

2540 - 2542 SHELBOURNE STREET



Project Rendering - North Looking View @ Shelbourne Street



Project Rendering - North Looking View @ Amenity and Play Area

PROJECT DESCRIPTION

CIVIC ADDRESS:  
2540 - 2542 SHELBOURNE STREET  
VICTORIA, BC  
LEGAL DESCRIPTION:  
LOT 9 AND AMENDED LOT 10 (DD141161)  
BLOCK 6, SECTION 8A VICTORIA DISTRICT PLAN 881A

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:  
Group C, 3 Storey Wood Construction  
USES:  
Residential Townhomes  
EXISTING ZONE:  
R1-B  
PROPOSED ZONE:  
TBD

SITE AREA:  
1,528m<sup>2</sup> (16,426 s.f.)

FLOOR AREAS  
TOTAL PROPOSED:  
1,552.5 m<sup>2</sup> (16,711 s.f.)

FLOOR SPACE RATIO:  
1.02 : 1 FSR

SITE COVERAGE:  
42%

OPEN SITE SPACE:  
33%

GRADE OF BUILDING:  
North Bldg 20.3m  
South Bldg 20.2m  
(See Site Plan for Avg  
Grade Calculation)

HEIGHT OF BUILDING:  
North Bldg 10.7m  
South Bldg 10.8m

NUMBER OF STOREYS:  
3 STOREYS

RESIDENTIAL PARKING:  
13 stalls (EV Ready)

BICYCLE PARKING:  
15 Class 1/EV Ready (in suite)  
12 Short term (rack)

SETBACKS:  
North Bldg South Bldg  
FRONT (Street): 8.11m 8.08m  
REAR: 7.22m 3.02m  
SIDE (North): 2.44m 19.19m  
SIDE (South): 19.19m 2.44m  
COMBINED SIDE: 4.89m 4.89m

SUITE COMPOSITION:  
TOTAL:  
3 Bedroom 1  
2 Bedroom 14  
Ground-Oriented Units 15  
Minimum Unit Floor Area 107.5m<sup>2</sup>

BUILDING CODE SUMMARY:

BCBC Part 9, Group C, 3 Storey Wood Construction  
North Building: 303.8 m<sup>2</sup> Building Area  
South Building: 336.5 m<sup>2</sup> Building Area

All material specifications, details and construction methods to conform  
to local by-laws and British Columbia Building Code (BCBC).

PROJECT DIRECTORY

DEVELOPER  
Shelbourne Project Limited Partnership  
541 Cornwall Street  
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P. 604.710.3627

ARCHITECT  
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CIVIL CONSULTANT  
Herold Engineering  
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LANDSCAPE CONSULTANT  
LADR Landscape Architects Inc.  
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Victoria, BC, V8T 1M5  
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ARBORIST  
Taimack Urban Forestry Consultants Ltd.  
North Talbot, B.A.  
P. 250.896.9492

DRAWING LIST

A000 COVER SHEET / PROJECT DATA  
A001 SURVEY  
A002 SHADOW STUDY  
A003 PERSPECTIVE VIEWS  
A004 PERSPECTIVE VIEWS  
A101 SITE PLAN  
A201 L1 PLAN  
A202 L2 PLAN  
A203 L3 PLAN  
A204 ROOF PLAN  
A301 ELEVATIONS  
A302 ELEVATIONS  
A303 STREET ELEVATION  
A401 SECTIONS  
A900 AREA PLANS

ANNOTATIONS LEGEND

The following annotations are used on  
architectural drawings and details:

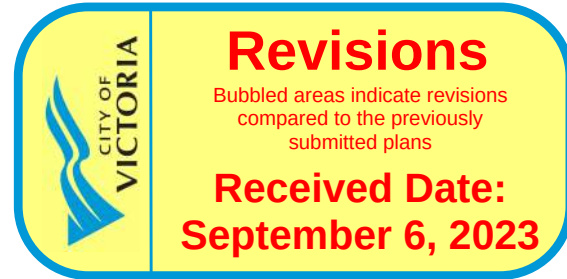
BEDROOM  
[201]  
ROOM NAME &  
ROOM NUMBER  
DOOR NUMBER  
See Door Schedule  
W-10 WINDOW NUMBER  
See Window Schedule  
W1 WALL TYPE  
See Assemblies Schedule  
2.0 hr RATED WALL DESIGNATION  
00.00 ELEVATION DATUM  
2440 CEILING HEIGHT  
AREA OF DROP CEILING  
1 KEYNOTE SYMBOL  
12 MATERIAL TAG  
A901 INTERIOR ELEVATION REFERENCE  
W1|C1|F1|B1 ROOM FINISHES



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on  
architectural drawings and details.

|            |                            |       |                                  |      |                                                                                                        |
|------------|----------------------------|-------|----------------------------------|------|--------------------------------------------------------------------------------------------------------|
| ACST       | Acrylic Stucco             | HP    | High Point                       | ST   | Structure                                                                                              |
| ACT        | Acoustical Tile            | HSS   | Hollow Steel Section             | STL  | Steel                                                                                                  |
| AFF        | Above Finished Floor       | H/W   | Hardware                         | STN  | Stain(ed)                                                                                              |
| AL         | Aluminum                   | INSUL | Insulated                        | STNT | Stone Tile                                                                                             |
| BL         | Building Grade             | LAM   | Laminated Glass                  | SS   | Stainless Steel                                                                                        |
| CEM        | Cementitious Backing Board | LP    | Low Point                        | SVF  | Sheet Vinyl Flooring                                                                                   |
| Conc       | Concrete                   | MDFB  | Medium Density Fibreboard Base   | TB   | Towel Bar                                                                                              |
| CBK        | Concrete Block             | MR    | Mirror                           | T/D  | Tempered / Double Glazed                                                                               |
| Centerline | Centerline                 | MP    | Metal Panel                      | TLAM | Tempered Laminated Glass                                                                               |
| CPT        | Carpet Tile                | O/H   | Overhead                         | TGL  | Tempered Glass                                                                                         |
| CT         | Ceramic Tile               | OW    | Operable Window                  | TLGL | Translucent Glass                                                                                      |
| CW         | Complete With              | P     | Prefinished                      | TOC  | Top of Concrete                                                                                        |
| DD         | Deck Drain                 | PLAM  | Plastic Laminate                 | TOD  | Top of Drain                                                                                           |
| EL         | Elevation                  | PLS   | Plaster                          | TOI  | Top of Insulation                                                                                      |
| EPC        | Epoxy Polymer Coating      | PSF   | Pressed Steel Frame              | TOP  | Top of Parapet                                                                                         |
| EXP AGG    | Exposed Aggregate          | PT    | Paint                            | TOS  | Top of Slab                                                                                            |
| EXT        | Exterior                   | PTD   | Paper Towel Dispenser            | TOW  | Top of Wall                                                                                            |
| FD         | Floor Drain                | PTD/W | Paper Towel Dispenser / Waste    | TP   | Toilet Paper                                                                                           |
| FEC        | Fire Extinguisher Cabinet  | PTW   | Paper Towel Waste                | UNF  | Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable) |
| FPE        | Finished Floor Elevation   | RA    | Roof Anchor                      | UNO  | Unless Noted Otherwise                                                                                 |
| FG         | Finished Grade             | RB    | Rubber Base                      | UIS  | Underside of                                                                                           |
| GB         | Grab Bar                   | RES   | Resilient Flooring               | VCT  | Vinyl Composition Tile                                                                                 |
| GBL        | Glass Block                | RD    | Roof Drain                       | VI   | Vision Glass                                                                                           |
| GL         | Glass                      | RD-P  | Roof Drain - Planter             | VIS  | Vinyl Impact Sheet                                                                                     |
| GWG        | Georgian Wire Glass        | RWL   | Rain Water Leader                | VT   | Vinyl Tile                                                                                             |
| GWB        | Gypsum Wallboard           | SARF  | Spray Applied Fibrous Insulation | VWC  | Vinyl Wall Covering                                                                                    |
| HC         | Hollow Core                | SCW   | Solid Core Wood                  | WC   | Water Closet                                                                                           |
| HCW        | Hollow Core Wood           | SD    | Soap Dispenser                   | WD   | Wood                                                                                                   |
| H/C        | Handicap                   | SL    | Sealer                           | WPM  | Waterproof Membrane                                                                                    |
| HM         | Hollow Metal               | SP    | Spandrel Glass                   | WRC  | Water Repellent Coating                                                                                |
|            |                            | SPC   | Solid Particleboard Core         |      |                                                                                                        |



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FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Project Data



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**B.C. LAND SURVEYOR'S SITE PLAN OF:  
LOT 9 AND AMENDED LOT 10 (DD1481161), BLOCK 6, SECTION 8A,  
VICTORIA DISTRICT, PLAN 881A**

**LEGEND**

Elevations are geodetic based on integrated survey monument 26-43 in Victoria at elevation 17.768m.  
Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species.  
Grade shots are taken at the point marked X.  
Contours are descriptive, and only accurate to +/- 0.5m interval.

- - denotes Lead Plug found
- - denotes Utility Pole
- - denotes Water meter
- ⊥ - denotes Sign
- - denotes catch basin
- MFE - denotes Main Floor Elevation (Doorsill)
- \*\*\* - denotes retaining wall (T=Top)
- \* - denotes irrigation

Refer to arborist report for tree info.

**Parcel Identification Number (PID)**  
000-040-339 (LOT 9) AND 002-618-541 (AMD LOT 10)  
**TOTAL SITE AREA**  
1526 m<sup>2</sup>  
**MUNICIPALITY**  
VICTORIA  
**CIVIC ADDRESS**  
2540 AND 2542 SHELBOURNE STREET  
VICTORIA, BC  
**ZONING**  
R1-B

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\*This document is intended for use as a topographic plan. It is based on Land Title Office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey.

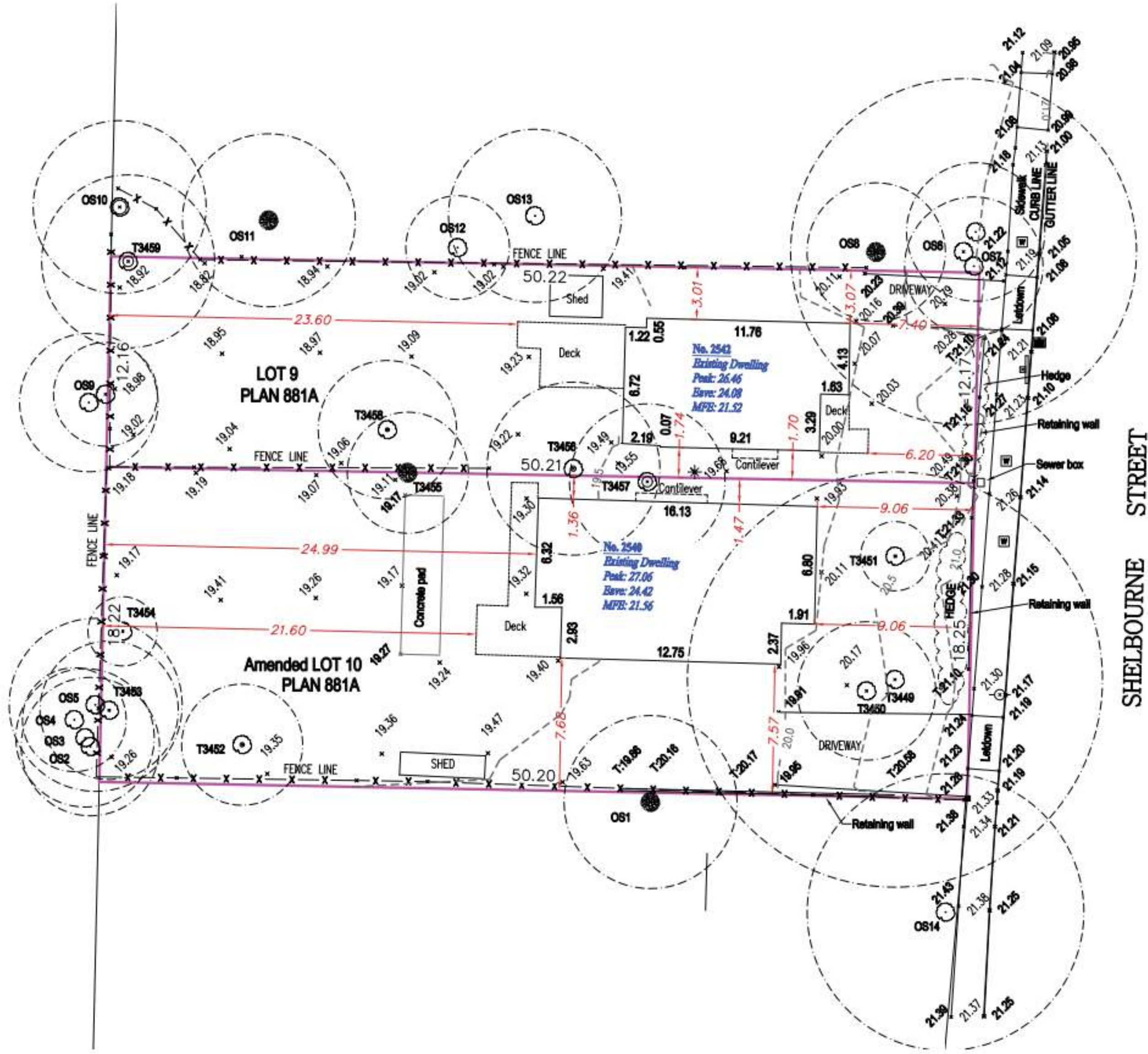
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**SCALE:**

0 1:200 10  
All distances are in metres.  
The intended plot size of this plan is 610mm in width by 457mm in height (C-size) when plotted at a scale of 1:200.



