

1400 LE PARC (1400 FAIRFIELD)

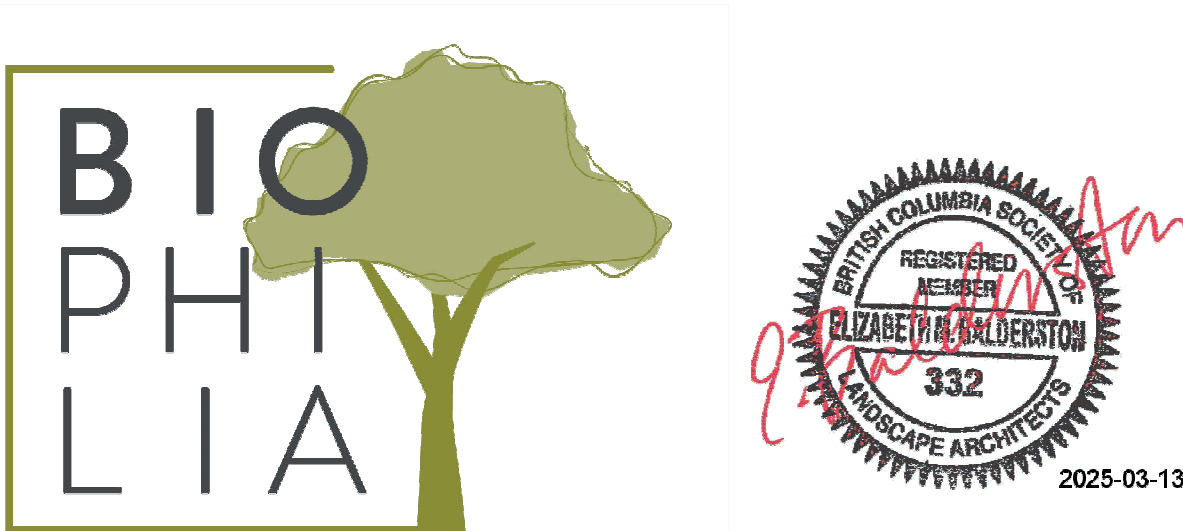
1404 FAIRFIELD RD, VICTORIA, BC

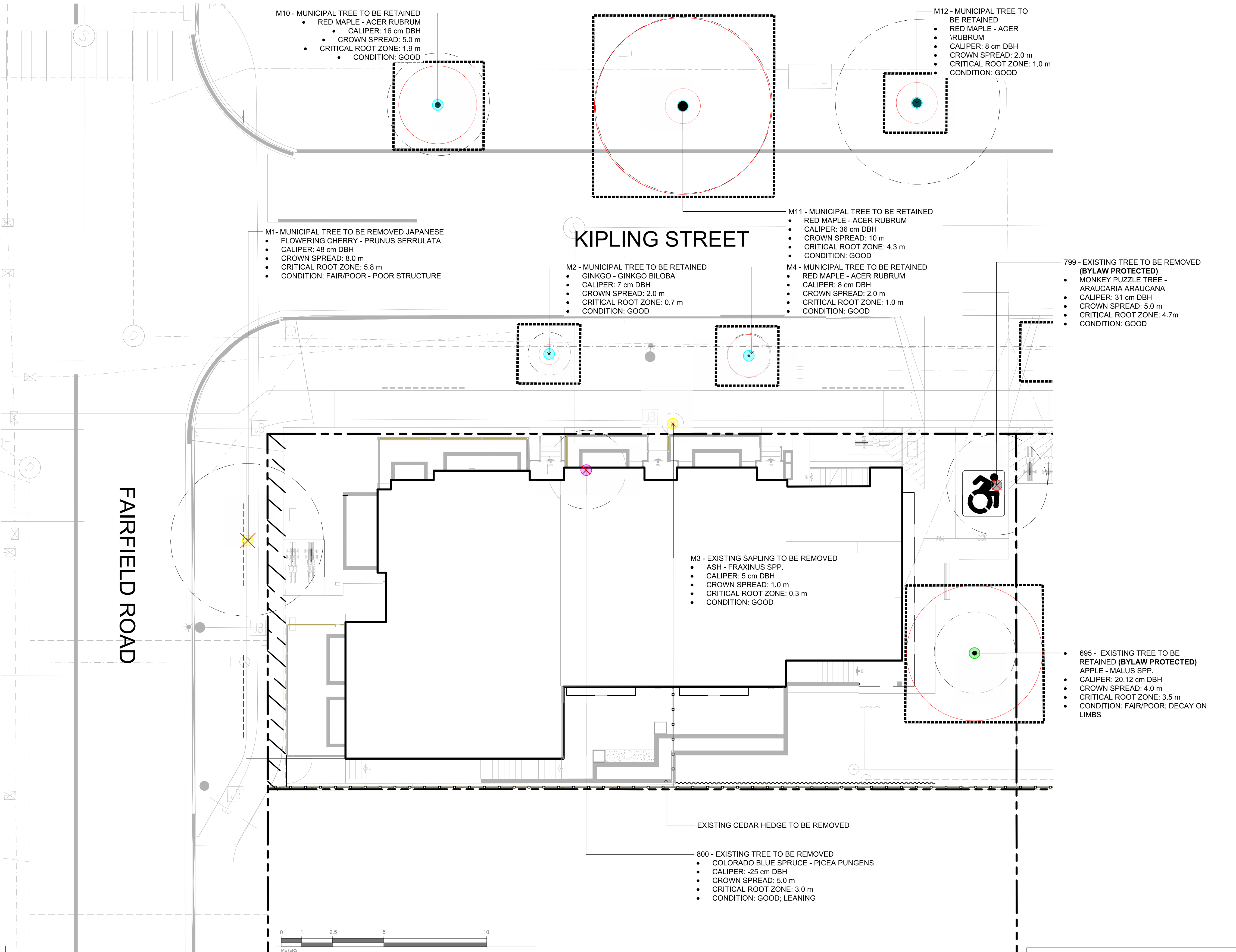
SHEET LIST

L0.00 COVER SHEET	L3.01 SOIL DEPTH PLAN
L0.01 TREE MANAGEMENT & REMOVAL PLAN	L4.01 HARDSCAPE AND SITE FURNISHING DETAILS
L0.02 ARBORIST TREE INVENTORY LIST	L4.02 SOFSCAPE DETAILS
L1.01 MATERIALS PLAN	
L2.01 TREE PLANTING PLAN	

GENERAL LANDSCAPE NOTES

- GENERAL:
- DO NOT PROCEED IN UNCERTAINTY.
 - DO NOT SCALE DRAWINGS.
 - DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS/SPECIFICATIONS IN THIS PROJECT SET. ANY DISCREPANCIES AMONG DRAWINGS, SPECIFICATIONS AND INDUSTRY BEST PRACTICES TO BE REPORTED TO THE PROJECT / CONSTRUCTION MANAGER AND THE LANDSCAPE CONSULTANT FOR DIRECTION.
 - ALL LANDSCAPE SPECIFICATION SECTIONS AND DRAWINGS ARE AFFECTED BY REQUIREMENTS OF DIVISION 01 SECTIONS (PROVIDED IN THE PROJECT MANUAL).
 - CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS, INCLUDING THE LIMITS OF WORK AND EXISTING FEATURES TO BE PROTECTED, PRIOR TO SUBMITTING BIDS/QUOTES.
 - CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES/FEATURES PRIOR TO COMMENCING WORK.
 - CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT SITE FEATURES / CONDITIONS, WITHIN AND BEYOND THE LIMITS OF WORK EXISTING AT THE TIME OF CONSTRUCTION. ALL DISTURBED SURFACES, AREAS, STRUCTURES, VEGETATION, HABITAT ETC. ON PUBLIC / PRIVATE PROPERTY TO PROMPTLY BE RESTORED TO EQUAL OR BETTER CONDITION THAN EXISTING AND TO THE SATISFACTION OF THE MUNICIPALITY HAVING JURISDICTION / PROPERTY OWNER.
 - CONTRACTOR TO MAINTAIN THE SITE IN A SAFE AND TIDY CONDITION AT ALL TIMES. DO NOT OBSTRUCT PEDESTRIAN OR VEHICULAR CIRCULATION. DO NOT LEAVE UNPROTECTED HOLES / PITS / OPENINGS OVERNIGHT. ALL EXCESS MATERIALS AND REFUSE TO BE REMOVED FROM THE SITE DAILY UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- STANDARDS:
- ALL WORK ON MUNICIPAL PROPERTY TO CONFORM TO THE CITY OF VICTORIA DEVELOPMENT STANDARDS (AUTHORITY HAVING JURISDICTION) INCLUDING BUT NOT LIMITED TO:
 - CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS SCHEDULE 'B' TO THE SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042
 - CITY OF VICTORIA SUPPLEMENTAL DRAWINGS
 - CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C.
 - ALL LANDSCAPE WORK ON THE DEVELOPMENT SITE TO CONFORM TO THE CURRENT EDITION AT TIME OF ISSUE OF THE *Canadian Landscape Standard* (CLS), UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
 - ALL HARD SURFACE (INCLUDING BUT NOT LIMITED TO PAVING, CONCRETE RETAINING WALLS AND CONCRETE PLANTERS) TO CONFORM TO THE *Master Municipal Construction Documents Association PLATINUM EDITION* (MMCD) AND MMCD SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
 - IN CASES OF CONFLICT BETWEEN THE CLS AND THE MMCD, THE MORE STRINGENT REQUIREMENT WILL TAKE PRECEDENCE.
 - LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH MUNICIPAL DEVELOPMENT STANDARDS AND BE IN POSSESSION OF THE CLS AND MMCD MANUALS AND SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS.
 - GROWING MEDIUM AND GROWING MEDIUM TESTING TO CLS Section 5.
 - IRRIGATION DESIGN AND INSTALLATION TO IIABC STANDARDS AND CLS Section 10.
- COORDINATION:
- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION AND ELECTRICAL SLEEVES WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL WORKS.
- SUBMITTALS:
- CONTRACTOR TO PROVIDE SAMPLES, TEST RESULTS AND SHOP DRAWINGS TO LANDSCAPE CONSULTANT FOR REVIEW AND APPROVAL 45 DAYS PRIOR TO INSTALLATION.
 - SEE ALSO SUBMITTALS TABLE BELOW FOR ADDITIONAL INFORMATION.
- GROWING MEDIUM TESTING:
- GROWING MEDIUM TEST RESULTS ARE MANDATORY.
 - TEST RESULTS TO INCLUDE ANALYSIS OF ALL GROWING MEDIUM NUTRIENTS NOTED IN CLS 5.2.7 AND ARE TO BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
 - TEST RESULTS TO INCLUDE ANALYSIS OF SOIL TEXTURE, ORGANIC CONTENT AND ACIDITY AS PER CLS 5.3.5 AND BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
 - TEST RESULTS TO INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO MEET THE REQUIREMENTS FOR EACH GROWING MEDIUM TYPE.
 - RECOMMENDED GROWING MEDIUM TESTING FACILITY: Pacific Soil Analysis Inc. 11720 Voyageur Way, Richmond, BC V6X 3G9 OR APPROVED EQUAL.
- COMPACTION TESTING:
- COMPACTION TESTS FOR HARD SURFACE SUBGRADE, GRANULAR SUB-BASE, AND GRANULAR BASE ARE MANDATORY.
- INSPECTIONS:
- CONTRACTOR TO ALERT THE LANDSCAPE CONSULTANT A MINIMUM OF 3 WORKING DAYS PRIOR TO REQUIRED LANDSCAPE INSPECTIONS.
- SUBSTITUTIONS:
- REQUESTS FOR SUBSTITUTIONS TO CONFORM TO THE DIVISION 01 SECTION AND BE SUBMITTED TO THE LANDSCAPE CONSULTANT, THROUGH THE PROJECT ADMINISTRATOR, A MINIMUM OF 45 DAYS PRIOR TO SCHEDULED WORK.
 - PLEASE NOTE THAT SOME SUBSTITUTIONS MAY REQUIRE MUNICIPAL APPROVAL.
- WARRANTY:
- CONTRACTOR SHALL WARRANTY ALL WORKMANSHIP AND MATERIALS FOR 1 FULL YEAR FOLLOWING THE DATE OF TOTAL PERFORMANCE AS PER MMCD UNLESS SPECIFICALLY NOTED OTHERWISE. FAULTY MATERIALS AND WORKMANSHIP SHALL BE PROMPTLY REPAIRED / REPLACED TO THE SATISFACTION OF THE LANDSCAPE CONSULTANT.
- ENVIRONMENTAL PROTECTION:
- CONTRACTOR TO INSTALL AND MAINTAIN SEDIMENTATION FILTRATION MEASURES AS REQUIRED FOR LANDSCAPE WORKS TO PREVENT MATERIALS FROM LEAVING THE SITE AND / OR ENTERING STORM DRAINS; STOCKPILED LANDSCAPE MATERIALS ARE TO BE KEPT TARPED.





ARBORIST SUPERVISION NOTES:

- ALL EXCAVATION OCCURRING WITHIN THE CRITICAL ROOT ZONES OF PROTECTED TREES SHOULD BE COMPLETED UNDER SUPERVISION BY THE PROJECT ARBORIST. IN PARTICULAR, THE FOLLOWING ACTIVITIES SHOULD BE COMPLETED UNDER THE DIRECTION OF THE PROJECT ARBORIST:
 - A. ANY EXCAVATION WITHIN THE CRZS OF MUNICIPAL TREES NT7-9 FOR CONSTRUCTION OF THE NEW 6-UNIT BUILDING, LANDSCAPE FEATURES, OR DRIVEWAY OFF THURLLOW ROAD
 - B. ANY EXCAVATION FOR THE ABANDONING OF EXISTING UNDERGROUND SERVICES OR INSTALLATION OF NEW SERVICES WITHIN THE CRZS OF TREES TO BE RETAINED.
- PRUNING ROOTS: ANY SEVERED ROOTS MUST BE PRUNED BACK TO SOUND TISSUE TO REDUCE WOUND SURFACE AREA AND ENCOURAGE RAPID COMPARTMENTALIZATION OF THE WOUND. BACKFILLING THE EXCAVATED AREA AROUND THE ROOTS SHOULD BE DONE AS SOON AS POSSIBLE TO KEEP THE ROOTS MOIST AND AID IN ROOT REGENERATION. EXPOSED ROOTS SHOULD BE KEPT MOIST UNTIL THE AREA IS BACKFILLED, ESPECIALLY IF EXCAVATION OCCURS DURING A PERIOD OF DROUGHT. THIS CAN BE ACCOMPLISHED IN A NUMBER OF WAYS, INCLUDING WRAPPING THE ROOTS IN BURLAP OR INSTALLING A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP, AND KEEPING THE AREA MOIST THROUGHOUT THE CONSTRUCTION PROCESS.
- MINIMIZING SOIL COMPACTION: IN AREAS WHERE CONSTRUCTION TRAFFIC MUST ENCROACH INTO THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED, EFFORTS MUST BE MADE TO REDUCE SOIL COMPACTION WHERE POSSIBLE BY DISPLACING THE WEIGHT OF MACHINERY AND FOOT TRAFFIC. THIS CAN BE ACHIEVED BY ONE OF THE FOLLOWING METHODS:
 - INSTALLING A LAYER OF HOG FUEL OR COARSE WOOD CHIPS AT LEAST 20 CM IN DEPTH AND MAINTAINING IT IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE.
 - PLACING MEDIUM WEIGHT GEOTEXTILE CLOTH OVER THE AREA TO BE USED AND INSTALLING A LAYER OF CRUSHED ROCK TO A DEPTH OF 15 CM OVER TOP.
 - PLACING TWO LAYERS OF 19MM PLYWOOD.
 - PLACING STEEL PLATES.
- LANDSCAPING AND IRRIGATION SYSTEMS: THE PLANTING OF NEW TREES AND SHRUBS SHOULD NOT DAMAGE THE ROOTS OF RETAINED TREES. THE INSTALLATION OF ANY IN-GROUND IRRIGATION SYSTEM MUST TAKE INTO ACCOUNT THE CRITICAL ROOT ZONES OF THE TREES TO BE RETAINED. PRIOR TO INSTALLATION, WE RECOMMEND THE IRRIGATION TECHNICIAN CONSULT WITH THE PROJECT ARBORIST ABOUT THE MOST SUITABLE LOCATIONS FOR THE IRRIGATION LINES AND HOW BEST TO MITIGATE THE IMPACTS ON THE TREES TO BE RETAINED. THIS MAY REQUIRE THE PROJECT ARBORIST SUPERVISE THE EXCAVATIONS ASSOCIATED WITH INSTALLING THE IRRIGATION SYSTEM. EXCESSIVE FREQUENT IRRIGATION AND IRRIGATION WHICH WETS THE TRUNKS OF TREES CAN HAVE A DETRIMENTAL IMPACT ON TREE HEALTH AND CAN LEAD TO ROOT AND TRUNK DECAY.
- ARBORIST ROLE: IT IS THE RESPONSIBILITY OF THE CLIENT OR HIS/HER REPRESENTATIVE TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF:
 - LOCATING THE BARRIER FENCING
 - REVIEWING THE REPORT WITH THE PROJECT FOREMAN OR SITE SUPERVISOR
 - LOCATING WORK ZONES, WHERE REQUIRED
 - SUPERVISING ANY EXCAVATION WITHIN THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED
 - REVIEWING AND ADVISING OF ANY PRUNING REQUIREMENTS FOR MACHINE CLEARANCES
 - REVIEW AND SITE MEETING: ONCE THE PROJECT RECEIVES APPROVAL, IT IS IMPORTANT THAT THE PROJECT ARBORIST MEET WITH THE PRINCIPALS INVOLVED IN THE PROJECT TO REVIEW THE INFORMATION CONTAINED HEREIN. IT IS ALSO IMPORTANT THAT THE ARBORIST MEET WITH THE SITE FOREMAN OR SUPERVISOR BEFORE ANY SITE CLEARING, TREE REMOVAL, DEMOLITION, OR OTHER CONSTRUCTION ACTIVITY OCCURS AND TO CONFIRM THE LOCATIONS OF THE TREE PROTECTION BARRIER FENCING.
- SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION, REQUIREMENTS AND RECOMMENDATIONS.

