue for Pre-Construction	09-08-20
04	Revised for RFP	09-09-20
05	Issue for Pre-Construction	09-09-20
06	Revised for RFP	09-09-20
07	Issue for Full CD/ID	09-09-20
08	Issue for CD/ID	09-09-20

01	02
03	04
05	06
07	08
09	10
11	12

PROGRAM LEGEND

- 1. EXISTING STRUCTURE
- 2. NEW STRUCTURE
- 3. EXISTING DRIVE
- 4. EXISTING DRIVE
- 5. EXISTING DRIVE
- 6. EXISTING DRIVE
- 7. EXISTING DRIVE
- 8. EXISTING DRIVE



Revisions

No.	Description	Date
1	Issue for Review/Construction	8/14/18
2	Issue for Review/Construction	8/14/18
3	Issue for Review/Construction	8/14/18
4	Issue for RFP	8/14/18
5	Issue for Review/Construction	8/14/18
6	Issue for RFP	8/14/18
7	Issue for RFP (REV.)	8/14/18
8	Issue for RFP	8/14/18

Page: 18 of 18

Revised

11/14/2018

OVERALL SITE PLAN

Scale	1/8" = 1'-0"
Project	1/8" = 1'-0"
Client	1/8" = 1'-0"
Design	1/8" = 1'-0"



MATERIALS LEGEND

KEY	DESCRIPTION	DETAIL
	OP CONCRETE PAVING HERALD STREET FIVE BLOCKS FROM TRUCK TRAILS, WITH SPACING ADJUSTED BASE AND SIDEWALK FOR 2-HOUR PARKING STANDARDS	4/1/20 4/1/20
	OP CONCRETE PAVING CHATHAM STREET TWO-ROW JOINT SPACING, SIDE SLOPE AND PATTERN, FIVE BLOCKS FROM FOR BACK-BAY PARKING STANDARDS	8/1/20 4/1/20
	OP CONCRETE PAVING DRIVE SERVICED PARKING	1/1/20 2/1/20
	CONCRETE UNIT PAVEMENT LEVEL 1 ON SLAB	8/1/20
	STONE PAVEMENT LEVEL 1 ON SLAB	4/1/20
	CONCRETE SLAB PAVEMENT TYPE 1 LEVEL 1, PERMANENT	8/1/20
	CONCRETE SLAB PAVEMENT TYPE 2 ROOF LEVEL	8/1/20
	PERFORATED PAVEMENT LEVEL 1 ON GRADE	4/1/20
	WOOD DECK	10/1/20
	ARTIFICIAL TURF WITH SAND	11/1/20 12/1/20
	RUBBER PLAY SURFACING	7/1/20

KEY	DESCRIPTION	DETAIL
	OP CONCRETE RAMP COMPLETE WITH METAL HANDRAIL	
	OP CONCRETE STAIRS COMPLETE WITH METAL HANDRAIL	
	GRASS	4/1/20
	RAIN GARDEN	4/1/20
	DIRT & BIODEGRADABLE PLANTING	4/1/20 5/1/20
	HEAVY	4/1/20 5/1/20
	EXISTING LANDSCAPE	
	SOIL PLANTING	4/1/20 5/1/20
	GREEN ROOF TRAYS	7/1/20
	EXISTING PROPOSED TREES & FEATURE LARGE SHRUBS	1/1/20/20
	OFFICE TREES AND SHRUBS	1/1/20/20
	EXISTING TREE TO RETAIN	

KEY	DESCRIPTION	DETAIL
	BASE BACK 1" NORTH OF 1" TO 2" SPACED 1" SOUTH OF 1" TO 2" SPACED	1/1/20
	WOOD TOP BENCH ON CONCRETE BASE	8/1/20 4/1/20
	WOOD TOP BENCH ON METAL BASE	8/1/20
	OFFICE BENCH OFFSITE PER BLOCK BAY FURNISHING STANDARDS	1/1/20 3/1/20
	STAIRS/BENCHABLE OFFSITE PER BLOCK BAY FURNISHING STANDARDS	1/1/20 3/1/20
	MOVABLE TABLES AND CHAIRS SHOWROOM REFERENCE ONLY, PER ID	
	ROUND TABLE SHOWROOM REFERENCE ONLY, PER ID	
	OUTDOOR DINING TABLE SHOWROOM REFERENCE ONLY, PER ID	
	LOUNGE FURNITURE SHOWROOM REFERENCE ONLY, PER ID	
	BAR AND COUNTER GAS AND WATER CONNECTION REQUIRED	2/1/20
	PIE TABLE GAS CONNECTION REQUIRED, WITH MECHANICAL	2/1/20
	PLAY STRUCTURE	11/1/20

KEY	DESCRIPTION	DETAIL
	PERGOLA	7/1/20
	GENERAL	8/1/20
	PERIMETER FENCE	
	PERIMETER FENCE	
	GATE	8/1/20
	OP CONCRETE WALL LENGTH & HEIGHT VARIES, 200MM WIDE	1/1/20 2/1/20
	POLYMER COATED METAL	5/1/20
	FLUSH CONCRETE CURB LENGTH VARIES, 150MM WIDE	
	TREE SPACE OFFSITE	1/1/20/20

Notes

1. See Detail 101
2. See Detail 102
3. See Detail 103
4. See Detail 104
5. See Detail 105
6. See Detail 106
7. See Detail 107
8. See Detail 108
9. See Detail 109
10. See Detail 110



North

0' 0" = 1' 0" = 2' 0" = 3' 0" = 4' 0" = 5' 0" = 6' 0" = 7' 0" = 8' 0" = 9' 0" = 10' 0"

MATERIALS PLAN - GROUND LEVEL NORTH

Scale: 1/8" = 1'-0"

Date: 11/1/20

Project: 100 HANCOCK STREET



POP'S LANDSCAPE AREAS RATIO

AREA	PERCENTAGE
LANDSCAPE	27.0%
SEATING/STANDSTAND	12.0%
LANDSCAPE/STANDSTAND	20.0%
TOTAL POP'S AREA	60.0%

MATERIALS LEGEND

KEY	DESCRIPTION	DETAIL
	OP CONCRETE PAVING HERALD STREET FINE BROWN FRESH TROWEL FINISH WITH EXPANDED AGGREGATE BASE AND POLY- MER 2-DIMENSIONAL PAVING STANDARDS	4/1/20 4/1/20
	OP CONCRETE PAVING CHATHAM STREET TROWEL FINISH, FINE BROWN FRESH TROWEL FINISH BROWN FINISH FOR ROCK BAY TROUS STANDARDS	8/1/20 4/1/20
	OP CONCRETE PAVING WHITE SMOOTH FINISH	1/1/20 2/1/20
	CONCRETE SLAB FIVER LEVEL 1 ON SLAB	8/1/20
	STONE FIVER LEVEL 1 ON SLAB	4/1/20
	CONCRETE SLAB FIVER TYPE 1 LEVEL 1, FINISH PATTERNS	8/1/20
	CONCRETE SLAB FIVER TYPE 2 ROOF LEVEL	8/1/20
	PERFORATED CONCRETE LEVEL 1 ON GRADE	4/1/20
	WOOD DECK	10/1/20
	ARTIFICIAL TURF WITH WOOD	11/1/20 12/1/20
	RUBBER PLAY SURFACING	7/1/20

VEGETATION

	RAIN GARDEN	4/1/20
	SHRUB & GROUNDCOVER PLANTING	4/1/20 5/1/20
	HEDGE	4/1/20 5/1/20
	EXISTING LANDSCAPE	
	HEDGE PLANTING	4/1/20 5/1/20
	GREEN ROOF THYME	7/1/20
	NEWLY PROPOSED TREES & FEATURE LARGE SHRUBS	1/1/20 1/10
	OFF-SITE TREES AND IRRIGATION	1/1/20 1/10
	EXISTING TREES TO RETAIN	

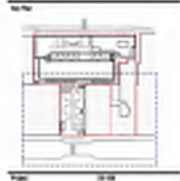
FURNITURE

	BIKE RACK 1/1 NORTH (CY 10 CY SPACES) 1/1 SOUTH (CY 10 SPACES)	1/1/20
	WOOD TOP BENCH ON CONCRETE BASE	8/1/20 4/1/20
	WOOD TOP BENCH ON METAL BASE	8/1/20
	OFF-SITE BENCH OFF-SITE FOR ROCK BAY FURNISHING STANDARDS	1/1/20 3/1/20
	EXPANDABLE OFF-SITE FOR ROCK BAY FURNISHING STANDARDS	1/1/20 3/1/20
	MOVEABLE TABLES AND CHAIRS SHOWROOM REFERENCE ONLY, FOR ID	
	ROUND TABLE SHOWROOM REFERENCE ONLY, FOR ID	
	OUTDOOR DINING TABLE SHOWROOM REFERENCE ONLY, FOR ID	
	LOUNGE FURNITURE SHOWROOM REFERENCE ONLY, FOR ID	
	BAG AND UMBRELLA GAS AND WATERS CONNECTION REQUIRED	2/1/20
	FIRE TABLE GAS CONNECTION REQUIRED, WITH WATERSHIELD	2/1/20
	PLAY STRUCTURE	11/1/20

	PERIOLA	7/1/20
	SUBSIDING	8/1/20
	PERIMETER FENCE	
	PRIVACY FENCE	
	GATE	8/1/20
	OP CONCRETE WALL LENGTH & HEIGHT VARIES, 200MM WIDE	1/1/20 2/1/20
	FENCE COATED METAL LENGTH VARIES, 100MM WIDE	5/1/20
	TREE GRATE OFF-SITE	1/1/20 1/10

NOTES

1. See notes
2. See notes
3. See notes
4. See notes
5. See notes
6. See notes
7. See notes
8. See notes
9. See notes
10. See notes