**CERTIFIED CORRECT**

Lot dimensions are correct according to Land Title Office records.  
Kenneth  
Ng  
F8NUM8

Kenneth KC Ng, BCLS  
Field Survey - 8 March, 2022  
Dated this 17th of March, 2022.

This document is not valid unless originally signed and sealed or digitally signed with Arbutus digital signature.  
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Survey



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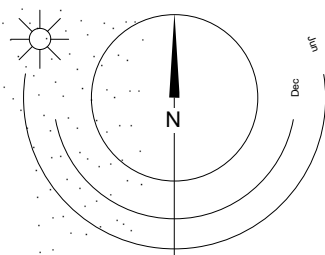




1 Shadow Study - Equinox 12PM  
A002 SCALE: 1 : 300



2 Shadow Study - Summer Solstice 12PM  
A002 SCALE: 1 : 300



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Shadow Study



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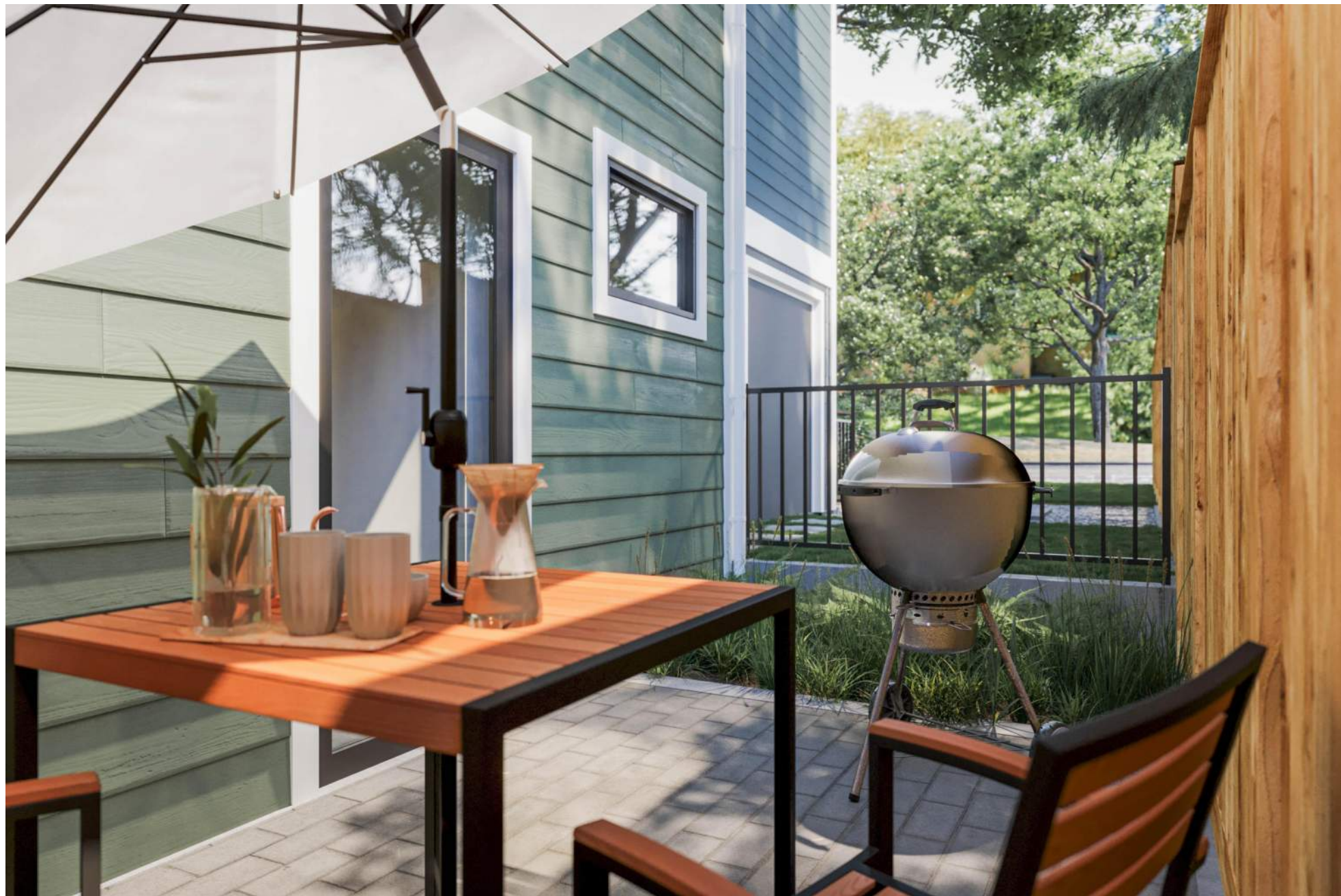


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1. Project Rendering - North Looking View @ Shelbourne Street



2. Project Rendering - Typical Side Yard Patio



3. Project Rendering - South Looking View @ Shelbourne Street

23/04/20  
22/10/24

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|           |          |                |         |
|-----------|----------|----------------|---------|
| Plot Date | 23/09/01 | Drawing File   |         |
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| Scale     | 1 : 1    | Project Number |         |

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
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2540 & 2542 Shelbourne  
Street, Victoria, BC  
Perspective Views



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### 1. Project Rendering - North Looking View @ Amenity and Play Area

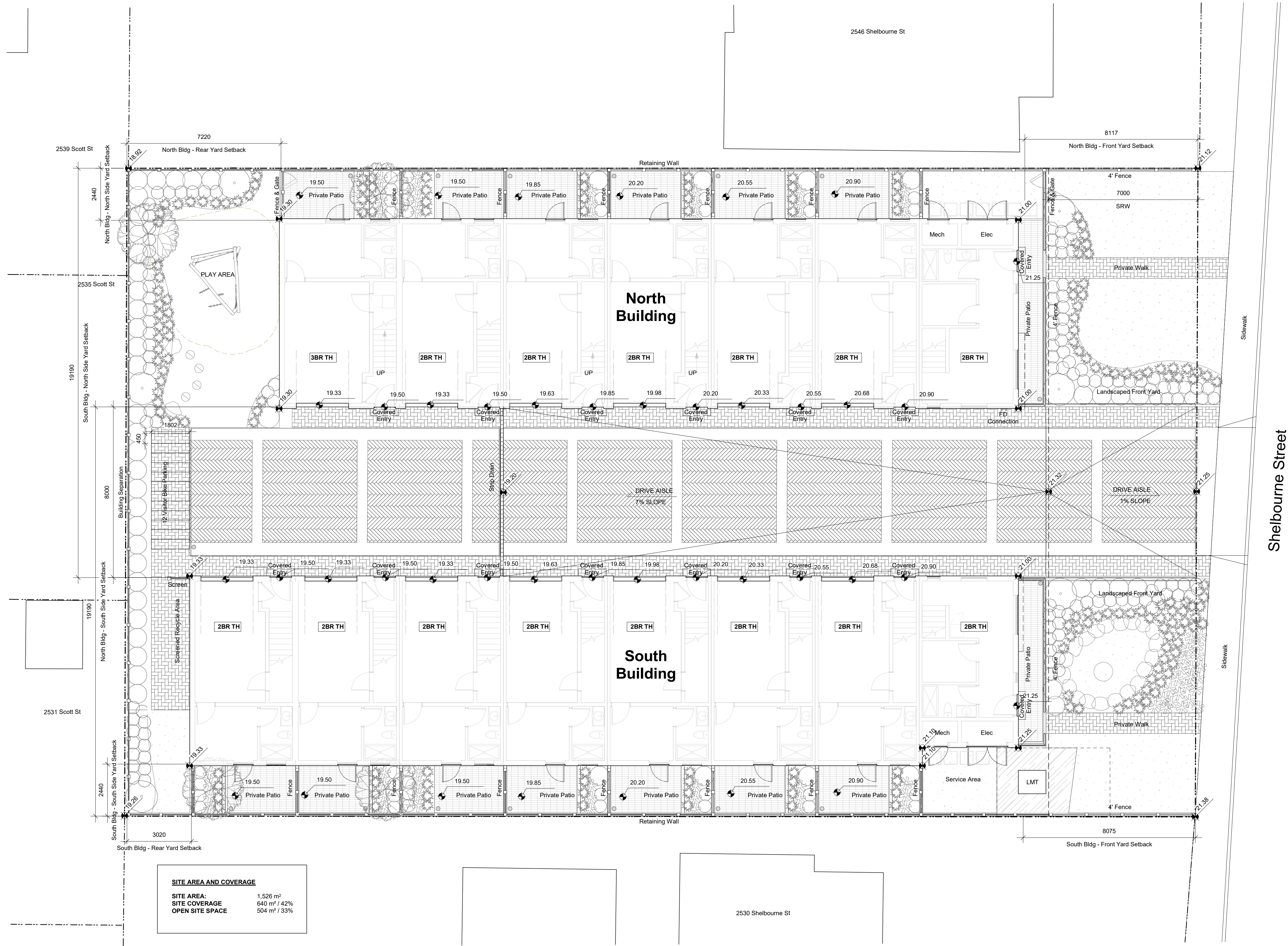
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| Scale     | 1 : 1    | Project Number |         |

NOTE: All dimensions are shown in millimeters.

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2540 & 2542 Shelbourne  
Street, Victoria, BC  
**Perspective Views**





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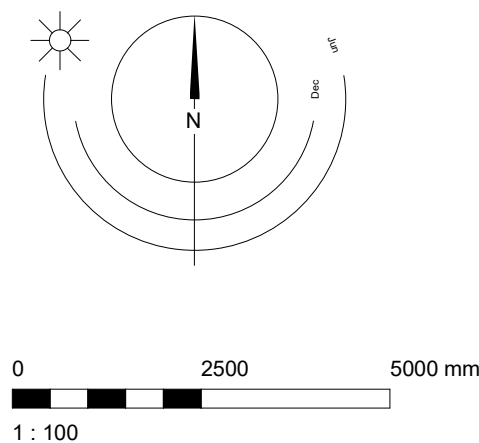
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Site Plan

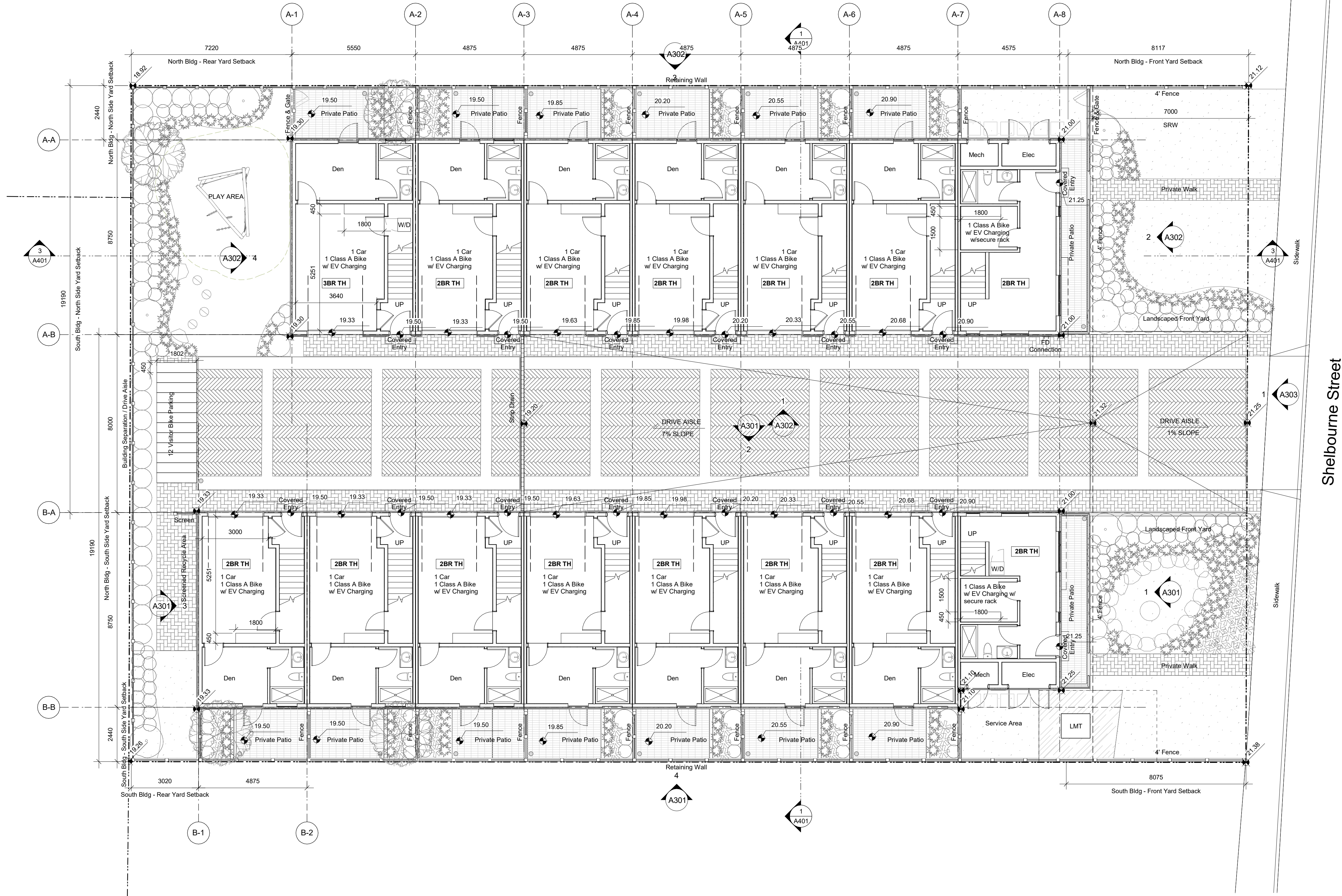
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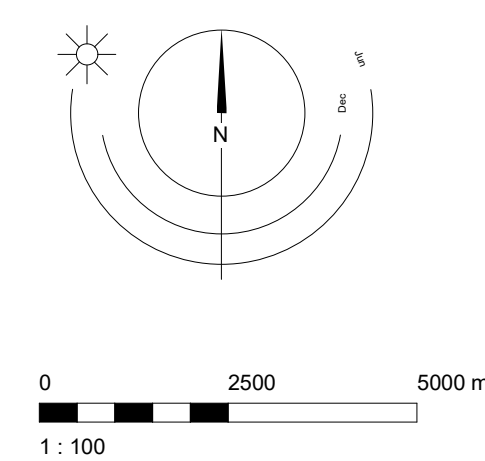
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1 Level 1 - Overall Plan  
A201 SCALE: 1 : 100



