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REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.



Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP
2020-04-29	Revised & Re-Issued for DP
2020-09-21	Revised & Re-Issued for DP
2021-07-20	Revised & Re-Issued for DP
2021-11-21	Revised & Re-Issued for DP
2021-12-16	Revised & Re-Issued for DP
2022-03-30	Revised & Re-Issued for DP
2022-04-11	Revised & Re-Issued for DP
2022-05-10	Revised & Re-Issued for DP
2022-10-06	Revised & Re-Issued for DP
2022-11-04	Revised & Re-Issued for DP
2022-11-14	Revised & Re-Issued for DP
2022-11-25	Revised & Re-Issued for DP
2023-12-21	ISSUED FOR BP
2024-02-17	BP REVISION "A"
2024-05-30	ISSUED FOR DP

CONCEPT RENDERINGS

Project Name:

LeParc

Civic:
KIPLING ST & THURLOW
ST

Project No: 19.015
Drawn By: SG/TD
Plot Date: 2025-04-17
Scale: NTS
Sheet No:

A6.0

1400 LE PARC (349 KIPLING)

349 KIPLING ST, VICTORIA, BC

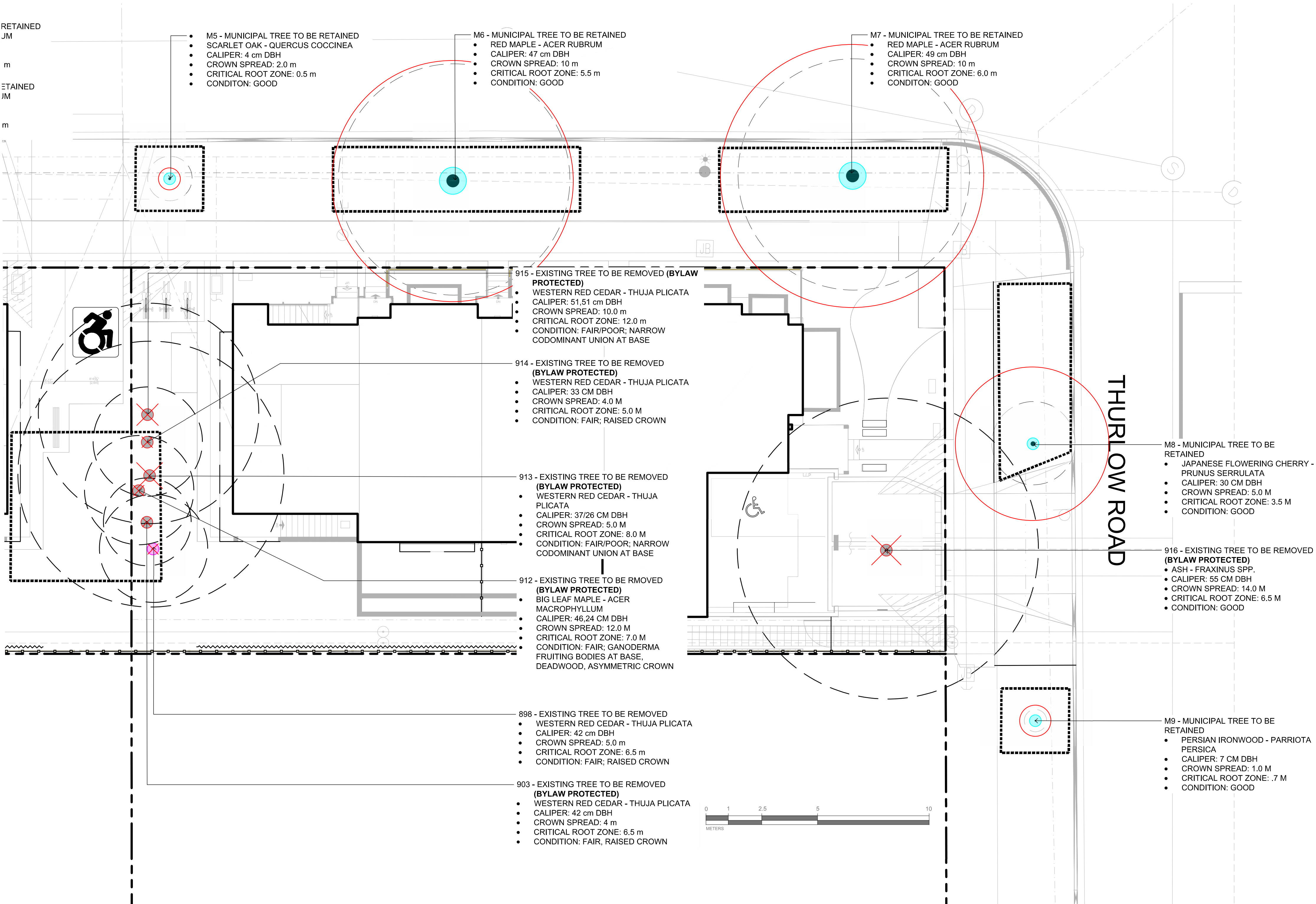
SHEET LIST

L0.00 COVER SHEET	L3.01 SOIL DEPTH PLAN
L0.01 TREE MANAGEMENT & REMOVAL PLAN	L4.01 HARDSCAPE AND SITE FURNISHING DETAILS
L0.02 ARBORIST TREE MANAGEMENT PLAN	L4.02 SOFSCAPE DETAILS
L1.01 MATERIALS PLAN	
L2.01 TREE PLANTING PLAN	

GENERAL LANDSCAPE NOTES

- GENERAL:
- DO NOT PROCEED IN UNCERTAINTY.
 - DO NOT SCALE DRAWINGS.
 - DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS/SPECIFICATIONS IN THIS PROJECT SET. ANY DISCREPANCIES AMONG DRAWINGS, SPECIFICATIONS AND INDUSTRY BEST PRACTICES TO BE REPORTED TO THE PROJECT / CONSTRUCTION MANAGER AND THE LANDSCAPE CONSULTANT FOR DIRECTION.
 - ALL LANDSCAPE SPECIFICATION SECTIONS AND DRAWINGS ARE AFFECTED BY REQUIREMENTS OF DIVISION 01 SECTIONS (PROVIDED IN THE PROJECT MANUAL).
 - CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS, INCLUDING THE LIMITS OF WORK AND EXISTING FEATURES TO BE PROTECTED, PRIOR TO SUBMITTING BIDS/QUOTES.
 - CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES/FEATURES PRIOR TO COMMENCING WORK.
 - CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT SITE FEATURES / CONDITIONS, WITHIN AND BEYOND THE LIMITS OF WORK EXISTING AT THE TIME OF CONSTRUCTION. ALL DISTURBED SURFACES, AREAS, STRUCTURES, VEGETATION, HABITAT ETC. ON PUBLIC / PRIVATE PROPERTY TO PROMPTLY BE RESTORED TO EQUAL OR BETTER CONDITION THAN EXISTING AND TO THE SATISFACTION OF THE MUNICIPALITY HAVING JURISDICTION / PROPERTY OWNER.
 - CONTRACTOR TO MAINTAIN THE SITE IN A SAFE AND TIDY CONDITION AT ALL TIMES. DO NOT OBSTRUCT PEDESTRIAN OR VEHICULAR CIRCULATION. DO NOT LEAVE UNPROTECTED HOLES / PITS / OPENINGS OVERNIGHT. ALL EXCESS MATERIALS AND REFUSE TO BE REMOVED FROM THE SITE DAILY UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- STANDARDS:
- ALL WORK ON MUNICIPAL PROPERTY TO CONFORM TO THE CITY OF VICTORIA DEVELOPMENT STANDARDS (AUTHORITY HAVING JURISDICTION) INCLUDING BUT NOT LIMITED TO:
 - CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS SCHEDULE 'B' TO THE SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042
 - CITY OF VICTORIA SUPPLEMENTAL DRAWINGS
 - CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C.
 - ALL LANDSCAPE WORK ON THE DEVELOPMENT SITE TO CONFORM TO THE CURRENT EDITION AT TIME OF ISSUE OF THE *Canadian Landscape Standard* (CLS), UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
 - ALL HARD SURFACE (INCLUDING BUT NOT LIMITED TO PAVING, CONCRETE RETAINING WALLS AND CONCRETE PLANTERS) TO CONFORM TO THE *Master Municipal Construction Documents Association PLATINUM EDITION* (MMCD) AND MMCD SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
 - IN CASES OF CONFLICT BETWEEN THE CLS AND THE MMCD, THE MORE STRINGENT REQUIREMENT WILL TAKE PRECEDENCE.
 - LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH MUNICIPAL DEVELOPMENT STANDARDS AND BE IN POSSESSION OF THE CLS AND MMCD MANUALS AND SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS.
 - GROWING MEDIUM AND GROWING MEDIUM TESTING TO CLS Section 5.
 - IRRIGATION DESIGN AND INSTALLATION TO IIABC STANDARDS AND CLS Section 10.
- COORDINATION:
- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION AND ELECTRICAL SLEEVES WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL WORKS.
- SUBMITTALS:
- CONTRACTOR TO PROVIDE SAMPLES, TEST RESULTS AND SHOP DRAWINGS TO LANDSCAPE CONSULTANT FOR REVIEW AND APPROVAL 45 DAYS PRIOR TO INSTALLATION.
 - SEE ALSO SUBMITTALS TABLE BELOW FOR ADDITIONAL INFORMATION.
- GROWING MEDIUM TESTING:
- GROWING MEDIUM TEST RESULTS ARE MANDATORY.
 - TEST RESULTS TO INCLUDE ANALYSIS OF ALL GROWING MEDIUM NUTRIENTS NOTED IN CLS 5.2.7 AND ARE TO BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
 - TEST RESULTS TO INCLUDE ANALYSIS OF SOIL TEXTURE, ORGANIC CONTENT AND ACIDITY AS PER CLS 5.3.5 AND BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
 - TEST RESULTS TO INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO MEET THE REQUIREMENTS FOR EACH GROWING MEDIUM TYPE.
 - RECOMMENDED GROWING MEDIUM TESTING FACILITY: Pacific Soil Analysis Inc. 11720 Voyageur Way, Richmond, BC V6X 3G9 OR APPROVED EQUAL.
- COMPACTION TESTING:
- COMPACTION TESTS FOR HARD SURFACE SUBGRADE, GRANULAR SUB-BASE, AND GRANULAR BASE ARE MANDATORY.
- INSPECTIONS:
- CONTRACTOR TO ALERT THE LANDSCAPE CONSULTANT A MINIMUM OF 3 WORKING DAYS PRIOR TO REQUIRED LANDSCAPE INSPECTIONS.
- SUBSTITUTIONS:
- REQUESTS FOR SUBSTITUTIONS TO CONFORM TO THE DIVISION 01 SECTION AND BE SUBMITTED TO THE LANDSCAPE CONSULTANT, THROUGH THE PROJECT ADMINISTRATOR, A MINIMUM OF 45 DAYS PRIOR TO SCHEDULED WORK.
 - PLEASE NOTE THAT SOME SUBSTITUTIONS MAY REQUIRE MUNICIPAL APPROVAL.
- WARRANTY:
- CONTRACTOR SHALL WARRANTY ALL WORKMANSHIP AND MATERIALS FOR 1 FULL YEAR FOLLOWING THE DATE OF TOTAL PERFORMANCE AS PER MMCD UNLESS SPECIFICALLY NOTED OTHERWISE. FAULTY MATERIALS AND WORKMANSHIP SHALL BE PROMPTLY REPAIRED / REPLACED TO THE SATISFACTION OF THE LANDSCAPE CONSULTANT.
- ENVIRONMENTAL PROTECTION:
- CONTRACTOR TO INSTALL AND MAINTAIN SEDIMENTATION FILTRATION MEASURES AS REQUIRED FOR LANDSCAPE WORKS TO PREVENT MATERIALS FROM LEAVING THE SITE AND / OR ENTERING STORM DRAINS; STOCKPILED LANDSCAPE MATERIALS ARE TO BE KEPT TARPED.





LEGEND

- PROPERTY LINE
- BUILDING FOOTPRINT
- PRIVACY FENCE
- CLIMBING VINES
- ROOT BARRIER

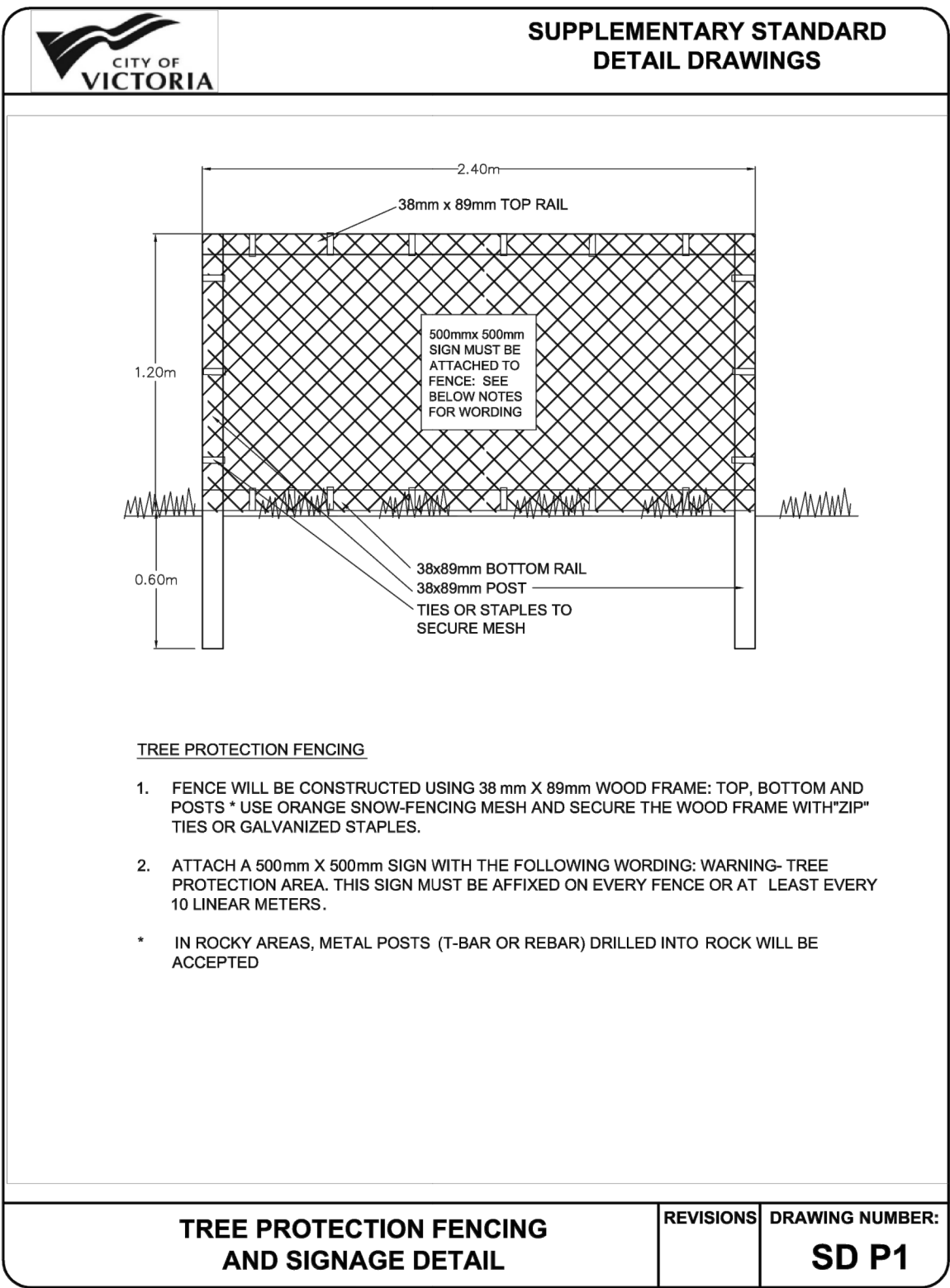
- TREE PROTECTION FENCING
 - TO OUTSIDE OF DRIPLINE WHERE POSSIBLE (AS SHOWN)
 - TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
 - TO CITY OF VICTORIA STANDARD

