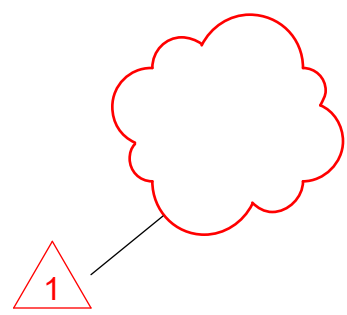





BROUGHTON STREET ELEVATION - NTS



NOTE: Revision tags are numbered in conjunction with the changes itemized in the Letter Itemizing Changes document, and response to municipal comments letter.



Revisions
Bubbled areas indicate revisions compared to the previously submitted plans
Received Date
October 9, 2025



PROJECT KEY PLAN - NTS

DELEGATED DEVELOPMENT PERMIT - R1

CONTACTS

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250.590.3223

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Contact
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rtuck@jeanderson.com

LIST OF DRAWINGS

Architectural - DDP

- A000 Cover
- A010 Context Elevation and Perspectives
- A011 Existing Site Survey
- A050 Site Plan and Zoning Data
- A051 Code Analysis
- A052 Spatial Separations
- A101 Proposed Basement and Level 1 Floor Plans
- A102 Proposed Residential Floor Plan and Roof Plan
- A200 Building Elevations N-E
- A201 Building Elevations S-W
- A300 Building Sections

Landscape

- L1 Ground Level Planting Plan
- L2 Rooftop Planting Plan
- L3 Tree Management Plan

Civil

- C1 Preliminary Site Servicing Plan

FORT PROPERTIES

837 Broughton Street
October 6, 2025

Project #	2401	Date	October 6, 2025
Sheet #	A000	Revision	October 6th, 2025
		3	



CASCADIA ARCHITECTS INC
101-804 Broughton Street
Victoria BC V8W 1E4 Canada
250.590.3223
cascadiaarchitects.ca



FORT PROPERTIES LTD.



FRONT ELEVATION - BROUGHTON STREET

3



STREET LEVEL VIEW

3

1



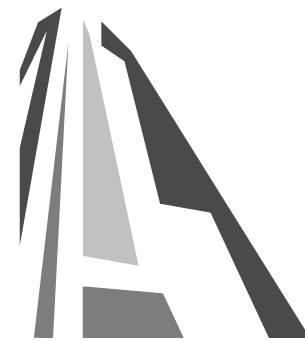
PERSPECTIVE VIEW - BROUGHTON STREET WEST



CONTEXT ELEVATION - BROUGHTON STREET

1

2	DDP Application	July 25th, 2025
NO.	DESCRIPTION	DATE



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80.47°
Project North

837 Broughton Street
FORT PROPERTIES

Context Elevation and Perspectives

Date
July 25, 2025

Scale
1 : 500

Project #
2401

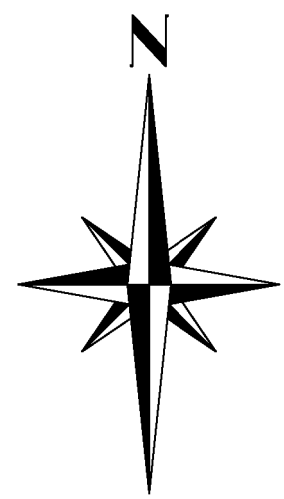
Revision
July 25th, 2025
2

Sheet #
A010



Civic Address: 837 Broughton Street, Victoria, B.C.
PID: 004-016-017
City of Victoria Zoning: CHP-OB Cathedral Hill Precinct Office Building District

The intended plot size of this plan is 914mm in width by 610mm in height, (Arch D), when plotted at a scale of 1:150

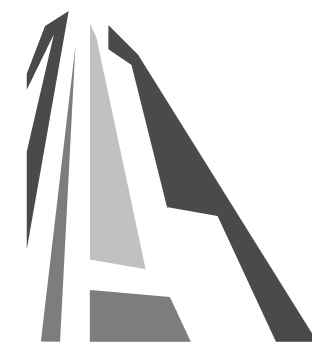


A
PLAN
#805

BROUGHTON

1
PLAN 27662
#818

STRATA PLAN
EPS2332
#838



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837 Broughton Street

FORT PROPERTIES

Sheet Name	Existing Site Survey
------------	----------------------

Date	July 25, 2025
------	---------------

Scale	1 : 150	Project #	2401
-------	---------	-----------	------

Revision	
July 25th, 2025	

Sheet #

A011

8/5/2025 11:02:21 AM

LEGEND

- --- Denotes Standard Iron Post Found
 ■ --- Denotes Lead Plug Found
 ▲ --- Denotes Traverse Station Placed
 ○ --- Denotes Cleanout
 P --- Denotes Pay Parking Meter
 S --- Denotes Sewer Manhole
 □ --- Denotes Square Catch Basin 0.73x0.73
 □ --- Denotes Lamp Standard Light Box
 ● --- Denotes Hydrant
 ● --- Denotes Utility Pole
 ● --- Denotes Lamp Standard
 ● --- Denotes Catch Basin Manhole
 ○ --- Denotes Parking Ballard
 V --- Denotes Water Service
 V --- Denotes Water Valve Box
 ○ --- Denotes Chainlink Fence
 ○ --- Denotes Deciduous Tree
 Typical Tree Description ○ OAK (Species)
 0.70 (Trunk Diameter)
 --- --- Denotes Adjacent Building Roof Line
 × 65.50 --- Denotes Typical Spot Elevation
 × 65.50
 --- --- Denotes Building Roof Elevation
 Wly --- Denotes Westerly

1
PLAN 17675
#851

NOTES

If this plan is used in digital form, J.E. Anderson & Associates will only assume responsibility for information content shown on original unaltered drawing.

Lot dimensions and area are derived from Field Survey.

Distances and elevations are in metres.

Building measurements are to siding or concrete.

Elevations are Geodetic (CGVD28) based on control monument 9-40.

Elevations are at natural grade unless noted otherwise

This plan lies within the City of Victoria.

This plan lies within the Capital Regional District.


This plan is intended for use as a topographic site plan. It is based on Land Title Office records and ties to existing survey evidence and does not represent boundary survey. Critical lot dimensions, lot areas and building offsets should be confirmed by a legal cadastral survey.

Client:

Fort Properties

PROJECT SURVEYOR : RPH	
DRAWN BY : SAL	DATE : Aug 09/2022
OUR FILE : 34138	LAYOUT: Site Plan


FILE PATH:
V: _Projects\34138\08\02
Microsurvey\34138_Legal.dwg



GREGORY L.F. ANDERSON
P.Eng.
 2025-0818
 BRITISH COLUMBIA

J. E. ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS

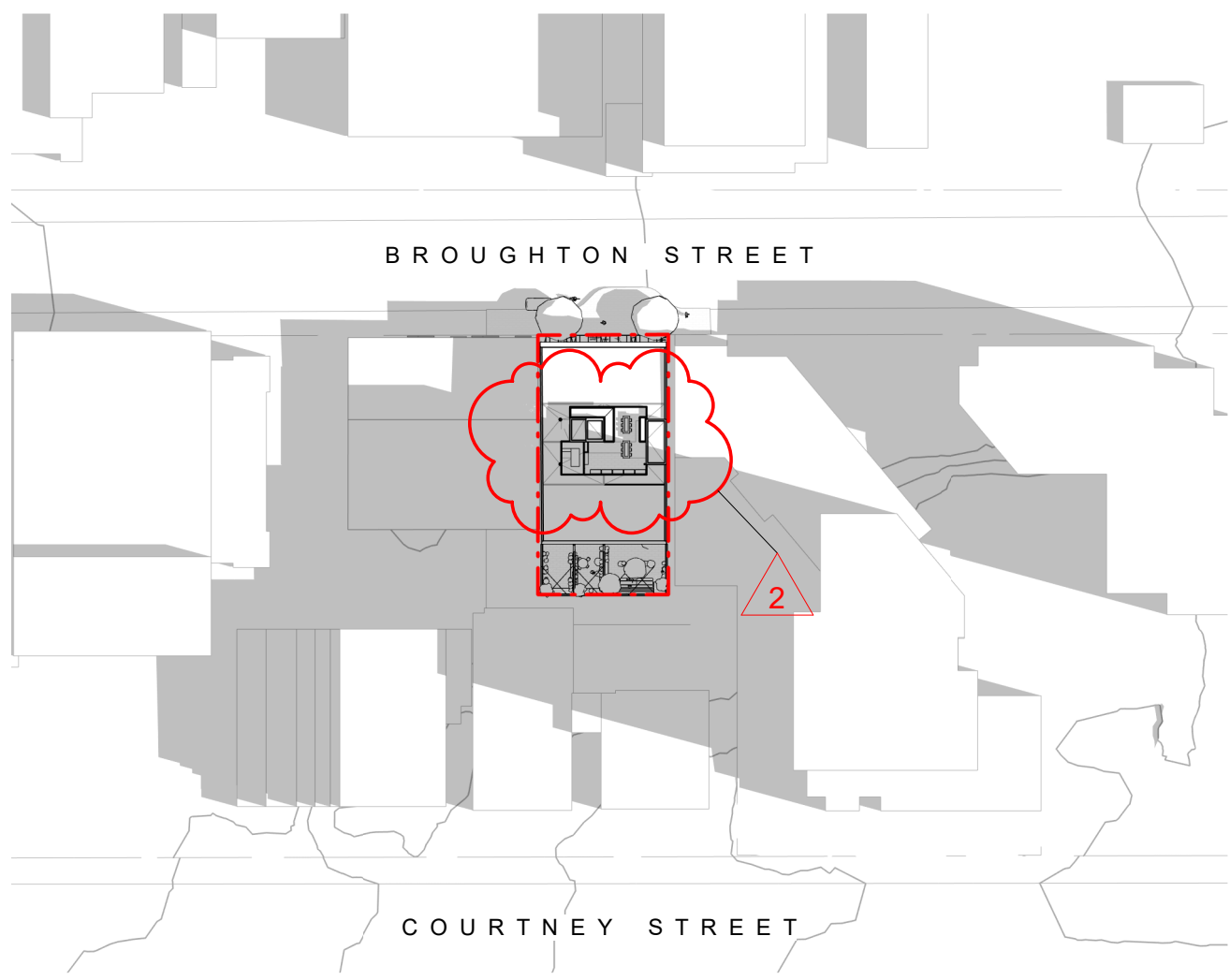
214 WEB: www.jeanderson.com
 11400 - PARKSVILLE - CAMPBELL RIVER



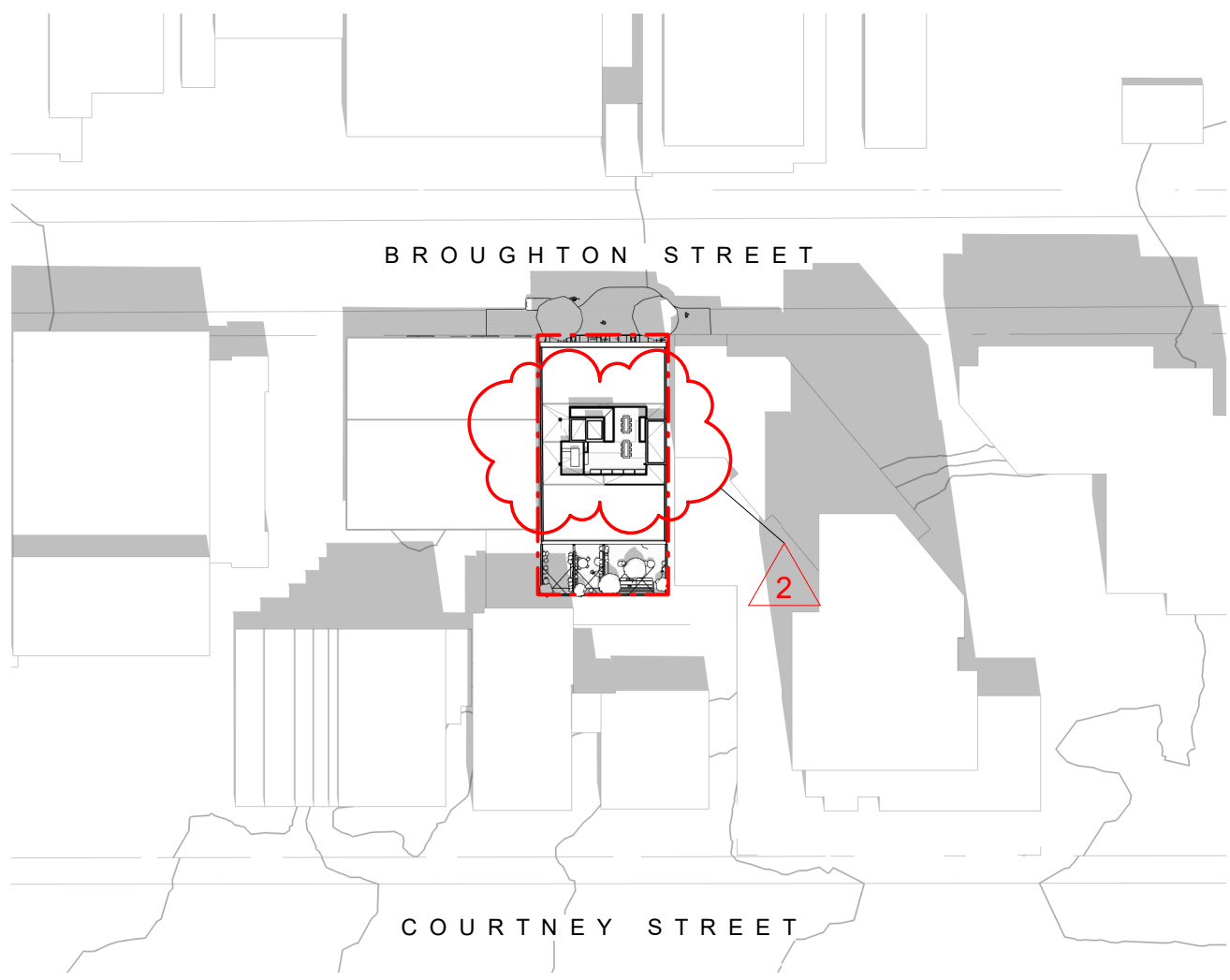
GREGORY L.F. ANDERSON
P.Eng.
 2025-0818
 BRITISH COLUMBIA

J. E. ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS

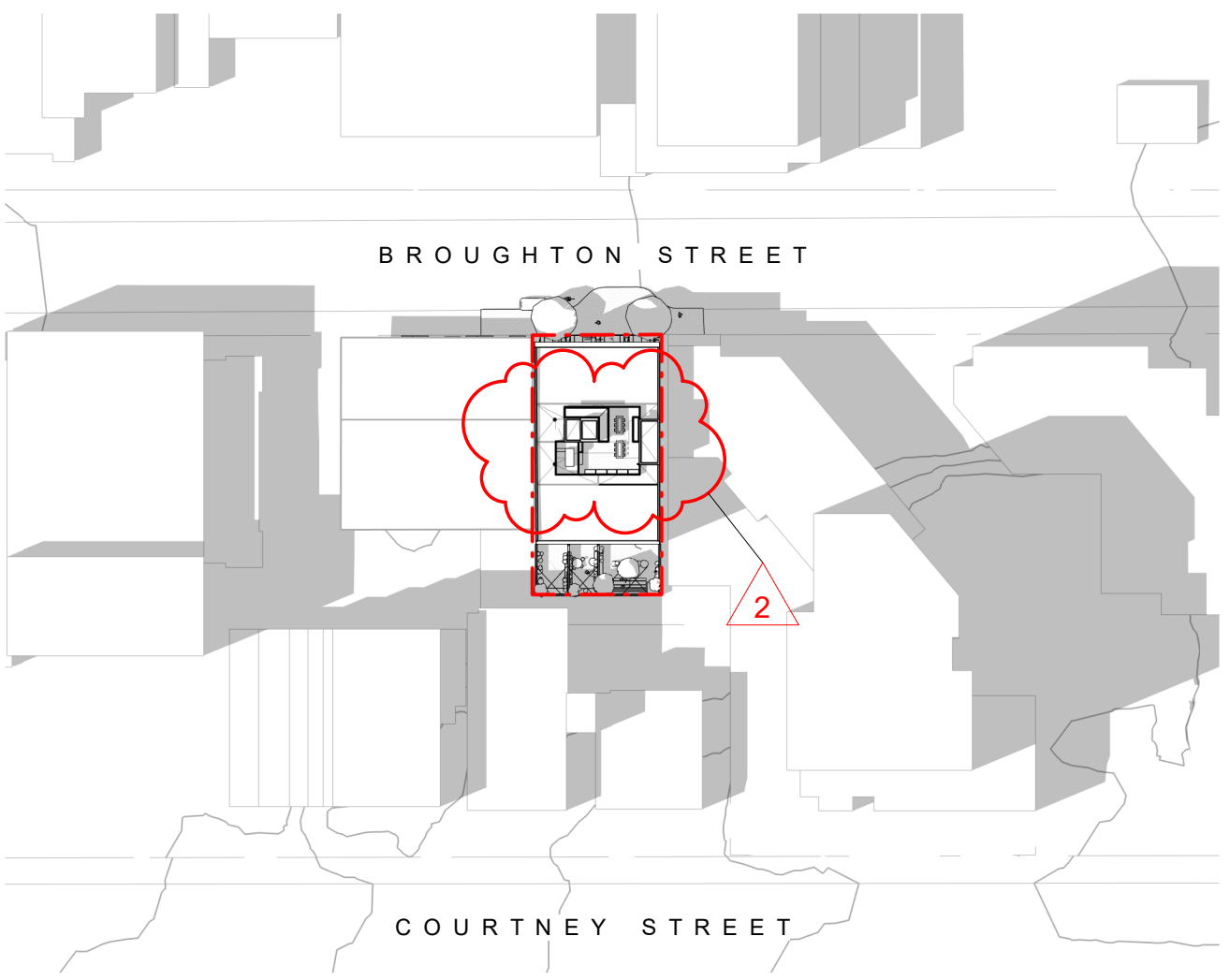
214 WEB: www.jeanderson.com
 11400 - PARKSVILLE - CAMPBELL RIVER