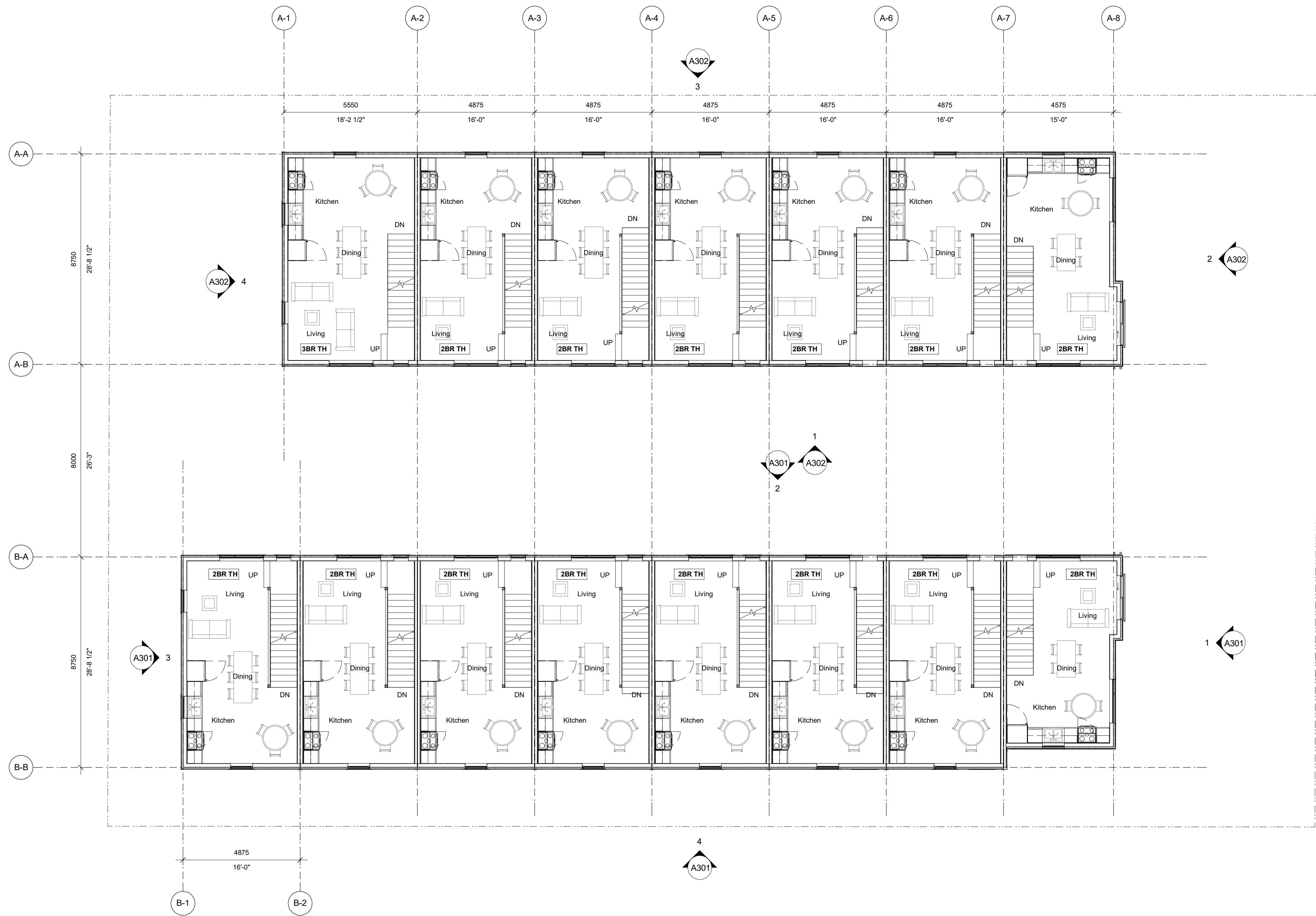
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**TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
**L1 Plan**





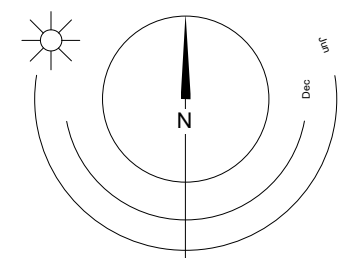
1 Level 2 - Overall Plan  
A202 SCALE: 1 : 100

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**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
L2 Plan



0 2500 5000 mm  
1 : 100

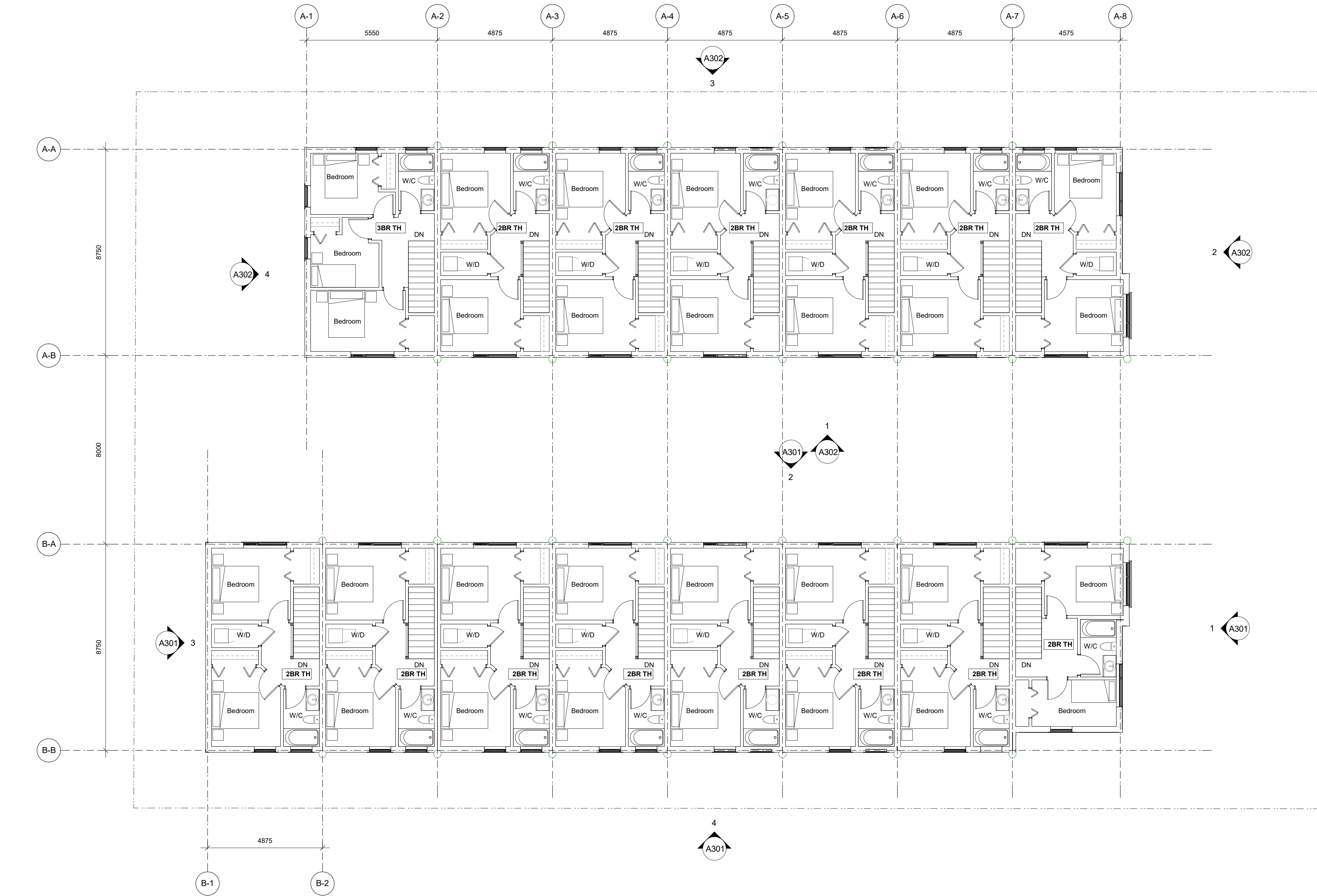
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A1



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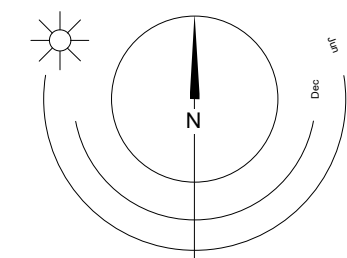
1 Level 3 - Overall Plan  
A203 SCALE: 1 : 100

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Street, Victoria, BC  
**L3 Plan**



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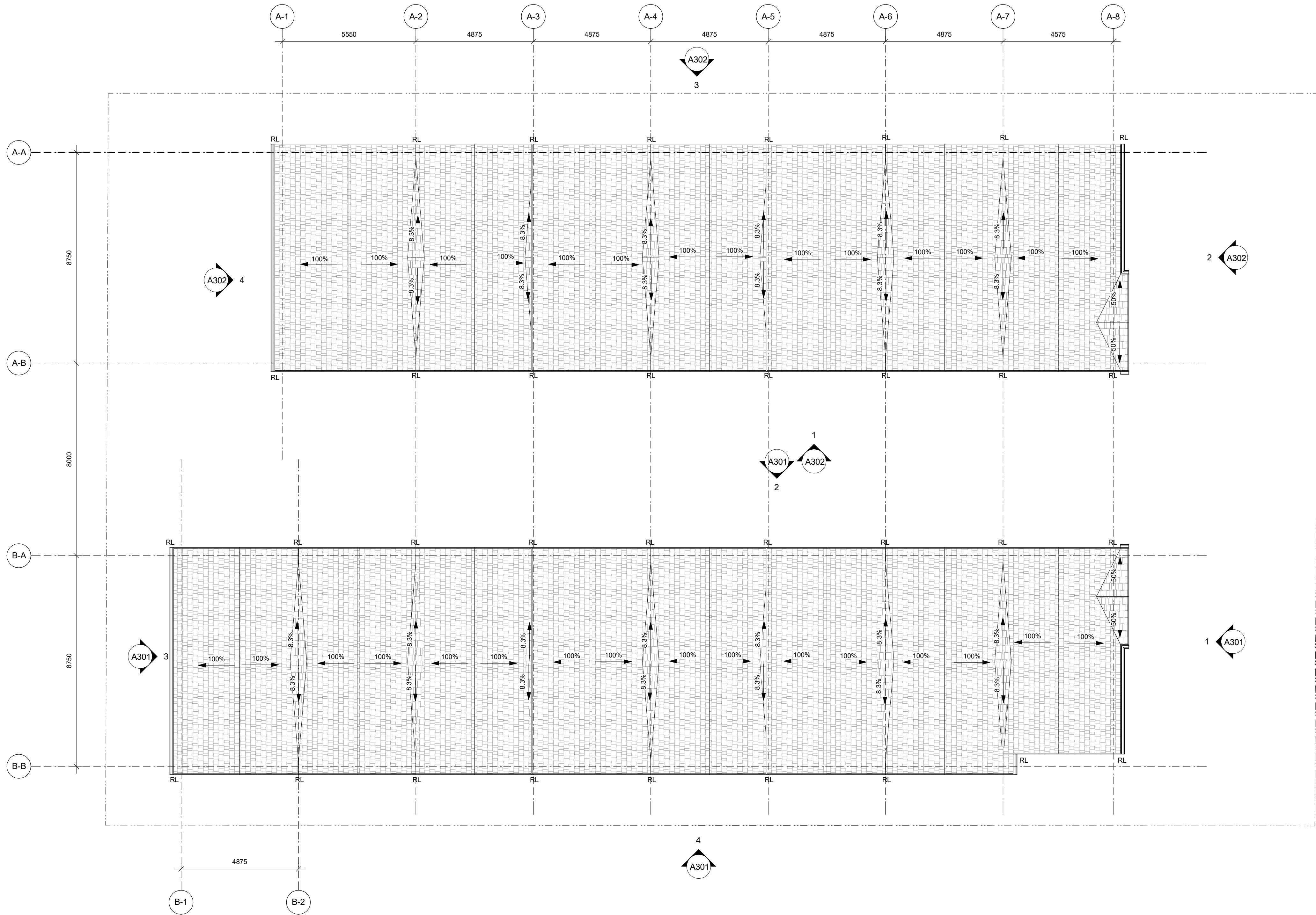
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A1



