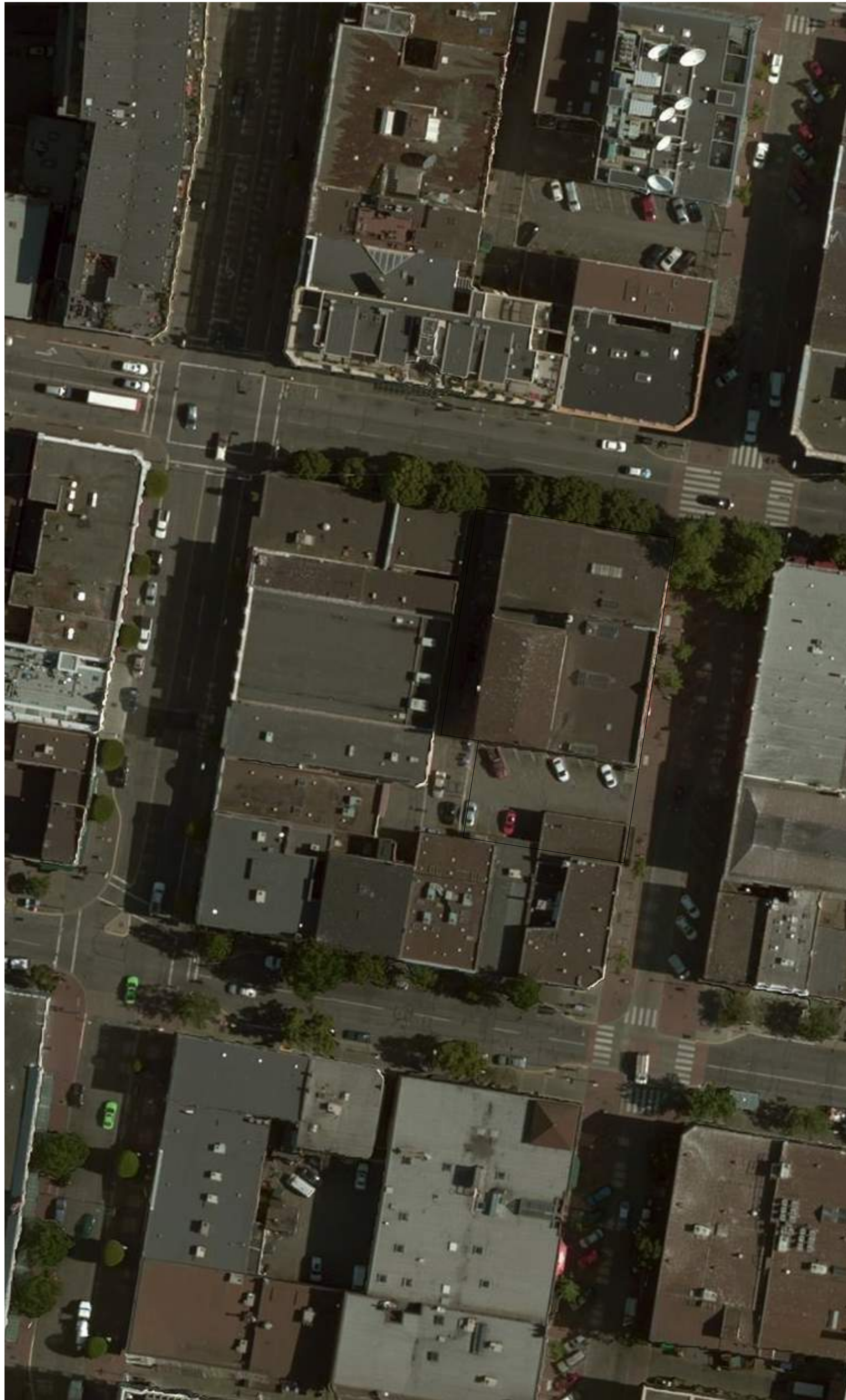
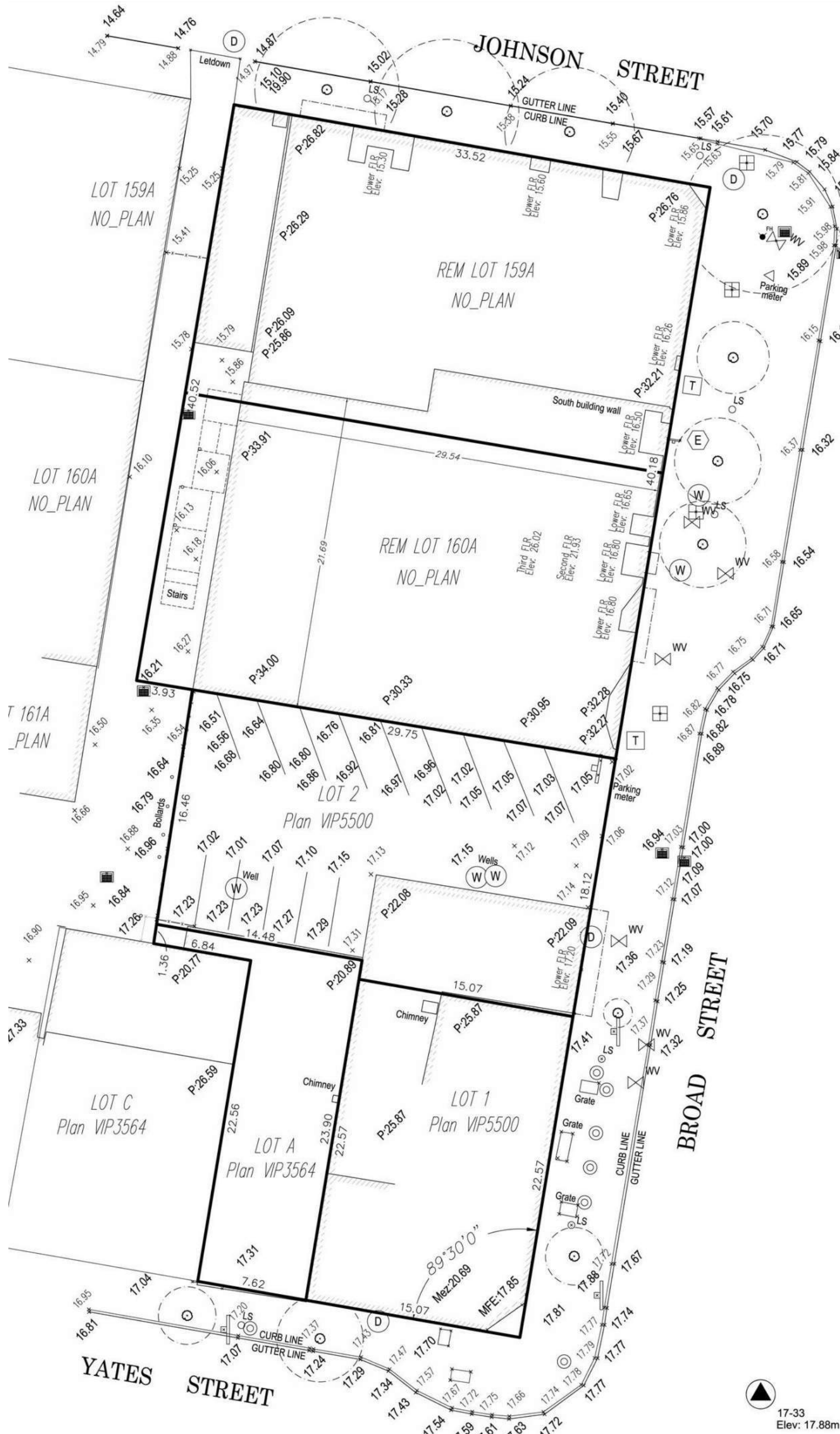
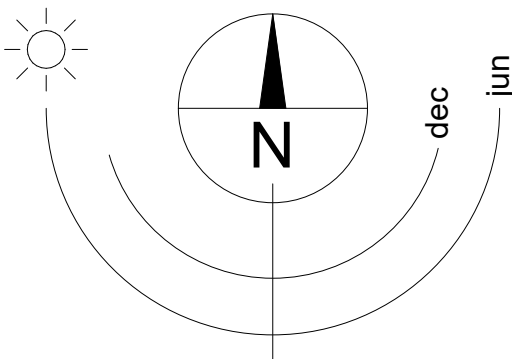




1 Context Aerial
A001 SCALE: N.T.S.



2 Context Survey Plan
A001 SCALE: N.T.S.



PROJECT DESCRIPTION

CIVIC ADDRESS:
1312-1324 BROAD STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500, AND
REM. LOT 160A ABD REM. LOT 160A.
VICTORIA DISTRICT

REGISTERED OWNER
University of Victoria
3800 Finnerty Rd
P.O. Box 3040 STN. SCC
Victoria, BC
V8W 3N7

Chris Mooi
tel: 604.558-7849

chris@charddevelopment.com

DEVELOPER
CHARD DEVELOPMENT LTD
#500, 509 Richards Street
Victoria, BC
V6B 2Z6

ARCHITECT
de Hoog & Kierulf architects
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V8T 3K3

Charles Kierulf AIBC
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fax: 250.658-3397
crk@dhk.ca

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fax: 250.381-7900
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Victoria, BC
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ELECTRICAL CONSULTANT
Applied Engineering Solutions Ltd.
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Victoria, BC
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LANDSCAPE ARCHITECT
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GEOTECHNICAL
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Victoria, BC
V8T 1S3

Isabelle Maltais
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isabelle@ryzuk.com

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101 - 2610 Douglas St.
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V8T 4M1

Kenneth Ng
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fax: 250
kennet@explorersurvey.com

ENVELOPE
RJC
220 - 645 Tyee Road
Victoria, BC
V9A 6X5

Kevin Pickwick
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kpickwick@rjc.ca

VICTORIA ZONING

BUILDING DESCRIPTION:
6 STOREY HOTEL BUILDING

USES: RESIDENTIAL OCCUPANCY (HOTEL)

EXISTING ZONE: OTD-1 (2018)

PROPOSED ZONE: SITE SPECIFIC

DEVELOPMENT PERMIT AREA: DPA1 (HC) HISTORIC CORE

Broad Street Redevelopment

	Site 1
Civic Address	1312-1324 Broad St, Victoria, BC.
Legal Address	Rem Lot 159A + Rem Lot 160A + Lot 2 Plan VIP5500 + Part Part Lot A Plan VIP3564
Final Site Area (sm)	1,889
Final Gross Floor Area (sm)	7,462
Final FAR	3.95
Duck's Building Current Floor Area	2346
Duck's Building Retained Floor Area	2346
Total Floor Area (@ ground)	1361
Commercial Floor Area	670
Building Area Over City Property	
Site Coverage	90%
Open Site Space	10%
Average Grade	16.30
Height of Building	18.81
Roof Top Structures	1.68 from top of roof / 10.7 min from PL / 6.7 from roof edge / 5% Total Coverage
Number of Storeys	6
Parking Stalls on Site (Req'd)(Provided)	(34)(16)
Bicycle Parking Long Term (Req'd)(Provided)	(26)(26)
Bicycle Parking Short Term (Req'd)(Provided)	(0)(10)
Building Setbacks	
Front Yard	0 M
Rear Yard	0 M
Side Yard	0 M
Side Yard	0 M
Combined Side Yard	0 M
Residential Use Details	
Total Number of Units	135
Unit Type	Hotel
Ground-Orientated Units	0
Min Unit Floor Area	21
Total Residential Floor Area	4416



Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date:
February 20, 2020

Deemed Date:
February 5, 2020

LIST OF DRAWINGS

A001	Project Data	A401	Building Sections E-W
A100	Site Survey	A501	Site Context
A101	Site Plan	A502	Site Context
A202	P1 Parking Plan	A503	Shadow Studies
A203	Level 1	A504	Urban Context
A204	Level 2	A505	Urban Context
A205	Level 2A	A506	Perspective Studies
A206	Level 3	A507	Perspective Studies
A207	Level 4	A508	Perspective Studies
A208	Level 5	A510	Stone Wall
A209	Level 6		
A210	Roof Plan		
A301	North Elevation		
A302	South Elevation		
A303	East Elevation		
A304	West Elevations		

Rev	Date	Description	Revision
6	Feb-20-20	Revision 6	
5	Feb-04-20	Revision 5	
3	Nov-01-19	Revision 3	
2	Oct-08-19	Revision 2	
Rev	Date	Description	Revision
6	Feb-20-20	Revision 6	
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2	Oct-08-19	Revision 2	

NOTE: All dimensions are shown in millimeters.



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Victoria BC V8T 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8T 3K3

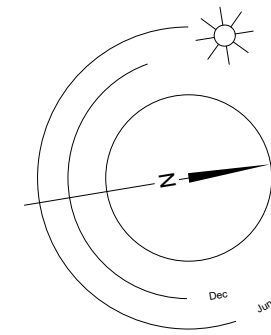
project number
A001

revision number
6

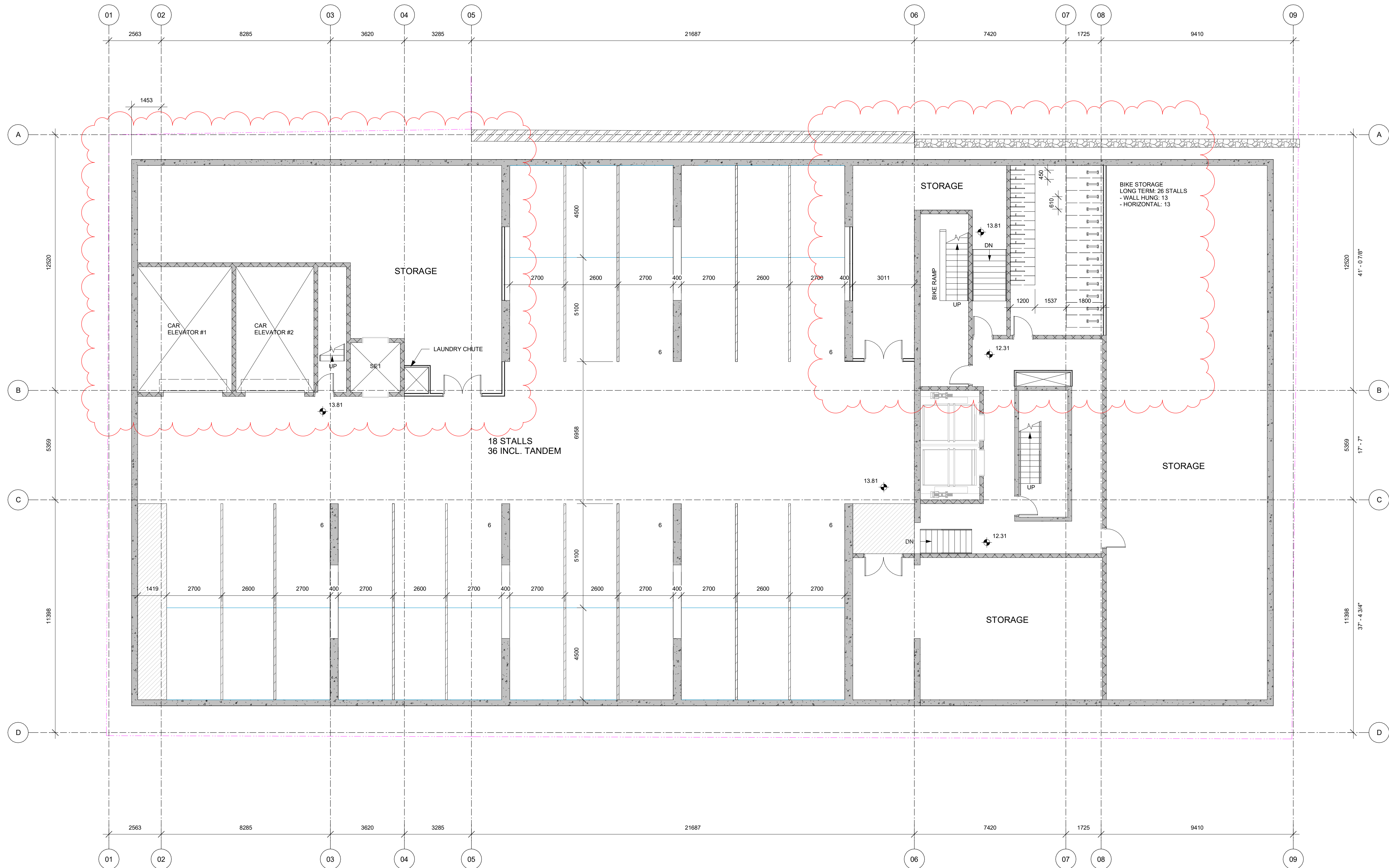
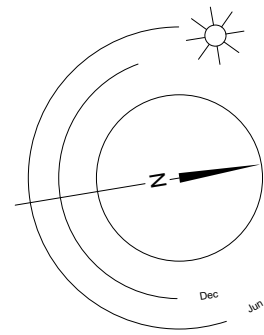
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drawing title
A001

revision number
6



NOTE: All dimensions are shown in millimeters.



