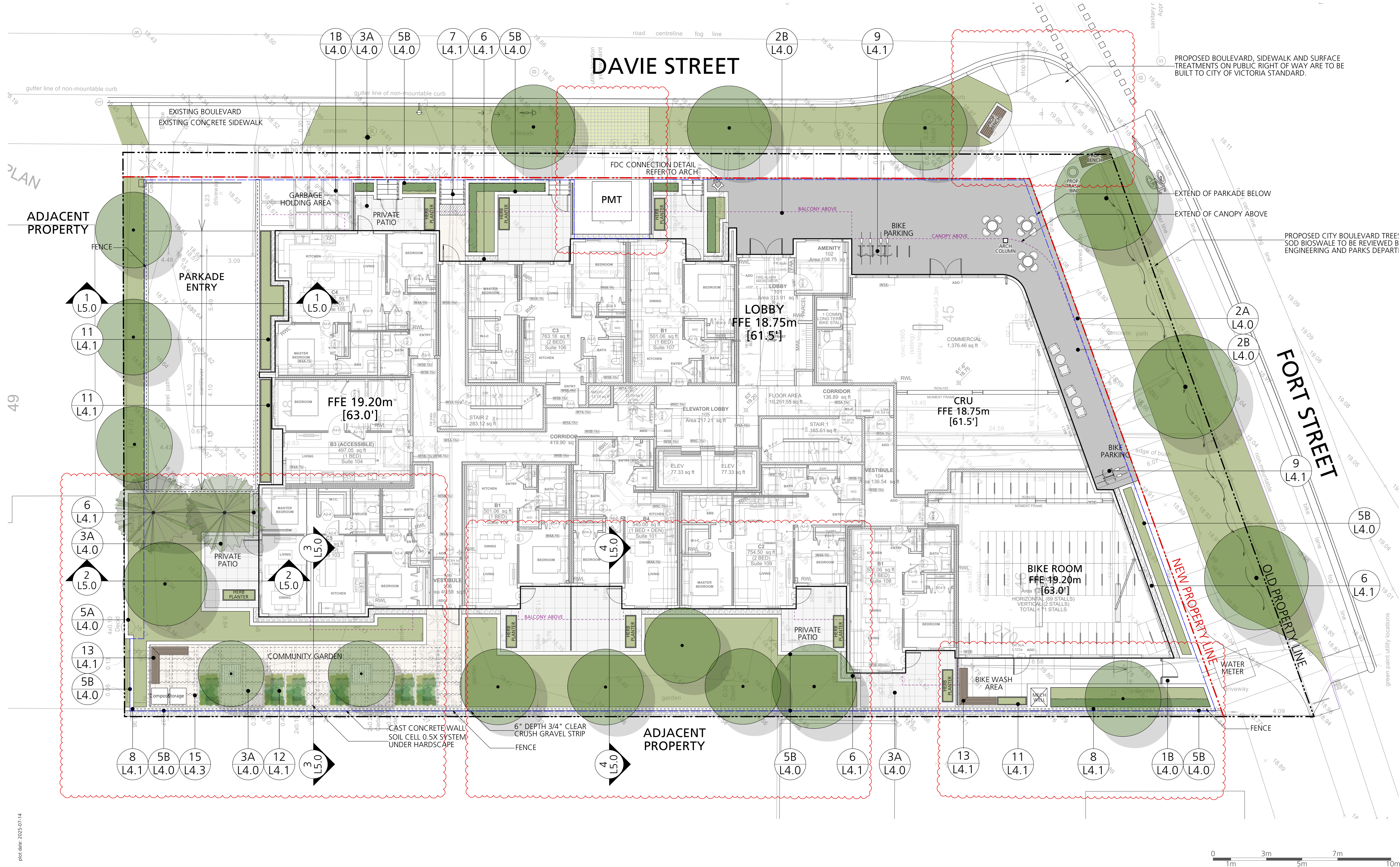


Legend:

1A L4.0	CIP Concrete Paving On-grade	3B L4.0	Hydrapressed Slab Upper Levels	7 L4.1	Typical Stairs	12 L4.1	Garden Plot
1B L4.0	CIP Concrete Paving On-slab	4 L4.0	Resilient Surfacing	8 L4.1	Metal Picket Fence	13 L4.1	Landscape Bench
2A L4.0	Unit Paving On-grade	5A L4.0	CIP Concrete Planter Wall On-Grade	9 L4.1	Bike Rack	14 L4.2	Indicative Trellis
2B L4.0	Unit Paving On-slab	5B L4.0	CIP Concrete Planter Wall On-Slab	10 L4.1	Outdoor Bar & Stools	15 L4.3	Soil Cell
3A L4.0	Hydrapressed Slab Level 1	6 L4.1	Gravel Strip	11 L4.1	Custom Metal Planter		

Issues	No.	Description	Date
	1	Issued for CALUC	2022/07/14
	2	Issued for Development Permit	2023/07/10
	3	Re-issued for Development Permit	2023/12/22
	4	Re-issued for Development Permit	2024/02/16
	5	Re-issued for Development Permit	2024/04/30
	6	Re-issued for Development Permit	2024/07/12
	7	Re-issued for Development Permit	2024/11/07
	8	Re-issued for Development Permit	2025/01/28
	9	Issued for Rezoning / DP	2025/05/09
	10	Issued for 30% CD	2025/05/23
	11	Issued for 60% CD	2025/06/13
	12	Issued for 90% CD	2025/07/04
	13	Re-issued for Rezoning / DP	2025/07/14



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Client:



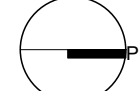
Project Title:

FORT & DAVIE APARTMENTS

1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Landscape Key Plan
Level 1**

Project North:  Drawn By: **MH**

Checked By: **MP**

Scale: **1:100** Job No.: **22-082**

Sheet No.:

No.	Description	Date
1	Issued for CALUC	2022/01/04
2	Issued for Development Permit	2022/01/10
3	Re-issued for Development Permit	2023/12/22
4	Re-issued for Development Permit	2024/02/16
5	Re-issued for Development Permit	2024/04/30
6	Re-issued for Development Permit	2024/07/12
7	Re-issued for Development Permit	2024/11/07
8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09
10	Issued for 50% CD	2025/05/23
11	Issued for 60% CD	2025/06/13
12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

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Client:



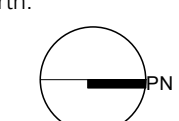
Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Landscape Key Plan
Level 5

Project North:



Drawn By:

Checked By:

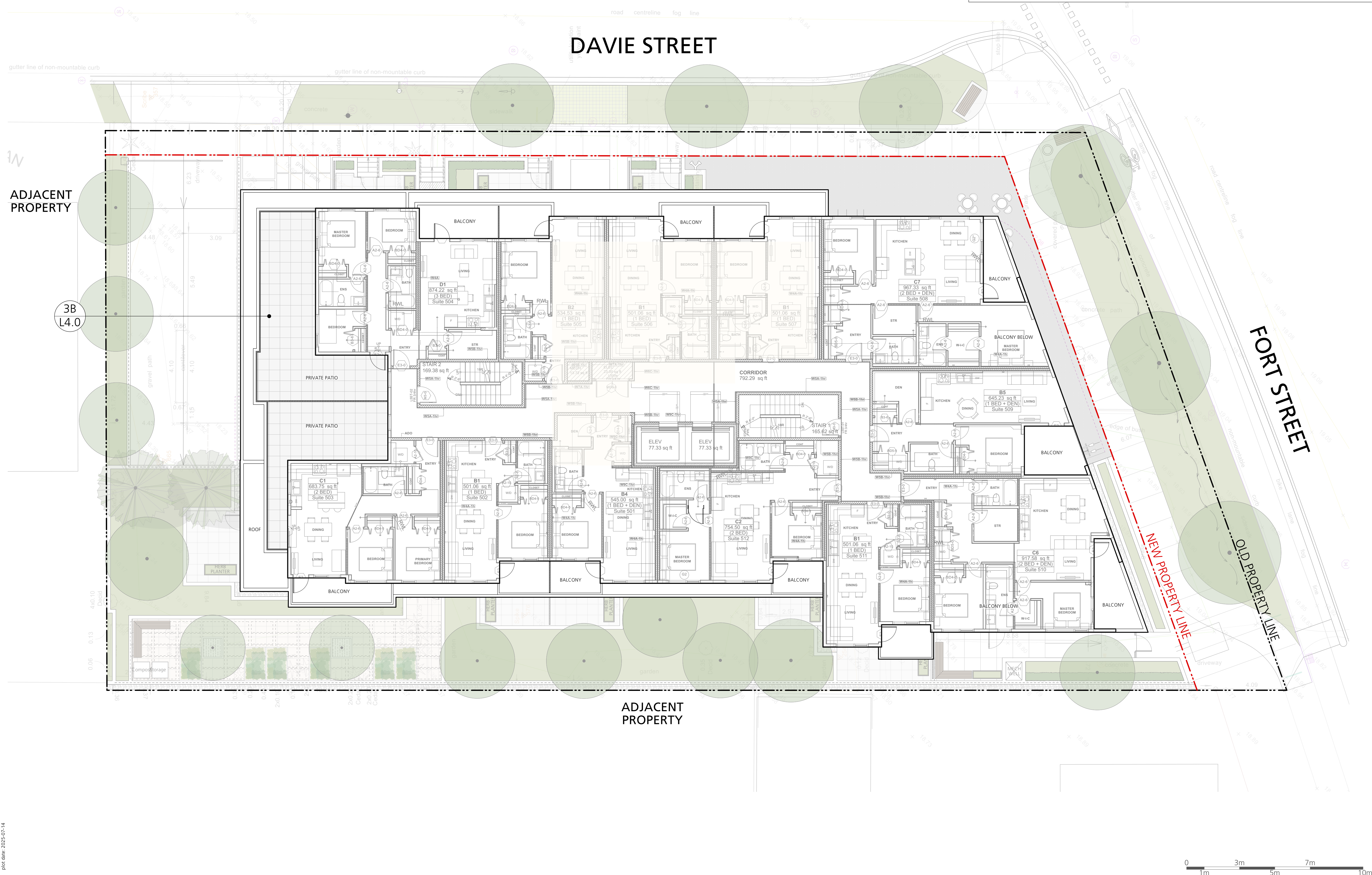
Scale:

Job No. 1

1:100

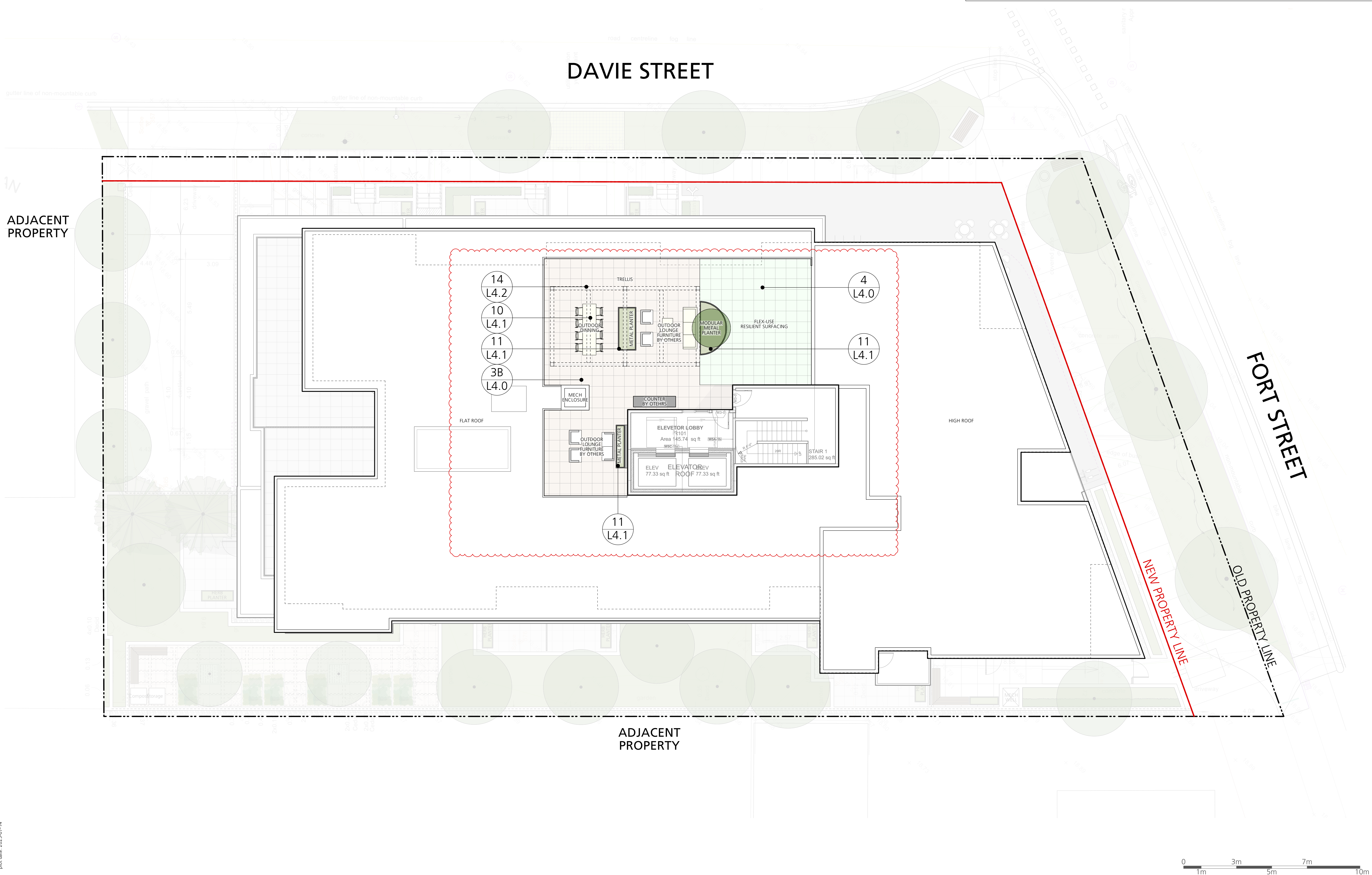
Sheet No.:

L1.1



Legend:			
1A L4.0	CIP Concrete Paving On-grade	3B L4.0	Hydrapressed Slab Upper Levels
7 L4.1	Typical Stairs	12 L4.1	Garden Plot
1B L4.0	CIP Concrete Paving On-slab	4 L4.0	Resilient Surfacing
8 L4.1	Metal Picket Fence	13 L4.1	Landscape Bench
2A L4.0	Unit Paving On-grade	5A L4.0	CIP Concrete Planter Wall On-Grade
9 L4.1	Bike Rack	14 L4.2	Indicative Trellis
2B L4.0	Unit Paving On-slab	5B L4.0	CIP Concrete Planter Wall On-Slab
10 L4.1	Outdoor Bar & Stools	15 L4.3	Soil Cell
3A L4.0	Hydrapressed Slab Level 1	6 L4.1	Gravel Strip
11 L4.1	Custom Metal Planter		

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/14
2	Issued for Development Permit	2023/07/10
3	Re-issued for Development Permit	2023/12/02
4	Re-issued for Development Permit	2024/02/16
5	Re-issued for Development Permit	2024/04/30
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7	Re-issued for Development Permit	2024/11/07
8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09
10	Issued for 30% CD	2025/05/23
11	Issued for 60% CD	2025/06/13
12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14



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Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Landscape Key Plan
Rooftop**

Project North: Drawn By: **MH**
Checked By: **MP**

Scale: **1:100** Job No.: **22-082**

Sheet No.:

Offsite Legend:

- 16 L4.3 Garbage Bin
- 17 L4.3 City Bench
- 18 L4.3 Tree Planting at Boulevard (as per COV standards)
- 19 L4.3 Grasscrete at Boulevard

Street Trees Soil Volume Table

	Qty. of Street Trees	1m Deep Soil Trench @ Boulevard (x 1)	0.75m Deep Struc. Soil under Sidewalk (x 0.2)	Total Provided Soil Volume	Soil Volume per Street Tree
Davie St. Irrigated Boulevard	3	68 m³	N/A	68 m³	22.0 m³
Fort St. Irrigated Boulevard	3	111.3 m³	33 m³	144.3 m³	48.1 m³

Minimum Clearances of Street Trees:
City of Victoria Supplementary Specifications for Street Trees and Irrigation - Schedule C to Bylaw 12-042, Subdivision Bylaw

- Underground BC Hydro, natural gas and communication utilities 1.5 m
- Street lights and BC Hydro poles 5.0 m
- Telus poles without street light 3.0 m
- Intersection 7.0 m
- driveway crossing 3.0 m
- fire hydrant, water service lateral, catch basin, Kiosk, vault 2.0 m
- sanitary sewer or storm drain laterals 3.0 m

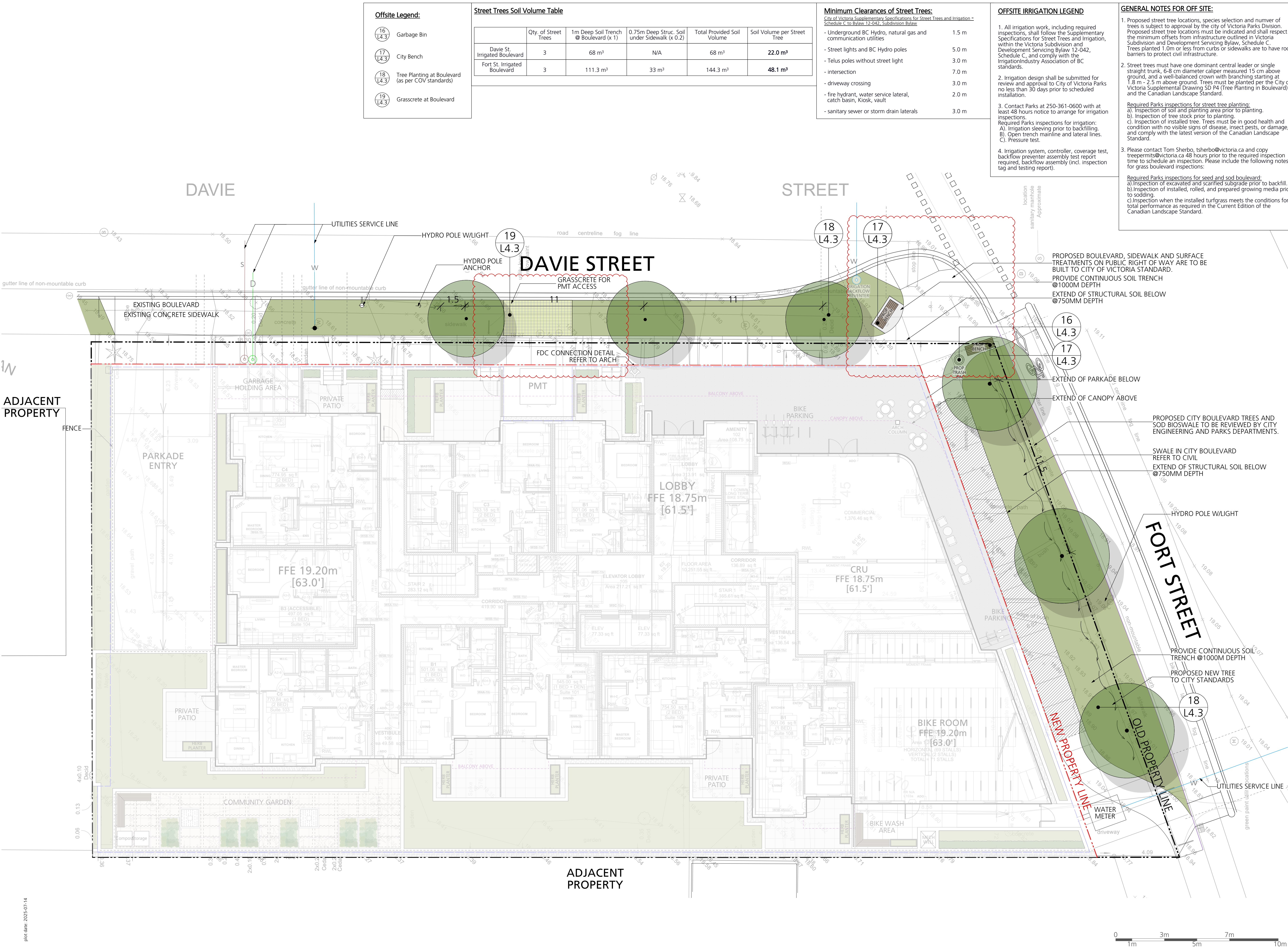
OFFSITE IRRIGATION LEGEND

1. All irrigation work, including required inspections, shall follow the Supplementary Specifications for Street Trees and Irrigation, within the Victoria Subdivision and Development Servicing Bylaw, Schedule C, Trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure.
2. Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
Required Parks inspections for irrigation:
A). Irrigation sleeving prior to backfilling.
B). Open trench mainline and lateral lines.
C). Pressure test.
3. Contact Parks at 250-361-0600 with at least 48 hours notice to arrange for irrigation inspections.
Required Parks inspections for irrigation:
a). Inspection of soil and planting area prior to planting.
b). Inspection of tree stock prior to planting.
c). Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
4. Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly (incl. inspection tag and testing report).

GENERAL NOTES FOR OFF SITE:

1. Proposed street tree locations, species selection and number of trees is subject to approval by the City of Victoria Parks Division. Proposed street tree locations must be indicated and shall respect the minimum offsets from infrastructure outlined in Victoria Subdivision and Development Servicing Bylaw, Schedule C. Trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure.
2. Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 3.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) and the Canadian Landscape Standard.
Required Parks inspections for street tree planting:
a). Inspection of soil and planting area prior to planting.
b). Inspection of tree stock prior to planting.
c). Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
3. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection. Please include the following notes for grass boulevard inspections:
Required Parks inspections for seed and sod boulevard:
a). Inspection of excavated and scarified subgrade prior to backfill.
b). Inspection of installed, rolled, and prepared growing media prior to sodding.
c). Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.

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	1	Issued for CALUC	2022/10/14
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	6	Re-issued for Development Permit	2024/07/12
	7	Re-issued for Development Permit	2024/11/07
	8	Re-issued for Development Permit	2025/01/28
	9	Issued for Rezoning / DP	2025/05/09
	10	Issued for 30% CD	2025/05/23
	11	Issued for 60% CD	2025/06/13
	12	Issued for 90% CD	2025/07/04
	13	Re-issued for Rezoning / DP	2025/07/14



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Client:



Project Title:

FORT & DAVIE APARTMENTS

1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Offsite Landscape Plan

Project North: Drawn By: MH

Checked By: MP

Scale: 1:100 Job No.: 22-082

Sheet No.:

Issues	No.	Description	Date
	1	Issued for CALUC	2022/10/14
	2	Issued for Development Permit	2023/07/10
	3	Re-issued for Development Permit	2023/12/22
	4	Re-issued for Development Permit	2024/02/16
	5	Re-issued for Development Permit	2024/04/30
	6	Re-issued for Development Permit	2024/07/12
	7	Re-issued for Development Permit	2024/11/07
	8	Re-issued for Development Permit	2025/01/28
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	10	Issued for 30% CD	2025/05/23
	11	Issued for 60% CD	2025/06/13
	12	Issued for 90% CD	2025/07/04
	13	Re-issued for Rezoning / DP	2025/07/14

Legend:

- Existing tree to be retained
- Proposed street tree
- Existing tree to be removed
- Critical root zone

General Notes:

- This plan to be read in conjunction with Arborist Report.
- Contractor to meet on site with arborist prior to tree removals to review scope and retention.
- Protection measures of trees to be retained as per City of Victoria, or modified according to Arborist Report, see Root Protection Zone this page, and Tree Protection Fencing.

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Tree Management Plan

Project North:

Drawn By:

MH

Checked By:

MP

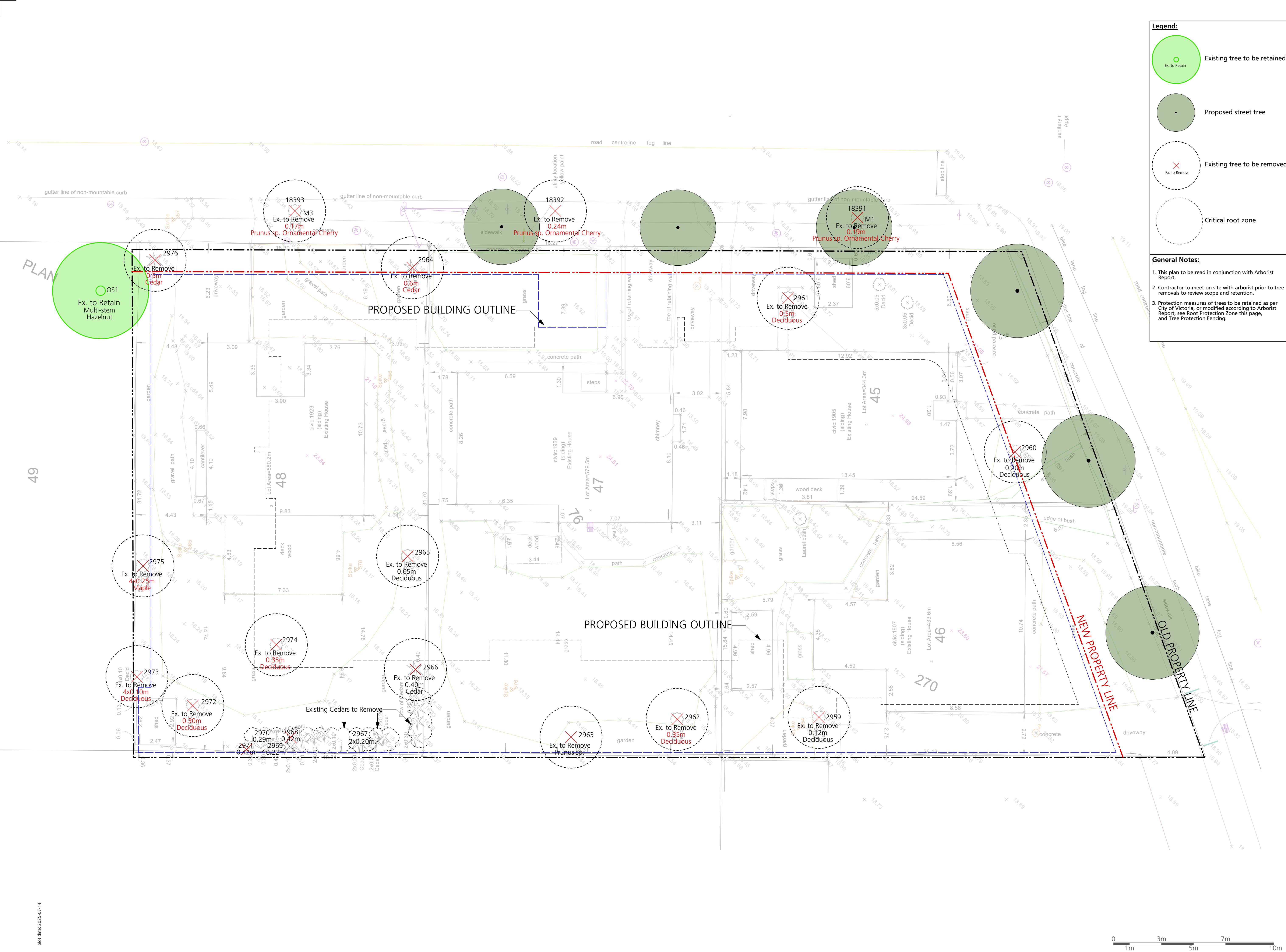
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Job No.:

1:100

22-082

Sheet No.:



WL

Recessed Wall Light

PL

Metal Planter
Step Light

BL

Building Light
(by Architecture)