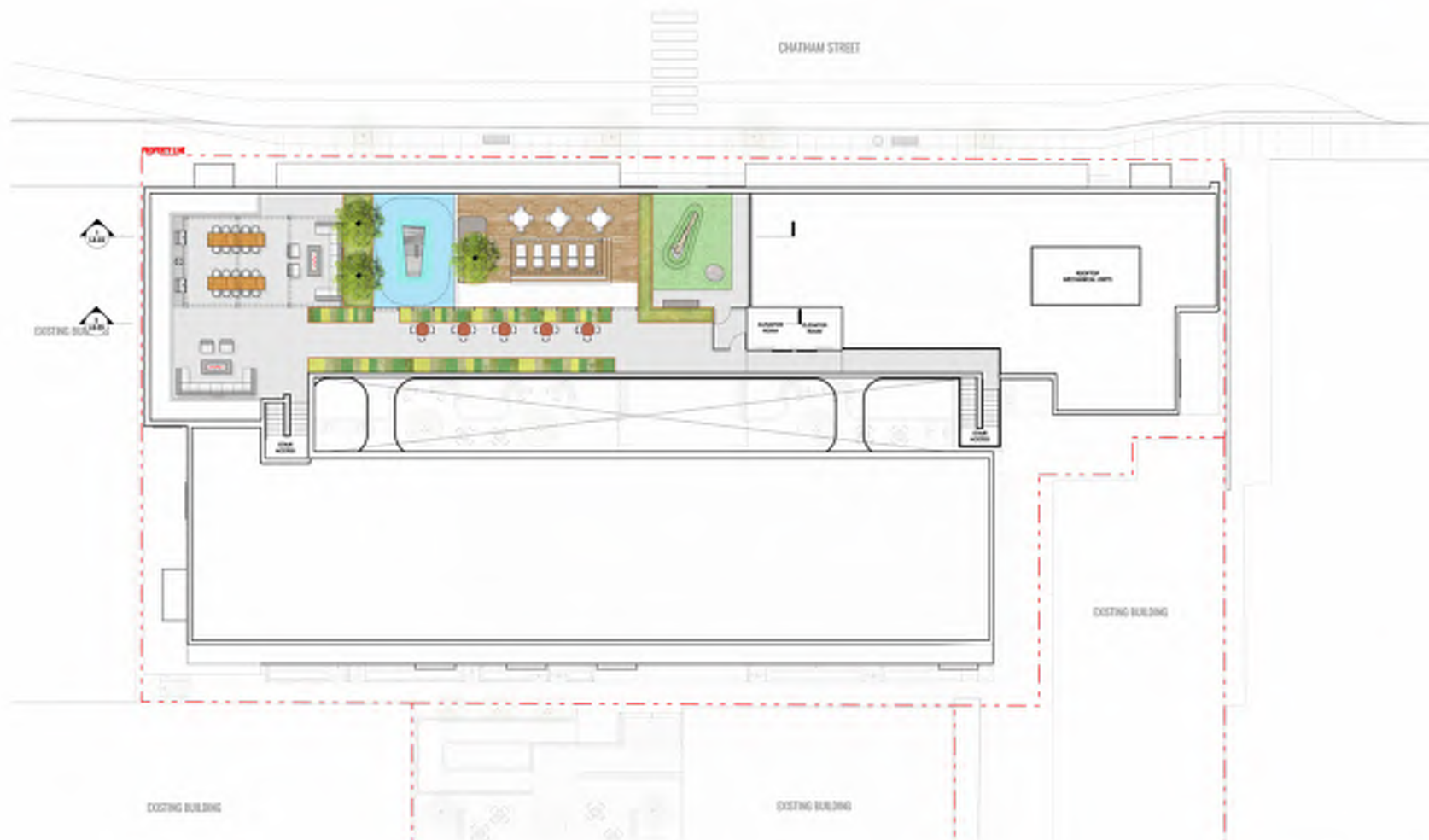


Herold

2020-01-10
2020-01-10

MATERIALS PLAN - GROUND LEVEL SOUTH

Scale	1:100
North	0°
South	180°
East	90°
West	270°



MATERIALS LEGEND

KEY	DESCRIPTION	DETAIL
	OP CONCRETE PAVING HERALD STREET FIVE BLOCK PATTERN, TYPICAL JOISTS WITH SPACING ADJUSTABLE BASE AND GULL BLOCK FOR 2-4M-TOWN PARKING STANDARDS	4/1/20 4/1/20
	OP CONCRETE PAVING CHATHAM STREET TYPICAL JOIST SPACING, VIGOR SLAB AND PATTERN, FIVE BLOCK PATTERN FOR BACK BAY TRADING STANDARDS	4/1/20 4/1/20
	OP CONCRETE PAVING SPINITE SPINITE PAVING	1/1/20 2/1/20
	CONCRETE UNIT PAVES LEVEL 1, ON SLAB	4/1/20
	SPINE PAVES LEVEL 1, ON SLAB	4/1/20
	CONCRETE SLAB PAVES TYPE 1 LEVEL 1, PRIVATE PATIO	4/1/20
	CONCRETE SLAB PAVES TYPE 2 SLAB LEVEL	4/1/20
	PERIMETER PAVES LEVEL 1, ON GRADE	4/1/20
	WOOD DECK	10/1/20
	ARTIFICIAL POOL WITH WOOD	11/1/20 12/1/20
	RUBBER PLAY SURFACING	7/1/20

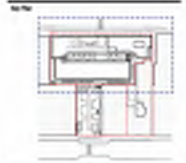
DETAIL	DESCRIPTION	DATE
	OP CONCRETE RAUP COMPLETE WITH METAL, WARDING	4/1/20
	OP CONCRETE EXPOSE COMPLETE WITH METAL, WARDING	4/1/20
	RAIN GARDEN	4/1/20
	GRASS & BROWNSHED PLANTING	4/1/20 5/1/20
	MEIUM	4/1/20 5/1/20
	EXISTING LANDSCAPE	4/1/20 5/1/20
	GRASS PLANTING	4/1/20 5/1/20
	GREEN ROOF TRAYS	7/1/20
	ON-SITE PROPOSED TREES & FEATURE LARGE SHRUBS	1/1/1/20 1/1/20
	OFF-SITE TREES AND VEGETATION	1/1/1/20
	EXISTING TREE TO RETAIN	

DETAIL	DESCRIPTION	DATE
	WOOD TOP BENCH ON CONCRETE BASE	4/1/20 4/1/20
	WOOD TOP BENCH ON METAL BASE	4/1/20
	SPINITE BENCH SPINITE, ONE BLOCK BAY FURNISHING STANDARDS	1/1/20 3/1/20
	EXPOSED BENCH SPINITE, ONE BLOCK BAY FURNISHING STANDARDS	1/1/20 3/1/20
	MOVABLE TABLES AND CHAIRS SHOW/PURVEY REFERENCE ONLY, PER ID	
	POUR TABLE SHOW/PURVEY REFERENCE ONLY, PER ID	
	OUTDOOR DINING TABLE SHOW/PURVEY REFERENCE ONLY, PER ID	
	LOUNGE FURNITURE SHOW/PURVEY REFERENCE ONLY, PER ID	
	BAR AND COUNTER GAS AND WATER CONNECTION REQUIRED	2/1/20
	FIRE TABLE GAS CONNECTION REQUIRED, WITH MECHANICAL	2/1/20
	PLAY STRUCTURE	11/1/20

DETAIL	DESCRIPTION	DATE
	PERFORA	7/1/20
	SOLID METAL	4/1/20
	PERIMETER FENCE	
	PRIVACY FENCE	
	GATE	4/1/20
	OP CONCRETE WALL, LENGTH & HEIGHT VARIES, 200MM WIDE	1/1/20 2/1/20
	PURVEY CONCRETE CORE LENGTH VARIES, 150MM WIDE	5/1/20
	TREE SPACE OFF-SITE	1-2/1/20

Revisions

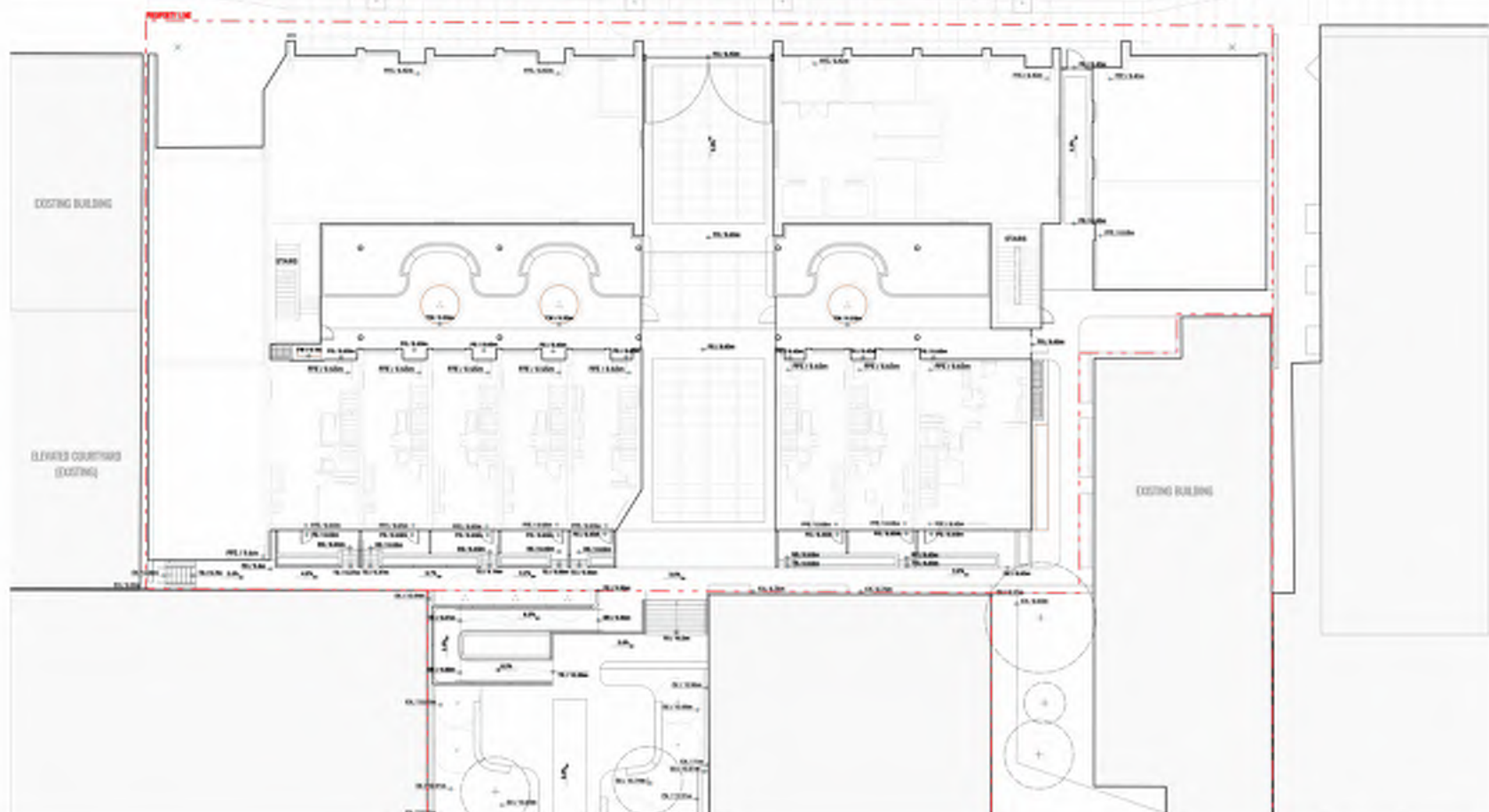
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2	Issue for Construction	4/1/20
3	Issue for Submittal	4/1/20
4	Issue for RCP	4/1/20
5	Issue for Submittal	4/1/20
6	Issue for RCP	4/1/20
7	Issue for Submittal	4/1/20
8	Issue for RCP	4/1/20
9	Issue for RCP	4/1/20



Material Plan - Roof

Item	Quantity	Unit
Concrete	100	sq ft
Steel	50	sq ft
Wood	100	sq ft

CHATHAM STREET



EXISTING LEGEND

<p>KEY</p> <p>EXISTING</p> <p>EXISTING BUILDING</p> <p>EXISTING WALL, BOTTOM OF COURSE</p> <p>EXISTING WALL, TOP OF COURSE</p> <p>EXISTING CURB</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p>	<p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p> <p>EXISTING DRIVE</p>
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Revisions

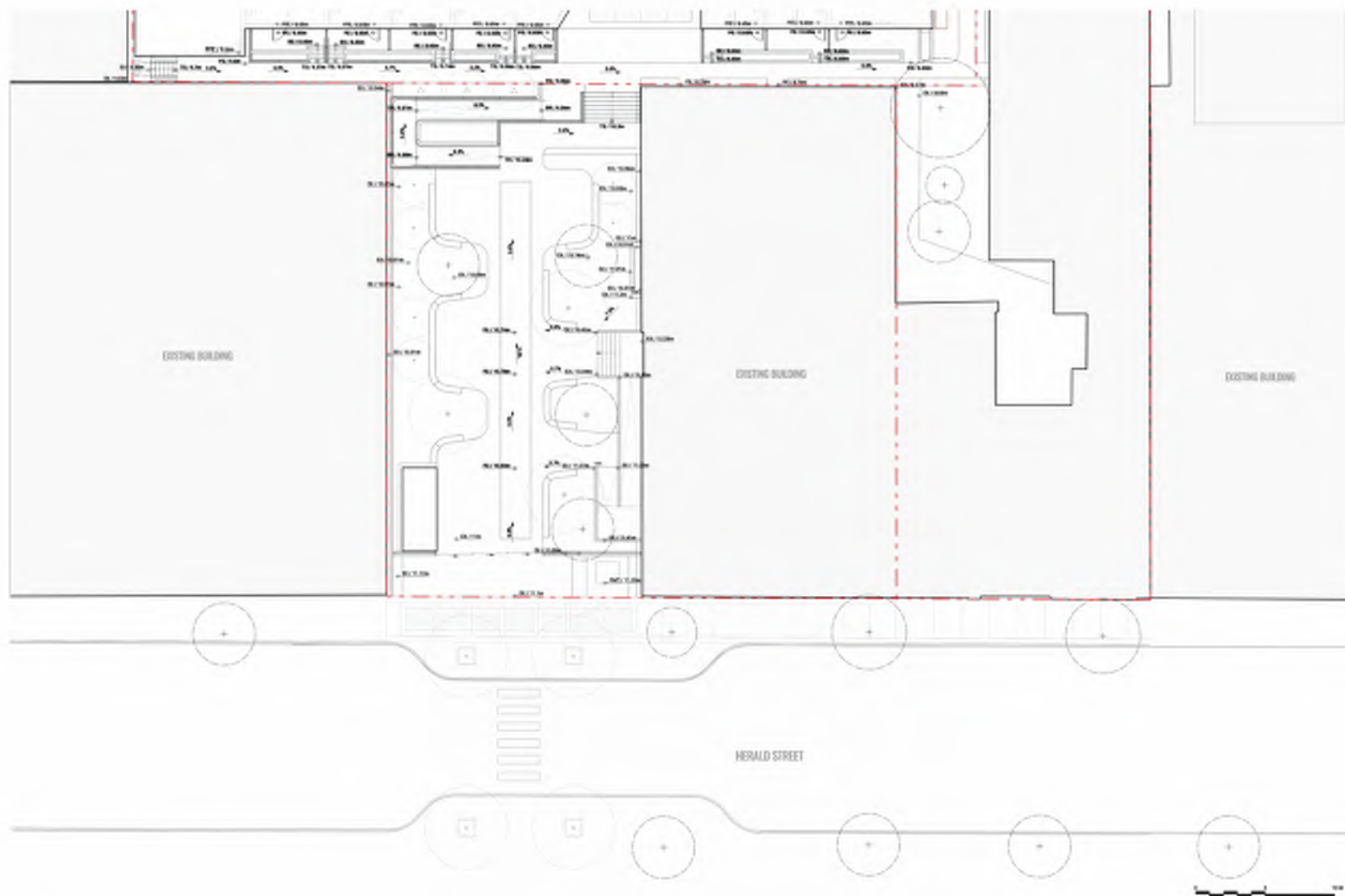
No.	Description	Date
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2	Issue for Review/Construction	04-10-20
3	Issue for Review/Construction	04-10-20
4	Issue for Review/Construction	04-10-20
5	Issue for Review/Construction	04-10-20
6	Issue for Review/Construction	04-10-20
7	Issue for Review/Construction	04-10-20
8	Issue for Review/Construction	04-10-20
9	Issue for Review/Construction	04-10-20