1 Parkade Lv 1 - Overall
A202 SCALE: 1 : 100

6	Feb-20-20	Revision 6			
5	Feb-04-20	Revision 5			
4	Jan-08-20	Revision 4			
3	Nov-01-19	Revision 3			
2	Oct-08-19	Revision 2			
Rev	6	Date	Feb-20-20	Description	Revision 6
plot date	Issue Date		drawing file		
drawn by	Author		checked by	Checker	
scale	1 : 100		project number		1721

NOTE: All dimensions are shown in millimeters.

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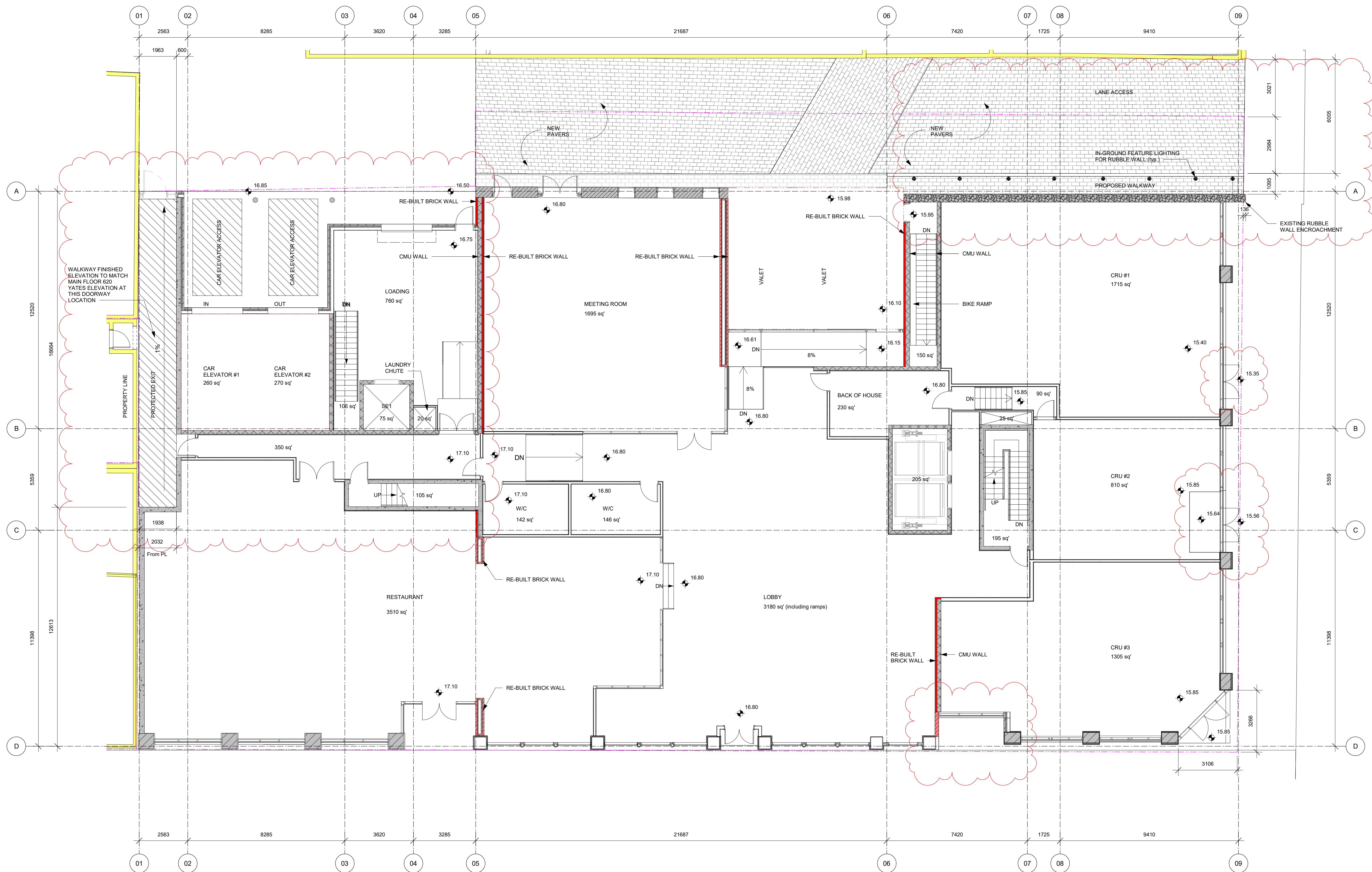
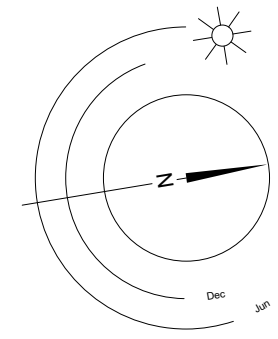
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T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8M 1R1

drawing
P1 Parking Plan

revision no.
A202

sheet no.
6



NOTE:
RE-BUILT BRICK WALL

1 Level 1 - Overall
A203 SCALE: 1 : 100

Rev	Date	Description	Revision
5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
3	Nov-01-19	Revision 3	
2	Oct-08-19	Revision 2	
Rev	Date	Description	Revision
5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
3	Nov-01-19	Revision 3	
2	Oct-08-19	Revision 2	

NOTE: All dimensions are shown in millimeters.

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T 1-250-658-3367

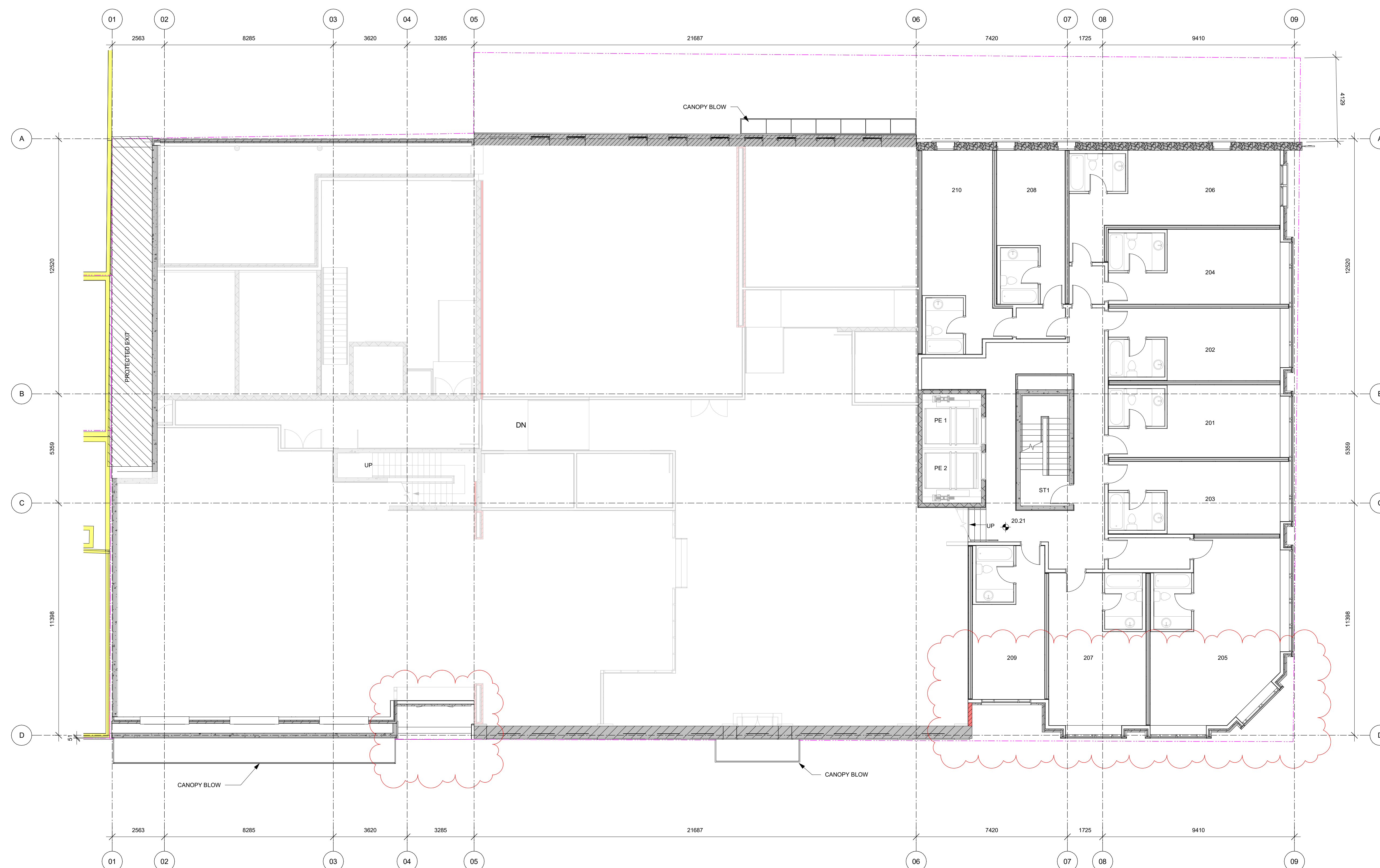
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102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

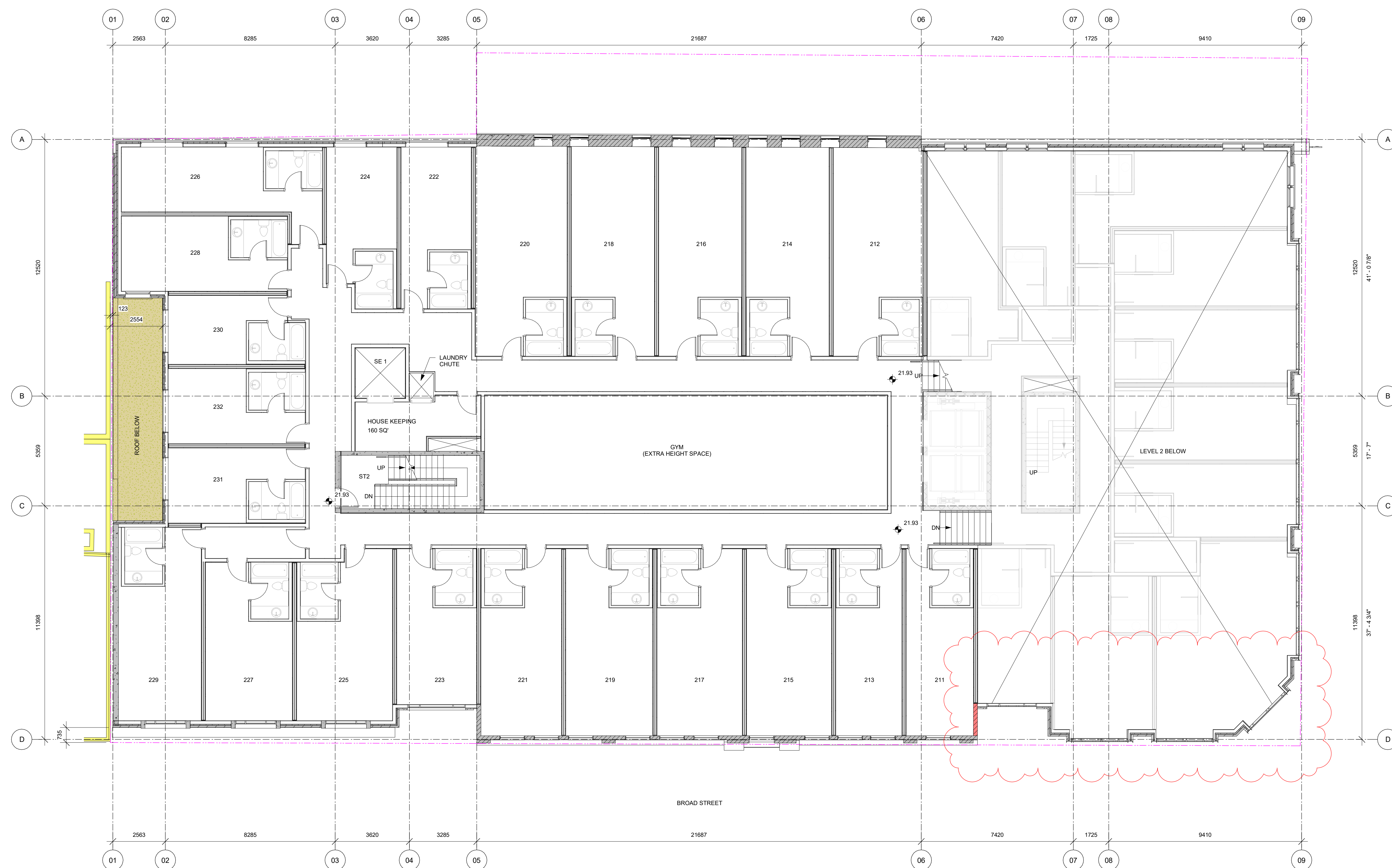
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision no.
Level 1