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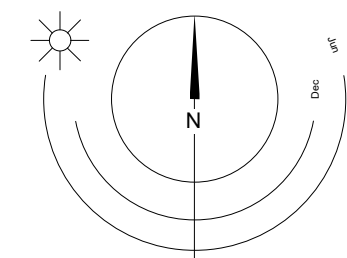
1 Roof - Overall Plan  
A204 SCALE: 1 : 100

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**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
**Roof Plan**



0 2500 5000 mm  
1: 100

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A1



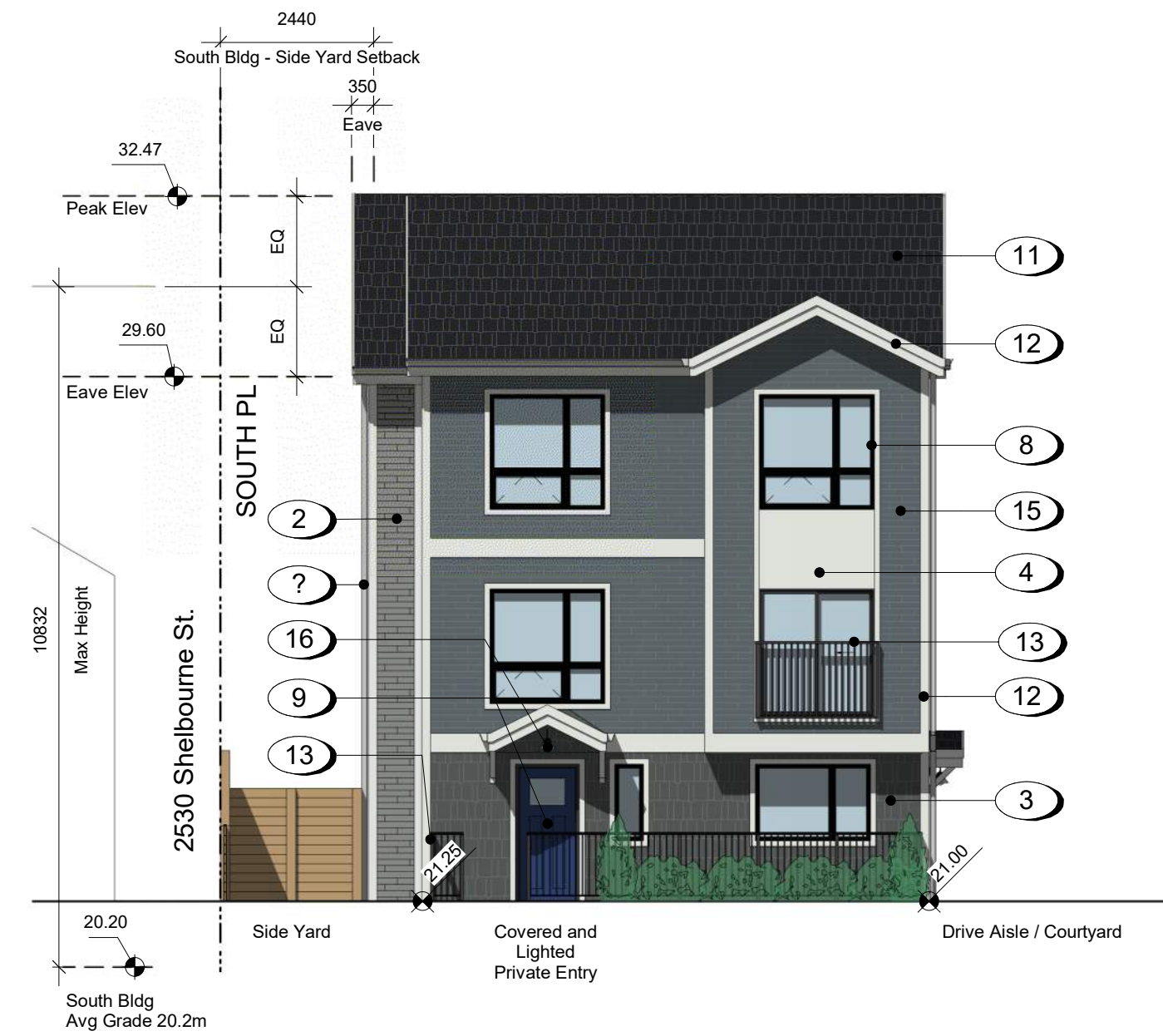
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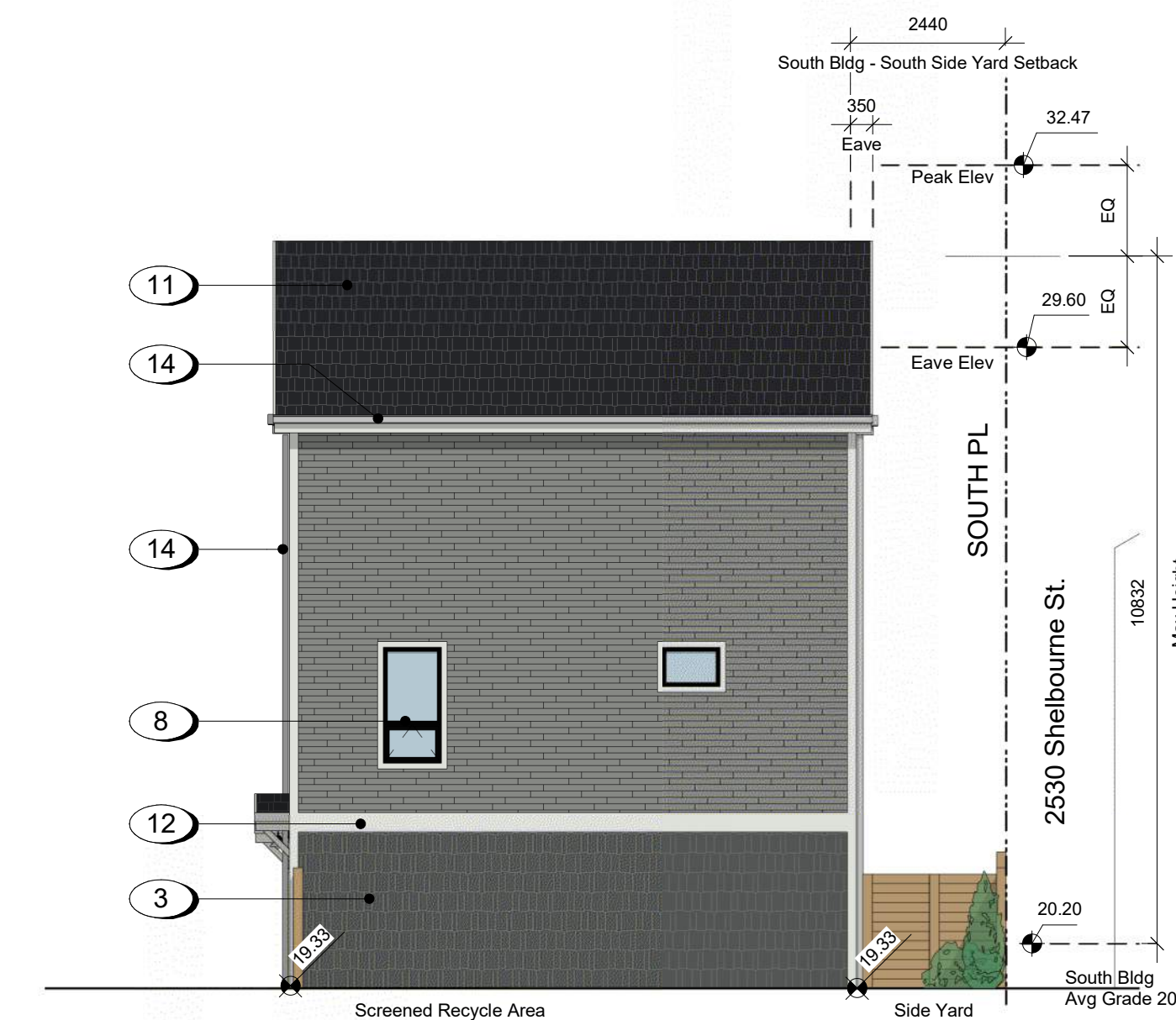
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- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Fibreglass OH Door - White
- 7 Fibre Cement Lap Siding - Sage
- 8 Low E Vinyl Window - Black Trim
- 9 Pre-finished Fibreglass Door - Colour Varies
- 10 Exterior Fibreglass Door Panel Painted Black
- 11 Asphalt Shingles - Black
- 12 Prefinished Fibre Cement Trim - White
- 13 Pre-finished Aluminum - Black
- 14 Rain Weater Leader / Conductor Head - Galvanized
- 15 Fibre Cement Lap Siding - Evening Blue
- 16 Frosted glass Entry Light



1 West Building - East Elevation Copy 1  
A301 SCALE: 1 : 100



2 South Building - North Elevation  
A301 SCALE: 1 : 100



3 South Bldg - West Elevation  
A301 SCALE: 1 : 100



4 South Building - South Elevation  
A301 SCALE: 1 : 100

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FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
South Building  
Elevations



- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Fibreglass OH Door - White
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FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
North Building  
Elevations

dHKa  
A:  
REGISTERED ARCHITECT  
RICHARD KARCHITECTS  
2023-09-05  
BRITISH COLUMBIA  
dHKarchitects  
Victoria  
977 Fort Street  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810  
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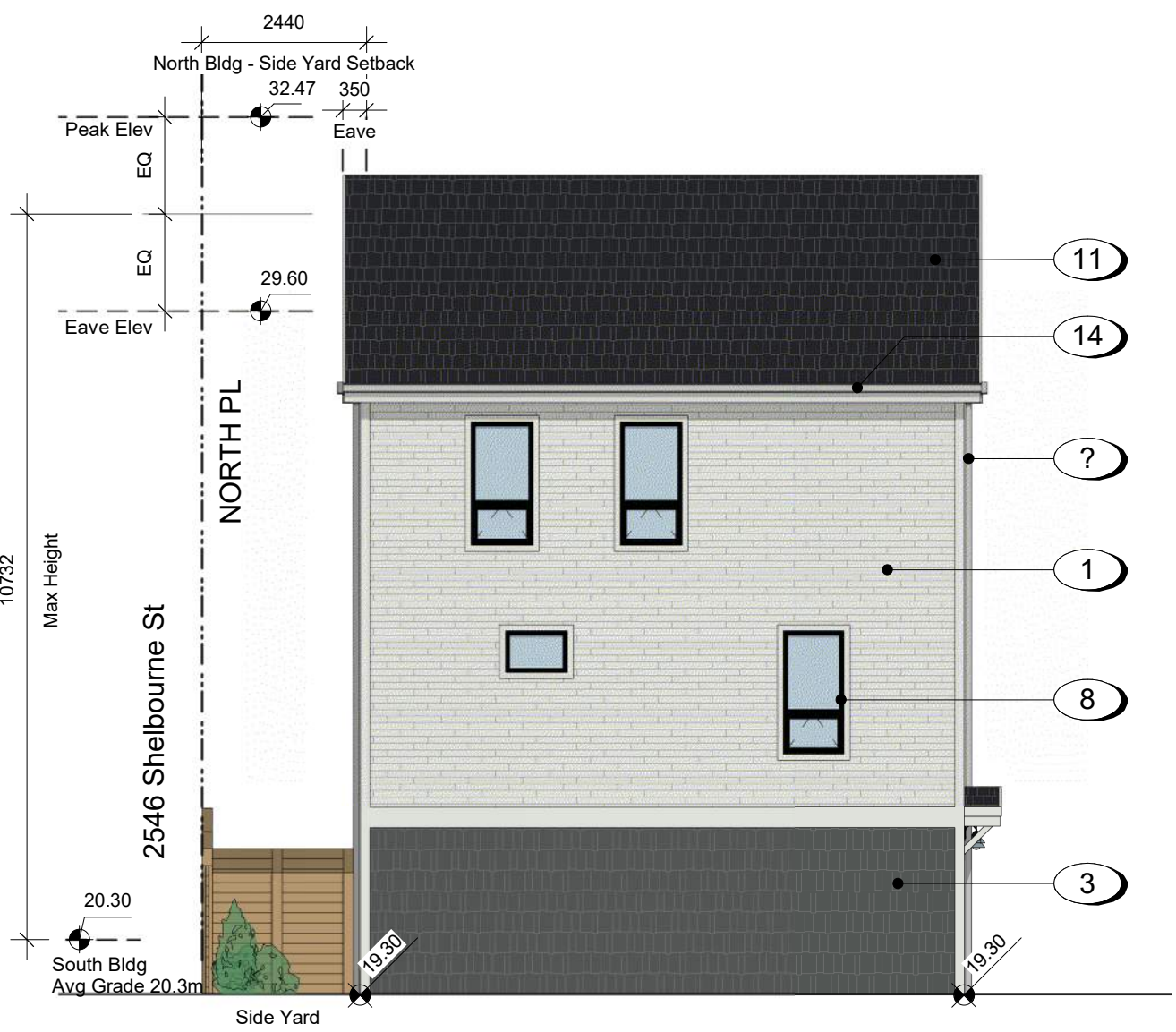
1 North Building - South Elevation  
A302 SCALE: 1 : 100



