

PROJECT INFORMATION

CIVIC ADDRESS
 1230 GRANT STREET
 1209, 1218, 1219, 1220, and 1226 NORTH PARK STREET
 1219 VINING STREET
 1235 CALEDONIA AVENUE
 1211 GLADESTONE AVENUE

LEGAL DESCRIPTION
 LOT 4 VIP205 SECTION SR VICTORIA
 LOT 5 VIP205 SECTION SR VICTORIA
 LOT 6 VIP205 SECTION SR VICTORIA
 LOT 7 VIP205 SECTION SR VICTORIA
 N 56' OF LOT 8 VIP205 SECTION SR VICTORIA
 REM LOT 8 VIP205 SECTION SR VICTORIA
 LOT 9 VIP205 SECTION SR VICTORIA
 LOT 18 VIP205 SECTION SR VICTORIA
 LOT A SECTION 53, SPRING RIDGE, VIP55528

SITE AREA
 8681.1 SM

PROJECT DESCRIPTION
 THE PROJECT INVOLVES THE DEVELOPMENT OF 158 AFFORDABLE HOUSING RESIDENTIAL UNITS AND SUPPORT FACILITIES IN 2 APARTMENT AND 3 TOWNHOUSE BUILDINGS OVER ONE BASEMENT LEVEL OF PARKADE.

BUILDING HEIGHTS	BCBC	ZONING
APARTMENT 1	4 STOREYS	4 STOREYS, 12.0 M
APARTMENT 2	5 STOREYS	5 STOREYS, 14.78 M
TOWNHOUSE 1	3 STOREYS	4 STOREYS, 11.25 M
TOWNHOUSE 2	3 STOREYS	3 STOREYS, 10.65 M
TOWNHOUSE 3	3 STOREYS	3 STOREYS, 9.8 M

BUILDING AREAS	BCBC
APARTMENT 1	872 SM
APARTMENT 2	875 SM
TOWNHOUSE 1	653 SM
TOWNHOUSE 2	652 SM
TOWNHOUSE 3	260 SM

GROSS BUILDING AREAS	BCBC	ZONING
PARKADE	3905 SM	275 SM*

* AREA OF PARKADE EXCLUDING EXTERIOR WALLS, VEHICLE AND BICYCLE PARKING AND CIRCULATION.

APARTMENT 1		
LEVEL 1	800 SM	776 SM
LEVEL 2	872 SM	850 SM
LEVEL 3	872 SM	850 SM
LEVEL 4	723 SM	704 SM
TOTAL	3267 SM	3180 SM

APARTMENT 2		
LEVEL 1	789 SM	765 SM
LEVEL 2	656 SM	637 SM
LEVEL 3	831 SM	809 SM
LEVEL 4	831 SM	809 SM
LEVEL 5	690 SM	672 SM
TOTAL	3797 SM	3692 SM

TOWNHOUSE 1		
LEVEL 0	601 SM	566 SM
LEVEL 1	603 SM	581 SM
LEVEL 2	608 SM	592 SM
LEVEL 3	645 SM	633 SM
TOTAL	2457 SM	2372 SM

TOWNHOUSE 2		
LEVEL 0	645 SM	0 SM
LEVEL 1	607 SM	590 SM
LEVEL 2	607 SM	590 SM
LEVEL 3	645 SM	632 SM
TOTAL	2504 SM	1812 SM

TOWNHOUSE 3		
LEVEL 1	231 SM	222 SM
LEVEL 2	243 SM	235 SM
LEVEL 3	253 SM	246 SM
TOTAL	727 SM	703 SM

RESIDENTIAL UNIT SUMMARY
APARTMENTS 1 & 2

14 STUDIO @	34 SM
38 ONE BED @	47 - 49 SM
7 ACCESSIBLE ONE BED @	53 SM
14 TWO BED @	61 - 76 SM
5 ACCESSIBLE TWO BED @	71 SM
12 THREE BED @	78 - 88 SM
1 ACCESSIBLE THREE BED @	98 SM
6 FOUR BED @	98 - 118 SM
97 TOTAL	

TOWNHOUSES 1 - 3

55 TWO BED @	81 - 90 SM
2 ACCESSIBLE TWO BED @	104 SM
2 THREE BED @	118 SM
4 FOUR BED @	130 SM
61 TOTAL	

VEHICLE PARKING

PARKADE	112
SURFACE	0
TOTAL	112

BICYCLE PARKING

LONG TERM	194
SHORT TERM	30
TOTAL	224

VICTORIA ZONING BYLAW SUMMARY

ZONING
 R-K
 R-2

USE
 RESIDENTIAL

FLOOR SPACE RATIO
 GROSS BUILDING FLOOR AREA (ZONING) / SITE AREA
 11759/8681.1 = 1.35

SITE COVERAGE
 AREA OF LOT OCCUPIED BY ANY STRUCTURE/ SITE AREA
 3544/8681.1 = 41%

OPEN SITE SPACE
 SITE AREA - (BUILDING AREA + SURFACE PARKING AREA)
 8681.1 - 3460 = 5221.1
 OPEN SITE SPACE/ SITE AREA
 5221.1/ 8681.1 = 49%

AVERAGE GRADE (GEODETIC)
 (SEE SITE PLAN FOR GRADE CALCULATION).

APARTMENT 1	33.5 M
APARTMENT 2	33.4 M
TOWNHOUSE 1	33.0 M
TOWNHOUSE 2	32.6 M
TOWNHOUSE 3	32.8 M

HEIGHT OF BUILDINGS
 (AS MEASURED FROM AVERAGE GRADE).

APARTMENT 1	12.000 M
APARTMENT 2	14.780 M
TOWNHOUSE 1	11.250 M
TOWNHOUSE 2	10.650 M
TOWNHOUSE 3	9.800 M

VEHICLE PARKING

< 45 SM	2 X 14 = 2.8
45 - 70 SM	5 X 58 = 29
> 70 SM	75 X 86 = 64.5
SUBTOTAL	98.3 (96)
VISITOR	1 X 158 = 15.8 (16)
TOTAL REQUIRED	112
PROVIDED	117

BICYCLE PARKING

LONG TERM	14 X 11 = 14
< 45 SM	1.25 X 144 = 180
> 45 SM	1.25 X 144 = 180
TOTAL LONG TERM REQUIRED	194
TOTAL PROVIDED	194

SHORT TERM
RESIDENTIAL (THE GREATER OF) 1 X 158 OR 6 X 5
 TOTAL SHORT TERM REQUIRED 30
 TOTAL PROVIDED 30

CODE ANALYSIS

REFERENCE DOCUMENT BCBC 2018,

PARKADE
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
 BELOW GRADE PARKADE -
 GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)
 BELOW GRADE PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE FLOORS OF ALL BUILDINGS ABOVE BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY
 3.2.2.78 - GROUP F, DIVISION 3 - ANY HEIGHT, ANY AREA, SPRINKLERED
 FIRE SUPPRESSION - FULL SPRINKLERED
 ALLOWABLE HEIGHT - ANY HEIGHT
 ALLOWABLE AREA - ANY AREA
 CONSTRUCTION - NON COMBUSTIBLE
 FLOOR ASSEMBLIES - 2 HOUR
 SUPPORTING WALLS AND STRUCTURE - 2 HOUR

ACTUAL SIZE AND CONSTRUCTION
 FIRE SUPPRESSION - FULL SPRINKLERED
 HEIGHT - 1 STOREY
 AREA - 3905 SM
 CONSTRUCTION - NON COMBUSTIBLE
 FLOOR ASSEMBLY - 2 HOUR
 SUPPORTING WALLS AND STRUCTURE - 2 HOUR

APARTMENT 1
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
 GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY
 3.2.2.51 - GROUP C, UP TO 4 STOREYS, SPRINKLERED
 FIRE SUPPRESSION - FULLY SPRINKLERED
 ALLOWABLE HEIGHT - 4 STOREYS
 ALLOWABLE AREA - 1800 SM (BASED ON FOUR STOREYS)
 CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
 FLOOR ASSEMBLIES - 1 HOUR
 SUPPORTING WALLS AND STRUCTURE - 1 HOUR
 ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION
 FIRE SUPPRESSION - FULLY SPRINKLERED
 HEIGHT - 4 STOREYS
 AREA - 872 SM
 CONSTRUCTION - COMBUSTIBLE
 FLOOR ASSEMBLY - 1 HOUR
 SUPPORTING WALLS AND STRUCTURE - 1 HOUR
 ROOF ASSEMBLY - NONE

APARTMENT 2
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
 GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY
 3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED
 FIRE SUPPRESSION - FULLY SPRINKLERED
 ALLOWABLE HEIGHT - 6 STOREYS & 18 M
 ALLOWABLE AREA - 1800 SM (BASED ON FIVE STOREYS)
 CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
 FLOOR ASSEMBLIES - 1 HOUR
 SUPPORTING WALLS AND STRUCTURE - 1 HOUR
 ROOF ASSEMBLY - 1 HOUR

ACTUAL SIZE AND CONSTRUCTION
 FIRE SUPPRESSION - FULLY SPRINKLERED
 HEIGHT - 5 STOREYS, 14.96 M
 AREA - 875 SM
 CONSTRUCTION - COMBUSTIBLE
 FLOOR ASSEMBLY - 1 HOUR
 SUPPORTING WALLS AND STRUCTURE - 1 HOUR
 ROOF ASSEMBLY - 1 HOUR

CODE ANALYSIS CONTINUED

TOWNHOUSE 1
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
 GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY
 3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED
 FIRE SUPPRESSION - FULLY SPRINKLERED
 ALLOWABLE HEIGHT - 3 STOREYS
 ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)
 CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
 FLOOR ASSEMBLIES - 45 MIN.
 SUPPORTING WALLS AND STRUCTURE - 45 MIN.
 ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION
 FIRE SUPPRESSION - FULLY SPRINKLERED
 HEIGHT - 3 STOREYS WITH BASEMENT
 AREA - 653 SM
 CONSTRUCTION - COMBUSTIBLE
 FLOOR ASSEMBLY - 45 MIN.
 SUPPORTING WALLS AND STRUCTURE - 45 MIN.
 ROOF ASSEMBLY - NONE

TOWNHOUSE 2
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
 GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY
 3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED
 FIRE SUPPRESSION - FULLY SPRINKLERED
 ALLOWABLE HEIGHT - 3 STOREYS
 ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)
 CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
 FLOOR ASSEMBLIES - 45 MIN.
 SUPPORTING WALLS AND STRUCTURE - 45 MIN.
 ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION
 FIRE SUPPRESSION - FULLY SPRINKLERED
 HEIGHT - 3 STOREYS WITH BASEMENT
 AREA - 652 SM
 CONSTRUCTION - COMBUSTIBLE
 FLOOR ASSEMBLY - 45 MIN.
 SUPPORTING WALLS AND STRUCTURE - 45 MIN.
 ROOF ASSEMBLY - NONE

TOWNHOUSE 3
OCCUPANCY CLASSIFICATIONS (TABLE 9.10.2.1)
 GROUP C - RESIDENTIAL

FIRE-RESISTANCE RATINGS (TABLE 9.10.8.1)
 USE - RESIDENTIAL (GROUP C)
 MAXIMUM HEIGHT - 3 STOREYS
 MAXIMUM AREA - 600 SM
 CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
 FLOOR ASSEMBLIES - 45 MIN.
 SUPPORTING WALLS AND STRUCTURE - 45 MIN.
 ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION
 FIRE SUPPRESSION - FULLY SPRINKLERED
 HEIGHT - 3 STOREYS WITH BASEMENT
 AREA - 392 SM
 CONSTRUCTION - COMBUSTIBLE
 FLOOR ASSEMBLY - 45 MIN.
 SUPPORTING WALLS AND STRUCTURE - 45 MIN.
 ROOF ASSEMBLY - NONE

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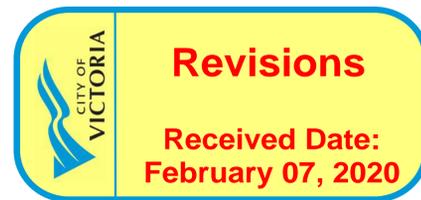
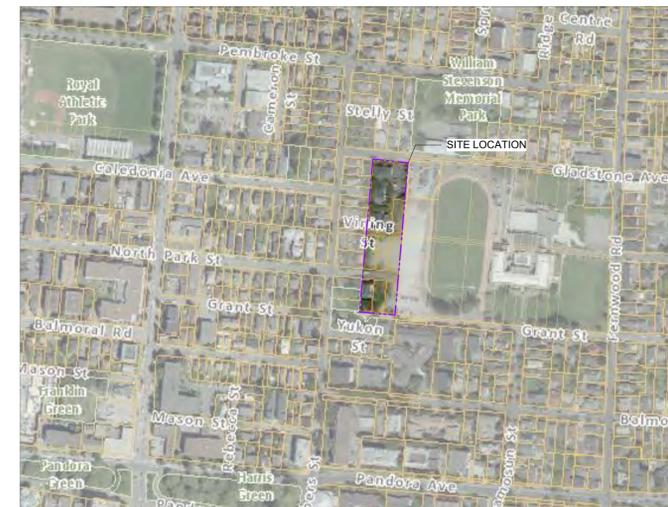
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CIVIL
 19-028-REZONING CONCEPTUAL SERVICING

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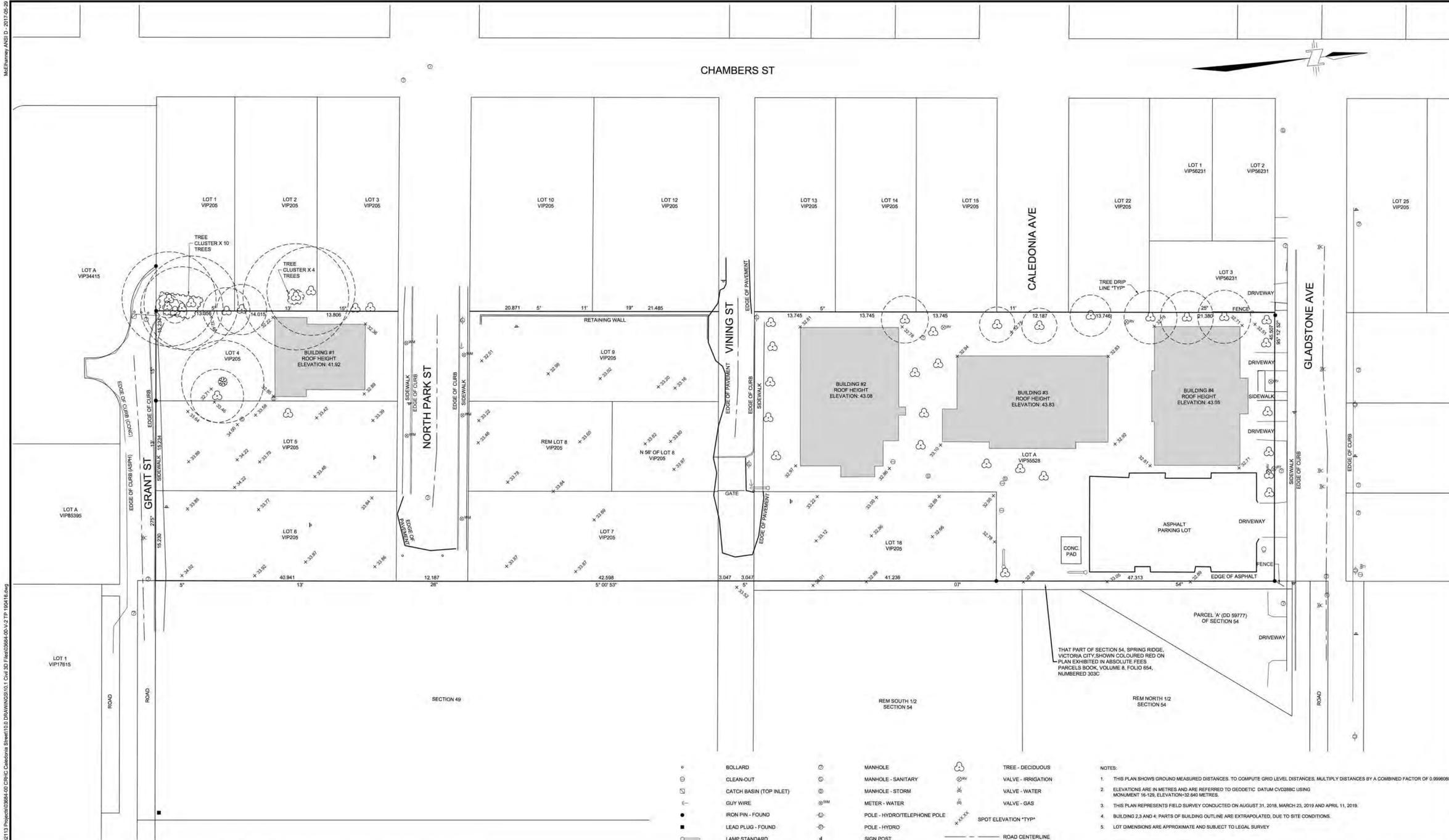
Date	Issue	Description
3	2019/08	ISSUED FOR COTW
2	2019/11	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

ISSUED FOR DP & REZONING

dhKarchitects	dhKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
Project Name Caledonia Victoria, BC	Project Number A001
Project Information	Revision No. 3

McElhanney ANS D - 2017-05-29

DATE: 2016-04-16 1:08 PM FILE: I:\SURVEY\113\Projects\3684\00-CRHC Caledonia Street\100 DRAWINGS\101 Civil 3D Files\3684_00_V-1 TP 190416.dwg



- ⊕ BOLLARD
- ⊖ CLEAN-OUT
- ⊖ CATCH BASIN (TOP INLET)
- ⊖ GUY WIRE
- ⊖ IRON PIN - FOUND
- ⊖ LEAD PLUG - FOUND
- ⊖ LAMP STANDARD
- ⊖ MANHOLE
- ⊖ MANHOLE - SANITARY
- ⊖ MANHOLE - STORM
- ⊖ METER - WATER
- ⊖ POLE - HYDRO/TELEPHONE POLE
- ⊖ POLE - HYDRO
- ⊖ SIGN POST
- ⊖ MANHOLE - IRRIGATION
- ⊖ VALVE - WATER
- ⊖ VALVE - GAS
- ⊖ TREE - DECIDUOUS
- ⊖ VALVE - IRRIGATION
- ⊖ VALVE - WATER
- ⊖ VALVE - GAS
- ⊖ SPOT ELEVATION "TYP"
- ⊖ ROAD CENTERLINE

- NOTES:
- THIS PLAN SHOWS GROUND MEASURED DISTANCES. TO COMPUTE GRID LEVEL DISTANCES, MULTIPLY DISTANCES BY A COMBINED FACTOR OF 0.99999950
 - ELEVATIONS ARE IN METRES AND ARE REFERRED TO GEODETIC DATUM CVD288C USING MONUMENT 16126, ELEVATION 32.649 METRES
 - THIS PLAN REPRESENTS FIELD SURVEY CONDUCTED ON AUGUST 31, 2018, MARCH 23, 2019 AND APRIL 11, 2019.
 - BUILDING 2,3 AND 4 PARTS OF BUILDING OUTLINE ARE EXTRAPOLATED, DUE TO SITE CONDITIONS.
 - LOT DIMENSIONS ARE APPROXIMATE AND SUBJECT TO LEGAL SURVEY

Rev	Date	Description	Drawn	Surv	App'd
2	2019-04-16	REVISED WITH ADDITIONAL SURVEY INFO	SALM	SM	GO
1	2019-03-29	REVISED WITH ADDITIONAL SURVEY INFO	SA	SM	GO
0	2018-09-17	ORIGINAL ISSUE	LM	JC	GO

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ORIGINAL DWG SIZE: ANSI D (22" x 34")

0 1:300 15

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RE-DEVELOPMENT OF CALEDONIA ST PROPERTIES
SITE PLAN

1230 GRANT ST, 1209, 1218, 1219, 1220, AND 1226 NORTH PARK ST, 1219 VINING ST, 1235 CALEDONIA AVE
VICTORIA, BC

Drawing No. **03684-00-V-1 TP**

Project Number **2113-03684-00** Rev. **02**

Approved Sealed

Rev	Date	Description
3	2019/08	ISSUED FOR COTW
2	2019/11/5	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

dHKarchitects

VICTORIA OFFICE
977 Fort St
Victoria BC V8V 3K3
T 1-250-858-3387

NAIMANO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

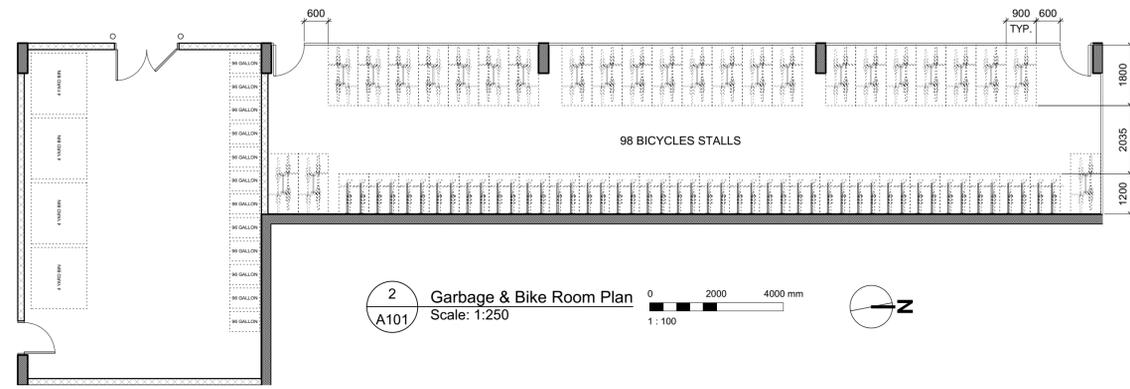
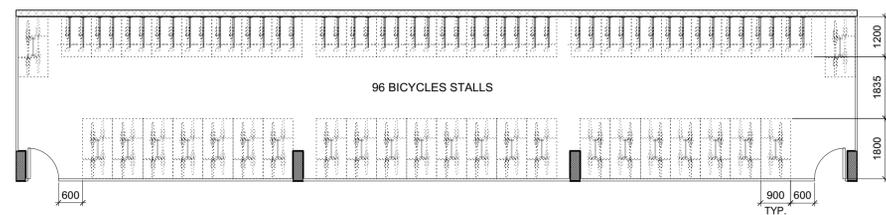
Caledonia
Victoria, BC

Survey

A002 3

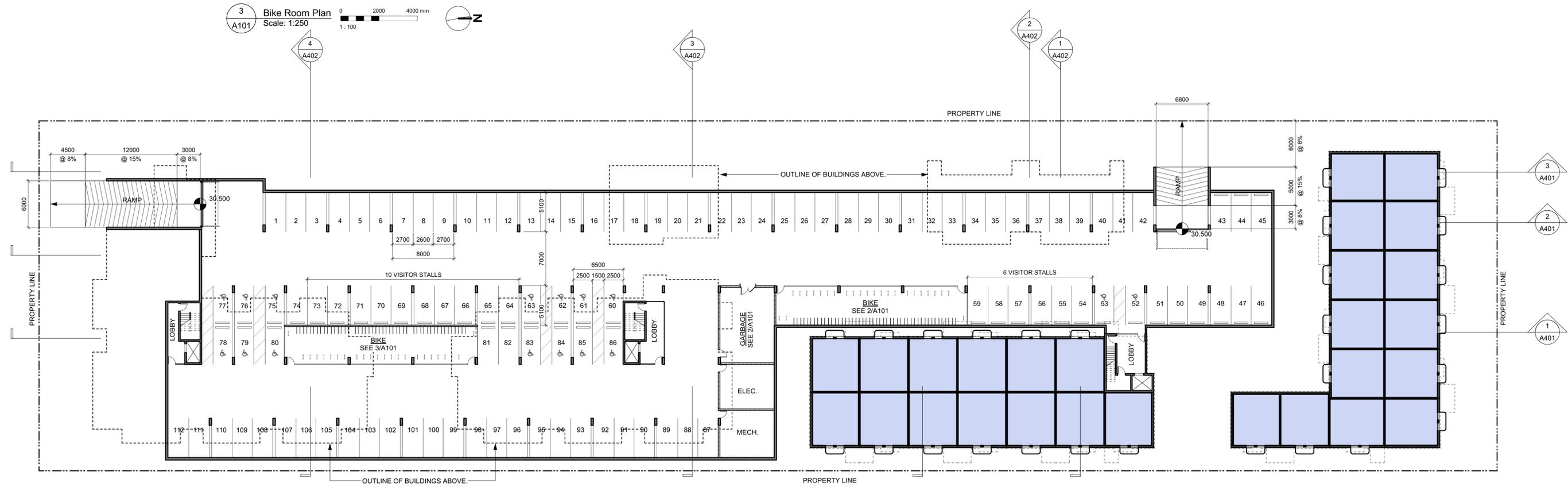
GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



3 Bike Room Plan
A101 Scale: 1:250

2 Garbage & Bike Room Plan
A101 Scale: 1:250



1 Parkade & LO Plan
A101 Scale: 1:250

VEHICLE PARKING CALCULATION			
UNITS < 45 SM	14 X 2 = 28		
UNITS 45-70 SM	58 X .5 = 29		
UNITS >70 SM	86 X .75 = 64.5		
SUBTOTAL	96.3 (96)		
VISITOR	158 X .1 = 15.8 (16)		
TOTAL REQUIRED	112		
PROVIDED	117 (5 SURFACE)		

LONG TERM BIKE PARKING CALCULATION			
UNITS < 45 SM	14 X 1 = 14		
UNITS > 45 SM	144 X 1.25 = 180		
TOTAL REQUIRED	194		
PROVIDED	194		