drawing no.
A203

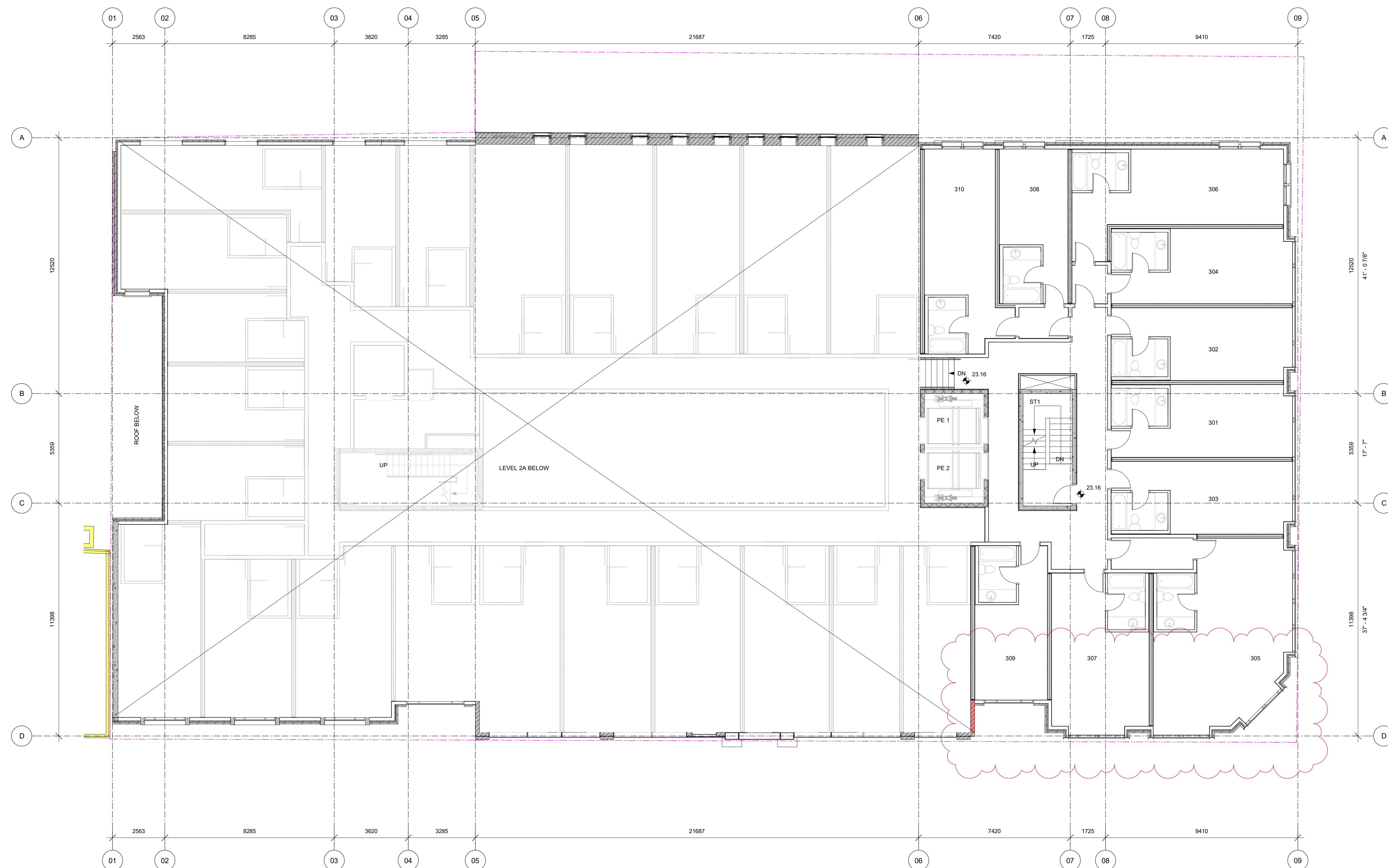
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5





5	Feb-04-20	Revision 5		
4	Jan-06-19	Revision 4		
2	Oct-08-19	Revision 2		
Rev	Date	Description		Revision
print date	Issue Date		drawing file	
drawn by	Author		checked by	Checker
scale	1 : 100	project number		17:

NOTE: All dimensions are shown in millimeters.



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NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2A2
T 1-250-885-0810

project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC **UNFINISHED**

drawing title

Level 3

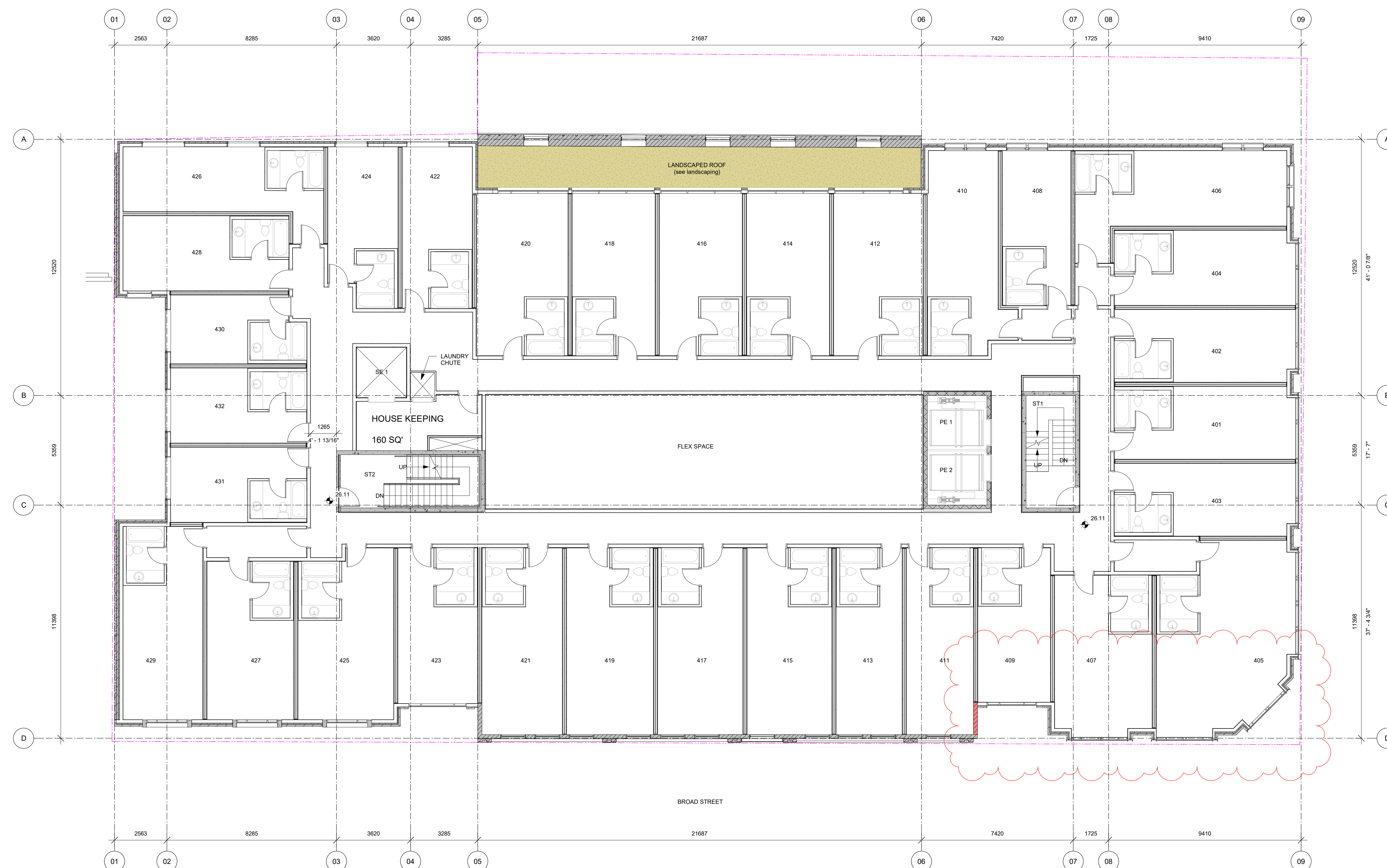
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drawing no.

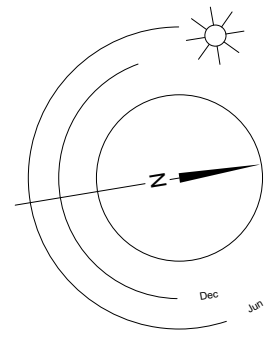
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revision no.

5



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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-628-3367		NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K1 T 1-250-885-5810
project name The Duck's Building 1312-1324 Broad Street Victoria, BC ^{UNIVERSITY} V8M 1H1 drawing title Level 4 CONCEPT DESIGN: THESE PLANS ARE CONCEPTS AND ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY BUILDING. ANYONE USING THESE PLANS FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY THE ARCHITECT ASSUMES ALL LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND. NO PART OF THESE PLANS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.		
drawing by A207	drawing by 5	



1 Level 5 - Overall
A208 SCALE: 1 : 100

Rev	S	Date	Issue Date	Description	Revision
5		Feb-04-20	Revision 5		
4		Jan-08-20	Revision 4		
2		Oct-08-19	Revision 2		

NOTE: All dimensions are shown in millimeters.

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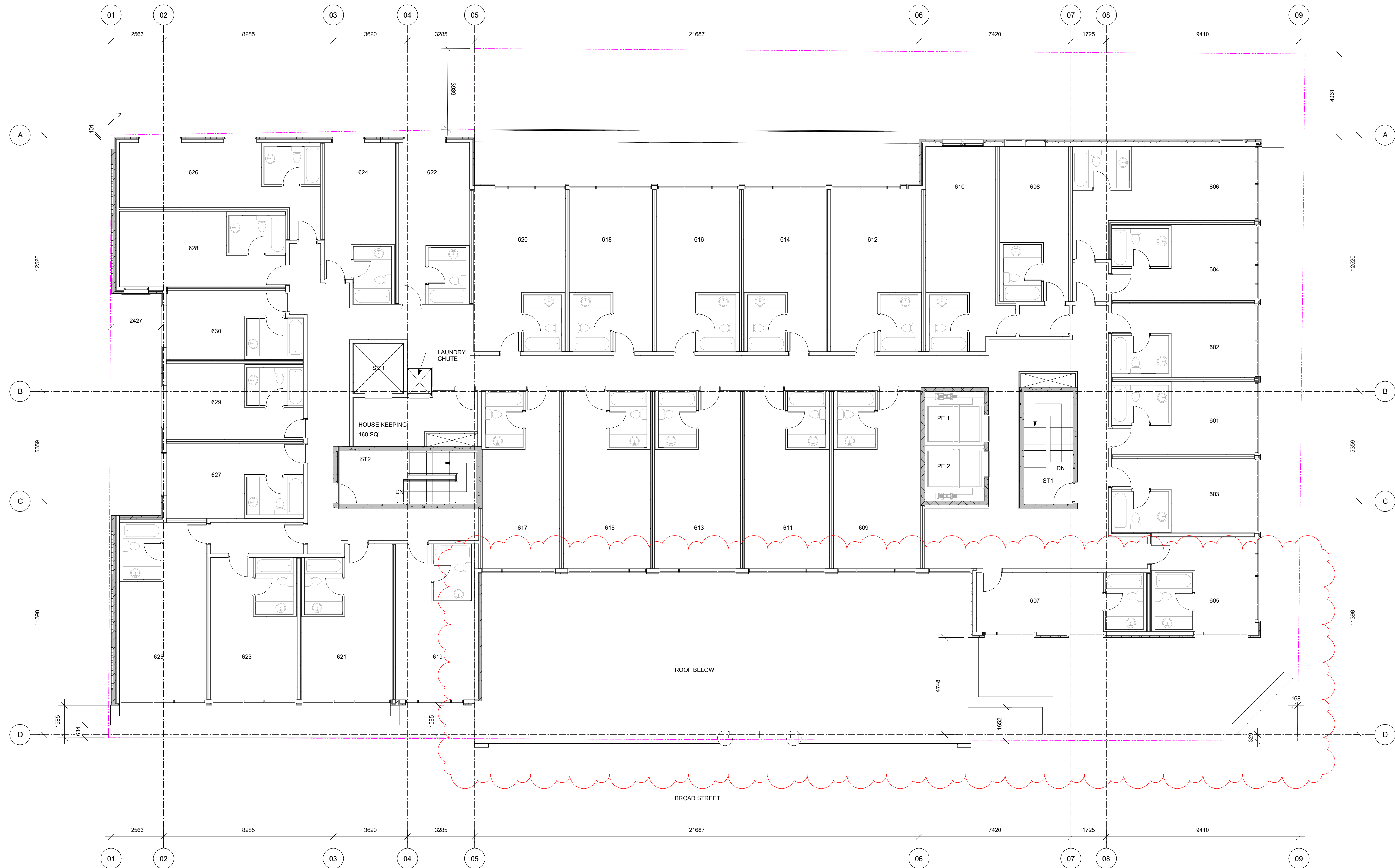
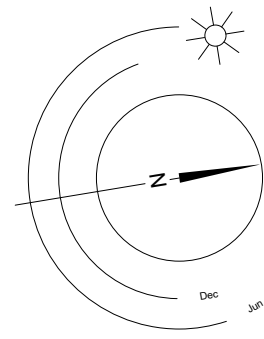
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision
Level 5

author
A208

revision no.
5



1 Level 6 - Overall
A209 SCALE: 1 : 100

Rev	S	Date	Issue Date	Description	Revision
5		Feb-04-20		Revision 5	
4		Jan-08-20		Revision 4	
2		Oct-08-19		Revision 2	
Rev	S	Date	Issue Date	Description	Revision
5		Feb-04-20		Revision 5	

NOTE: All dimensions are shown in millimeters.