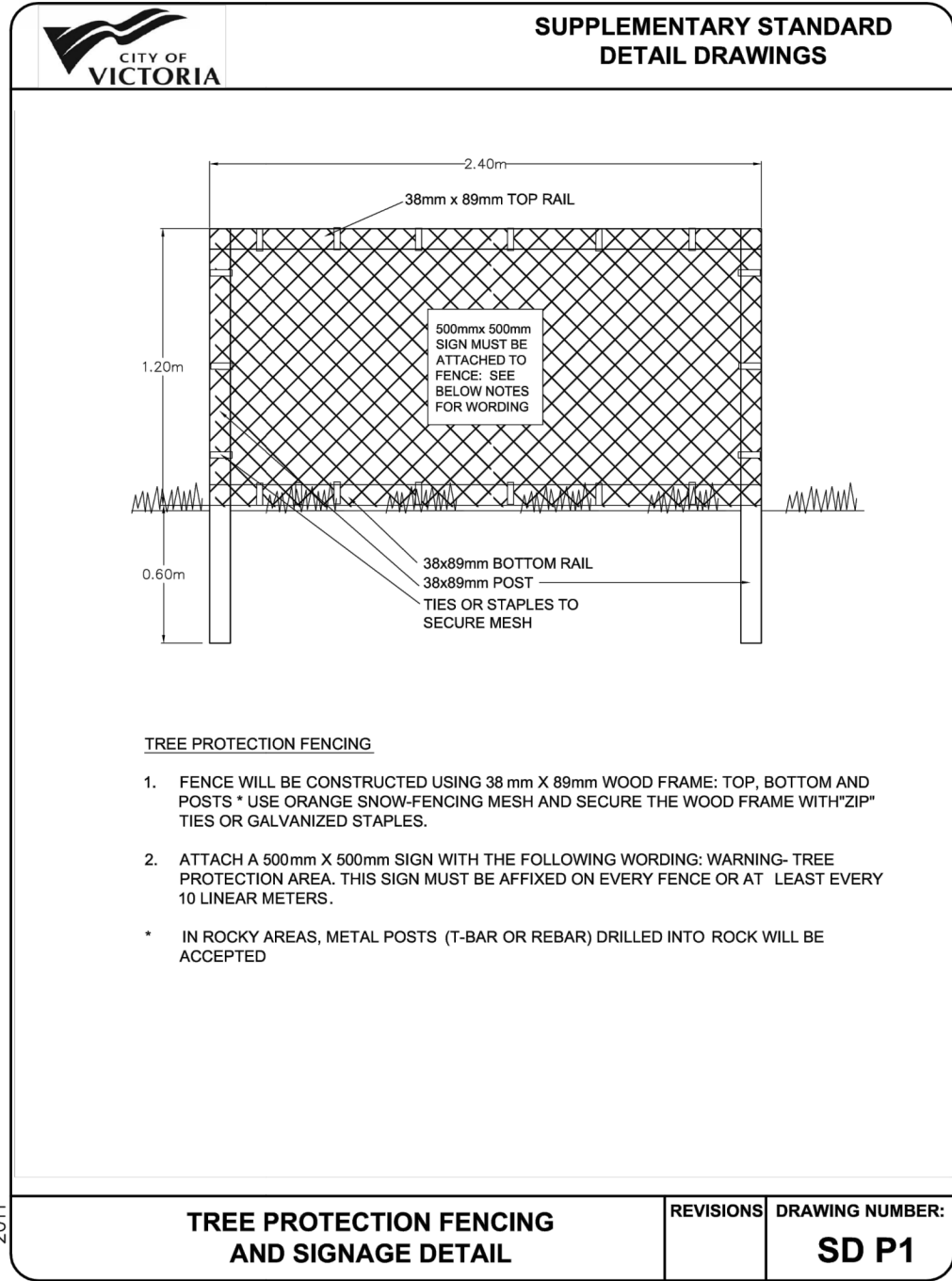
EXISTING TREE QUANTITIES

- ON SITE:
- EXISTING TREES = 3
 - TREES TO BE REMOVED = 2
 - BYLAW PROTECTED TREES TO BE REMOVED: 1
 - REPLACEMENT TREES REQUIRED: 3

- MUNICIPAL BOULEVARD:
- EXISTING TREES = 7
 - TREES TO BE REMOVED = 3 (M1,M3,M11)
 - NEW STREET PLANTED: 4

LEGEND

- PROPERTY LINE
- BUILDING FOOTPRINT
- PRIVACY FENCE
- CLIMBING VINES
- ROOT BARRIER
- TREE PROTECTION FENCING
 - TO OUTSIDE OF DRIPLINE WHERE POSSIBLE (AS SHOWN)
 - TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
 - TO CITY OF VICTORIA STANDARD
- EXISTING TREE TO BE RETAINED
 - SHOWN AT EXISTING SPREAD
- EXISTING TREE TO BE REMOVED
 - SHOWN AT EXISTING SPREAD
- CRITICAL ROOT ZONE
- PROTECTED TREE FOR REMOVAL
- PROTECTED TREE TO RETAIN
- MUNICIPAL TREE FOR REMOVAL
- MUNICIPAL TREE TO RETAIN
- TREE FOR REMOVAL



1 TREE PROTECTION FENCING AND SIGNAGE DETAIL
L0.01 NTS



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

OWNER/CLIENT:
BREIA HOLDINGS LTD.

PROJECT NAME:
LE PARC

PROJECT ADDRESS:
1400 FAIRFIELD

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LB**

9	RE-ISSUED FOR DP	25/03/12
8	ISSUED FOR REVIEW	25/03/06
7	REVISED AND RE-ISSUED FOR DP	24/10/29
6	RE-ISSUED FOR REVIEW	24/09/27
5	ISSUED FOR RZ/DP	24/06/06
4	ISSUED FOR COORDINATION	24/05/15
3	ISSUED FOR BP	23/12/21
2	ISSUED FOR BP 75%	23/11/15
1	ISSUED FOR BP 50%	23/11/01
NO.	ISSUE	YY/MM/DD

SEAL



NORTH ARROW



DRAWING TITLE:
**TREE MANAGEMENT
PLAN**

DWG NO:

L0.01

SCALE: 1:100

Tag or ID #	Surveyed? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected? (Yes/No)	Name		dbh (cm)	Dripline diameter (m)	Critical root zone radius (m)	Relative Tolerance	Condition		Retention Suitability (on-site trees)	General field observations/remarks	Tree retention / location comments	Retention status
				Common	Botanical					Health	Structural				
695	Yes	On-site	Yes	Apple	<i>Malus spp.</i>	20, 12	4	3.3	Moderate	Fair	Fair/poor	Conditional	12cm stem resting on shed, decay on limbs	Possible impacts from adjacent tree removals; relatively poor structure.	Retain*
799	Yes	On-site	Yes	Monkey Puzzle	<i>Araucaria araucana</i>	31	5	4.7	Poor	Good	Good	Unsuitable		Within proposed parking stall footprint.	X
800	Yes	On-site	No	Colorado Blue Spruce	<i>Picea pungens</i>	~25	5	3	Moderate	Good	Good	Unsuitable	Leaning	Within proposed building footprint.	X
898	Yes	On-site	No	Western Red Cedar	<i>Thuja plicata</i>	42	5	5	Moderate	Fair	Fair	Unsuitable	Raised, asymmetric crown	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
903	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	42	4	5	Moderate	Fair	Fair	Unsuitable	Raised crown	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
912	Yes	On-site	Yes	Big Leaf Maple	<i>Acer macrophyllum</i>	46, 24	12	7	Moderate	Fair	Fair/poor	Unsuitable	Ganoderma fruiting bodies at base, deadwood, asymmetric crown	Root & canopy conflict with proposed building footprint, likely elevated risk due to new targets.	X
913	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	37, 26	5	6.3	Moderate	Fair	Fair/poor	Unsuitable	Raised crown, narrow codominant union at base	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
914	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	33	4	4	Moderate	Fair	Fair	Unsuitable	Raised crown	Conflict with proposed building footprint & parking stalls; adjacent tree removals.	X
915	Yes	On-site	Yes	Western Red Cedar	<i>Thuja plicata</i>	51, 51	10	9.8	Moderate	Fair	Fair/poor	Unsuitable	Raised, asymmetric crown, narrow codominant union at base	Conflict with proposed building footprint & parking stalls.	X
916	Yes	On-site	Yes	Ash	<i>Fraxinus spp.</i>	55	14	5.5	Good	Good	Good	Unsuitable	Next to stump of removed tree, epicormic growth	Within proposed driveway footprint.	X
M1/NT1	Yes	Municipal	Municipal	Japanese Flowering Cherry	<i>Prunus serrulata</i>	48	8	5.8	Moderate	Fair	Poor	N/A	Municipal (ID: 16970), basal wound	Conflict with frontage improvements; poor structure.	X
M2/NT3	Yes	Municipal	Municipal	Ginkgo	<i>Ginkgo biloba</i>	7	2	0.7	Good	Good	Good	N/A	Municipal (ID: 16967)		Retain
M3/NT4	Yes	Municipal	Municipal	Ash	<i>Fraxinus spp.</i>	5	1	0.3	Good	Good	Good	N/A	Municipal, growing between sidewalk and fence	Conflict with proposed building footprint.	X
Tag or ID #	Surveyed? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected? (Yes/No)	Name		dbh (cm)	Dripline diameter (m)	Critical root zone radius (m)	Relative Tolerance	Condition		Retention Suitability (on-site trees)	General field observations/remarks	Tree retention / location comments	Retention status
				Common	Botanical					Health	Structural				
M4/NT5	Yes	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	8	2	1	Moderate	Good	Good	N/A	Municipal (ID: 34935)		Retain
M5/NT6	Yes	Municipal	Municipal	Scarlet Oak	<i>Quercus coccinea</i>	7	2	0.5	Moderate	Good	Good	N/A	Municipal (ID: 16622)		Retain
M6/NT7	Yes	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	47	10	5.6	Moderate	Good	Good	N/A	Municipal (ID: 16620)		Retain
M7/NT8	Yes	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	49	10	5.9	Moderate	Good	Good	N/A	Municipal (ID: 16618)		Retain
M8/NT9	Yes	Municipal	Municipal	Japanese Flowering Cherry	<i>Prunus serrulata</i>	30	5	3.6	Moderate	Good	Good	N/A	Municipal (ID: 16656)	Potential impacts from driveway.	Retain*
M9	No	Municipal	Municipal	Persian ironwood	<i>Parrotia persica</i>	7	1	0.7	Good	Good	Good	N/A	Municipal (ID: 16655)	~3m from east PL.	Retain
M10	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	16	5	1.9	Moderate	Good	Fair	N/A	Municipal (ID: 6346) Topped historically, trunk wound.	Potential impacts from U/G hydro. 1.8m from sidewalk edge.	Retain*
M11	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	36	10	4.3	Moderate	Good	Fair	N/A	Municipal (ID: 6345) Some hydro clearance pruning (topping) west side; canopy weighted east.	Likely conflict with U/G hydro. 1.8m from sidewalk edge.	Retain* as per Parks direction
M12	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	8	2	1	Moderate	Fair	Fair	N/A	Municipal (ID: 34936) Lower trunk wound.	Potential impacts from U/G hydro. 1.8m from sidewalk edge.	Retain*
M13	No	Municipal	Municipal	Red Maple	<i>Acer rubrum</i>	5	1	0.6	Moderate	Good	Good	N/A	Municipal (ID: 6344) Recently planted, slight bark damage south side (possible scald).		Retain



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

OWNER/CLIENT:
BREIA HOLDINGS LTD.

PROJECT NAME:
LE PARC

PROJECT ADDRESS:
349 KIPLING

DESIGNED BY: BIANCA BODLEY
DRAWN BY: LB

9	RE- ISSUED FOR DP	25/03/12
8	ISSUED FOR REVIEW	25/03/06
7	REVISED AND RE- ISSUED FOR DP	24/10/29
6	RE- ISSUED FOR REVIEW	24/09/27
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SEAL



NORTH ARROW

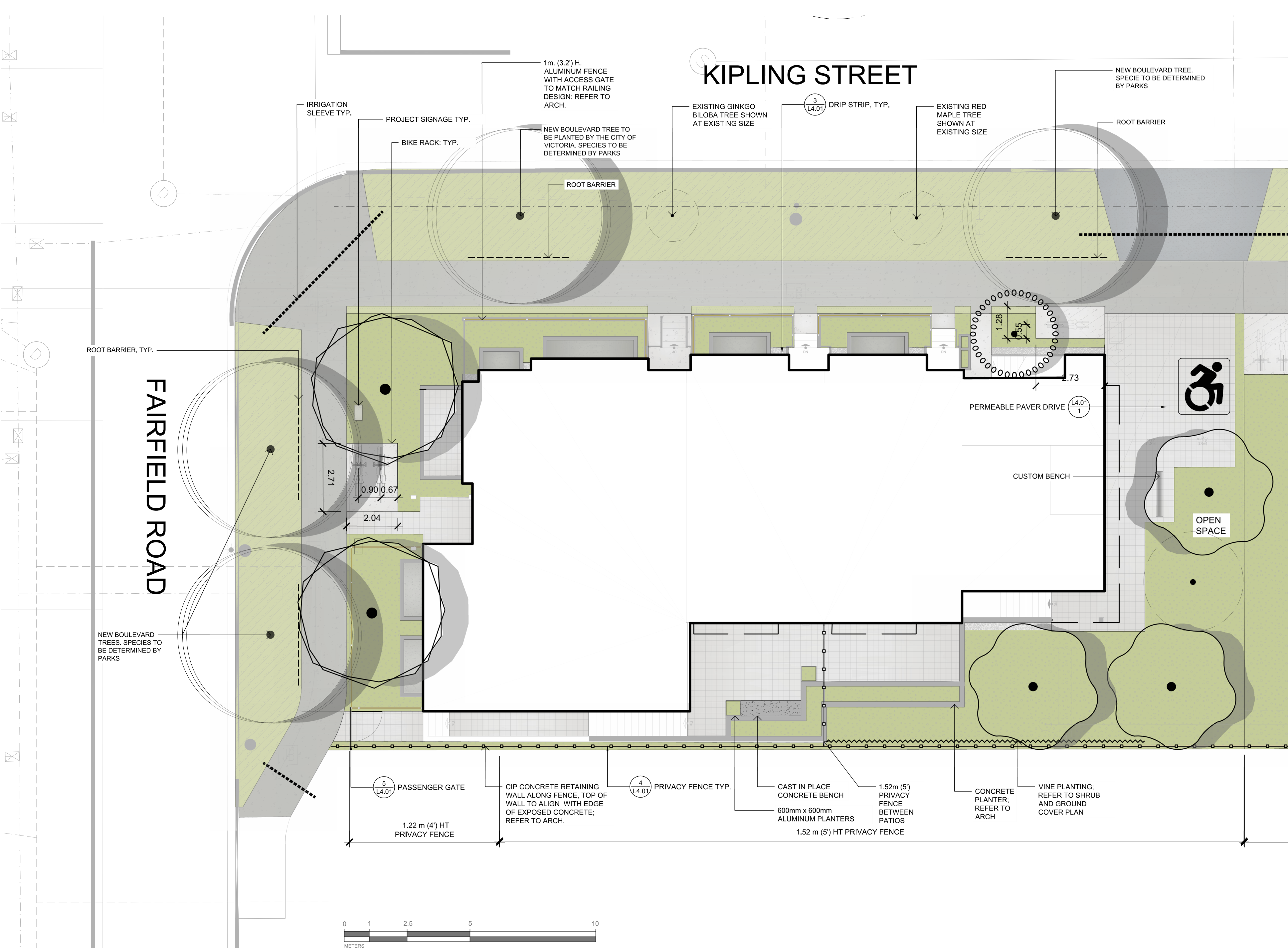


DRAWING TITLE:
ARBORIST TREE
INVENTORY TABLE

DWG NO:

L0.02

SCALE: 1:100



LEGEND

PROPERTY LINE

BUILDING FOOTPRINT

IRRIGATION SLEEVE

CLIMBING VINES

PRIVACY FENCE

ROOT BARRIER

EXISTING TREE TO BE RETAINED

• SHOWN AT EXISTING SPREAD

NEW BOULEVARD TREE

• SPECIES TO BE DETERMINED BY PARKS.

• TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE

PROPOSED TREES

MATERIALS SCHEDULE		
SYMBOL	DESCRIPTION	QTY
01 General		
	ON-SITE PLANTING - SHRUB BED	160.9 m²
	OFF-SITE PLANTING -SOD	7.0 m²
	BOULEVARD PLANTING -SOD	154.6 m²
	PAVING TYPE A: CIP CONCRETE - LIGHT BROOM FINISH - SAW CUT CONCRETE CRACK CONTROL JOINTS	31.4 m²
	PAVING TYPE B: MUNICIPAL SIDEWALK - TO CITY OF VICTORIA STANDARDS - REFER TO CIVIL	126.6 m²
	PAVING TYPE C - PERMEABLE CONCRETE PAVER - PRODUCT: SF RIMA™ GRID - COLOR: GRAY	88.6 m²
	PAVING TYPE D: CONCRETE DRIVEWAY APRON -REFER TO CIVIL	19.4 m²
	PAVING TYPE F: DRIP STRIP - 300 mm WASHED ROCK RIVER	3.3 m²
	PAVING TYPE G: GRAVEL	10.0 m²
Site Furnishings		
	BIKE RACK	4
	PRIVACY FENCE - 5' (1.52 m) HT AS NOTED - 4' (1.22 m) HT AS NOTED - SOLID WOOD FENCING	REFER TO PLAN
	MAINTENANCE GATE	1
	CUSTOM BENCH	1

BOULEVARD TREE PLANTING NOTES:

- STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND AND BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P4 (TREE PLANTING IN BOULEVARD) AND THE CANADIAN LANDSCAPE STANDARD.

BOULEVARD SEED AND SOD INSPECTION NOTES:

- REQUIRED PARKS INSPECTIONS FOR SEED AND SOD BOULEVARD:
 - INSPECTION OF EXCAVATED AND SCARIFIED SUBGRADE PRIOR TO BACKFILL.
 - INSPECTION OF INSTALLED, ROLLED AND PREPARED GROWING MEDIA PRIOR SODDING.
 - INSPECTION WHEN THE INSTALLED TURFGRASS MEETS THE CONDITIONS FOR TOTAL PERFORMANCE AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

BOULEVARD INSPECTION TREE PLANTING NOTES:

- REQUIRED PARKS INSPECTIONS FOR SEED AND SOD BOULEVARD:
 - INSPECTION OF SOIL AND PLANTING AREA PRIOR TO PLANTING.
 - INSPECTION OF TREE STOCK PRIOR TO PLANTING.
 - INSPECTION OF INSTALLED TREE. TREES MUST BE IN GOOD HEALTH AND CONDITION WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, OR DAMAGE, AND COMPLY WITH THE LATEST VERSION OF THE CANADIAN LANDSCAPE STANDARD.

GROWING MEDIUM NOTES:

- A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

BOULEVARD IRRIGATION NOTES:

- AUTOMATIC IRRIGATION TO BE PROVIDED TO THE 4 NEW BOULEVARD TREES FROM A DEDICATED 19MM METERED WATER SERVICE LOCATED WITHIN THE KIPLING FRONTAGE BOULEVARD.
- SEE CIVIL FOR WATER SERVICE LOCATION.
- SEE IRRIGATION PLAN AND DETAILS.

ON-SITE IRRIGATION NOTES:

- ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM DESIGNED AND INSTALLED TO IAABC STANDARDS.
- SEE IRRIGATION PLAN AND DETAILS.

THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042 AND THE ASSOCIATED SCHEDULES CAN BE FOUND ON THE CITY OF VICTORIA BYLAWS WEBPAGE

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DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LB**

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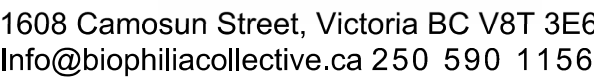
NORTH ARROW

DRAWING TITLE:
MATERIALS PLAN

DWG NO:

L1.01

SCALE: 1:100

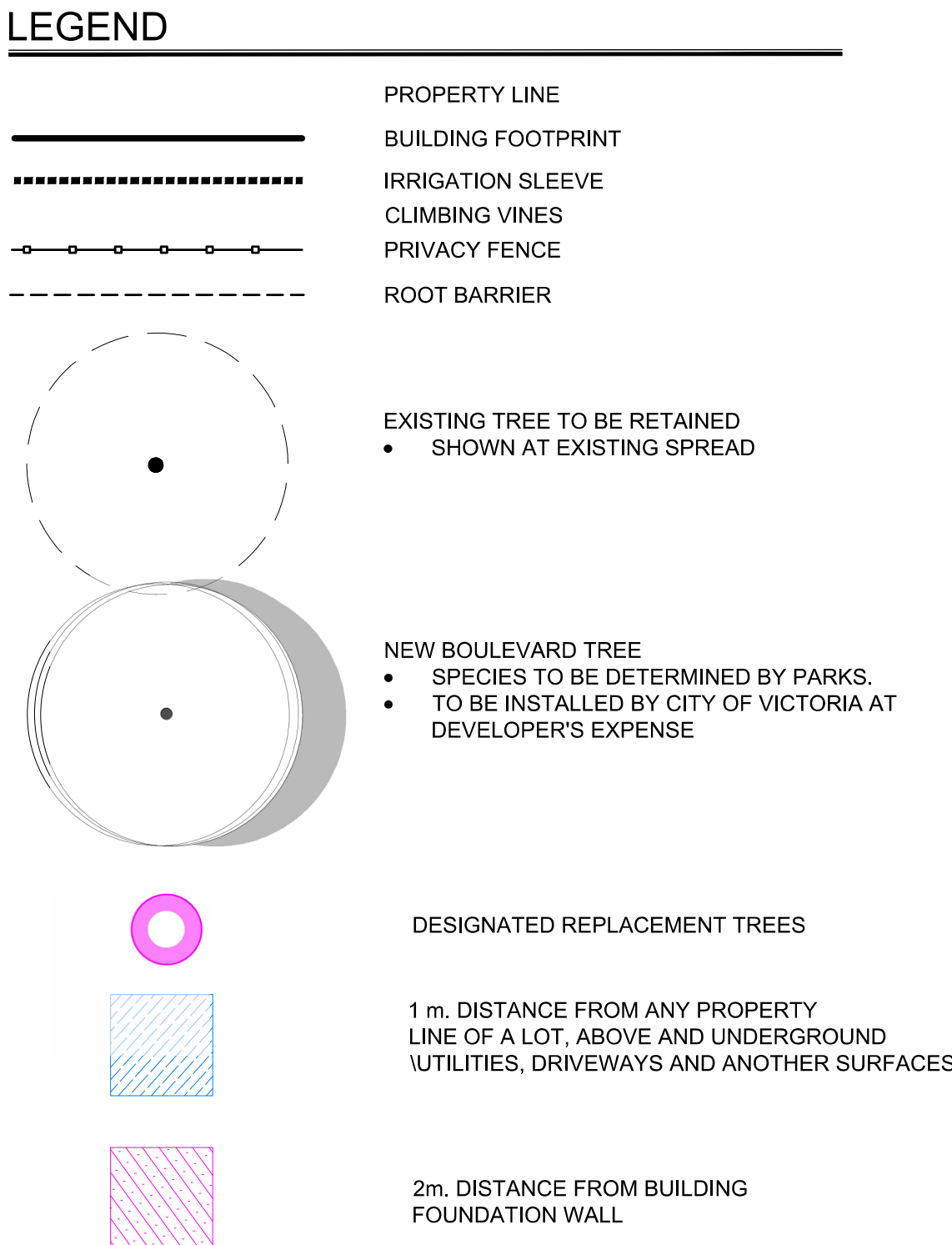


BREIA HOLDINGS LTD.

LE PARC

1400 FAIRFIELD

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LB**



SOIL VOLUME				REPLACEMENT TREES PROPOSED			SOIL VOLUME REQUIRED (m3)			
PLANTING AREA ID	AREA (m²)	SOIL VOLUME MULTIPLIER	A.ESTIMATED SOIL VOLUME	B. # SMALL	C. # MEDIUM	D. # LARGE	E. SMALL	F. MEDIUM	G. LARGE	TOTAL
ON-SITE AREA										
PLANTING AREA B	23.6m²	1	23.6m³	0	1	0	0	20m³	0	20m³
PLANTING AREA E	26m²	1	26m³	0	1	0	0	20m³	0	20m³
PLANTING AREA F	82m²	1	82m³	0	3	0	0	45m³	0	45m³
OFFSITE AREA (EXCLUDING CITY PROPERTY)										
PLANTING AREA OSA X	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CALCULATION INSTRUCTIONS:							E	F	G	TOTAL
							IF B=1, B X 8 IF B>1, B X 6	IF C=1, Cx20 IF C>1, Cx15	IF D=1, Dx35 IF D>1, Dx30	E + F + G

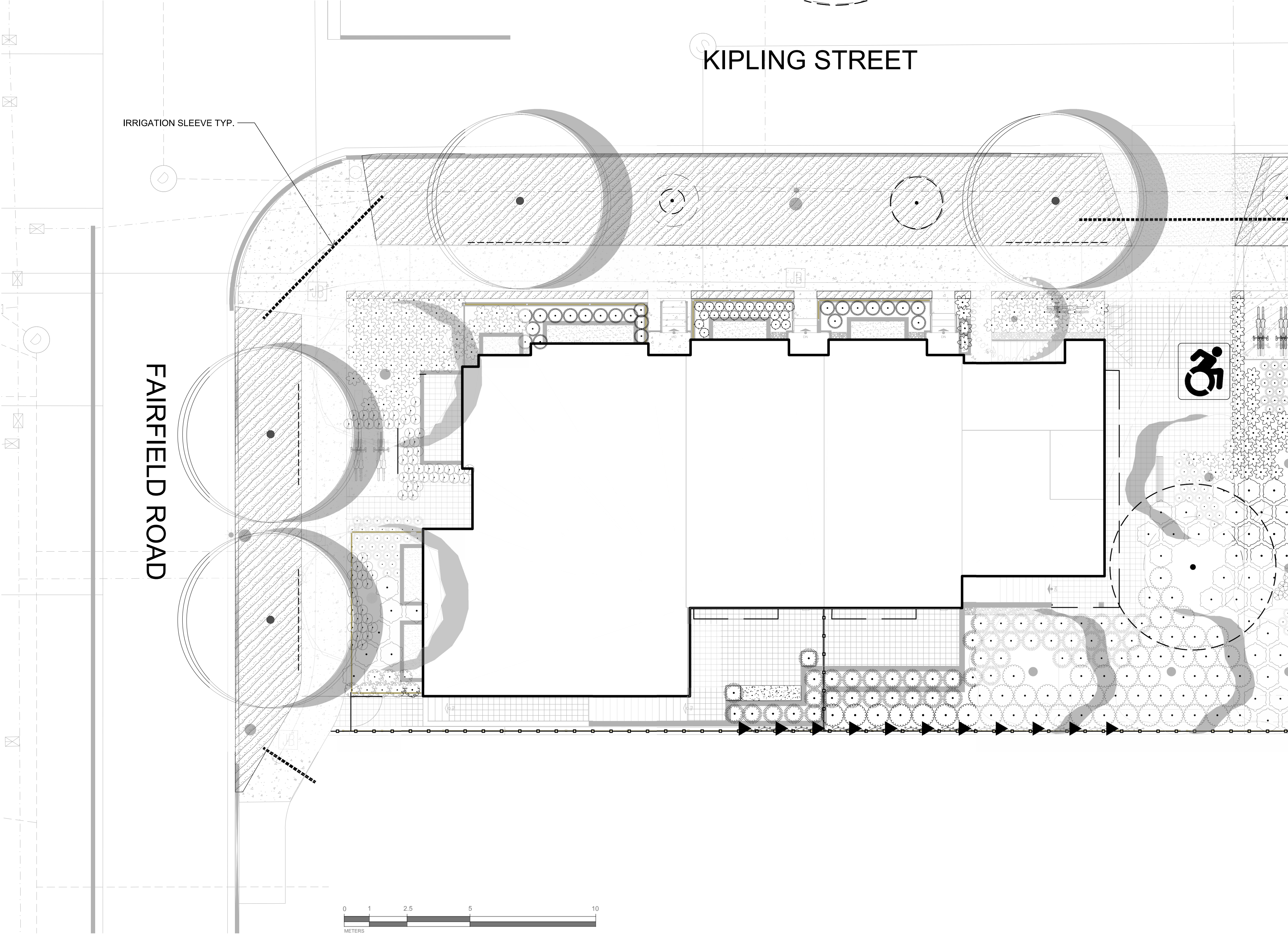
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.
2. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO IAABC STANDARDS. SEE IRRIGATION PLAN AND DETAILS
3. ALL PROPOSED BOULEVARD TREES TO HAVE 10m³ MIN. GROWING MEDIUM. SEE SOIL DEPTH PLAN
4. THE STORM DRAIN HAS BEEN LINED, IS FULLY SEALED AND CONFIRMED BY ENGINEERING TO BE OKAY TO PLANT OVER TOP. CARE MUST BE TAKEN DURING DIGGING FOR TREE PLANTING.



TREE PLANTING PLAN

L2.01

SCALE: 1:100



LEGEND

PROPERTY LINE

BUILDING FOOTPRINT

IRRIGATION SLEEVE

CLIMBING VINES

PRIVACY FENCE

ROOT BARRIER

EXISTING TREE TO BE RETAINED

• SHOWN AT EXISTING SPREAD

NEW BOULEVARD TREE

• SPECIES TO BE DETERMINED BY PARKS.

• TO BE INSTALLED BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	QTY
SHRUBS					
	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	#1 cont.	0.6m	Pollinator, Fruit Bearing and Native	23
	Gaultheria shallon / Salal	#3 Pot	1.0m	Pollinator, Fruit Bearing and Native	20
	Rosa nutkana / Nootka Rose	#3 cont.	0.6m	Pollinator, Fruit Bearing and Native	53
	Santolina virens / Green Lavender Cotton	#1 cont.	0.6m	Pollinator	8
FERNS					
	Polystichum munitum / Western Sword Fern	#1 cont.	0.6m	Native	106
GRASSES					
	Danthonia californica / California Oatgrass	#1 cont.	0.4m	Native	63
	Deschampsia cespitosa / Tufted Hair Grass	#1 Pot	0.4m	Native	57
	Miscanthus sinensis 'Graziella' / Graziella Eulalia Grass	#2 cont.	0.9m	Non-Native	49
GROUNDCOVERS					
	Asarum canadense / Wild Ginger	#1 Pot	0.4m	Native, Pollinator	23
VINES					
	Hydrangea anomala / Climbing Hydrangea	#1 cont.	1.5m	Non-Native	11
SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	SPACING	QTY
SHRUB AREAS					
	Turf Seed Drought Tolerant Dwarf Fescue Blend	---			161.5 m²

PLANT CATEGORY PERCENTAGE (by plant quantity)	
Total plant quantity	455
Pollinator	38%
Fruit bearing	23%
Native	81%
Non-native	8%

PLANT CATEGORIES	
Pollinator	flower producing shrub or perennial
Fruit bearing	Edible for animals or people
Native	On a recognized Southern Vancouver Island plant list

PLANTING NOTES:

NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

PLANT IMAGERY

ROSA KUTKANA

GAURA LINDHEIMERI
'BLUSH PINK'

VANCOUVERIA HEXANDRA

DESCHAMPSIA CESPITOSA

GAULTHERIA SHALLON



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

OWNER/CLIENT:
BREIA HOLDINGS LTD.

