

**GENERAL NOTES**

1. ALL CONSTRUCTION IS TO COMPLY WITH THE 2012 BRITISH COLUMBIA BUILDING CODE (BCBC), AS WELL AS OTHER LOCAL GOVERNING CODES, BYLAWS, AND ORDINANCES.
2. ALL WORK TO BE OF THE BEST PRACTICES OF THE LOCAL TRADES INVOLVED.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. DO NOT SCALE DRAWINGS.
5. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, AND LANDSCAPE DRAWINGS, SPECIFICATIONS, GEOTECHNICAL AND ARBORIST REPORTS. ANY DISCREPANCIES MUST BE REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK.
6. ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING. UNLESS NOTED OTHERWISE.
7. ALL INTERIOR DIMENSIONS ARE TO CENTERLINE OF STUD. UNLESS NOTED OTHERWISE.
8. ALL WALLS ARE TO EXTEND TO U/S OF STRUCTURE. UNLESS NOTED OTHERWISE.
9. ALL WINDOWS AND DOORS ON PLAN ARE DIMENSIONED TO THE CENTRE OF ROUGH OPENING (R.O.), UNLESS NOTED OTHERWISE.
10. ALL WINDOWS ARE DIMENSIONED ON THE FLOOR PLANS ROUGH OPENING (R.O.), UNLESS NOTED OTHERWISE.
11. ALL DOORS ARE A MIN. OF 4" (100 mm) FROM FACE OF ADJACENT WALLS. UNLESS NOTED OTHERWISE.

**DRAWING INDEX**

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**PROJECT TEAM**

**DEVELOPER**

**NVision Properties**  
 301-1106 Cook St.,  
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 T 250.883.5579

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 250.412.2891

**SURVEYOR**

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 V8T 4N4  
 250.382.8855



**1301 HILLSIDE**  
 1301 Hillside Ave.  
 Victoria, BC

**REZONING APPLICATION**

**Revisions**  
 Bubbled areas indicate revisions compared to the previously submitted plans  
**Received Date: JULY 09/19**

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No.	Date	Issue Notes

Issues  
 Consultant

Architect

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Seal

Project Title  
**1301 Hillside Ave.**  
 1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**Cover Sheet**

Issue Date	Plot Date	Sheet No.
	2019.07.05	A0.00
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



1 Context Plan  
1/64"=1'-0"



4 Birdview looking East  
NTS



5 Streetview looking East  
NTS



2 Streetscape 1 from Hillside Avenue  
1/32"=1'-0"



3 Streetscape 2 from Cook Street  
1/32"=1'-0"

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No.	Date	Issue Notes

Architect  
Consultant

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Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
Victoria, BC

Sheet Title  
**Site Context**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A0.02</b>
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By OEM	Checked By NR	
Project ID 217.29	Scale AS NOTED	



1 JUNE 21 - 9 AM  
NTS



4 MAR/SEPT 21 - 9 AM  
NTS



2 JUNE 21 - 12 PM  
NTS



5 MAR/SEPT 21 - 12 pm  
NTS



3 JUNE 21 - 3 PM  
NTS



6 MAR/SEPT 21 - 3 pm  
NTS

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Seal

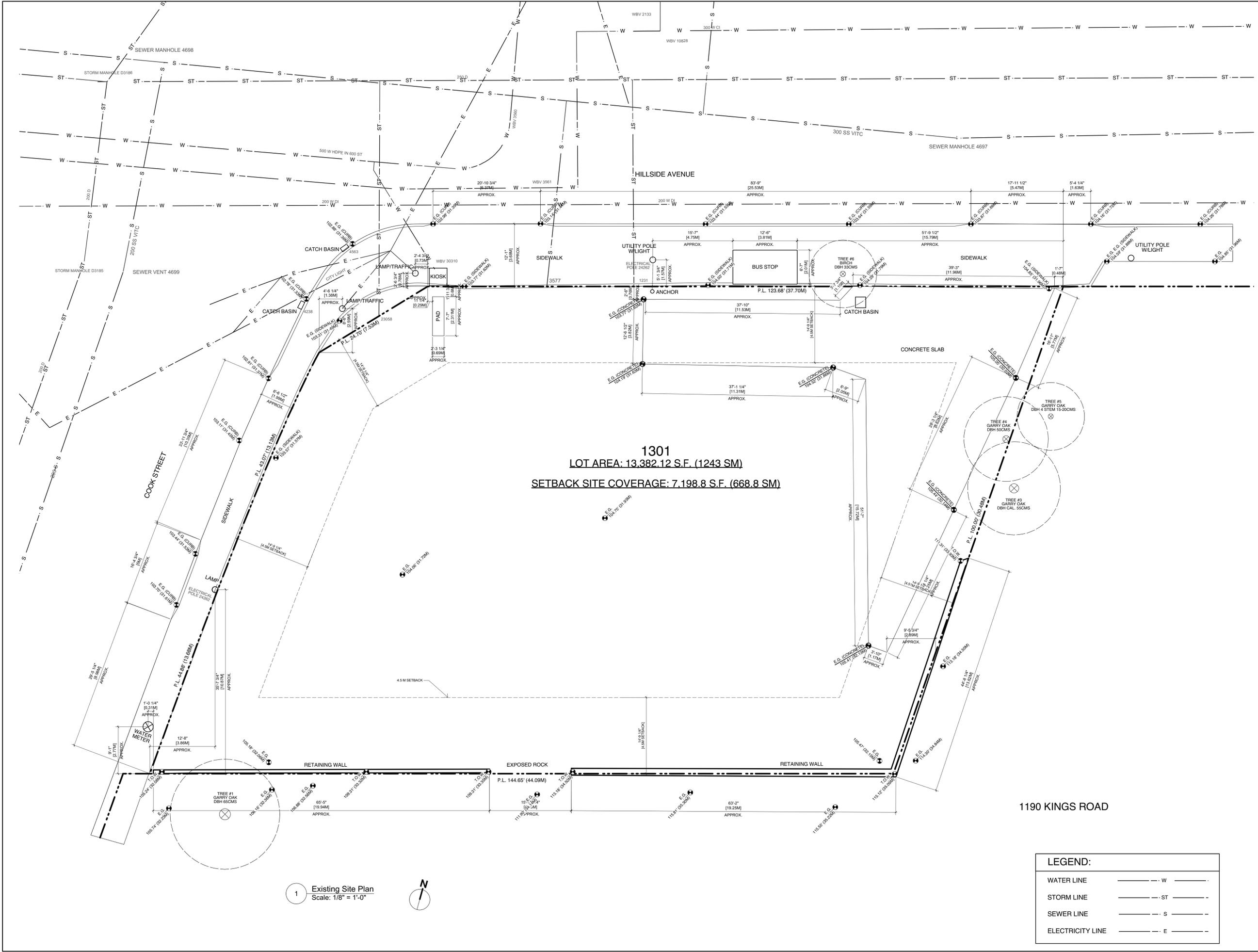
Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
Victoria, BC

Sheet Title  
**Shadow Studies**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A0.03</b>
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

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**1301**  
**LOT AREA: 13,382.12 S.F. (1243 SM)**  
**SETBACK SITE COVERAGE: 7,198.8 S.F. (668.8 SM)**

1 Existing Site Plan  
 Scale: 1/8" = 1'-0"



LEGEND:	
WATER LINE	--- W ---
STORM LINE	--- ST ---
SEWER LINE	--- S ---
ELECTRICITY LINE	--- E ---

No.	Date	Issue Notes

Issues  
 Consultant

Architect  
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Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