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T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision
Level 6

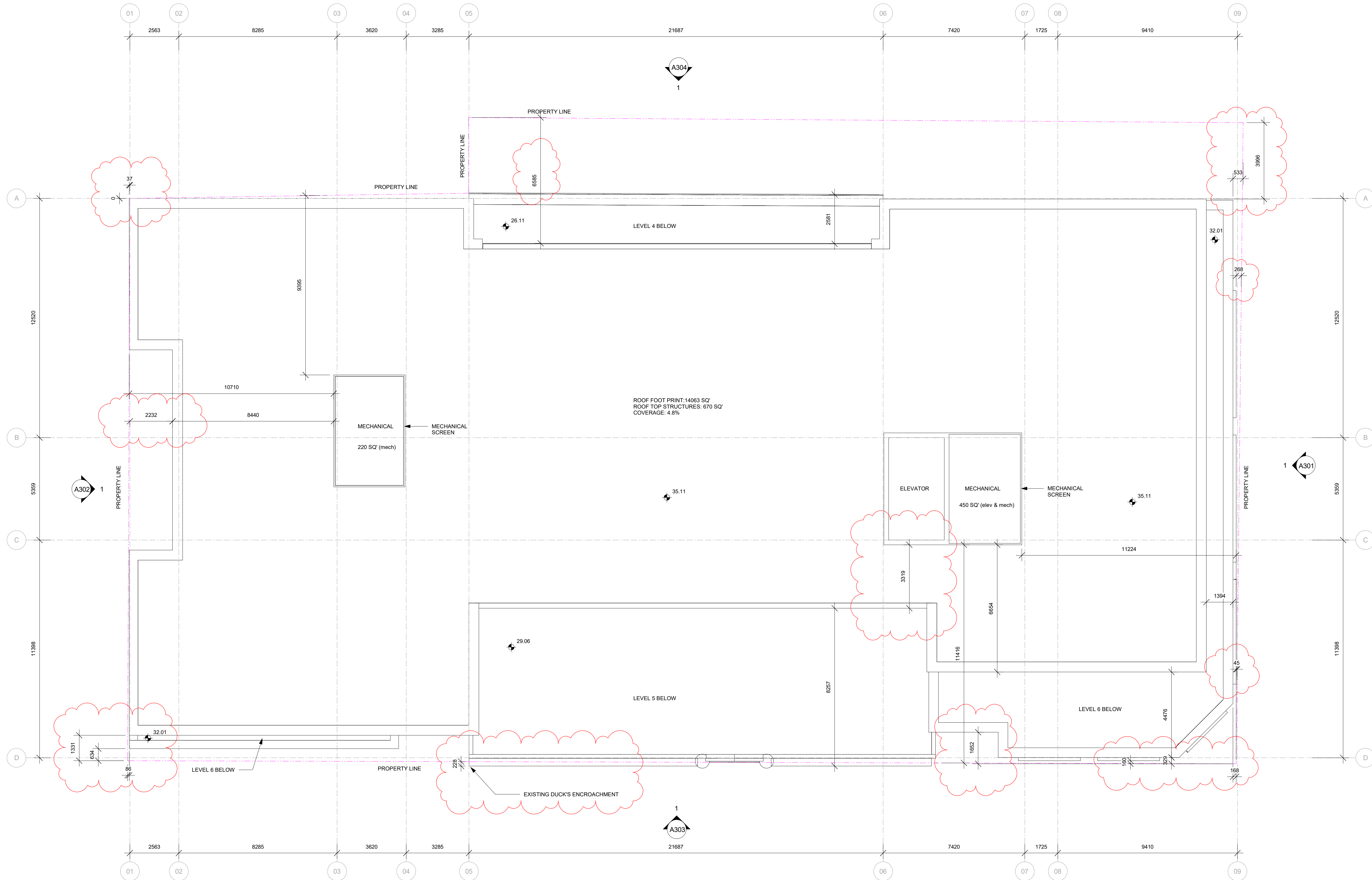
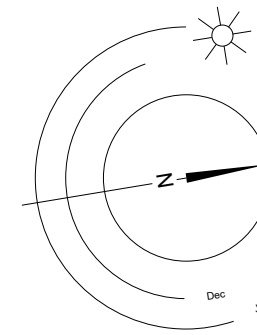
author
A209

revision no.
5

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drawn by
checked by
scale
1 : 100
project number
1721

checker



1 T.o.Roof - Overall
A210 SCALE: 1 : 100

Rev	Date	Issue Date	Revised By	Revision
6	Feb-20-20	Revision 6		
5	Feb-04-20	Revision 5		
4	Jan-08-20	Revision 4		
3	Nov-01-19	Revision 3		

NOTE: All dimensions are shown in millimeters.

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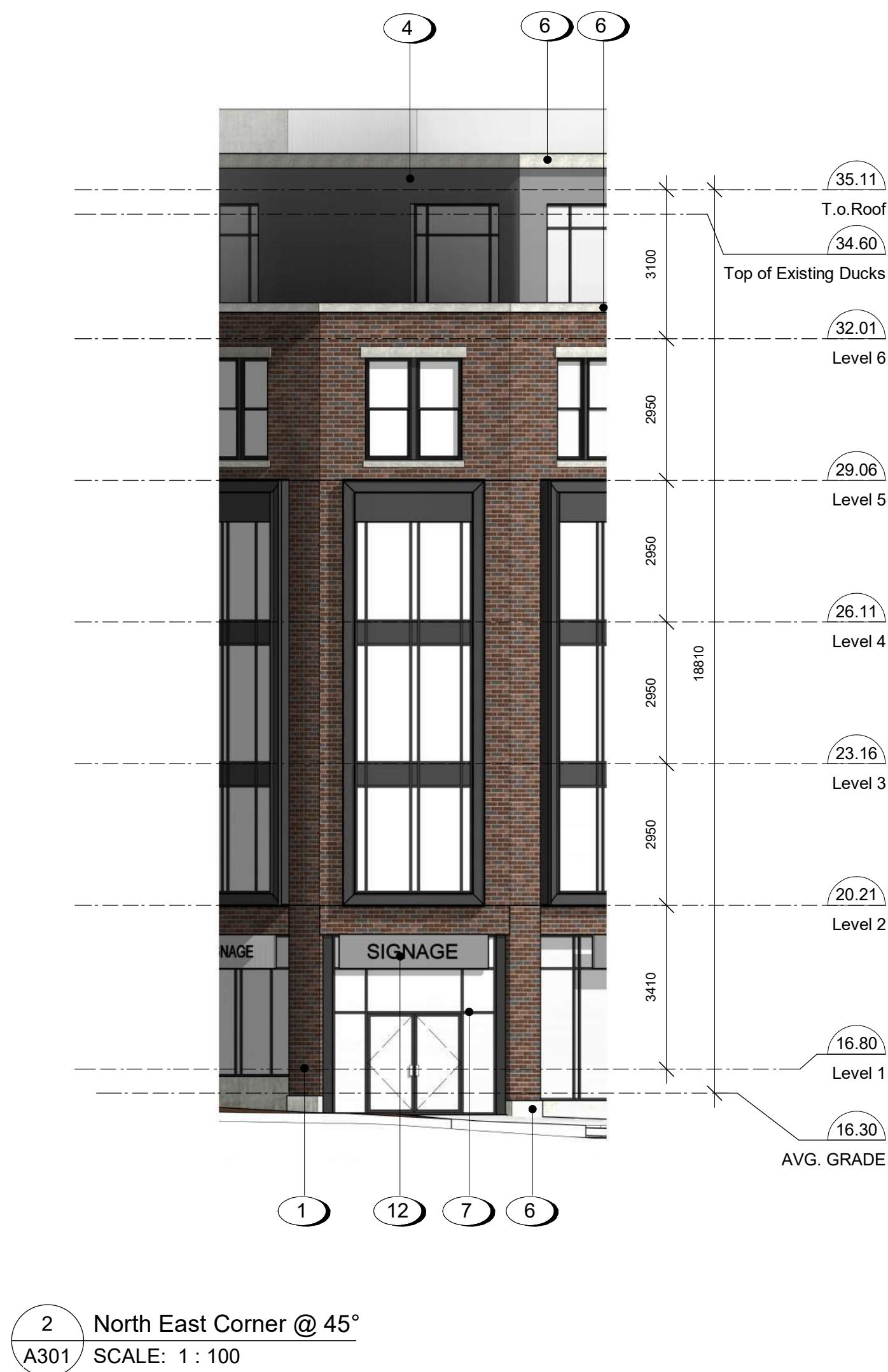
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

Roof Plan

sheet no.
A210

revision no.
6



Material Schedule North

- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

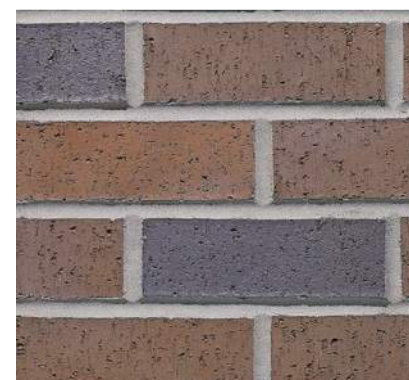
- 2 BRICK MASONRY VENEER CLADDING - WHEAT



- 3 METAL PANEL - LT GREY



- 1 BRICK MASONRY VENEER CLADDING - FOREST BLEND



- 4 METAL PANEL - DK GREY



Rev	S	Date	Issue Date	Revision
5		Feb-04-20		Revision 5
4		Jan-08-20		Revision 4
2		Oct-08-19		Revision 2

NOTE: All dimensions are shown in millimeters.

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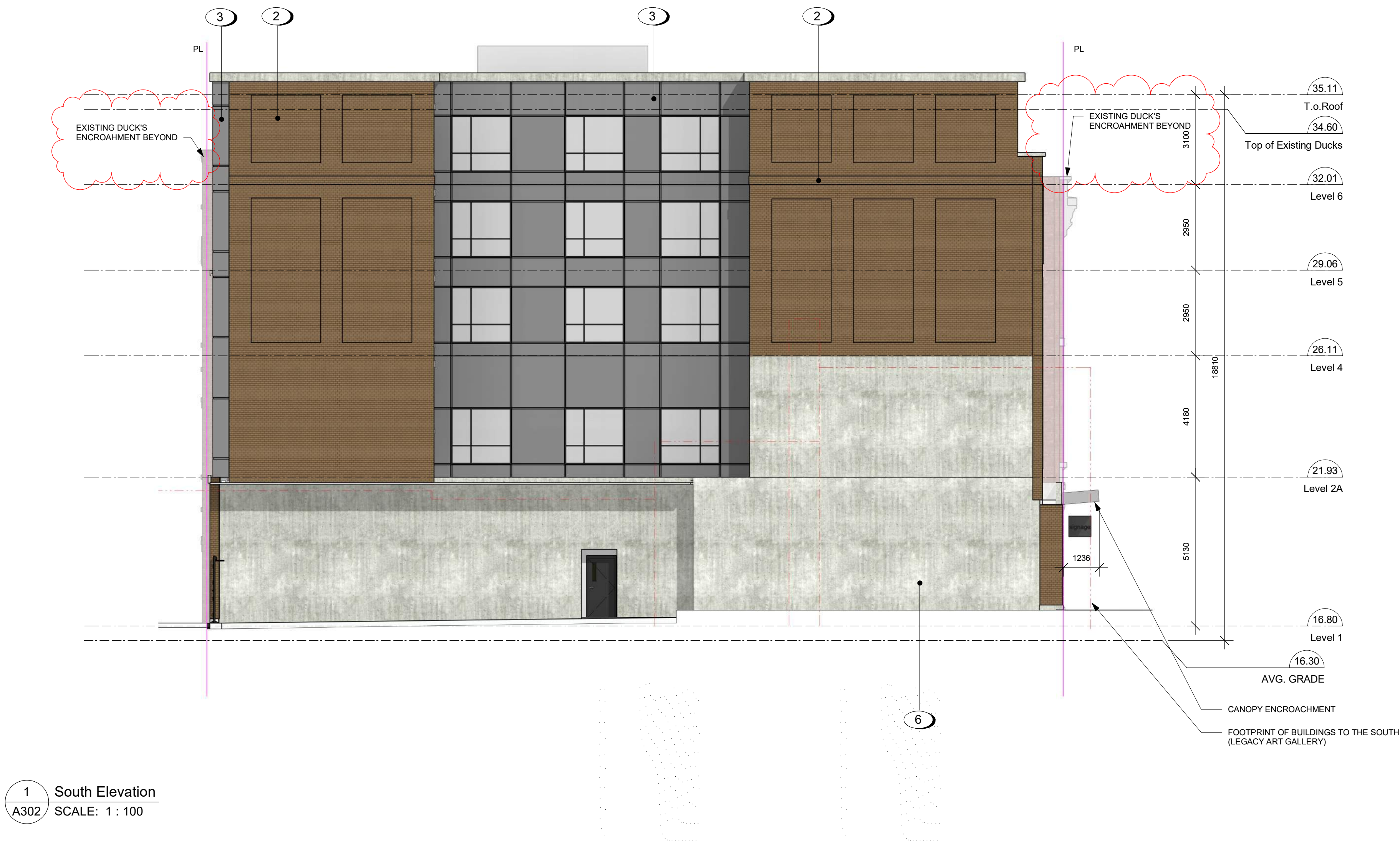
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T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC

drawing title
North Elevation

drawing no.
A301

revision no.
5



Material Schedule South

- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

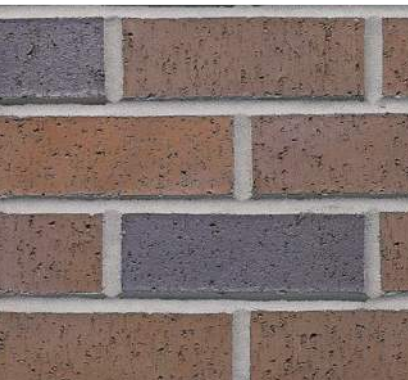
2 BRICK MASONRY VENEER CLADDING - WHEAT



3 METAL PANEL - LT GREY



1 BRICK MASONRY VENEER CLADDING - FOREST BLEND



4 METAL PANEL - DK GREY



Rev	S	Date	Issue Date	Revised By	Revision
5		Feb-04-20			Revision 5
4		Jan-08-20			Revision 4
3		Nov-01-19			Revision 3

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T 1-250-658-3367

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102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

drawing title
South Elevation

drawing no.
A302

revision no.
5



1 East Elevation
A303 / SCALE: 1 : 100

CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule East

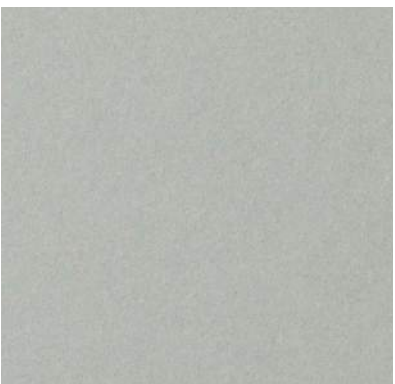
- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

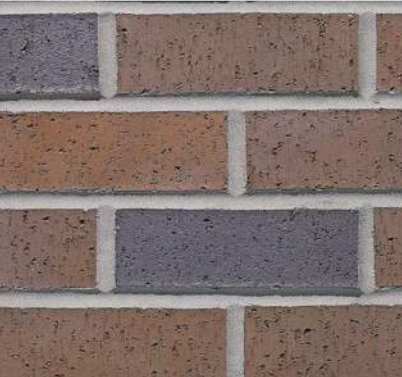
- 2 BRICK MASONRY VENEER CLADDING - GOLDEN ROD



- 3 METAL PANEL - LT GREY



- 1 BRICK MASONRY VENEER CLADDING - FOREST BLEND



- 4 METAL PANEL - DK GREY



Rev	S	Date	Issue Date	Author	Checked by	Project Number
5		Feb-04-20	Revision 5			
4		Jan-08-20	Revision 4			
3		Nov-01-19	Revision 3			

NOTE: All dimensions are shown in millimeters.