SL

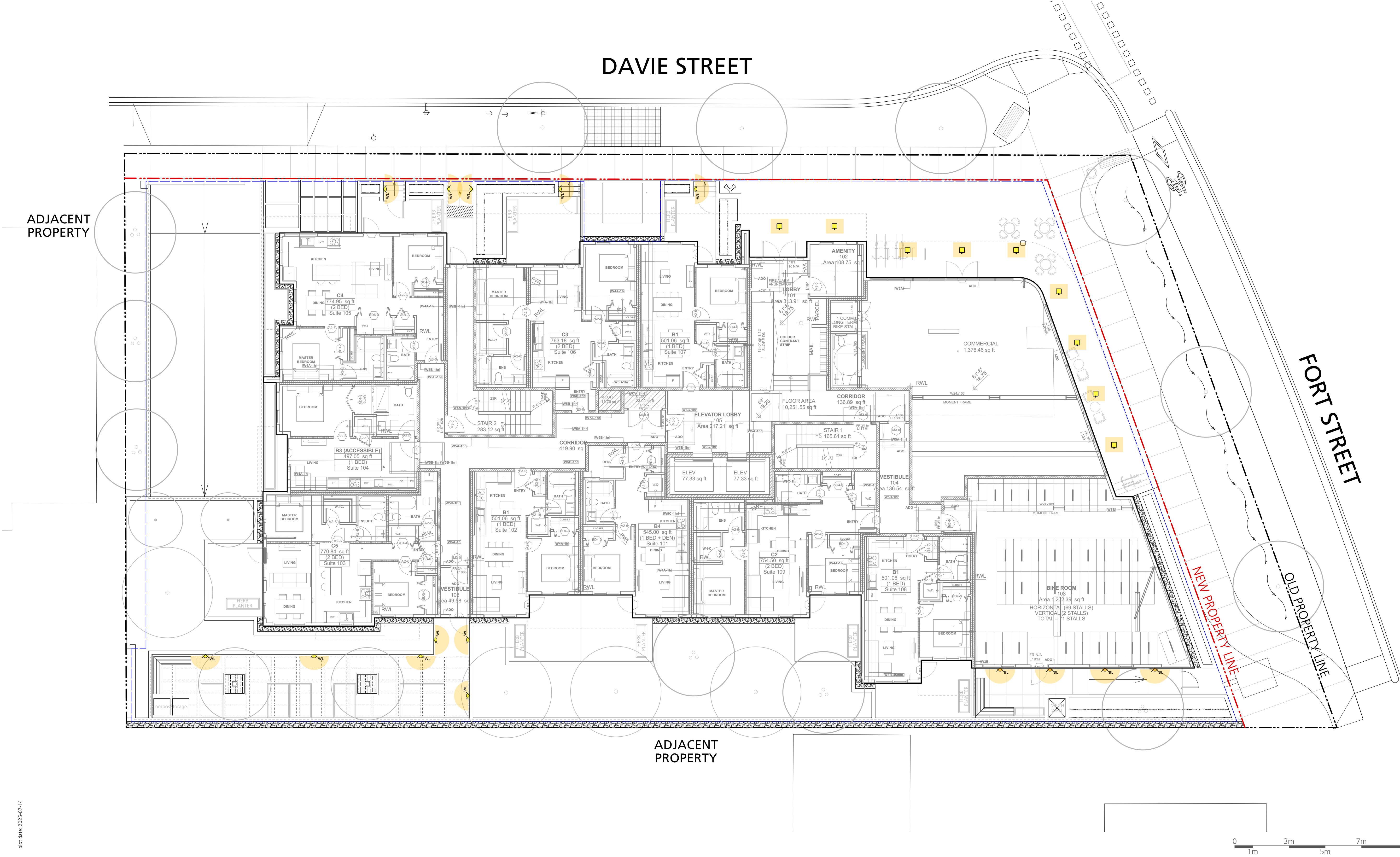
Proposed Soffit Lighting
(by Architecture)

R

Receptacles

Notes:
- Read this plan in conjunction with
Electrical and Architectural drawings

Issues	No.	Description	Date
	1	Issued for CALUC	2022/07/14
	2	Issued for Development Permit	2023/07/10
	3	Re-issued for Development Permit	2023/12/22
	4	Re-issued for Development Permit	2024/02/16
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Client:

Project Title:

FORT & DAVIE APARTMENTS

1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Landscape Lighting Plan
Level 1**

Project North:

Drawn By:

Checked By:

MH

MP


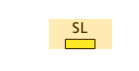



Scale:

Job No.:

1:100

22-082

Sheet No.:

- LIGHTING LEGEND
-  Recessed Wall Light
 -  Metal Planter Step Light
 -  Building Light (by Architecture)
 -  Proposed Soffit Lighting (by Architecture)
 -  Receptacles

Notes:
- Read this plan in conjunction with Electrical and Architectural drawings

Issues No.	Description	Date
1	Issued for CALUC	2022/10/14
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12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

ADJACENT
PROPERTY

DAVIE STREET

FORT STREET

NEW PROPERTY LINE

OLD PROPERTY LINE

ADJACENT
PROPERTY

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Landscape Lighting Plan
Level 5**

Project North:

Drawn By:

Checked By:

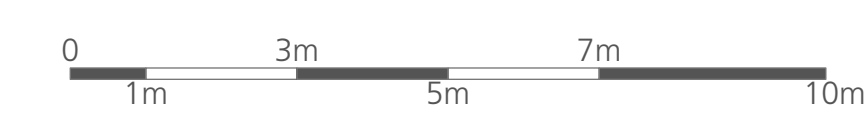
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Job No.:

Sheet No.:

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22-082



Issues		
No.	Description	Date
1	Issued for CAU/C	2022/10/14
2	Issued for Development Permit	2023/07/10
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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Landscape Lighting Plan
Rooftop

Project North:

Drawn By:

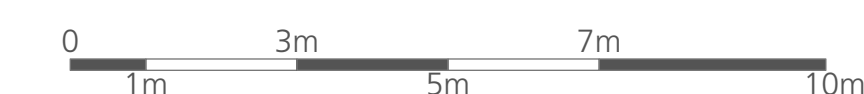
Checked By: _____

Scale:

Job No.: _____

Sheet No : _____

L1.7



DRAIN TYPE LEGEND

- RD ● ROOF DRAIN
PD ● PLANTER DRAIN C/W CLEAN OUT
SN ● DRAIN TO SANITARY
AD2 ● 2 LEVEL AREA DRAIN
AD1 ● 1 LEVEL AREA DRAIN
LB ● LAWN BASIN
WF ● WATER FEATURE DRAIN - REFER TO WF MECH
--- PERFORATED PIPE - CONNECT TO STORM

Legend:

- RG 0.00m Building Grade from Civil
IG 0.00m Interpolated Building Grade
FG 0.00m Finish Grade
TW 0.00m Top of Wall Grade
BW 0.00m Bottom of Wall Grade
TS 0.00m Top of Stair Elevation
BS 0.00m Bottom of Stair Elevation
TB 0.00m Top of Bench Elevation

Grading Notes:

- Slope all paver areas to area drains.
- All planting beds over slab are to be lightly compacted prior to installation of planting. Mound planters slightly (50mm) in center. Maximum slope is 3:1.
- Refer to Structural for maximum allowable build up/ loading over slab.
- Contractor to cover all exposed wall/slab waterproofing with flashing painted to match handrail and metal work.
- Contractor to advise consultant of any discrepancies between drawings and on site conditions.

PROPOSED BOULEVARD, SIDEWALK AND SURFACE TREATMENTS ON PUBLIC RIGHT OF WAY ARE TO BE BUILT TO CITY OF VICTORIA STANDARD.

Issues No.	Description	Date
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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Grading Plan
& Drainage Layout
Level 1**

Project North:

Drawn By:

MH

Checked By:

MP

Scale:

Job No.:

1:100 22-082

Sheet No.:

- DRAIN TYPE LEGEND**
- RD ROOF DRAIN
 - PD PLANTER DRAIN C/W CLEAN OUT
 - SN DRAIN TO SANITARY
 - AD2 2 LEVEL AREA DRAIN
 - AD1 1 LEVEL AREA DRAIN
 - LB LAWN BASIN
 - WF WATER FEATURE DRAIN - REFER TO WF MECH
 - PERFORATED PIPE - CONNECT TO STORM

Issues No.	Description	Date
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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Drainage Layout Plan
Level 5**

Project North:

Drawn By:

MH

Checked By:

MP

Scale:

Job No.:

1:100

22-082

Sheet No.:

L2.1

ADJACENT
PROPERTY

DAVIE STREET

FORT STREET

ADJACENT
PROPERTY

NEW PROPERTY LINE

OLD PROPERTY LINE

0 3m 7m 10m
1m 5m

- DRAIN TYPE LEGEND
- RD ROOF DRAIN
 - PD PLANTER DRAIN C/W CLEAN OUT
 - SN DRAIN TO SANITARY
 - AD2 2 LEVEL AREA DRAIN
 - AD1 1 LEVEL AREA DRAIN
 - LB LAWN BASIN
 - WF WATER FEATURE DRAIN - REFER TO WF MECH
 - PERFORATED PIPE - CONNECT TO STORM

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Drainage Layout Plan
Rooftop**

Project North:

Drawn By: **MH**
Checked By: **MP**

Scale: **1:100** Job No.: **22-082**

Sheet No.:

ADJACENT
PROPERTY

DAVIE STREET

FORT STREET

ADJACENT
PROPERTY



GENERAL NOTES:

- All on-site planting areas to be irrigated with a high efficiency drip irrigation system.
- Replacement trees must be planted:
 - At least 2.0m away from a building foundation wall,
 - At least 1.0m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
 - In a location approved by the Director
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLA/CSLA "Canadian Landscape Standard" and the CNLA "Canadian Nursery Stock Standard".
- Replacement trees must be planted during the suitable local planting seasons generally defined as fall (September - November) and spring (February - April). Where planting must occur outside of the prescribed time periods, then a strategy for ensuring the trees are watered (in the summer) and appropriately cared for must be included as part of the tree permit application.
- Replacement trees must be:
 - For sites of development related tree permits, a minimum of 6.0 cm caliper at time of planting for deciduous trees and a minimum of 2.0m height for coniferous trees,
 - Replacement trees may be of a comparable size approved by the Director if obtaining the above sizes is not possible.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Plant List All Levels

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
CoV	6	Cornus 'Venus'	'Venus' Dogwood	6cm cal., WB	Part 2, 2:1, small
HisB	2	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	6cm cal., standard	
Mk	4	Magnolia kobus	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium
Maf	2	Malus fusca	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium
Os-1	3	Offsite Tree TBD #1	Species TBD	6cm cal., WB min.	as per City of Victoria standards
Os-2	2	Offsite Tree TBD #2	Species TBD	6cm cal., WB min.	as per City of Victoria standards
Picc	2	Pinus contorta var. contorta	Shore Pine	2m ht, B&B	Part 1, 1:1, medium
Shrubs					
AE	9	Abelia 'Edward Goucher'	Edward Goucher Abelia	#2 pot	pollinator friendly, food-bearing
B	3	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	#2 pot	pollinator friendly, food-bearing
Cl	6	Choysya ternata	Mexican Orange	#3 pot	pollinator friendly
Gs	92	Gaultheria shallon	Salal	#2 pot	native, pollinator friendly, food-bearing
HisB-1	1	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	#5 pot	pollinator friendly, food-bearing
Mn	96	Mahonia nervosa	Longleaf Mahonia	#2 pot	native, pollinator friendly, food-bearing
Phi	1	Philadelphus lewisii	Wild Mock Orange	#5 pot	native, pollinator friendly
S	85	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	pollinator friendly
Sa	24	Symphoricarpos albus	Snowberry	#2 pot	native, pollinator friendly, food-bearing
TmH	192	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge
Vo	38	Vaccinium ovatum	Evergreen Huckleberry	#2 pot	native, pollinator friendly, food-bearing
Groundcovers, Vines, Ferns, Perennials and Grasses					
Ca	12	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2 pot	
Co	30	Carex oshimensis 'Evergold'	Sedge	#1 pot	
O	39	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	#1 pot	Groundcover
Pm	39	Polystichum munitum	Western Sword Fern	#1 pot	native

Issues	No.	Description	Date
	1	Issued for CALUC	2022/10/14
	2	Issued for Development Permit	2023/07/10
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	4	Re-issued for Development Permit	2024/02/16
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	7	Re-issued for Development Permit	2024/11/07
	8	Re-issued for Development Permit	2025/01/28
	9	Issued for Rezoning / DP	2025/05/09
	10	Issued for 30% CD	2025/05/23
	11	Issued for 60% CD	2025/06/13
	12	Issued for 90% CD	2025/07/04
	13	Re-issued for Rezoning / DP	2025/07/14

DAVIE STREET

PROPOSED BOULEVARD, SIDEWALK AND SURFACE TREATMENTS ON PUBLIC RIGHT OF WAY ARE TO BE BUILT TO CITY OF VICTORIA STANDARD.

