



LE PARC

8 - UNIT RENTAL TOWN HOME DEVELOPMENT

FAIRFIELD RD AND KIPLING ST, VICTORIA, BC

CIVIC ADDRESSES

1400 FAIRFIELD

- UNIT 1
- UNIT 2
- UNIT 3
- UNIT 4
- UNIT 5
- UNIT 6
- UNIT 7
- UNIT 8

CODES, BYLAWS & REGULATIONS

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF:
1. THE NATIONAL BUILDING CODE (NBC);
2. THE BC BUILDING CODE (BCBC);
3. THE BC PLUMBING CODE;
4. THE BC ELECTRICAL CODE; AND
5. ANY AND ALL OTHER AUTHORITIES' REQUIREMENTS HAVING JURISDICTION

DEFINITIONS

1. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE
2. "CLEAR" SHALL MEAN THAT ALL DIMENSIONS IDENTIFIED AS SUCH SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.
3. "SIMILAR" OR "SIM." SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.
4. "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED (U.O.N.).

ABBREVIATIONS

(E)	EXISTING	IN.	INCHES
A-B	AIR-BARRIER	M-B	MOISTURE-BARRIER
A.F.F.	ABOVE FINISH FLOOR	MANUF.	MANUFACTURER
ALUM	ALUMINUM	MAX	MAXIMUM
AV.	AVERAGE	MIN	MINIMUM
BASEBD	BASEBOARD	MTL	METAL
BCBC	BRITISH COLUMBIA BUILDING CODE	O.C.	ON CENTRE
BD	BOARD	O/	OVER
BLDG	BUILDING	O/LAP	OVERLAP
BTWN	BETWEEN	P.T.	PRESSURE-TREATED
BULKHD	BULKHEAD	PLYWD	PLYWOOD
C.I.P.	CAST-IN-PLACE	PT	POINT
C/W	COMPLETE WITH	REQ'D	REQUIRED
C'BORE	COUNTERBORE	REQT	REQUIREMENT
CAB'T	CABINET(S)	S-A	SELF-ADHERED
CALC(S)	CALCULATION(S)	SF	SQUARE FEET
CLR	CLEAR	SM	SQUARE METER(S)
COORD.	COORDINATION/ATE/ATED	ST STL	STAINLESS STEEL
DBL	DOUBLE	STL	STEEL
DDP	DATUM DETERMINATION PT	STRX	STRUCTURE OR STRUCTURAL
DEMO	DEMOLITION	SUBFLR	SUB-FLOOR
DIA	DIAMETER	T&G	TONGUE & GROOVE
DR	DOOR	THRU	THROUGH
EQ	EQUAL	TYP.	TYPICAL
EQ	FLOOR DRAIN	U.O.N.	UNLESS OTHERWISE NOTED
FD	FINISHED FLOOR	U/	UNDER
FIN. FLR	FLOOR	UNFIN.	UNFINISHED
FLR	FLOOR SPACE RATIO	V-B	VAPOUR-BARRIER
G1S	GOOD-1-SIDE	VERT.	VERTICAL
GALV	GALVANIZED	W/	WITH
GWB	GYPSUM WALL BOARD	W/IN	WITHIN
HGT	HEIGHT	W/OUT	WITHOUT
HORIZ.	HORIZONTAL	WD	WOOD
IGU	INSULATED GLASS UNIT	WDW	WINDOW

DP LIST OF DRAWINGS (1400 FAIRFIELD)

A1.0	COVER SHEET	NTS
A1.1	SURVEY PLAN	1:200
A1.2	CONTEXT PLAN	1:200
A1.3	CONTEXT STREETSCAPE	1:150
A1.4	SOLAR STUDY	1:500
A1.5	WINDOW OVERLAY	1:120
A1.6	SUSTAINABILITY STRATEGY	NTS
A2.0	SITE PLAN	1:100
A2.1	SITE COVERAGE & OPEN SITE SPACE	1:120
A2.2	FLOOR AREA RATIO	1:150
A2.3	AVERAGE GRADE CALCULATION	1:100
A3.0	FLOOR PLANS	1:100
A4.0	ELEVATIONS	1:50
A4.1	ELEVATIONS	1:50
A4.2	ELEVATIONS	1:50
A4.3	SECTIONS	1:50
A5.0	UNIT 1 & 2 FLOOR PLANS	1:50
A5.1	UNIT 2 & 3 FLOOR PLANS	1:50
A5.2	UNIT 4 & 5 FLOOR PLANS	1:50
A5.3	UNIT 6 & 7 FLOOR PLANS	1:50
A5.4	UNIT 8 FLOOR PLANS	1:50
A6.0	CONCEPT RENDERINGS	NTS
22	SHEETS IN SET	

TEAM OF CONSULTANTS

ARCHITECT

SÉBASTIEN GARON ARCHITECTURE + DESIGN INC

SÉBASTIEN GARON, ARCHITECT AIBC

(604) 812-1869

SEBASTIEN@SGAD.CA

STRUCTURAL

SKYLINE ENGINEERING

WADE GRIFFIN

(250)-590-4133 EXT. 103

WGRIFFI@SENG.CA

LANDSCAPE

BIOPHILIA DESIGN COLLECTIVE LTD

BIANCA BODLEY

(250) 590-1156

BIANCA@BIOPHILIACOLLECTIVE.CA

ELECTRICAL

E2

JAY SINGH

(778) 433-9391

JAY.SINGH@E2ENG.CA

ARBORIST

TALBOT MACKENZIE & ASSOCIATES

NOAH BORGES, ISA CERTIFIED ARBORIST

(250) 479-8733

TMTREEHELP@GMAIL.COM

MECHANICAL

M3 MECHANICAL CONSULTANTS INC.

BRENTON WILLIAMS, P.ENG

(250) 940-2256

BCW@M3MECH.CA

GEOTECHNICAL

RYZUK GEOTECHNICAL

SCOTT CURRIE, P. ENG.

(250)-475-3131

SCOTT@RYZUK.COM

BUILDING ENVELOPE

EVOKE

JOHN LITTLE, EIT, RSE

(250) 882-8884

JLITTLE@EVOKEBUILDINGS.COM

CIVIL ENGINEER

WESTBROOK CONSULTING LTD.

IVA KVARTUC, B. ENG.

(250) 391-8592 EXT. #235

IKVARTUC@WBROOK.CA

SURVEYOR

J.E.ANDERSON & ASSOCIATES

(250) 727-2214


INFO@JEANDERSON.COM



CITY OF VICTORIA

Final Approved Plans

Adopted Date: June 9, 2025



CITY OF VICTORIA

Revisions

Received Date: April 17, 2025

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Project Name:

LeParc

Civic:

KIPLING ST & THURLOW ST

Project No: 19,015
Drawn By: SG/TD
Plot Date: 2025-04-17
Scale: NTS
Sheet No:

This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.

J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.

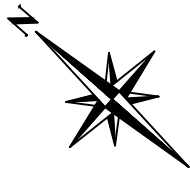
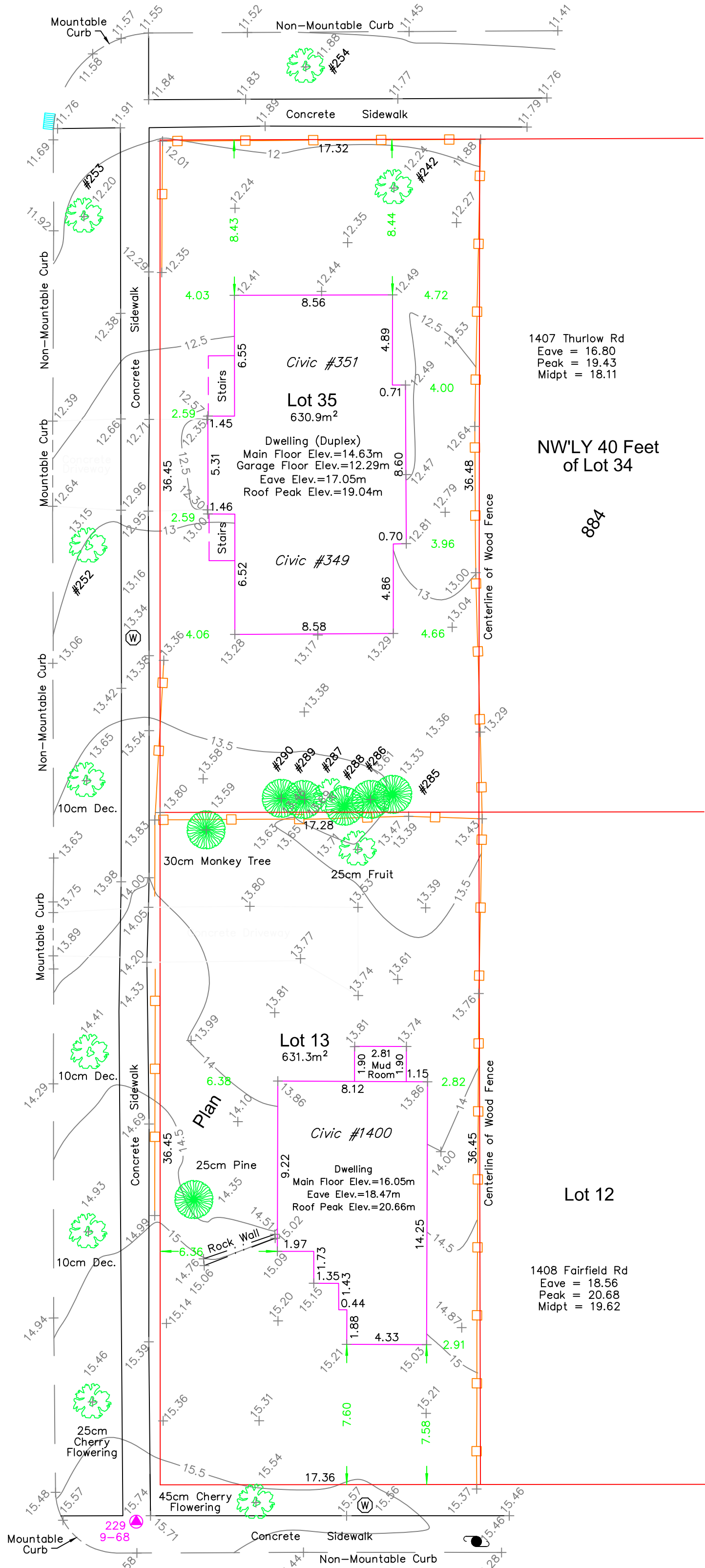
Subject to charges, legal notations, and interests shown on: Title No. ET59777 (P.I.D. 008-292-345) Lot 13
Title No. CA6094211 (P.I.D. 005-209-510) Lot 35

V:_Projects\31517\08\02\Microsurvey\31517.dwg

Thurlow Road

Kipling Street

Fairfield Road



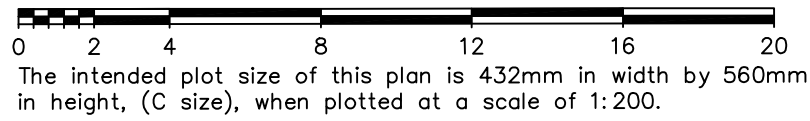
LEGEND

- Denotes Control Monument Found
- ▲ --- Denotes Traverse Station Placed
- Denotes Catch Basin
- Denotes Coniferous Tree
- Denotes Deciduous Tree
- 13.50+ --- Denotes Typical Spot Elevation
- --- Denotes Utility Pole
- (W) --- Denotes Water Service

Table of Tree Descriptions

Tag #	Species	Diameter
#242	Deciduous	60cm
#252	Deciduous	45cm
#253	Deciduous	50cm
#254	Deciduous	30cm
#285	Cedar	40cm
#286	Cedar	40cm
#287	Deciduous	30cm (Twin)
#288	Cedar	30cm (Twin)
#289	Cedar	30cm
#290	Cedar	45cm (Twin)
No tag	Monkey	30cm
No tag	Fruit	25cm
No tag	Deciduous	10cm
No tag	Deciduous	10cm
No tag	Cherry	25cm
No tag	Cherry	45cm
No tag	Pine	25cm

Legal boundaries are derived from field survey
Distances and elevations are in metres.
Elevations are geodetic based on control monument 9-68.
Elevations are at grade unless noted otherwise.
Building dimensions and offsets to property lines are shown to exterior of building walls.



SITE PLAN

BART JOHNSON

Lots 13 & 35, Fairfield Farm Estate, Victoria City, Plan 884

ADDRESS : 1400 Fairfield/ 351 Kipling

PROJECT SURVEYOR : PJW

DRAWN BY : BAR DATE : OCT 2/18

OUR FILE : 31517 REVISION :



J.E. ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS

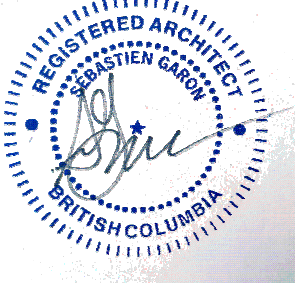
4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

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SURVEY PLAN

Project Name:

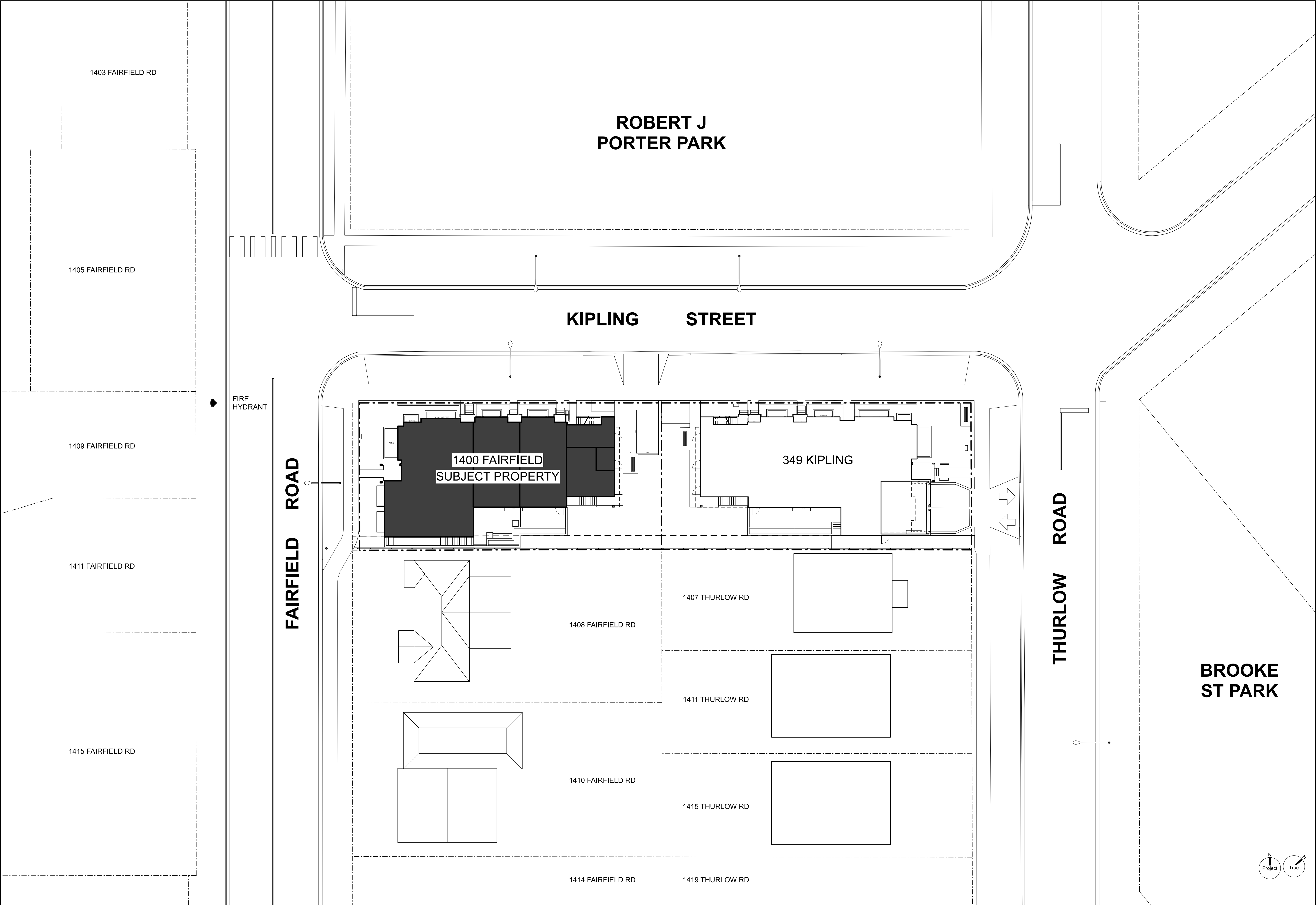
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Civic:

KIPLING ST & THURLOW ST

Project No:	19.015
Drawn By:	SG/TD
Plot Date:	2025-04-17
Scale:	1:200
Sheet No:	

A1.1



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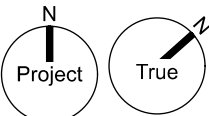
CONTEXT PLAN

Project Name:

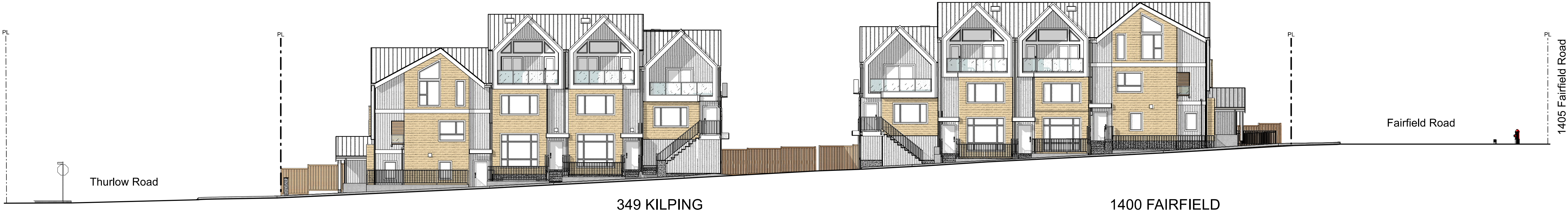
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Civic:
KIPLING ST & THURLOW
ST

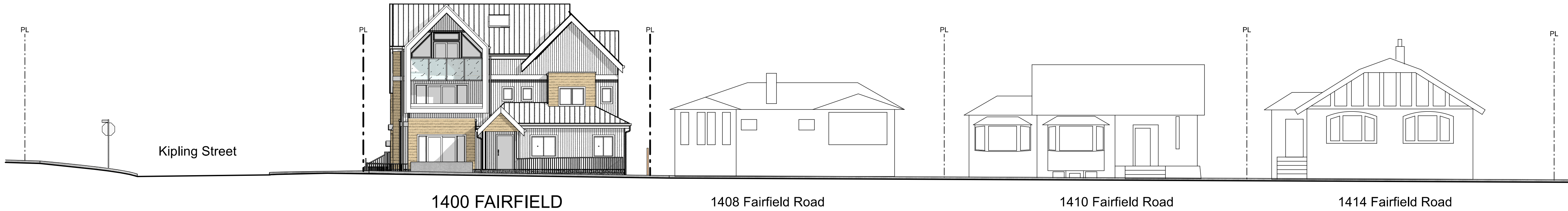
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Brooke St. Park



1 Streetscape Kipling Street
Scale: 1:150



2 Streetscape Fairfield Road
Scale: 1:150

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CONTEXT
STREETSCAPE

Project Name:

LeParc

Civic:

KIPLING ST & THURLOW
ST

Project No: 19,015

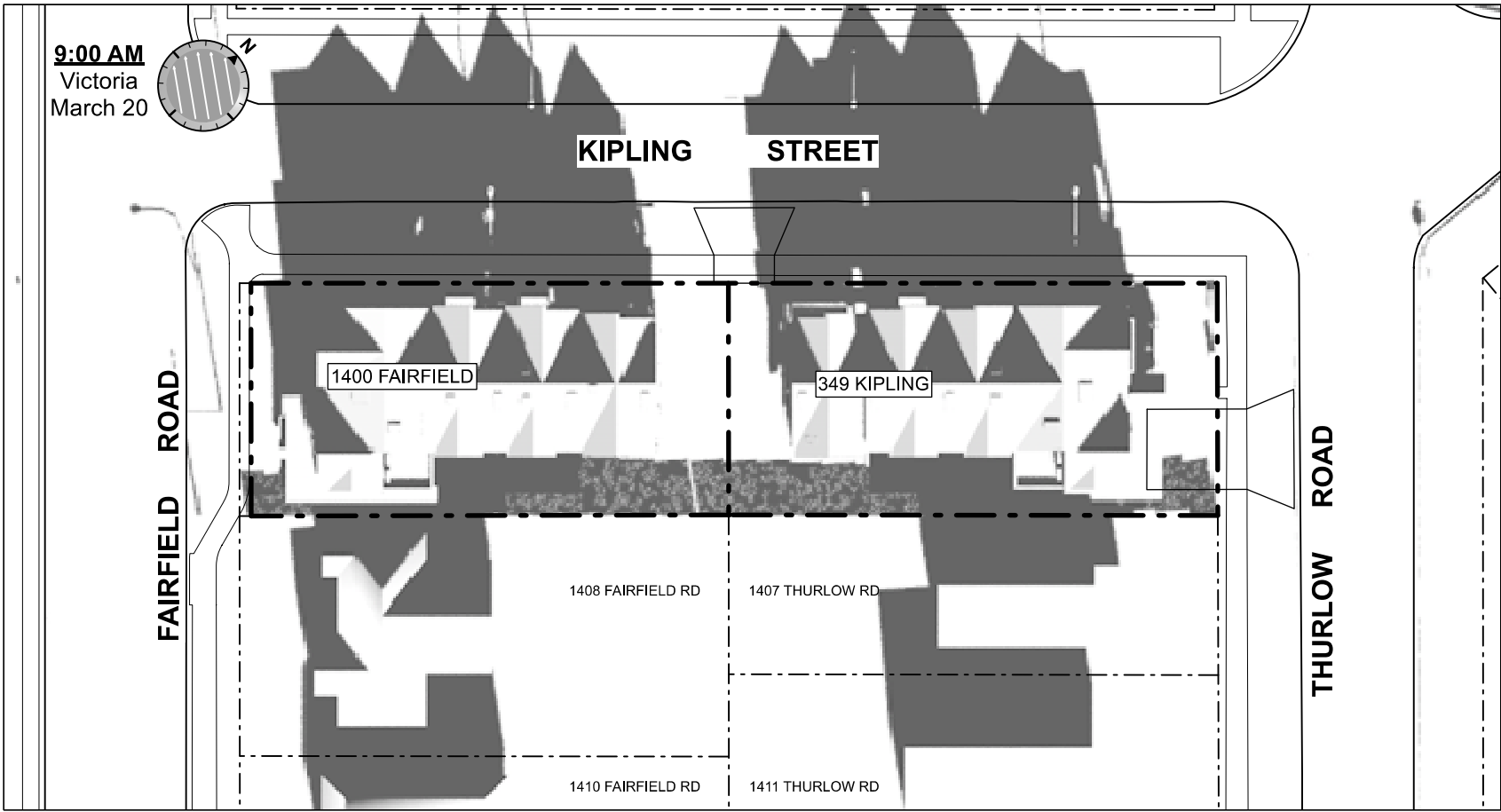
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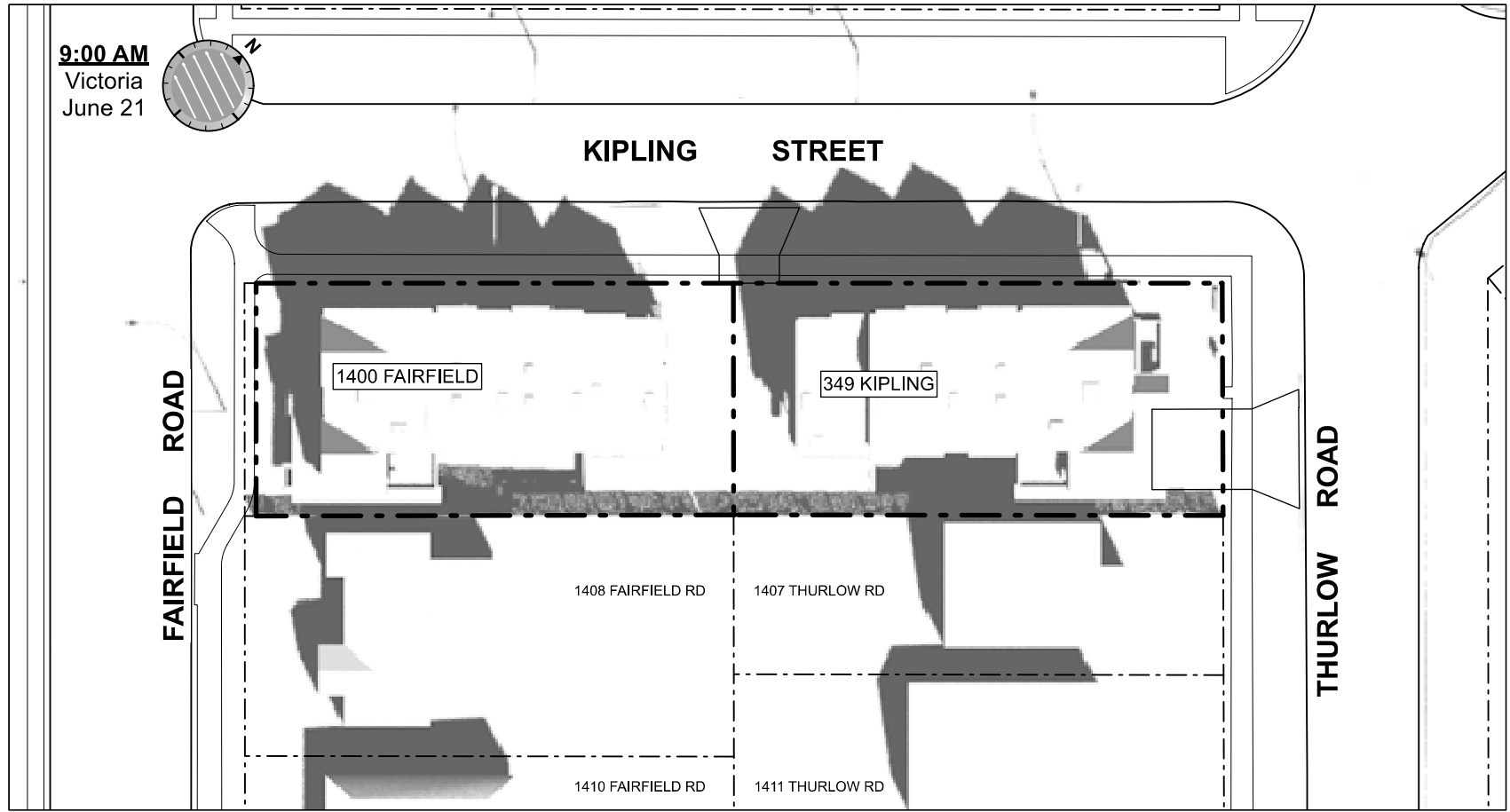
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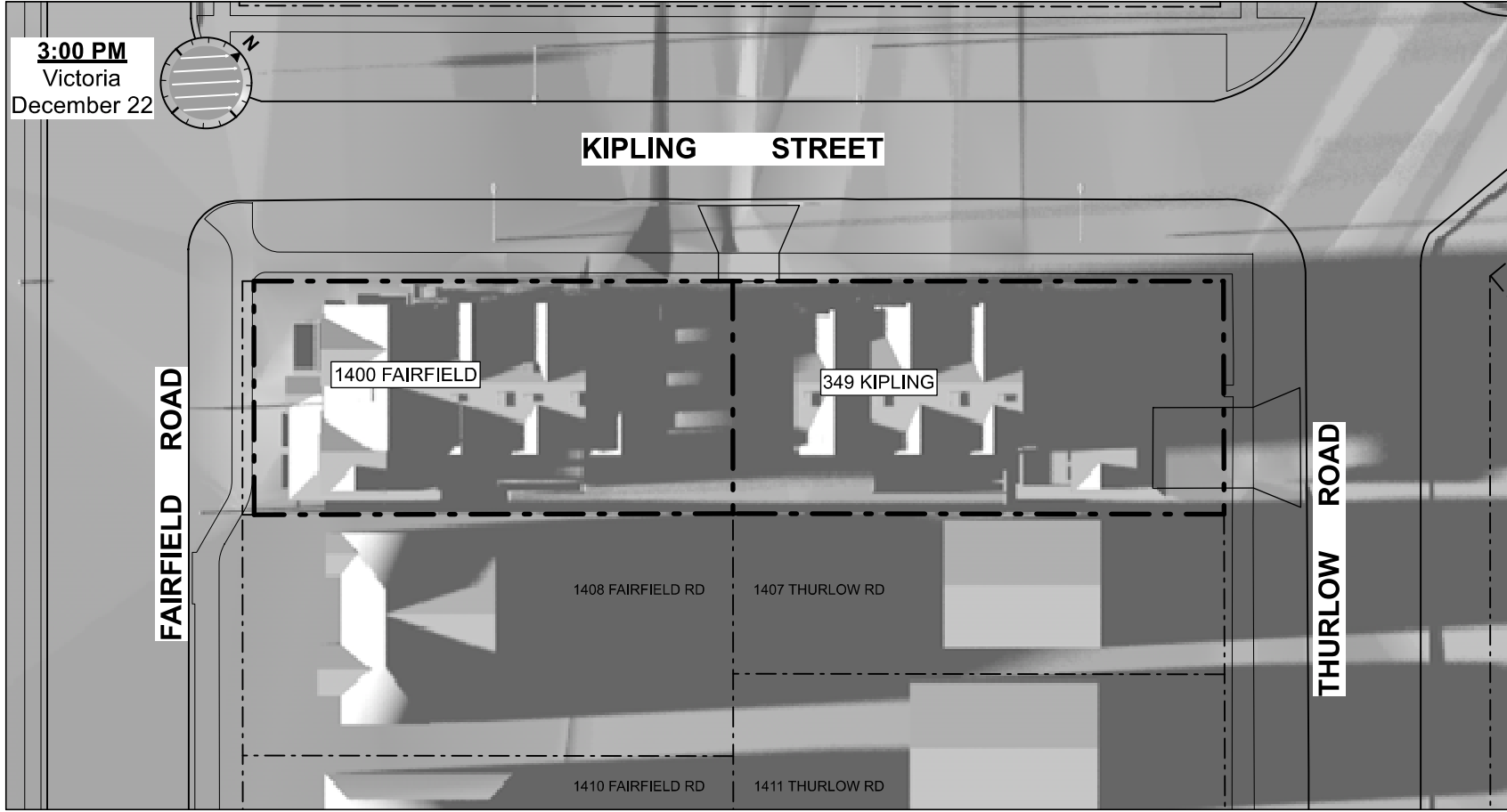
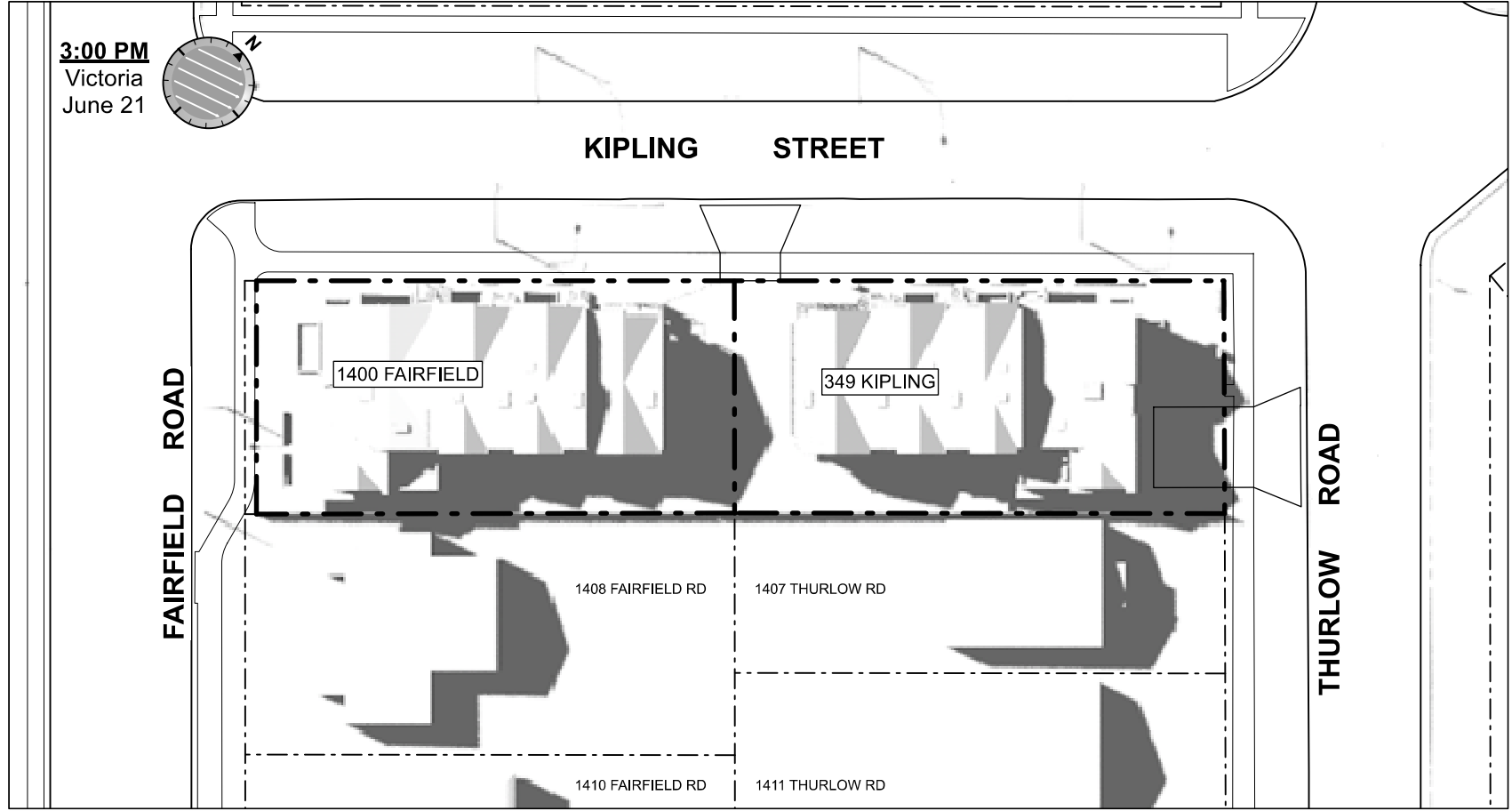
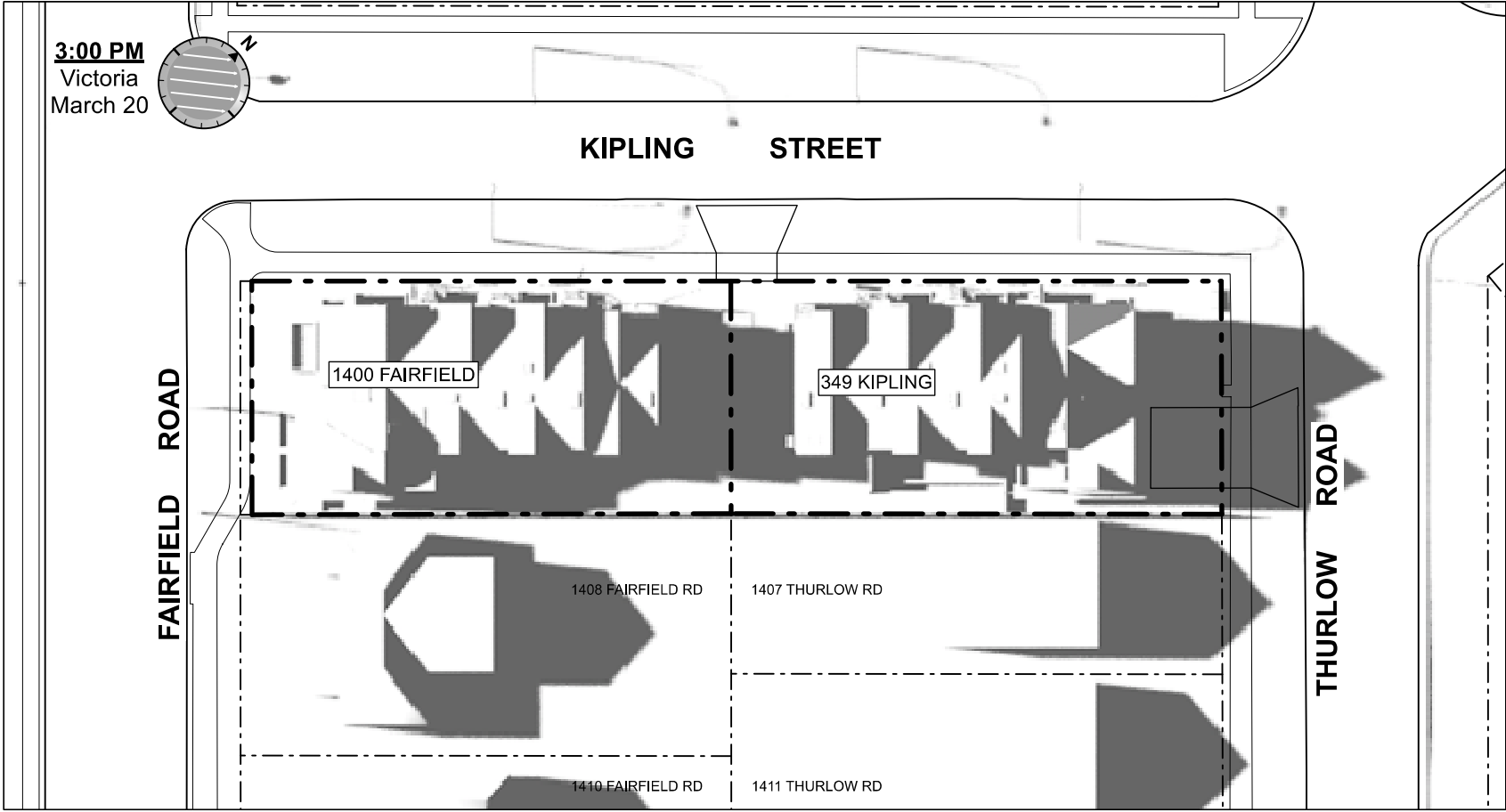
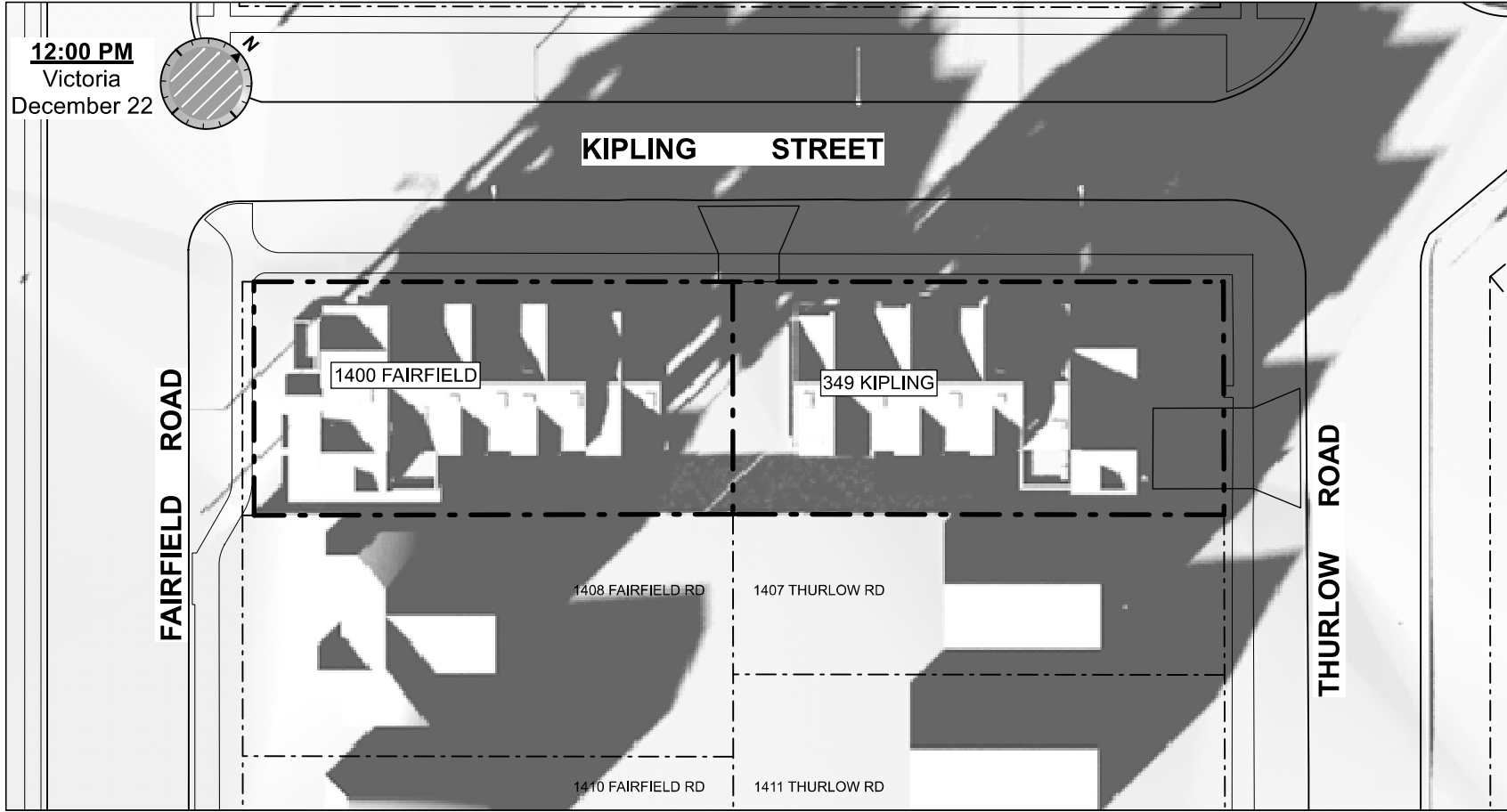
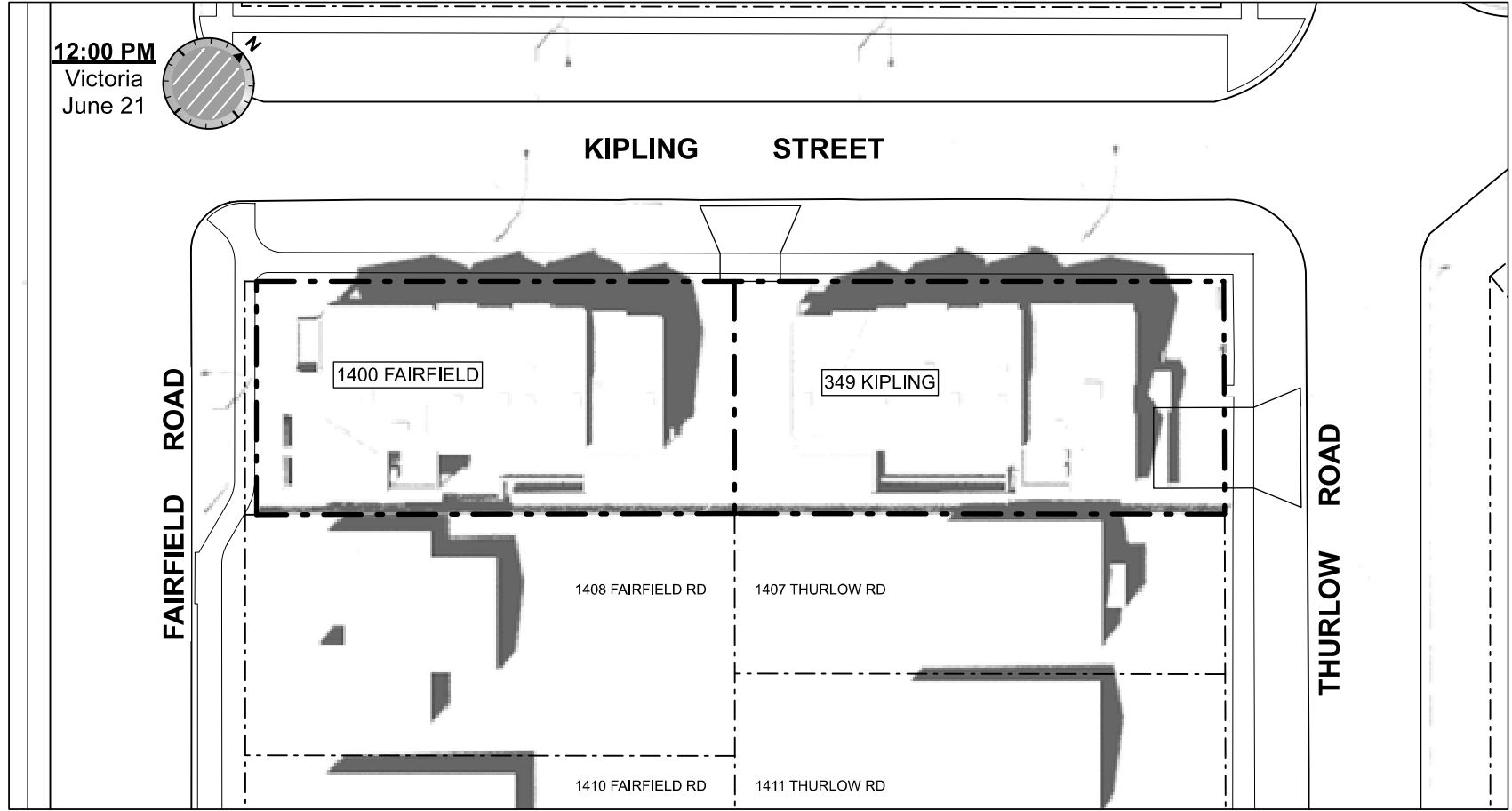
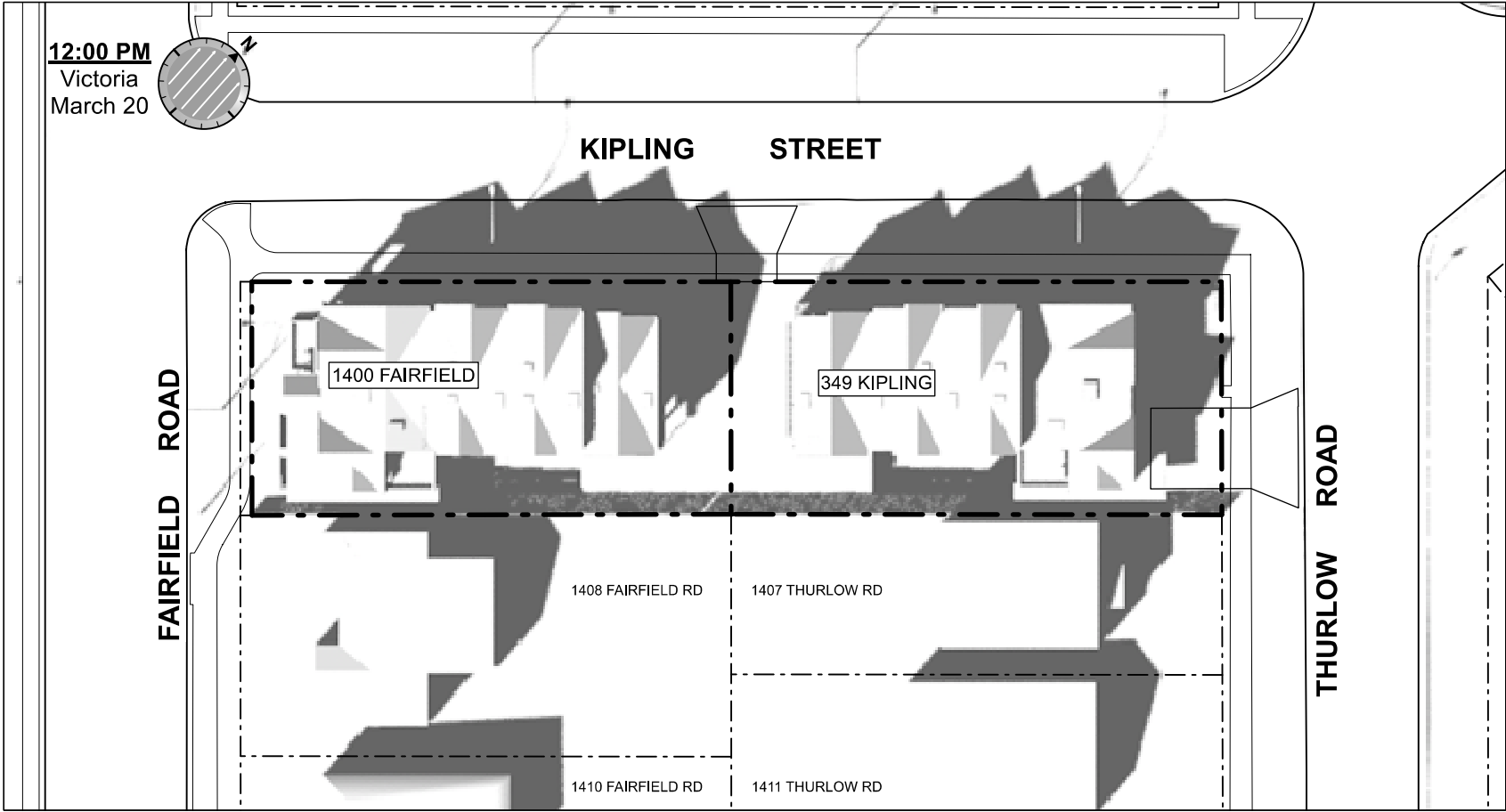
MARCH EQUINOX



JUNE SOLSTICE



DECEMBER SOLSTICE



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SOLAR STUDY

Project Name:

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Civic:
KIPLING ST & THURLOW
ST

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FAIRFIELD ROAD

KIPLING STREET

349 KIPLING

LOT 12
1408 FAIRFIELD RD
EAVE = 18.56
PEAK = 20.68
MIDPT = 19.62

EXISTING LOT 13
631.3M2

Legend
BW - Basement Window
1W - 1st Storey Window
2W - 2nd Storey Window
D - Door

NOTE:
DIAGRAMS AS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY.
WINDOW LOCATIONS ARE APPROXIMATE AND HAVE NOT BEEN SURVEYED.