Summer Solstice 9am



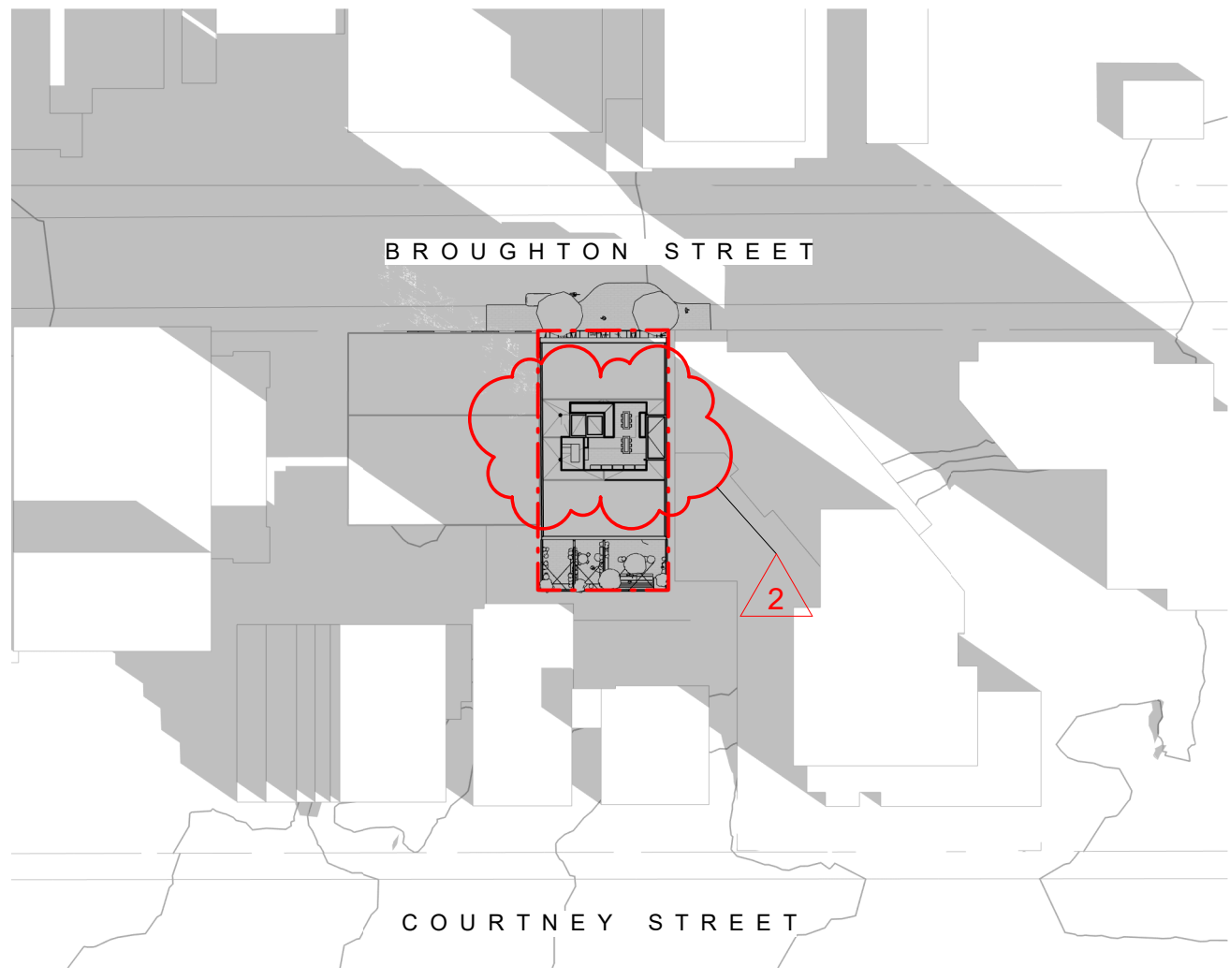
Summer Solstice Noon



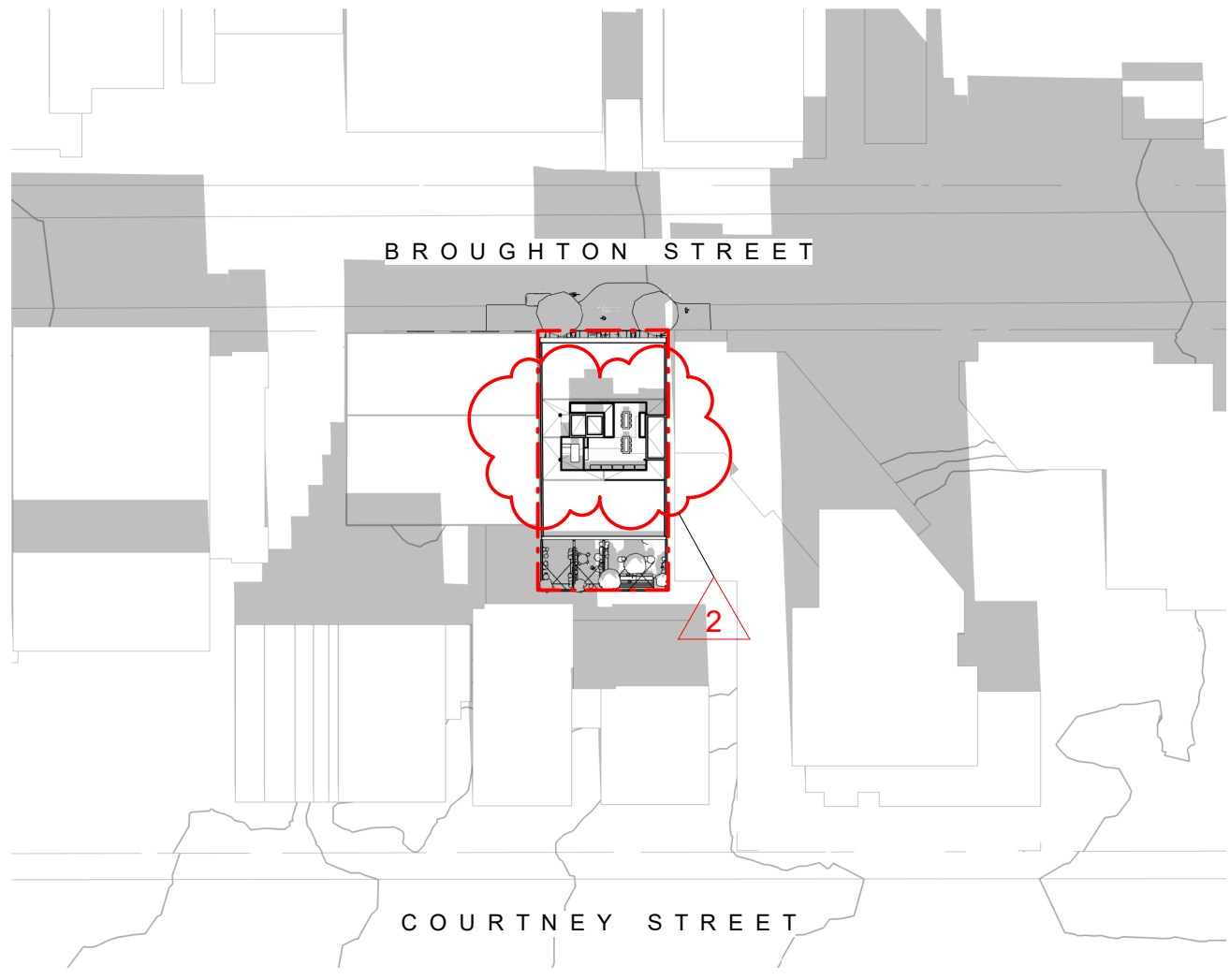
Summer Solstice 3pm



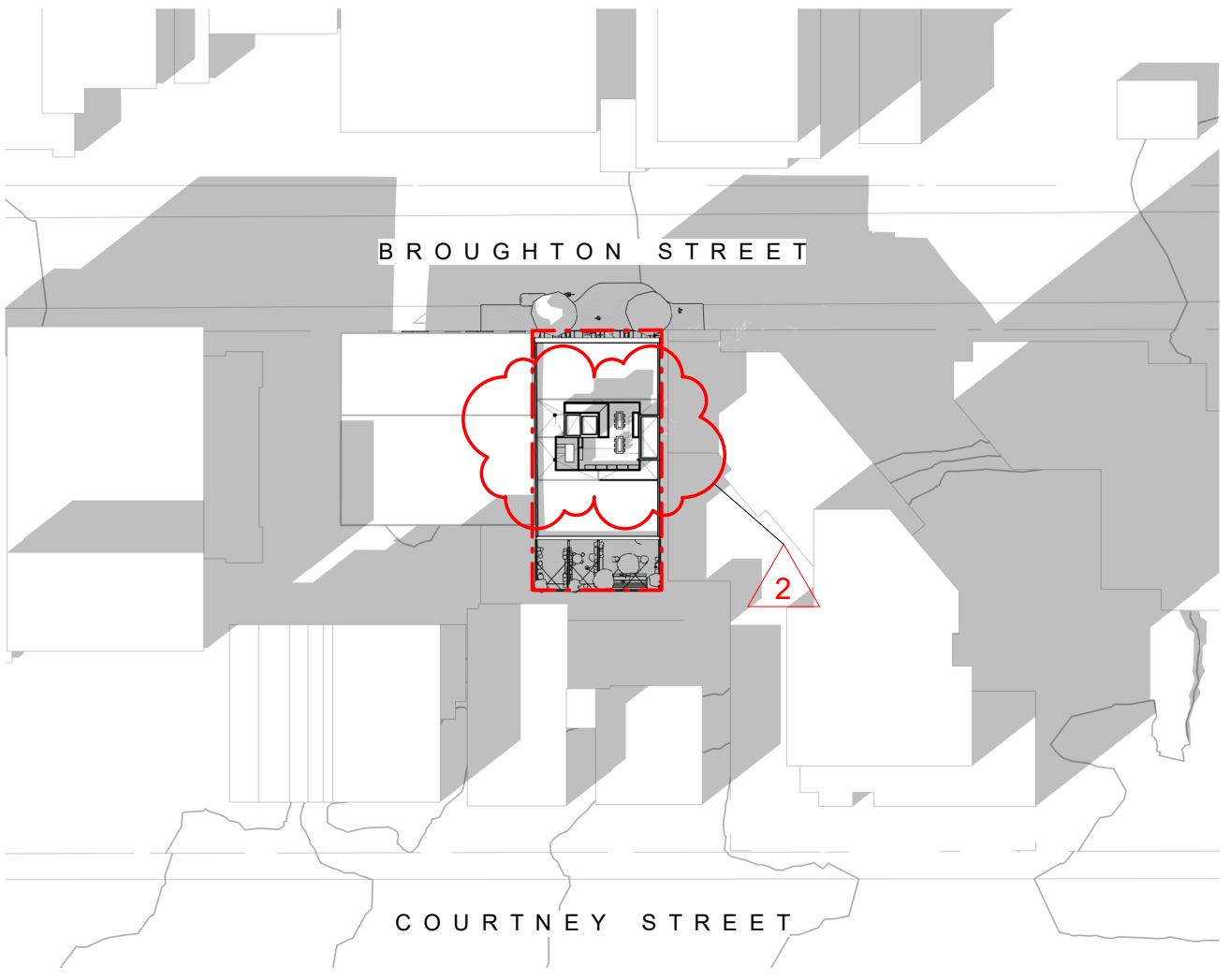
Summer Solstice 6pm



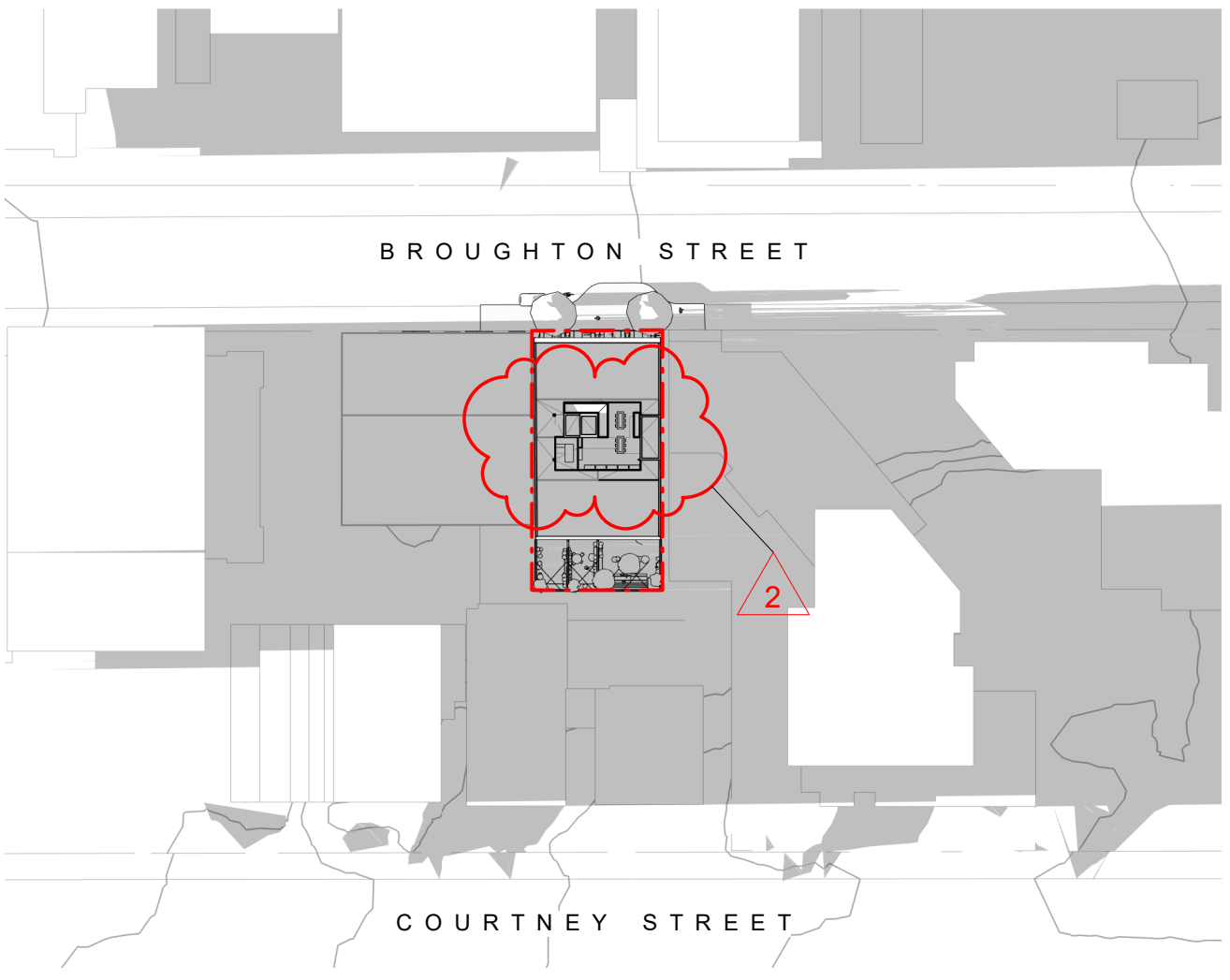
Equinox 9am



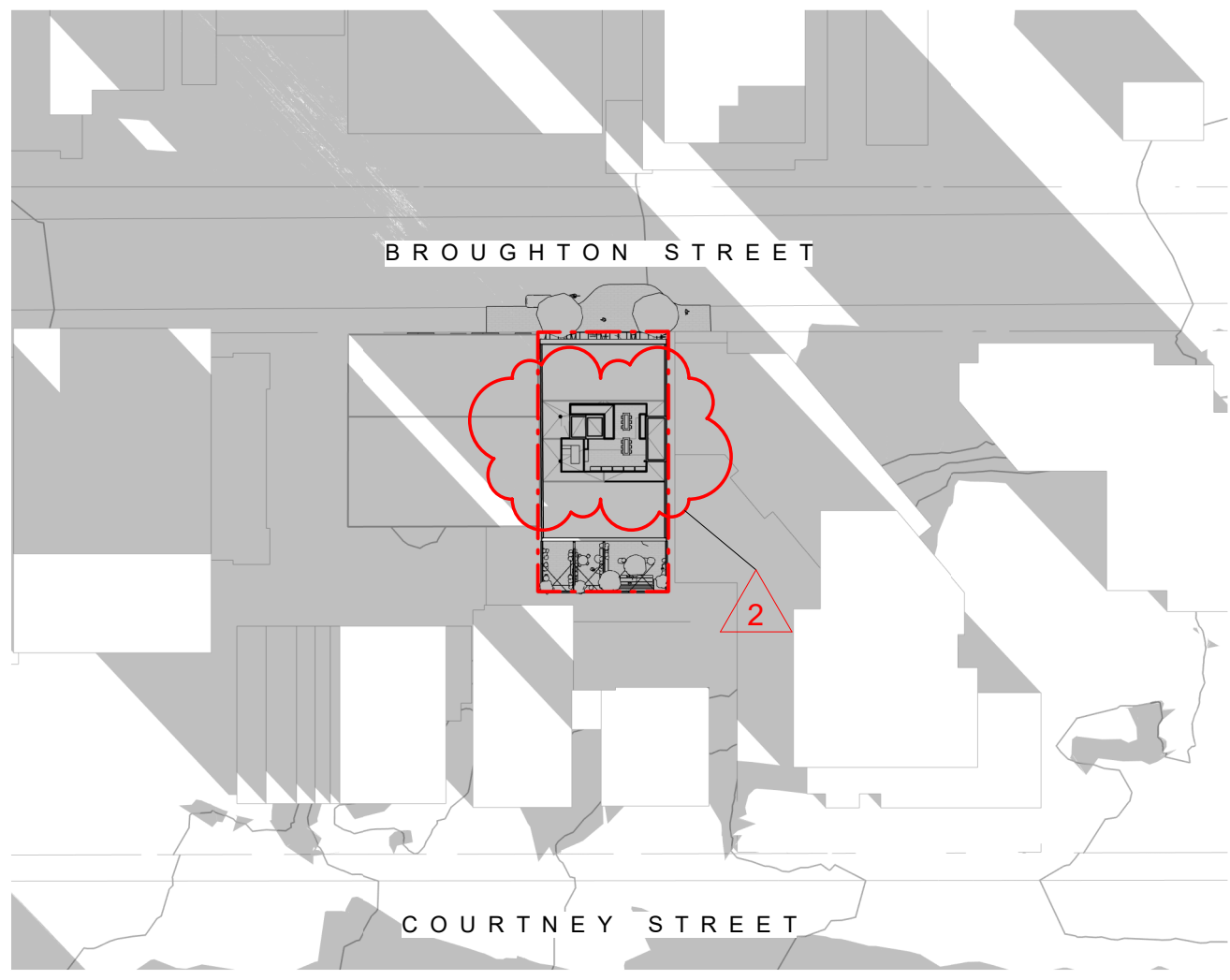
Equinox Noon



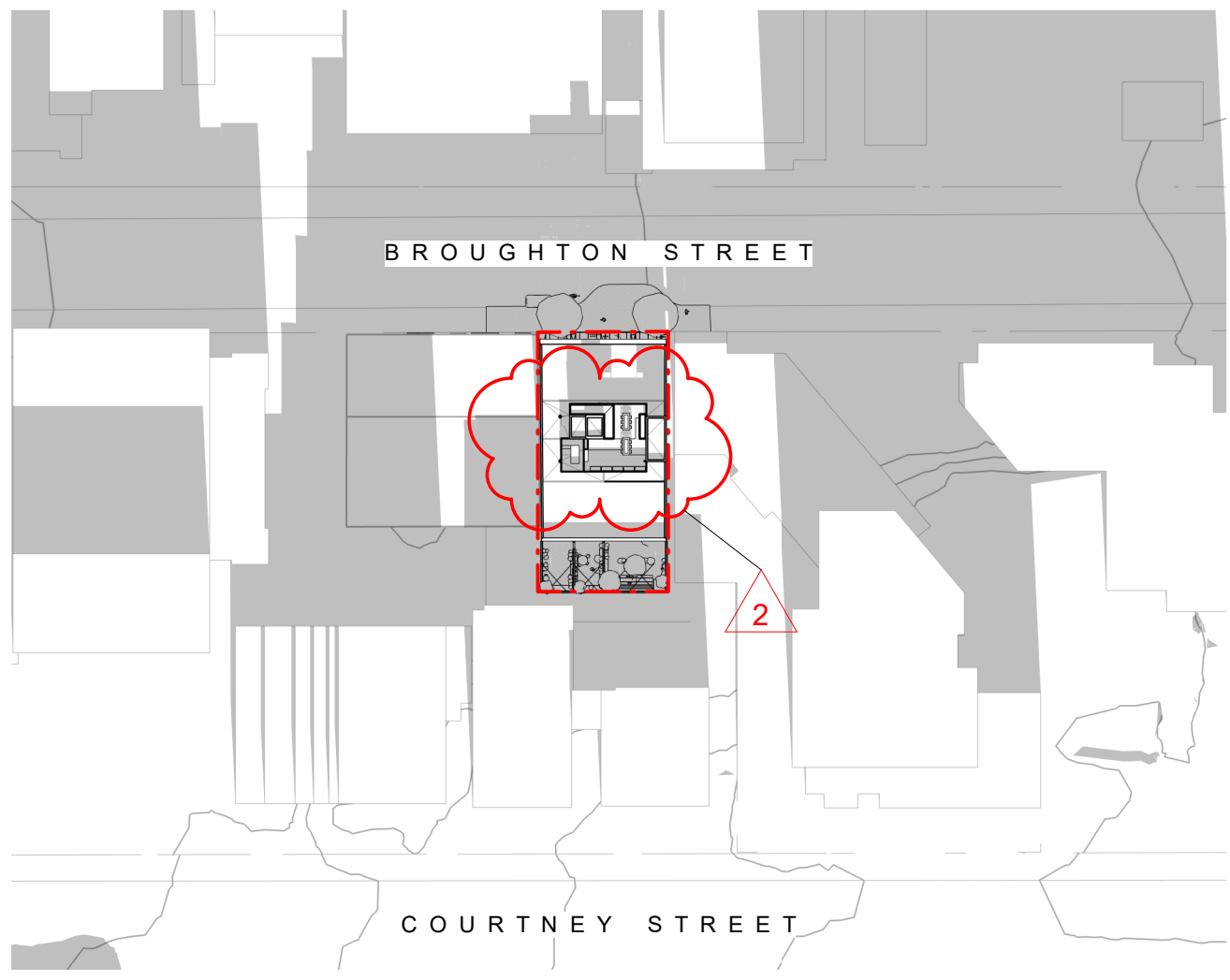
Equinox 3pm



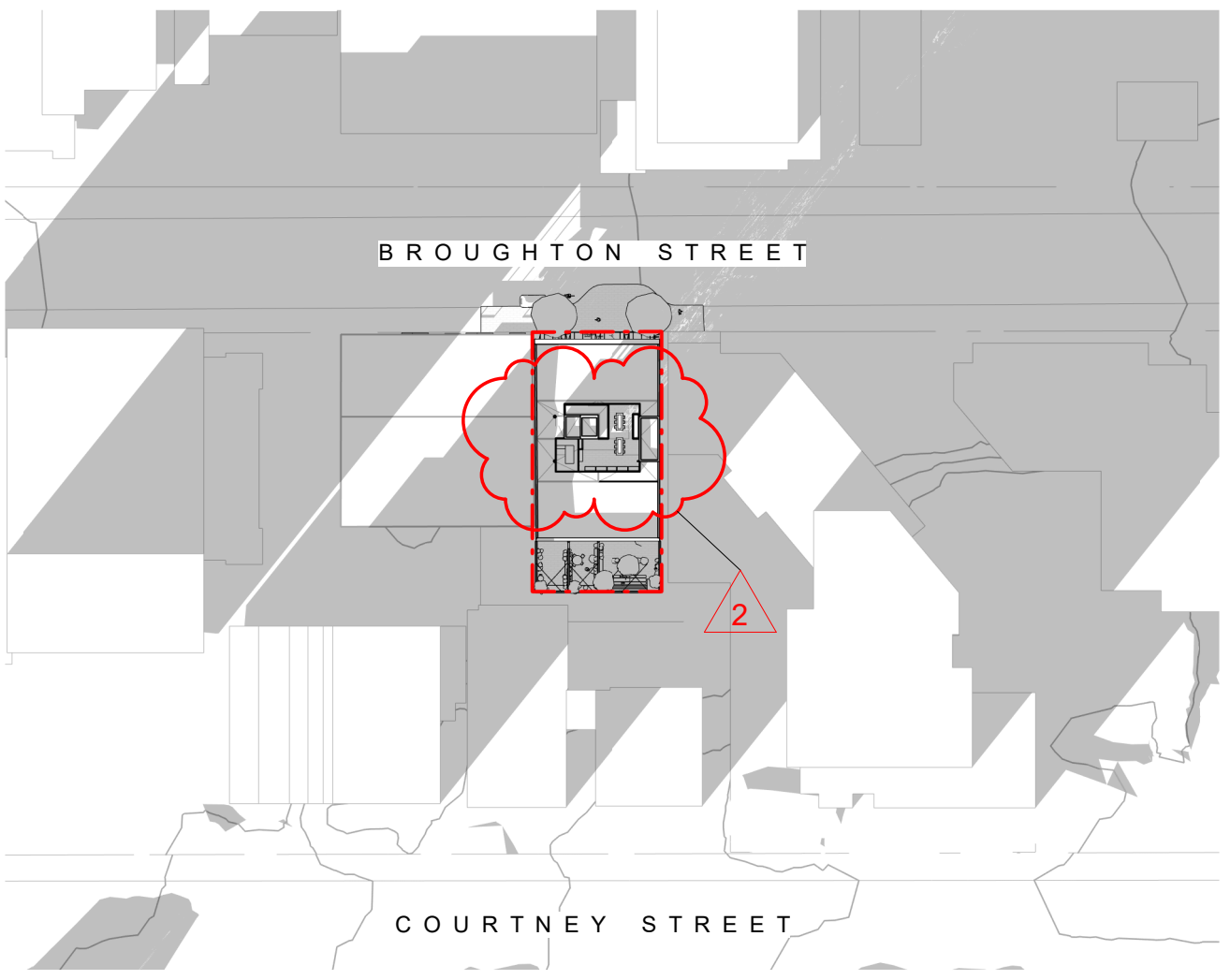
Equinox 6pm



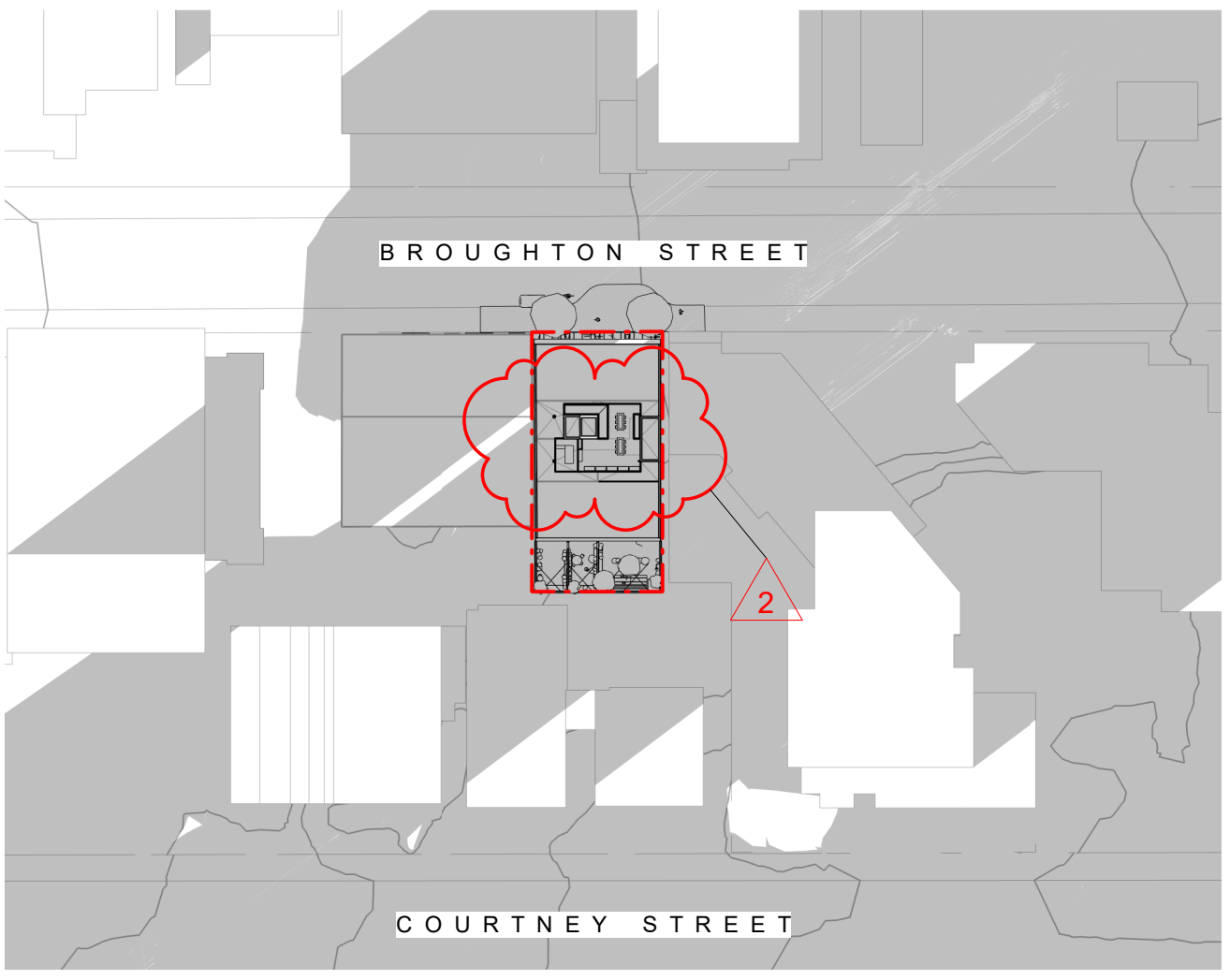
Winter Solstice 9am



Winter Solstice Noon

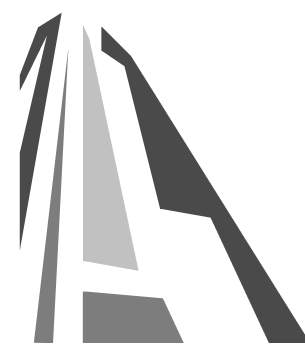


Winter Solstice 3pm



Winter Solstice 6pm

2	DDP Application	July 25th, 2025
NO.	DESCRIPTION	DATE

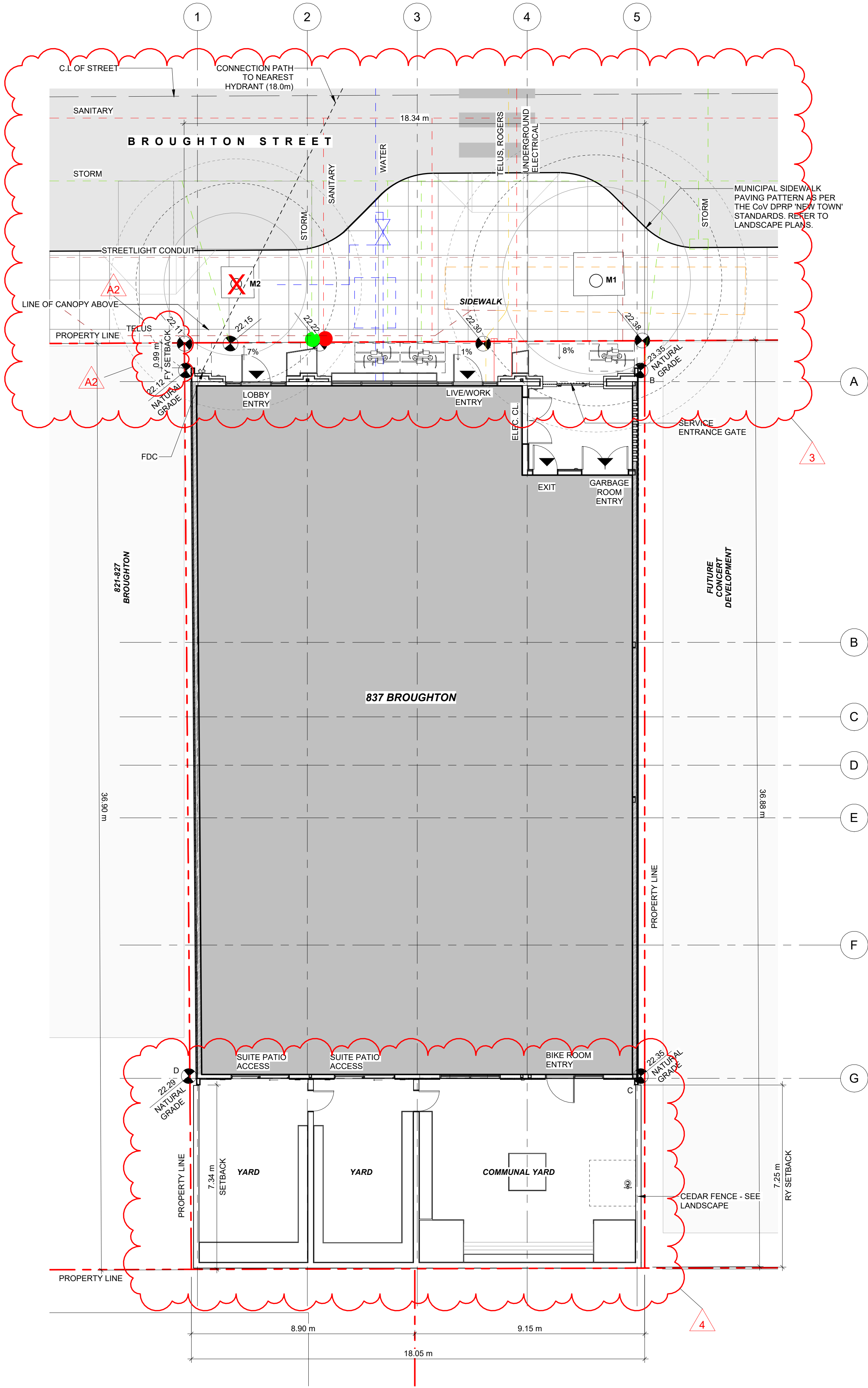


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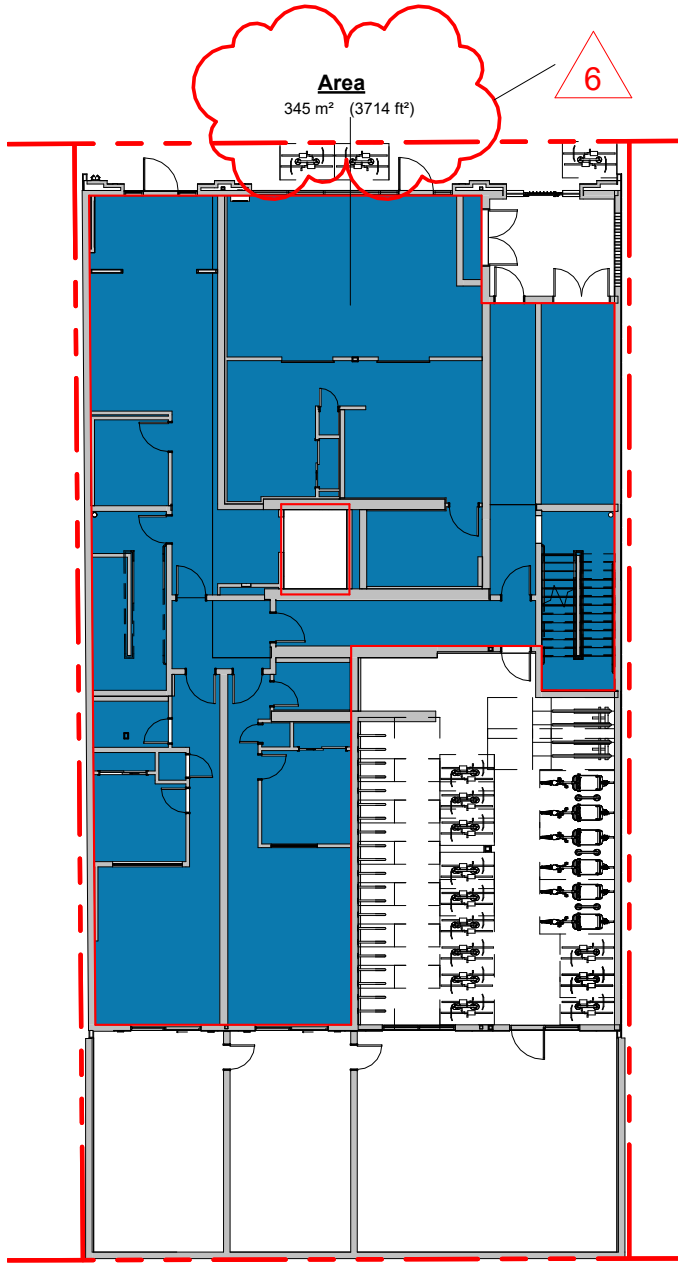
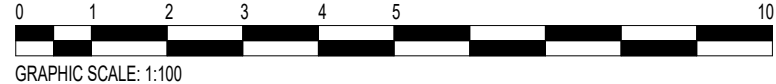
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837 Broughton Street	
FORT PROPERTIES	
Sheet Name	Shadow Study
Date	July 25, 2025
Scale	Project # 2401
Revision	July 25th, 2025 2
	Sheet # A012

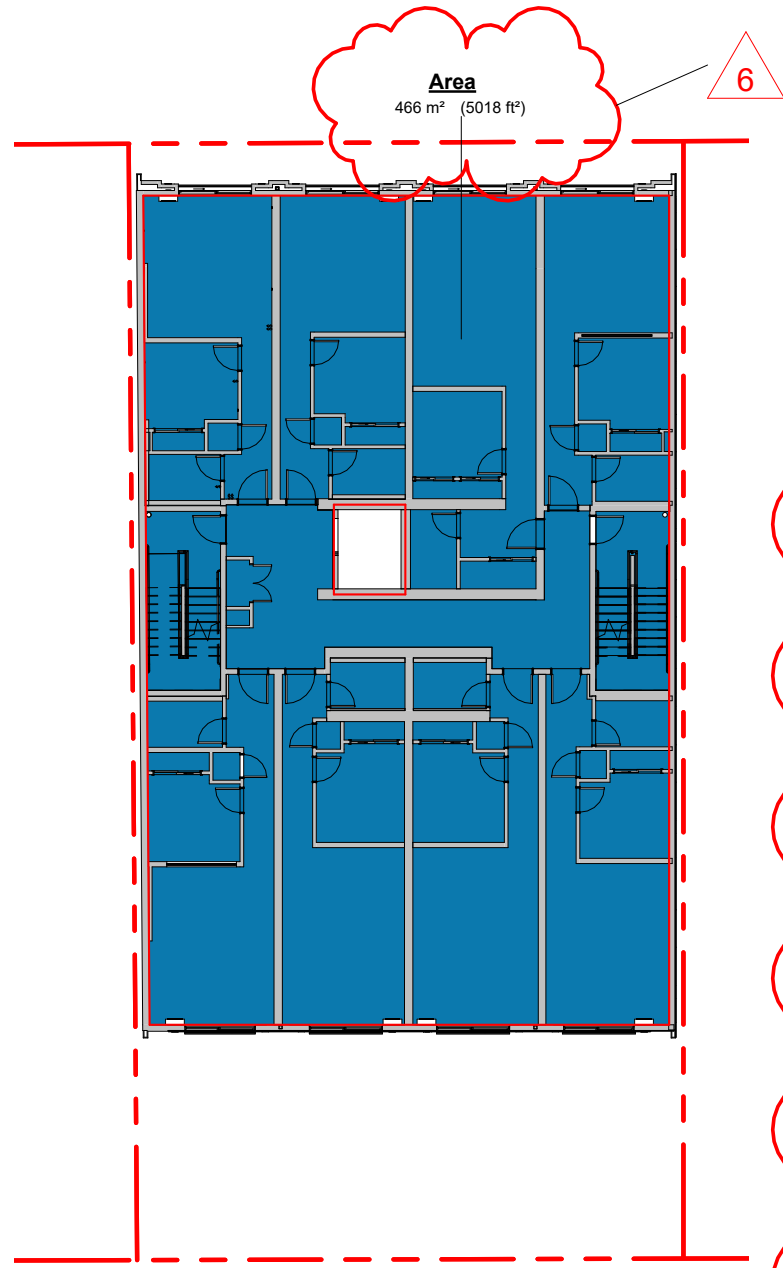




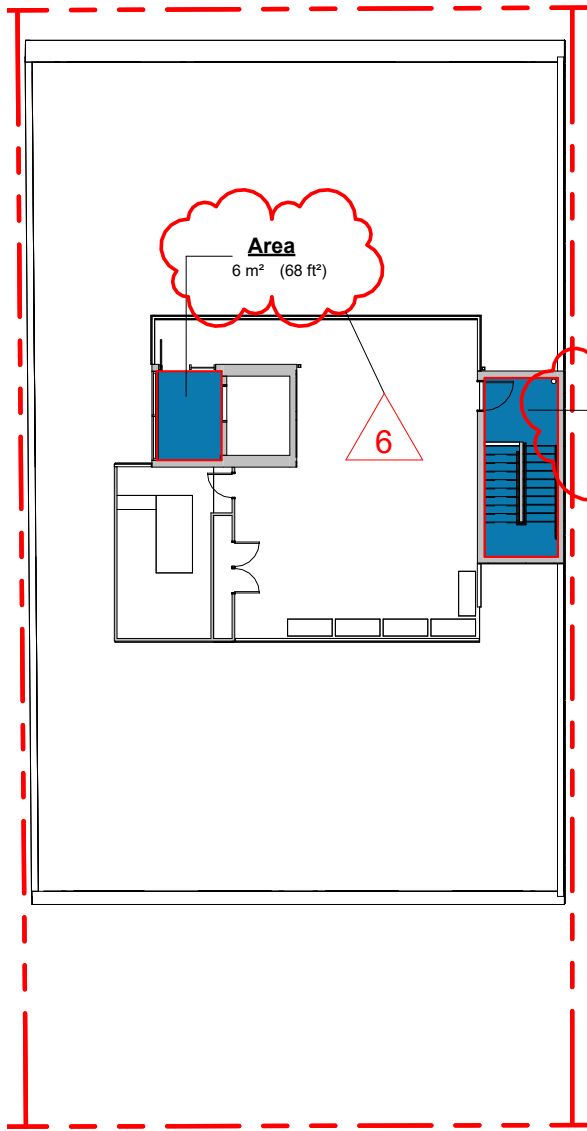
1 Proposed Site Plan
SCALE = 1 : 100



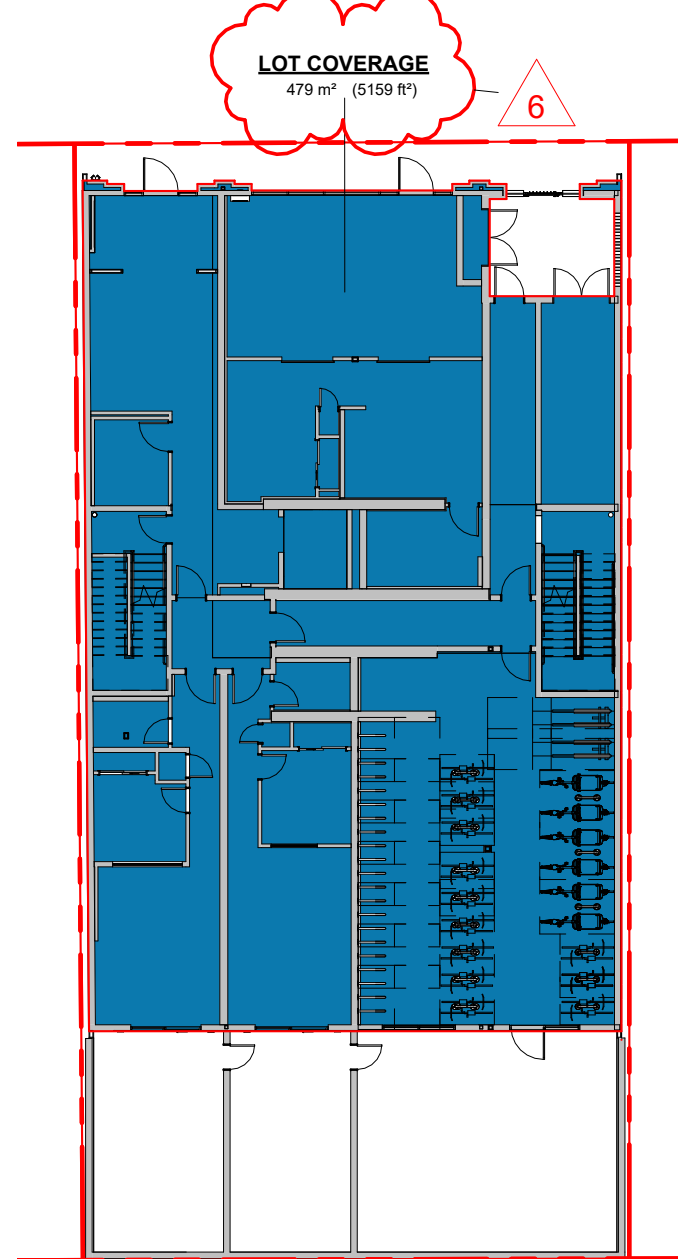
2 Floor Area - Level 1
SCALE = 1 : 250



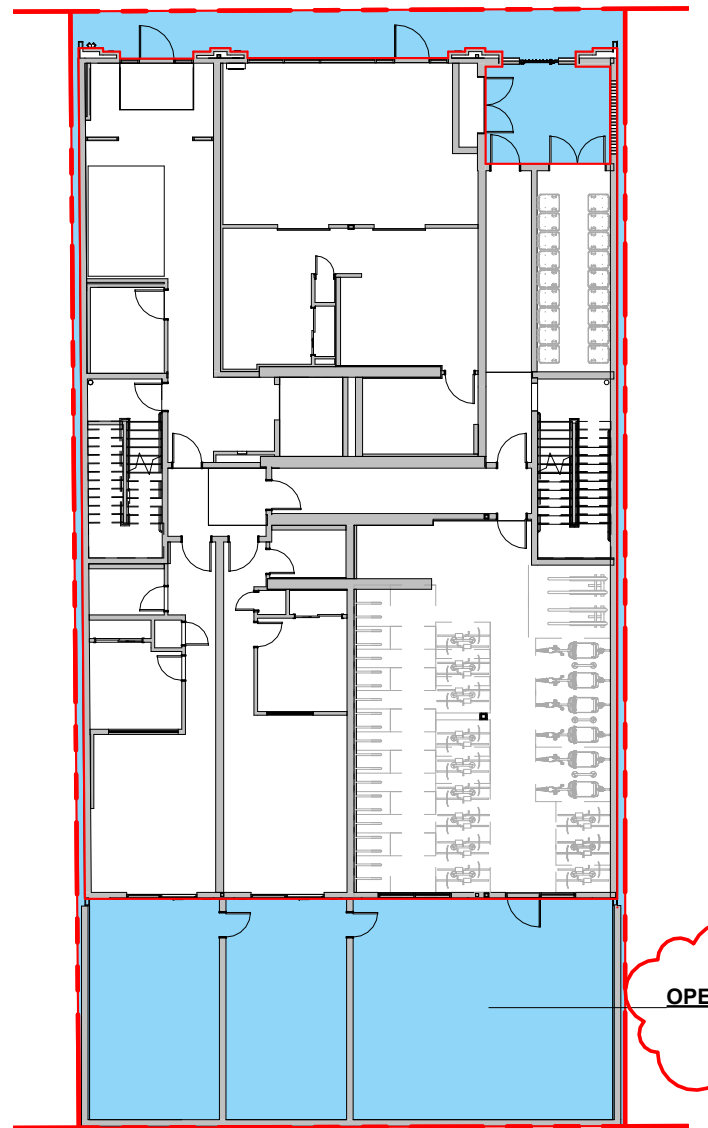
3 Floor Area - Levels 2-6
SCALE = 1 : 250



4 Floor Area - Roof
SCALE = 1 : 250



5 Site Coverage
SCALE = 1 : 250



6 Open Site Space
SCALE = 1 : 250

OPEN SITE SPACE
192 m² (2086 ft²)

DATA

MUNICIPALITY	CITY OF VICTORIA
MUNICIPAL ADDRESS	837 BROUGHTON STREET, VICTORIA, BC
LEGAL DESCRIPTION	LOT B, LOTS 255 AND 256, VICTORIA CITY, PLAN 16658
PROJECT DESCRIPTION	6 STOREY RESIDENTIAL BUILDING

PROJECT INFORMATION

ZONE RMD-4 ZONE, RESIDENTIAL MIXED USE BROUGHTON STREET (SOUTH) DISTRICT		