PROJECT NAME:
LE PARC

PROJECT ADDRESS:
1400 FAIRFIELD

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **LB**

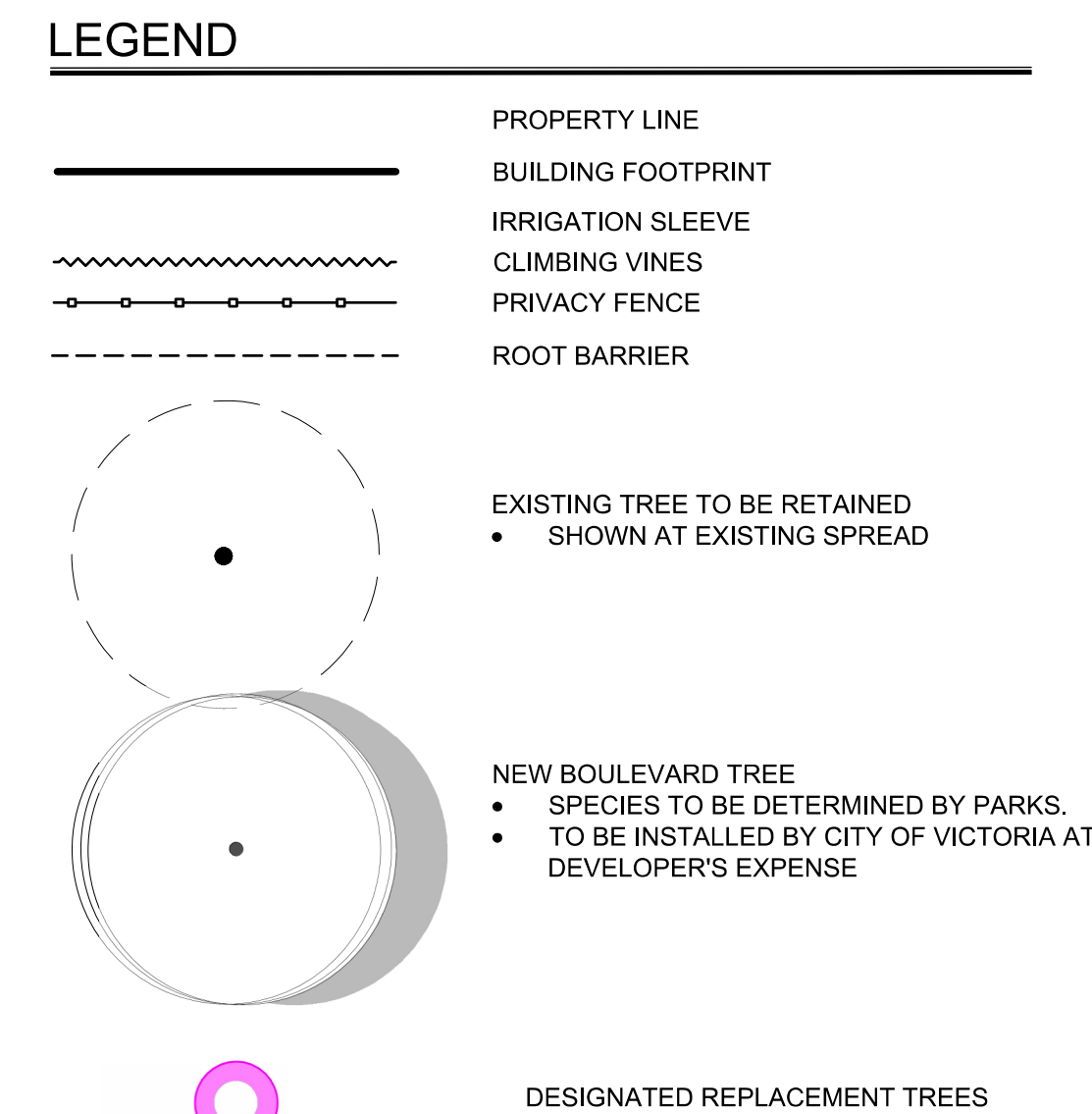
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8	ISSUED FOR REVIEW	25/03/06
7	REVISED AND RE-ISSUED FOR DP	24/10/29
6	RE-ISSUED FOR REVIEW	24/09/27
5	ISSUED FOR RZ/DP	24/06/06
4	ISSUED FOR COORDINATION	24/05/15
3	ISSUED FOR BP	23/12/21
2	ISSUED FOR BP 75%	23/11/15
1	ISSUED FOR BP 50%	23/11/01
NO.	ISSUE	YY/MM/DD



DRAWING TITLE:
PLANTING PLAN

DWG NO:
L2.02

SCALE: 1:100



<u>SYMBOL</u>	<u>DESCRIPTION</u>	<u>QTY</u>
	1000 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	208.5 m ²
	600 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	19.8 m ²
	450 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	0.6 m ²
	150 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	97.9 m ²

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SEARCH



NORTH ARROW



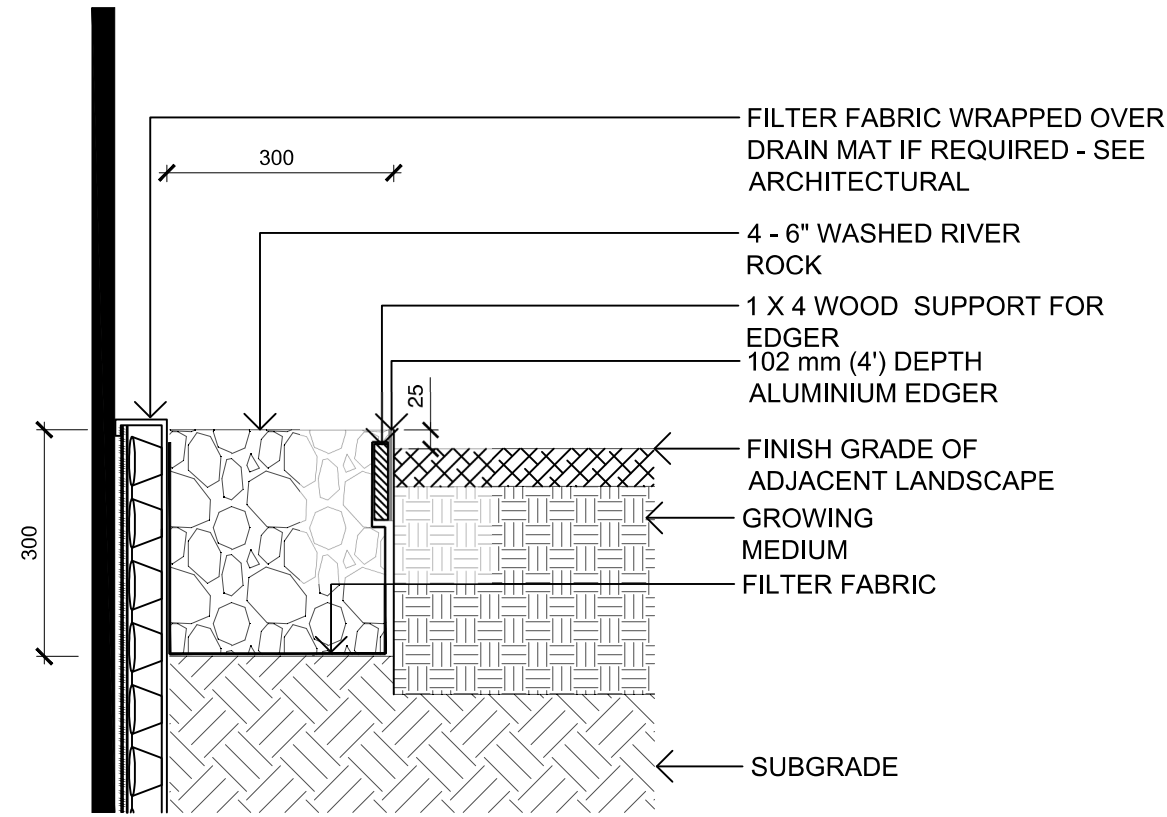
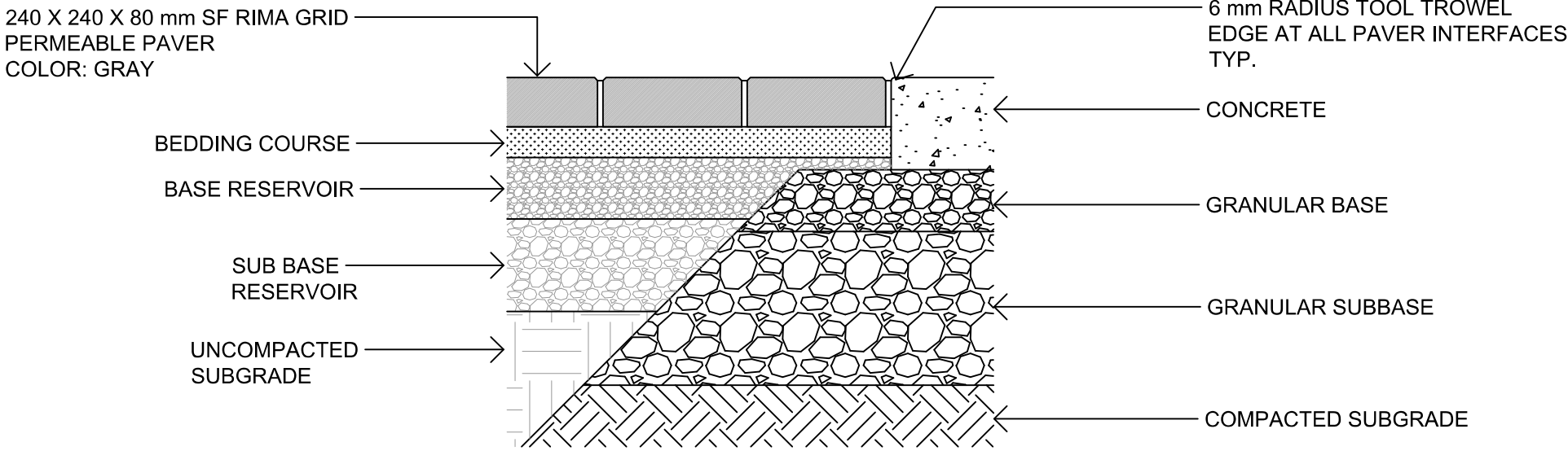
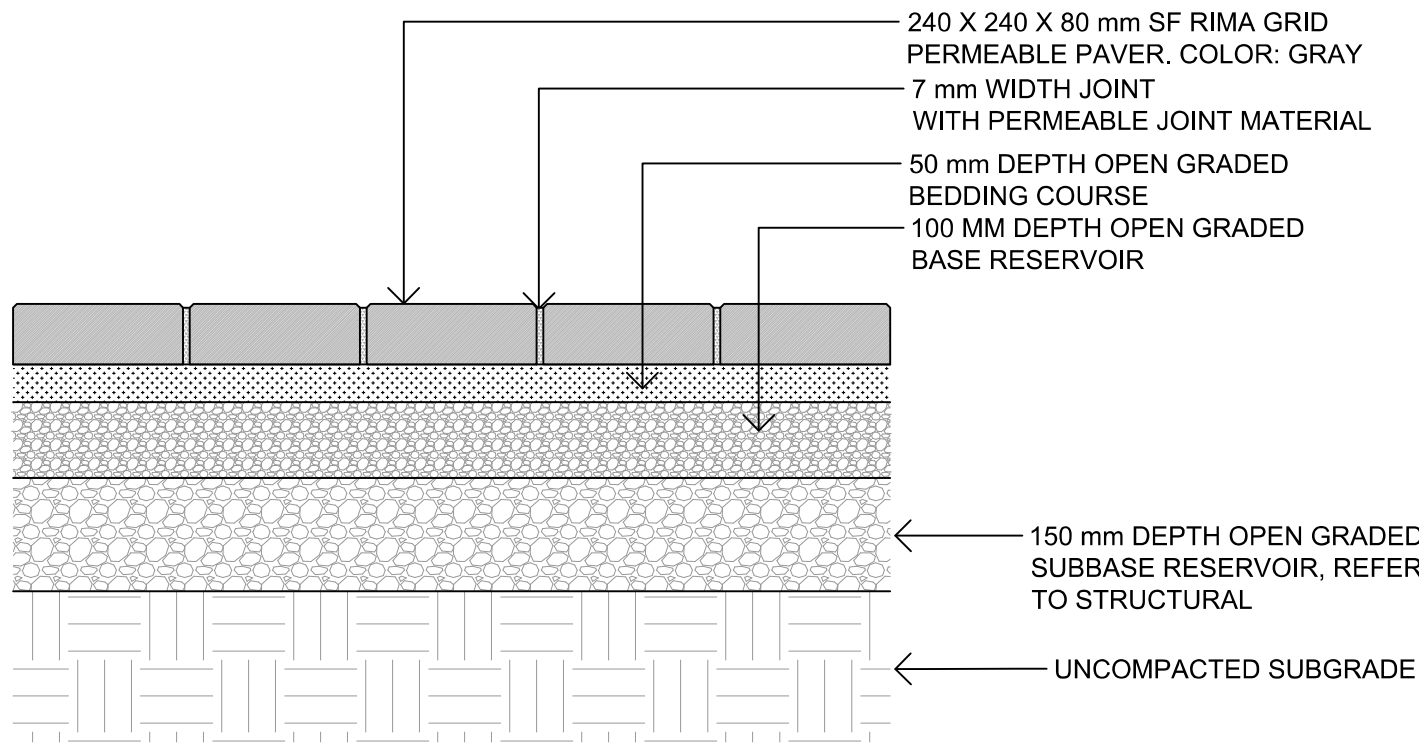
DRAWING TITLE:

SOIL DEPTH PLAN

DWG NO:

L3.01

SCALE: 1:100



- NOTES:
- LANDSCAPE EDGER TO BE: PERMALOC CleanLine Commercial Grade Landscape Edging OR APPROVED EQUAL.
 - 4.8mm (3/16") THICKNESS; 102mm (4") HEIGHT; 4.8m (16') LENGTH; NATURAL MILL FINISH; 305mm (12") STAKE.
 - INSTALL EDGER AS PER MANUFACTURER'S INSTRUCTIONS
 - 1 X 4 WOOD SUPPORT TO BE STAKED IN PLACE AND USED TO ENSURE EDGER IS INSTALLED IN A STRAIGHT LINE AND MAINTAINS A STRAIGHT ALIGNMENT DURING THE INSTALLATION OF GROWING MEDIUM AND RIVER ROCK. MAY BE SCRAP WOOD AS LONG AS IT IS STRAIGHT.
 - FILTER FABRIC TO BE POLYPROPYLENE FIBRE NONWOVEN GEOTEXTILE, SUCH AS NILEX 4551 OR APPROVED EQUAL