- EXISTING TREE TO BE RETAINED
 - SHOWN AT EXISTING SPREAD

- EXISTING TREE TO BE REMOVED
 - SHOWN AT EXISTING SPREAD

CRITICAL ROOT ZONE

- PROTECTED TREE FOR REMOVAL
- PROTECTED TREE TO RETAIN
- MUNICIPAL TREE FOR REMOVAL
- MUNICIPAL TREE TO RETAIN
- TREE FOR REMOVAL



TREE PROTECTION FENCING AND SIGNAGE DETAIL

REVISIONS
DRAWING NUMBER:
SD P1

1 TREE PROTECTION FENCING AND SIGNAGE DETAIL
L0.01 NTS

ARBORIST SUPERVISION NOTES:

- ALL EXCAVATION OCCURRING WITHIN THE CRITICAL ROOT ZONES OF PROTECTED TREES SHOULD BE COMPLETED UNDER SUPERVISION BY THE PROJECT ARBORIST. IN PARTICULAR, THE FOLLOWING ACTIVITIES SHOULD BE COMPLETED UNDER THE DIRECTION OF THE PROJECT ARBORIST:
 - A. ANY EXCAVATION WITHIN THE CRZS OF MUNICIPAL TREES NT7-9 FOR CONSTRUCTION OF THE NEW 6-UNIT BUILDING, LANDSCAPE FEATURES, OR DRIVEWAY OFF THURLOW ROAD
 - B. ANY EXCAVATION FOR THE ABANDONING OF EXISTING UNDERGROUND SERVICES OR INSTALLATION OF NEW SERVICES WITHIN THE CRZS OF TREES TO BE RETAINED.
- PRUNING ROOTS: ANY SEVERED ROOTS MUST BE PRUNED BACK TO SOUND TISSUE TO REDUCE WOUND SURFACE AREA AND ENCOURAGE RAPID COMPARTMENTALIZATION OF THE WOUND. BACKFILLING THE EXCAVATED AREA AROUND THE ROOTS SHOULD BE DONE AS SOON AS POSSIBLE TO KEEP THE ROOTS MOIST AND AID IN ROOT REGENERATION. EXPOSED ROOTS SHOULD BE KEPT MOIST UNTIL THE AREA IS BACKFILLED, ESPECIALLY IF EXCAVATION OCCURS DURING A PERIOD OF DROUGHT. THIS CAN BE ACCOMPLISHED IN A NUMBER OF WAYS, INCLUDING WRAPPING THE ROOTS IN BURLAP OR INSTALLING A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP, AND KEEPING THE AREA MOIST THROUGHOUT THE CONSTRUCTION PROCESS.
- MINIMIZING SOIL COMPACTION: IN AREAS WHERE CONSTRUCTION TRAFFIC MUST ENCR OACH INTO THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED, EFFORTS MUST BE MADE TO REDUCE SOIL COMPACTION WHERE POSSIBLE BY DISPLACING THE WEIGHT OF MACHINERY AND FOOT TRAFFIC. THIS CAN BE ACHIEVED BY ONE OF THE FOLLOWING METHODS:
 - INSTALLING A LAYER OF HOG FUEL OR COARSE WOOD CHIPS AT LEAST 20 CM IN DEPTH AND MAINTAINING IT IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE.
 - PLACING MEDIUM WEIGHT GEOTEXTILE CLOTH OVER THE AREA TO BE USED AND INSTALLING A LAYER OF CRUSHED ROCK TO A DEPTH OF 15 CM OVER TOP.
 - PLACING TWO LAYERS OF 19MM PLYWOOD.
 - PLACING STEEL PLATES.
- LANDSCAPING AND IRRIGATION SYSTEMS: THE PLANTING OF NEW TREES AND SHRUBS SHOULD NOT DAMAGE THE ROOTS OF RETAINED TREES. THE INSTALLATION OF ANY IN-GROUND IRRIGATION SYSTEM MUST TAKE INTO ACCOUNT THE CRITICAL ROOT ZONES OF THE TREES TO BE RETAINED. PRIOR TO INSTALLATION, WE RECOMMEND THE IRRIGATION TECHNICIAN CONSULT WITH THE PROJECT ARBORIST ABOUT THE MOST SUITABLE LOCATIONS FOR THE IRRIGATION LINES AND HOW BEST TO MITIGATE THE IMPACTS ON THE TREES TO BE RETAINED. THIS MAY REQUIRE THE PROJECT ARBORIST SUPERVISE THE EXCAVATIONS ASSOCIATED WITH INSTALLING THE IRRIGATION SYSTEM. EXCESSIVE FREQUENT IRRIGATION AND IRRIGATION WHICH WETS THE TRUNKS OF TREES CAN HAVE A DETRIMENTAL IMPACT ON TREE HEALTH AND CAN LEAD TO ROOT AND TRUNK DECAY.
- ARBORIST ROLE: IT IS THE RESPONSIBILITY OF THE CLIENT OR HIS/HER REPRESENTATIVE TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF:
 - LOCATING THE BARRIER FENCING
 - REVIEWING THE REPORT WITH THE PROJECT FOREMAN OR SITE SUPERVISOR
 - LOCATING WORK ZONES, WHERE REQUIRED
 - SUPERVISING ANY EXCAVATION WITHIN THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED
 - REVIEWING AND ADVISING OF ANY PRUNING REQUIREMENTS FOR MACHINE CLEARANCES
 - REVIEW AND SITE MEETING: ONCE THE PROJECT RECEIVES APPROVAL, IT IS IMPORTANT THAT THE PROJECT ARBORIST MEET WITH THE PRINCIPALS INVOLVED IN THE PROJECT TO REVIEW THE INFORMATION CONTAINED HEREIN. IT IS ALSO IMPORTANT THAT THE ARBORIST MEET WITH THE SITE FOREMAN OR SUPERVISOR BEFORE ANY SITE CLEARING, TREE REMOVAL, DEMOLITION, OR OTHER CONSTRUCTION ACTIVITY OCCURS AND TO CONFIRM THE LOCATIONS OF THE TREE PROTECTION BARRIER FENCING.
- SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION, REQUIREMENTS AND RECOMMENDATIONS.

EXISTING TREE QUANTITIES

- ON SITE:
 - EXISTING TREES = 7
 - TREES TO BE REMOVED = 7
 - BYLAW PROTECTED TREES TO BE REMOVED: 6
 - REPLACEMENT TREES REQUIRED: 7

- MUNICIPAL BOULEVARD:
 - EXISTING TREES = 5
 - TREES TO BE REMOVED = 0



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilacollective.ca 250 590 1156

OWNER/CLIENT:
BREIA HOLDINGS LTD.

PROJECT NAME:
LE PARC

PROJECT ADDRESS:
349 KIPLING

DESIGNED BY: BIANCA BODLEY
DRAWN BY: LB

9	RE-ISSUED FOR DP	25/03/12
8	ISSUED FOR REVIEW	25/03/06
7	REVISED AND RE-ISSUED FOR DP	24/10/29
6	RE-ISSUED FOR REVIEW	24/09/27
5	ISSUED FOR RZ/DP	24/06/06
4	ISSUED FOR COORDINATION	24/05/15
3	ISSUED FOR BP	23/12/21
2	ISSUED FOR BP 75%	23/11/15
1	ISSUED FOR BP 50%	23/11/01
NO.	ISSUE	YY/MM/DD

SEAL



NORTH ARROW



DRAWING TITLE:

**TREE DEMOLITION
PLAN**

DWG NO:

L0.01

SCALE: 1:100

Tag or ID #	Surveyed? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected? (Yes/No)	Name		dbh (cm)	Dripline diameter (m)	Critical root zone radius (m)	Relative Tolerance	Condition		Retention Suitability (on-site trees)	General field observations/remarks	Tree retention / location comments	Retention status
				Common	Botanical					Health	Structural				
695	Yes	On-site	Yes	Apple	<i>Malus spp.</i>	20, 12	4	3.3	Moderate	Fair	Fair/poor	Conditional	12cm stem resting on shed, decay on limbs	Possible impacts from adjacent tree removals; relatively poor structure.	Retain*
799	Yes	On-site	Yes	Monkey Puzzle	<i>Araucaria araucana</i>	31	5	4.7	Poor	Good	Good	Unsuitable		Within proposed parking stall footprint.	X
800	Yes	On-site	No	Colorado Blue Spruce	<i>Picea pungens</i>	~25	5	3	Moderate	Good	Good	Unsuitable	Leaning	Within proposed building footprint.	X
898	Yes	On-site	No	Western Red Cedar	<i>Thuja plicata</i>	42	5	5	Moderate	Fair	Fair	Unsuitable	Raised, asymmetric crown	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
903	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	42	4	5	Moderate	Fair	Fair	Unsuitable	Raised crown	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
912	Yes	On-site	Yes	Big Leaf Maple	<i>Acer macrophyllum</i>	46, 24	12	7	Moderate	Fair	Fair/poor	Unsuitable	Ganoderma fruiting bodies at base, deadwood, asymmetric crown	Root & canopy conflict with proposed building footprint, likely elevated risk due to new targets.	X
913	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	37, 26	5	6.3	Moderate	Fair	Fair/poor	Unsuitable	Raised crown, narrow codominant union at base	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
914	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	33	4	4	Moderate	Fair	Fair	Unsuitable	Raised crown	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
915	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	51, 51	10	9.8	Moderate	Fair	Fair/poor	Unsuitable	Raised, asymmetric crown, narrow codominant union at base	Conflict with proposed building footprint & parking stalls.	X
916	Yes	On-site	Yes	Ash	<i>Fraxinus spp.</i>	55	14	5.5	Good	Good	Good	Unsuitable	Next to stump of removed tree, epicormic growth	Within proposed driveway footprint.	X
M1/NT1	Yes	Municipal	Municipal	Japanese Flowering Cherry	<i>Prunus serrulata</i>	48	8	5.8	Moderate	Fair	Poor	N/A	Municipal (ID: 16970), basal wound	Conflict with frontage improvements; poor structure.	X
M2/NT3	Yes	Municipal	Municipal	Ginkgo	<i>Ginkgo biloba</i>	7	2	0.7	Good	Good	Good	N/A	Municipal (ID: 16967)		Retain
M3/NT4	Yes	Municipal	Municipal	Ash	<i>Fraxinus spp.</i>	5	1	0.3	Good	Good	Good	N/A	Municipal, growing between sidewalk and fence	Conflict with proposed building footprint.	X

Tag or ID #	Surveyed? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected? (Yes/No)	Name		dbh (cm)	Dripline diameter (m)	Critical root zone radius (m)	Relative Tolerance	Condition		Retention Suitability (on-site trees)	General field observations/remarks	Tree retention / location comments	Retention status
				Common	Botanical					Health	Structural				
M4/NT5	Yes	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	8	2	1	Moderate	Good	Good	N/A	Municipal (ID: 34935)		Retain
M5/NT6	Yes	Municipal	Municipal	Scarlet Oak	<i>Quercus coccinea</i>	7	2	0.5	Moderate	Good	Good	N/A	Municipal (ID: 16622)		Retain
M6/NT7	Yes	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	47	10	5.6	Moderate	Good	Good	N/A	Municipal (ID: 16620)		Retain
M7/NT8	Yes	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	49	10	5.9	Moderate	Good	Good	N/A	Municipal (ID: 16618)		Retain
M8/NT9	Yes	Municipal	Municipal	Japanese Flowering Cherry	<i>Prunus serrulata</i>	30	5	3.6	Moderate	Good	Good	N/A	Municipal (ID: 16656)	Potential impacts from driveway.	Retain*
M9	No	Municipal	Municipal	Persian ironwood	<i>Parrotia persica</i>	7	1	0.7	Good	Good	Good	N/A	Municipal (ID: 16655)	~3m from east PL.	Retain
M10	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	16	5	1.9	Moderate	Good	Fair	N/A	Municipal (ID: 6346) Topped historically, trunk wound.	Potential impacts from U/G hydro. 1.8m from sidewalk edge.	Retain*
M11	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	36	10	4.3	Moderate	Good	Fair	N/A	Municipal (ID: 6345) Some hydro clearance pruning (topping) west side; canopy weighted east.	Likely conflict with U/G hydro. 1.8m from sidewalk edge.	Retain* as per Parks direction
M12	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	8	2	1	Moderate	Fair	Fair	N/A	Municipal (ID: 34936) Lower trunk wound.	Potential impacts from U/G hydro. 1.8m from sidewalk edge.	Retain*
M13	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	5	1	0.6	Moderate	Good	Good	N/A	Municipal (ID: 6344) Recently planted, slight bark damage south side (possible scald).		Retain



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

OWNER/CLIENT:
BREIA HOLDINGS LTD.

PROJECT NAME:
LE PARC

PROJECT ADDRESS:
349 KIPLING

DESIGNED BY: BIANCA BODLEY
DRAWN BY: LB

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SEAL



NORTH ARROW

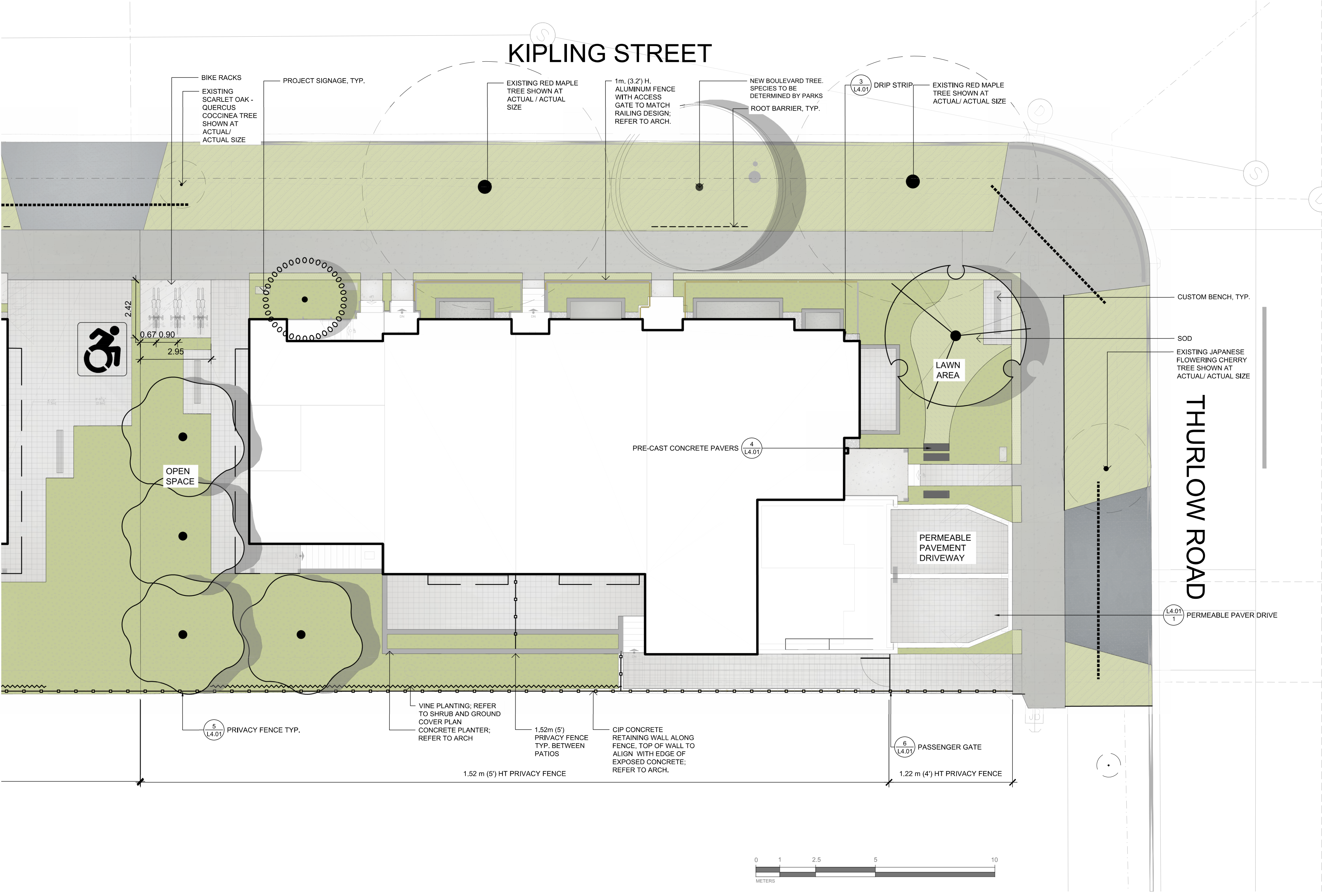


DRAWING TITLE:
ARBORIST TREE
INVENTORY TABLE

DWG NO:

