

THE DESIGNER DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING ITEMS:
 - ANY DWELLING BUILT FROM THIS DRAWING PACKAGE.
 - ANY ERRORS AND OMISSIONS.
 - ANY INFORMATION PROVIDED ON SITE.
 - ANY INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.
 - CONFORMITY OF PLANS TO SITE.

GENERAL NOTES:
 - THIS DRAWING PACKAGE CONFORMS TO THE BRITISH COLUMBIA BUILDING CODE AT THE TIME OF THEIR PREPARATION.

- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

- ROOM SIZES INDICATED WITHIN THIS DRAWING PACKAGE ARE APPROXIMATE ONLY.

- MILLWORK SHOWN ON DRAWINGS IS DIAGRAMMATIC ONLY. MILLWORK SPECIFICATIONS SHALL BE PROVIDED BY OTHERS.

- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY FLOOR AND AS PER THE CURRENT BRITISH COLUMBIA BUILDING CODE.

ENGINEERING
 - IN INSTANCES WHERE THESE NOTES CONFLICT WITH ENGINEERING DRAWINGS AND SPECIFICATIONS THE ENGINEERING INFORMATION SHALL TAKE PRECEDENCE.

- TRUSSES, MANUFACTURED BEAMS, MANUFACTURED JOISTS, AND STRUCTURAL MEMBERS EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

- ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.

- ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER

- MASONRY AND CONCRETE WALLS AND STRUCTURES EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

- UNSUPPORTED LATERAL FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

THE BUILDER SHALL BE RESPONSIBLE FOR VERIFYING:

- ENSURING THAT THE BUILDING CONSTRUCTED FROM THIS DRAWING PACKAGE COMPLIES WITH THE LOCAL BY-LAWS AND REGULATIONS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE AT THE TIME OF ITS CONSTRUCTION.

- TAKE CARE TO PROTECT PUBLIC SAFETY DURING CONSTRUCTION AS OUTLINED IN THE CURRENT BRITISH COLUMBIA BUILDING CODE AND BY ANY OTHER REGULATORY BODY HAVING JURISDICTION.

- PROVIDE ADEQUATE TEMPORARY SUPPORT OF ALL BUILDING COMPONENTS DURING CONSTRUCTION AND SHALL NOT ALLOW MATERIAL STORAGE OR CONSTRUCTION PROCEDURES TO EXCEED THE DESIGN LOADS OF THE COMPONENTS SUPPORTING THEM.

- ALL MEASUREMENTS, INFORMATION, AND SPECIFICATIONS SHOWN IN THIS DRAWING PACKAGE BEFORE CONSTRUCTION BEGINS.

- THE REQUIREMENTS OF THE "HOMEOWNER PROTECTION ACT" REGULATIONS.

- ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS; AND THAT ALL INSTALLATIONS ARE IN PROPER WORKING ORDER.

- ALL STRUCTURAL MEMBERS AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS. STRUCTURAL SPECIFICATIONS PROVIDED BY A BC REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE OVER STRUCTURAL INFORMATION PROVIDED ON THESE DRAWINGS.

- CORRECT SITING OF THE BUILDING AS INDICATED ON THE DRAWINGS AS WELL AS ENSURING COMPLIANCE WITH ALL REGULATIONS GOVERNING IT. REGULATORY BY-LAWS SHALL TAKE PRECEDENCE.

- MEASURE TO INDICATE AND PROTECT ANY EXISTING NATURAL OR MAN-MADE FEATURES AND VEGETATION THAT ARE NOT TO BE DISTURBED.

ROOF & FLASHING
 - ROOFING MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO THE STANDARDS ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- PARAPET FLASHING AND ROOF PENETRATIONS SHALL BE CONSTRUCTED ACCORDING TO THE GUIDELINES ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- FLAT ROOFS AND ROOF DECKS TO HAVE A MINIMUM 1/4" IN 12" SLOPE DOWN TOWARD ROOF DRAIN.

- ROOF DRAINS TO EMPTY INTO SEPARATE PERIMETER DRAINAGE SYSTEM. PERIMETER DRAINAGE SYSTEM TO BE LOCATED BELOW FROST PENETRATION.

- FLASHING SHALL BE PRE-FINISHED AND OF A MATERIAL SUITABLE FOR ITS INTENDED USE IN ACCORDANCE WITH PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- MATERIAL OF FLASHING TO BE COMPATIBLE WITH ADJACENT MATERIALS OR TO BE TREATED SO AS TO PREVENT ADVERSE REACTIONS WITH ADJACENT MATERIALS.

- SHEET METAL FLASHING TO BE INSTALLED TO PROTECT FROM MOISTURE PENETRATION ALL EXTERIOR HORIZONTAL OR OBLIQUE CHANGES OF PLANE OR MATERIAL.

- OPENINGS TO THE EXTERIOR TO BE SEALED OVER AND AROUND OPENINGS WITH A NON-HARDENING CAULKING MATERIAL.

- CAULKING TO BE A THERMO-PLASTIC TYPE SUCH AS "TREMCO DYMONIC" OR "SONNOBORN NPI."

- FLASHINGS TO HAVE A MINIMUM 20% SLOPE AWAY FROM THE BUILDING. IF APPLICABLE WHERE FLASHING TERMINATES ONTO A SLOPED ROOF, TO MATCH SLOPE.

- FLASHING TO HAVE A FORMED DRIP EDGE. FORMED DRIP EDGE NOT REQUIRED WHERE FLASHING TERMINATES ON A SLOPED ROOF.

- FLASHING COVERING SELF-ADHERING MEMBRANES ARE TO BE DARK COLOURED. A HIGH TEMPERATURE RESISTANT TYPE OF SELF-ADHERING MEMBRANE TO BE APPLIED.

EXCAVATION & GRADING:
 - ALL ORGANIC MATTER SHALL BE STRIPPED FROM THE LOCATION OF THE PROPOSED STRUCTURE, INCLUDING BENEATH ITS DECKS, PATIOS, WALKWAYS, ETC. FILL AREAS SERVING AS BASES FOR CONCRETE SLABS OR MASONRY PAVERS WITH CLEAN GRANULAR MATERIAL FREE OF ORGANIC MATTER IN MAXIMUM 6" LIFTS COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTER DENSITY.

- SLOPE FINISHED GRADES DOWN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1% TO FACILITATE RUN OFF OF SURFACE WATER. DIRECT AND DRAIN RUN-OFF WATER IN A MANNER SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

CONCRETE:
 - FOUNDATION WALLS ARE DRAWN AT 8" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- GARAGE/CARPORT CONCRETE SLABS AND EXTERIOR CONCRETE STAIRS SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 32 Mpa AT 28 DAYS.

- FOUNDATION CONCRETE SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 20 Mpa AT 28 DAYS.

- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK.)

- THE FOOTINGS (IF) INDICATED ON THESE DRAWINGS ASSUME A 100 Kpa SOIL BEARING CAPACITY. IF LESSER BEARING CAPACITY IS ENCOUNTERED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR ENGAGING QUALIFIED PROFESSIONAL ENGINEERING PERSONNEL TO ANALYZE EXISTING CONDITIONS AND TO RE-DESIGN AND CERTIFY THE FOOTINGS AS NECESSARY TO SUIT.

- OPENINGS AS REQUIRED FOR SERVICING IN FOUNDATION. BUILDER TO DETERMINE REQUIREMENTS PRIOR TO POURING CONCRETE.

- IRREGULARITIES IN/ON ALL FOUNDATION WALL SURFACES TO BE FILLED WITH GROUT OR OTHER SUITABLE MATERIAL TO ALLOW FOR A SMOOTH FINISH.

- CONCRETE SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CLEAN GRANULAR FILL FREE OF ORGANIC MATTER AND COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTER DENSITY.

- DAMP PROOF FOUNDATION WALLS WITH TWO COATINGS OF ASPHALT EMULSION OR EQUIVALENT MATERIAL BELOW FINISHED GRADE.

CARPENTRY
 - WOOD EXPOSED TO THE ENVIRONMENT TO BE PRESSURE TREATED USING ACO PRESSURE TREATING. METAL FASTENERS TO BE STAINLESS STEEL.

- FRAMING LUMBER SHALL BE No. 1 & 2 SPF UNLESS INDICATED OTHERWISE.

- PROTECT ALL LUMBER IN CONTACT WITH CONCRETE BY INSTALLING A 45LB. FELT OR 6 MIL. POLYETHYLENE DAMP PROOFING LAYER OR OTHER APPROVED METHOD.

- SILL PLATES TO BE ANCHORED TO FOUNDATION WITH 5/8" DIAMETER x 8" LONG GALVANIZED STEEL ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-0"

- BACKING AND BLOCKING TO BE INSTALLED FOR DRYWALL AS REQUIRED. ELECTRIC AND PLUMBING FIXTURES, HANDRAILS, ETC. BACKING AND BLOCKING LOCATIONS AND SIZES NOT NECESSARILY NOTED ON DRAWINGS. REVIEW MANUFACTURER OR SUPPLIERS OF MATERIALS AND EQUIPMENT REQUIREMENTS.

- DOUBLE UP FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST SPAN DIRECTION OR INSTALL BLOCKING THE SAME DEPTH AS THE JOISTS @ 32"oc BETWEEN THE JOISTS FLANKING BOTH SIDES OF THE PARTITION.

- JOIST SPANS THAT EXCEED 7'-0" TO HAVE FULL DEPTH SOLID BLOCKING BETWEEN THE JOISTS IN ROWS OR 2x2 CROSS BRIDGING INSTALLED. HAVING A MAXIMUM SPACING OF 7'-0" UNLESS DIRECTED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- FLUSH FRAMED WOOD MEMBERS TO BE SECURED IN 2,000 LB. GALVANIZED STEEL FRAMING ANCHORS UNLESS INDICATED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- LINTELS SHALL BE 2-2x10 UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

INTERIOR WALLS
 - INTERIOR WALLS ARE DRAWN AT 3 1/2" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- INTERIOR WALL FRAMING SHALL BE 2x4 STUDS @ 16"oc. UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.

EXTERIOR WALLS:
 - EXTERIOR WALLS ARE DRAWN AT 5 1/2" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- EXTERIOR WALL FRAMING SHALL BE 2x6 STUDS @ 16"oc UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.

DOORS
 BUILDER TO CONFIRM ALL DOOR SIZES

INTERIOR DOORS:
 - FRAME OPENING 2" WIDER THAN DOOR.
 - FRAME HEIGHT 2 1/2" HIGHER
 - UNDERCUT 1/2" TO AID VENTILATION.

EXTERIOR DOORS:
 - FRAME OPENING 2" WIDER THAN DOOR.
 - FRAME HEIGHT 3" HIGHER
 - FITTED WITH DEADBOLT LOCKS HAVING A MINIMUM THROW OF 25 MM.
 - DOORS ACCESSING INTERIOR, HEATED SPACE SHALL BE SUITABLY WEATHERSTRIPPED.
 - ACCESS DOORS FROM THE EXTERIOR TO INTERIOR SPACES AND THEIR ASSOCIATED FRAMING SHALL CONFORM TO THE REQUIREMENTS TO RESIST FORCIBLE ENTRY AS OUT-LINED IN PART 9 OF THE BRITISH COLUMBIA BUILDING CODE.

GLAZING:
 - BEDROOMS SHALL HAVE AT LEAST ONE WINDOW WITH AN OPENING SIZE SUITABLE FOR EMERGENCY EGRESS AS PER BRITISH COLUMBIA BUILDING CODE.

- WINDOWS LOCATED WITHIN 2 METERS OF THE ADJACENT GROUND LEVEL OR THE FLOOR LEVEL OF A DECK ACCESSIBLE FROM THE EXTERIOR SHALL BE DESIGNED TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

- GLAZING WEIGHTS SHALL CONFORM TO THE REQUIREMENTS OF PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- GLAZING IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS.

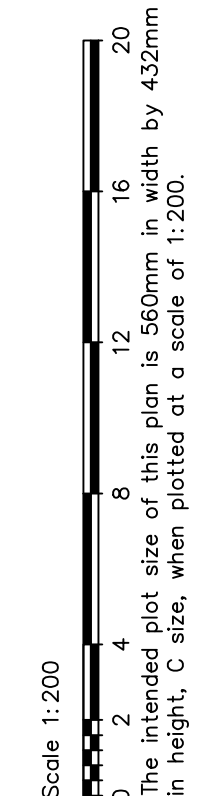
- GLAZING IN BATHROOMS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.

- FENESTRATION PERFORMANCE REQUIREMENTS:
 CLASS R - PG 25 - DESIGN PRESSURE = +1200Pa/-1200Pa - WATER PENETRATION RESISTANCE = 220Pa CANADIAN AIR INFILTRATION / EXFILTRATION = A2

- WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

Site Plan of The East 1/2 of Lot 18, Section 68, Victoria District, Plan 290

Address : 1640 Earle Street, Victoria
 Subject to charges, legal notations, and interests shown on:
 Title No. C40706519 (P.L.D. 009-208-015)



Distances and elevations are in metres unless noted otherwise.

- LEGEND**
- Denotes Standard Iron Post Found
 - ▲ Denotes Traverse Station Set
 - ⊙ Denotes Water Service
 - BEE --- Denotes Bottom Eave Elevation
 - GL --- Denotes Gutterline
 - MC --- Denotes Mountable Curb
 - MFE --- Denotes Main Floor Elevation
 - NF --- Denotes Nothing Found
 - NMC --- Denotes Non Mountable Curb
 - OU --- Denotes Origin Unknown
 - RP --- Denotes Roof Peak Elevation
 - Dec. --- Denotes Deciduous Tree
 - Con --- Denotes Coniferous Tree
 - X 24.68 --- Denotes Typical Spot Elevation
 - Denotes Property Line
 - Denotes Wood Fence

There are no non-financial charges and interests which would affect the positioning of structures on this property.
 Elevations are geodetic (CGVD28) based on control monument 10-90.
 Elevations are at grade unless noted otherwise.

This plan does not show underground servicing.
 This sketch was prepared for planning and design purposes for the exclusive use of our client: Stonehill Land Corp.
 JEA accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission, or alteration to this document without the consent of JEA.

Boundary dimensions based on field survey.
 This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.

© Copyright 2025 J.E. Anderson & Associates. All rights reserved. No person may copy, reproduce, transmit or alter this document in whole or in part without the consent of the signatory.
 J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document in pdf, dwg or hard copy formats.

The field survey was completed on Wednesday September 24th, 2025.

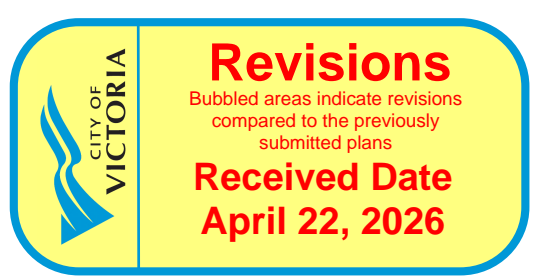
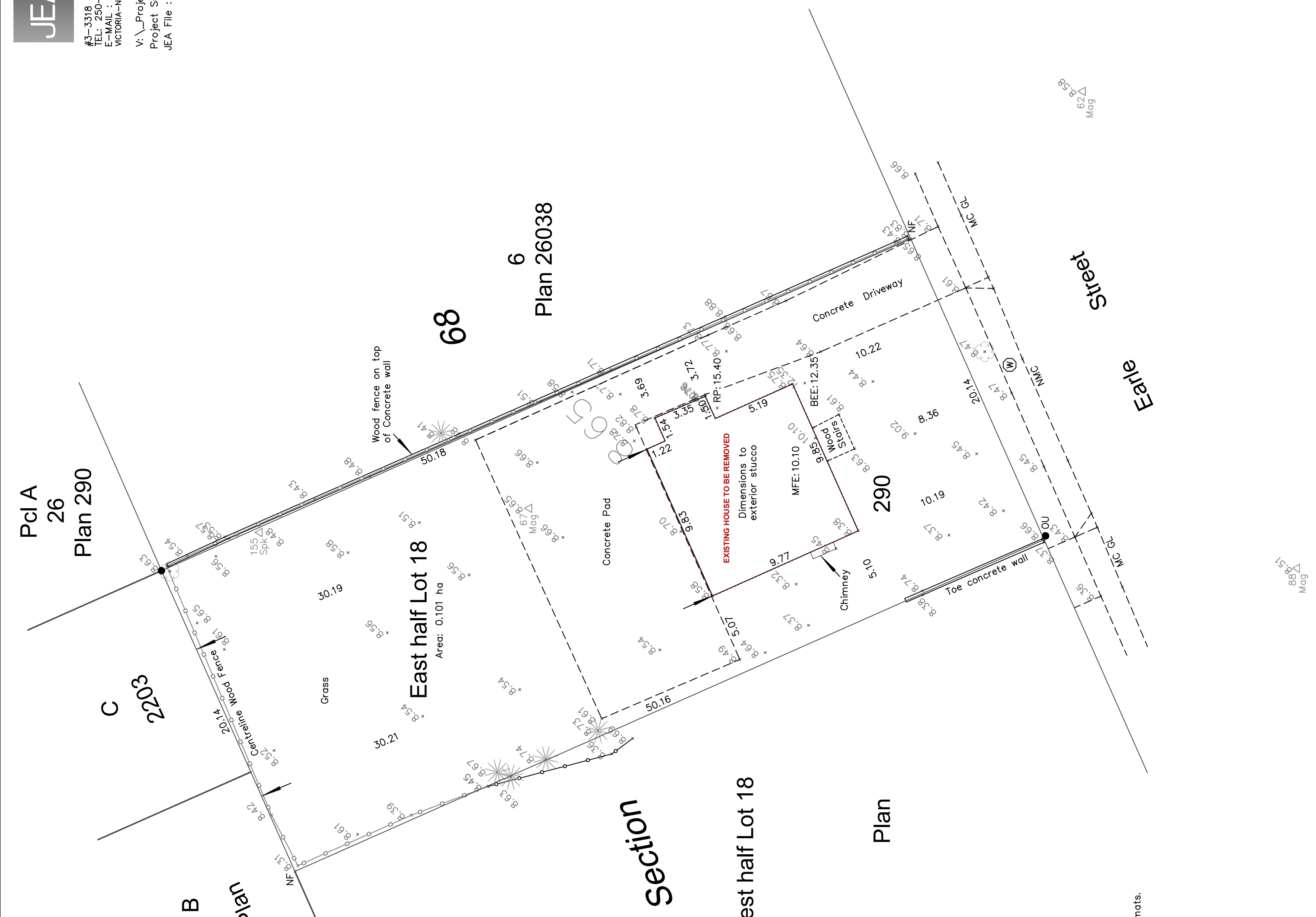
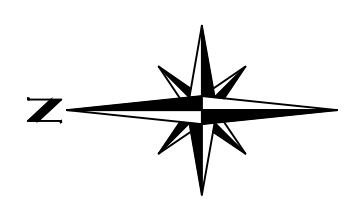
Peter John Wittstock
Surveyor (Member of A.S.B.E. No. 1014115)

This document is not valid unless digitally authenticated

Certified correct this 2nd day of October, 2025.

SITE PLAN
 SCALE: 1 : 200

J.E. ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS
JEA
 #3-318 OAK STREET, VICTORIA, B.C. V8K 1R1
 TEL: 250-383-7277-3395
 E-MAIL: info@jea-associates.com
 VICTORIA-HANNOU-PARKVILLE-CAMPBELL RIVER
 V:_Projects\35301...35301.dwg (Site Plan)
 Project Surveyor : P.J.W. Drawn by : PS
 JEA File : 35301



PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 SURVEYOR SITE PLAN & DRAWING PACKAGE INFORMATION

SCALE
 SEE DRAWINGS

DATE
 April 22, 2026

SHEET NUMBER
 A1 / A11

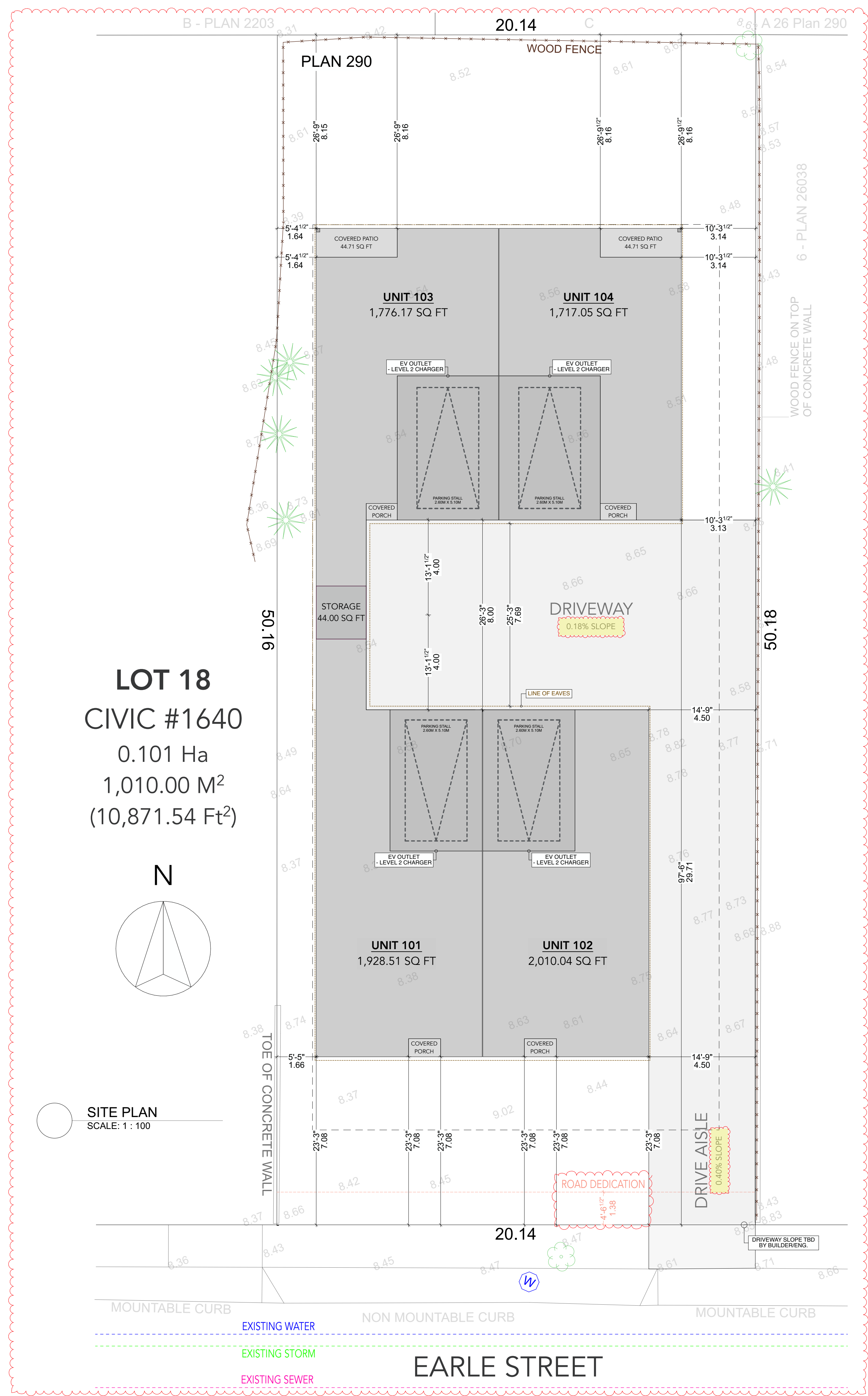
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 SITE PLAN & DATA BOX

SCALE
 SEE DRAWINGS

DATE
 April 22, 2026

SHEET NUMBER
 A2 / A11



DATA TABLE	
ADDRESS:	LOT 18 1640 EARLE STREET
MUNICIPALITY:	VICTORIA
ZONE:	GRD-1
LEGAL PLAN:	VIP290
PID:	009-208-615

SITE	
LOT SIZE:	0.101 HA 10,871.54 SQ FT 1,010.00 SQ M

	SETBACKS	
	PROPOSED	PERMITTED:
(SOUTH) FRONT LOT LINE SETACK:	23.22 FT 7.08 M	13.12 FT 4.00 M
(NORTH) REAR LOT LINE SETBACK:	26.73 FT 8.15 M	26.24 FT 8.00 M
(EAST) INTERIOR LOT LINE SETBACK:	10.26 FT 3.13 M	4.92 FT 1.50 M
(WEST) INTERIOR LOT LINE SETBACK:	5.38 FT 1.64 M	4.92 FT 1.50 M

SEPERATION:	26.24 FT 8.00 M
-------------	--------------------

	LOT COVERAGE	
	PROPOSED	PERMITTED:
LOT COVERAGE:	40.72% 4,427.01 SQ FT 411.28 SQ M	45.00% 4,892.19 SQ FT 454.49 SQ M

	GROSS FLOOR AREA			
	UNIT 101	UNIT 102	UNIT 103	UNIT 104
GARAGE FLOOR AREA:	92.37 SQ FT 8.58 SQ M	235.36 SQ FT 21.86 SQ M	121.45 SQ FT 11.28 SQ M	121.45 SQ FT 11.28 SQ M
UPPER FLOOR AREA:	962.08 SQ FT 89.38 SQ M	962.08 SQ FT 89.38 SQ M	940.83 SQ FT 87.40 SQ M	940.83 SQ FT 87.40 SQ M
MAIN FLOOR AREA:	874.06 SQ FT 81.20 SQ M	812.60 SQ FT 75.49 SQ M	713.89 SQ FT 66.32 SQ M	654.77 SQ FT 60.83 SQ M
TOTAL GROSS FLOOR AREA:	1,928.51 SQ FT 179.16 SQ M	2,010.04 SQ FT 186.73 SQ M	1,776.17 SQ FT 165.01 SQ M	1,717.05 SQ FT 159.51 SQ M