	REQUIRED	PROVIDED
SITE AREA (m²)	671m²	671.2m²
TOTAL FLOOR AREA (m²)	N/A	2,695m² (SEE CALCULATION)
COMMERCIAL FLOOR AREA (m²)	N/A	100m²
FLOOR SPACE RATIO	4.11 : 1	4.1 : 1
SITE COVERAGE (%)	N/A	72%
OPEN SITE SPACE (%)	N/A	28%
HEIGHT OF BUILDING (m)	24m	23.5m
NUMBER OF STOREYS	N/A	6
PARKING STALLS (#) ON SITE	30	0*
BICYCLE PARKING (#) SHORT TERM	6	6
BICYCLE PARKING (#) LONG TERM	51	59

BUILDING SETBACKS (m)

	REQUIRED	PROPOSED
FRONT YARD	0.99m	0.99m
REAR YARD (1ST STOREY)	7.00m	7.00m
REAR YARD (ABOVE)	8.00m	7.00m*
SIDE YARD (EAST)	0.00m	0.00m
SIDE YARD (WEST)	0.00m	0.00m
COMBINED SIDE YARD	0.00m	0.00m

RESIDENTIAL USE DETAILS

TOTAL NUMBER OF UNITS	43
UNIT TYPE	Live / Work (1), 1 Bedroom (42)
GROUND ORIENTED UNITS	3
MINIMUM UNIT FLOOR AREA (m²)	40.6m²
TOTAL RESIDENTIAL FLOOR AREA (m²)	2154.8m²

* VARIED IN APPROVED DEVELOPMENT PERMIT

SUPPORTING CALCULATIONS

ZONING REGULATION BYLAW FLOOR AREAS

Basement	n / a	Measured to interior face of exterior walls, exclusive of basement, elevator shaft and required bike parking.
Level 1	345m²	
Level 2	466m²	
Level 3	466m²	
Level 4	466m²	
Level 5	466m²	
Level 6	466m²	
Roof/lop	20m²	
	2,695m²	

FLOOR SPACE RATIO

2695m² / 671.2m² = 4.1 : 1

SITE COVERAGE

481m² / 671.2m² = 0.72 (72%)

OPEN SITE SPACE

190m² / 671.2m² = 0.28 (28%)

AVERAGE GRADE CALCULATIONS

ZONING REGULATION BYLAW SCHEDULE A

Grade Points	Lengths
A	22.12m
B	22.35m
C	22.35m
D	22.29m

Calculation

A-B	(22.12 + 22.35)/2	x	18.15	=	403.57
B-C	(22.35 + 22.35)/2	x	27.36	=	611.50
C-D	(22.35 + 22.29)/2	x	18.15	=	405.11
D-A	(22.29 + 22.12)/2	x	27.36	=	607.53
			91.02		2,027.70

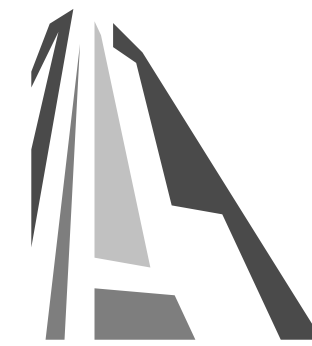
AVERAGE GRADE = 2,027.70 / 91.02 = 22.28

NOTE: There is no proposed change to the average grade of the site.