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Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

drawing title
East Elevation

drawing no.
A303

revision no.
5



1 West Elevation
A304 / SCALE: 1 : 100

CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule West

- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

- 2 BRICK MASONRY VENEER CLADDING - WHEAT

- 3 METAL PANEL - LT GREY

- 1 BRICK MASONRY VENEER CLADDING - FOREST BLEND

- 4 METAL PANEL - DK GREY

Rev	S	Date	Issue Date	Revised By	Revised Date
5		Feb-04-20		Revision 5	
3		Nov-01-19		Revision 3	
2		Oct-08-19		Revision 2	

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102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

drawing title
West Elevations

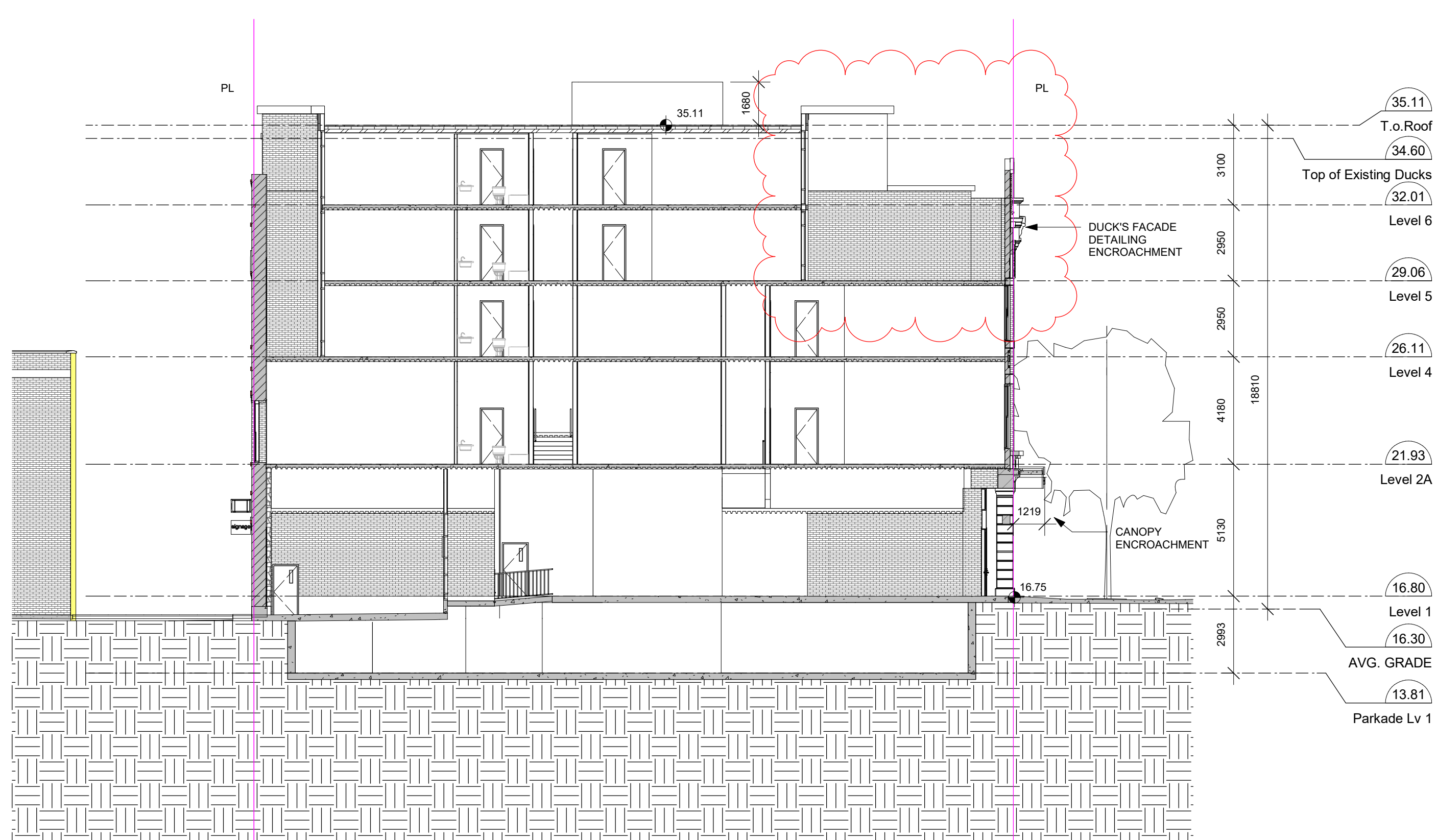
drawing no.
A304

revision no.
5

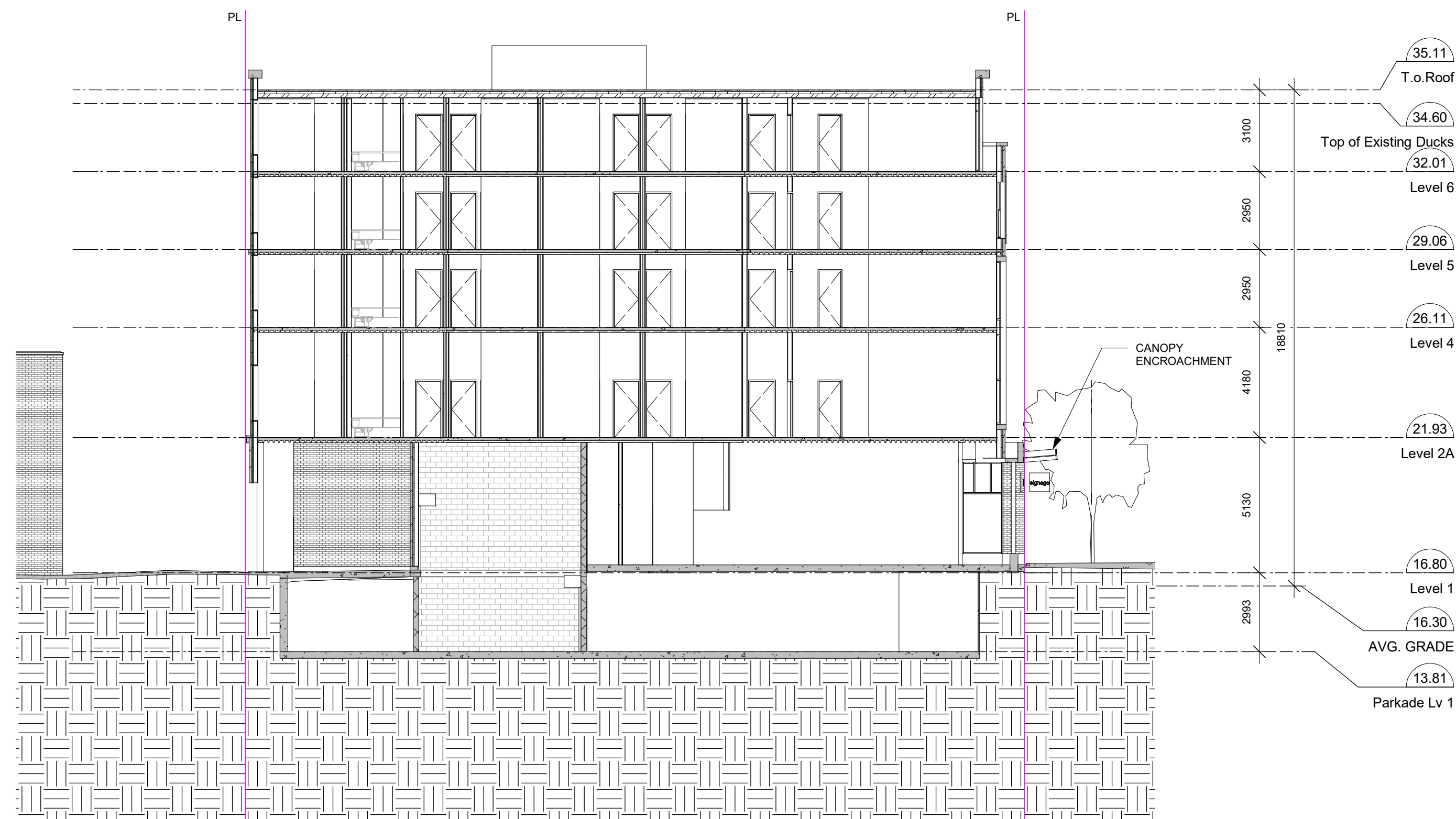
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NOT BE REPRODUCED WITHOUT WRITTEN
CONSENT



1 Section E-W North
A401 SCALE: 1 : 150



2 Section E-W Ducks
A401 SCALE: 1 : 150



3 Section E-W South
A401 SCALE: 1 : 150

Rev	S	Date	Issue Date	Author	Checked by	Project Number
5		Feb-04-20	Revision 5			
4		Jan-08-20	Revision 4			
3		Feb-04-20	Revision 3			
2		Feb-04-20	Revision 2			
1		Feb-04-20	Revision 1			

NOTE: All dimensions are shown in millimeters.

**dHKarchitects**

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

Building Sections E-W

A401

5



AUDIO VIDEO REPLAY
620 JOHNSON STREET

605 - 613 JOHNSON STREET

605 - 613 JOHNSON STREET

dkA **DHKarchitects**

VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-628-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K1 T 1-250-885-5810
---	---

project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC ⁸₈⁸₈

drawing title

Site Context

CONCEPT RENDERING: "HALLS AND HALLS"
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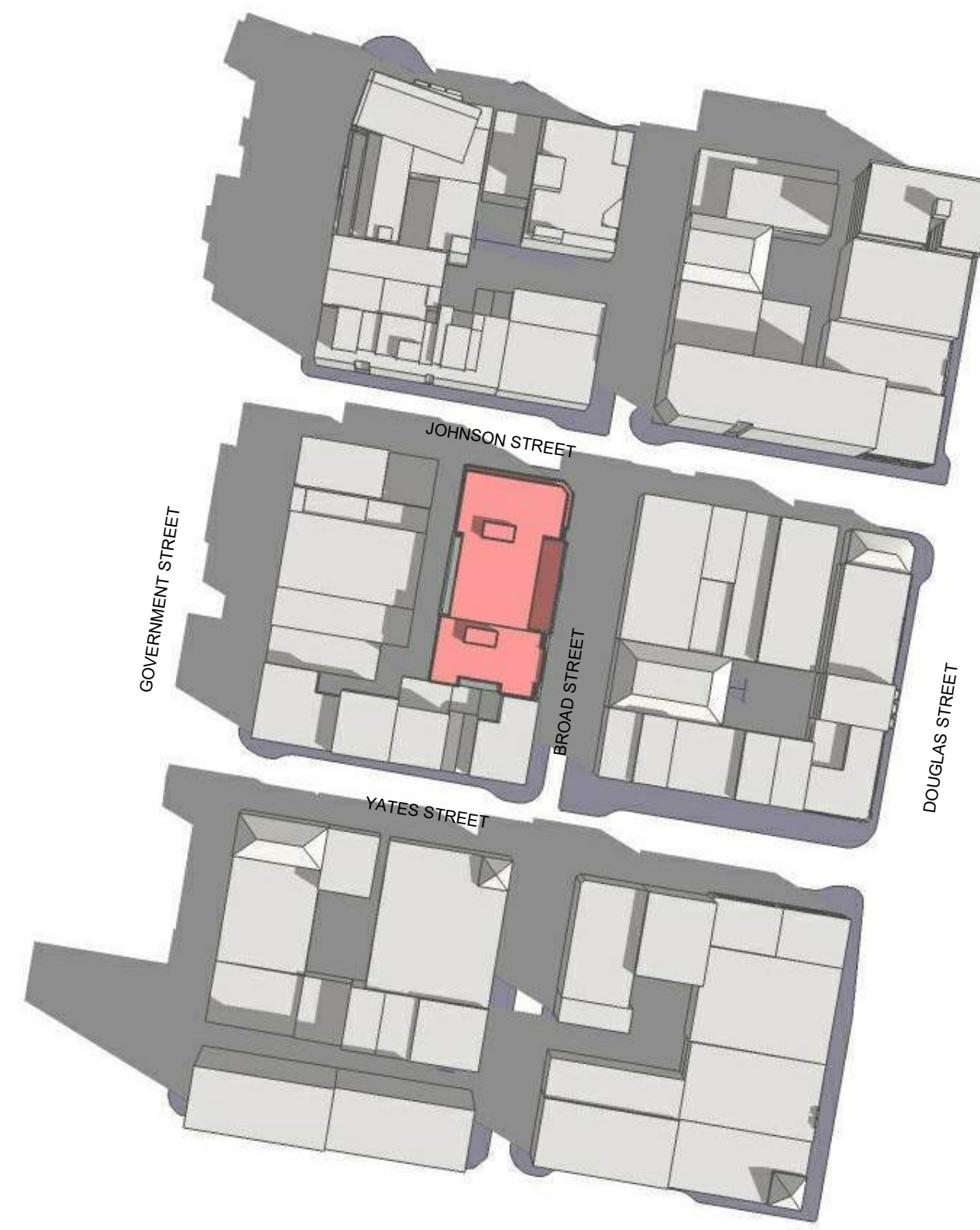
drawing no.

A501

PROJECT NO.



4 Johnson Street Context Facing South
A502



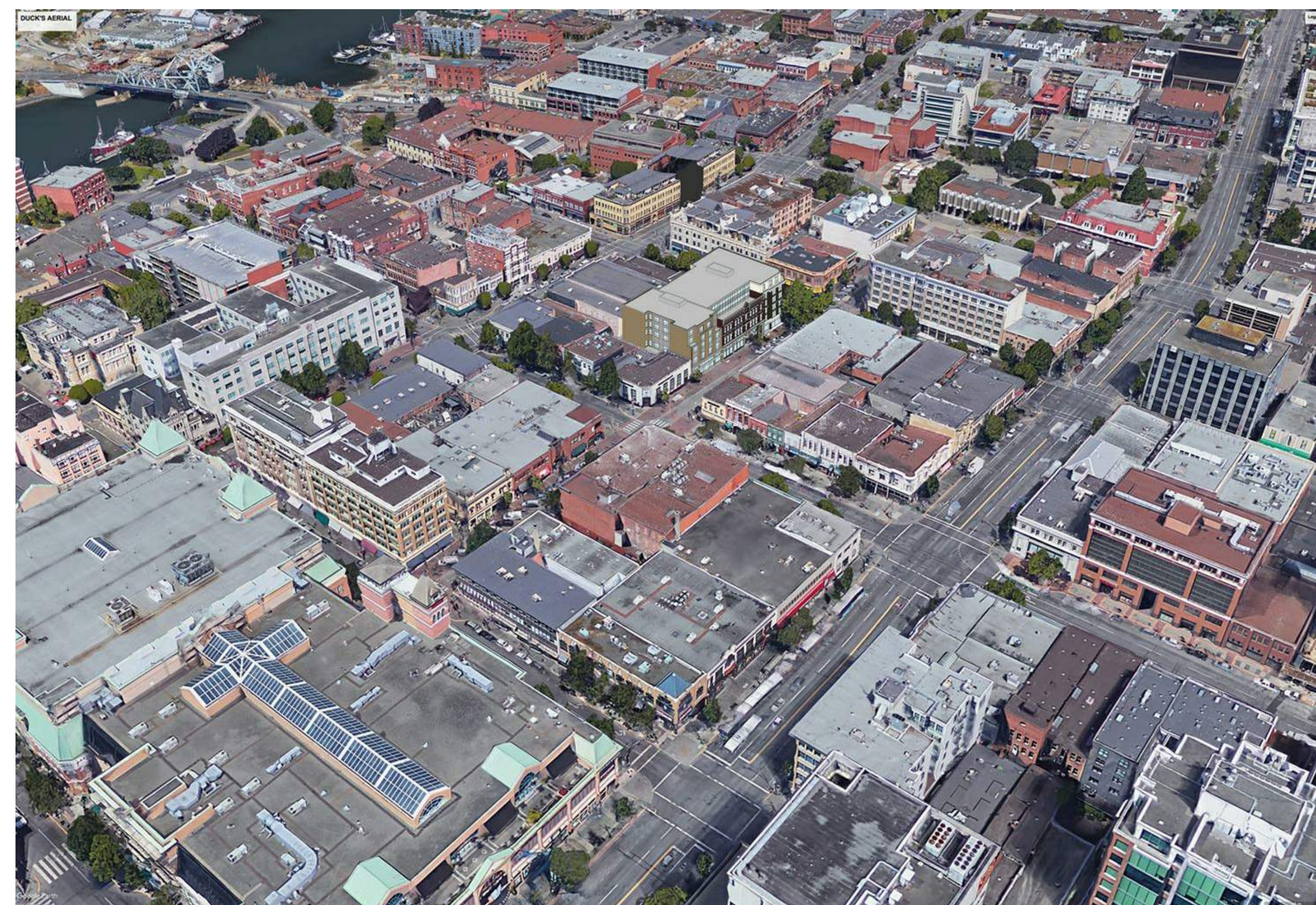
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Equinox Noon