STORAGE FLOOR AREA:	44.00 SQ FT 4.08 SQ M
---------------------	--------------------------

COMBINED GROSS FLOOR AREA:	7,475.77 SQ FT 694.52 SQ M
----------------------------	-------------------------------

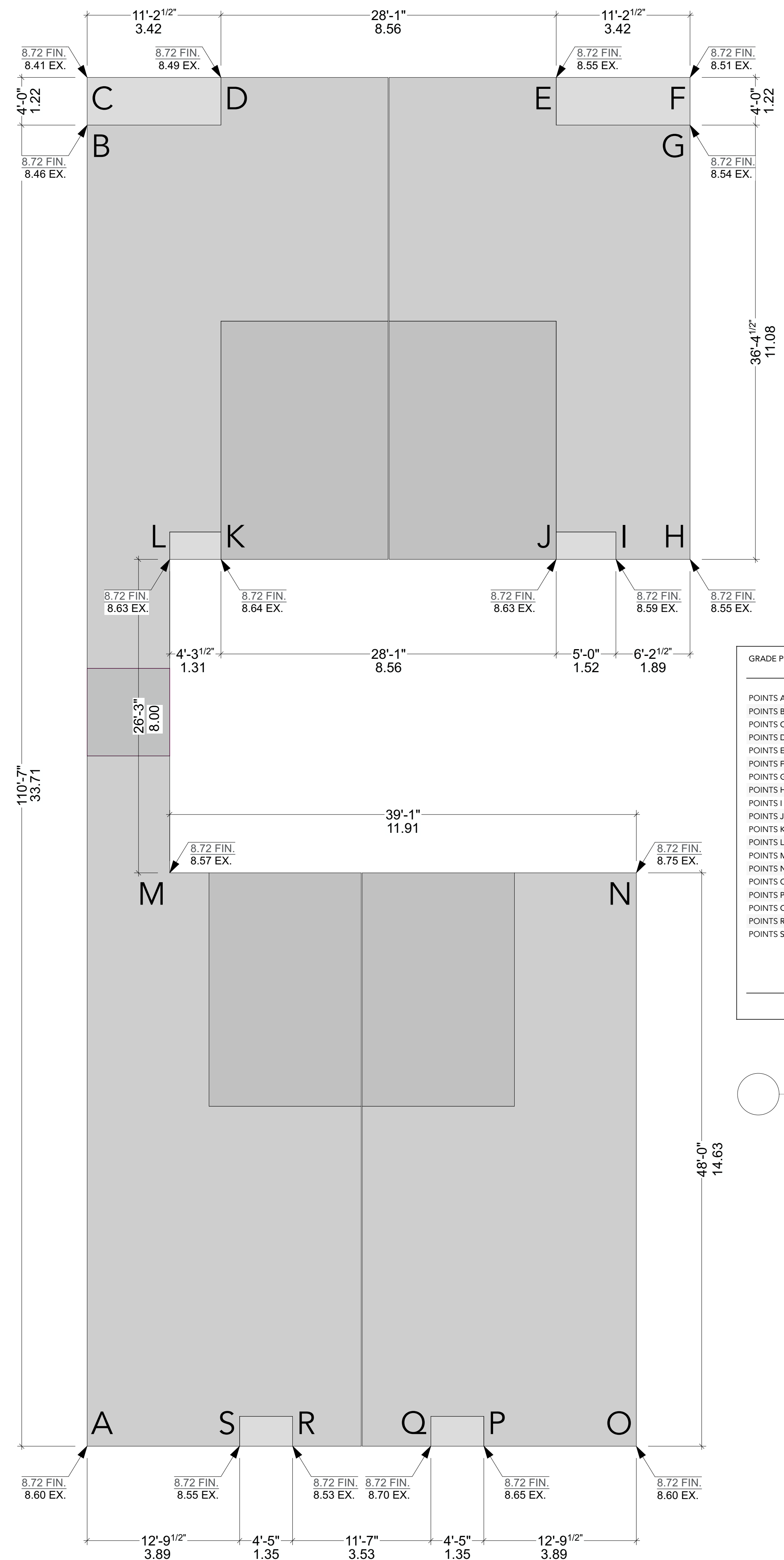
	FLOOR SPACE RATIO:	
	PROPOSED	PERMITTED:
FLOOR SPACE RATIO:	0.68 7,475.77 SQ FT 694.52 SQ M	1.60 17,394.46 SQ FT 5,301.83 SQ M

HEIGHT & GRADE	
MAIN FLOOR ELEVATION:	8.87 M
FINISHED GRADE:	8.72 M
AVERAGE GRADE:	8.56

	BUILDING HEIGHT:	
	PROPOSED	PERMITTED:
BUILDING HEIGHT:	26.24 FT 8.00 M	39.37 FT 12.00 M

	SITE DATA	
	PROPOSED	REQUIRED:
OPEN LOT SPACE:	37.83% 4,113.45 SQ FT 382.15 SQ M	30.00% 3,261.46 SQ FT 302.99 SQ M
LANDSCAPE AREA:	10.98% 1,194.13 SQ FT 110.93 SQ M	10.00% 1,087.15 SQ FT 101.00 SQ M

	PARKING	
	PROPOSED	REQUIRED:
PARKING SPACES:	4	4
EV OUTLET LEVEL 2 CHARGERS:	4	4

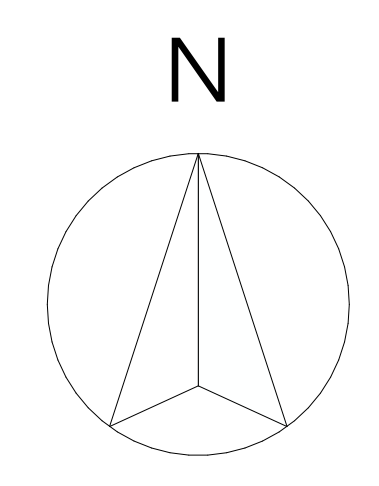


GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN GRADE POINTS	TOTALS
POINTS A & B	((8.60 + 8.46) ÷ 2)	X M	0.00
POINTS B & C	((8.46 + 8.41) ÷ 2)	X 1.22 M	10.29
POINTS C & D	((8.41 + 8.49) ÷ 2)	X 3.42 M	28.90
POINTS D & E	((8.49 + 8.55) ÷ 2)	X 8.56 M	72.93
POINTS E & F	((8.55 + 8.51) ÷ 2)	X 3.42 M	29.17
POINTS F & G	((8.51 + 8.54) ÷ 2)	X 1.22 M	10.40
POINTS G & H	((8.54 + 8.55) ÷ 2)	X 11.08 M	94.68
POINTS H & I	((8.55 + 8.59) ÷ 2)	X 1.89 M	16.20
POINTS I & J	((8.59 + 8.63) ÷ 2)	X 1.52 M	13.09
POINTS J & K	((8.63 + 8.64) ÷ 2)	X 8.56 M	73.92
POINTS K & L	((8.64 + 8.63) ÷ 2)	X 1.31 M	11.31
POINTS L & M	((8.63 + 8.57) ÷ 2)	X 8.00 M	68.80
POINTS M & N	((8.57 + 8.75) ÷ 2)	X 11.91 M	103.14
POINTS N & O	((8.75 + 8.60) ÷ 2)	X 14.63 M	126.92
POINTS O & P	((8.60 + 8.65) ÷ 2)	X 3.89 M	33.55
POINTS P & Q	((8.65 + 8.70) ÷ 2)	X 1.35 M	11.71
POINTS Q & R	((8.70 + 8.53) ÷ 2)	X 3.53 M	30.41
POINTS R & S	((8.53 + 8.55) ÷ 2)	X 1.35 M	11.53
POINTS S & A	((8.55 + 8.60) ÷ 2)	X 3.89 M	33.36
			429.68
GRADE CALCULATION			
429.68 ÷ 50.20 (PERIMETER OF THE BUILDING)			8.56

REQUIRED OPEN LOT SPACE: 30.00% = 303.00 M ² (3,261.46 FT ²)
PROPOSED OPEN LOT SPACE: 37.83% = 382.15 M ² (4,113.45 FT ²)
REQUIRED SOFT LANDSCAPING AREA: 50.00% = 191.07 M ² (2,056.72 FT ²)
PROPOSED SOFT LANDSCAPING AREA: 84.97% = 324.73 M ² (3,495.64 FT ²)
MAX HARD LANDSCAPING AREA: 50.00% = 191.07 M ² (2,056.72 FT ²)
PROPOSED HARD LANDSCAPING AREA: 18.06% = 69.08 M ² (743.62 FT ²)

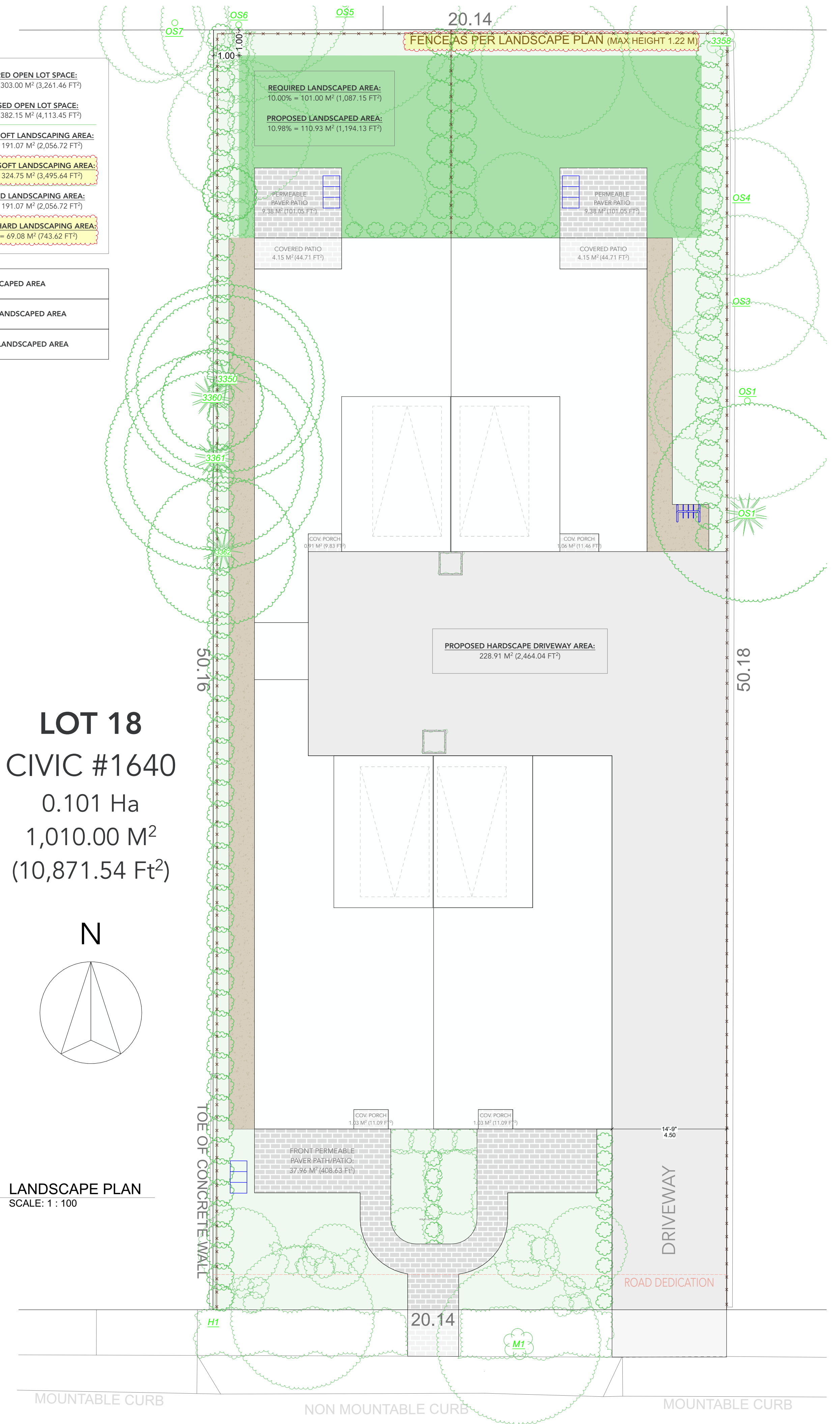
- LANDSCAPED AREA
- SOFT LANDSCAPED AREA
- HARD LANDSCAPED AREA

LOT 18
CIVIC #1640
 0.101 Ha
 1,010.00 M²
 (10,871.54 Ft²)



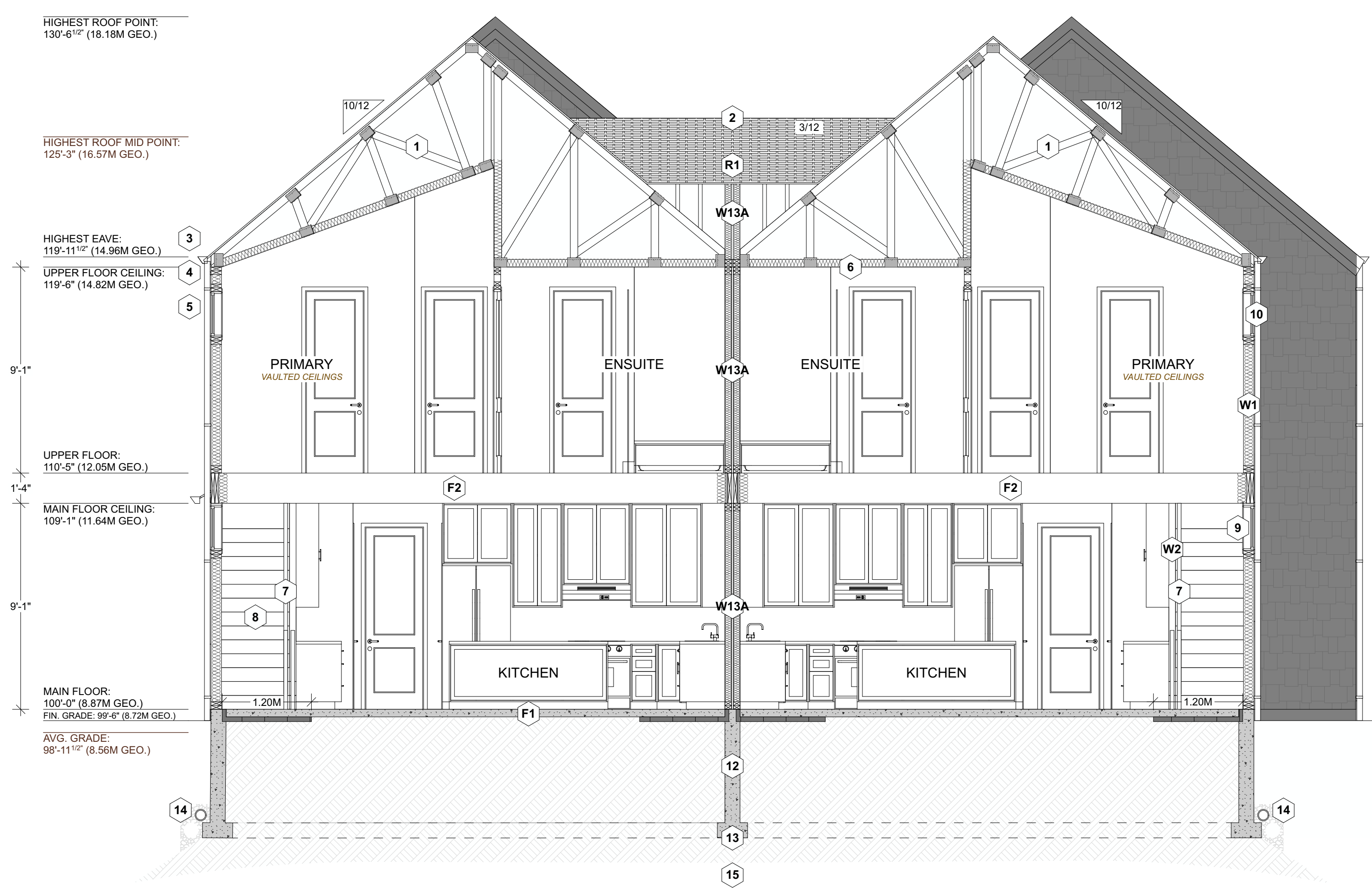
○ GRADING CALCULATION
 SCALE: NOT TO SCALE

○ LANDSCAPE PLAN
 SCALE: 1 : 100



PROJECT ADDRESS
LOT 18 1640 EARLE STREET VICTORIA V8S 1N5
SHEET TITLE
A-1 CROSS SECTION, CONSTRUCTION NOTES, & FOUNDATION PLAN
SCALE
SEE DRAWINGS
DATE
April 22, 2026
SHEET NUMBER
A3 / A11

EARLE STREET



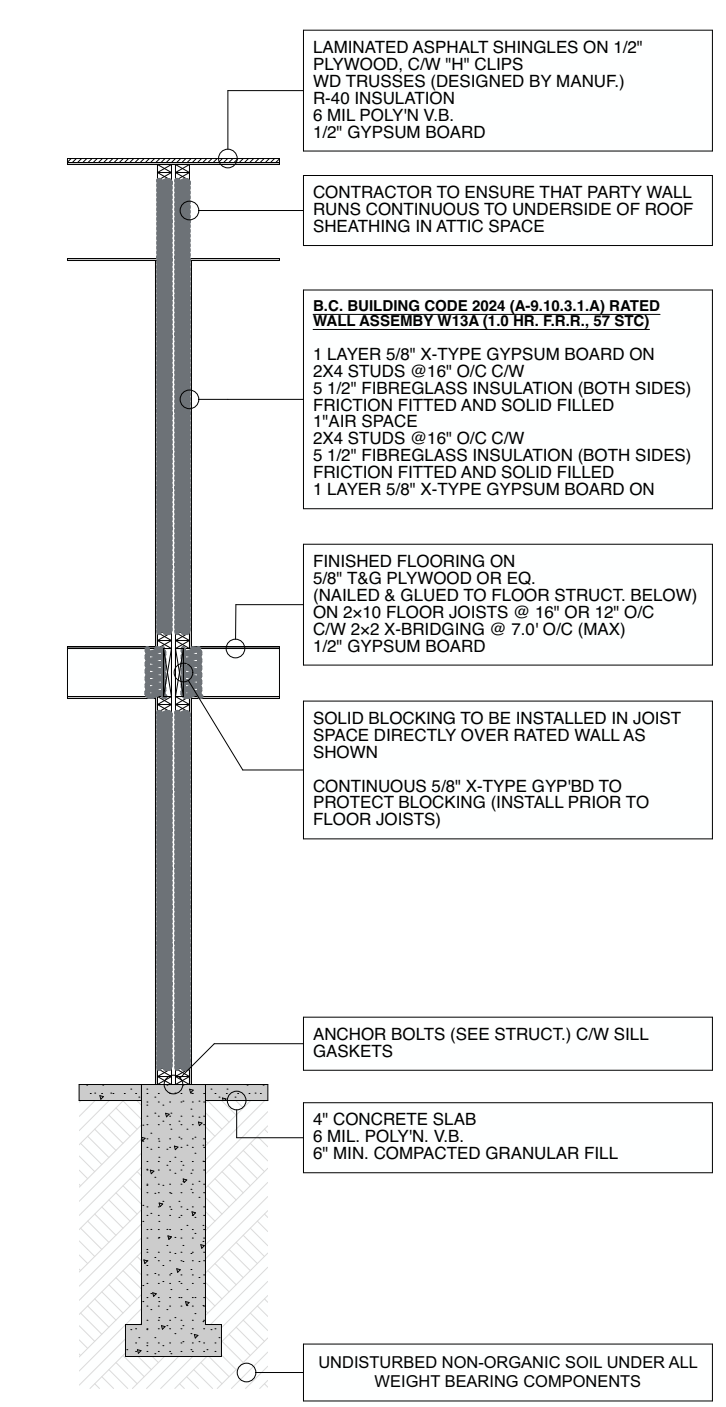
A-1 CROSS SECTION
SCALE: 1/4" = 1'-0"



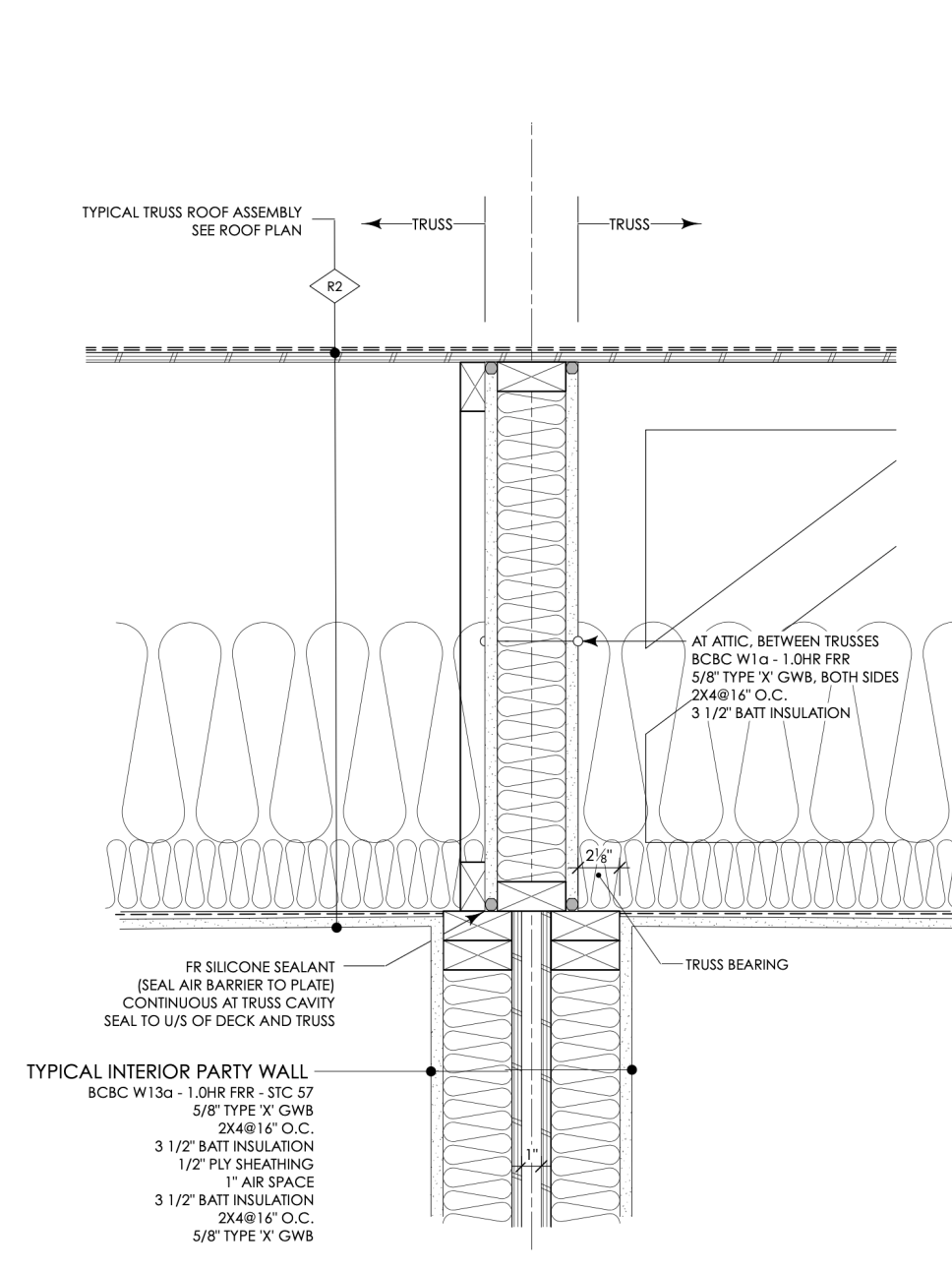
A-2 CROSS SECTION
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

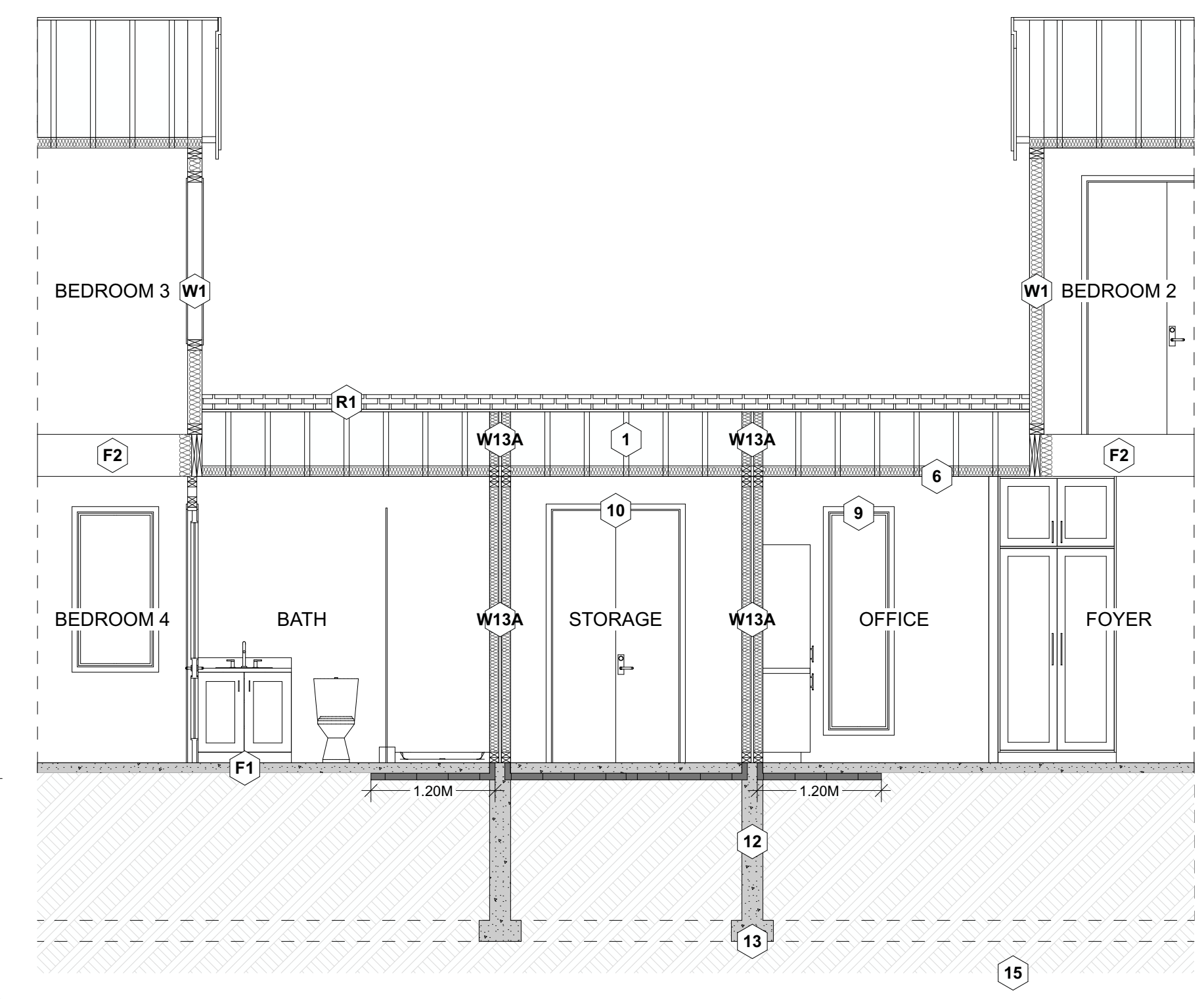
- R1** ASPHALT SHINGLES
BUILDING PAPER
7/16" O.S.B. (OR 1/2" PLYWOOD)
ENGINEERED TRUSSES
DESIGNED BY SUPPLIER @ 24" O.C. TYP.
R40 BATT INSULATION
6 MIL U.V. POLY V.B.
5/8" GWB
- W1** EXTERIOR FINISH
3/4" AIR SPACE
PRESSURE TREATED STRAPPING
BUILDING WRAP
1/2" SHEATHING
2X6 STUDS AT 16" O.C.
R-20 BATT INSULATION
6 MIL POLY V.B.
1/2" GYPSUM WALL BOARD
- W2** 2X4 STUDS 16" O.C.
1/2" GYPSUM WALL BOARDS ON BOTH SIDES
- W3** 2X6 STUDS 16" O.C.
1/2" GYPSUM WALL BOARDS ON BOTH SIDES
- F1** 4" CONCRETE FLOOR ON 6 MIL POLY V.B. COMPACTED GRANULAR FILL
- F2** 2X16 FLOOR JOIST 16" O.C. TYP. NAIL AND GLUE
3/4" T&G PLYWOOD
R28 BATT INSULATION
X BRIDGING @ 6" O.C. TYP.
- F3** 2X16 FLOOR JOIST 16" O.C. TYP. NAIL AND GLUE
3/4" T&G PLYWOOD
X BRIDGING @ 6" O.C. TYP. EXTERIOR METAL SOFFITS
60 MIL VINYL DECK OVER
- W13A** DEMISING WALL: (1H AS PER W13A - TABLE A-9 10.3.1.A)
TWO ROWS 38 MM X 140 MM STUDS EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART
89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE



DETAIL - W13A PARTY WALL
SCALE: 1/4" = 1'-0"



W13A ATTIC DETAIL
SCALE: NOT TO SCALE



A-3 CROSS SECTION
SCALE: 1/4" = 1'-0"

NOTES:

- 1 TRUSS DESIGN:**
TO BE DESIGNED BY TRUSS DESIGNER
- 2 ROOF VENTS:**
VENT 1/150 USING SHINGLE VENT II RIDGE VENT
- 3 EAVE PROTECTION:**
CONSTRUCTION TO BE DETERMINED BY BUILDER
- 4 GUTTERS & DOWNSPOUTS:**
ALUMINUM GUTTERS & DOWNSPOUTS
- 5 SOFFITS:**
ALUMINUM VENTED SOFFITS (NON VENTED IF SOFFIT PROJECTS LESS THAN 1.20M FROM PROPERTY LINE)
- 6 CEILING BOARD:**
R40 INSULATION, 6 MIL POLY V.B. 1/2"
- 7 HANDRAILS:**
42" NON-CLIMBABLE
- 8 STAIRS:**
7 7/8" RISE, 10.05" TREAD, 1" NOSING, AND CONTINUOUS HANDRAIL
- 9 WINDOWS:**
- VINYL
- RAIN PAN UNDER TO BE SUPPLIED
- RAIN SCREEN AS PER BCBC
- WINDOWS IN DOORS TO BE SAFETY GLASS
- 10 EXTERIOR OPENINGS:**
TO BE CAULKED OVER AND AROUND
- 11 POSTS:**
10"X10" POST, 8" POST SADDLE, ON 30"X30" CONCRETE FOOTING
8" CONCRETE WALL
- 12 CONCRETE WALL:**
8" CONCRETE WALL ON 8"X16"
- 13 CONCRETE FOOTINGS:**
2/4 BAR CONTINUOUS - R12 RIDGID INSULATION - 2 COATS DAMP PROOFING
- 14 GROUND WORK:**
- DRAINS TO PERIMETER SYSTEM
- 4" DRAIN TILE WITH 6" ROCK OVER
- 15 SOIL:**
NON-ORGANIC SOIL (UNDISTURBED)

DETAILS:

- PLUMBING STACKS:**
PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATHING TAPE, OR A RUBBER GASKET AT THE CEILING
- ATTIC HATCH:**
APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FOAM GASKET TO ENSURE PROPER AIR SEALING.
- LIGHTING:**
RECESSED POT LIGHT HOUSINGS TO BE SEALED TO POLY V.B.
- WALL TO CEILING:**
ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL
- WINDOWS / DOORS / SKYLIGHTS:**
INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY V.B. AND THE WINDOW
- INTERIOR & EXTERIOR WALL INTERFACE:**
ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING TO BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING THE POLY V.B. OF THE EXTERIOR WALLS
- RIM JOISTS / SILL PLATES:**
ALL JOISTS AT CAVITIES TO BE AIRTIGHT BY SEALING ALL JUNCTIONS AND JOINTS, OR COVER WITH AIR BARRIER MATERIAL
- SLAB FOUNDATION WALLS:**
SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR TO FOUNDATION WALL
- RIGID INSULATION:**
(2.5") R12 RIGID INSULATION TO BE 1.2M IN LENGTH ENSURE CONTINUITY OF INSULATION AS PER BCBC 9.36.2.5(2)
- ENERGY EFFICIENCY:**
ALL COMPONENTS RELATING TO ENERGY EFFICIENCY (IE. COOLING, HEATING, VENTILATION, WINDOWS, BUILDING ENVELOPE) ARE REQUIRED TO COMPLY WITH STEP 3 OF THE BC ENERGY STEP CODE
- RADON:**
LEVEL 2 FULL PASSIVE VERTICAL RADON STACK SYSTEM REQUIRED TO CONFORM TO THE "RADON CONTROL OPTIONS FOR NEW CONSTRUCTION IN LOW-RISE RESIDENTIAL BUILDINGS" DOCUMENT FROM THE GOVERNMENT OF CANADA. CAN/CGSB-149. 11-2019
SEE RADON DETAIL PAGE AND GOVERNMENT OF CANADA CAN/CGSB-149.11-2019 DOCUMENT FOR SPECIFICATIONS
- HOUSE PRINCIPAL EXHAUST FAN:**
PRINCIPAL EXHAUST FAN CAPACITY @50 PASCAL AND MIN. VENTILATION RATE OF 35 AS PER 9.32.3.5 MUST BE WIRED TO RUN CONTINUOUSLY, CONTROLLED BY DEDICATED SWITCH, SOUND RATING NOT TO EXCEED 1.0 SONE(SEE TABLE 9.32.3.3.A)
- DEMISING NOTES:**
ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19. DWELLING UNITS TO BE SEPARATED FROM EACH OTHER BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min AS PER 9.37.2.15.(b)
- ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**
- HEAT SOURCE:**
DUCTED HEAT PUMP FOR HEATING & COOLING WITH CEILING DIFFUSERS (INTERNAL HVAC UNITS TO BE RECESSED INTO THE TRUSSES. LOCATED TO BE DETERMINED BY BUILDER)

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

A-1 CROSS SECTION,
CONSTRUCTION NOTES, &
FOUNDATION PLAN

SCALE

SEE DRAWINGS

DATE

April 22, 2026

SHEET NUMBER

A4 / A11

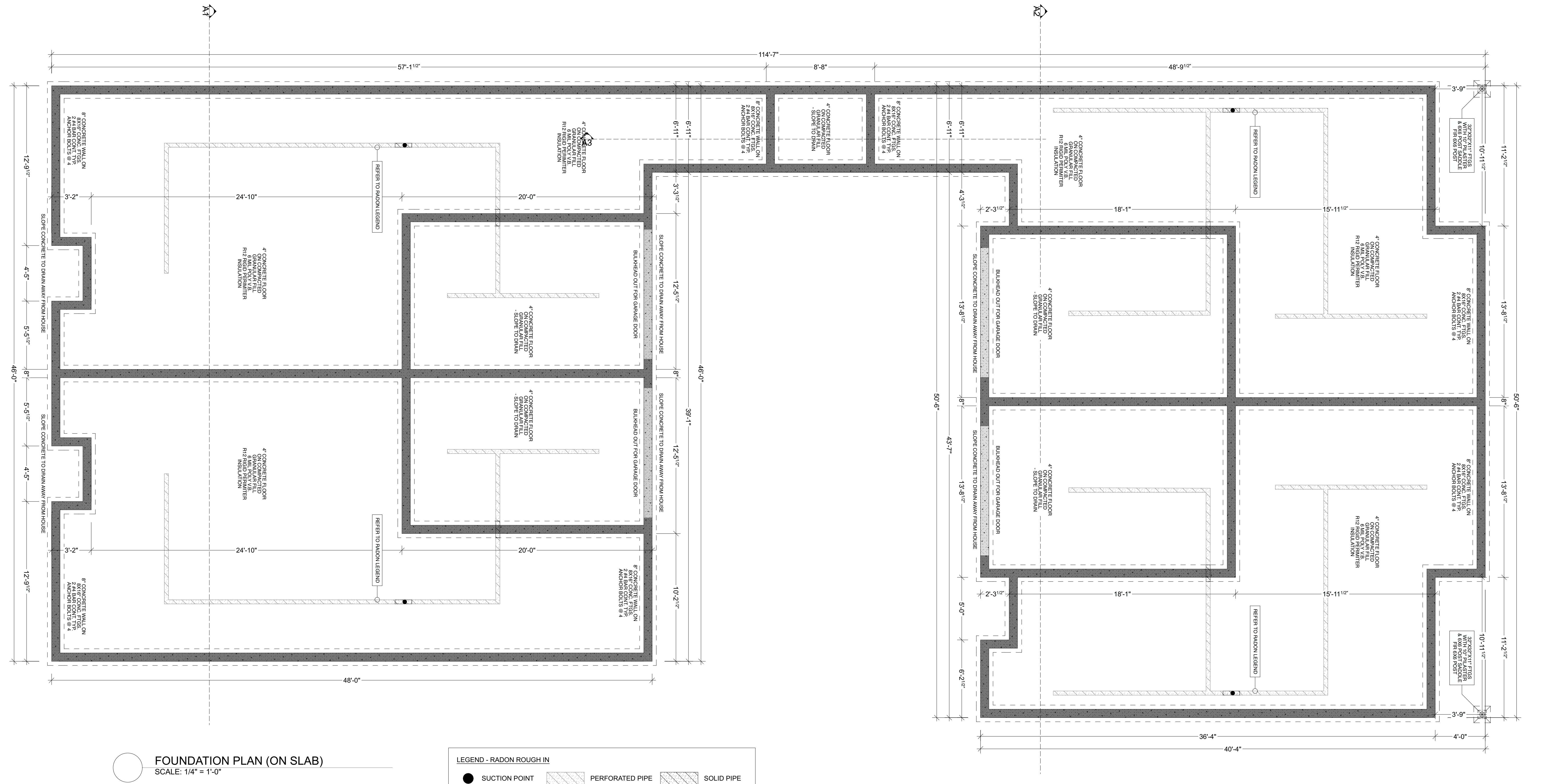
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 FOUNDATION PLAN

SCALE
 SEE DRAWINGS

DATE
 April 22, 2026

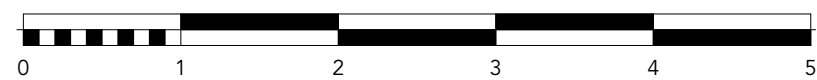
SHEET NUMBER
 A5 / A11



FOUNDATION PLAN (ON SLAB)
 SCALE: 1/4" = 1'-0"

LEGEND - RADON ROUGH IN

- SUCTION POINT
- ▨ PERFORATED PIPE
- ▨ SOLID PIPE



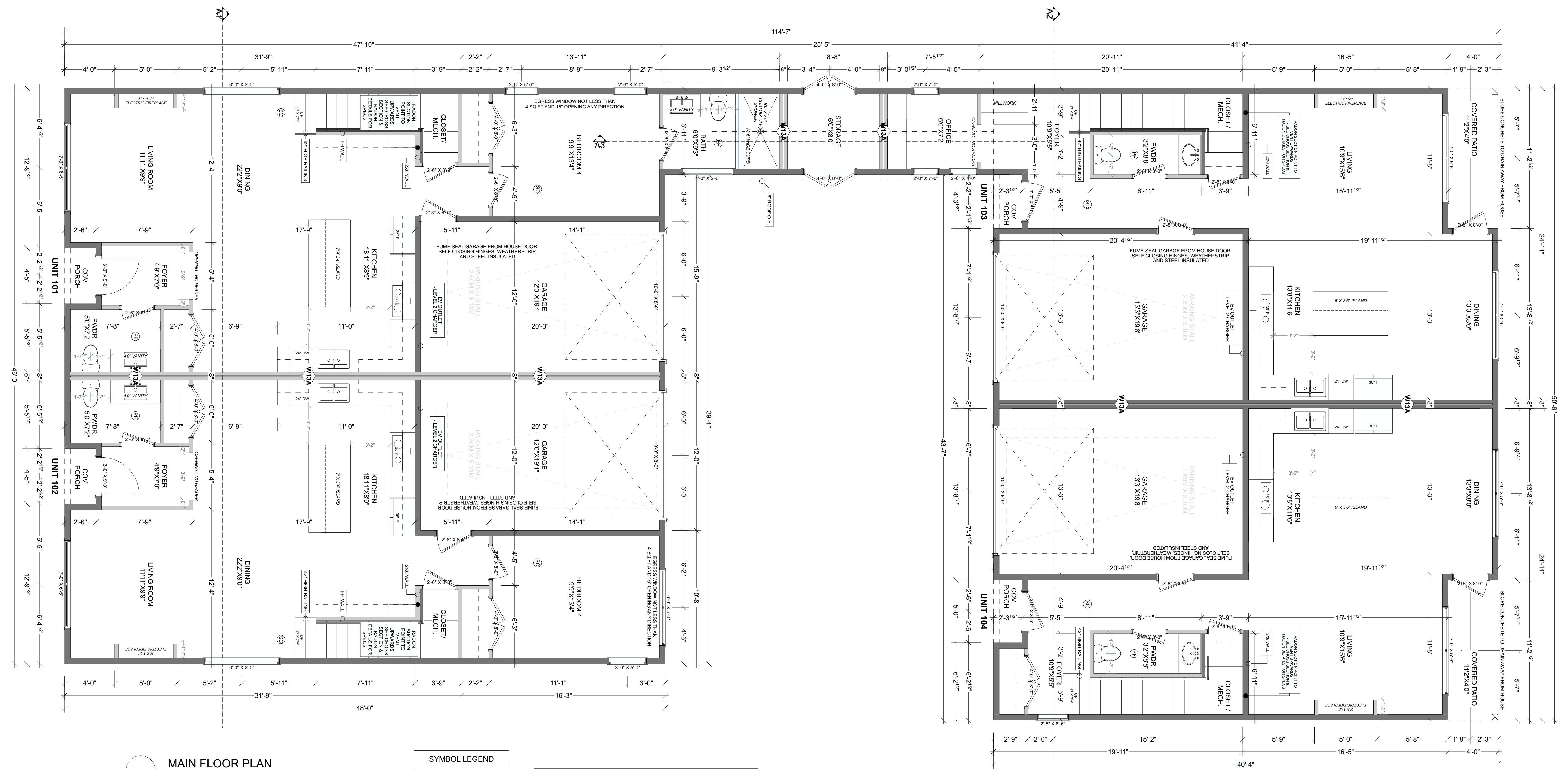
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 MAIN FLOOR PLAN

SCALE
 SEE DRAWINGS

DATE
 April 22, 2026

SHEET NUMBER
 A6 / A11



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0" 9'-0 3/4" CEILING HEIGHT

UNIT 101 MAIN FLOOR AREA: 874.06 sq ft (81.20 sq m)
 UNIT 101 GARAGE FLOOR AREA: 92.37 sq ft (8.58 sq m)
 UNIT 102 MAIN FLOOR AREA: 812.6 sq ft (75.49 sq m)
 UNIT 102 GARAGE FLOOR AREA: 235.36 sq ft (21.86 sq m)
 UNIT 103 MAIN FLOOR AREA: 713.89 sq ft (66.32 sq m)
 UNIT 103 GARAGE FLOOR AREA: 121.45 sq ft (11.28 sq m)
 UNIT 104 MAIN FLOOR AREA: 654.77 sq ft (60.83 sq m)
 UNIT 104 GARAGE FLOOR AREA: 121.45 sq ft (11.28 sq m)

COMMON PROPERTY: 44 sq ft (4.08 sq m)

SYMBOL LEGEND

	INTERCONNECTED
	SMOKE & CO DETECTORS
	HOUSE PRINCIPAL EXHAUST FAN
	EXHAUST FAN

W13A DEMISING WALL: (1 HAS PER W13A- TABLE A-9.10.3.1 A)
 TWO ROWS 88 MM X 140 MM STUDS EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART 88 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE



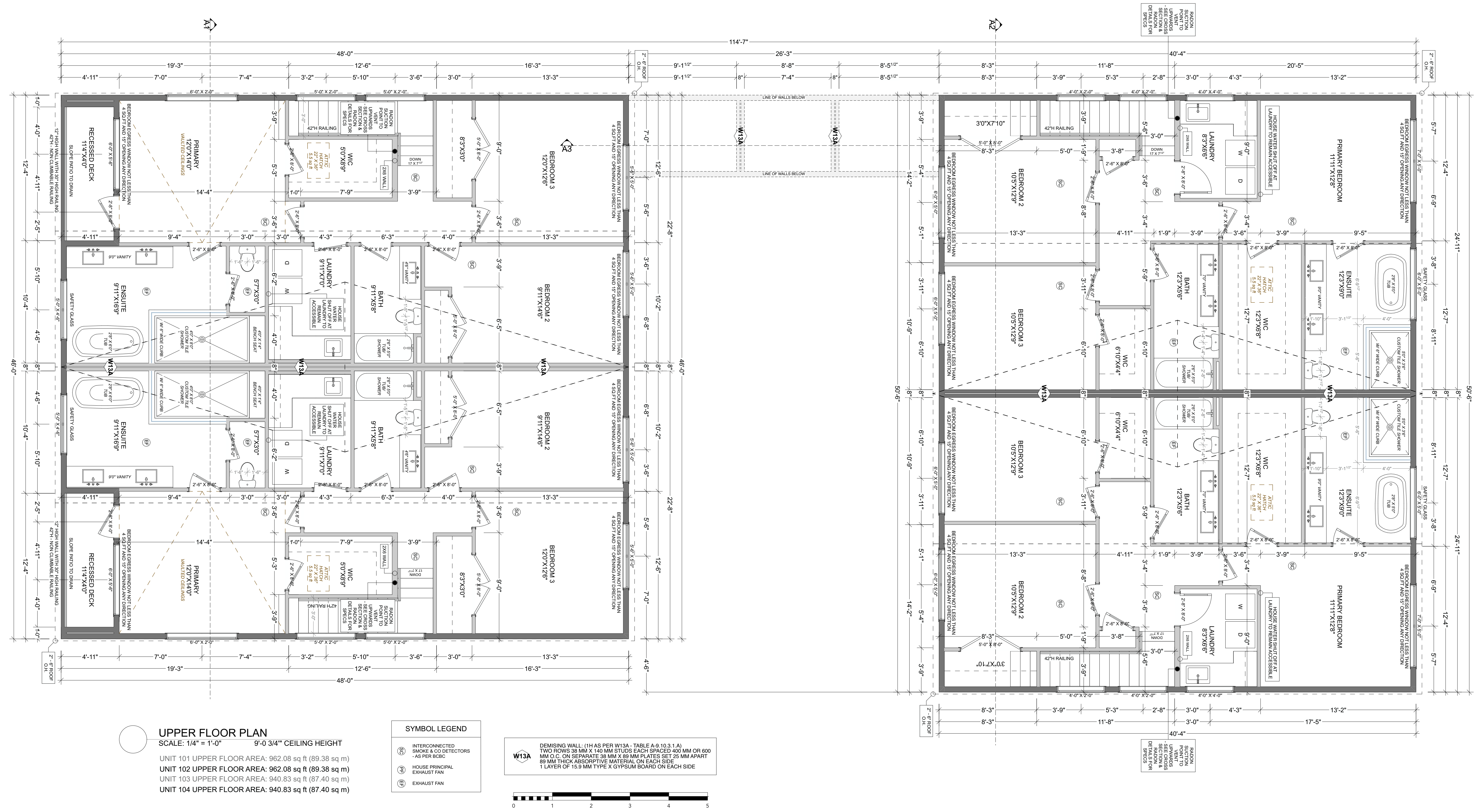
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 UPPER FLOOR PLAN

SCALE
 SEE DRAWINGS

DATE
 April 22, 2026

SHEET NUMBER
 A7 / A11

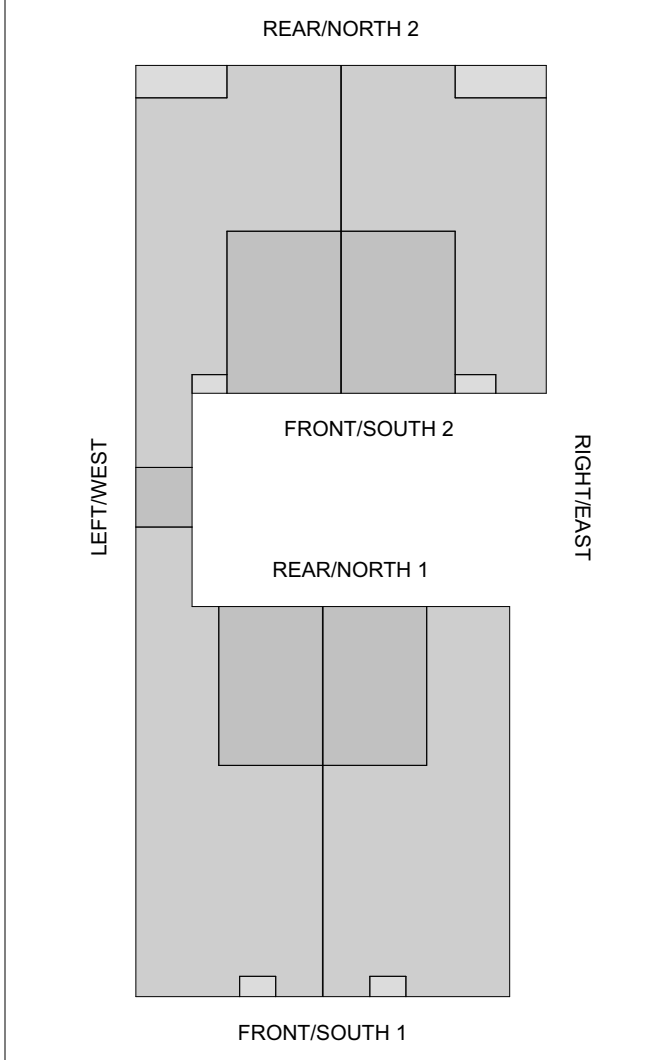


RAJON POINT TO UPWARDS - SEE CROSS SECTION RAJON IN DETAIL SHEET

RAJON POINT TO UPWARDS - SEE CROSS SECTION RAJON IN DETAIL SHEET

FINISH SCHEDULE:

(A) ROOF: ASPHALT ROOFING - RAISED RIDGE & HIP CAPS	
(B) GUTTERS / SOFFITS: ALUMINUM GUTTERS AND SOFFITS - SOFFIT TO BE NON VENTED - FINISH COLOUR AS PER BUILDERS SPECS	
(C) DOWNSPOUTS: ALUMINUM DOWNSPOUTS - FINISH COLOUR AS PER BUILDERS SPECS	
(D) BARGE BOARD: 2X10 WITH 1X4 DOUBLE BARGE BOARD - FINISH COLOUR AS PER BUILDERS SPECS	
(E) CORNER TRIM: 1X2 CORNER BOARDS - FINISH COLOUR AS PER BUILDERS SPECS	
(F) FRONT DOOR / GARAGE DOOR & TRIM: 1X2 TRIM BOARDS - FINISH COLOUR AS PER BUILDERS SPECS	
(G) EXTERIOR WINDOW TRIM: 1X2 TRIM BOARDS - FINISH COLOUR AS PER BUILDERS SPECS	
(H) EXTERIOR CLADDING: HARDIE SHINGLE SIDING - FINISH COLOUR AS PER BUILDERS SPECS	
(I) EXTERIOR CLADDING: HARDIE BOARD SIDING - 1X2 BATTENS - FINISH COLOUR AS PER BUILDERS SPECS	
(J) EXTERIOR CLADDING: METAL PANEL SIDING - FINISH COLOUR AS PER BUILDERS SPECS	
(K) EXTERIOR CLADDING: WOOD LOOK HARDIE BOARD SIDING - FINISH COLOUR AS PER BUILDERS SPECS	
(L) SCUPPER DECK DRAIN: - FINISH COLOUR AS PER BUILDERS SPECS	
(M) RAILINGS: ALUMINUM RAILINGS 42" HIGH NON CLIMBABLE	



PROJECT ADDRESS
LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE
ELEVATIONS & FINISH SCHEDULE

SCALE
SEE DRAWINGS

DATE
April 22, 2026

SHEET NUMBER
A8 / A11



FRONT/SOUTH 1 ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5

HIGHEST ROOF POINT:
130'-6" (16.18M GEO.)

HIGHEST ROOF MID POINT:
125'-3" (16.57M GEO.)

HIGHEST EAVE:
119'-11" (14.96M GEO.)

UPPER FLOOR CEILING:
119'-6" (14.82M GEO.)

UPPER FLOOR:
110'-5" (12.05M GEO.)

MAIN FLOOR CEILING:
109'-1" (11.84M GEO.)

MAIN FLOOR:
100'-0" (8.87M GEO.)

FIN. GRADE: 99'-8" (8.72M GEO.)

AVG. GRADE:
98'-11" (8.56M GEO.)