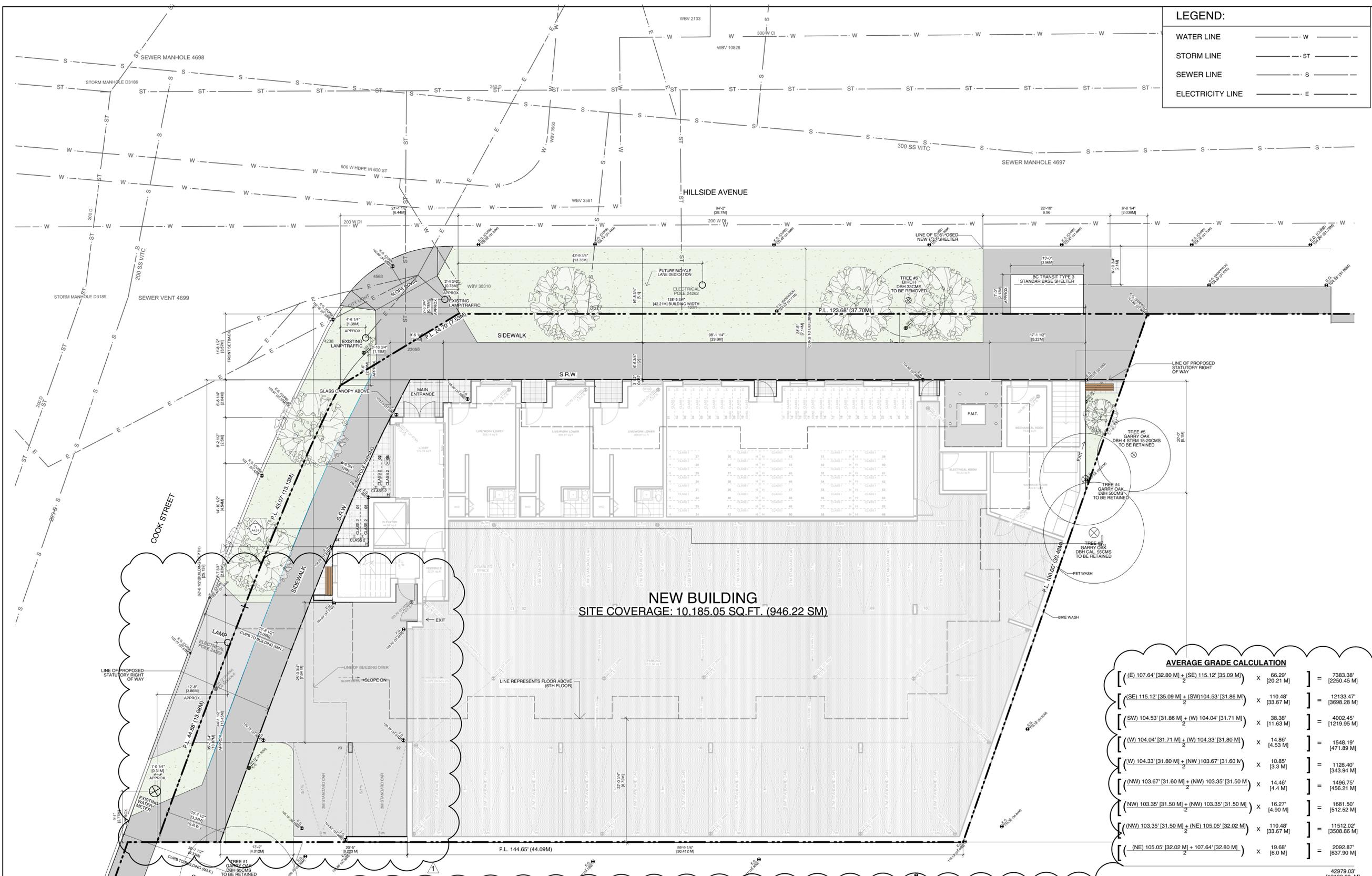
Sheet Title  
**Existing Site Plan**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A1.01</b>
Designed By NR	Reviewed By NR	
Drawn By OEM	Checked By NR	
Project ID 217.29	Scale AS NOTED	Issue/Revision

**LEGEND:**

WATER LINE	---	W
STORM LINE	---	ST
SEWER LINE	---	S
ELECTRICITY LINE	---	E

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**NEW BUILDING**  
 SITE COVERAGE: 10,185.05 SQ.FT. (946.22 SM)

**AVERAGE GRADE CALCULATION**

$\left[ \frac{(E) 107.64' [32.80 M] + (SE) 115.12' [35.09 M]}{2} \right] \times 66.29'$	$[20.21 M]$	$= 7383.38'$	$[2250.45 M]$
$\left[ \frac{(SE) 115.12' [35.09 M] + (SW) 104.53' [31.86 M]}{2} \right] \times 110.48'$	$[33.67 M]$	$= 12133.47'$	$[3698.28 M]$
$\left[ \frac{(SW) 104.53' [31.86 M] + (W) 104.04' [31.71 M]}{2} \right] \times 38.38'$	$[11.63 M]$	$= 4002.45'$	$[1219.95 M]$
$\left[ \frac{(W) 104.04' [31.71 M] + (NW) 104.33' [31.80 M]}{2} \right] \times 14.86'$	$[4.53 M]$	$= 1548.19'$	$[471.89 M]$
$\left[ \frac{(NW) 104.33' [31.80 M] + (N) 103.67' [31.60 M]}{2} \right] \times 10.85'$	$[3.3 M]$	$= 1128.40'$	$[343.94 M]$
$\left[ \frac{(N) 103.67' [31.60 M] + (NE) 103.35' [31.50 M]}{2} \right] \times 14.46'$	$[4.4 M]$	$= 1496.75'$	$[456.21 M]$
$\left[ \frac{(NE) 103.35' [31.50 M] + (E) 105.05' [32.02 M]}{2} \right] \times 110.48'$	$[33.67 M]$	$= 11512.02'$	$[3509.86 M]$
$\left[ \frac{(E) 105.05' [32.02 M] + (SE) 107.64' [32.80 M]}{2} \right] \times 19.68'$	$[6.0 M]$	$= 2092.87'$	$[637.90 M]$
		<b>42979.03'</b>	<b>[13100.00 M]</b>
		<b>401.75'</b>	<b>[122.45 M]</b>
<b>AVERAGE GRADE = 106.97' [32.61 M]</b>			

**SITE DATA**

Civic Address	1301 HILLSIDE AVENUE VICTORIA, BC
Legal Address	PID 014-979-675 LOTS A, SECTION 4, VICTORIA DISTRICT, PLAN 38000
Site Area	13382.12 sq.ft. [1243.24 sq.m.]
Site Coverage	10185.05 sq.ft. [946.22 sq.m.] (76.1%)
Open Site Space	2683.17 sq.ft. [249.27 sq.m.] (20.1%)

**DEVELOPMENT STATISTICS**

Zoning	C-SS (CA Proposed)
Uses	Multiple Dwelling
Number of Units	1 SERVICE STATION
Number of Storeys	6
Height	56' 1 1/2" [17.18 M]
Front Yard	4.5 M
Side Yard (West)	4.5 M
Side Yard (East)	4.5 M
Rear Yard Setback	4.5 M
Combined Sideyards	13.5 M
Parking Spaces	4
Bicycle Spaces	0

**FSR SUMMARY**

TOTAL SITE AREA	13,382.12 sq.ft.
CURRENT ZONE:	C-SS
MAIN FLOOR	0.00 sq.ft. 1,787.25 sq.ft. [166.04 sq.m.]
SECOND FLOOR	0.00 sq.ft. 6,746.11 sq.ft. [626.73 sq.m.]
THIRD FLOOR	0.00 sq.ft. 6,596.27 sq.ft. [612.81 sq.m.]
FOURTH FLOOR	0.00 sq.ft. 6,596.27 sq.ft. [612.81 sq.m.]
FIFTH FLOOR	0.00 sq.ft. 5,089.91 sq.ft. [472.87 sq.m.]
SIXTH FLOOR	0.00 sq.ft. 5,089.91 sq.ft. [472.87 sq.m.]
GROSS FSR	0.00 2.38
TOTAL	0.00 sq.ft. 31,905.72 sq.ft. [2,964.14 sq.m.]
COMMERCIAL FLOOR AREA	0.00 sq.ft. 928.93 sq.ft. [86.30 sq.m.]

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12
TOTAL UNITS	49	(33% BACH, 43% 1BR, 24% 2BR)	
GROUND ORIENTED UNITS	0		
MIN. UNIT FLOOR AREA	335.74 sq.ft. [31.19 sq.m.]		
TOTAL RESIDENTIAL FLOOR AREA	27339.85 sq.ft. [2539.96 sq.m.]		