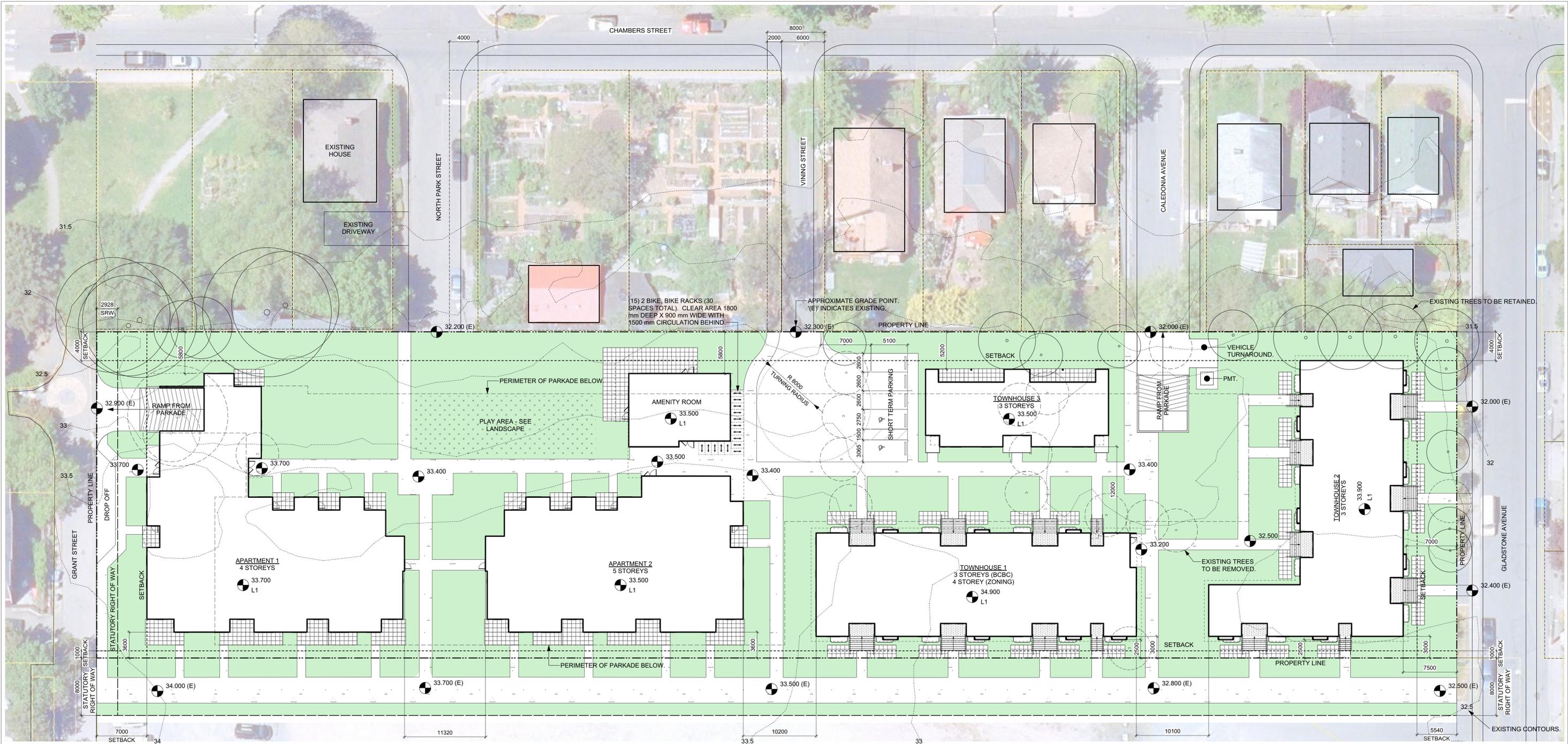
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2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

Rev	Date	Description	Checked by	1907 A200 Plans
1	SEPTEMBER 2019	FWP	RAW	1907

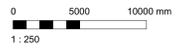
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ISSUED FOR DP & REZONING

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<p>Project Name: Caledonia Victoria BC</p>	
<p>Project Title: Parkade & LO Plan</p>	
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1 Site Plan
Scale: 1:250



PROJECT INFORMATION TABLE		
ZONE (EXISTING)	-	MINIMUM NEW BUILDING SETBACKS (M)
PROPOSED ZONE	NEW ZONE	FRONT YARD (SOUTH) 7.0
SITE AREA (SM)	8681.1	REAR YARD (NORTH) 5.54
TOTAL NEW FLOOR AREA (SM)	11759	SIDE YARD (WEST) 4
COMMERCIAL FLOOR AREA (SM)	0	SIDE YARD (EAST) 1
FLOOR SPACE RATIO	1.35	COMBINED SIDE YARDS 5
SITE COVERAGE (%)	41%	NEW RESIDENTIAL USE DETAILS
OPEN SITE SPACE (%)	49%	TOTAL NUMBER OF NEW UNITS 158
MAXIMUM HEIGHT OF NEW BUILDINGS (M)	14780 AS MEASURED FROM AVERAGE GRADE	NEW UNIT TYPES STUDIO, ONE, TWO, THREE, & FOUR BEDROOM
MAXIMUM NUMBER OF STOREYS	5	NEW GROUND ORIENTED UNITS 46
PARKING STALLS (NUMBER) ON SITE	117	MINIMUM NEW UNIT FLOOR AREA (SM) 34
BICYCLE PARKINGS NUMBER (CLASS 1 AND CLASS 2)	224	TOTAL NEW RESIDENTIAL FLOOR AREA (SM) 10358

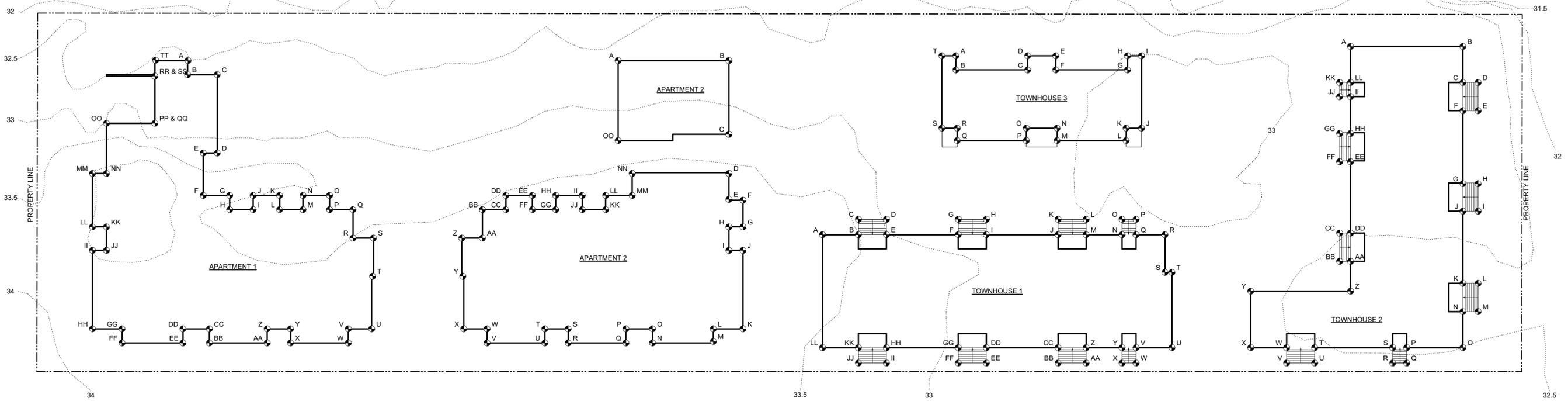
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ISSUED FOR DP & REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
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Caledonia
Victoria BC
Architectural Site Plan



1 Average Grade Calculation
 A202 Scale: 1:250
 0 5000 10000 mm
 1:250

GRADE CALCULATION									
APARTMENT 1									
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL			
A&B	32.5	32.6	2	32.6	1.8	58.6			
B&C	32.6	32.6	2	32.6	3.8	123.9			
C&D	32.6	33.3	2	33.0	10.0	329.5			
D&E	33.3	33.3	2	33.3	1.8	59.9			
E&F	33.3	33.8	2	33.6	5.4	181.2			
F&G	33.8	33.7	2	33.8	3.4	114.8			
G&H	33.7	33.5	2	33.6	1.8	60.5			
H&I	33.5	38.4	2	36.0	3.0	107.9			
I&J	38.4	33.5	2	36.0	1.8	64.7			
J&K	33.5	33.5	2	33.5	3.4	113.9			
K&L	33.5	33.4	2	33.5	1.8	60.2			
L&M	33.4	33.4	2	33.4	3.0	100.2			
M&N	33.4	33.5	2	33.5	1.8	60.2			
N&O	33.5	33.4	2	33.5	3.4	113.7			
O&P	33.4	33.3	2	33.4	1.8	60.0			
P&Q	33.3	33.3	2	33.3	3.0	99.9			
Q&R	33.3	33.5	2	33.4	3.6	121.4			
R&S	33.5	33.5	2	33.5	2.6	88.4			
S&T	33.5	33.7	2	33.6	4.9	163.6			
T&U	33.7	33.8	2	33.8	6.7	226.0			
U&V	33.8	33.8	2	33.8	3.0	101.4			
V&W	33.8	33.8	2	33.8	1.8	60.8			
W&X	33.8	33.8	2	33.8	7.4	250.1			
X&Y	33.8	33.8	2	33.8	1.8	60.8			
Y&Z	33.8	33.9	2	33.9	3.0	101.6			
Z&AA	33.9	33.9	2	33.9	1.8	61.0			
AA&BB	33.9	33.9	2	33.9	7.4	250.9			
BB&CC	33.9	33.9	2	33.9	1.8	61.0			
CC&DD	33.9	33.9	2	33.9	3.4	115.3			
DD&EE	33.9	33.9	2	33.9	1.8	61.0			
EE&FF	33.9	33.9	2	33.9	7.8	264.4			
FF&GG	33.9	33.9	2	33.9	1.8	61.0			
GG&HH	33.9	33.9	2	33.9	3.8	128.8			
HH&II	33.9	34.0	2	34.0	10.0	339.5			
II&JJ	34.0	34.0	2	34.0	1.9	62.9			
JJ&KK	34.0	34.0	2	34.0	3.0	100.9			
KK&LL	34.0	34.0	2	34.0	1.8	61.2			
LL&MM	34.0	34.0	2	34.0	6.8	231.2			
MM&NN	34.0	34.0	2	34.0	1.8	61.2			
NN&OO	34.0	33.0	2	33.5	6.3	211.6			
OO&PP	33.0	32.9	2	33.0	6.2	204.3			
QQ&RR	31.2	31.2	2	31.2	6.2	191.9			
SS&TT	32.6	32.5	2	32.6	1.9	61.8			
TT&A	32.5	32.5	2	32.5	6.3	205.2			
						GRADE =		TOTAL/Perimeter	
Perimeter						167.5	5617.8	33.5	

GRADE CALCULATION									
APARTMENT 2									
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL			
A&B	32.7	32.8	2	32.8	14.2	465.1			
B&C	32.8	33.3	2	33.1	9.4	310.7			
C&D	33.3	33.5	2	33.4	5.0	167.0			
D&E	33.5	33.5	2	33.5	3.4	113.9			
E&F	33.5	33.5	2	33.5	1.8	60.3			
F&G	33.5	33.5	2	33.5	3.4	113.9			
G&H	33.5	33.5	2	33.5	1.8	60.3			
H&I	33.5	33.5	2	33.5	3.0	100.5			
I&J	33.5	33.5	2	33.5	1.8	60.3			
J&K	33.5	33.5	2	33.5	10.0	335.0			
K&L	33.5	33.6	2	33.5	3.8	127.4			
L&M	33.6	33.6	2	33.6	1.8	60.5			
M&N	33.6	33.6	2	33.6	7.8	262.1			
N&O	33.6	33.6	2	33.6	1.8	60.5			
O&P	33.6	33.6	2	33.6	3.4	114.2			
P&Q	33.6	33.6	2	33.6	1.8	60.5			
Q&R	33.6	33.7	2	33.7	7.4	249.0			
R&S	33.7	33.7	2	33.7	1.8	60.7			
S&T	33.7	33.7	2	33.7	3.0	101.1			
T&U	33.7	33.7	2	33.7	1.8	60.7			
U&V	33.7	33.7	2	33.7	7.4	249.4			
V&W	33.7	33.7	2	33.7	1.8	60.7			
W&X	33.7	33.7	2	33.7	3.0	101.1			
X&Y	33.7	33.6	2	33.7	6.7	225.3			
Y&Z	33.6	33.6	2	33.6	4.9	163.6			
Z&AA	33.6	33.6	2	33.6	2.6	88.7			
AA&BB	33.6	33.5	2	33.6	3.6	122.0			
BB&CC	33.5	33.5	2	33.5	3.0	100.5			
CC&DD	33.5	33.5	2	33.5	1.8	60.3			
DD&EE	33.5	33.6	2	33.6	3.4	114.1			
EE&FF	33.5	33.5	2	33.5	1.8	60.3			
FF&GG	33.5	33.5	2	33.5	3.0	100.5			
GG&HH	33.5	33.5	2	33.5	1.8	60.3			
HH&II	33.5	33.5	2	33.5	3.4	113.9			
II&JJ	33.5	33.5	2	33.5	1.8	60.3			
JJ&KK	33.5	33.5	2	33.5	3.0	100.5			
KK&LL	33.5	33.5	2	33.5	1.8	60.3			
LL&MM	33.5	33.5	2	33.5	3.4	113.9			
MM&NN	33.5	33.5	2	33.5	2.8	93.8			
NN&OO	33.5	33.3	2	33.5	4.6	153.1			
OO&A	33.3	32.7	2	33.0	10.2	336.6			
						GRADE =		TOTAL/Perimeter	
Perimeter						164.0	5482.6	33.4	

GRADE CALCULATION									
TOWNHOUSE 1									
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL			
A&B	33.6	33.5	2	33.6	4.6	153.2			
B&C	33.5	33.4	2	33.5	2.0	65.6			
C&D	33.4	33.0	2	33.2	3.6	119.5			
D&E	33.0	33.0	2	33.0	2.0	64.7			
E&F	33.0	32.9	2	33.0	9.2	303.1			
F&G	32.9	32.9	2	32.9	2.0	64.5			
G&H	32.9	32.9	2	32.9	3.6	118.4			
H&I	32.9	32.9	2	32.9	2.0	64.5			
I&J	32.9	32.8	2	32.9	9.2	302.2			
J&K	32.8	32.9	2	32.9	2.0	64.4			
K&L	32.9	33.0	2	33.0	3.6	118.6			
L&M	33.0	32.8	2	32.9	2.0	64.5			
M&N	32.8	32.7	2	32.8	4.6	150.7			
N&O	32.7	32.8	2	32.8	2.0	64.2			
O&P	32.8	32.9	2	32.9	1.8	59.1			
P&Q	32.9	32.9	2	32.9	2.0	64.3			
Q&R	32.7	32.9	2	32.8	3.7	121.4			
R&S	32.9	32.7	2	32.8	4.8	157.4			
S&T	32.7	32.7	2	32.7	0.9	29.4			
T&U	32.7	32.7	2	32.7	9.6	313.9			
U&V	32.7	32.7	2	32.7	4.6	150.4			
V&W	32.7	32.7	2	32.7	2.0	64.1			
W&X	32.7	32.8	2	32.8	1.8	59.0			
X&Y	32.8	32.8	2	32.8	2.0	64.3			
Y&Z	32.8	32.8	2	32.8	4.6	150.9			
Z&AA	32.8	32.8	2	32.8	2.0	64.3			
AA&BB	32.8	32.9	2	32.9	3.6	118.3			
BB&CC	32.9	32.9	2	32.9	2.0	64.5			
CC&DD	32.9	32.9	2	32.9	9.2	302.7			
DD&EE	32.9	32.9	2	32.9	2.0	64.5			
EE&FF	32.9	33.0	2	33.0	3.6	118.6			
FF&GG	33.0	33.0	2	33.0	2.0	64.7			
GG&HH	33.0	33.2	2	33.1	9.2	304.5			
HH&II	33.2	33.2	2	33.2	2.0	65.1			
II&JJ	33.2	33.3	2	33.3	3.6	119.7			
JJ&KK	33.3	33.3	2	33.3	2.0	65.3			
KK&LL	33.3	33.4	2	33.4	4.6	153.4			
LL&A	33.4	33.6	2	33.5	14.5	484.1			
						GRADE =		TOTAL/Perimeter	
Perimeter						149.8	4941.8	33.0	

GRADE CALCULATION									
TOWNHOUSE 2									
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL			
A&B	32.7	32.6	2	32.7	14.4	471.6			
B&C	32.6	32.6	2	32.6	4.6	150.0			
C&D	32.6	32.6	2	32.6	2.0	63.9			
D&E	32.6	32.6	2	32.6	3.6	117.4			
E&F	32.6	32.6	2	32.6	2.0	63.9			
F&G	32.6	32.6	2	32.6	9.2	299.9			
G&H	32.6	32.6	2	32.6	2.0	63.9			
H&I	32.6	32.6	2	32.6	3.6	117.4			
I&J	32.6	32.6	2	32.6	2.0	63.9			
J&K	32.6	32.5	2	32.6	9.2	299.5			
K&L	32.5	32.5	2	32.5	2.0	63.7			
L&M	32.5	32.5	2	32.5	3.6	117.0			
M&N	32.5	32.5	2	32.5	2.0	63.7			
N&O	32.5	32.5	2	32.5	4.6	149.5			
O&P	32.5	32.5	2	32.5	7.2	234.0			
P&Q	32.5	32.5	2	32.5	2.0	63.7			
Q&R	32.5	32.5	2	32.5	1.8	58.5			
R&S	32.5	32.5	2	32.5	2.0	63.7			
S&T	32.5	32.5	2	32.5	10.0	325.0			
T&U	32.5	32.5	2	32.5	2.0	63.7			
U&V	32.5	32.6	2	32.6	3.6	117.2			
V&W	32.6	32.6	2	32.6	2.0	63.9			
W&X	32.6	32.6	2	32.6	4.6	150.0			
X&Y	32.6	32.6	2	32.6	7.2	234.7			
Y&Z	32.6	32.4	2	32.5	12.8	416.0			
Z&AA	32.4	32.5	2	32.5	3.8	123.3			
AA&BB	32.5	32.5	2	32.5	1.4	45.5			
BB&CC	32.5	32.5	2	32.5	3.6	117.0			
CC&DD	32.5	32.5	2	32.5	1.4	45.5			
DD&EE	32.5	32.8	2	32.7	9.2	300.4			
EE&FF	32.8	32.8	2	32.8	1.4	45.9			
FF&GG	32.8	32.8	2	32.8	3.6	118.1			
GG&HH	32.8	32.8	2	32.8	1.4	45.9			
HH&II	32.8	32.8	2	32.8	4.6	150.9			
II&JJ	32.8	32.9	2	32.9	1.4	46.0			

CHAMBERS STREET

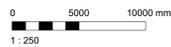
NORTH PARK STREET

VINING STREET

CALEDONIA AVENUE



1 L1 Plan
A203 Scale: 1:250



- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE

Date	Description
3	2019/08
2	2019/11/5
1	19/12/16

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

UNIT COMPOSITION

APARTMENTS 1&2						
UNIT TYPE	L1	L2	L3	L4	L5	TOTAL
STUDIO	4	4	4	2	-	14
1 BED	13	12	12	7	1	45
2 BED	1	1	2	8	8	20
3 BED	3	3	3	3	-	12
4 BED	-	2	3	1	-	6
TOTAL	21	22	24	21	9	97

TOWNHOUSES 1-3	
UNIT TYPE	TOTAL
1 BED	-
2 BED	57
3 BED	2
4 BED	2
TOTAL	61

OVERALL DEVELOPMENT	
UNIT TYPE	TOTAL
STUDIO	14
1 BED	45
2 BED	77
3 BED	14
4 BED	8
TOTAL	158

ACCESSIBLE UNITS	
UNIT TYPE	TOTAL
STUDIO	-
1 BED	7
2 BED	7
3 BED	1
4 BED	-
TOTAL	15 (9%)

dHKA

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-858-3387

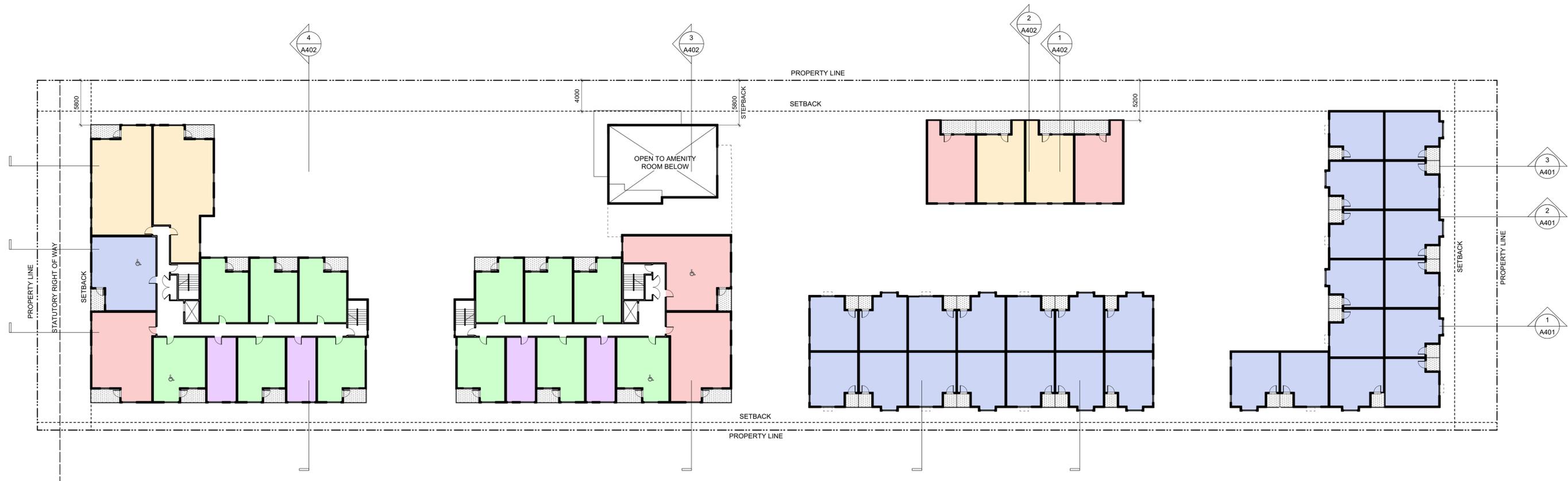
dHKarchitects

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

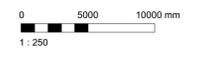
Project Name: Caledonia
Victoria BC

L1 Plan

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1
A204
L2 Plan
Scale: 1:250



- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE

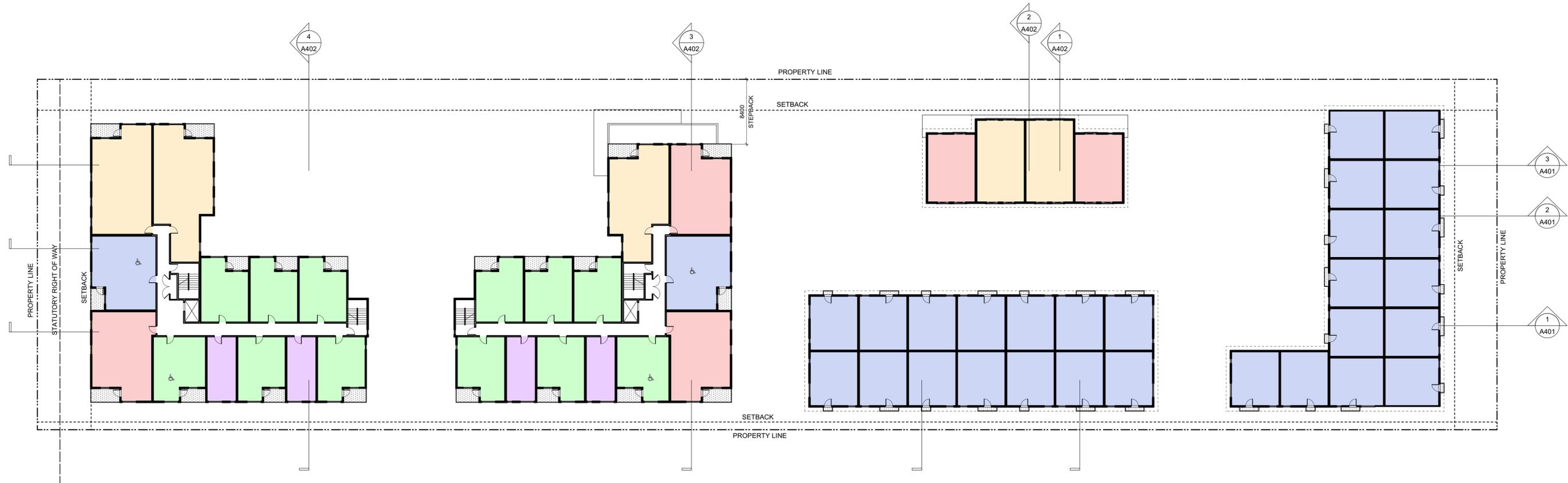
Date	Description
3	2019/08
2	2019/11
1	19/12/16

Date	Description
SEPTEMBER 2019	1907 A200 Plans view
FWP	RAW
AS SHOWN	1907

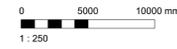
NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

 dHk VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
drawing title L2 Plan	
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sheet no. 3	



1 L3 Plan
A205 Scale: 1:250



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ♿ ACCESSIBLE

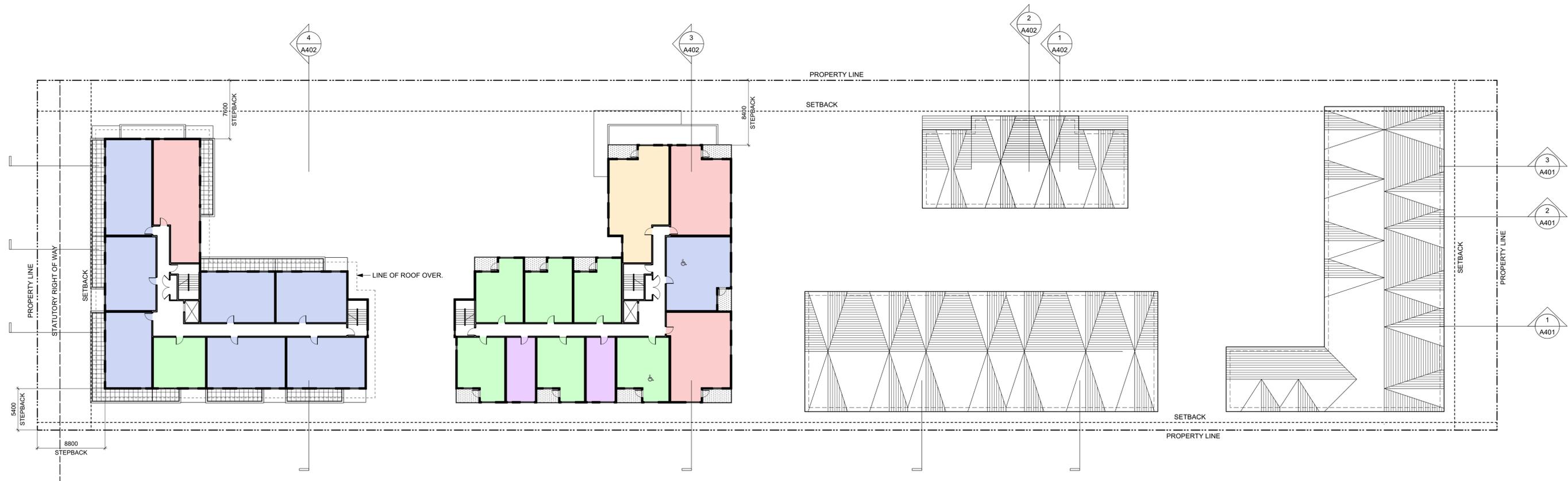
Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A205 Plans.rvt
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