BC Building Code Grade is determined as the lowest average grade at an exterior wall. This occurs at the project's West side (D-A): (22.29+22.12) / 2 = 22.21

BCBC GRADE = 22.21

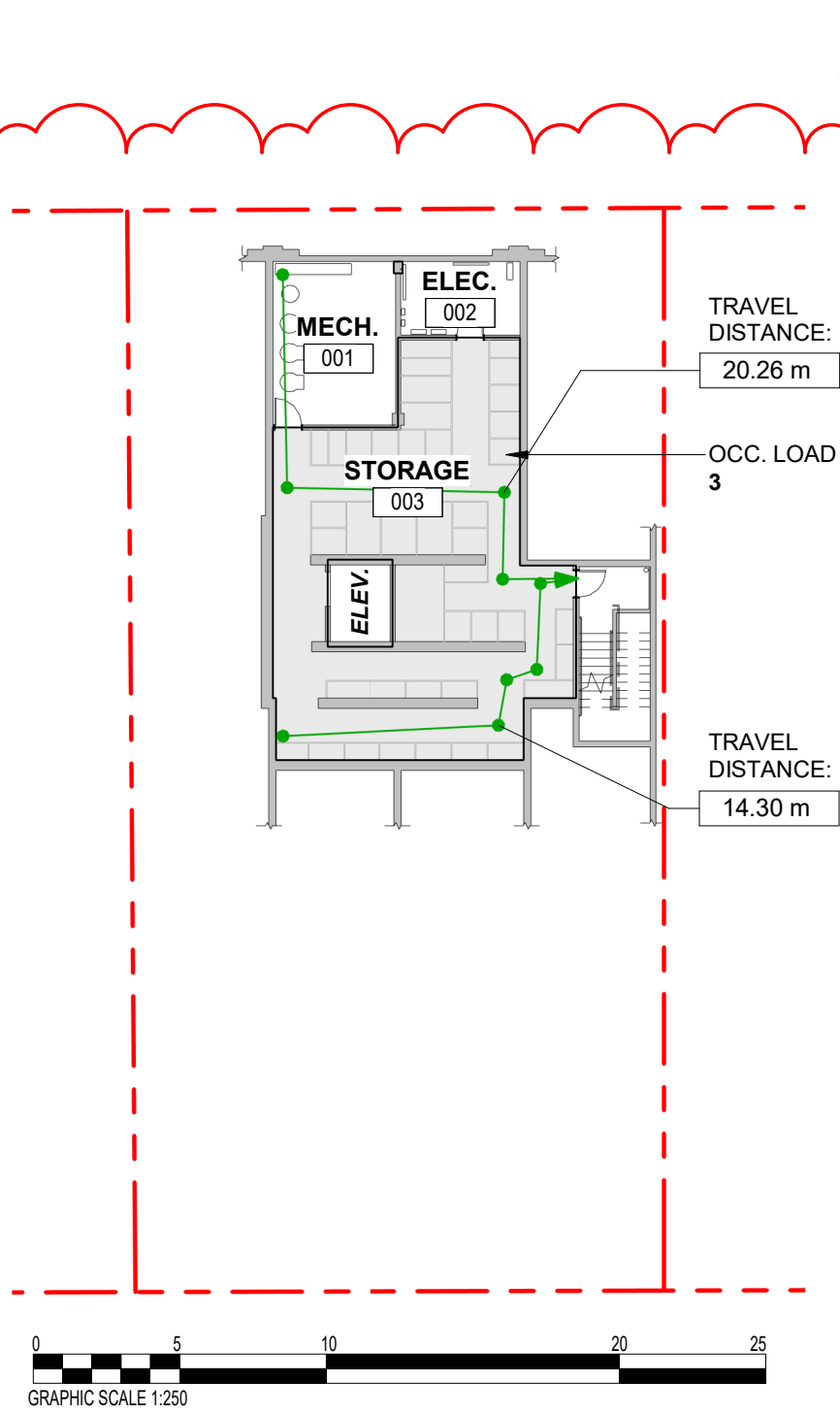
3	DDP Revision	October 6th, 2025
2	DDP Application	July 25th, 2025
1	Re-Issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street	
FORT PROPERTIES	
Sheet Name	Site Plan and Zoning Data
Date	October 6, 2025
Scale	As indicated
Project #	2401
Revision	October 6th, 2025
Sheet #	A050



1 Basement - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : STORAGE
(110.9) / 46.0 = 2.4 (3)

OCCUPANCY
Group C - Residential

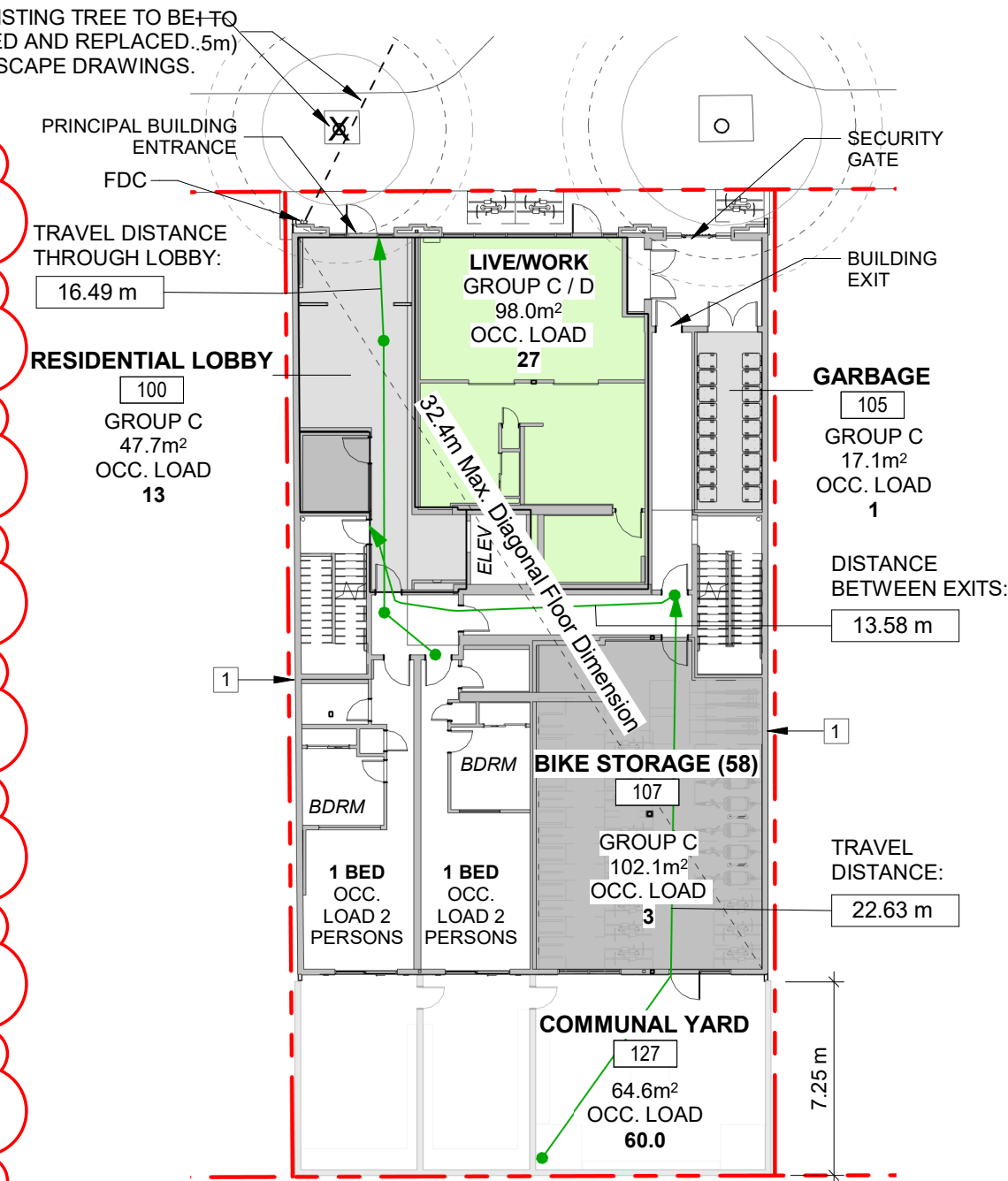
MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways: 1100mm
(Table 3.4.3.2-A).

Stairs: 1100mm (Table 3.4.3.2-A).

MAX. TRAVEL DISTANCE PERMITTED: 25m
ACTUAL TRAVEL DISTANCE: 20.26m

MAX. FLOOR AREA: 150m²
ACTUAL FLOOR AREA: 134m²

NUMBER OF EXITS: 1 (3.4.2.1)



2 Level 1 - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : PUBLIC CORRIDORS INTENDED FOR OCCUPANCIES (RESIDENTIAL LOBBY)
(47.7) / 3.7 = 12.9 (13)

OCCUPANCY
Group C - Residential

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways: 1100mm
(Table 3.4.3.2-A).

Stairs: 1100mm (Table 3.4.3.2-A).

MAX. TRAVEL DISTANCE PERMITTED: 30m

NUMBER OF EXITS: 2

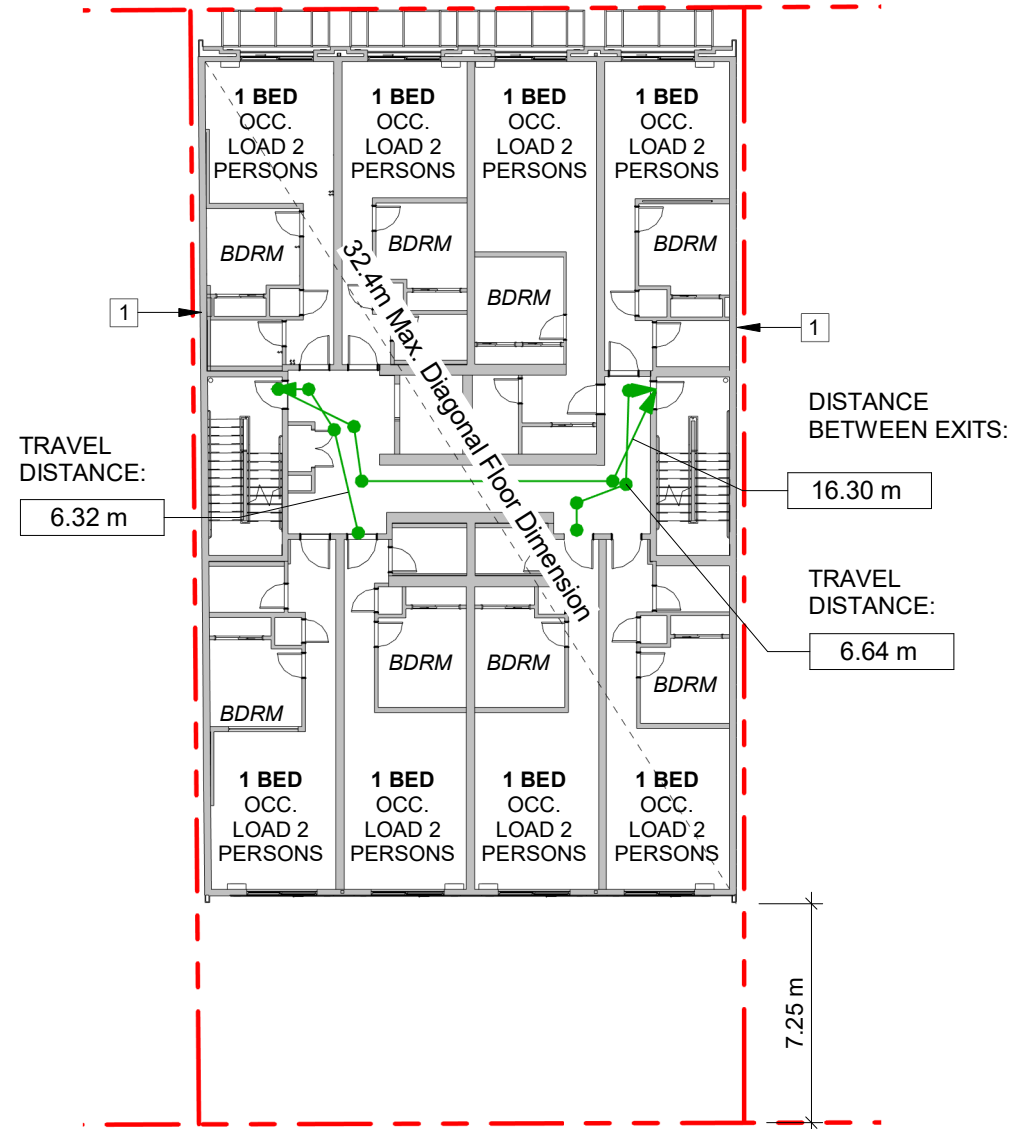
OCCUPANCY : MERCANTILE USES (LIVE/WORK)
(98.0) / 3.7 = 26.5 (27)

OCCUPANCY : STORAGE (GARBAGE ROOM)
17.1 / 46 = 0.4 (1)

OCCUPANCY : GROUP C
2 bedrooms x 2 persons / bedroom = 4

OCCUPANCY : STORAGE (BIKE STORAGE)
102.1 / 46 = 2.2 (3)

OCCUPANCY : SPACE WITH NON-FIXED SEATS AND TABLES (COMMUNAL YARD)
64.6 / 0.95 = 68.0
Posted design occupancy = 60



3 Level 2-6 - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : GROUP C
40 bedrooms x 2 persons per bedroom = 80 persons (16 persons / level)

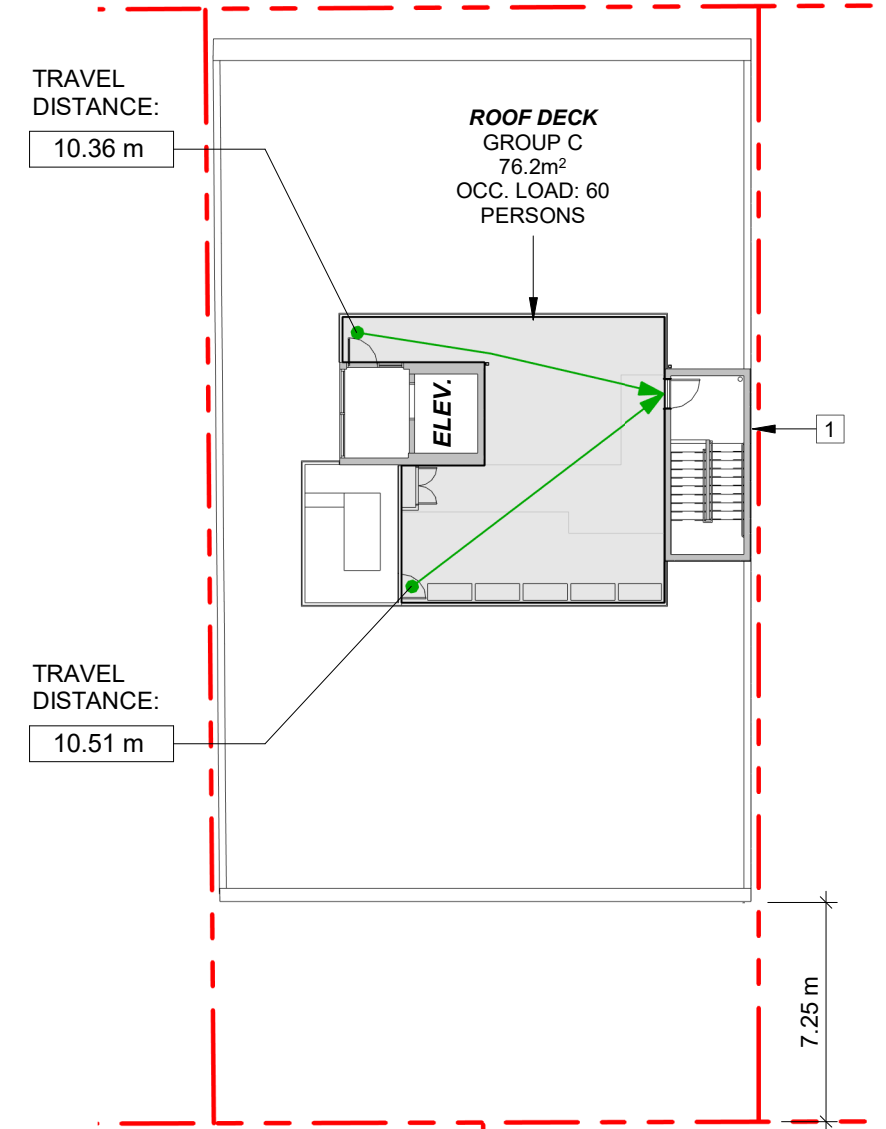
OCCUPANCY
Group C - Residential

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways: 1100mm
(Table 3.4.3.2-A).

Stairs: 1100mm (Table 3.4.3.2-A).

MAX. TRAVEL DISTANCE PERMITTED: 30m

NUMBER OF EXITS: 2



4 Rooftop - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : SPACE WITH NON-FIXED SEATS AND TABLES (ROOFTOP DECK)
(76.2) / 0.95 = 80.2
Posted design occupancy = 60

OCCUPANCY
Group C - Residential

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways: 1100mm
(Table 3.4.3.2-A).

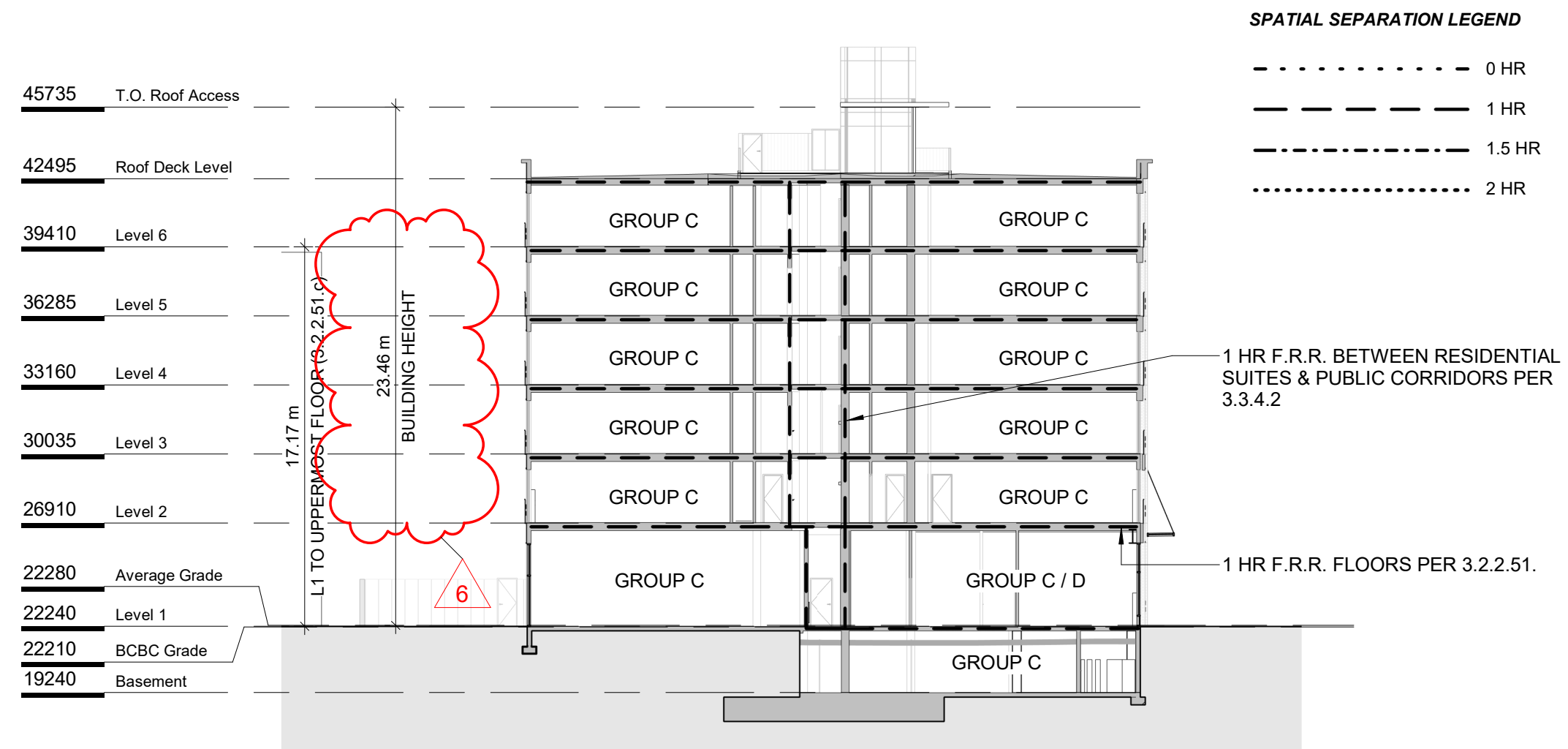
Stairs: 1100mm (Table 3.4.3.2-A).

MAX. TRAVEL DISTANCE PERMITTED: 30m

NUMBER OF EXITS: 2

OCCUPANCY SUMMARY

Level	Area	Occupancy
Basement	Storage	3
Level 1	Residential Lobby	13
	Live / Work	27
	Garbage Room	1
	Units (2)	4
	Bike Storage	3
	Communal Yard	60
	Level 1 Total	108
Levels 2-6	Units (40)	80
Rooftop	Rooftop Total	60
	Building Total	251



5 Code Review Key Building Section
SCALE = 1 : 250

BUILDING CODE ANALYSIS

PROJECT TYPE	NEW CONSTRUCTION <input checked="" type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/>	
GOVERNING BUILDING CODE	2024 BC BUILDING CODE PART 3	
MAJOR OCCUPANCIES	A1 <input type="checkbox"/> A2 <input type="checkbox"/> A3 <input type="checkbox"/> A4 <input type="checkbox"/> B1 <input type="checkbox"/> B2 <input checked="" type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F1 <input type="checkbox"/> F2 <input type="checkbox"/> F3 <input type="checkbox"/>	3.1.2.1.
MULTIPLE MAJOR OCCUPANCIES	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	3.2.2.51
BUILDING AREA	481 m ² (Outside face of Exterior Walls)	Div A 1.4.1.2.
GRADE	22.21 m	Div A 1.4.1.2.
BUILDING HEIGHT (STOREYS, m)	6 STOREYS ABOVE GRADE 1 STOREYS BELOW GRADE	Div A 1.4.1.2.

BUILDING FIRE SAFETY & CONSTRUCTION CLASSIFICATION

CLASSIFICATION	GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.51
MAXIMUM BUILDING AREA	1500 m ²	3.2.2.51
NUMBER OF STREETS FACING	1	3.2.2.10
CONSTRUCTION TYPES PERMITTED	COMBUSTIBLE <input checked="" type="checkbox"/> NON - COMBUSTIBLE <input checked="" type="checkbox"/> EMTCC* <input checked="" type="checkbox"/>	3.2.2.51
INTERCONNECTED FLOOR SPACE	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	3.2.8.

EXITS FROM FLOOR AREAS

NUMBER OF EXITS REQUIRED	2	3.4.2.1.
SEPARATION OF EXITS (MIN.)	9 m	3.4.2.3
MAX. TRAVEL DISTANCE ALLOWED	GROUP C 45 m	3.4.2.5.
MEZZANINE	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	3.2.8.

FIRE RESISTANCE RATINGS

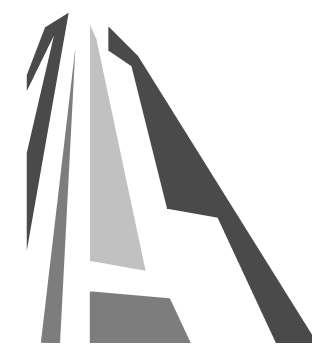
HORIZONTAL SEPARATIONS	1 hrs FLOORS 1 hrs ROOF	3.2.2.51
LOADBEARING STRUCTURE IMMEDIATELY BELOW A FLOOR OR ROOF ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF.		
EXITS	1 hrs	3.4.4.1

FIRE SEPARATIONS AND FIRE RESISTANCE RATINGS (F.R.R)

HORIZONTAL SEPARATIONS	1 HR FLOORS 1 HR ROOF	3.2.2.51 (2)
LOADBEARING STRUCTURE	NOT LESS THAN THE SUPPORTED ASSEMBLY	3.2.2.51 (2)
BETWEEN SUITES	1 HR	3.3.1.1.
BETWEEN SUITES & PUBLIC CORRIDOR	1 HR	3.3.1.1.
PUBLIC CORRIDOR	1 HR	3.2.1.4.
STORAGE ROOMS	1 HR	3.3.4.3.
EXIT ENCLOSURES	1 HR	3.4.4.1.
ELEVATOR HOISTWAY	1 HR	3.5.3.1.
SERVICE ROOMS	1 HR	3.6.2.1.
COMBUSTIBLE REFUSE & RECYCLING	1 HR	3.6.2.5.
VERTICAL SERVICE SPACES	45 MIN.	3.6.3.1.

