

PROJECT IMAGE

DEVELOPMENT PERMIT APPLICATION

DRAWING INDEX



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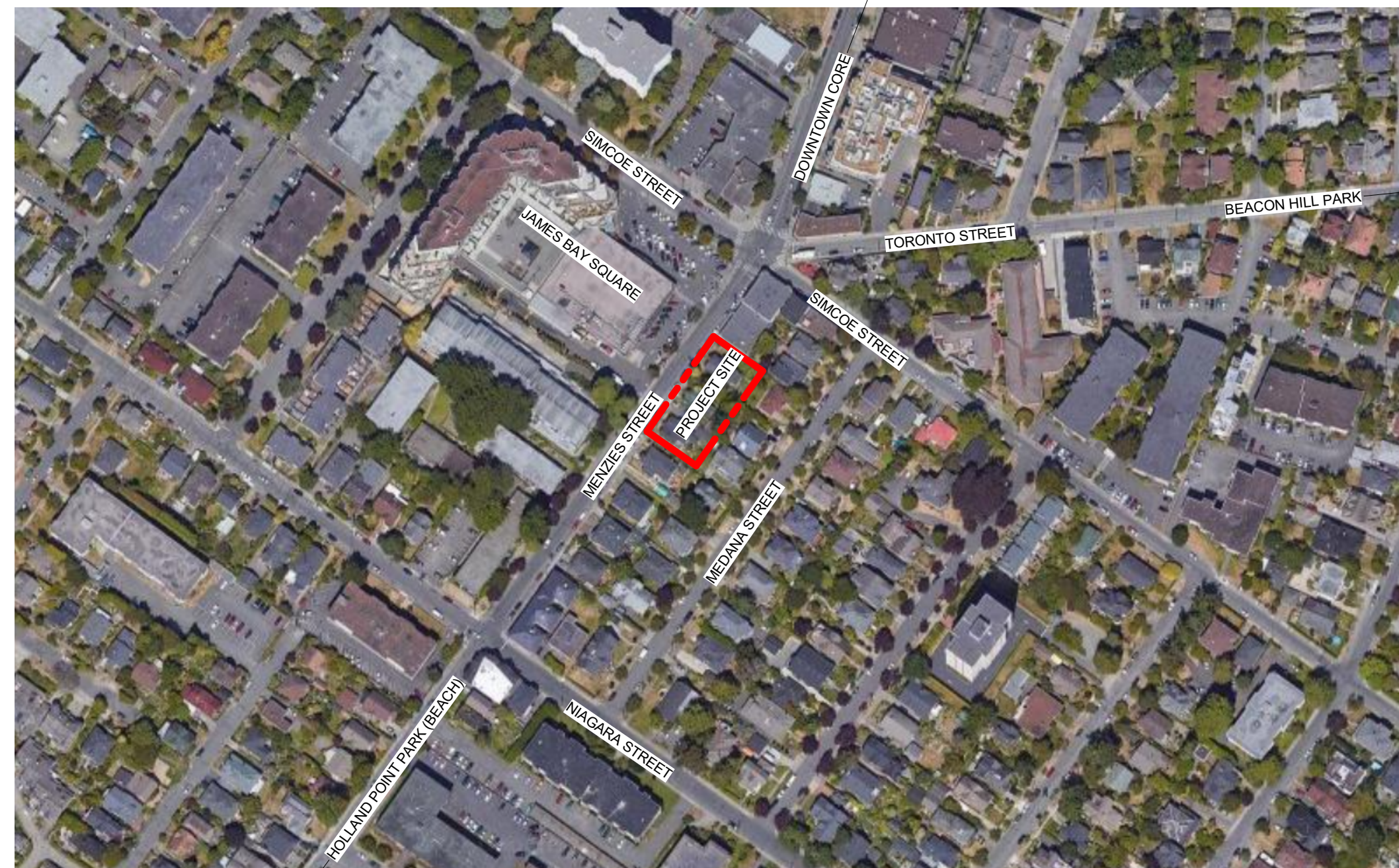
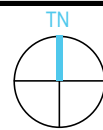
CIVIL DRAWINGS

Sheet Number	Sheet Name
3757-01	SERVICING PLAN AND PROFILE GENERAL NOTES LOCATION PLAN

LANDSCAPE DRAWINGS

Sheet Number	Sheet Name
L100	LANDSCAPE CONCEPT PLAN
L101	LANDSCAPE CONCEPT PLAN (ROOF)

LOCATION PLAN



ARCHITECTURAL:

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Evolve Buildings Engineering Ltd.
102-814 Broughton Street
Victoria, BC
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t: 250.800.5655

Contact:
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e: craudoy@evolvebuildings.com

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date



ZONING DATA

SITE DATA	
MUNICIPAL ADDRESS:	131, 135 & 139 MENZIES STREET, VICTORIA BC, V8V 2G4
LEGAL DESCRIPTION:	LOT 22, 23 & 24, SECTION 11, BECKLEY FARM, VICTORIA CITY, PLAN 753
EXISTING LOT AREA:	918.78m² (LOT 22 & 23) + 459.60m² (LOT 24) = 1378.4m²
CONSOLIDATED LOT AREA (POST DEDICATION):	828.83m² (LOT 22 & 23) + 415.03m² (LOT 24) = 1243.9m²

ZONING DATA	
AREA SCHEDULE - FSR APARTMENT	
GROSS FLOOR BUILDING AREA	
LEVEL	
AREA (m²)	
L1	592.7 m²
L2	648.9 m²
L3	648.9 m²
L4	588.1 m²
TOTAL FSR AREA	2478.7 m²
L1	743 m²
L2	688.4 m²
L3	688.4 m²
L4	623.6 m²
TOTAL GROSS AREA	2743.5 m²
CLASSIFICATION:	EXISTING = R-2
AVERAGE GRADE:	14.14m GEO
	REZONED
	ALLOWABLE
	PROPOSED
SITE COVERAGE:	497m² (40%)
OPEN SITE SPACE:	373m² (30%)
FSR:	0.5 - 1.0
BUILDING HEIGHT:	7.6m
NUMBER OF STOREYS:	1
SETBACKS	REQUIRED
FRONT YARD:	7.50m / 1.63m (AVG SIDE LOTS)
REAR YARD:	10.70m
SIDE YARD (NORTH):	3.00m / 1.50m MIN
SIDE YARD (SOUTH):	3.00m / 1.50m MIN
COMBINED SIDE YARDS:	4.5m
CAR PARKING	REQUIRED
< 45m² (0.2/UNIT) x 34	6.8
45-70m² (0.5/UNIT) x 5	2.5
> 70m² (0.75/UNIT) x 4	3
VISITORS (0.1/UNIT) x 42	4.2
COMMERCIAL(1/50m2)122m2	3
ACCESSIBLE SPACES	1 (VAN)
TOTAL	20
BICYCLE PARKING	REQUIRED
< 45m² (1.0/UNIT) x 34	34
45-70m² (1.25/UNIT) x 5	6.25
> 70m² (1.25/UNIT) x 4	5
VISITORS (6/BLDG)	6
COMMERCIAL(1/200) 122m2	1
TOTAL	52
	PROVIDED
	1
	2
	85

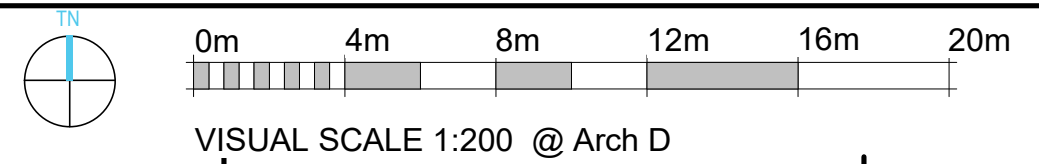
*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES

TOTAL UNITS BY AREA UNDER 45m2 (AREA FOR PARKING CALCULATION)		TOTAL UNITS BY AREA 45m2 TO 70m2 (AREA FOR PARKING CALCULATION)	
UNIT TYPE	AREA	UNIT TYPE	AREA
STUDIO 3	26.8 m²	2 BEDROOM	56 m²
STUDIO 2	29.8 m²	56 m²	5
STUDIO 2	29.8 m²	TOTAL UNIT COUNT: 5	
STUDIO 2	29.9 m²	TOTAL UNITS BY AREA GREATER THAN 70m2 (AREA FOR PARKING CALCULATION)	
STUDIO 2	30 m²	UNIT TYPE	Area
STUDIO 2	30.2 m²	3 BEDROOM	71.8 m²
STUDIO 1	31.9 m²	3 BEDROOM	71.9 m²
STUDIO 1	31.9 m²	3 BEDROOM	71.9 m²
1 BEDROOM	42.7 m²	3 BEDROOM	72 m²
1 BEDROOM	42.8 m²	72 m²	2
1 BEDROOM	43 m²	TOTAL UNIT COUNT: 4	
1 BEDROOM	43.1 m²		
1 BEDROOM	43.1 m²		
TOTAL UNIT COUNT: 34			



SURVEY PROVIDED BY: POWELL & ASSOCIATES, DATED: DECEMBER 15, 2021 / UNDERGROUND SITE SERVICES TAKEN FROM THE CITY OF VICTORIA OPEN DATA PORTAL

1 | SITE PLAN - EXISTING / DEMO
1 : 200



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MIKE GERIC
CONSTRUCTION

8	ISSUED FOR DP AMENDMENT	09/12/24
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6	ISSUED FOR DP AMENDMENT	06/05/24
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131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

SITE PLAN - EXISTING / DEMO

JOB No.: 2403

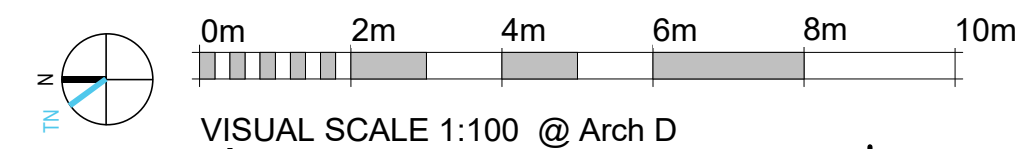
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A-1.1

DATE: 02/05/22

Points	Average of points	Distance	Totals
A-B	14.325	10.66	152.70
B-C	14.18	3.32	47.02
C-D	14.18	0.89	12.68
D-E	14.18	8.66	122.84
E-F	14.18	0.89	12.66
F-G	14.18	3.34	47.32
G-H	14.19	0.89	12.67
H-I	14.2	17.35	246.40
I-J	14.19	0.89	12.69
J-K	14.18	3.34	47.32
K-L	14.18	0.89	12.68
L-M	14.18	8.66	122.84
M-N	14.18	0.90	12.69
N-O	14.18	3.32	47.02
O-P	13.855	11.60	160.66
P-Q	13.75	5.98	82.18
Q-R	13.88	4.58	63.54
R-S	13.86	5.76	79.86
S-T	13.95	2.01	28.05
T-U	13.97	2.77	38.64
U-V	13.95	2.01	28.05
V-W	14.04	10.59	148.74
W-X	14.175	2.01	28.51
X-Y	14.2	2.77	39.28
Y-Z	14.175	2.01	28.51
Z-AA	14.245	11.31	161.11
AA-AB	14.38	2.90	41.70
AB-AC	14.42	2.81	40.45
AC-AD	14.445	2.63	38.03
AD-A	14.47	6.01	86.89
		141.74	2003.74

AVERAGE GRADE: **14.14** **m (GEO)**



VISUAL SCALE 1:100 @ Arch D

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MIKE GERIG
CONSTRUCTION

CONSTRUCTION

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

AVERAGE GRADE PLAN

JOB No.: 2403

SCALE: 1 : 100

A-1.2

DATE: 02/05/22

LIMITING DISTANCE CALCALTIONS PART 3

LEVEL 1 (VARRIED CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	15.86 / 3.79	18% / 42%	3.35	3.35
FC-02	23.28 / 4.46	19% / 31%	3.35	3.35
EAST ELEVATION				
FC-03	42.10 / 10.51	25% / 54%	5.36	5.36
FC-04	42.10 / 10.51	25% / 54%	5.36	5.36
FC-05	42.10 / 10.51	25% / 54%	5.36	5.36
FC-06	42.10 / 10.51	25% / 54%	5.36	5.36
SOUTH ELEVATION				
FC-07	23.28 / 4.46	19% / 30%	3.31	3.31
FC-08	20.47 / 3.91	19% / 33%	3.31	3.31
WEST ELEVATION				
FC-09	21.62 / 7.16	33% / 100%	15.22	15.22
FC-10	9.60 / 3.30	34% / 100%	10.59	10.59
FC-11	21.84 / 7.08	32% / 100%	10.59	10.59
FC-12	84.36 / 42.28	50% / 99%	10.59	10.59
FC-13	9.28 / 1.95	21% / 100%	13.51	13.51
FC-14	20.34 / 5.12	25% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	IMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	15.40 / 1.39	9% / 100%	6.86	6.86
FC-17	18.36 / 7.87	43% / 92%	5.38	5.38
FC-18	12.88 / 5.08	39% / 100%	5.38	5.38
FC-19	18.36 / 7.87	43% / 92%	5.38	5.38
FC-20	12.88 / 5.08	39% / 100%	5.38	5.38
FC-21	18.36 / 7.87	43% / 92%	5.38	5.38
FC-22	12.88 / 5.08	39% / 100%	5.38	5.38
FC-23	15.40 / 1.39	9% / 100%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 5.20	52% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.40 / 1.10	7% / 100%	15.24	15.24
FC-26	22.98 / 2.23	10% / 100%	12.42	12.42
FC-27	16.00 / 5.08	32% / 100%	12.42	12.42
FC-28	12.69 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.69 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	22.98 / 3.35	15% / 100%	12.42	12.42
FC-33	15.40 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.85M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	IMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	8.21 / 2.79	34% / 62%	3.35	3.35
FC-34b	10.43 / 3.81	37% / 93%	4.36	4.36
FC-34c	11.74 / 3.72	32% / 55%	3.35	3.35
EAST ELEVATION				
FC-35	16.02 / 1.39	9% / 100%	6.86	6.86
FC-36	23.45 / 7.87	34% / 81%	5.36	5.36
FC-37	16.45 / 2.79	17% / 97%	5.36	5.36
FC-38	23.45 / 7.87	34% / 81%	5.36	5.36
FC-39	16.45 / 2.79	17% / 97%	5.36	5.36
FC-40	23.45 / 7.87	34% / 81%	5.36	5.36
FC-41	16.45 / 2.79	17% / 97%	5.36	5.36
SOUTH ELEVATION				
FC-42	22.51 / 1.12	5% / 100%	9.33	9.33
FC-43	5.25 / 1.95	37% / 100%	9.33	9.33
FC-44	53.27 / 7.25	14% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	22.98 / 3.29	14% / 100%	12.42	12.42
FC-46	20.44 / 5.08	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	22.98 / 3.35	15% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

1
L1 FLOOR PLAN, LD CALCULATION

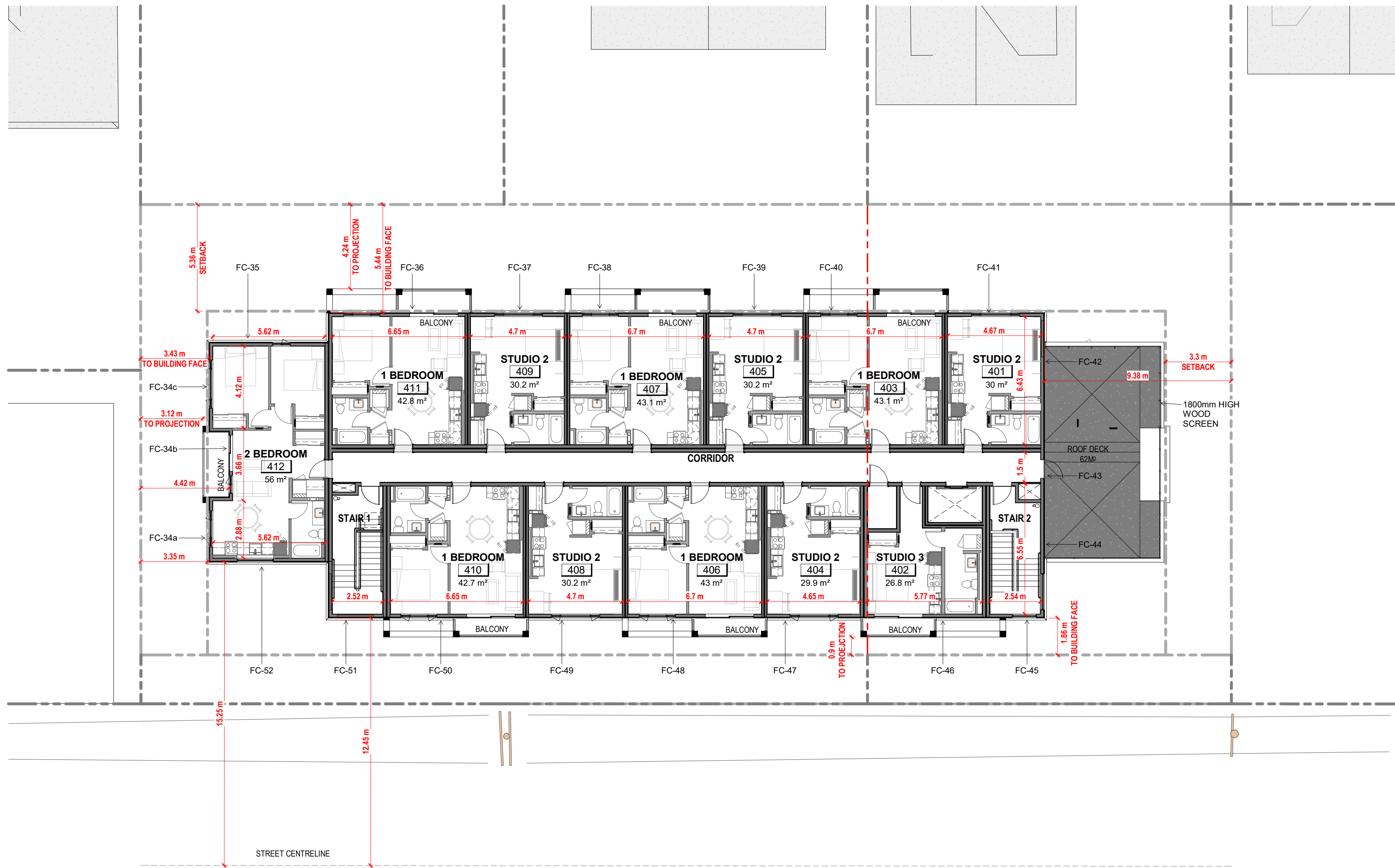
1 : 150



2
L2 FLOOR PLAN, LD CALCULATION

1 : 150





LIMITING DISTANCE CALCLATIONS PART 3

LEVEL 1 (VARIED CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	15.86 / 3.79	18% / 42%	3.35	3.35
FC-02	23.28 / 4.46	19% / 31%	3.35	3.35
EAST ELEVATION				
FC-03	42.10 / 10.51	25% / 54%	5.36	5.36
FC-04	42.10 / 10.51	25% / 54%	5.36	5.36
FC-05	42.10 / 10.51	25% / 54%	5.36	5.36
FC-06	42.10 / 10.51	25% / 54%	5.36	5.36
SOUTH ELEVATION				
FC-07	23.28 / 4.46	19% / 30%	3.31	3.31
FC-08	20.47 / 3.91	19% / 33%	3.31	3.31
WEST ELEVATION				
FC-09	21.62 / 7.16	33% / 100%	15.22	15.22
FC-10	9.60 / 3.30	34% / 100%	10.59	10.59
FC-11	21.84 / 7.08	32% / 100%	10.59	10.59
FC-12	84.36 / 42.28	50% / 99%	10.59	10.59
FC-13	9.28 / 1.95	21% / 100%	13.51	13.51
FC-14	20.34 / 5.12	25% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	IMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	15.40 / 1.39	9% / 100%	6.86	6.86
FC-17	18.36 / 7.87	43% / 92%	5.38	5.38
FC-18	12.88 / 5.08	39% / 100%	5.38	5.38
FC-19	18.36 / 7.87	43% / 92%	5.38	5.38
FC-20	12.88 / 5.08	39% / 100%	5.38	5.38
FC-21	18.36 / 7.87	43% / 92%	5.38	5.38
FC-22	12.88 / 5.08	39% / 100%	5.38	5.38
FC-23	15.40 / 1.39	9% / 100%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 5.20	52% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.40 / 1.10	7% / 100%	15.24	15.24
FC-26	22.98 / 2.23	10% / 100%	12.42	12.42
FC-27	16.00 / 5.08	32% / 100%	12.42	12.42
FC-28	12.89 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.89 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	22.98 / 3.35	15% / 100%	12.42	12.42
FC-33	15.40 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.85M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	IMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	8.21 / 2.79	34% / 62%	3.35	3.35
FC-34b	10.43 / 3.81	37% / 93%	4.36	4.36
FC-34c	11.74 / 3.72	32% / 55%	3.35	3.35
EAST ELEVATION				
FC-35	16.02 / 1.39	9% / 100%	6.86	6.86
FC-36	23.45 / 7.87	34% / 81%	5.36	5.36
FC-37	16.45 / 2.79	17% / 97%	5.36	5.36
FC-38	23.45 / 7.87	34% / 81%	5.36	5.36
FC-39	16.45 / 2.79	17% / 97%	5.36	5.36
FC-40	23.45 / 7.87	34% / 81%	5.36	5.36
FC-41	16.45 / 2.79	17% / 97%	5.36	5.36
SOUTH ELEVATION				
FC-42	22.51 / 1.12	5% / 100%	9.33	9.33
FC-43	5.25 / 1.95	37% / 100%	9.33	9.33
FC-44	53.27 / 7.25	14% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	22.98 / 3.29	14% / 100%	12.42	12.42
FC-46	20.44 / 5.08	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	22.98 / 3.35	15% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