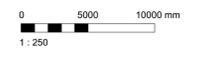
NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

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project name Caledonia Victoria BC	
drawing title L3 Plan	
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drawing no.	sheet no.
A205	3



1 L4 Plan
A206 Scale: 1:250



- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ♿ ACCESSIBLE

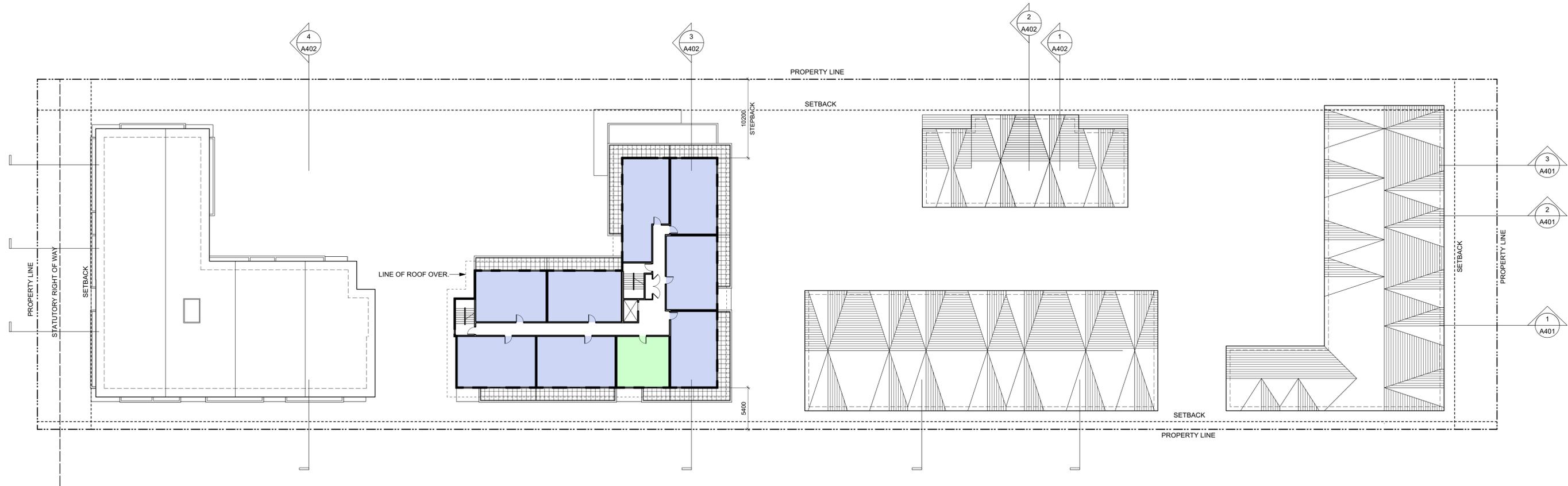
Date	Description
3 20/03/08	ISSUED FOR COTW
2 20/01/15	ISSUED FOR ADP
1 19/12/16	RESPONSE TO PLANNING REVIEW

DATE	SEPTEMBER 2019	ISSUED BY	1907 A206 Plans view
DRAWN BY	FWP	CHECKED BY	RAW
SCALE	AS SHOWN	PROJECT NUMBER	1907

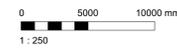
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

 VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387	 NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-855-5810
project name Caledonia Victoria BC	
drawing title L4 Plan	
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drawing no.	sheet no.
A206	3



1 L5 Plan
A207 Scale: 1:250



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

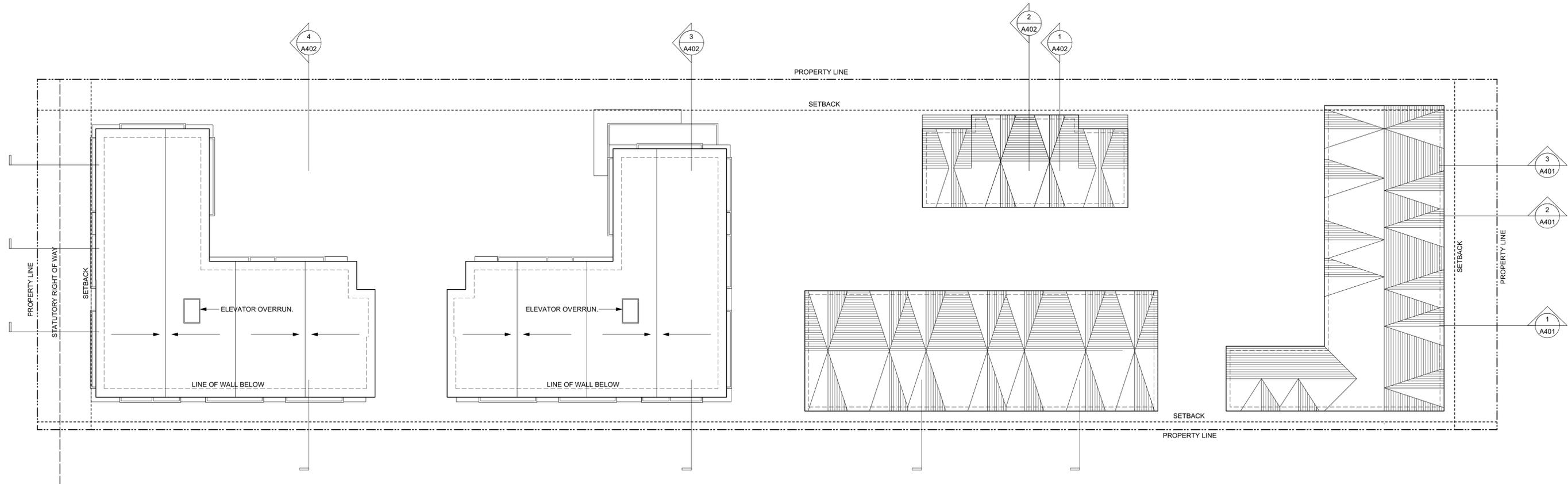
Date	Description
3	2019/08 ISSUED FOR COTW
2	2019/11 ISSUED FOR ADP
1	19/12/16 RESPONSE TO PLANNING REVIEW

Date	Issued by	Description
SEPTEMBER 2019	FWP	1907 A200 Plans view
AS SHOWN	RAW	1907

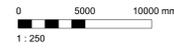
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-855-5810
Project Name Caledonia Victoria BC	
Drawing Title L5 Plan	
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Sheet No. 3	



1
A208
Roof Plan
Scale: 1:250



Date	Description
3	2019/08
2	2019/11
1	19/12/16

ISSUED FOR COTW
ISSUED FOR ADP
RESPONSE TO PLANNING REVIEW

Print Date	Printing File	Project Number
SEPTEMBER 2019	1907 A208 Plans.rvt	1907

Scale: AS SHOWN

ISSUED FOR DP & REZONING

<p>dHk Architects</p> <p>VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387</p>	<p>dHKarchitects</p> <p>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-855-5810</p>
<p>Project Name: Caledonia Victoria BC</p>	
<p>Project Title: Roof Plan</p>	
<p>Copyright Reserved. These Plans and drawings are not to be used without the prior written consent of the project owner and may not be reproduced without written consent.</p>	<p>Sheet No: A208</p>
<p>Sheet of: 3</p>	



1 Apartment 1 - North
Scale: 1:100
A301



2 Apartment 1 - East
Scale: 1:100
A301



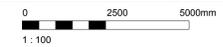
3 Apartment 1 - South
Scale: 1:100
A301



4 Apartment 1 - West
Scale: 1:100
A301

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER - Red - *Apartment 1 Only*
- 2 FIBRE CEMENT PANEL - Teal
- 3 VINYL WINDOWS & DOORS - Teal
- 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING - Teal
- 6 ACCENT PAINT COLOUR - Rust
- 7 FIBRE CEMENT LAP SIDING - Soft Brown
- 8 FIBRE CEMENT PANEL - Warm Grey - *Apartment 2 Only*
- 9 SOFFIT - Warm Grey - *Apartment 2 Only*
- 10 PAINTED CONCRETE - Warm Grey
- 11 FIBRE CEMENT PANEL - Warm White
- 12 SOFFIT - Warm White
- 13 FIBRE CEMENT LAP SIDING - Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING - White
- 15 VINYL WINDOWS & DOORS - Dark Grey
- 16 PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey
- 17 METAL FLASHING - Dark Grey
- 18 ASPHALT SHINGLES - Warm Grey
- 19 FIBRE CEMENT SHINGLES - Warm Grey
- 20 VINYL WINDOWS & DOORS - White
- 21 METAL DOWNSPOUT & FLASHING - Light Warm Grey
- 22 FIBRE CEMENT PANEL - Dark Grey
- 23 FIBRE CEMENT PANEL - Light Grey
- 24 ACCENT PAINT COLOUR - Bright Orange
- 25 ACCENT PAINT COLOUR - Bright Blue
- 26 ACCENT PAINT COLOUR - Chartreuse



Rev	Date	Description
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

proj name	SEPTEMBER 2019	drawing file	1907 A300 Elevations.vsw
drawn by	NLC	checked by	RAW
scale	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

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Caledonia Victoria BC	
Elevations - Apartment 1	
drawing no. A301	sheet no. 3

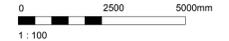


1 Apartment 2 - North
A302 Scale: 1:100



2 Apartment 2 - South
A302 Scale: 1:100

- COLOUR & MATERIALS LEGEND**
- 1 BRICK VENEER - Red - Apartment 1 Only
 - 2 FIBRE CEMENT PANEL - Teal
 - 3 VINYL WINDOWS & DOORS - Teal
 - 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
 - 5 METAL FLASHING - Teal
 - 6 ACCENT PAINT COLOUR - Rust
 - 7 FIBRE CEMENT LAP SIDING - Soft Brown
 - 8 FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only
 - 9 SOFFIT - Warm Grey - Apartment 2 Only
 - 10 PAINTED CONCRETE - Warm Grey
 - 11 FIBRE CEMENT PANEL - Warm White
 - 12 SOFFIT - Warm White
 - 13 FIBRE CEMENT LAP SIDING - Medium Blue-Grey
 - 14 FIBRE CEMENT LAP SIDING - White
 - 15 VINYL WINDOWS & DOORS - Dark Grey
 - 16 PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey
 - 17 METAL FLASHING - Dark Grey
 - 18 ASPHALT SHINGLES - Warm Grey
 - 19 FIBRE CEMENT SHINGLES - Warm Grey
 - 20 VINYL WINDOWS & DOORS - White
 - 21 METAL DOWNSPOUT & FLASHING - Light Warm Grey
 - 22 FIBRE CEMENT PANEL - Dark Grey
 - 23 FIBRE CEMENT PANEL - Light Grey
 - 24 ACCENT PAINT COLOUR - Bright Orange
 - 25 ACCENT PAINT COLOUR - Bright Blue
 - 26 ACCENT PAINT COLOUR - Chartreuse



No.	Date	Description
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

project name: SEPTEMBER 2019 drawing file: 1907 A300 Elevations.vsw
 drawn by: NLC checked by: RAW
 scale: 1:100 project number: 1907

NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

 VICTORIA OFFICE 977 Fox St Victoria BC V8V 3K3 T 1-250-858-3387	MANAWAO OFFICE 102-5190 Dublin Way Manawao BC V9T 2E8 T 1-250-858-5810
project name: Caledonia Victoria BC	
drawing: Elevations - Apartment 2	
drawing no: A302	sheet no: 3

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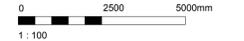
1 Apartment 2 - East
A303 Scale: 1:100



2 Apartment 2 - West
A303 Scale: 1:100

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER - Red - *Apartment 1 Only*
- 2 FIBRE CEMENT PANEL - Teal
- 3 VINYL WINDOWS & DOORS - Teal
- 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING - Teal
- 6 ACCENT PAINT COLOUR - Rust
- 7 FIBRE CEMENT LAP SIDING - Soft Brown
- 8 FIBRE CEMENT PANEL - Warm Grey - *Apartment 2 Only*
- 9 SOFFIT - Warm Grey - *Apartment 2 Only*
- 10 PAINTED CONCRETE - Warm Grey
- 11 FIBRE CEMENT PANEL - Warm White
- 12 SOFFIT - Warm White
- 13 FIBRE CEMENT LAP SIDING - Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING - White
- 15 VINYL WINDOWS & DOORS - Dark Grey
- 16 PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey
- 17 METAL FLASHING - Dark Grey
- 18 ASPHALT SHINGLES - Warm Grey
- 19 FIBRE CEMENT SHINGLES - Warm Grey
- 20 VINYL WINDOWS & DOORS - White
- 21 METAL DOWNSPOUT & FLASHING - Light Warm Grey
- 22 FIBRE CEMENT PANEL - Dark Grey
- 23 FIBRE CEMENT PANEL - Light Grey
- 24 ACCENT PAINT COLOUR - Bright Orange
- 25 ACCENT PAINT COLOUR - Bright Blue
- 26 ACCENT PAINT COLOUR - Chartreuse



Rev	Date	Description
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

proj date	SEPTEMBER 2019	drawing file	1907 A303 Elevations.vrx
drawn by	NLC	checked by	RAW
scale	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

	dHKarchitects VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2A8 T 1-250-855-5810
	project name Caledonia Victoria BC	
drawing Elevations - Apartment 2		revision no. A303
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1 Townhouse 1 - North
A304 Scale: 1:100



2 Townhouse 1 - East
A304 Scale: 1:100



3 Townhouse 1 - South
A304 Scale: 1:100



4 Townhouse 1 - West
A304 Scale: 1:100

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER - Red - *Apartment 1 Only*
- 2 FIBRE CEMENT PANEL - Teal
- 3 VINYL WINDOWS & DOORS - Teal
- 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING - Teal
- 6 ACCENT PAINT COLOUR - Rust
- 7 FIBRE CEMENT LAP SIDING - Soft Brown
- 8 FIBRE CEMENT PANEL - Warm Grey - *Apartment 2 Only*
- 9 SOFFIT - Warm Grey - *Apartment 2 Only*
- 10 PAINTED CONCRETE - Warm Grey
- 11 FIBRE CEMENT PANEL - Warm White
- 12 SOFFIT - Warm White
- 13 FIBRE CEMENT LAP SIDING - Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING - White
- 15 VINYL WINDOWS & DOORS - Dark Grey
- 16 PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey
- 17 METAL FLASHING - Dark Grey
- 18 ASPHALT SHINGLES - Warm Grey
- 19 FIBRE CEMENT SHINGLES - Warm Grey
- 20 VINYL WINDOWS & DOORS - White
- 21 METAL DOWNSPOUT & FLASHING - Light Warm Grey
- 22 FIBRE CEMENT PANEL - Dark Grey
- 23 FIBRE CEMENT PANEL - Light Grey
- 24 ACCENT PAINT COLOUR - Bright Orange
- 25 ACCENT PAINT COLOUR - Bright Blue
- 26 ACCENT PAINT COLOUR - Chartreuse



No.	Date	Description
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

sheet name: SEPTEMBER 2019 drawing file: 1907 A300 Elevations.vsw
 drawn by: NLC checked by: RAW
 scale: 1:100 project number: 1907

ISSUED FOR DP & REZONING

dHKarchitects

VICTORIA OFFICE
977 FORT STREET
VICTORIA BC V8V 3K3
T 1-250-858-3387

dHKarchitects

NANAIMO OFFICE
102-5190 DUBOIS WAY
NANAIMO BC V9T 2A8
T 1-250-858-5810

project name: **Caledonia**
Victoria BC

drawing title: **Elevations - Townhouse 1**

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drawing no: **A304** sheet no: **3**



1 Townhouse 2 - North
Scale: 1:100
A305



2 Townhouse 2 - East
Scale: 1:100
A305



3 Townhouse 2 - South
Scale: 1:100
A305



4 Townhouse 2 - West
Scale: 1:100
A305

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER - Red - Apartment 1 Only
- 2 FIBRE CEMENT PANEL - Teal
- 3 VINYL WINDOWS & DOORS - Teal
- 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING - Teal
- 6 ACCENT PAINT COLOUR - Rust
- 7 FIBRE CEMENT LAP SIDING - Soft Brown
- 8 FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only
- 9 SOFFIT - Warm Grey - Apartment 2 Only
- 10 PAINTED CONCRETE - Warm Grey
- 11 FIBRE CEMENT PANEL - Warm White
- 12 SOFFIT - Warm White
- 13 FIBRE CEMENT LAP SIDING - Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING - White
- 15 VINYL WINDOWS & DOORS - Dark Grey
- 16 PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey
- 17 METAL FLASHING - Dark Grey
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- 19 FIBRE CEMENT SHINGLES - Warm Grey
- 20 VINYL WINDOWS & DOORS - White
- 21 METAL DOWNSPOUT & FLASHING - Light Warm Grey
- 22 FIBRE CEMENT PANEL - Dark Grey
- 23 FIBRE CEMENT PANEL - Light Grey
- 24 ACCENT PAINT COLOUR - Bright Orange
- 25 ACCENT PAINT COLOUR - Bright Blue
- 26 ACCENT PAINT COLOUR - Chartreuse



Rev	Date	Description
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

sheet name: SEPTEMBER 2019 drawing file: 1907 A305 Elevations.vsw
 drawn by: NLC checked by: RAW
 scale: 1:100 project number: 1907

ISSUED FOR DP & REZONING

 VICTORIA OFFICE 977 FORT STREET VICTORIA BC V8V 3K3 T 1-250-858-3387	MANAWA OFFICE 102-5198 DUBLIN WAY MANAWA BC Z9T 2A8 T 1-250-858-5810
project name: Caledonia Victoria BC	
drawing title: Elevations - Townhouse 2	
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	of 3



1 Townhouse 3 - North (South sim.)
Scale: 1:100



2 Townhouse 3 - East
Scale: 1:100



3 Townhouse 3 - West
Scale: 1:100

COLOUR & MATERIALS LEGEND

- 1 BRICK VENEER - Red - *Apartment 1 Only*
- 2 FIBRE CEMENT PANEL - Teal
- 3 VINYL WINDOWS & DOORS - Teal
- 4 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING - Teal
- 6 ACCENT PAINT COLOUR - Rust
- 7 FIBRE CEMENT LAP SIDING - Soft Brown
- 8 FIBRE CEMENT PANEL - Warm Grey - *Apartment 2 Only*
- 9 SOFFIT - Warm Grey - *Apartment 2 Only*
- 10 PAINTED CONCRETE - Warm Grey
- 11 FIBRE CEMENT PANEL - Warm White
- 12 SOFFIT - Warm White
- 13 FIBRE CEMENT LAP SIDING - Medium Blue-Grey
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- 15 VINYL WINDOWS & DOORS - Dark Grey
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- 21 METAL DOWNSPOUT & FLASHING - Light Warm Grey
- 22 FIBRE CEMENT PANEL - Dark Grey
- 23 FIBRE CEMENT PANEL - Light Grey
- 24 ACCENT PAINT COLOUR - Bright Orange
- 25 ACCENT PAINT COLOUR - Bright Blue
- 26 ACCENT PAINT COLOUR - Chartreuse



Rev	Date	Description
3	20/02/06	ISSUED FOR CDTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

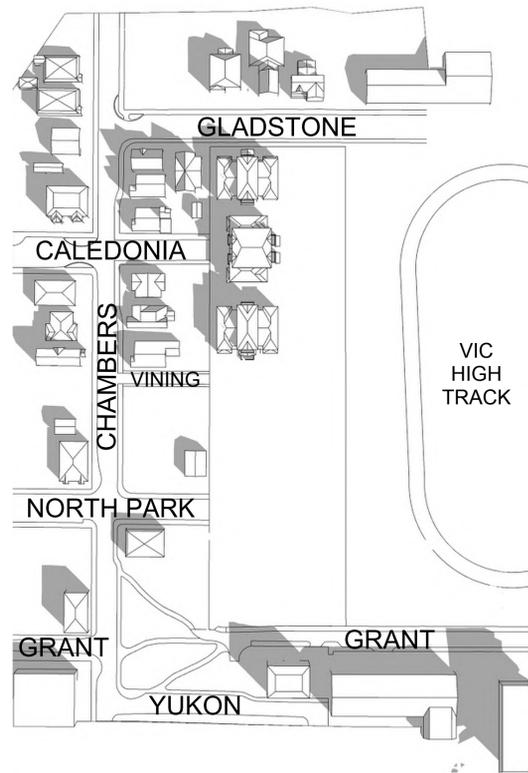
proj name	SEPTEMBER 2019	drawing file	1907 A306 Elevations.vrx
drawn by	NLC	checked by	RAW
scale	1:100	project number	1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

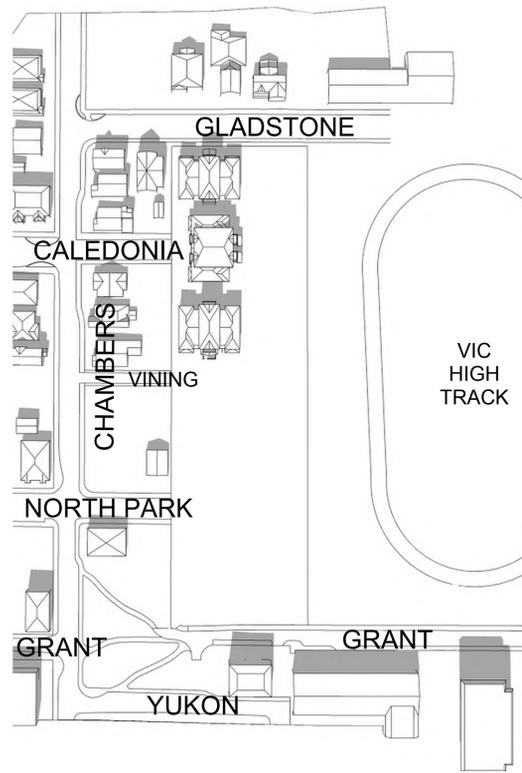
 VICTORIA OFFICE 977 Park Street Victoria BC V8V 3K3 T 1-250-858-3387	MANITOBA OFFICE 102-5198 Dublin Way Brandon BC R7S 2R8 T 1-250-585-5810
project name Caledonia Victoria BC	
drawing title Elevations - Townhouse 3	
drawing no. A306	sheet no. 3

EXISTING



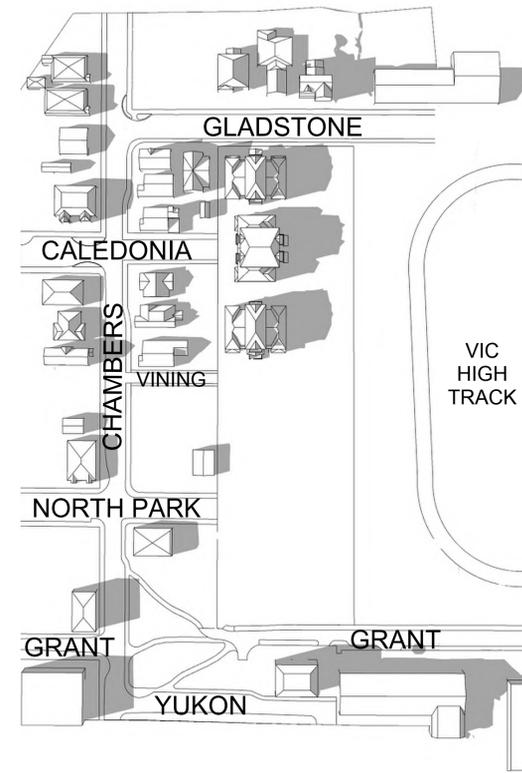
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EXISTING



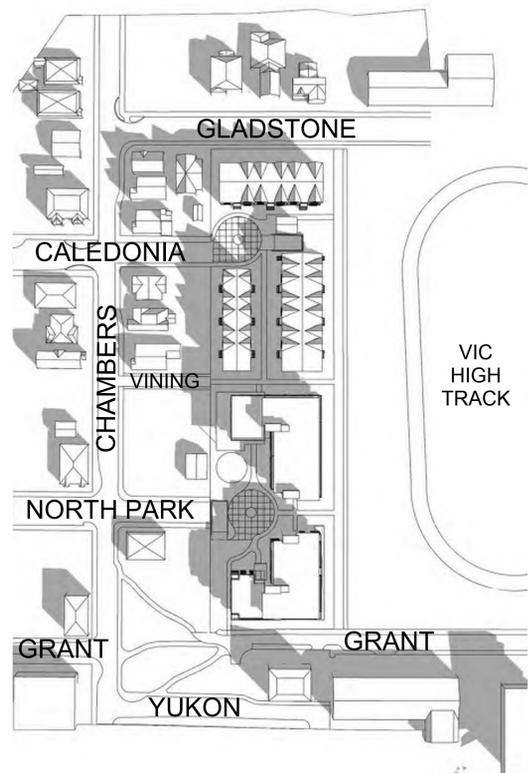
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EXISTING



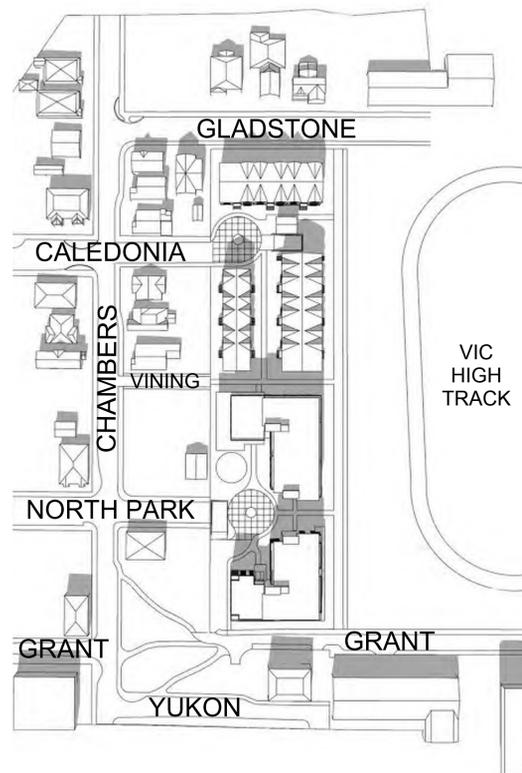
4:00PM - SEPTEMBER 21ST

PROPOSED



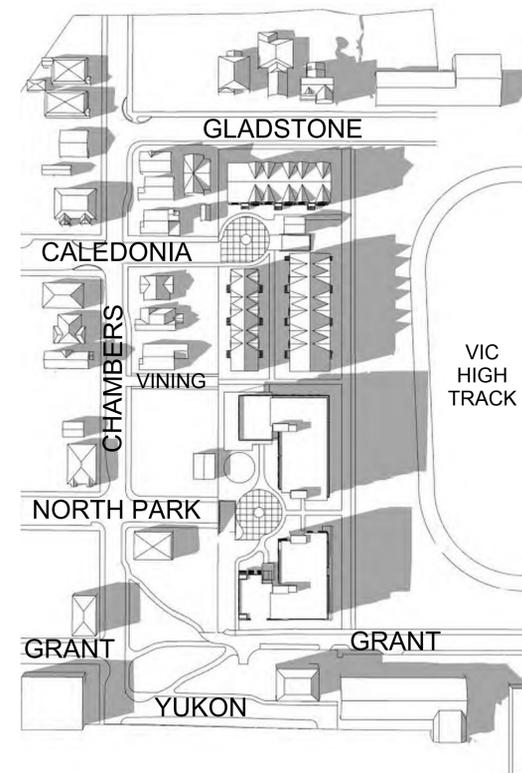
9:00AM - SEPTEMBER 21ST

PROPOSED



12:00PM - SEPTEMBER 21ST

PROPOSED



4:00PM - SEPTEMBER 21ST

Rev	Date	Description
3	20/09/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

Rev	Date	Description	
1	SEPTEMBER 2019	1907 A310 View Analysis view	
Drawn by	NLC	Checked by	RAW
Scale	N.S.	Project number	1907

ISSUED FOR DP & REZONING

<p>dHkA VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387</p>	<p>dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-885-5810</p>
<p>Project name Caledonia Victoria BC</p>	
<p>Project title Shadow Studies</p>	
<p>Copyright reserved. These plans and drawings are not to be used without the written consent of the project owner and may not be reproduced without written consent.</p>	<p>Sheet no. A307</p>
<p>Page no. 3</p>	



BEFORE - LOOKING WEST - FROM VIC HIGH



AFTER - LOOKING WEST - FROM VIC HIGH

Rev	Date	Description
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing title	1907 A310 View Analysis view
drawn by	NLC	checked by	RAW
scale	n.i.s.	project number	1907

NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

	dHKarchitects <small>VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 2K3 T 1-250-858-3387</small>	<small>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810</small>
	<small>project name</small> Caledonia Victoria BC	
<small>drawing title</small> View Analysis		
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		<small>sheet no.</small> 3



BEFORE LOOKING WEST - FROM GRANT STREET



BEFORE - LOOKING WEST - FROM GLADSTONE AVENUE



AFTER LOOKING WEST - FROM GRANT STREET



AFTER LOOKING WEST - FROM GLADSTONE AVENUE

Rev	Date	Description
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A310 View Analysis view
drawn by	NLC	checked by	RAW
scale	n.i.s.	project number	1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

	dHKarchitects VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810
	project name Caledonia Victoria BC	
View Analysis		
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		sheet no. 3



BEFORE LOOKING EAST - FROM CALEDONIA AVE.