REAR/NORTH 1 ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5

LIMITING DISTANCE:
4.00 M (13.12 FT)

EXPOSING BUILDING FACE:
22.99 M (243.16 FT)

PROPOSED OPENINGS:
20.14% = 4.55 M (14.93 FT)

ALLOWABLE OPENINGS:
25.00% = 5.64 M (18.50 FT)

LIMITING DISTANCE:
4.00 M (13.12 FT)

EXPOSING BUILDING FACE:
22.99 M (243.16 FT)

PROPOSED OPENINGS:
20.14% = 4.55 M (14.93 FT)

ALLOWABLE OPENINGS:
25.00% = 5.64 M (18.50 FT)



REAR/NORTH 2 ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5

LIMITING DISTANCE:
4.00 M (13.12 FT)

EXPOSING BUILDING FACE:
24.79 M (266.93 FT)

PROPOSED OPENINGS:
20.12% = 4.99 M (16.38 FT)

ALLOWABLE OPENINGS:
25.00% = 6.19 M (20.29 FT)



FRONT/SOUTH 2 ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5

LIMITING DISTANCE:
4.00 M (13.12 FT)

EXPOSING BUILDING FACE:
24.79 M (266.93 FT)

PROPOSED OPENINGS:
20.12% = 4.99 M (16.38 FT)

ALLOWABLE OPENINGS:
25.00% = 6.19 M (20.29 FT)

LIMITING DISTANCE:
4.00 M (13.12 FT)

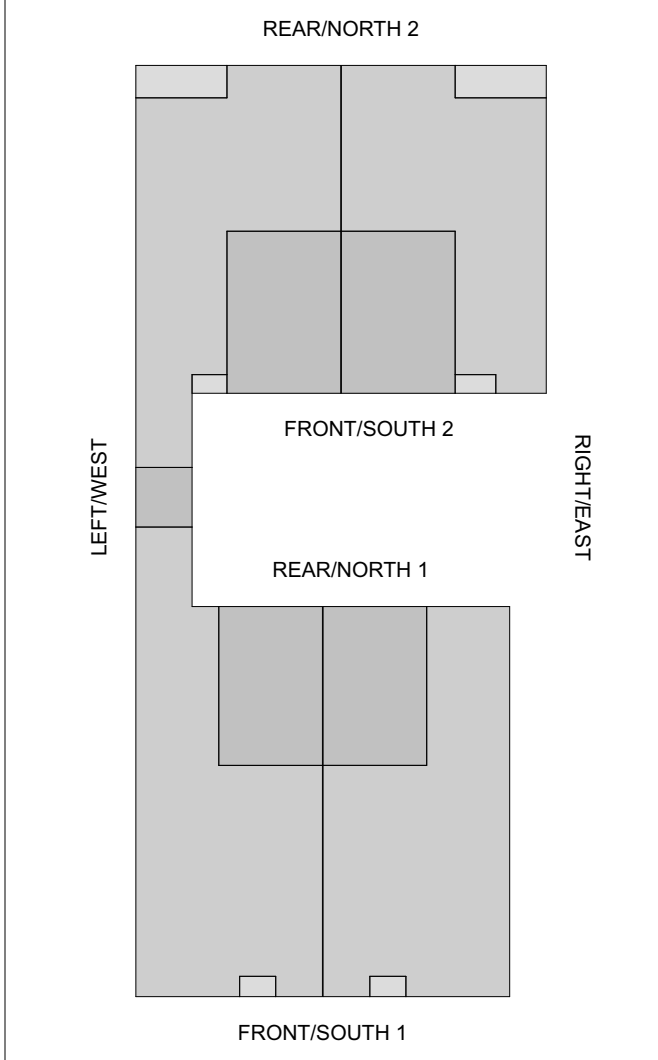
EXPOSING BUILDING FACE:
24.79 M (266.93 FT)

PROPOSED OPENINGS:
20.12% = 4.99 M (16.38 FT)

ALLOWABLE OPENINGS:
25.00% = 6.19 M (20.29 FT)

FINISH SCHEDULE:

A	ROOF: ASPHALT ROOFING - RAISED RIDGE & HIP CAPS
B	GUTTERS / SOFFITS: ALUMINUM GUTTERS AND SOFFITS - SOFFIT TO BE NON VENTED - FINISH COLOUR AS PER BUILDERS SPECS
C	DOWNSPOUTS: ALUMINUM DOWNSPOUTS - FINISH COLOUR AS PER BUILDERS SPECS
D	BARGE BOARD: 2X10 WITH 1X4 DOUBLE BARGE BOARD - FINISH COLOUR AS PER BUILDERS SPECS
E	CORNER TRIM: 1X2 CORNER BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
F	FRONT DOOR / GARAGE DOOR & TRIM: 1X2 TRIM BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
G	EXTERIOR WINDOW TRIM: 1X2 TRIM BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
H	EXTERIOR CLADDING: HARDIE SHINGLE SIDING - FINISH COLOUR AS PER BUILDERS SPECS
I	EXTERIOR CLADDING: HARDIE BOARD SIDING - 1X2 BATTENS - FINISH COLOUR AS PER BUILDERS SPECS
J	EXTERIOR CLADDING: METAL PANEL SIDING - FINISH COLOUR AS PER BUILDERS SPECS
K	EXTERIOR CLADDING: WOOD LOOK HARDIE BOARD SIDING - FINISH COLOUR AS PER BUILDERS SPECS
L	SCUPPER DECK DRAIN: - FINISH COLOUR AS PER BUILDERS SPECS
M	RAILINGS: ALUMINUM RAILINGS 42" HIGH NON CLIMBABLE



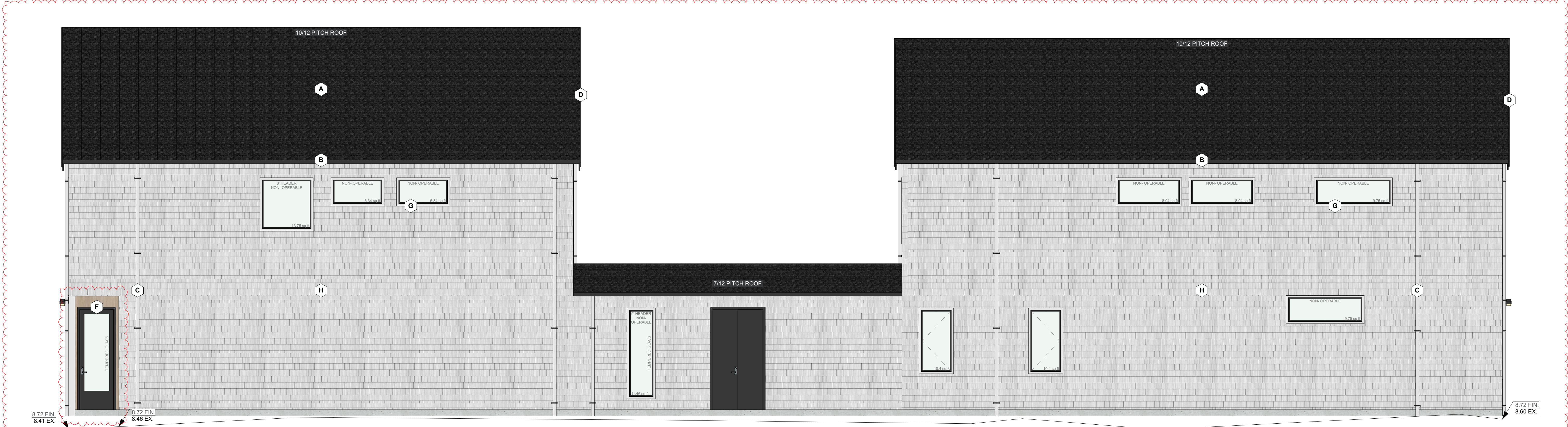
PROJECT ADDRESS
LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE
ELEVATIONS & FINISH SCHEDULE

SCALE
SEE DRAWINGS

DATE
April 22, 2026

SHEET NUMBER
A9 / A11



LEFT/WEST ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5

LIMITING DISTANCE: 1.65 M (5.41 FT)
EXPOSING BUILDING FACE: 185.69 M² (1,998.76 FT²)
PROPOSED OPENINGS: 4.71% = 8.75 M² (94.27 FT²)
ALLOWABLE OPENINGS: 7.30% = 13.60 M² (146.38 FT²)



RIGHT/EAST ELEVATION
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5

LIMITING DISTANCE: 4.50 M (14.76 FT)
EXPOSING BUILDING FACE: 89.88 M² (967.50 FT²)
PROPOSED OPENINGS: 4.99% = 4.49 M² (48.33 FT²)
ALLOWABLE OPENINGS: 24.70% = 22.20 M² (238.95 FT²)

LIMITING DISTANCE: 3.13 M (10.26 FT)
EXPOSING BUILDING FACE: 71.98 M² (774.84 FT²)
PROPOSED OPENINGS: 5.73% = 4.13 M² (44.56 FT²)
ALLOWABLE OPENINGS: 17.50% = 12.60 M² (135.62 FT²)

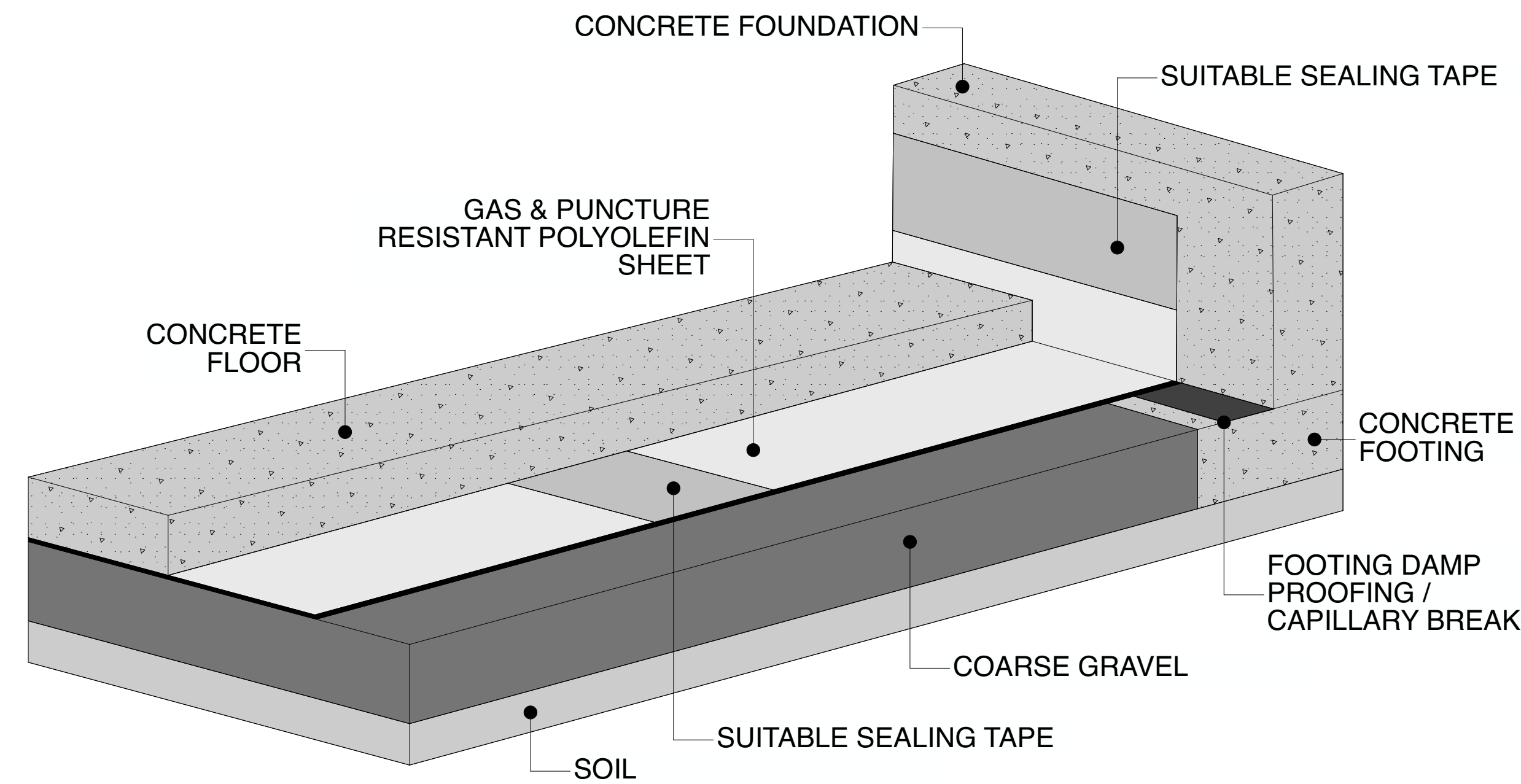


FIGURE 7.1.4.5.5 - SEALING SUB-SLAB MEMBRANE VERTICALLY TO CONCRETE FOUNDATION WALL

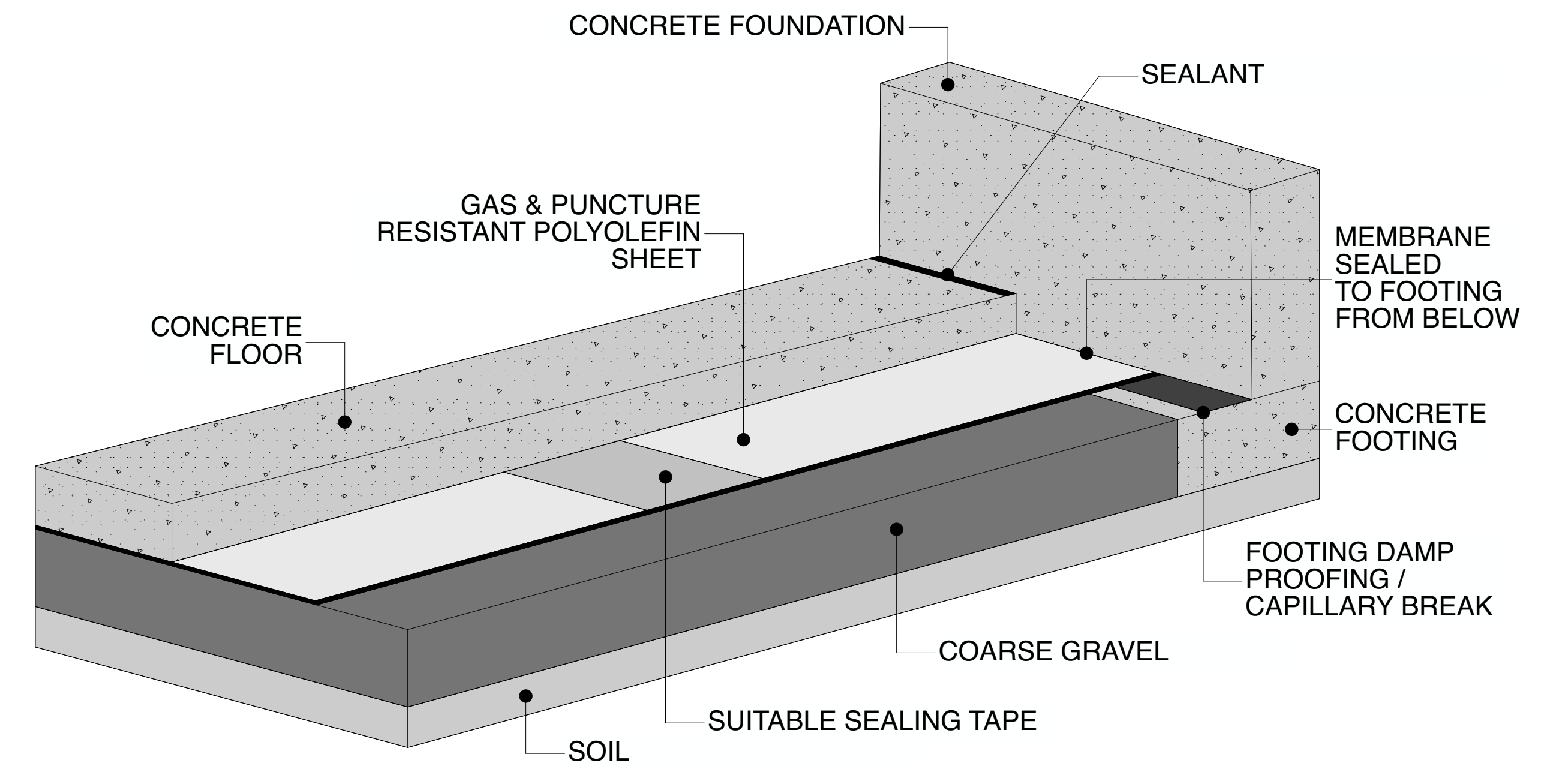


FIGURE 7.1.4.5.6 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING PRIOR TO SLAB POUR AND OF THE SLAB/WALL EXPANSION JOINT AFTER THE SLAB POUR

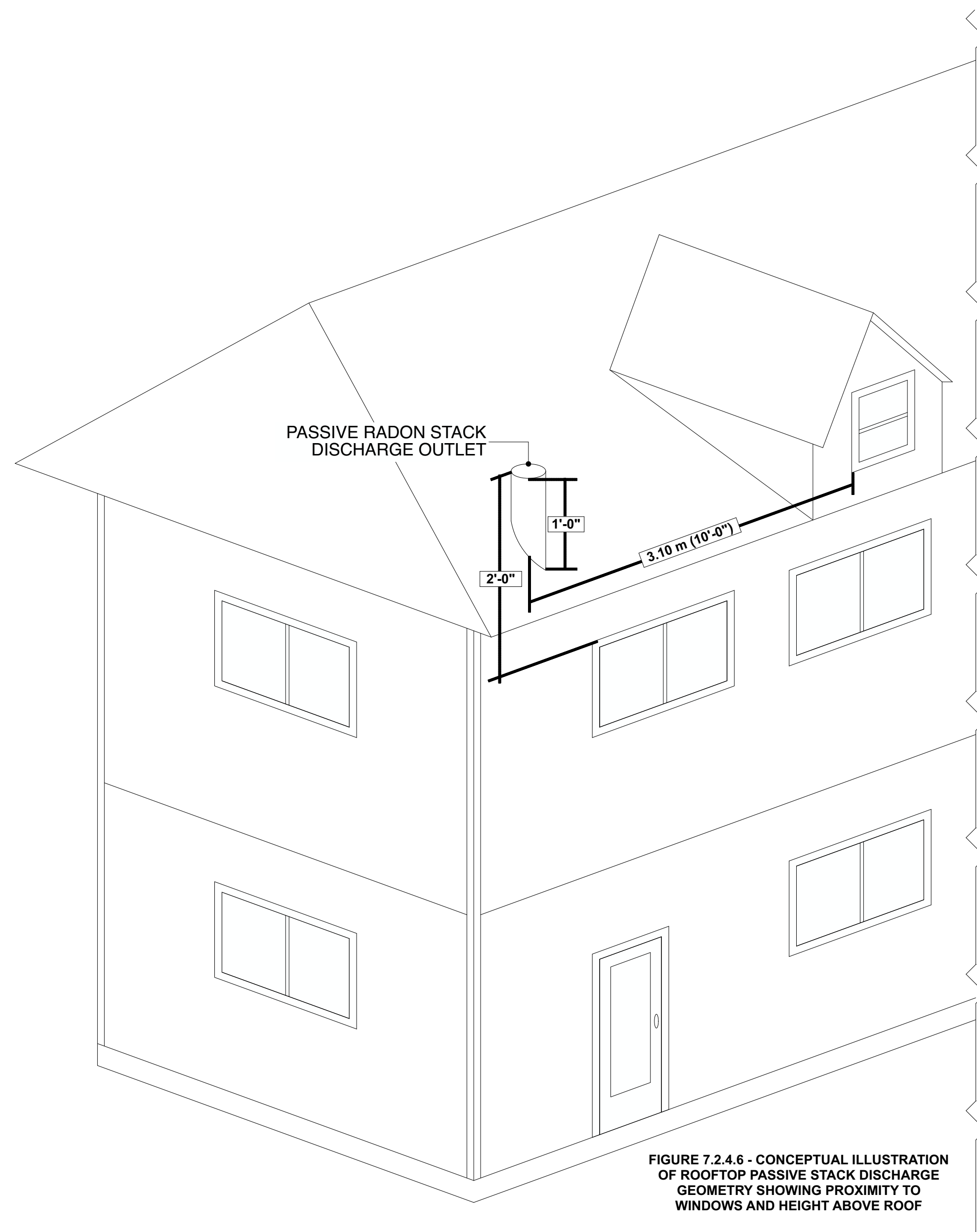


FIGURE 7.2.4.6 - CONCEPTUAL ILLUSTRATION OF ROOFTOP PASSIVE STACK DISCHARGE GEOMETRY SHOWING PROXIMITY TO WINDOWS AND HEIGHT ABOVE ROOF

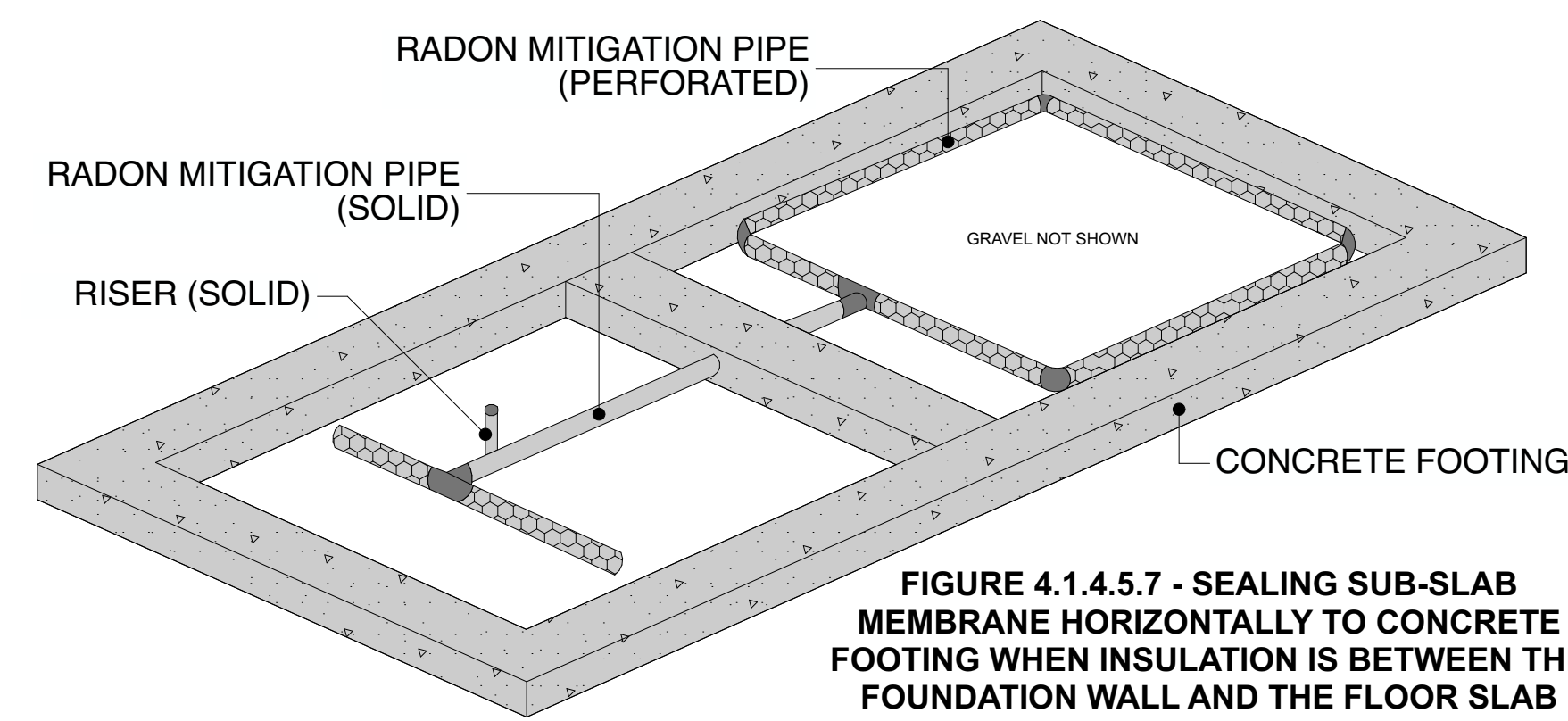


FIGURE 4.1.4.5.7 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND THE FLOOR SLAB

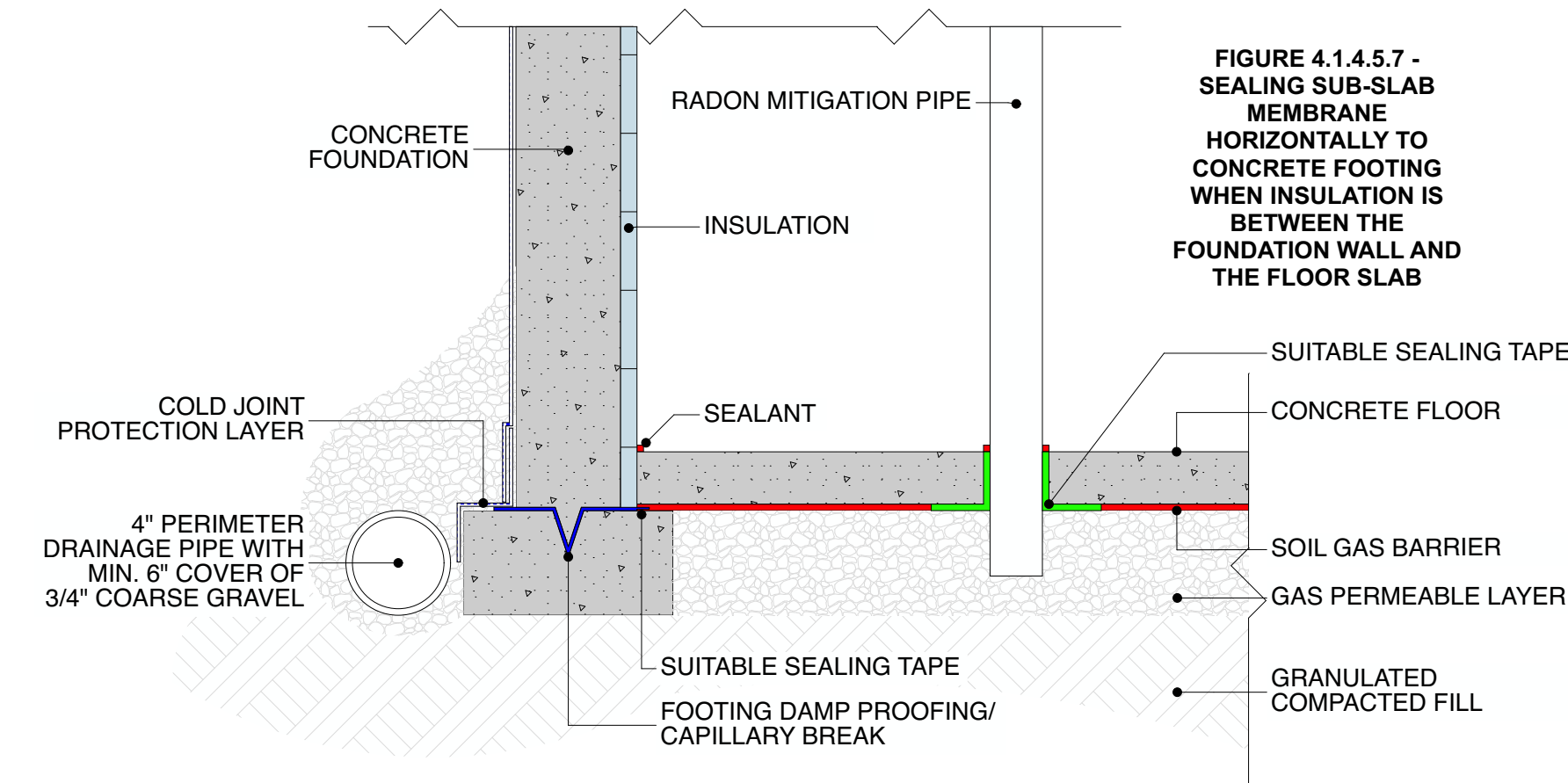


FIGURE 4.1.4.5.7 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND THE FLOOR SLAB