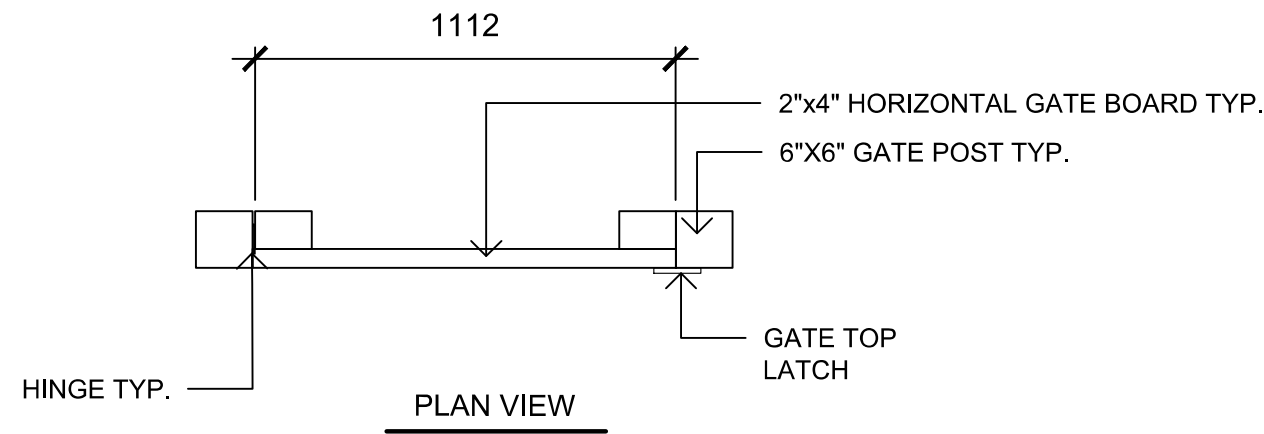
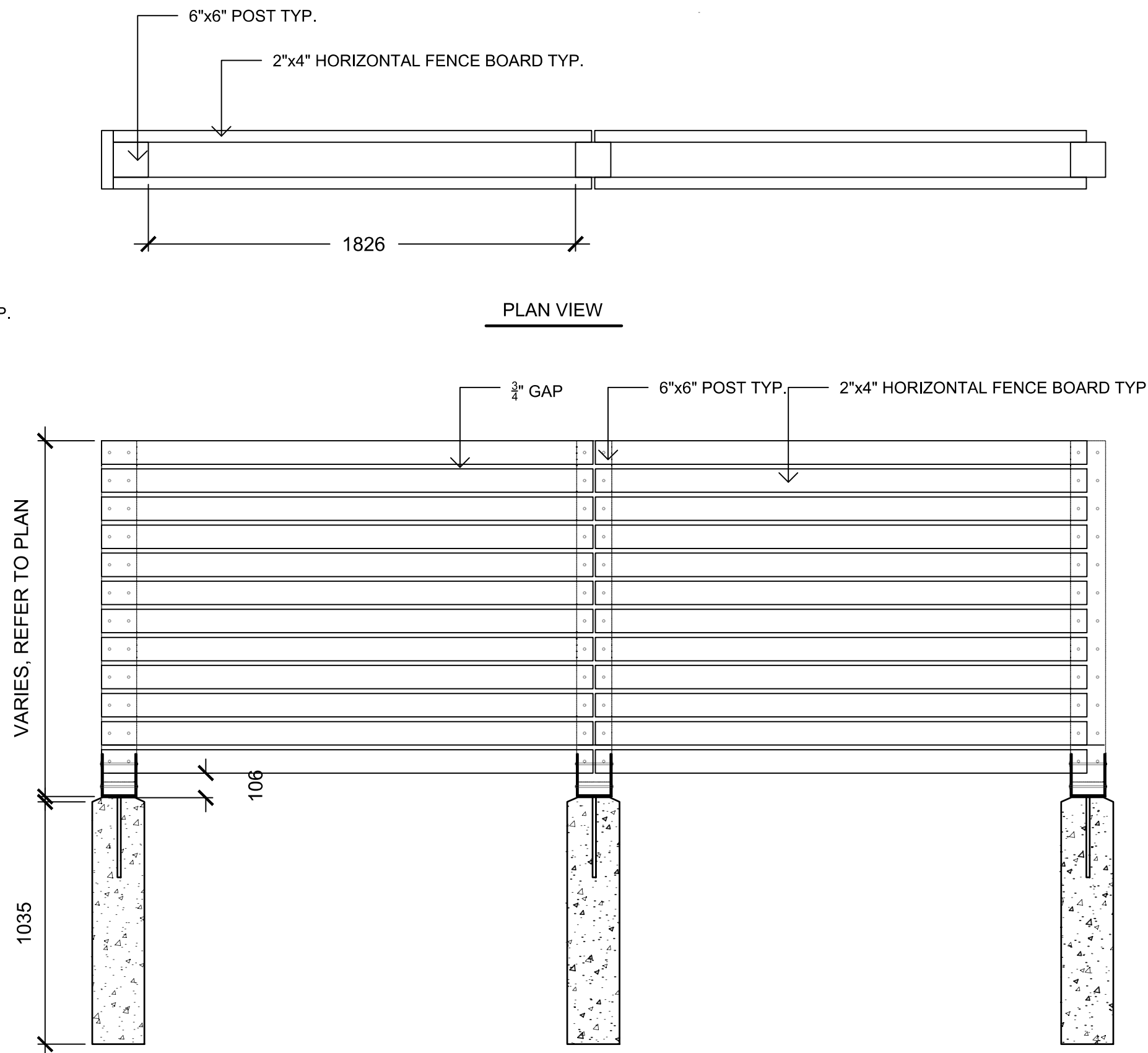
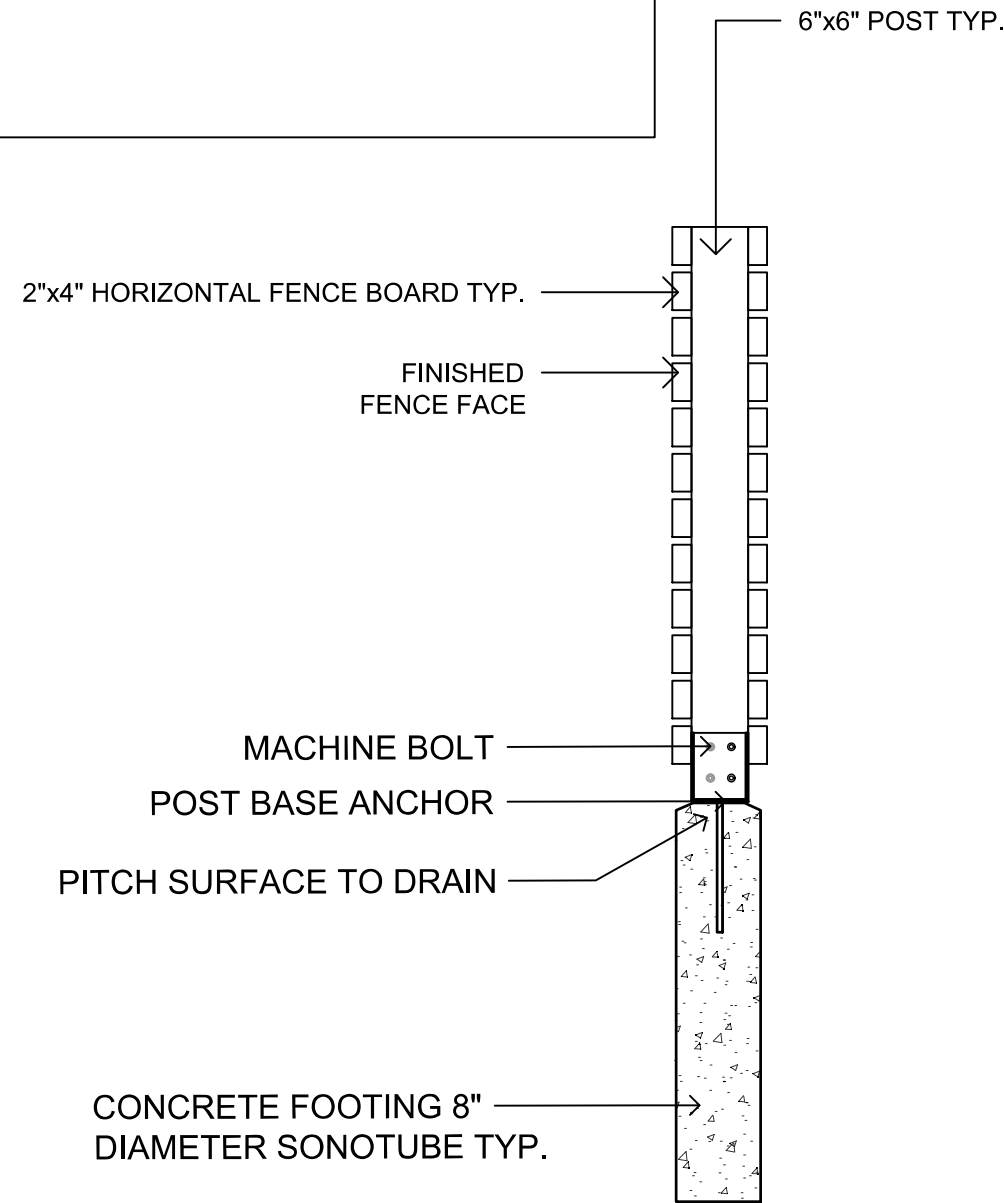
1 PERMEABLE PAVER DRIVE
L4.01/ 1:10

2 PERMEABLE PAVER DRIVE - CONCRETE EGDE TYP.
L4.01/ 1:10

3 DRIP STRIP
L4.01/ 1:10

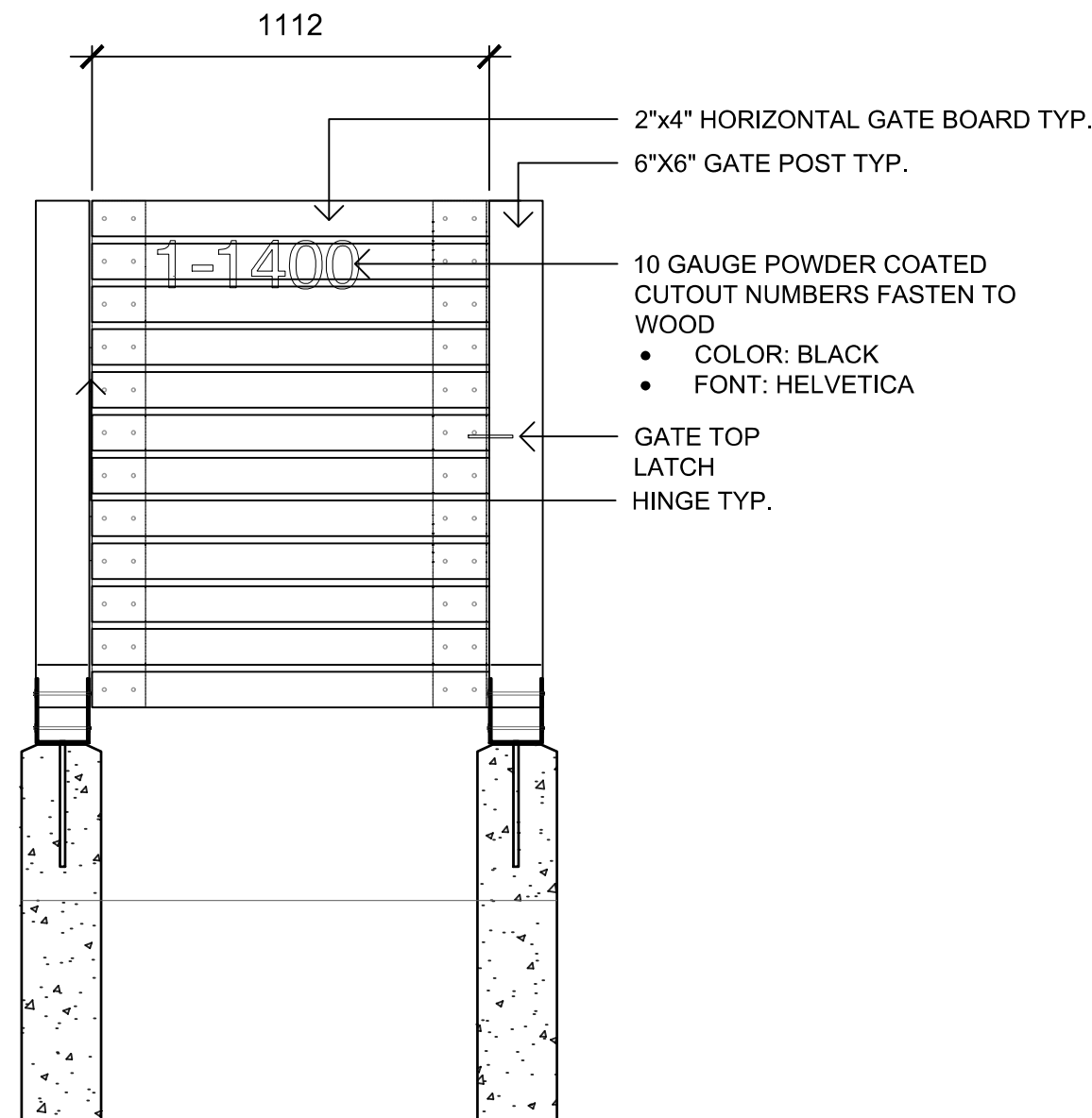
NOTES:

- REFER TO MATERIALS PLAN FOR FENCE LOCATIONS AND HEIGHT.
- ALL LUMBER TO BE SMOOTH, FINISHED 4 SIDES, CLEAR GRADE SEASONED CEDAR - ALL RIPPED BOARDS TO BE PLANED SMOOTH
- ALL SCREWS TO BE STAINLESS STEEL EXTERIOR WOOD SCREWS
- ALL NUTS AND WASHERS TO BE SELF LOCKING STAINLESS STEEL
- POST BASE ANCHOR TO BE BLACK POWDERCOATED STEEL
- WOOD FINISH: NANO PENETRATING WOOD SEALER
[HTTPS://SEAL-ONCE.COM/NANO-PENETRATING-WOOD-SEALER-WOOD-STAIN/](https://seal-once.com/nano-penetrating-wood-sealer-wood-stain/)
- WOOD STAIN TINT: CLEAR MATTE .



NOTES:

- REFER TO MATERIALS PLAN FOR FENCE LOCATIONS AND HEIGHT.
- FINISHED SIDE OF VERTICAL FENCE BOARDS TO FACE INTO PROPERTY.
- ALL LUMBER TO BE SMOOTH, FINISHED 4 SIDES, CLEAR GRADE SEASONED CEDAR - ALL RIPPED BOARDS TO BE PLANED SMOOTH
- ALL SCREWS TO BE STAINLESS STEEL
- ALL NUTS AND WASHERS TO BE SELF LOCKING STAINLESS STEEL
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- WOOD STAIN TINT: CLEAR MATTE.



4 PRIVACY FENCE
L4.01/ 1:20

5 PASSENGER GATE
L4.01/ 1:20



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SEAL



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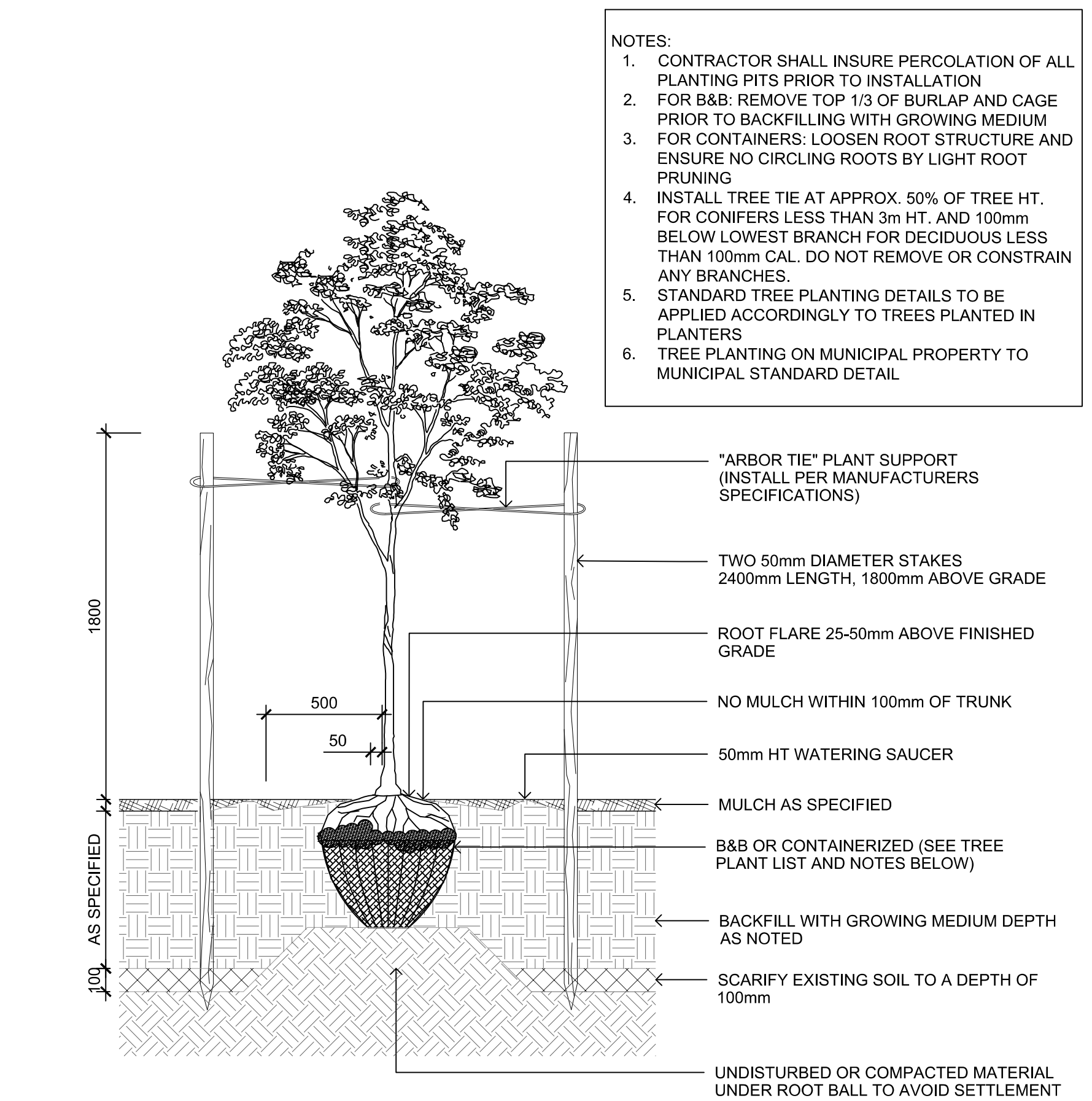


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**HARDSCAPE AND SITE
FURNISHINGS DETAILS**

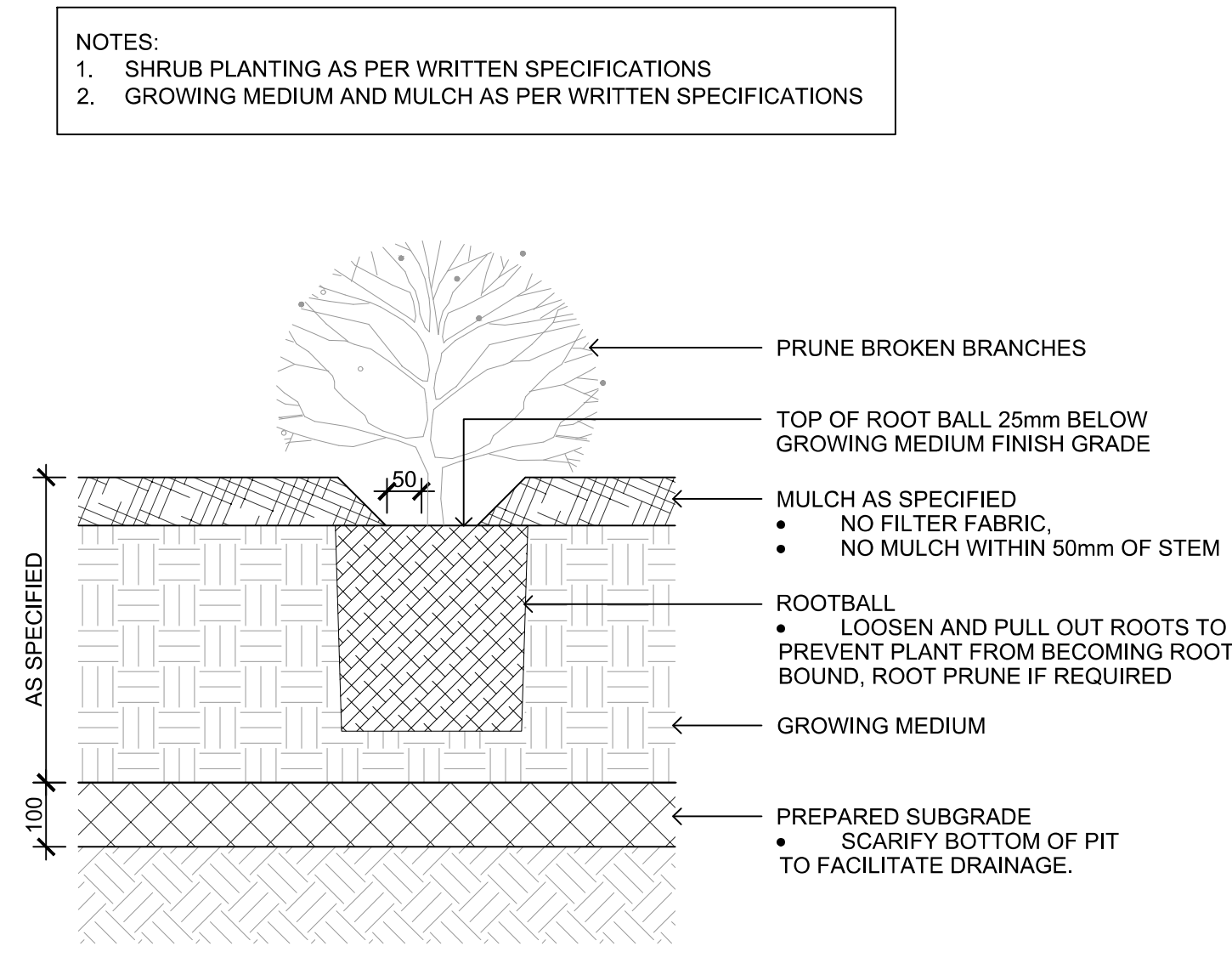
DWG NO:

L4.01

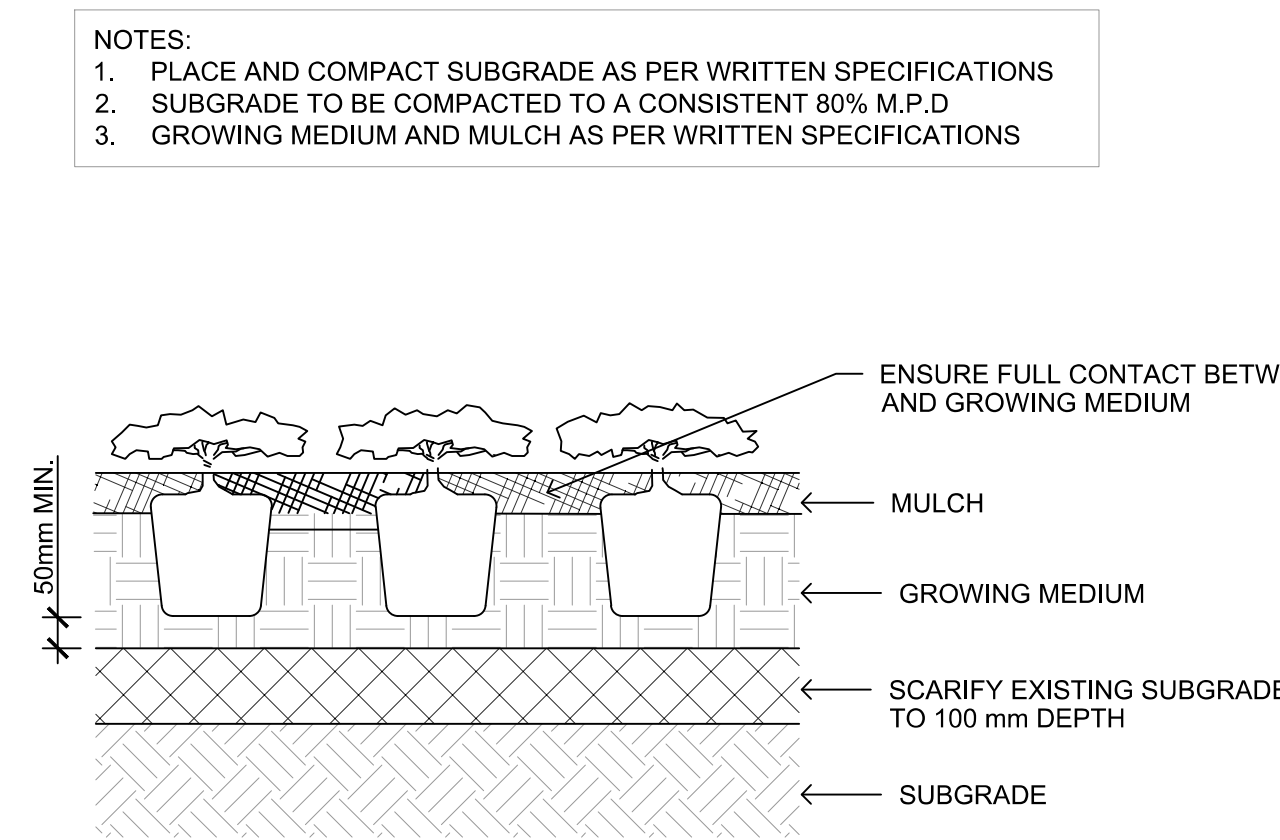
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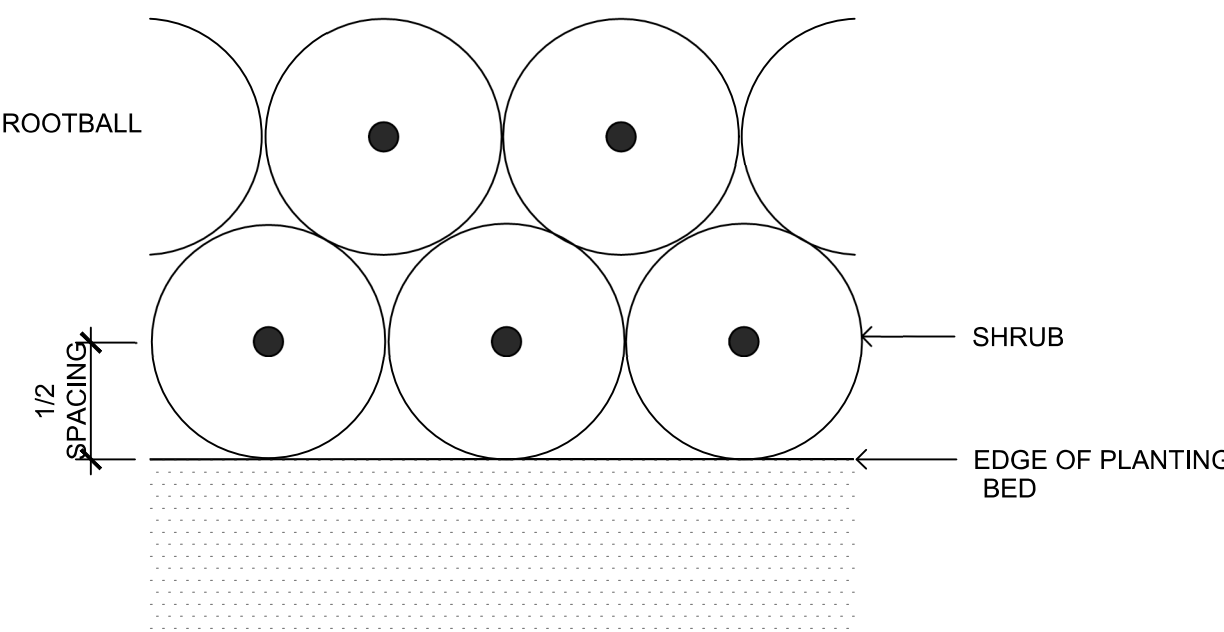
1 TREE PLANTING DETAIL
L4.02 1:10



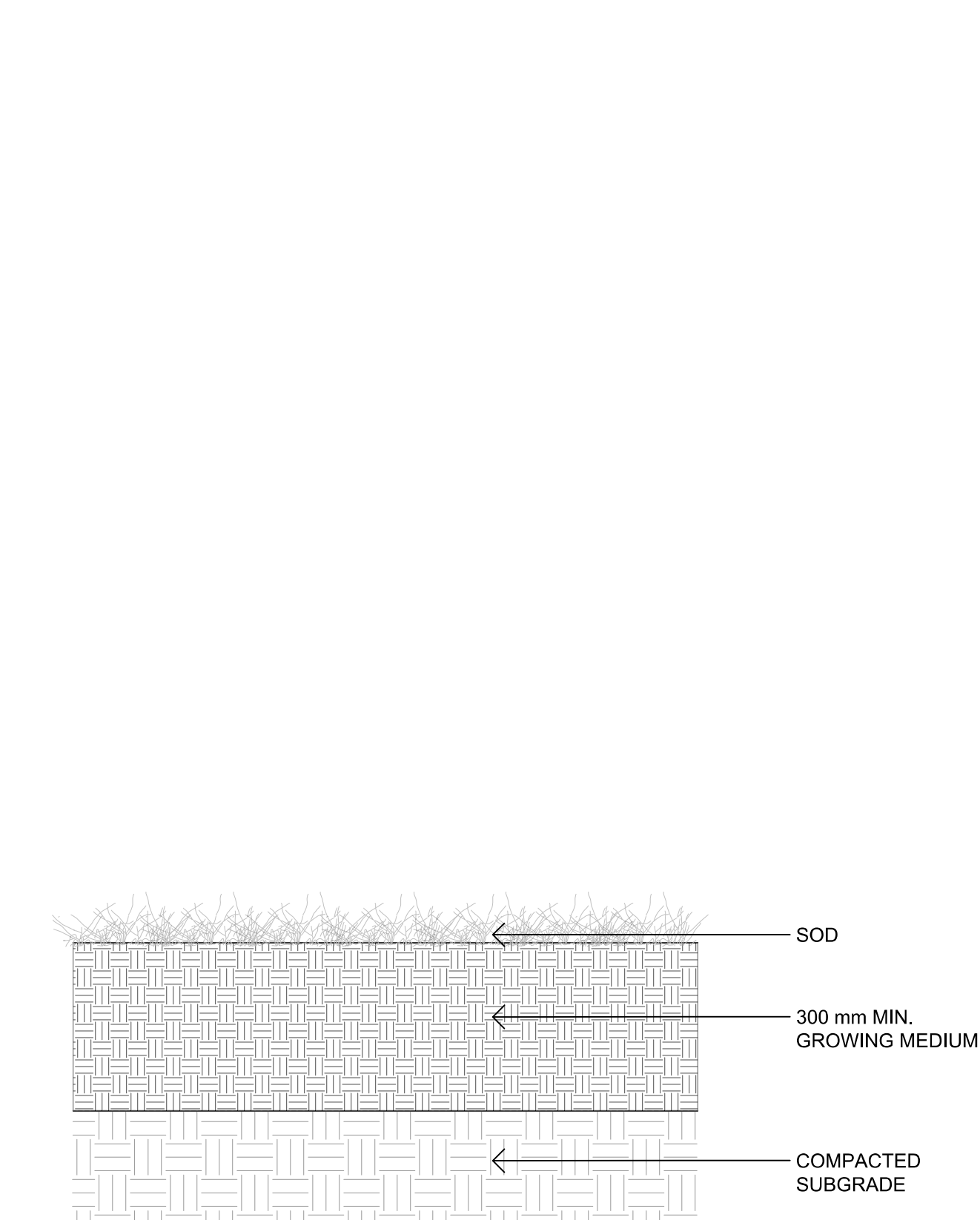
2 SHRUB PLANTING DETAIL
L4.02 1:10



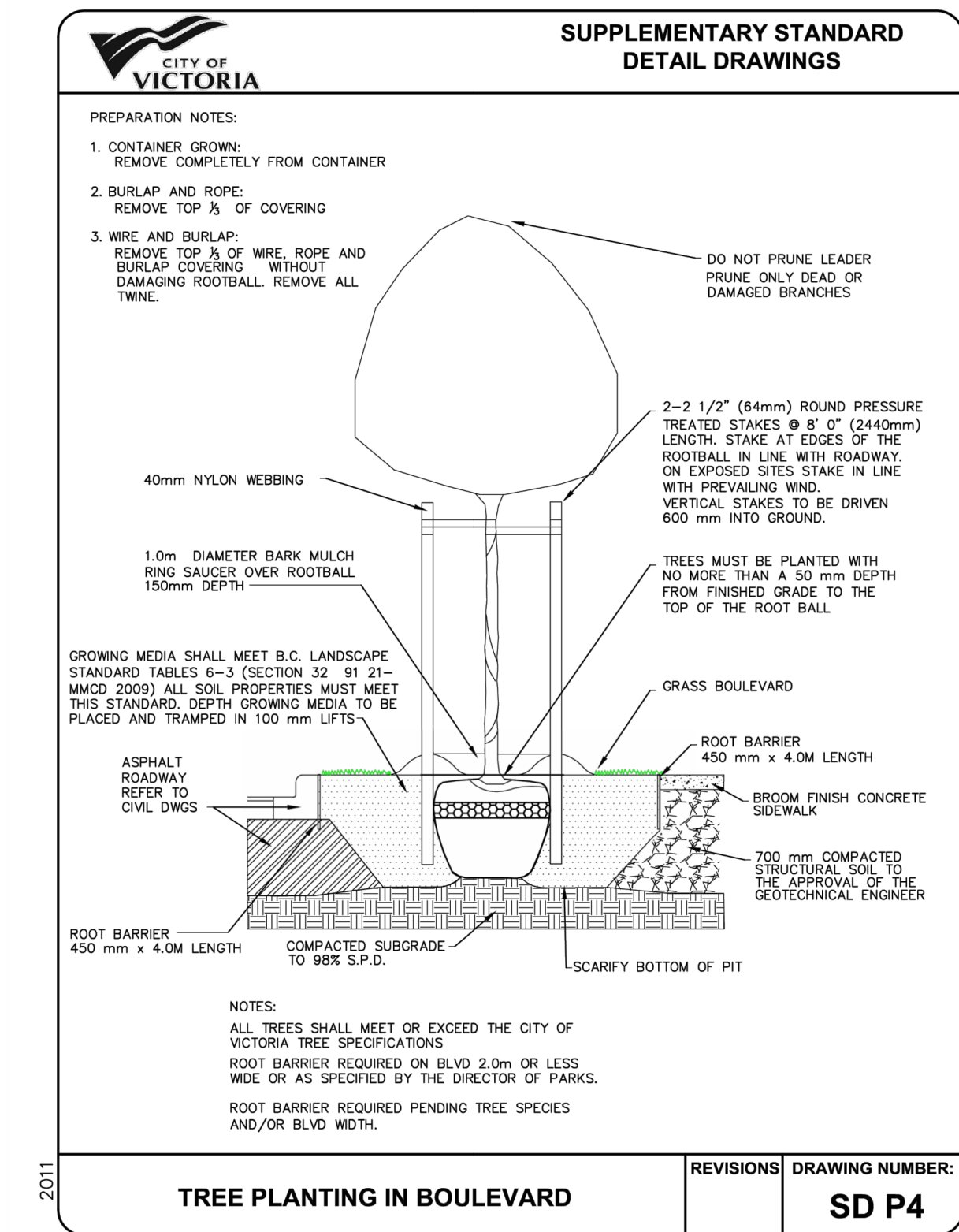
3 GROUND COVER PLANTING DETAIL
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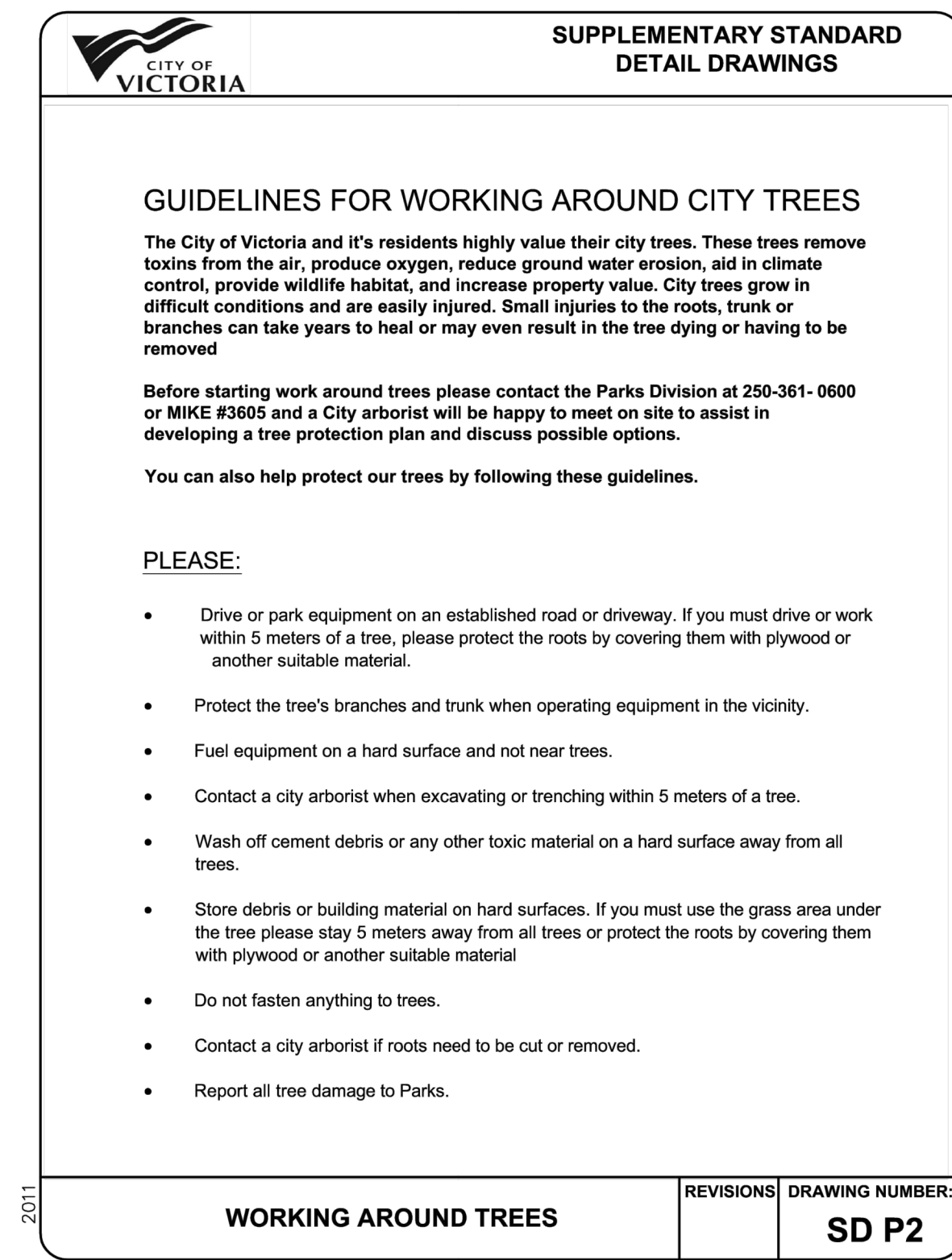
4 SPACING PLANTING DETAIL
L4.02 1:10