FORT STREET

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Planting Plan
Level 1**

Project North:

Drawn By:

MH

Checked By:

MP

Scale:

Job No.:

1:100

22-082

Sheet No.:

L3.0

Issues		
No.	Description	Date
1	Issued for CALUC	2023/01/14
2	Issued for Development Permit	2023/07/10
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12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

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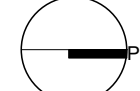
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Client:



Project Title:
FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:
**Planting Plan
Rooftop**

Project North:  Drawn By: **MH**
Checked By: **MP**
Scale: **1:100** Job No.: **22-082**
Sheet No.:

GENERAL NOTES:

- All on-site planting areas to be irrigated with a high efficiency drip irrigation system.
- Replacement trees must be planted:
 - At least 2.0m away from a building foundation wall,
 - At least 1.0m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
 - In a location approved by the Director
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLAVCSLA "Canadian Landscape Standard" and the CNLA "Canadian Nursery Stock Standard".
- Replacement trees must be planted during the suitable local planting seasons generally defined as fall (September - November) and spring (February - April). Where planting must occur outside of the prescribed time periods, then a strategy for ensuring the trees are watered (in the summer) and appropriately cared for must be included as part of the tree permit application.
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- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepemits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Plant List All Levels					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
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HisB	2	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	6cm cal., standard	
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Maf	2	Malus fusca	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium
Os-1	3	Offsite Tree TBD #1	Species TBD	6cm cal., WB min.	as per City of Victoria standards
OS-2	3	Offsite Tree TBD #2	Species TBD	6cm cal., WB min.	as per City of Victoria standards
Picc	2	Pinus contorta var. contorta	Shore Pine	2m ht, B&B	Part 1, 1:1, medium
Shrubs					
AE	9	Abelia 'Edward Goucher'	Edward Goucher Abelia	#2 pot	pollinator friendly, food-bearing
B	3	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	#2 pot	pollinator friendly, food-bearing
Cl	6	Choysia ternata	Mexican Orange	#3 pot	pollinator friendly
Gs	92	Gaultheria shallon	Salal	#2 pot	native, pollinator friendly, food-bearing
HisB-1	1	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	#5 pot	pollinator friendly, food-bearing
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Groundcovers, Vines, Ferns, Perennials and Grasses					
Ca	12	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2 pot	
Co	30	Carex oshimensis 'Evergold'	Sedge	#1 pot	
O	39	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	#1 pot	Groundcover
Pm	39	Polystichum munitum	Western Sword Fern	#1 pot	native

DAVIE STREET

FORT STREET

NEW PROPERTY LINE

OLD PROPERTY LINE

ADJACENT PROPERTY

ADJACENT PROPERTY



Replacement Tree List						
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Replacement Ratio (Schedule E)	Min. Required Soil Volume
Trees						
CoV	6	Cornus 'Venus'	'Venus' Dogwood	6cm cal., WB	Part 2, 2:1, small	6.0 m³
Mk	4	Magnolia kobus	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium	15.0 m³
Maf	2	Malus fusca	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium	15.0 m³
Picc	2	Pinus contorta var. contorta	Shore Pine	2m ht, B&B	Part 1, 1:1, medium	15.0 m³

REPLACEMENT TREE SOIL VOLUME TABLE

Onsite minimum replacement tree required: 10
Onsite proposed replacement tree : 10

Planting Area ID	Area (m²)	Soil Volume Multiplier	Estimated Soil Volume	Proposed Replacement Tree			Required Soil Volume (m³)			
				#Small	#Medium	#Large	Small	Medium	Large	Total
A	56.7 m²	0.8	45 m³	0	3	0	0	45.0 m³	0	45 m³
B	61.2 m²	0.5	30m³	0	2	0	0	30.0 m³	0	30.0 m³
C	81.8 m²	0.75	61.3 m³	2	3	0	12.0 m³	45.0 m³	0	57.0 m³

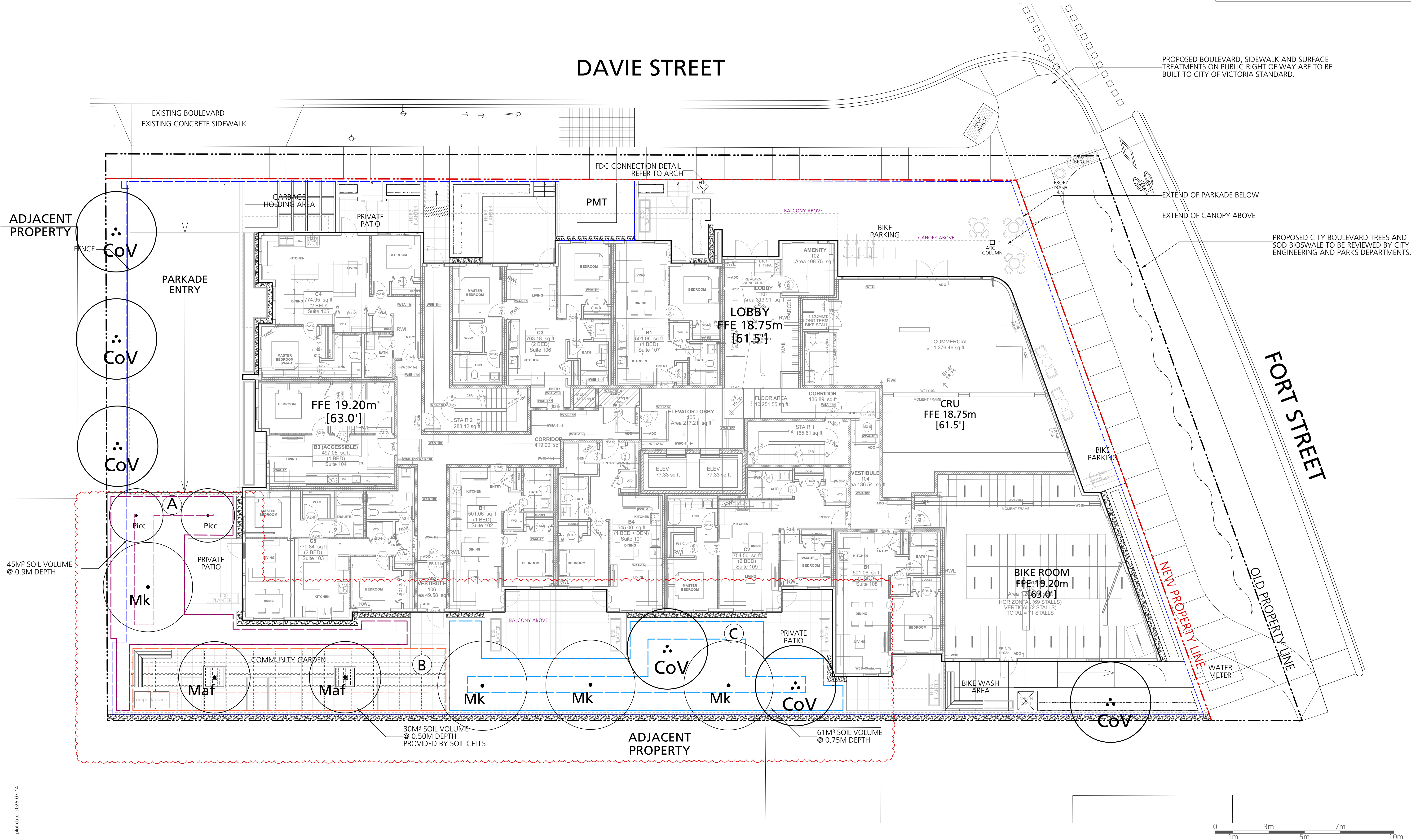
REPLACEMENT TREE PLANTING NOTES:

- Replacement trees must be planted:
 - At least 2.0m away from a building foundation wall,
 - At least 1.0m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
 - In a location approved by the Director.
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035, Schedule E, Part 4 Stip.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLA/CSLA "Canadian Landscape Standard" and the CNLA "Canadian Nursery Stock Standard".
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P+A

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Site Planning
112 East Broadway
Vancouver, BC V5T 1V9
T: 604.738.4118
perryandassociates.ca

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Tree Replacement Plan

Project North:

Drawn By:

MH

Checked By:

MP

Scale:

Job No.:

1:100

22-082

Sheet No.:

L3.2

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/14
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Client:

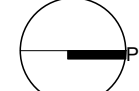


Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

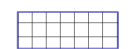




Drawing Title:

**Irrigation Plan
Level 1**

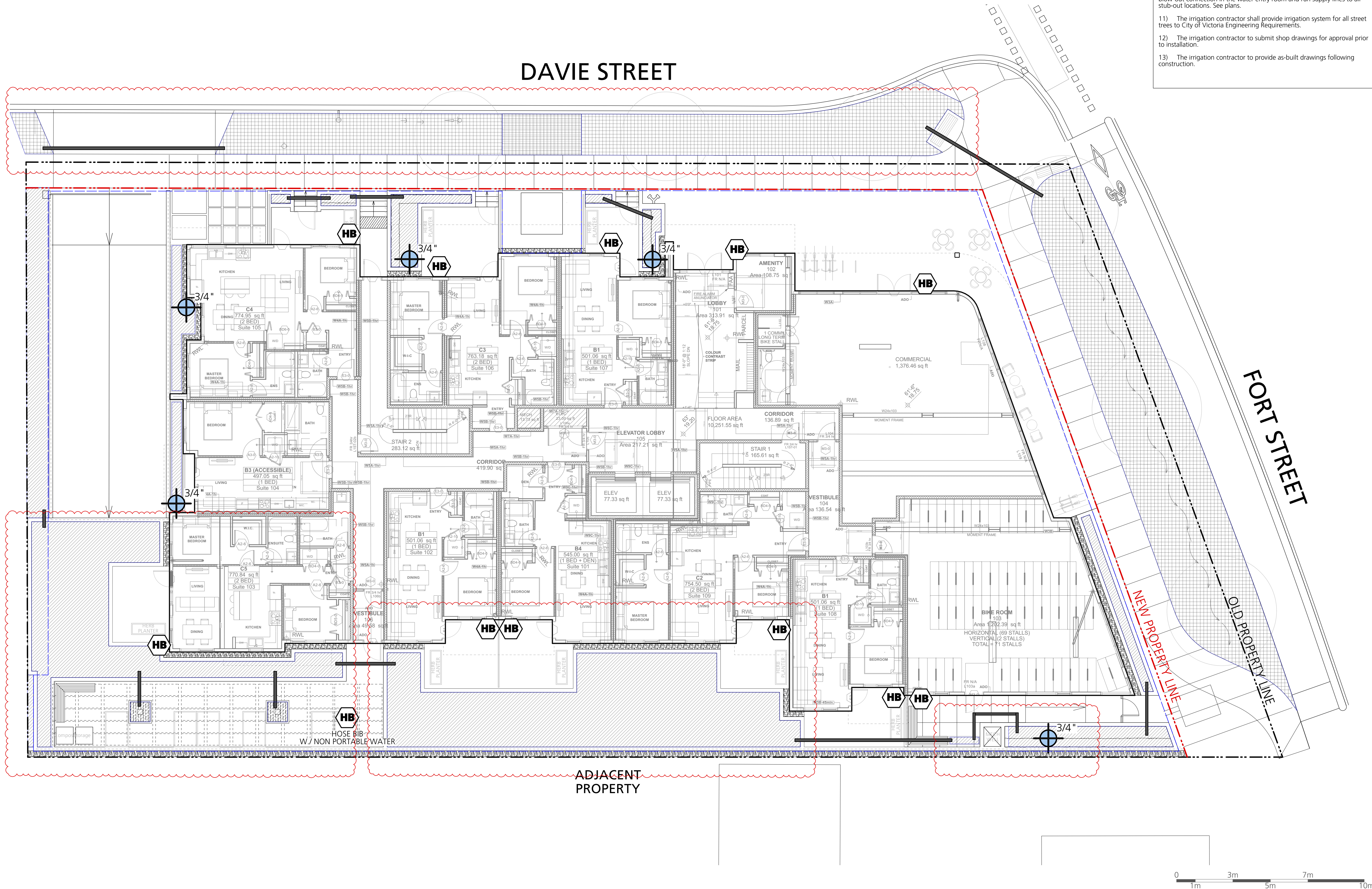
Project North:  Drawn By: **MH**
Checked By: **MP**

Scale: **1:100** Job No.: **22-082**

Sheet No.:

IRRIGATION LEGEND	
	Offsite Shrub Zone To be Coordinated at 8P
	Shrub Zone Use Rainbird Sprayheads, Valves and Drip-line, To be Coordinated at 8P
	Sleeve Location 2" Diameter Sleeve To be Coordinated at 8P
	Stubout Location To be Coordinated at 8P
	Proposed Hose Bib To be Coordinated at 8P

- IRRIGATION NOTES:**
- 1) The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.
 - 2) The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
 - 3) The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
 - 4) The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
 - 5) Provide rain sensor on system. Location to be determined.
 - 6) Flow thru all piping not to exceed 5ft/sec.
 - 7) Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
 - 8) The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
 - 9) The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.
 - 10) The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
 - 11) The irrigation contractor shall provide irrigation system for all street trees to City of Victoria Engineering Requirements.
 - 12) The irrigation contractor to submit shop drawings for approval prior to installation.
 - 13) The irrigation contractor to provide as-built drawings following construction.



ADJACENT
PROPERTY

DAVIE STREET

FORT STREET

ADJACENT
PROPERTY

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

**Irrigation Plan
Rooftop**

Project North: Drawn By: **MH**
Checked By: **MP**

Scale: **1:100** Job No.: **22-082**

Sheet No.:

IRRIGATION LEGEND

Offsite Shrub Zone
To be Coordinated at BP

Shrub Zone
Use Rambird Sprayheads, Valves and Dripline,
See Notes
To be Coordinated at BP

Sleeve Location
2" Diameter Sleeve
To be Coordinated at BP

Stubout Location
To be Coordinated at BP

Proposed Hose Bib
To be Coordinated at BP

- IRRIGATION NOTES:**
- 1) The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.
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ADJACENT
PROPERTY