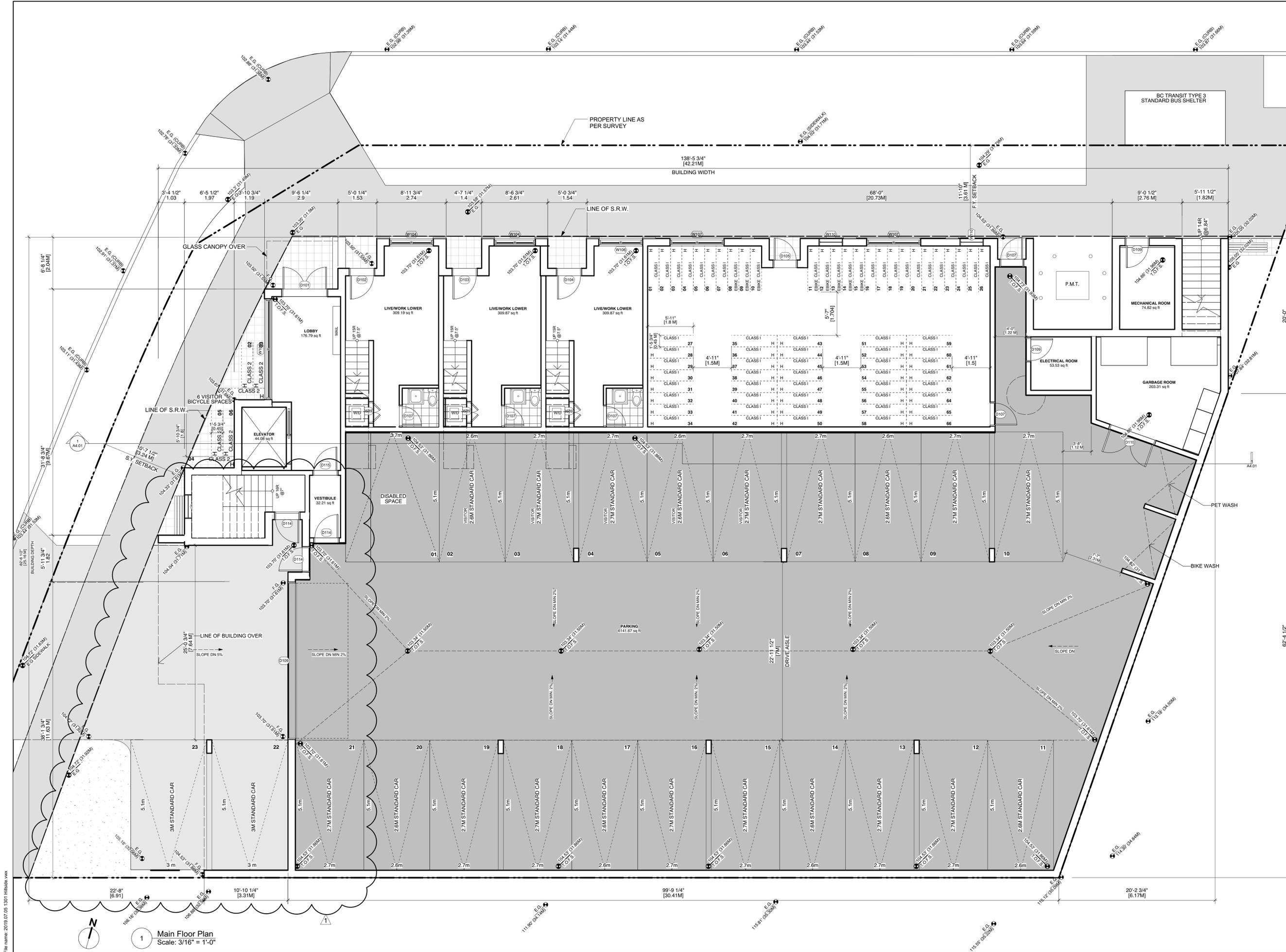
No.	Date	Issue Notes

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1301 Hillside Ave.  
 1301 Hillside Ave.  
 Victoria, BC  
 Site Plan

Issue Date	Plot Date	Sheet No.
2019.07.05	2019.07.05	A1.02
Designed By	Reviewed By	
Checked By		
Scale		
As Noted		

File Name: 2019.07.05\_1301\_Hillside.wpk



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No.	Date	Issue Notes

Architect  
 Consultant

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Project Title  
**1301 Hillside Ave.**

Sheet Title  
**1301 Hillside Ave.  
 Victoria, BC**

Issue Date  
 2019.07.05

Plot Date  
 2019.07.05

Sheet No.  
**A2.01**

Designed By  
 NR

Reviewed By  
 NR

Drawn By  
 AP

Checked By  
 NR

Project ID  
 217.29

Scale  
 As Noted

Issue/Revision

File name: 2019.07.05\_1301 Hillside.vwk

**1** Main Floor Plan  
 Scale: 3/16" = 1'-0"

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BC TRANSIT TYPE 3  
 STANDARD BUS SHELTER



3'-4 1/2" [1.03 M]	6'-5 1/4" [1.96 M]	3'-1 1/4" [1.19 M]	9'-6 1/4" [2.9 M]	138'-5 3/4" [42.21 M]			109'-2 1/2" [33.29 M]	6'-0 1/4" [1.83 M]
BUILDING WIDTH								
6'-9 1/2" [2.05 M]	8'-2" [2.49 M]	14'-10 1/2" [4.54 M]	9'-0" [2.74 M]	32'-6 1/2" [9.93 M]	10'-11" [3.33 M]	18'-10 1/2" [5.75 M]	9'-10 1/2" [3.01 M]	15'-1" [4.6 M]
BUILDING DEPTH								
PROPERTY LINE AS PER SURVEY								
LINE OF S.R.W.								
5'-11 1/4" [1.81 M]	21'-8 1/4" [6.61 M]	12'-0" [3.66 M]	13'-1 1/4" [4.24 M]	12'-0" [3.66 M]	13'-1 1/4" [4.24 M]	26'-2" [7.98 M]	14'-0" [4.27 M]	119'-8" [36.47 M]

1 Second Floor Plan  
 Scale: 3/16" = 1'-0"

SECOND	BACH	1BR	2BR
THIRD	6	1	4
FOURTH	5	2	4
FIFTH	5	2	4
SIXTH	-	8	-
	-	8	-
<b>TOTAL</b>	<b>16</b>	<b>21</b>	<b>12</b>
<b>TOTAL UNITS</b>	<b>49</b>	<b>(33% BACH, 43% 1BR, 24% 2BR)</b>	

GROUND ORIENTED UNITS 0  
 MIN. UNIT FLOOR AREA 335.74 sq. ft [31.19 sq. m.]  
 TOTAL RESIDENTIAL FLOOR AREA 27339.85 sq. ft [2539.96 sq. m.]

No.	Date	Issue Notes

Architect  
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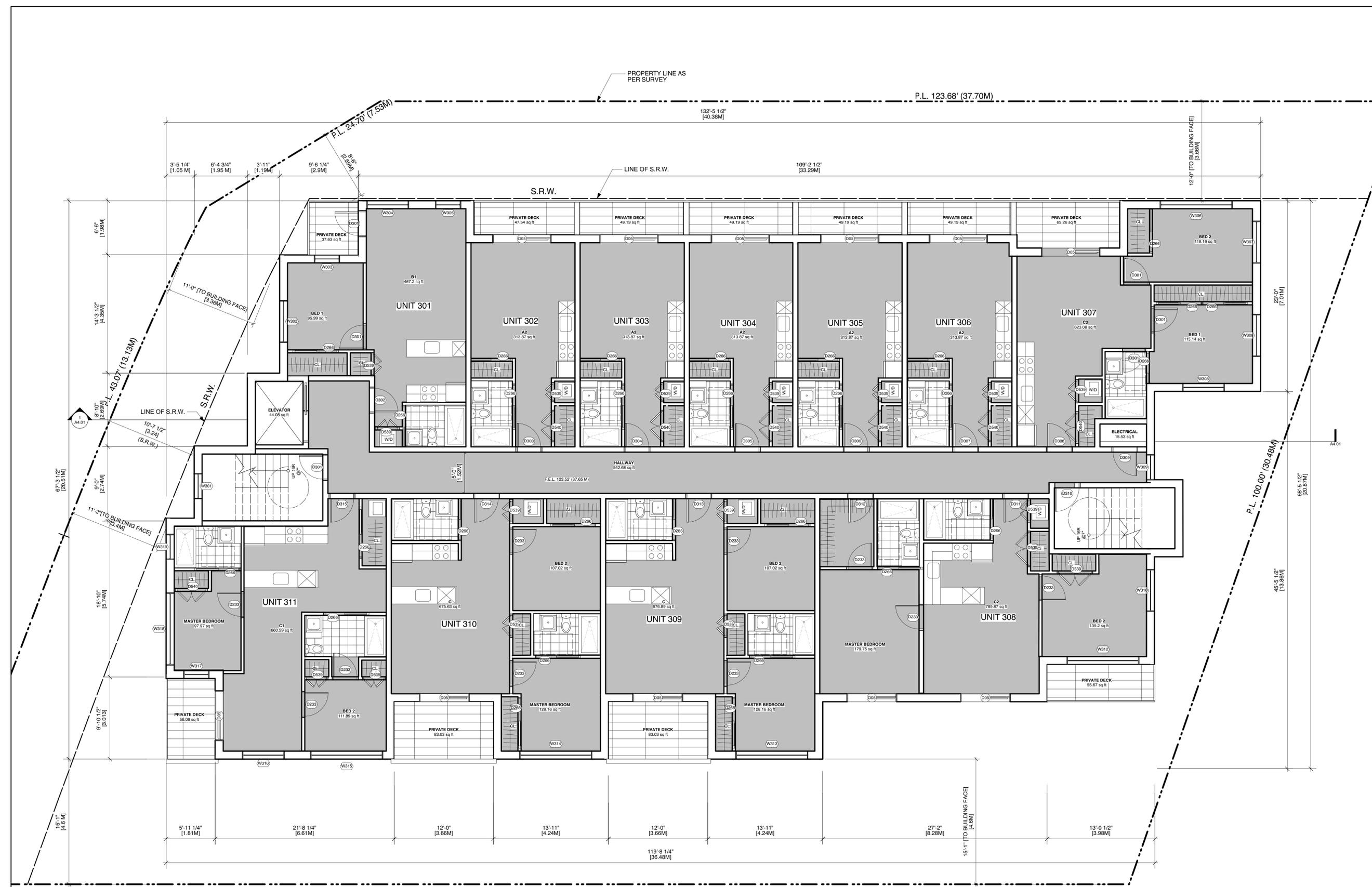
Project Title  
**1301 Hillside Ave.**  
  
 1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**2nd Floor Plan**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A2.02</b>
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	
217.29	As Noted	

File Name: 2019.07.05\_1301\_Hillside.vwk

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No.	Date	Issue Notes

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Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**3rd Floor Plan**

**PROPOSED UNIT MAKEUP**

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
<b>TOTAL</b>	<b>16</b>	<b>21</b>	<b>12</b>
<b>TOTAL UNITS</b>	<b>49</b>	<b>(33% BACH, 43% 1BR, 24% 2BR)</b>	

GROUND ORIENTED UNITS: 0  
 MIN. UNIT FLOOR AREA: 335.74 sq.ft [31.19 sq.m.]  
 TOTAL RESIDENTIAL FLOOR AREA: 27339.85 sq.ft [2539.96 sq.m.]