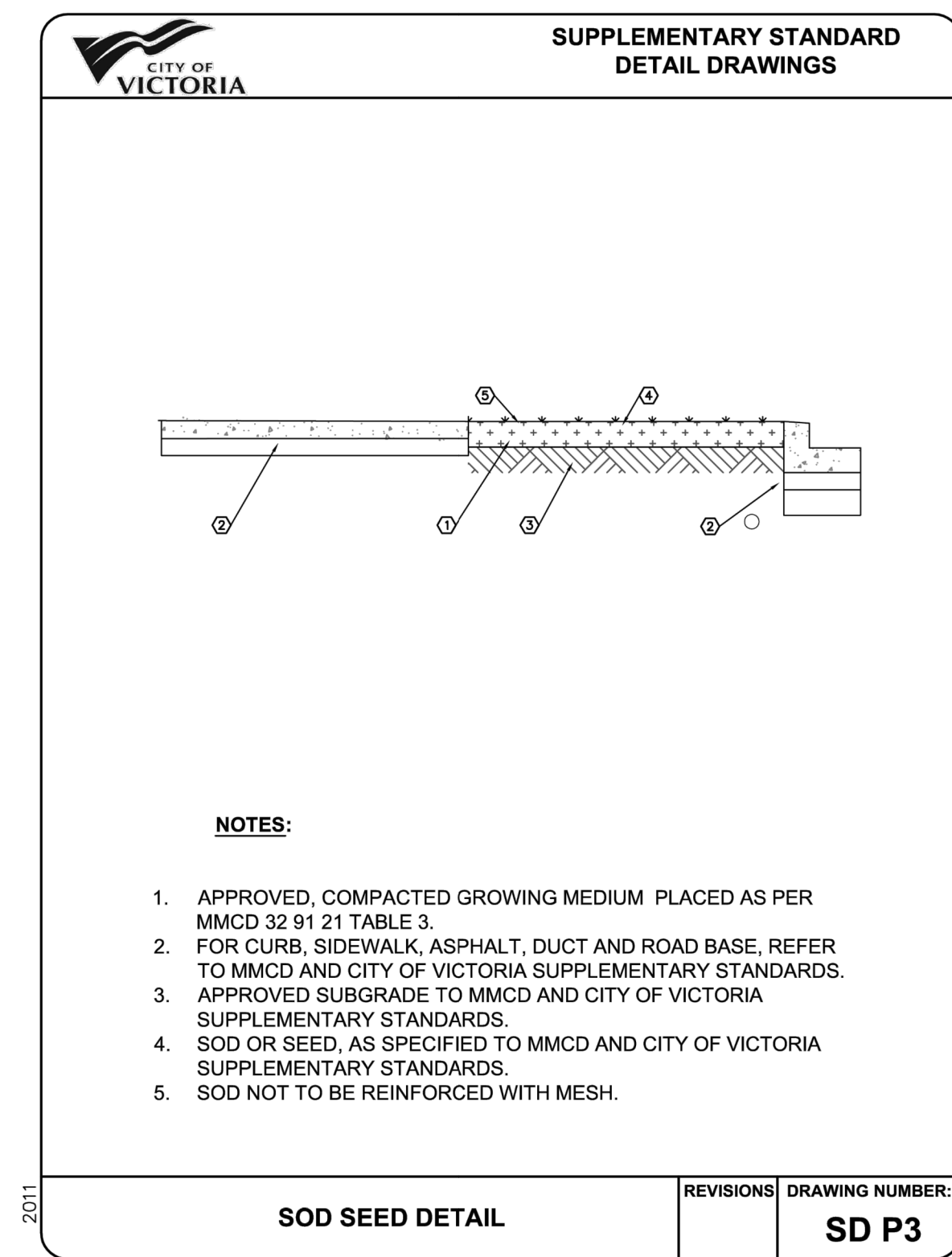
5 SOD ON GRADE
L4.02 1:10



6 TREE PLANTING IN BOULEVARD DETAIL
L4.02 NTS



7 WORKING AROUND TREES
L4.02 NTS



8 SOD SEED DETAIL
L4.02 NTS



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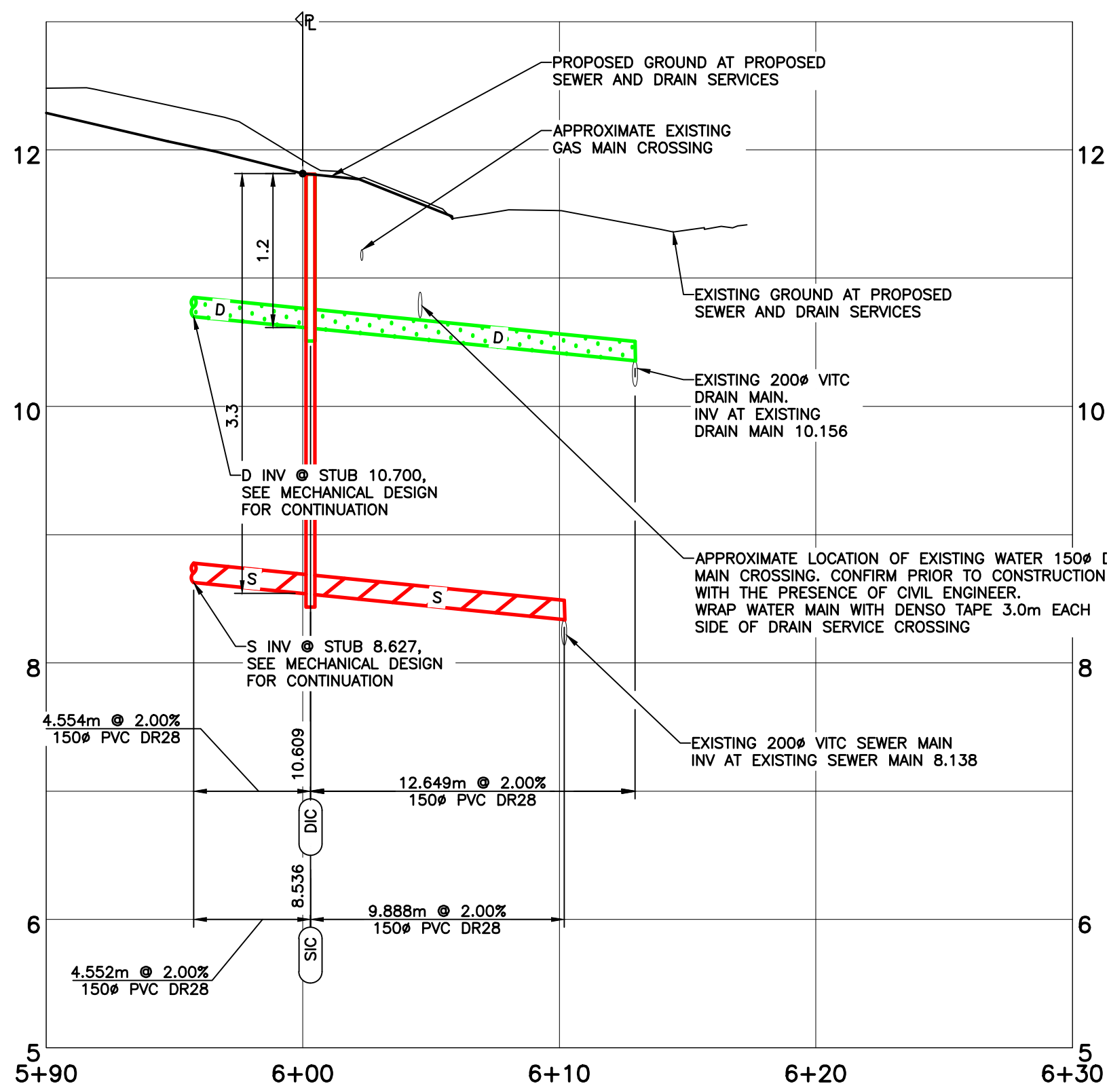


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SOFTSCAPE DETAILS

DWG NO:

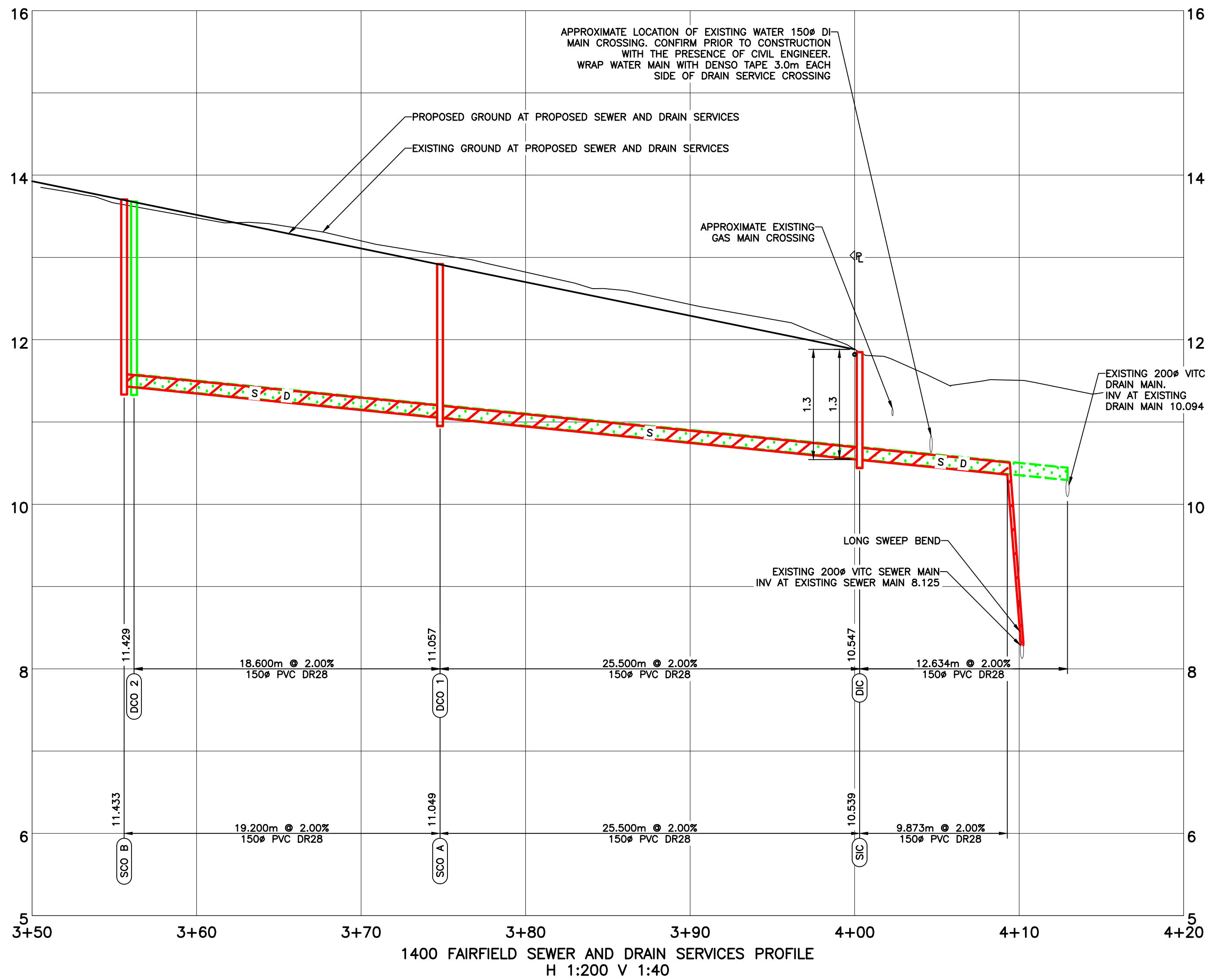
L4.02

SCALE: 1:100



349 KIPLING SEWER AND DRAIN SERVICES PROFILE
H 1:200 V 1:40

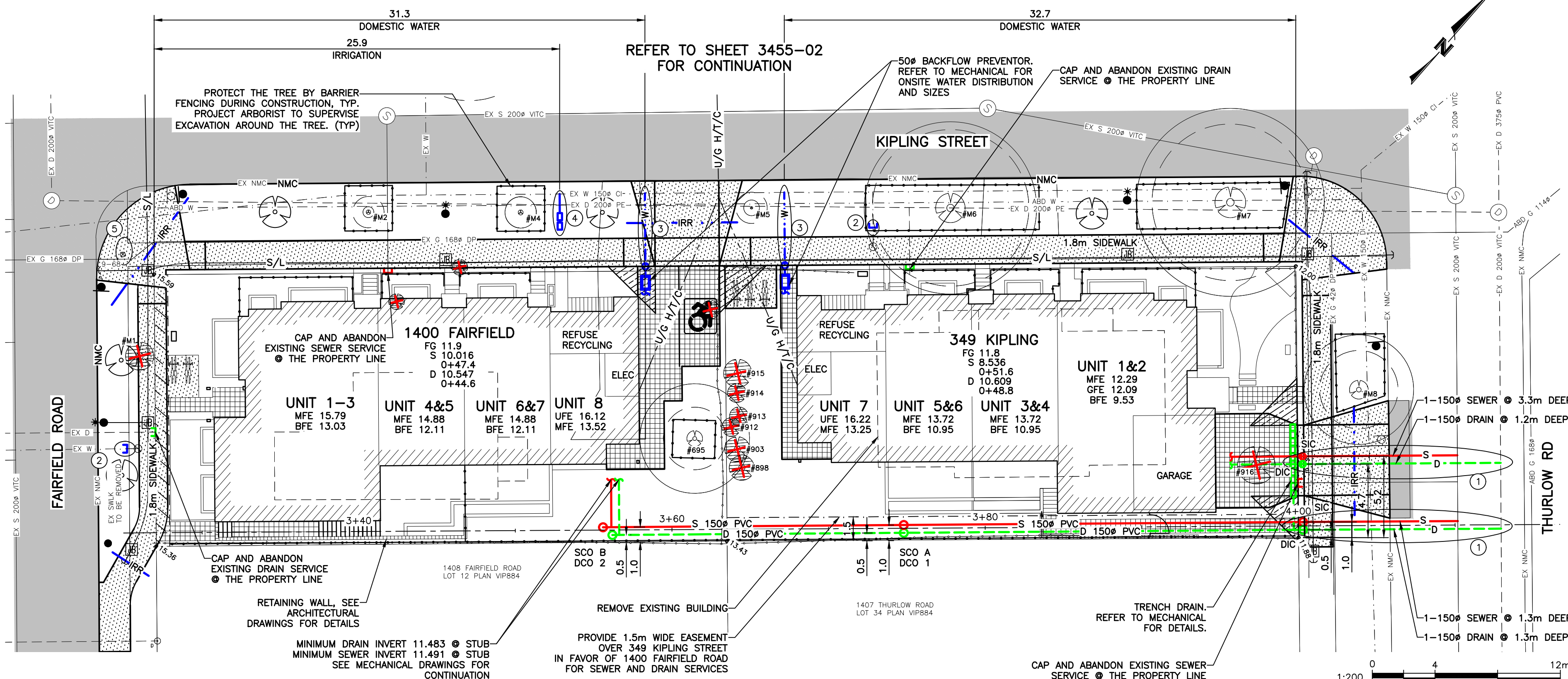
WORKS AND SERVICES CHECK TABLE			
	PLAN CHECKER	AUTHORIZED REPRESENTATIVE	
		COMPANY NAME	SIGNATURE
UTILITY	BC HYDRO		
	TELUS		
	FORTIS		
	SHAW		
MUNICIPAL	LAND DEVELOPMENT		
	TRANSPORTATION		
	UNDERGROUND		
	PARKS		



1400 FAIRFIELD SEWER AND DRAIN SERVICES PROFILE
H 1:200 V 1:40

LEGEND

- APPROXIMATE EXTENT OF ASPHALT PAVING
- 100mm THICK CONCRETE SIDEWALK (150mm AT DRIVEWAY LOCATIONS)
- PAVERS SEE LANDSCAPE DESIGN FOR DETAILS
- 0.86m WIDE ROAD DEDICATION
- PROPOSED TREE
- CRITICAL ROOT ZONE CANOPY
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- BFE BASEMENT FLOOR ELEVATION
- MFE MAIN FLOOR ELEVATION
- GFE GARAGE FLOOR ELEVATION
- UFE UPPER FLOOR ELEVATION
- TREE PROTECTIVE FENCE



GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
- WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
- EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- BED ALL PIPE USING CLASS 'B' BEDDING.
- WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
- DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG FAIRFIELD ROAD, KIPLING STREET, AND THURLOW ROAD DURING CONSTRUCTION.
- COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
- ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
- CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

SEWER AND DRAIN

- SEWER AND DRAIN SERVICE CONNECTIONS TO THE UNITS TO BE 100# PVC DR28 AT A MINIMUM GRADE OF 2.0% CATCH BASIN LEADS TO BE 150# PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
- PROVIDE CLEANOUTS ON DRAIN AND ON SEWER SERVICES WITHIN 1m OF BUILDING.
- SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE OF ENCOUNTERED SEWER AND DRAIN PIPES FOR THE AS CONSTRUCTED DRAWINGS.
- THE CITY OF VICTORIA SHALL INSTALL 150# SEWER CONNECTION AND 150# DRAIN CONNECTION TO THE PROPERTY LINE COMPLETE WITH INSPECTION CHAMBERS AT THE DEVELOPER'S EXPENSE.