L0.02

SCALE: 1:100



LEGEND

PROPERTY LINE
BUILDING FOOTPRINT
IRRIGATION SLEEVE
CLIMBING VINES
PRIVACY FENCE
ROOT BARRIER

EXISTING TREE TO BE RETAINED
• SHOWN AT EXISTING SPREAD

NEW BOULEVARD TREE
• SPECIES TO BE DETERMINED BY PARKS.
• TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE

PROPOSED TREES

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	QTY
01 General		
<div></div>	ON-SITE PLANTING - SHRUB BED	152.6 m²
<div></div>	OFF-SITE PLANTING -SOD	12.3 m²
<div></div>	ON-SITE PLANTING - SOD	14.4 m²
<div></div>	BOULEVARD PLANTING -SOD	171.8 m²
<div></div>	PAVING TYPE A: CIP CONCRETE - LIGHT BROOM FINISH - SAW CUT CONCRETE CRACK CONTROL JOINTS	2.9 m²
<div></div>	PAVING TYPE B: MUNICIPAL SIDEWALK - TO CITY OF VICTORIA STANDARDS - REFER TO CIVIL	131.7 m²
<div></div>	PAVING TYPE C - PERMEABLE CONCRETE PAVER - PRODUCT: SF RIMA™ GRID - COLOR: GRAY	84.4 m²
<div></div>	PAVING TYPE D: CONCRETE DRIVEWAY APRON -REFER TO CIVIL	23.6 m²
<div></div>	PAVING TYPE E: PRE-CAST CONCRETE PAVERS	1.0 m²
<div></div>	PAVING TYPE F: DRIP STRIP - 300 mm WASHED ROCK RIVER	1.5 m²
<div></div>	PAVING TYPE G: GRAVEL	6.8 m²

Site Furnishings

<div></div>	BIKE RACK	3
<div></div>	PRIVACY FENCE - 5' (1.52 m) HT AS NOTED - 4' (1.22 m) HT AS NOTED - SOLID WOOD FENCING	REFER TO PLAN
<div></div>	MAINTENANCE GATE	1
<div></div>	CUSTOM BENCH	2

BOULEVARD TREE PLANTING NOTES:

- STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND AND BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P4 (TREE PLANTING IN BOULEVARD) AND THE CANADIAN LANDSCAPE STANDARD.

BOULEVARD SEED AND SOD INSPECTION NOTES:

- REQUIRED PARKS INSPECTIONS FOR SEED AND SOD BOULEVARD:
 - INSPECTION OF EXCAVATED AND SCARIFIED SUBGRADE PRIOR TO BACKFILL.
 - INSPECTION OF INSTALLED, ROLLED AND PREPARED GROWING MEDIA PRIOR SODDING.
 - INSPECTION WHEN THE INSTALLED TURFGRASS MEETS THE CONDITIONS FOR TOTAL PERFORMANCE AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

BOULEVARD INSPECTION TREE PLANTING NOTES:

- REQUIRED PARKS INSPECTIONS FOR SEED AND SOD BOULEVARD:
 - INSPECTION OF SOIL AND PLANTING AREA PRIOR TO PLANTING.
 - INSPECTION OF TREE STOCK PRIOR TO PLANTING.
 - INSPECTION OF INSTALLED TREE. TREES MUST BE IN GOOD HEALTH AND CONDITION WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, OR DAMAGE, AND COMPLY WITH THE LATEST VERSION OF THE CANADIAN LANDSCAPE STANDARD.

GROWING MEDIUM NOTES:

- A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

BOULEVARD IRRIGATION NOTES:

- AUTOMATIC IRRIGATION TO BE PROVIDED TO THE 4 NEW BOULEVARD TREES FROM A DEDICATED 19MM METERED WATER SERVICE LOCATED WITHIN THE KIPLING FRONTAGE BOULEVARD.
- SEE CIVIL FOR WATER SERVICE LOCATION.
- SEE IRRIGATION PLAN AND DETAILS.

ON-SITE IRRIGATION NOTES:

- ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM DESIGNED AND INSTALLED TO IAABC STANDARDS.
- SEE IRRIGATION PLAN AND DETAILS.

THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042 AND THE ASSOCIATED SCHEDULES CAN BE FOUND ON THE CITY OF VICTORIA BYLAWS WEBPAGE



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

OWNER/CLIENT:
BREIA HOLDINGS LTD.
PROJECT NAME:
LE PARC

PROJECT ADDRESS:
349 KIPLING

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LB**

9	RE- ISSUED FOR DP	25/03/12
8	ISSUED FOR REVIEW	25/03/06
7	REVISED AND RE-ISSUED FOR DP	24/10/29
6	RE- ISSUED FOR REVIEW	24/09/27
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4	ISSUED FOR COORDINATION	24/05/15
3	ISSUED FOR BP	23/12/21
2	ISSUED FOR BP 75%	23/11/15
1	ISSUED FOR BP 50%	23/11/01
NO.	ISSUE	YY/MM/DD

SEAL



NORTH ARROW

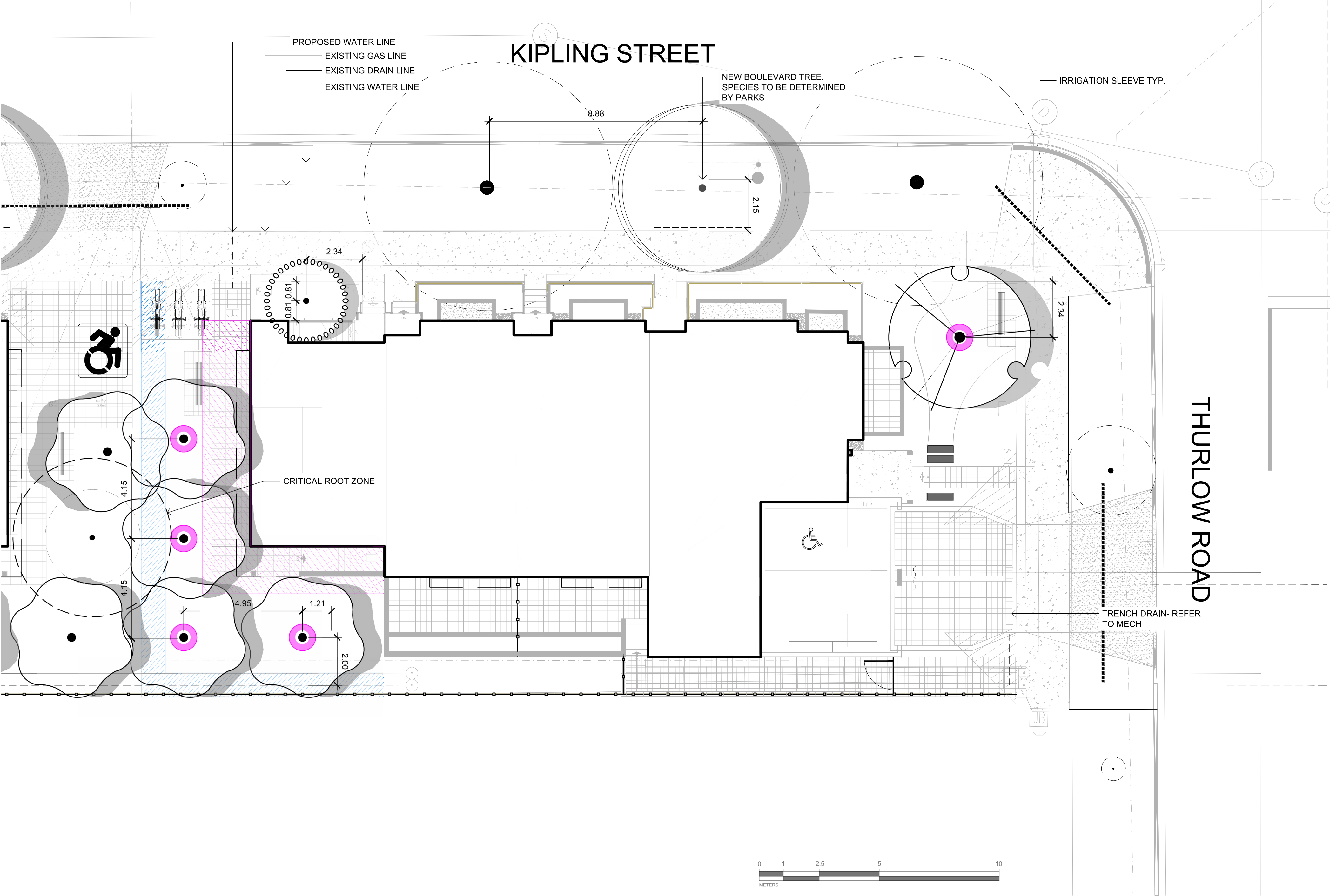


DRAWING TITLE:
MATERIALS PLAN

DWG NO:

L1.01

SCALE: 1:100



LEGEND

PROPERTY LINE

BUILDING FOOTPRINT

IRRIGATION SLEEVE

CLIMBING VINES

PRIVACY FENCE

ROOT BARRIER

EXISTING TREE TO BE RETAINED

• SHOWN AT EXISTING SPREAD

NEW BOULEVARD TREE

• SPECIES TO BE DETERMINED BY PARKS.

• TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE

DESIGNATED REPLACEMENT TREES

1 m. DISTANCE FROM ANY PROPERTY LINE OF A LOT, ABOVE AND UNDERGROUND UTILITIES, DRIVEWAYS AND ANOTHER SURFACES

2m. DISTANCE FROM BUILDING FOUNDATION WALL



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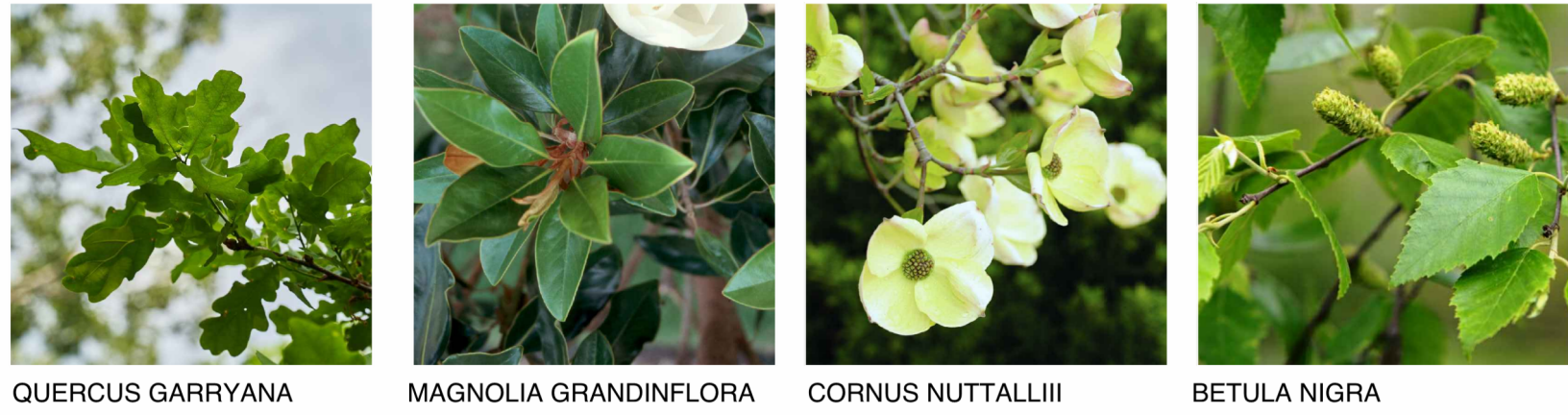
PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	QTY
TREES					
	Betula nigra 'BNMTF' / Dura Heat® River Birch	60cm Ht.	B&B	B&B, Well Established	4
	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	40mm Cal.	Pot	B&B, Well Established	1
	Quercus garryana / Oregon White Oak	As Available	Pot		1

TREE PLANTING NOTES:

- NOTES:
- PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.
 - ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO IIABC STANDARDS. SEE IRRIGATION PLAN AND DETAILS
 - ALL PROPOSED BOULEVARD TREES TO HAVE 10m³ MIN. GROWING MEDIUM. SEE SOIL DEPTH PLAN
 - THE STORM DRAIN HAS BEEN LINED, IS FULLY SEALED AND CONFIRMED BY ENGINEERING TO BE OKAY TO PLANT OVER TOP. CARE MUST BE TAKEN DURING DIGGING FOR TREE PLANTING.