BEFORE LOOKING EAST - FROM NORTH PARK ST.



AFTER LOOKING EAST - FROM CALEDONIA AVE.



AFTER LOOKING EAST - FROM NORTH PARK ST.

Rev	Date	Description
3	20/09/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing no.	1907 A310 View Analysis view
drawn by	NLC	checked by	RAW
scale	n.i.s.	project number	1907

NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

 <p>dHk architects</p>	<p>VICTORIA OFFICE 977 Fort St East VICTORIA BC V8V 3K3 T 1-250-858-3387</p>	<p>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-855-5810</p>
	<p>project name Caledonia Victoria BC</p>	
<p>View Analysis</p>		
<p><small>COPYRIGHT RESERVED. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTS.</small></p>		<p>drawing no. A310</p>
		<p>sheet no. 3</p>



LOOKING SOUTH - GLADSTONE AVENUE



LOOKING EAST - NORTH PARK STREET



LOOKING EAST - VINING STREET

Rev	Date	Description
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A310 View Analysis view
drawn by	NLC	checked by	RAW
scale	n.i.s.	project number	1907

NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

VICTORIA OFFICE 977 Fort Street VICTORIA BC V8W 2K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2W6 T 1-250-885-5810
project name Caledonia Victoria BC	
Perspective Studies	
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	total no. 3



TOWNHOUSES - AT GLADSTONE AVENUE



APARTMENT - AT GRANT STREET



INTERIOR COURTYARD - LOOKING NORTH



PLAYGROUND & AMENITY AREA - LOOKING NORTH

Rev	Date	Description
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

Rev	Date	Description
1	19/12/16	RAW

NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

		dHKarchitects <small>VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387</small>	<small>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810</small>
<small>project name</small> Caledonia Victoria BC			
<small>document title</small> Perspective Studies			
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			<small>total sheets</small> 3

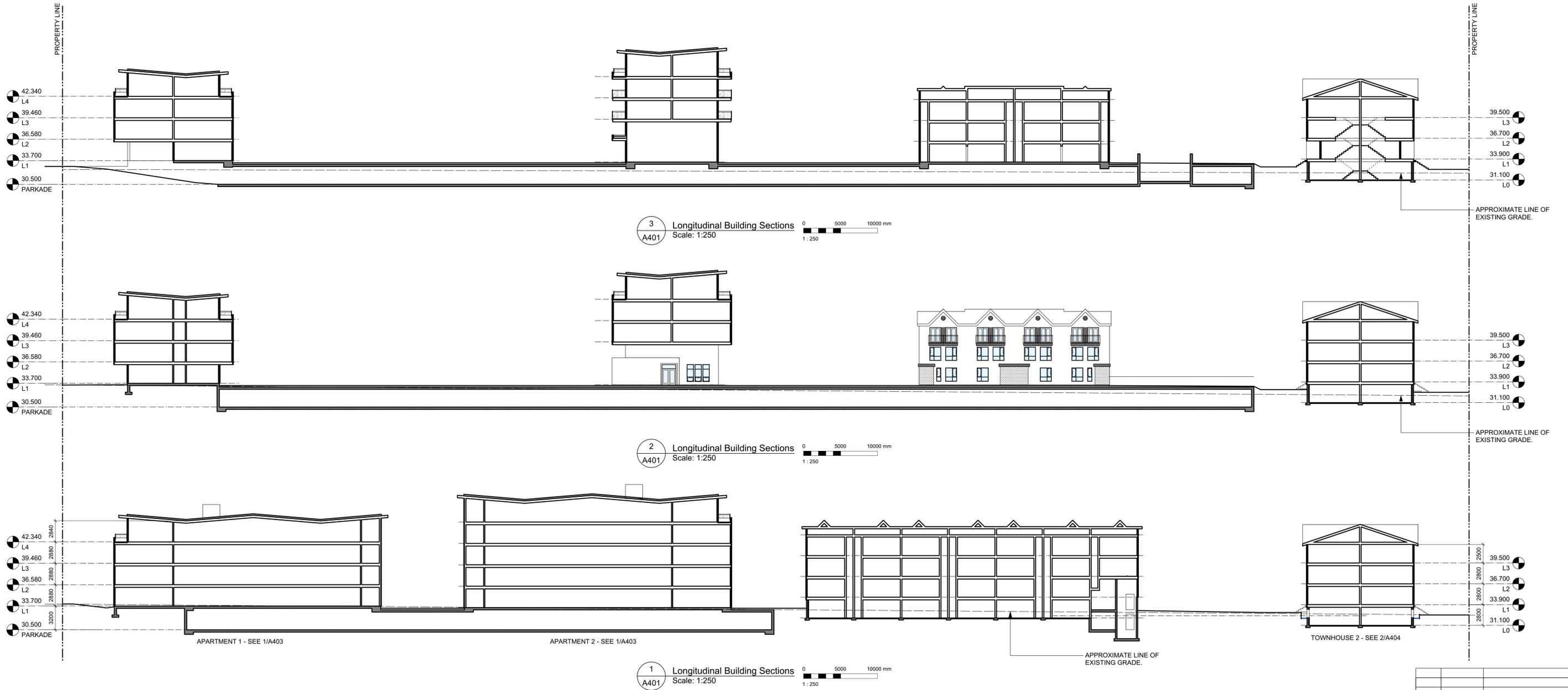


1
A313 Context Elevations
Scale: 1: 300

3	20/02/06	ISSUED FOR COTW
1	19/12/16	RESPONSE TO PLANNING REVIEW
date	date	description
plot date	19/12/16	drawing for 1907 A308 Streetscape Elevations.vrx
drawn by	FWP/NLC	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.
ISSUED FOR DP & REZONING

<p>dHKarchitects</p> <p>VICTORIA OFFICE 977 Park Street Victoria BC V8V 3K3 T 1-250-658-3387</p>	<p>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2A8 T 1-250-585-5810</p>
<p>project name Caledonia Victoria BC</p>	
<p>drawing title Streetscape Elevations</p>	
<p>copyright reserved. THESE PLANS AND DESIGN ARE AND WILL REMAIN THE PROPERTY OF dHKARCHITECTS. THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.</p>	<p>sheet no. A313</p>
<p>total sheets 3</p>	<p>date 19/12/16</p>



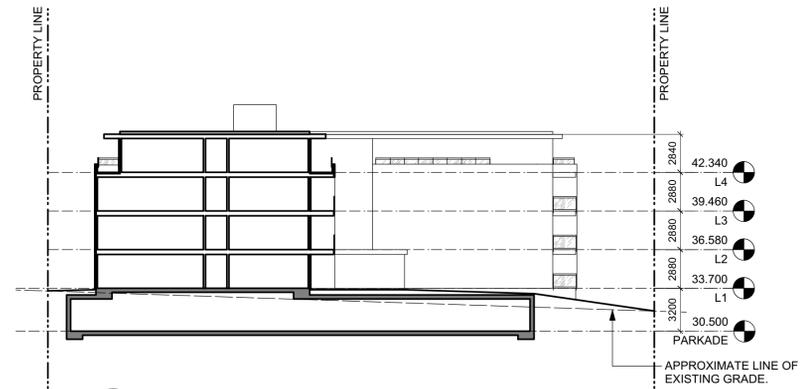
Rev	Date	Description
3	2019/08	ISSUED FOR COTW
2	2019/11	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A200 Plans.rvt
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

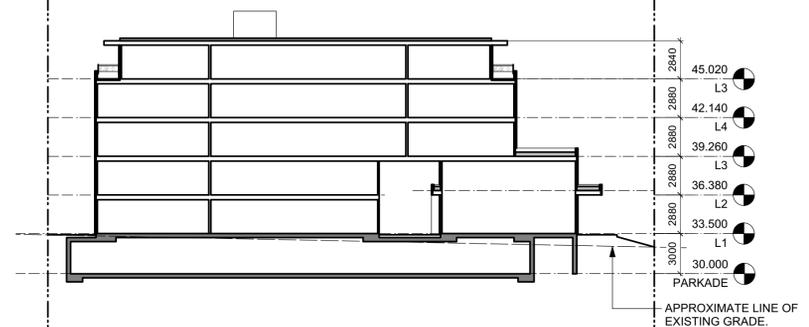
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

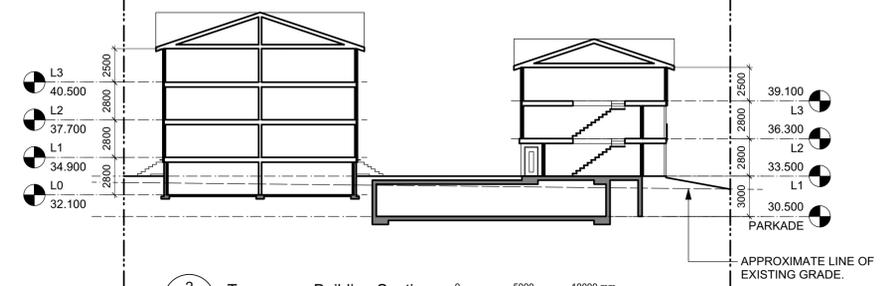
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-885-5810
project name Caledonia Victoria BC	
Building Sections	
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sheet no. 3	



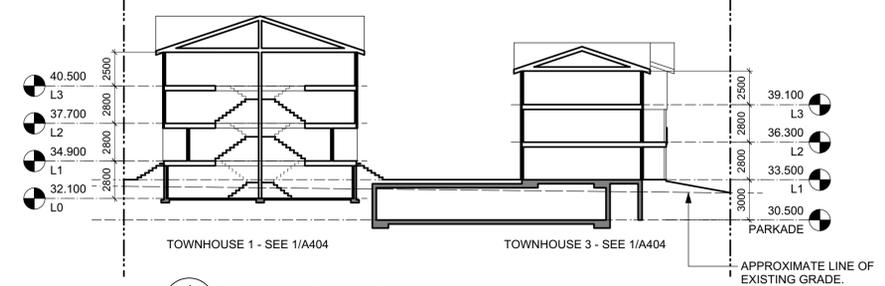
4 Transverse Building Section
Scale: 1:250



3 Transverse Building Section
Scale: 1:250



2 Transverse Building Section
Scale: 1:250



1 Transverse Building Section
Scale: 1:250

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

Rev	Date	Description
1	19/12/16	RESPONSE TO PLANNING REVIEW

Rev	Date	Description
1	19/12/16	RESPONSE TO PLANNING REVIEW

ISSUED FOR DP & REZONING

dHKarchitects

VICTORIA OFFICE
977 Fort Street
VICTORIA BC V8V 3K3
T 1-250-858-3387

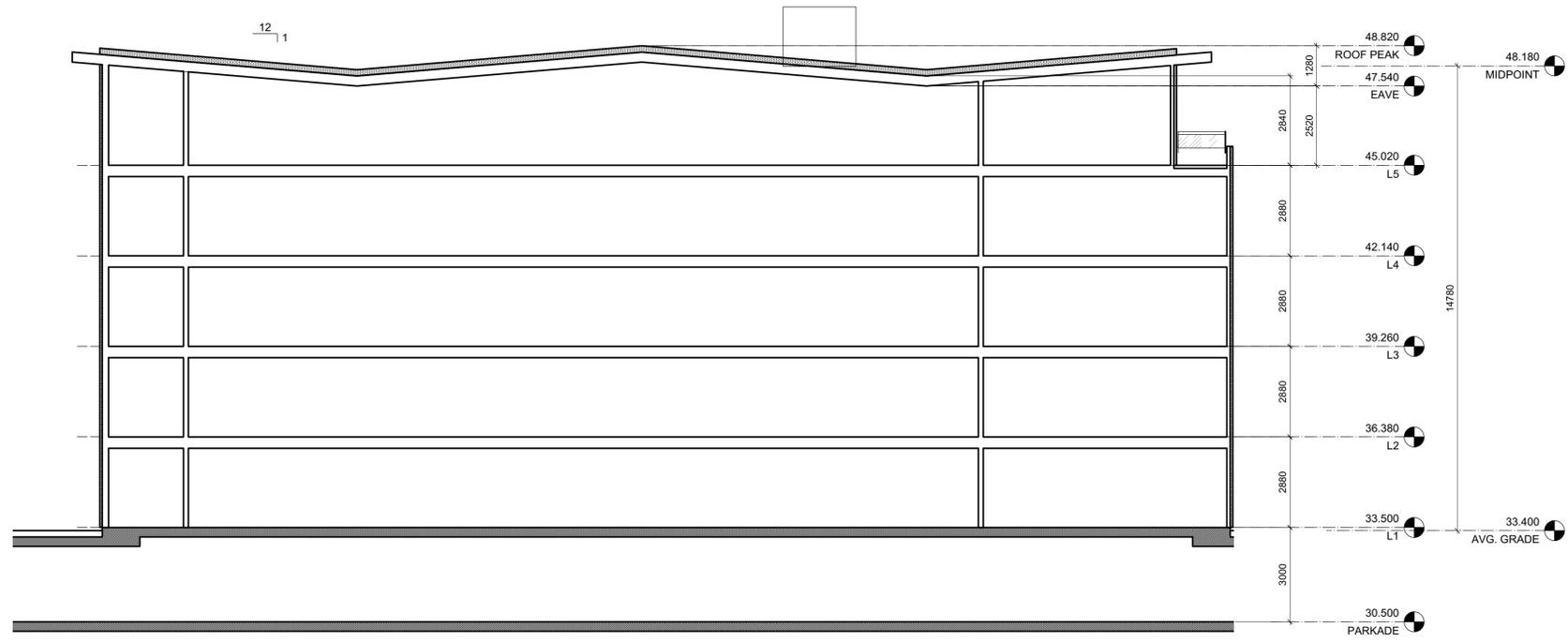
NANAIMO OFFICE
102-5190 Dublin Way
NANAIMO BC V9T 2K6
T 1-250-855-5810

Project Name
Caledonia
Victoria BC

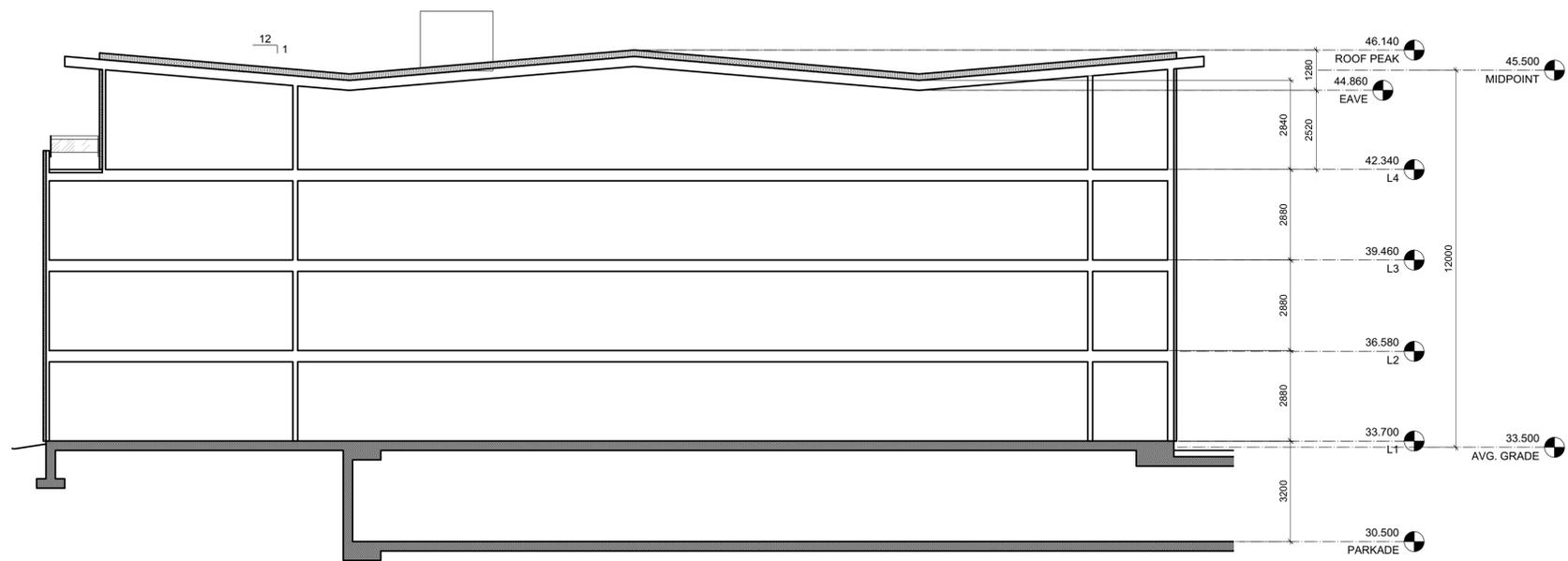
Building Sections

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Sheet No. **A402** of 3



2 Apartment 2 Building Section
 A403 Scale: 1:100



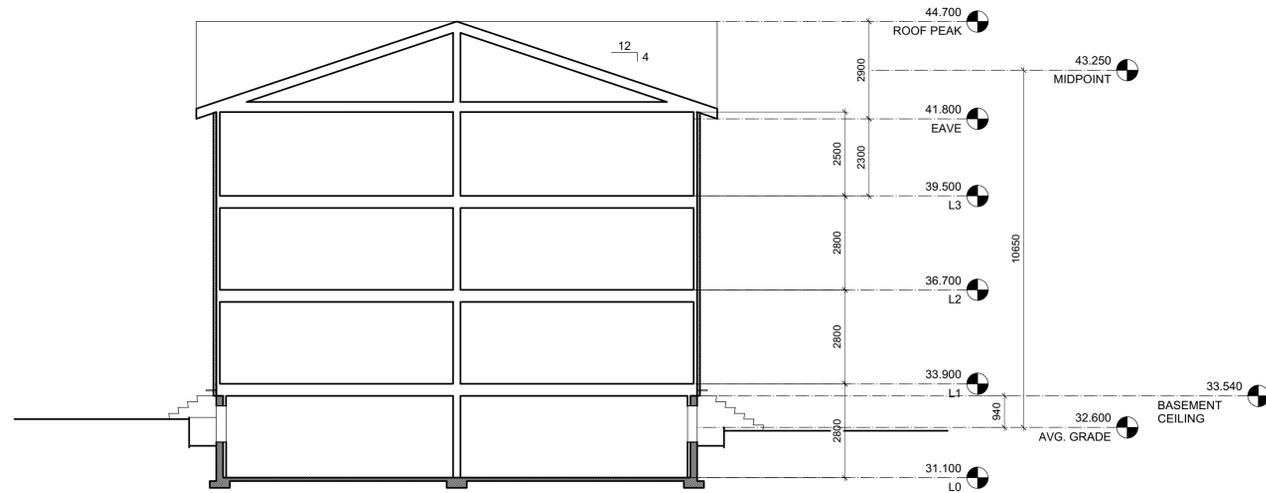
1 Apartment 1 Building Section
 A403 Scale: 1:100

Date	Issue	Description
19/12/16	1	RESPONSE TO PLANNING REVIEW
20/01/15	2	ISSUED FOR ADP
20/03/08	3	ISSUED FOR COTW

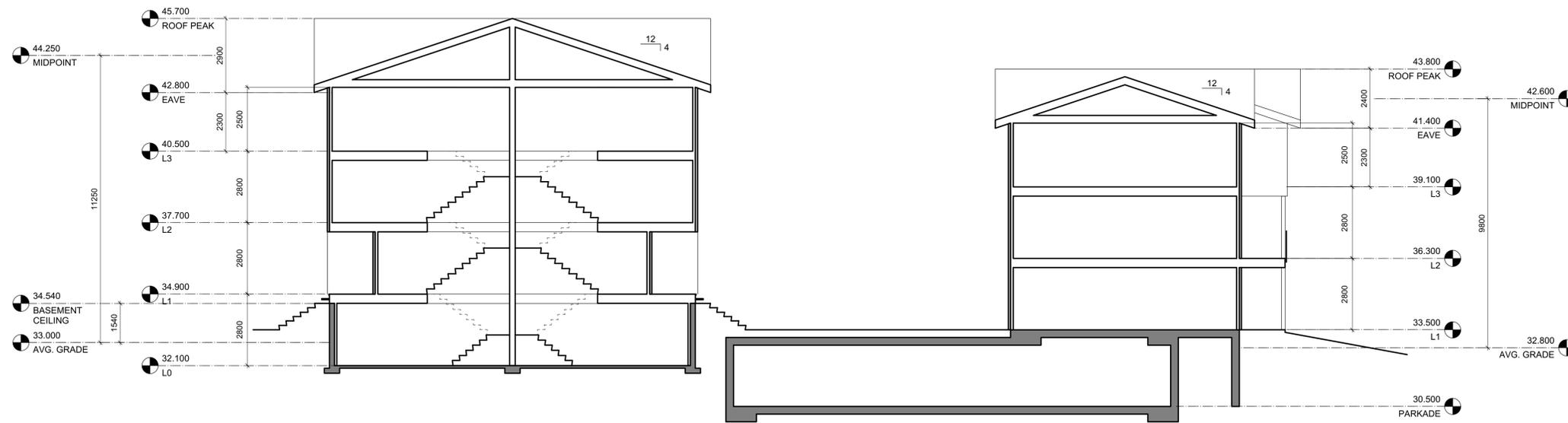
NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-858-5810
project name Caledonia Victoria BC	
Building Sections	
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drawing no. A403	sheet no. 3



2 Townhouse 2 Building Section
Scale: 1:100



1 Townhouses 1 & 3 Building Section
Scale: 1:100

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

Date: SEPTEMBER 2019
 Drawing No: 1907 A200 Plans.rvt
 Drawn by: FWP
 Checked by: RAW
 Scale: AS SHOWN
 Project number: 1907

ISSUED FOR DP & REZONING

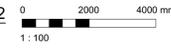
 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-855-5810
Project Name: Caledonia Victoria BC	
Building Sections	
COPYRIGHT RESERVED. THESE PLANS AND DIMENSIONS ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.	Drawing No: A404
	Sheet No: 3



2 L1 Plan - Apartment 1
Scale: 1:100



1 L1 Plan - Apartment 2
Scale: 1:100



- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

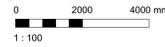
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

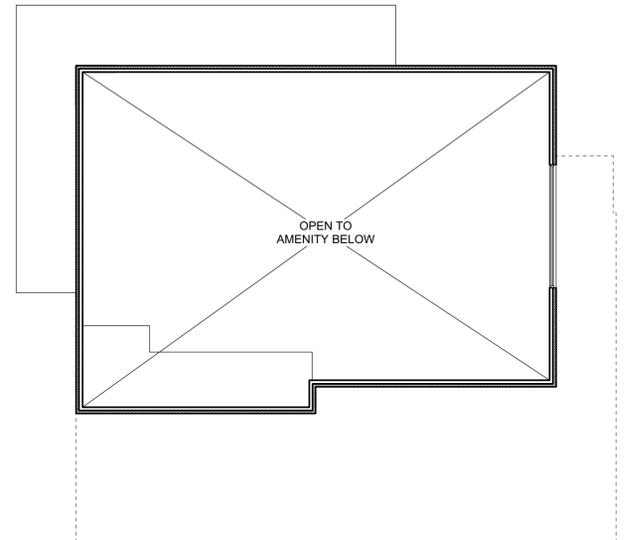
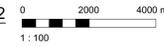
 dHKarchitects <small>VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387</small>	<small>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810</small>
<p>project name Caledonia Victoria BC</p>	
<p>drawing title L1 Plan - Apartments</p>	
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	<p>sheet no. 3</p>



2 L2 Plan - Apartment 1
Scale: 1:100



1 L2 Plan - Apartment 2
Scale: 1:100



Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

Date: SEPTEMBER 2019
 Drawing No: 1907 A200 Plans.rvt
 Author: FWP
 Checked by: RAW
 Scale: AS SHOWN
 Project number: 1907

ISSUED FOR DP & REZONING

- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE

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VICTORIA OFFICE
977 Fort Street
VICTORIA BC V8V 3K3
T 1-250-858-3387

NANAIMO OFFICE
102-5190 Dublin Way
NANAIMO BC V9T 2K6
T 1-250-585-5810

Project name:
Caledonia
Victoria BC

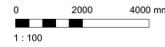
Project title:
L2 Plan - Apartments

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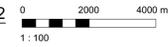
Issue No: **A602**



2 L3 Plan - Apartment 1
Scale: 1:100



1 L3 Plan - Apartment 2
Scale: 1:100



- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

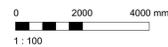
DATE: SEPTEMBER 2019
 DRAWING NO: 1907 A200 Plans.vxd
 DRAWN BY: FWP
 CHECKED BY: RAW
 SCALE: AS SHOWN
 PROJECT NUMBER: 1907