2 North Building - East Elevation  
A302 SCALE: 1 : 100



3 North Building - North Elevation  
A302 SCALE: 1 : 100



4 West Elevation  
A302 SCALE: 1 : 100





1 East Elevation on Shelbourne Street  
A303 SCALE: 1 : 125

23/04/20 ISSUED FOR DP AMENDMENTS  
22/10/04 ISSUED FOR DP AMENDMENTS  
22/10/24 ISSUED FOR ADP  
22/07/18 ISSUED FOR REZONING

|           |          |                |         |
|-----------|----------|----------------|---------|
| Plot Date | 23/09/01 | Drawing File   |         |
| Drawn By  | Author   | Checked By     | Checker |
| Scale     | 1 : 125  | Project Number |         |

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
**Street Elevation**

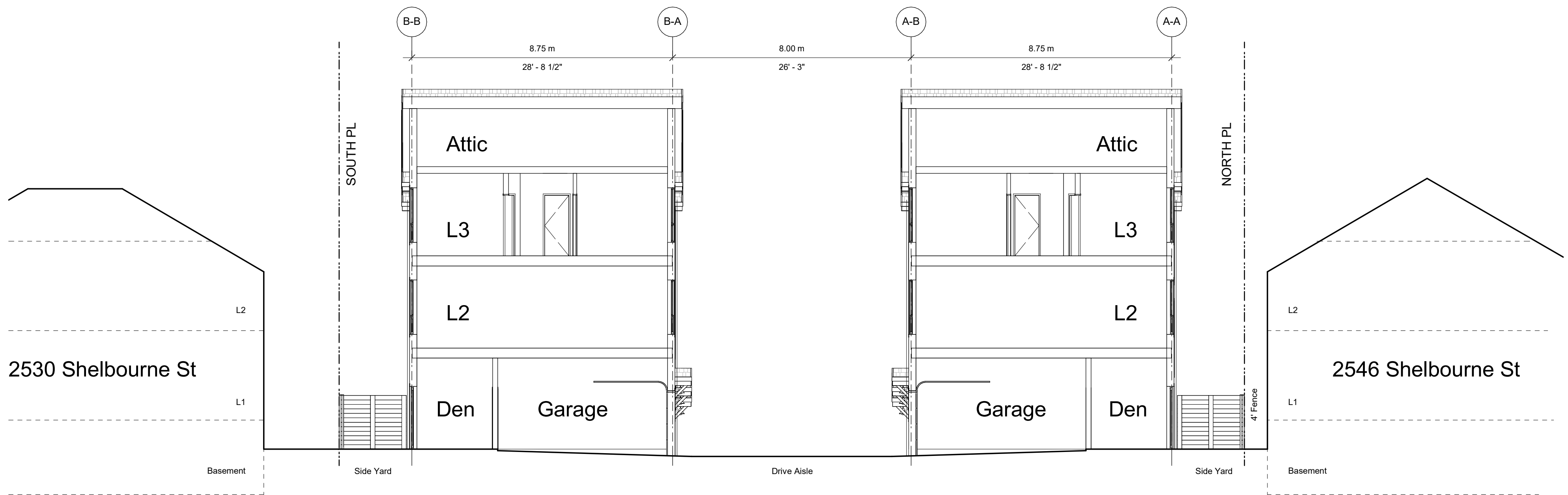
dHka

A:

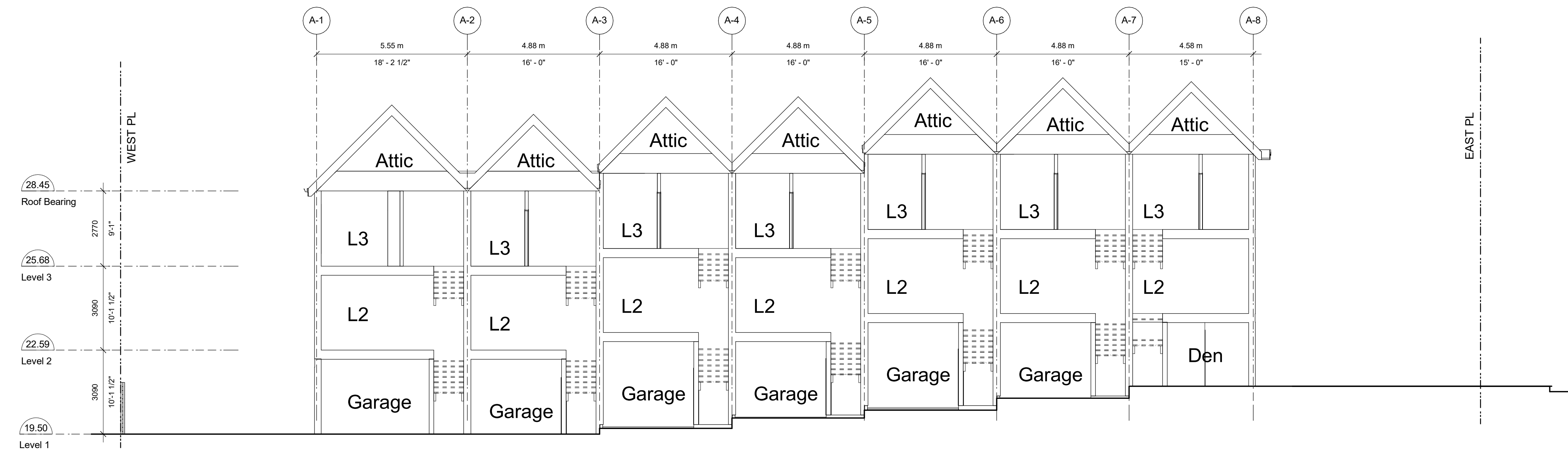


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1 South to North Site Section  
A401 SCALE: 1 : 100



3 West to East Site Section Through Drive Aisle  
A401 SCALE: 1 : 100

23/04/20 ISSUED FOR DP AMENDMENTS  
22/10/04 ISSUED FOR DP AMENDMENTS  
22/10/24 ISSUED FOR ADP  
22/07/18 ISSUED FOR REZONING

Plot Date 23/09/01 Drawing File  
Drawn By ADMINVR Checked By ADM  
Scale 1 : 100 Project Number

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Sections



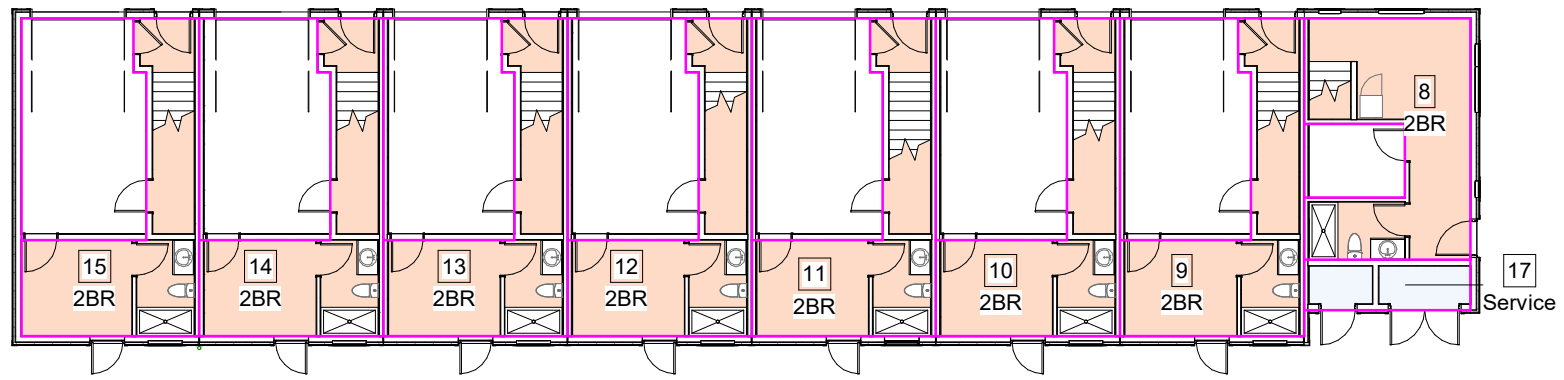
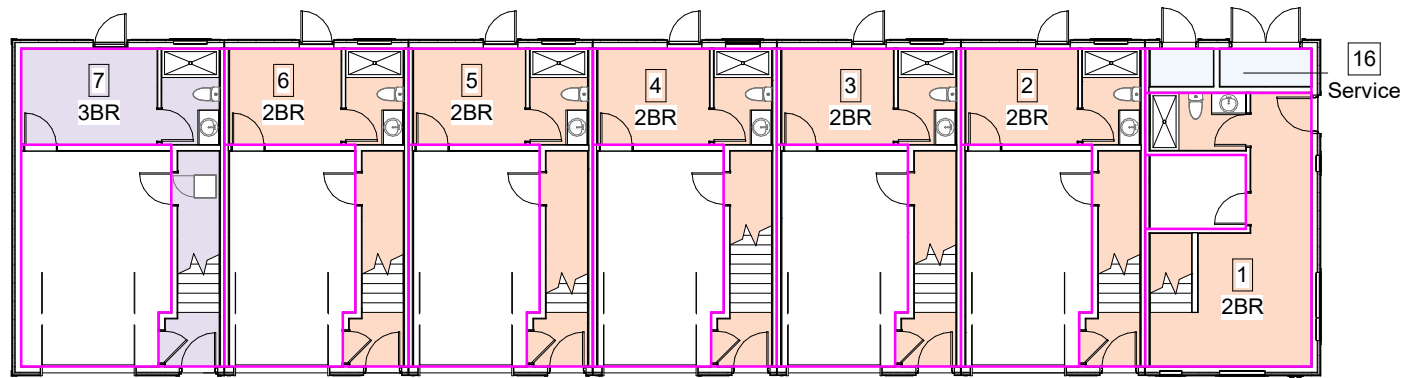
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Victoria  
977 Fort Street  
Nanaimo

102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

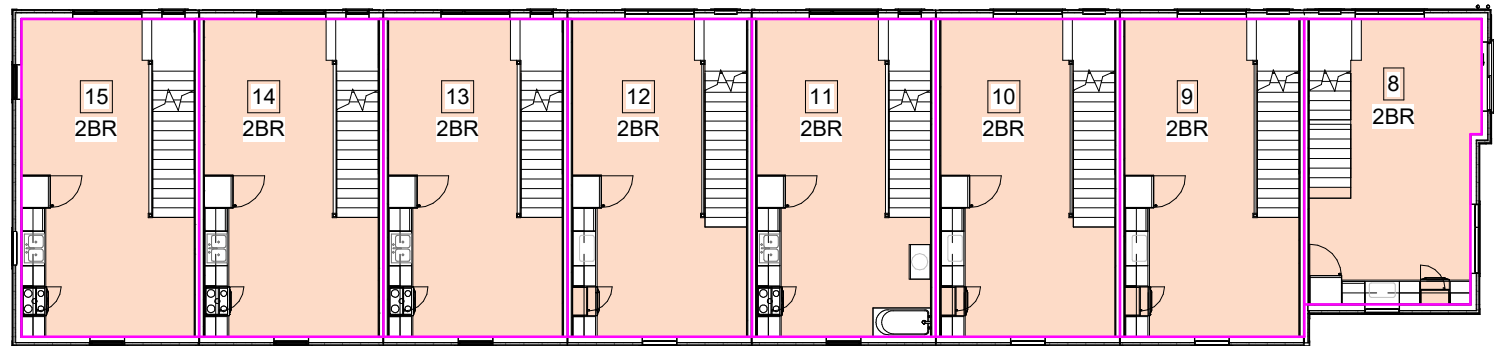
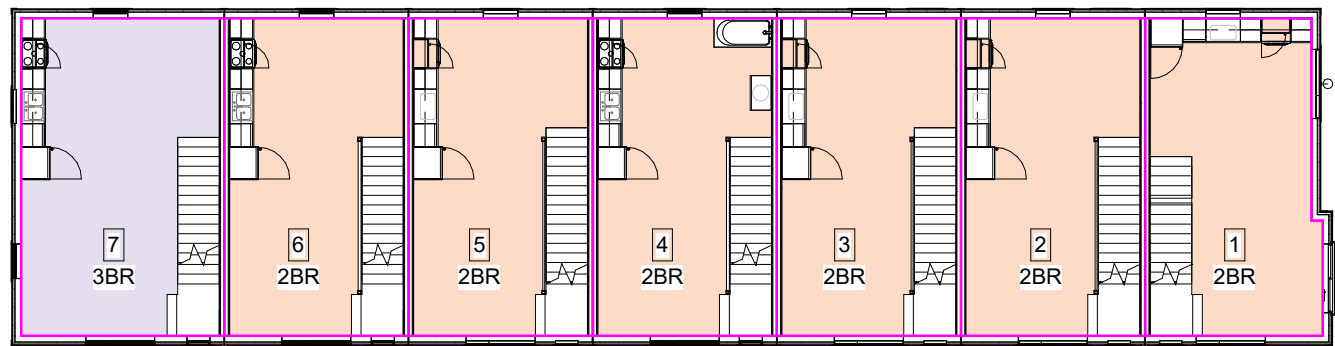
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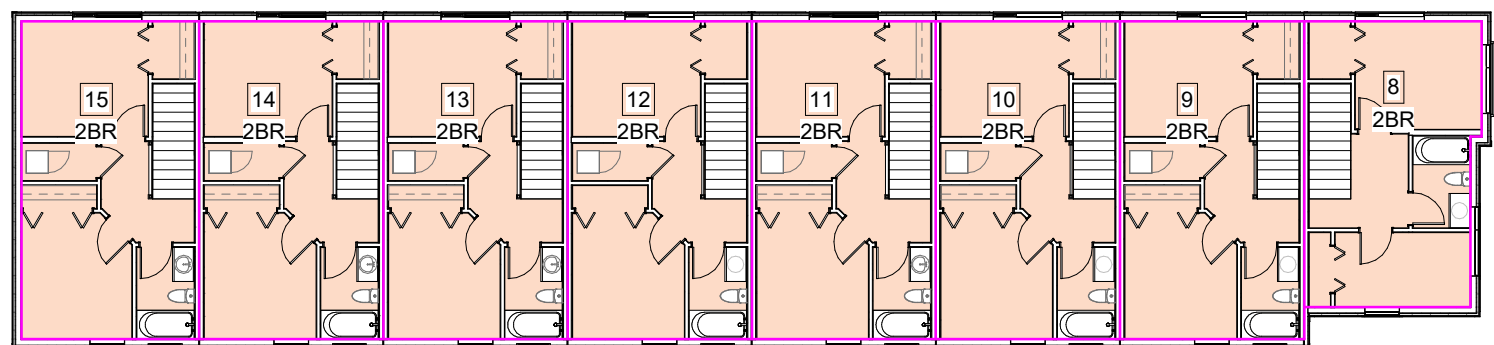
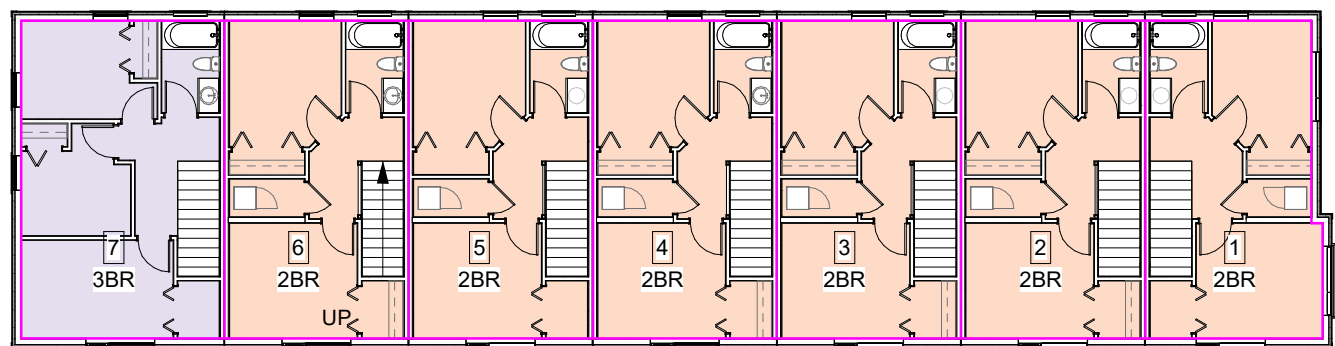