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A2.03</b>

Designed By: NR  
 Reviewed By: NR  
 Drawn By: AP  
 Checked By: NR  
 Project ID: 217.29  
 Scale: As Noted  
 Issue/Revision:  

File Name: 2019.07.05 1301 Hillside.vwk



**1** Third Floor Plan  
 Scale: 3/16" = 1'-0"

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Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**4th Floor Plan**

**PROPOSED UNIT MAKEUP**

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
<b>TOTAL</b>	<b>16</b>	<b>21</b>	<b>12</b>

**TOTAL UNITS 49 (33% BACH, 43% 1BR, 24% 2BR)**

GROUND ORIENTED UNITS 0

MIN. UNIT FLOOR AREA 335.74 sq.ft [31.19 sq.m.]

TOTAL RESIDENTIAL FLOOR AREA 27339.85 sq.ft [2539.96 sq.m.]

Issue Date	Plot Date	Sheet No.
2019.07.05	2019.07.05	<b>A2.04</b>

Designed By: NR  
 Reviewed By: NR  
 Drawn By: AP  
 Checked By: NR  
 Project ID: 217.29  
 Scale: As Noted  
 Issue/Revision:

File Name: 2019.07.05\_1301\_Hillside.vwk



1 Fourth Floor Plan  
 Scale: 3/16" = 1'-0"

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No.	Date	Issue Notes

Issues  
 Consultant  
 Architect

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**A**  
**STUART HOWARD**  
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Seal  
 Project Title  
**1301 Hillside Ave.**  
 1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**5th Floor Plan**

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
<b>TOTAL</b>	<b>16</b>	<b>21</b>	<b>12</b>
<b>TOTAL UNITS</b>	<b>49</b>	<b>(33% BACH, 43% 1BR, 24% 2BR)</b>	
GROUND ORIENTED UNITS	0		
MIN. UNIT FLOOR AREA	335.74 sq ft [31.19 sq.m.]		
TOTAL RESIDENTIAL FLOOR AREA	27339.85 sq ft [2539.96 sq.m.]		

Issue Date	Plot Date	Sheet No.
2019.07.05	2019.07.05	<b>A2.05</b>

Designed By: NR  
 Reviewed By: NR  
 Drawn By: AP  
 Checked By: NR  
 Project ID: 217.29  
 Scale: As Noted  
 Issue/Revision:

File name: 2019.07.05 1301 Hillside.wvx



1 Fifth Floor Plan  
 Scale: 3/16" = 1'-0"

P.L. 144.65' (44.09M)

PROPOSED UNIT MAKEUP

P.L. 123.68' (37.70M)

PROPERTY LINE AS PER SURVEY

S.R.W.

LINE OF S.R.W.

LINE OF S.R.W.

S.R.W.

HALLWAY  
 542.67 sq ft  
 F.E.L. 142.18' (43.33M)

ELECTRICAL  
 15.53 sq ft

ELEVATOR  
 44.98 sq ft

PRIVATE DECK  
 131.8 sq ft

PRIVATE DECK  
 242.73 sq ft

PRIVATE DECK  
 294.06 sq ft

PRIVATE DECK  
 34.02 sq ft

PRIVATE DECK  
 34.02 sq ft

PRIVATE DECK  
 34.02 sq ft

PRIVATE DECK  
 242.73 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
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PRIVATE DECK  
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PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

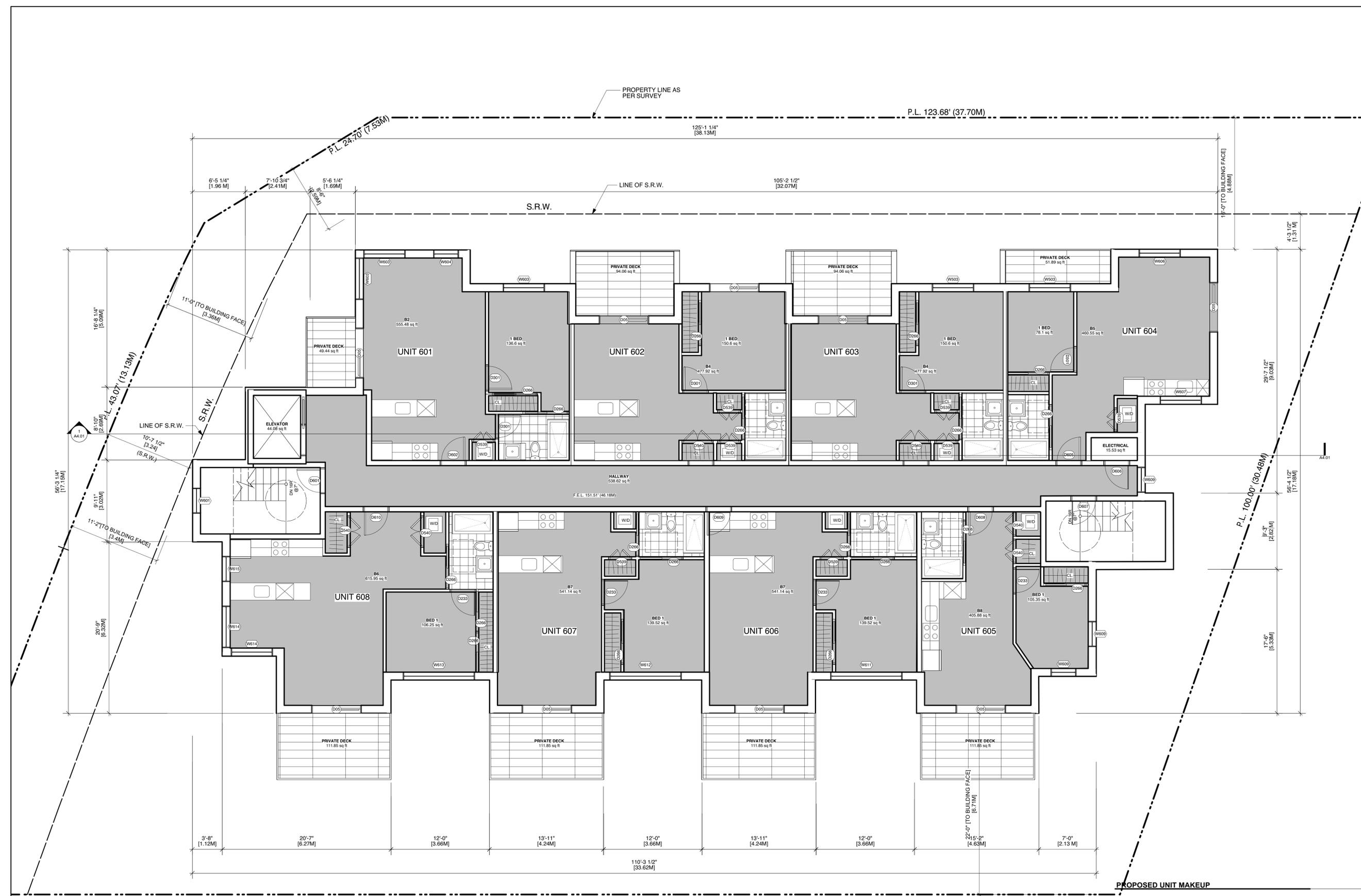
PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

PRIVATE DECK  
 327.33 sq ft

PRIVATE DECK  
 103.33 sq ft

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No.	Date	Issue Notes

Architect  
**SH A** STUART HOWARD ARCHITECTS INC.  
 MEMBERS AIBC - RAIC - AIA  
 405 - 375 West 56th Avenue  
 phone - 604.688.2585  
 Vancouver B.C. V5Y 1J6  
 fax - 604.688.7486

Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**6th Floor Plan**

**PROPOSED UNIT MAKEUP**

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
<b>TOTAL</b>	<b>16</b>	<b>21</b>	<b>12</b>

**TOTAL UNITS 49 (33% BACH, 43% 1BR, 24% 2BR)**

GROUND ORIENTED UNITS 0  
 MIN. UNIT FLOOR AREA 335.74 sq. ft. [31.19 sq. m.]  
 TOTAL RESIDENTIAL FLOOR AREA 27339.85 sq. ft. [2539.96 sq. m.]