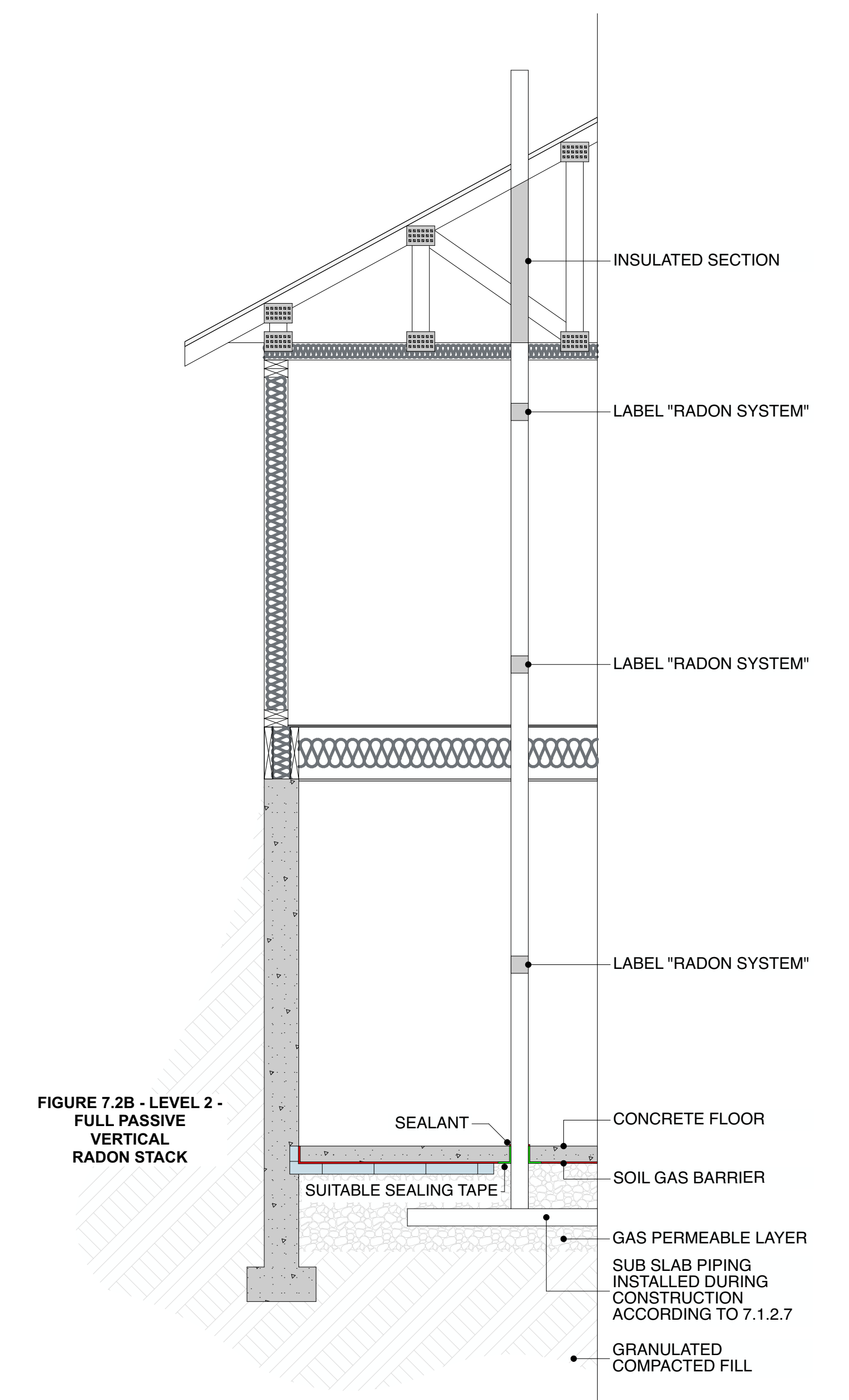


FIGURE 7.2B - LEVEL 2 - FULL PASSIVE VERTICAL RADON STACK

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

RADON DETAILS

SCALE

SEE DRAWINGS

DATE

April 22, 2026

SHEET NUMBER

A10 / A11

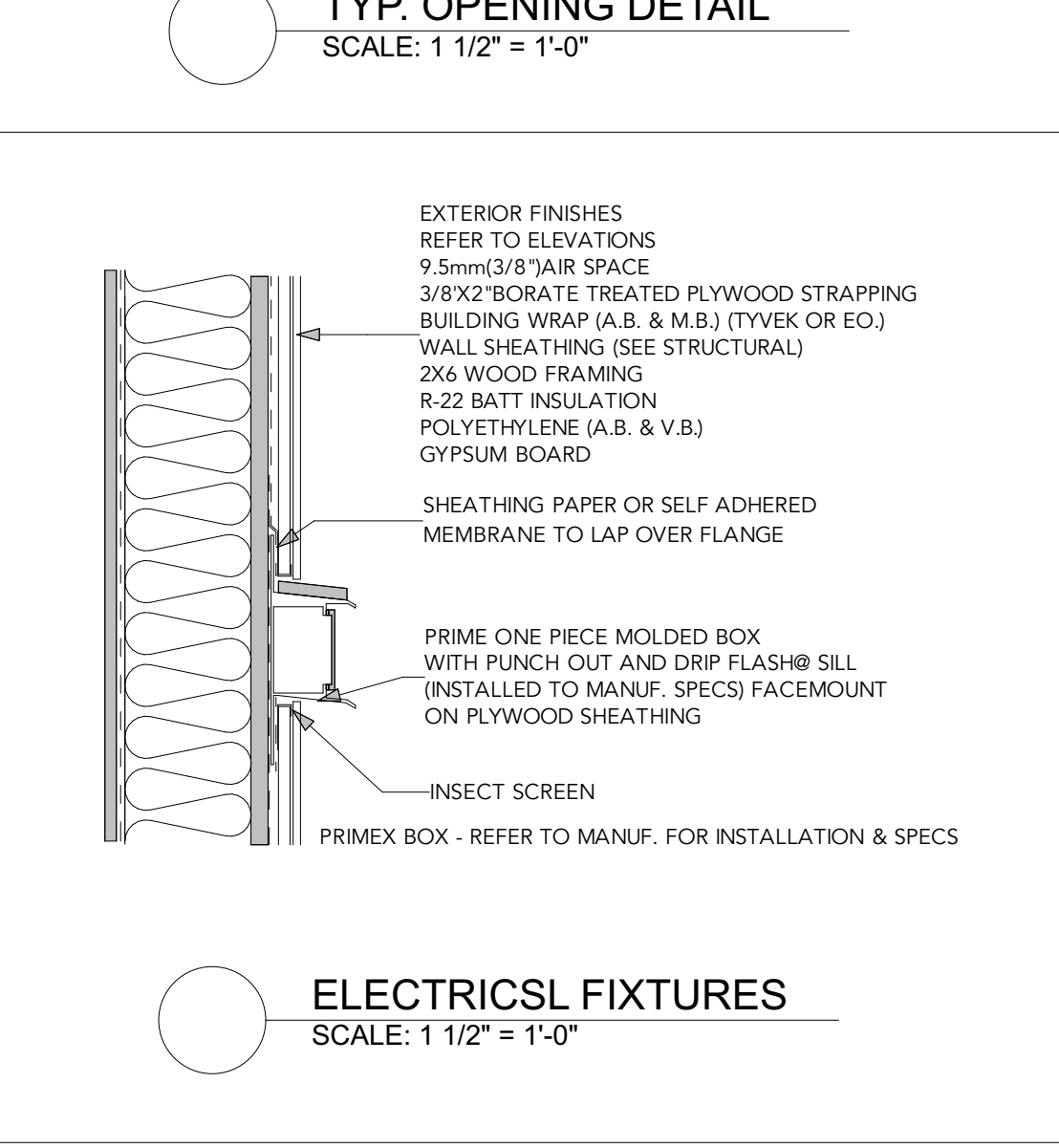
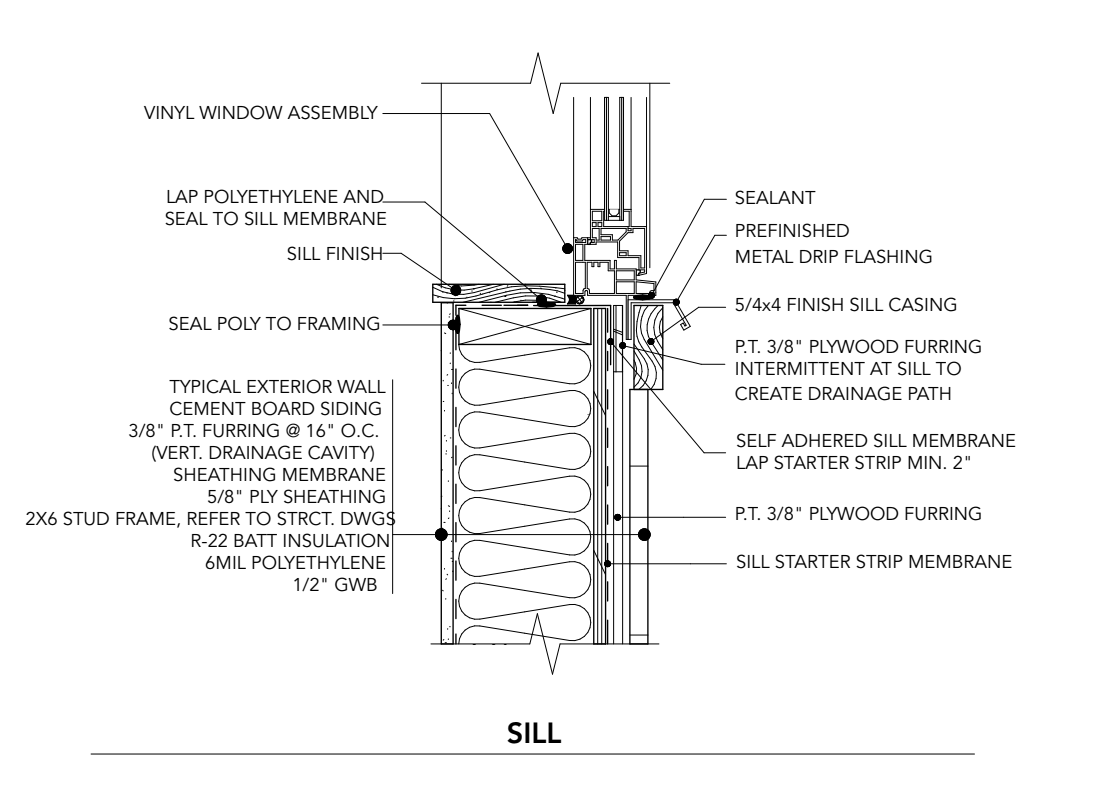
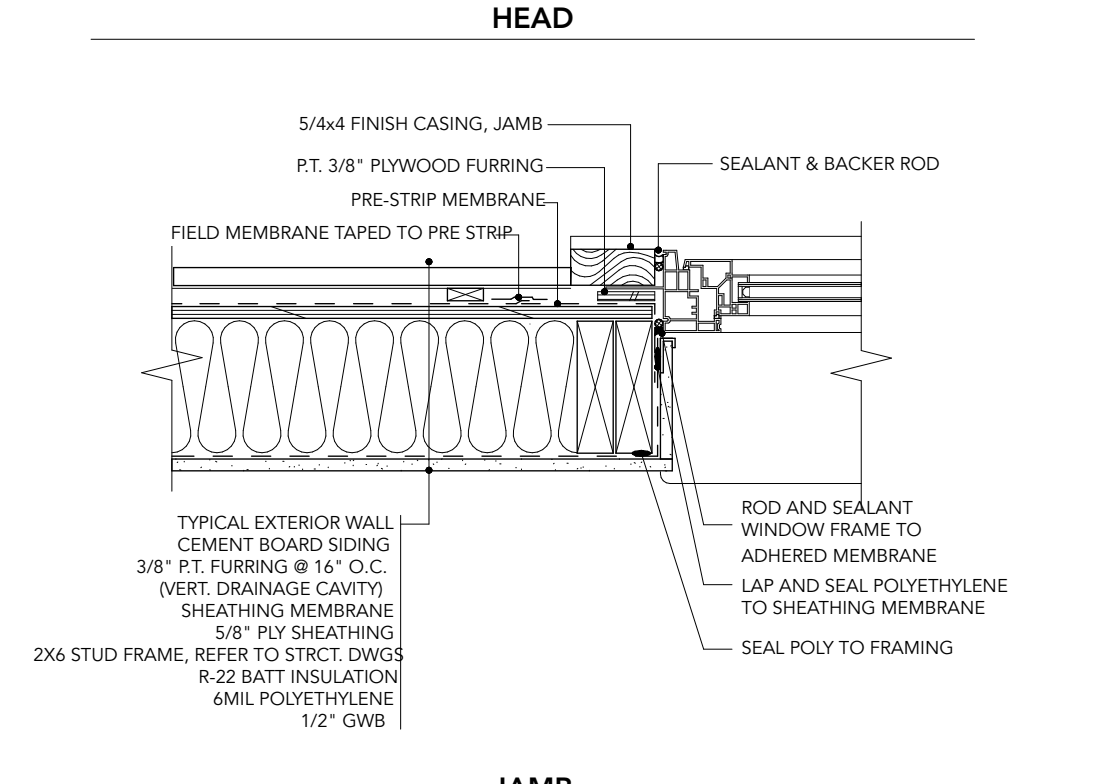
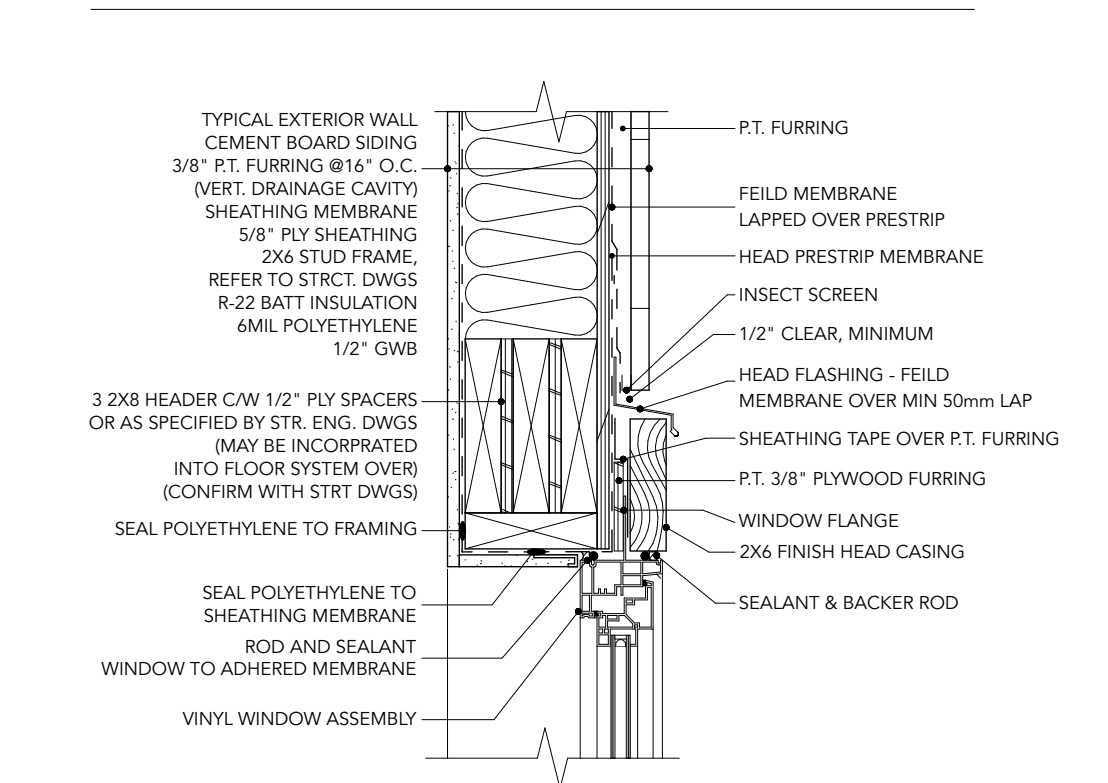
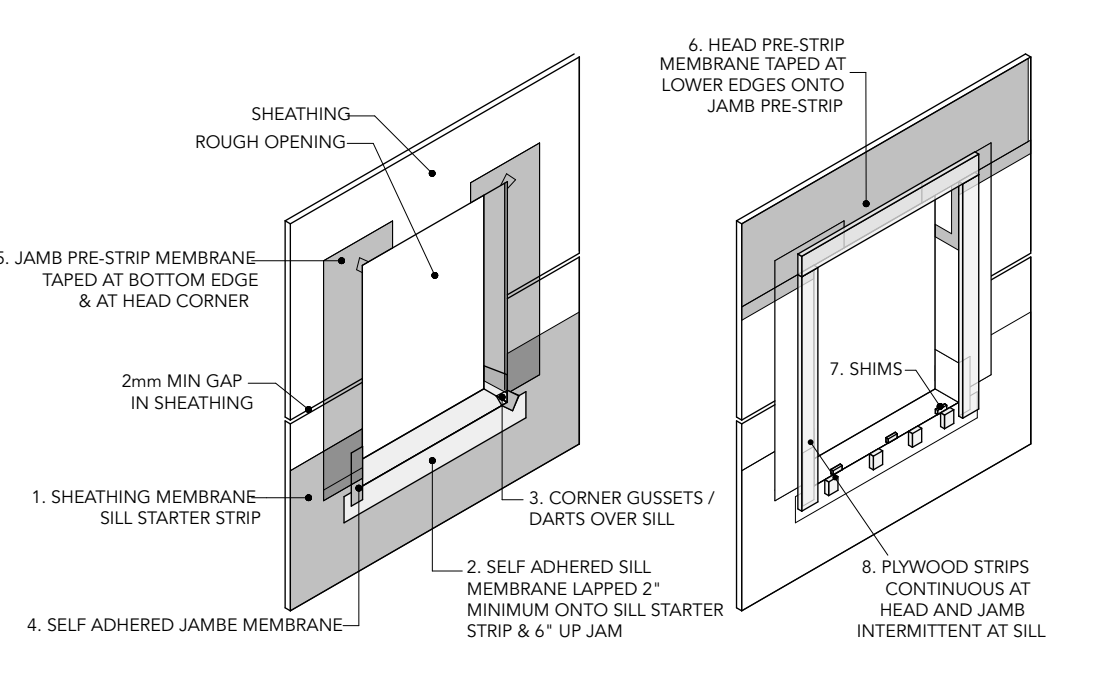
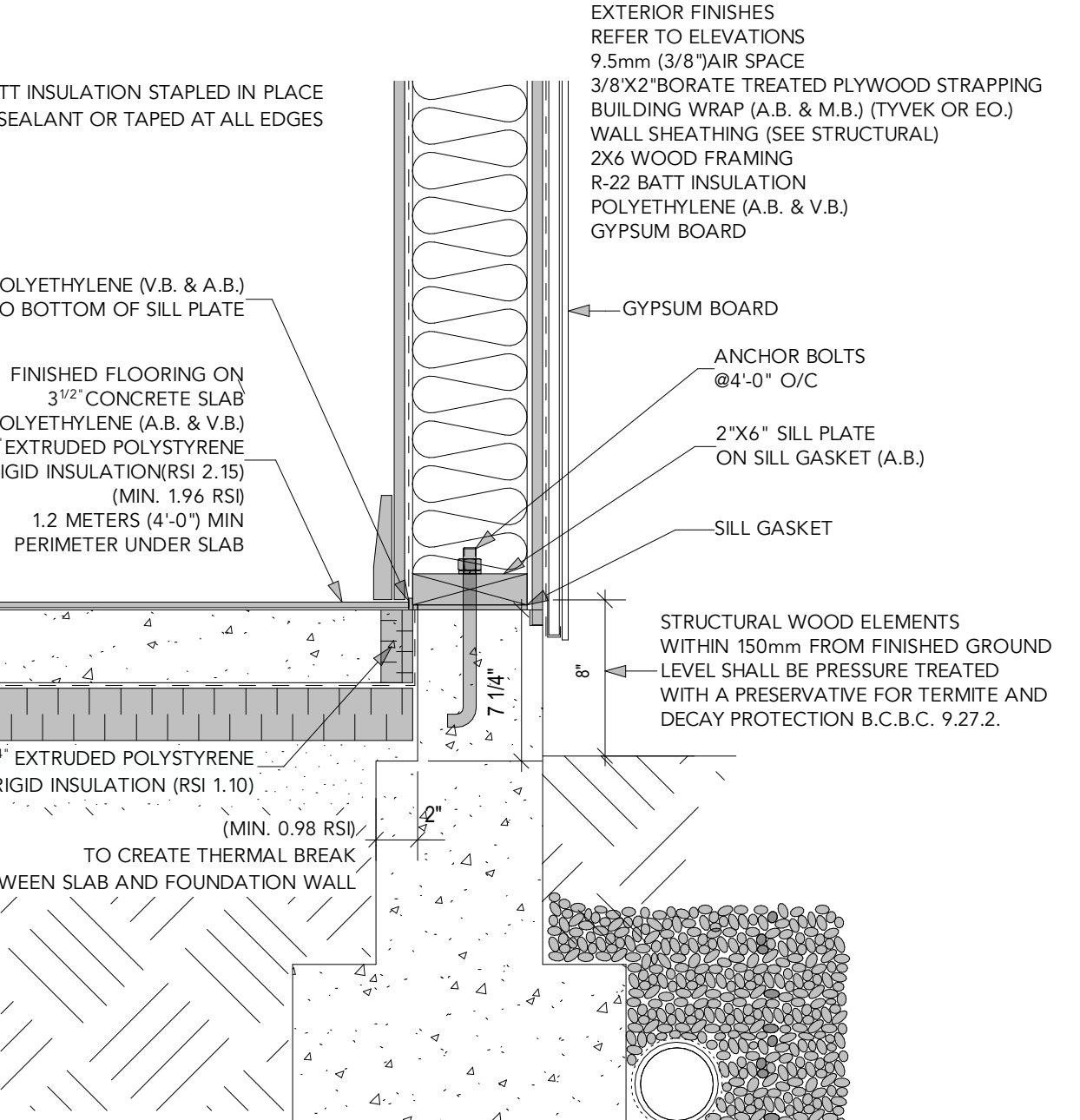
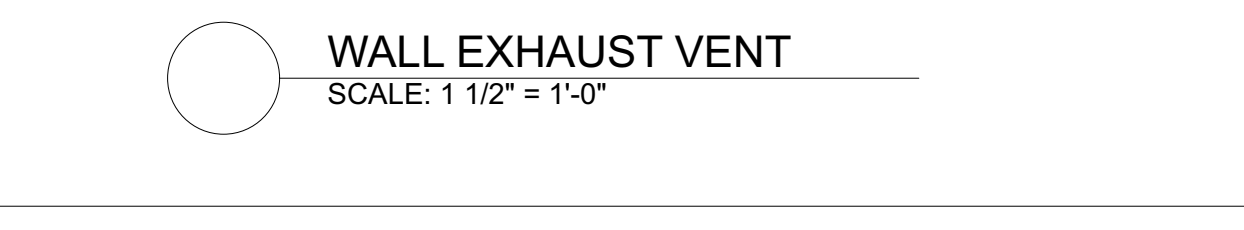
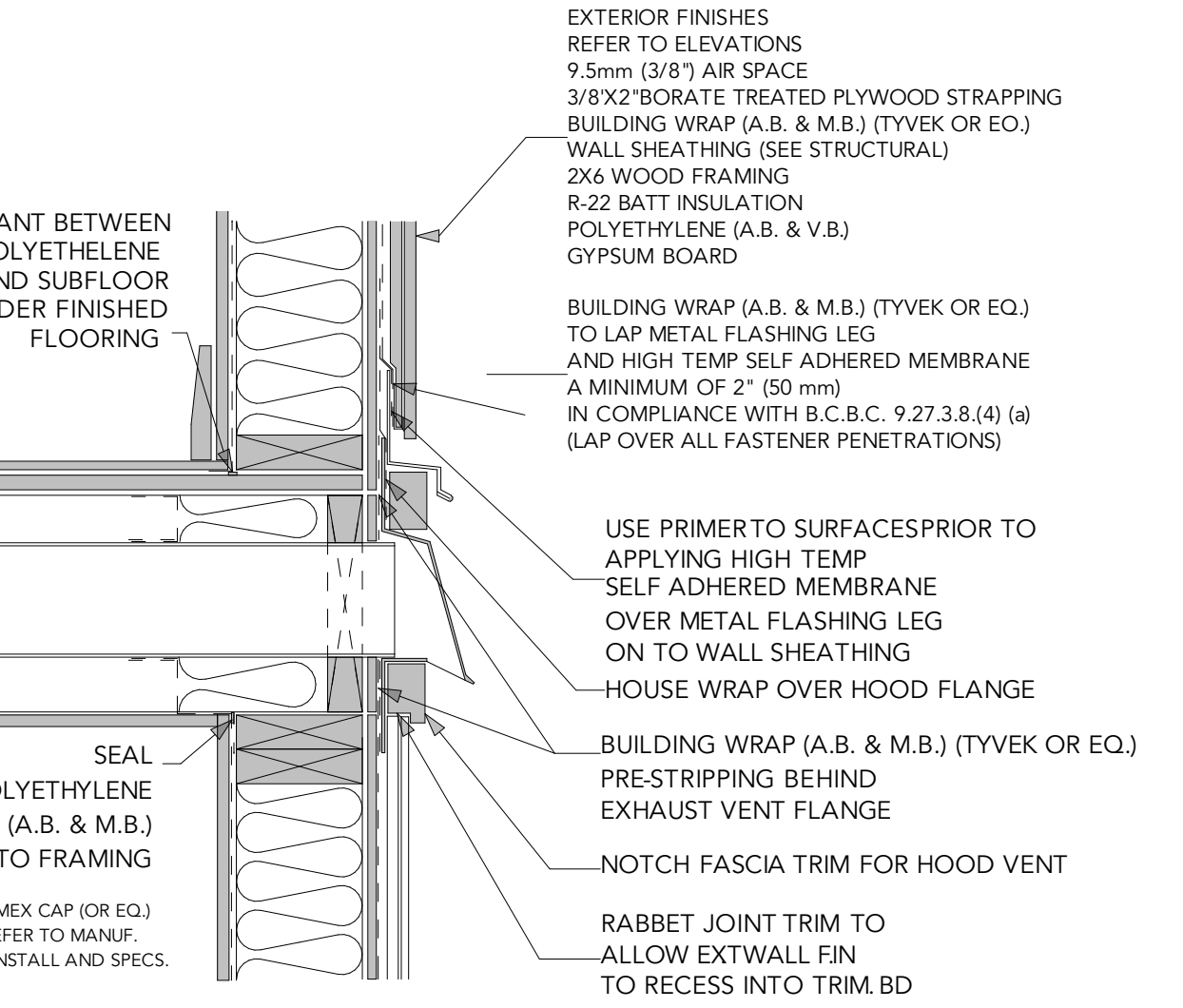
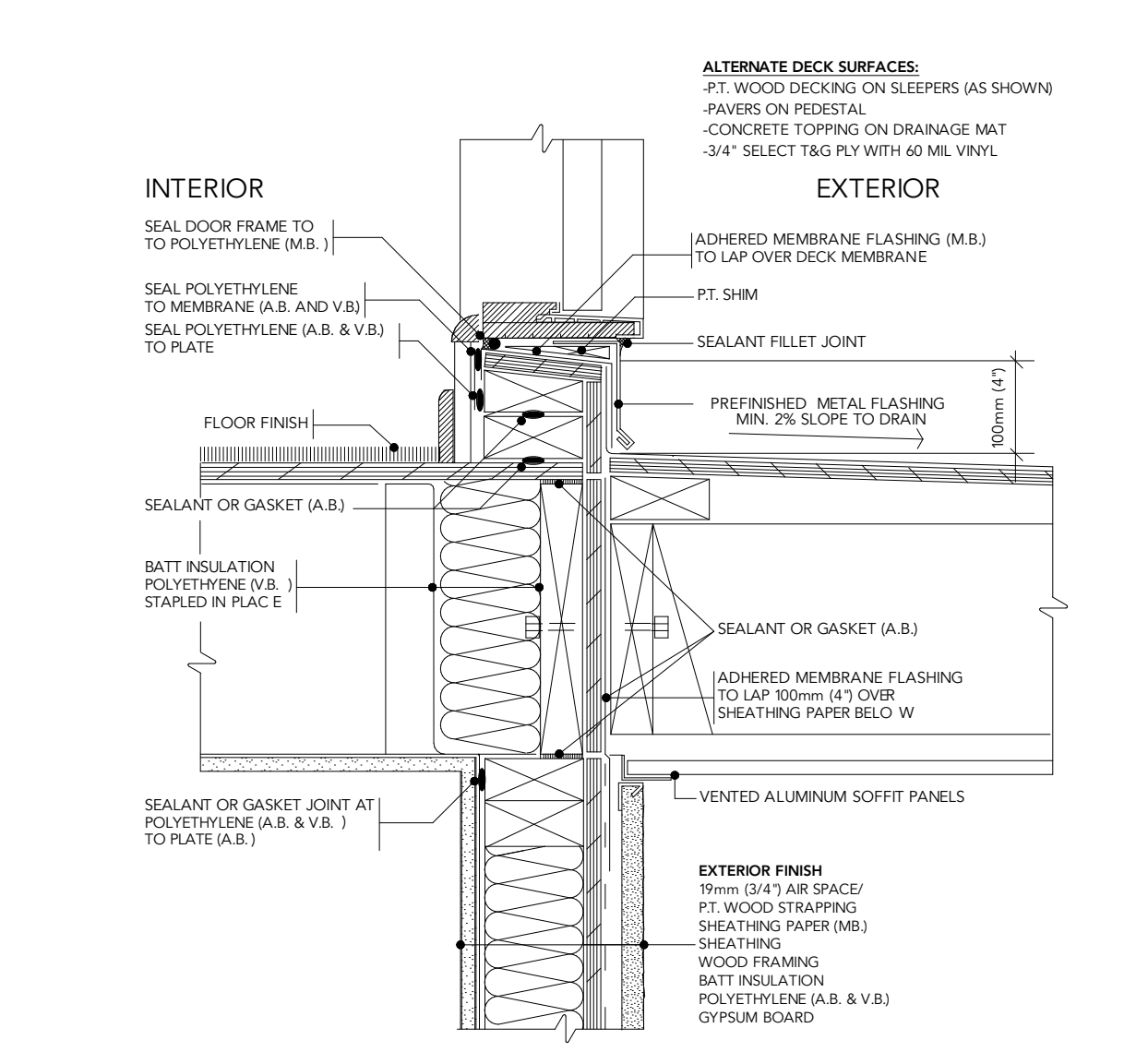