DAVIE STREET

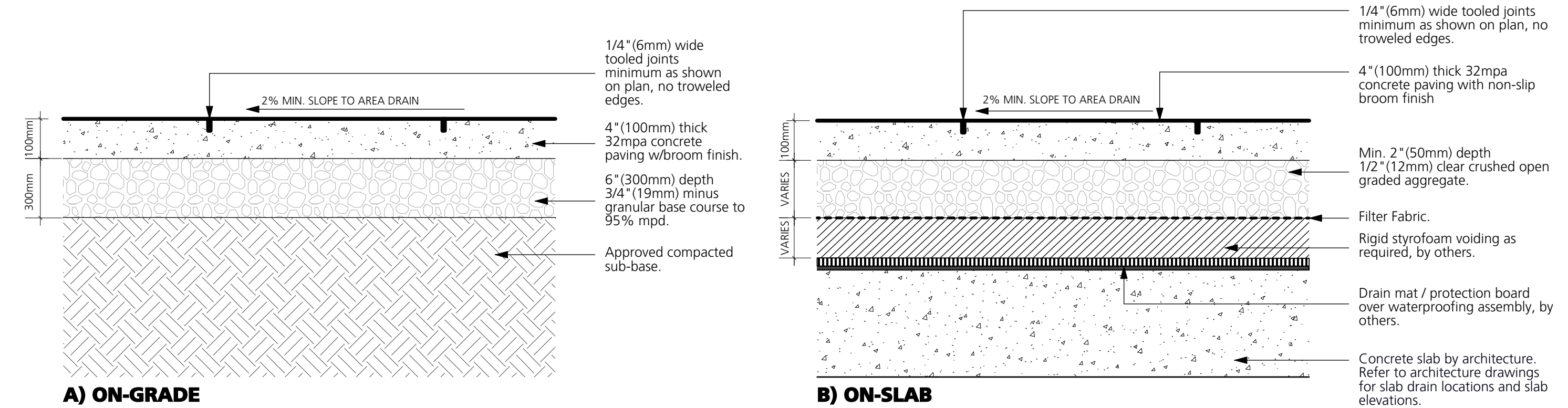
FORT STREET

NEW PROPERTY LINE

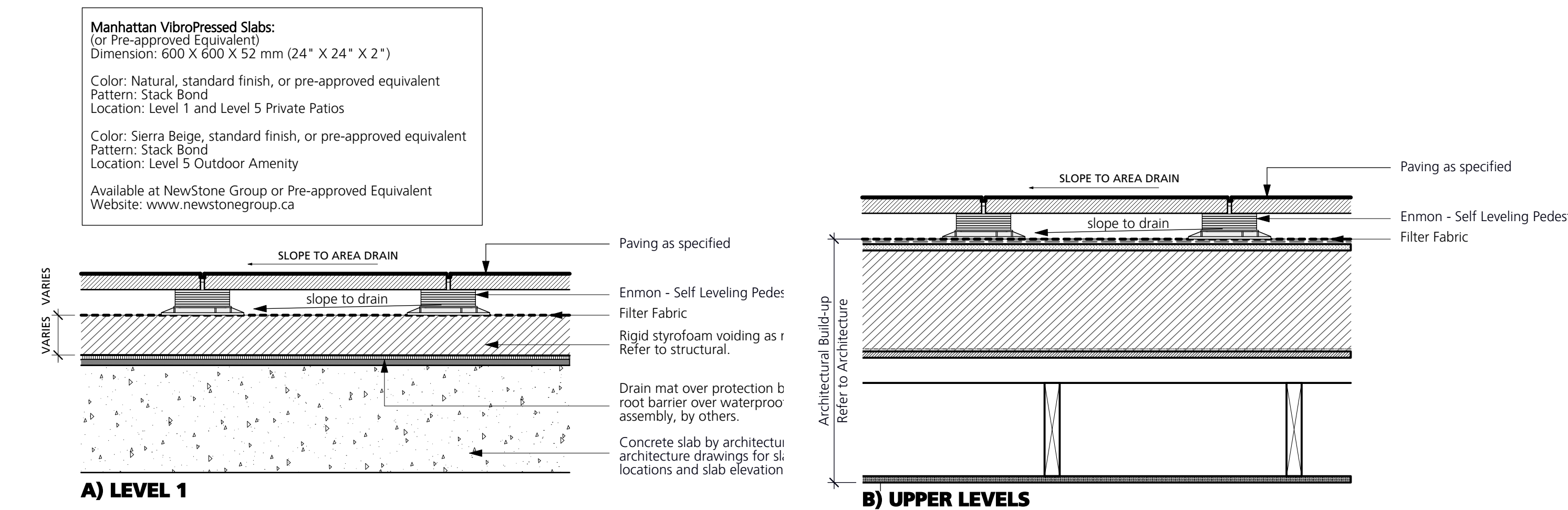
OLD PROPERTY LINE

ADJACENT
PROPERTY

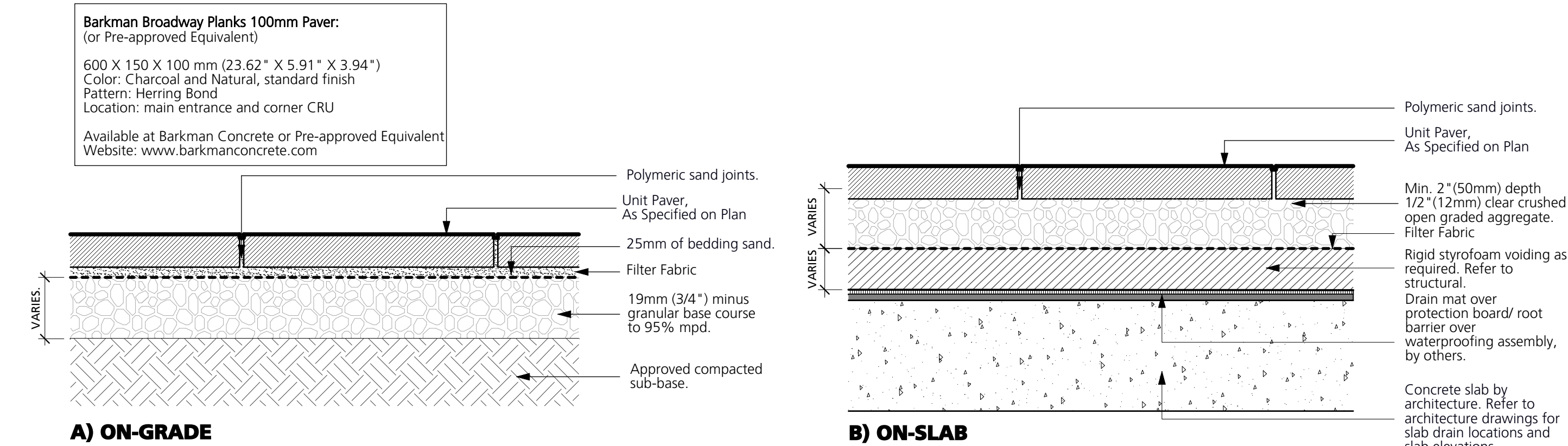
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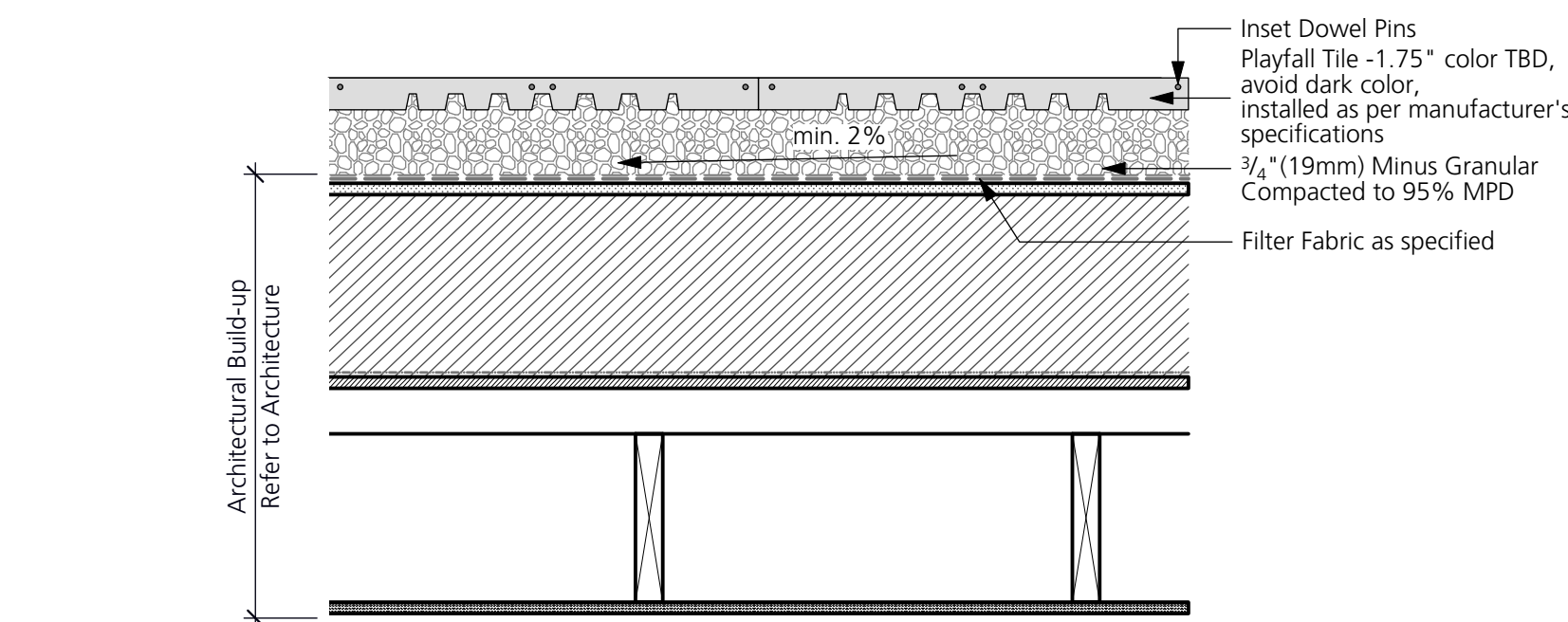
1 CIP Concrete Paving
1:10



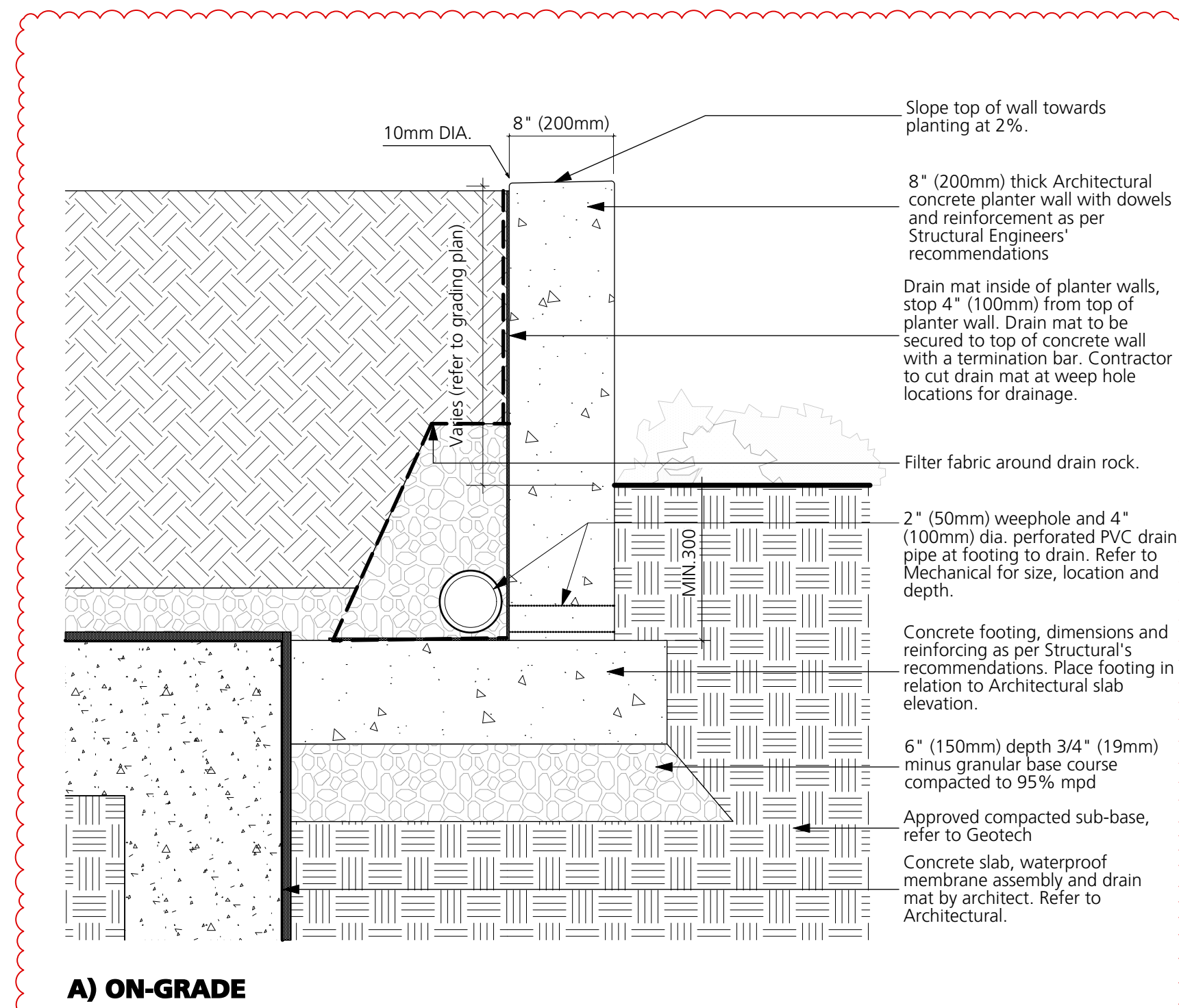
3 Hydrapressed Slab
1:10



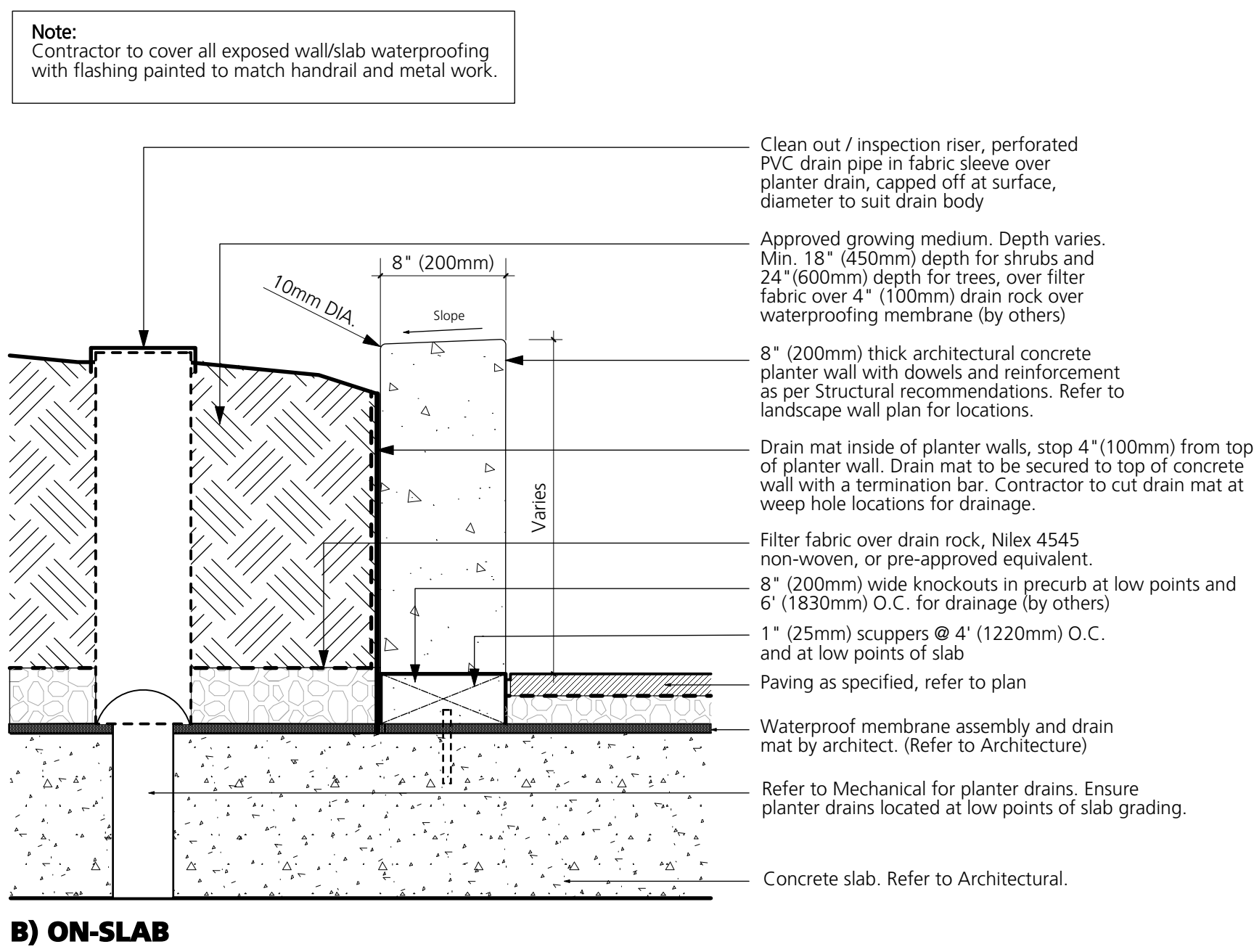
2 Unit Paving
1:10



4 Resilient surfacing
1:10



5 CIP Concrete Planter Wall
1:10



B) ON-SLAB

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Client:



Project Title:

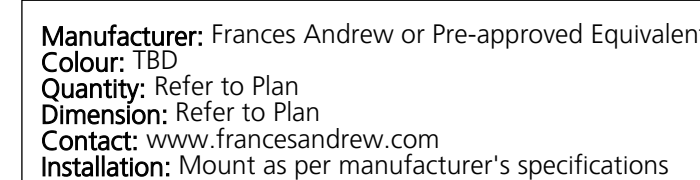
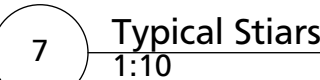
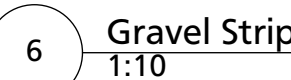
FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Landscape Details

Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	As Shown 22-082
Sheet No.:		

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4	Re-issued for Development Permit	2024/02/16
5	Re-issued for Development Permit	2024/04/30
6	Re-issued for Development Permit	2024/07/12
7	Re-issued for Development Permit	2024/11/07
8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezonning / DP	2025/05/09
10	Issued for 50% CD	2025/05/23
11	Issued for 60% CD	2025/06/13
12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezonning / DP	2025/07/14



Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Landscape Details

Project North:

Drawn By: MH

Checked By: MP

Scale: **As Shown** Job No.: **22-082**

Sheet No.:

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/14
2	Issued for Development Permit	2023/07/10
3	Re-issued for Development Permit	2023/12/22
4	Re-issued for Development Permit	2024/02/16
5	Re-issued for Development Permit	2024/04/30
6	Re-issued for Development Permit	2024/07/12
7	Re-issued for Development Permit	2024/11/07
8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09
10	Issued for 30% CD	2025/05/23
11	Issued for 60% CD	2025/06/13
12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Landscape Details

Project North:

Drawn By:

MH

Checked By:

MP

Scale:

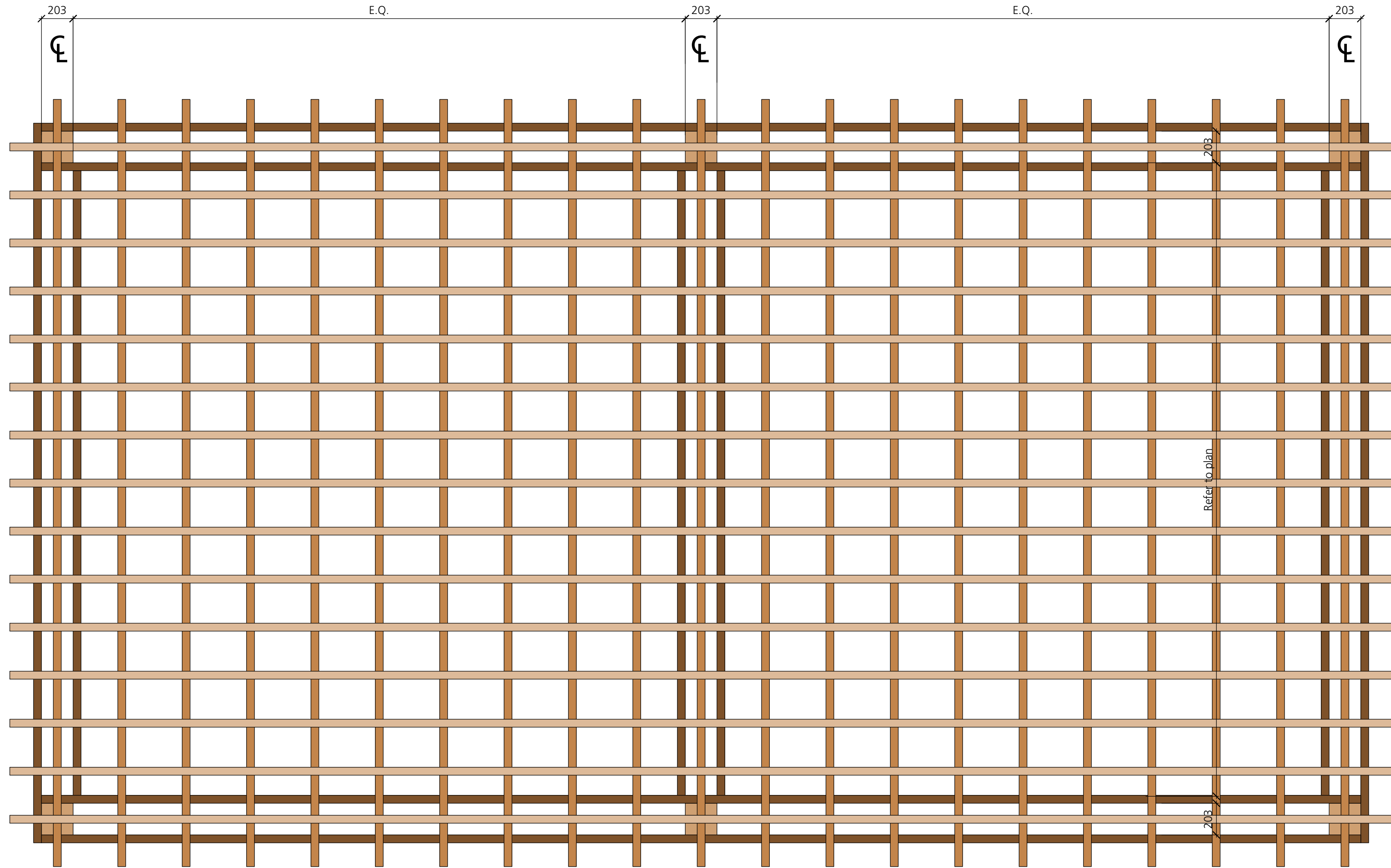
Job No.:

As Shown

22-082

Sheet No.:

L4.2



Custom Wood Trellis

Material:

Western red cedar or approved alternative

Finish:

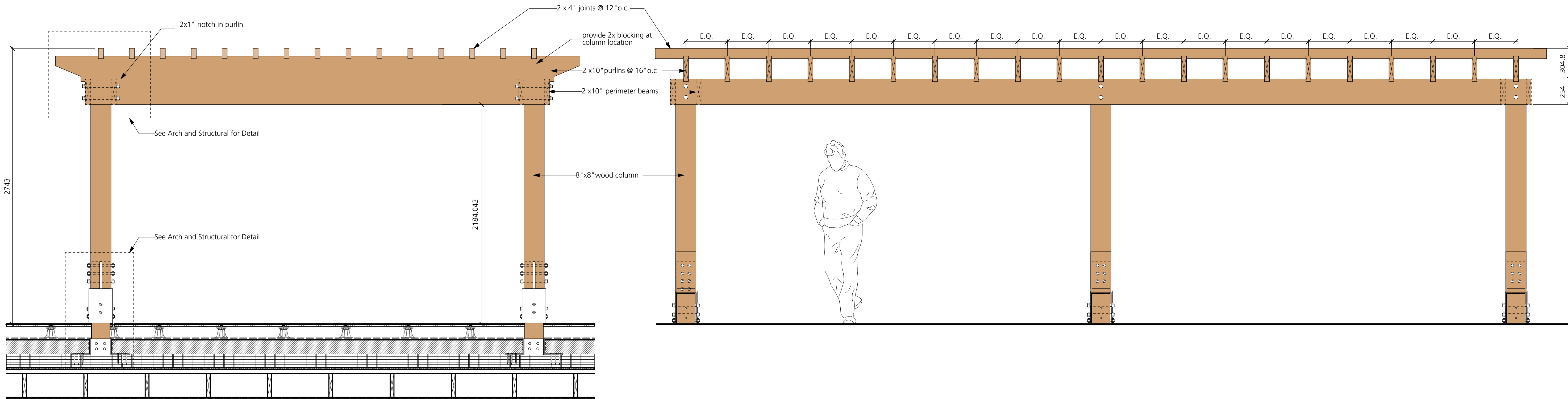
Clear Coat with Stained Finish, Colour TBD. Refer to Arch
All Steel to be hot dipped galvanized unless note otherwise, refer to structural.

Installation:

Surface mount as per details below, refer to structural's specifications and recommendations.

Notes:

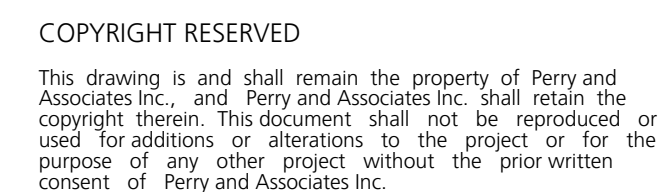
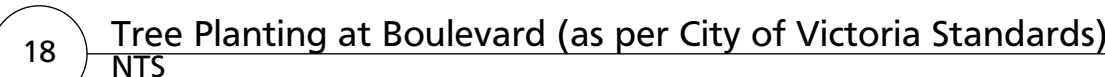
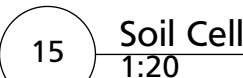
- 1.) Colour to match Architectural.
- 2.) Provide paint ready wood finish.
- 3.) All measurements to be verified with as-built conditions prior to fabrication.
- 4.) Refer to Structural drawings for all wood member size.
- 5.) Refer to Envelope, Architectural and Structural for connection details.
- 6.) Contractor to provide **engineered shop drawings** for all components, finishes, connections, hardware, and footings and submit for approvals prior to fabrication.
- 7.) Contractor to verify all dimensions before fabrication.



14

Indicative Trellis
1:20

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/7
2	Issued for Development Permit	2023/07/7
3	Re-issued for Development Permit	2023/12/2
4	Re-issued for Development Permit	2024/02/7
5	Re-issued for Development Permit	2024/04/7
6	Re-issued for Development Permit	2024/07/7
7	Re-issued for Development Permit	2024/11/6
8	Re-issued for Development Permit	2025/01/2
9	Issued for Rezoning / DP	2025/05/05
10	Issued for 30% CD	2025/05/05
11	Issued for 60% CD	2025/06/06
12	Issued for 90% CD	2025/07/07
13	Re-issued for Rezoning / DP	2025/07/7



Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street
Victoria, BC

Drawing Title:

Landscape Details

Project North:

Drawn By:

MH

Checked R

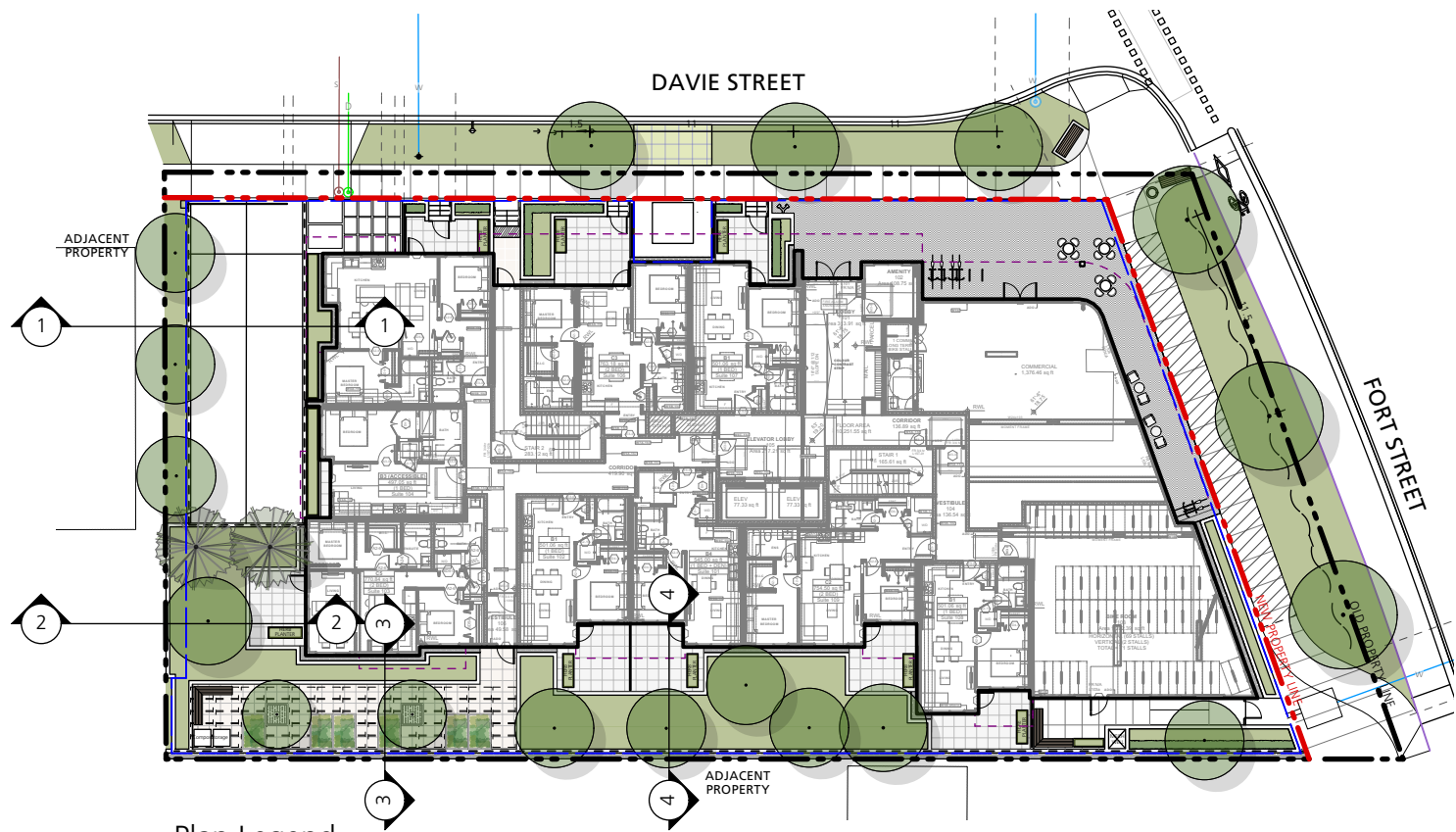
Scale

Job No. 3

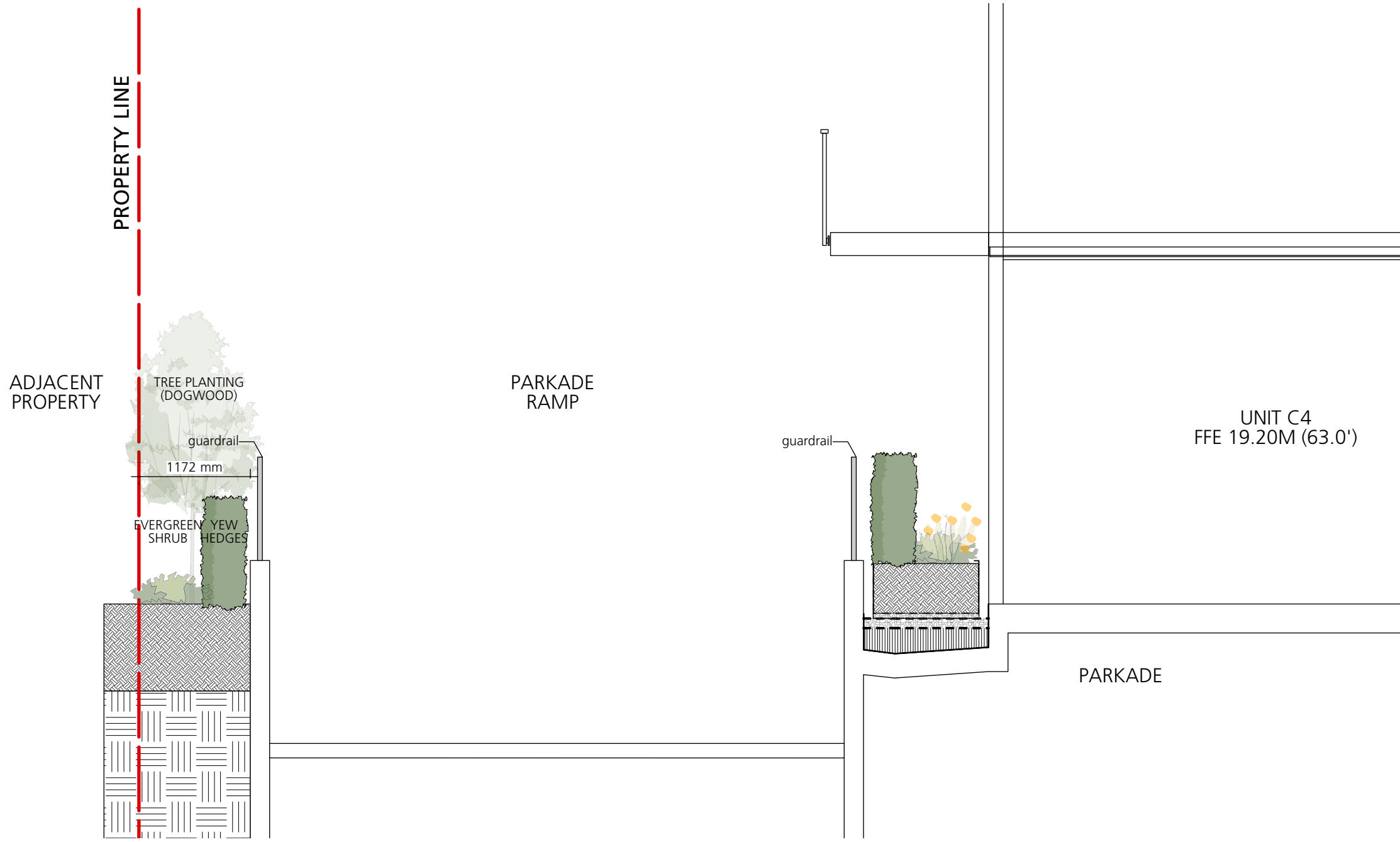
As Shown

22-082

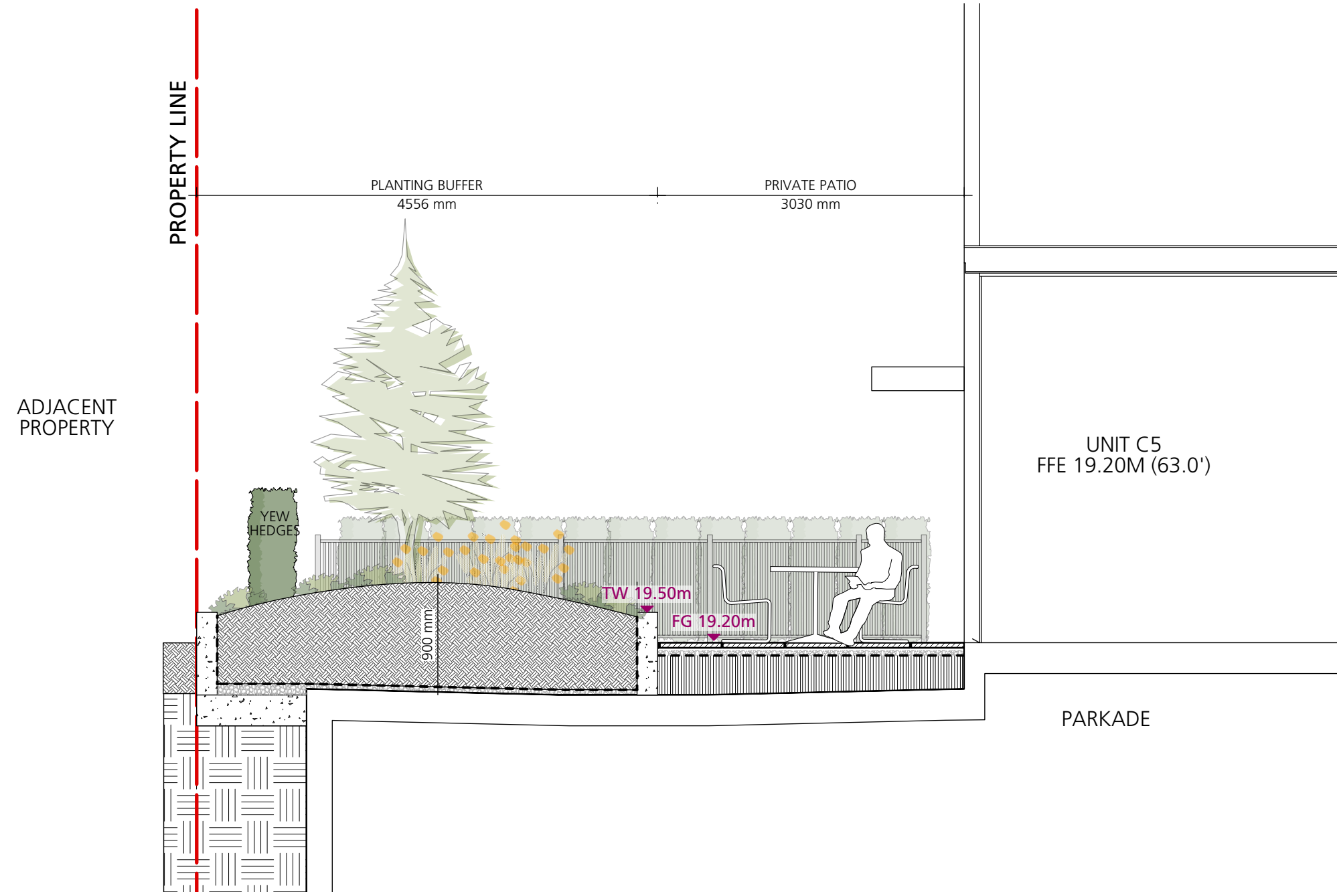
Sheet No.