North

GRADING PLAN - GROUND LEVEL NORTH

Date:	04/10/20
Project:	04
Site:	04
Sheet No.:	04

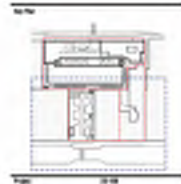


EXISTING LEGEND

10.00	EXISTING GRADE	85.00	EXISTING GRADE (PER SURVEY AND RECORDS)
10.00	PROPOSED GRADE	85.00	PROPOSED GRADE (PER SURVEY AND RECORDS)
10.00	TOP OF WALL, BOTTOM OF CURB	85.00	TOP OF CURB, BOTTOM OF CURB (PROPOSED)
10.00	TOP OF WALL, BOTTOM OF WALL	85.00	PROPOSED GRADE (PER SURVEY AND RECORDS)
10.00	PROPOSED CURB	85.00	TOP OF WALL (BOTTOM OF WALL AND RECORDS)
10.00	PROPOSED GRADE (PER SURVEY AND RECORDS)	85.00	TOP OF WALL (BOTTOM OF WALL AND RECORDS)
10.00	PROPOSED GRADE (PER SURVEY AND RECORDS)	85.00	TOP OF WALL (BOTTOM OF WALL AND RECORDS)
10.00	PROPOSED GRADE (PER SURVEY AND RECORDS)	85.00	TOP OF WALL (BOTTOM OF WALL AND RECORDS)
10.00	PROPOSED GRADE (PER SURVEY AND RECORDS)	85.00	TOP OF WALL (BOTTOM OF WALL AND RECORDS)

Notes

1. See Section 10.00
2. See Section 10.00
3. See Section 10.00
4. See Section 10.00
5. See Section 10.00
6. See Section 10.00
7. See Section 10.00
8. See Section 10.00
9. See Section 10.00
10. See Section 10.00

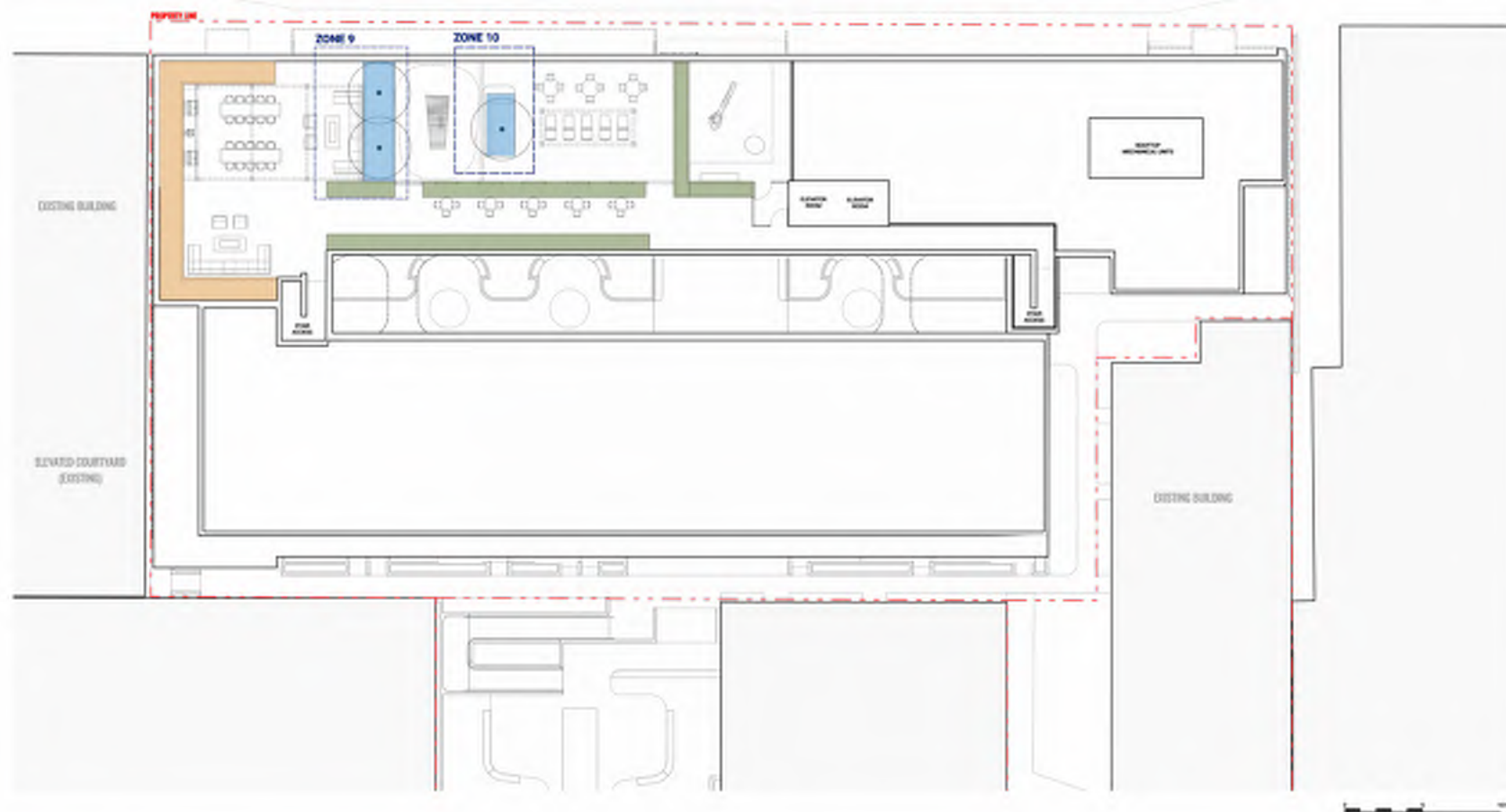


Notes

10.00

GRADING PLAN - GROUND LEVEL SOUTH

Date:	10/18/2023
Project:	100 HIGHLAND
Site:	100 HIGHLAND
Sheet No.:	100 HIGHLAND



Revisions

No.	Description	Date
1	Issue for Submittal/Review	04-10-20
2	Issue for Submittal/Review	04-10-20
3	Issue for Submittal/Review	04-10-20
4	Issue for RFP	04-10-20
5	Issue for Submittal/Review	04-10-20
6	Issue for RFP	04-10-20
7	Issue for Submittal/Review	04-10-20
8	Issue for RFP	04-10-20
9	Issue for RFP	04-10-20



SOILS LEGEND

Color	Description
Orange	Existing Structure (Concrete)
Green	Existing Structure (Wood)
Blue	Existing Structure (Steel)
Light Blue	Existing Structure (Aluminum)
Purple	Existing Structure (Glass)
Yellow	Existing Structure (Other)
Red	Existing Structure (Other)

SOIL VOLUME ROOF

Area	Volume	Weight
Area 1	1000 m ³	10000 kN
Area 2	2000 m ³	20000 kN
Area 3	3000 m ³	30000 kN
Area 4	4000 m ³	40000 kN
Area 5	5000 m ³	50000 kN

SOILS PLAN - ROOF

Item	Value
Scale	1:100
Date	04-10-20
Sheet No.	L5.01

PLANTING LEGEND

- PLANTING TO BE MAINTAINED AND PROTECTED
- PLANTING TO BE REPLACED (NEW PLANTING TO BE MAINTAINED AND PROTECTED)
- PLANTING TO BE REPLACED (NEW PLANTING TO BE REPLACED)
- PLANTING TO BE MAINTAINED AND PROTECTED
- PLANTING TO BE REPLACED (NEW PLANTING TO BE MAINTAINED AND PROTECTED)
- PLANTING TO BE REPLACED (NEW PLANTING TO BE REPLACED)
- PLANTING TO BE MAINTAINED AND PROTECTED
- PLANTING TO BE REPLACED (NEW PLANTING TO BE MAINTAINED AND PROTECTED)
- PLANTING TO BE REPLACED (NEW PLANTING TO BE REPLACED)

PLANTING PLAN LEGEND

- PLANTING TO BE MAINTAINED AND PROTECTED
- PLANTING TO BE REPLACED (NEW PLANTING TO BE MAINTAINED AND PROTECTED)
- PLANTING TO BE REPLACED (NEW PLANTING TO BE REPLACED)
- PLANTING TO BE MAINTAINED AND PROTECTED
- PLANTING TO BE REPLACED (NEW PLANTING TO BE MAINTAINED AND PROTECTED)
- PLANTING TO BE REPLACED (NEW PLANTING TO BE REPLACED)



Revisions

No.	Description	Date
1	Issue for Review/Construction	8/11/16
2	Issue for Review/Construction	8/11/16
3	Issue for Review/Construction	8/11/16
4	Issue for RFP	8/11/16
5	Issue for Review/Construction	8/11/16
6	Issue for RFP	8/11/16
7	Issue for RFP	8/11/16
8	Issue for RFP	8/11/16
9	Issue for RFP	8/11/16

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Revised

11/22/2016

PLANTING PLAN - GROUND LEVEL

Scale	1" = 10'
Author	JK
Checker	JK
Date	1/16
Project No.	