PLANT IMAGERY



QUERCUS GARRYANA MAGNOLIA GRANDIFLORA CORNUS NUTTALLII BETULA NIGRA

SOIL VOLUME				REPLACEMENT TREES PROPOSED			SOIL VOLUME REQUIRED (m3)			
PLANTING AREA ID	AREA (m²)	SOIL VOLUME MULTIPLIER	A.ESTIMATED SOIL VOLUME	B. # SMALL	C. # MEDIUM	D. # LARGE	E. SMALL	F. MEDIUM	G. LARGE	TOTAL
ON-SITE AREA										
PLANTING AREA C	39m²	1	39m³	0	0	1	0	0	35m³	35m³
PLANTING AREA D	76m²	1	76m³	0	4	0	0	60m³	0	60m³
OFFSITE AREA (EXCLUDING CITY PROPERTY)										
PLANTING AREA OSA X	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CALCULATION INSTRUCTIONS:							E	F	G	TOTAL
							IF B=1, B X 8 IF B>1, B X 6	IF C=1, Cx20 IF C>1, Cx15	IF D=1, Dx35 IF D>1, Dx30	E + F + G

EXISTING TREE QUANTITIES

- ON SITE:
- EXISTING TREES = 7
 - TREES TO BE REMOVED = 7
 - BYLAW PROTECTED TREES TO BE REMOVED: 6
 - REPLACEMENT TREES REQUIRED: 7
- MUNICIPAL BOULEVARD:
- EXISTING TREES = 5
 - TREES TO BE REMOVED = 0

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2	ISSUED FOR BP 75%	23/11/15
1	ISSUED FOR BP 50%	23/11/01
NO.	ISSUE	YY/MM/DD

SEAL



NORTH ARROW

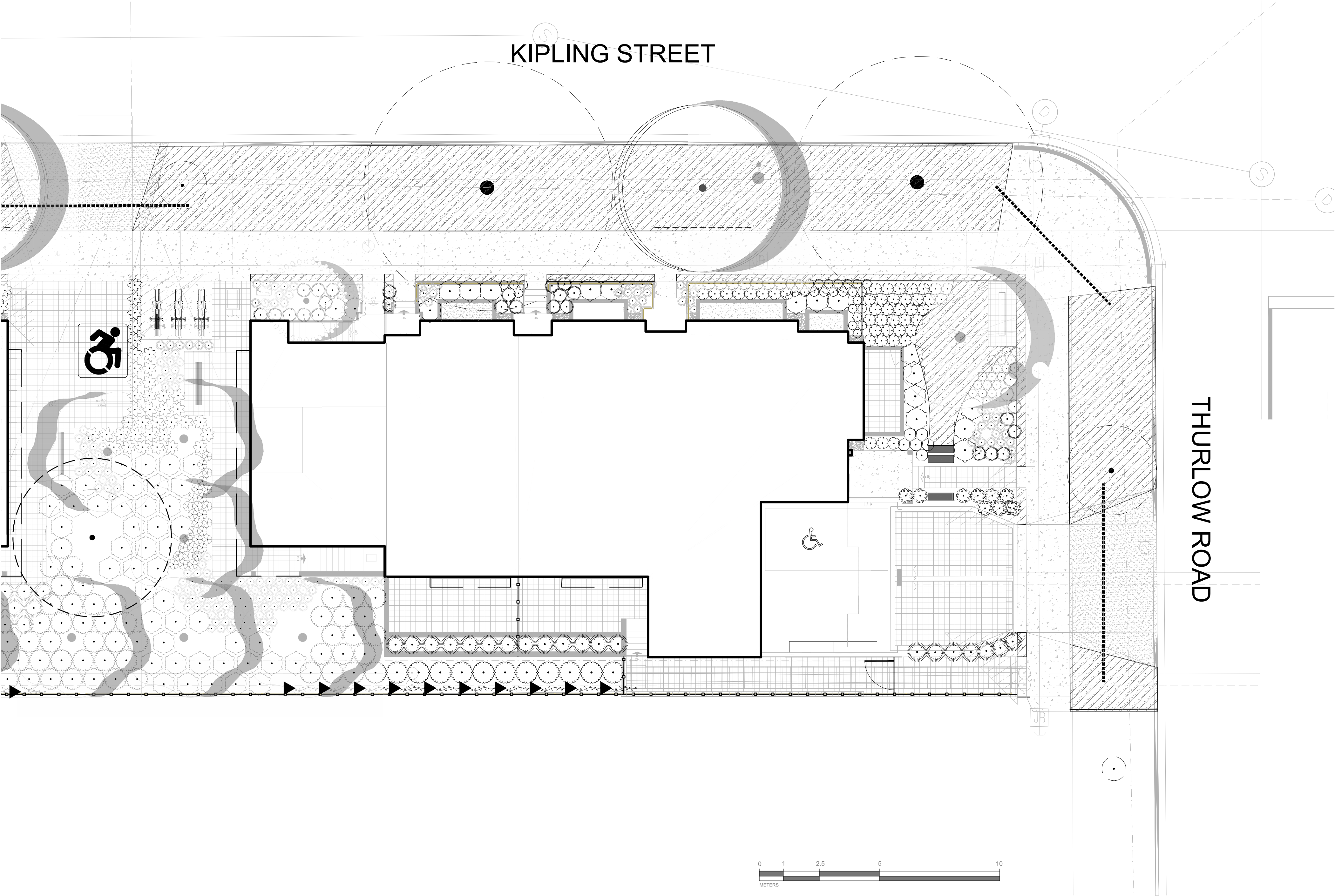


DRAWING TITLE:
TREE PLANTING PLAN

DWG NO:

L2.01

SCALE: 1:100



LEGEND

PROPERTY LINE

BUILDING FOOTPRINT

IRRIGATION SLEEVE

CLIMBING VINES

PRIVACY FENCE

ROOT BARRIER

EXISTING TREE TO BE RETAINED

• SHOWN AT EXISTING SPREAD

NEW BOULEVARD TREE

• SPECIES TO BE DETERMINED BY PARKS.

• TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	QTY
SHRUBS					
	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	#1 cont.	0.6m	Pollinator, Fruit Bearing and Native	28
	Gaultheria shallon / Salal	#3 Pot	1.0m	Pollinator, Fruit Bearing and Native	50
	Gaura lindheimeri 'Blush Pink' / Steffi™ Blush Pink Gaura	#2 cont.	0.4m	Pollinator	29
	Lonicera pileata / Privet Honeysuckle	#3 cont.	0.5m	Pollinator, Fruit Bearing and Native	50
	Rosa nutkana / Nootka Rose	#3 cont.	0.6m	Pollinator, Fruit Bearing and Native	27
	Santolina virens / Green Lavender Cotton	#1 cont.	0.6m	Pollinator	10
	Vancouveria hexandra / White Insideout Flower	#2 cont.	0.5m	Pollinator, Fruit Bearing and Native	6
FERNS					
	Polystichum munitum / Western Sword Fern	#1 cont.	0.6m	Native	21
GRASSES					
	Deschampsia cespitosa / Tufted Hair Grass	#1 Pot	0.4m	Native	175
	Miscanthus sinensis 'Graziella' / Graziella Eulalia Grass	#2 cont.	0.9m	Non-Native	20
GROUNDCOVERS					
	Asarum canadense / Wild Ginger	#1 Pot	0.4m	Native, Pollinator	46
VINES					
	Hydrangea anomala / Climbing Hydrangea	#1 cont.	1.5m	Non-Native	10
SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	SPACING	QTY
SHRUB AREAS					
	Turf Seed Drought Tolerant Dwarf Fescue Blend	---			195.5 m²

PLANT CATEGORY PERCENTAGE (by plant quantity)	
Total plant quantity	479
Pollinator	54%
Fruit bearing	34%
Native	85%
Non-native	15%

PLANT CATEGORIES	
Pollinator	flower producing shrub or perennial
Fruit bearing	Edible for animals or people
Native	On a recognized Southern Vancouver Island plant list

PLANTING NOTES:

NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

PLANT IMAGERY

ROSA KUTKANA

GAURA LINDHEIMERI
'BLUSH PINK'

VANCOUVERIA HEXANDRA

DESCHAMPSIA CESPITOSA

GAULTHERIA SHALLON



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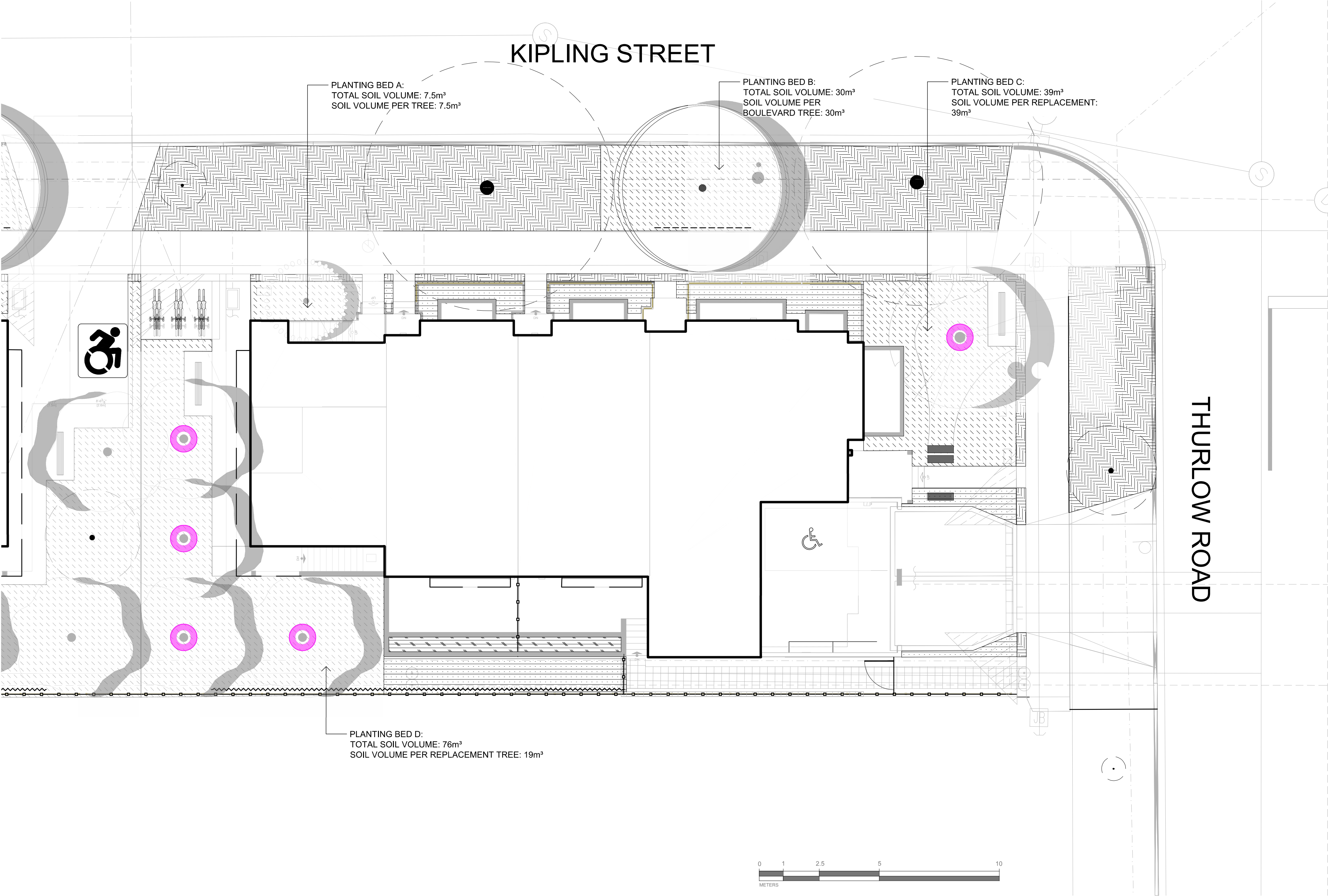
SEAL

NORTH ARROW

DRAWING TITLE:
PLANTING PLAN

DWG NO:
L2.02

SCALE: 1:100



LEGEND

- PROPERTY LINE
BUILDING FOOTPRINT
IRRIGATION SLEEVE
CLIMBING VINES
PRIVACY FENCE
ROOT BARRIER
- EXISTING TREE TO BE RETAINED
• SHOWN AT EXISTING SPREAD
- NEW BOULEVARD TREE
• SPECIES TO BE DETERMINED BY PARKS.
• TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE
-
- DESIGNATED REPLACEMENT TREES

SOIL DEPTH SCHEDULE

SYMBOL	DESCRIPTION	QTY
	1000 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	152.5 m³
	600 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	39.7 m²
	450 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	5.9 m²
	150 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	144.8 m²

SOIL VOLUME				REPLACEMENT TREES PROPOSED			SOIL VOLUME REQUIRED (m3)			
PLANTING AREA ID	AREA (m²)	SOIL VOLUME MULTIPLIER	A. ESTIMATED SOIL VOLUME	B. # SMALL	C. # MEDIUM	D. # LARGE	E. SMALL	F. MEDIUM	G. LARGE	TOTAL
ON-SITE AREA										
PLANTING AREA C	39m²	1	39m³	0	0	1	0	0	35m³	35m³
PLANTING AREA D	76m²	1	76m³	0	4	0	0	60m³	0	60m³
OFFSITE AREA (EXCLUDING CITY PROPERTY)										
PLANTING AREA OSA X	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CALCULATION INSTRUCTIONS:							E	F	G	TOTAL
							IF B=1, B X 8 IF B>1, B X 6	IF C=1, Cx20 IF C>1, Cx15	IF D=1, Dx35 IF D>1, Dx30	E + F + G