FAIRFIELD ROAD

349 KIPLING

1 WINDOW ELEVATION
Scale: 1" = 10'-0"



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WINDOW OVERLAY

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KIPLING ST & THURLOW ST

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Drawn By: SG/TD
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Scale: 1:120
Sheet No:

A1.5



LEGEND

- | NO. | DESCRIPTION |
|-----|--|
| 1 | READY FOR SOLAR PANELS (ROUGH-IN) |
| 2 | READY FOR ELECTRIC CAR CHARGING OUTLETS (ROUGH-IN) |
| 3 | WATER EFFICIENT LANDSCAPING |
| 4 | ENHANCED BIKE PARKING |
| 5 | ENHANCED NATURAL LIGHT |
| 6 | ENERGY EFFICIENT LIGHT FIXTURES |
| 7 | WATER EFFICIENT PLUMBING FIXTURES |
| 8 | LOW-VOC INTERIOR FINISHES |

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SUSTAINABILITY
STRATEGY

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LeParc

Civic:

KIPLING ST & THURLOW
ST

Project No:

19.015

Drawn By:

SG/TD

Plot Date:

2025-04-17

Scale:

NTS

Sheet No:

A1.6



A SITE SECTION A
Scale: 1:100

PROJECT DATA - 1400 FAIRFIELD

	GFA Area (SF)	Zoning Area (SF)	Site Area (SF)	FAR	Bedrms
Unit 1-7	10,691	7,437	6,635	1.12	21
Basement	2,661	0			
Main Floor	2,647	2,532			
Second Floor	2,937	2,793			
Third Storey	2,446	2,112			
Garage	0	0	Excluded from FAR		
Refuse	54	54	Excluded from FAR		
Electrical Room	116	116	Excluded from FAR		
Bike Room	720	720	Excluded from FAR		
Total Floor Area	11,581	All Included			

Floor Space Ratio: The building area is measured to the interior side of the exterior wall and interior face of demising walls. Basements excluded.

ZONING RECONCILIATION - SCHEDULE P

1400 FAIRFIELD

CIVIC ADDRESS:	VARIES
LEGAL ADDRESS:	Lot 13 Plan 884 Section Fld Victoria
EXISTING ZONING:	R1-B
GROSS SITE AREA:	631.3 M2
ROAD DEDICATION:	14.9 M2
NET SITE AREA:	616.4 M2

FSR (GROSS SITE) MAX 1.1

FSR (NET SITE) MAX 1.1

SITE OPEN SPACE MIN 45%

LOT COVERAGE MAX 50%

SETBACKS MINIMUM

FRONT YARD	2.00 m	5.38 m	17.65 FT
REAR YARD	2.00 m	5.57 m	18.27 FT
EXTERIOR SIDE YARD	2.00 m	1.67 m	5.48 FT
INTERIOR SIDE YARD	2.00 m	1.71 m	5.61 FT

BUILDING HEIGHT MAXIMUM 12.00 m

VEHICLE PARKING REQUIRED: 1 stalls

ACCESSIBLE PARKING 1 REQUIRED 1 stalls

BICYCLE PARKING REQUIRED: 16 stalls

LONG TERM DWELLING UNIT 2 / Unit

NO BIKE REQUIRED WITH A DWELLING THAT HAS A PRIVATE GARAGE

15% ARE REQUIRED TO BE OVERSIZED

50% ARE REQUIRED TO BE HAVE BIKE CHARGING STATION

BICYCLE MAINTENANCE FACILITY TO BE PROVIDED 0.9MX2.4M WITH GAUCET AND DRAIN

SHORT TERM 6 stalls

Inventory date: Updated May 20, 2022
October 11, 2022
October 25 and 26, 2024

October 29 and 30, 2024												
Reg ID	Accepted (Yes/No)	Location (City/County)	Native (Yes/No)	Name	Size (cm)	Condition	Height (m)	Trunk Diameter (cm)	Health	Location	Notes	Remarks
095	Yes	On-site	Yes	Apple	25.12	4	3.3	Moderate	Fair	Far	Good	Close to existing on-site, down driveway
096	Yes	On-site	Yes	Money (Palm)	21	5	2.7	Good	Good	Good	Good	Within proposed parking stall
097	Yes	On-site	No	Colubinus Red Spruce	25.12	4	3.3	Moderate	Good	Far	Good	Within proposed parking stall
098	Yes	On-site	No	Western Red Cedar	21	5	2.7	Moderate	Fair	Far	Good	Within proposed parking stall
099	Yes	On-site	No	Colubinus Red Spruce	25.12	4	3.3	Moderate	Good	Far	Good	Within proposed parking stall
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222	Yes	On-site	No	Western Red Cedar	21	5	2.7					

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal



Issued

2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP
2020-04-29	Revised & Re-Issued for DP
2020-09-21	Revised & Re-Issued for DP
2021-07-20	Revised & Re-Issued for DP
2021-11-21	Revised & Re-Issued for DP
2021-12-16	Revised & Re-Issued for DP
2022-03-30	Revised & Re-Issued for DP
2022-04-11	Revised & Re-Issued for DP
2022-05-10	Revised & Re-Issued for DP
2022-10-06	Revised & Re-Issued for DP
2022-11-04	Revised & Re-Issued for DP
2022-11-14	Revised & Re-Issued for DP
2022-11-25	Revised & Re-Issued for DP
2023-12-21	ISSUED FOR BP
2024-02-17	BP REVISION "A"
2024-05-30	ISSUED FOR DP

SITE COVERAGE & OPEN SITE SPACE

Project Name:

LeParc

Civic:

KIPLING ST & THURLOW
ST

Project No:

19,015

Drawn By:

SG/TD

Plot Date:

2025-04-17

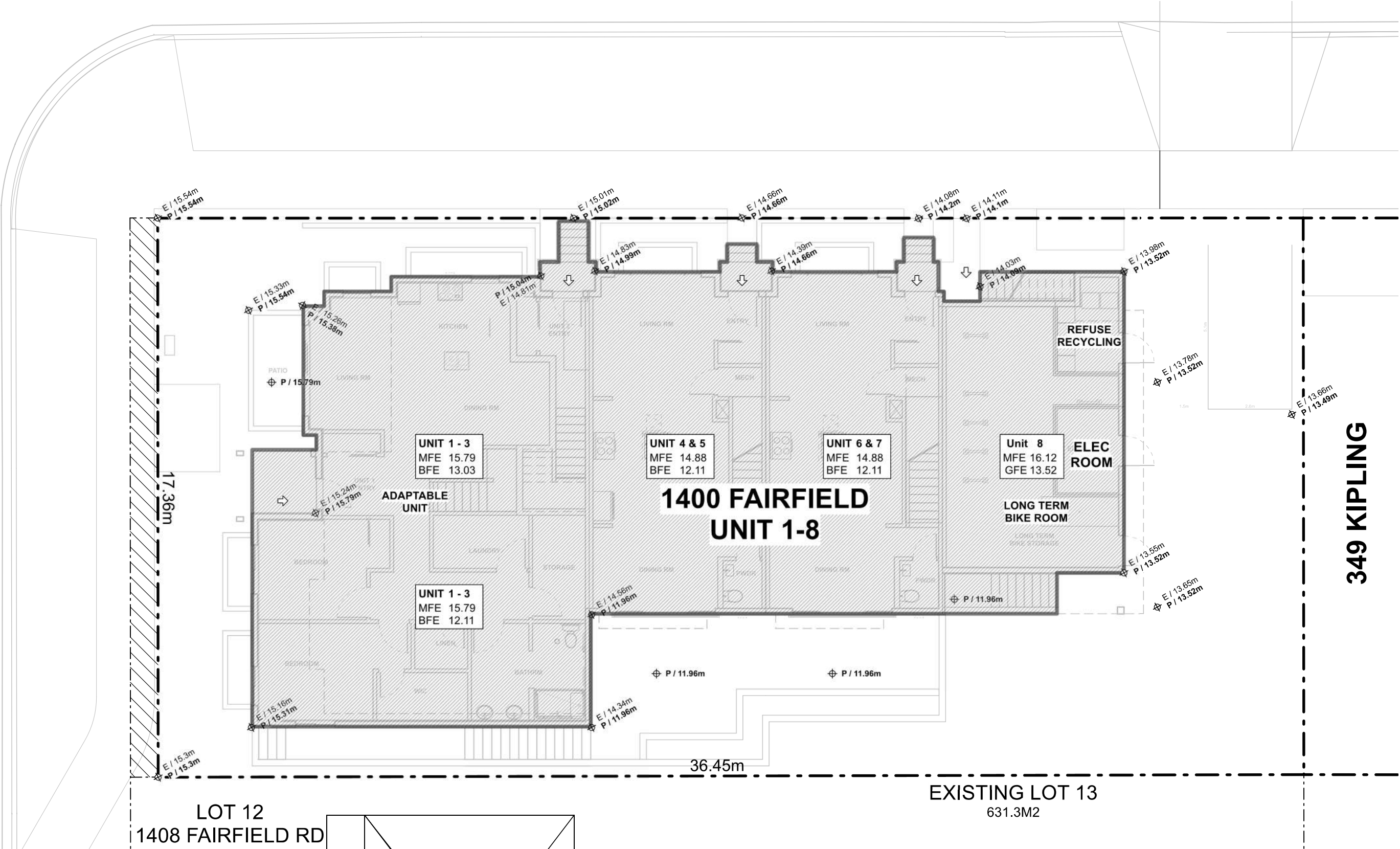
Scale:

1:120

Sheet No:

A2.1

FAIRFIELD ROAD



2

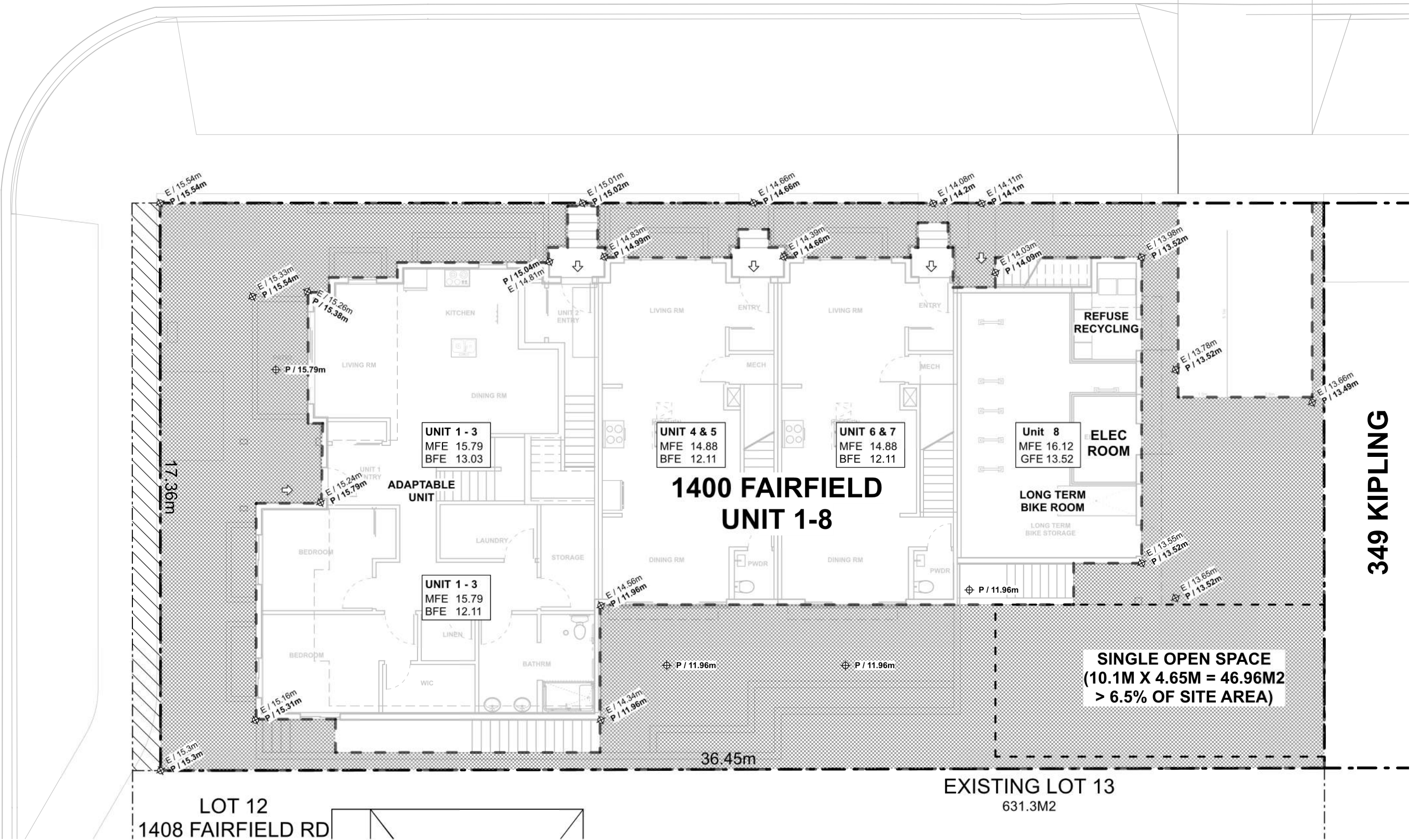
LOT COVERAGE

Scale: 1" = 10'-0"

"SITE COVERAGE" MEANS THE PERCENTAGE OF THE AREA OF A LOT
WHICH IS OCCUPIED BY ANY STRUCTURE.

SITE OPEN SPACE	MIN 45%	616.4 M2	44.6%	275.14 M2
ONE SPACE THAT IS LANDSCAPED WITH ALL SIDES A MIN. OF 4.5M THAT IS 35M2 OR 6.5% OF THE LOT				
LOT COVERAGE	MAX 50%	616.4 M2	50.7%	312.73 M2

FAIRFIELD ROAD



1

OPEN SITE SPACE

Scale: 1" = 10'-0"

"OPEN SITE SPACE" MEANS THAT PORTION OF A LOT WHICH IS LANDSCAPED AND NOT OCCUPIED OR
OBSTRUCTED BY ANY BUILDING OR PORTION OF BUILDING, DRIVEWAY OR PARKING LOT; EXCLUDING
ACCESSORY GARDEN STRUCTURES, BALCONIES AND ROOF PROJECTIONS.

Floor Area Calculations Unit 1					
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Main Floor	1,278 sq ft	118.7 m2	1,213 sq ft	112.7 m2	2
Second Floor	1,088 sq ft	101.0 m2	1,027 sq ft	95.4 m2	1
Third Storey	955 sq ft	88.8 m2	724 sq ft	67.3 m2	2
Totals:	3,321 sq ft	308.5 m2	2,964 sq ft	275.3 m2	5
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

Floor Area Calculations Unit 2					
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	641 sq ft	59.6 m2	0 sq ft	0.0 m2	2
Main Floor	137 sq ft	12.7 m2	132 sq ft	12.2 m2	
Second Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Third Storey	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Totals:	778 sq ft	72.3 m2	132 sq ft	12.2 m2	2
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

Floor Area Calculations Unit 3					
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	773 sq ft	71.9 m2	0 sq ft	0.0 m2	2
Main Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Second Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Third Storey	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Totals:	773 sq ft	71.9 m2	0 sq ft	0.0 m2	2
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

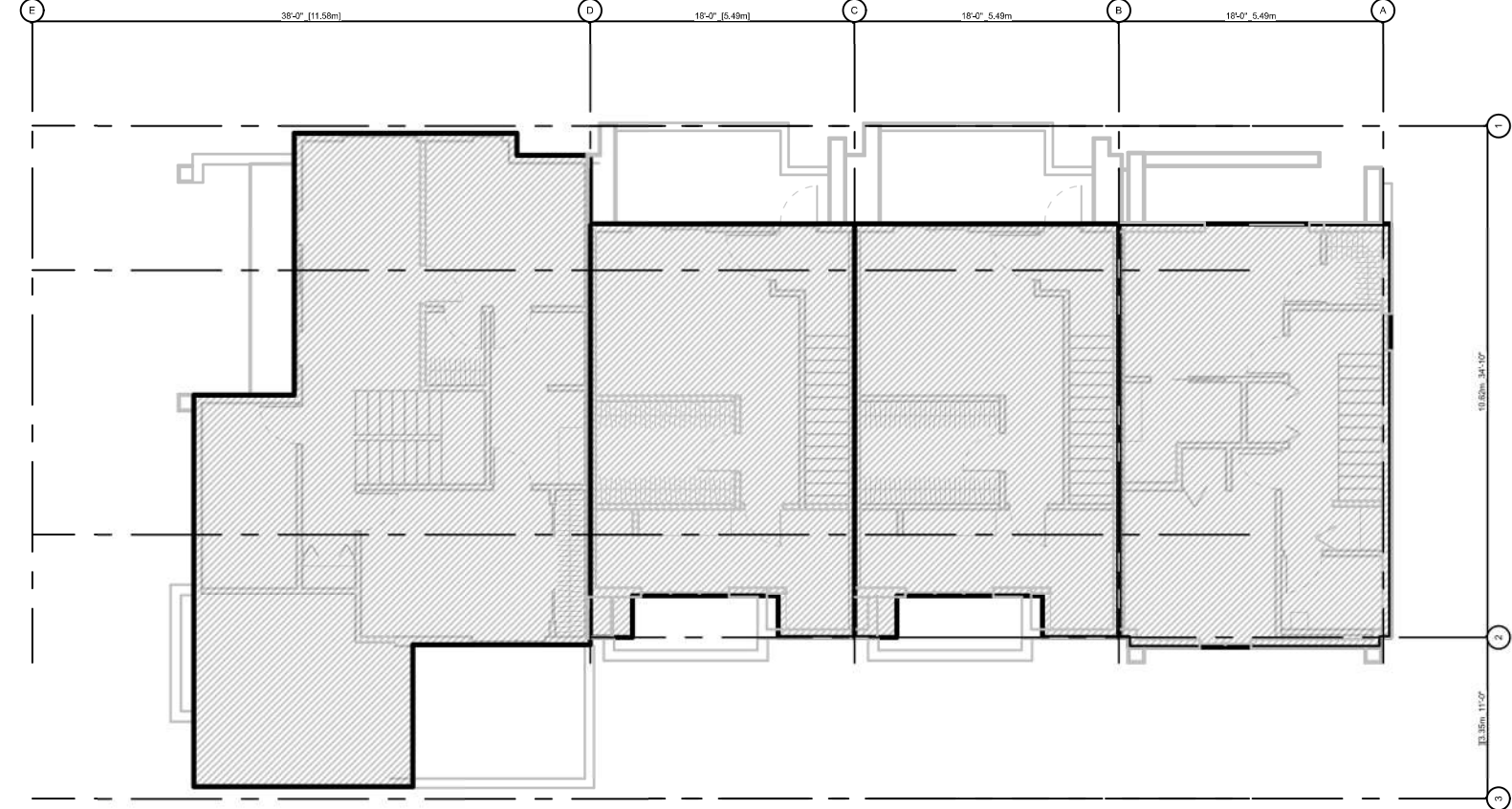
Floor Area Calculations Unit 4					
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Main Floor	616 sq ft	57.3 m2	595 sq ft	55.2 m2	
Second Floor	633 sq ft	58.8 m2	610 sq ft	56.6 m2	2
Third Storey	479 sq ft	44.5 m2	452 sq ft	42.0 m2	1
Totals:	1,728 sq ft	160.5 m2	1,657 sq ft	153.9 m2	3
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

Floor Area Calculations Unit 5					
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	619 sq ft	57.5 m2	0 sq ft	0.0 m2	2
Main Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Second Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Third Storey	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Totals:	619 sq ft	57.5 m2	0 sq ft	0.0 m2	2
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

Floor Area Calculations Unit 6					
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Main Floor	616 sq ft	57.3 m2	593 sq ft	55.1 m2	
Second Floor	633 sq ft	58.8 m2	610 sq ft	56.6 m2	2
Third Storey	479 sq ft	44.5 m2	443 sq ft	41.2 m2	1
Totals:	1,728 sq ft	160.6 m2	1,645 sq ft	152.8 m2	3
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

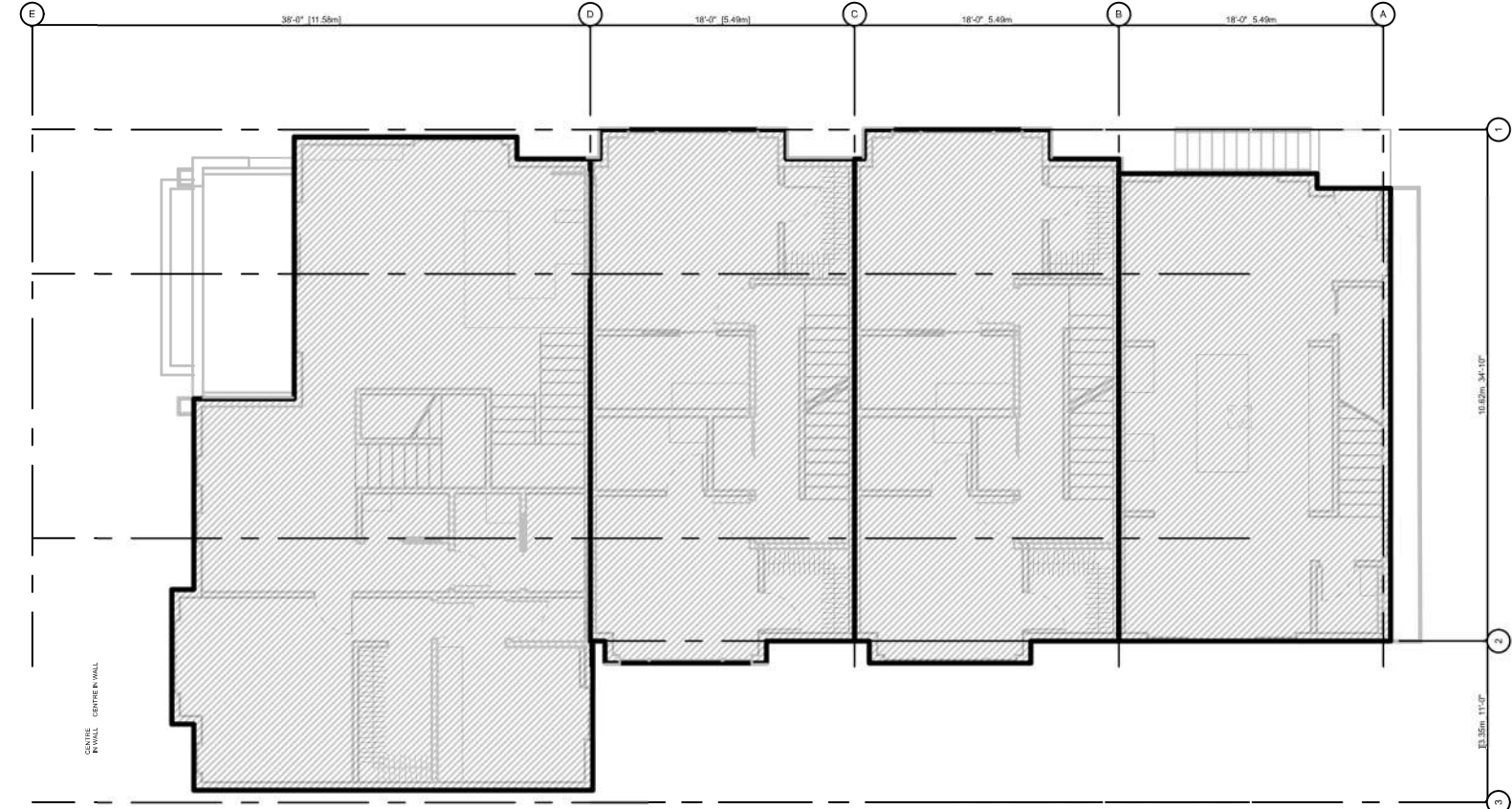
Floor Area Calculations Unit 7					
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	627 sq ft	58.3 m2	0 sq ft	0.0 m2	2
Main Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Second Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Third Storey	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Totals:	627 sq ft	58.3 m2	0 sq ft	0.0 m2	2
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

Floor Area Calculations			Unit 8		
	Gross Floor Area	Zoning Floor Area	Bedrms		
Basement Floor	No Basement as per zoning definition				
Main Floor	0 sq ft	0.0 m2	10 sq ft	1.0 m2	
Second Floor	584 sq ft	54.2 m2	547 sq ft	50.8 m2	
Third Storey	533 sq ft	49.5 m2	493 sq ft	45.8 m2	2
Totals:	1,116 sq ft	103.7 m2	1,050 sq ft	97.6 m2	2
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	