Legend

No.	Description	Qty
1	Acoustic Diffuser	20
2	Acoustic Panel	20
3	Acoustic Baffle	20
4	Acoustic Cloud	20
5	Acoustic Sphere	20
6	Acoustic Cube	20
7	Acoustic Pyramid	20
8	Acoustic Cone	20
9	Acoustic Cylinder	20
10	Acoustic Ring	20

No.	Description	Qty
1	Acoustic Diffuser	20
2	Acoustic Panel	20
3	Acoustic Baffle	20
4	Acoustic Cloud	20
5	Acoustic Sphere	20
6	Acoustic Cube	20
7	Acoustic Pyramid	20
8	Acoustic Cone	20
9	Acoustic Cylinder	20
10	Acoustic Ring	20

LIGHTING LEGEND

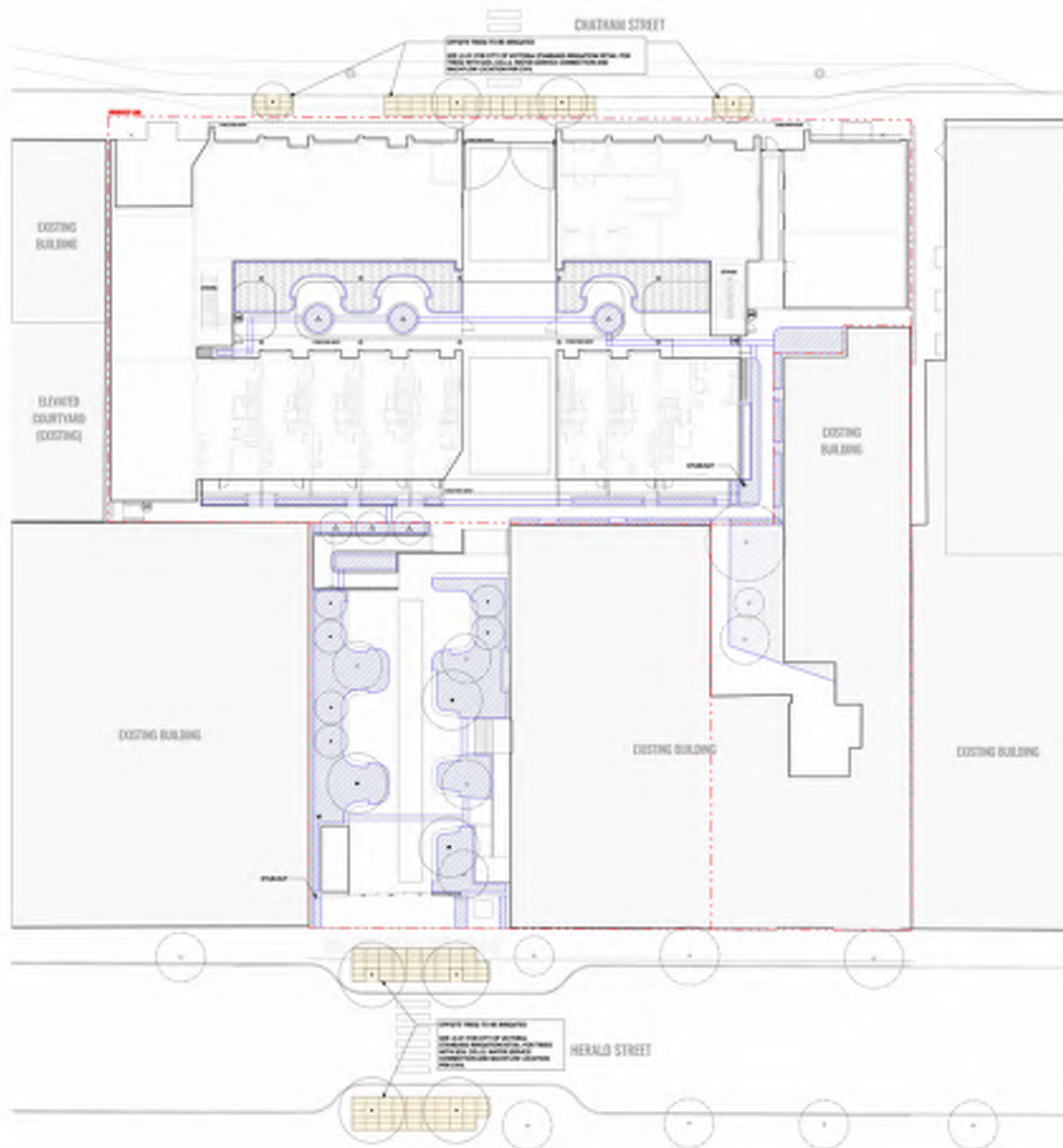
□ LIGHT FIXTURE WALL MOUNT
 ○ LIGHT FIXTURE RECESSED
 ○ LIGHT FIXTURE PENDANT
 ○ LIGHT FIXTURE SUSPENDED

NOTE:
 LIGHTING FIXTURES SHOWN FOR REFERENCE ONLY



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
⊙	SPRINKLER HEAD
⊙	VALVE
⊙	IRRIPIST
⊙	WATER METER
⊙	WATER TREATMENT
⊙	WATER STORAGE
⊙	WATER DISTRIBUTION
⊙	WATER COLLECTION
⊙	WATER TREATMENT
⊙	WATER STORAGE
⊙	WATER DISTRIBUTION
⊙	WATER COLLECTION



NO.	DESCRIPTION	DATE
1	Issue for Review/Construction	8/1/18
2	Issue for Review/Construction	8/1/18
3	Issue for Review/Construction	8/1/18
4	Issue for Review/Construction	8/1/18
5	Issue for Review/Construction	8/1/18
6	Issue for Review/Construction	8/1/18
7	Issue for Review/Construction	8/1/18
8	Issue for Review/Construction	8/1/18
9	Issue for Review/Construction	8/1/18

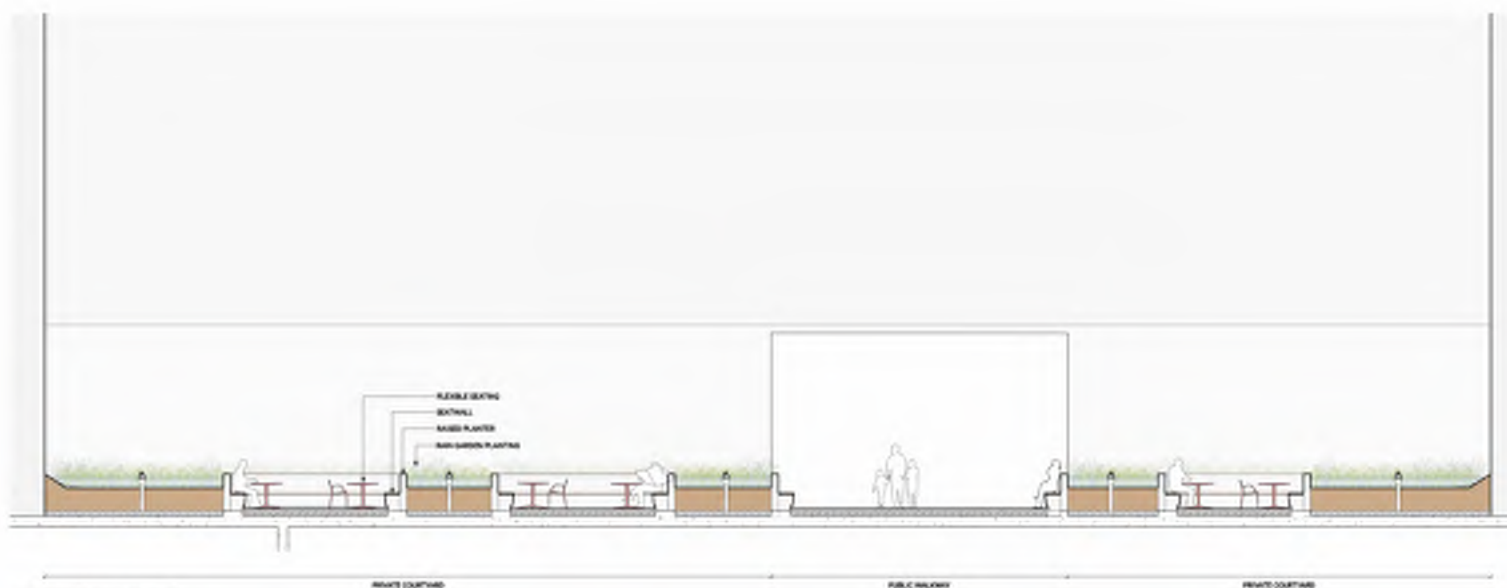
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North

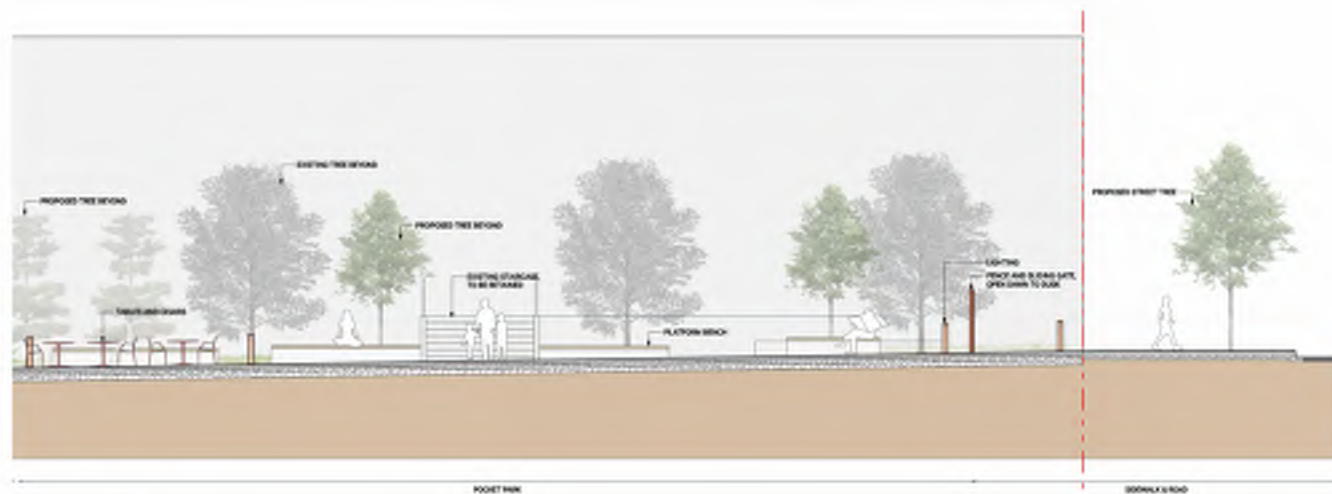
10/10/18

IRRIGATION PLAN - GROUND LEVEL

NO.	DESCRIPTION	DATE
1	Issue for Review/Construction	8/1/18
2	Issue for Review/Construction	8/1/18
3	Issue for Review/Construction	8/1/18
4	Issue for Review/Construction	8/1/18
5	Issue for Review/Construction	8/1/18
6	Issue for Review/Construction	8/1/18
7	Issue for Review/Construction	8/1/18
8	Issue for Review/Construction	8/1/18
9	Issue for Review/Construction	8/1/18

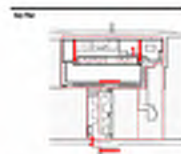


1 SECTION THROUGH COURTYARD
Scale: 1/8"



2 SECTION THROUGH PARKLET
Scale: 1/8"

Symbol	Description	Scale
1	Aspire to Sustainable	1/8" = 1'-0"
2	Aspire to Sustainable	1/8" = 1'-0"
3	Aspire to Sustainable	1/8" = 1'-0"
4	Aspire to Sustainable	1/8" = 1'-0"
5	Aspire to Sustainable	1/8" = 1'-0"
6	Aspire to Sustainable	1/8" = 1'-0"
7	Aspire to Sustainable	1/8" = 1'-0"
8	Aspire to Sustainable	1/8" = 1'-0"
9	Aspire to Sustainable	1/8" = 1'-0"



Page: 20 of 20

Revised

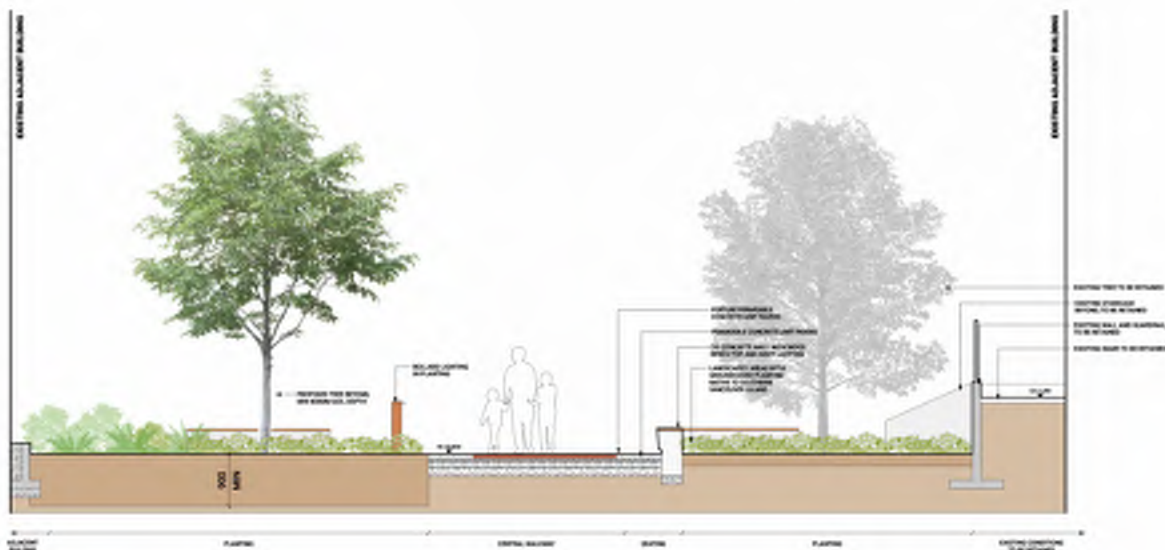
11/20/2023

SECTIONS + ELEVATIONS (1)