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SEAL



NORTH ARROW

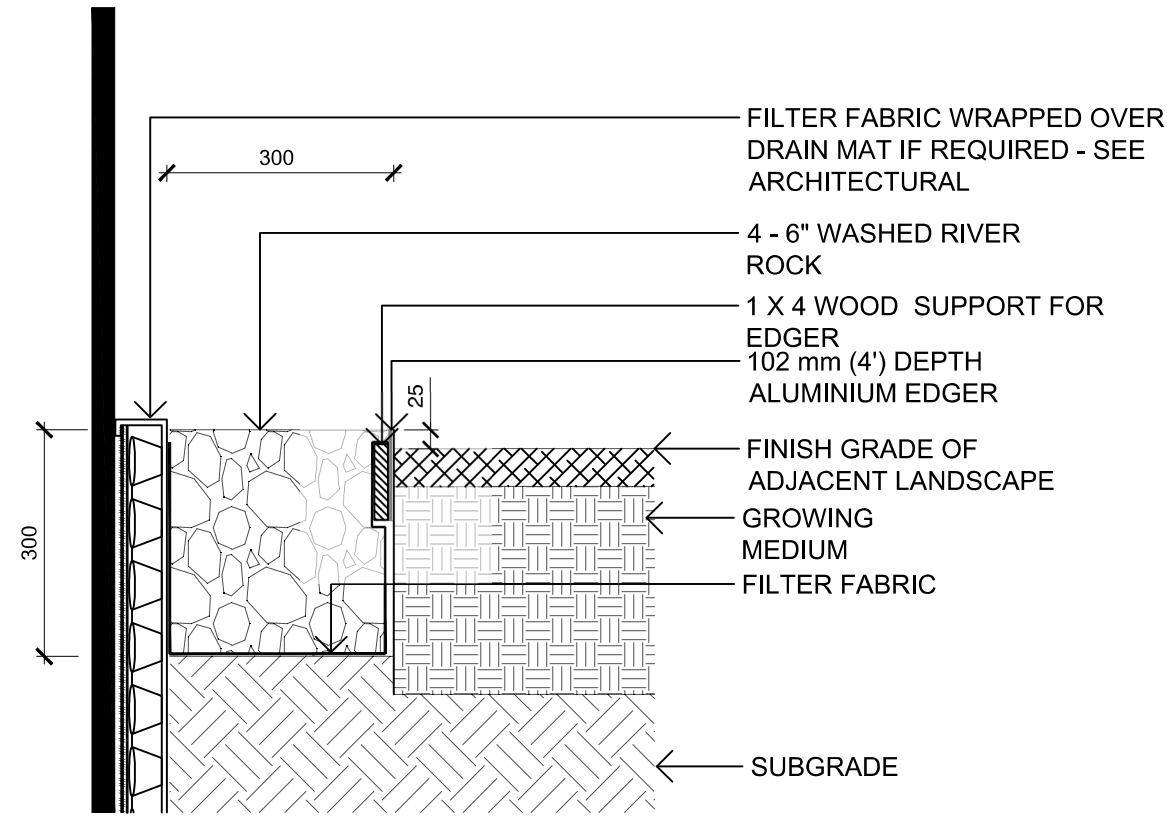
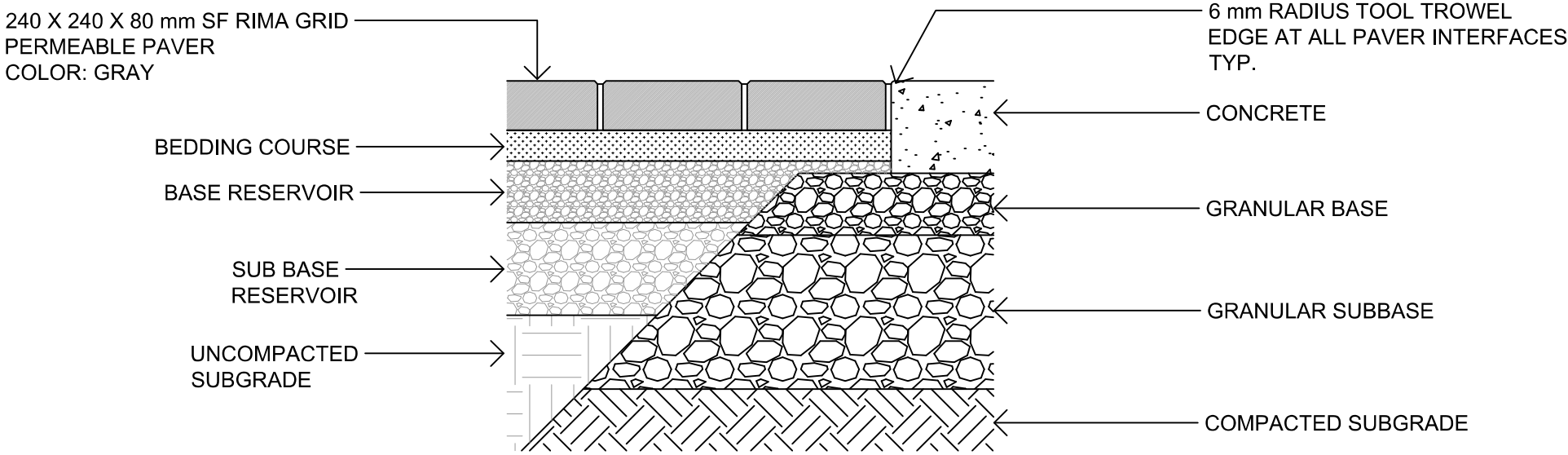
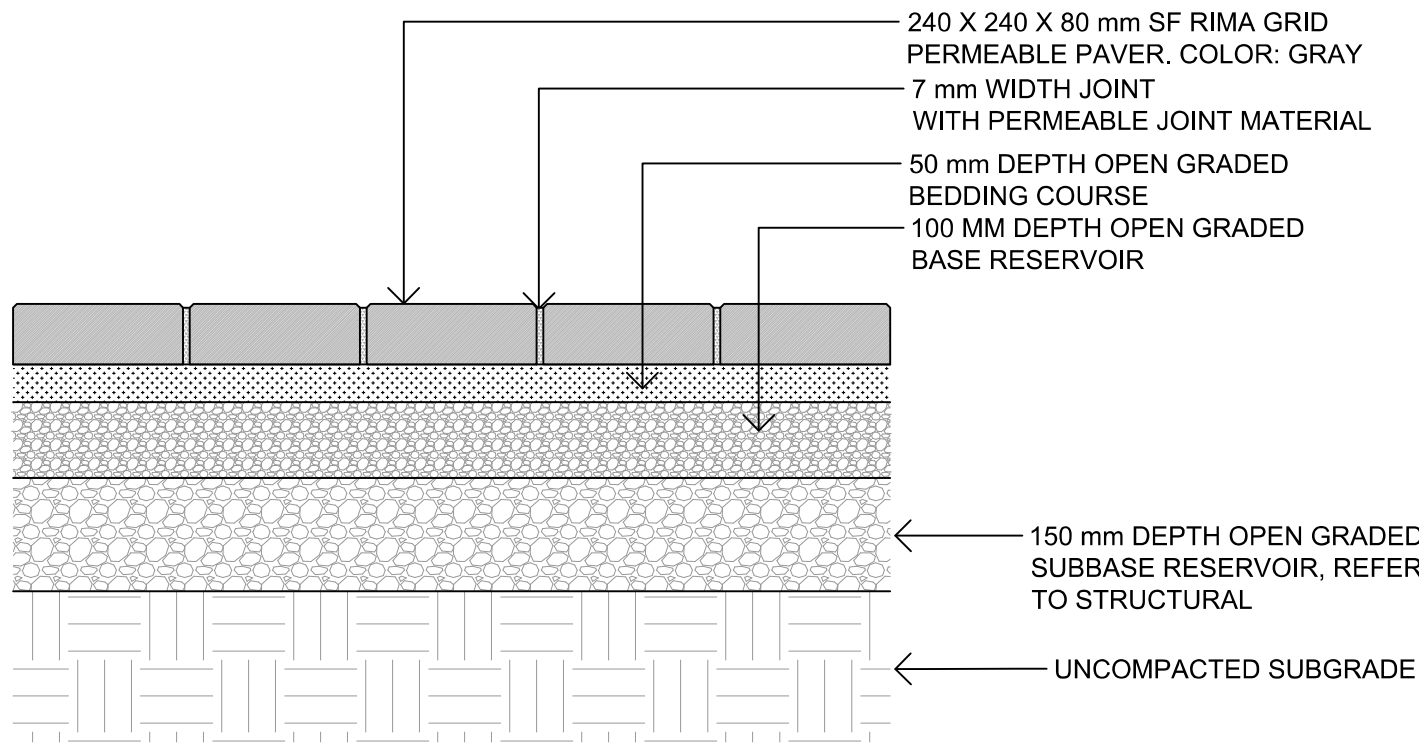


DRAWING TITLE:
SOIL DEPTH PLAN

DWG NO:

L3.01

SCALE: 1:100

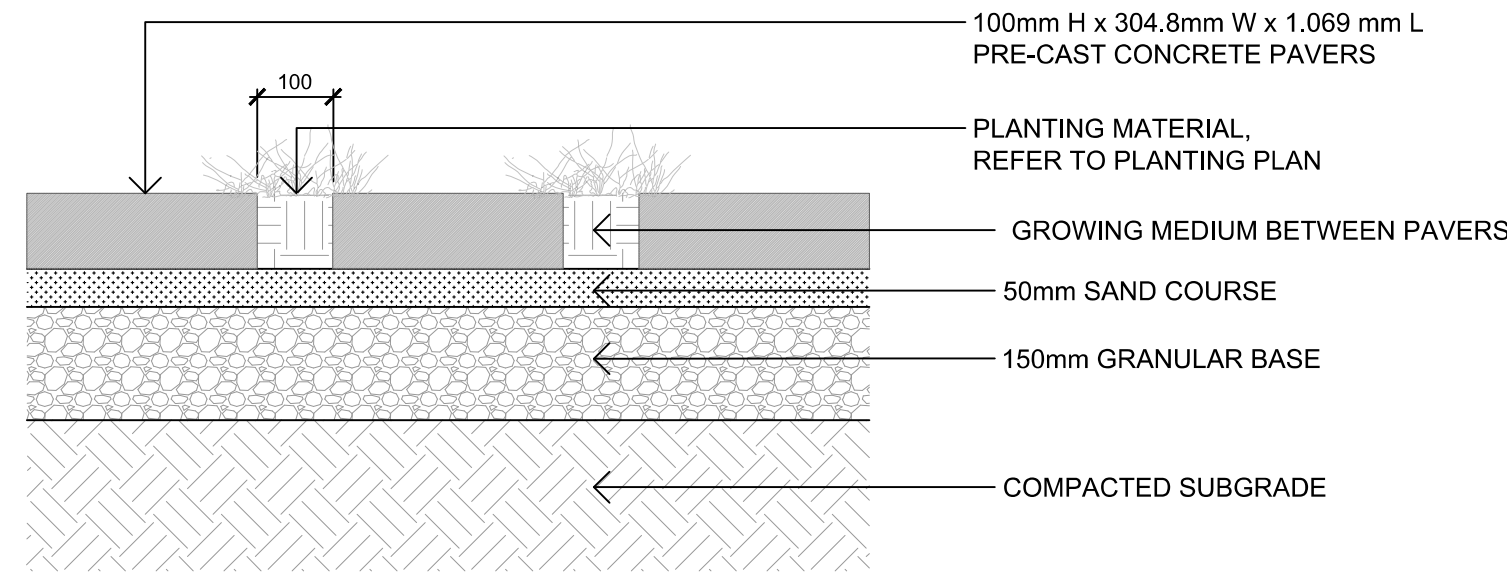


- NOTES:
- LANDSCAPE EDGER TO BE: PERMALOC CleanLine Commercial Grade Landscape Edging OR APPROVED EQUAL.
 - 4.8mm (3/16") THICKNESS; 102mm (4") HEIGHT; 4.8m (16') LENGTH; NATURAL MILL FINISH; 305mm (12") STAKE.
 - INSTALL EDGER AS PER MANUFACTURER'S INSTRUCTIONS
 - 1 X 4 WOOD SUPPORT TO BE STAKED IN PLACE AND USED TO ENSURE EDGER IS INSTALLED IN A STRAIGHT LINE AND MAINTAINS A STRAIGHT ALIGNMENT DURING THE INSTALLATION OF GROWING MEDIUM AND RIVER ROCK. MAY BE SCRAP WOOD AS LONG AS IT IS STRAIGHT.
 - FILTER FABRIC TO BE POLYPROPYLENE FIBRE NONWOVEN GEOTEXTILE, SUCH AS NILEX 4551 OR APPROVED EQUAL