ISSUED FOR DP & REZONING

 VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387	dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810
Caledonia Victoria BC	
L3 Plan - Apartments	
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2 L4 Plan - Apartment 1
Scale: 1:100



1 L4 Plan - Apartment 2
Scale: 1:100



- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

<p>dHk</p> <p>VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387</p>	<p>dHKarchitects</p> <p>NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810</p>
<p>Project name: Caledonia Victoria BC</p>	
<p>Project name: L4 Plan - Apartments</p>	
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<p>Issue No: A604</p>	<p>Sheet No: 3</p>



1
A605

L5 Plan - Apartment 2
Scale: 1:100



- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A200 Plans.rvt
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

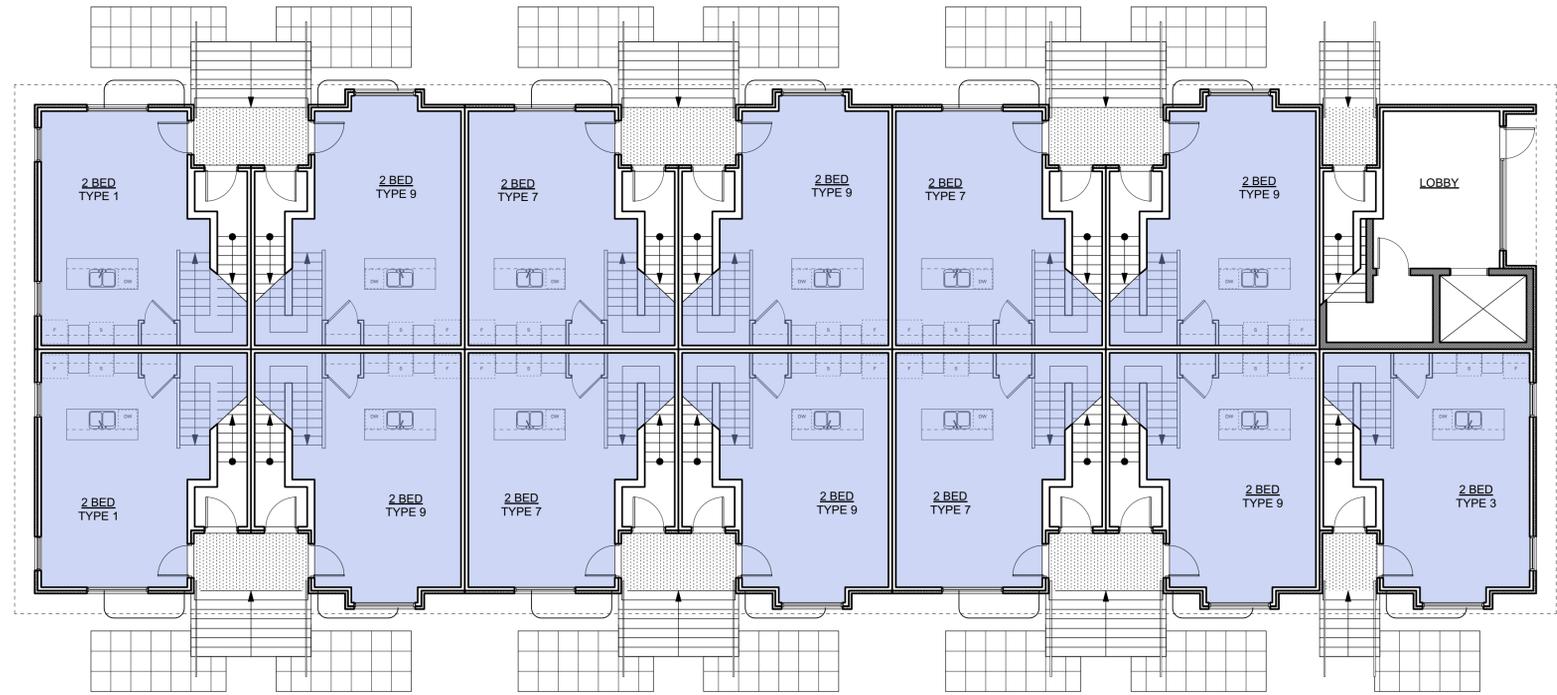
NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-3387	dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
project name L5 Plan - Apartments	
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drawing no. A605	sheet no. 3

GRAPHIC LEGEND:

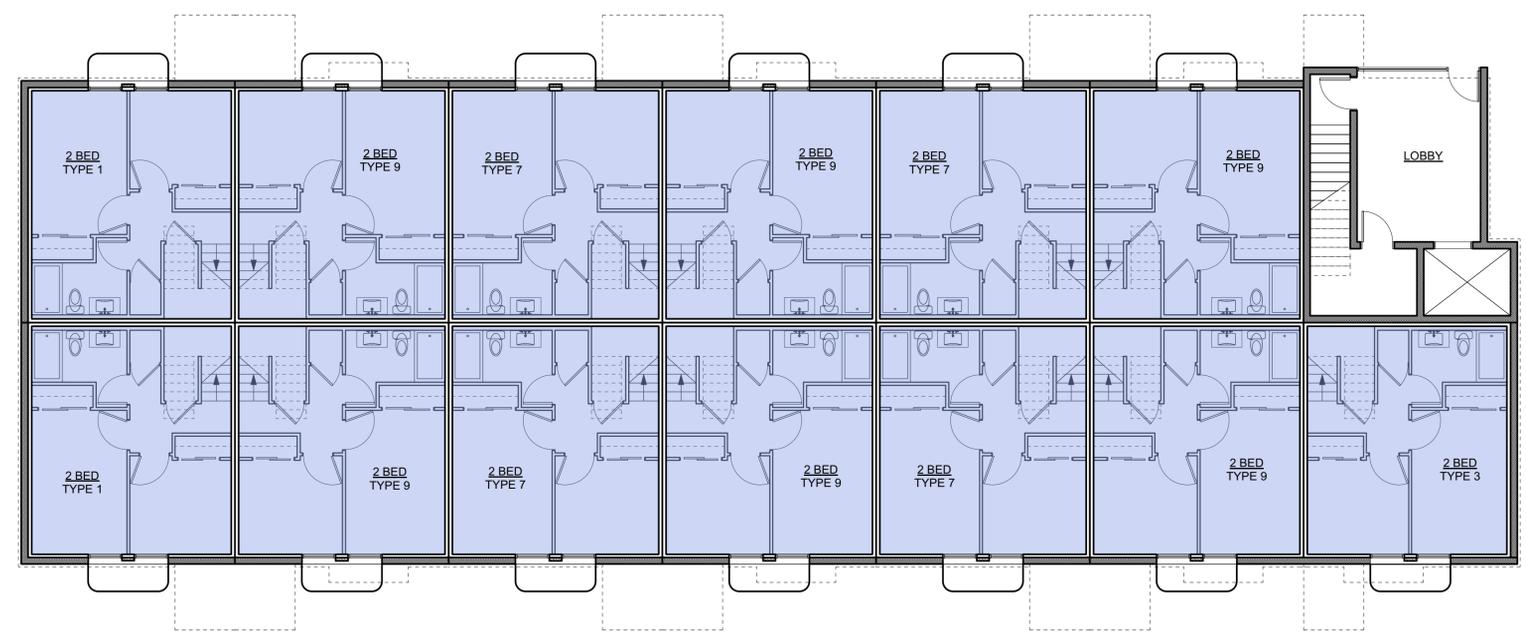
[Purple Box]	STUDIO
[Green Box]	1 BEDROOM
[Blue Box]	2 BEDROOM
[Red Box]	3 BEDROOM
[Orange Box]	4 BEDROOM
[Wheelchair Icon]	ACCESSIBLE



2 L1 Plan
A606 Scale: 1:100

0 2000 4000 mm
1:100

N



1 L0 Plan
A606 Scale: 1:100

0 2000 4000 mm
1:100

N

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

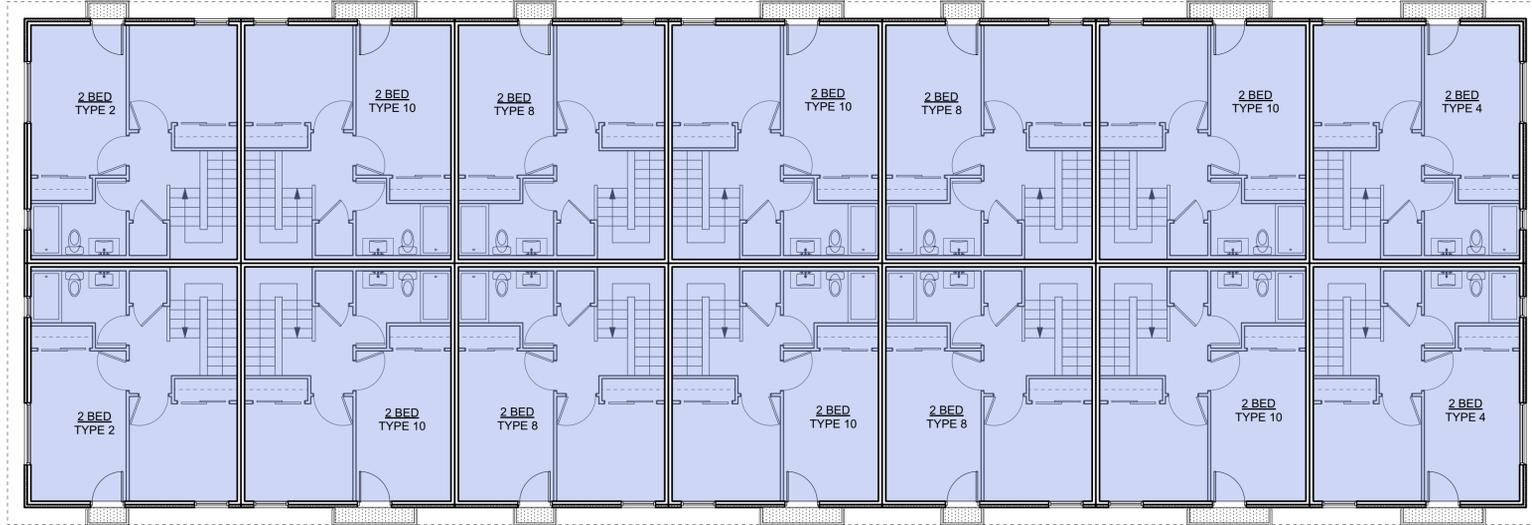
DATE	SEPTEMBER 2019	ISSUED FOR	1907 A200 Plans view
SCALE	FWP	DATE	RAW
SCALE	AS SHOWN	PROJECT NUMBER	1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

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VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-858-5810
project name Caledonia Victoria BC	
project name Townhouse 1	
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	3

- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE



2 L3 Plan
A607 Scale: 1:100

0 2000 4000 mm
1:100



1 L2 Plan
A607 Scale: 1:100

0 2000 4000 mm
1:100

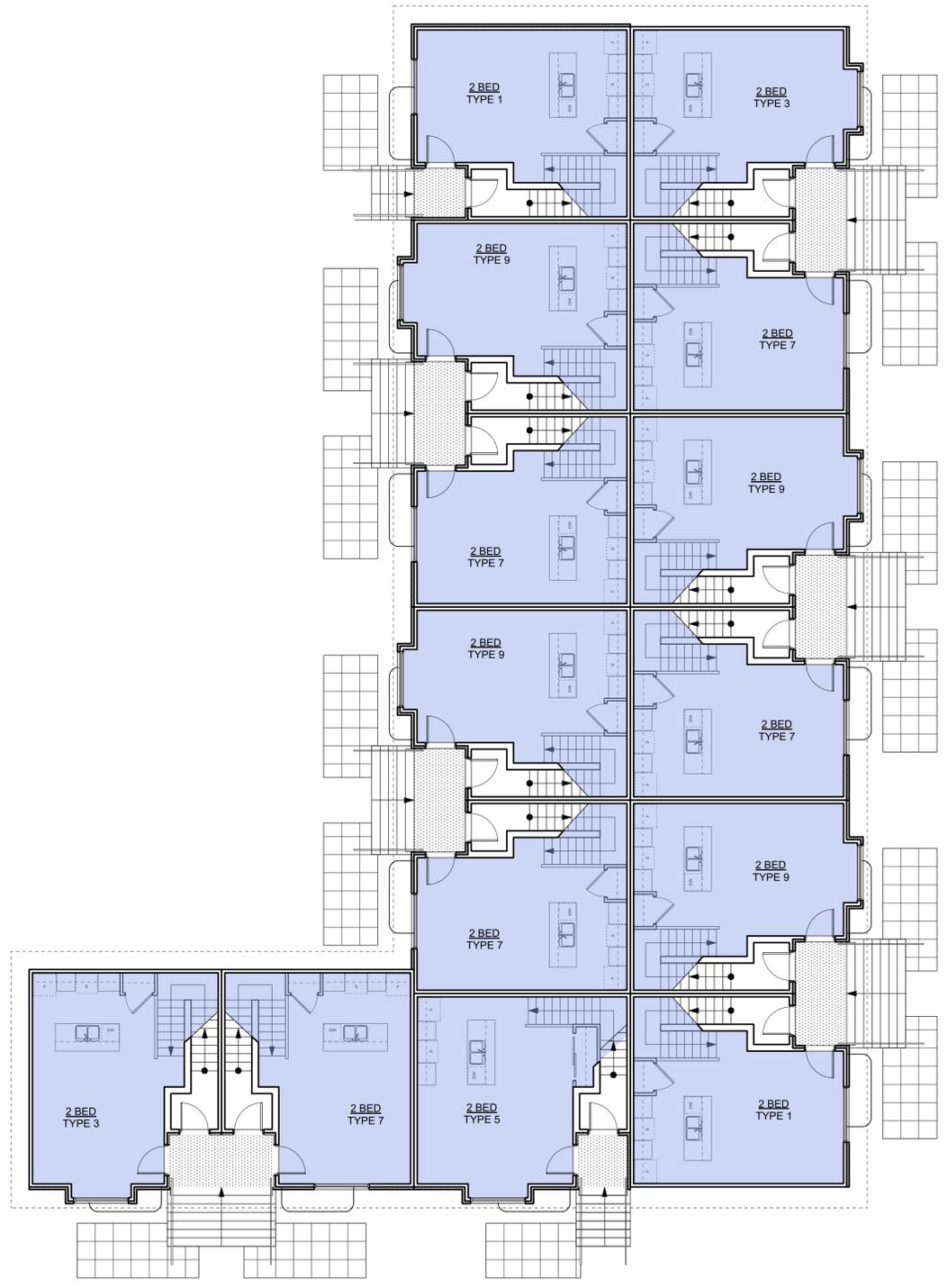
Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

DATE	SEPTEMBER 2019	DRAWING NO.	1907 A200 Plans.vrx
SCALE	AS SHOWN	PROJECT NUMBER	1907

ISSUED FOR DP & REZONING

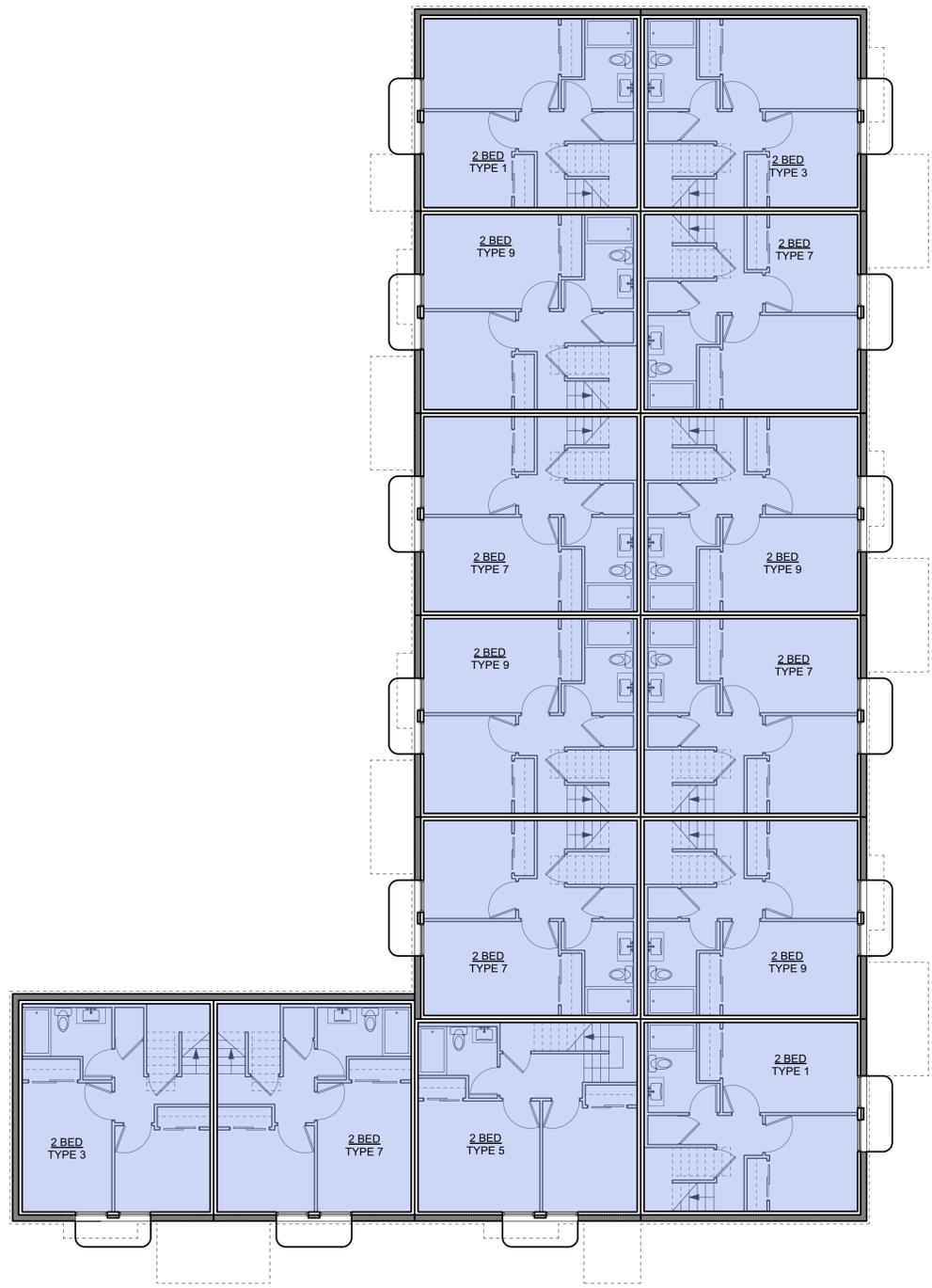
VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
project name Townhouse 1	
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	sheet no. 3

- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE



3 L1 Plan
 Scale: 1:100

0 2000 4000 mm
 1:100



1 L0 Plan
 Scale: 1:100

0 2000 4000 mm
 1:100

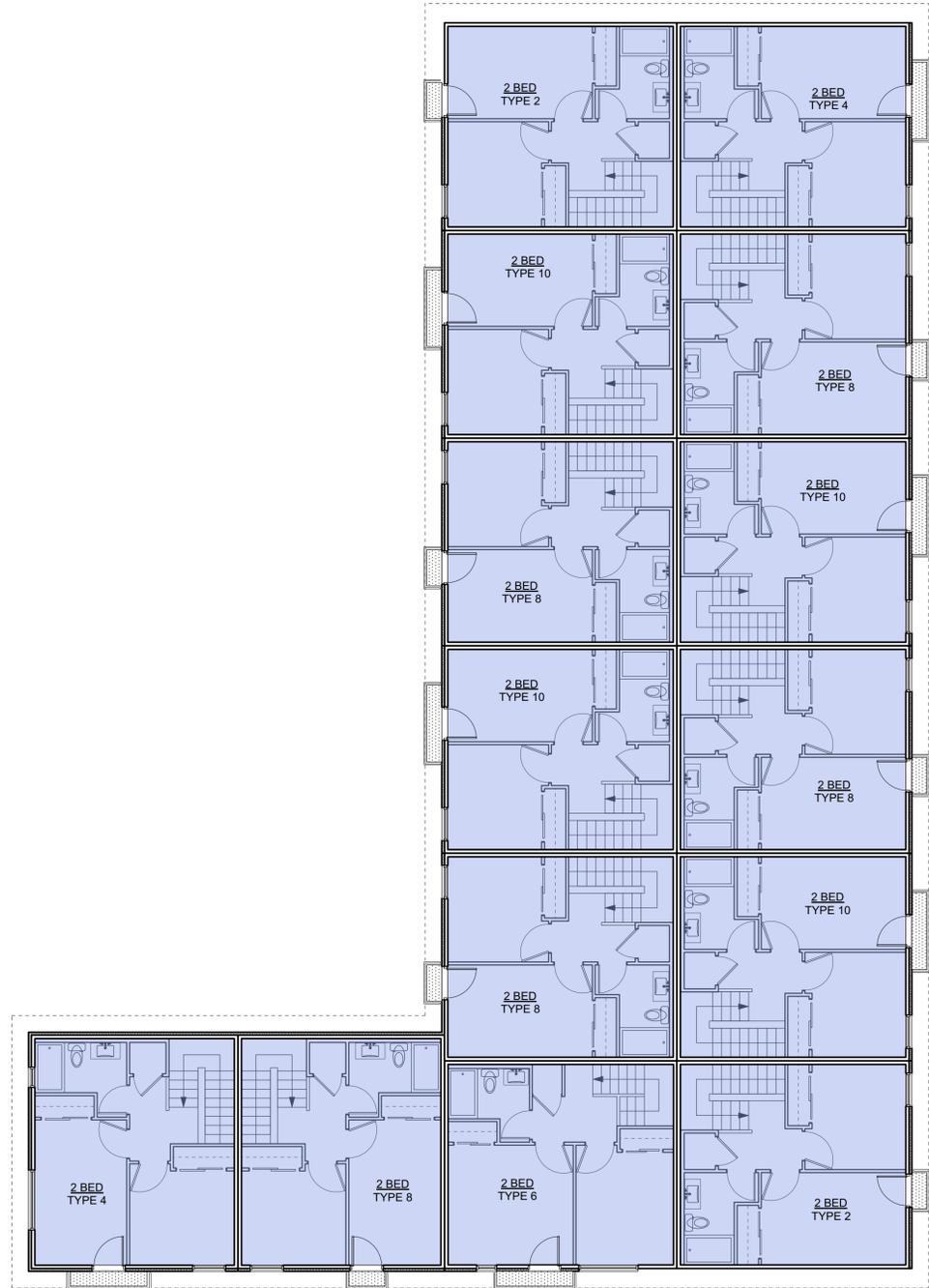
Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

DATE: SEPTEMBER 2019 DRAWING NO: 1907 A200 Plans.rvt
 DRAWN BY: FWP CHECKED BY: RAW
 SCALE: AS SHOWN PROJECT NUMBER: 1907

ISSUED FOR DP & REZONING

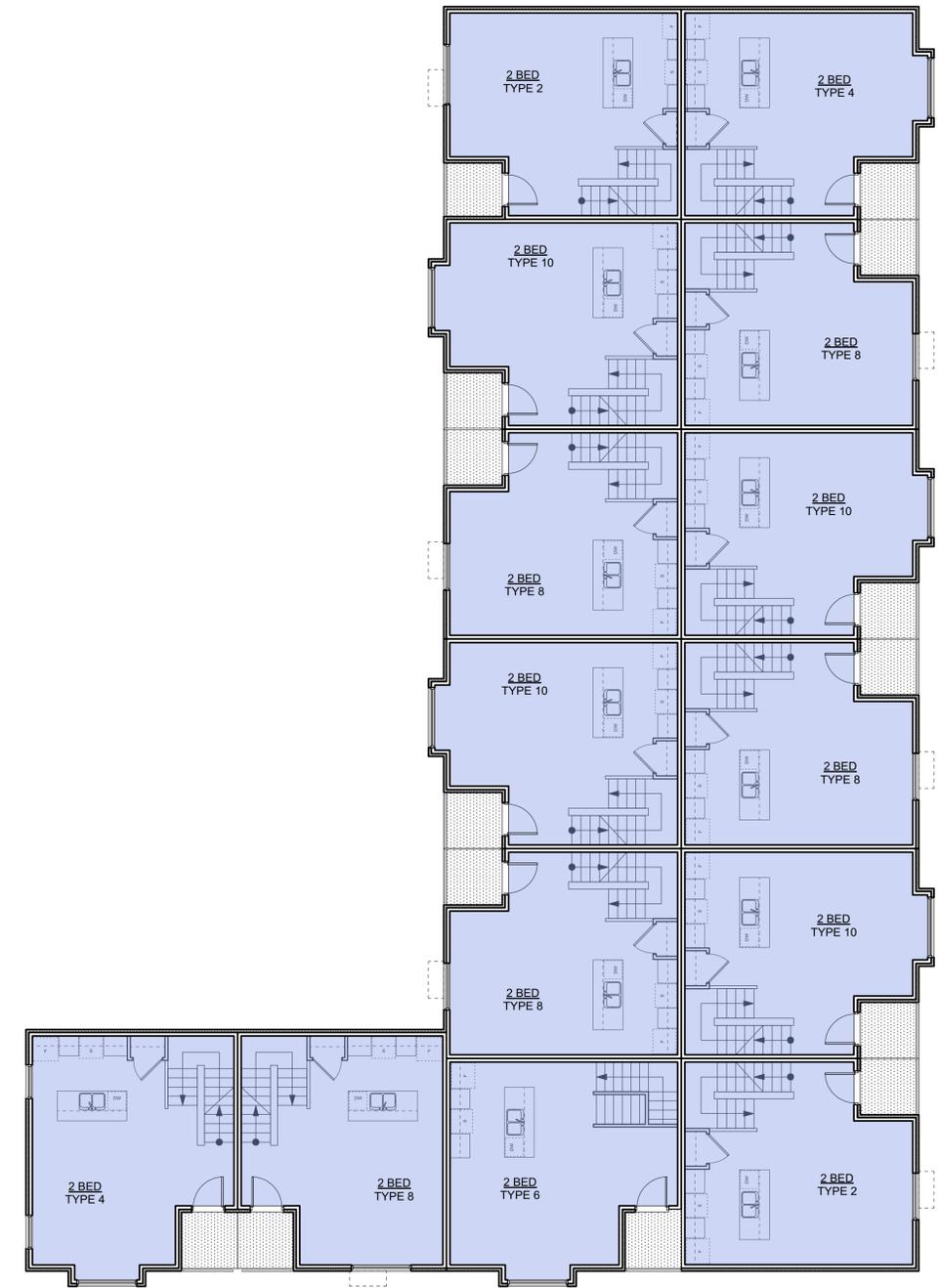
	dHKarchitects
<small>VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387</small>	<small>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-855-5810</small>
<small>project name</small> Caledonia	
<small>location</small> Victoria BC	
<small>project name</small> Townhouse 2	
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- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE



3 L3 Plan
A609 Scale: 1:100

0 2000 4000 mm
1:100



1 L2 Plan
A609 Scale: 1:100

0 2000 4000 mm
1:100

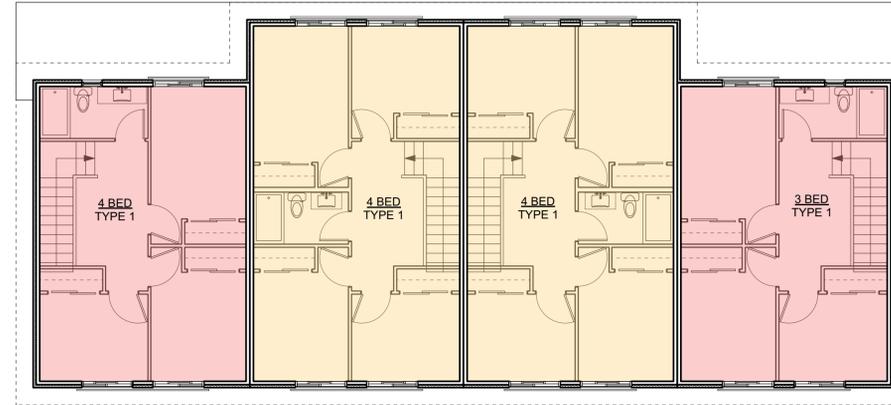
Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

DATE: SEPTEMBER 2019 DRAWING NO: 1907 A200 Plans.vxd
 DRAWN BY: FWP CHECKED BY: RAW
 SCALE: AS SHOWN PROJECT NUMBER: 1907

ISSUED FOR DP & REZONING

VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810
PROJECT NAME Caledonia Victoria BC	
PROJECT NO. Townhouse 2	
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SHEET NO. 3	

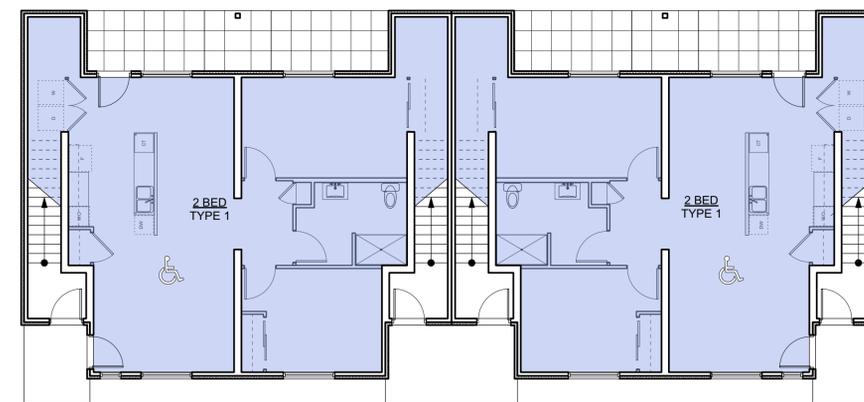
- GRAPHIC LEGEND:**
- STUDIO
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - 4 BEDROOM
 - ACCESSIBLE



3 L3 Plan - Townhouse 3
A610 Scale: 1:100



2 L2 Plan - Townhouse 3
A610 Scale: 1:100



1 L1 Plan - Townhouse 3
A610 Scale: 1:100

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing file	1907 A200 Plans.rvt
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

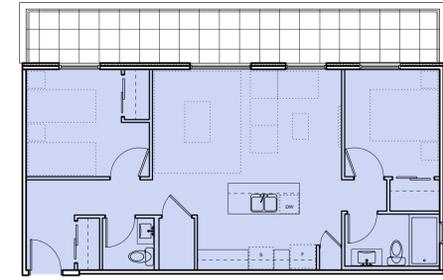
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

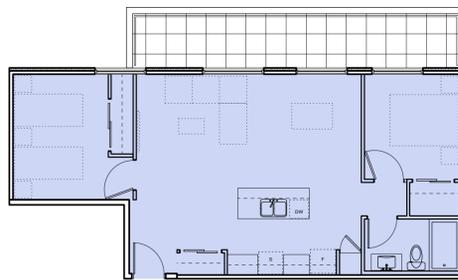
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project name Caledonia Victoria BC	
drawing title Townhouse 3	
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	sheet no. 3

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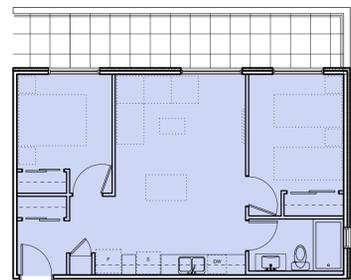
STUDIO
1 BEDROOM
2 BEDROOM
3 BEDROOM
4 BEDROOM
ACCESSIBLE



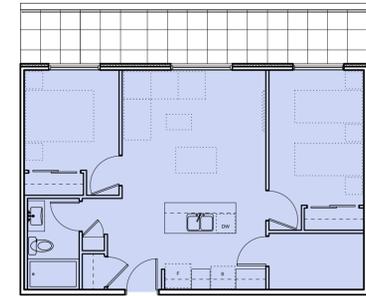
AREA 78 SM
QUANTITY 1
14 2 Bed Type 7
A701 Scale: 1:100



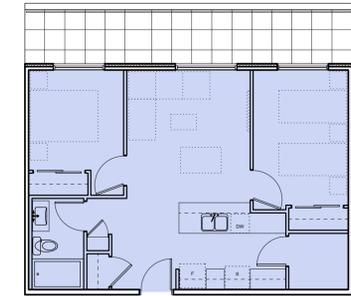
AREA 76 SM
QUANTITY 1
13 2 Bed Type 6
A701 Scale: 1:100



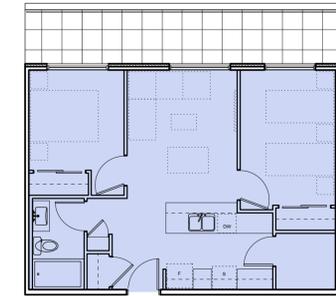
AREA 61 SM
QUANTITY 3
12 2 Bed Type 5
A701 Scale: 1:100



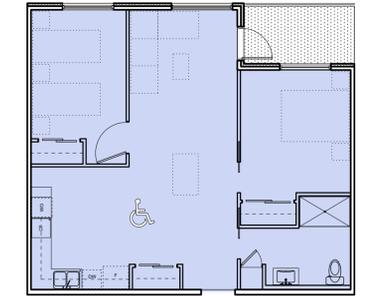
AREA 70 SM
QUANTITY 4
11 2 Bed Type 4
A701 Scale: 1:100



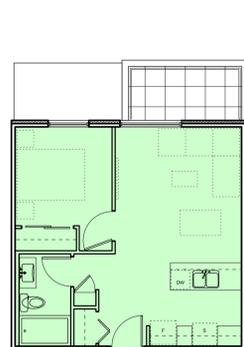
AREA 66 SM
QUANTITY 4
10 2 Bed Type 3
A701 Scale: 1:100



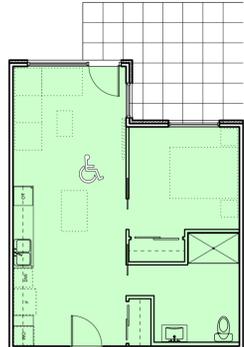
AREA 63 SM
QUANTITY 2
9 2 Bed Type 2
A701 Scale: 1:100



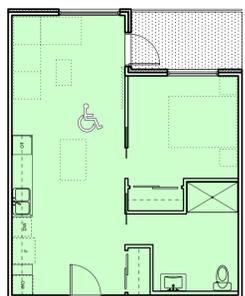
AREA 77 SM
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8 2 Bed Type 1 - Accessible
A701 Scale: 1:100



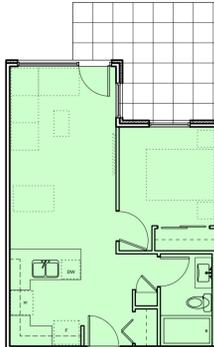
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7 1 Bed Type 3
A701 Scale: 1:100



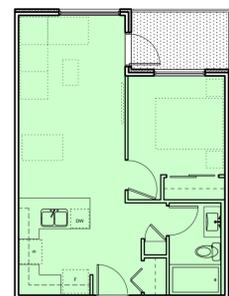
AREA 53 SM
QUANTITY 2
6 1 Bed Type 2B - Accessible
A701 Scale: 1:100



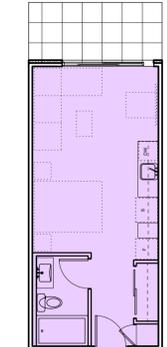
AREA 53 SM
QUANTITY 5
5 1 Bed Type 2A - Accessible
A701 Scale: 1:100



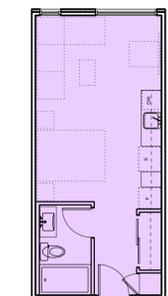
AREA 49 SM
QUANTITY 4
4 1 Bed Type 1B
A701 Scale: 1:100



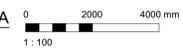
AREA 49 SM
QUANTITY 32
3 1 Bed Type 1A
A701 Scale: 1:100



AREA 34 SM
QUANTITY 4
2 Studio Type 1B
A701 Scale: 1:100



AREA 34 SM
QUANTITY 10
1 Studio Type 1A
A701 Scale: 1:100



Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

DATE: SEPTEMBER 2019
 DRAWING NO: 1907 A200 Plans.rvt
 PROJECT: FWP
 DRAWN BY: RAW
 CHECKED BY: AS SHOWN
 PROJECT NUMBER: 1907

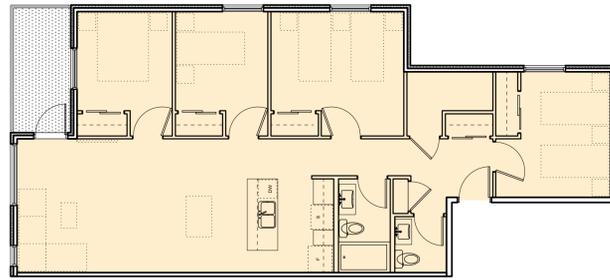
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

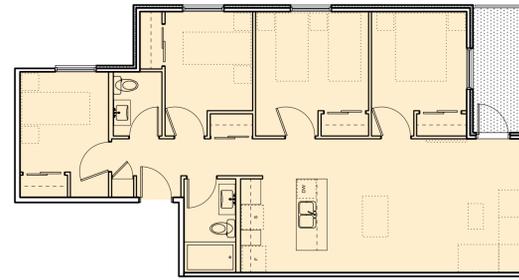
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Caledonia Victoria BC	
Apartment Unit Plans	
PROJECT NO: A701	SHEET NO: 3

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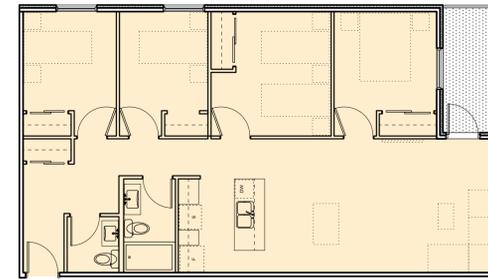
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



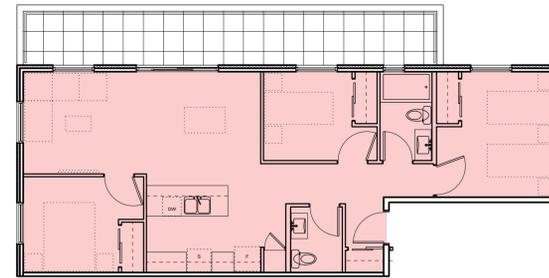
AREA 118 SM
 QUANTITY 2
 9 4 Bed Type 3
 A702 Scale: 1:100



AREA 98 SM
 QUANTITY 2
 8 4 Bed Type 2
 A702 Scale: 1:100



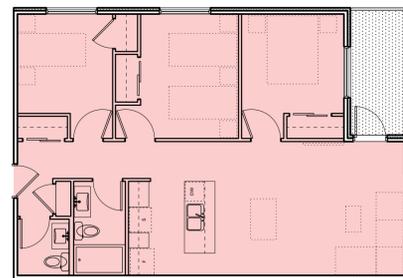
AREA 108 SM
 QUANTITY 2
 7 4 Bed Type 1
 A702 Scale: 1:100



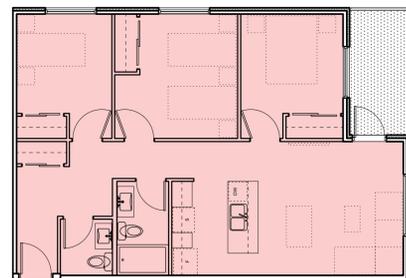
AREA 88 SM
 QUANTITY 1
 6 3 Bed Type 5
 A702 Scale: 1:100



AREA 98 SM
 QUANTITY 1
 5 3 Bed Type 4 - Accessible
 A702 Scale: 1:100



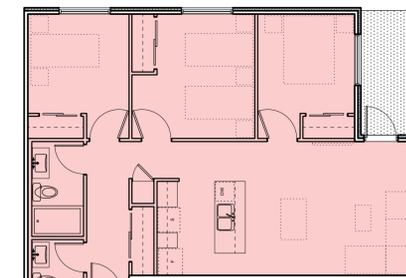
AREA 88 SM
 QUANTITY 1
 4 3 Bed Type 3
 A702 Scale: 1:100



AREA 88 SM
 QUANTITY 2
 3 3 Bed Type 2
 A702 Scale: 1:100



AREA 88 SM
 QUANTITY 2
 2 3 Bed Type 1B
 A702 Scale: 1:100



AREA 88 SM
 QUANTITY 5
 1 3 Bed Type 1A
 A702 Scale: 1:100



Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

DATE	SEPTEMBER 2019	ISSUED BY	1907 ADP Plans view
DESIGN BY	FWP	CHECKED BY	RAW
SCALE	AS SHOWN	PROJECT NUMBER	1907

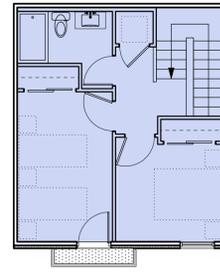
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP & REZONING

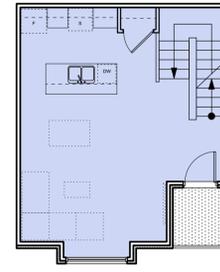
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project name Caledonia Victoria BC	
drawings Apartment Unit Plans	
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drawing no. A702	sheet no. 3

GRAPHIC LEGEND:

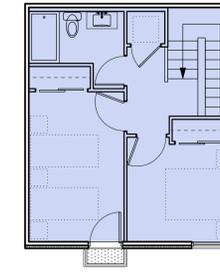
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



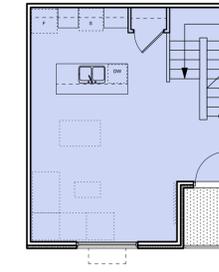
L3 - SECOND FLOOR
 AREA QUANTITY 90 SM 10
 10 2 Bed Type 10
 A703 Scale: 1:100



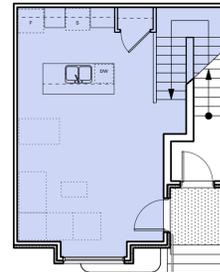
L2 - FIRST FLOOR



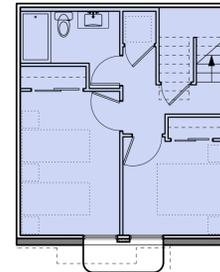
L3 - SECOND FLOOR
 AREA QUANTITY 89 SM 9
 9 2 Bed Type 8
 A703 Scale: 1:100



L2 - FIRST FLOOR



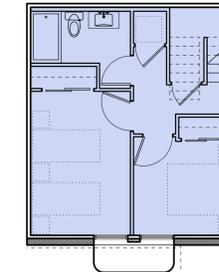
L1 - SECOND FLOOR
 AREA QUANTITY 84 SM 10
 8 2 Bed Type 9
 A703 Scale: 1:100



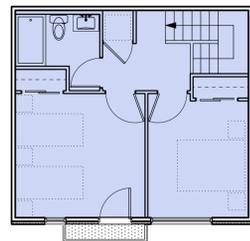
L0 - FIRST FLOOR



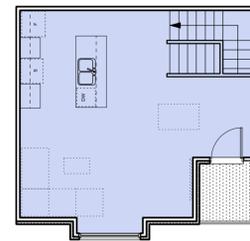
L1 - SECOND FLOOR
 AREA QUANTITY 83 SM 9
 7 2 Bed Type 7
 A703 Scale: 1:100



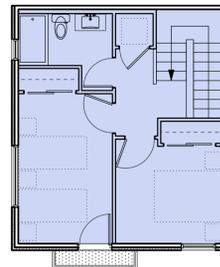
L0 - FIRST FLOOR



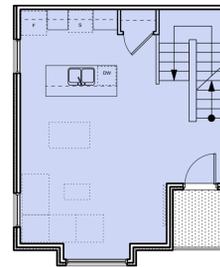
L3 - SECOND FLOOR
 AREA QUANTITY 89 SM 1
 6 2 Bed Type 6
 A703 Scale: 1:100



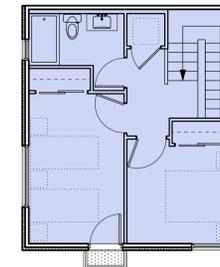
L2 - FIRST FLOOR



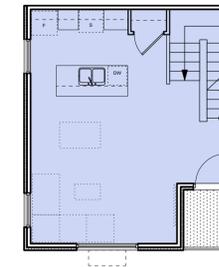
L3 - SECOND FLOOR
 AREA QUANTITY 90 SM 4
 5 2 Bed Type 4
 A703 Scale: 1:100



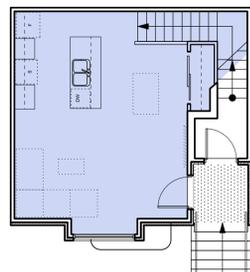
L2 - FIRST FLOOR



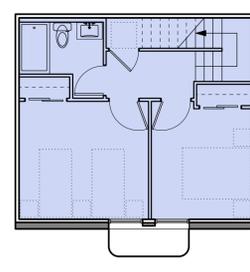
L3 - SECOND FLOOR
 AREA QUANTITY 89 SM 4
 4 2 Bed Type 2
 A703 Scale: 1:100



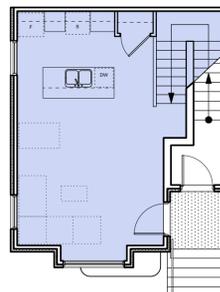
L2 - FIRST FLOOR



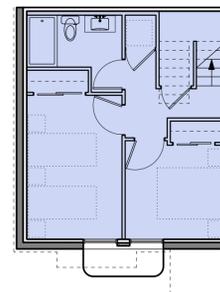
L1 - SECOND FLOOR
 AREA QUANTITY 81 SM 1
 3 2 Bed Type 5
 A703 Scale: 1:100



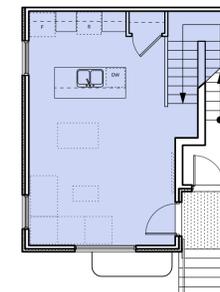
L0 - FIRST FLOOR



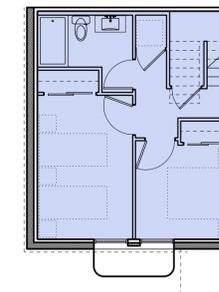
L1 - SECOND FLOOR
 AREA QUANTITY 82 SM 3
 2 2 Bed Type 3
 A703 Scale: 1:100



L0 - FIRST FLOOR



L1 - SECOND FLOOR
 AREA QUANTITY 81 SM 4
 1 2 Bed Type 1
 A703 Scale: 1:100



L0 - FIRST FLOOR

Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

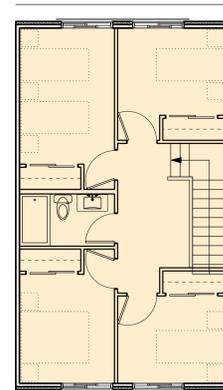
DATE	SEPTEMBER 2019	DRAWING NO.	1907 A200 Plans.v19
DESIGN BY	FWP	CHECKED BY	RAW
SCALE	AS SHOWN	PROJECT NUMBER	1907

ISSUED FOR DP & REZONING

<p>dHka</p> <p>VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387</p>	<p>dHKarchitects</p> <p>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810</p>
<p>Project Name Caledonia Victoria BC</p>	
<p>Project Title Townhouses 1 & 2 Unit Plans</p>	
<p>Copyright Reserved. These Plans and Drawings are not to be used without the written consent of the project owner and may not be reproduced without written consent.</p>	
<p>Drawn by A703</p>	<p>Sheet No. 3</p>

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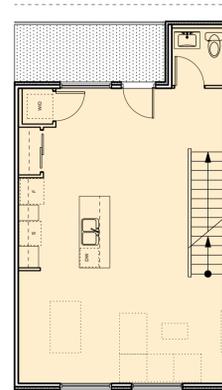
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



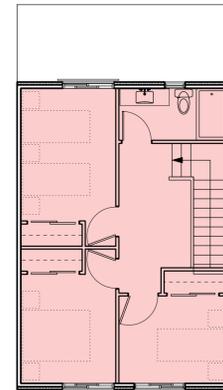
L1 - SECOND FLOOR

AREA 130 SM
QUANTITY 2

3
A704 4 Bed Type 1
Scale: 1:100



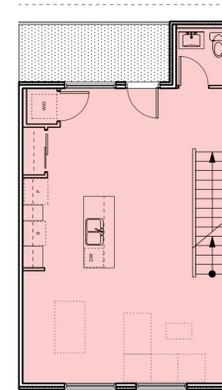
L0 - FIRST FLOOR



L1 - SECOND FLOOR

AREA 118 SM
QUANTITY 2

2
A704 3 Bed Type 1
Scale: 1:100

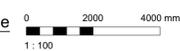


L0 - FIRST FLOOR



AREA 104 SM
QUANTITY 2

1
A704 2 Bed Type 1 - Accessible
Scale: 1:100



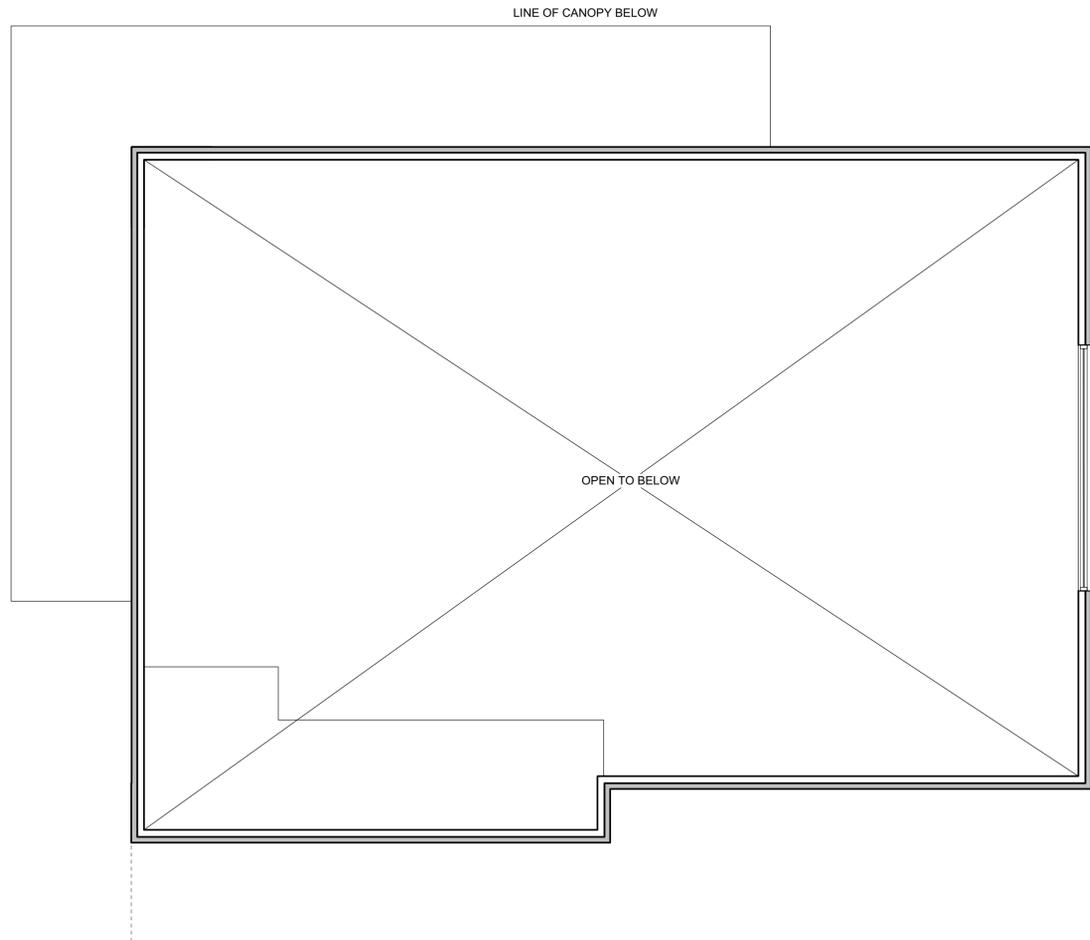
Rev	Date	Description
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