1 | L4 FLOOR PLAN CODE

1 : 150

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ARCHITECTURE

519 PANDORA AVENUE, VICTORIA, B.C. V8W 1N5 +1 250 388 4261

MIKE GERIC
CONSTRUCTION

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
NO.	DESCRIPTION	DATE

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131 MENZIES STREET
VICTORIA, BC V8V 2G4

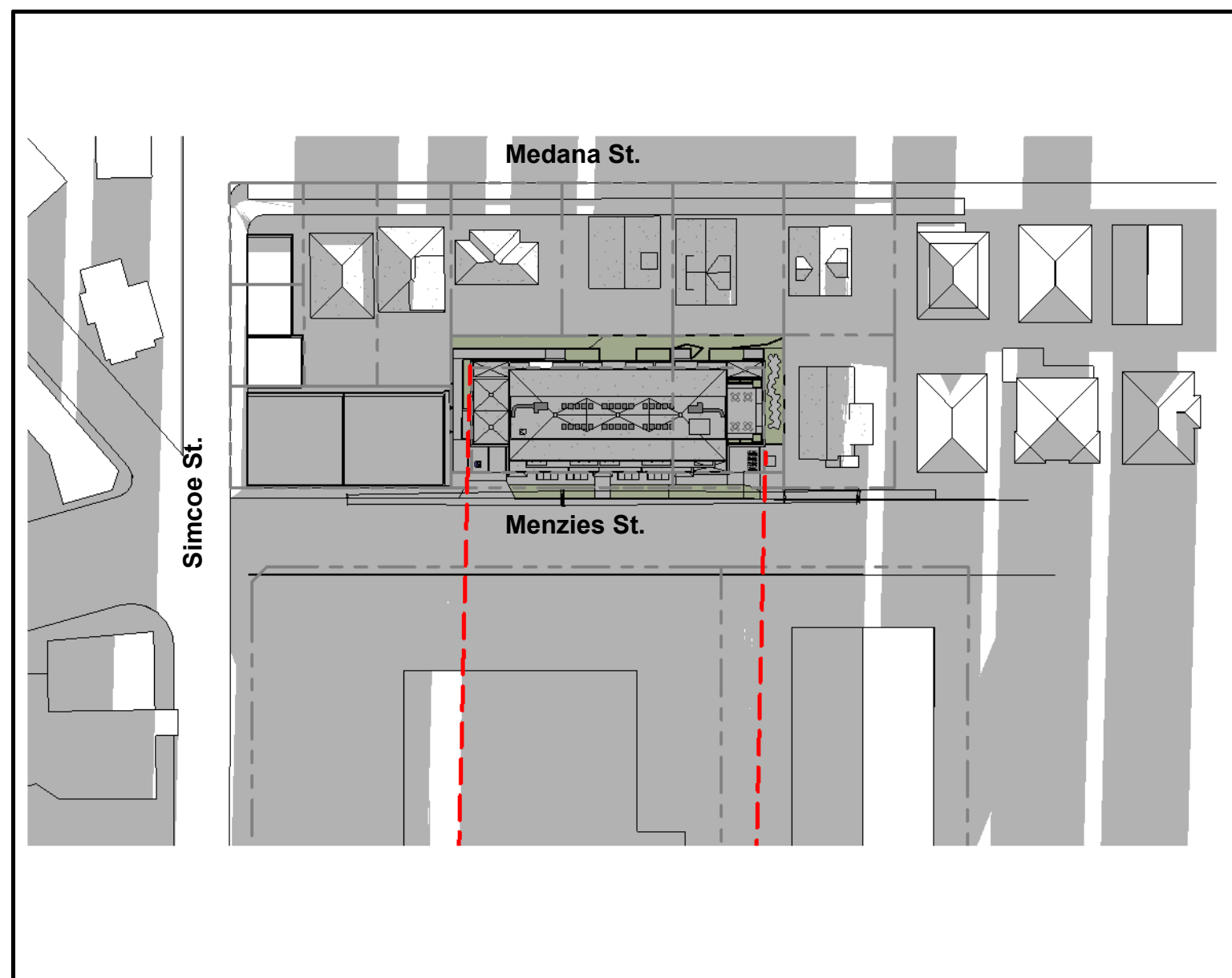
CODE PLANS

A-1.4

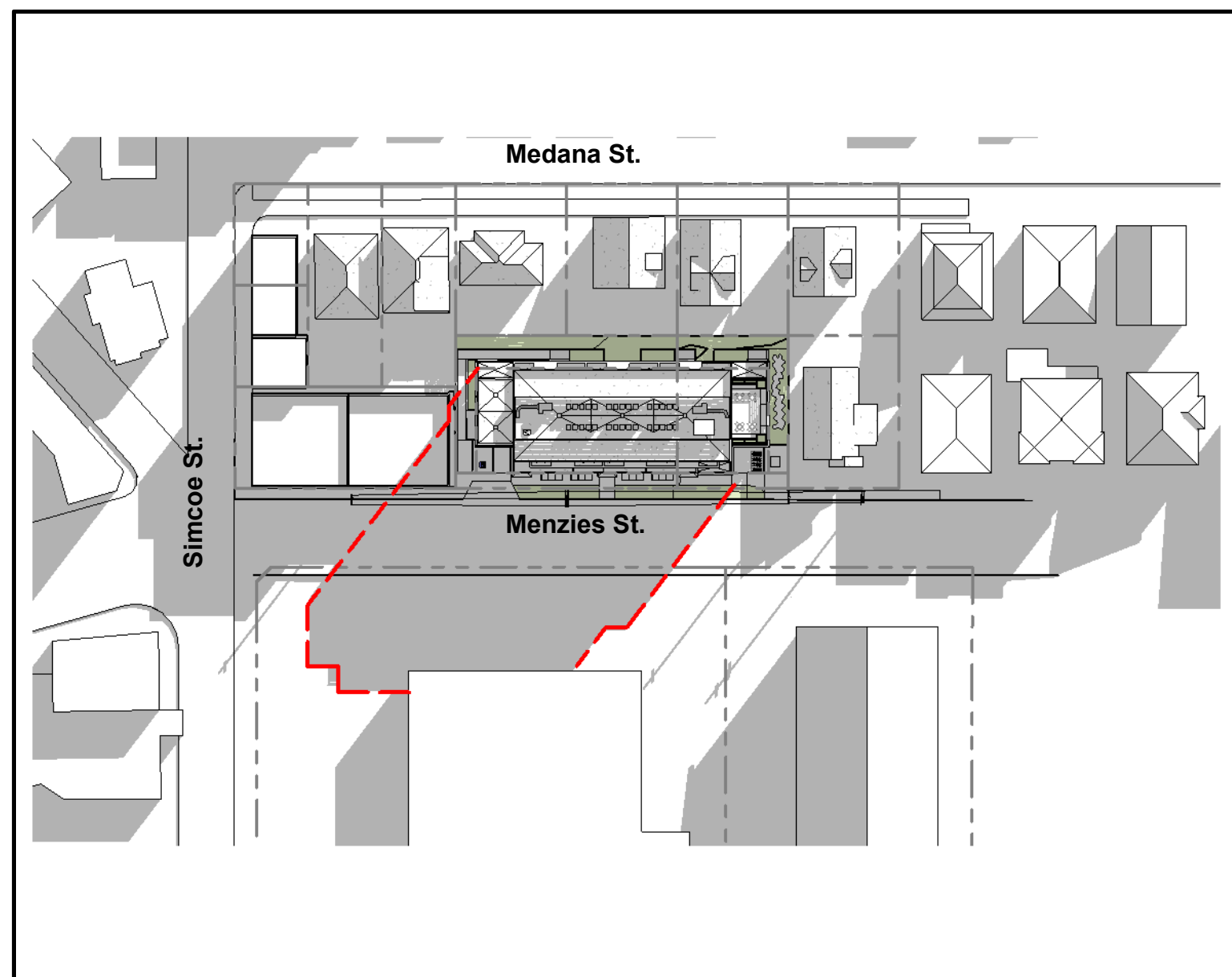
JOB No.: 2403

SCALE: As indicated

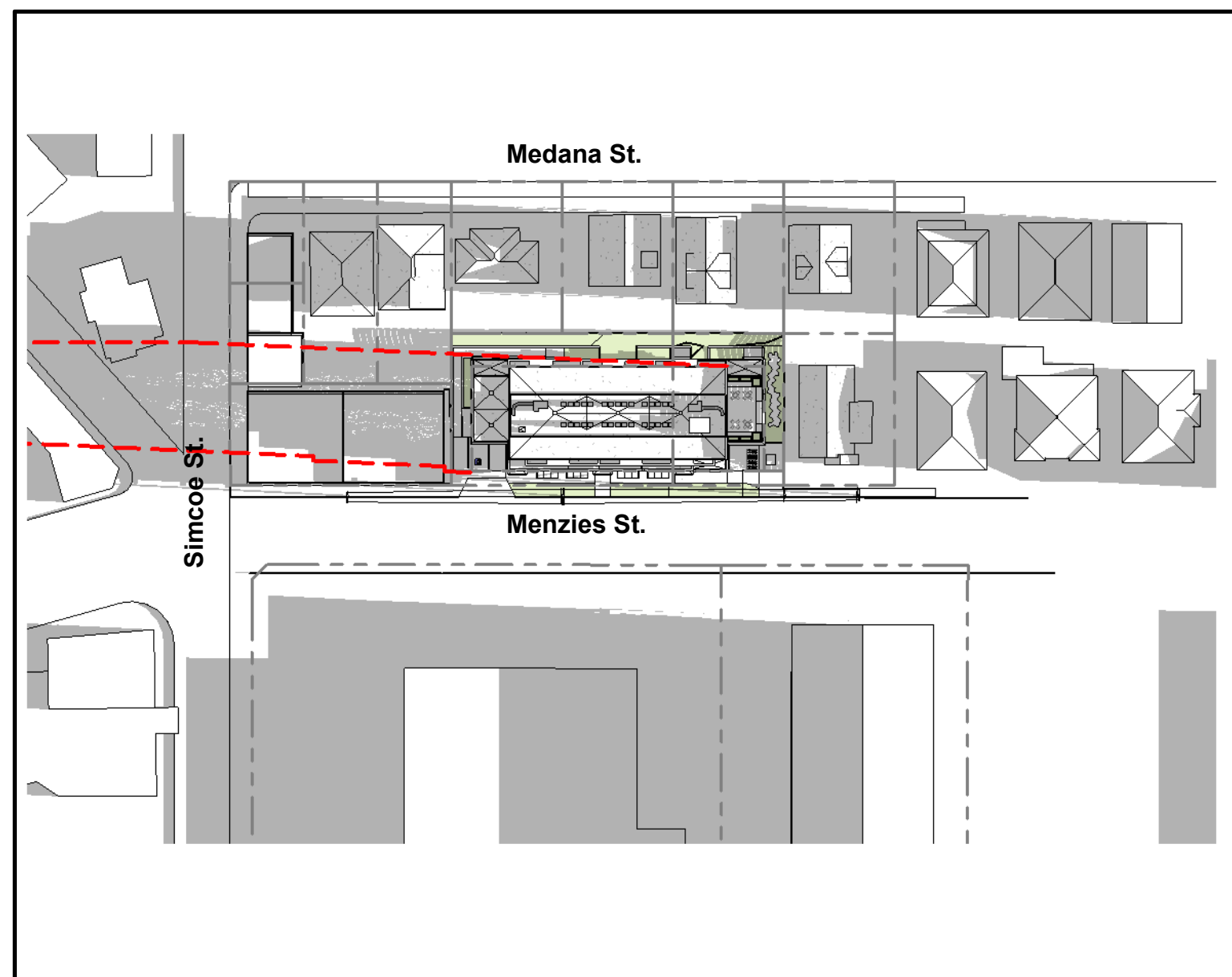
DATE: 06/07/24



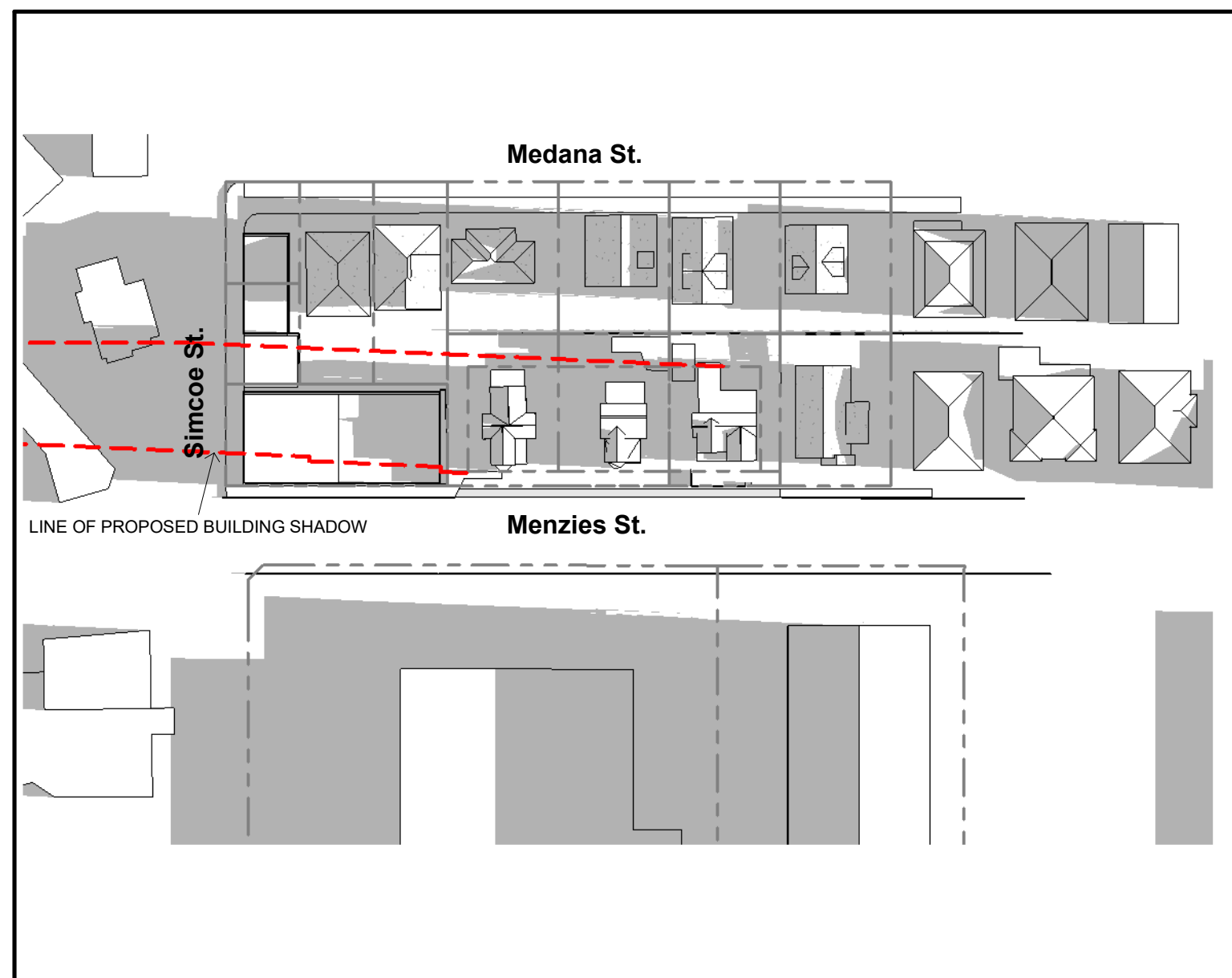
1 | SHADOWS - WINTER SOLTICE - 8am
1 : 1000



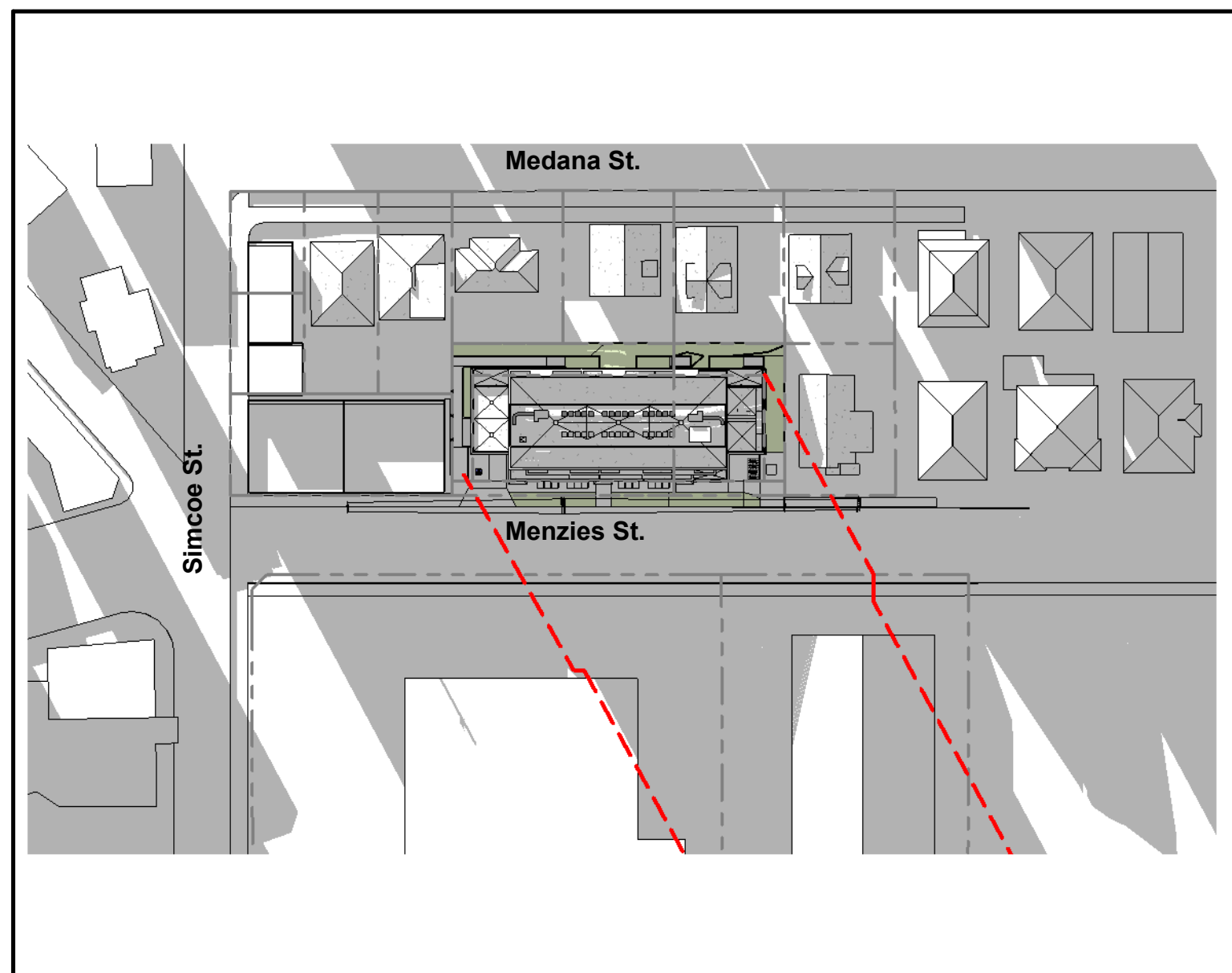
2 | SHADOWS - WINTER SOLTICE - NOON
1 : 1000



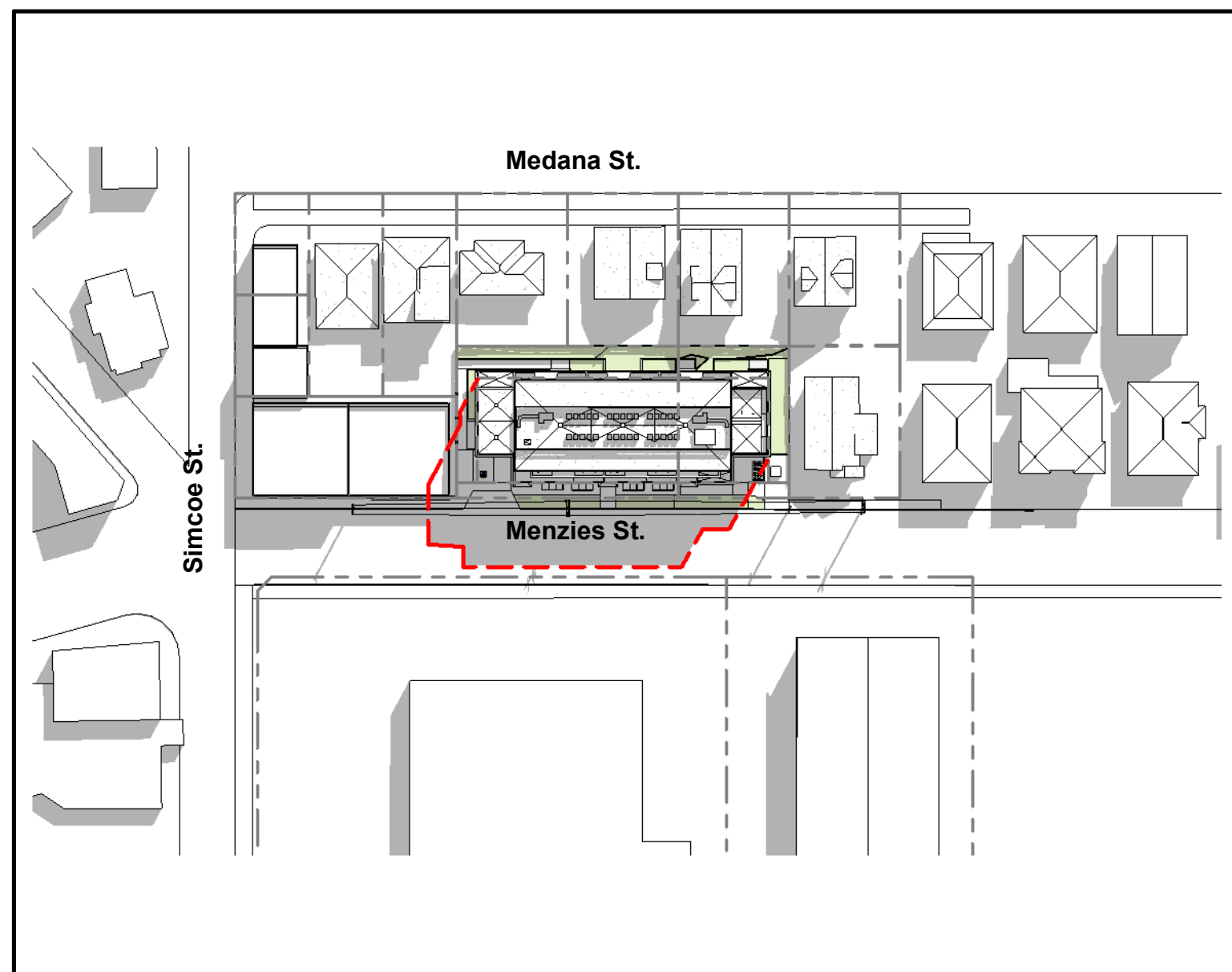
3 | SHADOWS - WINTER SOLTICE - 4pm
1 : 1000