Section	Scale
1	1/8" = 1'-0"
2	1/8" = 1'-0"



1 SECTION THROUGH PARKLET - POP UP METAL SPACE
Scale: 1/8" = 1'-0"



2 SECTION THROUGH PARKLET
Scale: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	Issue for Review/Comments	01-10-18
2	Issue for Review/Comments	01-17-18
3	Issue for Review/Comments	01-18-18
4	Issue for RCP	01-18-18
5	Issue for Review/Comments	01-18-18
6	Issue for RCP	01-18-18
7	Issue for RCP	01-18-18
8	Issue for RCP	01-18-18
9	Issue for RCP	01-18-18

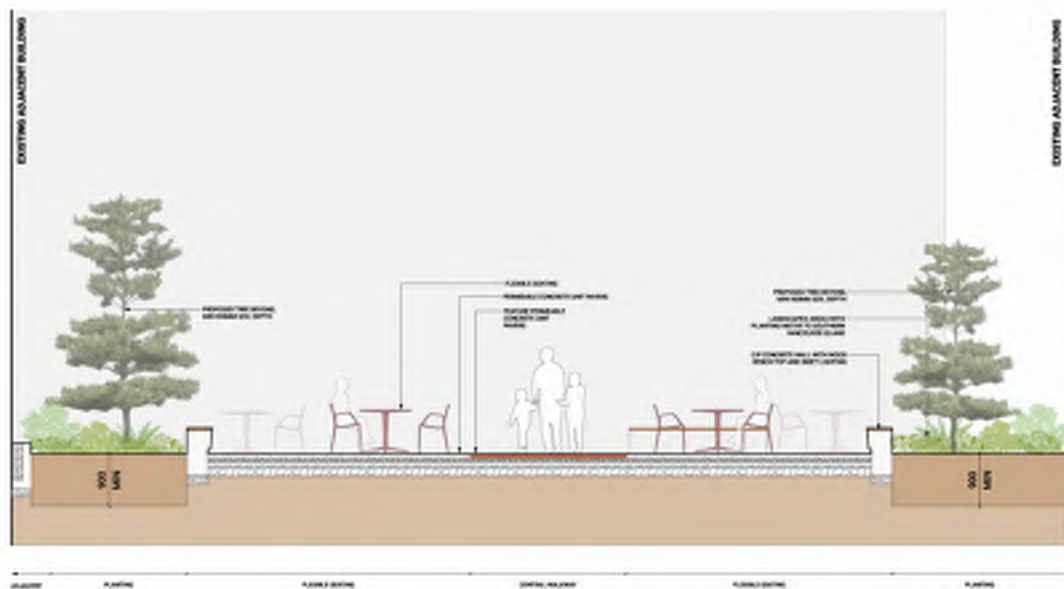


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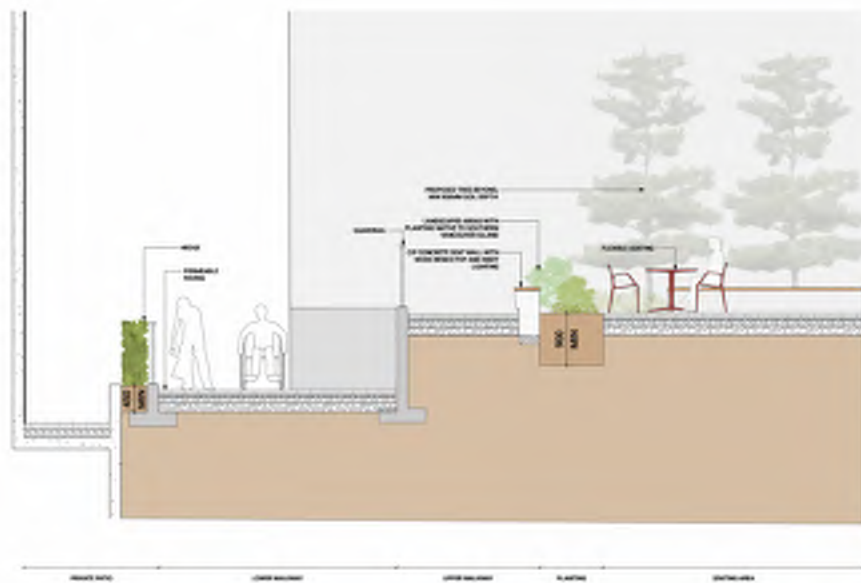
Revised
01-22-18 10:00 AM

SECTIONS + ELEVATIONS (2)

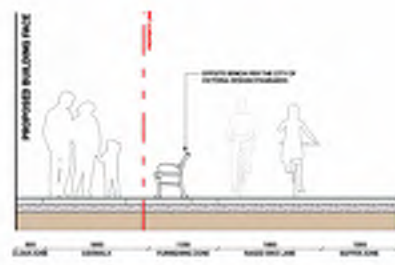
NO.	DESCRIPTION	DATE
1	Issue for Review/Comments	01-10-18
2	Issue for Review/Comments	01-17-18
3	Issue for Review/Comments	01-18-18



1 SECTION THROUGH PARKLET - FLEXIBLE SEATING AREA
 Scale: 1/8" = 1'-0"

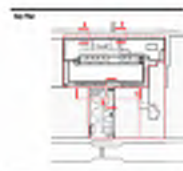


2 SECTION THROUGH PARKLET - RAMP AND ACCESS STAIRS
 Scale: 1/8" = 1'-0"



3 CLEARANCE STRATEGY
 Scale: 1/8" = 1'-0"

Item	Description	Quantity
1	Planting	100
2	Planting	100
3	Planting	100
4	Planting	100
5	Planting	100
6	Planting	100
7	Planting	100
8	Planting	100
9	Planting	100
10	Planting	100



Notes:
 1. All work to be done in accordance with the City of New York Department of Parks and Recreation (DPR) specifications for parklets.

SECTIONS + ELEVATIONS (2)

Item	Description	Quantity
1	Planting	100
2	Planting	100
3	Planting	100
4	Planting	100

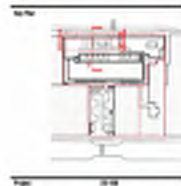


1 SECTION THROUGH ROOF AMENITY LOOKING NORTH
 Scale: 1/8" = 1'-0"



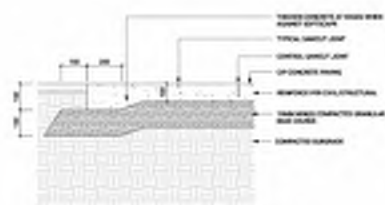
2 SECTION THROUGH ROOF AMENITY LOOKING NORTH
 Scale: 1/8" = 1'-0"

Item	Description	Qty
1	Plant in Bush Planter	20-00
2	Plant in Bush Planter	20-00
3	Plant in Bush Planter	20-00
4	Plant in Bush Planter	20-00
5	Plant in Bush Planter	20-00
6	Plant in Bush Planter	20-00
7	Plant in Bush Planter	20-00
8	Plant in Bush Planter	20-00
9	Plant in Bush Planter	20-00

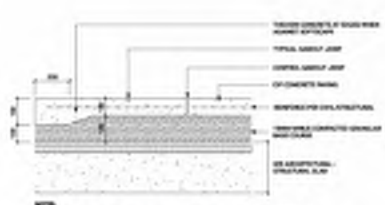


Notes:
 1. See Section 10.1 for details of the roof structure and waterproofing.
 2. All planters shall be constructed of 2" thick concrete with a 1/2" rebar grid.

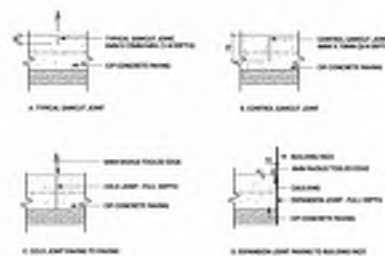
SECTIONS + ELEVATIONS (K)	
Scale	1/8" = 1'-0"
Project	100
Date	10/15/18
Sheet No.	100



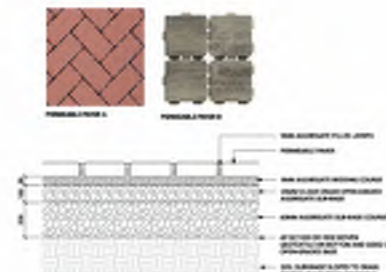
1 CIP CONCRETE - ON GRADE
Scale: 1/4"



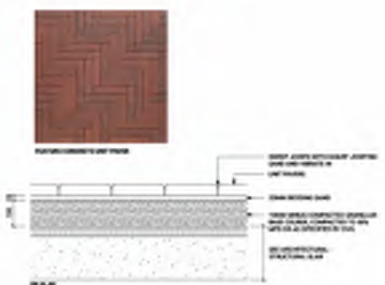
2 CIP CONCRETE - ON SLAB
Scale: 1/4"



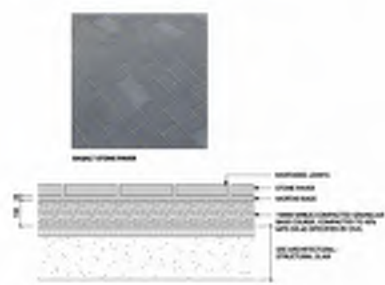
3 CIP CONCRETE PAVING JOINTS
Scale: 1/4"



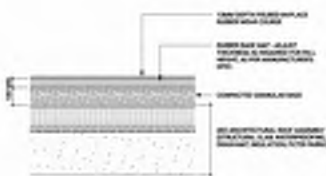
4 PERMEABLE CONCRETE UNIT PAVERS - ON GRADE
Scale: 1/4"



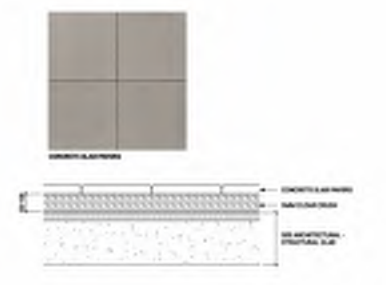
5 CONCRETE UNIT PAVERS - ON SLAB
Scale: 1/4"



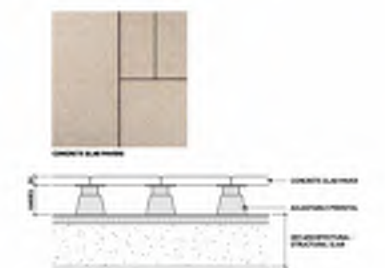
6 STONE PAVES - ON SLAB
Scale: 1/4"



7 RUBBER PAVER SURFACING - ON SLAB
Scale: 1/4"



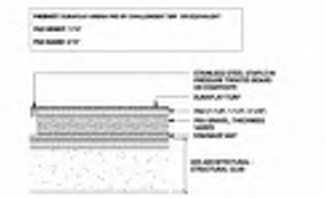
8 CONCRETE SLAB PAVERS - ON SLAB (P.V.P.)
Scale: 1/4"



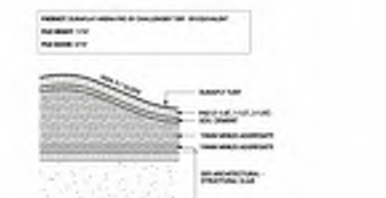
9 CONCRETE SLAB PAVERS ON PRECAST - ON SLAB (ROOF)
Scale: 1/4"



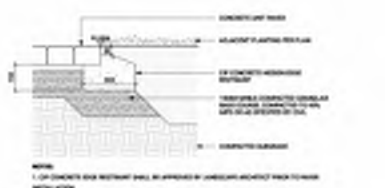
10 WOOD TILE - ON SLAB
Scale: 1/4"



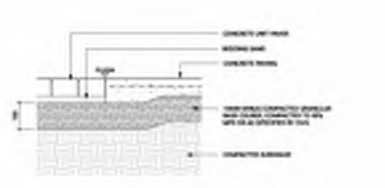
11 ARTIFICIAL TURF - ON SLAB
Scale: 1/4"