Equinox 3pm

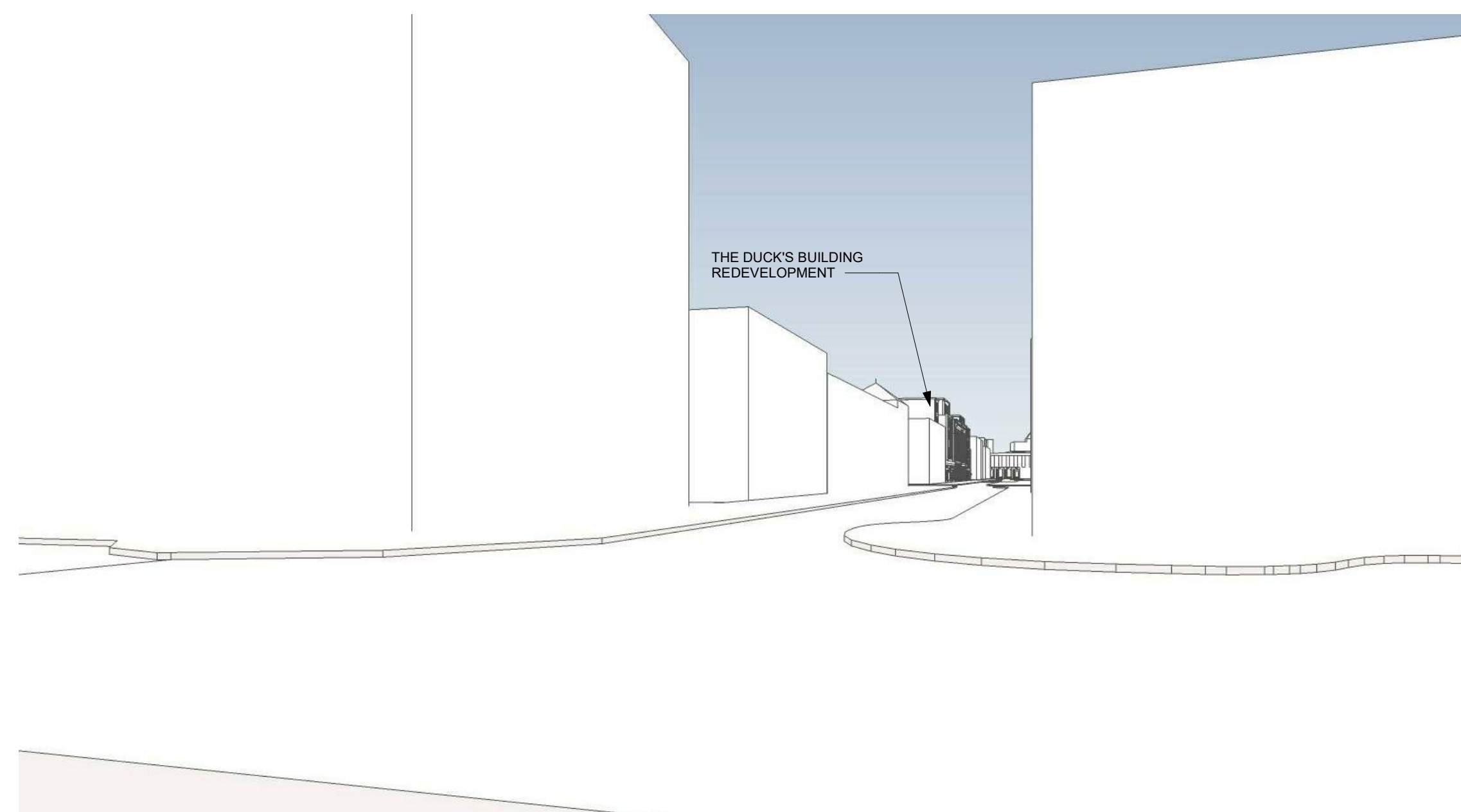
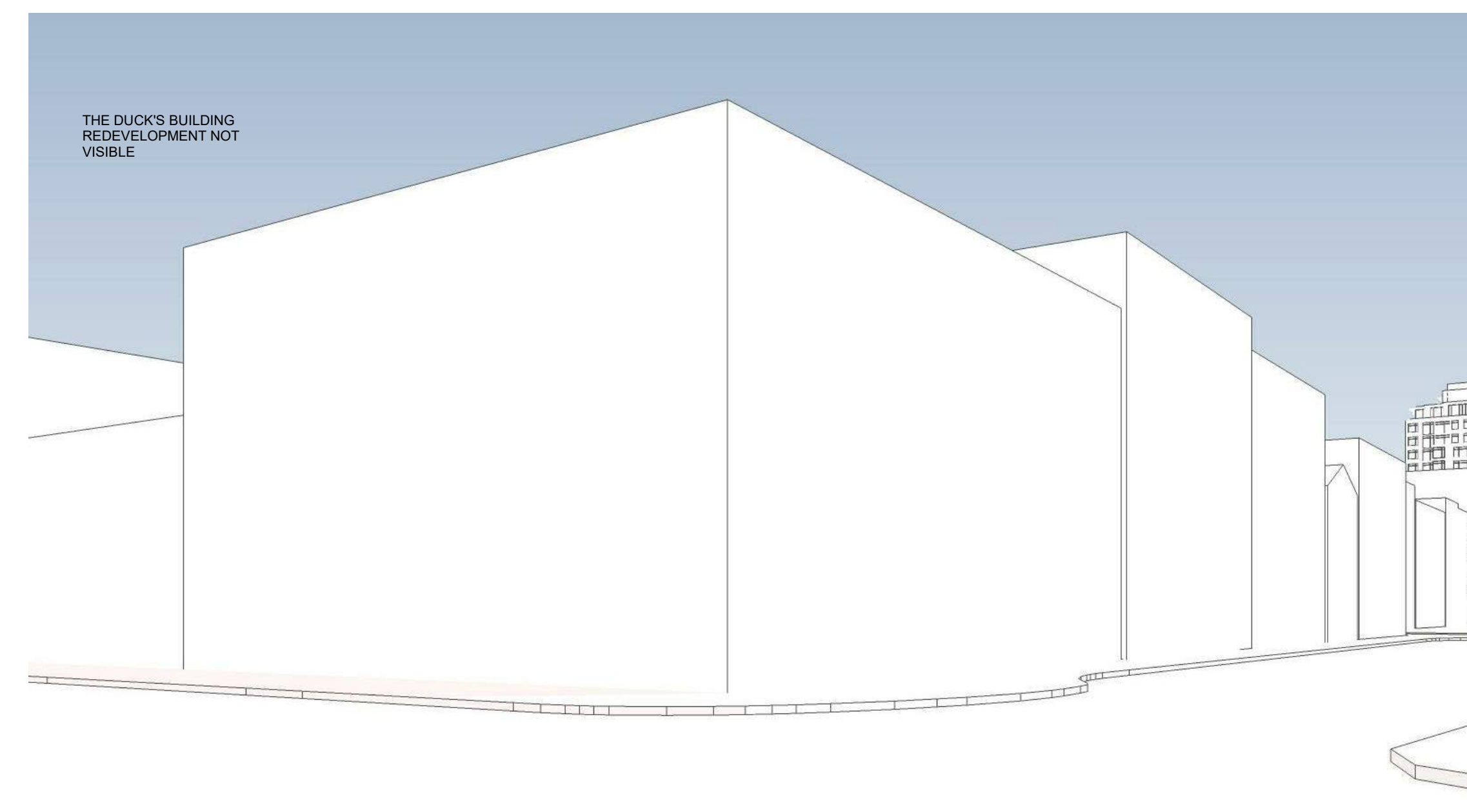
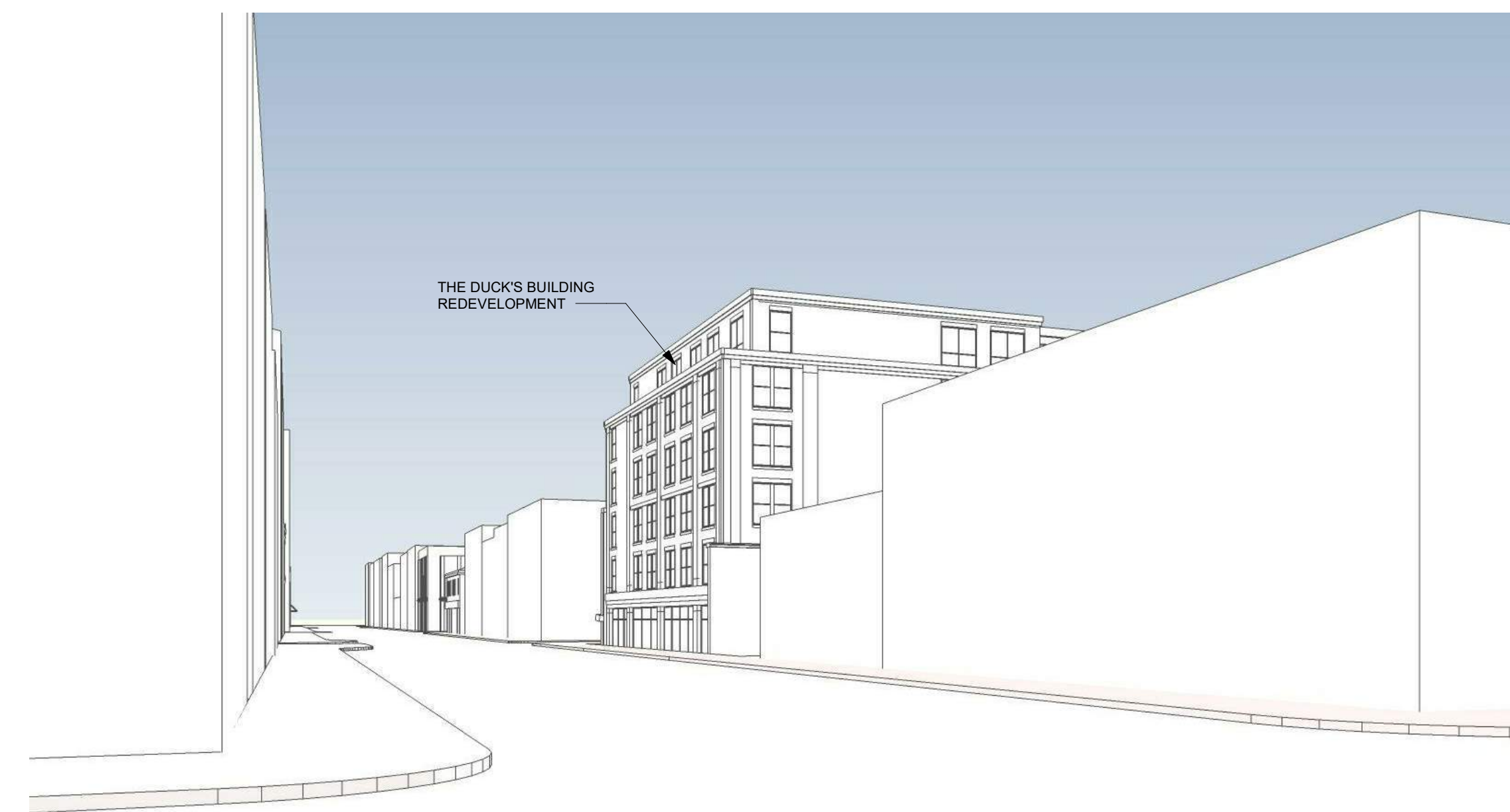


2 Harbour View from Laurel Point
A503



3 Aerial View
A503

Rev	Date	Description
plot date	Issue Date	drawing file
drawn by	<i>Author</i>	checked by
scale	As indicated	project number
		1721



Rare	Date	Description
print date	Issue Date	drawing file
drawn by	Author	checked by
scale	1 : 1	project number
		172

NOTE: All dimensions are shown in millimeters.

	dHKAarchitects
VICTORIA OFFICE 877 Fort Street Victoria BC V8V 3K3 T +250-688-3387	NANAIMO OFFICE 102-5100 Dublin Way Nanaimo BC V9T 2K8 T +250-688-5810
project name	The Duck's Building 1312-1324 Broad Street Victoria, BC Canada

drawing title

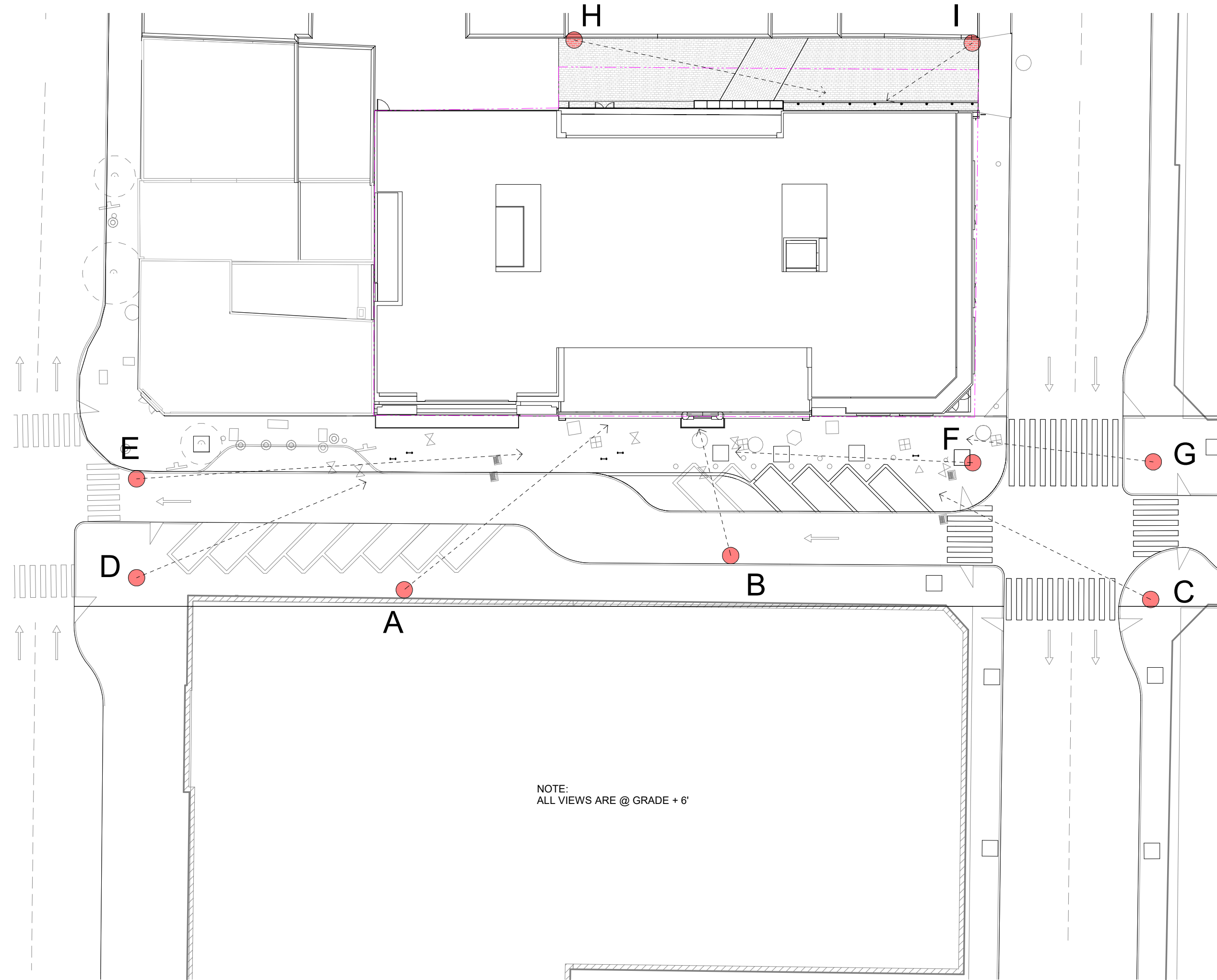
Urban Context

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drawing title	A504 revision list
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Rev	Date	Description
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1 Key Plan Sheet View Images
A506 SCALE: 1 : 350