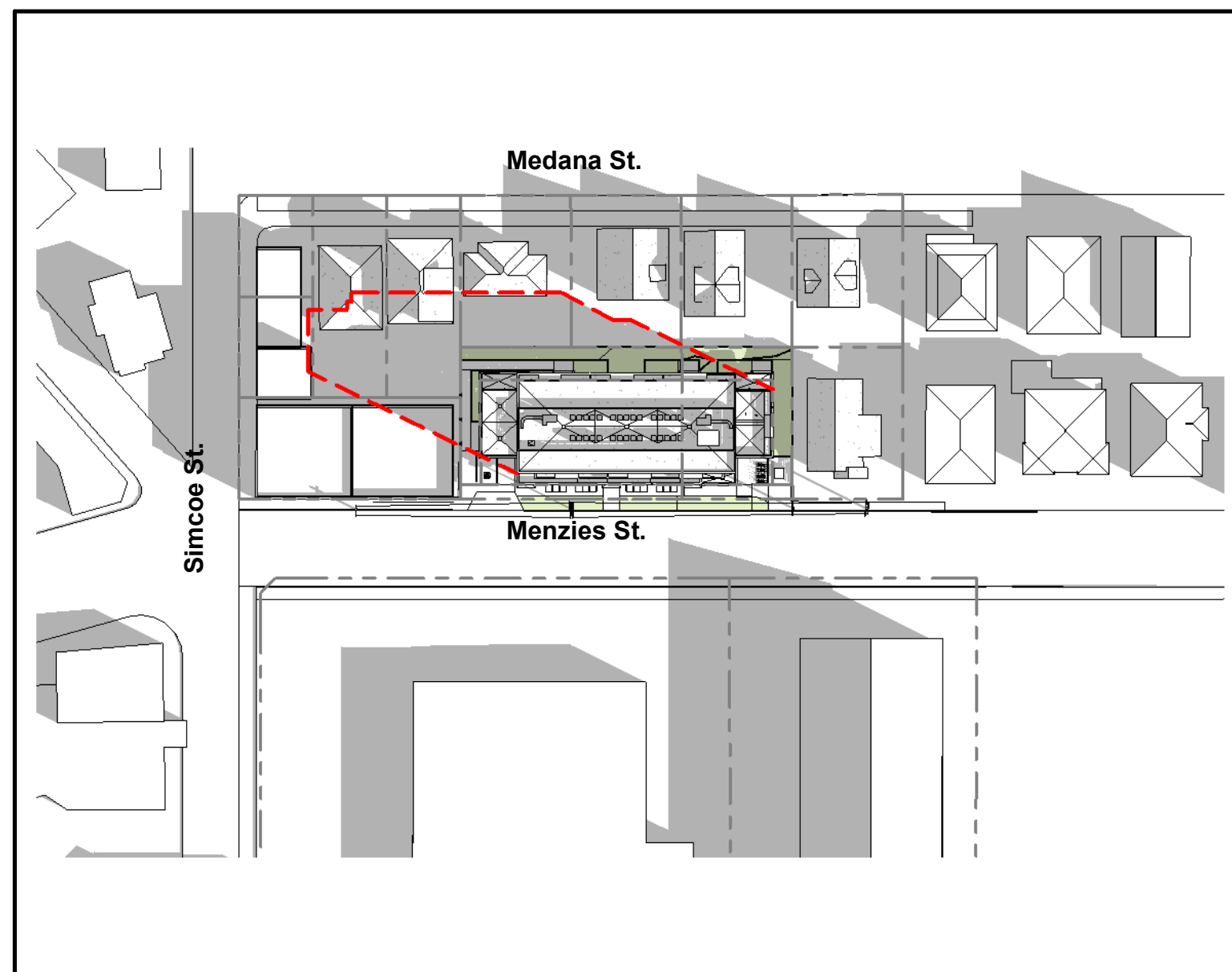
4 | EXISTING SHADOWS- WINTER SOLTICE - 4pm
1 : 1000



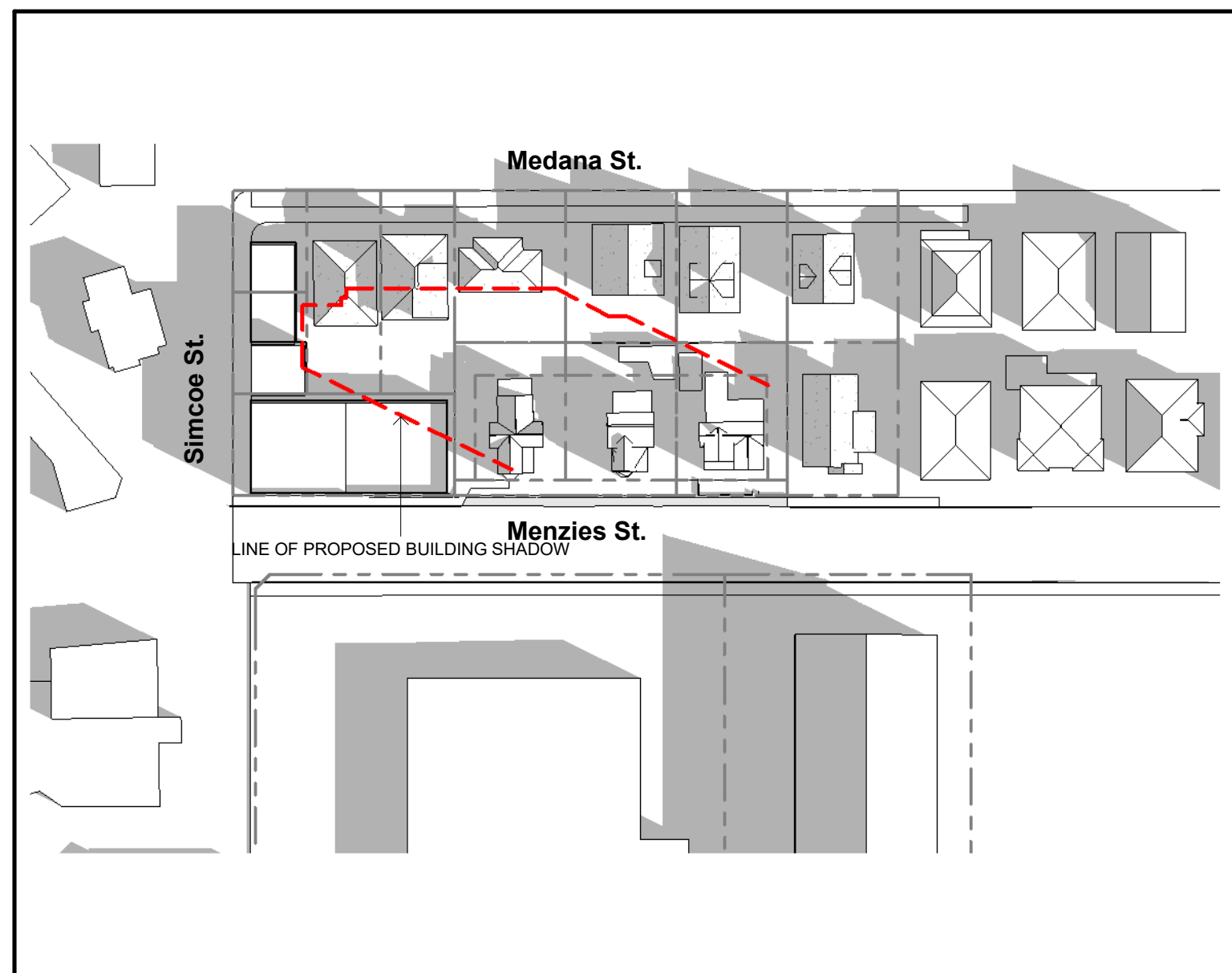
5 | SHADOWS-SPRING/AUTUMN EQUINOX-8am
1 : 1000



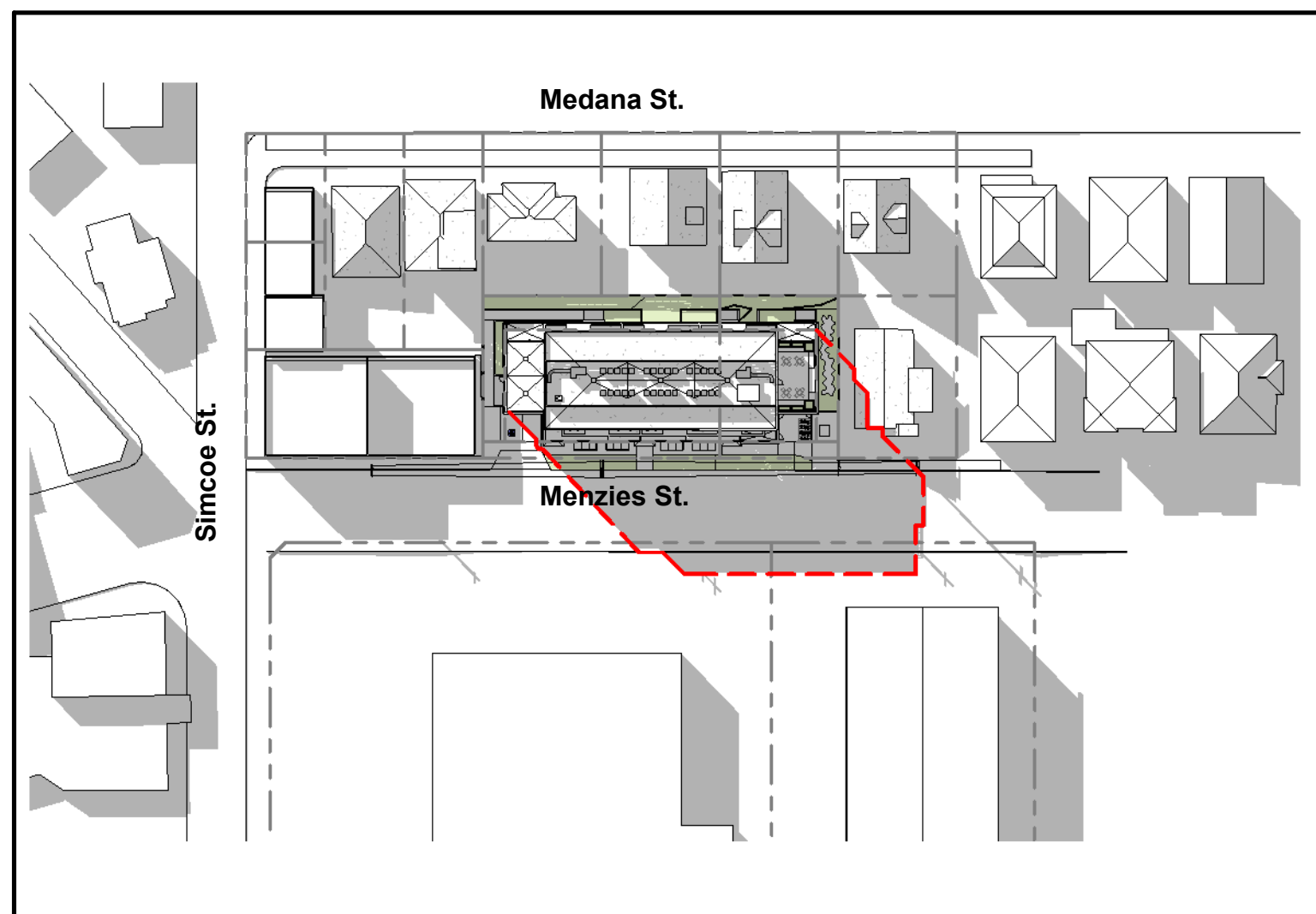
6 | SHADOWS-SPRING/AUTUMN EQUINOX-NOON
1 : 1000



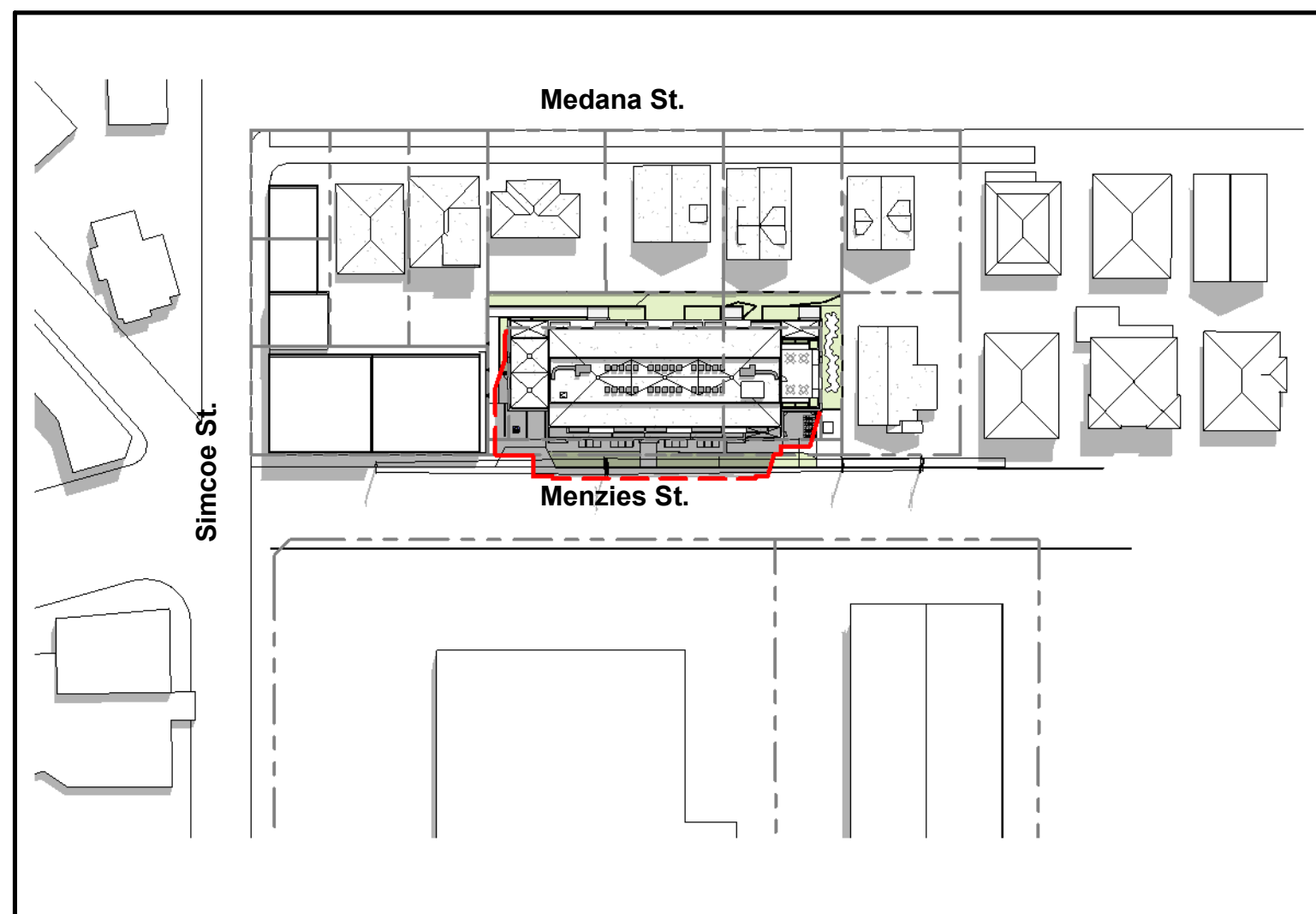
7 | SHADOWS-SPRING/AUTUMN EQUINOX-5pm
1 : 1000



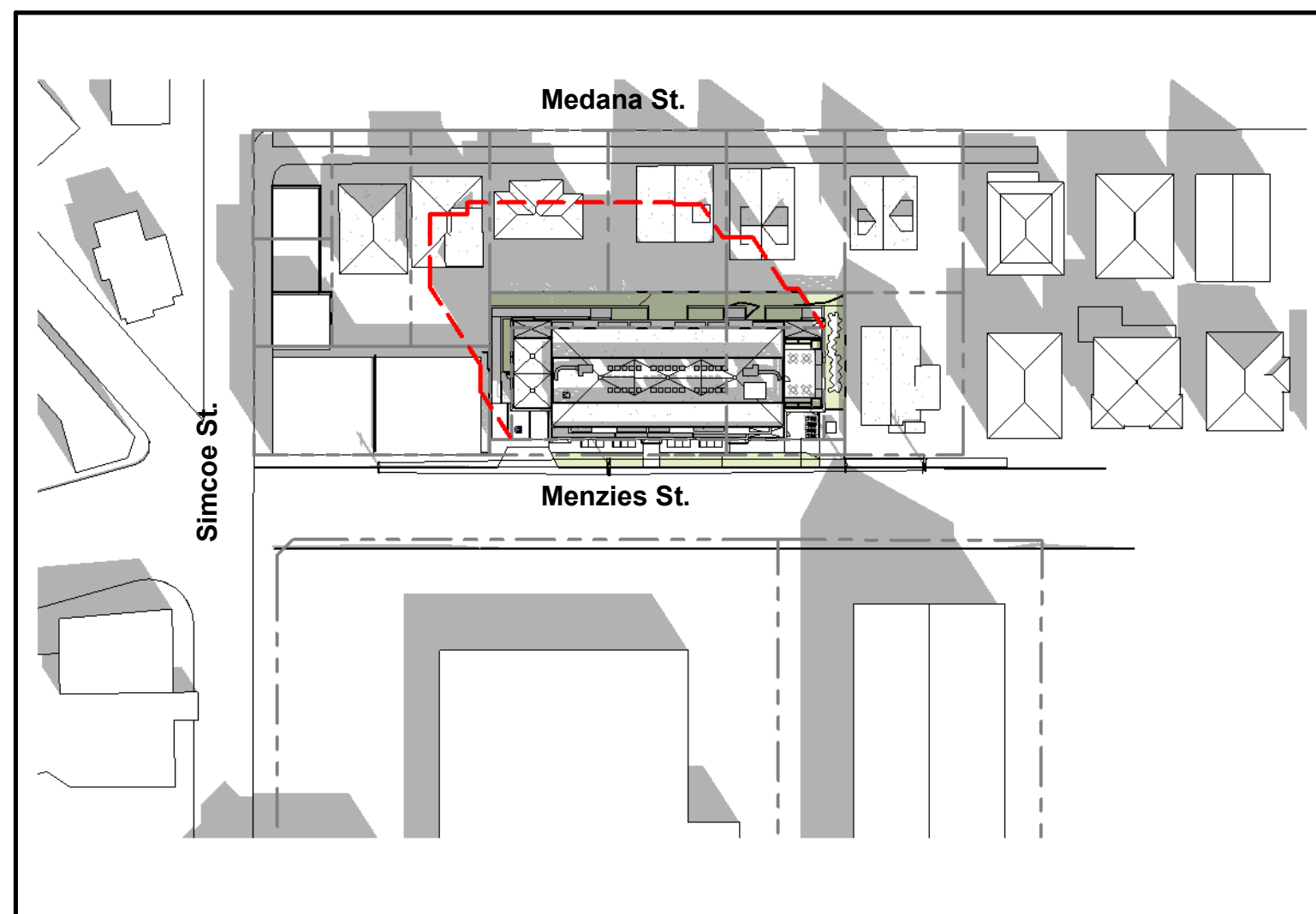
8 | EXISTING SHADOWS - EQUINOX - 5pm
1 : 1000