12 ARTIFICIAL TURF MOUND - ON SLAB
Scale: 1/4"



13 UNIT PAVES AT PLANTING
Scale: 1/4"



14 UNIT PAVES AT CONCRETE PAVING
Scale: 1/4"



15 GRAVEL DRAIN STRIP (ALUMINUM EDGING) - ON GRADE
Scale: 1/4"



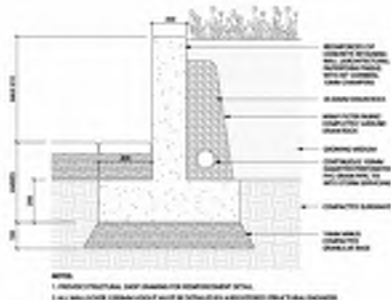
16 GRAVEL DRAIN STRIP (ALUMINUM EDGING) - ON SLAB
Scale: 1/4"



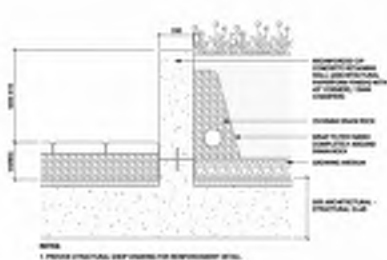
Material	Qty
1. Concrete	100
2. Sand	100
3. Gravel	100
4. Aluminum Edging	100
5. Rubber Pavers	100
6. Stone Pavers	100
7. Concrete Slab Pavers	100
8. Wood Tiles	100
9. Artificial Turf	100
10. Gravel	100

Hand-drawn
1/4" = 1'-0"
1/8" = 1'-0"

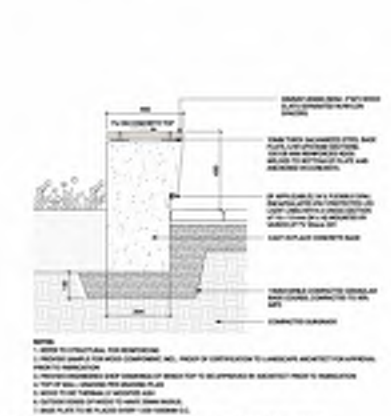
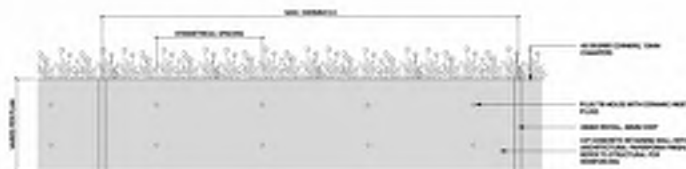
HARDSCAPE DETAILS
1/4" = 1'-0"
1/8" = 1'-0"



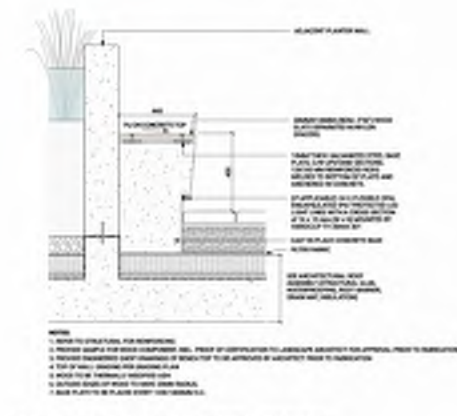
1 1' PRECAST STRUCTURAL CAST-IN-PLACE CONCRETE WALL - ON GRADE
Scale: 1/8\"/>



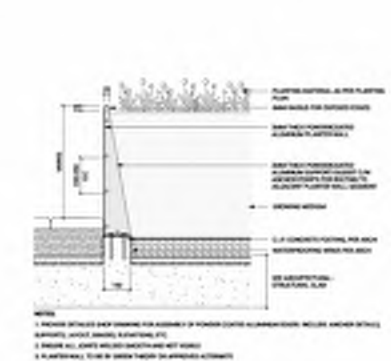
2 1' PRECAST STRUCTURAL CAST-IN-PLACE CONCRETE WALL - ON SLAB
Scale: 1/8\"/>



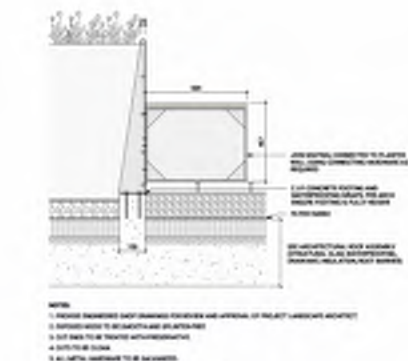
3 3' WOOD TOP BENCH WITH CONCRETE BASE ON GRADE
Scale: 1/8\"/>



4 3' WOOD TOP BENCH WITH CONCRETE BASE ON SLAB
Scale: 1/8\"/>



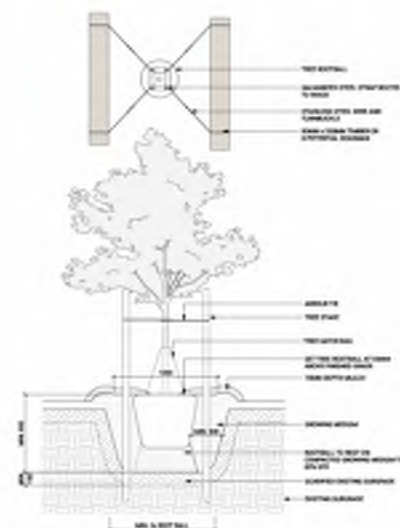
5 METAL PLANTER WALL ON FOOTING - ON GRADE
Scale: 1/8\"/>



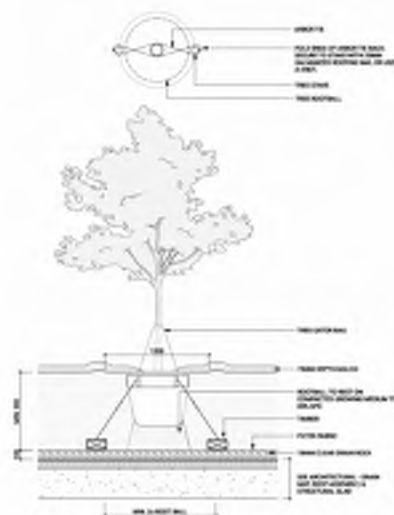
6 3' WOOD TOP BENCH WITH METAL BASE ON SLAB
Scale: 1/8\"/>



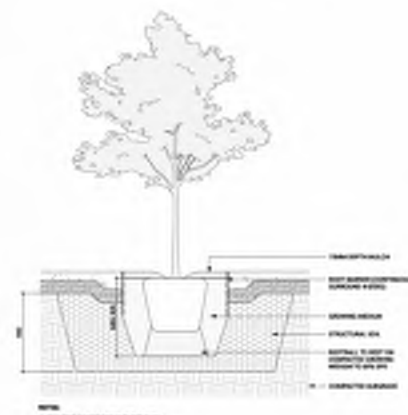
Revisions	Date
1. Issue for Review/Approval	08-18
2. Issue for Review/Approval	08-17
3. Issue for Review/Approval	08-16
4. Issue for Review/Approval	08-15
5. Issue for Review/Approval	08-14
6. Issue for Review/Approval	08-13
7. Issue for Review/Approval	08-12
8. Issue for Review/Approval	08-11
9. Issue for Review/Approval	08-10



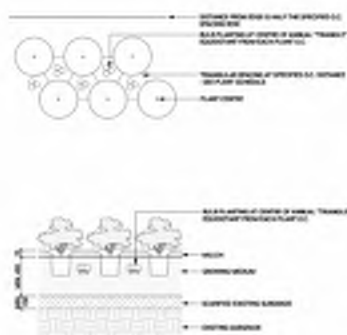
1 TREE PLANTING - ON GRADE
Scale: 1:100



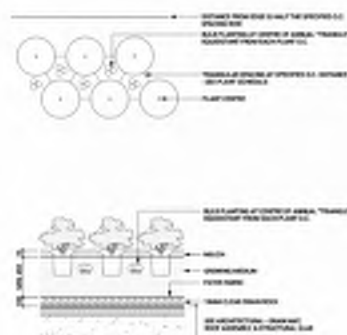
2 TREE PLANTING - ON SLAB
Scale: 1:100



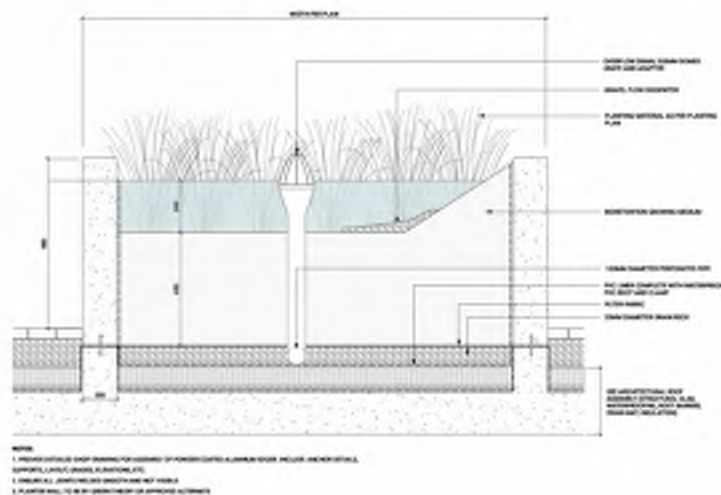
3 TREE PLANTING WITH STRUCTURAL SOIL
Scale: 1:100



4 PLANTING - ON GRADE
Scale: 1:100



5 PLANTING - ON SLAB
Scale: 1:100



6 RAIN GARDEN ON SLAB
Scale: 1:100



7 GREEN ROOF
Scale: 1:100



Item	Description	Qty
1	Gravel	100
2	Structural Soil	100
3	Gravel	100
4	Gravel	100
5	Gravel	100
6	Gravel	100
7	Gravel	100
8	Gravel	100
9	Gravel	100
10	Gravel	100

Page: 10/10

Version:

01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

SOFTSCAPE & TREE DETAILS

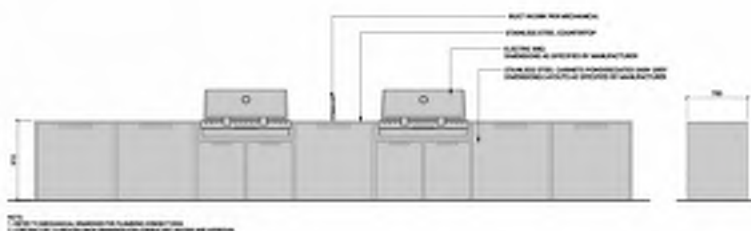
Item	Description	Qty
1	Gravel	100
2	Structural Soil	100
3	Gravel	100
4	Gravel	100



1 BENCH BACK
Scale: 1/8"



2 FIRE PIT
Scale: 1/8"



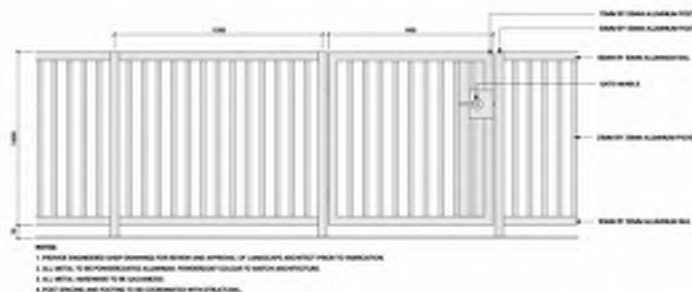
3 BBQ AND COUNTER
Scale: 1/8"



4 PERGOLA
Scale: 1/8"



5 PLAY STRUCTURE
Scale: 1/8"



6 FENCE AND GATE
Scale: 1/8"



Item	Description	Unit
1	Seat for Bench/Backrest	20-20
2	Seat for Bench/Counter	20-17
3	Seat for Bench/Backrest	20-20
4	Seat for BBQ	20-20
5	Seat for Bench/Backrest	20-20
6	Seat for BBQ	20-20
7	Seat for Bench/Backrest	20-20
8	Seat for Bench/Backrest	20-20
9	Seat for BBQ	20-20

Item	Description	Unit
1	Seat for Bench/Backrest	20-20
2	Seat for Bench/Counter	20-17
3	Seat for Bench/Backrest	20-20
4	Seat for BBQ	20-20
5	Seat for Bench/Backrest	20-20
6	Seat for BBQ	20-20
7	Seat for Bench/Backrest	20-20
8	Seat for Bench/Backrest	20-20
9	Seat for BBQ	20-20

BACKLIT FURNISHING AND LIGHTING

The design team has selected a range of backlit furniture and lighting for the Rock Bit project. The furniture is designed to be durable and low-maintenance, while the lighting is designed to be energy-efficient and long-lasting. The backlit furniture and lighting will provide a modern and sophisticated look to the project.