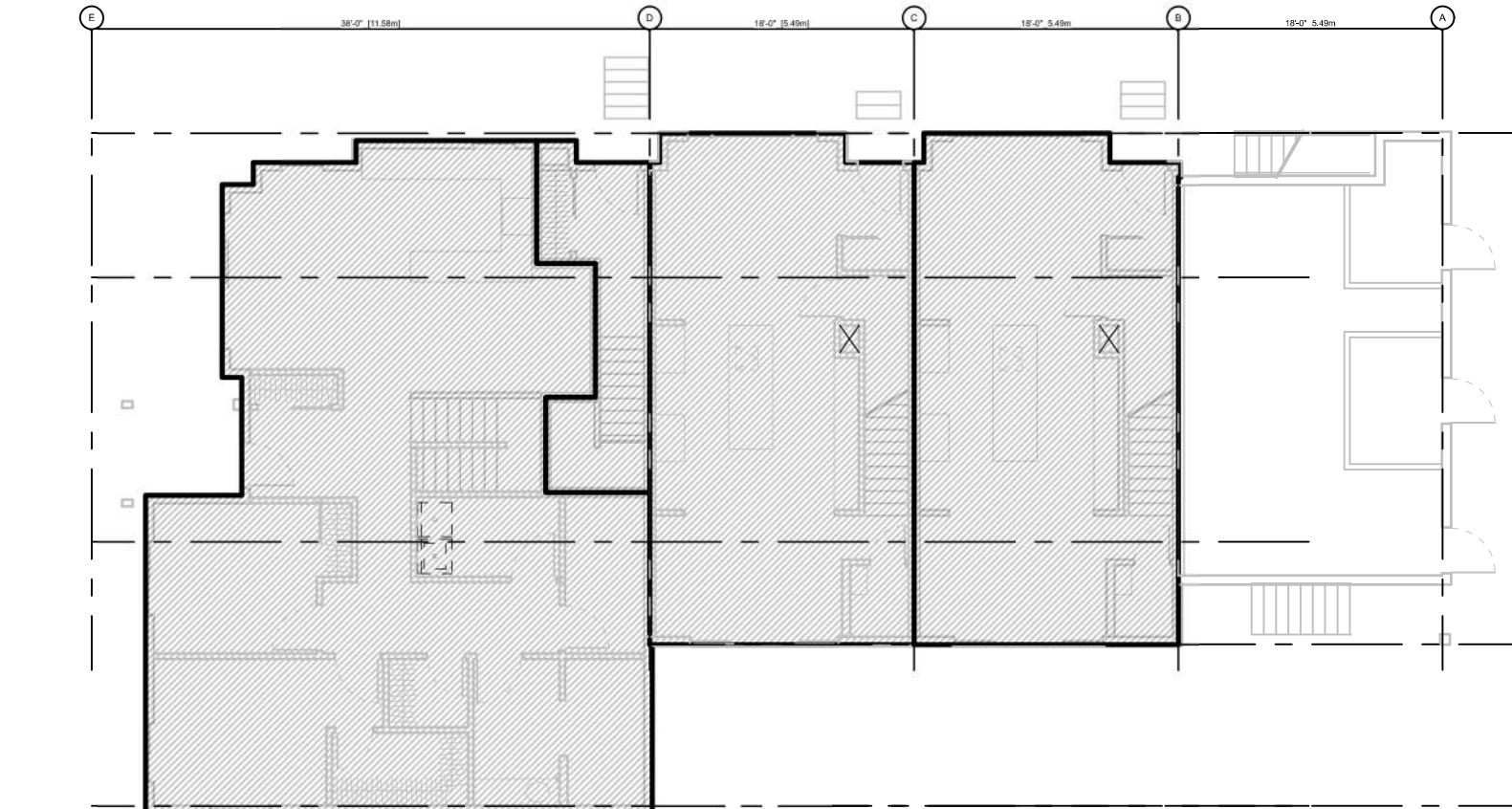
2.3 GFA DIAGRAM - FLOOR 3

Scale: 1:150



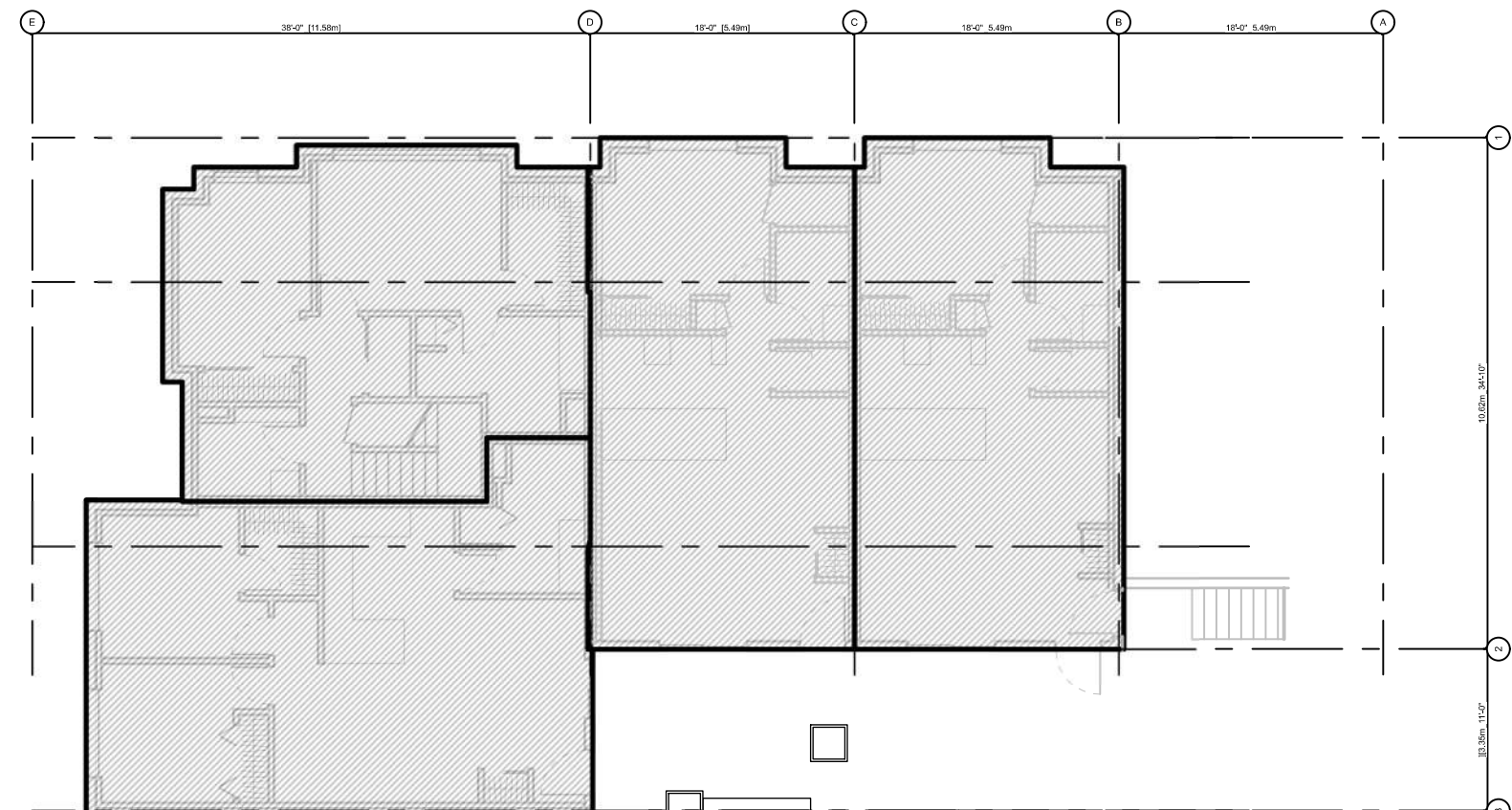
2.2 GFA DIAGRAM - FLOOR 2

Scale: 1:150



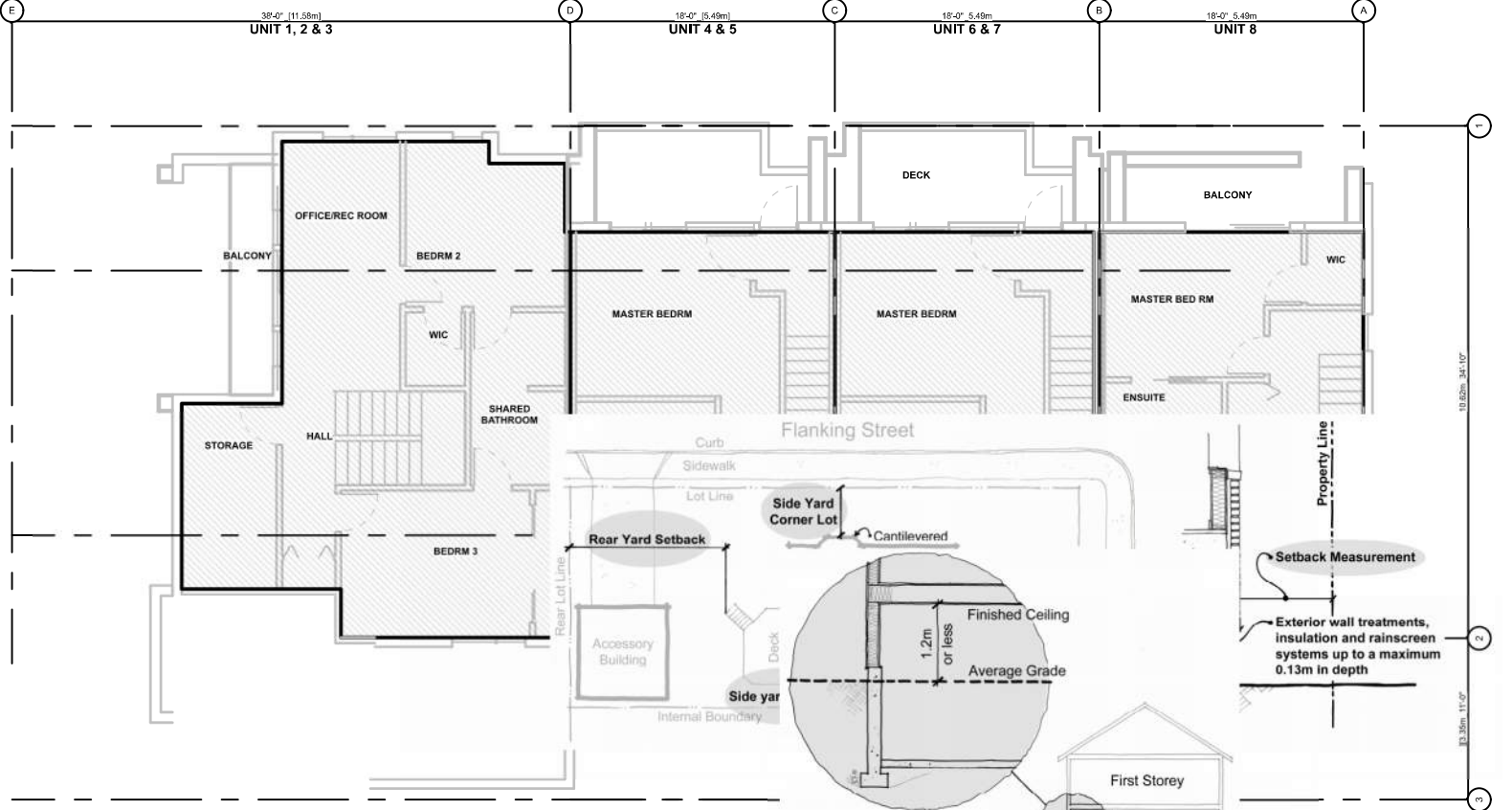
2.1 GFA DIAGRAM - FLOOR 1

Scale: 1:150



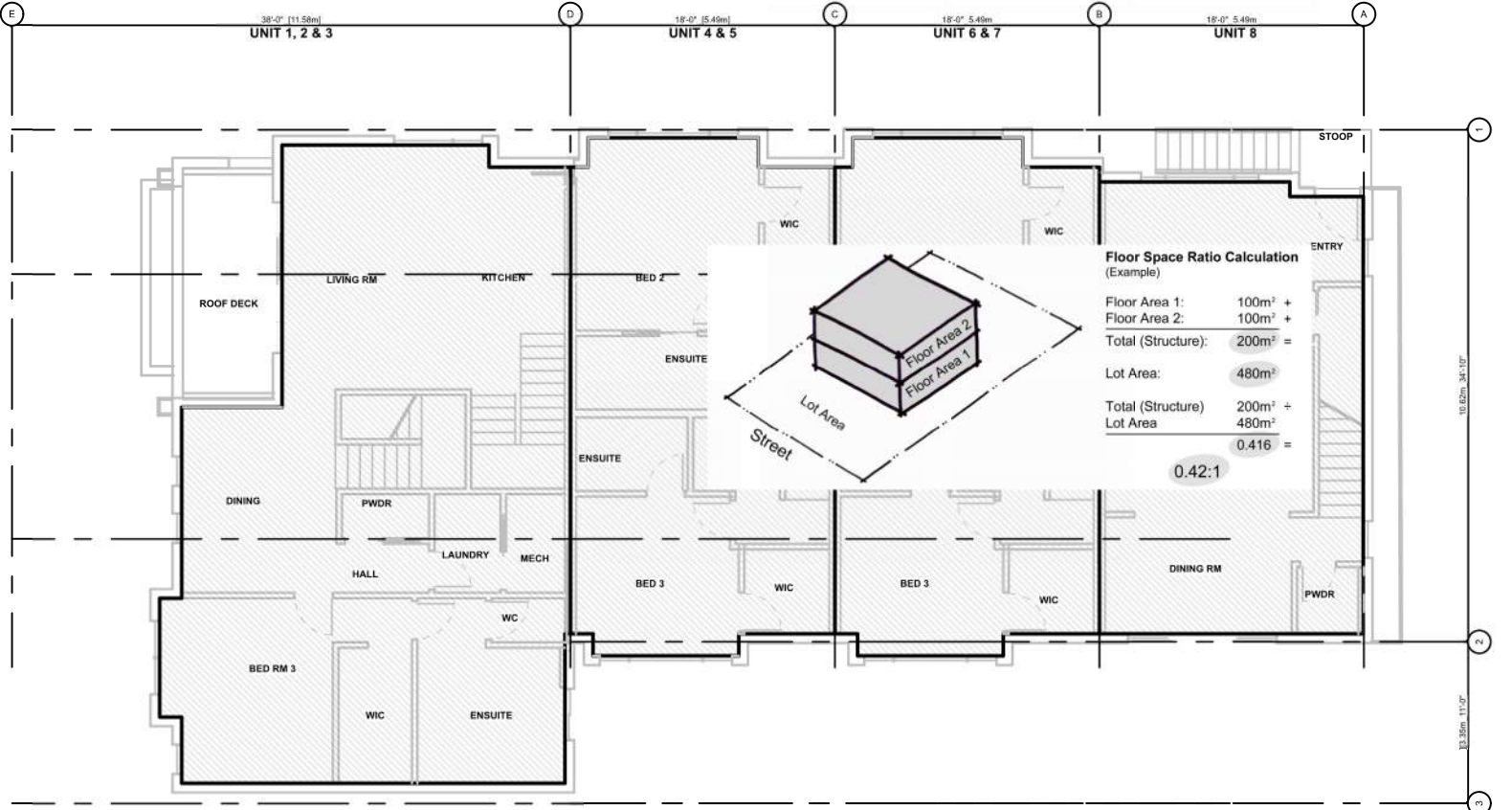
2.0 GFA DIAGRAM - BASEMENT

Scale: 1:150



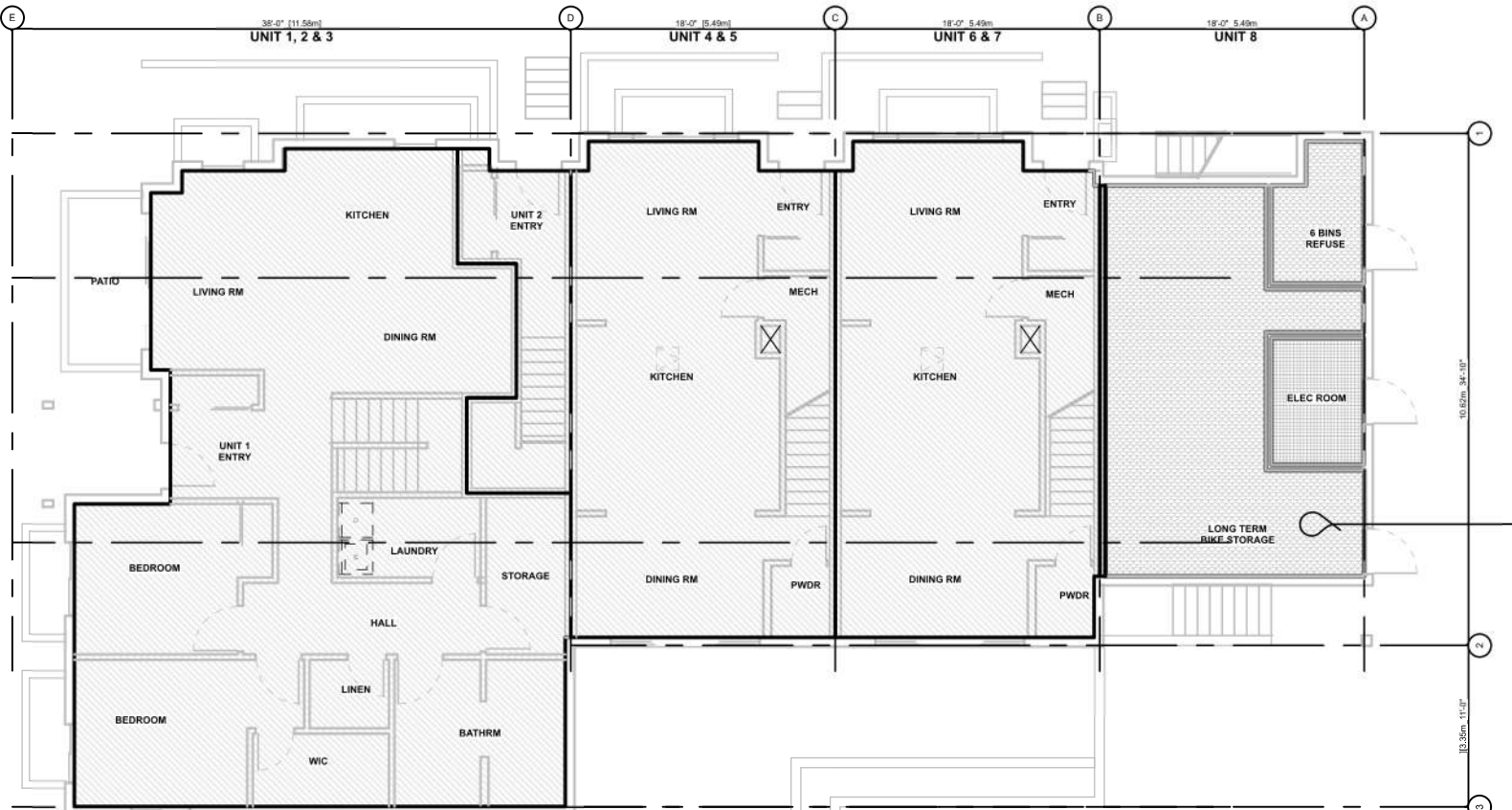
1.3 FAR DIAGRAM - FLOOR 3

Scale: 1:150



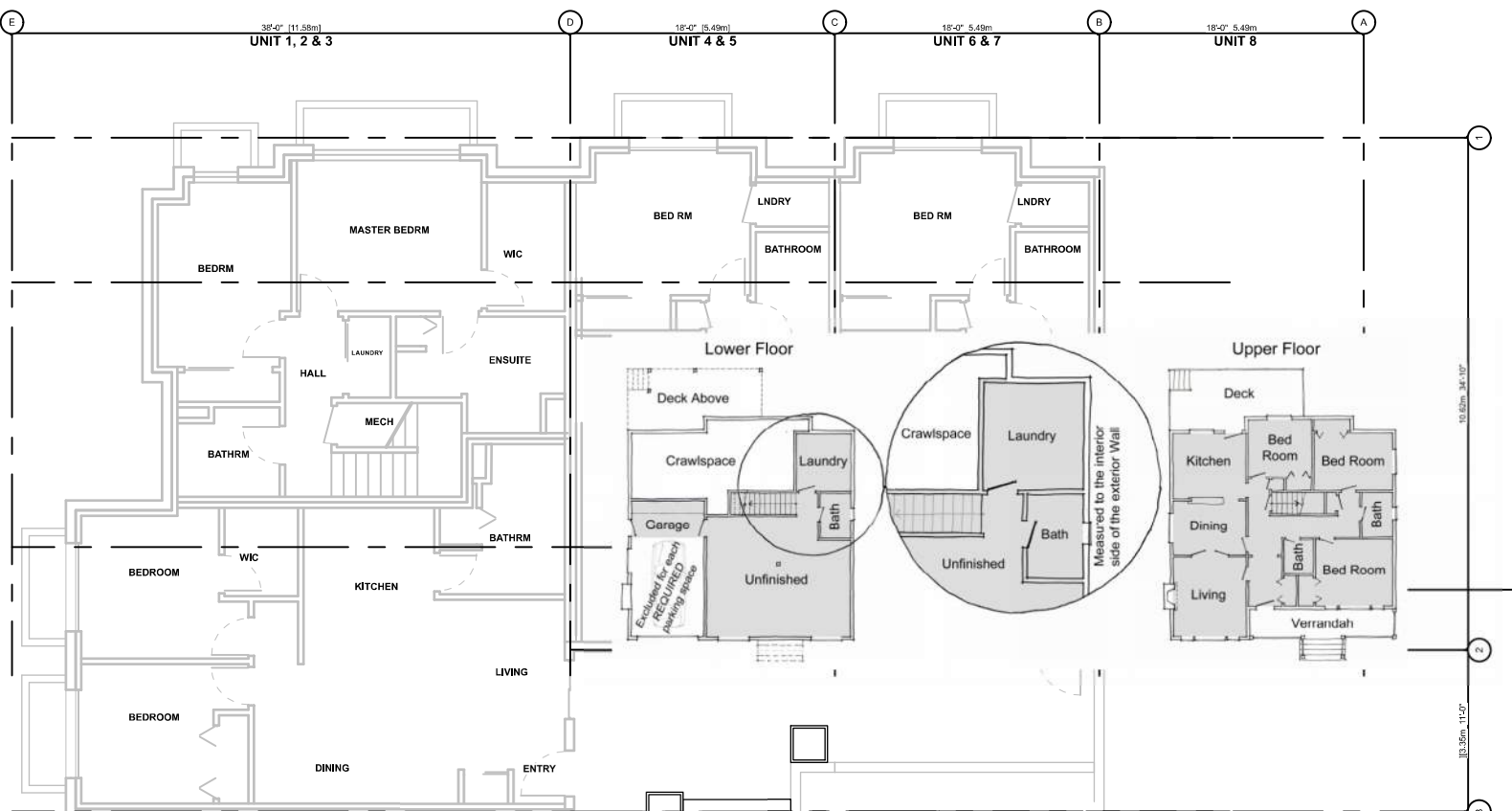
1.2 FAR DIAGRAM - FLOOR 2

Scale: 1:150



1.1 FAR DIAGRAM - FLOOR 1

Scale: 1:150



1.0 FAR DIAGRAM - BASEMENT

Scale: 1:150

"Area" when used in reference to a floor of a storey of a building means the entire area which in plan is enclosed by the interior face of the exterior walls of the storey at floor level plus the area enclosed by any cantilevered element that is within that storey and that is above floor level, but does not include of the following areas:

- the area used or intended to be used for required parking or movement of motor vehicles, as set out in this bylaw, which is calculated starting from the lowest level of the building;
- the area used or intended to be used for required Bicycle Parking, Long Term, as set out in this bylaw, which is calculated starting from the lowest level of the building;
- the area or areas of balconies, enclosed decks, patios or porches; and

Artificial Mounds above existing grade (Not Included)

Existing Grade

Finished Grade

Horizontal distance between grade points = 65m

Perimeter of building = 65m

Grade Points

Grade Point A: 19.0

Grade Point B: 17.5

Grade Point C: 17.5

Grade Point D: 19.2

Grade Point E: 19.3

Grade Point F: 20.4

Grade Point G: 20.2

Grade Point H: 20.4

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Grade Point AA: 20.4

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REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK

2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP
2020-04-29	Revised & Re-Issued for DP
2020-09-21	Revised & Re-Issued for DP
2021-07-20	Revised & Re-Issued for DP
2021-11-21	Revised & Re-Issued for DP
2021-12-16	Revised & Re-Issued for DP
2022-03-30	Revised & Re-Issued for DP
2022-04-11	Revised & Re-Issued for DP
2022-05-10	Revised & Re-Issued for DP
2022-10-06	Revised & Re-Issued for DP
2022-11-04	Revised & Re-Issued for DP
2022-11-14	Revised & Re-Issued for DP
2022-11-25	Revised & Re-Issued for DP
2023-12-21	ISSUED FOR BP
2024-02-17	BP REVISION "A"
2024-05-30	ISSUED FOR DP