DATE	SEPTEMBER 2019	DRAWING NO.	1907 A200 Plans view
DRAWN BY	FWP	CHECKED BY	RAW
SCALE	AS SHOWN	PROJECT NUMBER	1907

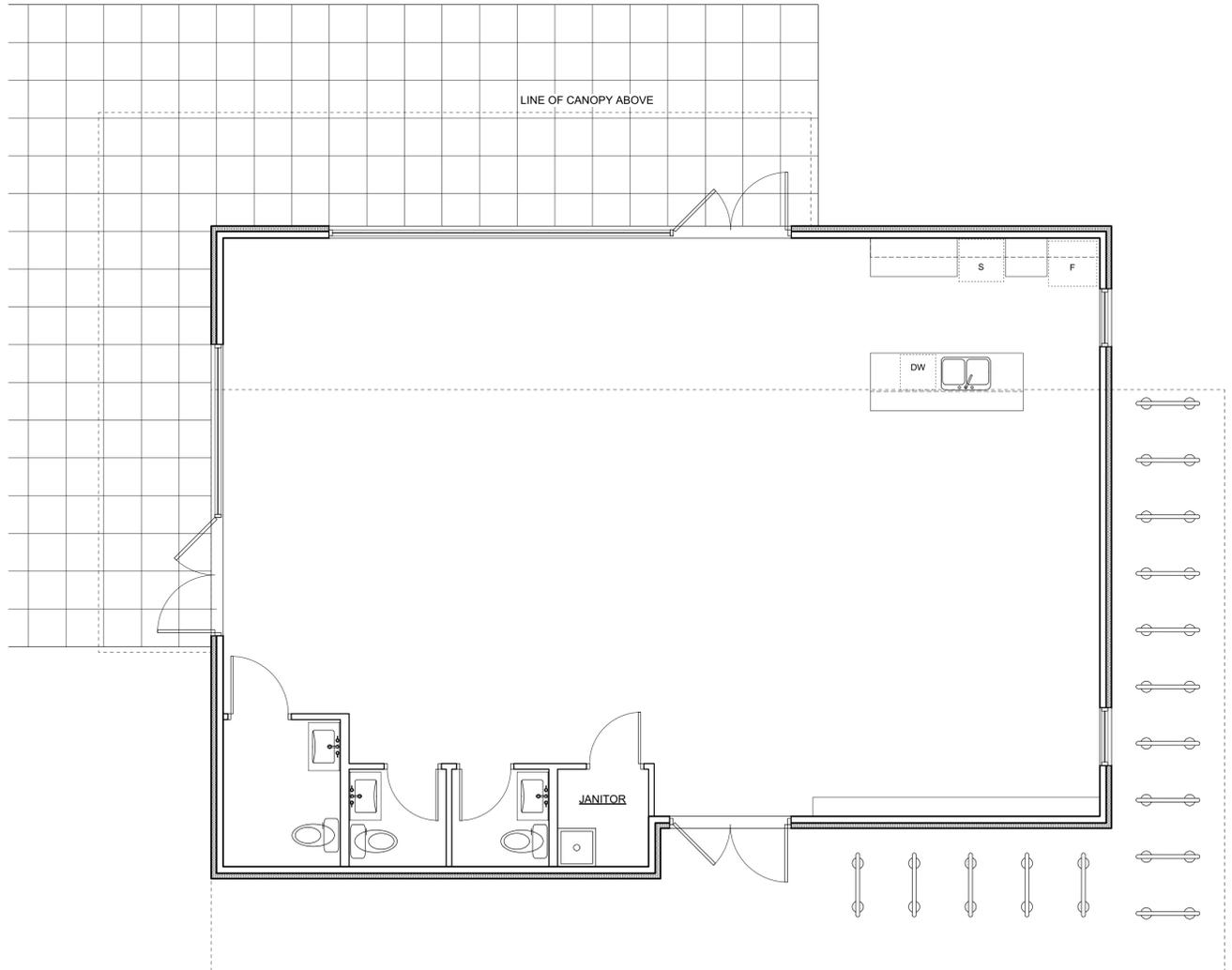
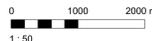
NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP
& REZONING**

 VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387	dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
Townhouse 3 Unit Plans	
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sheet no. 3	



2 Amenity Room - L2
A705 Scale: 1:50



GROSS AREA: 139 SM

1 Amenity Room - L1
A705 Scale: 1:50



Rev	Date	Description
3	20/10/16	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

print date	SEPTEMBER 2019	drawing no.	1907 A200 Plans view
drawn by	FWP	checked by	RAW
scale	AS SHOWN	project number	1907

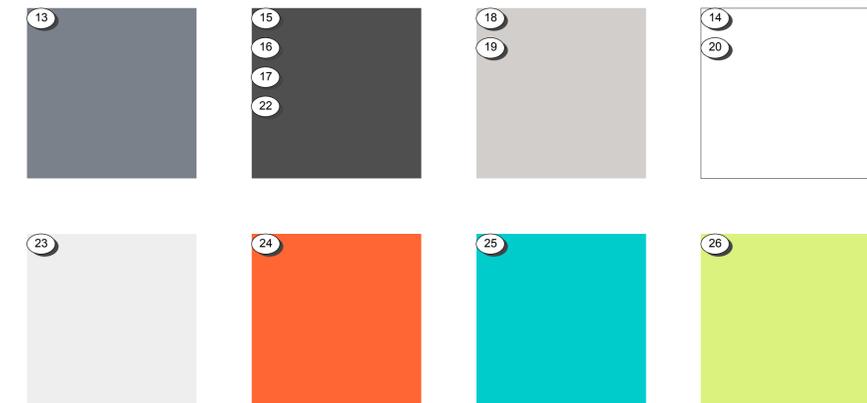
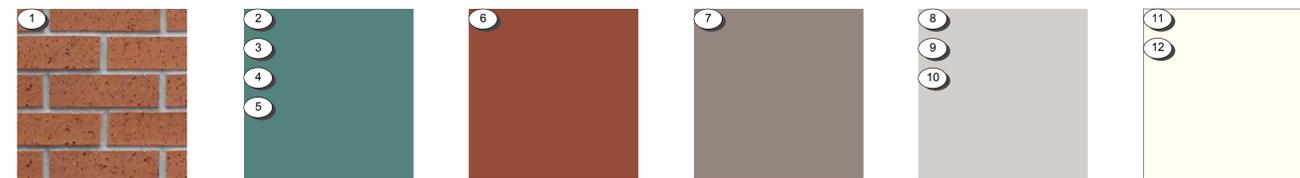
ISSUED FOR DP & REZONING

		dHKarchitects	
<small>VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-3387</small>		<small>NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-885-5810</small>	
<small>project name</small> Caledonia Victoria BC			
<small>drawing</small> Amenity Room			
<small>COPYRIGHT RESERVED. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF dHKarchitects.</small>			<small>drawing no.</small> A705
			<small>sheet no.</small> 3

APARTMENTS 1 & 2



TOWNHOUSES 1, 2 & 3



COLOUR & MATERIAL LEGEND

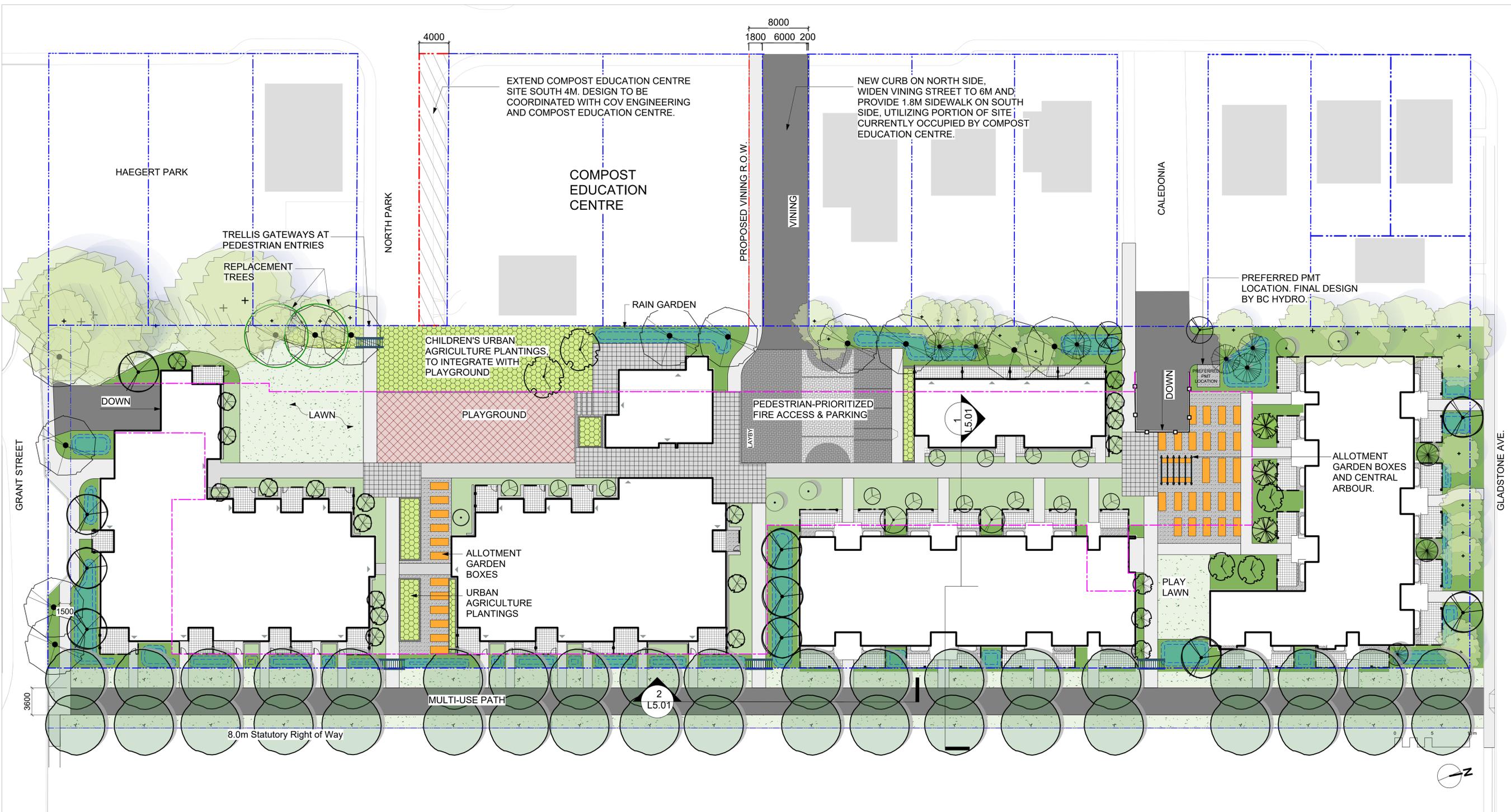
- ① BRICK VENEER - Red - *Apartment 1 Only*
- ② FIBRE CEMENT PANEL - Teal
- ③ VINYL WINDOWS & DOORS - Teal
- ④ PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- ⑤ METAL FLASHING - Teal
- ⑥ ACCENT PAINT COLOUR - Rust
- ⑦ FIBRE CEMENT LAP SIDING - Soft Brown
- ⑧ FIBRE CEMENT PANEL - Warm Grey - *Apartment 2 Only*
- ⑨ SOFFIT - Warm Grey - *Apartment 2 Only*
- ⑩ PAINTED CONCRETE - Warm Grey
- ⑪ FIBRE CEMENT PANEL - Warm White
- ⑫ SOFFIT - Warm White
- ⑬ FIBRE CEMENT LAP SIDING - Medium Blue-Grey

- ⑭ FIBRE CEMENT LAP SIDING - White
- ⑮ VINYL WINDOWS & DOORS - Dark Grey
- ⑯ PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey
- ⑰ METAL FLASHING - Dark Grey
- ⑱ ASPHALT SHINGLES - Warm Grey
- ⑲ FIBRE CEMENT SHINGLES - Warm Grey
- ⑳ VINYL WINDOWS & DOORS - White
- ㉑ METAL DOWNSPOUT & FLASHING - Light Warm Grey
- ㉒ FIBRE CEMENT PANEL - Dark Grey
- ㉓ FIBRE CEMENT PANEL - Light Grey
- ㉔ ACCENT PAINT COLOUR - Bright Orange
- ㉕ ACCENT PAINT COLOUR - Bright Blue
- ㉖ ACCENT PAINT COLOUR - Chartreuse

Rev	Date	Description
3	20/02/06	ISSUED FOR CDTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW

ISSUED FOR DP & REZONING

VICTORIA OFFICE 977 FORT STREET VICTORIA BC V8V 3K3 T 1-250-658-3387	NANAIMO OFFICE 102-5190 DUBOIS WAY NANAIMO BC V9T 2A8 T 1-250-985-5810
project name Caledonia Victoria BC	
description Colours & Materials	
copyright reserved. THESE PLANS AND DESIGN ARE AND ALL RIGHTS RESERVED. THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.	sheet no. A801
date 19/12/16	project number 1907
scale 1:150	drawing by RAW
client NLC	drawing file 1907 A300 Elevations view



NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
3	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26

Murdoch de Greeff INC
Landscape Planning & Design

200 - 554 Colquhoun Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

Feb. 5, 2020

client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia Redevelopment
Caledonia Ave.
Victoria, BC

sheet title
Landscape Overview Plan

project no.	119.18
scale	1: 250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.

L1.01

LANDSCAPE TYPOLOGIES



PLAY PLACES that foster fun and creativity.



RAIN GARDENS that slow & cleanse rainwater.



PERSONAL OUTDOOR AREAS that can be modified, beautified and funkified.



GATHERING PLACES that help neighbours get to know each other and support each other.



BICYCLE FACILITIES that make it easy for people of all ages to hop on their bikes.



PLANTINGS that provide food for birds, bees and butterflies.



OUTDOOR SOCIAL SPACES for gathering and sharing food.



PLANTINGS that provide beauty and food for people.



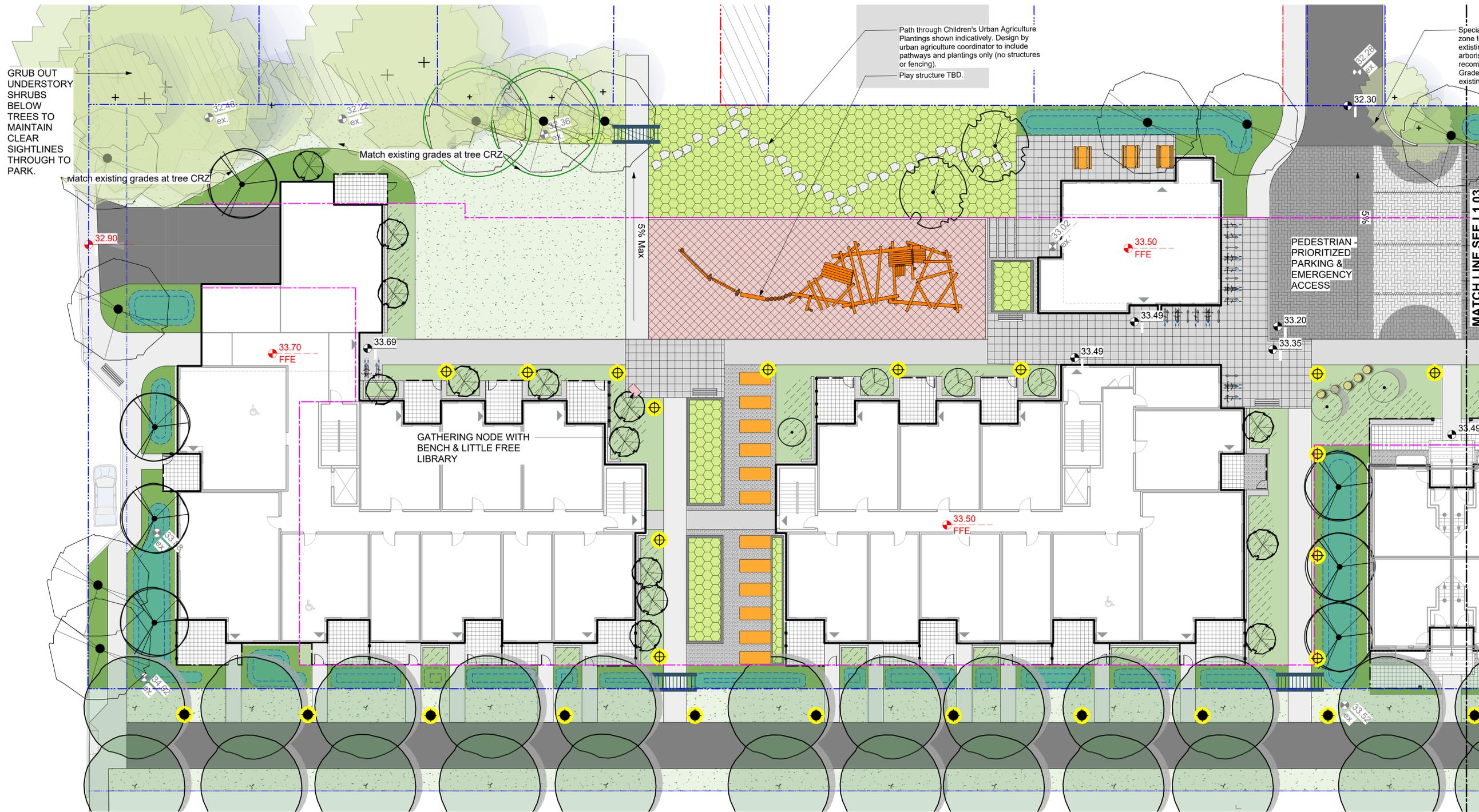
ACTIVE PLAY SPACES that support community sports.



PUBLIC ART that celebrates Fernwood's artistic spirit.



COMMUNITY GARDEN PLOTS that boost local food security.



GRUB OUT UNDERSTORY SHRUBS BELOW TREES TO MAINTAIN CLEAR SIGHTLINES THROUGH TO PARK.

Path through Children's Urban Agriculture Plantings shown indicatively. Design by urban agriculture coordinator to include pathways and plantings only (no structures or fencing).
Play structure TBD.

Special Measures zone to protect existing trees. See arborist recommendations. Grades to match existing.

Match existing grades at tree CRZ

Match existing grades at tree CRZ

PEDESTRIAN-PRIORITIZED PARKING & EMERGENCY ACCESS

MATCH LINE SEE L1.03

GATHERING NODE WITH BENCH & LITTLE FREE LIBRARY

NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26

Murdoch de Greeff INC
Landscape Planning & Design
200 - 554 Columbia Road
Victoria, BC V8Z 1G1
Phone: 250.412.2891
Fax: 250.412.2892

Feb. 5, 2020
client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia Redevelopment
Caledonia Ave.
Victoria, BC

sheet title
Landscape Materials South

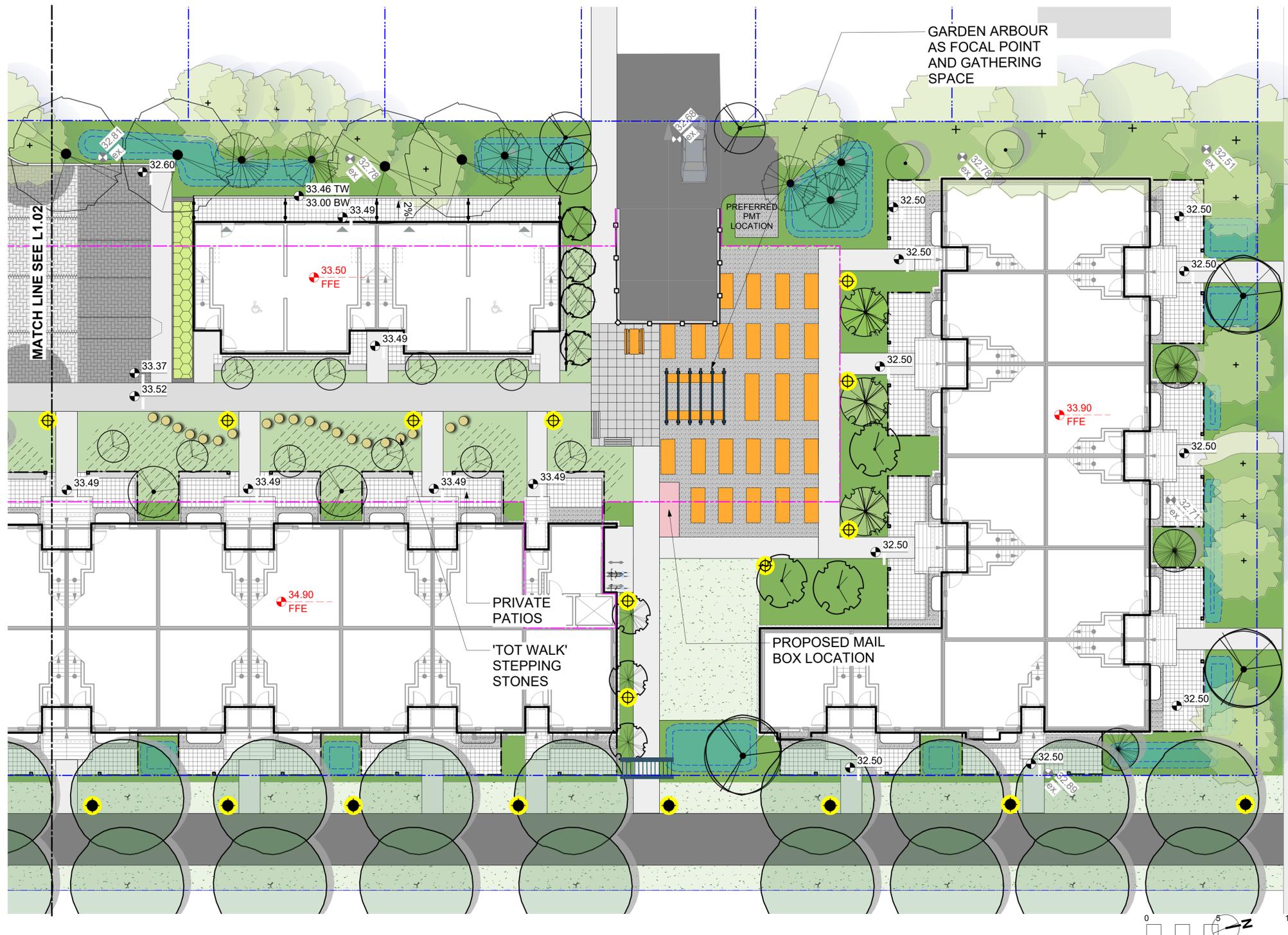
project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.

L1.02

LEGEND

	Property line		Cast in Place Concrete Paving		Proposed Urban Agriculture Plantings		Trellis Gateway at Entries
	Extent of Parkade, below		Concrete Unit Paving, Type 1		Raised Planter for Common Urban Agriculture		Picnic Table
	Rain garden - TOP OF POOL		Concrete Unit Paving, Type 2		Lawn Area		Allotment Garden Box
	Rain garden - BOTTOM OF POOL		Decomposed Granite Surfacing (Loose)		Native Plant & Pollinator Planting Area: On Grade		Bench
	Existing Landscape Grade		Vehicular Concrete Unit Paving		Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.		Bike Rack (2 Stalls): Total 44 Stalls
	Architectural grade, provided for reference only		Asphalt Paving		Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.		Gravel Maintenance Edge, 300mm wide.
	Proposed Landscape Grade		Rubber Playground Surfacing		Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).		Onsite Bollard Light: Landscape Forms Ashbery Path Light.
	TW Top of Wall TP Top of Pool BW Bottom of Wall BP Bottom of Pool TOC Top of Curb TS Top of Stairs BC Bottom of Curb BS Bottom of Stairs		Rain Garden Area		Critical Root Zone		Mixed Use Path Pedestrian Light: As per COV standard.
	Retaining/Planter Wall						Replacement Tree
	Retaining/Planter Seating Wall						
	Landscape Screen, 1800 mm height.						
	Wood Picket Fence, 1000 mm height.						

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work



Repurposed Fence Board every 2-6 Pickets.



Proposed Picket Fence Detail

NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26

Murdoch de Greeff INC
Landscape Planning & Design

200 - 554 Caledonia Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

Feb. 5, 2020

client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia Redevelopment
Caledonia Ave.
Victoria, BC

sheet title
Landscape Materials North

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.

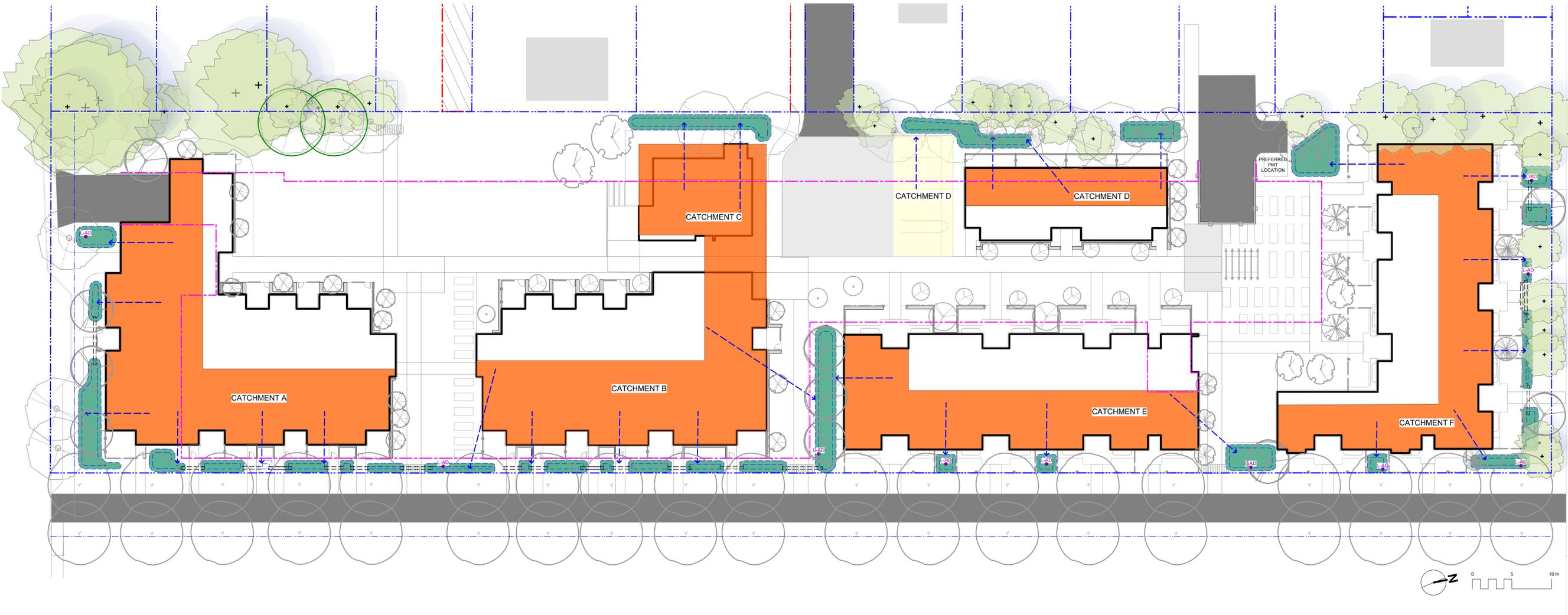
L1.03

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
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- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
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LEGEND

	Property line		Cast in Place Concrete Paving		Proposed Urban Agriculture Plantings		Trellis Gateway at Entries
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	Rain garden - TOP OF POOL		Concrete Unit Paving, Type 2		Lawn Area		Allotment Garden Box
	Rain garden - BOTTOM OF POOL		Decomposed Granite Surfacing (Loose)		Native Plant & Pollinator Planting Area: On Grade		Bench
	Existing Landscape Grade		Vehicular Concrete Unit Paving		Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.		Bike Rack (2 Stalls): Total 44 Stalls
	Architectural grade, provided for reference only		Asphalt Paving		Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.		Gravel Maintenance Edge, 300mm wide.
	Proposed Landscape Grade		Rubber Playground Surfacing		Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).		Onsite Bollard Light: Landscape Forms Ashbery Path Light. Mixed Use Path Pedestrian Light: As per COV standard.
	TW Top of Wall, TP Top of Pool, BW Bottom of Wall, BP Bottom of Pool, TOC Top of Curb, TS Top of Stairs, BC Bottom of Curb, BS Bottom of Stairs		Rain Garden Area		Replacement Tree		
	Retaining/Planter Wall				Critical Root Zone		
	Retaining/Planter Seating Wall						
	Landscape Screen, 1800 mm height.						
	Wood Picket Fence, 1000 mm height.						