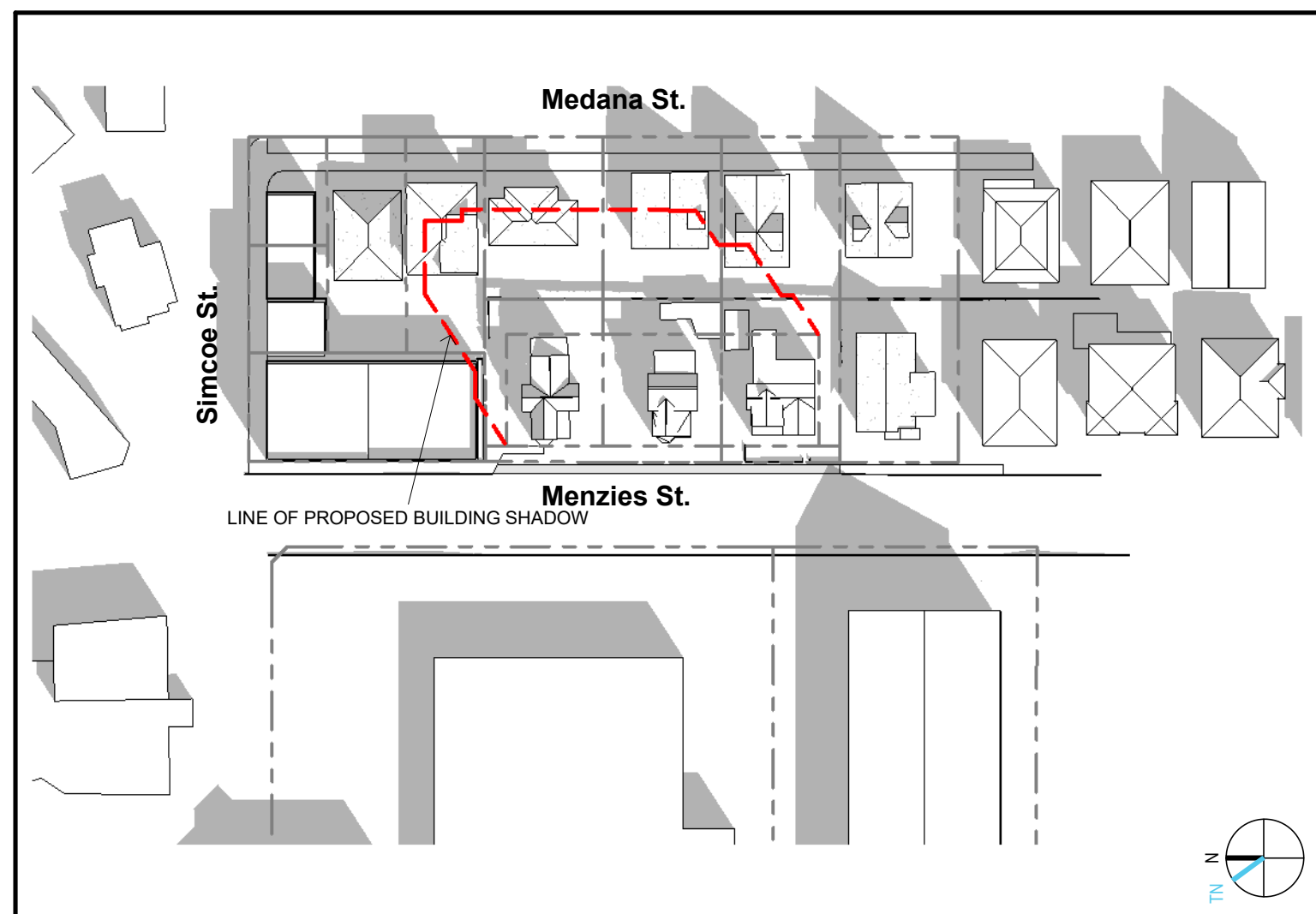
9 | SHADOWS - SUMMER SOLTICE - 8am
1 : 1000



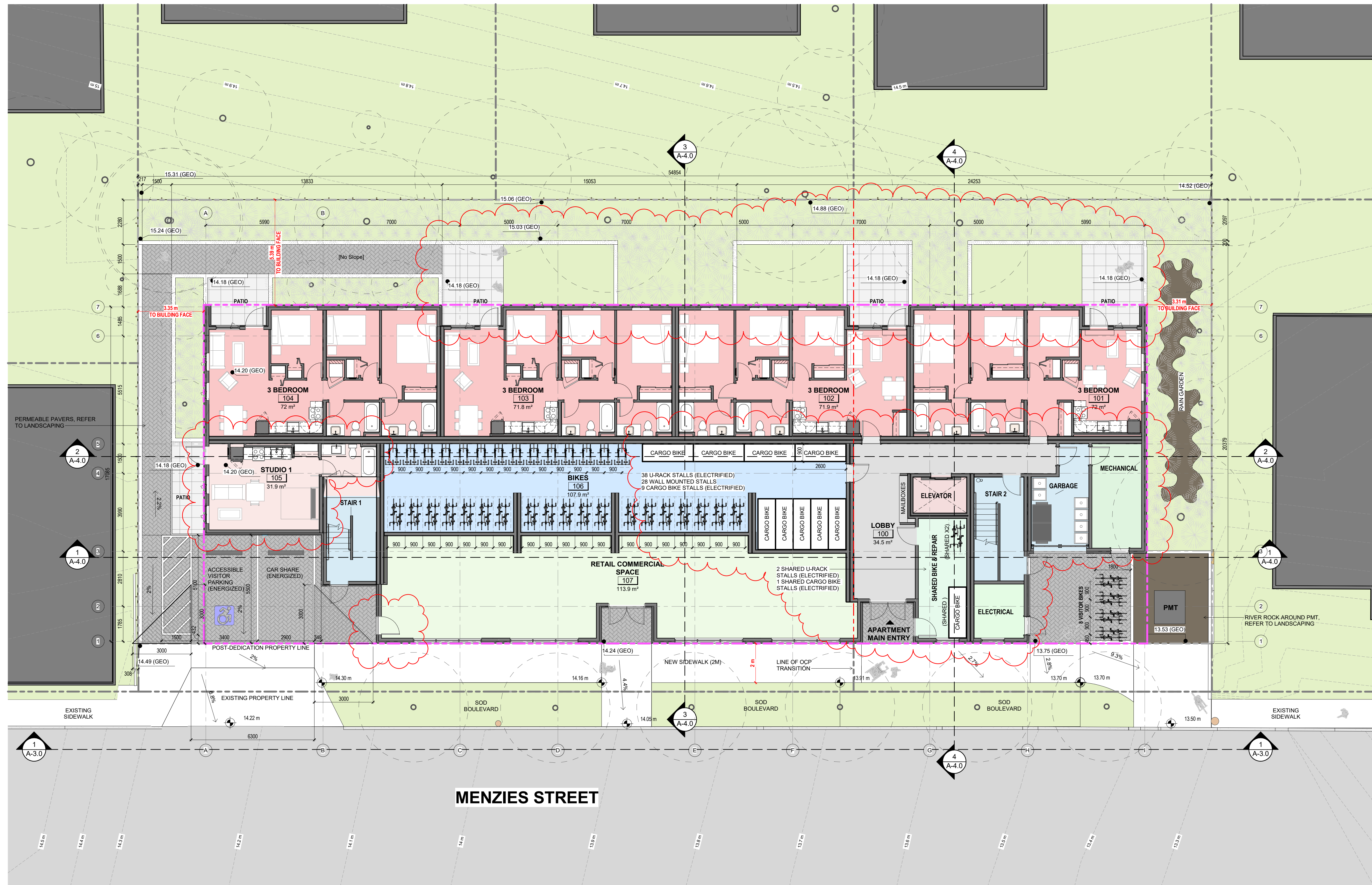
10 | SHADOWS - SUMMER SOLTICE - NOON
1 : 1000



11 | SHADOWS - SUMMER SOLTICE - 6pm
1 : 1000



12 | EXISTING SHADOWS- SUMMER SOLTICE-6pm
1 : 1000



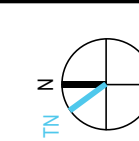
UNIT AND AREA LEGEND	
[Red]	3 BEDROOM
[Blue]	BIKES
[Green]	ELECTRICAL
[Pink]	ELEVATOR
[Light Blue]	GARBAGE
[Grey]	LOBBY
[Light Green]	MECHANICAL
[Light Green]	RETAIL COMMERCIAL SPACE
[Light Green]	SHARED BIKE & REPAIR
[Blue]	STAIR 1
[Blue]	STAIR 2
[Pink]	STUDIO 1

1 | L1 FLOOR PLAN
1:100

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MIKE GERIC
CONSTRUCTION



0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

LEVEL 1 FLOOR PLAN

JOB No.: 2403

SCALE: 1:100

A-2.1

DATE: 2024-03-21



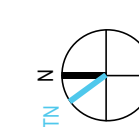
- UNIT AND AREA LEGEND**
- 1 BEDROOM
 - 2 BEDROOM
 - CORRIDOR
 - ELEC/TEL
 - ELEVATOR
 - STAIR 1
 - STAIR 2
 - STUDIO 2
 - STUDIO 3

1 | L2 FLOOR PLAN
1:100

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MIKE GERIC
CONSTRUCTION



0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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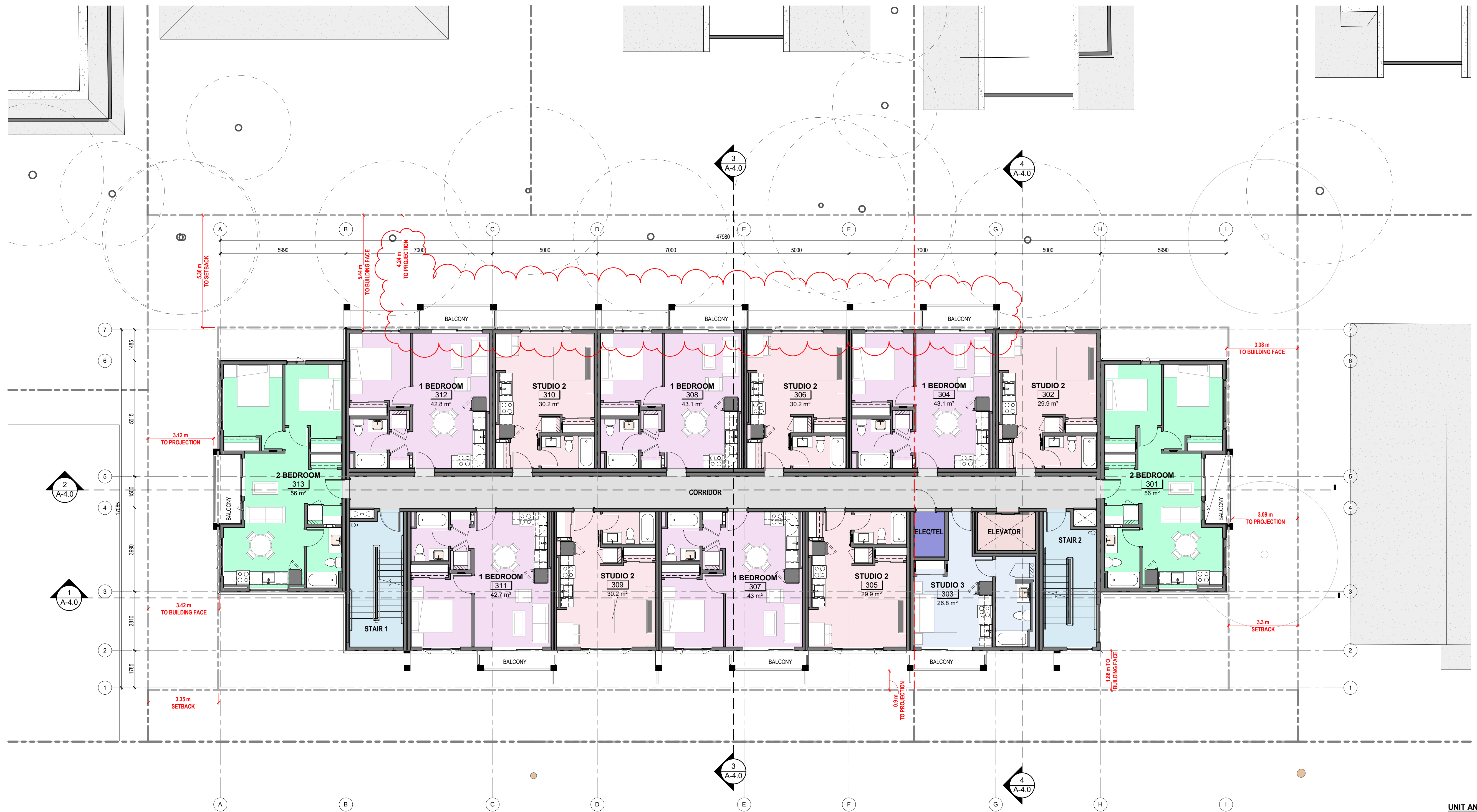
LEVEL 2 FLOOR PLAN

JOB No.: 2403

SCALE: 1:100

A-2.2

DATE: 2023-03-14



UNIT AND AREA LEGEND	
	1 BEDROOM
	2 BEDROOM
	CORRIDOR
	ELEVATOR
	ELEVATOR
	STAIR 1
	STAIR 2
	STUDIO 2
	STUDIO 3

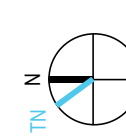
1 | L3 FLOOR PLAN

1 : 100

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MIKE GERIC
CONSTRUCTION



0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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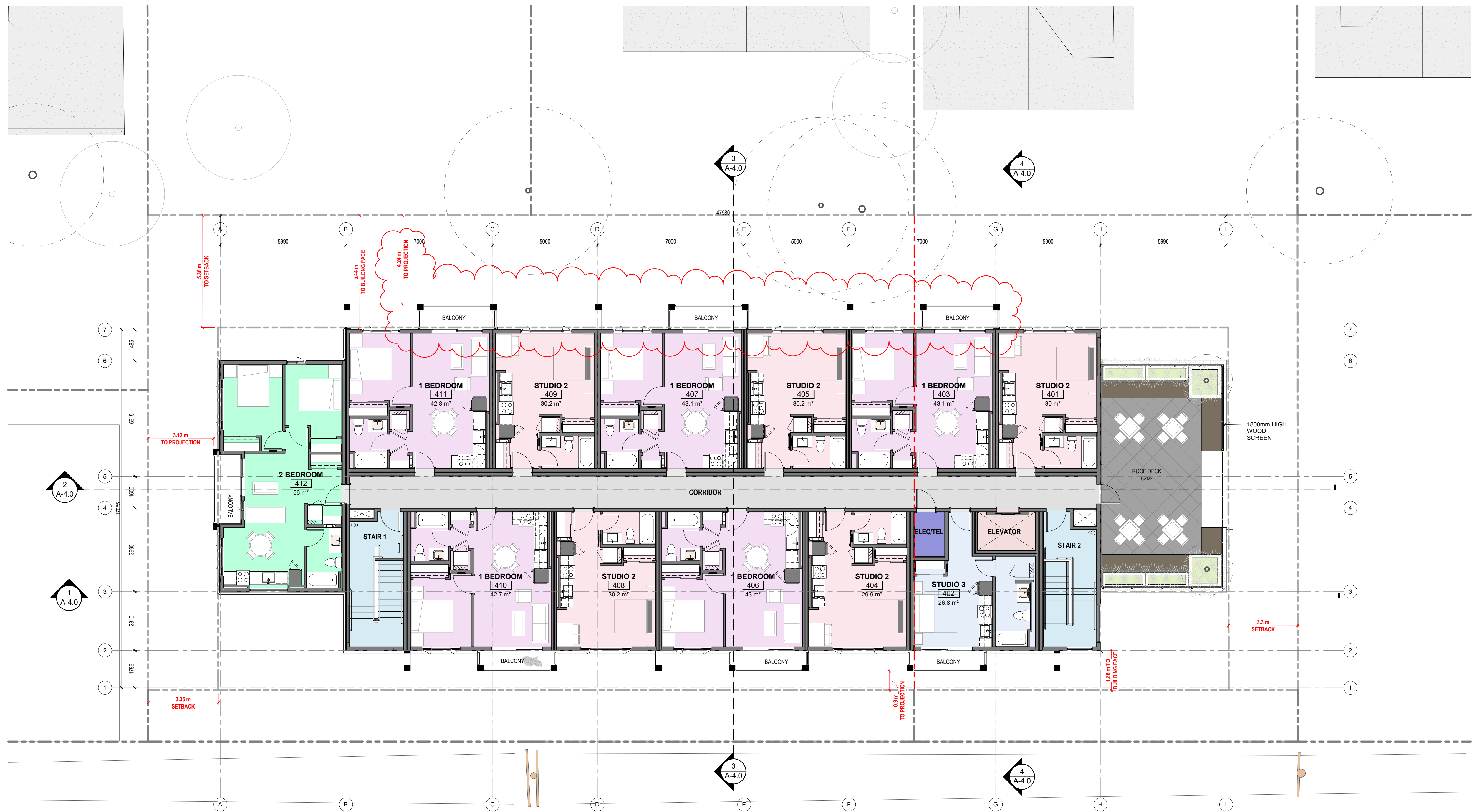
LEVEL 3 FLOOR PLAN

JOB No.: 2403

SCALE: 1 : 100

A-2.3

DATE: 02/05/22



UNIT AND AREA LEGEND

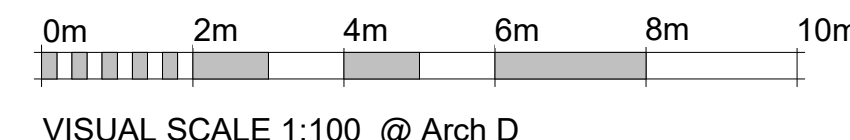
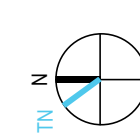
1 BEDROOM
2 BEDROOM
CORRIDOR
ELEC/TEL
ELEVATOR
STAIR 1
STAIR 2
STUDIO 2
STUDIO 3

1 | L4 FLOOR PLAN
1:100

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MIKE GERIC
CONSTRUCTION



8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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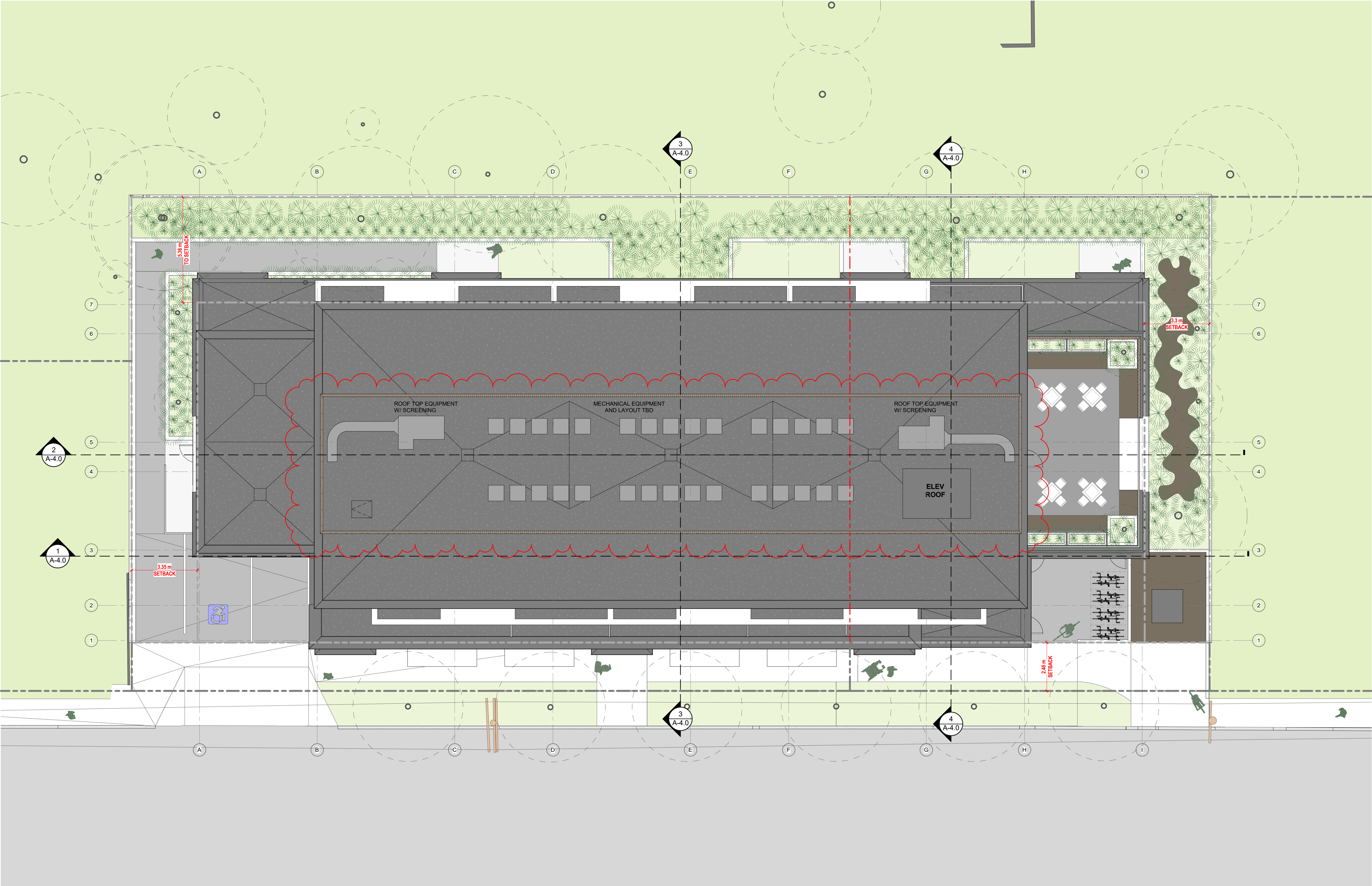
LEVEL 4 FLOOR PLAN

JOB No.: 2403

SCALE: 1:100

A-2.4

DATE: 2024/03/12

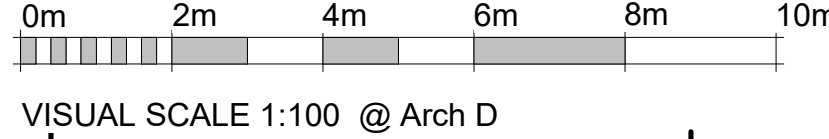
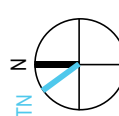


1 | ROOF PLAN
1 : 100

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MIKE GERIC
CONSTRUCTION



VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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131 MENZIES STREET
VICTORIA, BC V8V 2G4