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A2.06</b>

Designed By: NR  
 Drawn By: AP  
 Project ID: 217.29

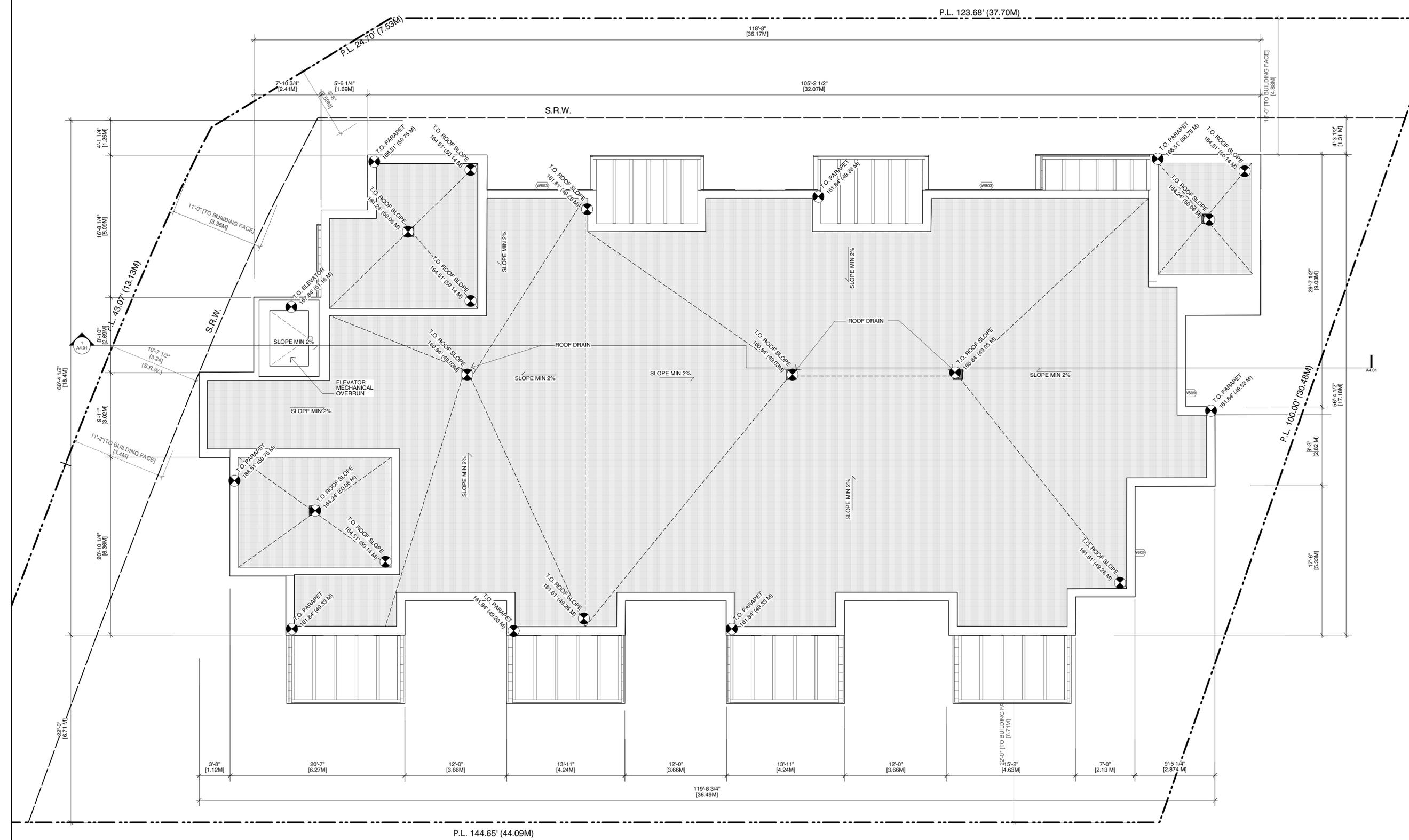
Reviewed By: NR  
 Checked By: NR  
 Scale: As Noted  
 Issue/Revision:  

File Name: 2019.07.05\_1301\_Hillside\_vvk



1 Sixth Floor Plan  
 Scale: 3/16" = 1'-0"

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No.	Date	Issue Notes

Architect  
 Seal  
 Project Title  
 1301 Hillside Ave.  
 Victoria, BC

**SH**  
**A**  
**STUART HOWARD**  
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Seal  
 Project Title  
 1301 Hillside Ave.  
 Victoria, BC

Roof Plan

Issue Date	Plot Date	Sheet No.
	2019.07.05	A2.07
Designed By NR	Reviewed By NR	
Drawn By AP	Checked By NR	
Project ID 217.29	Scale As Noted	Issue/Revision

File name: 2019.07.05 1301 Hillside.vwk



1 Roof Plan  
 Scale: 3/16" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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No.	Date	Issue Notes

Architect

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Project Title

**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title

**Building Elevations**

1 North Elevation  
 Scale: 3/16" = 1'-0"

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A3.01</b>
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	

File Name: 2019.07.05 1301 Hillside.vwk

**EXTERIOR FINISH SCHEDULE**

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
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No.	Date	Issue Notes

Architect

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Project Title

**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

**Building Elevations**

1 South Elevation  
 Scale: 3/16" = 1'-0"

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A3.02</b>
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	

File Name: 2019.07.05 1301 Hillside.vwk

**EXTERIOR FINISH SCHEDULE**

- A BRICK CLADDING C/W PROPRIETARY RAINDRAIN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINDRAIN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINDRAIN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINDRAIN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
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No.	Date	Issue Notes

Architect



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Seal

Project Title

**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title

**Building Elevations**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A3.03</b>
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	

82'-6 1/2" [BUILDING DEPTH]  
[25.16 M]



1 East Elevation  
 Scale: 3/16" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
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No.	Date	Issue Notes

Issues  
 Consultant

Architect

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Seal

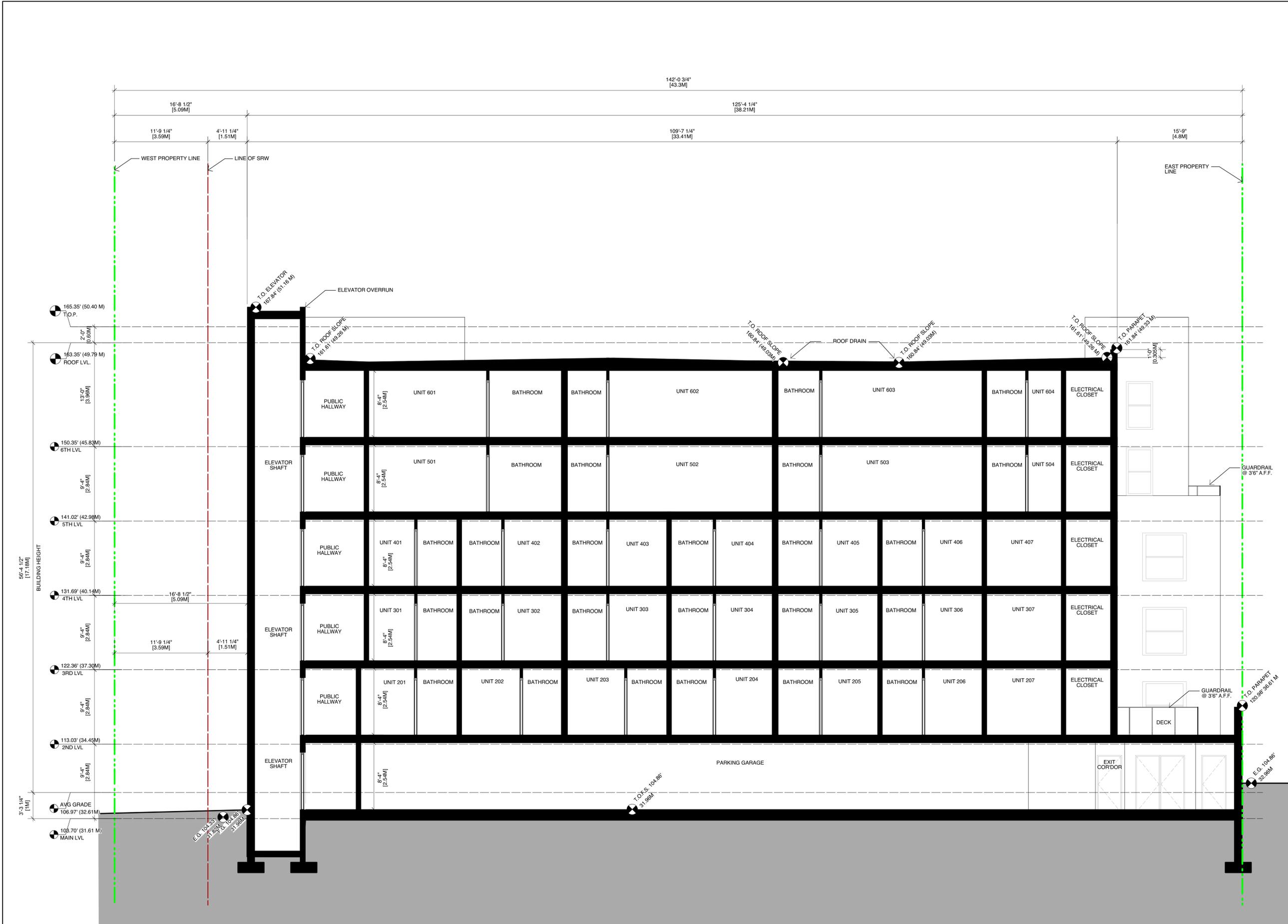
Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**Building Elevations**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A3.04</b>
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	