NOT FOR CONSTRUCTION

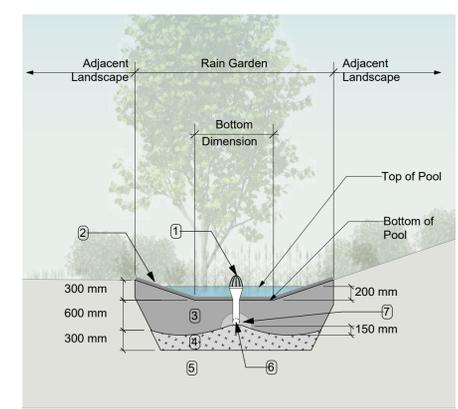
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26
rev no	description	date

Murdoch de Greeff INC
Landscape Planning & Design
200 - 554 Caledonia Road
Victoria, BC V8Z 1G1
Phone: 250.412.2891
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Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Area	Rain Garden Capacity	Excess (+) or Deficient (-) Capacity	Soil Volume
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(cu. m./day)	(cu. m./day)	(cu. m.)
Catchment A	560.0	28.0	0.60	0.8	40.0	30.0	2.0	24.0
Catchment B	420.0	21.0	0.60	0.8	25.0	18.8	-2.3	15.0
Catchment C	220.0	11.0	0.60	0.8	34.0	25.5	14.5	20.4
Catchment D	230.0	11.5	0.60	0.8	30.0	22.5	11.0	18.0
Catchment E	365.0	18.3	0.60	0.8	33.0	18.5	0.3	19.8
Catchment F	400.0	20.0	0.60	0.8	50.0	37.5	17.5	30.0
total	2195.0	109.8			212.0	152.8	43.0	127.2

Assumptions
 1 Design storm is a 2 year storm event which equals 5 cm of water, in a 24 hr period.
 2 Rain Garden design based on 150 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2 cm/hour (or 48 cm per day), via perforated underdrain.

RAIN WATER MANAGEMENT NOTES
 Water collected from portions of the building roofs flow to the rain gardens located throughout the site. Rain gardens have been situated on-grade.
 Rain gardens are designed to capture, slow flows, and treat runoff. Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system. The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area, which is the area required to manage Victoria's 2 year storm event.
 Walkways will be sloped to drain to adjacent absorbant landscape. Larger paved areas such as driveways and turnarounds will be drained directly to the storm system.
 Portions of the roof which cannot be easily connected to rain gardens will be drained directly to the storm system. The roof catchments are shown schematically and will be refined during detailed design.



- RAIN GARDEN MATERIALS**
- Overflow drain, 200 mm domed grate + adapter
 - Composted mulch, 50 -70 mm depth
 - Bio-retention growing medium, 600 mm depth
 - Scarified/tilled subgrade, 300 mm depth
 - Existing subgrade/native material
 - 100 mm diameter (min) perforated pipe
 - 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50

LEGEND

- Property line
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Existing Landscape Grade
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- TW Top of Wall TP Top of Pool
- BW Bottom of Wall BP Bottom of Pool
- TOC Top of Curb TS Top of Stairs
- BC Bottom of Curb BS Bottom of Stairs
- Rain Garden on Grade
- Roof Drains to Rain Garden
- Hardscape Drains to Rain Garden
- Roof / Road / Hardscape Drains Directly to Storm System
- Flow Path (Schematic)
- Rain Garden Overflow Drain to Storm System
- Culvert Rain Garden Connection

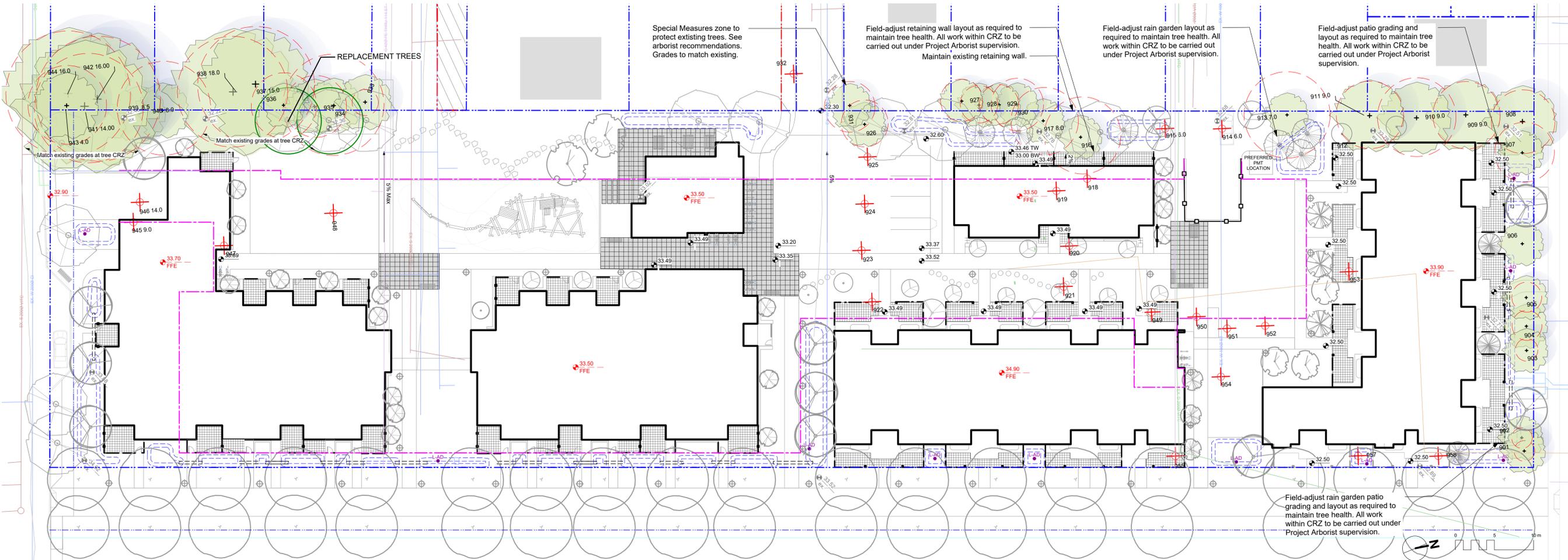
Feb. 5, 2020

client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia Redevelopment
Caledonia Ave.
Victoria, BC

sheet title
Stormwater Management

project no. 119.18
scale 1:### @ 24"x36"
drawn by TB
checked by PdG
revision no. sheet no.
L1.04



DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

RETAINED TREE SUMMARY*

TREE TAG #	DBH (cm)	Species	Bylaw Protected?
901	11	Tulip Tree	no
902	11	Tulip Tree	no
903	12	Tulip Tree	no
904	16	Tulip Tree	no
905	16	Tulip Tree	no
906	25	Tulip Tree	no
907	32	Tulip Tree	no
908	34	Tulip Tree	no
909	36	English oak	no
910	42	English oak	no
911	36	English oak	no
912	46	Sycamore maple	no
913	46	Red oak	no
916	41	Red oak	no
917	36	Red oak	no
926	25	Red maple	no
927	23	Zebra cedar	no
928	20	Zebra cedar	no
929	21	Zebra cedar	no
930	28	Zebra cedar	no
931	27	Douglas fir	no
933	14	Eastern white cedar	no
934	54	Edible chestnut	no
935	33	Edible chestnut	no
936	35	Western redcedar	no
937	58	Scotch elm	no
938	42,56,49,59	Scotch elm	yes
939	33	Scotch elm	no
940	33	Scotch elm	no
941	25,39,38,28,29	Scotch elm	yes
942	27,33,23,34,22	Scotch elm	yes
944	35,25,40,41	Scotch elm	yes

TOTAL TREES TO BE RETAINED: 32

* Based on Arborist's Report received from Dogwood Tree Services, 09/25/2019. Refer to Arborist report for details on tree conditions and Arborist recommendations.

REMOVED TREE SUMMARY*

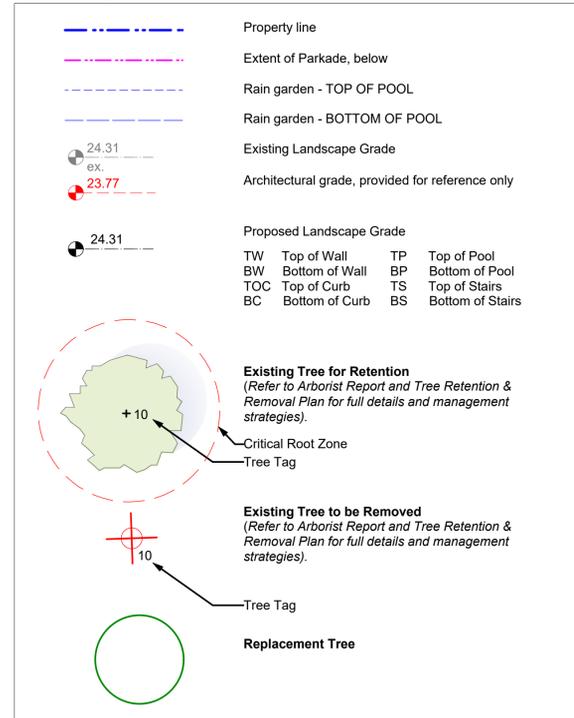
TREE TAG #	DBH (cm)	Species	Bylaw Protected?
914	45	Norway maple	no
915	43	Red oak	no
918	34	Red oak	no
919	30	Tulip Tree	no
920	20	Tulip Tree	no
921	33	Tulip Tree	no
922	24	Red maple	no
923	30	Tulip Tree	no
924	20	Tulip Tree	no
925	41	Tulip Tree	no
932	74	Bluegum	no
943	42	Pear	no
945	36	Oregon ash	no
946	68	Douglas fir	yes
947	37	Pear	no
948	30	Ellwood juniper	no
949	25	Red maple	no
950	22	Tulip tree	no
951	19	Red maple	no
952	18	Red maple	no
953	32	Red maple	no
954	13	Tulip tree	no
955	35	Red maple	no
956	10	Eastern white cedar	no
957	24	Red oak	no
958	23	Red oak	no

TOTAL TREES TO BE REMOVED: 26
 TOTAL PROTECTED TREES TO BE REMOVED**: 1

* Based on Arborist's Report received from Dogwood Tree Services, 09/25/2019. Refer to Arborist report for details on tree conditions and Arborist recommendations.

** Based on pre Oct. 24th, 2019 Tree Bylaw requirements.

LEGEND



NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26

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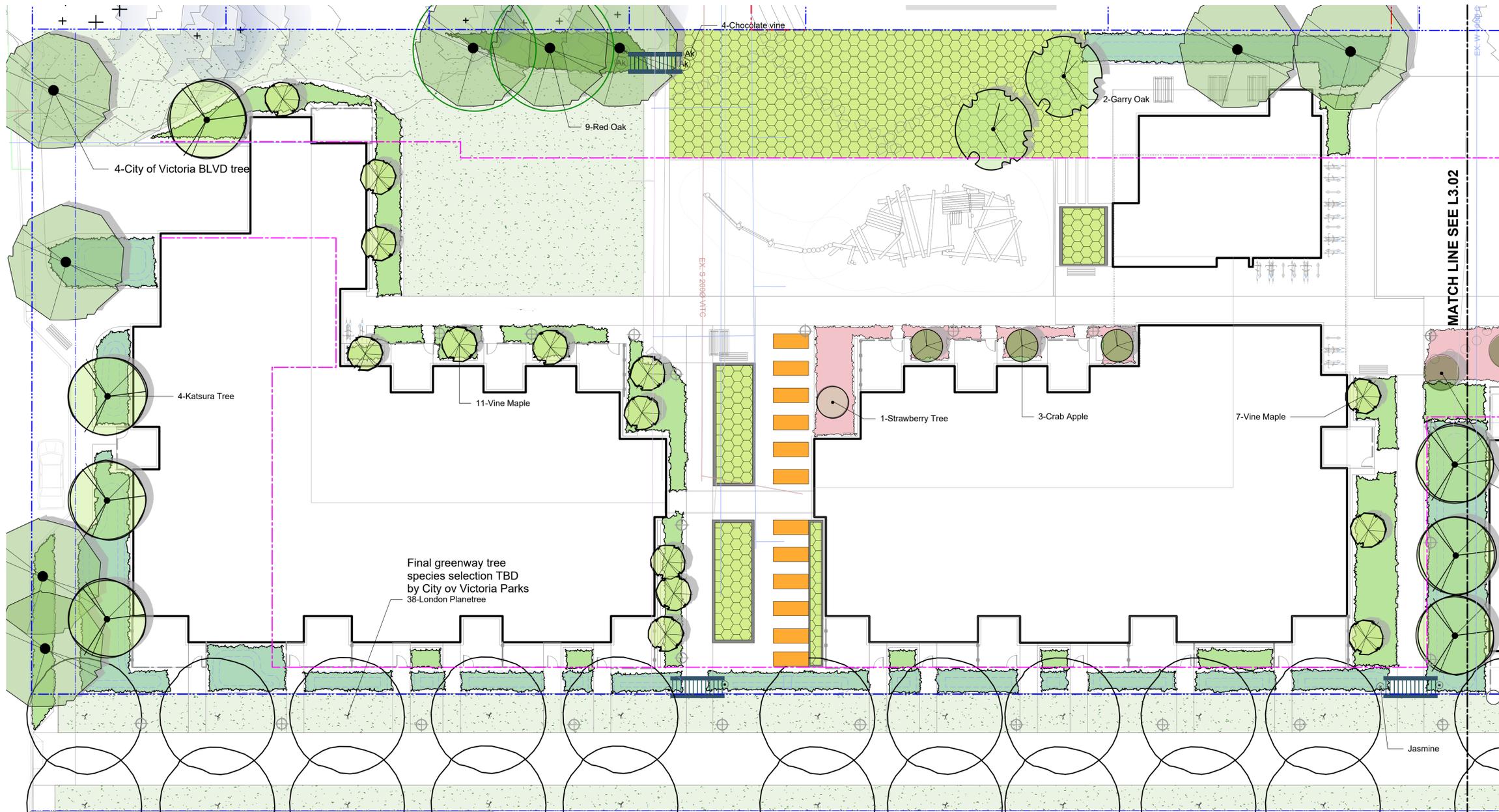
Feb. 5, 2020

client
CRD Housing Corporation
 631 Fisgard Ave.
 Victoria, BC

project
 Caledonia Redevelopment
 Caledonia Ave.
 Victoria, BC

Tree Retention & Removal Plan

project no.	119.18
scale	1:250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.



- BOULEVARD PLANTING NOTES**
1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
 2. Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
 3. Final selection and placement of boulevard trees to be determined through consultation with municipal parks staff.
 4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
 5. Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
 6. Boulevard irrigation point of connection to be 19 mm service from existing water connection on Grant Street, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
 7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

- GENERAL PLANTING NOTE**
1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

- ON-SLAB TREE PLANTING NOTES**
1. For on-slab landscape and rain planter installations, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier in most applications.
 2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
 3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the following conditions exist in on-grade planting areas:
 - a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall;
 - b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and
 - c) where perimeter drains are less than 2m deep.

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2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26



Feb. 5, 2020

client
CRD Housing Corporation
 631 Fisgard Ave.
 Victoria, BC

project
 Caledonia Redevelopment
 Caledonia Ave.
 Victoria, BC

sheet title
Planting Plan South

project no. 119.18

scale 1:150 @ 24"x36"

drawn by TB

checked by PdG

revision no. sheet no.

L3.01

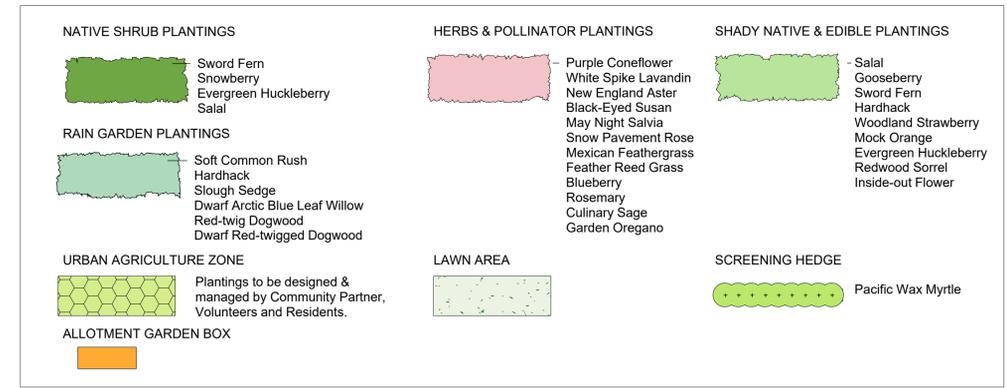
PLANT LIST

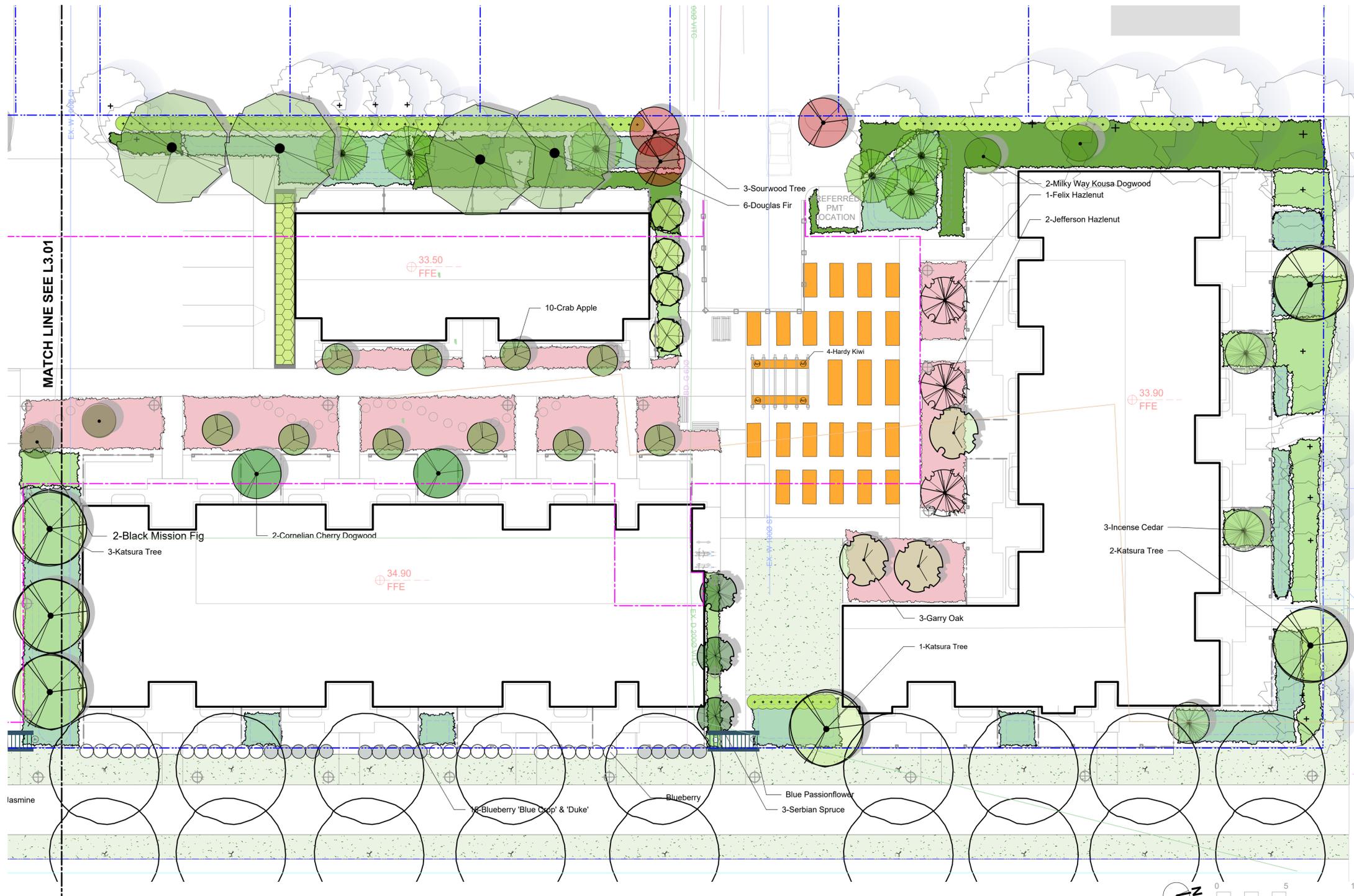
Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
18		Acer circinatum	Vine Maple	1.5 m ht.
1		Arbutus unedo	Strawberry Tree	1.2 m ht, b&b
3		Calocedrus decurrens	Incense Cedar	1.5 m ht, b&b
10		Cercidiphyllum japonicum	Katsura Tree	5.0cm cal, b&b
4		City of Victoria BLVD tree	As PER COV Parks	5.0cm cal, b&b
2		Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.2 m ht, b&b
2		Cornus mas 'Golden Glory'	Cornelian Cherry Dogwood	4.0 cm cal, b&b
1		Corylus 'Felix'	Felix Hazelnut	1.5m height, b&b
2		Corylus 'Jefferson'	Jefferson Hazelnut	1.5m height, b&b
2		Ficus carica 'Mission'	Black Mission Fig	#10 pot
13		Malus 'Sugar tyme'	Crab Apple	#10 pot, Min 1.2m ht
3		Oxydendrum arboreum	Sourwood Tree	multistem, 1.5m ht, b&b
3		Picea omarika	Serbian Spruce	1.5m ht, b&b
38		Platanus acerifolia	London Planetree	4.0 cm cal, b&b
6		Pseudotsuga menziesii	Douglas Fir	1.5m ht, b&b
5		Quercus garryana	Garry Oak	4.0cm cal, b&b
9		Quercus rubra	Red Oak	5.0cm cal, b&b
HERB & POLLINATOR PLANTINGS				
Ana	210	Aster novae-angliae	New England Aster	#1 pot
Cx	24	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot / 1.8 m O.C.
Ep	204	Echinacea purpurea	Purple Coneflower	#1 pot
Lws	151	Lavandula x intermedia 'White Spike'	White Spike Lavandin	#1 pot
Oi	24	Origanum laevigatum 'Herrenhausen'	Garden Oregano	#1 pot
Rrs	204	Rosa rugosa 'Schneekoppe'	Snow Pavement Rose	#2 pot
Rof	51	Rosmarinus officinalis	Rosemary	#2 pot
Rf	204	Rudbeckia fulgida	Black-Eyed Susan	#1 pot
Ssm	210	Salvia 'sylvestris 'Mainacht'	May Night Salvia	#1 pot
Slo	24	Salvia officinalis	Culinary Sage	#1 pot
St	287	Stipa tenuissima	Mexican Feathergrass	#1 pot
Vsb	24	Vaccinium 'Sunshine Blue'	Blueberry	#3 pot
VINES				
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
Jn	4	Jasminum nudiflorum	Jasmine	#1 pot
Ak	4	Akebia quinata	Chocolate vine	#2 pot
Act	4	Actinidia arguta	Hardy Kiwi	#2 pot

PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
RAIN GARDEN PLANTS:				
Co	931	Carex obnupta	Slough Sedge	#1 pot
Csc	104	Cornus sericea	Red-twig Dogwood	#3 pot
Csk	416	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Jcg	931	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Spn	22	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#1 pot
Sd	22	Spiraea douglasii	Hardhack	1
NATIVE & EDIBLE SHRUB PLANTINGS				
Co	14	Carex obnupta	Slough Sedge	#1 pot
Csc	2	Cornus sericea	Red-twig Dogwood	#3 pot
Csk	6	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Fve	142	Fragaria vesca	Woodland Strawberry	Sp3 30cm o.c.
Gsh	314	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
Jcg	14	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Mn	3	Mahonia nervosa	Oregon Grape Holly	#1 pot 40cm o.c.
Myc	108	Myrica californica	Pacific Wax Myrtle	#3 pot
Oo	220	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Phi	32	Philadelphus lewisii	Mock Orange	1.8
Pm	525	Polystichum munitum	Sword Fern	#1 pot
Ruc	142	Ribes uva-crispa	Gooseberry	#2 pot
Rn	211	Rosa nutkana	Nootka Rose	#1 pot
Spn	0	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#1 pot
Sd	32	Spiraea douglasii	Hardhack	1
Sa	211	Symphoricarpos alba	Snowberry	#1 pot
Vsb	24	Vaccinium 'Sunshine Blue'	Blueberry	#3 pot
Bbd	15	Vaccinium 'Blue Crop' & 'Duke'	Blueberry 'Blue Crop' & 'Duke'	#3 pot
Vo	81	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
Vh	220	Vancouveriana hexandra	Inside-out Flower	0.3

PLANTING LEGEND





- BOULEVARD PLANTING NOTES**
1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
 2. Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
 3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due to their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
 4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
 5. Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
 6. Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
 7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

- GENERAL PLANTING NOTE**
1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

- ON-SLAB TREE PLANTING NOTES**
1. For on-slab landscape and rain planter installations, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier in most applications.
 2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
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NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26

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Feb. 5, 2020
client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC
project
Caledonia Redevelopment
Caledonia Ave.
Victoria, BC
sheet title

Planting Plan North

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.

L3.02

PLANTING LEGEND

<p>NATIVE SHRUB PLANTINGS</p> <ul style="list-style-type: none"> Sword Fern Snowberry Evergreen Huckleberry Salal <p>RAIN GARDEN PLANTINGS</p> <ul style="list-style-type: none"> Soft Common Rush Hardhack Slough Sedge Dwarf Arctic Blue Leaf Willow Red-twig Dogwood Dwarf Red-twigged Dogwood <p>URBAN AGRICULTURE ZONE</p> <p>Plantings to be designed & managed by Community Partner, Volunteers and Residents.</p> <p>ALLOTMENT GARDEN BOX</p>	<p>HERBS & POLLINATOR PLANTINGS</p> <ul style="list-style-type: none"> Purple Coneflower White Spike Lavandin New England Aster Black-Eyed Susan May Night Salvia Snow Pavement Rose Mexican Feathergrass Feather Reed Grass Blueberry Rosemary Culinary Sage Garden Oregano <p>LAWN AREA</p>	<p>SHADY NATIVE & EDIBLE PLANTINGS</p> <ul style="list-style-type: none"> Salal Gooseberry Sword Fern Hardhack Woodland Strawberry Mock Orange Evergreen Huckleberry Redwood Sorrel Inside-out Flower <p>SCREENING HEDGE</p> <ul style="list-style-type: none"> Pacific Wax Myrtle
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PLANT LIST SEE L3.01



1 Section at Pedestrian Allee and Townhouses
Scale: 1:50



2 Section at Pedestrian Walkway
Scale: 1:50

NOT FOR CONSTRUCTION

rev no	description	date
5	For COTW	20.02.04
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Feb. 5, 2020

client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia Redevelopment
Caledonia Ave.
Victoria, BC

sheet title
Landscape Sections

project no.	119.18
scale	1: 250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.



L5.01