1 PERMEABLE PAVER DRIVE
L4.01 1:10

2 PERMEABLE PAVER DRIVE - CONCRETE EGDE TYP.
L4.01 1:10

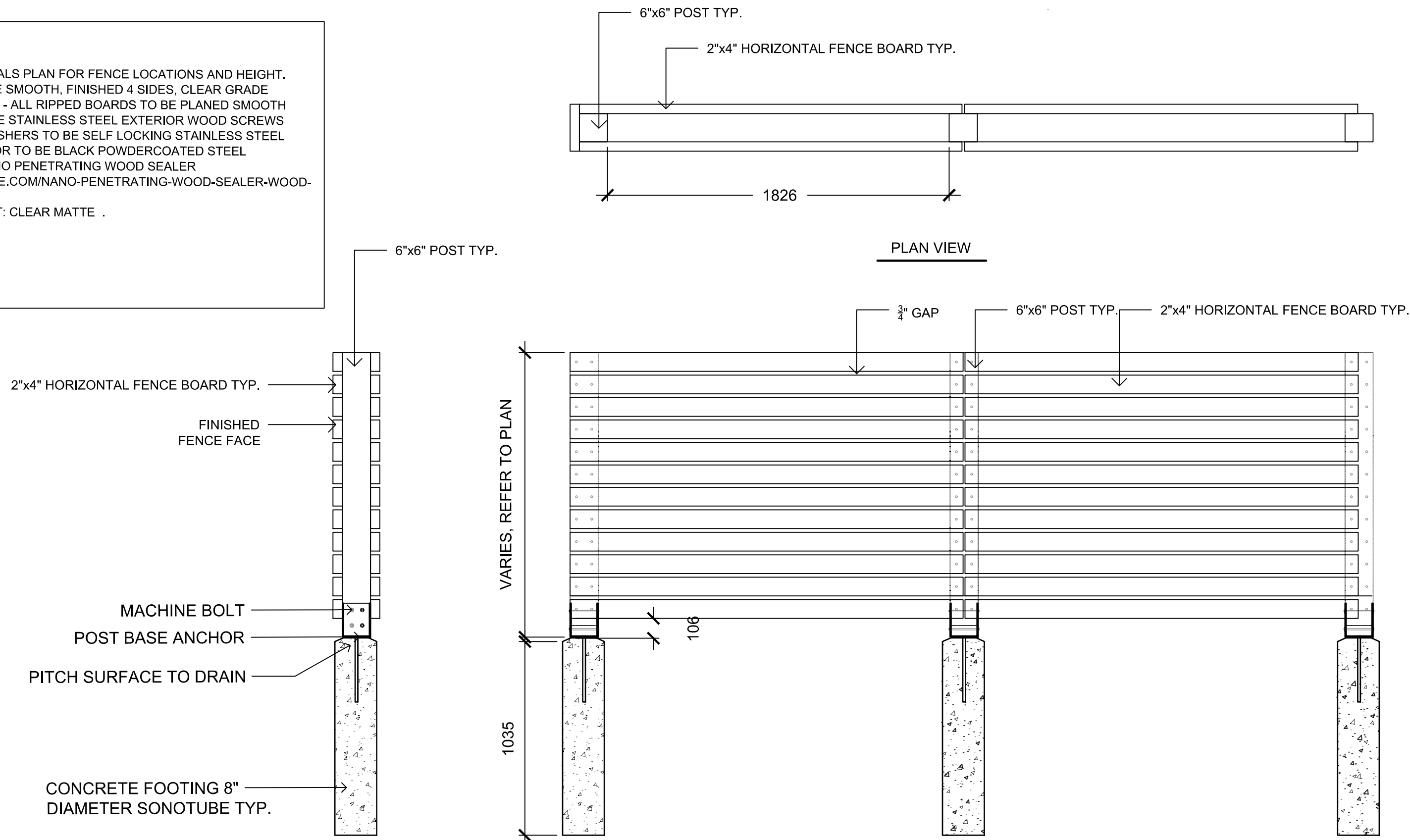
3 DRIP STRIP
L4.01 1:10



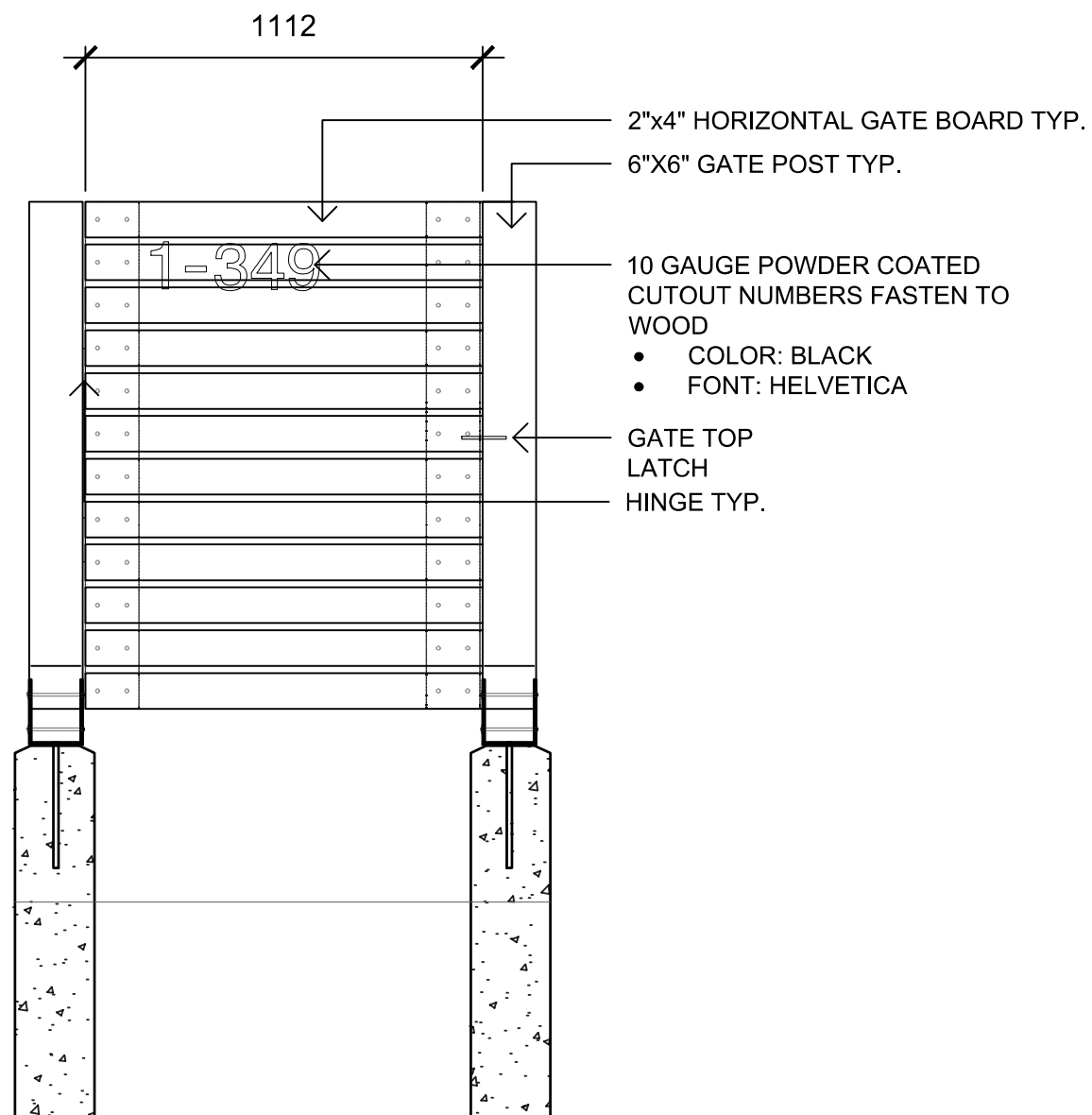
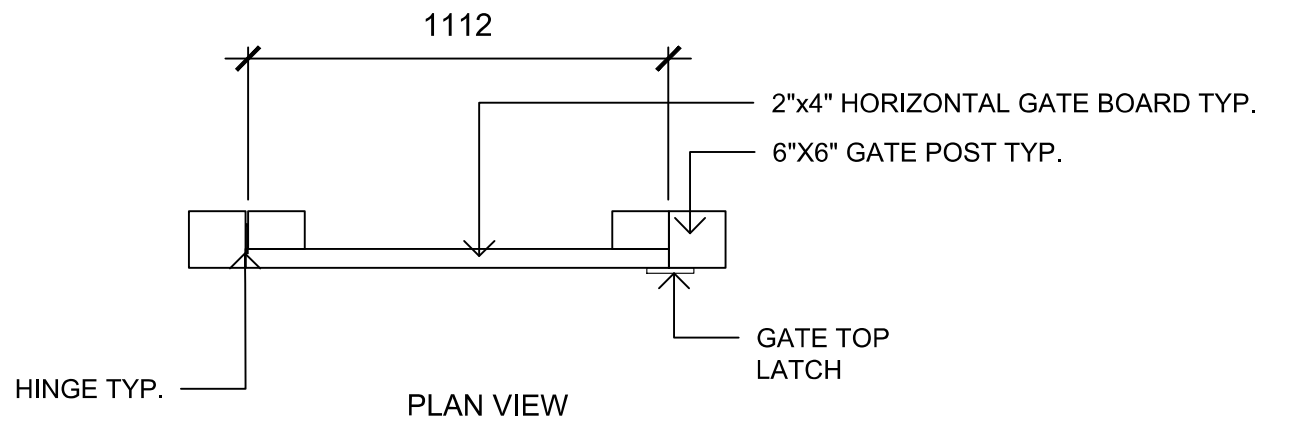
4 PRE-CAST CONCRETE PAVERS
L4.01 1:10

NOTES:

- REFER TO MATERIALS PLAN FOR FENCE LOCATIONS AND HEIGHT.
- ALL LUMBER TO BE SMOOTH, FINISHED 4 SIDES, CLEAR GRADE SEASONED CEDAR - ALL RIPPED BOARDS TO BE PLANED SMOOTH
- ALL SCREWS TO BE STAINLESS STEEL EXTERIOR WOOD SCREWS
- ALL NUTS AND WASHERS TO BE SELF LOCKING STAINLESS STEEL
- POST BASE ANCHOR TO BE BLACK POWDERCOATED STEEL
- WOOD FINISH: NANO PENETRATING WOOD SEALER
[HTTPS://SEAL-ONCE.COM/NANO-PENETRATING-WOOD-SEALER-WOOD-STAIN/](https://seal-once.com/nano-penetrating-wood-sealer-wood-stain/)
- WOOD STAIN TINT: CLEAR MATTE .



5 PRIVACY FENCE
L4.01 1:20



NOTES:

- REFER TO MATERIALS PLAN FOR FENCE LOCATIONS AND HEIGHT.
- FINISHED SIDE OF VERTICAL FENCE BOARDS TO FACE INTO PROPERTY.
- ALL LUMBER TO BE SMOOTH, FINISHED 4 SIDES, CLEAR GRADE SEASONED CEDAR - ALL RIPPED BOARDS TO BE PLANED SMOOTH
- ALL SCREWS TO BE STAINLESS STEEL EXTERIOR WOOD SCREWS
- ALL NUTS AND WASHERS TO BE SELF LOCKING STAINLESS STEEL
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- WOOD STAIN TINT: CLEAR MATTE.

6 PASSENGER GATE
L4.01 1:20



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SEAL



NORTH ARROW



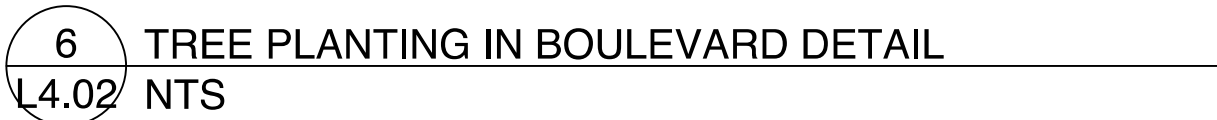
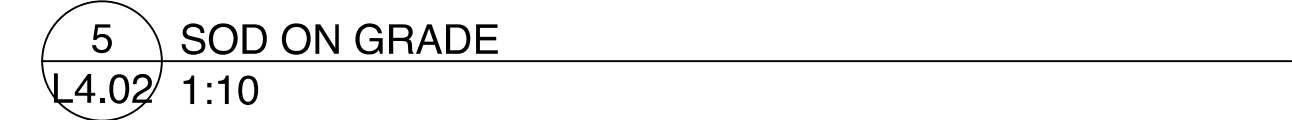
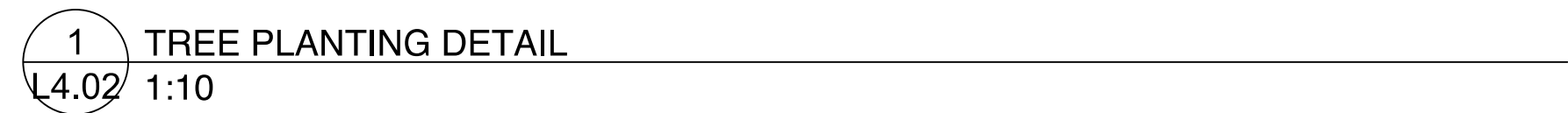
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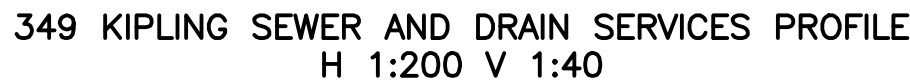
HARDSCAPE AND SITE
FURNISHINGS DETAILS

DWG NO:










L4.01

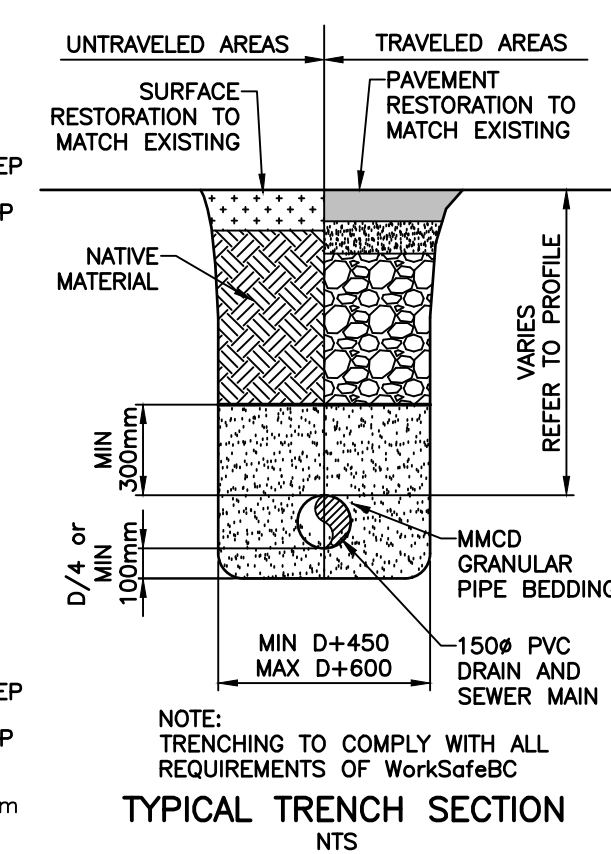
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LEGEND

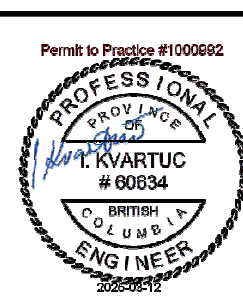
	APPROXIMATE EXTENT OF ASPHALT PAVING
	100mm THICK CONCRETE SIDEWALK (150mm AT DRIVEWAY LOCATIONS)
	PAVERS SEE LANDSCAPE DESIGN FOR DETAILS
	0.86m WIDE ROAD DEDICATION
	PROPOSED TREE
	CRITICAL ROOT ZONE CANOPY
	EXISTING TREE TO BE RETAINED
	EXISTING TREE TO BE REMOVED
BFE	BASEMENT FLOOR ELEVATION
MFE	MAIN FLOOR ELEVATION
GFE	GARAGE FLOOR ELEVATION
UFE	UPPER FLOOR ELEVATION
	TREE PROTECTIVE FENCE



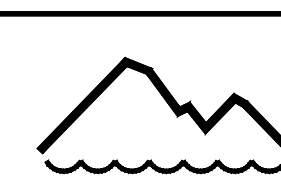
LOCATION PLAN
N.T.S.

PROPOSED SUBDIVISION OF LOT 13 AND 35, BOTH ON
FAIRFIELD FARM ESTATE, PLAN VIP884, VICTORIA CITY.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE TO THE COMPLETE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE TO THE START OF ANY EXCAVATIONS	LEGEND											
	WATER	— W —	GAS	— G —	EXISTING U/G UTL.	—	MANHOLE	⊙	HYDRANT	⊕	MONUMENT	⊕
	SEWER	— S —	CURB	— C —	PROPOSED U/G UTL.	—	CLEANOUT	⊙	VALVE	⊕	LOT PIN	⊕
	DRAIN	— D —	SIDEWALK	— S/W —	LIGHT STANDARD	⊙	CATCHBASIN	⊙	METER	⊕	LEAD PLUG	⊕
	DITCH	→ —	EDGE PAVE.	—	POWER POLE	⊙	ROAD SIGN	⊙	REDUCER	⊕		
	CULVERT	—	BUSHLINE	—	ANCHOR	→						
	HEADWALL	—	TREE	—								



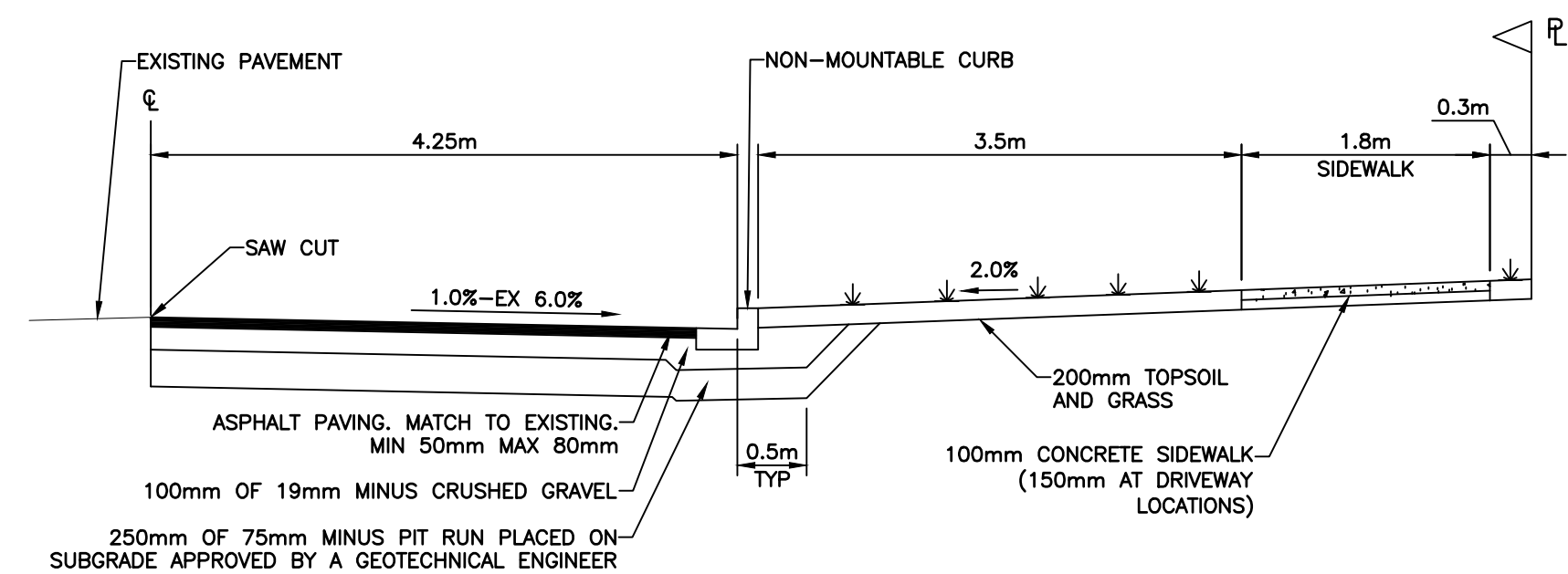
REVISIONS					ENGINEER	IK
					DESIGNER	Y
14	REVISED AS PER LANDSCAPE COMMENTS	250306	Y	Y	CHECKED	JS
13	REVISED AS PER ARCH. AND LANDSCAPE COMMENTS	241016	Y	Y	DATE	OCTOBER, 2016
12	REVISED AS PER ARCH. COMMENTS	240916			B.M.	9-68
11	REVISED AS PER ARCH. AND ELEC. COMMENTS	240606			ELEV.	15,742
10	REVISED AS PER ARCH. AND ELEC. COMMENTS	240508	Y	Y	SCALE	Horz. 1:200
No.	DESCRIPTION	Y	Y	Y	Verz.	1:40