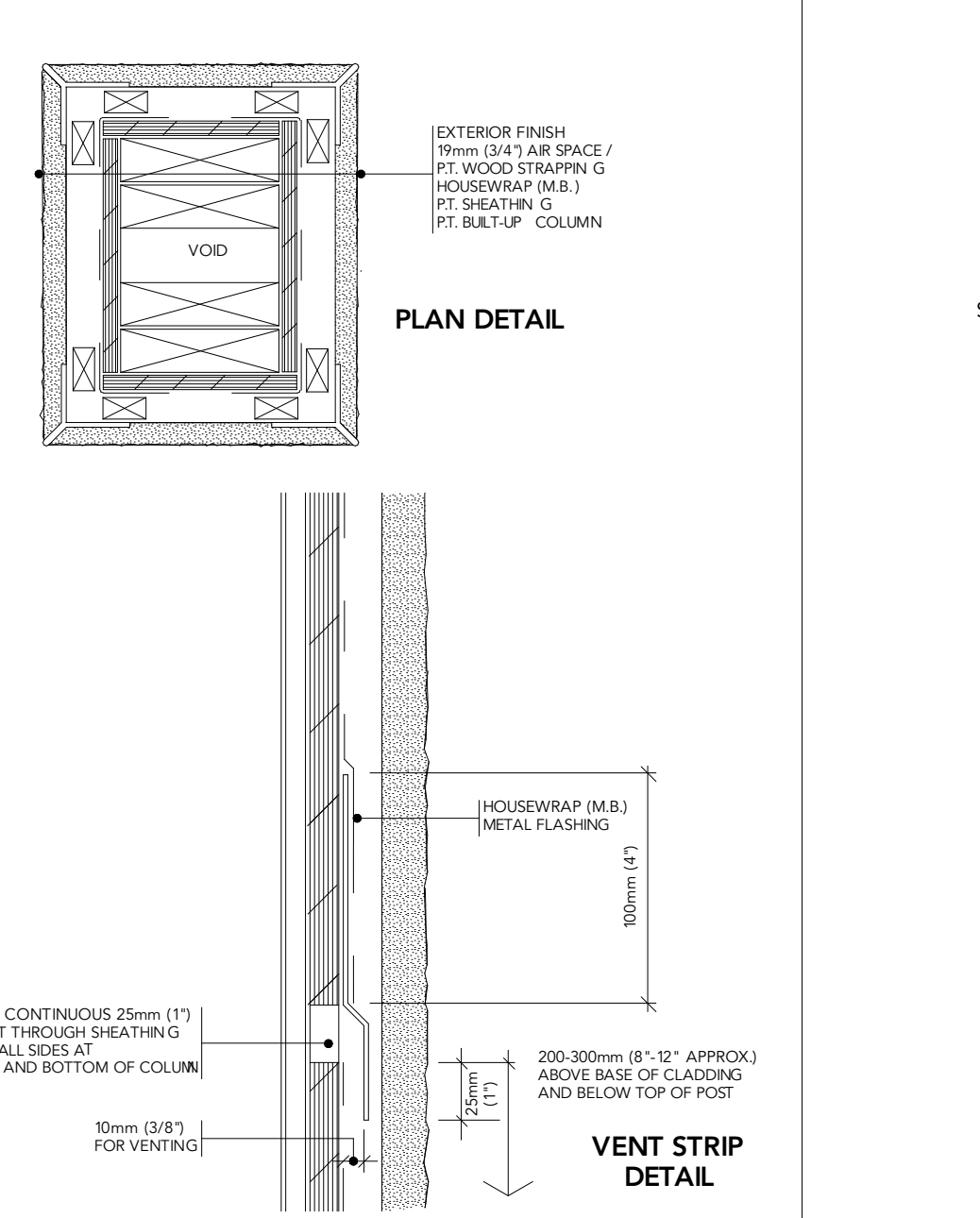
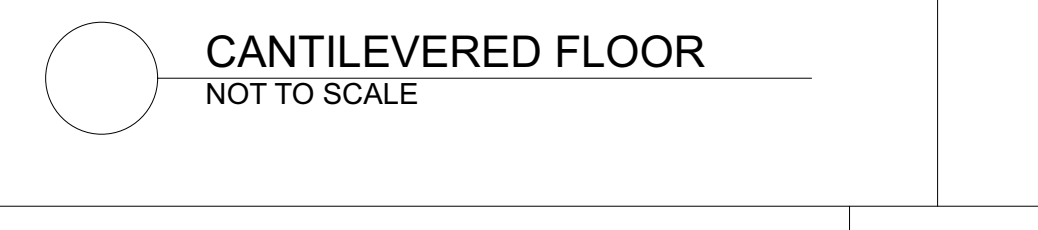
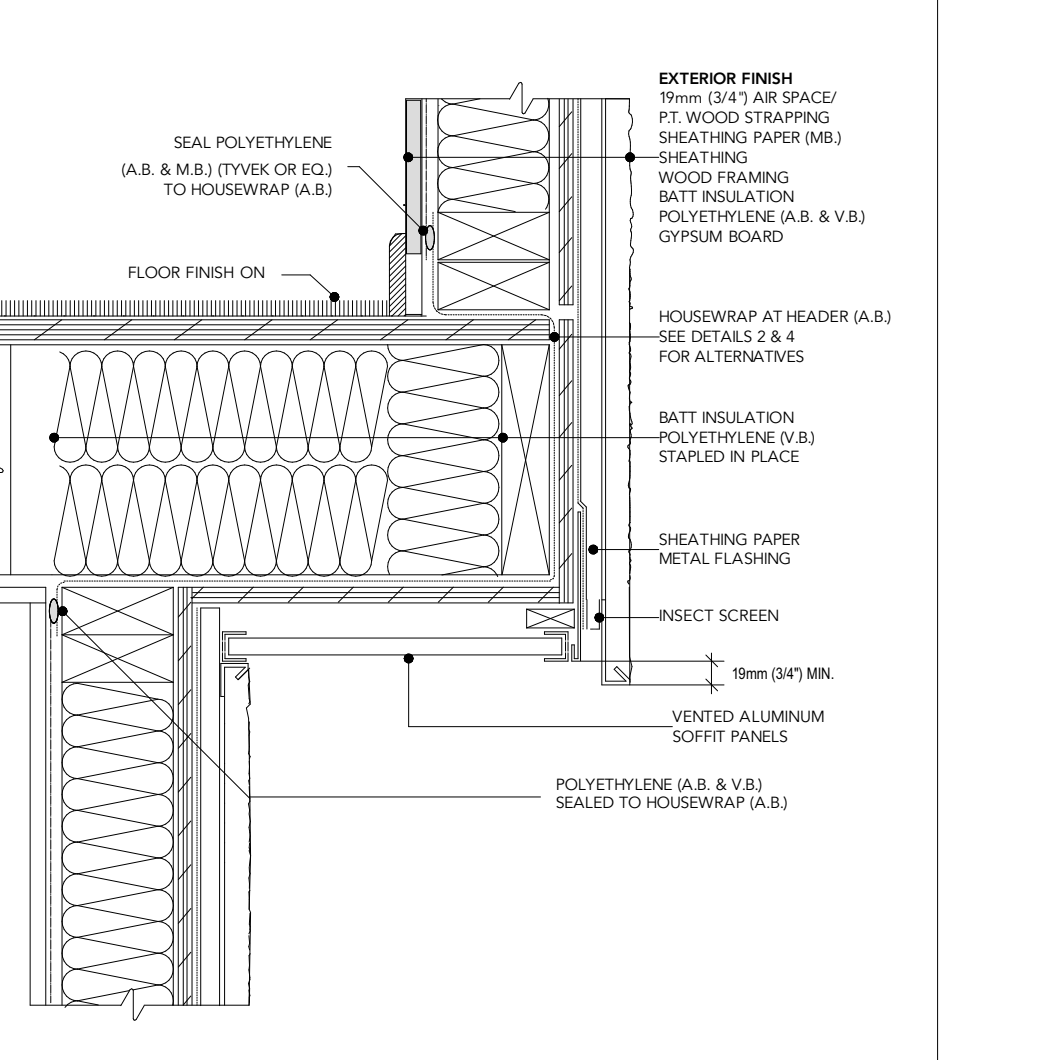
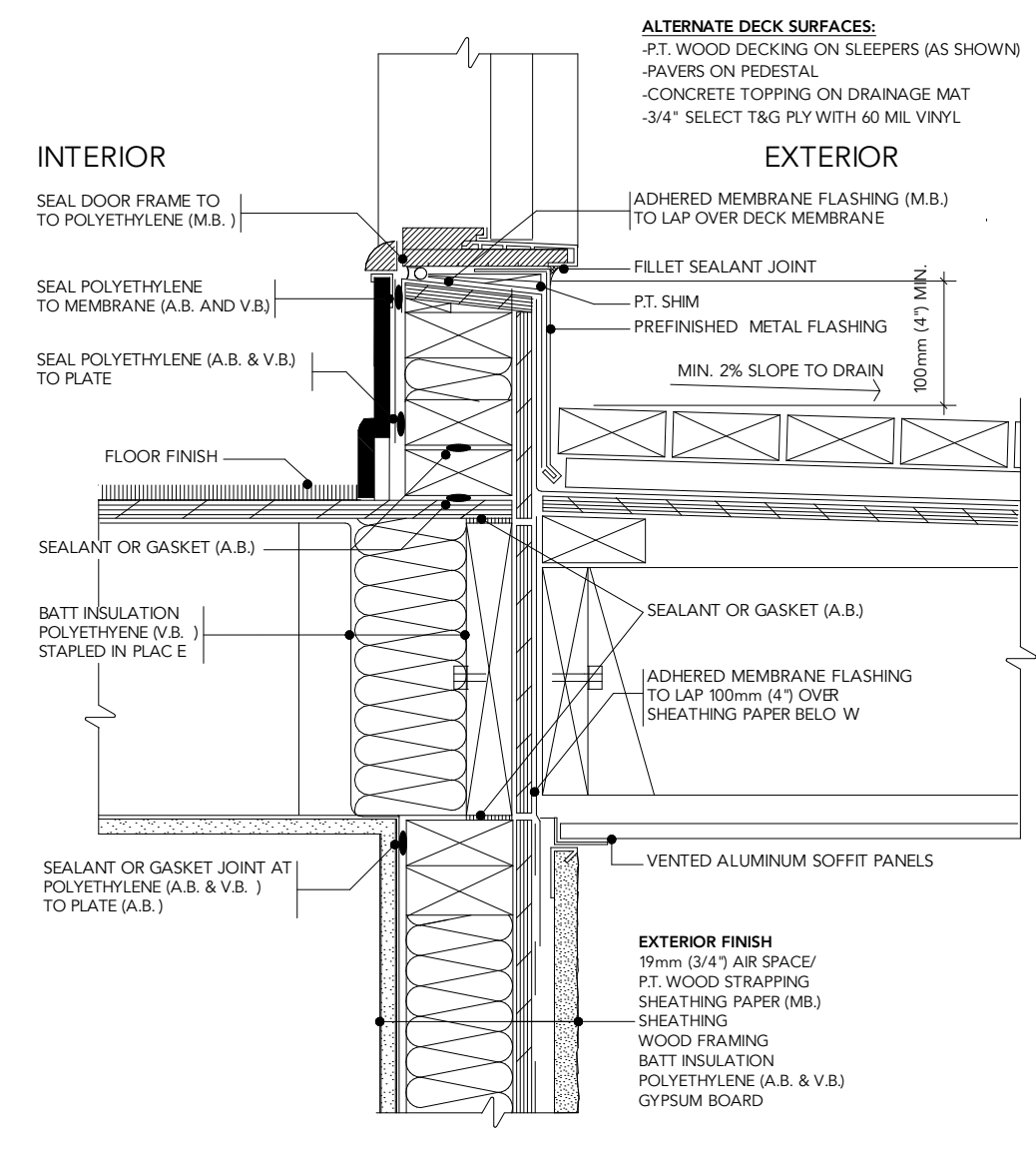
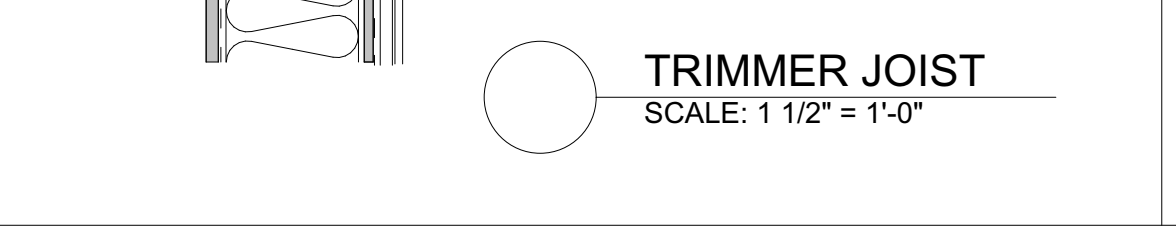
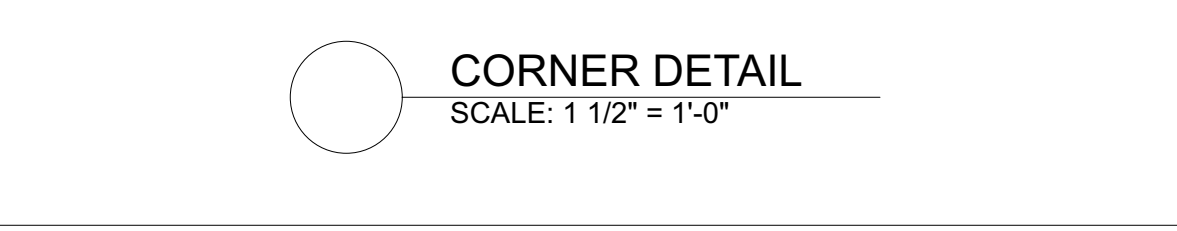
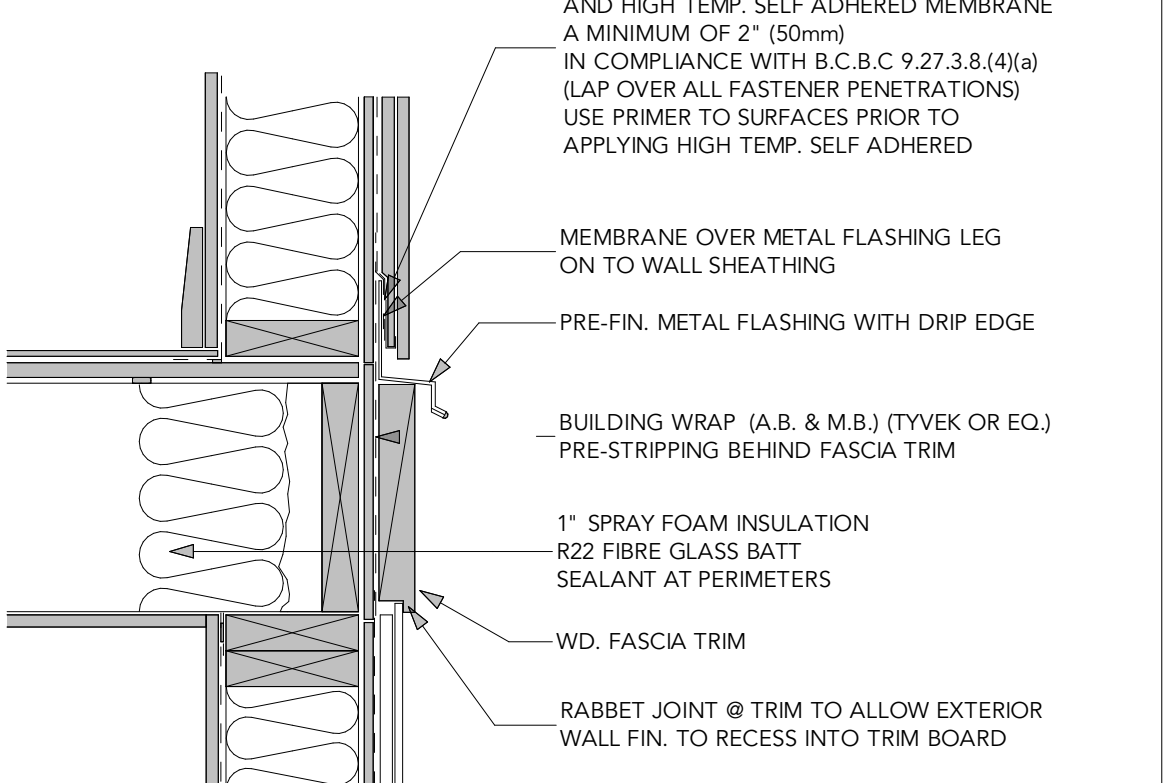
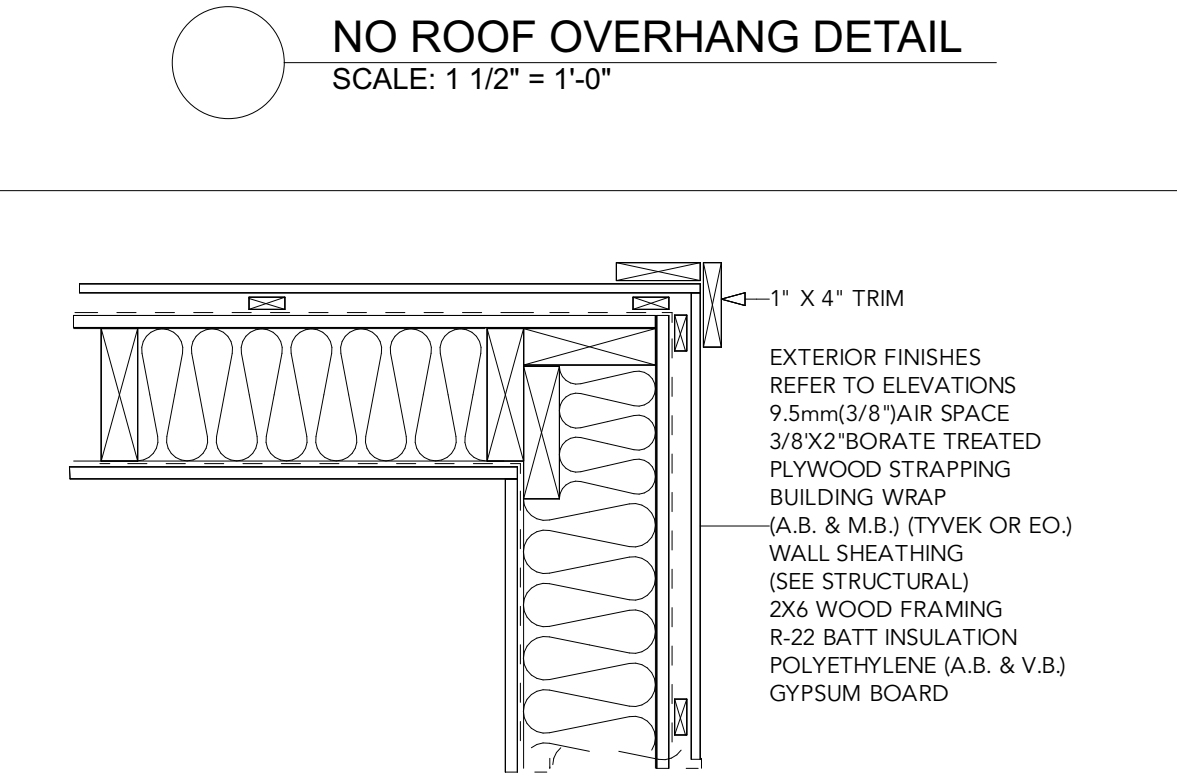
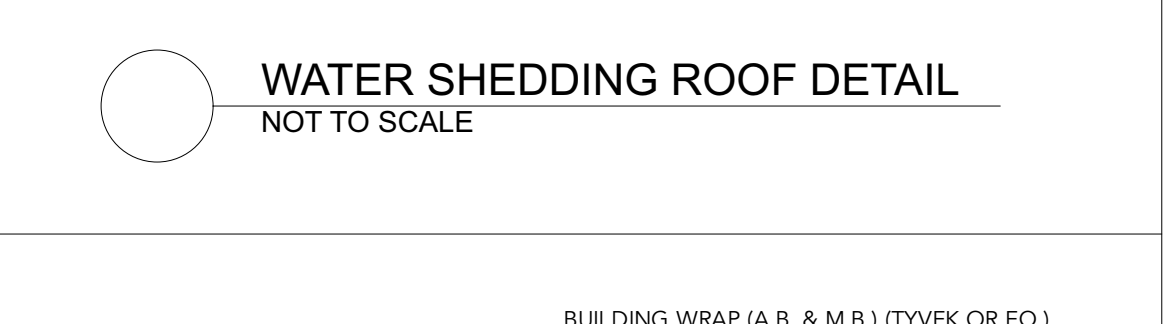
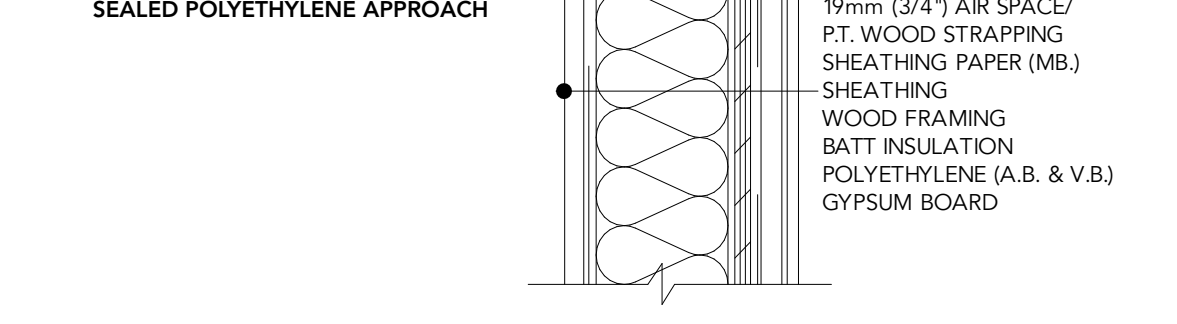
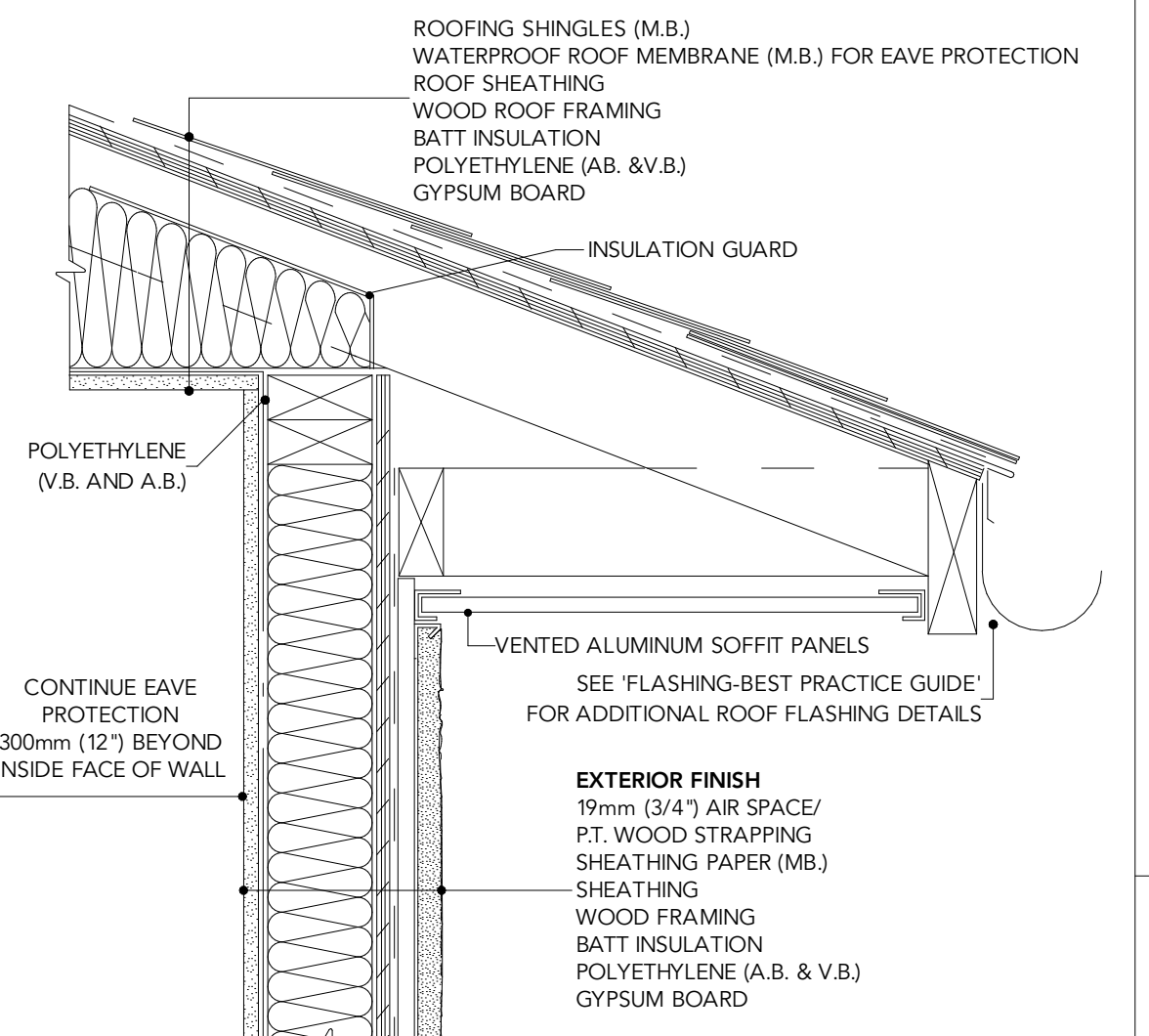
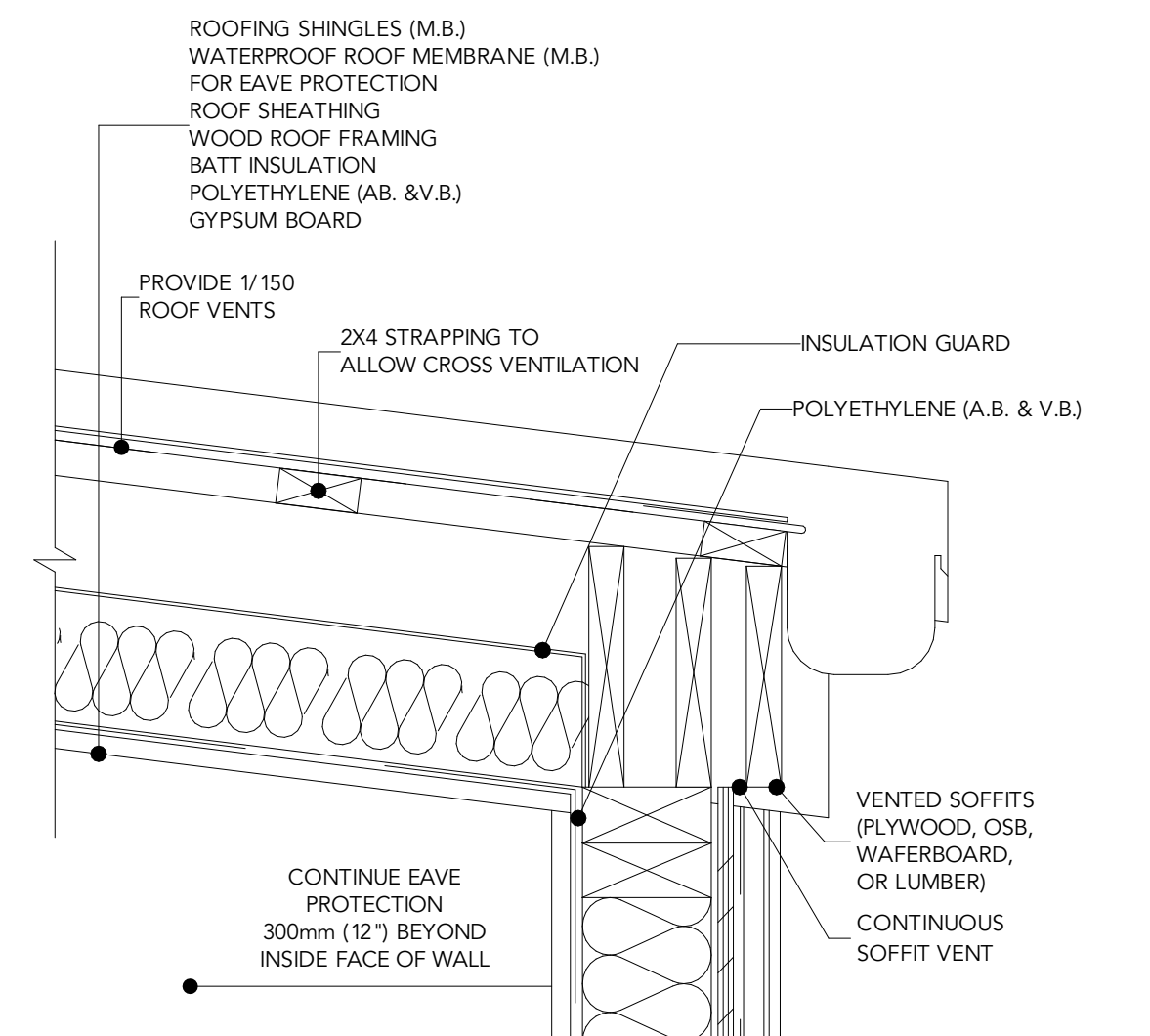
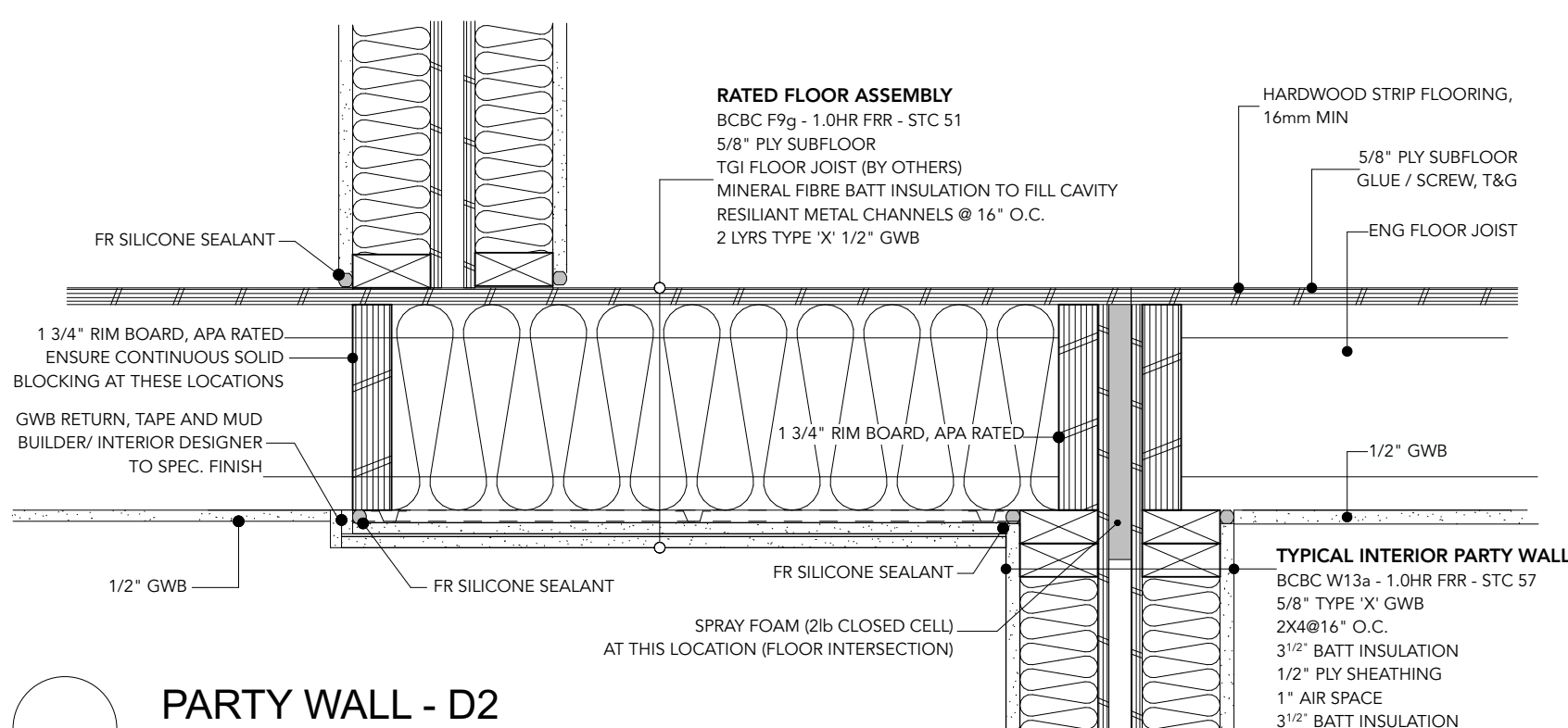
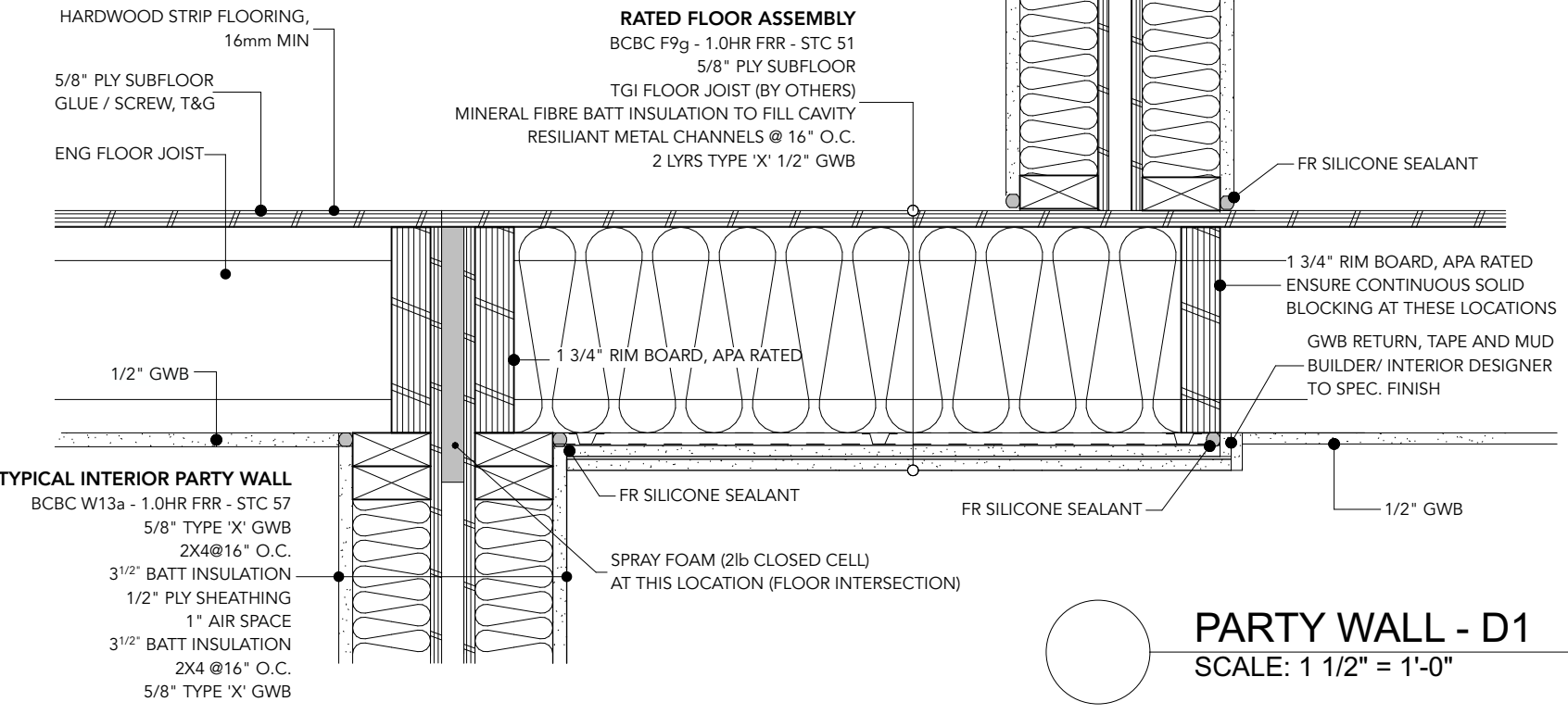
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