1 ALTERNATIVE SOLUTION TO BE IMPLEMENTED TO ALLOW WOOD FRAME CONSTRUCTION

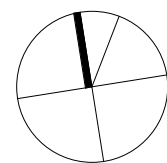
2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street



FORT PROPERTIES

Sheet Name

Code Analysis

Date July 25, 2025

Scale As indicated Project # 2401

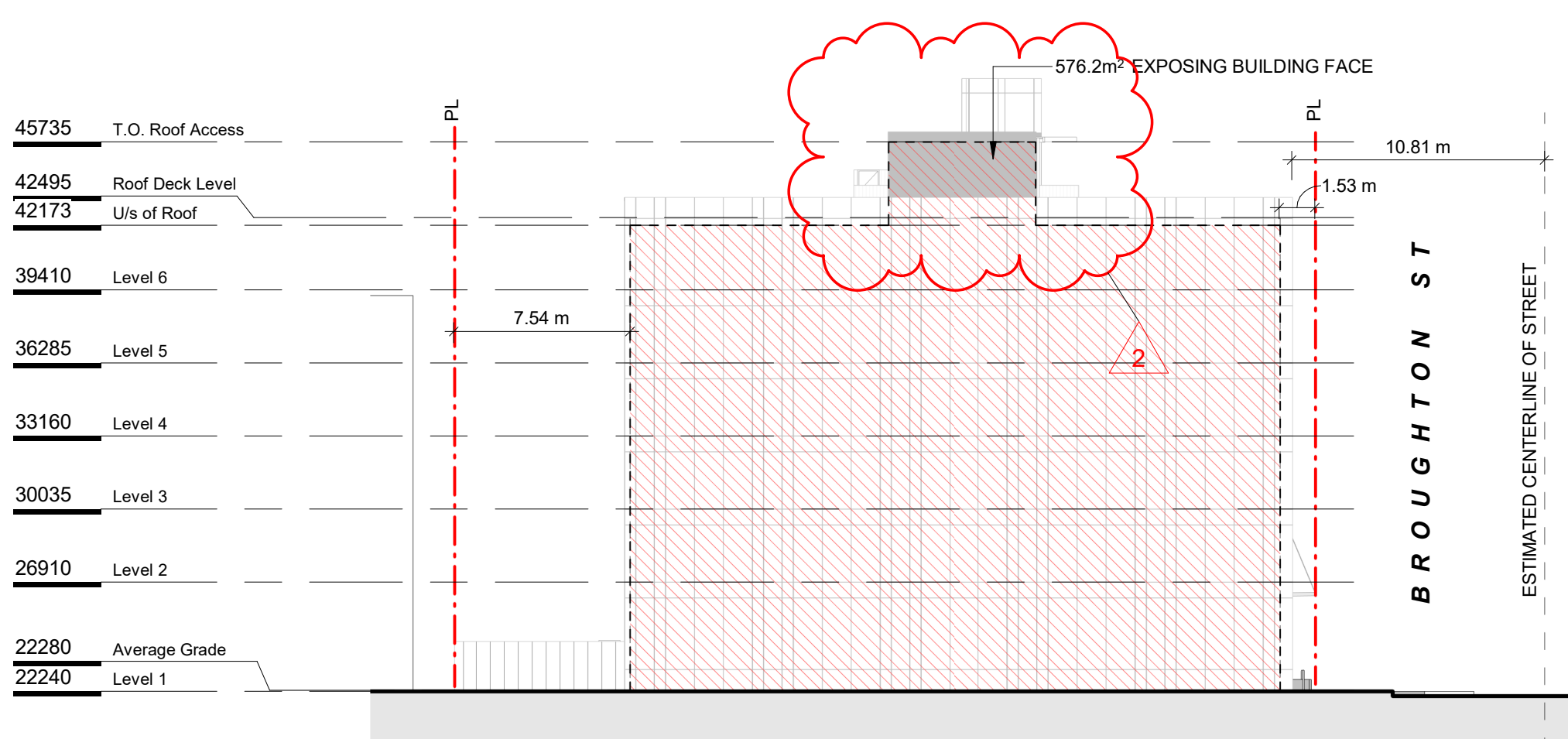
Revision July 25th, 2025 2

Sheet # A051



1 North Elevation - Limiting Distance Key
SCALE = 1 : 250

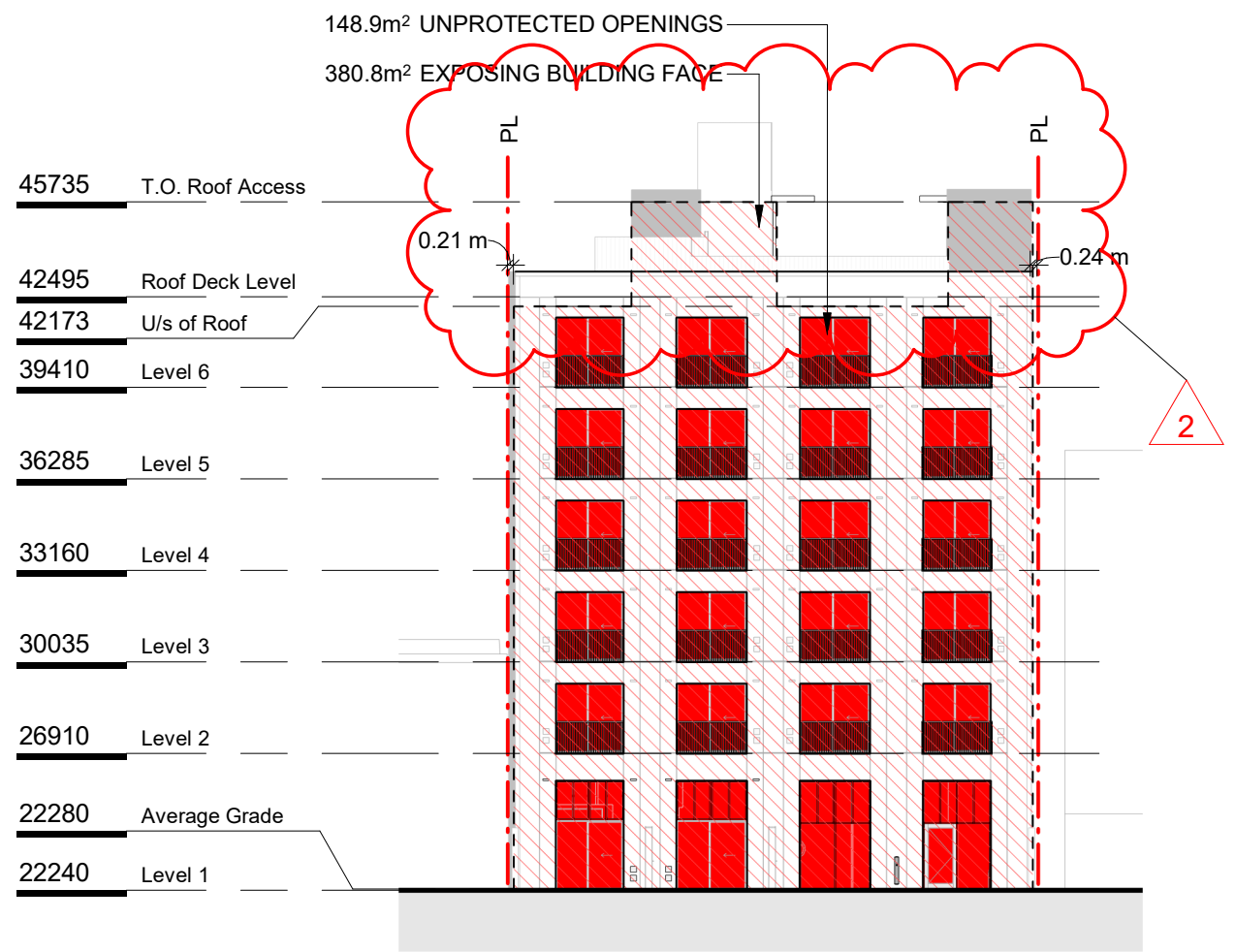
Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
	10.8m	100%	383.4m²	151.5m²	39.5%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
	Group C	100%	n / a	Any	Combustible or Noncombustible



2 East Elevation - Limiting Distance Key
SCALE = 1 : 250

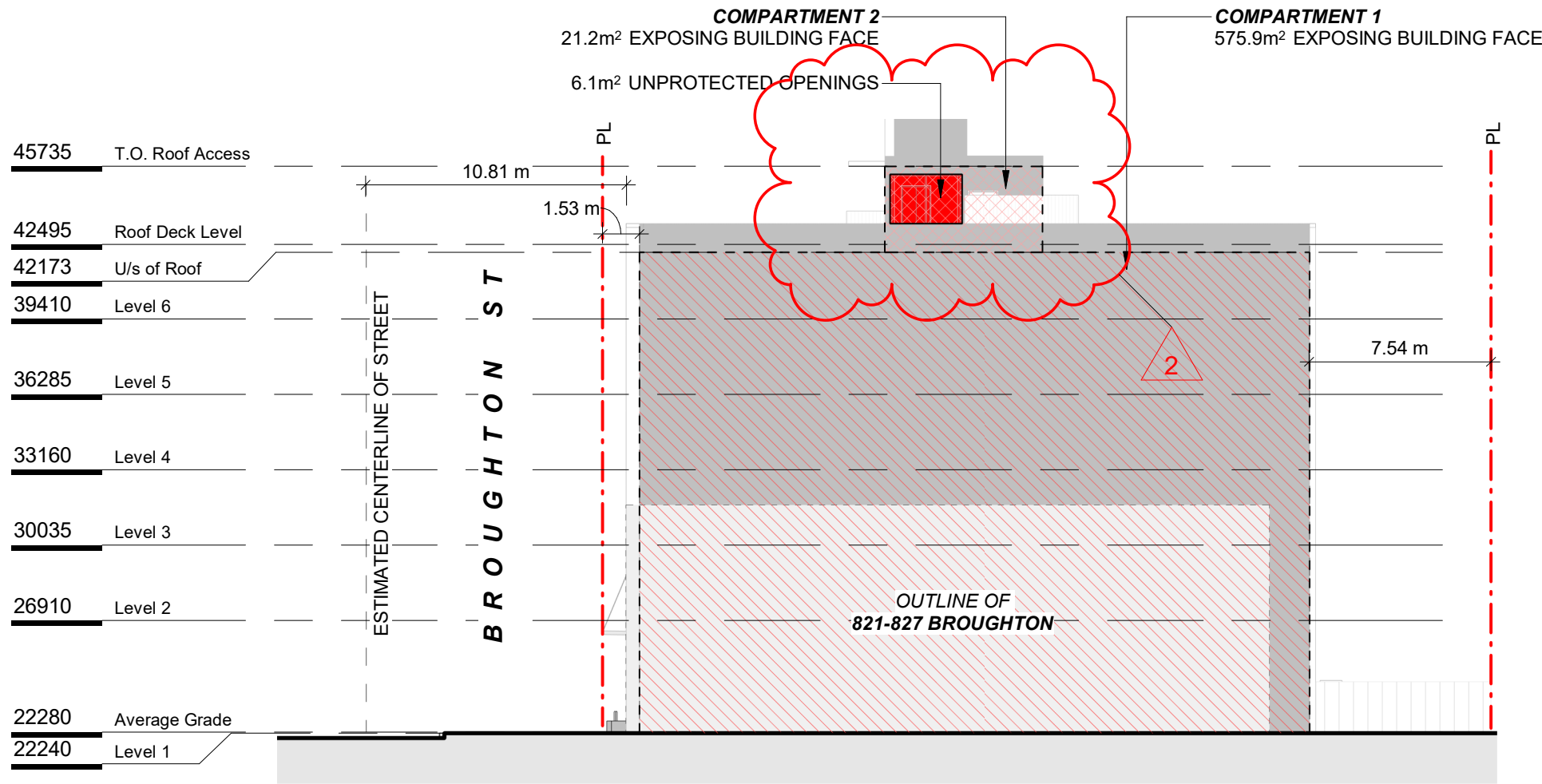
Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
	0m	0%	576.2m²	0m²	0%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
	Group C	0%	1h	Noncombustible ¹	Noncombustible

1 ALTERNATIVE SOLUTION TO BE IMPLEMENTED TO ALLOW WOOD FRAME CONSTRUCTION



3 South Elevation - Limiting Distance Key
SCALE = 1 : 250

Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
	7.0m	66%	380.8m²	148.9m²	39.1%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
	Group C	66%	n / a	Any	Combustible or Noncombustible



4 West Elevation - Limiting Distance Key
SCALE = 1 : 250

Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
COMPARTMENT 1	0m	0%	553.2m²	0m²	0%
COMPARTMENT 2	4.33m	90%	21.2m²	6.1m²	28.8%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
COMPARTMENT 1	Group C	0%	1h	Noncombustible ¹	Noncombustible
COMPARTMENT 2	Group C	90%	45 min	Any	Combustible or Noncombustible

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



837 Broughton Street

FORT PROPERTIES

Sheet Name
Spatial Separations

Date
July 25, 2025

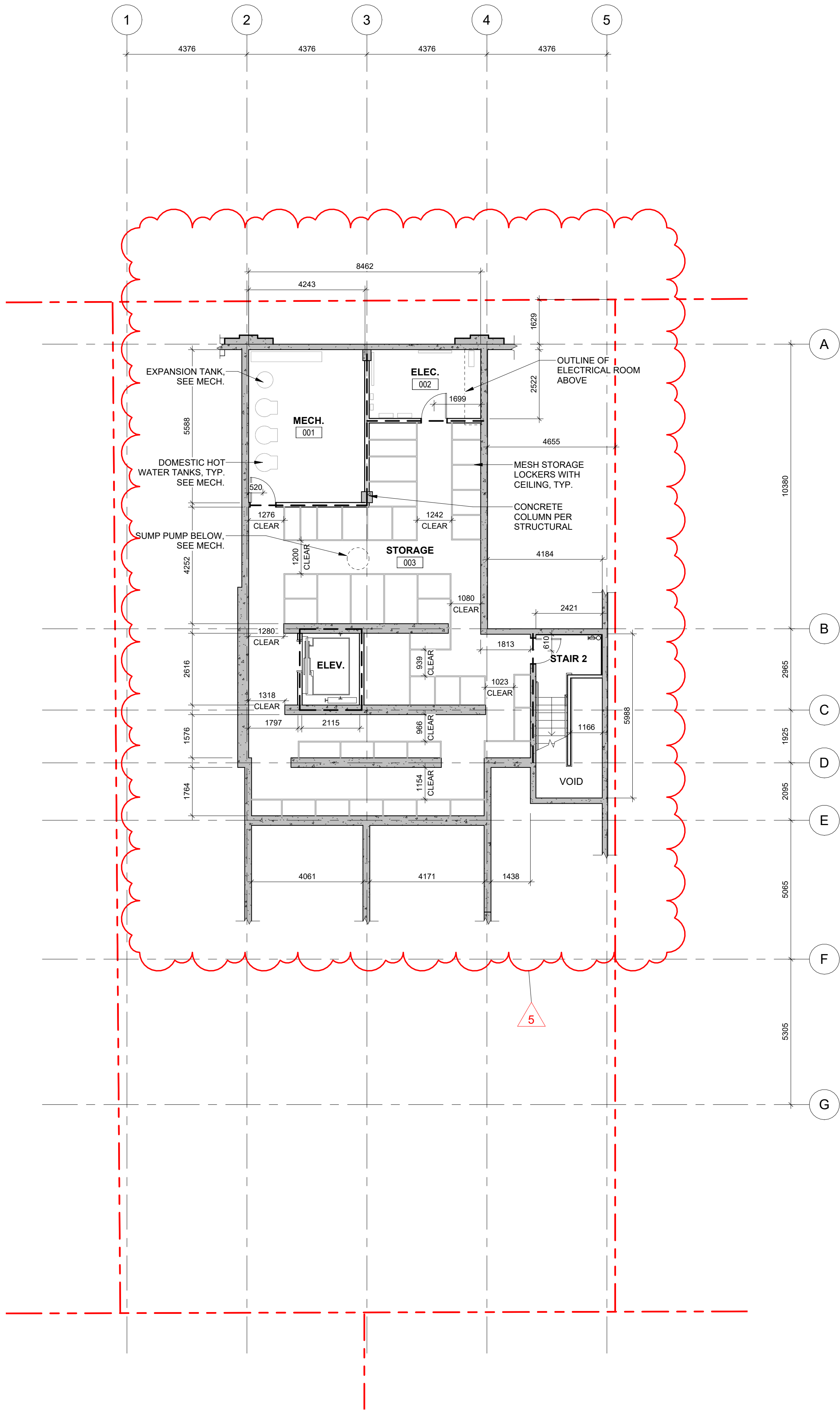
Scale
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Project #
2401

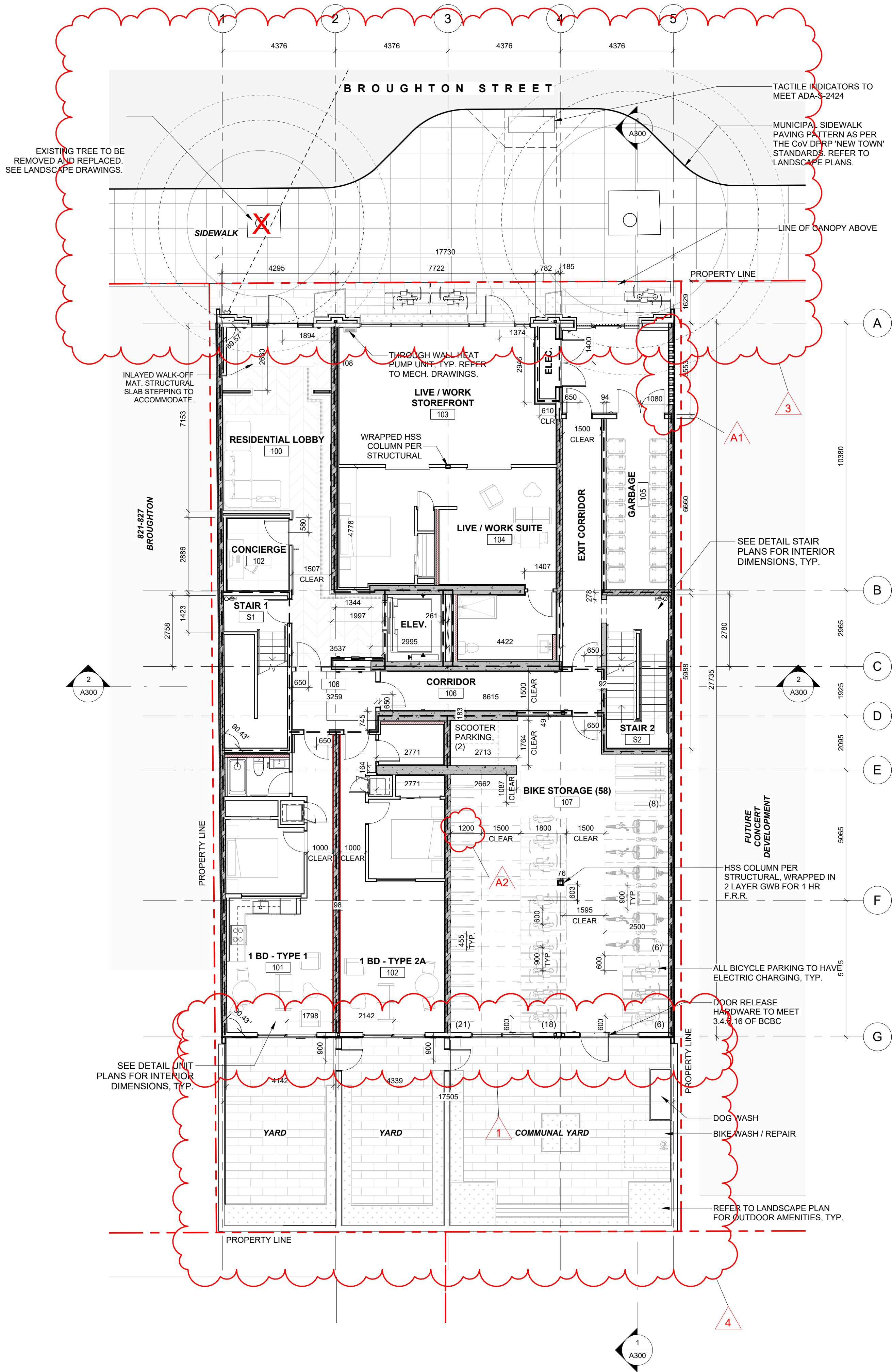
Revision
July 25th, 2025
2

Sheet #
A052





2 Basement - Dimensions
SCALE = 1 : 100



1 Level 1 - Dimensions
SCALE = 1 : 100

FIRE SEPARATION LEGEND

- 0 HR
----- 1 HR
----- 1.5 HR
..... 2 HR

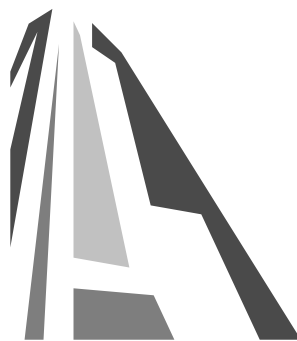
NOTATION LEGEND

- WOOD FRAME WALL
WOOD FRAME SHEAR / BEARING WALL: 1hr FRR
WOOD FRAME SANITARY CHASE
WOOD FRAME WATER RISER / METER
REINFORCED CONCRETE: SEE STRUCTURAL
301.3 DOOR TAG
P1 ASSEMBLY TAG
1-W01 GLAZING TAG (UNIT, ELEVATION, #)
ELEC ELECTRICAL PANEL
COMM COMMS PANEL
H20 HOSE BIBB
PS PULL STATION
HC ADO ACTUATOR
PD PLANTER DRAIN
BD BI-LEVEL DRAIN
TD TRENCH DRAIN
QUIETROCK ES

GENERAL NOTES

- ALL DIMENSIONS ARE TO GRIDLINES, FACE OF CONCRETE, FACE OF EXTERIOR SHEATHING, FACE OF FRAMING, UNLESS NOTED OTHERWISE (UNO).
- ALL OPENING DIMENSIONS, WHEN SHOWN, ARE TO HEEL DEPTH OF FRAME, OR CENTER OF UNIT. REFER GLAZING SCHEDULE.
- DOOR DIMENSIONS GIVEN ARE CLEAR SLAB WIDTHS, EXCLUSIVE OF FRAMES. REFER DOOR SCHEDULE.