Name: _____

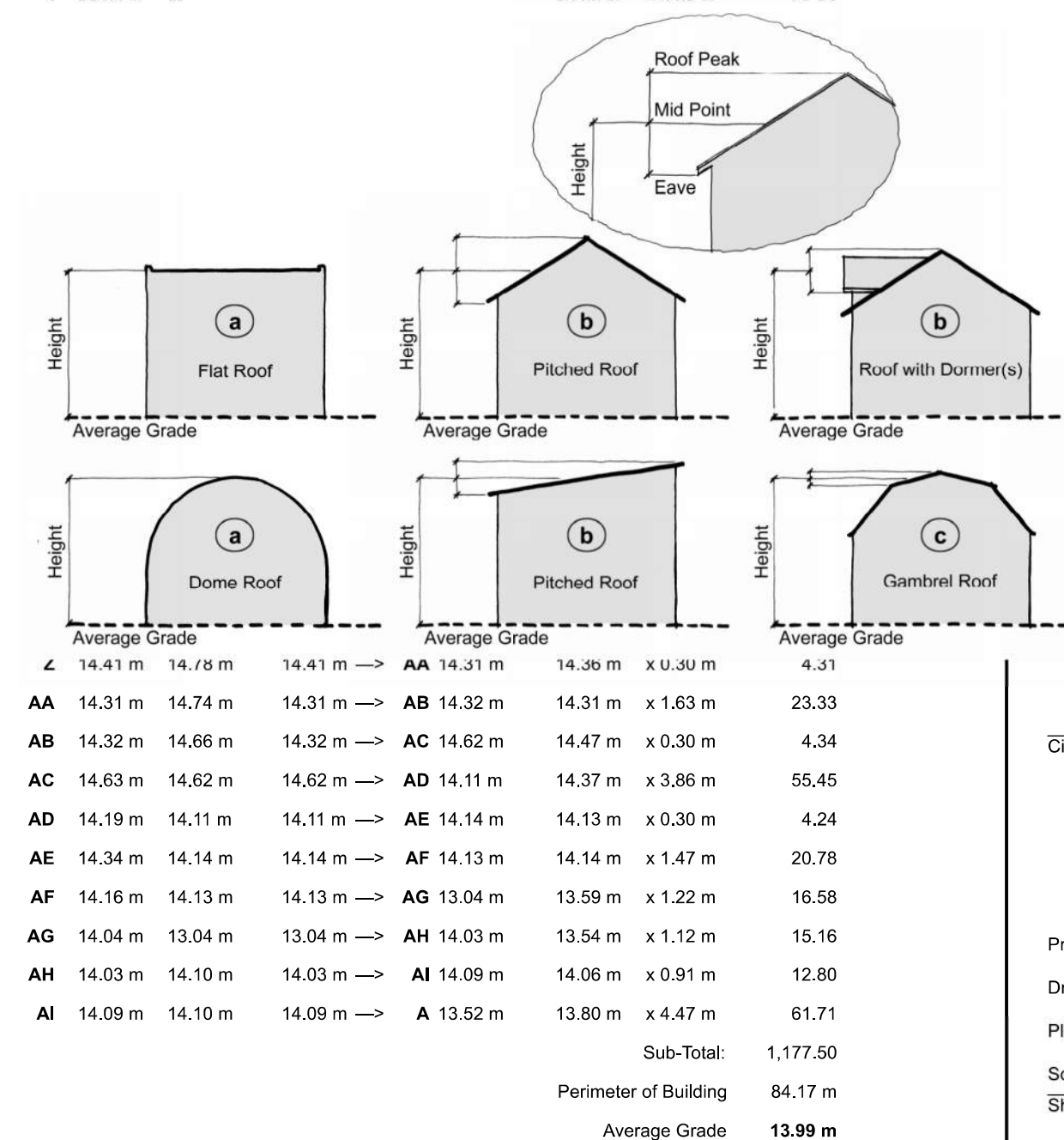
LeParc

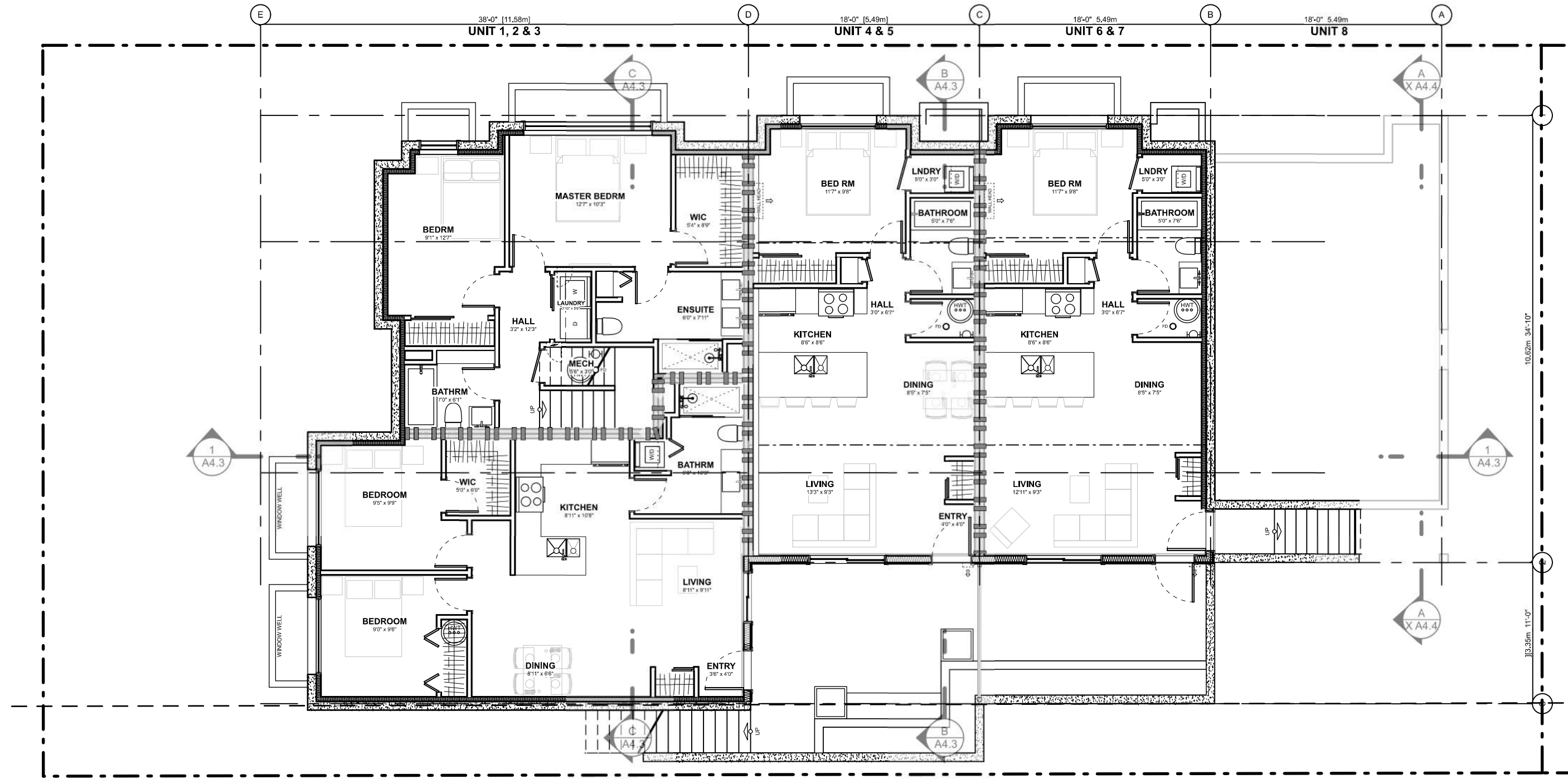
Project No: 19.0
Drawn By: SG/T
Plot Date: 2025-04-
Scale: 1:1
Sheet No:

A2.3

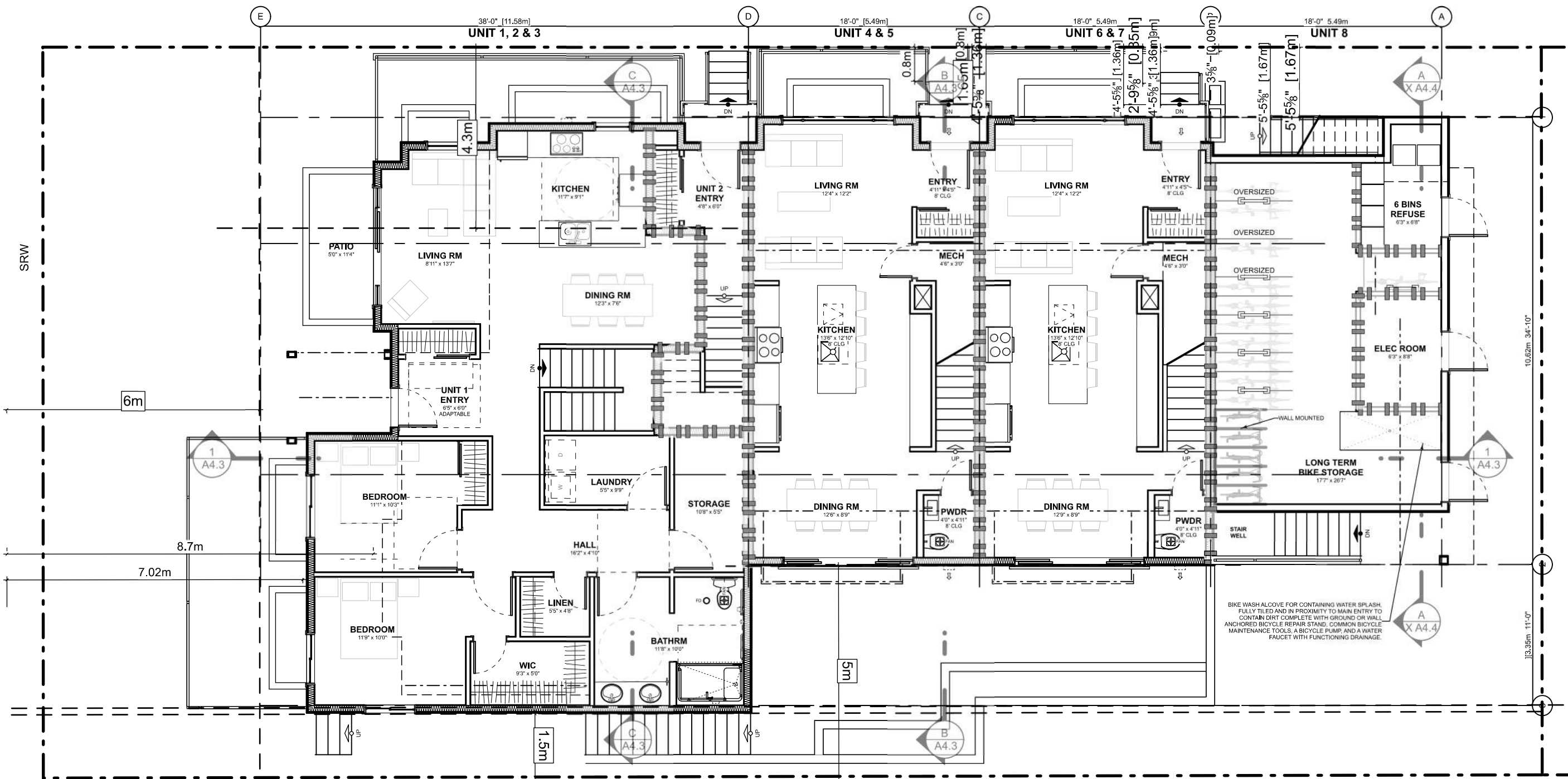
[illegible]

PT	Natural Grade	Finished Grade	Lowest Grade	PT	Lowest Grade	Average	Distance	Total
A	13.98 m	13.52 m	13.52 m →	B	13.52 m	13.52 m	x 9.35 m	126.4
B	13.56 m	13.52 m	13.52 m →	C	13.41 m	13.47 m	x 2.08 m	28.0
C	13.41 m	13.52 m	13.52 m →	D	13.56 m	Step Down		
D	13.56 m	15.01 m	13.56 m →	E	12.71 m	13.13 m	x 3.56 m	46.7
E	14.19 m	12.71 m	12.71 m →	F	13.52 m	13.12 m	x 1.27 m	16.6
F	14.26 m	13.52 m	13.52 m →	G	11.97 m	Step Up		
G	14.36 m	11.97 m	11.97 m →	H	11.97 m	11.97 m	x 7.92 m	94.8
H	14.16 m	11.97 m	11.97 m →	I	11.97 m	11.97 m	x 3.51 m	42.0
I	14.03 m	14.03 m	14.03 m →	J	14.44 m	13.20 m	x 3.65 m	48.3

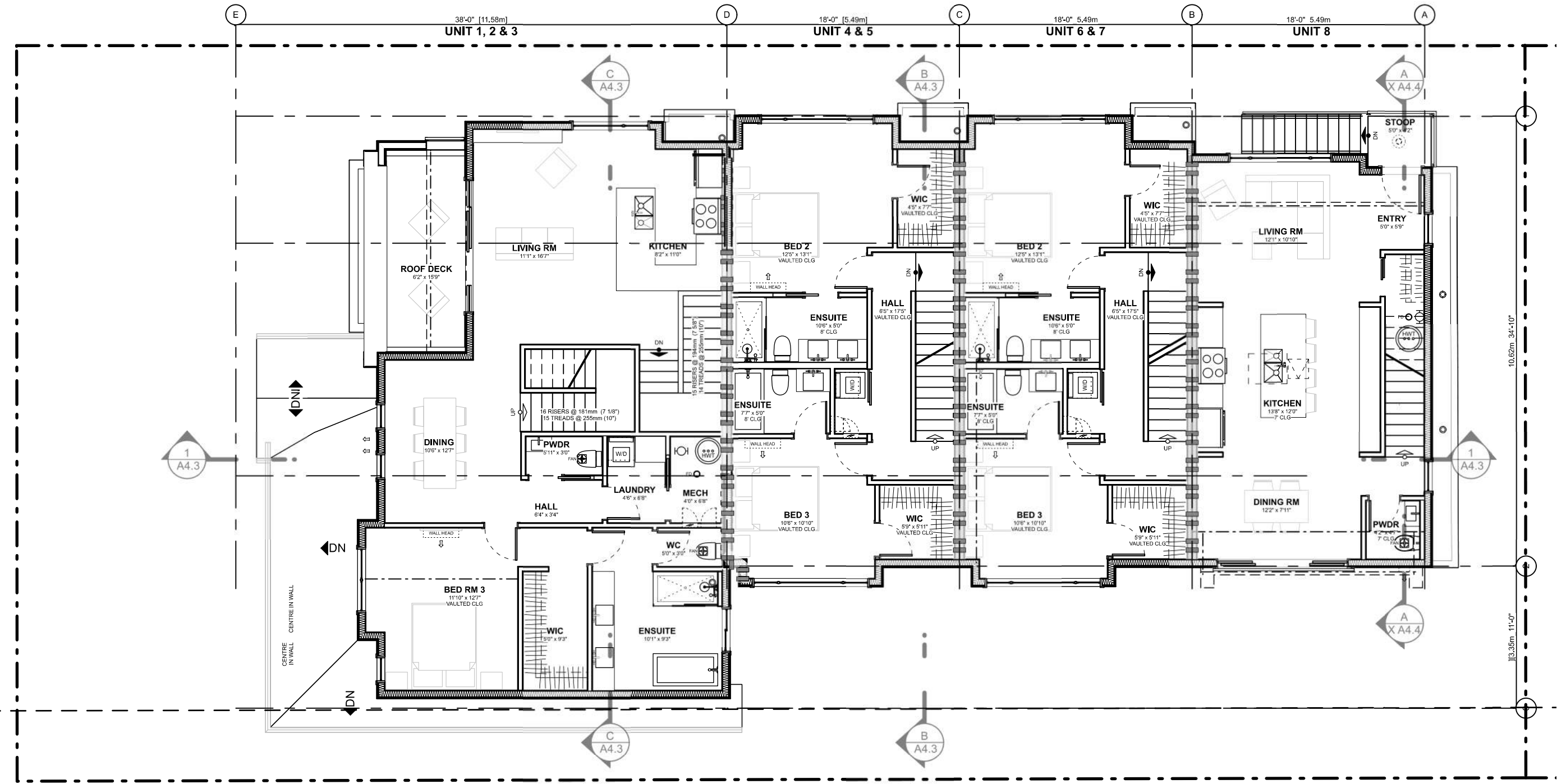




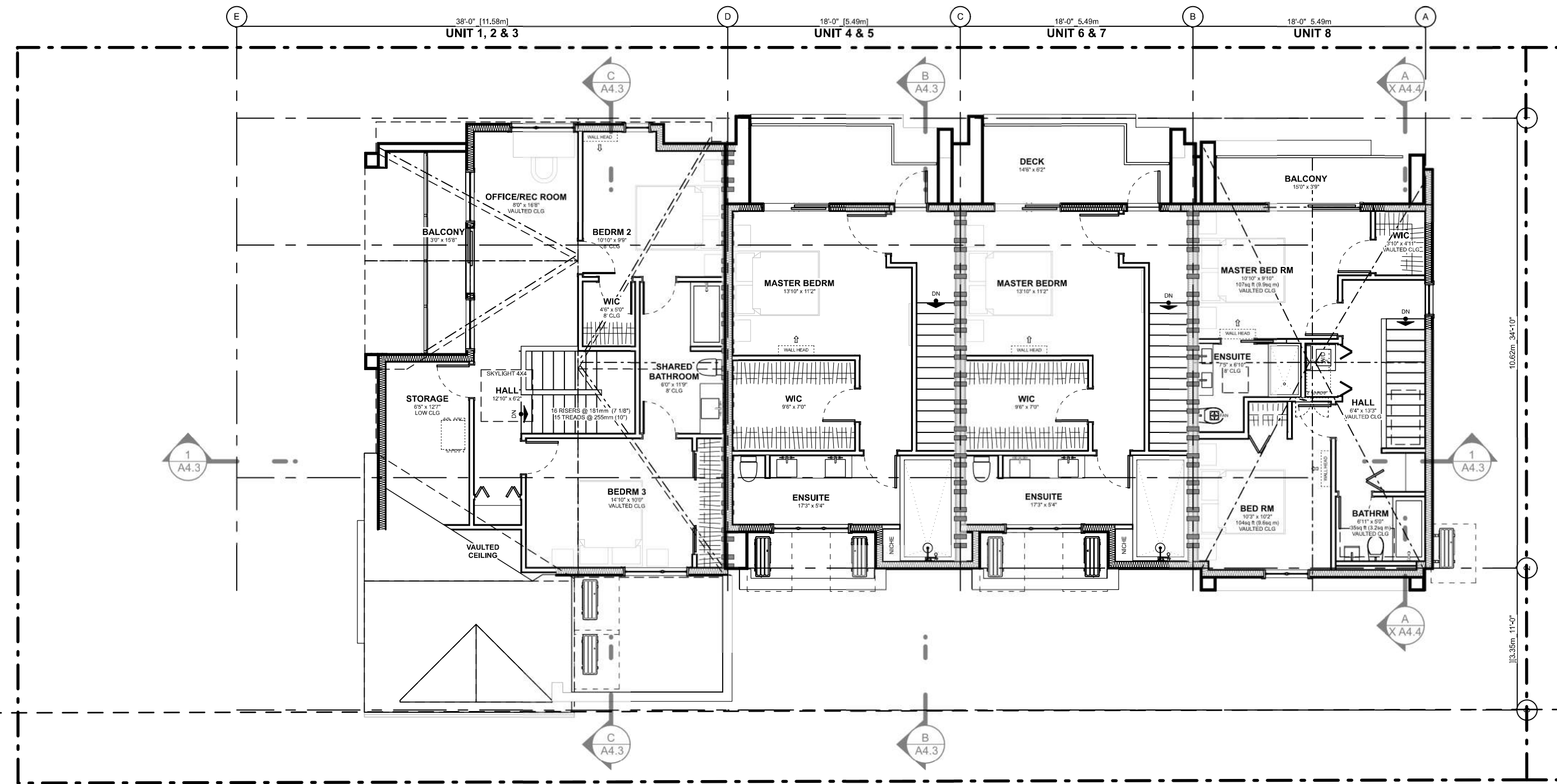
0 BASEMENT FLOOR PLAN
Scale: 1:100



1 MAIN FLOOR PLAN
Scale: 1:100



2 SECOND FLOOR PLAN
Scale: 1:100



3 THIRD FLOOR PLAN
Scale: 1:100

DIMENSION NOTES:

- 1) EXTERIOR DIMENSIONS TO FACE OF PLYWOOD SHEATHING WHICH IS IN LINE WITH CONCRETE FOUNDATION WALL.
- 2) INTERIOR DIMENSIONS TO CENTRE LINE OF WALL OR FACE OF FINISHED WALL.
- 3) WALLS ARE DRAWN FULL WIDTH INCLUDING DRYWALL.
- 4) GRIDLINES TO FACE OF FOUNDATION WALL OR C/L OF DEMISING WALLS

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal



Issued

2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP
2020-04-29	Revised & Re-Issued for DP
2020-09-21	Revised & Re-Issued for DP
2021-07-20	Revised & Re-Issued for DP
2021-11-21	Revised & Re-Issued for DP
2021-12-16	Revised & Re-Issued for DP
2022-03-30	Revised & Re-Issued for DP
2022-04-11	Revised & Re-Issued for DP
2022-05-10	Revised & Re-Issued for DP
2022-10-06	Revised & Re-Issued for DP
2022-11-04	Revised & Re-Issued for DP
2022-11-14	Revised & Re-Issued for DP
2022-11-25	Revised & Re-Issued for DP
2023-12-21	ISSUED FOR BP
2024-02-17	BP REVISION "A"
2024-05-30	ISSUED FOR DP

FLOOR PLANS

Project Name:

LeParc

Civic:

KIPLING ST & THURLOW
ST

Project No:

19.015

Drawn By:

SG/TD

Plot Date:

2025-04-17

Scale:

1:100

Sheet No:

A3.0

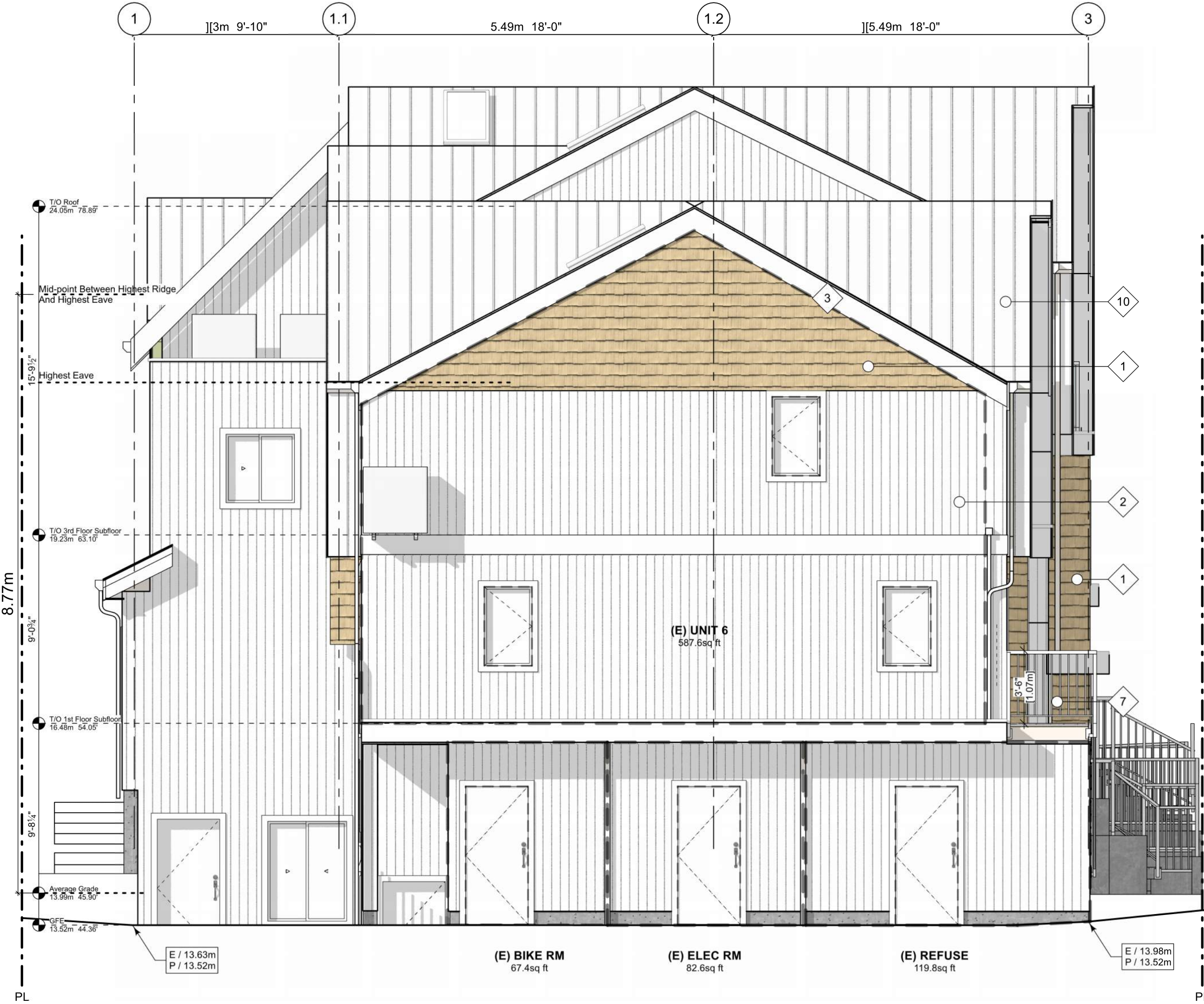
EXTERIOR MATERIALS SUMMARY

NO.	DESCRIPTION	MATERIAL	COLOUR
1	CLADDING SHINGLES	CEMENTITIOUS HARDIE STAGGERED EDGE	GOLDEN BEHVE (TBC BY THE ARCHITECT)
2	CLADDING VERTICAL SIDING	CEMENTITIOUS NICHHA LATURA V-GROOVE	WHITE
3	FASCIA	CEMENTITIOUS HARDIE SMOOTH	ARTIC WHITE
4	TRIMS & PANELS	CEMENTITIOUS HARDIE SMOOTH	ARTIC WHITE
5	CLADDING HORIZONTAL	CEDAR 1X4	CLEAR
6	WINDOW FRAME	VINYL	WHITE
7	GLASS RAILING	GUARDRAIL WITH ALUMINUM FRAME ALL GUARDRAILS TO HAVE 1/2" GLASS AND TO BE DESIGNED AND SEALED BY P.E.N.G. SCHEDULE "S-B" TO BE PROVIDED UNDER ARCHITECT'S SCHEDULE "B"	WHITE
8	METAL CAP FLASHING		WHITE
9	METAL CLADDING	STANDING SEAM	WHITE
10	METAL ROOF	STANDING SEAM	WHITE
11	EXPOSED CONCRETE	CAST IN PLACE CONCRETE	GREY
12	SKYLIGHT	VINYL	WHITE
13	GUTTER & DOWNSPOUT		WHITE
14	HEAT PUMP	SEE MECHANICAL	
15	WALL VENT	SEE MECHANICAL	WHITE
16	GARAGE DOOR		WHITE
17	SOFFITS, WOOD	1X4 T&G PLANKS WESTERN RED CEDAR	CLEAR