3 Broad Street - South Building & Ducks
A506 B



2 Yates to Johnson East
A506 A

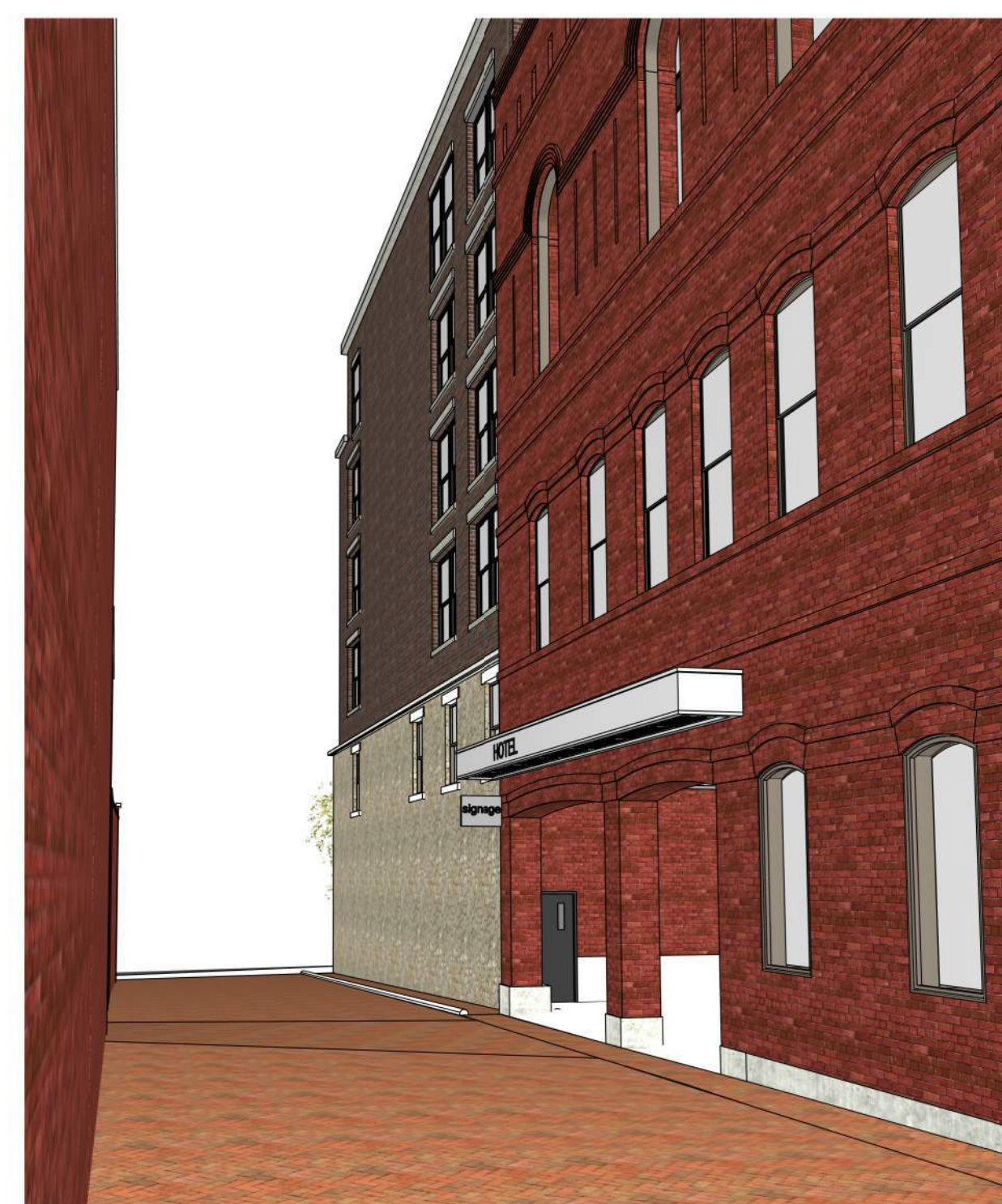


4 Broad & Johnson
A506 C

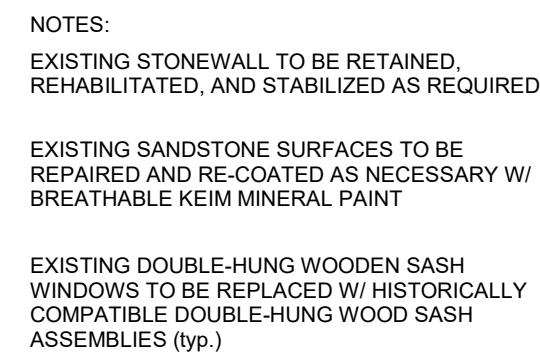
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NOTE: All dimensions are shown in millimeters.

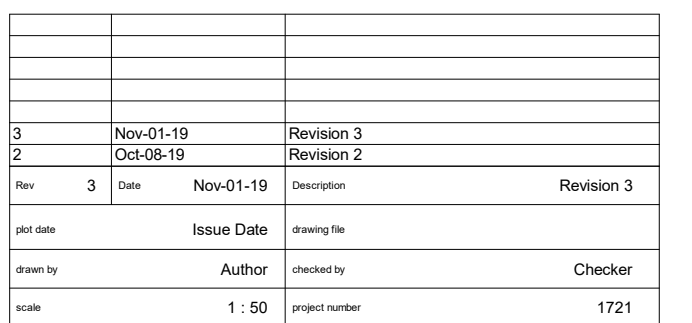
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project name									
The Duck's Building 1312-1324 Broad Street Victoria, BC V8T 1G1									
Perspective Studies									
drawing no.				revision no.					
A506				4					



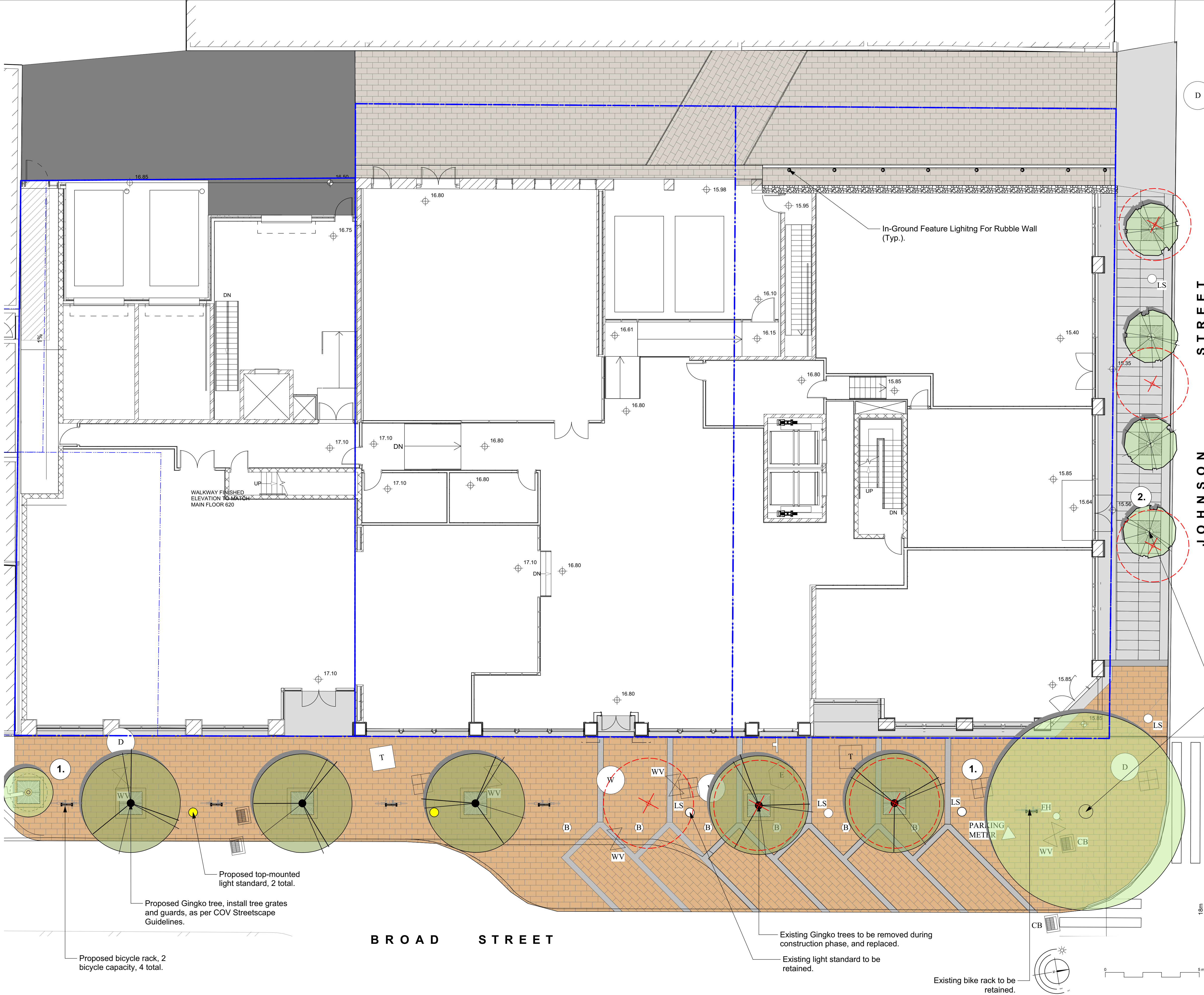
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2	Oct-08-19	Revision 2	
Rev	Date	Description	Revision
	Jan-08-20		
print date	Issue Date	drawing file	
drawn by	Author	checked by	Checked
scale	project number	project number	17



2 Stone Wall - Elevation
A510 SCALE: 1 : 50



3 Stone Wall - Section
A510 SCALE: 1 : 50



LEGEND

Property line

LANDSCAPE MATERIALS

- Broad Street Paving, to match existing paving on Broad Street (retained and reinstated as necessary on street frontage)
- Broad Street building entrances - Cast in Place Concrete Paving
- Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Pavers, as per COV Streetscape Guidelines.
- Stamped Concrete - Final pattern and colour to be approved by City of Victoria before installation
- Vehicular Paving in Services areas of Laneway - Asphalt Paving
- Bicycle rack, 2 bicycle capacity, to meet City of Victoria standards. 4 total.
- Top mounted light standard, to match existing Broad Street fixtures. 2 total.

- Existing Tree to be Retained
- Existing Tree to be Removed

LANDSCAPE ELEMENTS

- Broad Street Landscape. Existing Pin Oak to be retained, 5 - Ginkgo trees to be removed and 5 - Ginkgo trees to be replanted, install 2 - new top-mounted light standards, and 4 - new bike racks. All streetlighting and site furnishings to match existing, and meet City of Victoria Streetscape Guidelines.
- Johnson Street. Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines. Existing trees to be removed and replaced. Species to be confirmed, in consultation with City of Victoria Parks department.

Proposed Columnar Beech tree, install tree grates and guards, as per COV Streetscape Guidelines.

Existing Pin Oak tree to be retained. Tree protection measures to be determined by Project Arborist at time of Building Permit Application.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION



client
CHARD DEVELOPMENT

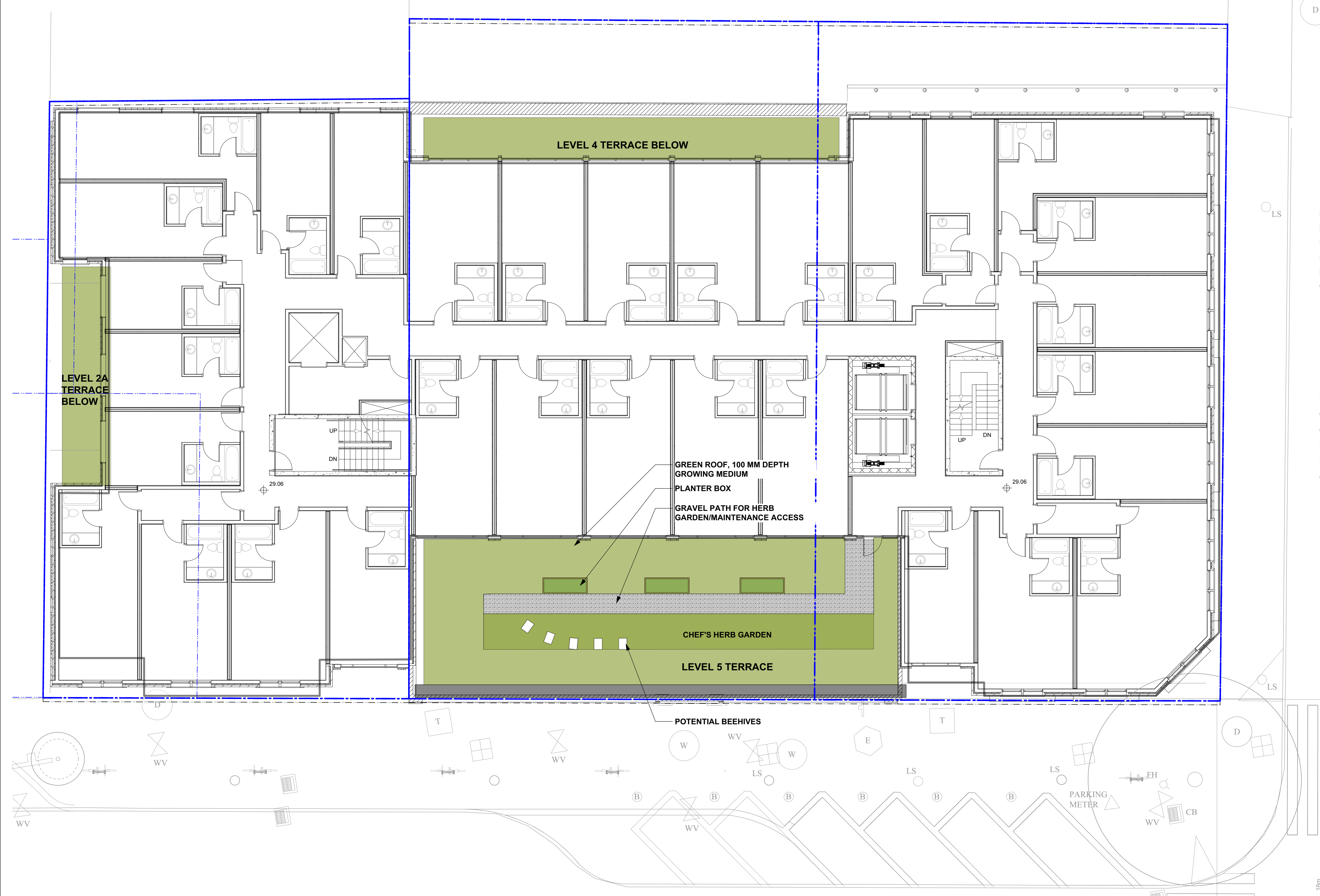
project
DUCKS BLOCK
REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC
sheet title