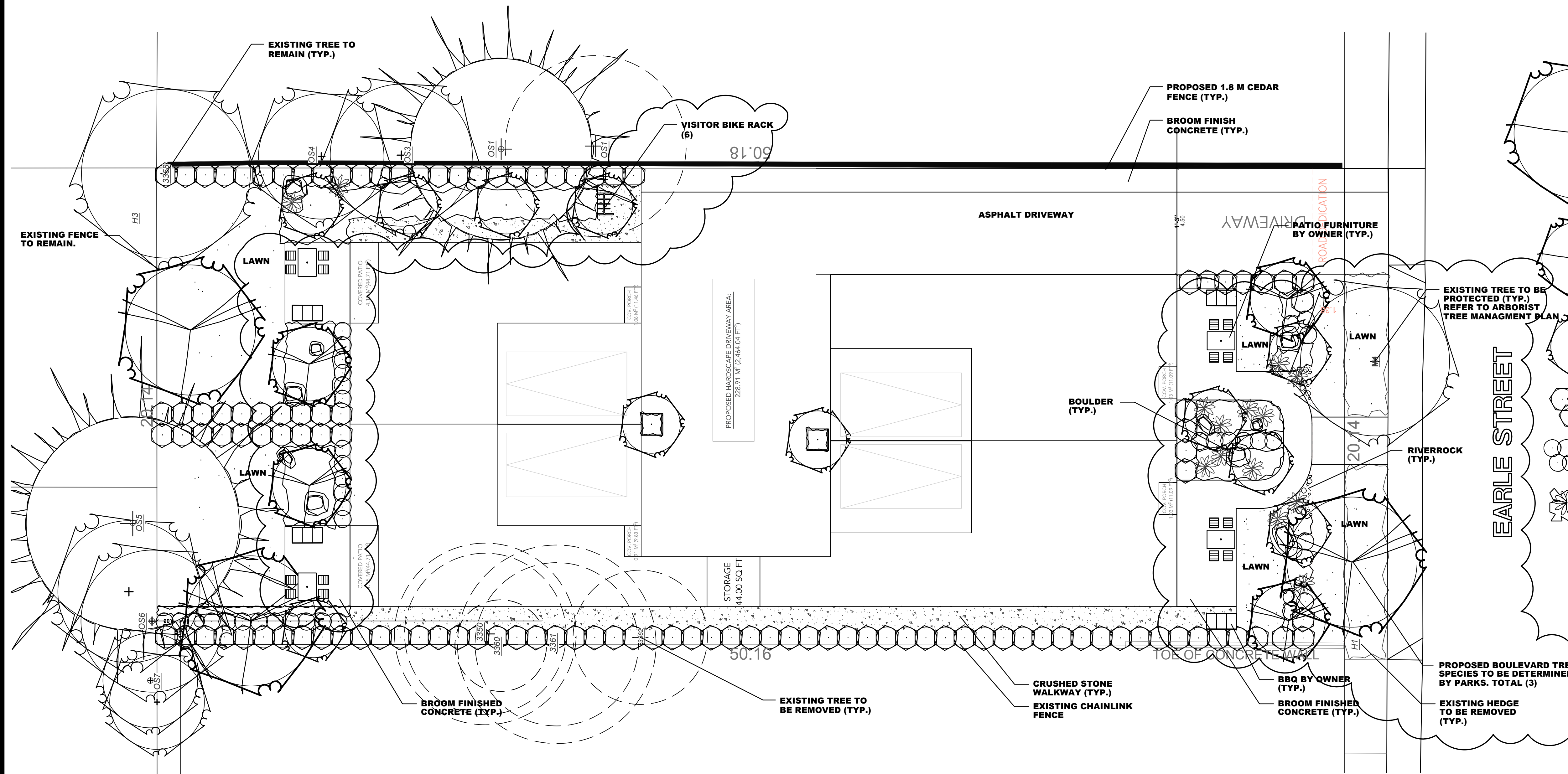
SHEET TITLE
 CONSTRUCTION DETAILS

SCALE
 SEE DRAWINGS

DATE
 April 22, 2026

SHEET NUMBER
 A11 / A11





LEGEND

MEDIUM DECIDUOUS TREE TO BE A SELECTION OF:
KATSURA TREE, GOLDEN LOCUST;
SIZE 5 CM CAL.; APPROXIMATE NO. - 2

COLUMNAR DECIDUOUS TREE TO BE A SELECTION OF:
ARMSTRONG GOLD MAPLE,
PENICTON SENTRY MAIDENHAIR, SIZE 6.0 CM CAL.;
APPROXIMATE NO. - 04

MULTISTEM TO BE A SELECTION OF:
STAR MAGNOLIA (DEC), LILAC (DEC);
RIBES SANGUINEUM (DEC)
SIZE 27 CM POT; APPROXIMATE NO. - 11

MEDIUM SHRUB TO BE A SELECTION OF:
OREGON GRAPE (BL), GOLDEN NINEBARK (DEC),
WESTERN SWORD FERNS (BL), BRACHYGLOTTIS;
SIZE 21 CM POT; APPROXIMATE NO. - 145

SMALL SHRUB TO BE A SELECTION OF:
LONG LEAF MAHONIA (BL), ABBOTSWOOD POTENTILLA (BL),
EUPHORBIA (BL), RUSSIAN SAGE (DEC), LINOPE (BL);
SIZE 15 CM POT; APPROXIMATE NO. - 60

GROUNDCOVER TO BE A SELECTION OF:
KINKINICK (BL), GRASSES, W.
NEW ZEALAND FLAX (BL);
SIZE 10 CM POT; PLANT 45 CM O.C.

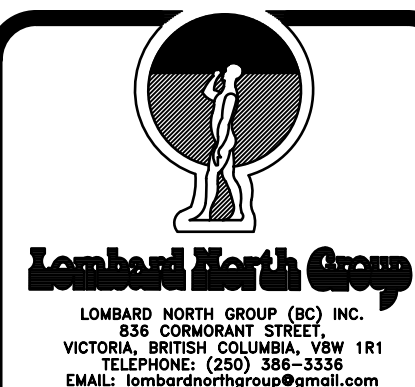
NOTES

- LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THIS DRAWING IS CONCEPTUAL ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES.
- ALL LANDSCAPE WORK AND PLANT MATERIAL WILL CONFORM TO THE MOST RECENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- ALL LANDSCAPE WORK ON CITY PROPERTY TO CITY OF VICTORIA STANDARD AND APPROVAL.
- REFER TO ARCHITECTURAL/CIVIL FOR HARD LANDSCAPE, SITE GRADING

ISSUED FOR DEVELOPMENT PERMIT DECEMBER 22, 2025

NO.	DATE	BY	REVISION
1.	02/03/26	S.P.	GENERAL
2.	04/10/26	S.P.	CITY COMMENTS

DESIGN	S.P.
CHECKED	J.P.
DATE	DECEMBER 22, 2025
DRAWING	1640 EARLE - P1R3R
FILE	

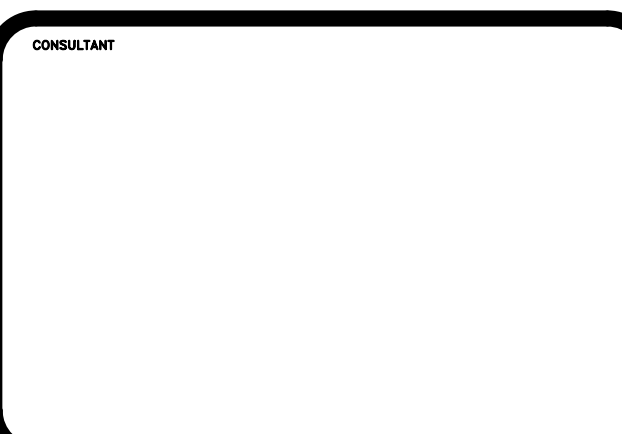


JOB NAME

1640 EARLE STREET

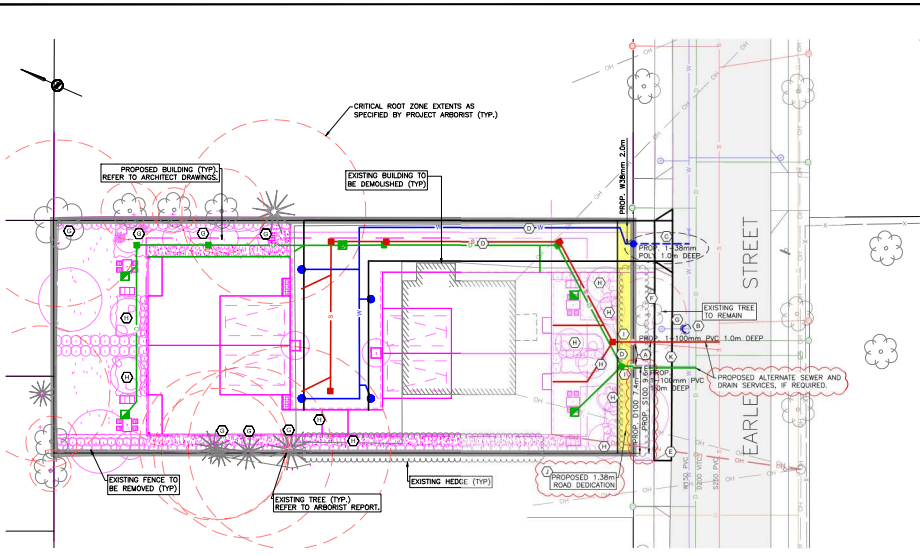
VICTORIA, B.C.

CONSULTANT



LANDSCAPE PLAN

P1



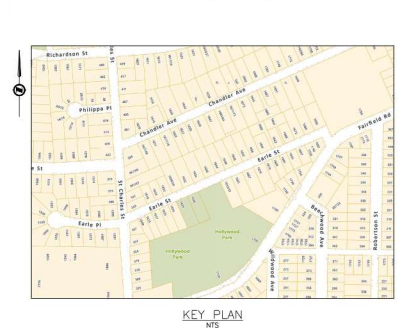
- DETAILED CONSTRUCTION NOTES:**
- CITY OF VICTORIA OWNS TO CITY INSPECT EXISTING DRAIN AND SEWER SERVICES/INSPECTION CHAMBERS FOR REUSE IF EXISTING SERVICE IS NOT ACCEPTABLE. CITY OF VICTORIA OWNS TO INSTALL NEW 100mm DRAIN AND SEWER SERVICES COMPLETE WITH INSPECTION CHAMBERS AT PROPERTY LINE AT DEVELOPERS EXPENSE.
 - CITY OF VICTORIA OWNS TO CAP AND ABANDON EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
 - CITY OF VICTORIA OWNS TO INSTALL NEW 38mm WATER SERVICE COMPLETE WITH 25mm METER AT PROPERTY LINE AT DEVELOPERS EXPENSE.
 - CONTRACTOR TO INSTALL ON-SITE SEWER/DRAIN/WATER SERVICES UNDER SEPARATE PERMIT. ON-SITE SEWER/DRAIN/WATER SERVICES TO BE DESIGNED AND INSTALLED BY OTHERS.
 - PROPOSED HYDRO/TELUS/PROGRESS SERVICING TO NEW BUILDING TO BE OVERHEAD. OVERHEAD SERVICING IS SHOWN SCHEMATICALLY. DEVELOPERS ELECTRICIAN TO COORDINATE SERVICING DESIGN WITH HYDRO/TELUS/PROGRESS AS REQUIRED.
 - EXISTING STREET SIGN TO BE REMOVED AND REPLACED AS REQUIRED.
 - ANY WORK WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES TO BE REVIEWED BY THE DEVELOPER'S ARBORIST. REFER TO ARBORIST REPORT FOR DETAILS.
 - PROPOSED TREE SHOWN SCHEMATICALLY. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - CONTRACTOR TO EXPOSE AND CONFIRM EXISTING SEWER AND DRAIN SERVICE ELEVATIONS PRIOR TO CONSTRUCTION.
 - PROPOSED 1.38m ROAD DEDICATION. PROPOSED ROAD DEDICATION TO BE REGISTERED PRIOR TO BUILDING PERMIT ISSUANCE.
 - THE APPLICANT IS FINANCIALLY RESPONSIBLE FOR FRONTAGE WORKS TO THE CENTERLINE OF THE ROAD TO CURRENT CITY OF VICTORIA WORKS AND SERVICES BYLAW, AND TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING AND PUBLIC WORKS. DESIGN TO BE CONFIRMED AT BUILDING PERMIT STAGE.