ROOF PLAN

JOB No.: 2403

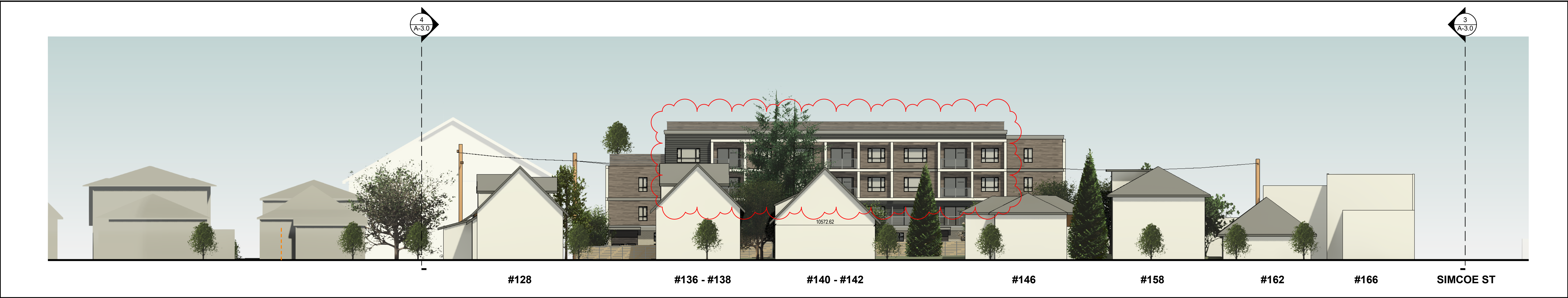
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A-2.5

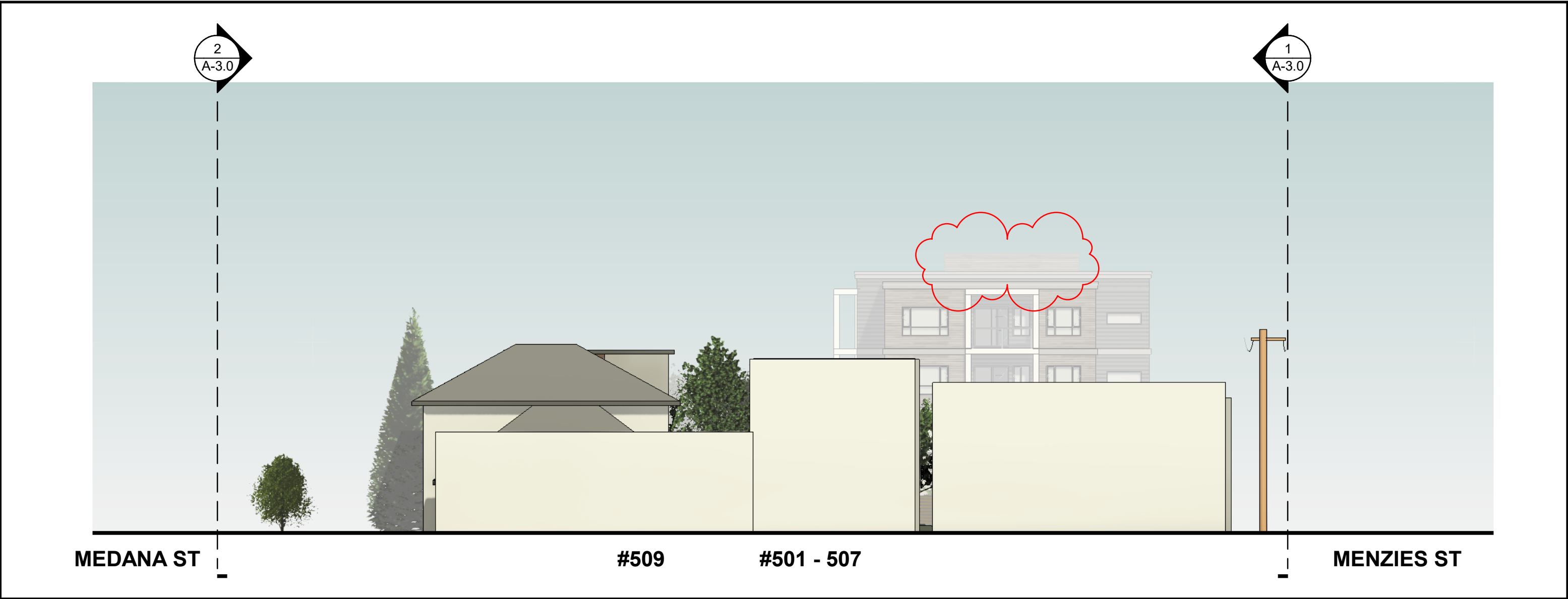
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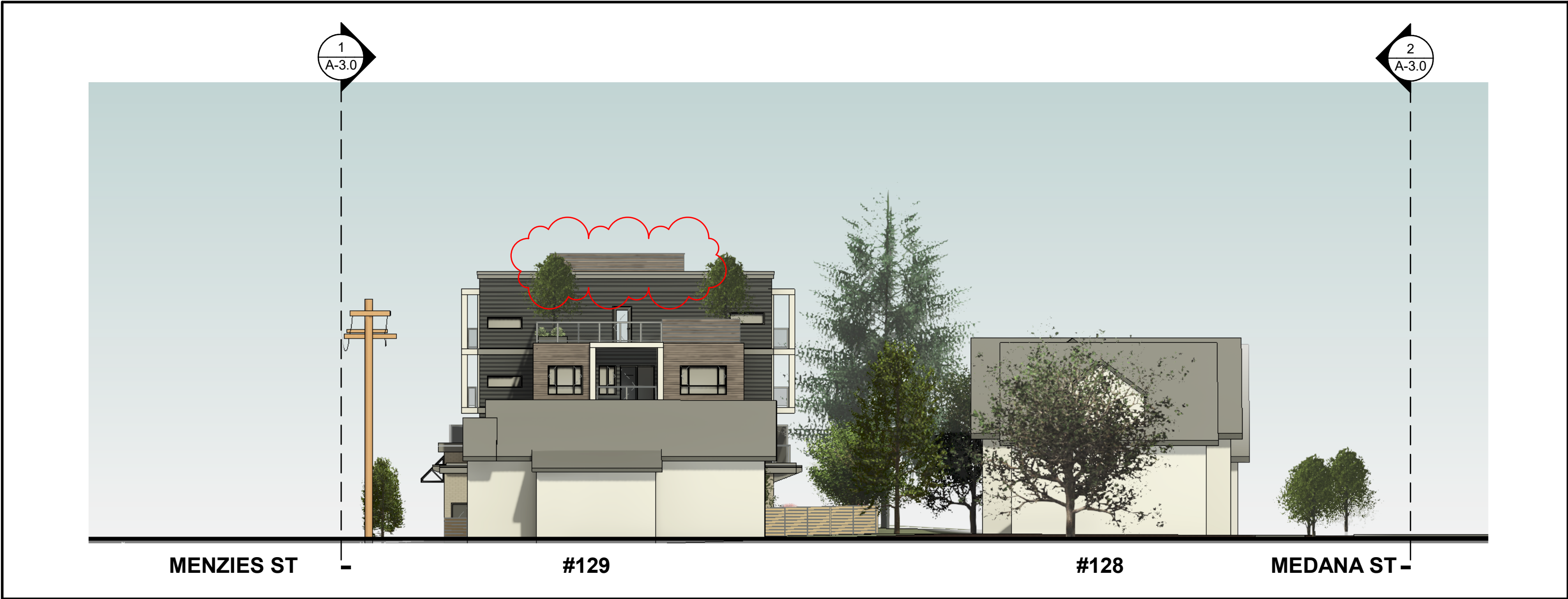
1 | MENZIES STREETSCAPE
1 : 200



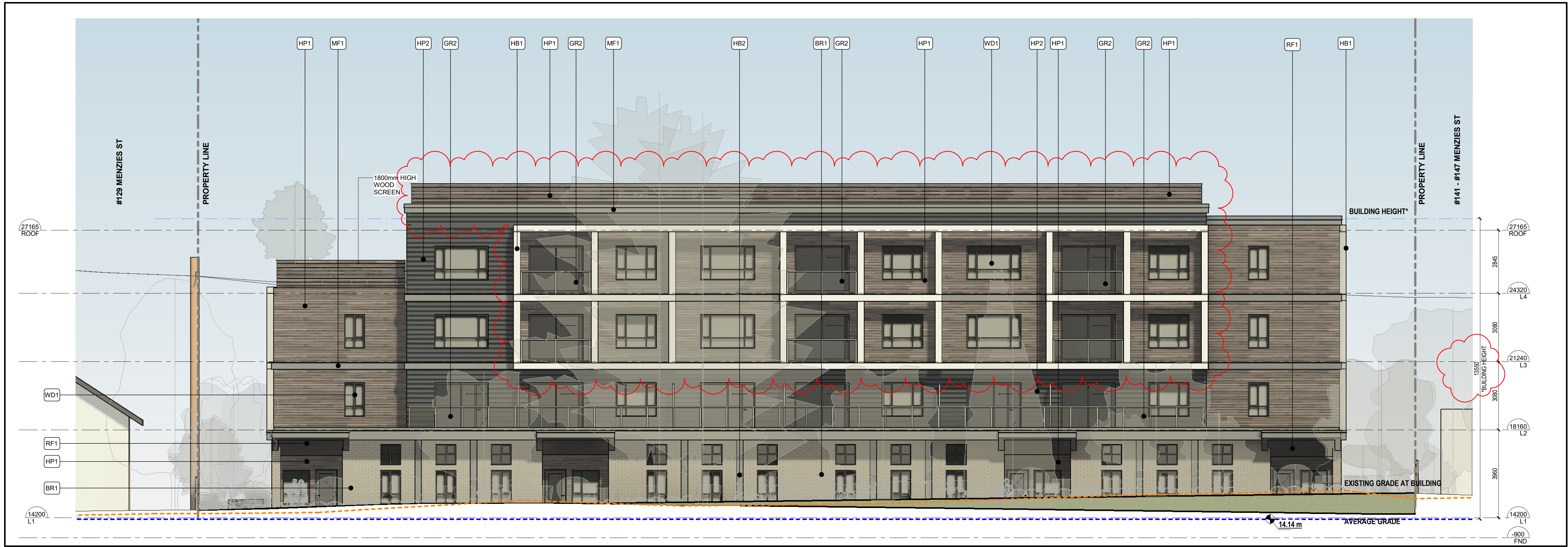
2 | MEDANA STREETSCAPE
1 : 200



3 | SIMCOE STREETSCAPE
1 : 200



4 | #129 MENZIES / #128 MEDANA STREETSCAPE
1 : 200



1 EAST ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100

EXTERIOR KEY NOTES

TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
GR1	ALUMINUM GUARDRAIL - CLEAR GLAZING - ANODIZED
GR2	ALUMINUM GUARDRAIL - FROSTED GLAZING - ANODIZED
HB1	HARDIE BOARD - SMOOTH - ARCTIC WHITE WITH ALUMINUM FRY REGLETS AS SHOWN
HB2	HARDIE BOARD - SMOOTH - LIGHT MIST WITH ALUMINUM FRY REGLETS AS SHOWN
HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
HP2	HARDIE LAP SIDING - CEDAR MILL - NIGHT GREY - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
MF1	METAL CAP FLASHING - BLACK
RF1	FABRIC CANOPY
WD1	WINDOW - VINYL FRAME - BLACK
WD2	STOREFRONT - METAL FRAME - BLACK

MATERIAL LEGEND



BR1
BRICK - RUNNING BOND
SEA GREY



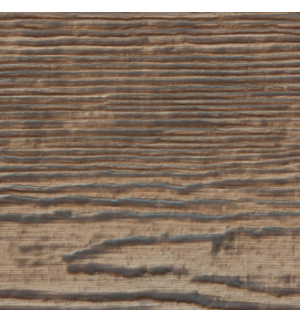
CR1 CR2
EXPOSED CONCRETE
SANDBLASTED



HB1
HARDIE BOARD - SMOOTH
ARCTIC WHITE
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HB2
HARDIE BOARD - SMOOTH
LIGHT MIST
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HP1
JAMES HARDIE LAP SIDING
RUSTICSERIES - RIVER ROCK
6.25" PLANKS - 5" EXPOSURE



HP2
JAMES HARDIE LAP SIDING
RUSTICSERIES - PEPPERY ASH
6.25" PLANKS - 5" EXPOSURE

*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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EXTERIOR KEY NOTES

TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
GR1	ALUMINUM GUARDRAIL - CLEAR GLAZING - ANODIZED
GR2	ALUMINUM GUARDRAIL - FROSTED GLAZING - ANODIZED
HB1	HARDIE BOARD - SMOOTH - ARCTIC WHITE WITH ALUMINUM FRY REGLETS AS SHOWN
HB2	HARDIE BOARD - SMOOTH - LIGHT MIST WITH ALUMINUM FRY REGLETS AS SHOWN
HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
HP2	HARDIE LAP SIDING - CEDAR MILL - NIGHT GREY - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
MF1	METAL CAP FLASHING - BLACK
RF1	FABRIC CANOPY
WD1	WINDOW - VINYL FRAME - BLACK
WD2	STOREFRONT - METAL FRAME - BLACK

MATERIAL LEGEND



BR1
BRICK - RUNNING BOND
SEA GREY



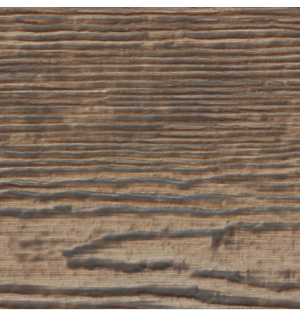
CR1 CR2
EXPOSED CONCRETE
SANDBLASTED



HB1
HARDIE BOARD - SMOOTH
ARCTIC WHITE
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HB2
HARDIE BOARD - SMOOTH
LIGHT MIST
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR

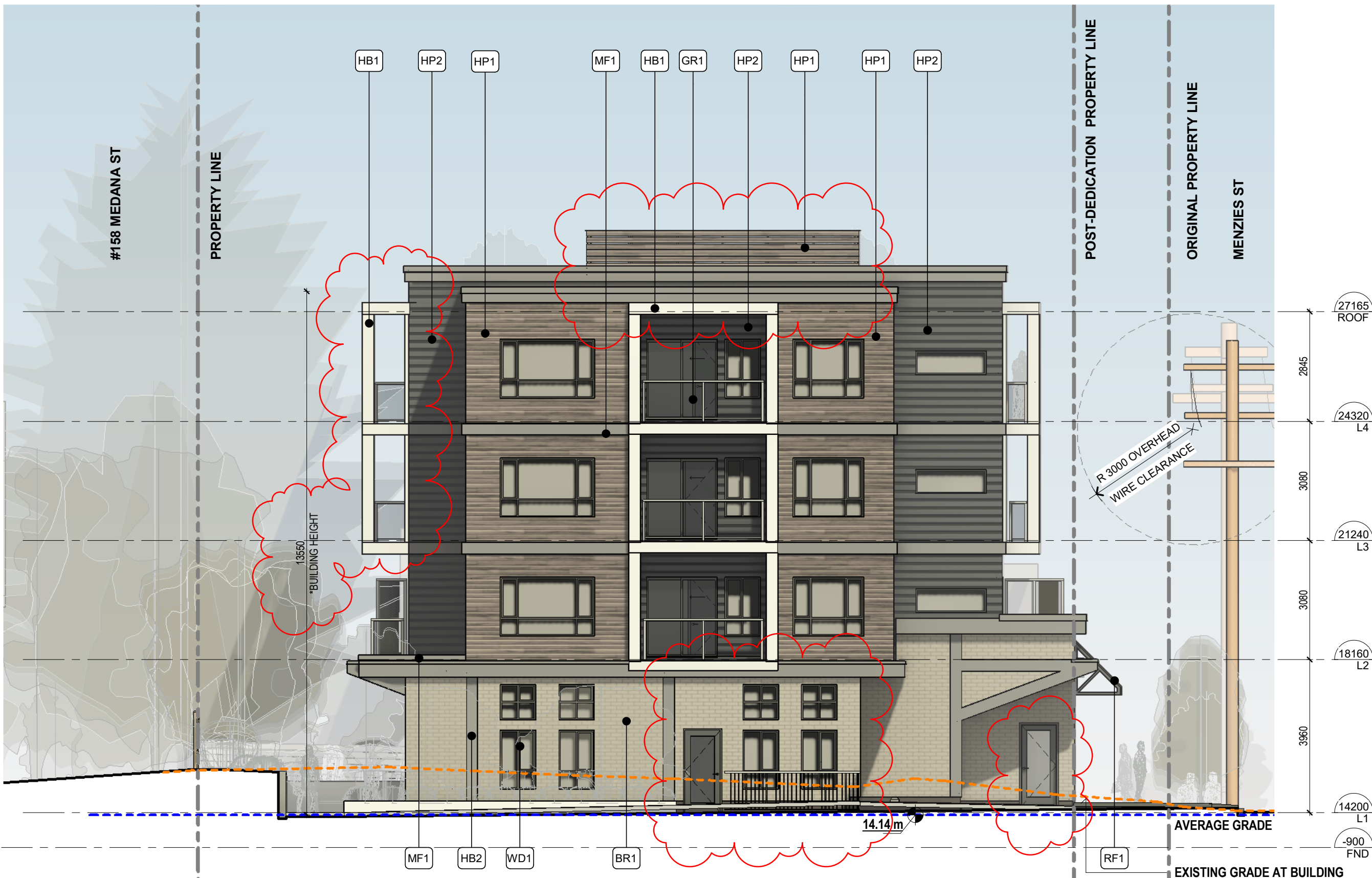


HP1
JAMES HARDIE LAP SIDING
RUSTICSERIES - RIVER ROCK
6.25" PLANKS - 5" EXPOSURE



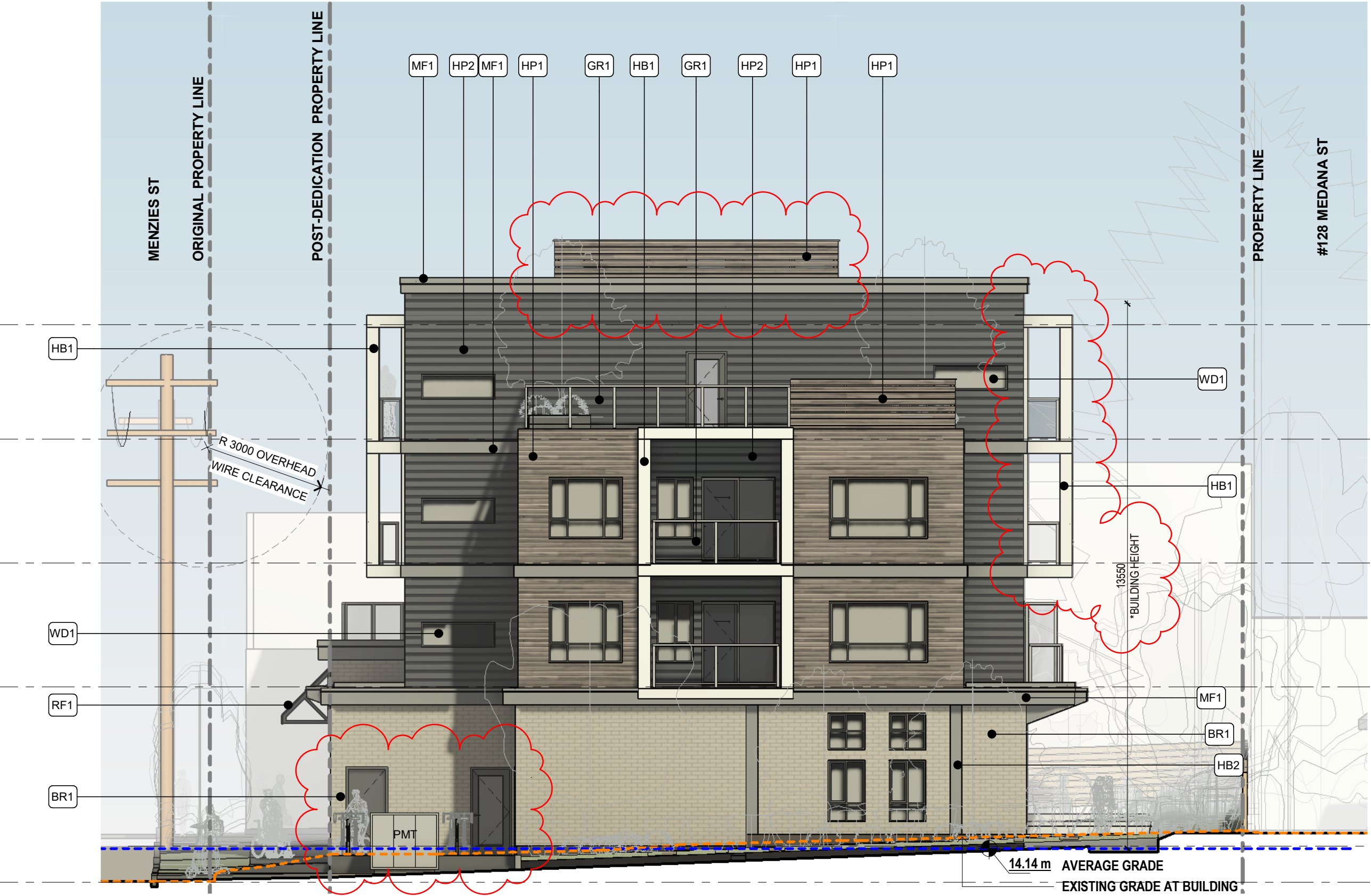
HP2
JAMES HARDIE LAP SIDING
SMOOTH - PEPPERY ASH
6.25" PLANKS - 5" EXPOSURE

*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES



1 NORTH ELEVATION

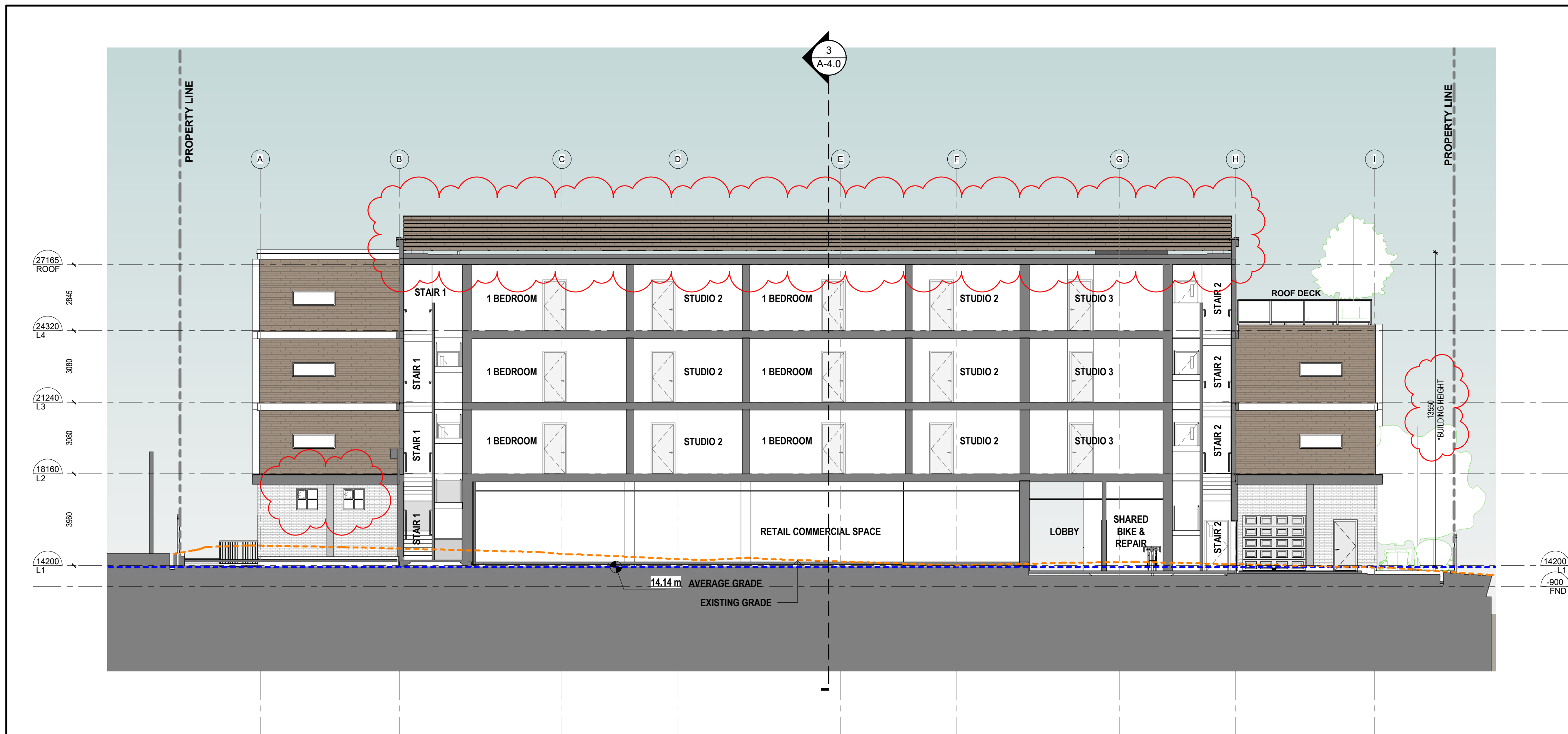
1 : 100



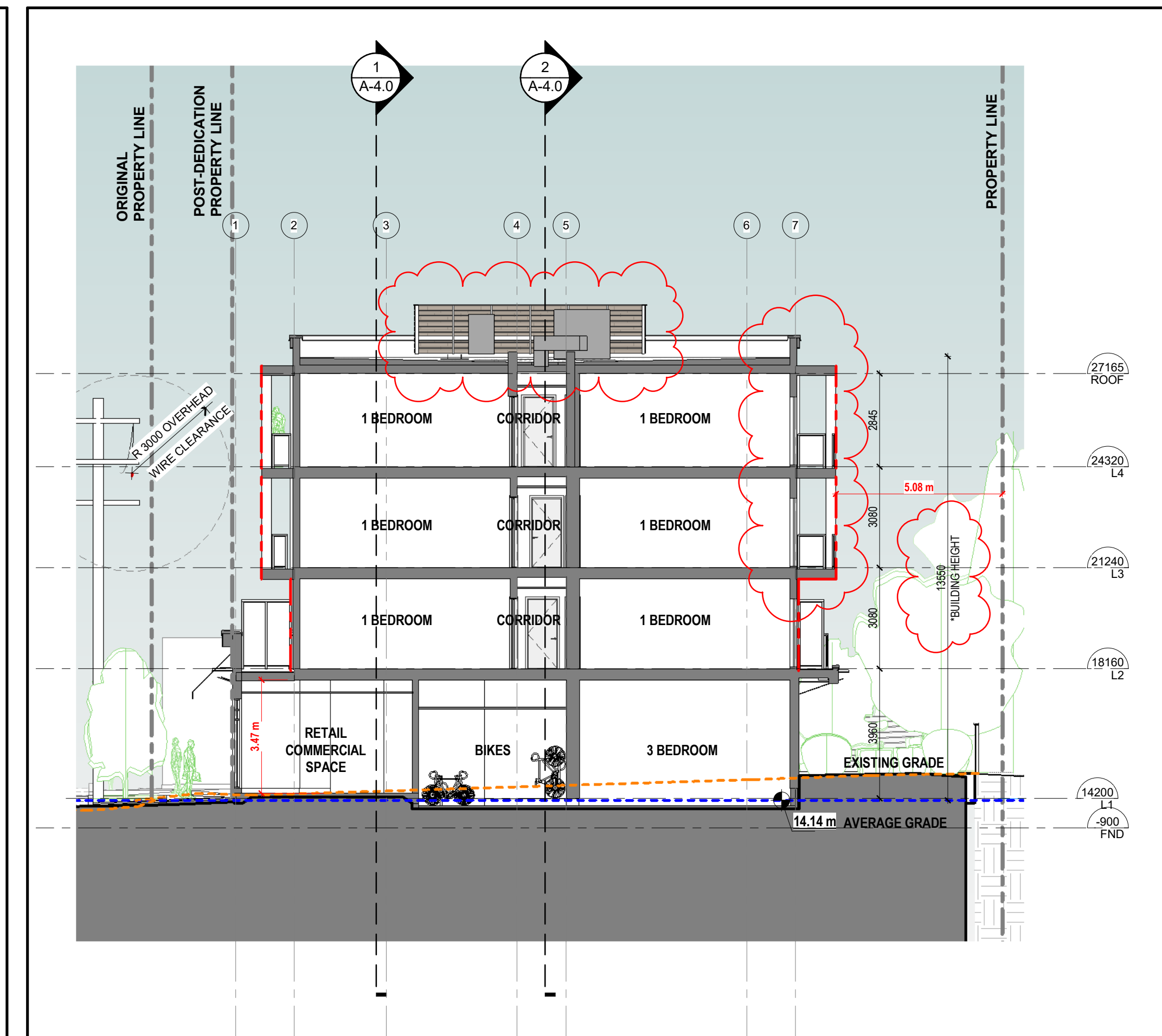
2 SOUTH ELEVATION

1 : 100

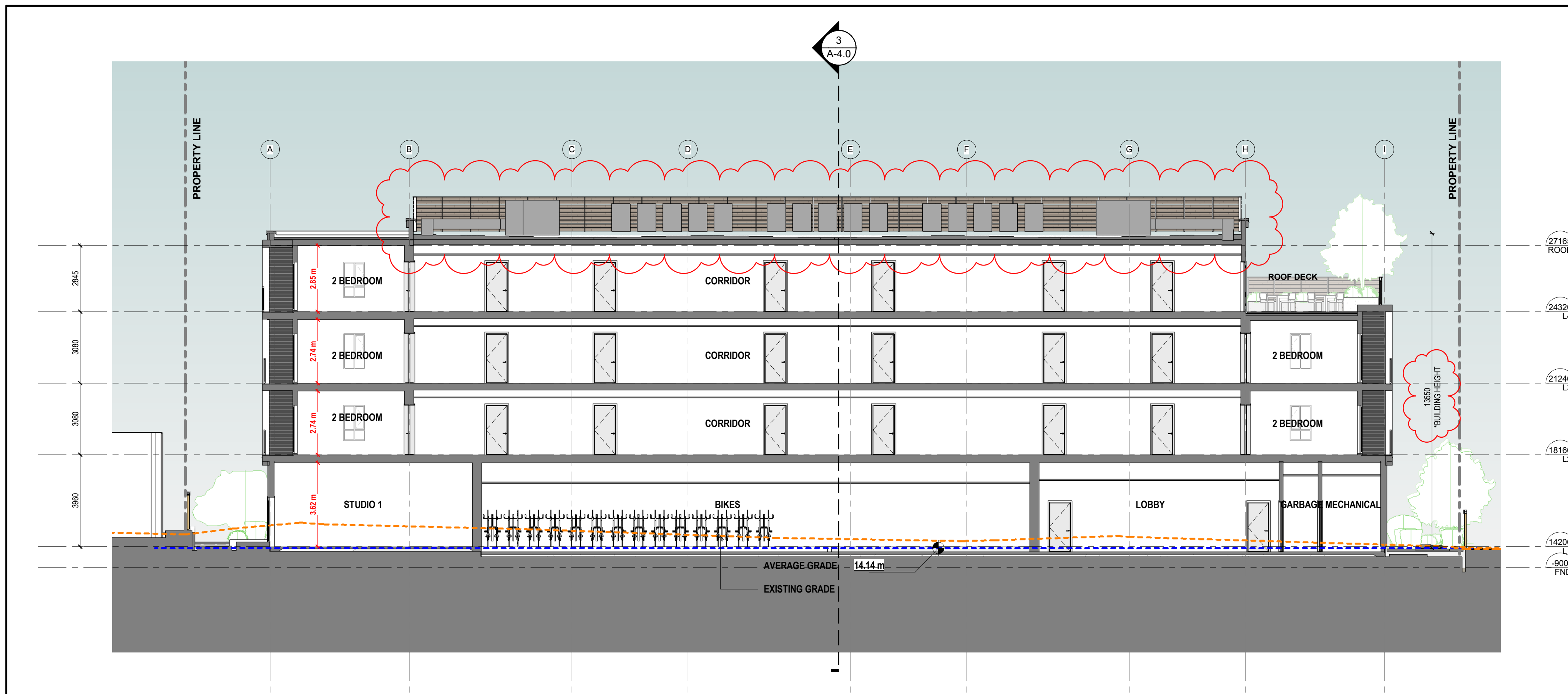
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7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/06/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date



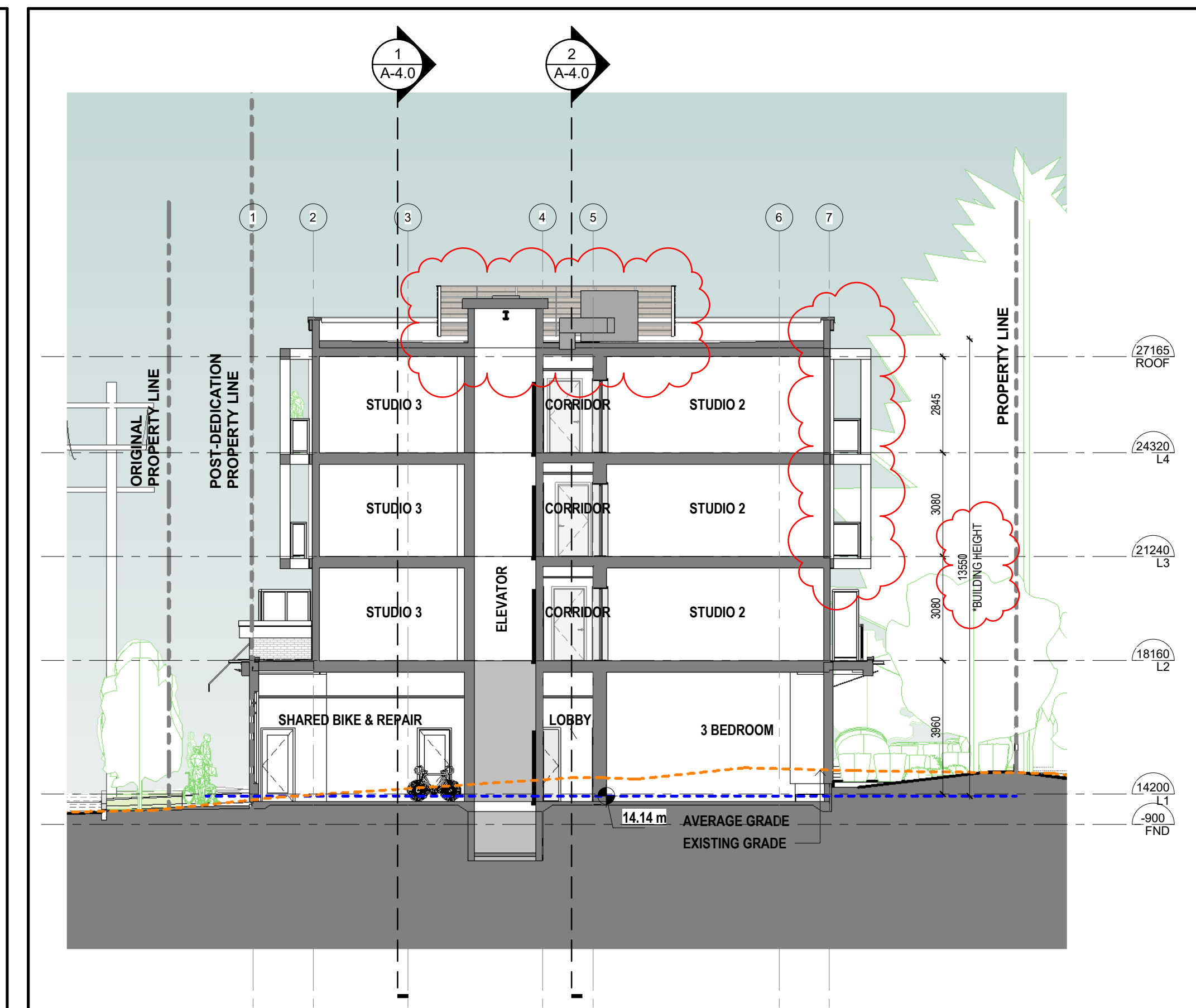
1 | BUILDING SECTION
1 : 125



3 | BUILDING SECTION
1 : 125



2 | BUILDING SECTION
1 : 125



4 | BUILDING SECTION
1 : 125

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
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1	ISSUED FOR DP AMENDMENT	02/05/22
No.	Description	Date

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1 | EXTERIOR 3D VIEW NORTH-WEST
1:1



2 | EXTERIOR 3D VIEW SOUTH-WEST
1:1



3 | EXTERIOR 3D VIEW NORTH-EAST
1:1



4 | EXTERIOR 3D VIEW SOUTH-EAST
1:1

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MIKE GERIC
CONSTRUCTION

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
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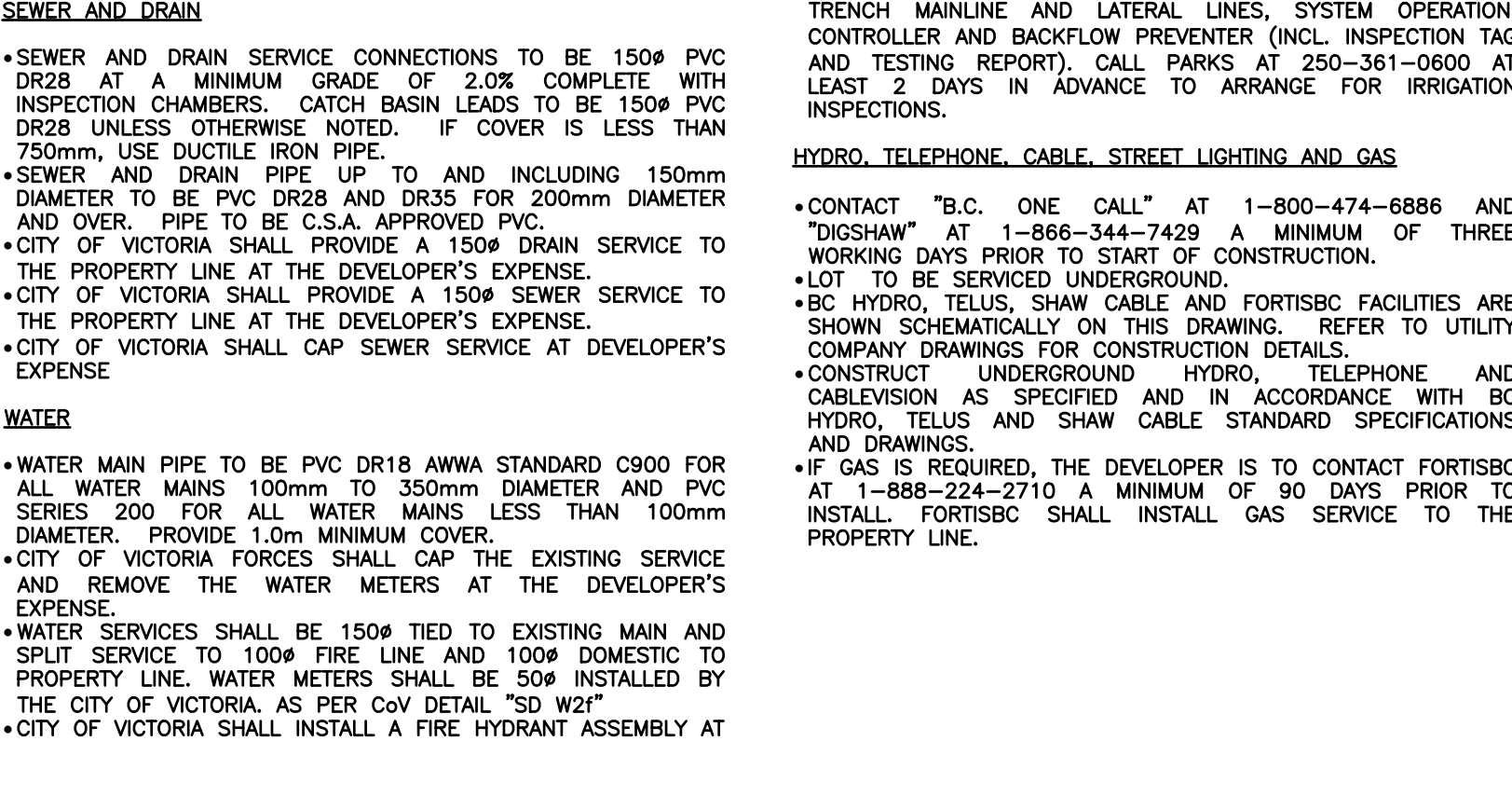
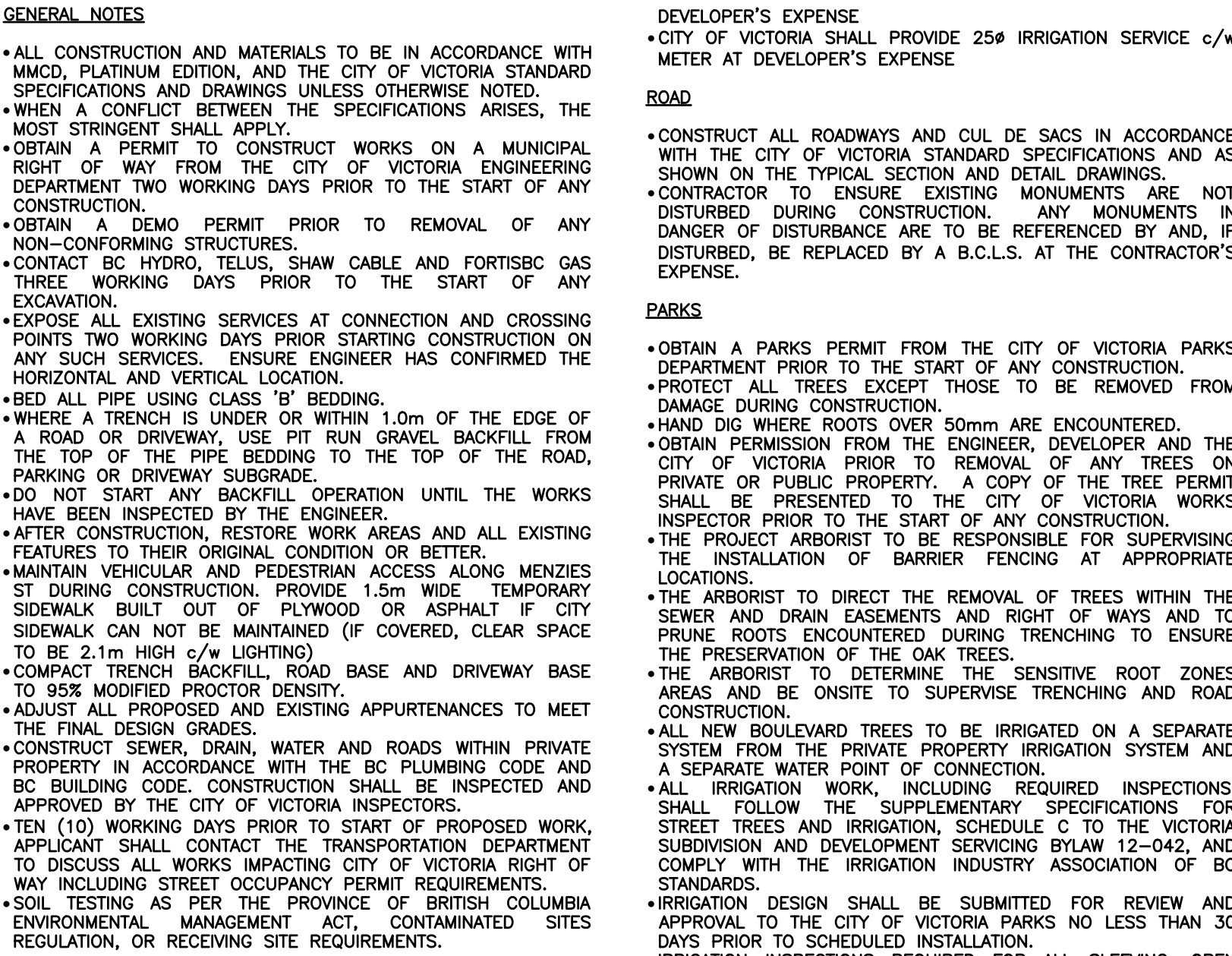
3D STREET VIEWS