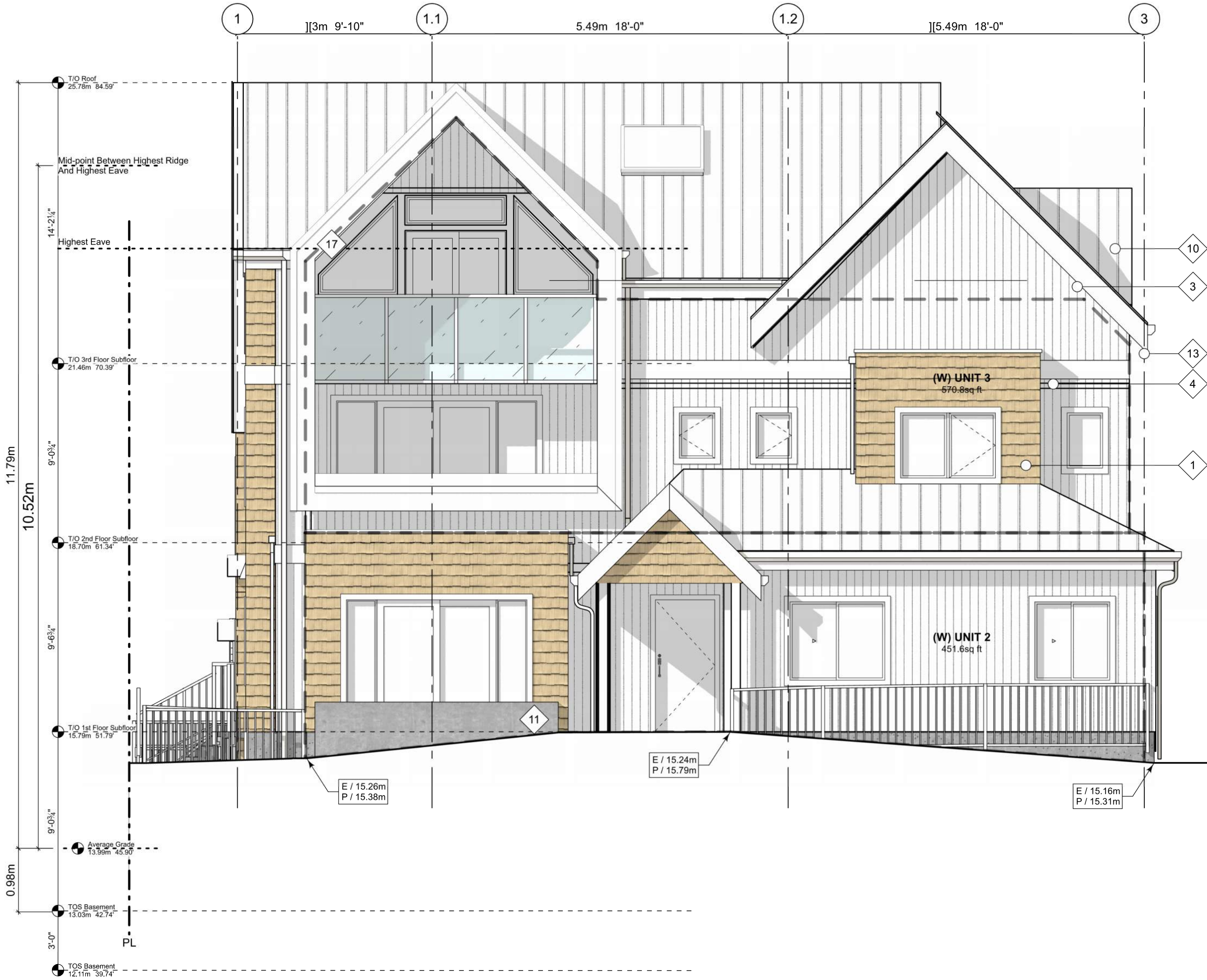
ALL MATERIALS AS NOTED OR APPROVED ALTERNATE

SPATIAL SEPARATION (9.10.14.) - BLOCK 02 (NOT SPRINKLERED)

COMPARTMENT	AREA OF FACADE	LIMITING DISTANCE (LD)		UNPROTECTED OPENINGS		CONSTRUCTION OF BUILDING FACE	CLADDING
				PERMITTED	ACTUAL		
NORTH FACADE							
(N) UNIT 3	56.1 m2	11.37 m	to C/L KIPLING ST.	95.0 % 53.3 m2	17.9 % 10.1 m2	C, 45 MIN	C or NC
(N) UNIT 4	50.0 m2	11.37 m	to C/L KIPLING ST.	95.0 % 47.5 m2	38.6 % 19.3 m2	C, 45 MIN	C or NC
(N) UNIT 6	52.4 m2	11.37 m	to C/L KIPLING ST.	95.0 % 49.8 m2	36.9 % 19.3 m2	C, 45 MIN	C or NC
(N) UNIT 8	45.4 m2	11.37 m	to C/L KIPLING ST.	LD EXCEEDS 8.0M, UPO ALLOWED > 100%		C, 45 MIN	C or NC
EAST FACADE							
(E) UNIT 6	54.6 m2	5.75 m	TO PL	32.0 % 17.5 m2	4.4 % 2.4 m2	C, 60 MIN	C or NC
(E) REFUSE	20.9 m2	5.75 m	TO PL	81.9 % 17.1 m2	8.9 % 1.9 m2	C, 45 MIN	C or NC
(E) ELEC RM	7.7 m2	5.75 m	TO PL	81.9 % 6.3 m2	24.2 % 1.9 m2	C, 45 MIN	C or NC
(E) BIKE RM	6.3 m2	5.75 m	TO PL	81.9 % 5.1 m2	29.7 % 1.9 m2	C, 45 MIN	C or NC
SOUTH FACADE							
(S) UNIT 1	93.3 m2	1.71 m	to PL	8.4 % 7.9 m2	3.3 % 3.1 m2	C, 45 MIN	C or NC
(S) UNIT 4	62.6 m2	5.00 m	to PL	26.0 % 16.3 m2	23.0 % 14.4 m2	C, 45 MIN	C or NC
(S) UNIT 6	62.6 m2	5.00 m	to PL	26.0 % 16.3 m2	23.0 % 14.4 m2	C, 45 MIN	C or NC
(S) UNIT 8	51.0 m2	5.00 m	to PL	26.0 % 13.3 m2	15.6 % 8.0 m2	C, 45 MIN	C or NC
WEST FACADE							
(W) UNIT 2	42.0 m2	14.63 m	TO C/L FAIRFIELD RD. LD EXCEEDS 8.0M, UPO ALLOWED > 100%			C, 45 MIN	C or NC
(W) UNIT 3	53.0 m2	14.63 m	TO C/L FAIRFIELD RD. LD EXCEEDS 12.0M, UPO ALLOWED > 100%			C, 45 MIN	C or NC
9.10.14.2.(2) FIRE COMPARTMENTS ARE TO BE A MIN. OF 45MIN FRR				** LIMITING DISTANCE SQUARED			
9.10.14.3. ASSUMES FIRE DEPARTMENT RESPONSE TIME IS < 10MIN							



2 EAST ELEVATION - DRIVEWAY
Scale: 1:50



3 WEST ELEVATION - FAIRFIELD ROAD
Scale: 1:50

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2024-05-30	ISSUED FOR DP

ELEVATIONS

Project Name:
LeParc

Civic:
KIPLING ST & THURLOW ST

Project No: 19.015
Drawn By: SG/TD
Plot Date: 2025-04-17
Scale: 1:50
Sheet No:

EXTERIOR MATERIALS SUMMARY

NO.	DESCRIPTION	MATERIAL	COLOUR
1	CLADDING SHINGLES	CEMENTITIOUS HARDIE STAGGERED EDGE	GOLDEN BEHVE (TBC BY THE ARCHITECT)
2	CLADDING VERTICAL SIDING	CEMENTITIOUS NICHHA LATURA V-GROOVE	WHITE
3	FASCIA	CEMENTITIOUS HARDIE SMOOTH	ARTIC WHITE
4	TRIMS & PANELS	CEMENTITIOUS HARDIE SMOOTH	ARTIC WHITE
5	CLADDING HORIZONTAL	CEDAR 1X4	CLEAR
6	WINDOW FRAME	VINYL	WHITE
7	GLASS RAILING	GUARDRAIL WITH ALUMINUM FRAME ALL GUARDRAILS TO HAVE 1/2" GLASS AND TO BE DESIGNED AND SEALED BY P.E.N.G. SCHEDULE "S-B" TO BE PROVIDED UNDER ARCHITECT'S SCHEDULE "B"	WHITE
8	METAL CAP FLASHING		WHITE
9	METAL CLADDING	STANDING SEAM	WHITE
10	METAL ROOF	STANDING SEAM	WHITE
11	EXPOSED CONCRETE	CAST IN PLACE CONCRETE	GREY
12	SKYLIGHT	VINYL	WHITE
13	GUTTER & DOWNSPOUT		WHITE
14	HEAT PUMP	SEE MECHANICAL	
15	WALL VENT	SEE MECHANICAL	WHITE
16	GARAGE DOOR		WHITE
17	SOFFITS, WOOD	1X4 T&G PLANKS WESTERN RED CEDAR	CLEAR

ALL MATERIALS AS NOTED OR APPROVED ALTERNATE

SPATIAL SEPARATION (9.10.14.) - BLOCK 02 (NOT SPRINKLERED)

COMPARTMENT	AREA OF FACADE	LIMITING DISTANCE (LD)		UNPROTECTED OPENINGS		CONSTRUCTION OF BUILDING FACE	CLADDING
				PERMITTED	ACTUAL		
NORTH FACADE							
(N) UNIT 3	56.1 m2	11.37 m	to C/L KIPLING ST.	95.0 % 53.3 m2	17.9 % 10.1 m2	C, 45 MIN	C or NC
(N) UNIT 4	50.0 m2	11.37 m	to C/L KIPLING ST.	95.0 % 47.5 m2	38.6 % 19.3 m2	C, 45 MIN	C or NC
(N) UNIT 6	52.4 m2	11.37 m	to C/L KIPLING ST.	95.0 % 49.8 m2	36.9 % 19.3 m2	C, 45 MIN	C or NC
(N) UNIT 8	45.4 m2	11.37 m	to C/L KIPLING ST.	LD EXCEEDS 8.0M, UPO ALLOWED > 100%		C, 45 MIN	C or NC
EAST FACADE							
(E) UNIT 6	54.6 m2	5.75 m	TO PL	32.0 % 17.5 m2	4.4 % 2.4 m2	C, 60 MIN	C or NC
(E) REFUSE	20.9 m2	5.75 m	TO PL	81.9 % 17.1 m2	8.9 % 1.9 m2	C, 45 MIN	C or NC
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SOUTH FACADE							
(S) UNIT 1	93.3 m2	1.71 m	to PL	8.4 % 7.9 m2	3.3 % 3.1 m2	C, 45 MIN	C or NC
(S) UNIT 4	62.6 m2	5.00 m	to PL	26.0 % 16.3 m2	23.0 % 14.4 m2	C, 45 MIN	C or NC
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WEST FACADE							
(W) UNIT 2	42.0 m2	14.63 m	TO C/L FAIRFIELD RD. LD EXCEEDS 8.0M, UPO ALLOWED > 100%			C, 45 MIN	C or NC
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9.10.14.3. ASSUMES FIRE DEPARTMENT RESPONSE TIME IS < 10MIN							



1 NORTH ELEVATION - KIPLING STREET
Scale: 1:50

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ELEVATIONS

Project Name:

LeParc

Civic:

KIPLING ST & THURLOW ST

Project No:

19.015

Drawn By:

SG/TD

Plot Date:

2025-04-17

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12	SKYLIGHT	VINYL	WHITE
13	GUTTER & DOWNSPOUT		WHITE
14	HEAT PUMP	SEE MECHANICAL	
15	WALL VENT	SEE MECHANICAL	WHITE
16	GARAGE DOOR		WHITE
17	SOFFITS, WOOD	1X4 T&G PLANKS WESTERN RED CEDAR	CLEAR

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			PERMITTED	ACTUAL			
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(N) UNIT 6	52.4 m2	11.37 m	to C/L KIPLING ST.	95.0 % 49.8 m2	36.9 % 19.3 m2	C, 45 MIN	C or NC
(N) UNIT 8	45.4 m2	11.37 m	to C/L KIPLING ST.	LD EXCEEDS 8.0M, UPO ALLOWED > 100%		C, 45 MIN	C or NC
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(E) REFUSE	20.9 m2	5.75 m	TO PL	81.9 % 17.1 m2	8.9 % 1.9 m2	C, 45 MIN	C or NC
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SOUTH FACADE							
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WEST FACADE							
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2023-12-21	ISSUED FOR BP
2024-02-17	BP REVISION "A"
2024-05-30	ISSUED FOR DP

Project Name:

LeParc

Civic:

KIPLING ST & THURLOW ST

Project No:

19.015

Drawn By:

SG/TD

Plot Date:

2025-04-17

Scale:

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SECTIONS

Project Name:

LeParc

Civic:

KIPLING ST & THURLOW
ST

Project No: 19.015

Drawn By: SG/TD

Plot Date: 2025-04-17

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Sheet No:

A4.3



1 SECTION
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UNIT 1 & 2 FLOOR
PLANS

Project Name:

LeParc

Civic:

KIPLING ST & THURLOW
ST

Project No: 19,015

Drawn By: SG/TD

Plot Date: 2025-04-17

Scale: 1:50

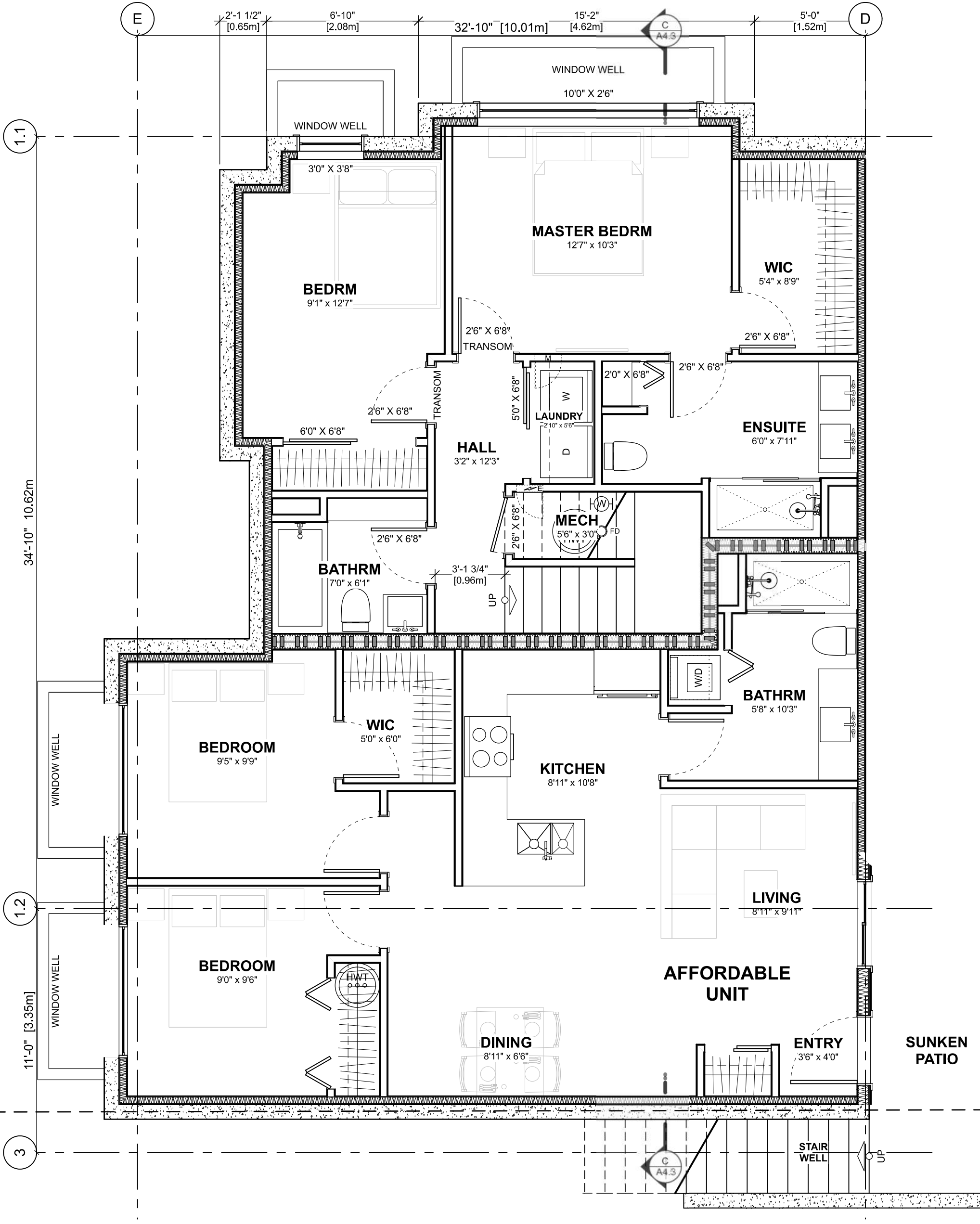
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(604) 812-1869 info@SGAD.ca

www.SGAD.ca

DIMENSION NOTES:

- 1) EXTERIOR DIMENSIONS TO FACE OF PLYWOOD SHEATHING WHICH IS IN LINE WITH CONCRETE FOUNDATION WALL.
- 2) INTERIOR DIMENSIONS TO CENTRE LINE OF WALL OR FACE OF FINISHED WALL.
- 3) WALLS ARE DRAWN FULL WIDTH INCLUDING DRYWALL.
- 4) GRIDLINES TO FACE OF FOUNDATION WALL OR C/L OF DEMISING WALLS

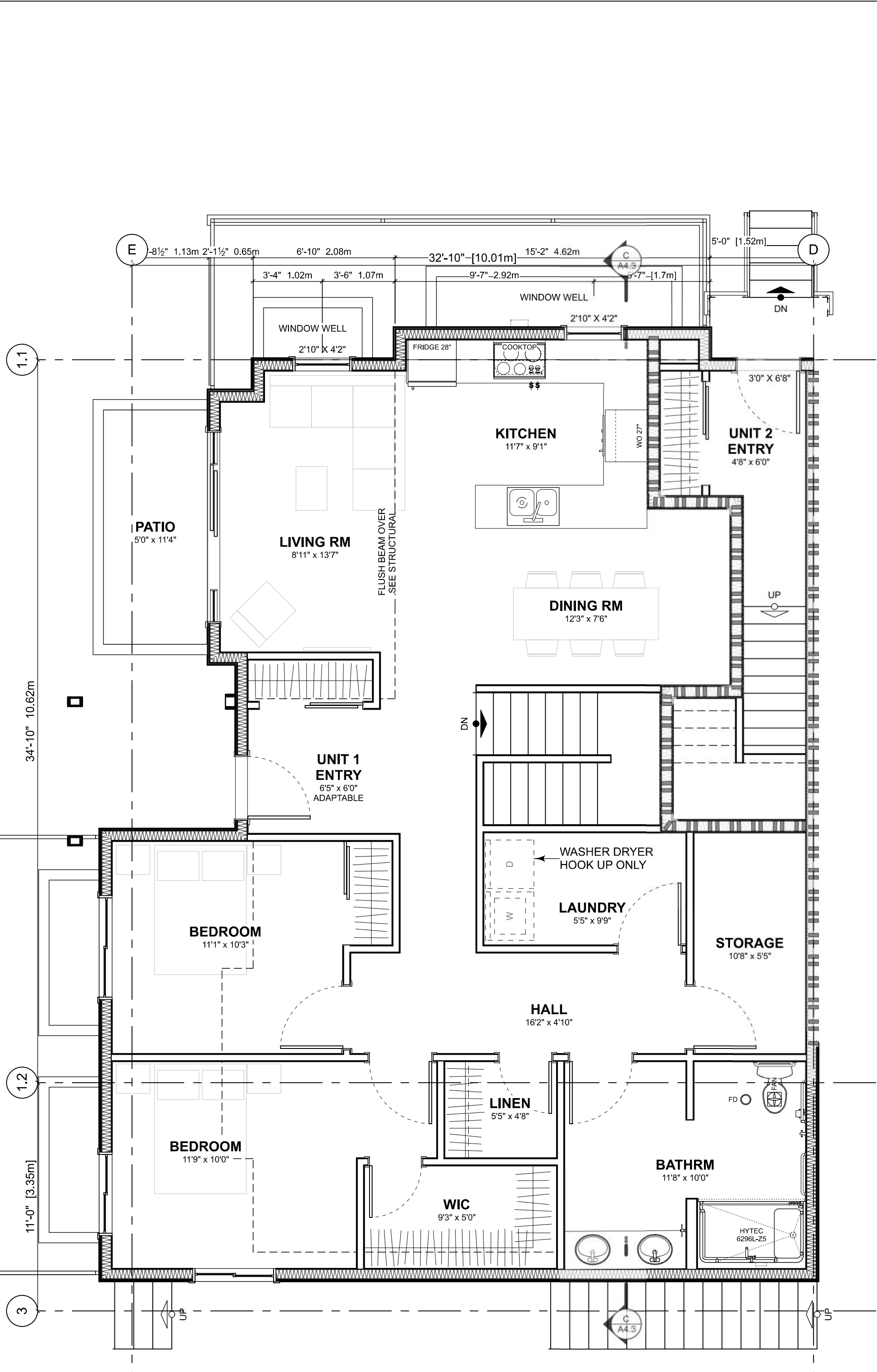


1 BASEMENT FLOOR PLAN

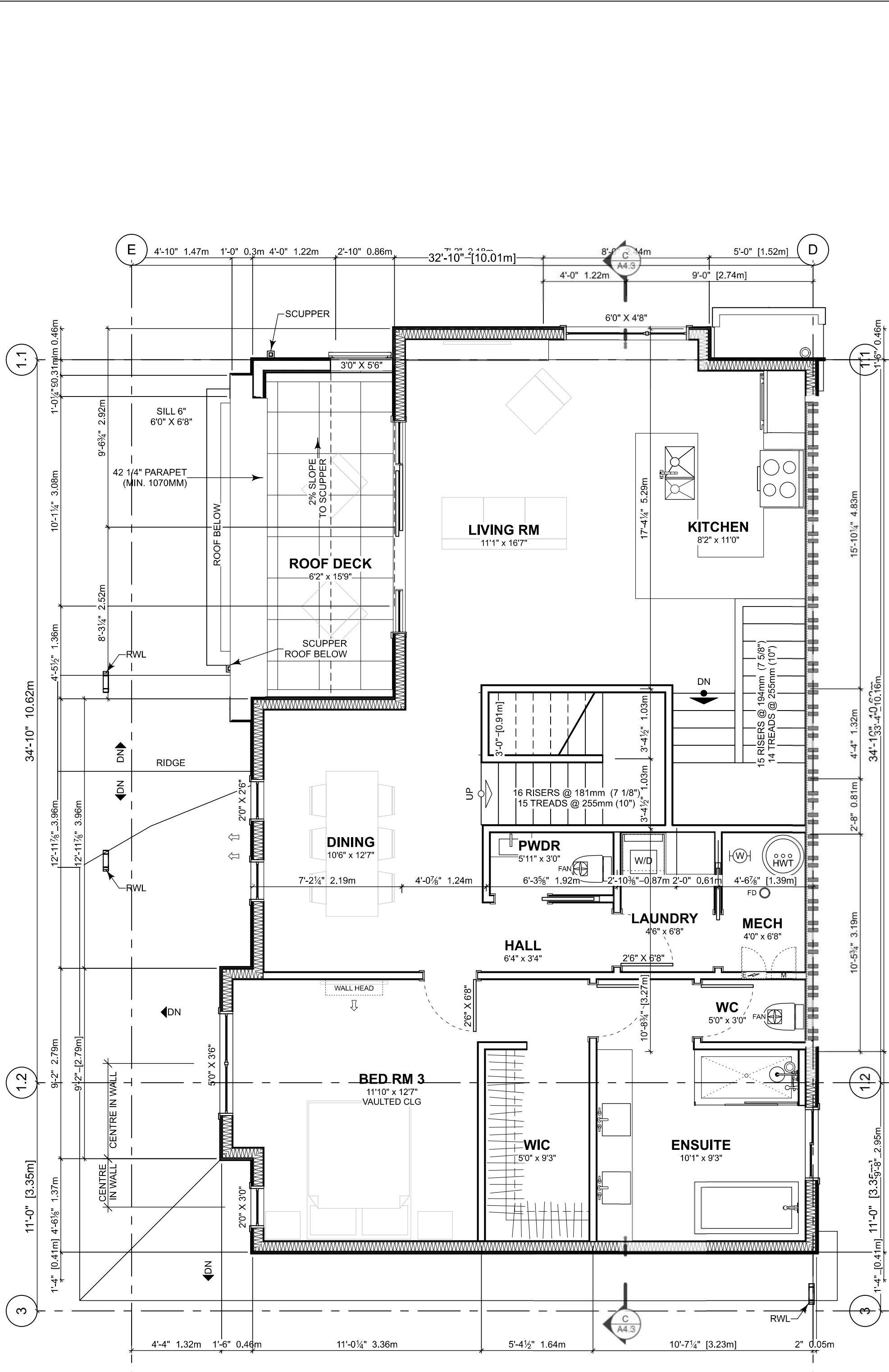
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Floor Area Calculations