Landscape Materials
Plan - At Grade

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG

revision no.	sheet no.
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5 L1.01



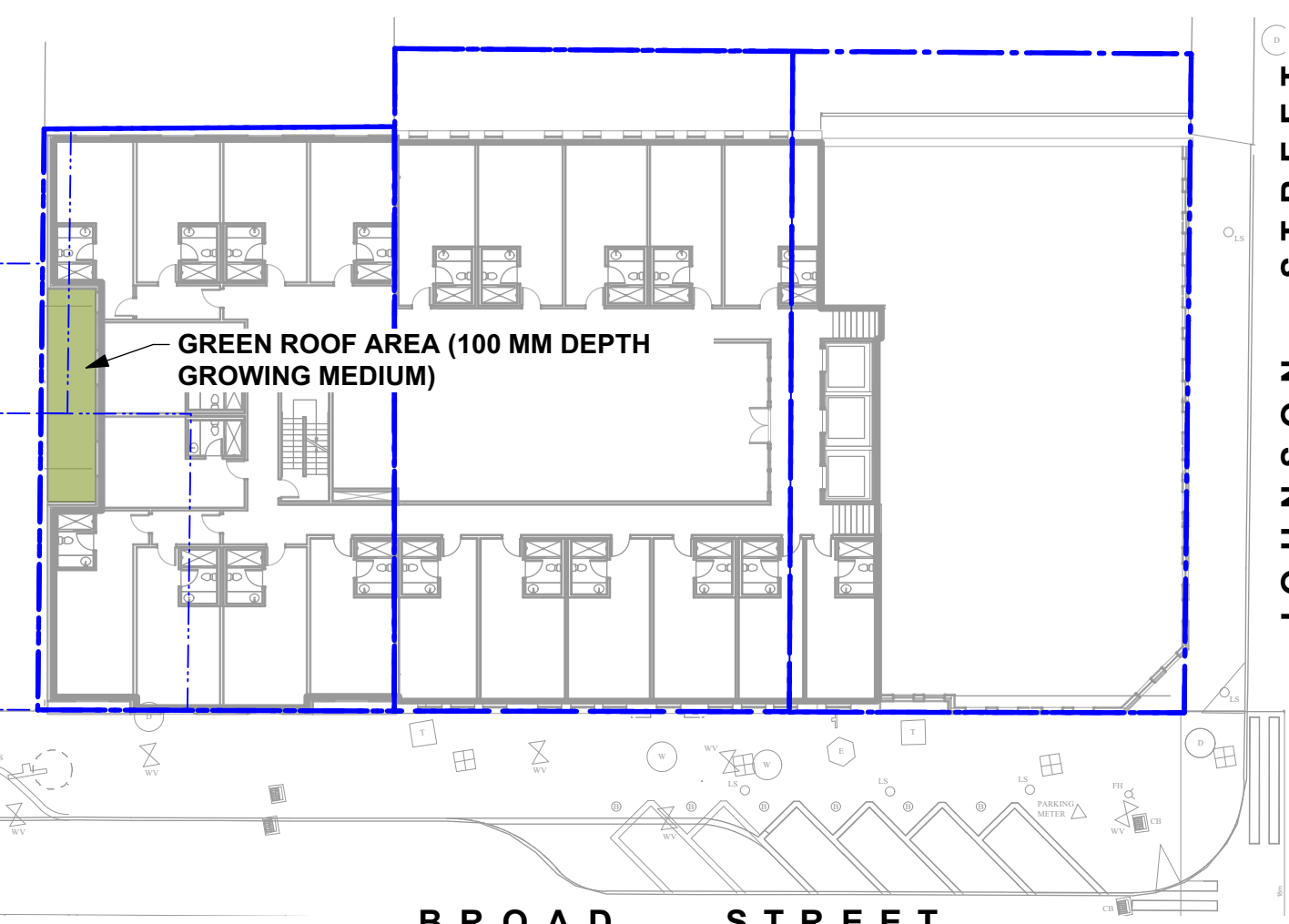
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Property line

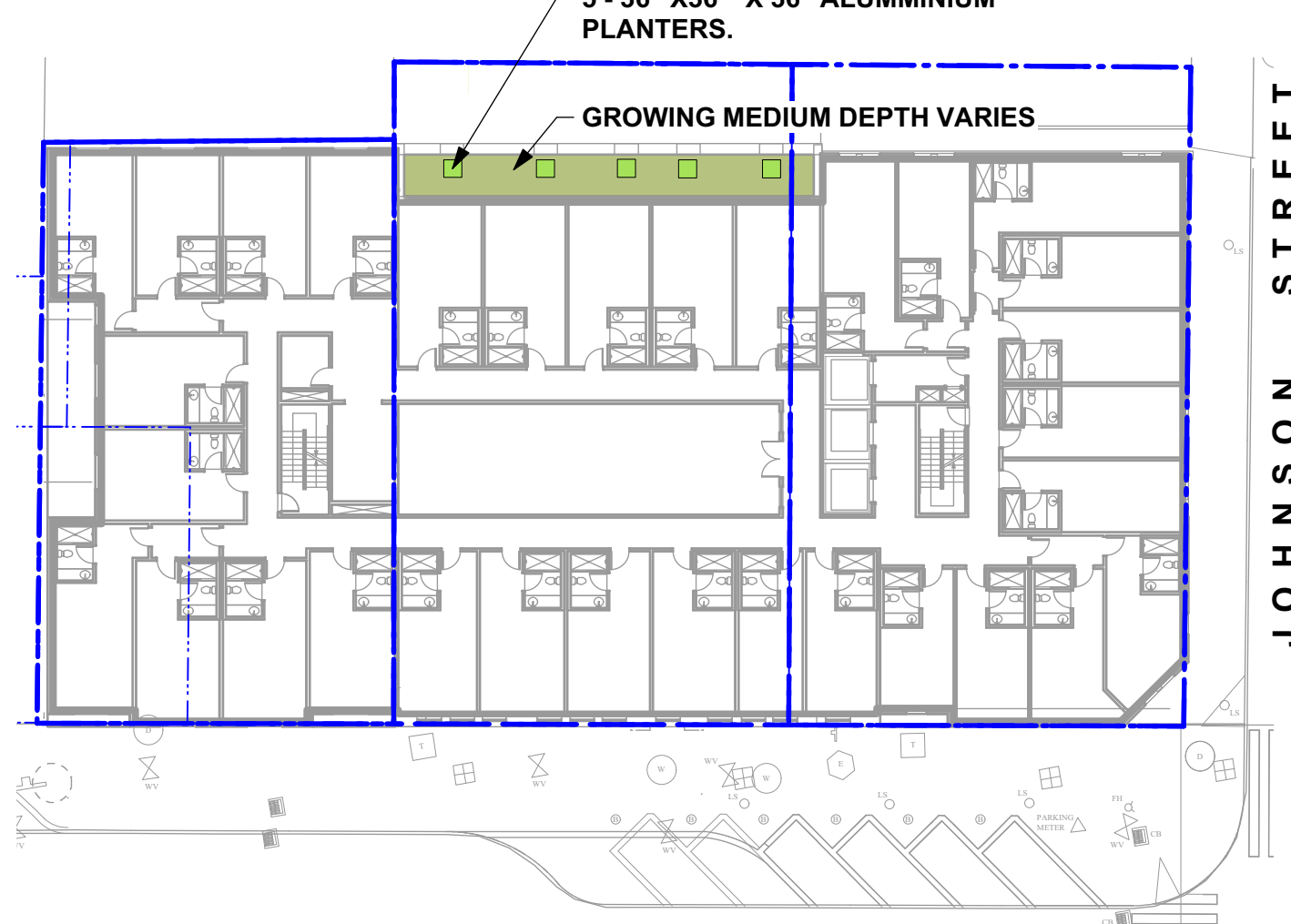
LANDSCAPE MATERIALS

Gravel pathway for maintenance access

Green roof area. 100 mm depth growing medium



1 Level 2A Landscape Plan
Scale: 1:350



2 Level 4 Landscape Plan
Scale: 1:350

- DRAWING NOTES
1.

DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2.
- All plan dimensions in metres and all detail dimensions in millimetres.

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NOT FOR CONSTRUCTION

rev no	description	date
5	DP REV	20.02.21
4	DP REV	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

Murdoch
de Greeff INC
Landscape Planning & Design

200 - 524 Coulthart Road
Victoria, BC V8Z 1G1

Phone: 250.412-2891
Fax: 250.412-2892

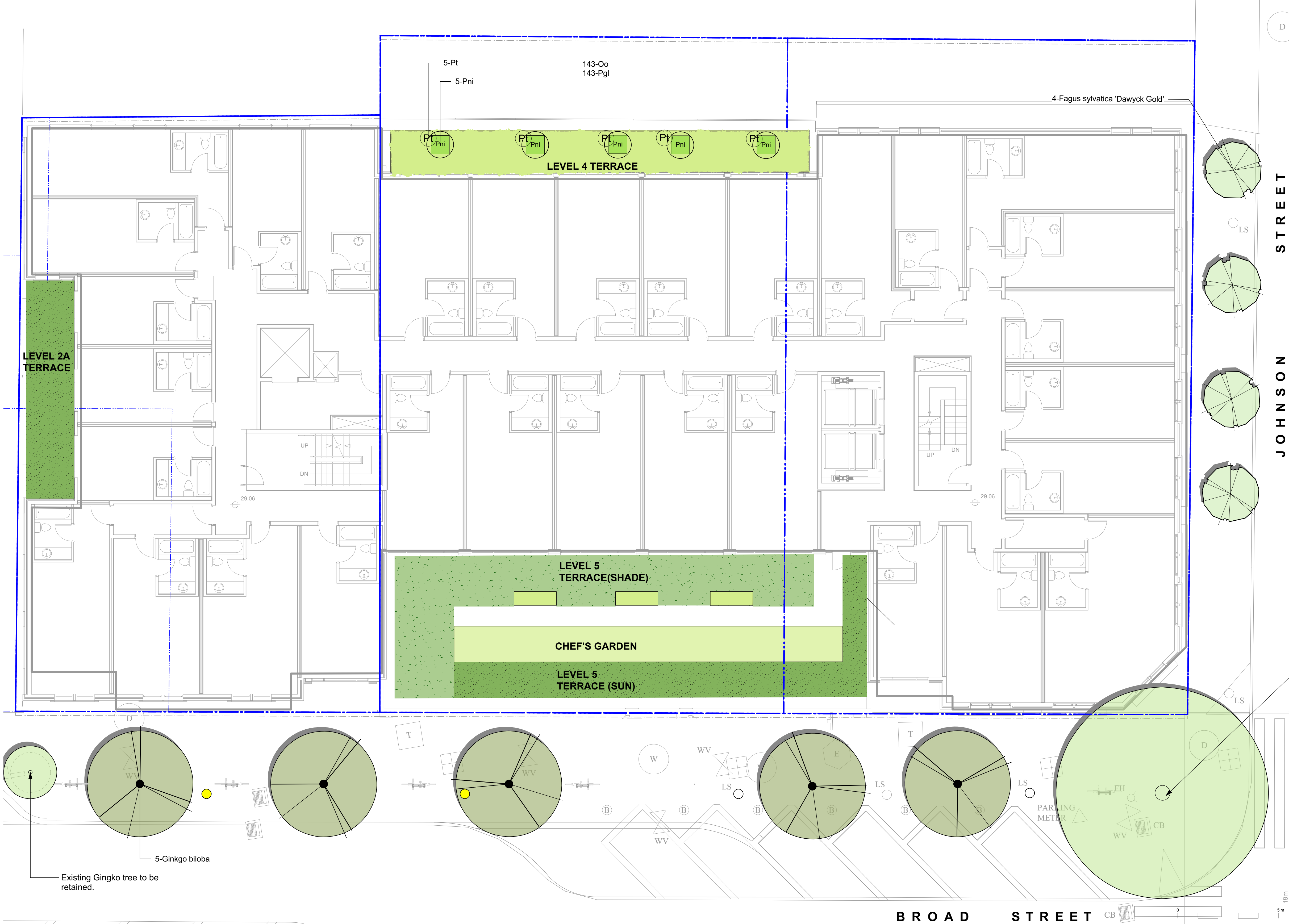
client
CHARD DEVELOPMENT

project
DUCKS BLOCK
REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title
Landscape Materials
Plan - Terrace
Levels

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

5 L1.02



JOHNSON STREET

D

Existing Pin Oak tree to be retained.

PLANT LIST - LEVEL 1				
Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
4		Fagus sylvatica 'Dawyck Gold'	Columnar Golden European Beech	6.0 cm cal, b&b
5		Ginkgo biloba	Maidenhair Tree	7.0cm cal, b&b
PLANT LIST - LEVEL 2A				
SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 26.1 sq m				
20%		Sedum acre		
20%		Sedum album 'Coral Carpet'		
20%		Sedum kamtschaticum		
20%		Sedum rupestre		
20%		Sedum spurium		
PLANT LIST - LEVEL 4				
143		Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
5		Parthenocissus tricuspidata	Boston Ivy	#1 pot
5		Phyllostachys nigra	Black Bamboo	#5 pot
143		Polystichum glycyrrhiza	Licorice Fern	Sp3
0				

PLANT LIST - LEVEL 5				
CHEF'S GARDEN				
71		Allium schoenoprasum	Chives	Sp3, 30cm o.c.
71		Artemisia dracuncululus	French Tarragon	Sp3, 30cm o.c.
71		Mentha spicata	Spearmint	Sp3, 30cm o.c.
71		Origanum vulgare hirtum	Greek Oregano	Sp3, 30cm o.c.
71		Rosmarinus officinalis	Rosemary	Sp3, 30cm o.c.
71		Salvia officinalis 'Minimus'	Dwarf Sage	Sp3, 30cm o.c.
71		Thymus vulgaris	English Thyme	Sp3, 30cm o.c.
GREEN ROOF AREA - SUN				
SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 43.1 sq m				
20%		Sedum acre		
20%		Sedum album 'Coral Carpet'		
20%		Sedum kamtschaticum		
20%		Sedum rupestre		
20%		Sedum spurium		
GREEN ROOF AREA - SHADE				
133		Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
133		Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
133		Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
133		Gaultheria shallon	Salal	Sp3, 30cm o.c.
133		Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
133		Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

PLANTING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- Final selection of boulevard trees to be determined through consultation with City of Victoria Parks staff.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

client
CHARD DEVELOPMENT

project
DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title
Planting Plan

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

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L3.01