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1 SECTION VIEW (FROM SOUTH)  
 Scale: 3/16" = 1'-0"

No.	Date	Issue Notes

Architect

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Project Title

**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title

**Building Sections**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A4.01</b>
Designed By NR	Reviewed By NR	
Drawn By AP	Checked By NR	
Project ID 217.29	Scale As Noted	
Issue/Revision		

File Name: 2019.07.05 1301 Hillside.vwk

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1 NW Corner - Aerial  
 NTS

3 SW Corner - Aerial  
 NTS



2 NW Corner - Street Level  
 NTS

4 NE - Aerial  
 NTS

No.	Date	Issue Notes

Issues  
 Consultant

Architect

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Seal

Project Title  
**1301 Hillside Ave.**

1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**Perspectives**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A7.01</b>
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	

File Name: 2019.07.05 1301 Hillside.vwk

**WINDOW SCHEDULE**

QUANTITY	WINDOW SPEC.		Size		Window Data			
	WINDOW NO.	WINDOW ID.	O.A. WIDTH	O.A. Height	Mfr	Model No.	Accessories	Notes
1	W103		13'0"	4'0"	-	-	-	-
1	W103		5'0"	7'6"	-	-	-	-
1	W104		5'8"	4'0"	-	-	-	-
1	W104		5'4"	4'0"	-	-	-	-
1	W106		5'8"	4'0"	-	-	-	-
1	W107		7'0"	4'0"	-	-	-	-
1	W107		7'0"	4'0"	-	-	-	-
1	W110		3'0"	7'6"	-	-	-	-
1	W110		3'0"	7'6"	-	-	-	-
1	W110		3'0"	7'6"	-	-	-	-
1	W201		3'0"	7'6"	-	-	-	-
1	W204		13'0"	7'6"	-	-	-	-
1	W205		8'0"	7'6"	-	-	-	-
1	W206		3'0"	7'6"	-	-	-	-
1	W207		3'0"	7'6"	-	-	-	-
1	W208		3'0"	7'6"	-	-	-	-
1	W208		5'0"	7'6"	-	-	-	-
1	W209		5'0"	7'6"	-	-	-	-
1	W210		3'0"	7'6"	-	-	-	-
1	W211		5'0"	7'6"	-	-	-	-
1	W213		7'0"	7'6"	-	-	-	-
1	W215		7'0"	7'6"	-	-	-	-
1	W217		7'0"	7'6"	-	-	-	-
1	W218		5'0"	7'6"	-	-	-	-
1	W219		3'0"	7'6"	-	-	-	-
1	W219		3'0"	7'6"	-	-	-	-
1	W220		5'0"	7'6"	-	-	-	-
1	W220		5'0"	7'6"	-	-	-	-
1	W223		8'8"	7'6"	-	-	-	-
1	W224		8'8"	7'6"	-	-	-	-
1	W225		8'8"	7'6"	-	-	-	-
1	W226		8'8"	7'6"	-	-	-	-
1	W227		5'0"	7'6"	-	-	-	-
1	W228		3'0"	7'6"	-	-	-	-
1	W228		3'0"	7'6"	-	-	-	-
1	W229		8'8"	7'6"	-	-	-	-
1	W301		3'0"	7'6"	-	-	-	-
1	W302		5'0"	7'6"	-	-	-	-
1	W303		3'0"	7'6"	-	-	-	-
1	W304		5'0"	7'6"	-	-	-	-
1	W305		3'0"	7'6"	-	-	-	-
1	W306		8'8"	7'6"	-	-	-	-
1	W307		5'0"	7'6"	-	-	-	-
1	W308		5'0"	7'6"	-	-	-	-
1	W308		5'0"	7'6"	-	-	-	-
1	W309		3'0"	7'6"	-	-	-	-
1	W310		5'0"	7'6"	-	-	-	-
1	W312		8'8"	7'6"	-	-	-	-
1	W313		8'8"	7'6"	-	-	-	-
1	W314		8'8"	7'6"	-	-	-	-
1	W315		8'8"	7'6"	-	-	-	-
1	W316		5'0"	7'6"	-	-	-	-
1	W317		3'0"	7'6"	-	-	-	-
1	W318		8'8"	7'6"	-	-	-	-
1	W319		3'0"	7'6"	-	-	-	-
1	W401		3'0"	7'6"	-	-	-	-
1	W402		5'0"	7'6"	-	-	-	-
1	W403		3'0"	7'6"	-	-	-	-
1	W404		5'0"	7'6"	-	-	-	-
1	W405		3'0"	7'6"	-	-	-	-
1	W406		8'8"	7'6"	-	-	-	-
1	W407		5'0"	7'6"	-	-	-	-
1	W408		5'0"	7'6"	-	-	-	-
1	W409		5'0"	7'6"	-	-	-	-
1	W410		3'0"	7'6"	-	-	-	-
1	W411		5'0"	7'6"	-	-	-	-
1	W413		8'8"	7'6"	-	-	-	-
1	W413		8'8"	7'6"	-	-	-	-
1	W414		8'8"	7'6"	-	-	-	-
1	W415		8'8"	7'6"	-	-	-	-
1	W416		8'8"	7'6"	-	-	-	-
1	W417		5'0"	7'6"	-	-	-	-
1	W418		3'0"	7'6"	-	-	-	-
1	W419		8'8"	7'6"	-	-	-	-
1	W420		3'0"	7'6"	-	-	-	-
1	W501		3'0"	7'6"	-	-	-	-
1	W502		3'0"	7'6"	-	-	-	-
1	W502		3'0"	7'6"	-	-	-	-
1	W503		5'0"	7'6"	-	-	-	-
1	W503		5'0"	7'6"	-	-	-	-
1	W503		5'0"	7'6"	-	-	-	-
1	W503		5'0"	7'6"	-	-	-	-
1	W503		5'0"	7'6"	-	-	-	-
1	W504		5'0"	7'6"	-	-	-	-
1	W506		3'0"	7'6"	-	-	-	-
1	W506		3'0"	7'6"	-	-	-	-
1	W506		3'0"	7'6"	-	-	-	-
1	W508		8'8"	7'6"	-	-	-	-
1	W509		8'8"	7'6"	-	-	-	-
1	W510		8'8"	7'6"	-	-	-	-
1	W511		5'0"	7'6"	-	-	-	-
1	W511		5'0"	7'6"	-	-	-	-
1	W512		3'0"	7'6"	-	-	-	-
1	W601		3'0"	7'6"	-	-	-	-
1	W603		5'0"	7'6"	-	-	-	-
1	W603		5'0"	7'6"	-	-	-	-
1	W604		3'0"	7'6"	-	-	-	-
1	W605		5'0"	7'6"	-	-	-	-
1	W607		5'0"	7'6"	-	-	-	-
1	W609		3'0"	7'6"	-	-	-	-
1	W609		3'0"	7'6"	-	-	-	-
1	W609		3'0"	7'6"	-	-	-	-
1	W611		8'8"	7'6"	-	-	-	-
1	W612		8'8"	7'6"	-	-	-	-
1	W613		8'8"	7'6"	-	-	-	-
1	W614		5'0"	7'6"	-	-	-	-
1	W614		5'0"	7'6"	-	-	-	-
1	W615		3'0"	7'6"	-	-	-	-