- 1. GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS WITHIN MUNICIPAL RIGHT-OF-WAYS TO BE IN ACCORDANCE WITH THE MUNICIPAL ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MCC) PLANNING SECTION - VOLUME 1, WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - ALL WORKS ON PRIVATE PROPERTY (CONSTR) TO BE AS FOR THE LATEST BC BUILDING CODE AND ARE TO BE INSPECTED BY THE MUNICIPAL PLUMBER OR BUILDING INSPECTOR. A PLUMBING PERMIT IS REQUIRED.
 - CONTRACTOR TO OBTAIN A PERMIT TO CONSTRUCT BORING ON A MUNICIPAL RIGHT OF WAY FROM THE MUNICIPALITY 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
 - CONTRACTOR TO OBTAIN A STREET OCCUPANCY PERMIT FROM CITY OF VICTORIA TRANSPORTATION ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION IN ROADWAY.
 - CONTRACTOR SHALL SUBMIT EMERGENCY CONTACT NUMBERS TO THE MUNICIPALITY A MINIMUM OF 48 HRS PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR TO MAINTAIN AN UP-TO-DATE SET OF AS-CONSTRUCTED DRAWINGS. DRAWINGS TO BE DELIVERED TO THE ENGINEER PRIOR TO SUBMITTAL.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION LAYOUT, MEANS, METHODS, TECHNIQUES, PROCEDURES, AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
 - CONTRACTOR TO ENSURE EXISTING MANHOLETS AND IRON PIPES ARE NOT DISTURBED DURING CONSTRUCTION. ANY MANHOLETS OR IRON PIPES IN DANGER OF DISTURBANCE SHALL BE REFERENCED AND, IF DISTURBED, REPLACED BY A SILE AT THE DEVELOPER'S EXPENSE.
 - CONTRACTOR TO PROVIDE A MINIMUM OF 24 HRS NOTICE PRIOR TO INSPECTION OR DAMAGE TESTS.
 - CONTRACTOR IS RESPONSIBLE FOR ANY RESTORATION REQUIRED AS A RESULT OF CONSTRUCTION WORK DURING CONSTRUCTION TO CITY INFRASTRUCTURE. THIS INCLUDES CURB, GUTTER, SIDEWALK, PAVEMENT, ROAD MARKING (LINE PAINTING AND CURB PAINTING) AND BOLLARDS RESTORATION AS REQUIRED.
 - PRE-CONSTRUCTION MEETING TO BE HELD PRIOR TO COMMENCEMENT OF ANY FRONTAGE WORKS INCLUDING SIDEWALKS, CURBS AND BOLLARDS.
 - TRAFFIC MANAGEMENT**
 - CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE CITY OF VICTORIA IN ACCORDANCE WITH MOTI TRM A MINIMUM OF 5 BUSINESS DAYS PRIOR TO THE BEGINNING OF OFFSITE WORKS.
 - CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE PERMITTED BY THE MUNICIPALITY.
 - ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED. THE CONTRACTOR SHALL ACCOMMODATE FOOT ACCESS AT ALL TIMES. CONTRACTOR TO PROVIDE 24 HOURS NOTICE TO RESIDENTS IF VEHICULAR ACCESS CAN NOT BE MAINTAINED. VEHICULAR ACCESS MUST BE RESTORED PRIOR TO THE END OF THE WORKING DAY.
 - SOILS INVESTIGATION**
 - THE PUBLIC NOTICE SHALL BE DISTRIBUTED A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCING OF CONSTRUCTION.
 - THE PUBLIC NOTICE IS TO BE PREPARED BY THE CONTRACTOR AND PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO THE DISTRIBUTION TO RESIDENTS.
 - THE PUBLIC NOTICE SHALL IDENTIFY THE PROJECT, EXPECTED CONSTRUCTION PERIOD AND PROVIDE CONTACT INFORMATION FOR THE CONTRACTOR, ENGINEER AND THE MUNICIPALITY.
 - THE PUBLIC NOTICE SHALL BE HAND DELIVERED TO ALL RESIDENTS AND BUSINESSES WITHIN ONE BLOCK OF THE PROJECT LIMITS.
 - ENVIRONMENTAL PROTECTION**
 - TO PROTECT THE SOIL, WATER, AND VEGETATIVE RESOURCES OF THE DEVELOPMENT ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION OF THE WORKS AND SERVICES CONTAINED IN THE ENGINEERING DRAWINGS ARE TO BE DEMOLISHED.

- PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONTROLLING EROSION AND SEDIMENT THROUGH BY UTILIZING SOIL MEASURES AS CONSTRUCTION OF INTERIM EROSION, SILT FENCES, MAT BARRIERS, SEDIMENT CONTROL POND, SEDIMENT TRAPS, STAGED GRAVEL FILTERS, OR OTHER METHODS HE MAY DEEM NECESSARY TO PREVENT DISCHARGE OF SEDIMENT AND MATERIALS.
- PRIOR TO SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL PREPARE AND REVIEW WITH THE OWNER A PLAN WHEREBY THE OWNER WILL UPON FINAL COMPLETION ASSUME RESPONSIBILITY FOR ONGOING EROSION AND SEDIMENT CONTROL MEASURES ON THE SITE.
- THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.
- ENVIRONMENTAL PROTECTION MEASURES TO BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR TO OBTAIN PERMIT PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY.
- DATE TO RECENT CHANGES TO PROVINCIAL LEGISLATION RELATED TO SOIL RELOCATION AND SOIL RECEIVING SITES THAT CAME INTO EFFECT ON MARCH 1, 2014. THE APPLICANT IS REQUIRED TO RETAIN THE SERVICES OF A QUALIFIED PROFESSIONAL FOR ANY PROJECT REQUIRING EXCAVATION AND DISPOSAL OF ANY VOLUME OF SOIL FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A FUTURE DISPOSAL FACILITY. THE SOIL ASSESSMENT MUST INCLUDE SAMPLES FROM PROPOSED SERVICE TRENCH LOCATIONS, WITH A REPORT TO BE PROVIDED TO THE CITY. THIS IS REQUIRED TO ALLOW THE CITY TO PROVIDE THE MOST ACCURATE ESTIMATE AND TO INSTALL THE NEW SERVICES MOST EFFICIENTLY. ADDITIONALLY, SOIL FROM A PROPERTY WITH A CURRENT OR FORMER BC COB SCHEDULE 2 ACTIVITY MUST COMPLY WITH PROVINCIAL SOIL RELOCATION REQUIREMENTS, INCLUDING THE ONE WEEK WAITING PERIOD. WWW.TELEPHONE.COM/ASBESTOS/TESTING
- HYDRO/TELUS/CABLE SERVICING AND STREETLIGHT DESIGN ARE SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO UTILITIES PLANS FOR DETAILED INSTRUCTIONS.

- 6. QUANTITY ASSURANCE TESTING**
- CONTRACTOR SHALL RETAIN AND RUN THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEER FOR QUALITY ASSURANCE TESTING DURING CONSTRUCTION OF THE MUNICIPAL RIGHT-OF-WAY AND SHALL AT A MINIMUM PROVIDE:
- SIEVE ANALYSES OF SANDS AND AGGREGATES TO BE USED IN THE WORK
 - STANDARD PROCTOR DENSITY CURVES FOR SHOULDER MATERIALS
 - STANDARD PROCTOR DENSITY CURVES FOR APPROVED BORROW MATERIALS
 - CONSTRUCTION TESTS:
 - TRENCH BEDDING (MANUAL) - ONE FOR EVERY 75 M OF TRENCH
 - TRENCH BEDDING (SERVICE) - ONE FOR EVERY 75 M OF TRENCH
 - TRENCH BEDDING (SERVICE) - ONE PER DAY
 - TRENCH BEDDING (SERVICE) - ONE PER DAY
 - GRANULAR BASE (SIDEWALKS/CURBS/GUTTER) - ONE FOR EVERY 50m
 - CONCRETE MIX DESIGN
 - CONCRETE STRENGTH TESTS
 - ONE PER 150m³ OF SIDEWALK AND/OR CURBS AND GUTTER. MINIMUM OF ONE PER DAY DURING CONCRETE PLACEMENT.
 - ASPHALT TESTING
 - AGGREGATE GRADATION TESTS - ONE PER EACH 300 TONNES OF PRODUCTION (MINIMUM ONE PER DAY DURING ASPHALT PLACEMENT)
 - MARSHALL TEST - THREE BRIDGETTES FOR EVERY 300 TONNES OF PRODUCTION (MINIMUM ONCE PER DAY DURING ASPHALT PLACEMENT)
 - COMPACTION - ONE CORE FOR EACH 500 SQ. M

- 7. TRENCHING, EXCAVATING, AND BOLLARDING**
- EXISTING UTILITIES SHOWN ARE AS PER MUNICIPAL RECORDS. THE CONTRACTOR SHALL EXPOSE ALL CROSSINGS PRIOR TO COMMENCING CONSTRUCTION SHOULD ANY CONFLICT OR DISCREPANCIES ARISE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - CONTRACTOR TO OBTAIN PERMIT PRIOR TO DEPOSIT OR REMOVAL OF MATERIALS ON THIS SITE.
 - ALL SERVICES SHALL BE RESPECTED BY THE ENGINEER AND/OR MUNICIPAL INSPECTOR PRIOR TO BACKFILLING.
 - CONTRACTOR TO ENSURE EXISTING SERVICES REMAIN IN SERVICE DURING CONSTRUCTION.
 - WATER**
 - CONSTRUCTION SHALL NOT PROCEED WITHOUT FIRST RECEIVING APPROVAL FOR CONSTRUCTION DRAWINGS.
 - CONTRACTOR SHALL BE PROTECTED WITH WORK SAFE BC.
 - ALL WATERWORKS CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF VICTORIA WATER SERVICES ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS.
 - ALL PRIVATE DOMESTIC WATERWORKS CONSTRUCTION, TESTING AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST BC PLUMBING CODE SPECIFICATIONS (SECTION 2.3.1.2). PRIVATE WATERMAIN SYSTEMS SHALL BE WATER SERVICE TESTED AT 100 PSI FOR 2 HOURS WITH NO MEASURABLE LEAKAGE.
 - WATER MAINS TO BE DOUBLE IRON PRESSURE CLASS 300 TO ANMA C151 OR PVC CLASS 150 TO ANMA C900.
 - PROVIDE A MINIMUM OF 1.0m COVER FOR WATER MAINS.
 - WATER MAINS SHALL BE MARKED BELOW GRADE USING A METALLIC DETECTABLE REINFORCED UNDERGROUND UTILITY MARKING TAPE. THE TAPE SHALL BE MINIMUM 150mm WIDE, METALLIC BLUE IN COLOUR AND SHALL BE MARKED 150mm BELOW GRADE. THE TAPE IS TO BE INSTALLED ON TOP OF THE PIPE. CROSSING A MINIMUM OF 300mm ABOVE THE TOP OF THE PIPE. MARKING TAPE SHALL BE "THORITIC" OR APPROVED EQUAL.
 - A MINIMUM OF 1.5m HORIZONTAL CLEAR SEPARATION AND 450mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL SANITARY SEWERS/SEWERAGES AND DRAIN SERVICES/SEWERAGES EXCEPT WHERE NOTED OTHERWISE. EXCEPT WHERE NOTED OTHERWISE, THE 450mm VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL SANITARY SEWERS/SEWERAGES EXCEPT WHERE NOTED OTHERWISE. WHERE THE ABOVE-NOTED SEPARATIONS CAN NOT BE ACHIEVED, THE FOREMAN SHALL BE GASKETED PIPE PRESSURE RATED PIPE WITH A MINIMUM OF 150mm (MINIMUM RATIO) OF 2B.
 - A MINIMUM OF 1.5m HORIZONTAL CLEAR SEPARATION AND 450mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL SANITARY SEWERS/SEWERAGES. WHERE A SANITARY SEWER OR STORM DRAIN SERVICE IS LOWER THAN A WATER SERVICE BY MORE THAN 450mm IN ELEVATION THE HORIZONTAL OFFSET MAY BE REDUCED TO NO LESS THAN 1.5m EXCEPT WHERE NOTED AND APPROVED.
 - FOR CONSTRUCTION OF EXISTING SEWERS, WHERE THE WATER MAIN ENTERS WITH THE REQUIRED 450mm VERTICAL SEPARATION, WARP THE SEWER JOINTS WITH PETROLEUM TAPE 1.2m EITHER SIDE OF THE WATER MAIN, WHERE A WATER MAIN IS LOWER THAN A SEWER, THE WATER MAIN SHALL BE GASKETED WITH PETROLEUM TAPE 1.2m EITHER SIDE OF THE SEWER.
 - A MINIMUM OF 1.5m HORIZONTAL CLEAR SEPARATION AND 450mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ELECTRICAL, GAS MAINS AND TELEPHONE CONDUITS EXCEPT WHERE NOTED OTHERWISE.
 - A MINIMUM OF 1.0m HORIZONTAL CLEAR SEPARATION AND 450mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ELECTRICAL, GAS AND TELEPHONE SERVICES EXCEPT WHERE NOTED.
 - CONTRACTOR SHALL FLUSH AND DISINFECT WATER MAINS IN ACCORDANCE WITH ANMA STANDARDS AND AS APPROVED BY CONSULTANTS. SAMPLES FOR HEALTH TESTS TO BE COLLECTED AND PROCESSED BY CONSULTANT.
 - CHLORINE SOLUTIONS SHALL BE NEUTRALIZED IN ACCORDANCE WITH THE MINISTER OF ENVIRONMENT AND CLIMATE CHANGE PRIOR TO DISCHARGE TO ANY DRAINAGE COURSE.
 - CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO CONSULTING ENGINEER PRIOR TO PROCEEDING WITH ANY WATERWORKS.
 - CITY OF VICTORIA OWNS SHALL MAKE ALL CONNECTIONS TO EXISTING WATER MAINS AT APPLICANT'S EXPENSE. CONTRACTOR SHALL PROVIDE 2 WEEKS MINIMUM NOTICE TO CONSULTING ENGINEER FOR WORK REQUIRED BY CITY OF VICTORIA OWNS.
 - WHERE PRACTICAL, SERVICES LINES AND METER BOXES SHALL BE INSTALLED TO FINISHED GRADE, OUTSIDE OF DRIVEWAYS OR PARKED AREAS.
 - WATER SERVICE CONNECTION OF 50MM OR LESS IN DIAMETER SHALL BE MANDIPLEX EXCEPT WHERE NOTED AND APPROVED BY CONSULTING ENGINEER.
 - SEWER AND DRAIN**
 - ALL PIPE BEDDING AS PER MANDIPLEX STANDARD DETAIL DRAWING 04.
 - ALL DRAIN AND SEWER MAINS SHALL BE PVC SDR 35 UNLESS NOTED OTHERWISE.
 - ALL DRAIN AND SEWER SERVICES SHALL BE PVC SDR 35 UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO ENSURE ALL SEWERS AND DRAINS WITHIN PUBLIC ROAD RIGHT OF WAYS TO HAVE A MINIMUM 1.0 M OF COVER UNLESS NOTED OTHERWISE.
 - ALL MANHOLES TO BE 1000 MM DIAMETER UNLESS NOTED OTHERWISE.
 - ALL SEWER MAINS TO BE LOW PRESSURE AIR TESTED IN ACCORDANCE WITH MANDIPLEX.
 - ALL PRIVATE SEWER MAINS TO BE WATER OR AIR PRESSURE TESTED AS PER BC PLUMBING CODE SPECIFICATIONS (SECTION 2.3.6.4 AND 2.3.6.5)
 - ALL SANITARY AND STORM MAINS TO BE FLUSHED AND CURED INSPECTED AFTER CONSTRUCTION AS PER MUNICIPAL STANDARDS.



LEGAL DESCRIPTION: PLAN THE EAST 1/2 OF LOT 18, SECTION 68, VICTORIA DISTRICT, PLAN 290
 BENCHMARK: MON, 10-90
 ELEV. 14.30m

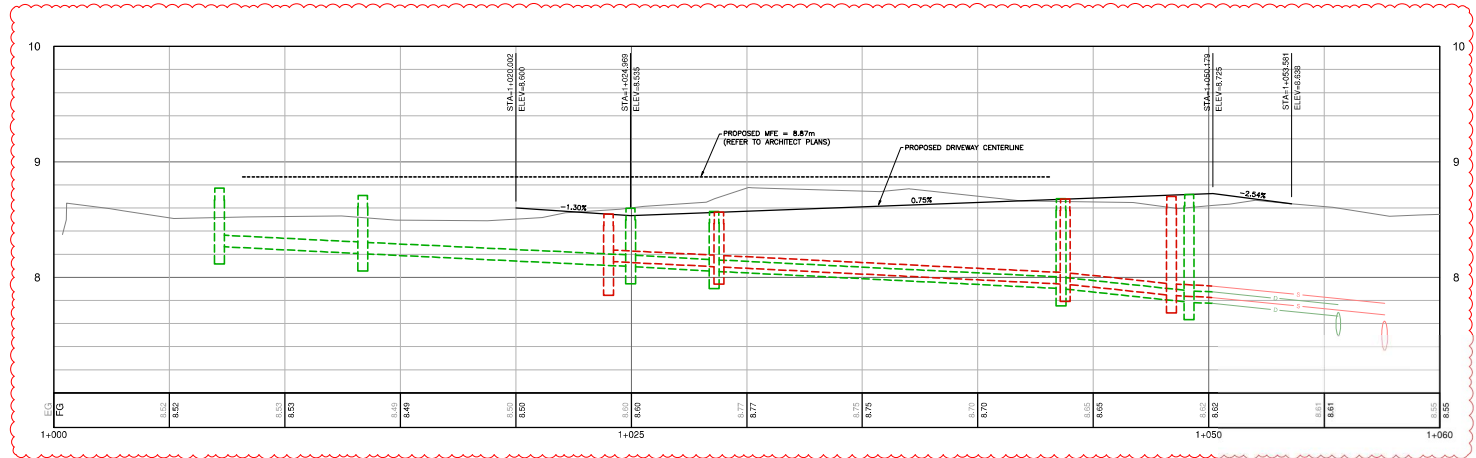
ISSUED FOR DELEGATED DEVELOPMENT PERMIT

ISSUED	REVISION				LEGEND					
					LAMP STANDARD	LS	CATCH-BASIN	CB	DITCH	
					POLE (Hydro, Tel)	PP	MANHOLE	MH	METER	
					1/2" WIRING	1/2"	SERVICE RISER	SR	FLUSH	
					GAS	G	NON-MOUNT. CURB	NMC	ORNE	
					WATER	W	EDGE ASPHALT	EA	VALVE	
					SEWER	S			REDUCER	
					DRAN	D			HYDRANT	
									AIR VALVE	

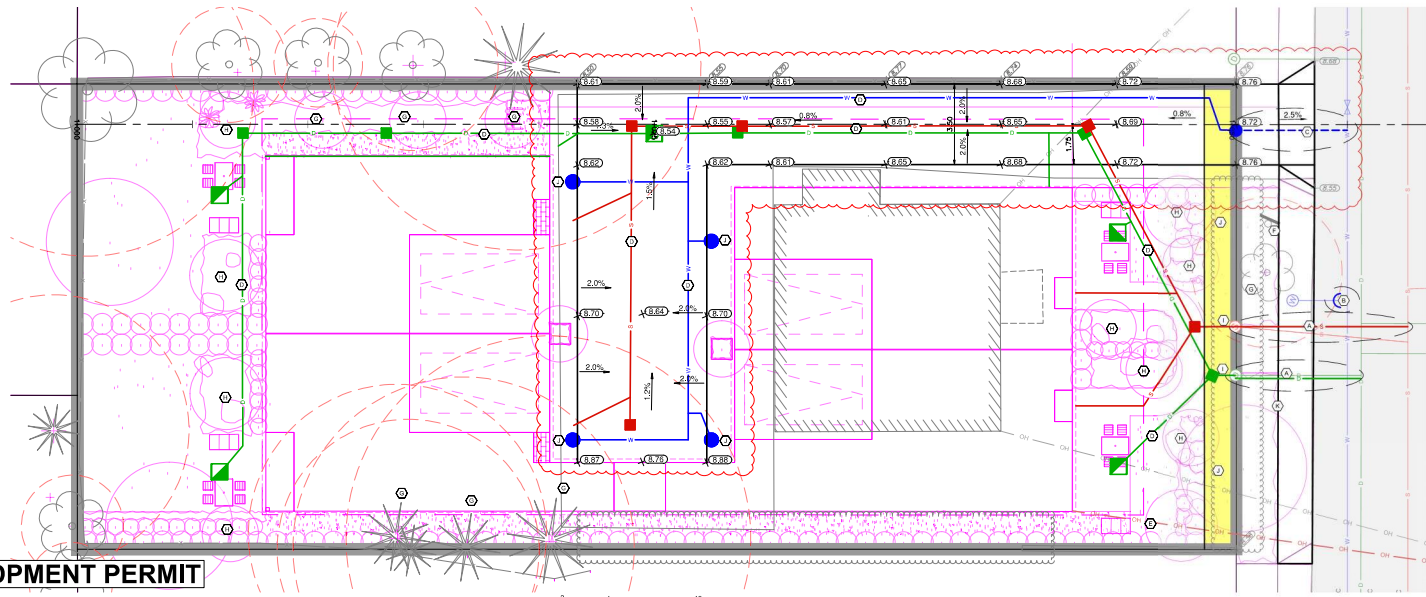
JEA J E ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS
 VICTORIA NANAIMO PARKVILLE CAMPBELL RIVER
 PHONE 250-727-2214 info@jeaanderson.com

INTERSECTION CITY OF VICTORIA
 CLIENT: STONEHILL LANDCORP
 PROJECT: 1640 EARLE STREET SITE SERVICING PLAN
 35301 01 C1
 ENGINEERS SEAL: MUN. FILE SHEET 1 OF 2

1445 Earle St - Victoria, BC V8M 1K5 - 250-727-2214 - info@jeaanderson.com
 1445 Earle St - Victoria, BC V8M 1K5 - 250-727-2214 - info@jeaanderson.com
 1445 Earle St - Victoria, BC V8M 1K5 - 250-727-2214 - info@jeaanderson.com



- DETAILED CONSTRUCTION NOTES:**
- 1. CITY OF VICTORIA CREWS TO CITY INSPECT EXISTING DRAIN AND SEWER SERVICES/INSPECTION CHAMBERS FOR REUSE. IF EXISTING SERVICE IS NOT ACCEPTABLE, CITY OF VICTORIA CREWS TO INSTALL NEW 150mm DRAIN AND SEWER SERVICES COMPLETE WITH INSPECTION CHAMBERS AT PROPERTY LINE AT DEVELOPERS EXPENSE.
 - 2. CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
 - 3. CITY OF VICTORIA CREWS TO INSTALL NEW 38mm WATER SERVICE COMPLETE WITH 25mm METER AT PROPERTY LINE AT DEVELOPERS EXPENSE.
 - 4. CONTRACTOR TO INSTALL ONSITE SEWER/DRAIN/WATER SERVICES UNDER SEPARATE PERMIT. ONSITE SEWER/DRAIN/WATER SERVICES TO BE DESIGNED AND INSTALLED BY OTHERS.
 - 5. PROPOSED HYDRO/TELUS/ROGERS SERVICING TO NEW BUILDING TO BE OVERHEAD. OVERHEAD SERVICING IS SHOWN SCHEMATICALLY. DEVELOPERS ELECTRICIAN TO COORDINATE SERVICING DESIGN WITH HYDRO/TELUS/ROGERS AS REQUIRED.
 - 6. EXISTING STREET SIGN TO BE REMOVED AND REPLACED AS REQUIRED.
 - 7. ANY WORK WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES TO BE REVIEWED BY THE DEVELOPER'S ARBORIST. REFER TO ARBORIST REPORT FOR DETAILS.
 - 8. PROPOSED TREE SHOWN SCHEMATICALLY. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 9. CONTRACTOR TO EXPOSE AND CONFIRM EXISTING SEWER AND DRAIN SERVICE ELEVATIONS PRIOR TO CONSTRUCTION.
 - 10. PROPOSED 1.3m ROAD DEDICATION. PROPOSED ROAD DEDICATION TO BE REGISTERED PRIOR TO BUILDING PERMIT ISSUANCE.
 - 11. THE APPLICANT IS FINANCIALLY RESPONSIBLE FOR FRONTAGE WORKS TO THE CENTERLINE OF THE ROAD TO CURRENT CITY OF VICTORIA WORKS AND SERVICES (PLAN, AND TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING AND PUBLIC WORKS DESIGN TO BE CONFIRMED AT BUILDING PERMIT STAGE.



ISSUED FOR DELEGATED DEVELOPMENT PERMIT

ISSUED				REVISION			
NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
1.	ISSUED FOR DELEGATED DEVELOPMENT PERMIT	20260422	CK JA CK				

LEGEND	
LAMP STANDARD	⊕LS
POLE (Hydro, Tel)	⊕PP
1/2 WIRING	⊕
GAS	⊕
WATER	⊕
SEWER	⊕
DRAIN	⊕
CLEANOUT	□
CATCH-BASIN	□
MANHOLE	⊕
SERVICE RISER	⊕
MOUNTABLE CURB	⊕
NON-MOUNT. CURB	⊕
EDGE ASPHALT	⊕
DITCH	—
METER	⊕
FLUSH	⊕
VALVE	⊕
REDUCER	⊕
HYDRANT	⊕
AIR VALVE	⊕

JEA J E ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS
 VICTORIA NANAIMO PARKSVILLE CAMPSBELL RIVER
 PHONE 250-727-2214 info@jeaanderson.com

JURISDICTION CITY OF VICTORIA	CLIENT STONEHILL LANDCORP
PROJECT 1640 EARLE STREET SITE SERVICING PLAN	
ENGINEERS SEAL T. C. KILP REGISTERED ENGINEER No. 12345	MUN. FILE 35301 01 C2
	SHEET 2 OF 2