JOB No.: 2403

SCALE: 1 : 1

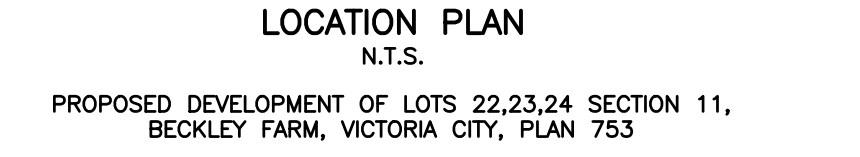
A-5.0


DATE: 2024/03/12

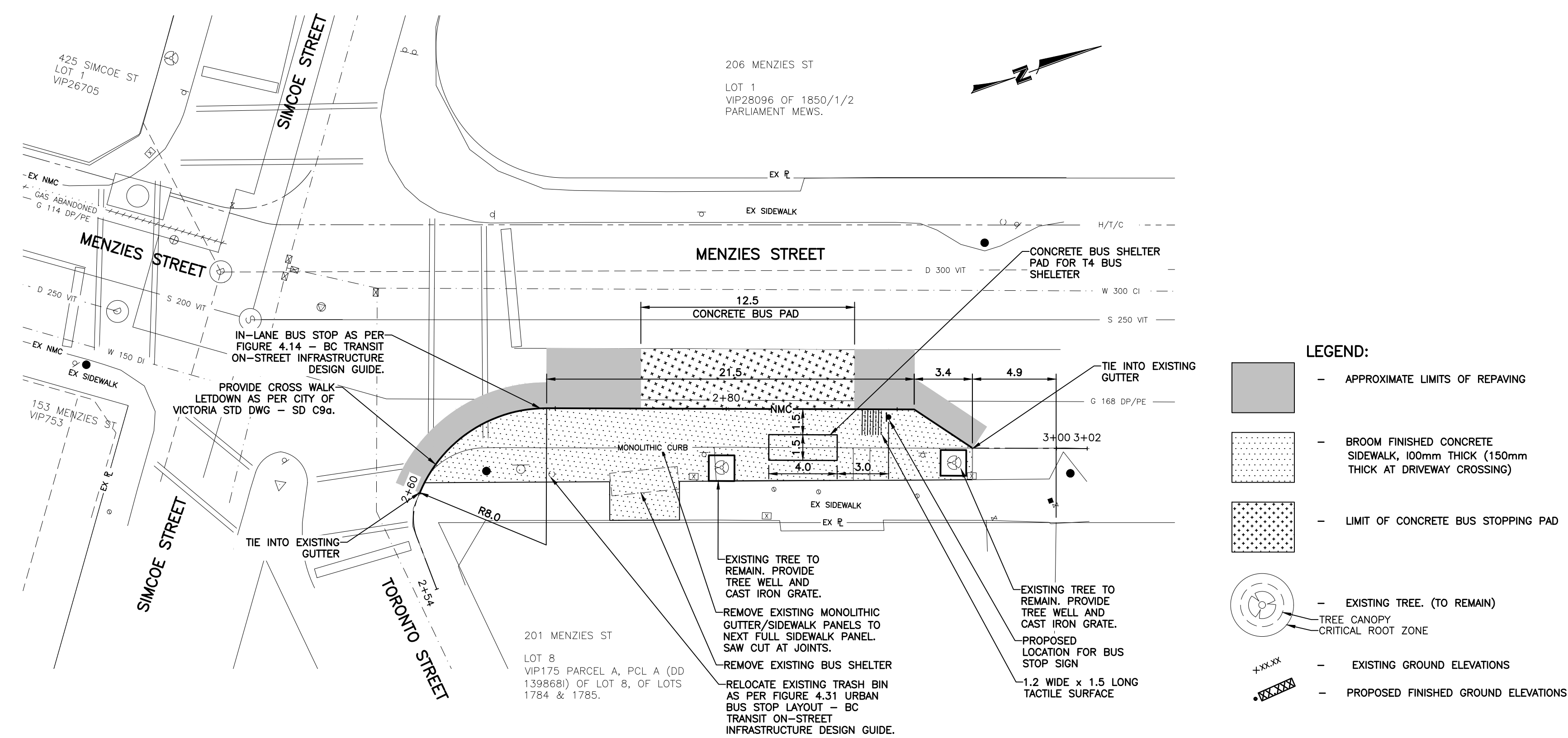
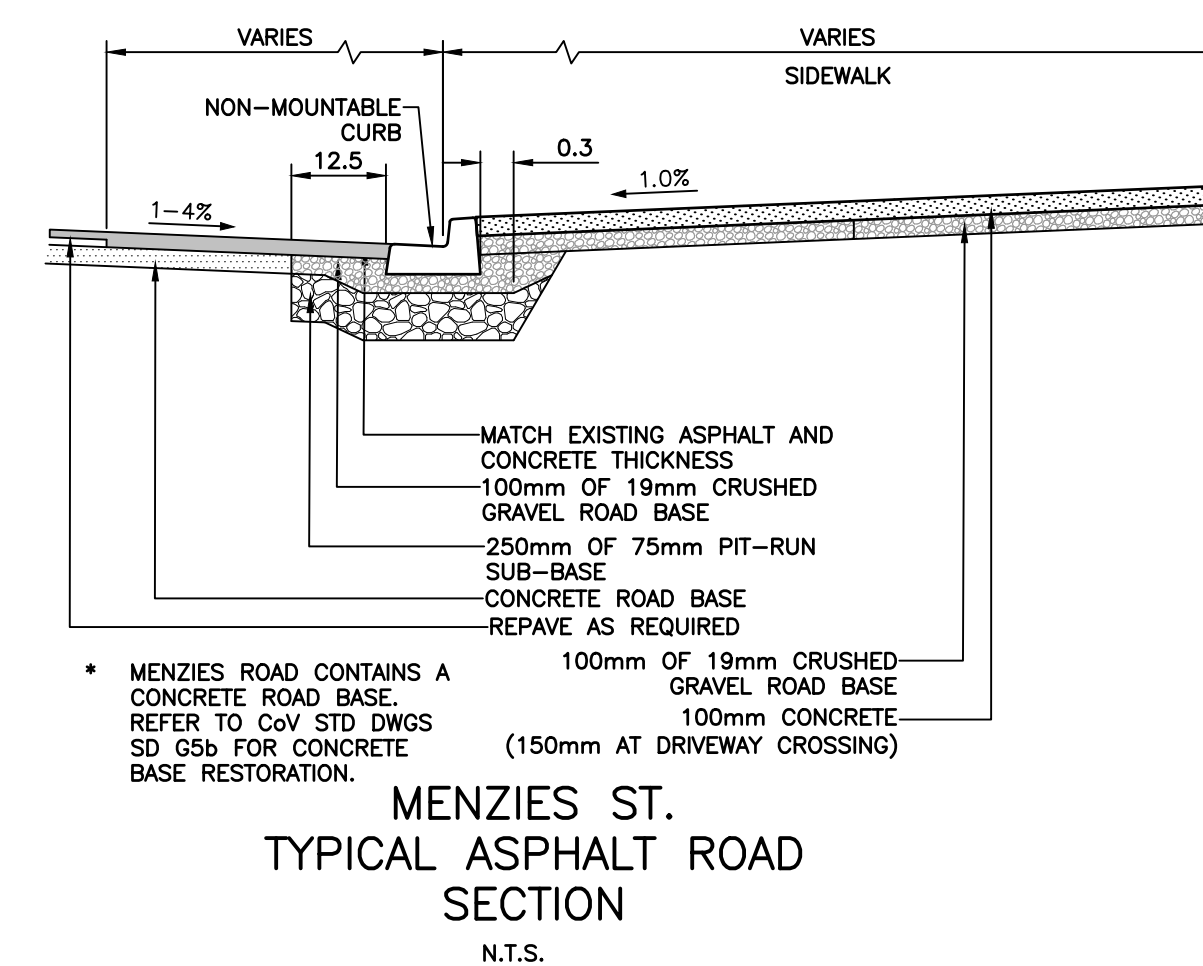
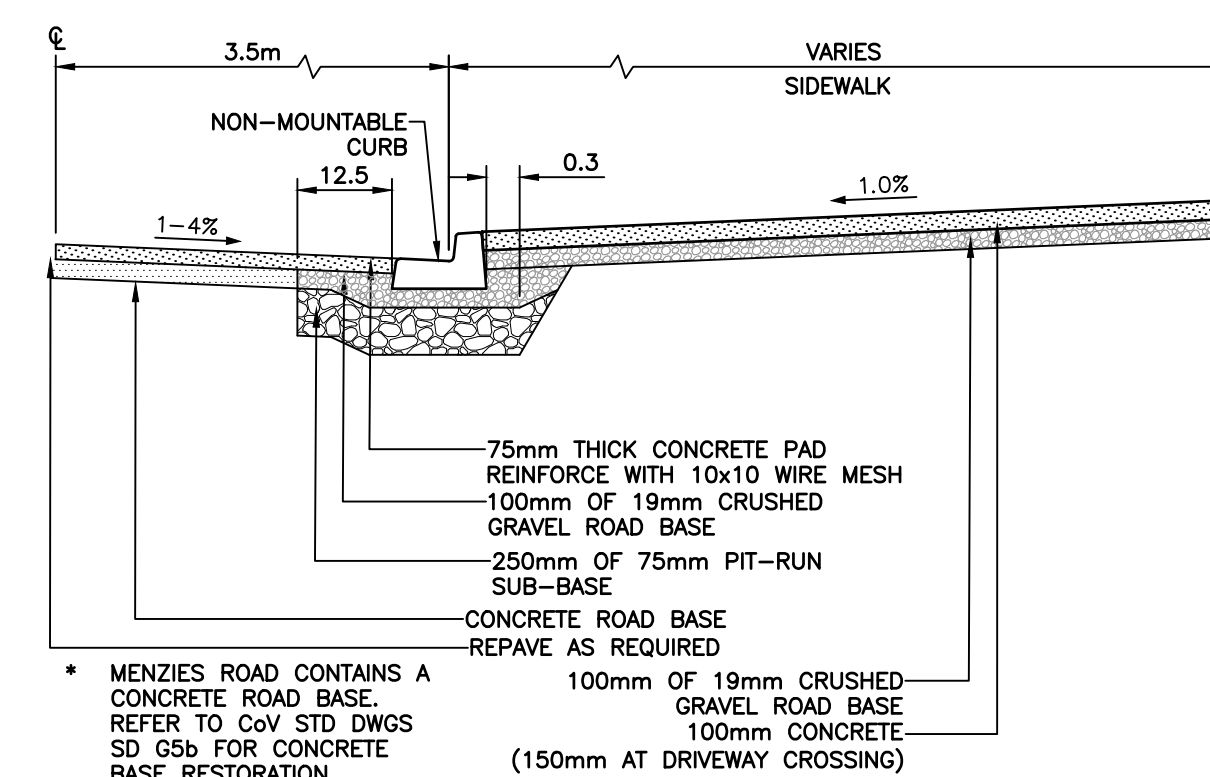
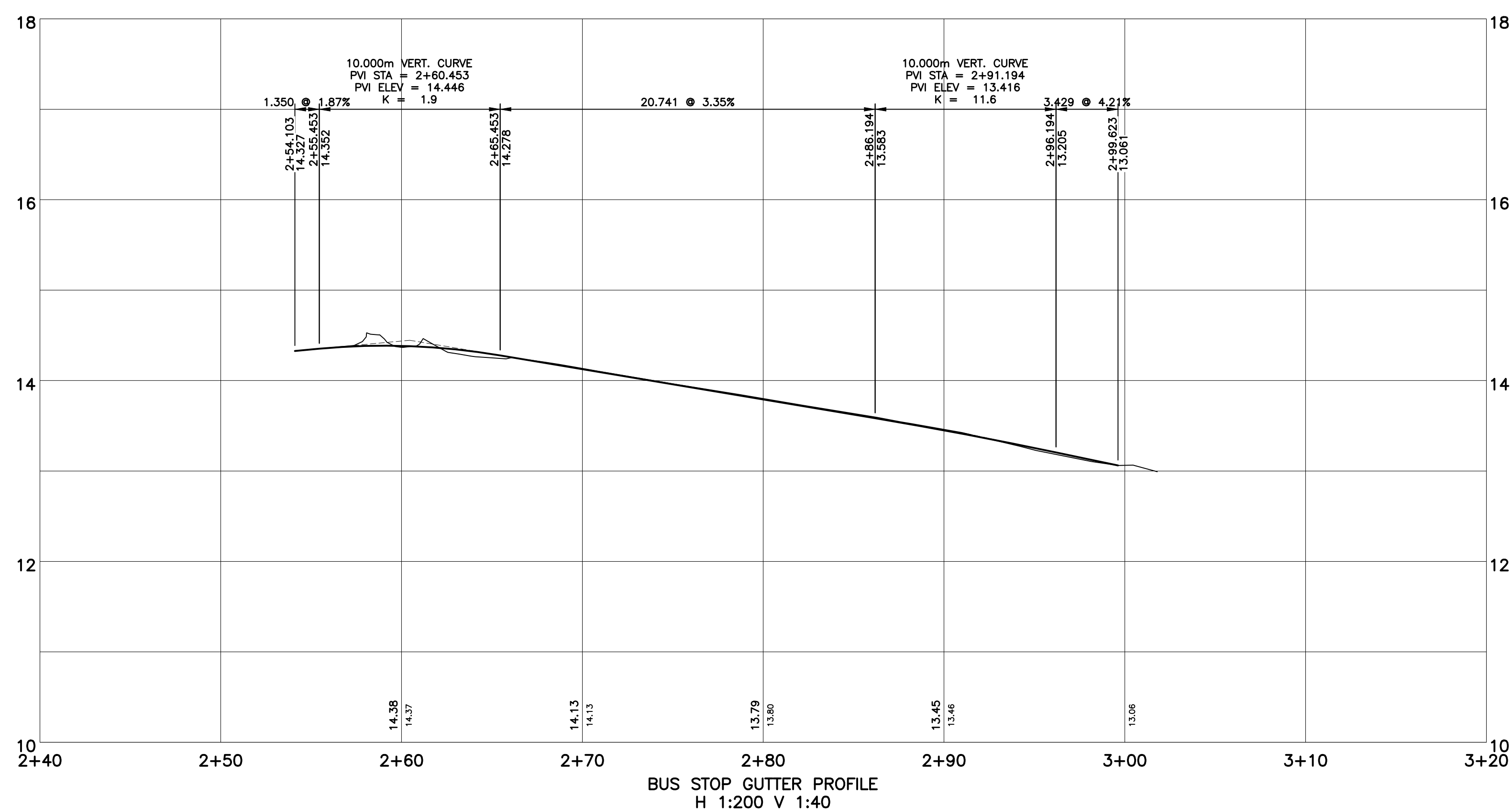


LEGEND:

- APPROXIMATE LIMITS OF REPAVING
- BROOM FINISHED CONCRETE
SIDEWALK, 100mm THICK (150mm
THICK AT DRIVEWAY CROSSING)
- LANDSCAPED BLVD (SEE LANDSCAPE
PLANS FOR DETAILS)
- PERMEABLE PAVERS (SEE LANDSCAPE
/ ARCHITECT PLANS FOR DETAILS)
- PROPOSED TREE. REFER TO
LANDSCAPE DRAWINGS FOR DETAILS
- EXISTING TREE. (TO REMAIN)
- TREE CANOPY
- CRITICAL ROOT ZONE
- EXISTING TREE. (TO BE REMOVED)
- EXISTING GROUND ELEVATIONS
- PROPOSED FINISHED GROUND ELEVATIONS



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS	LEGEND						SEAL	REVISIONS				ENGINEER TK/MW DESIGNER PC		 WESTBROOK Consulting Ltd. #115 - 866 Goldstream Ave., Victoria, BC V9B 0J3 Telephone: 250-391-8592 Facsimile: 250-391-8593	PROJECT 131,135,139 MENZIES ST MIKE GERIC CONSTRUCTION LTD SERVICING PLAN AND PROFILE GENERAL NOTES LOCATION PLAN	WESTBROOK PROJECT No. 3757 GOVERNING AUTHORITY FILE No.	
	WATER — W — G — SEWER — S — C — DRAIN — D — SIDEWALK — S/W — DITCH — — EDGE PAVE. — CULVERT — BUSHLINE — HEADWALL — TREE —	GAS — G — CURB — C — SIDEWALK — S/W — POWER POLE — BUSHLINE — TREE —	EXISTING U/G UTL. — PROPOSED U/G UTL. — LIGHT STANDARD — POWER POLE — ANCHOR — MONUMENT —	MANHOLE — CLEANOUT — CATCHBASIN — ROAD SIGN — HYDRANT — VALVE —	LOT PIN — LEAD PLUG — METER — REDUCER — — —	11 RE—ISSUED FOR DEVELOPMENT PERMIT 24.09.23 PC CHECKED 10 ISSUED FOR CO—ORDINATION 24.09.13 PC DATE JAN 2022 9 ADD PROPOSED BUS STOP DRAWING 24.06.10 PC B.M. MON 8—60 8 REVISED AS PER LANDSCAPE COMMENTS 24.04.03 PC ELEV. 14.402 7 REVISED AS PER COV COMMENTS 24.03.27 JS SCALE Horz. 1:200 No. DESCRIPTION DATE SIGN Vert. 1:40			SHEET 1 OF 2 REV. 1 WESTBROOK—DRAWING NO. 3757—01								



ISSUED FOR DEVELOPMENT PERMIT



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LEGEND			
WATER	W	GAS	G
SEWER	S	CURB	C
DRAIN	D	SIDEWALK	S/W
DITCH		EDGE PAVE.	
CULVERT		BUSHLINE	
HEADWALL		TREE	
		EXISTING U/G UTILITY	
		PROPOSED U/G UTILITY	
		LIGHT STANDARD	
		POWER POLE	
		ANCHOR	
		MONUMENT	
		MANHOLE	
		CLEANOUT	
		CATCHBASIN	
		ROAD SIGN	
		HYDRANT	
		VALVE	
		LOT PIN	
		LEAD PLUG	
		METER	
		REDUCER	

SFAI

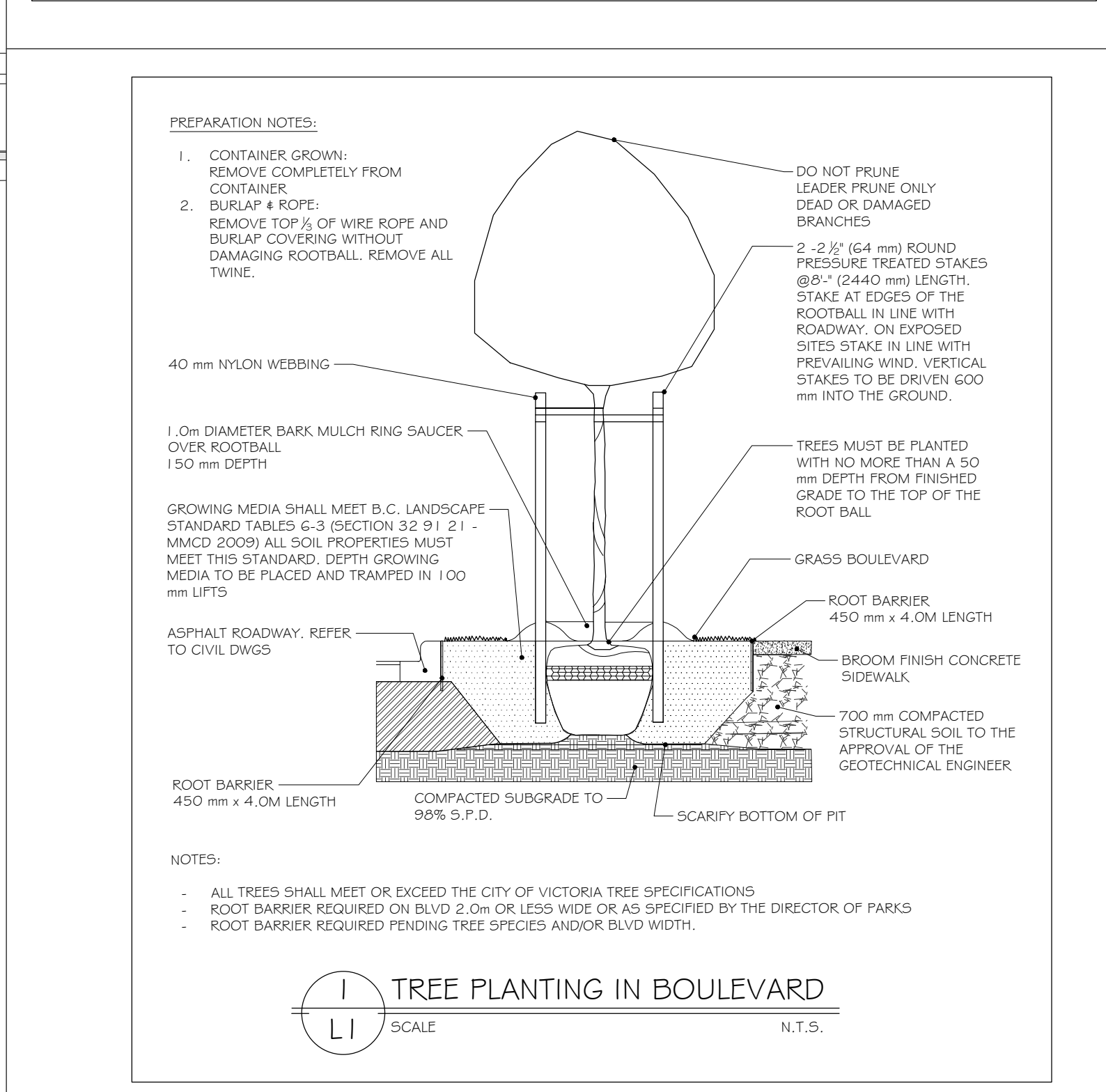
REVISIONS					ENGINEER	TK/MW
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No.	DESCRIPTION	DATE	SIGN	Vert.	1:40	