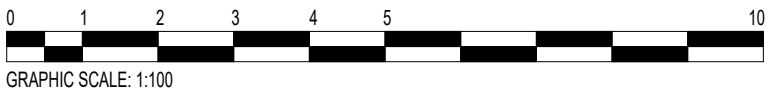
3	DDP Revision	October 6th, 2025
2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



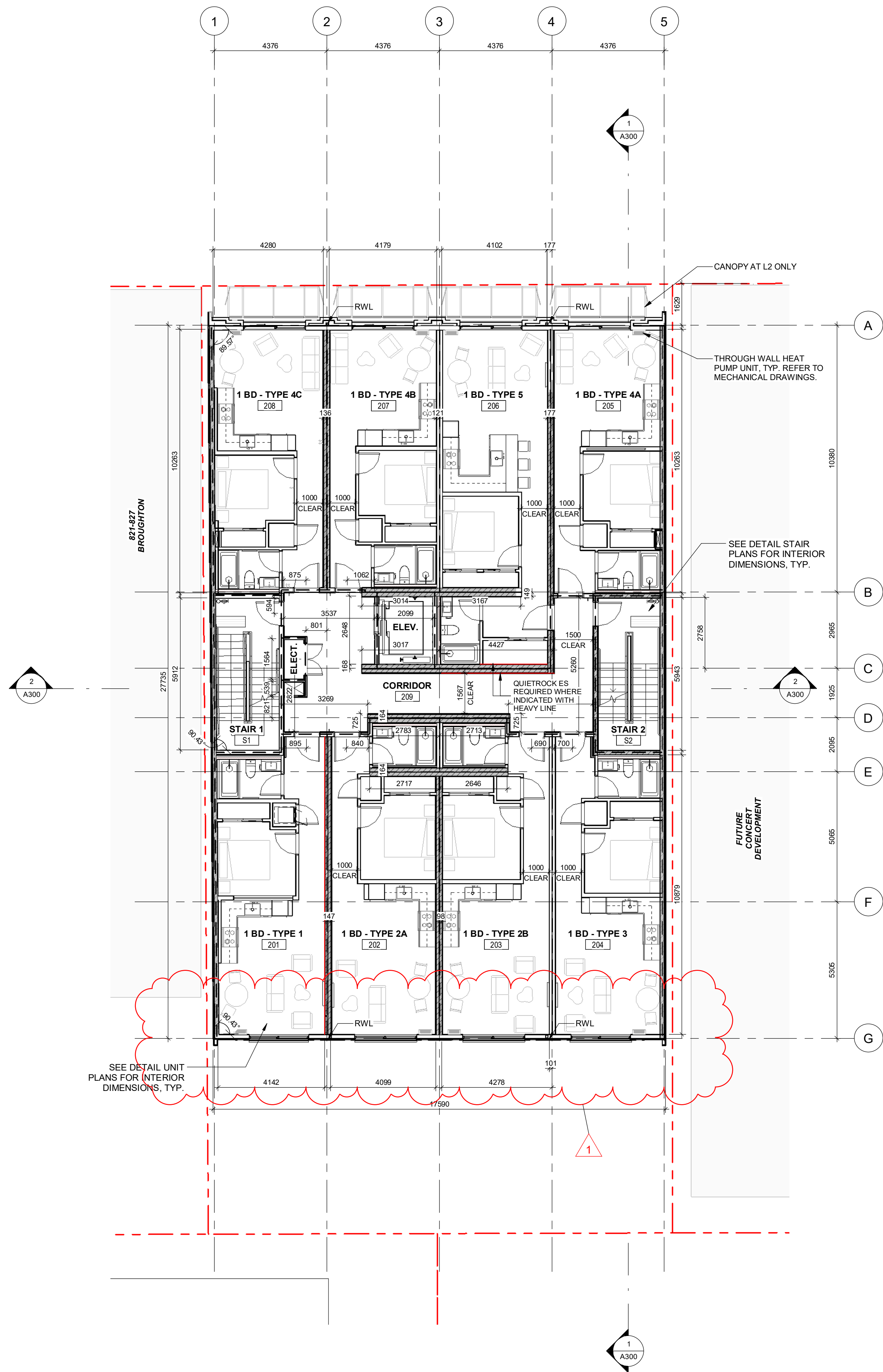
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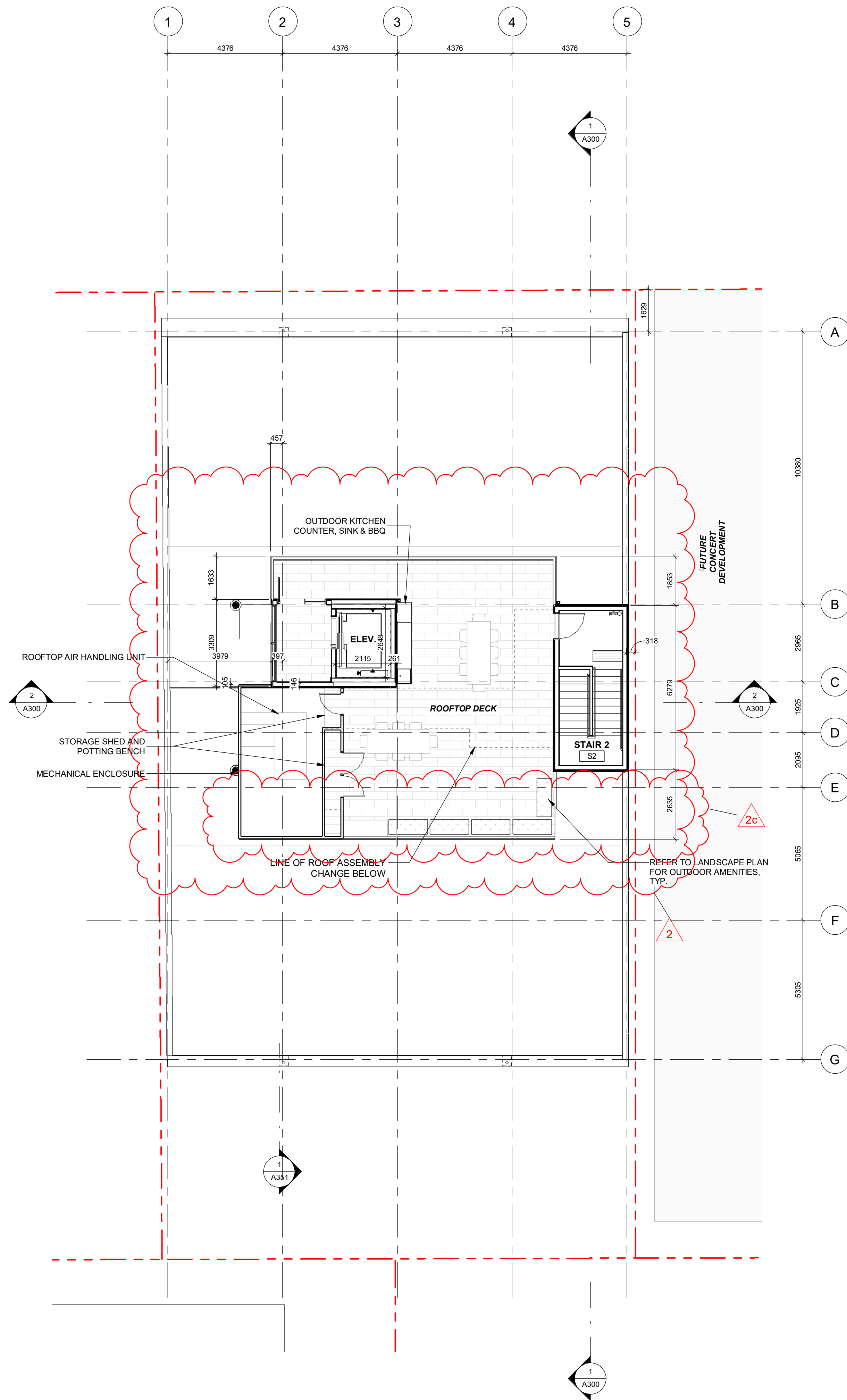
837 Broughton Street	
FORT PROPERTIES	
Sheet Name Proposed Basement and Level 1 Floor Plans	
Date October 6, 2025	
Scale As indicated	Project # 2401
Revision October 6th, 2025	
Sheet # A101	



P:\2021 837 Broughton\REVIT\CENTRAL FILE\Architectural\837 Broughton Street\ISSUED FOR DDP 10.rvt



1 Levels 2-6 (Typical Level) - Dimensions
SCALE = 1 : 100



2 Roof Deck Plan - Dimensions
SCALE = 1 : 100

FIRE SEPARATION LEGEND

.....	0 HR
-----	1 HR
-----	1.5 HR
.....	2 HR

NOTATION LEGEND

=====	WOOD FRAME WALL
=====	WOOD FRAME SHEAR / BEARING WALL: 1hr FRR
=====	WOOD FRAME SANITARY CHASE
=====	WOOD FRAME WATER RISER / METER
=====	REINFORCED CONCRETE: SEE STRUCTURAL
301.3	DOOR TAG
P1	ASSEMBLY TAG
1-W01	GLAZING TAG (UNIT, ELEVATION, #)
ELEC	ELECTRICAL PANEL
COMM	COMMS PANEL
H20	HOSE BIBB
PS	PULL STATION
HC	ADO ACTUATOR
PD	PLANTER DRAIN
BD	BI-LEVEL DRAIN
TD	TRENCH DRAIN
-----	QUIETROCK ES

GENERAL NOTES

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- DOOR DIMENSIONS GIVEN ARE CLEAR SLAB WIDTHS, EXCLUSIVE OF FRAMES. REFER DOOR SCHEDULE.

3	DDP Revision	October 6th, 2025
2	DDP Application	July 25th, 2025
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837 Broughton Street

FORT PROPERTIES

Sheet Name

Proposed Residential Floor Plan and Roof Plan

Date

October 6, 2025

Scale

As indicated

Project #

2401

Revision

October 6th, 2025

3

Sheet #

A102



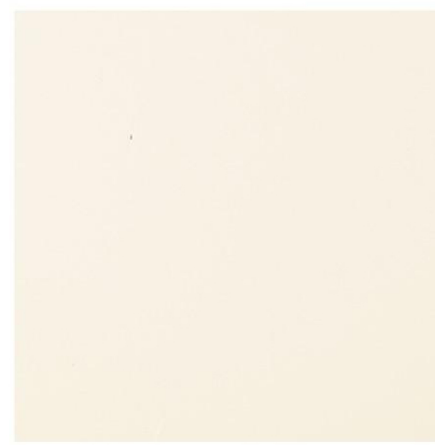
01, 02. WARM, WHITE BRICK
RUNNING BOND AND SOLDIER COURSE. BRIGHT, SMOOTH, NON-GLAZED.



03, 04. WARM, WHEAT / SAND BRICK
RUNNING BOND AND SOLDIER COURSE. ROUGH, NON-GLAZED.



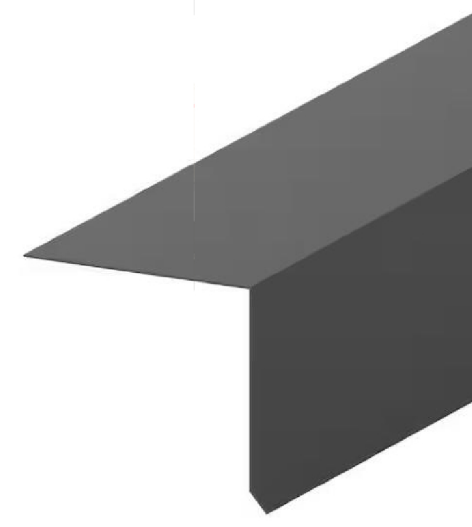
05. CEMENTICIOUS PANEL CLADDING - CHARCOAL
COLOUR MATCHED FACE FASTENED



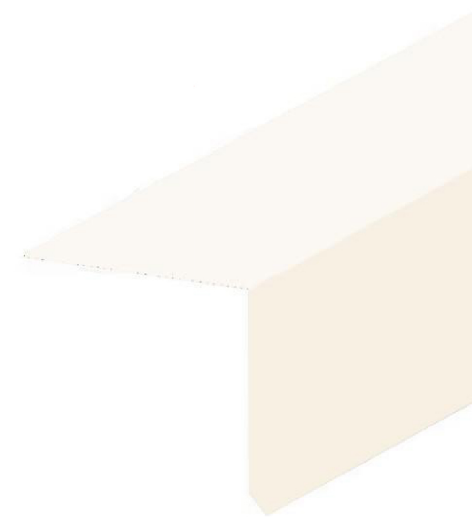
06. CEMENTICIOUS PANEL CLADDING - WARM WHITE
COLOUR MATCHED FACE FASTENED



08. STOREFRONT GLAZING
CLEAR GLAZING. CHARCOAL FRAME TO MATCH METAL PANEL.



13. PREFINISHED METAL FLASHING
CHARCOAL



14. PREFINISHED METAL FLASHING
WARM WHITE

- 01 RUNNING BOND BRICK - bright, warm white, smooth, non-glazed
02 SOLDIER COURSE BRICK - bright, warm white, smooth, non-glazed
03 RUNNING BOND BRICK - light wheat or sand tone, rough, non-glazed
04 SOLDIER COURSE BRICK - light wheat or sand tone, rough, non-glazed
05 FIBRE CEMENT CLADDING - charcoal, panelized, face-fastened
06 FIBRE CEMENT CLADDING - warm white, panelized, face-fastened
07 VINYL OR FIBRE GLASS WINDOWS - charcoal or grey to match metal panel
08 CURTAIN WALL GLAZING - charcoal or grey to match metal panel
10 WOOD FENCE - natural
11 WOOD FENCE - dark grey stain
12 ALUMINUM PICKET GUARD - grey or zinc
13 PREFINISHED METAL FLASHING - charcoal
14 PREFINISHED METAL FLASHING - warm white

45735 T.O. Roof Access
43363 T.O. Parapet
42735 Roof - Finished Floor
42495 Roof Deck Level
39410 Level 6
36285 Level 5
33160 Level 4
30035 Level 3
26910 Level 2
22280 Average Grade
22210 BCBC Grade
22240 Level 1

2 East Elevation
SCALE = 1 : 100

45735 T.O. Roof Access
43363 T.O. Parapet
42735 Roof - Finished Floor
42495 Roof Deck Level
39410 Level 6
36285 Level 5
33160 Level 4
30035 Level 3
26910 Level 2
22280 Average Grade
22240 Level 1

23.46 m
BUILDING HEIGHT

FUTURE
CONCERT
DEVELOPMENT

1 North Elevation
SCALE = 1 : 100

13

11

14

06

ELEVATOR OVERRUN

FUTURE
CONCERT
DEVELOPMENT

BROUGHTON STREET

3	DDP Revision	October 6th, 2025
2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street

FORT PROPERTIES

Sheet Name
Building Elevations N-E

Date
October 6, 2025

Scale
As indicated

Project #
2401

Revision
October 6th, 2025

Sheet #
A200

10/3/2025 5:02:15 PM



01, 02. WARM, WHITE BRICK
RUNNING BOND AND SOLDIER COURSE. BRIGHT,
SMOOTH, NON-GLAZED.



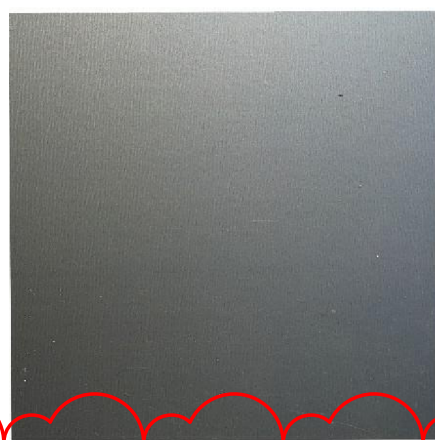
03, 04. WARM, WHEAT / SAND BRICK
RUNNING BOND AND SOLDIER COURSE. ROUGH,
NON-GLAZED.



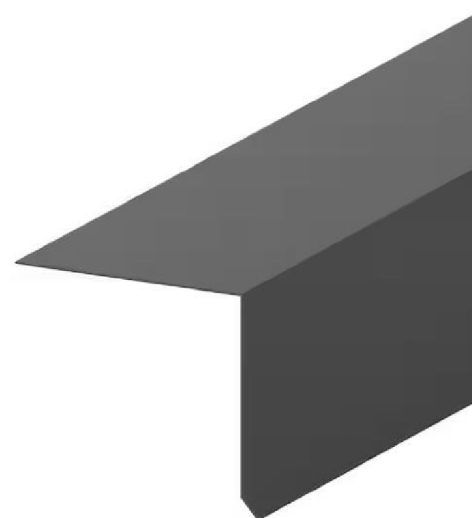
05. CEMENTICIOUS PANEL CLADDING - CHARCOAL
COLOUR MATCHED FACE FASTENED



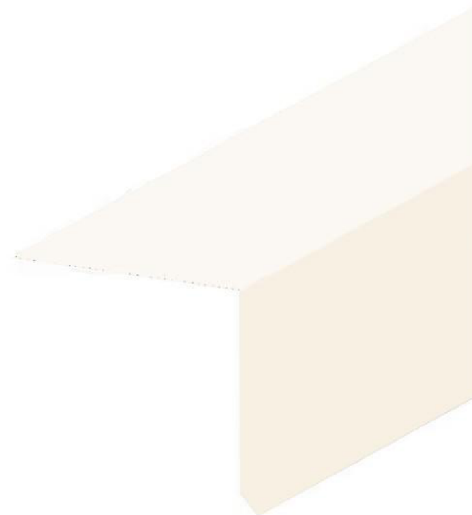
06. CEMENTICIOUS PANEL CLADDING - WARM WHITE
COLOUR MATCHED FACE FASTENED



08. STOREFRONT GLAZING
CLEAR GLAZING. CHARCOAL FRAME TO MATCH
METAL PANEL.



13. PREFINISHED METAL FLASHING
CHARCOAL



14. PREFINISHED METAL FLASHING
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45735 T.O. Roof Access

43363 T.O. Parapet

42735 Roof - Finished Floor
Roof Deck Level

39410 Level 6

36285 Level 5

33160 Level 4

30035 Level 3

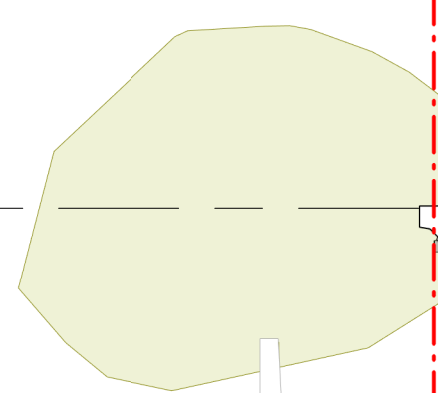
26910 Level 2

22280 Average Grade

22240 Level 1

23.46 m
BUILDING HEIGHT

BROUGHTON STREET



2 West Elevation
SCALE = 1 : 100

45735 T.O. Roof Access

43363 T.O. Parapet

42735 Roof - Finished Floor
Roof Deck Level

39410 Level 6

36285 Level 5

33160 Level 4

30035 Level 3

26910 Level 2

22280 Average Grade

22240 Level 1

23.46 m
BUILDING HEIGHT

1 South Elevation

SCALE = 1 : 100

ELEVATOR OVERRUN

14

06

06

13

13

06

06

11

701-W2

05

821-827
BROUGHTON

10

FUTURE
CONCERT
DEVELOPMENT

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE

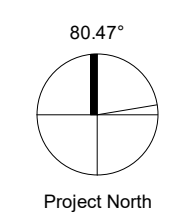


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837 Broughton Street

FORT PROPERTIES



Project North

Sheet Name

Building Elevations S-W

Date July 25, 2025

Scale As indicated Project # 2401

Revision July 25th, 2025 2

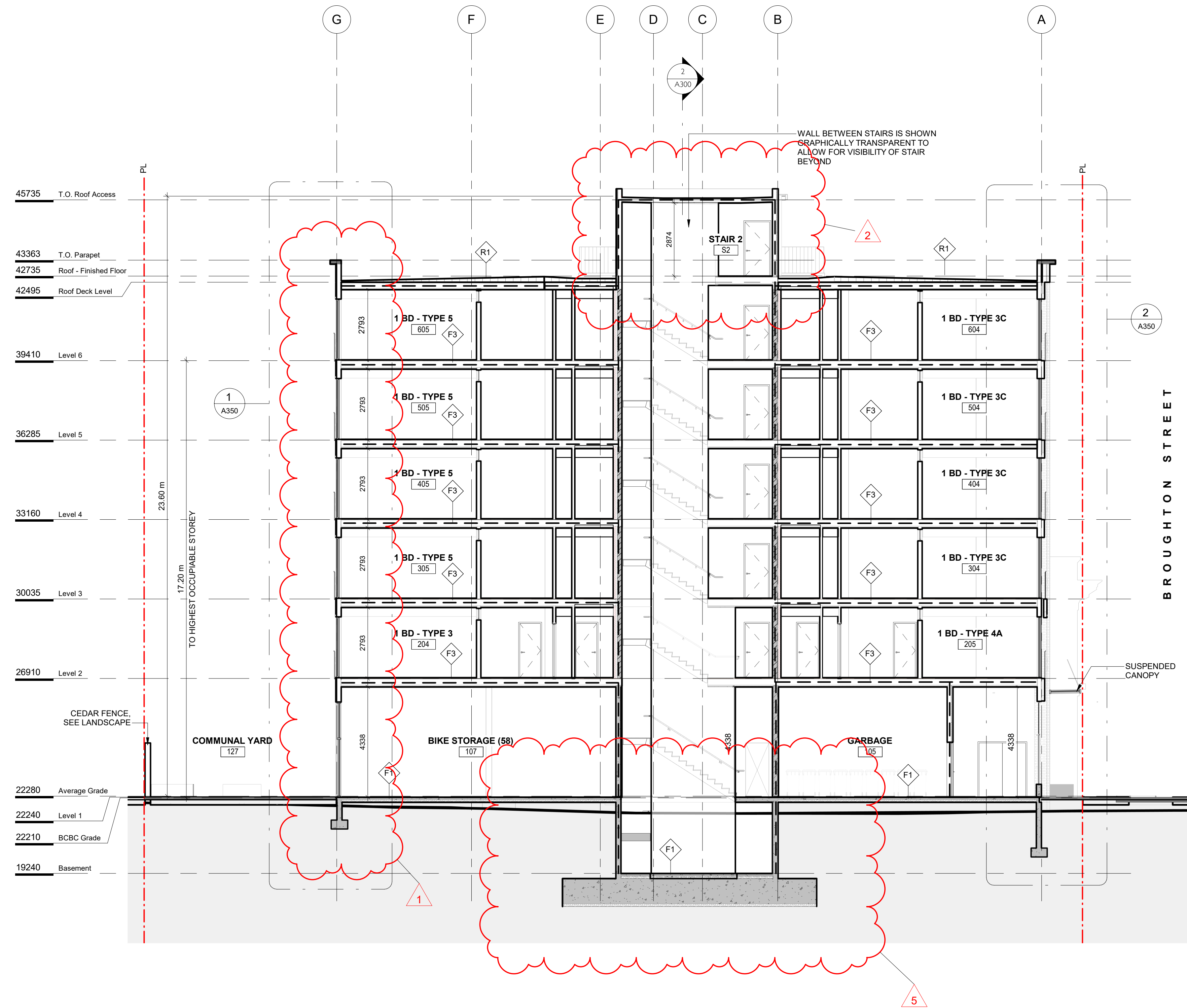
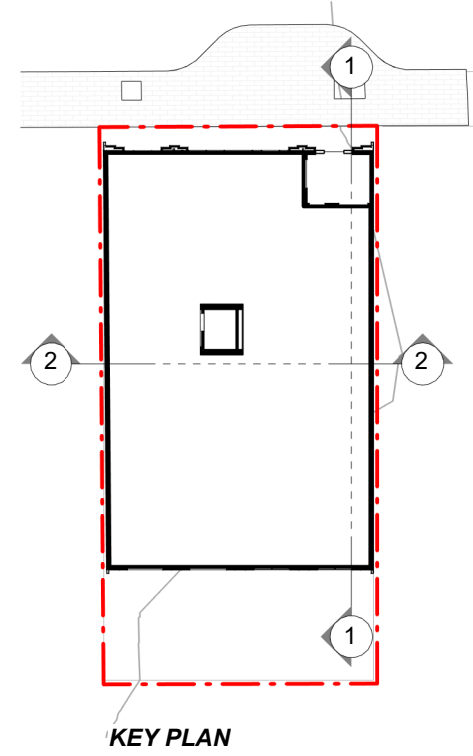
Sheet #