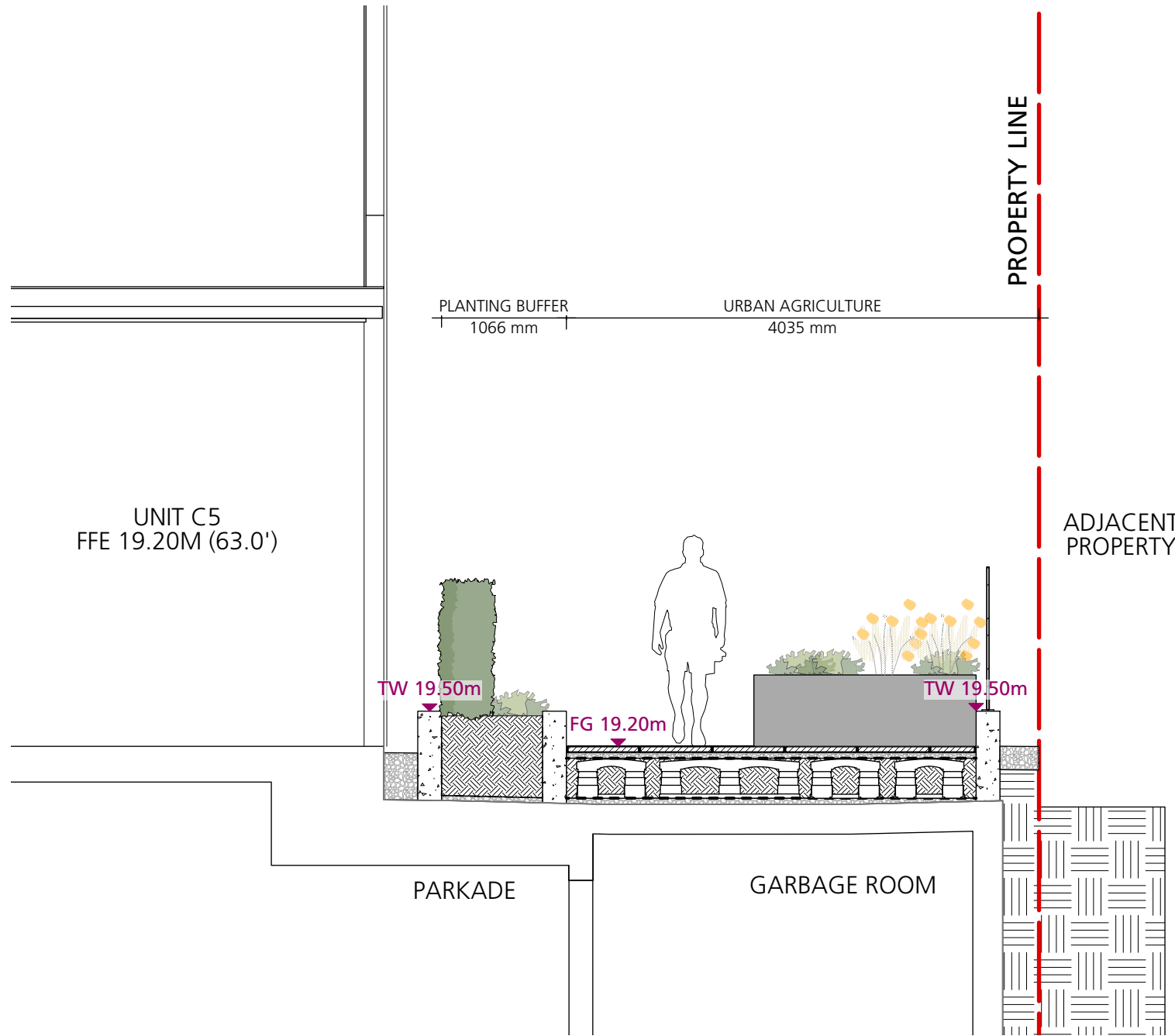
Plan Legend
Scale 1:400



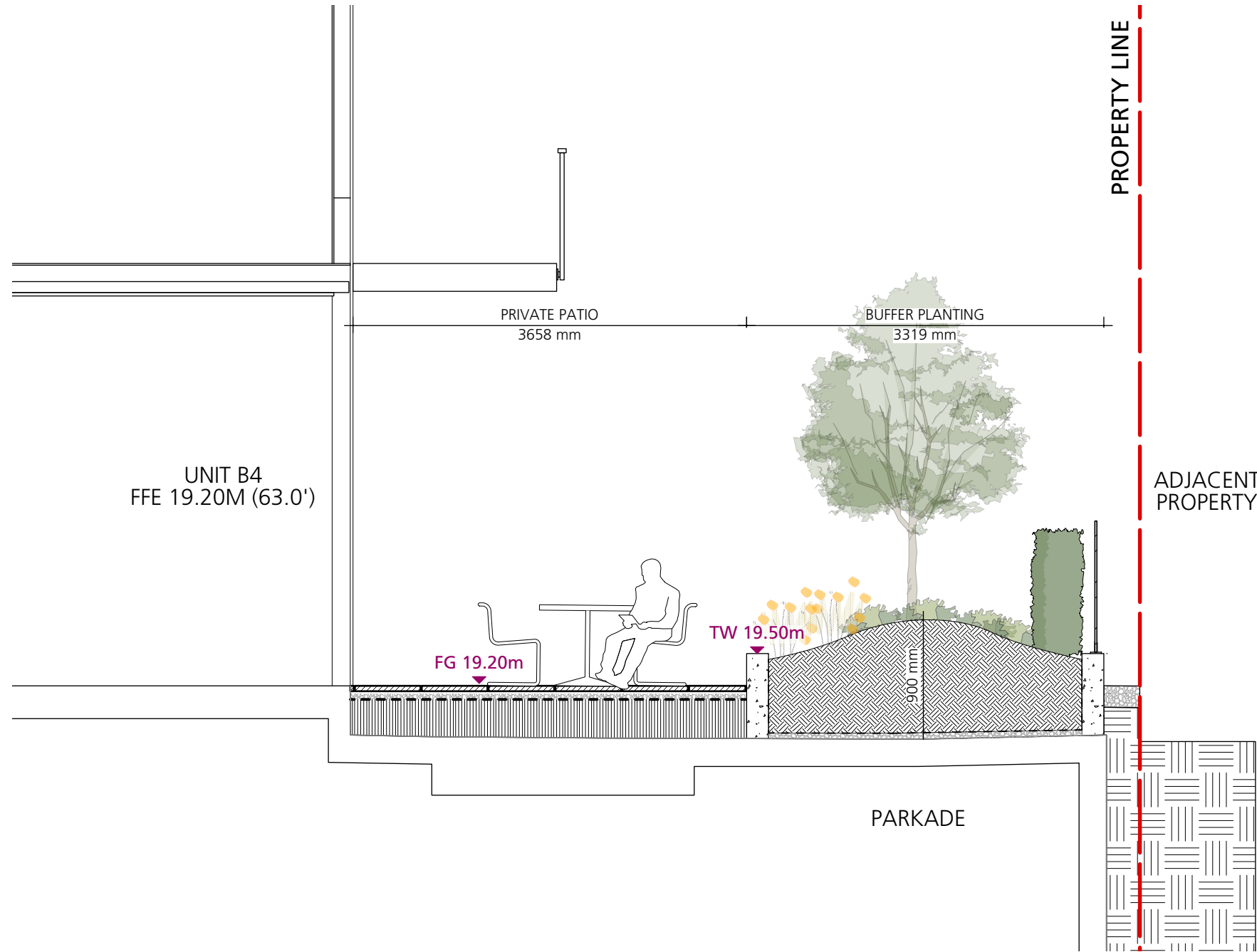
1 S Property Line - Parkade Ramp - Unit C4
1:50



2 S Property Line - Buffer Planting - Unit C5
1:50



3 Unit C5 - Urban Agriculture- E Property Line
1:50



4 Unit B4 - Private Patio- E Property Line
1:50

Issues No.	Description	Date
1	Issued for CALUC	2022/10/14
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3	Re-issued for Development Permit	2023/12/22
4	Re-issued for Development Permit	2024/02/16
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8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09
10	Issued for 30% CD	2025/05/23
11	Issued for 60% CD	2025/06/13
12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Landscape Sections

Project North:

Drawn By:

MH

Checked By:

MP

Scale:

Job No.:

As Shown

22-082

Sheet No.:

UTILITY	PLAN CHECKER		AUTHORIZED REPRESENTATIVE		DATE
	HYDRO ELECTRICAL COMPANY		NAME	NAME	
	TELEPHONE COMPANY				
	GAS COMPANY				
	CABLE COMPANY				
MUNICIPAL	UNDERGROUND SERVICES				
	TRAFFIC				
	HIGHWAYS				

INFORMATION IS AT PROPERTY LINE	STORM DRAIN		SANITARY SEWER	
EXISTING DEPTH (m)				
PROPOSED DEPTH (m)				
PROPOSED INVERT ELEVATION (m)				
MAXIMUM DEPTH REQUESTED	YES	NO	YES	NO

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		WATERMAIN
		SANITARY MAIN
		STORM MAIN
		FIRE HYDRANT
		HYDRANT COVERAGE (45m RADIUS)

NOTES:

- FOR GENERAL NOTES SEE SHEET C100.
- ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, WITHIN THE VICTORIA SUBDIVISION AND DEVELOPING SERVICING BYLAW 12-042, SCHEDULE C, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- CONTACT PARKS AT 250-361-0600 WITH AT LEAST 48 HOURS NOTICE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- FOR SHALLOW UTILITIES DESIGN, SEE SHEET C400 AND INDIVIDUAL UTILITY DESIGN DRAWINGS (TO FOLLOW). DESIGN TO BE DETERMINED BY THIRD PARTY UTILITIES AT A LATER DATE.
- CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY COV FORCES.
- ELEVATIONS ARE GEODETIC (CGVD28) BASED ON CONTROL MONUMENT 15-147

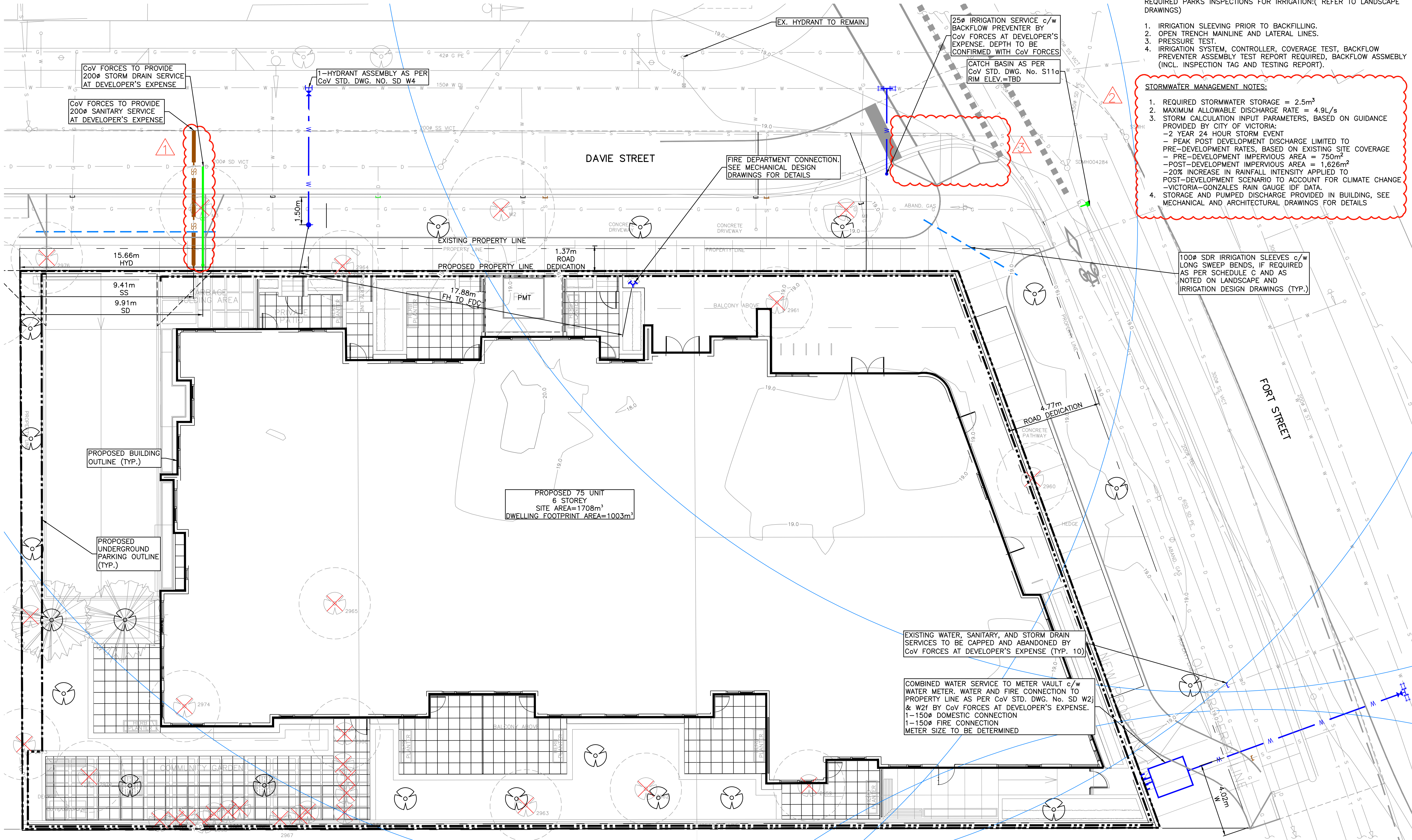
REQUIRED PARKS INSPECTIONS FOR IRRIGATION: (REFER TO LANDSCAPE DRAWINGS)

- IRRIGATION SLEEVING PRIOR TO BACKFILLING.
- OPEN TRENCH MAINLINE AND LATERAL LINES.
- PRESSURE TEST.
- IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).

STORMWATER MANAGEMENT NOTES:

- REQUIRED STORMWATER STORAGE = $2.5m^3$
- MAXIMUM ALLOWABLE DISCHARGE RATE = $4.9L/s$
- STORM CALCULATION INPUT PARAMETERS, BASED ON GUIDANCE PROVIDED BY CITY OF VICTORIA:
 - 2 YEAR 24 HOUR STORM EVENT
 - PEAK POST DEVELOPMENT DISCHARGE LIMITED TO PRE-DEVELOPMENT RATES, BASED ON EXISTING SITE COVERAGE
 - PRE-DEVELOPMENT IMPERVIOUS AREA = $750m^2$
 - POST-DEVELOPMENT IMPERVIOUS AREA = $1,825m^2$
 - 20% INCREASE IN RAINFALL INTENSITY APPLIED TO POST-DEVELOPMENT SCENARIO TO ACCOUNT FOR CLIMATE CHANGE - VICTORIA-GONZALES RAIN GAUGE IDF DATA.
- STORAGE AND PUMPED DISCHARGE PROVIDED IN BUILDING, SEE MECHANICAL AND ARCHITECTURAL DRAWINGS FOR DETAILS

100% SDR IRRIGATION SLEEVES c/w LONG SWEEP BENDS, IF REQUIRED AS PER SCHEDULE C AND AS NOTED ON LANDSCAPE AND IRRIGATION DESIGN DRAWINGS (TYP.)



ISSUES		
No.	DATE	ISSUED FOR
1	2023.12.21	DEVELOPMENT PERMIT
2	2024.05.02	DP REVIEW
3	2024.11.07	DP RESUBMISSION
4	2024.01.28	DP RESUBMISSION 2
5	2025.05.09	DP RESUBMISSION 3
6	2025.05.23	30% REVIEW
7	2025.06.13	60% REVIEW
8	2025.07.11	90% REVIEW
10	2025.07.11	DP RESUBMISSION 4

CLIENT

ISSUED FOR
DEVELOPMENT PERMIT

1:100 0 2 6m

FORT AND DAVIE RESIDENCES
CIVIL WORKS

VICTORIA, BC

THREE SHORES MANAGEMENT

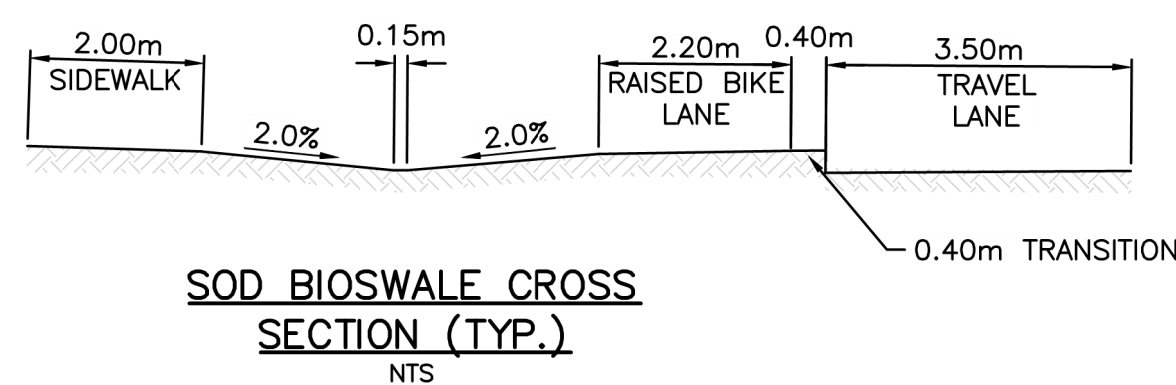
HEROLD ENGINEERING
Unit 600-1112 Fort St, Victoria, BC V8V 3K8
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

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SITE SERVICING
CONCEPT PLAN

DESIGNED TDL	ENGINEER'S SEAL HEL PERMIT NO. 1000201
DESIGN REVIEW AJH	
DRAFTED SEN	
DRAFTING REVIEW MDZ	
PROJECT No. 6150-003	CLIENT DRAWING No.
SCALE H: AS NOTED V: AS NOTED	PERMIT No.
HEL DRAWING No. C200	REVISION 1 of 2 9

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION



NOTES:

1. FOR GENERAL NOTES SEE SHEET C100

ISSUES		
No.	DATE	ISSUED FOR
1	2023.12.21	DEVELOPMENT PERMIT
2	2024.05.02	DP REVIEW
3	2024.11.07	DP RESUBMISSION
4	2024.01.28	DP RESUBMISSION 2
5	2025.05.09	DP RESUBMISSION 3
6	2025.05.23	30% REVIEW
7	2025.06.13	60% REVIEW
8	2025.07.11	90% REVIEW
10	2025.07.11	DP RESUBMISSION 4

CLIENT

ISSUED FOR
DEVELOPMENT PERMIT



FORT AND DAVIE RESIDENCES
CIVIL WORKS


VICTORIA, BC

THREE SHORES MANAGEMENT



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GRADING AND SURFACE WORKS PLAN

DESIGNED TDL	ENGINEER'S SEAL HEL PERMIT No. 1000201
DESIGN REVIEW AJH	
DRAFTED SEN	
DRAFTING REVIEW MDZ	
PROJECT No. 6150-003	
SCALE H: AS NOTED V: AS NOTED	PERMIT No.
HEL DRAWING No. C300	REVISION 2 of 2 9