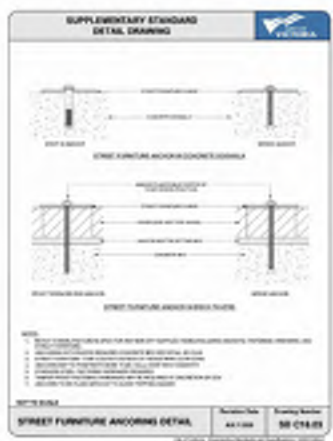
Notes:
1. All furniture and lighting fixtures shall be backlit with LED lighting.
2. All furniture and lighting fixtures shall be made of powder-coated steel.
3. All furniture and lighting fixtures shall be designed to be durable and low-maintenance.
4. All furniture and lighting fixtures shall be designed to be energy-efficient and long-lasting.

CHINA TOWN FURNISHING AND LIGHTING

The design team has selected a range of furniture and lighting for the China Town project. The furniture is designed to be durable and low-maintenance, while the lighting is designed to be energy-efficient and long-lasting. The furniture and lighting will provide a traditional and authentic look to the project.



Notes:
1. All furniture and lighting fixtures shall be made of traditional Chinese materials.
2. All furniture and lighting fixtures shall be designed to be durable and low-maintenance.
3. All furniture and lighting fixtures shall be designed to be energy-efficient and long-lasting.

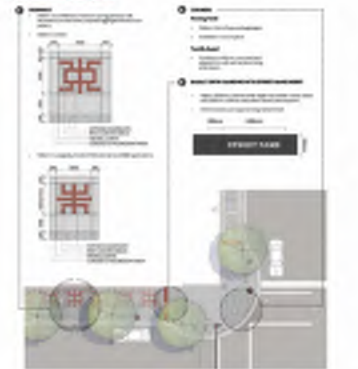


3. COV STREET FURNISHING STREET FURNISHING ANCHORING DETAIL

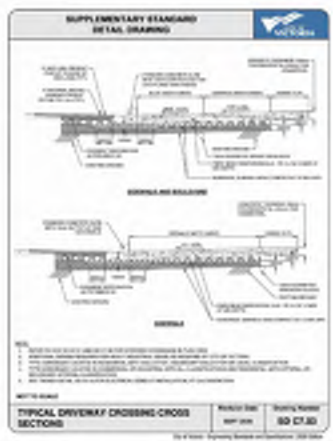
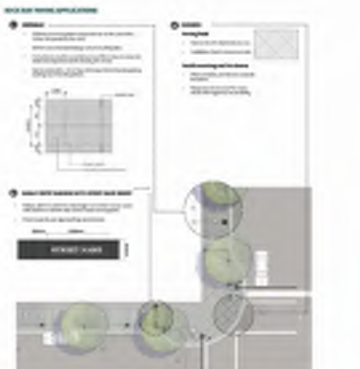
1. ROCK BIT STANDARD FURNISHING AND LIGHTING

2. CHINA TOWN FURNISHING AND LIGHTING

CONCRETE PAVING APPLICATIONS



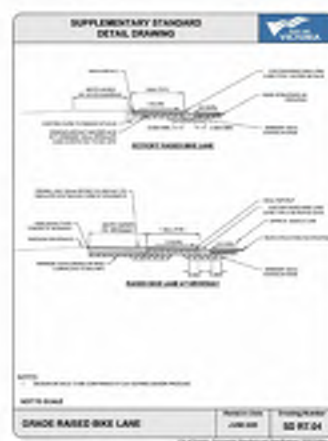
CHINA TOWN PAVING APPLICATIONS



6. COV CP CONCRETE SIDEWALK

4. ROCK BIT STREETSCAPE PAVING PATTERN

5. CHINA TOWN STREETSCAPE PAVING PATTERN

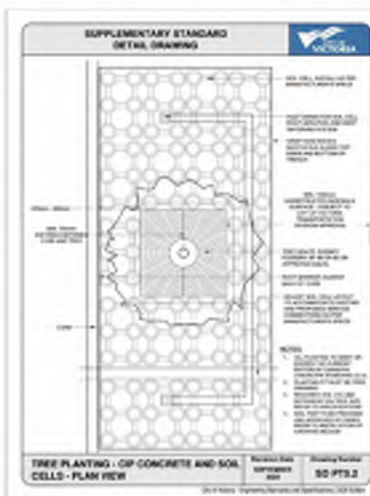


7. COV BIKE LANE DETAIL

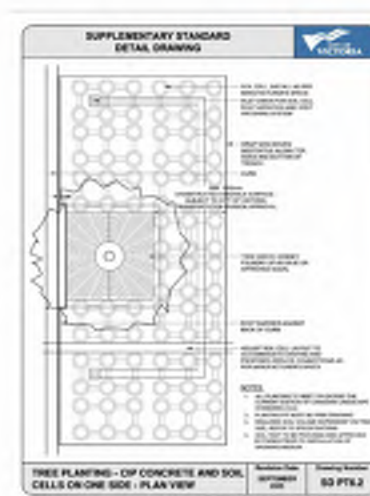
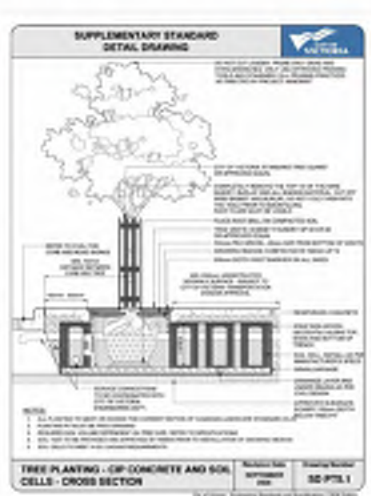


No.	Description	Date
1	Issue for Review/Approval	04-10-20
2	Issue for Review/Approval	04-10-20
3	Issue for Review/Approval	04-10-20
4	Issue for Review/Approval	04-10-20
5	Issue for Review/Approval	04-10-20
6	Issue for Review/Approval	04-10-20
7	Issue for Review/Approval	04-10-20
8	Issue for Review/Approval	04-10-20
9	Issue for Review/Approval	04-10-20
10	Issue for Review/Approval	04-10-20

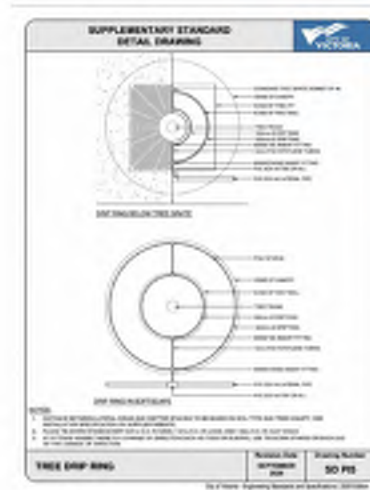
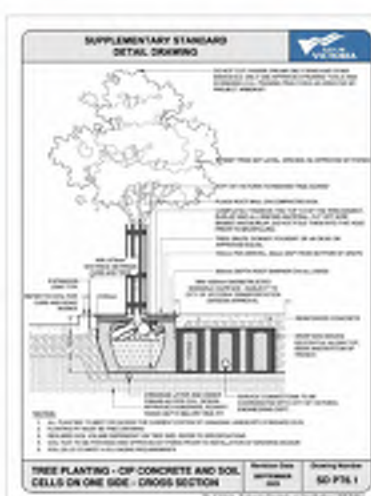
No.	Description	Date
1	Issue for Review/Approval	04-10-20
2	Issue for Review/Approval	04-10-20
3	Issue for Review/Approval	04-10-20
4	Issue for Review/Approval	04-10-20



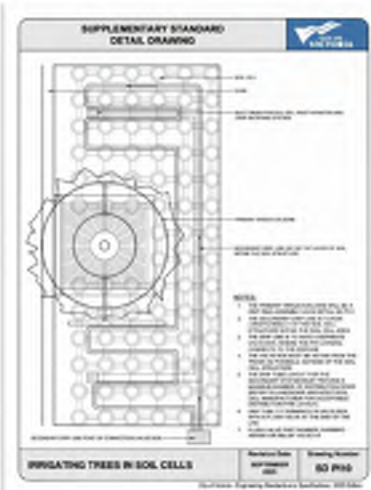
1. CIP SOIL CELLS ON TWO SIDES WITH TREE GRATE



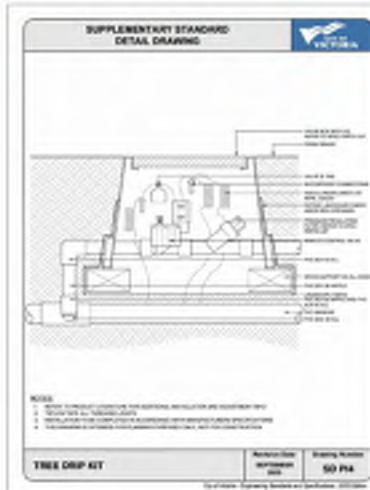
2. CIP SOIL CELLS ON ONE SIDE WITH TREE GRATE



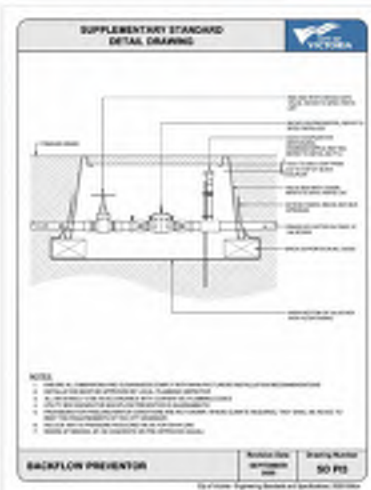
3. CIP TREE DRIP RING IRRIGATION



4. CIP IRRIGATING TREES IN SOIL CELLS



5. CIP TREE DRIP KIT



6. CIP BACKFLOW PREVENTOR



Revised

No.	Description	Date
1	Issue for Tender/Construction	01/01/14
2	Issue for Tender/Construction	01/01/14
3	Issue for Tender/Construction	01/01/14
4	Issue for RCP	01/01/14
5	Issue for Tender/Construction	01/01/14
6	Issue for RCP	01/01/14
7	Issue for Tender/Construction	01/01/14
8	Issue for RCP	01/01/14