A201

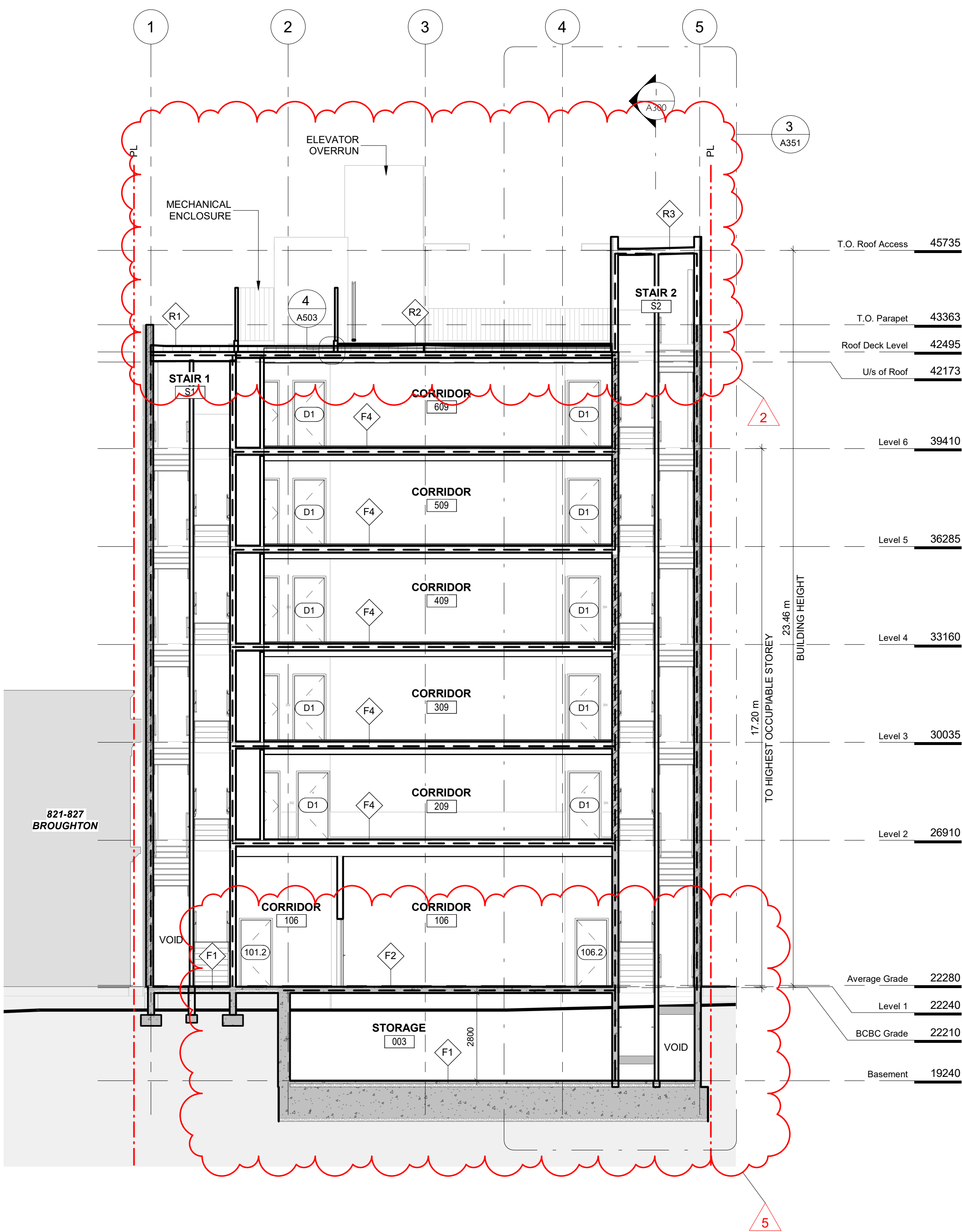
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FIRE SEPARATION LEGEND

- 0 HR
----- 1 HR
----- 1.5 HR
..... 2 HR

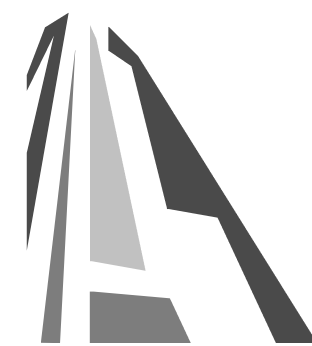


1 Building Section at GL 5
SCALE = 1 : 100



2 Building Section through Stairwells
SCALE = 1 : 100

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street

FORT PROPERTIES

Sheet Name
Building Sections

Date
July 25, 2025

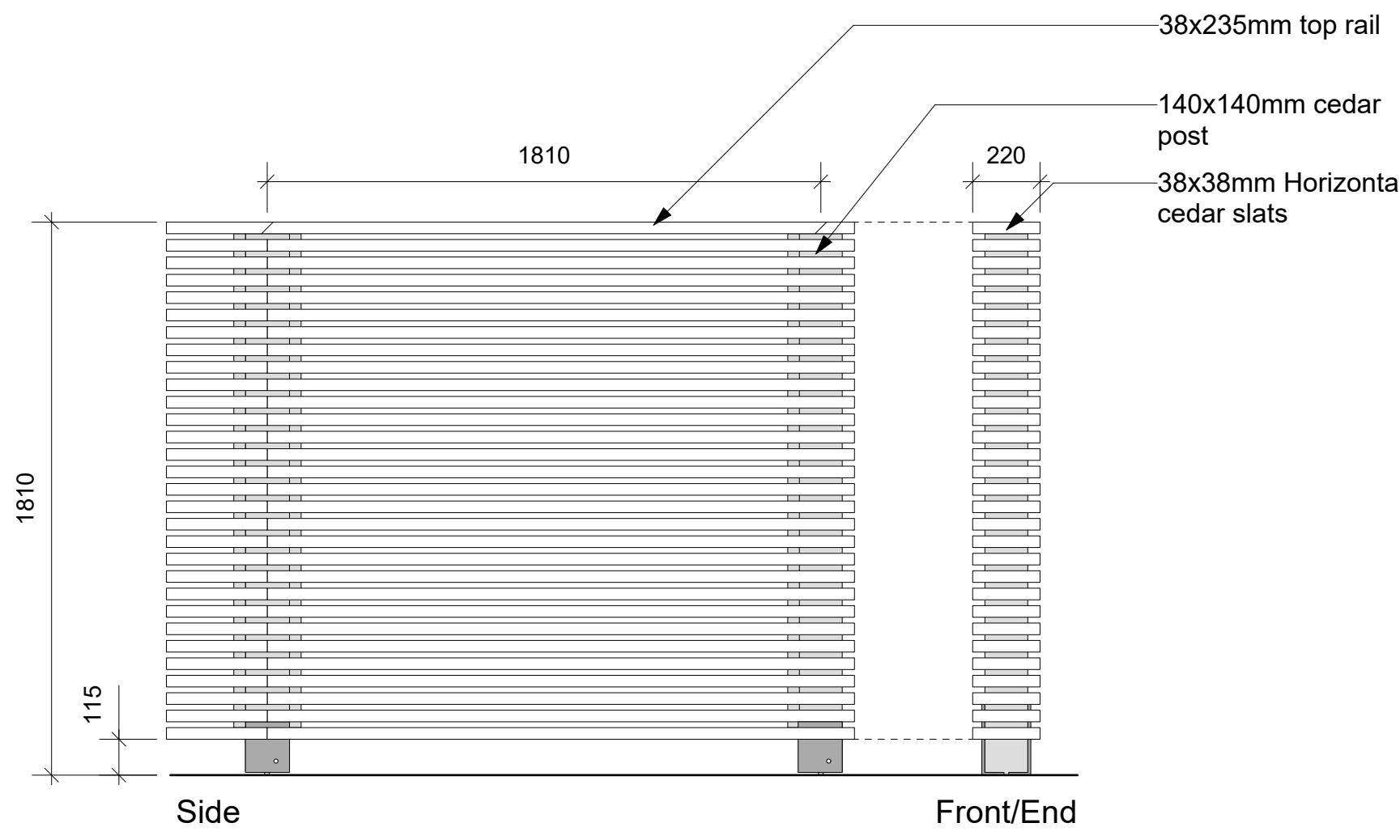
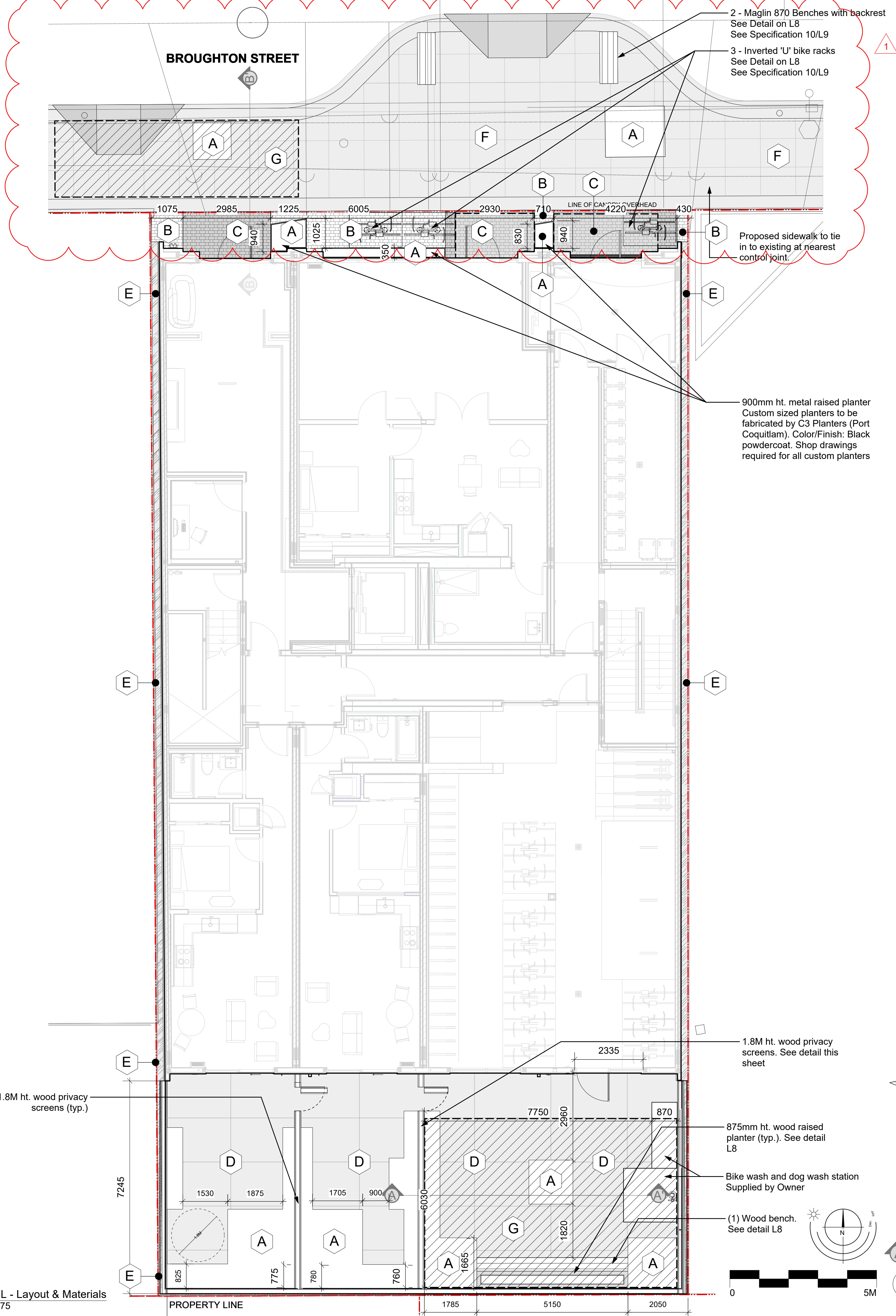
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As indicated

Project #
2401

Revision
July 25th, 2025

Sheet #
A300



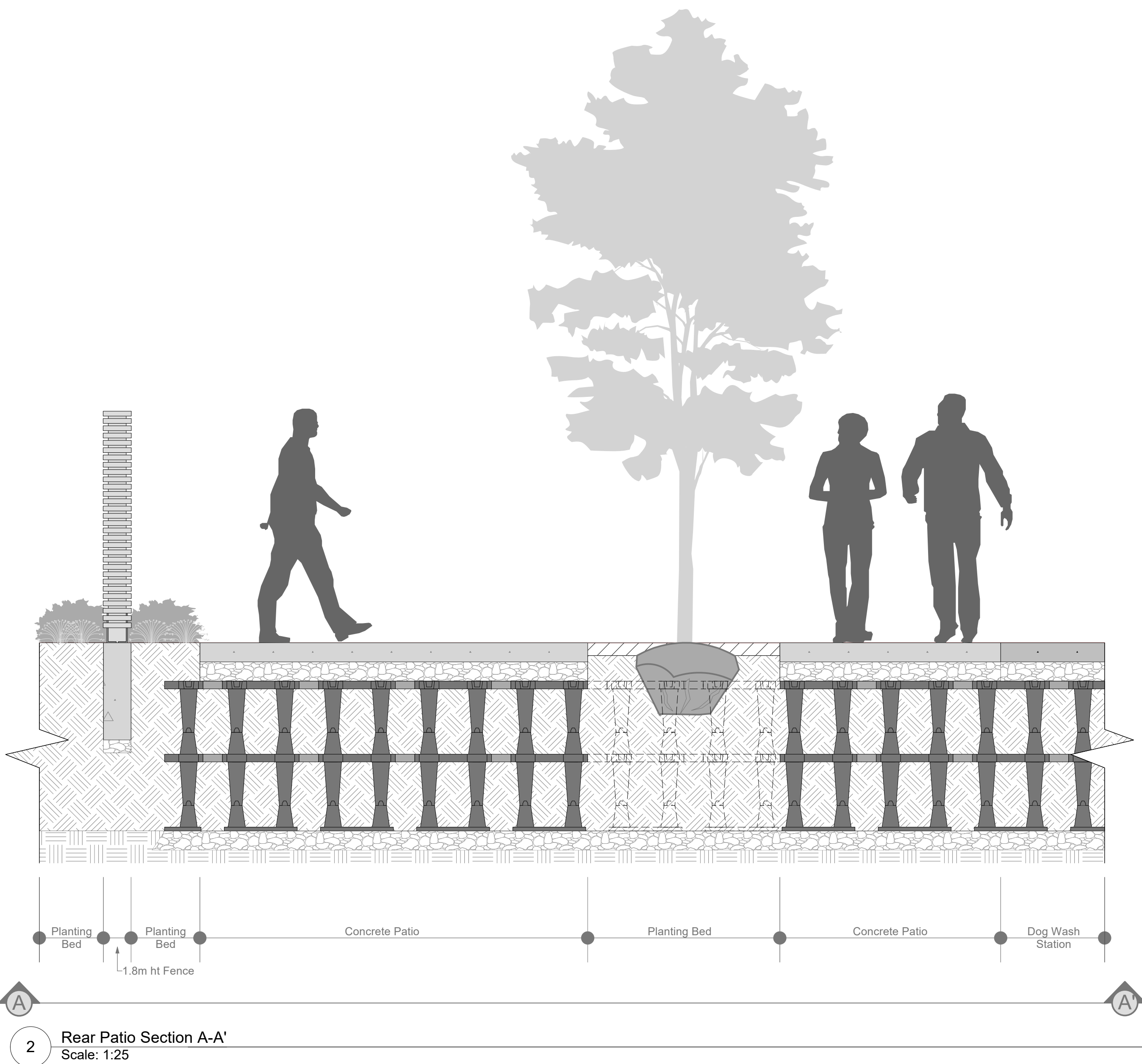


MATERIALS LEGEND

A	Planting Beds See Specification 4/L9
B	Decorative Concrete Unit Pavers Belgard Classic Standard Color: Shaded Grey See Specification 7/L9
C	Decorative Concrete Unit Pavers Belgard Classic Standard Color: Midnight See Specification 7/L9
D	Poured Concrete Patio See Specification 8/L9
E	150mm Depth River Rock See Specification 6/L9
F	Municipal Sidewalk Paving pattern as per the CoV DPRP 'New Town' standards.
G	Area of Soil Cells See Specification 8/L9

2 1.8M Ht. Wood Privacy Screen - Elevation
1:20

FENCE NOTES
1. Carpenter shop drawings are required for all fencing and gates.
2. All fastening hardware to be galvanized and rated for outdoor use. Fastening hardware to be appropriately sized for fence construction with approval by a Structural Engineer.
3. All wood to be No. 2 Cedar. Wood substitutions require approval from both the Landscape Architect and Owner.
4. All wood to be stained clear, 2 coats.



2 Rear Patio Section A-A'
Scale: 1:25

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1 Frontage revised in coordination with Civil.

15	Oct 06-25	Issued for DDP #2
14	Oct 02-25	Issued for Tender
13	Sept 26-25	Issued for Tender
12	July 29-25	Issued for DDP #1
11	July 15-25	Issued for Building Permit
10	Apr 4-25	Issued for Building Permit
9	Feb 3-25	Issued for Building Permit
8	Jan 17-25	Re-issued for 90% Building Permit
7	Dec 23-24	Issued for 90% Building Permit
6	Nov 27-24	Issued for Building Permit
5	Nov 22-24	Issued for 50% BP Coordination
4	Sept 5-24	Re-issued for Rezoning/DP
3	Jul 16-24	Re-issued for Rezoning/DP
2	Jul 9-24	Re-issued for Rezoning/DP
1	Apr 19-24	Issued for Rezoning/DP

REVISIONS

LADR LANDSCAPE ARCHITECTS

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

837 Broughton Street
Victoria, BC

TITLE

Ground Level
Layout & Materials
Plan

SCALE

As Shown

DRAWN

CW

CHECKED

CW

PROJECT No.

2404

DATE

March 7-24

L1 of 5
SHEET

1 Frontage revised in coordination with Civil.

15	Oct 06-25	Issued for DDP #2
14	Oct 02-25	Issued for Tender
13	Sept 26-25	Issued for Tender
12	July 29-25	Issued for DDP #1
11	July 15-25	Issued for Building Permit
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5	Nov 22-24	Issued for 50% BP Coordination
4	Sept 5-24	Re-issued for Rezoning/DP
3	Jul 16-24	Re-issued for Rezoning/DP
2	Jul 9-24	Re-issued for Rezoning/DP
1	Apr 19-24	Issued for Rezoning/DP

REVISIONS

 **LADR LANDSCAPE ARCHITECTS**

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

837 Broughton Street
Victoria, BC

TITLE

Ground Level
Planting Plan

SCALE

As Shown

DRAWN CW
CHECKED CW

PROJECT No. 2404

DATE

March 7-24

L2 of 5
SHEET

Required Nursery Stock

Trees

ID	Quantity	Botanical Name	Common Name	Size
BeNDH	3	Betula nigra 'Dura Heat'	Dura Heat Birch	6cm cal.
CoF	2	Cornus florida 'Cloud 9'	Cloud 9 Dogwood	5cm cal.
PrKa	1	Prunus serrulata 'Kanzan'	Cherry Kanzan	6cm Cal.

Large Shrubs

ID	Quantity	Botanical Name	Common Name	Size
PrLC	37	Prunus laurocerasus 'Caucasia'	Cherry Laurel	2M ht./pleached

Small Shrubs

ID	Quantity	Botanical Name	Common Name	Size
GaSh	61	Gaultheria shallon	Salal	#1 pot

Perennials, Annuals and Ferns

ID	Quantity	Botanical Name	Common Name	Size
BiSp	51	Blechnum spicant	Deer Fern	#1 pot
PoMu	14	Polystichum munitum	Sword Fern	#1 pot

Groundcovers

ID	Quantity	Botanical Name	Common Name	Size
ArUU	10	Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kinnickinnick	#1 pot

Vines

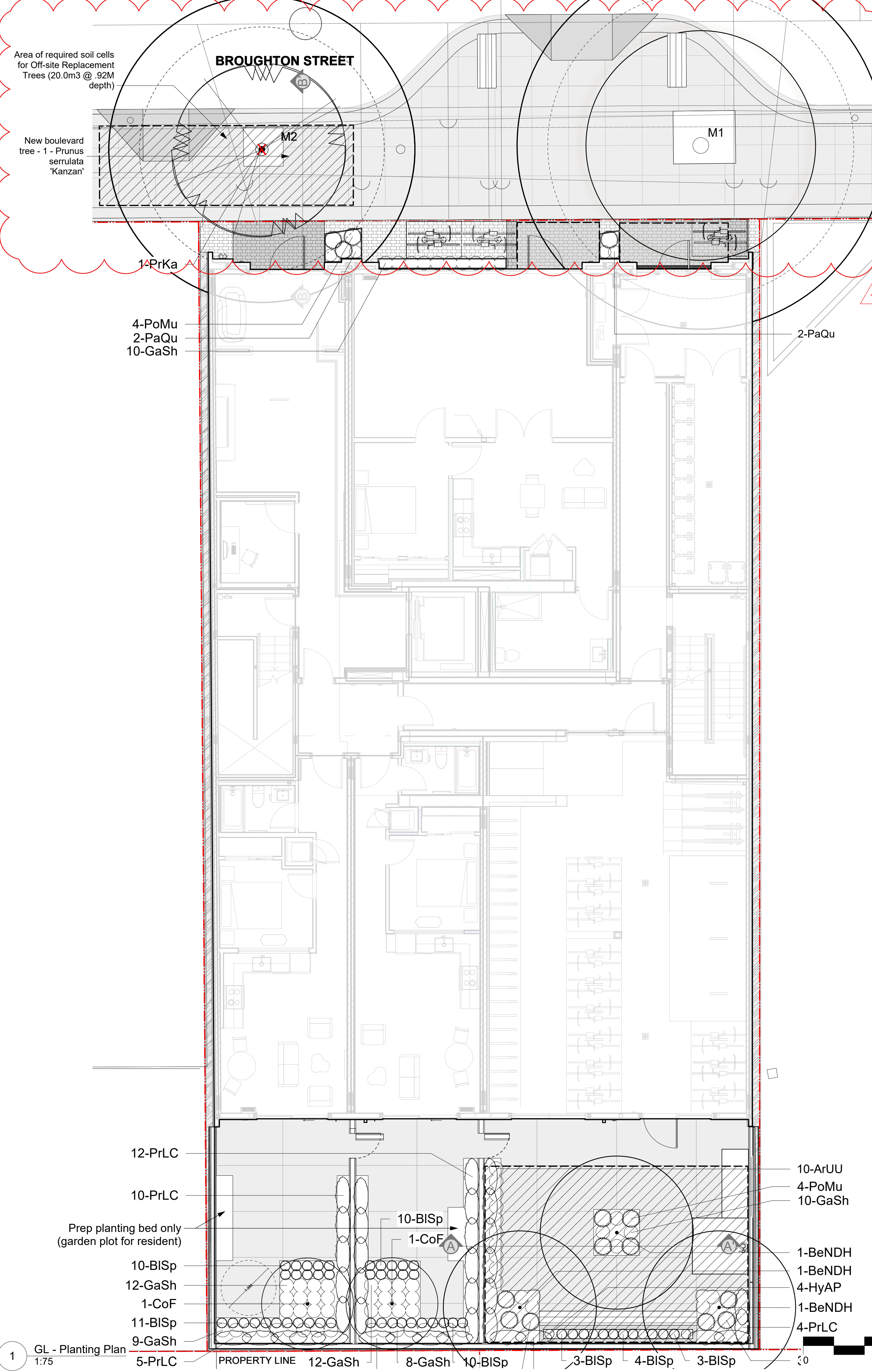
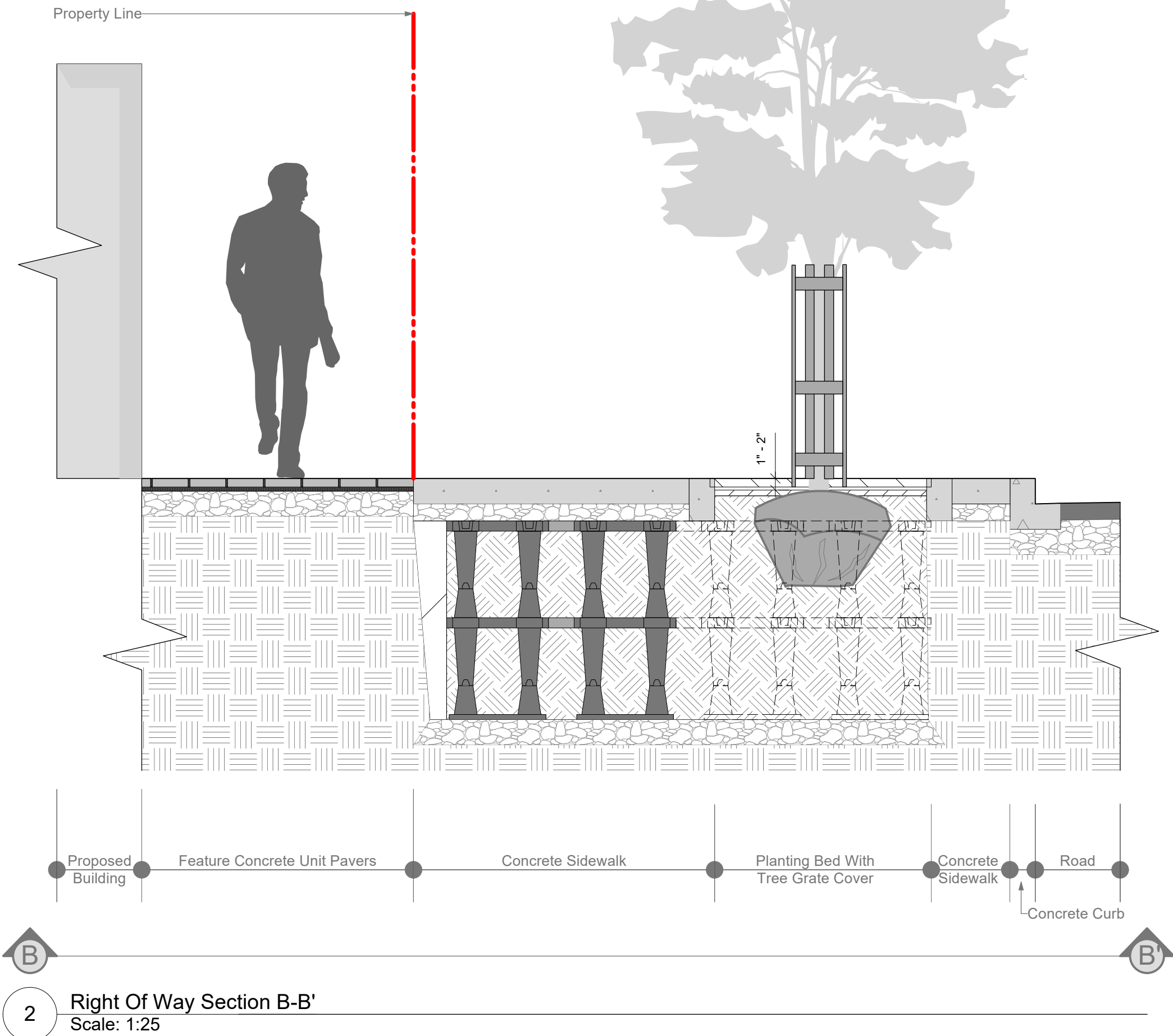
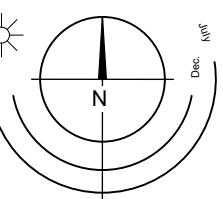
ID	Quantity	Botanical Name	Common Name	Size
HyAP	4	Hydrangea anomala petiolaris	Climbing Hydrangea	#10 pot
PaQu	4	Parthenocissus quinquefolia	Virginia Creeper	#10 pot