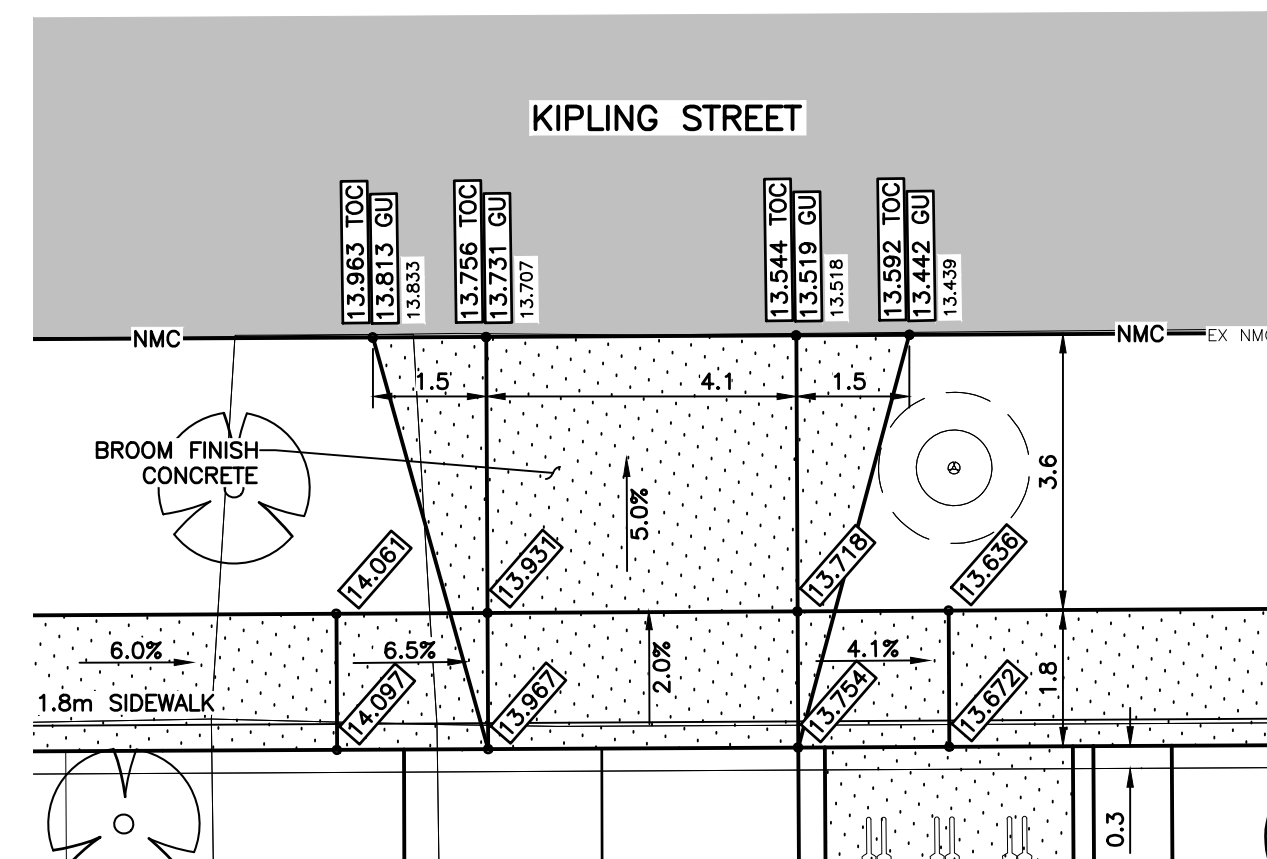
WESTBROOK
Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

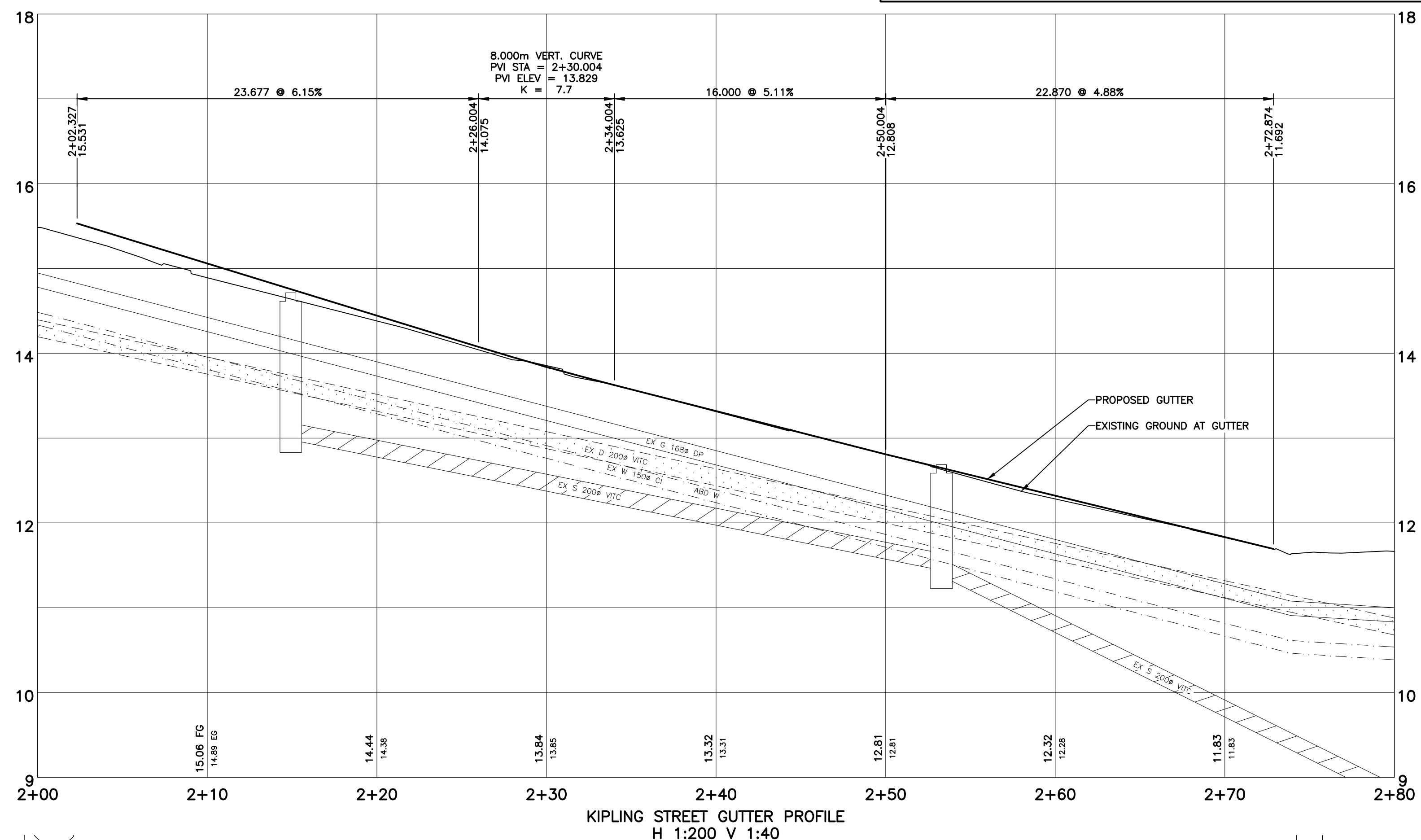
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	BREIA HOLDINGS LTD.		3455	
	ONSITE SERVICING PLAN,		GOVERNING AUTHORITY FILE No.	
	KEY PLAN, SECTION,			
	AND GENERAL NOTES			
	SHEET	OF	3	REV.
			1	14
	WESTBROOK DRAWING No.		3455-01	



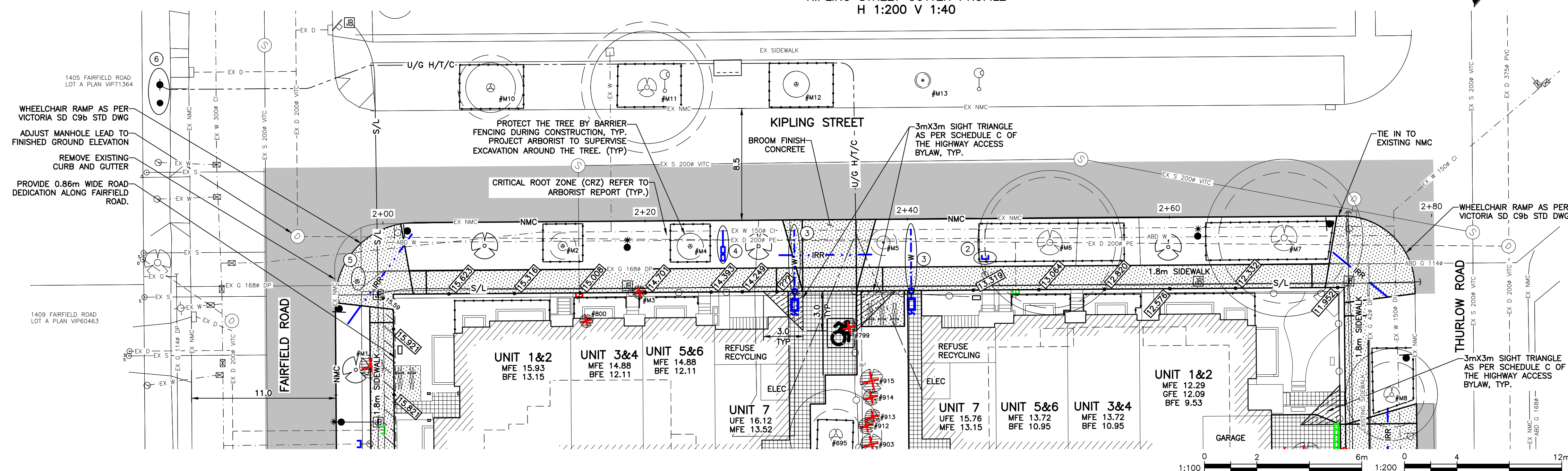
KIPLING STREET TYPICAL SECTION
NTS



KIPLING STREET DRIVEWAY GRADING
SCALE 1:100



KIPLING STREET GUTTER PROFILE
H 1:200 V 1:40



LEGEND	
	APPROXIMATE EXTENT OF ASPHALT PAVING
	100mm THICK CONCRETE SIDEWALK (150mm AT DRIVEWAY LOCATIONS)
	PAVERS SEE LANDSCAPE DESIGN FOR DETAILS
	0.86m WIDE ROAD DEDICATION
	PROPOSED TREE
	CRITICAL ROOT ZONE
	EXISTING TREE TO BE RETAINED
	TREE TAG
	PROPOSED ELEVATION AT TOP OF CURB
	PROPOSED ELEVATION AT GUTTER
	PROPOSED ELEVATION
	EXISTING ELEVATION
	BFE BASEMENT FLOOR ELEVATION
	MFE MAIN FLOOR ELEVATION
	GFE GARAGE FLOOR ELEVATION
	UFE UPPER FLOOR ELEVATION
	TREE PROTECTIVE FENCE
	EXISTING TREE TO BE REMOVED

WESTBROOK CONSULTING LTD. - 2025-03-12 07:24PM - H:\PROJECTS\3455_349_351_Kipling_Sd\242_Drawing\3455-02.dwg

LEGEND									
WATER	W	GAS	G	EXISTING U/G UTL	MANHOLE	HYDRANT	MONUMENT		
SEWER	S	CURB	C	PROPOSED U/G UTL	CLEANOUT	VALVE	LOT PIN		
DRAIN	D	SIDEWALK	S/W	LIGHT STANDARD	CATCHBASIN	METER	LEAD PLUG		
DITCH		EDGE PAVE.		POWER POLE	ROAD SIGN	REDUCER			
CULVERT		BUSHLINE		ANCHOR					
HEADWALL		TREE							

SEAL

Permit to Practice #1000682

PROFESSIONAL ENGINEER

WESTBROOK CONSULTING LTD.

00034

REVISIONS			
14	REVISED AS PER LANDSCAPE COMMENTS	250306	IY
13	REVISED AS PER ARCH. AND LANDSCAPE COMMENTS	241016	IY
12	REVISED AS PER ARCH. COMMENTS	240916	IY
11	REVISED AS PER ARCH. AND ELEC. COMMENTS	240606	IK
10	REVISED AS PER ARCH. AND ELEC. COMMENTS	240508	IY
No.	DESCRIPTION	YMMDD	SIGN

ENGINEER IK

DESIGNER IY

CHECKED JS

DATE OCTOBER, 2019

B.M. 9-68

ELEV. 15.742

SCALE Horiz. 1:200

Vert. 1:40

WESTBROOK Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3

Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT

1400 FAIRFIELD ROAD

BREIA HOLDINGS LTD.

GUTTER PLANS AND PROFILES, GRADING DETAILS AND SECTION

WESTBROOK PROJECT No. 3455

GOVERNING AUTHORITY FILE No.