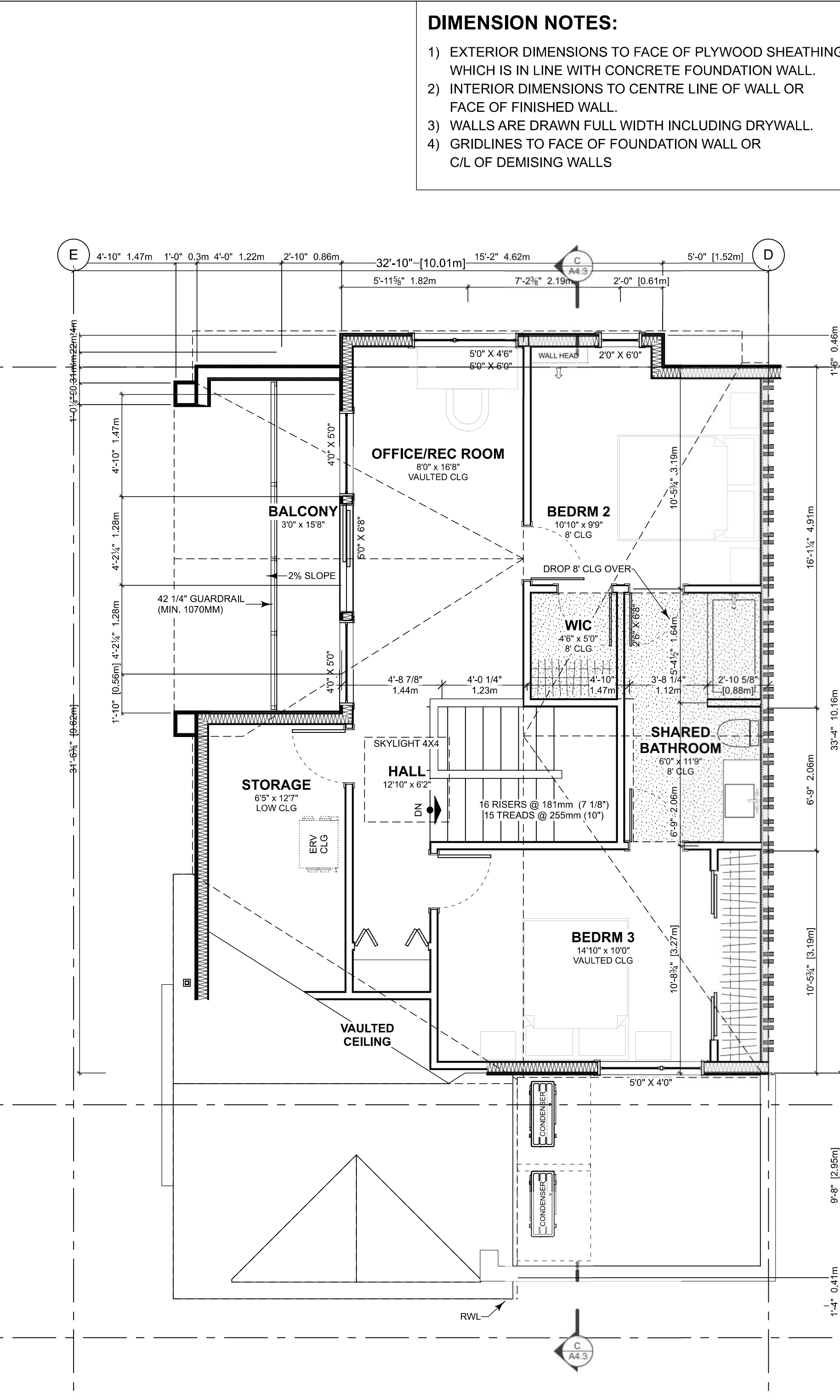
	Unit 1				
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	
Main Floor	1,278 sq ft	118.7 m2	1,213 sq ft	112.7 m2	2
Second Floor	1,088 sq ft	101.0 m2	1,027 sq ft	95.4 m2	1
Third Storey	955 sq ft	88.8 m2	724 sq ft	67.3 m2	2
Totals:	3,321 sq ft	308.5 m2	2,964 sq ft	275.3 m2	5
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	



1 MAIN FLOOR PLAN
Scale: 1:50



2 SECOND FLOOR PLAN
Scale: 1:50



3 THIRD FLOOR PLAN
Scale: 1:50

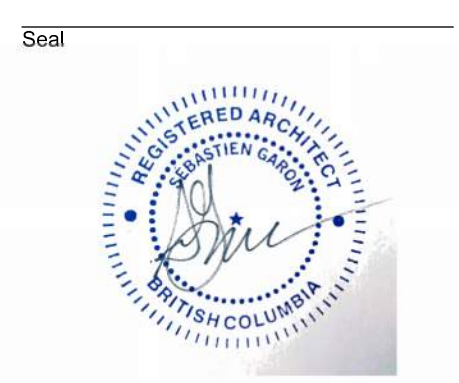
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Floor Area Calculations				Unit 1	
	Gross Floor Area		Zoning Floor Area		Bedrms
Basement Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2	2
Main Floor	1,278 sq ft	118.7 m2	1,213 sq ft	112.7 m2	1
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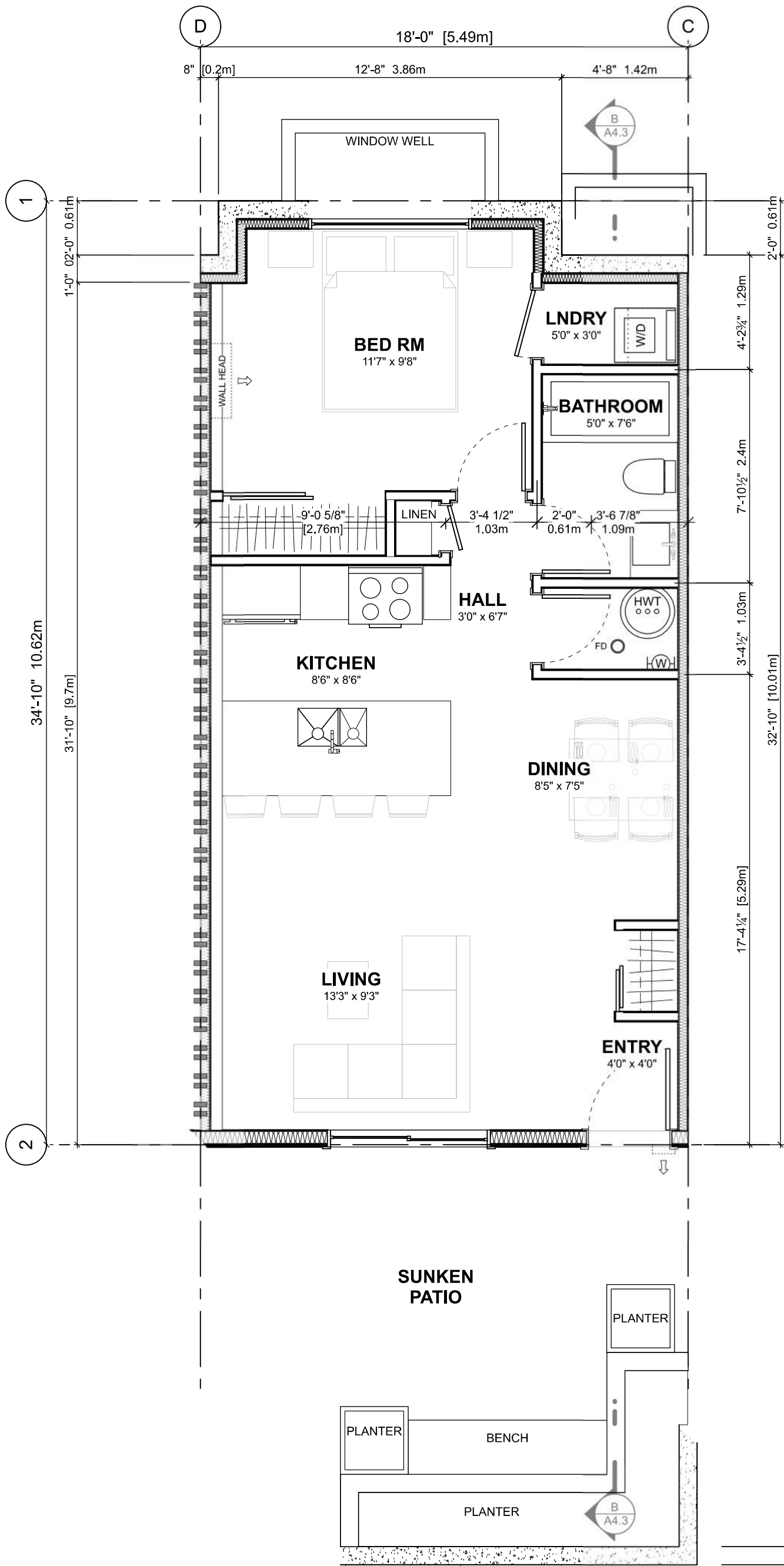
UNIT 2 & 3 FLOOR PLANS

Project Name:

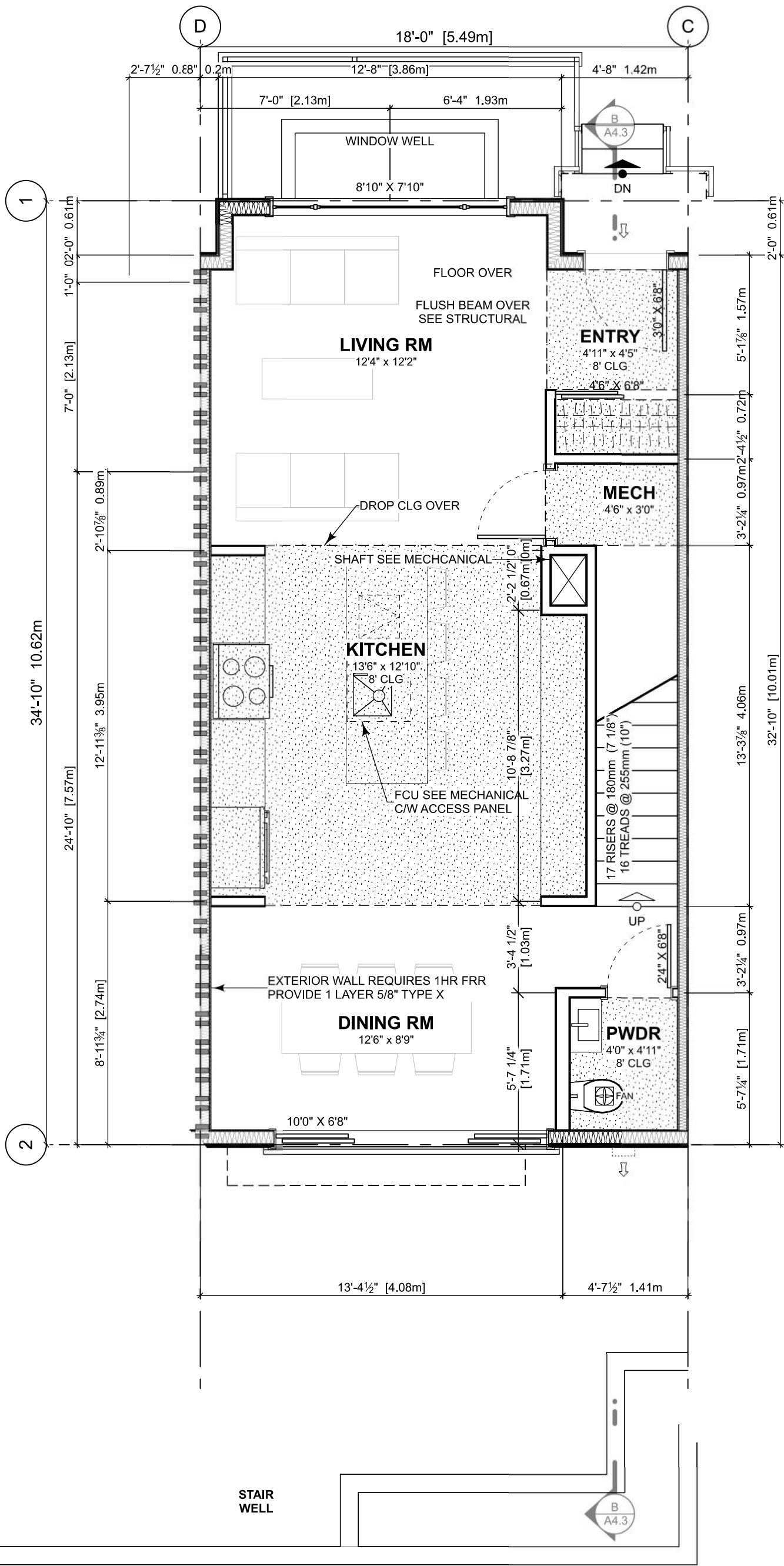
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Civic:
KIPLING ST & THURLOW ST

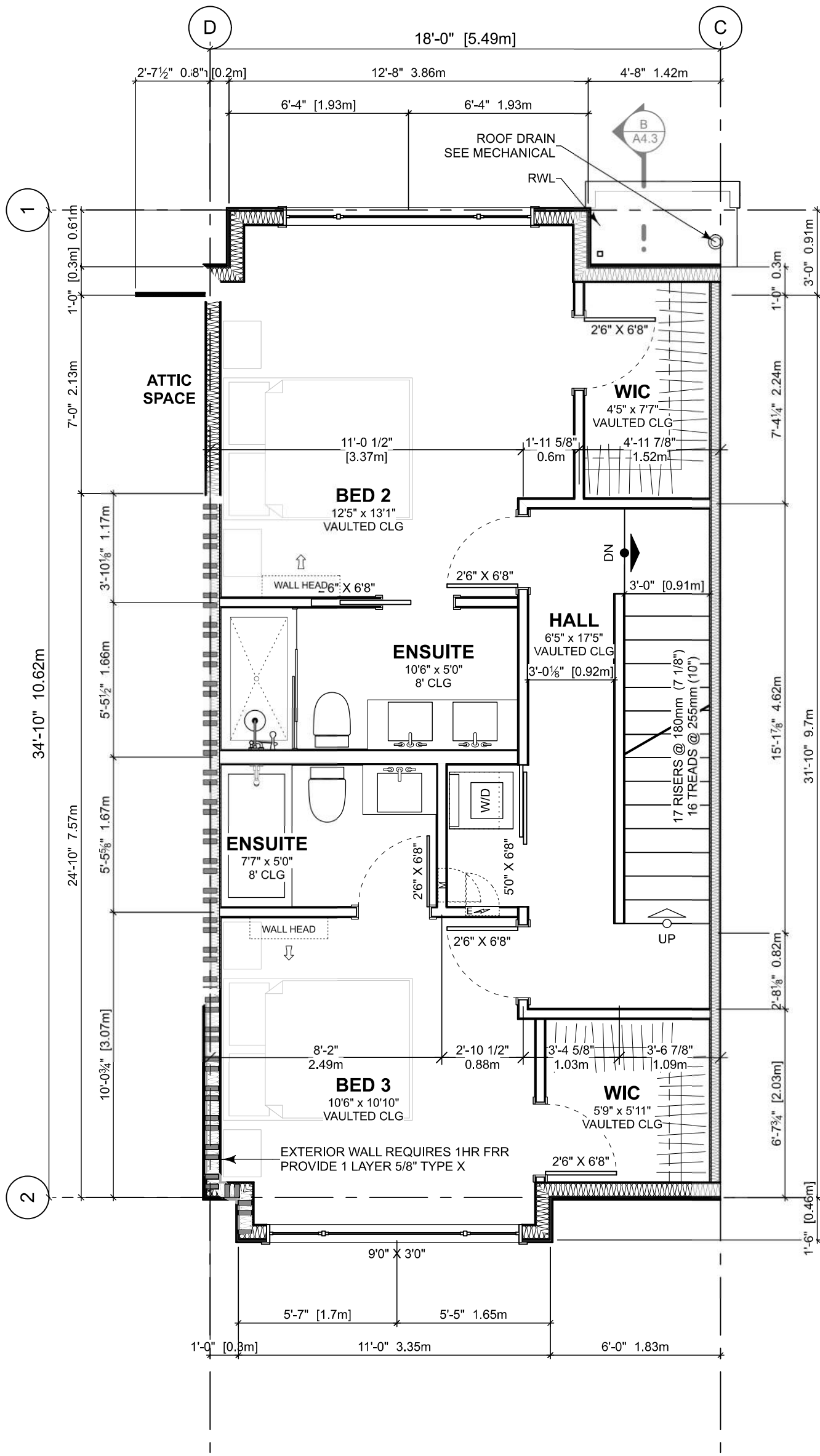
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Drawn By: SG/TD
Plot Date: 2025-04-17
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Sheet No:



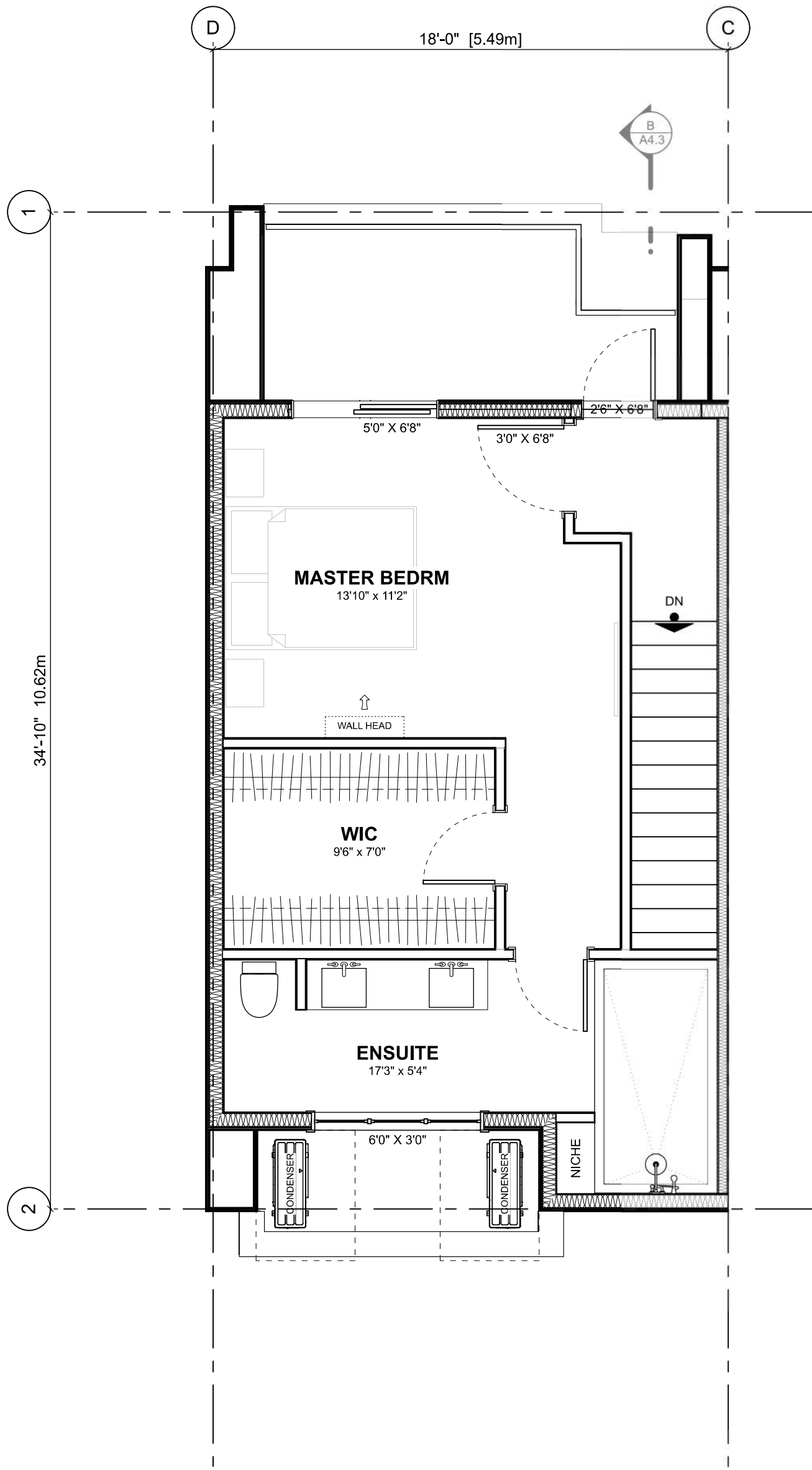
1 BASEMENT FLOOR PLAN
Scale: 1:50



2 MAIN FLOOR PLAN
Scale: 1:50



3 SECOND FLOOR PLAN
Scale: 1:50



4 SECOND FLOOR PLAN
Scale: 1:50

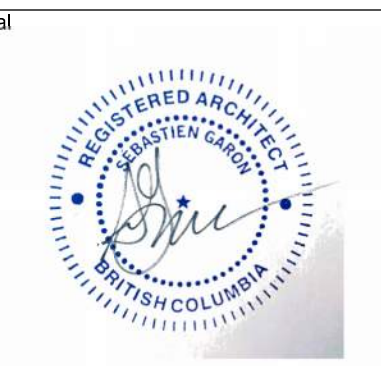
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- 3) WALLS ARE DRAWN FULL WIDTH INCLUDING DRYWALL.
- 4) GRIDLINES TO FACE OF FOUNDATION WALL OR C/L OF DEMISING WALLS

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2022-11-25	Revised & Re-Issued for DP
2023-12-21	ISSUED FOR BP
2024-02-17	BP REVISION "A"
2024-05-30	ISSUED FOR DP

UNIT 4 & 5 FLOOR
PLANS

Project Name:

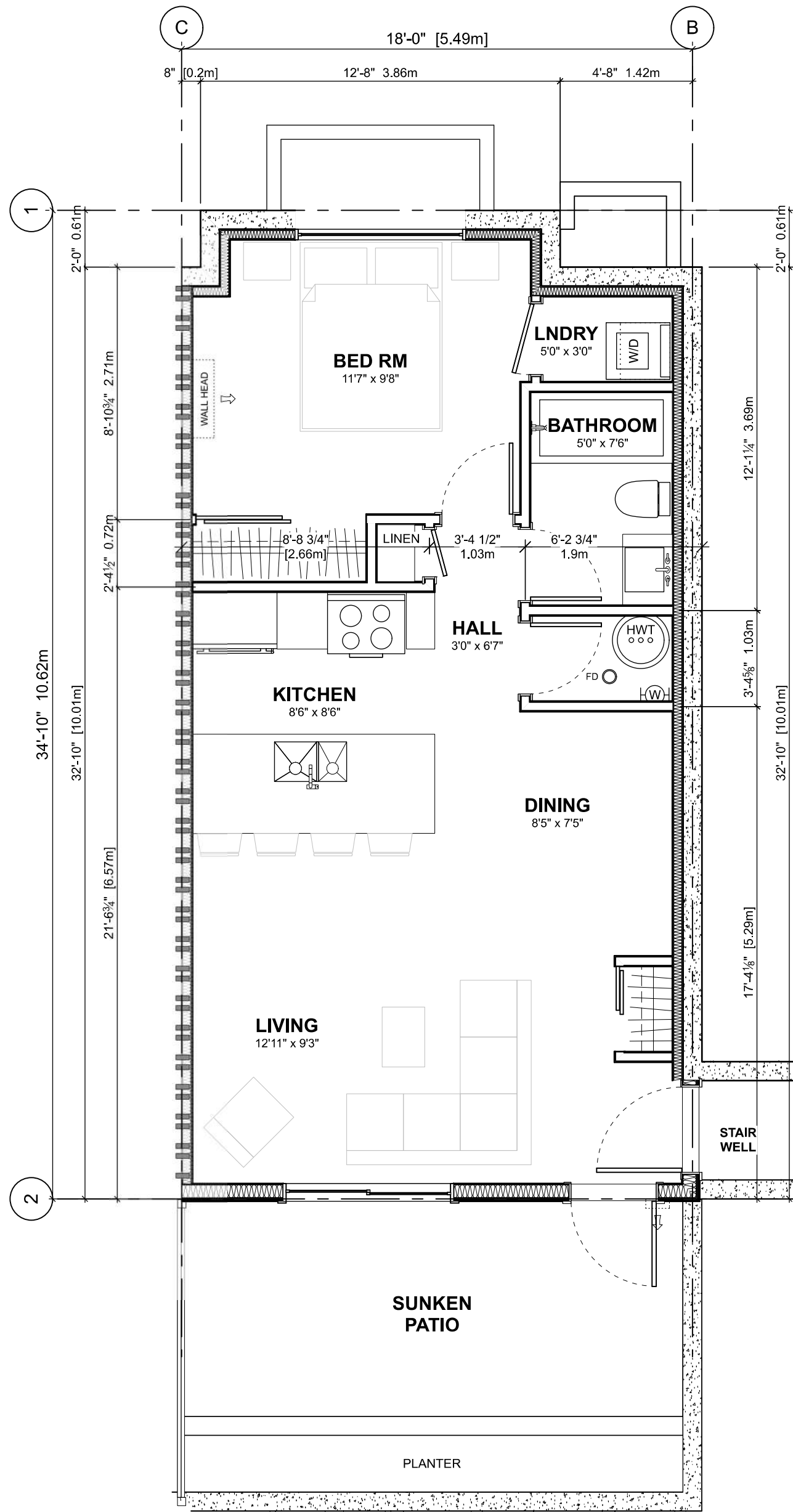
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Civic:
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ST