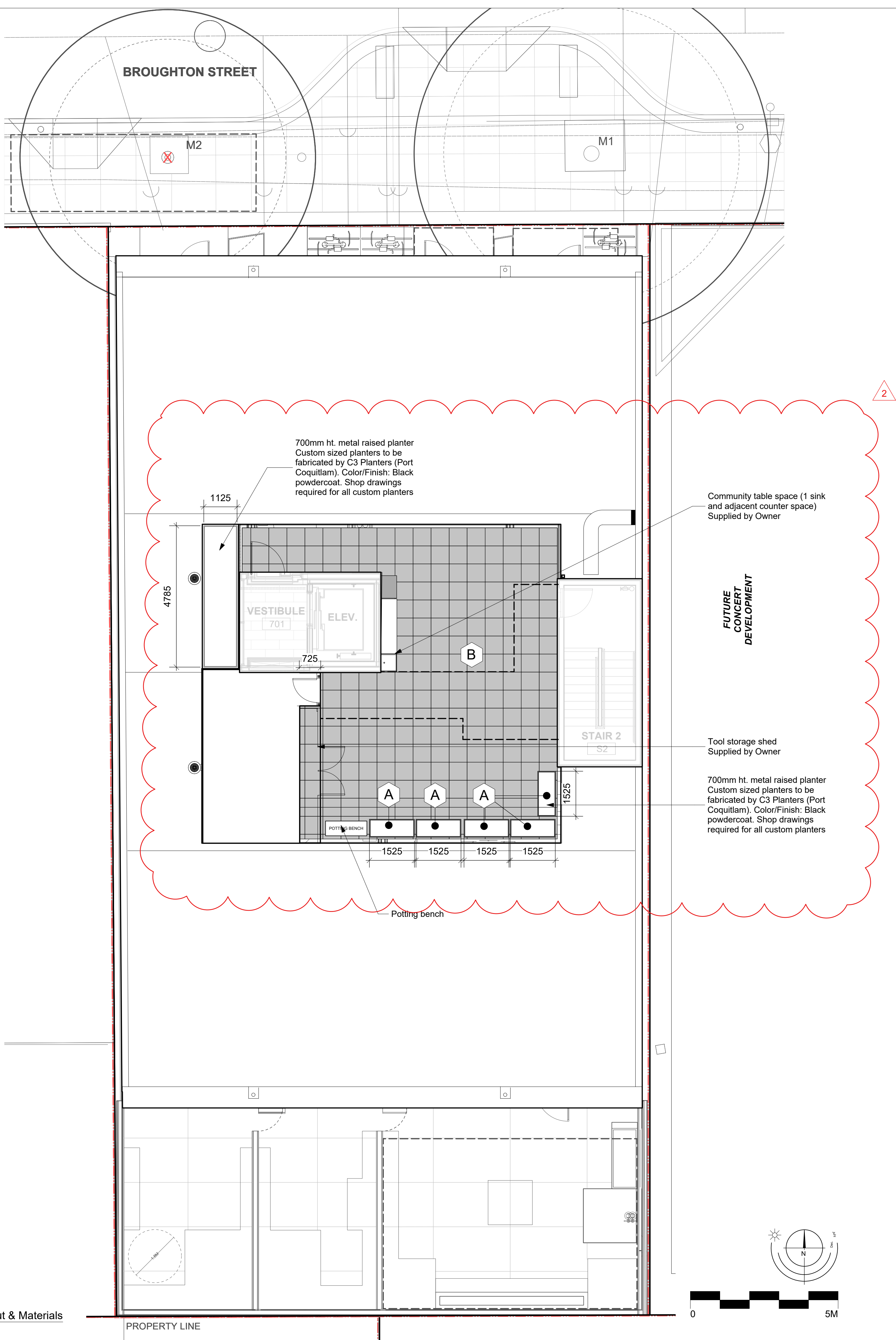
Notes:

- All work to be completed to current CSLA Canadian Landscape Standards
- All soft landscape to be irrigated with an automatic irrigation system

CoV Tree Planting Notes

- Proposed street tree locations and species selection requires Parks approval. Proposed street tree locations must be indicated and shall respect the minimum offsets from infrastructure outlined in Victoria Subdivision and Development Servicing Bylaw, Schedule C. Trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure. Please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
- Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P5 (Tree Planting in Sidewalk with Tree Guard) and the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
- New municipal trees shall be procured and planted by the applicant. If it is determined that tree M1 requires removal, a new tree in soil cells will be required. A separate water service will also be required to irrigate the municipal trees.
- Soil cells and Parks trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure.





MATERIALS LEGEND

- A Planting Beds
- B 610mm x 610mm Concrete Slabs
Belgard Dimensions | Color: Toffino Grey

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2 Roof layout adjusted in coordination with Arch. Planters relocated and added.

15	Oct 06-25	Issued for DDP #2
14	Oct 02-25	Issued for Tender
13	Sept 26-25	Issued for Tender
12	July 29-25	Issued for DDP #1
11	July 15-25	Issued for Building Permit
10	Apr 4-25	Issued for Building Permit
9	Feb 3-25	Issued for Building Permit
8	Jan 17-25	Re-issued for 90% Building Permit
7	Dec 23-24	Issued for 90% Building Permit
6	Nov 27-24	Issued for Building Permit
5	Nov 22-24	Issued for 50% BP Coordination
4	Sept 5-24	Re-issued for Rezoning/DP
3	Jul 16-24	Re-issued for Rezoning/DP
2	Jul 9-24	Re-issued for Rezoning/DP
1	Apr 19-24	Issued for Rezoning/DP

REVISIONS

 **LADR LANDSCAPE ARCHITECTS**

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

837 Broughton Street

Victoria, BC

TITLE

Rooftop

Layout & Materials

Plan

SCALE

As Shown

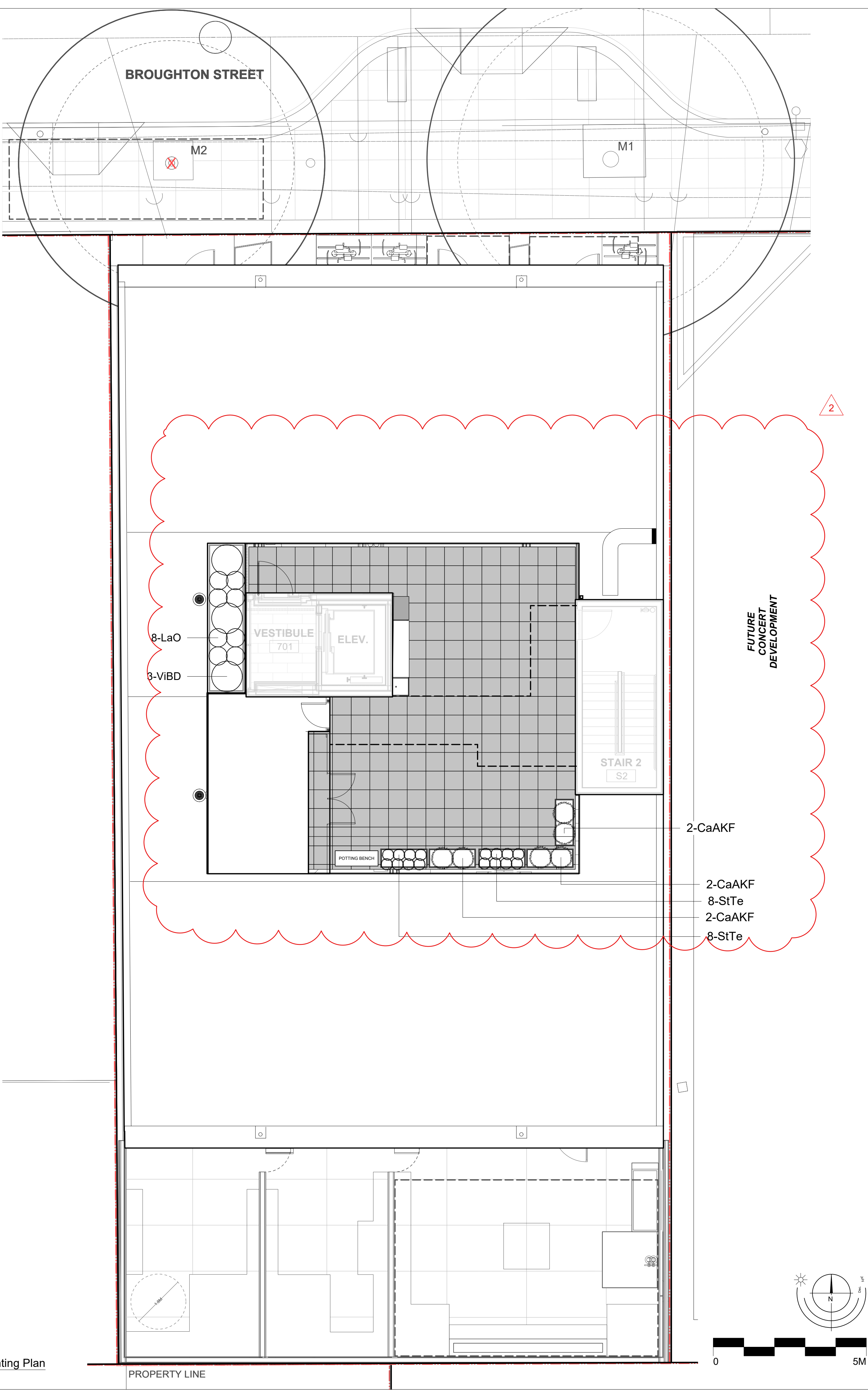
DRAWN **CW**
CHECKED **CW**

PROJECT No. **2404**

DATE

March 7-24

L3 of 5
SHEET



- 2 Roof layout adjusted in coordination with Arch. Planters relocated and added.
- 3 Plant list revised.

15	Oct 06-25	Issued for DDP #2
14	Oct 02-25	Issued for Tender
13	Sept 26-25	Issued for Tender
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REVISIONS

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PROJECT

837 Broughton Street

Victoria, BC

TITLE

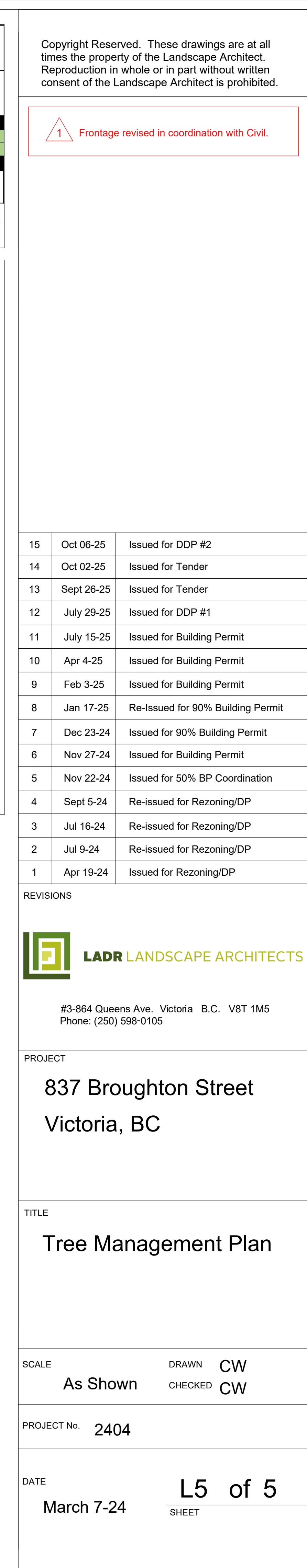
Rooftop

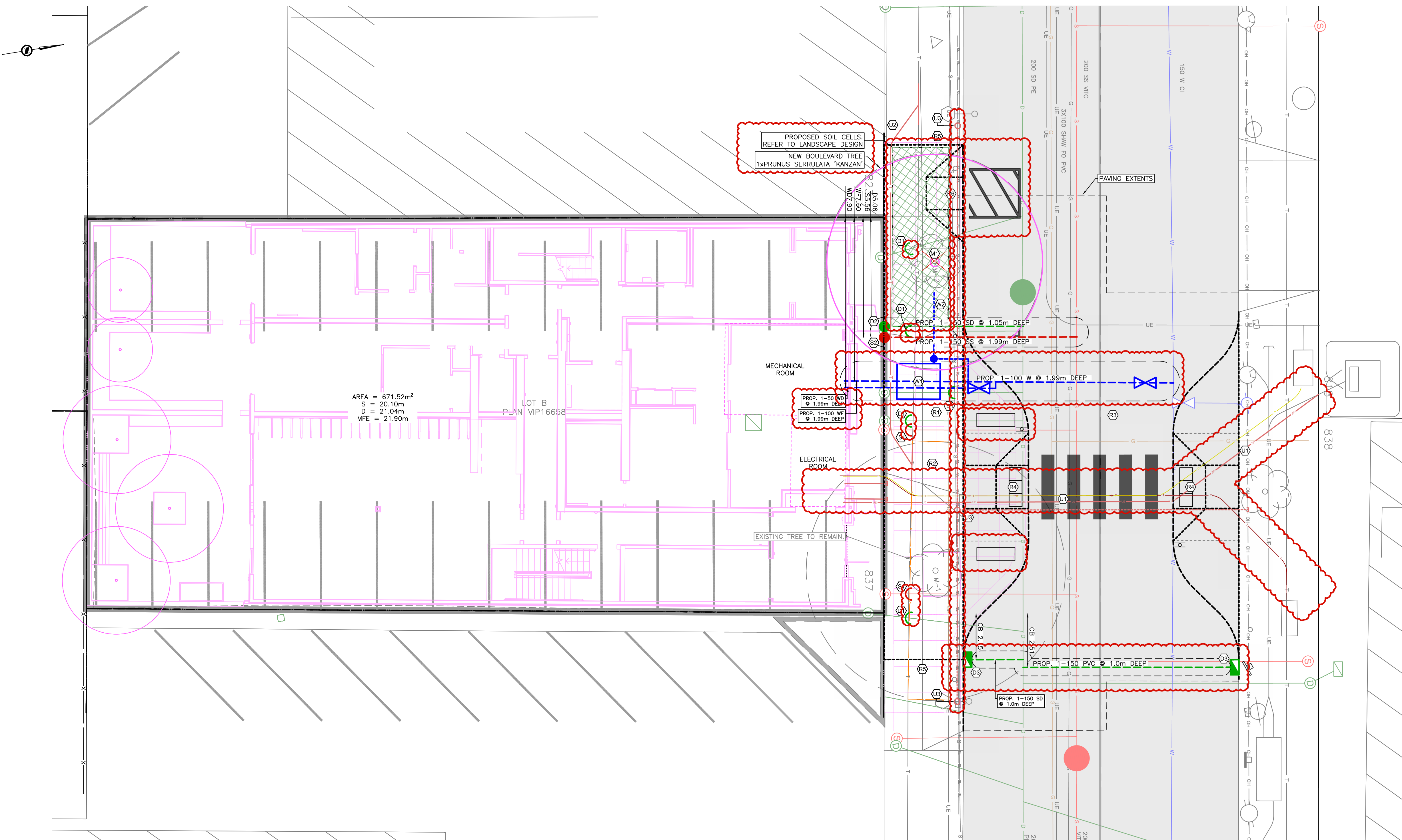
Planting Plan

SCALE	DRAWN	CW
As Shown	CHECKED	CW

PROJECT No. **2404**

DATE	L4 of 5
March 7-24	SHEET





SHEET NOTES:

DRAIN

- (D1) CONTRACTOR TO CAP EXISTING DRAIN SERVICES AT DEVELOPERS EXPENSE.
- (D2) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 150mm DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE AT DEVELOPERS EXPENSE.
- (D3) CONTRACTOR TO INSTALL NEW CATCH BASIN AND LEAD AS PER CITY OF VICTORIA DETAIL S11b. CITY OF VICTORIA CREWS TO CONNECT NEW LEAD TO EXISTING MAIN AT DEVELOPERS EXPENSE.

SANITARY

- (S1) CONTRACTOR TO CAP EXISTING SANITARY SERVICES AT DEVELOPERS EXPENSE.
- (S2) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 150mm SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE AT DEVELOPERS EXPENSE.

WATER

- (W1) CITY OF VICTORIA CREWS TO INSTALL PROPOSED FIRE AND DOMESTIC WATER SERVICES COMPLETE WITH WATER METER CHAMBER AS PER CITY OF VICTORIA SD W21 AT DEVELOPERS EXPENSE.
- (W2) CITY OF VICTORIA CREWS TO INSTALL NEW 25mm IRRIGATION SERVICE AND METER. CONTRACTOR TO INSTALL IRRIGATION SLEEVING AS REQUIRED.

ROAD

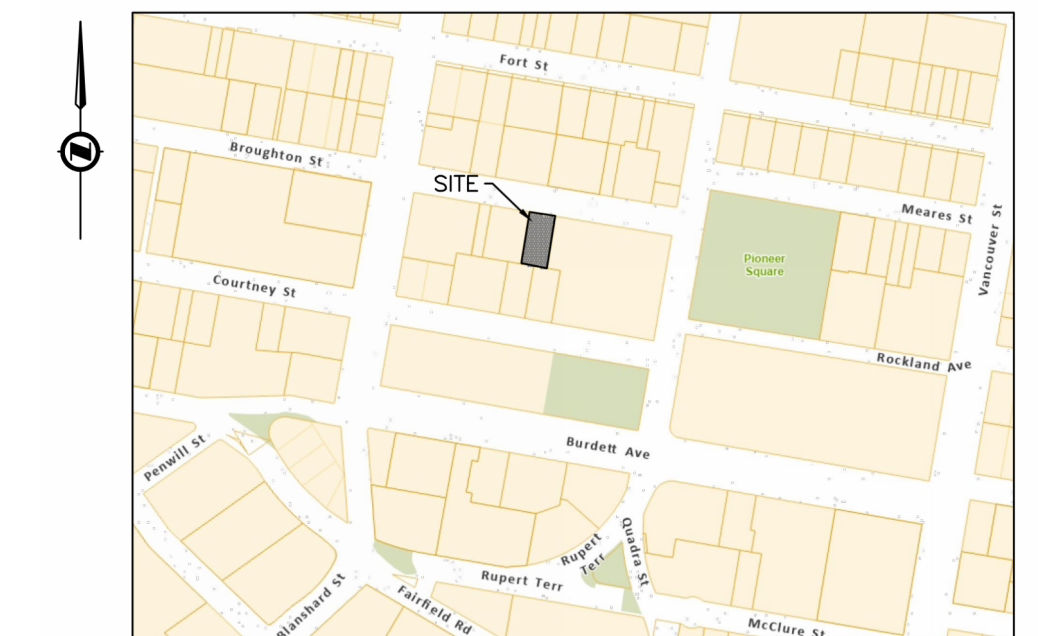
- (R1) EXISTING DRIVEWAY TO BE REMOVED.
- (R2) EXISTING FRONTAGE TO BE REMOVED AND RECONSTRUCTED COMPLETE WITH NEW CURB, GUTTER AND SIDEWALK AT DEVELOPERS EXPENSE. PROPOSED SIDEWALK TO BE "NEW TOWN" PATTERN. REFER TO LANDSCAPE PLANS FOR DETAILS.
- (R3) CONTRACTOR TO MILL AND FILL ASPHALT AS REQUIRED FOR ENTIRE FRONTAGE AT DEVELOPERS EXPENSE. BROUGHTON STREET ROAD WORKS SUBJECT TO CITY OF VICTORIA CONCRETE ROAD BASE RESTORATION REQUIREMENTS.
- (R4) CONTRACTOR TO INSTALL NEW CROSSWALK BULB COMPLETE WITH DROPS AS PER CITY OF VICTORIA STANDARD C9b. CROSS WALK MARKINGS AND SIGNAGE. SEE SHEET C3 FOR GRADING, LINE PAINTING AND SIGNAGE DETAILS.
- (R5) CONTRACTOR TO TIE PROPOSED SIDEWALK INTO EXISTING AT NEAREST CONTROL JOINT.
- (R6) CONTRACTOR TO INSTALL ON-STREET ACCESSIBLE PARKING STALL COMPLETE WITH PEDESTRIAN LET DOWN AS PER CITY OF VICTORIA DETAIL SD C9b. AND PAINT MARKINGS AS PER CITY OF VICTORIA DETAIL SD C16. SEE SHEET C3 FOR GRADING, LINE PAINTING AND SIGNAGE DETAILS.

UTILITIES

- (U1) PROPOSED BC HYDRO, TELUS AND ROGERS SERVICING. REFER TO UTILITIES DESIGNS FOR DETAILS.
- (U2) EXISTING TELUS DUCTS TO BE RELOCATED AS REQUIRED. DESIGN BY TELUS.
- (U3) PROPOSED STREETLIGHT CONDUIT COMPLETE WITH JUNCTION BOXES. REFER TO ELECTRICAL PLANS FOR DETAILS.

MISCELLANEOUS

- (M1) EXISTING TREE, M2 TO BE REMOVED AND REPLACED. REFER TO ARBORIST REPORT AND LANDSCAPE DESIGN FOR DETAILS.



KEY PLAN
NTS

LEGAL DESCRIPTION: LOT B, LOTS 255 AND 256, VICTORIA CITY, PLAN 16658

BENCHMARK: MONUMENT 16-114
ELEV. 21.084m

**837 BROUGHTON STREET
PRELIMINARY SITE
SERVICING**

Scale
horiz. 1:100
Sheet 1 of 1
Eng. Project No. 34738
Drafted by. JA



**J E ANDERSON &
ASSOCIATES**

SURVEYORS - ENGINEERS

VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

ISSUED FOR DELEGATED DEVELOPMENT PERMIT