	ENGINEER	TK/MW
	DESIGNER	PC
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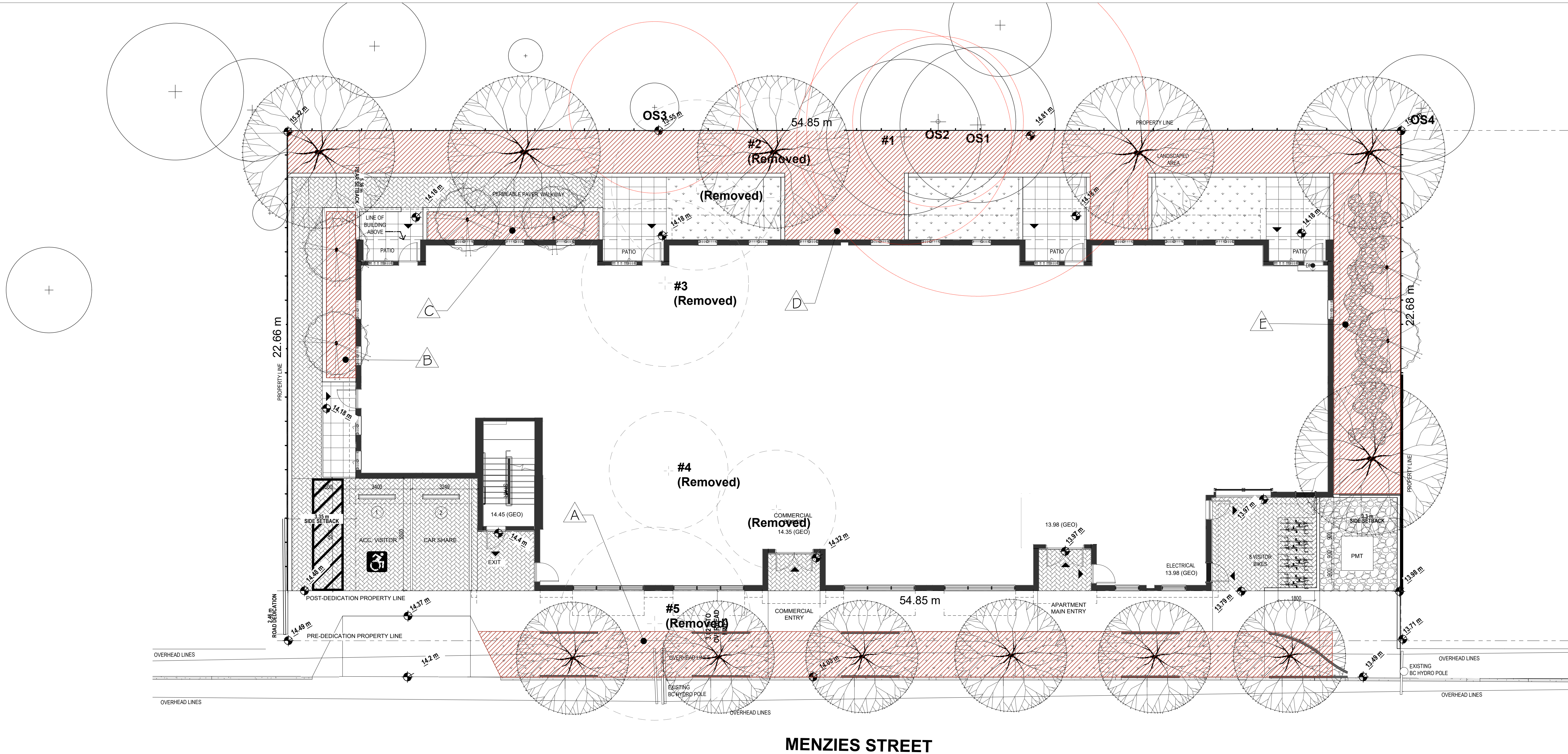


PROJECT
131,135,139 MENZIES ST
MIKE GERIC CONSTRUCTION LTD
BUS STOP
PLAN AND PROFILE

WESTBROOK PROJECT No.		
3757		
GOVERNING AUTHORITY FILE No.		
SHEET	OF	REV.
2	2	11
WESTBROOK DRAWING No.		
3757-02		



<div><div>4★SITE</div><div>LANDSCAPE ARCHITECTURE AND SITE PLANNING</div><div>250.508.7885</div></div> <div><div>FORSITE LANDSCAPE ARCHITECTURE</div><div>#408-1581 H HILLSIDE AVE. VICTORIA, BC V8T 2C1</div><div>forsiteland@hotmail.com 250.508.7885</div></div> <div><div>THE DRAWINGS, DESIGN IDEAS AND FEATURES OF CONSTRUCTION DEPICTED HEREIN ARE THE EXCLUSIVE PROPERTY OF FORSITE LANDSCAPE ARCHITECTURE. ALL COMMON COPY AND PROPERTY RIGHTS ARE EXPRESSLY RESERVED. THEY ARE NOT TO BE REUSED, COPIED, REPRODUCED, OR USED FOR ANY PURPOSES NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT EXPRESSED WRITTEN CONSENT. IN THE EVENT OF ANY UNAUTHORIZED USE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL NOT HOLD FORSITE LANDSCAPE ARCHITECTURE RESPONSIBLE.</div><div><div>LANDSCAPE ARCH. STAMP</div><div></div></div></div>	<div><div>131 MENZIES STREET</div><div>VICTORIA, BC V8V 2G4</div></div>	<div><div>CLIENT</div><div><table><tr><th>REV. DATE</th><th>NUMBER</th><th>DESCRIPTION</th></tr><tr><td>11-29-23</td><td>1</td><td>LANDSCAPE CONCEPT PLAN</td></tr><tr><td>12-06-23</td><td>2</td><td>LANDSCAPE CONCEPT PLAN - FOR DP</td></tr><tr><td>03-21-24</td><td>3</td><td>FOR COORDINATION</td></tr><tr><td>04-01-24</td><td>4</td><td>RE-ISSUED FOR DP</td></tr><tr><td>06-07-24</td><td>5</td><td>RE-ISSUED FOR DP</td></tr><tr><td>07-31-24</td><td>6</td><td>RE-ISSUED FOR DP</td></tr><tr><td>08-19-24</td><td>7</td><td>RE-ISSUED FOR DP</td></tr><tr><td>09-12-24</td><td>8</td><td>RE-ISSUED FOR DP</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table></div></div>	REV. DATE	NUMBER	DESCRIPTION	11-29-23	1	LANDSCAPE CONCEPT PLAN	12-06-23	2	LANDSCAPE CONCEPT PLAN - FOR DP	03-21-24	3	FOR COORDINATION	04-01-24	4	RE-ISSUED FOR DP	06-07-24	5	RE-ISSUED FOR DP	07-31-24	6	RE-ISSUED FOR DP	08-19-24	7	RE-ISSUED FOR DP	09-12-24	8	RE-ISSUED FOR DP							<div><div><table><tr><td>DATE</td><td>SEPTEMBER 12, 2024</td></tr><tr><td>SCALE</td><td>1:100</td></tr><tr><td>DRAWN BY</td><td>BF/RF</td></tr></table></div></div>	DATE	SEPTEMBER 12, 2024	SCALE	1:100	DRAWN BY	BF/RF	<div><div>LANDSCAPE CONCEPT PLAN</div><div>L100</div></div>
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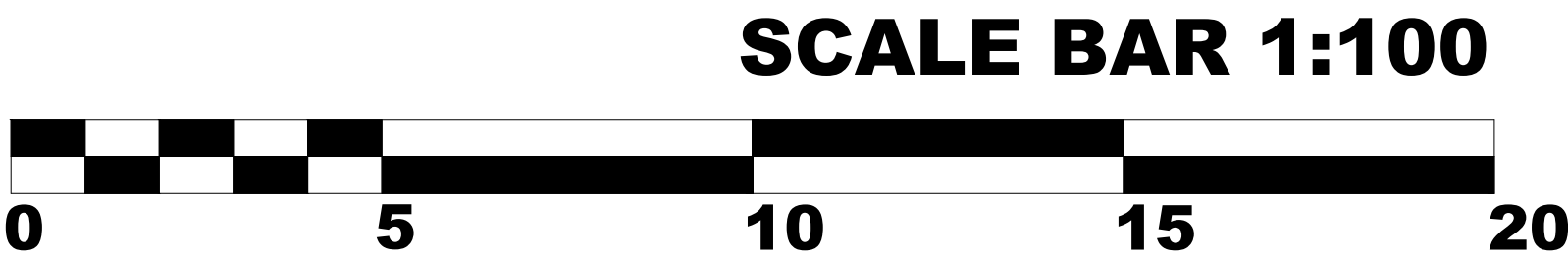


MENZIES STREET

SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

SOIL VOLUME PROVIDED						
MARKER	# OF TREES	TREE CLASS	SOIL VOLUME REQUIRED	SOIL DEPTH	SOIL VOLUME PROVIDED	REQUIREMENT MET (Y/N)
A	6	MEDIUM	$6 \times 15 \text{ m}^3 = 90 \text{ m}^3$	1.0 m	92.0 m ³	YES
B	2	SMALL	$2 \times 6 \text{ m}^3 = 12 \text{ m}^3$	1.0 m	12.0 m ³	YES
C	2	SMALL	$2 \times 6 \text{ m}^3 = 12 \text{ m}^3$	1.0 m	12.0 m ³	YES
D	5	MEDIUM	$5 \times 15 \text{ m}^3 = 75 \text{ m}^3$	1.0 m	144 m ³	YES
E	3	2 SML; 1 LRG	$12 \text{ m}^3 + 30 \text{ m}^3 = 42 \text{ m}^3$	1.0 m	51.0 m ³	YES

INDICATES SOIL VOLUME AREA



FORSITE LANDSCAPE ARCHITECTURE
#408-1581H HILLSIDE AVE.
VICTORIA, BC V8T 2C1

forsiteland@hotmail.com
250.508.7885

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LANDSCAPE ARCH. STAMP



131 MENZIES STREET

VICTORIA, BC V8V 2G4

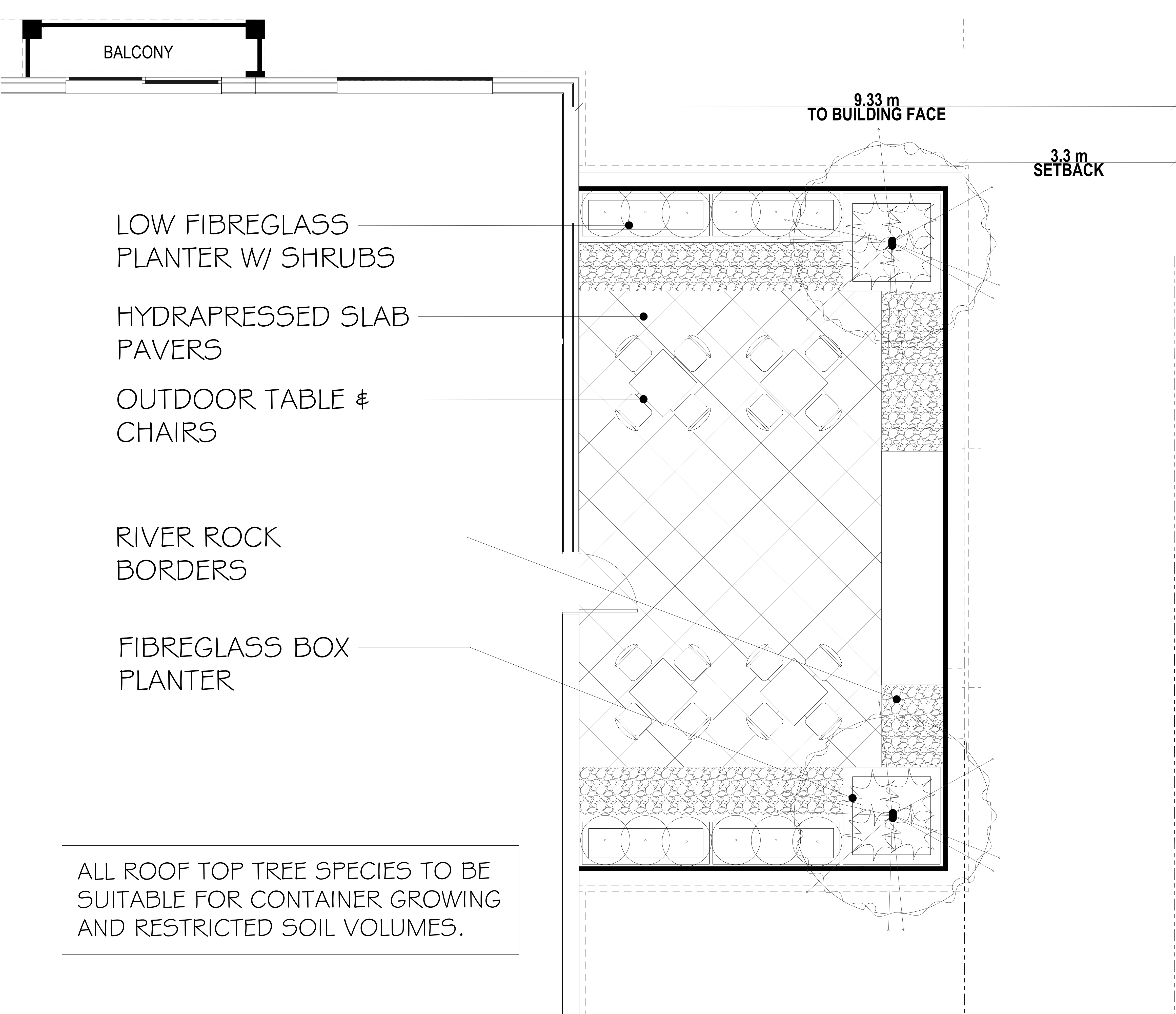
CLIENT

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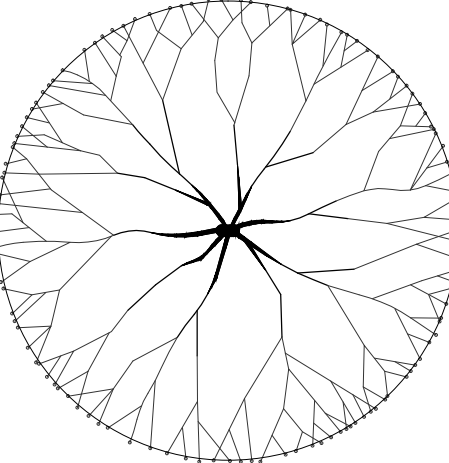
LANDSCAPE CONCEPT PLAN

L101

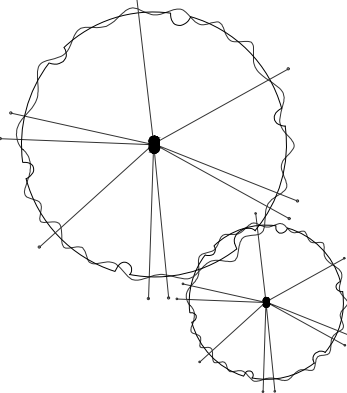


Suggested Plant List				
	Key	Common Name	Latin Name	Size
Small Trees	LAUR	Cherry Lauren (topiary tree form)	Photinia fraserii var. 'Red Robin'	#7 Pot
Medium Shrubs	AZAP	Evergreen Azalea	Azalea japonica var. 'Girard's Fuchsia'	#2 Pot
Small Shrubs	EUOF	Creeping Euonymus	Euonymus fortunei var. 'Emerald Gaiety'	#1 Pot
	ILEX	Japanese False Holly	Ilex crenata convexa	#1 Pot
	NAN	Heavenly Bamboo	Nandina domestica var. 'Plum Passion'	#5 Pot
Ground Covers	COTO	Trailing Cottoneaster	Cottoneaster dammeri	#5P4 Pot
Perennials	AUBR	Rock Cress	Aubreta deltoidea var. 'Blue Carpet'	#5P5 Pot
# Grasses	SEA	Seasonal Annual Flowers	Various	#5P5 Pot
Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification. - All areas to be irrigated with an automatic underground system.				

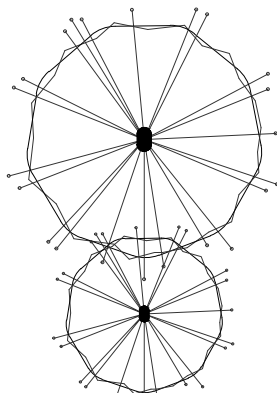
LEGEND




LARGE DECIDUOUS SHADE TREE




LARGE AND SMALL CONIFEROUS TREES



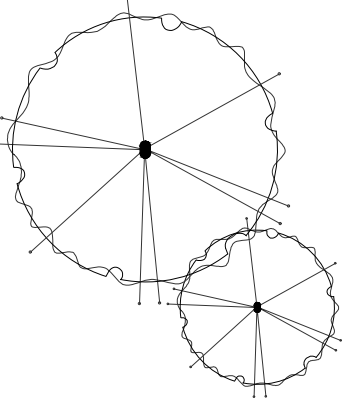
LARGE SHRUB



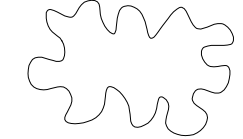
MEDIUM SHRUB



SMALL SHRUB



SMALL ORNAMENTAL DECIDUOUS TREES



GROUND COVER & PERENNIALS

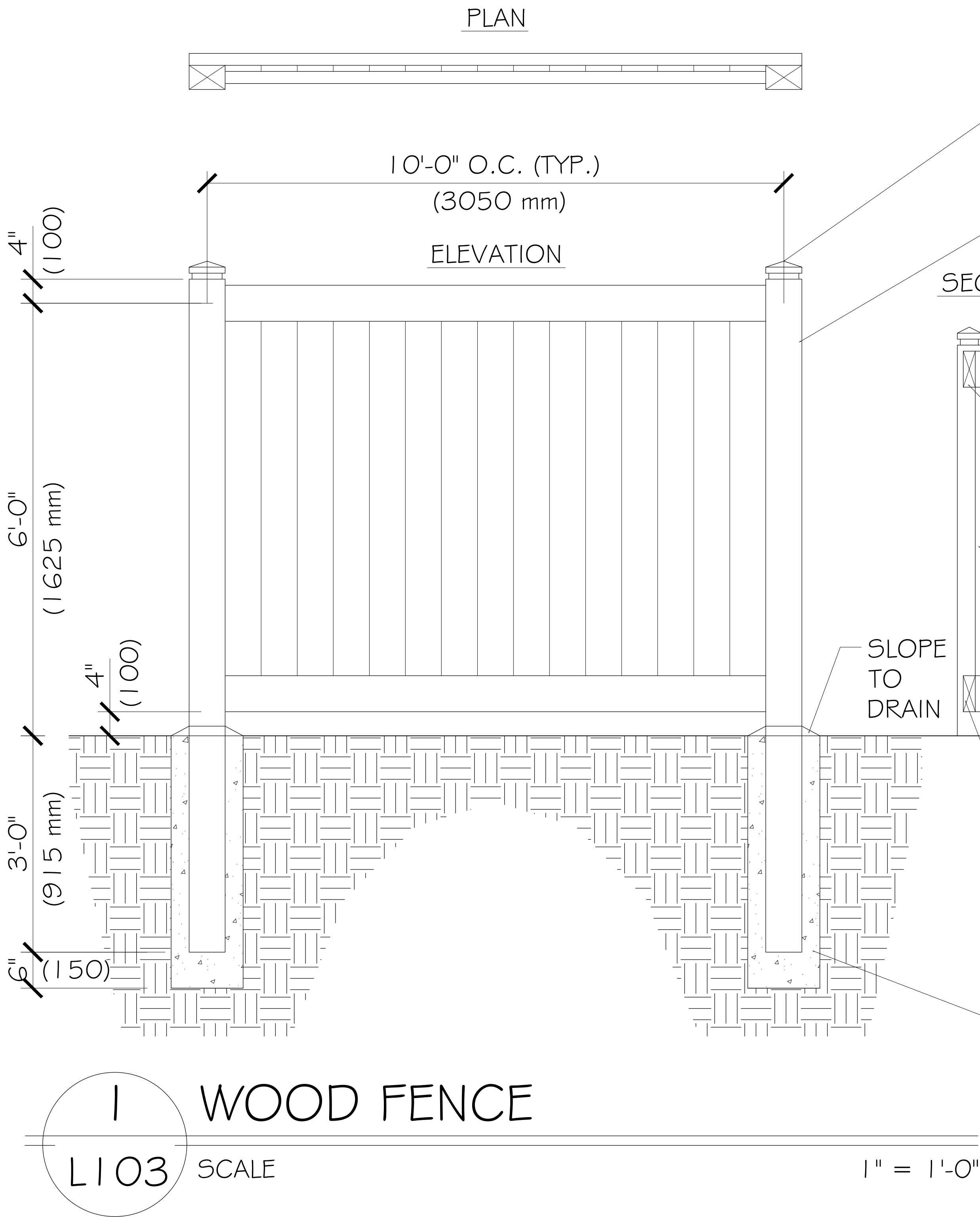
NOTES:

- ALL WOOD MEMBERS TO BE PRE-STAINED WITH 2 COATS STAIN. COLOUR TO BE APPROVED BY OWNER.

- FINAL COVERAGE AND QUALITY OF STAIN TO BE APPROVED BY OWNER. CONTRACTOR SHALL SUBMIT FINISHED PRODUCT SAMPLE FOR APPROVAL PRIOR TO STAINING. CONTRACTORS UNIT PRICE SHALL INCLUDE ALL NECESSARY ADJUSTMENTS AND REVISIONS AS REQUIRED TO OBTAIN OWNER AND CITY APPROVAL.

- ALL CUT MEMBERS TO BE STAINED IN FIELD.

- FENCE TO BE LOCATED WITHIN PROJECT PROPERTY LINES.



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09-12-24	7	RE-ISSUED FOR DP

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