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No.	Date	Issue Notes

Issues  
 Consultant  
 Architect

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**A**  
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 MEMBERS AIBC - RAIC - AIA  
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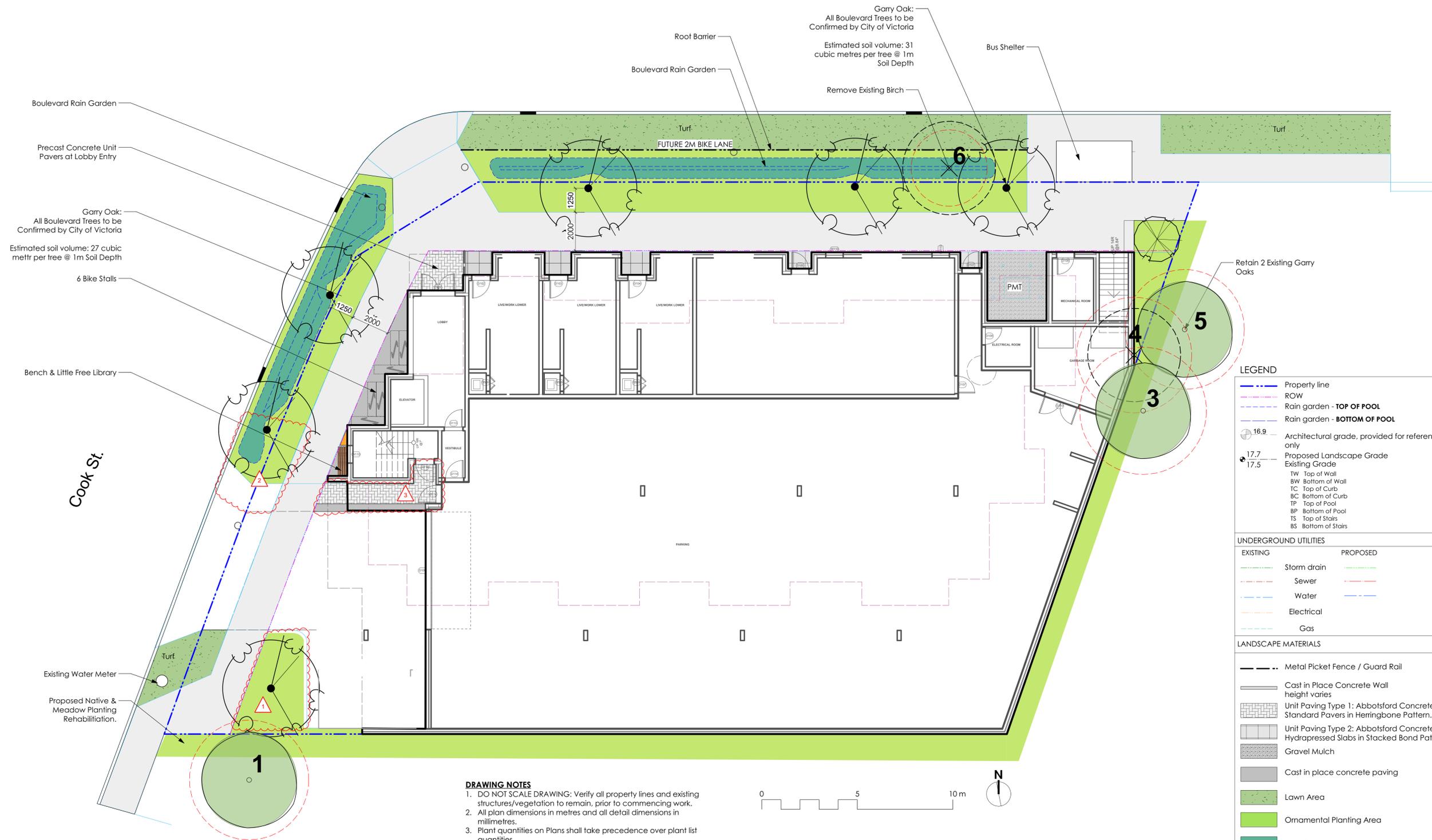
Seal  
 Project Title  
**1301 Hillside Ave.**  
 1301 Hillside Ave.  
 Victoria, BC

Sheet Title  
**Window Schedule**

Issue Date	Plot Date	Sheet No.
	2019.07.05	<b>A8.01</b>
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AS	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



Hillside Ave



Boulevard Rain Garden  
Precast Concrete Unit Pavers at Lobby Entry  
Garry Oak: All Boulevard Trees to be Confirmed by City of Victoria  
Estimated soil volume: 27 cubic metrr per tree @ 1m Soil Depth  
6 Bike Stalls  
Bench & Little Free Library

Root Barrier  
Boulevard Rain Garden  
Turf  
FUTURE 2M BIKE LANE  
Garry Oak: All Boulevard Trees to be Confirmed by City of Victoria  
Estimated soil volume: 31 cubic metres per tree @ 1m Soil Depth  
Remove Existing Birch  
Bus Shelter

**LEGEND**

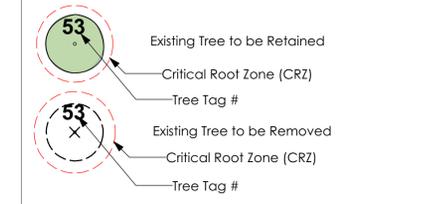
	Property line
	ROW
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL
	Architectural grade, provided for reference only
	Proposed Landscape Grade
	Existing Grade
	TW Top of Wall
	BW Bottom of Wall
	TC Top of Curb
	BC Bottom of Curb
	TP Top of Pool
	BP Bottom of Pool
	TS Top of Stairs
	BS Bottom of Stairs

**UNDERGROUND UTILITIES**

EXISTING	PROPOSED

**LANDSCAPE MATERIALS**

	Metal Picket Fence / Guard Rail
	Cast in Place Concrete Wall height varies
	Unit Paving Type 1: Abbotsford Concrete Standard Pavers in Herringbone Pattern.
	Unit Paving Type 2: Abbotsford Concrete 'Texeda' Hydrapressed Slabs in Stacked Bond Pattern.
	Gravel Mulch
	Cast in place concrete paving
	Lawn Area
	Ornamental Planting Area
	Rain Garden Area
	Prefabricated Planter



- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  - All plan dimensions in metres and all detail dimensions in millimetres.
  - Plant quantities on Plans shall take precedence over plant list quantities.
  - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
  - Landscape installation to carry a 1 year warranty from date of acceptance.
  - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

NOT FOR CONSTRUCTION

rev no	description	date
5	DP Rev 04	2019.07.08
4	DP Rev 03	2019.06.03
3	DP Rev 02	2019.04.15
2	DP Rev 01	2019.01.31
1	DP	2018.01.26

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Fax: 250.412.2892

client  
**NVision Properties**

project  
1301 Hillside Ave.  
VICTORIA, BC

sheet title  
**Ground Floor Landscape Materials**

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

**L1.01**

**NOT FOR CONSTRUCTION**

rev no	description	date
5	DP Rev 04	2019.07.08
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client  
**NVision Properties**

project  
1301 Hillside Ave.  
VICTORIA, BC

sheet title  
**Second Floor  
Landscape  
Materials**

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG

revision no. 5  
sheet no. **L1.02**



**LEGEND**

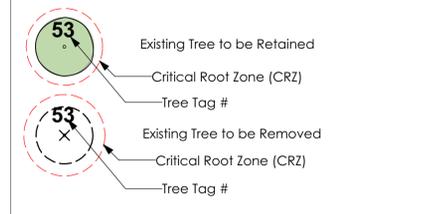
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**UNDERGROUND UTILITIES**