1 Level 1 Unit FARs  
A900 SCALE: 1 : 200



2 Level 2 Unit FARs  
A900 SCALE: 1 : 200



3 Level 3 Unit FARs  
A900 SCALE: 1 : 200

| Level Areas (FAR) - North Building |           |
|------------------------------------|-----------|
| Area                               |           |
| Level 1                            | 159.89 m² |
| Level 2                            | 288.29 m² |
| Level 3                            | 288.29 m² |
|                                    | 736.46 m² |

| Unit Areas (FAR) - North Building |           |
|-----------------------------------|-----------|
| Level                             | Area      |
| Service (North Building)          |           |
| Level 1                           | 5.16 m²   |
| Unit 1 (North Building)           |           |
| Level 1                           | 26.66 m²  |
| Level 2                           | 37.94 m²  |
| Level 3                           | 37.94 m²  |
|                                   | 102.53 m² |
| Unit 2 (North Building)           |           |
| Level 1                           | 21.16 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.26 m² |
| Unit 3 (North Building)           |           |
| Level 1                           | 21.13 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.23 m² |
| Unit 4 (North Building)           |           |
| Level 1                           | 21.05 m²  |
| Level 2                           | 40.88 m²  |
| Level 3                           | 40.88 m²  |
|                                   | 102.81 m² |
| Unit 5 (North Building)           |           |
| Level 1                           | 21.19 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.29 m² |
| Unit 6 (North Building)           |           |
| Level 1                           | 21.16 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.26 m² |
| Unit 7 (North Building)           |           |
| Level 1                           | 22.40 m²  |
| Level 2                           | 45.26 m²  |
| Level 3                           | 45.26 m²  |
|                                   | 112.93 m² |
|                                   | 736.46 m² |

| Level Areas (FAR) - South Building |           |
|------------------------------------|-----------|
| Area                               |           |
| Level 1                            | 176.29 m² |
| Level 2                            | 319.88 m² |
| Level 3                            | 319.88 m² |
|                                    | 816.04 m² |

| Unit Areas (FAR) - South Building |           |
|-----------------------------------|-----------|
| Level                             | Area      |
| Service (South Building)          |           |
| Level 1                           | 5.90 m²   |
|                                   | 5.90 m²   |
| Unit 8 (South Building)           |           |
| Level 1                           | 22.92 m²  |
| Level 2                           | 34.20 m²  |
| Level 3                           | 34.20 m²  |
|                                   | 91.31 m²  |
| Unit 9 (South Building)           |           |
| Level 1                           | 21.16 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.26 m² |
| Unit 10 (South Building)          |           |
| Level 1                           | 21.13 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.23 m² |
| Unit 11 (South Building)          |           |
| Level 1                           | 21.05 m²  |
| Level 2                           | 40.88 m²  |
| Level 3                           | 40.88 m²  |
|                                   | 102.81 m² |
| Unit 12 (South Building)          |           |
| Level 1                           | 21.19 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.29 m² |
| Unit 13 (South Building)          |           |
| Level 1                           | 21.16 m²  |
| Level 2                           | 41.05 m²  |
| Level 3                           | 41.05 m²  |
|                                   | 103.26 m² |
| Unit 14 (South Building)          |           |
| Level 1                           | 21.11 m²  |
| Level 2                           | 41.01 m²  |
| Level 3                           | 41.01 m²  |
|                                   | 103.13 m² |
| Unit 15 (South Building)          |           |
| Level 1                           | 20.69 m²  |
| Level 2                           | 39.59 m²  |
| Level 3                           | 39.59 m²  |
|                                   | 99.86 m²  |
|                                   | 816.04 m² |

### AREA CALCULATIONS

SITE AREA: 1,526 m² (16,426 s.f.)

TOTAL PROPOSED: 1,552.5 m² (16,711 s.f.)

FLOOR SPACE RATIO: 1.02 : 1 FSR

SITE COVERAGE 640 m² = 42%

OPEN SITE SPACE 504 m² = 33%

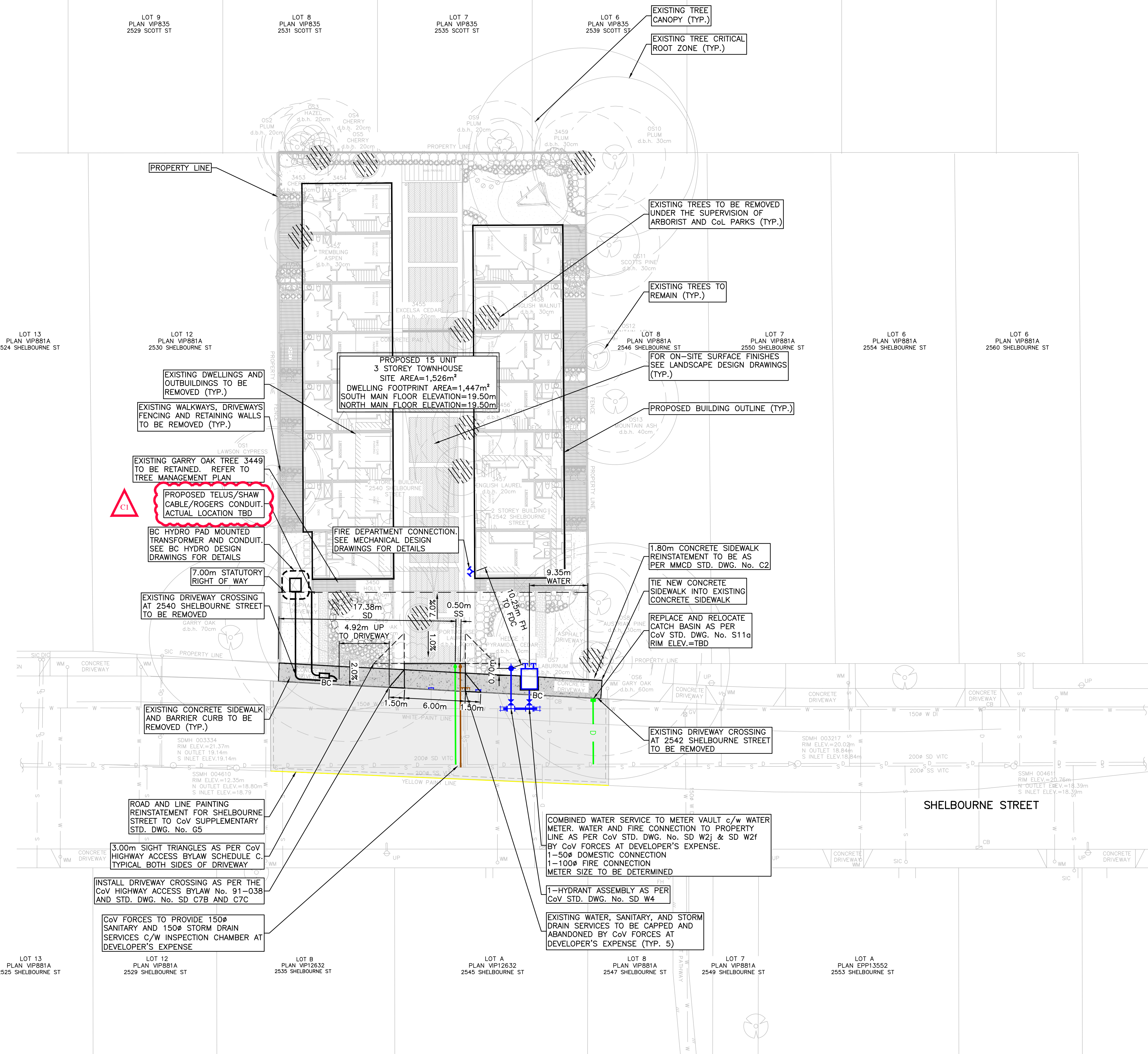
23/09/01 ISSUED FOR DP AMENDMENTS  
23/07/27 ISSUED FOR DP AMENDMENTS  
23/04/20 ISSUED FOR DP AMENDMENTS  
22/10/04 ISSUED FOR DP AMENDMENTS

Plot Date 23/09/01 Drawing File  
Drawn By Author Checked By Checker  
Scale 1 : 200 Project Number  
NOTE: All dimensions are shown in millimeters.

FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Area Plans



File: \\Projects\6020-001 Shelbourne Street Townhouse - Civil\04C Drawings\6020-001 Civil.dwg Plot Time: Sep. 5, 23 1:18 PM User: Sarah Campden



#### NOTES:

1. FOR GENERAL NOTES SEE SHEET C100 (TO FOLLOW).
2. ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE ~~CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.~~
3. FOR SHALLOW UTILITIES DESIGN, SEE SHEET C400 AND INDIVIDUAL UTILITY DESIGN DRAWINGS (TO FOLLOW). DESIGN TO BE DETERMINED BY THIRD PARTY UTILITIES AT A LATER DATE.
4. ~~CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY CoV FORCES.~~

| ISSUES |            |                      |
|--------|------------|----------------------|
| No.    | DATE       | ISSUED FOR           |
| 1      | 2022.11.04 | REVIEW               |
| 2      | 2023.02.01 | DEVELOPMENT PERMIT   |
| 3      | 2023.04.26 | DEVELOPMENT PERMIT-2 |
| 4      | 2023.07.28 | DEVELOPMENT PERMIT-3 |
| 5      | 2023.09.05 | DEVELOPMENT PERMIT-4 |
| CLIENT |            |                      |

ISSUED FOR  
DEVELOPMENT PERMIT

SHELBOURNE STREET TOWNHOUSE  
2540 & 2542 SHELBOURNE STREET  
FRAME PROPERTIES

CITY OF VICTORIA

| UNDERGROUND SERVICE INFORMATION |             |    |                |
|---------------------------------|-------------|----|----------------|
| INFORMATION IS AT PROPERTY LINE | STORM DRAIN |    | SANITARY SEWER |
| EXISTING DEPTH (m)              |             |    |                |
| PROPOSED DEPTH (m)              |             |    |                |
| PROPOSED INVERT ELEVATION (m)   |             |    |                |
| MAXIMUM DEPTH REQUESTED         | YES         | NO | YES NO         |

| WORKS AND SERVICES CHECKLIST |                          |                           |      |
|------------------------------|--------------------------|---------------------------|------|
| PLAN CHECKER                 |                          | AUTHORIZED REPRESENTATIVE |      |
|                              |                          | NAME                      | NAME |
| UTILITY                      | HYDRO ELECTRICAL COMPANY |                           |      |
|                              | TELEPHONE COMPANY        |                           |      |
|                              | GAS COMPANY              |                           |      |
|                              | CABLE COMPANY            |                           |      |
|                              | UNDERGROUND SERVICES     |                           |      |
| MUNICIPAL                    | TRAFFIC                  |                           |      |
|                              | HIGHWAYS                 |                           |      |
|                              |                          | DATE                      |      |