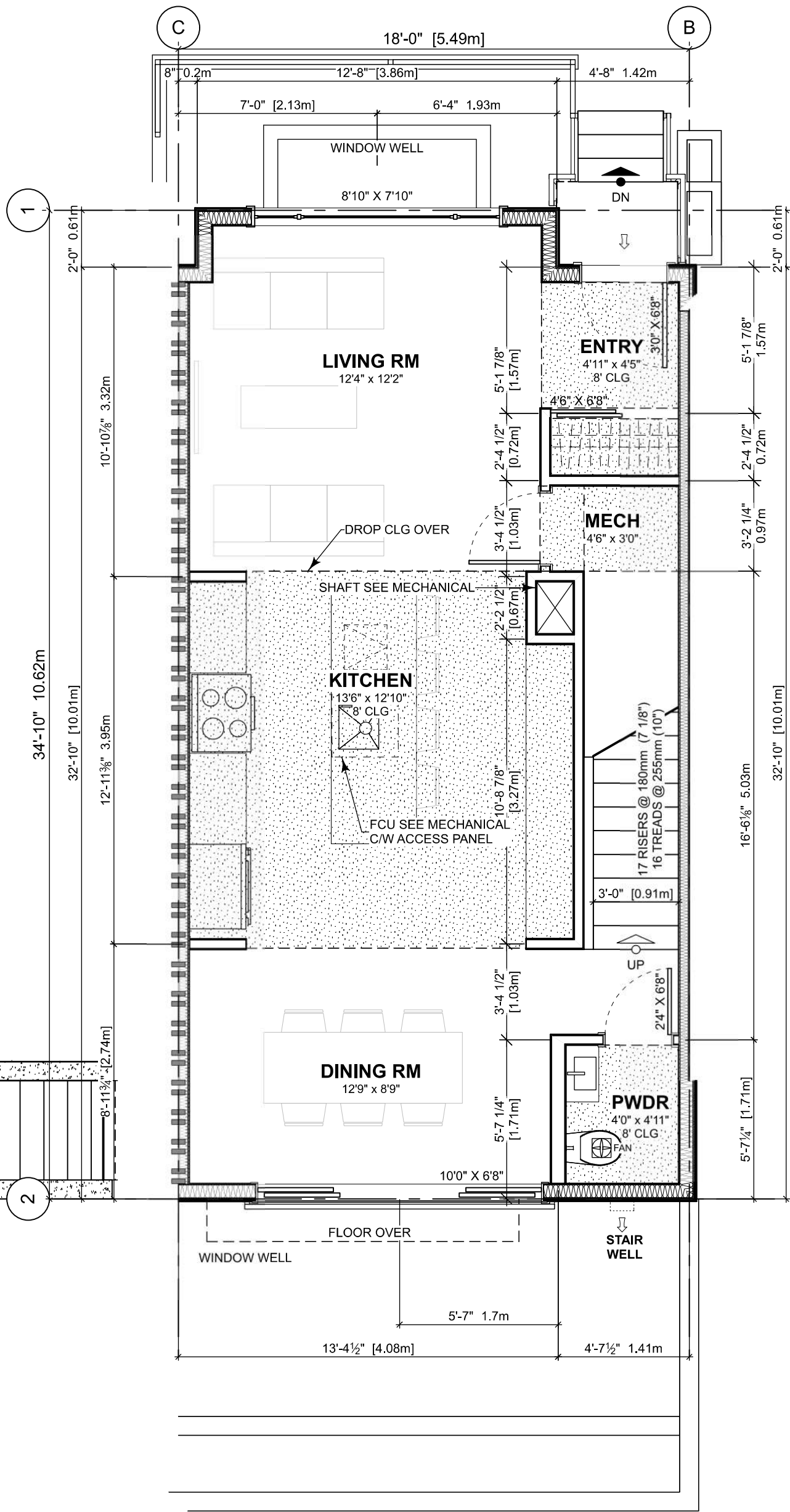
Project No: 19.015
Drawn By: SG/TD
Plot Date: 2025-04-17
Scale: 1:50
Sheet No:

Floor Area Calculations

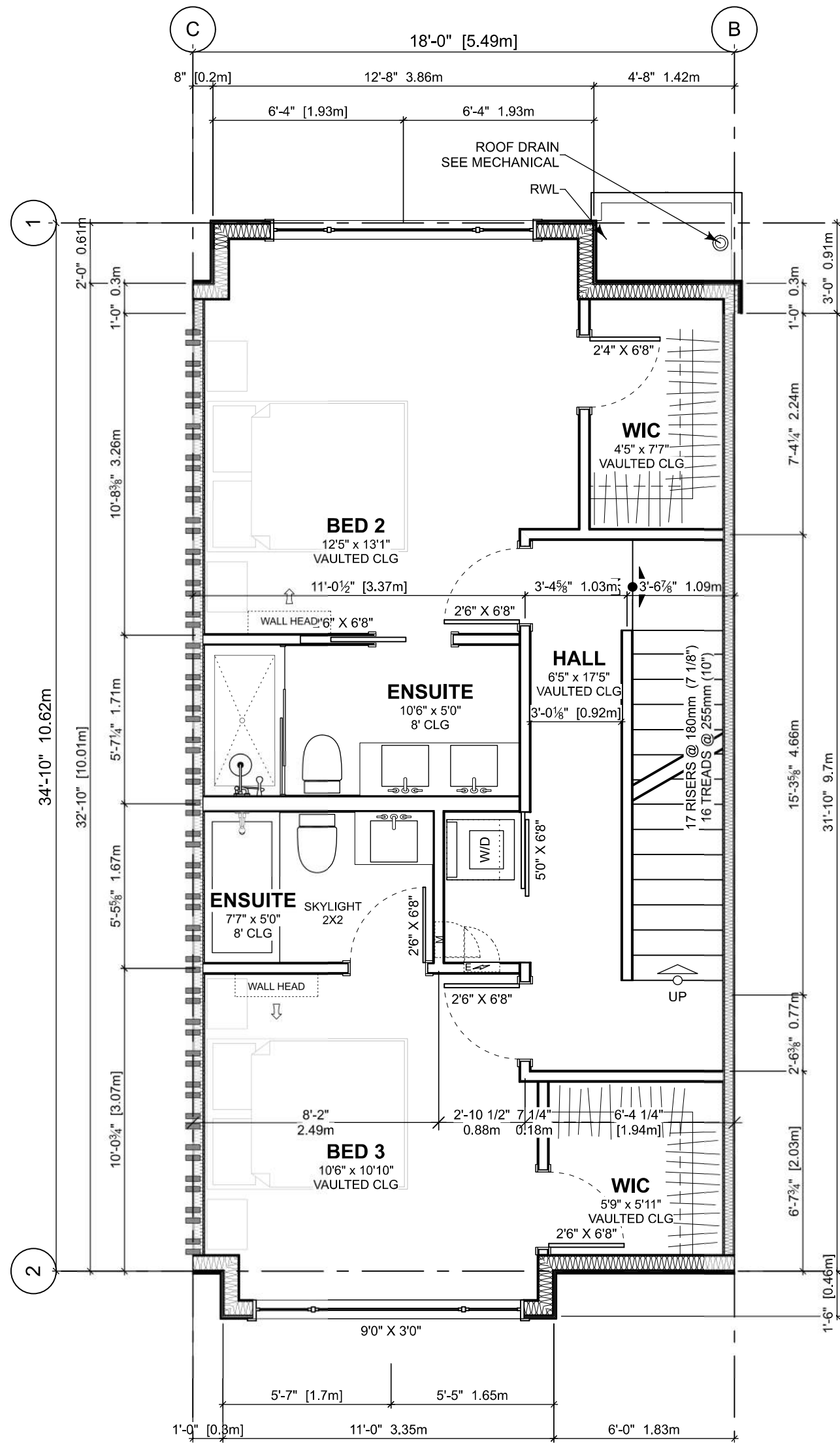
	Unit 4			
	Gross Floor Area		Zoning Floor Area	Bedrms
Basement Floor	0 sq ft	0.0 m2	0 sq ft	0.0 m2
Main Floor	616 sq ft	57.3 m2	595 sq ft	55.2 m2
Second Floor	633 sq ft	58.8 m2	610 sq ft	56.6 m2
Third Storey	479 sq ft	44.5 m2	452 sq ft	42.0 m2
Totals:	1,728 sq ft	160.5 m2	1,657 sq ft	153.9 m2
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2



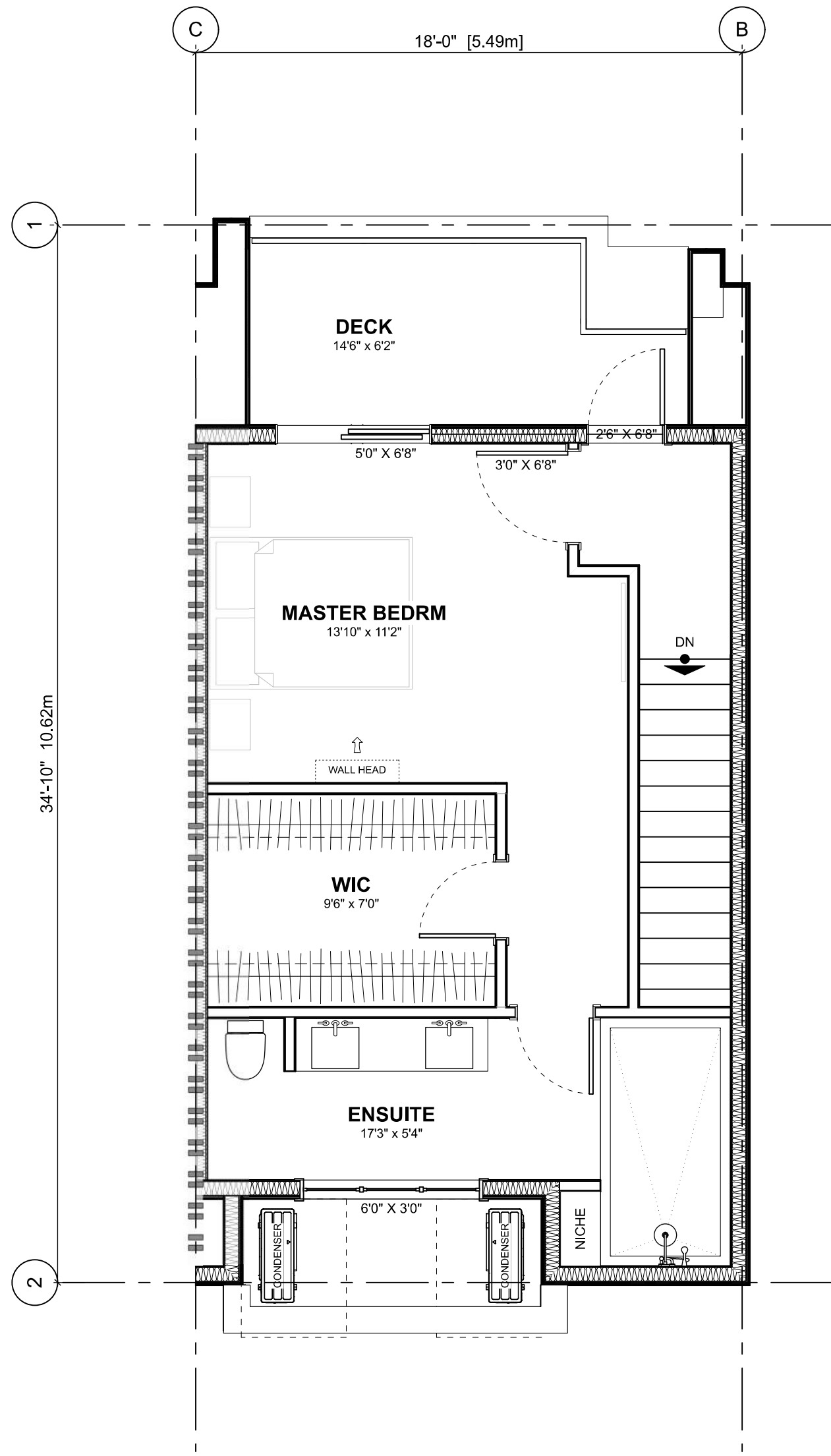
1 BASEMENT FLOOR PLAN
Scale: 1:50



2 MAIN FLOOR PLAN
Scale: 1:50



3 SECOND FLOOR PLAN
Scale: 1:50



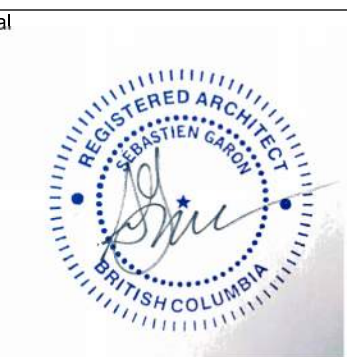
4 THIRD FLOOR PLAN
Scale: 1:50

- DIMENSION NOTES:**
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UNIT 6 & 7 FLOOR
PLANS

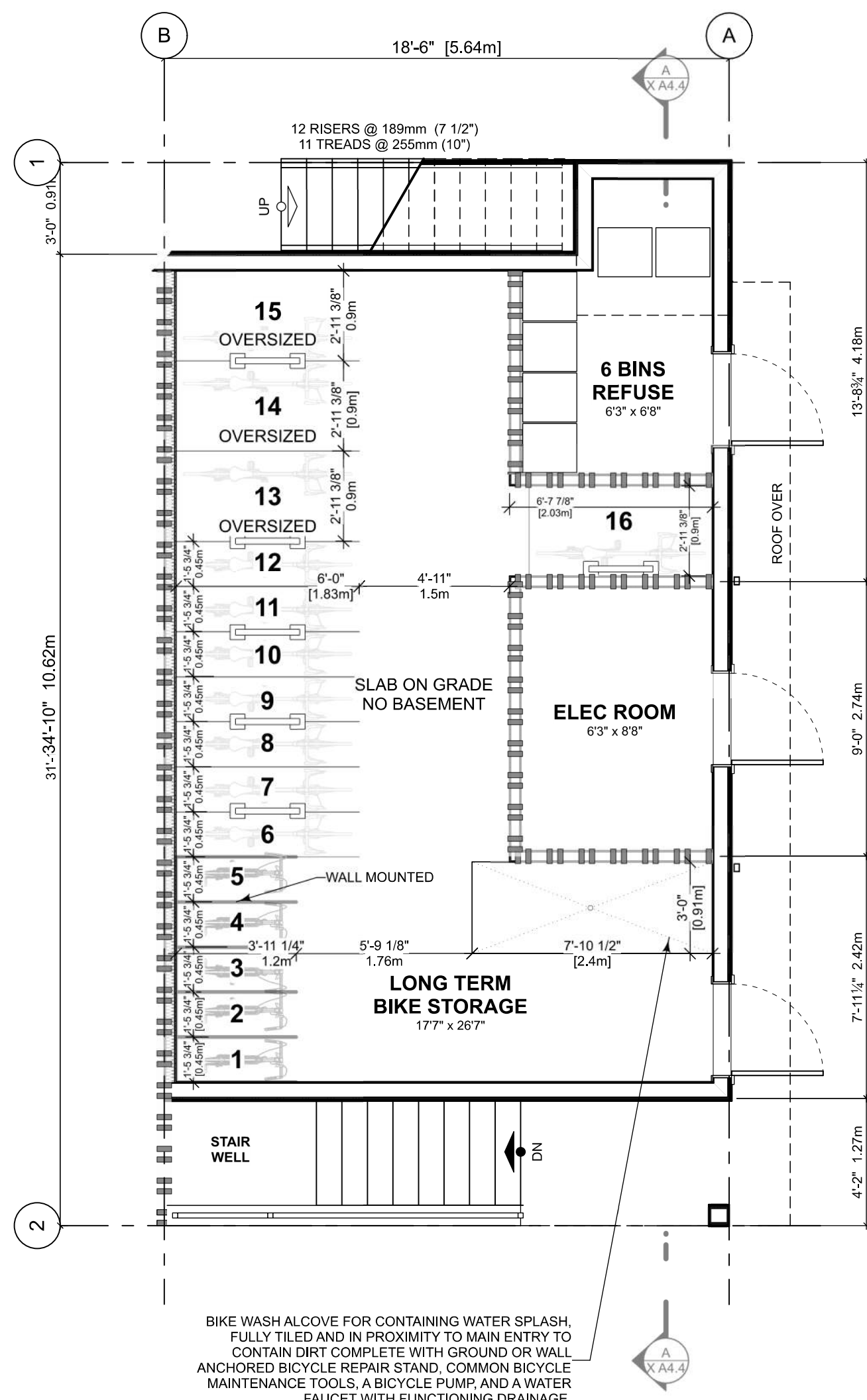
Project Name:

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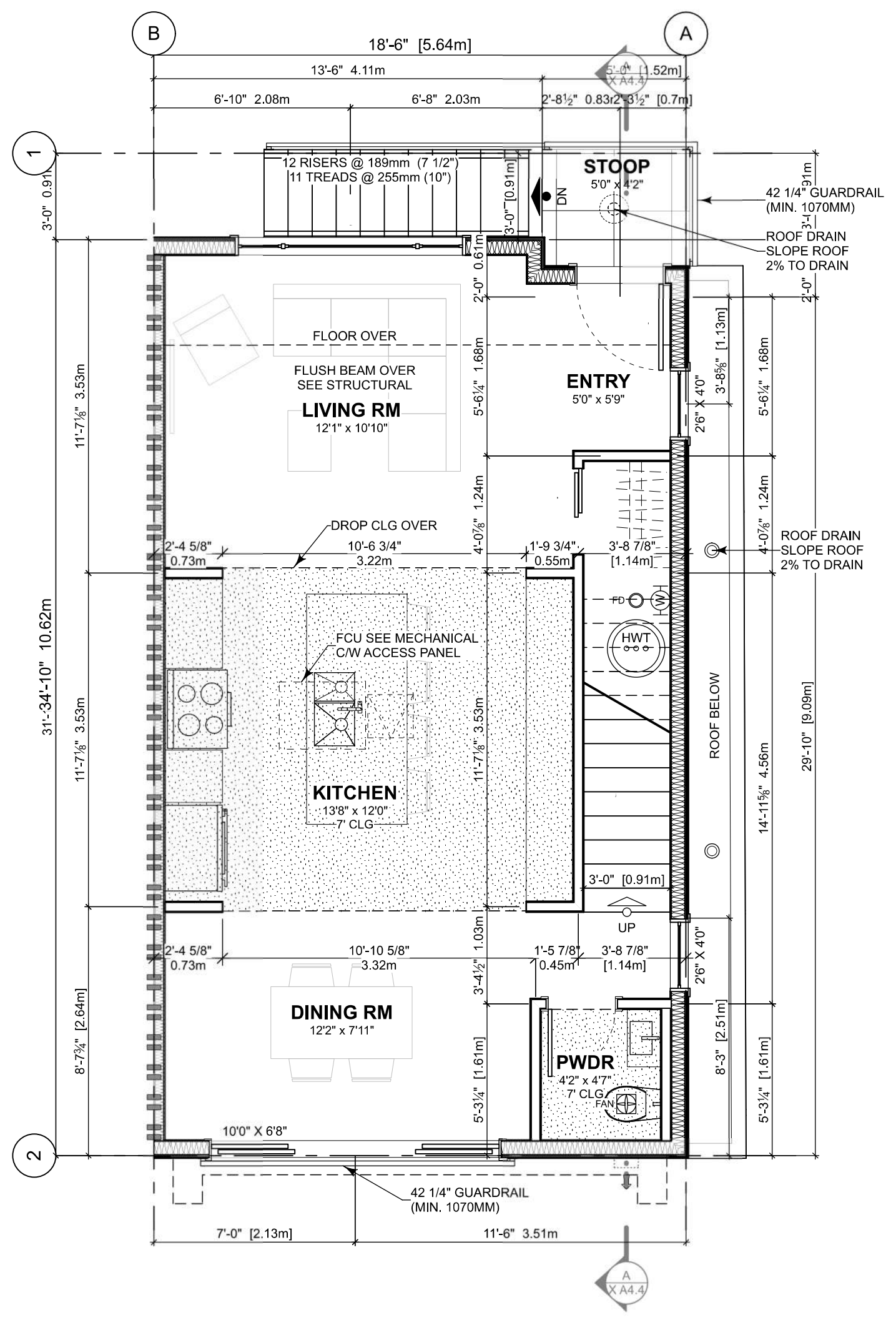
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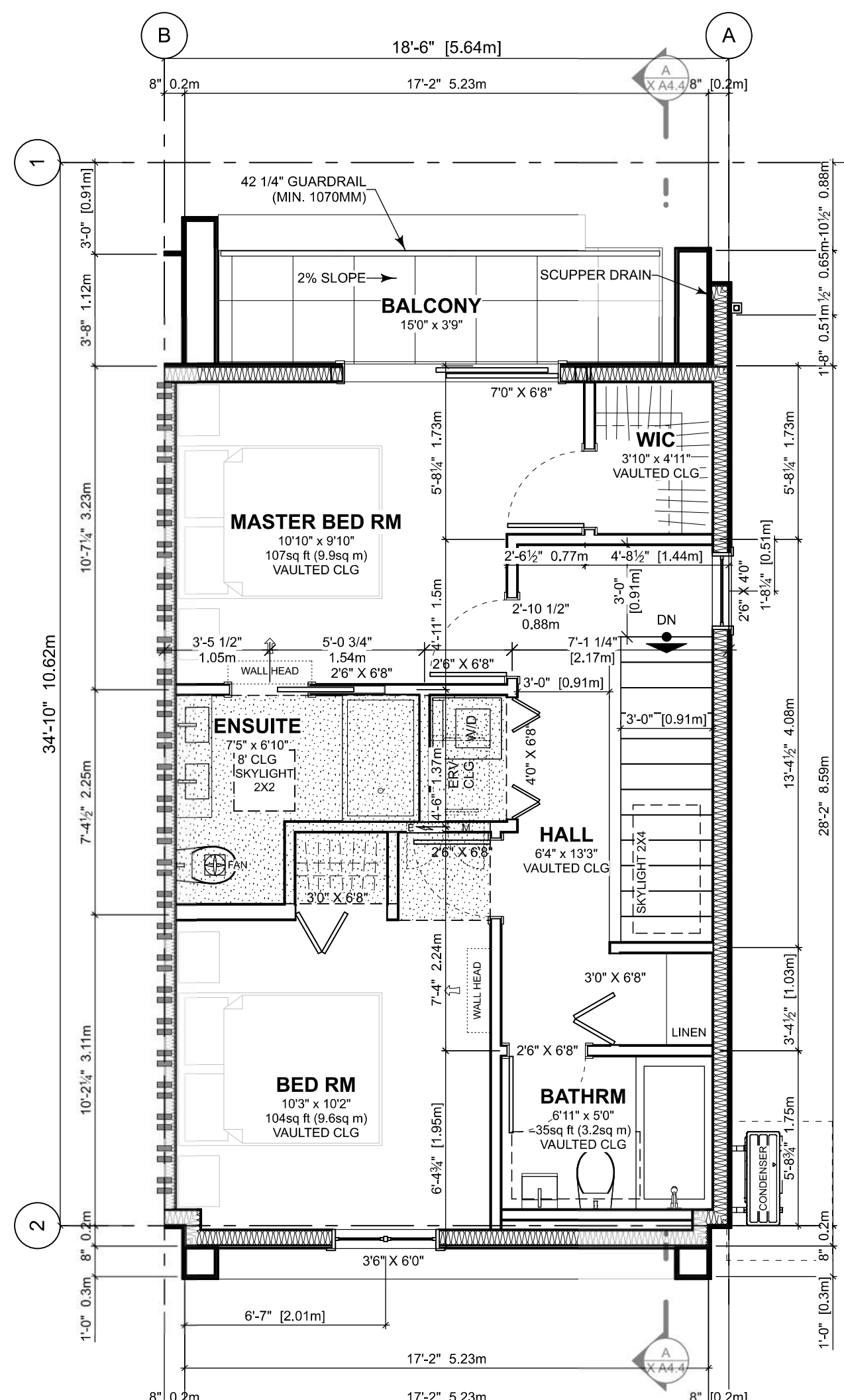
Floor Area Calculations		Unit 6			
	Gross Floor Area	Zoning Floor Area	Bedrms		
Basement Floor	0 sq ft 0.0 m2	0 sq ft 0.0 m2			
Main Floor	616 sq ft 57.3 m2	593 sq ft 55.1 m2			
Second Floor	633 sq ft 58.8 m2	610 sq ft 56.6 m2	2		
Third Storey	479 sq ft 44.5 m2	443 sq ft 41.2 m2	1		
Totals:	1,728 sq ft 160.6 m2	1,645 sq ft 152.8 m2	3		
Garage	0 sq ft 0.0 m2	0 sq ft 0.0 m2			



1 MAIN FLOOR PLAN
Scale: 1:50



2 SECOND FLOOR PLAN
Scale: 1:50



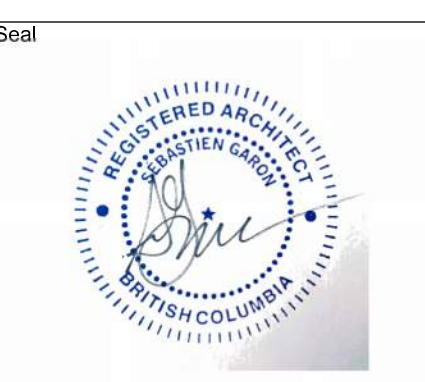
3 THIRD FLOOR PLAN
Scale: 1:50

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UNIT 8 FLOOR
PLANS

Project Name:

LeParc

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Floor Area Calculations		Unit 8			
	Gross Floor Area	Zoning Floor Area	Bedrms		
Basement Floor	No Basement as per zoning definition				
Main Floor	0 sq ft	0.0 m2	10 sq ft	1.0 m2	
Second Floor	584 sq ft	54.2 m2	547 sq ft	50.8 m2	
Third Storey	533 sq ft	49.5 m2	493 sq ft	45.8 m2	2
Totals:	1,116 sq ft	103.7 m2	1,050 sq ft	97.6 m2	2
Garage	0 sq ft	0.0 m2	0 sq ft	0.0 m2	

Project No: 19,015
Drawn By: SG/TD
Plot Date: 2025-04-17
Scale: 1:50
Sheet No:



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CONCEPT
RENDERINGS

Project Name:

LeParc

Civic:
KIPLING ST & THURLOW
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Project No: 19.015
Drawn By: SG/TD
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