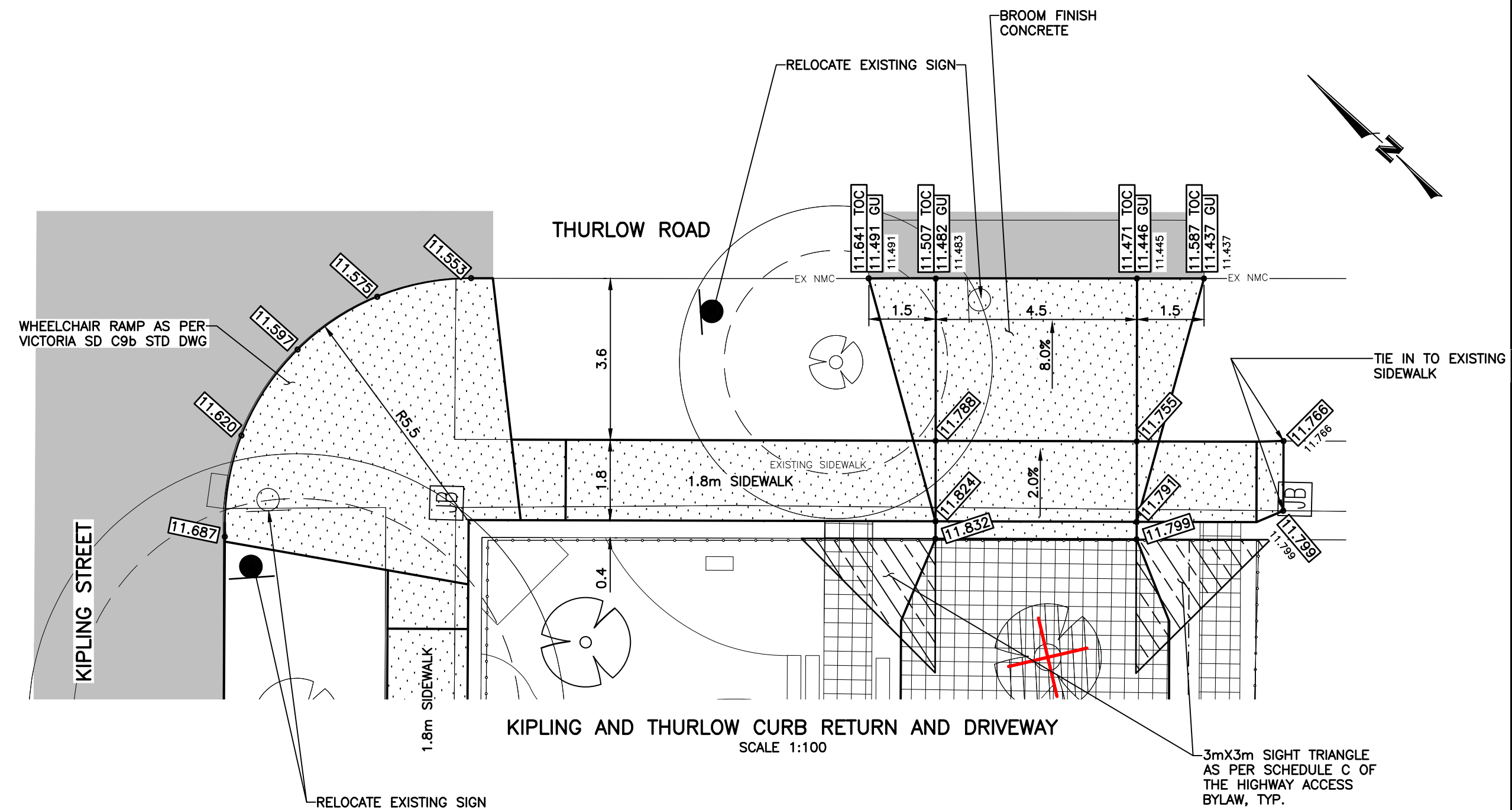
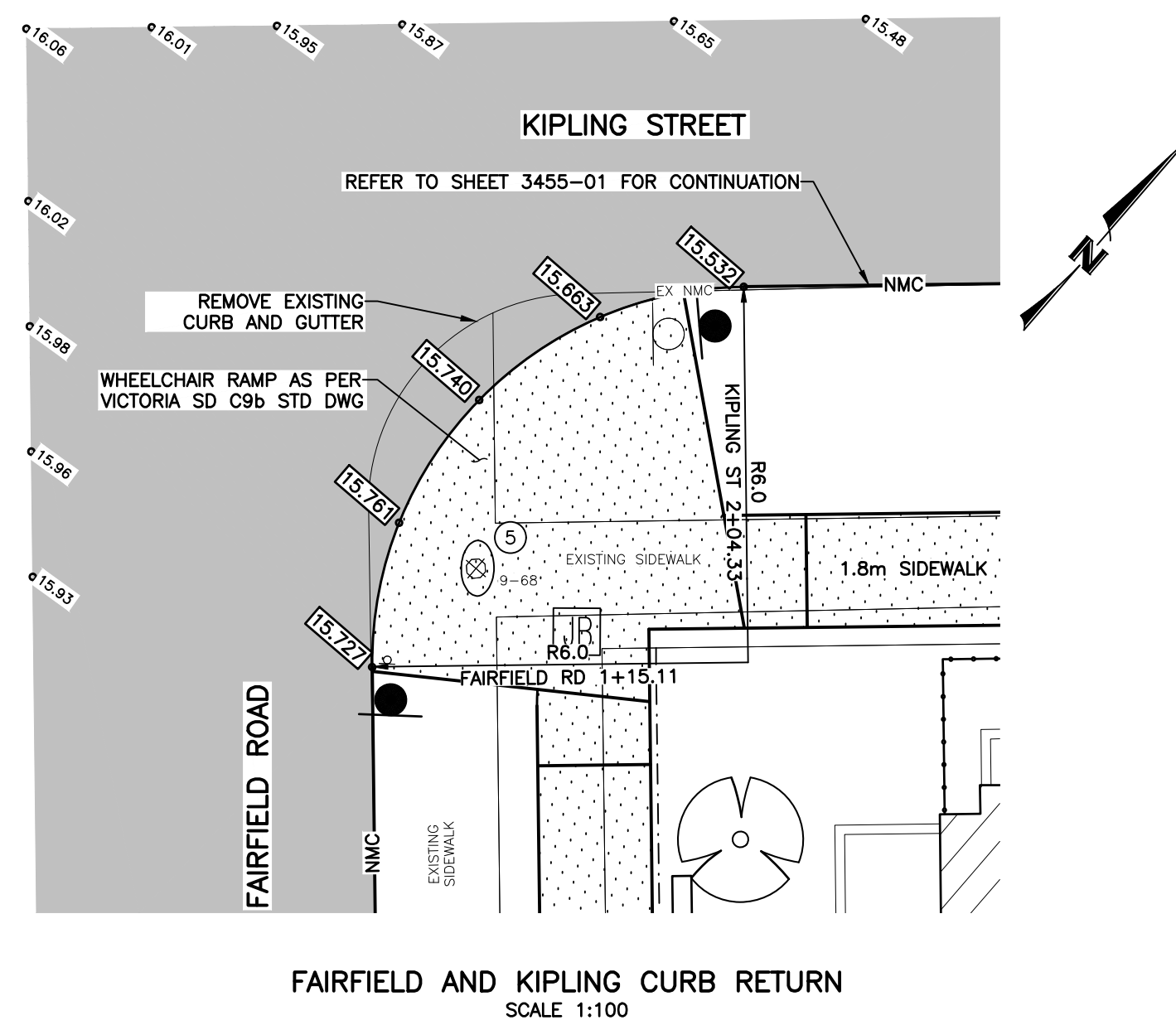
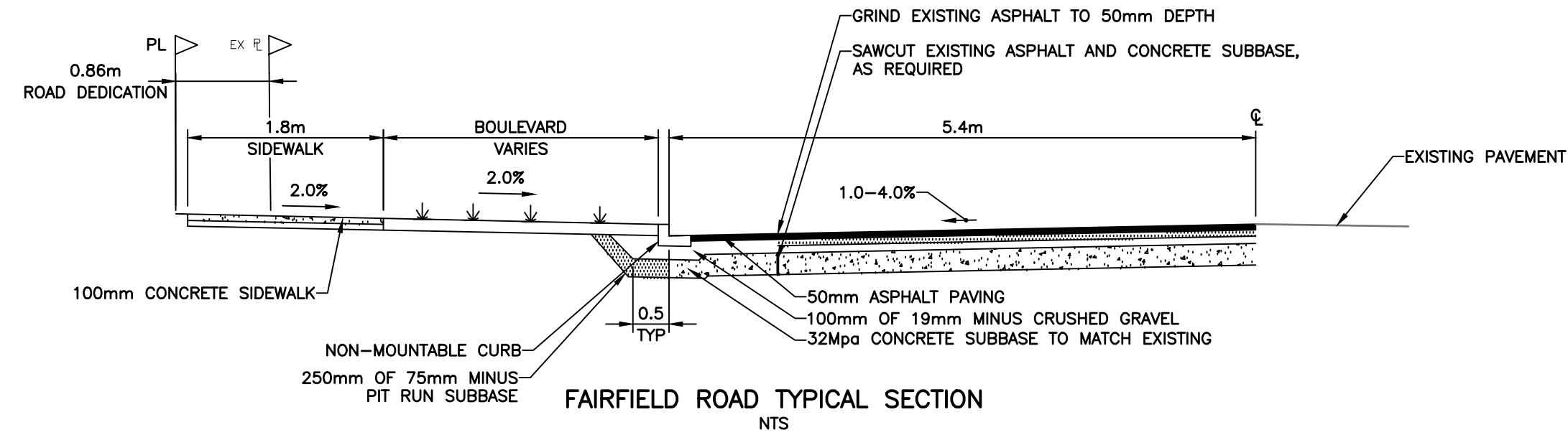
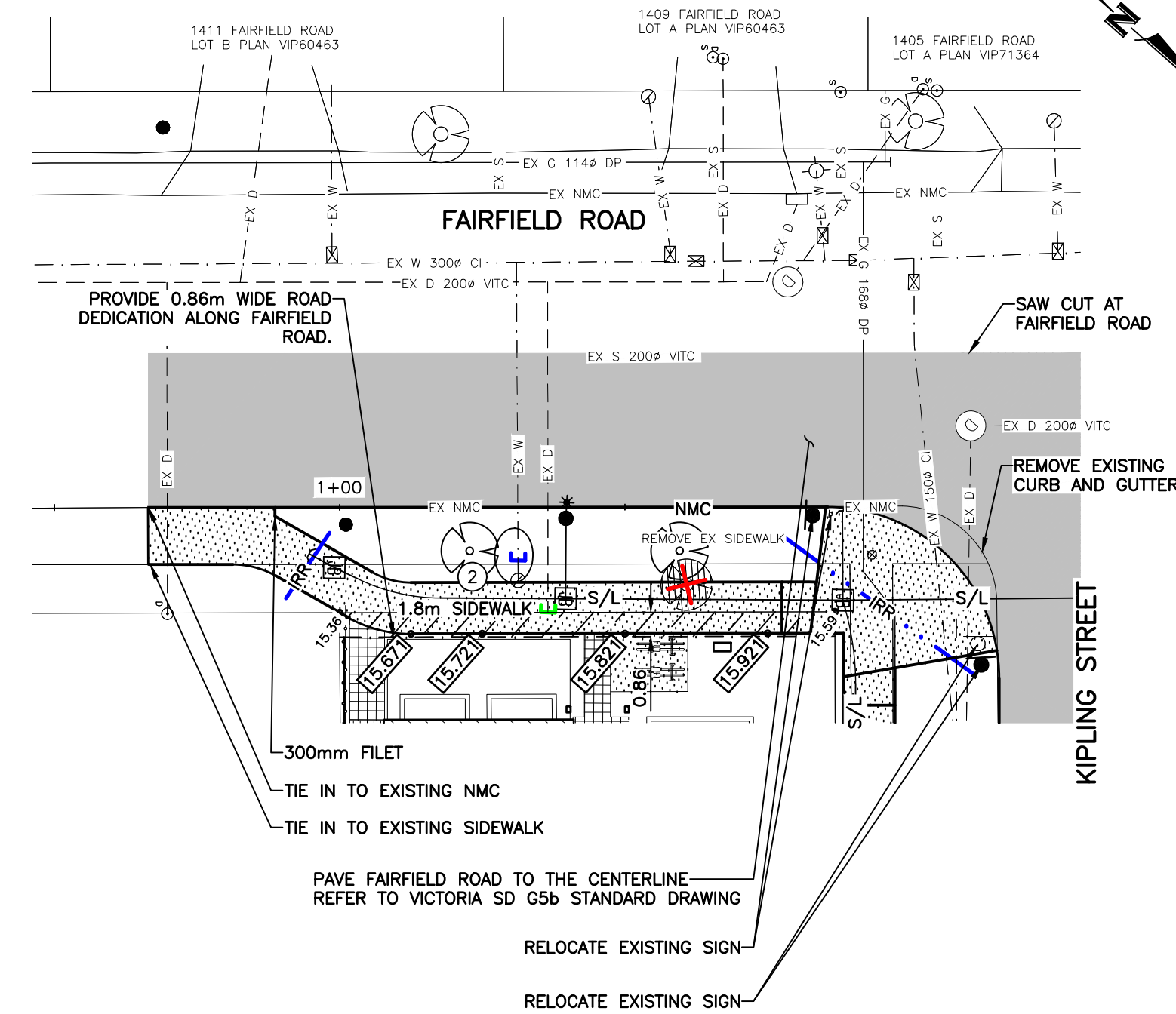
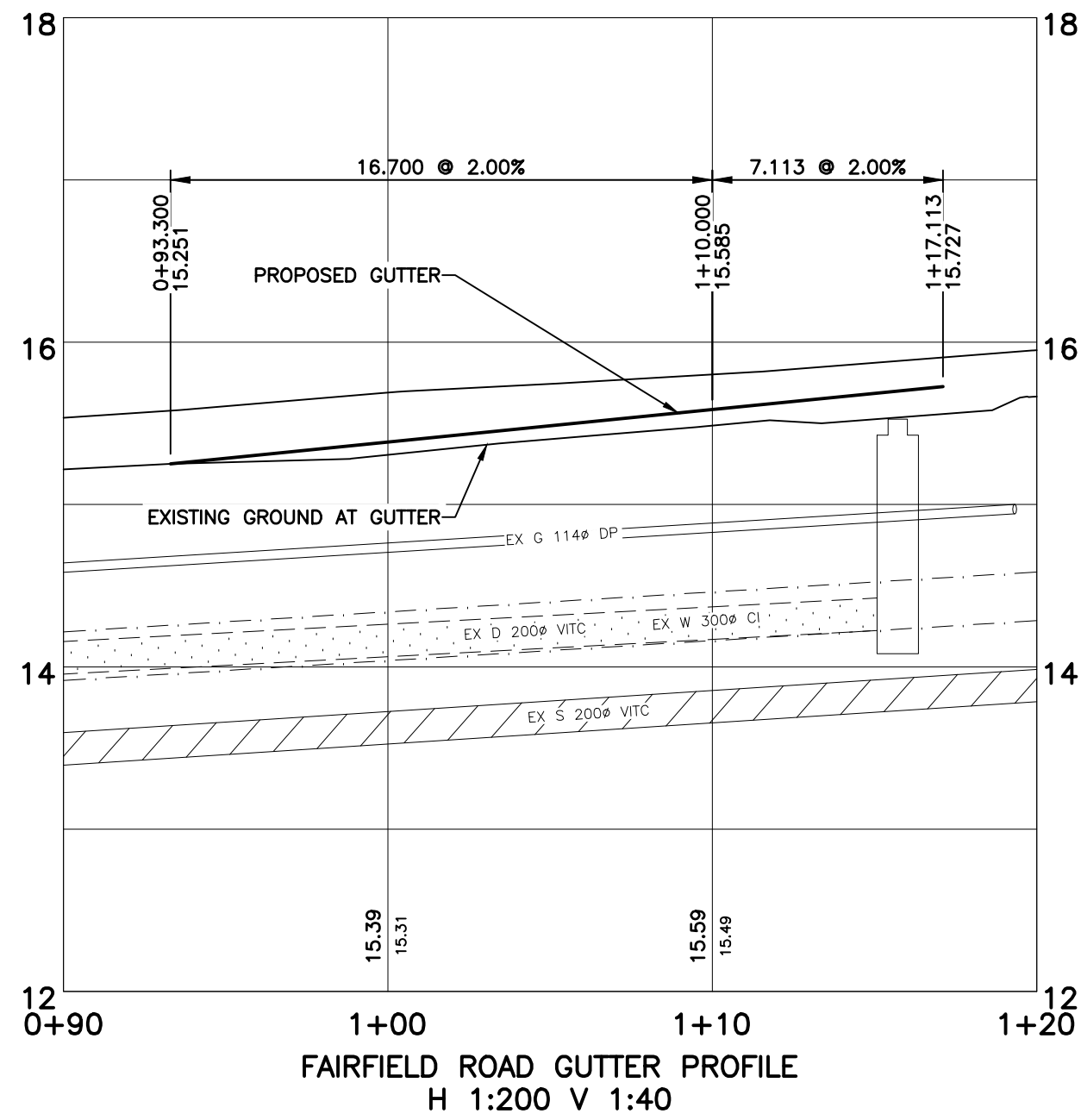
SHEET 2 OF 3

REV. 14

WESTBROOK DRAWING No. 3455-02

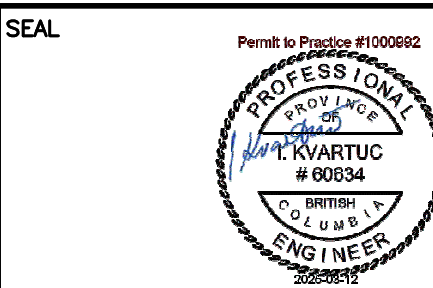
LEGEND

	APPROXIMATE EXTENT OF ASPHALT PAVING		• [XX.XXX] TOC	PROPOSED ELEVATION AT TOP OF CURB
	100mm THICK CONCRETE SIDEWALK (150mm AT DRIVEWAY LOCATIONS)		• [XX.XXX] GU	PROPOSED ELEVATION AT GUTTER
	PAVERS SEE ARCHITECTURAL DESIGN FOR DETAILS		• [XX.XXX]	PROPOSED ELEVATION
	0.86m WIDE ROAD DEDICATION		• XX.XX	EXISTING ELEVATION
	PROPOSED TREE			
	CRITICAL ROOT ZONE CANOPY			
	EXISTING TREE TO BE RETAINED			
	EXISTING TREE TO BE REMOVED			



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE TO THE START OF ANY EXCAVATIONS

LEGEND					
WATER	W	GAS	G	EXISTING U/G UTL	MANHOLE
SEWER	S	CURB	C	PROPOSED U/G UTL	CLEANOUT
DRAIN	D	SIDEWALK	S/W	LIGHT STANDARD	CATCHBASIN
DITCH	D	EDGE PAVE.		POWER POLE	ROAD SIGN
CULVERT	C	BUSHLINE		ANCHOR	REDUCER
HEADWALL	H	TREE			



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12	REVISED AS PER ARCH. COMMENTS	240916	IY
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10	REVISED AS PER ARCH. AND ELEC. COMMENTS	240508	IY
No.	DESCRIPTION	YMMDD	SIGN

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PROJECT		WESTBROOK PROJECT No.	
1400 FAIRFIELD ROAD BREIA HOLDINGS LTD.		3455	
GUTTER PLANS AND PROFILES, GRADING DETAILS AND SECTION		GOVERNING AUTHORITY FILE No.	
SHEET	OF	REV.	
3	3	14	
WESTBROOK DRAWING No.		3455-03	