#### PRELIMINARY CIVIL SITE SERVICING PLAN

|                                     |                                 |
|-------------------------------------|---------------------------------|
| DESIGNED<br>TL                      | ENGINEER'S SEAL                 |
| DESIGN REVIEW<br>AH                 |                                 |
| DRAFTED<br>SAC                      |                                 |
| DRAFTING REVIEW                     |                                 |
| PROJECT No.<br>6020-001             | CLIENT DRAWING No.              |
| SCALE<br>H: AS NOTED<br>V: AS NOTED | PERMIT No.<br>REZ00808/DPV00216 |
| HEL DRAWING No.<br>C200             | REVISION<br>1 OF 1<br>5         |



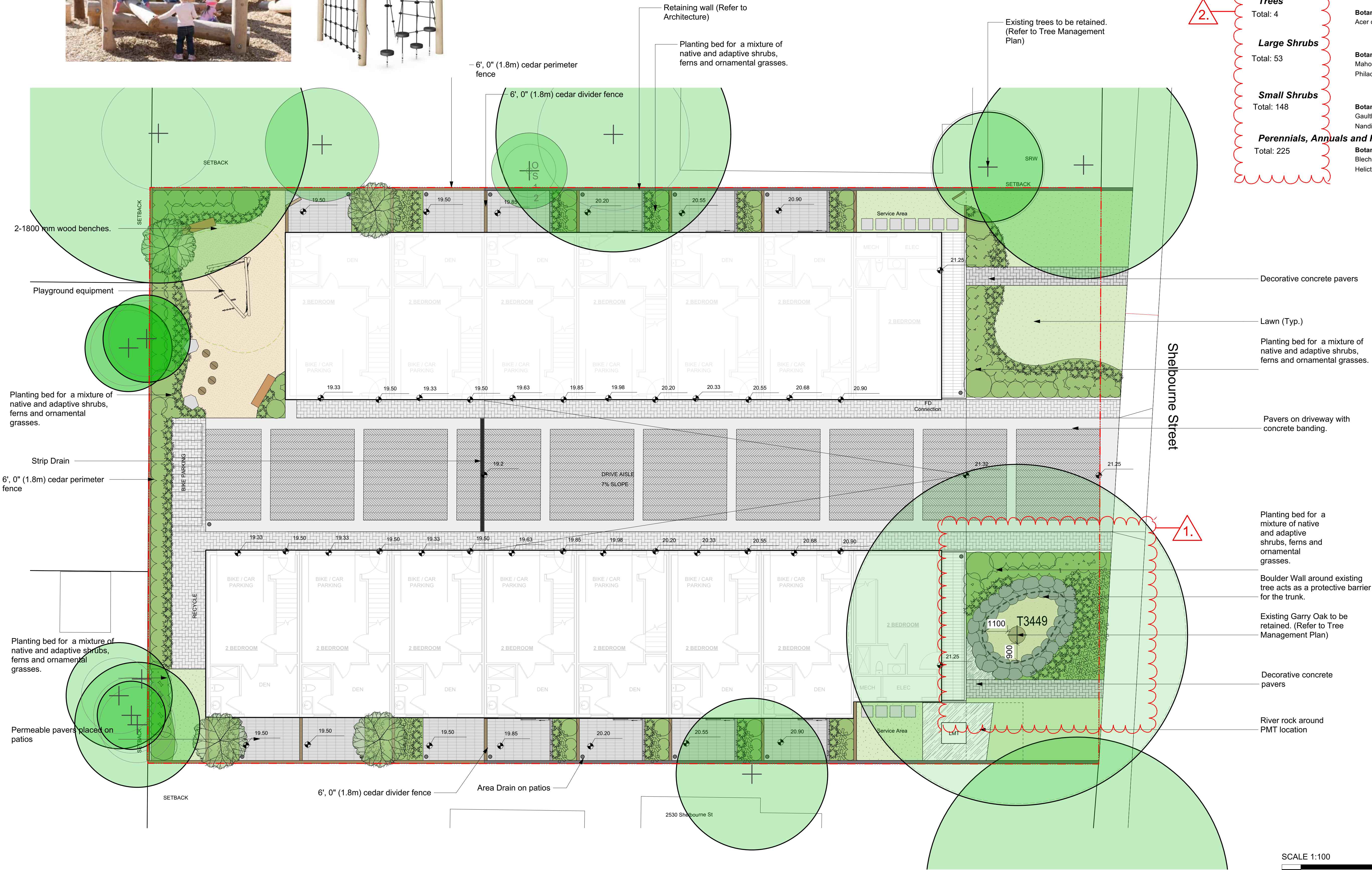
DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION



Nature-themed play



KOMPAN -Robinia Natural Playground climbing structure NRO852



### Recommended Nursery Stock

|                                                    |                                                                                             |                                                                     |                                  |
|----------------------------------------------------|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------|----------------------------------|
| <b>Trees</b><br>Total: 4                           | <b>Botanical Name</b><br><i>Acer circinatum</i>                                             | <b>Common Name</b><br>Vine Maple                                    | <b>Size</b><br>2M Ht.            |
| <b>Large Shrubs</b><br>Total: 53                   | <b>Botanical Name</b><br><i>Mahonia aquifolium</i><br><i>Philadelphus 'Belle Etoile'</i>    | <b>Common Name</b><br>Tall Oregon Grape<br>Belle Etoile Mock Orange | <b>Size</b><br># 5 pot<br>#7 pot |
| <b>Small Shrubs</b><br>Total: 148                  | <b>Botanical Name</b><br><i>Gaultheria shallon</i><br><i>Nandina domestica 'Fire Power'</i> | <b>Common Name</b><br>Salal<br>Fire Power Heavenly Bamboo           | <b>Size</b><br># 1 pot<br>#1 pot |
| <b>Perennials, Annuals and Ferns</b><br>Total: 225 | <b>Botanical Name</b><br><i>Blechnum spicant</i><br><i>Helictotrichon sempervirens</i>      | <b>Common Name</b><br>Deer Fern<br>Blue Oat Grass                   | <b>Size</b><br>#1 pot<br># 1 pot |

### LEGEND

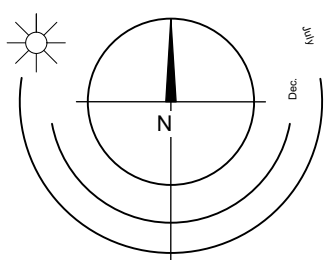
|  |                                                   |
|--|---------------------------------------------------|
|  | Lawn (Typ.)                                       |
|  | Planting Bed                                      |
|  | Permeable Pavers on Patios                        |
|  | Decorative Concrete Pavers                        |
|  | Concrete Pavers on Driveway (Herringbone Pattern) |
|  | Safety Surfacing (Wood Chips)                     |
|  | River Rock                                        |

### REVISIONS

REV. 1: Tree Well adjusted. Sidewalk shifted.  
REV. 2: Plant quantities revised.