EXISTING	PROPOSED

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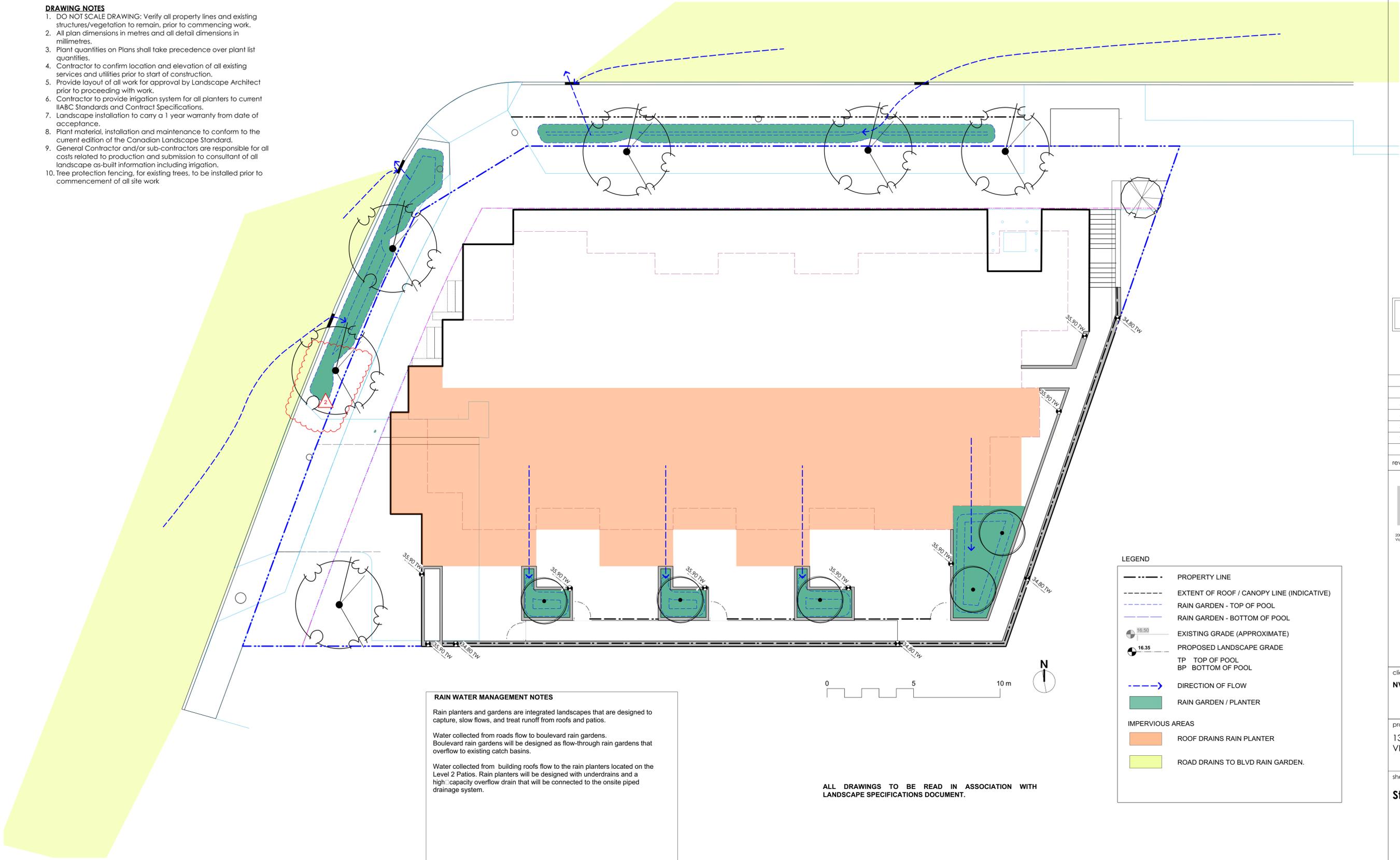
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ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.



**DRAWING NOTES**

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**RAIN WATER MANAGEMENT NOTES**

Rain planters and gardens are integrated landscapes that are designed to capture, slow flows, and treat runoff from roofs and patios.

Water collected from roads flow to boulevard rain gardens. Boulevard rain gardens will be designed as flow-through rain gardens that overflow to existing catch basins.

Water collected from building roofs flow to the rain planters located on the Level 2 Patios. Rain planters will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system.

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client  
**NVision Properties**

project  
1301 Hillside Ave.  
VICTORIA, BC

sheet title  
**Stormwater Plan**

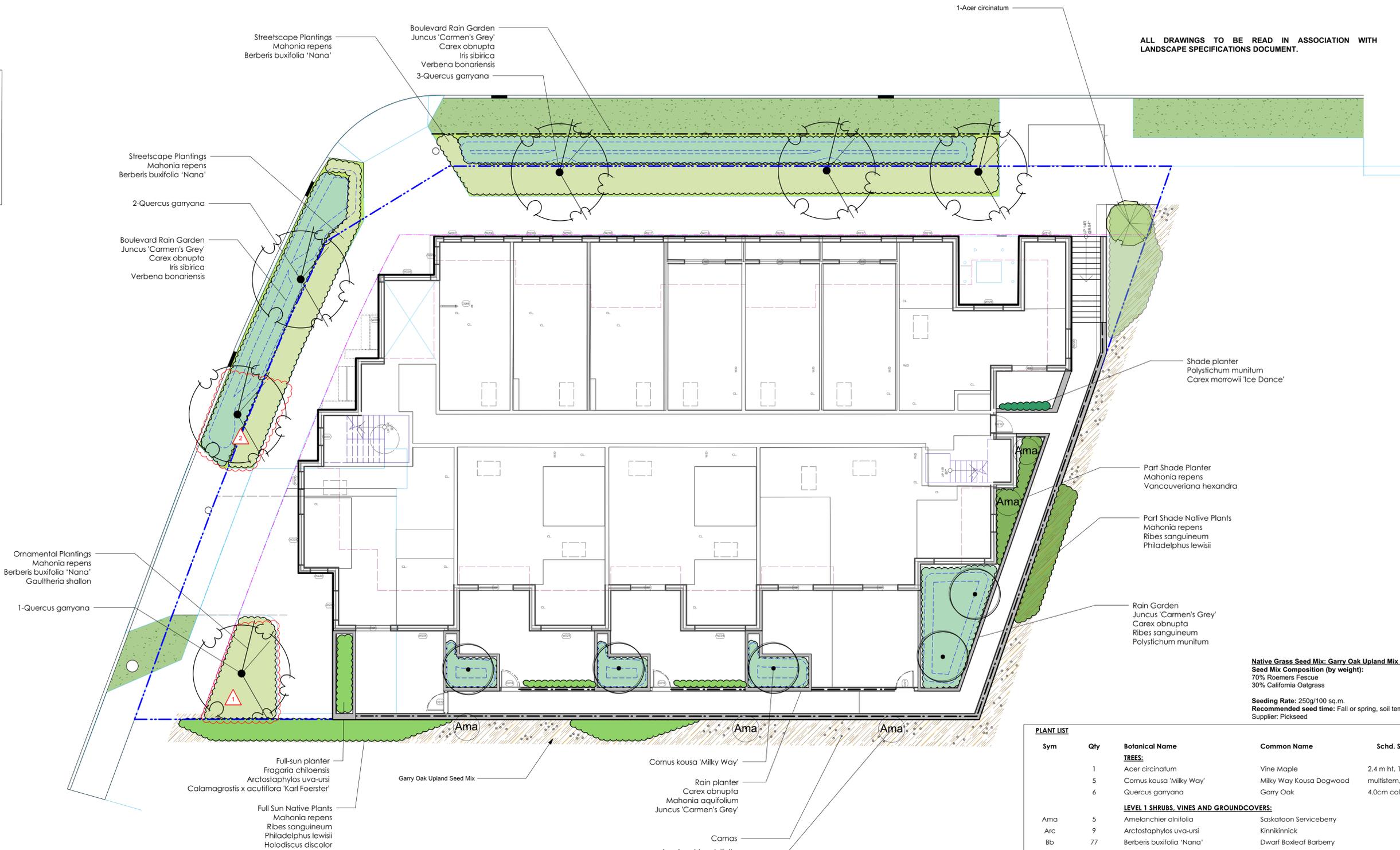
project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG

revision no. 5  
sheet no. **L1.03**

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

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4	DP Rev 03	2019.06.04
3	DP Rev 02	2019.04.15
2	DP Rev 01	2019.01.31
1	DP	2018.01.26
rev no	description	date



- BOULEVARD PLANTING NOTES**
- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
  - Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
  - Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
  - Landscape within boulevard areas to be irrigated (unless otherwise indicated).
  - Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Water meter and timer/controller, that is separate from building, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
  - Design and installation of boulevard irrigation system to meet current IIABC and Municipal Specifications.
  - Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
  - Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
  - All trees within boulevard to be irrigated with double ring drip irrigation system c/w double check valve.

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Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
		<b>TREES:</b>		
	1	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
	5	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b
	6	Quercus garryana	Garry Oak	4.0cm cal, b&b
		<b>LEVEL 1 SHRUBS, VINES AND GROUNDCOVERS:</b>		
Ama	5	Amelanchier alnifolia	Saskatoon Serviceberry	#3 pot
Arc	9	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot
Bb	77	Berberis buxifolia 'Nana'	Dwarf Boxleaf Barberry	#1 pot
Cx	7	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot
Cq	119	Camassia quamash	Camas	2 bulbs each/ 40cm o.c.
Cm	5	Carex marrowii 'Ice Dance'	Japanese Sedge Grass	#1 pot
Co	185	Carex obnupta	Slough Sedge	#1 pot
Fc	12	Fragaria chiloensis	Coast Strawberry	Sp3
Gsh	13	Gaultheria shallon	Salal	#1 pot
Hd	21	Holodiscus discolor	Oceanspray	#2 pot
Is	60	Iris sibirica	Siberian Iris	#1 pot
Jcg	108	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Ma	20	Mahonia aquifolium	Oregon Grape	#2 pot
Mr	104	Mahonia repens	Creeping Oregon Grape	#1 pot
Phi	13	Philadelphus lewisii	Mock Orange	#3 pot
Pm	12	Polystichum munitum	Sword Fern	#1 pot
Rs	31	Ribes sanguineum	Red Flowering Currant	#3 pot
Vh	9	Vancouveriana hexandra	Inside-out Flower	Sp3
Vbo	30	Verbena bonariensis	Tall Verbena	#1 pot

client  
Nvision Properties

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1301 Hillside Ave.  
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sheet title  
**Planting Plan**

project no. 117.31

scale 1:100

drawn by TB

checked by SM/PdG

revision no. 5 sheet no. L3.01