As Shown

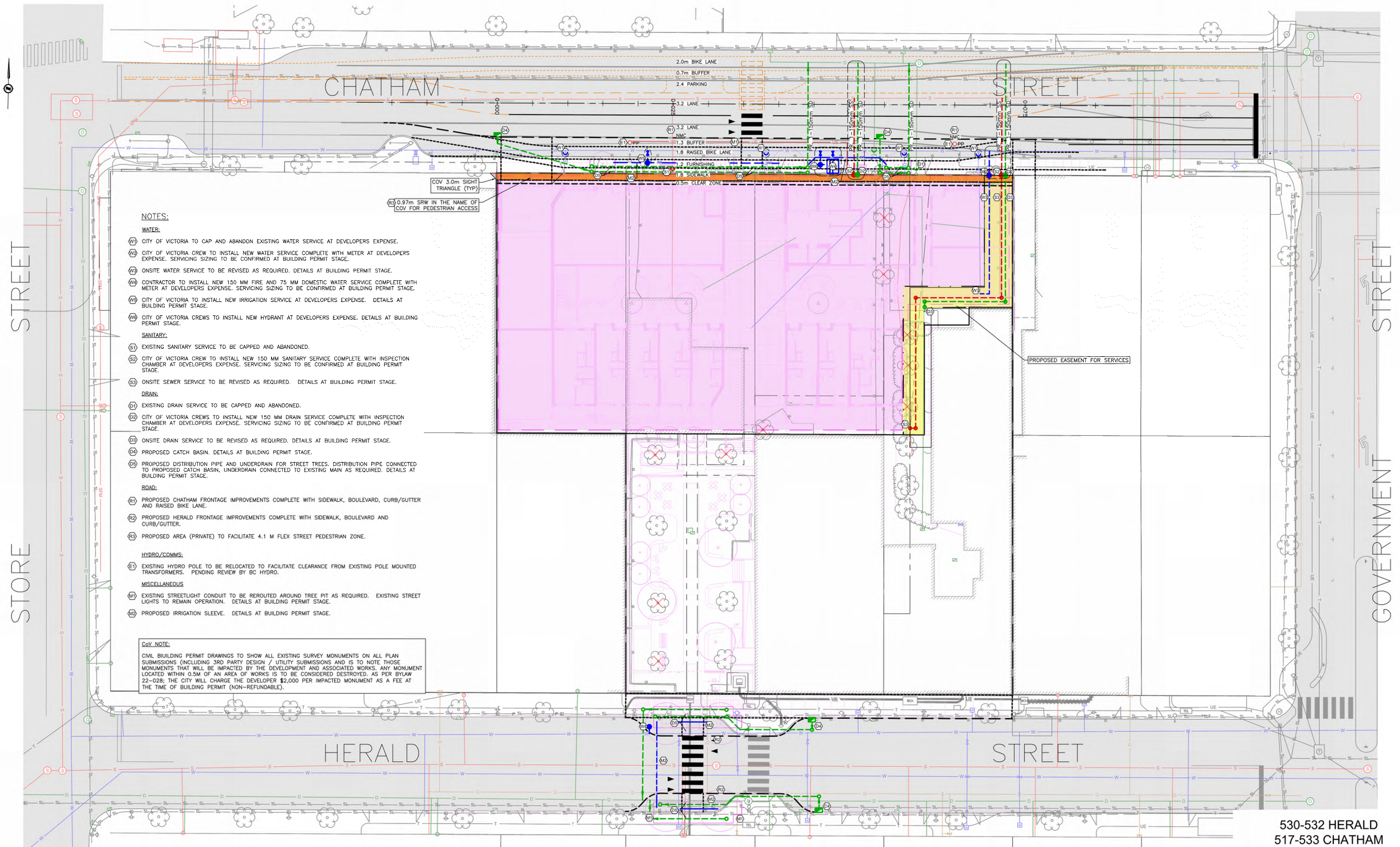
Page: 28/28

Revised

SO-PTS.2 (2)

OFFSITE DETAILS (2)

Item	Unit	Quantity	Value
1	sq	10	\$1000



NOTES:

WATER:

- (W1) CITY OF VICTORIA TO CAP AND ABANDON EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
- (W2) CITY OF VICTORIA CREW TO INSTALL NEW WATER SERVICE COMPLETE WITH METER AT DEVELOPERS EXPENSE. SERVICING SIZING TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (W3) ONSITE WATER SERVICE TO BE REVISED AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.
- (W4) CONTRACTOR TO INSTALL NEW 150 MM FIRE AND 75 MM DOMESTIC WATER SERVICE COMPLETE WITH METER AT DEVELOPERS EXPENSE. SERVICING SIZING TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (W5) CITY OF VICTORIA TO INSTALL NEW IRRIGATION SERVICE AT DEVELOPERS EXPENSE. DETAILS AT BUILDING PERMIT STAGE.
- (W6) CITY OF VICTORIA CREWS TO INSTALL NEW HYDRANT AT DEVELOPERS EXPENSE. DETAILS AT BUILDING PERMIT STAGE.

SANITARY:

- (S1) EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED.
- (S2) CITY OF VICTORIA CREW TO INSTALL NEW 150 MM SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. SERVICING SIZING TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (S3) ONSITE SEWER SERVICE TO BE REVISED AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.

DRAIN:

- (D1) EXISTING DRAIN SERVICE TO BE CAPPED AND ABANDONED.
- (D2) CITY OF VICTORIA CREWS TO INSTALL NEW 150 MM DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. SERVICING SIZING TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (D3) ONSITE DRAIN SERVICE TO BE REVISED AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.
- (D4) PROPOSED CATCH BASIN. DETAILS AT BUILDING PERMIT STAGE.
- (D5) PROPOSED DISTRIBUTION PIPE AND UNDERDRAIN FOR STREET TREES. DISTRIBUTION PIPE CONNECTED TO PROPOSED CATCH BASIN, UNDERDRAIN CONNECTED TO EXISTING MAIN AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.

ROAD:

- (R1) PROPOSED CHATHAM FRONTAGE IMPROVEMENTS COMPLETE WITH SIDEWALK, BOULEVARD, CURB/GUTTER AND RAISED BIKE LANE.
- (R2) PROPOSED HERALD FRONTAGE IMPROVEMENTS COMPLETE WITH SIDEWALK, BOULEVARD AND CURB/GUTTER.
- (R3) PROPOSED AREA (PRIVATE) TO FACILITATE 4.1 M FLEX STREET PEDESTRIAN ZONE.

HYDRO/COMMS:

- (E1) EXISTING HYDRO POLE TO BE RELOCATED TO FACILITATE CLEARANCE FROM EXISTING POLE MOUNTED TRANSFORMERS. PENDING REVIEW BY BC HYDRO.

MISCELLANEOUS

- (M1) EXISTING STREETLIGHT CONDUIT TO BE REROUTED AROUND TREE PIT AS REQUIRED. EXISTING STREET LIGHTS TO REMAIN OPERATION. DETAILS AT BUILDING PERMIT STAGE.
- (M2) PROPOSED IRRIGATION SLEEVE. DETAILS AT BUILDING PERMIT STAGE.

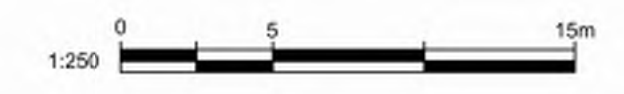
CoV. NOTE:

CIVIL BUILDING PERMIT DRAWINGS TO SHOW ALL EXISTING SURVEY MONUMENTS ON ALL PLAN SUBMISSIONS (INCLUDING 3RD PARTY DESIGN / UTILITY SUBMISSIONS AND IS TO NOTE THOSE MONUMENTS THAT WILL BE IMPACTED BY THE DEVELOPMENT AND ASSOCIATED WORKS. ANY MONUMENT LOCATED WITHIN 0.5M OF AN AREA OF WORKS IS TO BE CONSIDERED DESTROYED. AS PER BYLAW 22-028; THE CITY WILL CHARGE THE DEVELOPER \$2,000 PER IMPACTED MONUMENT AS A FEE AT THE TIME OF BUILDING PERMIT (NON-REFUNDABLE).

COV 3.0m SIGHT TRIANGLE (TYP)
 RE: 0.97m SRW IN THE NAME OF COV FOR PEDESTRIAN ACCESS

PROPOSED EASEMENT FOR SERVICES

ISSUED FOR DISCUSSION



530-532 HERALD
 517-533 CHATHAM
PRELIMINARY SERVICING PLAN

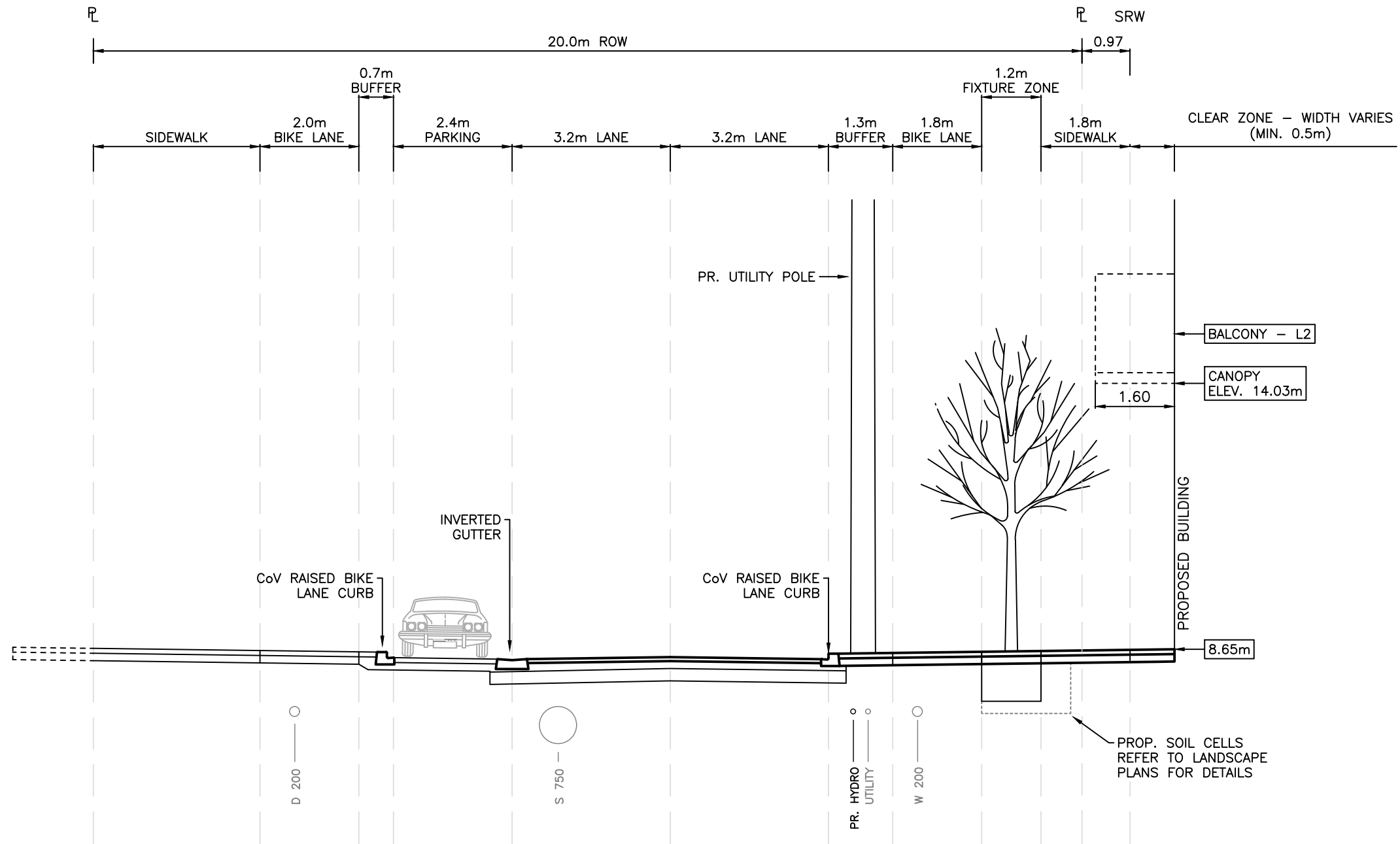
Scale
 horiz. 1:250 Scale
 vert. N/A
 Sheet 1 of 1
 Eng. Project No. 35054




LEGEND		
LAMP STANDARD	LS	◆
POLE(Hydro, Tel.)	PP	◆
U/G WIRING	UE	—
GAS	G	—
WATER	W	—
SEWER	S	—
DRAIN	D	—
CLEANOUT	CO	□
CATCHBASIN	CB	□
MANHOLE	MH	○
SERVICE RISER	SR	○
MOUNTABLE CURB	MC	—
NON-MOUNT. CURB	NMC	—
EDGE ASPHALT	EA	—
DITCH	D	—
METER	M	○
FLUSH VALVE	FV	○
VALVE	V	○
REDUCER	R	○
HYDRANT	H	○
AIR VALVE	AV	○

JEA J E ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS
 VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
 PHONE: 250-727-2214 info@jeanderson.com

V:\Projects\35054 - Intracorp - 530 - 532 Herald 517 - 532 Chatham\05 - Engineering\03 - Drawings & Sketches (Eng)\35054 - PRODUCTION - DP.dwg
 Printed: May 1, 2026



 J E ANDERSON & ASSOCIATES SURVEYORS - ENGINEERS VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER PHONE: 250-727-2214 info@jeanderson.com	CLIENT	INTRACORP
	PROJECT	CITY OF VICTORIA 530-532 HERALD & 517-533 CHATHAM TYPICAL SECTION
DRAWN: JA	SCALE: 1:100	
DATE: 20260501		
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