SCALE 1:100

0 5 10



LADR LANDSCAPE ARCHITECTS

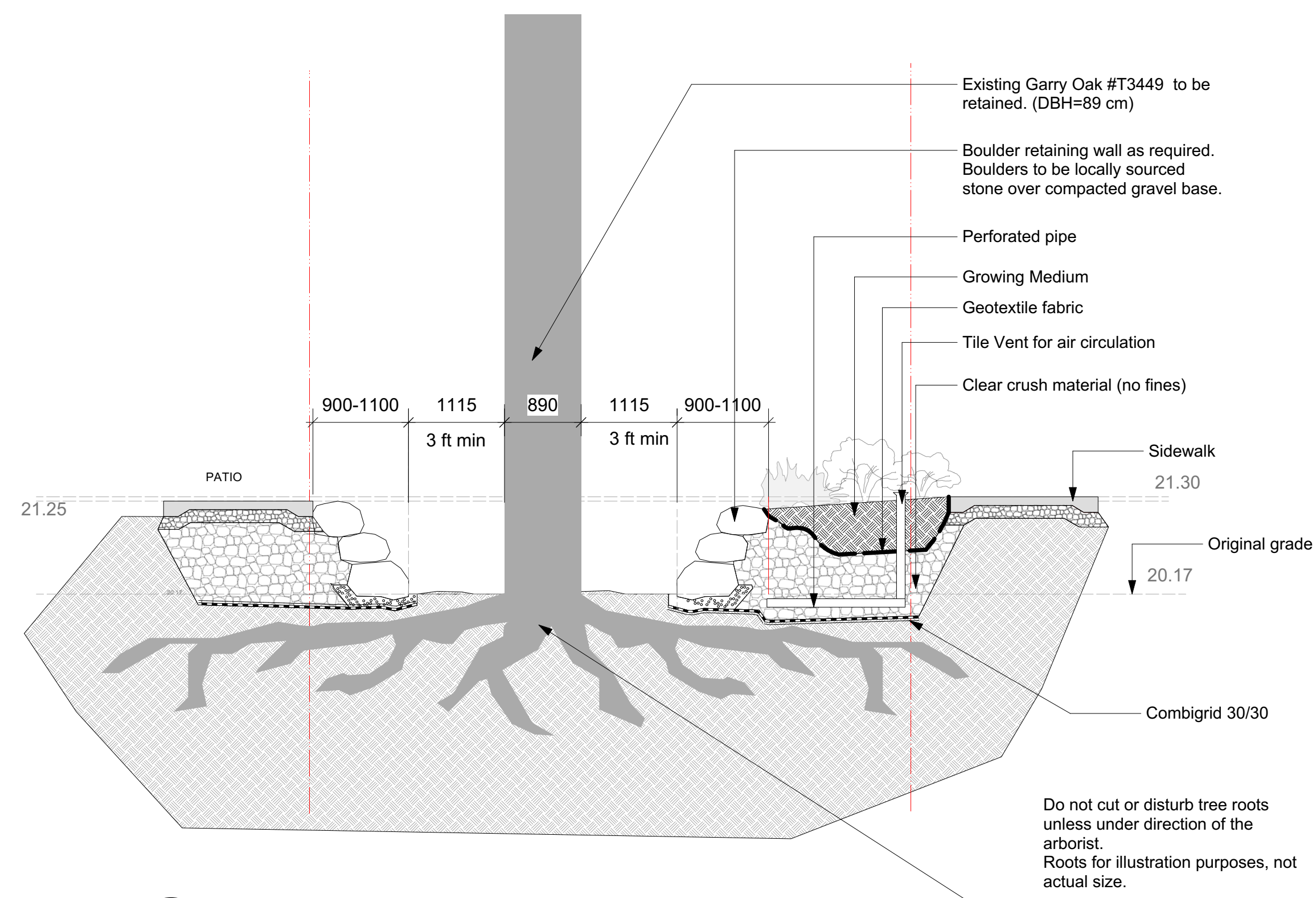
Project No: 2209 MAR-31-23

#3-864 Queens Ave. Victoria B.C. V8T 1M5  
Phone: (250) 598-0105

Sept 05, 2023  
July 28, 2023

# Landscape Concept | 2540 Shelbourne

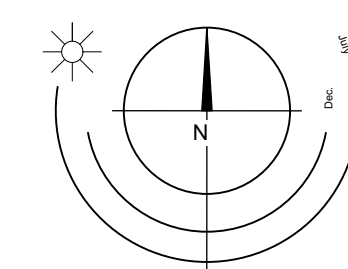




1 **Boulder Tree Well Detail**  
Scale: 1:50

# Landscape Concept | 2540 Shelbourne

SCALE 1:100  
0 5 10



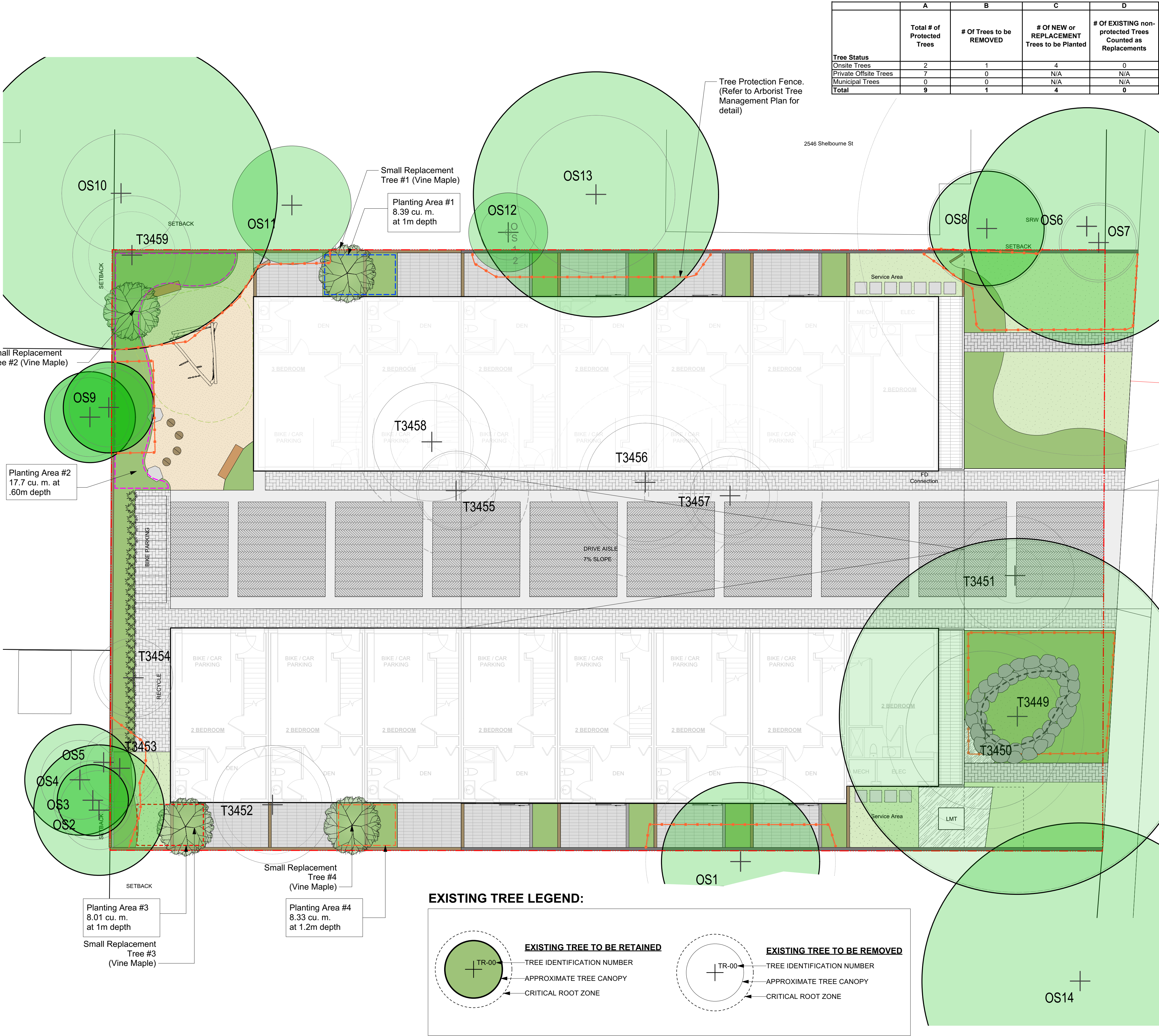
**LADR LANDSCAPE ARCHITECTS**

Project No: 2209 MAR-31-23

#3-864 Queens Ave. Victoria B.C. V8T 1M5  
Phone: (250) 598-0105

Sept 05, 2023  
July 28, 2023





|                       | A                          | B                        | C                                           | D                                                         |
|-----------------------|----------------------------|--------------------------|---------------------------------------------|-----------------------------------------------------------|
|                       | Total # of Protected Trees | # Of Trees to be REMOVED | # Of NEW or REPLACEMENT Trees to be Planted | # Of EXISTING non-protected Trees Counted as Replacements |
| Tree Status           |                            |                          |                                             |                                                           |
| Onsite Trees          | 2                          | 1                        | 4                                           | 0                                                         |
| Private Offsite Trees | 7                          | 0                        | N/A                                         | N/A                                                       |
| Municipal Trees       | 0                          | 0                        | N/A                                         | N/A                                                       |
| Total                 | 9                          | 1                        | 4                                           | 0                                                         |

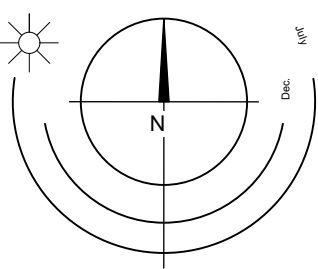
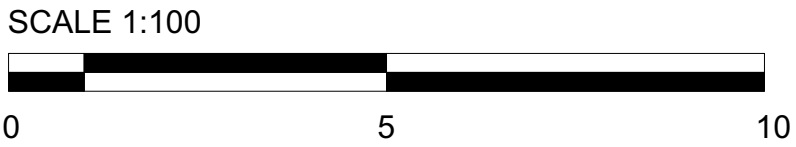
| Tag or ID # | Name Common       | dbh (cm)             | Ht (m) | Critical root zone radius (m) | Drip-line radius (m) | Condition Health | Structural | Relative tolerance | General field observations/remarks                                                                                                                                                                                                                                                                     |
|-------------|-------------------|----------------------|--------|-------------------------------|----------------------|------------------|------------|--------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 3449        | Garry oak         | 89                   | 25     | 8.9                           | 9                    | Good             | Good       | Good               | Endweighted scaffold limb extends over Shelbourne Street, historic pruning wounds with associated decay, split limb on North side of the lower crown - at 10m above grade, existing overhead utilities cross through canopy, deadwood throughout the crown.                                            |
| 3450        | Holly             | 23, 20, 24           | 15     | 5                             | 4                    | Good             | Fair/poor  | Good               | Suppressed by 3449 - asymmetric crown on East side due to shading, topped historically at 4m above grade - multiple regrowth leaders form at topping location.                                                                                                                                         |
| 3451        | Portuguese laurel | 14                   | 5      | 1.4                           | 3                    | Good             | Fair       | Good               | Suppressed by 3449 - poor trunk taper.                                                                                                                                                                                                                                                                 |
| OS1         | Lawson cypress    | 48                   | 20     | 4.8                           | 4                    | Fair             | Fair/good  | Poor               | Health stress - sparse crown, existing retaining wall may be obstructing root growth into the subject property.                                                                                                                                                                                        |
| 3452        | Trembling aspen   | 25                   | 15     | 2.5                           | 3                    | Fair             | Fair       | Poor               | Topped historically at 3m above grade - multiple regrowth leaders form at topping location.                                                                                                                                                                                                            |
| OS2         | Plum              | 12, 20 ~             | 10     | 3.3                           | 2                    | Fair             | Fair/poor  | Moderate           | Suppressed by OS3 - asymmetric crown on North side due to shading.                                                                                                                                                                                                                                     |
| OS3         | Hazel             | 8 x 8 ~              | 10     | 1.8                           | 2                    | Fair             | Fair/poor  | Good               | Multiple stems cluster.                                                                                                                                                                                                                                                                                |
| OS4         | Cherry            | 15, 14 ~             | 10     | 2.8                           | 2                    | Fair/poor        | Poor       | Moderate           | Fruiting cherry, suppressed - poor trunk taper.                                                                                                                                                                                                                                                        |
| 3453        | Cherry            | 14                   | 5      | 1.7                           | 2                    | Fair             | Poor       | Moderate           | Fruiting cherry, suppressed - poor trunk taper, phototropic growth form.                                                                                                                                                                                                                               |
| 3454        | Cherry            | 8, 5, 5, 4           | 4      | 1.7                           | 2                    | Fair             | Fair/poor  | Moderate           | Fruiting cherry, multiple stems cluster.                                                                                                                                                                                                                                                               |
| OS5         | Cherry            | 10 ~                 | 4      | 1.2                           | 2                    | Fair             | Fair/poor  | Moderate           | Fruiting cherry, ivy covered.                                                                                                                                                                                                                                                                          |
| 3455        | Excelsa cedar     | 16                   | 5      | 1.9                           | 2                    | Poor             | Fair/poor  | Moderate           | Declining health - dead top, sloughing bark.                                                                                                                                                                                                                                                           |
| 3456        | Mountain ash      | 28                   | 7      | 3.4                           | 3                    | Fair             | Fair/poor  | Moderate           | Backfilled around root collar, included bark at branch unions.                                                                                                                                                                                                                                         |
| 3457        | English laurel    | 6, 11, 11, 10, 10, 8 | 5      | 2.4                           | 2                    | Good             | Fair/poor  | Good               | Suppressed between houses.                                                                                                                                                                                                                                                                             |
| Hedge 1     | Pyramidal cedar   | Multiple stems       | 8      | 1                             | 1                    | Fair             | Fair/poor  | Moderate           | Hedge row consisting of 7 individual trees. Growing on bottom side of the existing retaining wall.                                                                                                                                                                                                     |
| OS6         | Garry oak         | 80, 60 ~             | 20     | 11.6                          | 6                    | Fair             | Fair       | Good               | Codominant stems form at 2m above grade - no major weaknesses visible at stem union, nesting hole on Eastern stem at 10m above grade, large fruiting body (ironclad dryadus) attached to South side of the root collar, growing in wet soil conditions, health stress - small deadwood in upper crown. |
| OS7         | Laburnum          | 7, 7, 8, 6, 6, 6, 6  | 6      | 1.9                           | 2                    | Fair             | Fair/poor  | Moderate           | Multiple stems cluster.                                                                                                                                                                                                                                                                                |
| OS8         | Austrian pine     | 29                   | 15     | 2.9                           | 3                    | Good             | Fair       | Good               | Suppressed by OS6 - poor trunk taper - asymmetric crown on East side due to shading.                                                                                                                                                                                                                   |
| 3459        | English walnut    | 21                   | 8      | 2.1                           | 3                    | Good             | Fair       | Good               | Competing with 3455 - asymmetric crown on South side due to shading.                                                                                                                                                                                                                                   |
| OS9         | Plum              | 10, 8, 7, 6, 6, 6, 6 | 5      | 2.3                           | 2                    | Fair/good        | Fair/poor  | Moderate           | Flowering plum, multiple stems cluster.                                                                                                                                                                                                                                                                |
| 3459        | Plum              | 10, 8, 6, 5, 5, 5, 5 | 5      | 11.3                          | 3                    | Fair             | Fair/poor  | Moderate           | Fruiting plum, suppressed by OS10 - asymmetric crown on North side due to shading.                                                                                                                                                                                                                     |
| OS10        | Plum              | 30, 30, 30           | 15     | 7.9                           | 3                    | Fair             | Fair/poor  | Moderate           | Multiple stems form at .5m above grade - narrow angles of attachment.                                                                                                                                                                                                                                  |
| OS11        | Scots pine        | 30 ~                 | 10     | 3                             | 3                    | Good             | Fair       | Good               | Corrected lean.                                                                                                                                                                                                                                                                                        |
| OS12        | Mountain ash      | 6, 5, 4, 3, 3 ~      | 5      | 1.4                           | 2                    | Good             | Fair/poor  | Moderate           | Multiple stems form at base - narrow angles of attachment.                                                                                                                                                                                                                                             |
| OS13        | Pear              | 25, 25, 20           | 15     | 6.2                           | 4                    | Good             | Fair       | Moderate           | Multiple stems form at 1m above grade - narrow angles of attachment.                                                                                                                                                                                                                                   |
| OS14        | Garry oak         | 80 ~                 | 25     | 8                             | 7                    | Good             | Fair       | Good               | Side pruned on East side for hydro clearance, roots obstructed on North side by the existing retaining wall.                                                                                                                                                                                           |

|                                   |           | Replacement Trees Proposed |                         |           |            | Soil Volume Required (m3) |                 |          |         |
|-----------------------------------|-----------|----------------------------|-------------------------|-----------|------------|---------------------------|-----------------|----------|---------|
| Planting Area ID                  | Area (M2) | Soil Volume multiplier*    | A Estimated soil Volume | B # Small | C # Medium | D # Large                 | E Small         | F Medium | G Large |
| 1                                 | 8.39      | 1.00                       | 8.39                    | 1.0       |            |                           | 8.00            |          | 8.00    |
| 2                                 | 29.60     | 0.60                       | 17.76                   | 1.0       |            |                           | 8.00            |          | 8.00    |
| 3                                 | 8.01      | 1.00                       | 8.01                    | 1.0       |            |                           | 8.00            |          | 8.00    |
| 4                                 | 6.94      | 1.20                       | 8.33                    | 1.0       |            |                           | 8.00            |          | 8.00    |
| Offsite (Excluding City Property) |           |                            |                         |           |            |                           |                 |          |         |
| Planting Area OSA X               |           |                            |                         |           |            |                           |                 |          |         |
| Offsite (Excluding City Property) |           |                            |                         |           |            |                           | E               | F        | G       |
| Calculation                       |           |                            |                         |           |            |                           | TOTAL E + F + G |          |         |

\* On ground (excluding exposed bedrock): use 1, On structure: use depth of soil, On soil cells: use 0.92, On structural soil: use 0.2  
\*\* Total must not exceed A. If Total exceeds A, then the number or size of proposed replacement trees must be reduced.

TREE PRESERVATION SUMMARY

|                                                                                | Count | Multiplier | Total |
|--------------------------------------------------------------------------------|-------|------------|-------|
| ONSITE Minimum replacement tree requirement                                    |       |            |       |
| A. Protected Trees Removed                                                     | 1     | x 1        | A. 1  |
| B. Replacement Trees Proposed per Schedule "E", Part 1                         | 0     | x 1        | B. 0  |
| C. Replacement Trees Proposed per Schedule "E", Part 2                         | 4     | x 0.5      | C. 2  |
| D. Replacement Trees Proposed per Schedule "E", Part 3                         | 0     | x 1        | D. 0  |
| E. Total replacement trees proposed (B+C+D) Round down to nearest whole number |       |            | E. 2  |
| F. Onsite replacement tree deficit (A-E) Record 0 if negative number           |       |            | F. 0  |
| ONSITE Minimum trees per lot requirement (onsite trees)                        |       |            |       |
| G. Tree minimum on lot                                                         |       |            | G. 8  |
| H. Protected trees retained (other than specimen trees)                        | 0     | x 1        | H. 0  |
| I. Specimen trees retained                                                     | 1     | x 3        | I. 3  |
| J. Trees per lot deficit (G-(B+C+H+I) Record 0 if negative number              |       |            | J. 3  |
| OFFSITE Minimum replacement tree requirement (offsite trees)                   |       |            |       |
| K. Protected trees Removed                                                     | 0     | x 1        | K. 0  |
| L. Replacement trees proposed per Schedule "E" Part 1 or Part 3                | 0     | x 1        | L. 0  |
| M. Replacement trees proposed from Schedule "E" Part 2                         | 0     | x 0.5      | M. 0  |
| N. Total replacement trees proposed (L+M) Round down to nearest whole number   |       |            | N. 0  |
| O. Offsite replacement tree deficit (K-N) Record 0 if negative number          |       |            | O. 0  |



LADR LANDSCAPE ARCHITECTS

Project No: 2209 MAR-31-23

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Sept 05, 2023  
July 28, 2023

Tree Replacement Plan | 2540 Shelbourne