WATER

- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.
- CONTRACTOR TO TEST, CHLORINATE, FLUSH AND CONNECT THE WATER MAINS UNDER THE DIRECTION OF THE ENGINEER. CHLORINATION AND DISINFECTION TO AWWA C651.
- CONTRACTOR TO ENSURE CHLORINE SOLUTIONS ARE NEUTRALIZED IN ACCORDANCE WITH THE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES AND OCEANS CANADA REGULATIONS PRIOR TO DISCHARGING TO ANY DRAINAGE COURSE.
- THE CITY OF VICTORIA SHALL CAP AND ABANDON EXISTING WATER SERVICES AT THE DEVELOPER'S EXPENSE.
- THE CITY OF VICTORIA SHALL INSTALL 50# WATER SERVICE CONNECTION C/W 50# METER TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- THE CITY OF VICTORIA SHALL INSTALL IRRIGATION SERVICE C/W 25# METER AND 50# BACKFLOW PREVENTOR AT THE DEVELOPER'S EXPENSE.

IRRIGATION

- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- IRRIGATION SLEEVES TO BE 100mm PVC DR28.
- IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- CONTACT PARKS AT TSHERBO@VICTORIA.CA OR 250-361-0600 WITH AT LEAST 48 HOURS (2 BUSINESS DAYS) NOTICE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- REQUIRED PARKS INSPECTIONS FOR IRRIGATION:
 - I. IRRIGATION SLEEVING PRIOR TO BACKFILLING.
 - II. OPEN TRENCH MAINLINE AND LATERAL LINES.
 - III. PRESSURE TEST.
 - IV. IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY (INCLUDING INSPECTION TAG AND TESTING REPORT).

ROAD

- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
- THE CITY OF VICTORIA SHALL RE-ESTABLISH EXISTING CONTROL MONUMENT (9-68) AT THE DEVELOPER'S EXPENSE.
- EXISTING YELLOW CURBS TO BE REINSTATED. ALL ROAD MARKINGS TO BE APPROVED THERMOPLASTIC UNLESS OTHERWISE NOTED.

PARKS

- PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION.
- HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
- OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
- THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING FOR EXISTING TREE. THE PROJECT ARBORIST TO SUPERVISE EXCAVATION AROUND THE TREE.
- THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ON SITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.

HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS

- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- LOT TO BE SERVICED UNDERGROUND.
- BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
- CONSTRUCT HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
- BC HYDRO SHALL RELOCATE THE EXISTING POLE A MINIMUM OF 200mm BEHIND THE BACK OF SIDEWALK AT THE DEVELOPER'S EXPENSE.
- IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTIS BC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL.

TYPICAL TRENCH SECTION

UNTRAVELED AREAS: SURFACE RESTORATION TO MATCH EXISTING

TRAVELED AREAS: PAVEMENT RESTORATION TO MATCH EXISTING

VARIES TO PROFILE

REFER TO PROFILE

MIN D=450 MAX D=600

150# PVC DRAIN AND SEWER MAIN

MMCD GRANULAR PIPE BEDDING

NOTE: TRENCHING TO COMPLY WITH ALL REQUIREMENTS OF WorkSafeBC

LOCATION PLAN

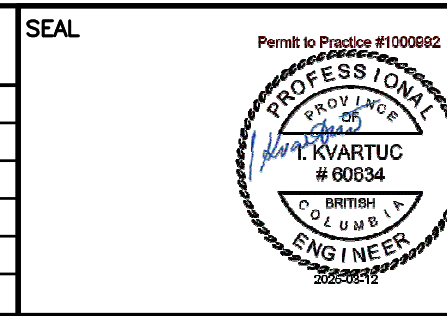
N.T.S.

PROPOSED SUBDIVISION OF LOT 13 AND 35, BOTH ON FAIRFIELD FARM ESTATE, PLAN VP884, VICTORIA CITY.

WESTBROOK CONSULTING LTD. - 2023-03-12 07:54PM - H:\PROJECTS\3455_349_351_Kipling_Sewer_Drain_Services\3455-01.dwg

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND		SEAL	
WATER	W	GAS	G
SEWER	S	CURB	C
DRAIN	D	SIDEWALK	S/W
DITCH	D	EDGE PAVE.	E
CULVERT	C	BUSHLINE	B
HEADWALL	H	TREE	T
EXISTING U/G UTL.	—	PROPOSED U/G UTL.	—
MANHOLE	⊙	CLEANOUT	⊙
HYDRANT	⊙	VALVE	⊙
MONUMENT	⊙	LOT PIN	⊙
		METER	⊙
		REDUCER	⊙
		ROAD SIGN	⊙
		ANCHOR	⊙



REVISIONS		ENGINEER	
14	REVISED AS PER LANDSCAPE COMMENTS	250306	IY
13	REVISED AS PER ARCH. AND LANDSCAPE COMMENTS	241016	IY
12	REVISED AS PER ARCH. COMMENTS	240916	IY
11	REVISED AS PER ARCH. AND ELEC. COMMENTS	240606	IK
10	REVISED AS PER ARCH. AND ELEC. COMMENTS	240508	IY
No.	DESCRIPTION	YMMDD	SIGN

WESTBROOK Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT		WESTBROOK PROJECT No.	
1400 FAIRFIELD ROAD		3455	
BREIA HOLDINGS LTD.		GOVERNING AUTHORITY FILE No.	
ONSITE SERVING PLAN, KEY PLAN, SECTION, AND GENERAL NOTES		SHEET 1 OF 3	
		REV. 14	
		WESTBROOK DRAWING No. 3455-01	

SEAL

ENGINEER	IK
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PROJECT	
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WESTBROOK PROJECT No.
3455

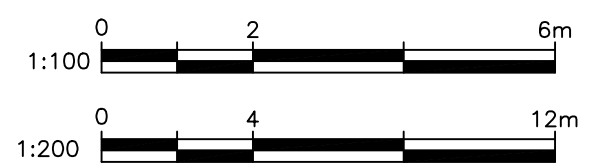
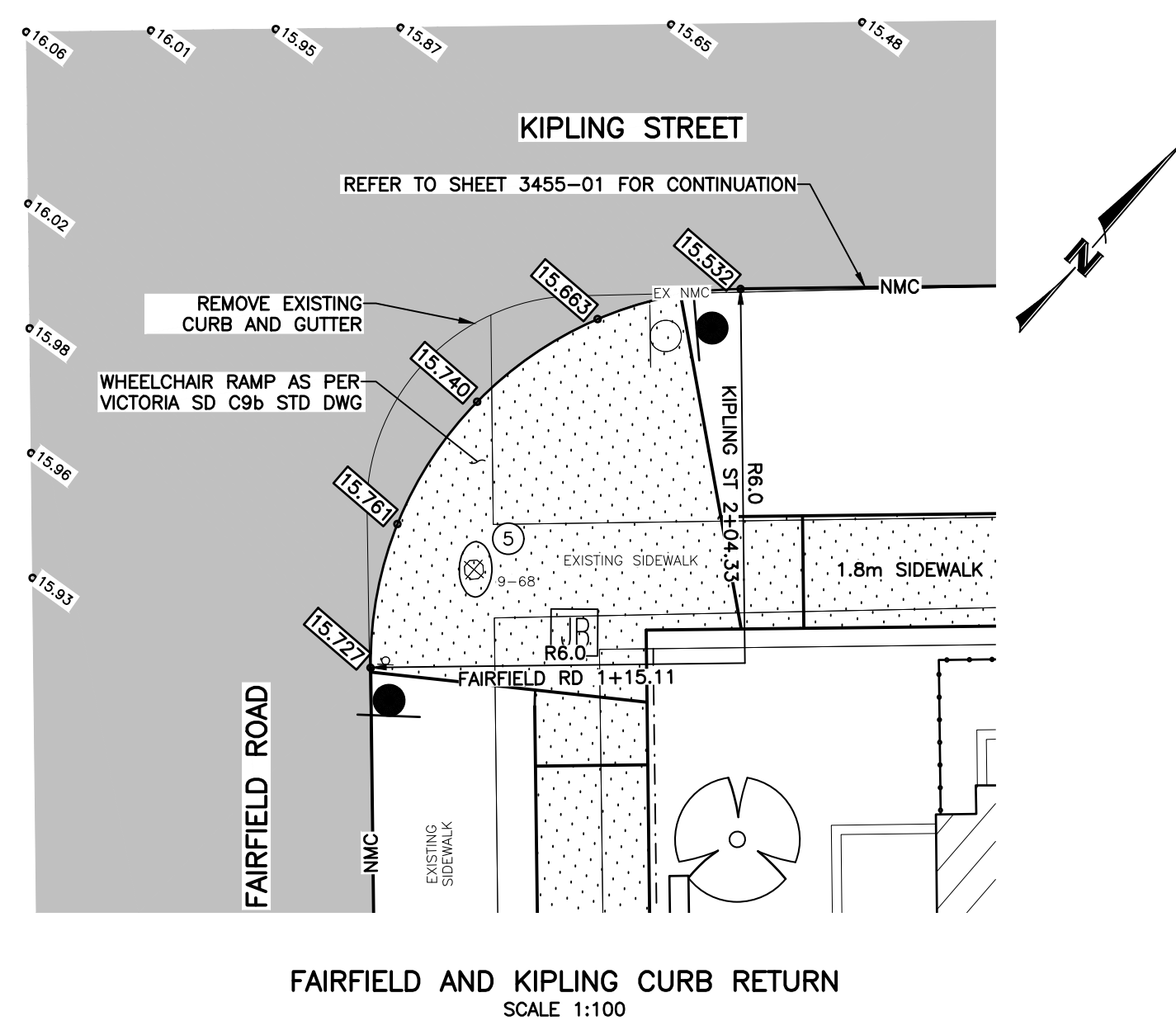
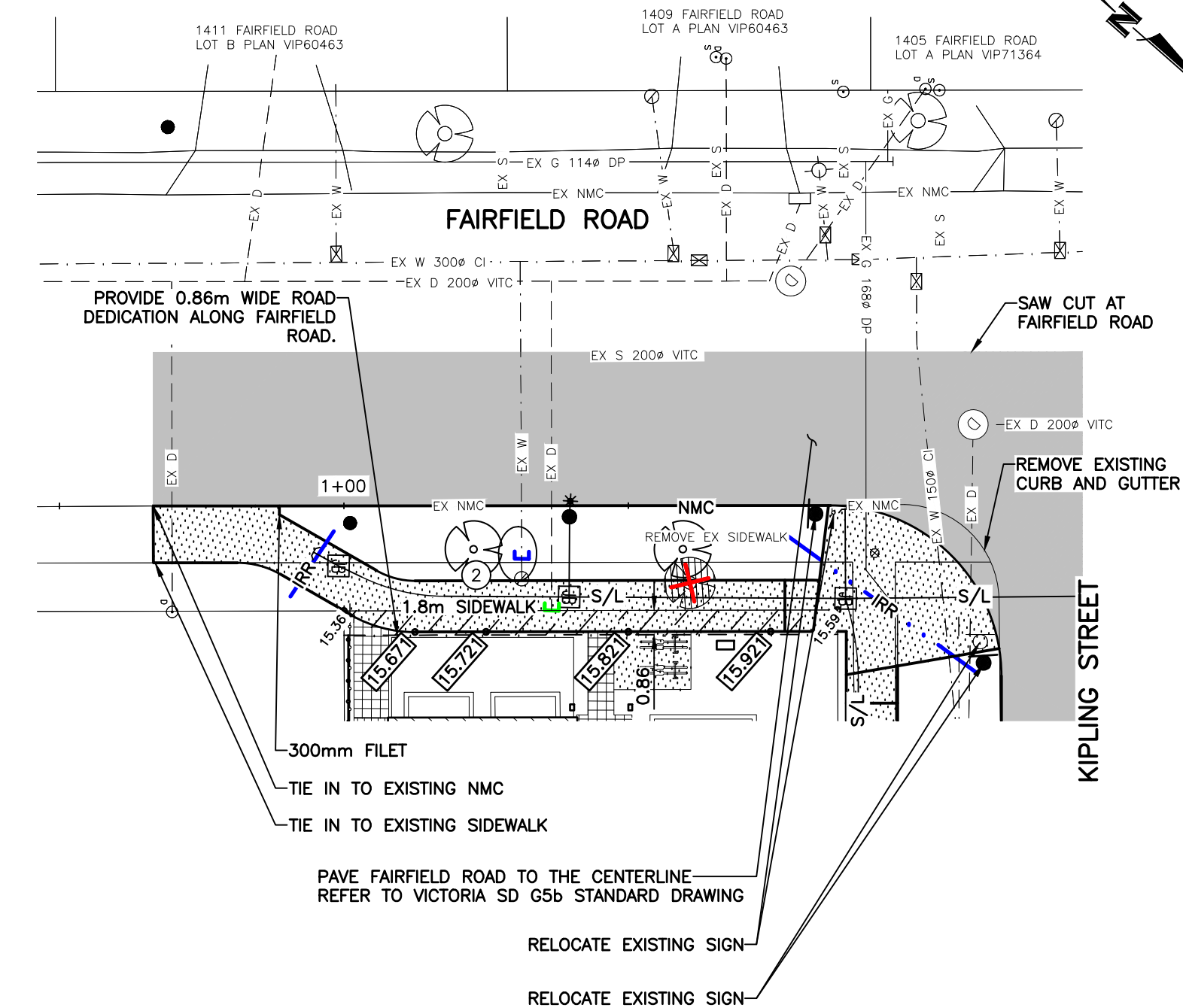
GOVERNING AUTHORITY FILE No


SHEET	OF	REV.
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2	5	14
WESTBROOK DRAWING No.		

3455-02

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THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS	LEGEND										SEAL	REVISIONS				ENGINEER IK DESIGNER IY		 WESTBROOK Consulting Ltd. #115 - 866 Goldstream Ave., Victoria, BC V9B 0J3 Telephone: 250-391-8592 Facsimile: 250-391-8593	PROJECT 1400 FAIRFIELD ROAD BREIA HOLDINGS LTD. GUTTER PLANS AND PROFILES, GRADING DETAILS AND SECTION	WESTBROOK PROJECT No. 3455	
	WATER — W —	GAS — G —	EXISTING U/G UTIL.	MANHOLE ⊙	HYDRANT ⚡	MONUMENT ⊕	14 REVISED AS PER LANDSCAPE COMMENTS	250306	IY	CHECKED JS	GOVERNING AUTHORITY FILE No.										
	SEWER — S —	CURB — C —	PROPOSED U/G UTIL.	CLEANOUT ⊙	VALVE ⊠	LOT PIN •	13 REVISED AS PER ARCH. AND LANDSCAPE COMMENTS	241016	IY	DATE OCTOBER, 2019	SHEET 3 OF 3 REV. 14										
	DRAIN — D —	SIDEWALK — S/W —	LIGHT STANDARD ⊙	RATCHBASIN ⊙	METER ⊙	LEAD PLUG ■	12 REVISED AS PER ARCH. COMMENTS	240916	IY	B.M. 9-68	WESTBROOK DRAWING No. 3455-03										
	DITCH → → →	EDGE PAVE. — — —	POWER POLE ⊙	ROAD SIGN ⊠	REDUCER ←		11 REVISED AS PER ARCH. AND ELEC. COMMENTS	240606	IK	ELEV. 15.742											
	CULVERT — — —	BUSHLINE — — —	ANCHOR →				10 REVISED AS PER ARCH. AND ELEC. COMMENTS	240508	IY	SCALE Horz. 1:200 Vert. 1:40											
	HEADWALL — — —	TREE — — —					No. DESCRIPTION YYMMDD SIGN														