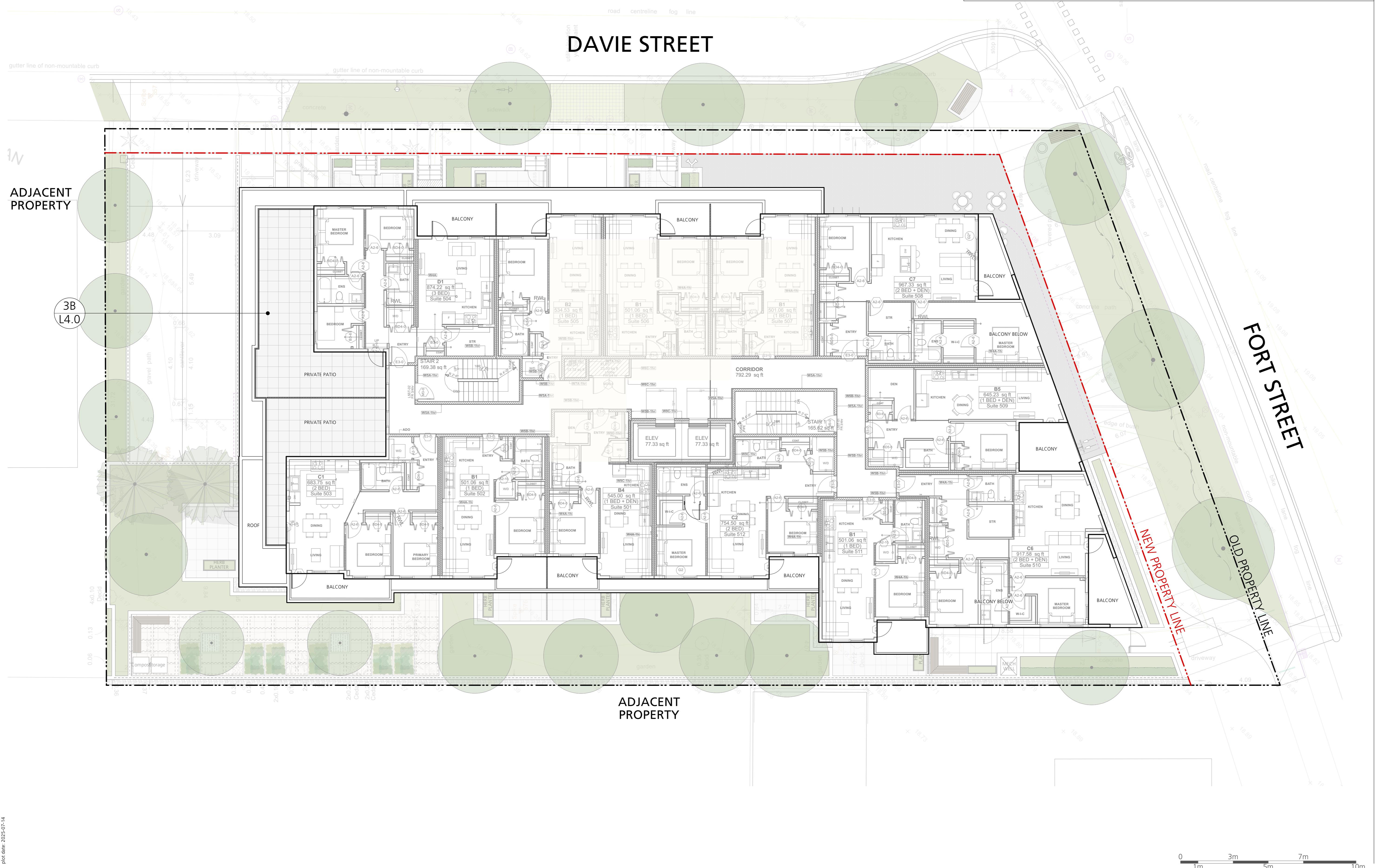


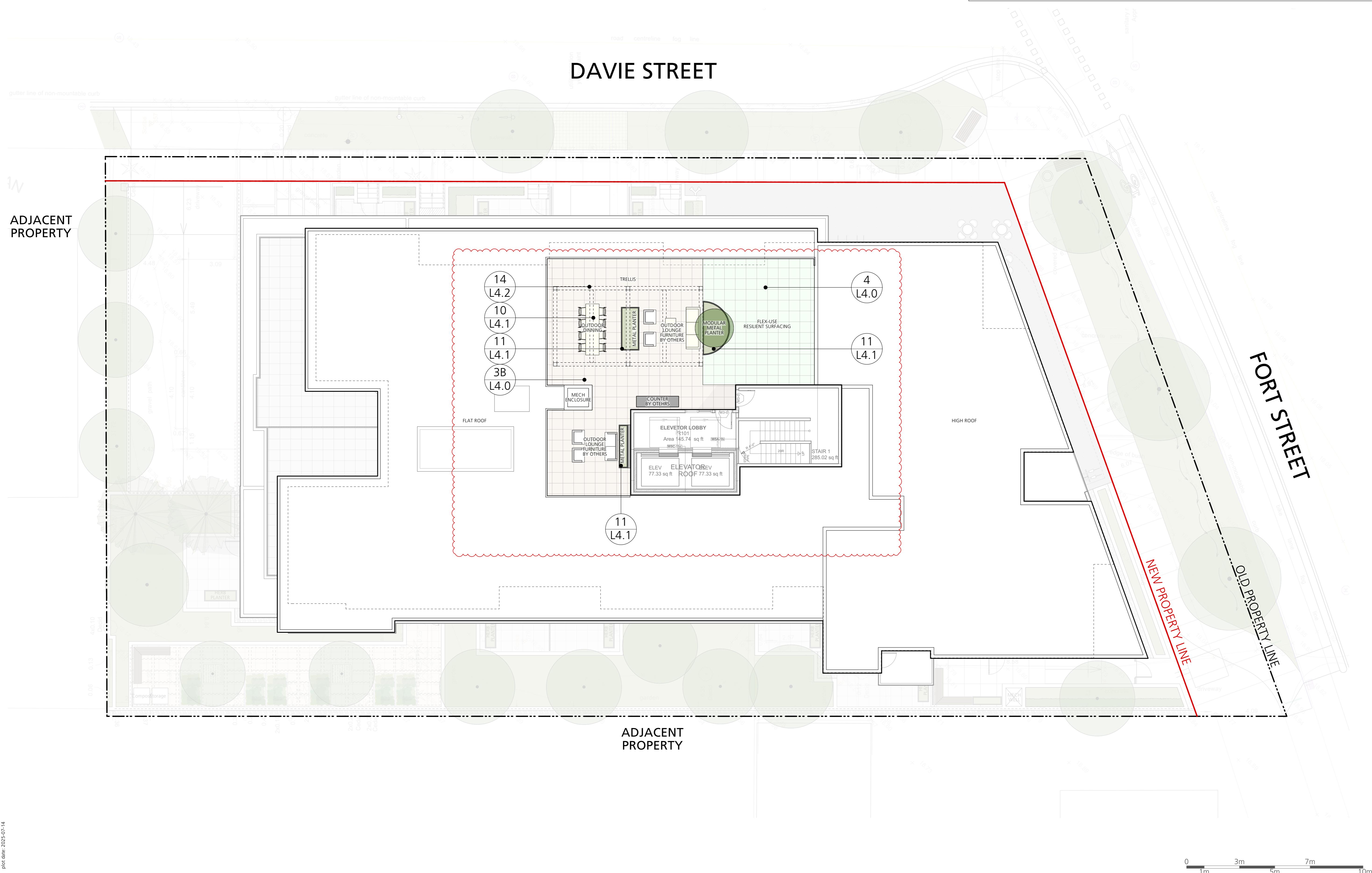
1A L4.0	CIP Concrete Paving On-grade	3B L4.0	Hydrapressed Slab Upper Levels	7 L4.1	Typical Stairs	12 L4.1	Garden Plot
1B L4.0	CIP Concrete Paving On-slab	4 L4.0	Resilient Surfacing	8 L4.1	Metal Picket Fence	13 L4.1	Landscape Bench
2A L4.0	Unit Paving On-grade	5A L4.0	CIP Concrete Planter Wall On-Grade	9 L4.1	Bike Rack	14 L4.2	Indicative Trellis
2B L4.0	Unit Paving On-slab	5B L4.0	CIP Concrete Planter Wall On-Slab	10 L4.1	Outdoor Bar & Stools	15 L4.3	Soil Cell
3A L4.0	Hydrapressed Slab Level 1	6 L4.1	Gravel Strip	11 L4.1	Custom Metal Planter		

No.	Description	Date
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3	Re-issued for Development Permit	2023/12/22
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10	Issued for 30% CD	2025/05/23
11	Issued for 60% CD	2025/06/13
12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

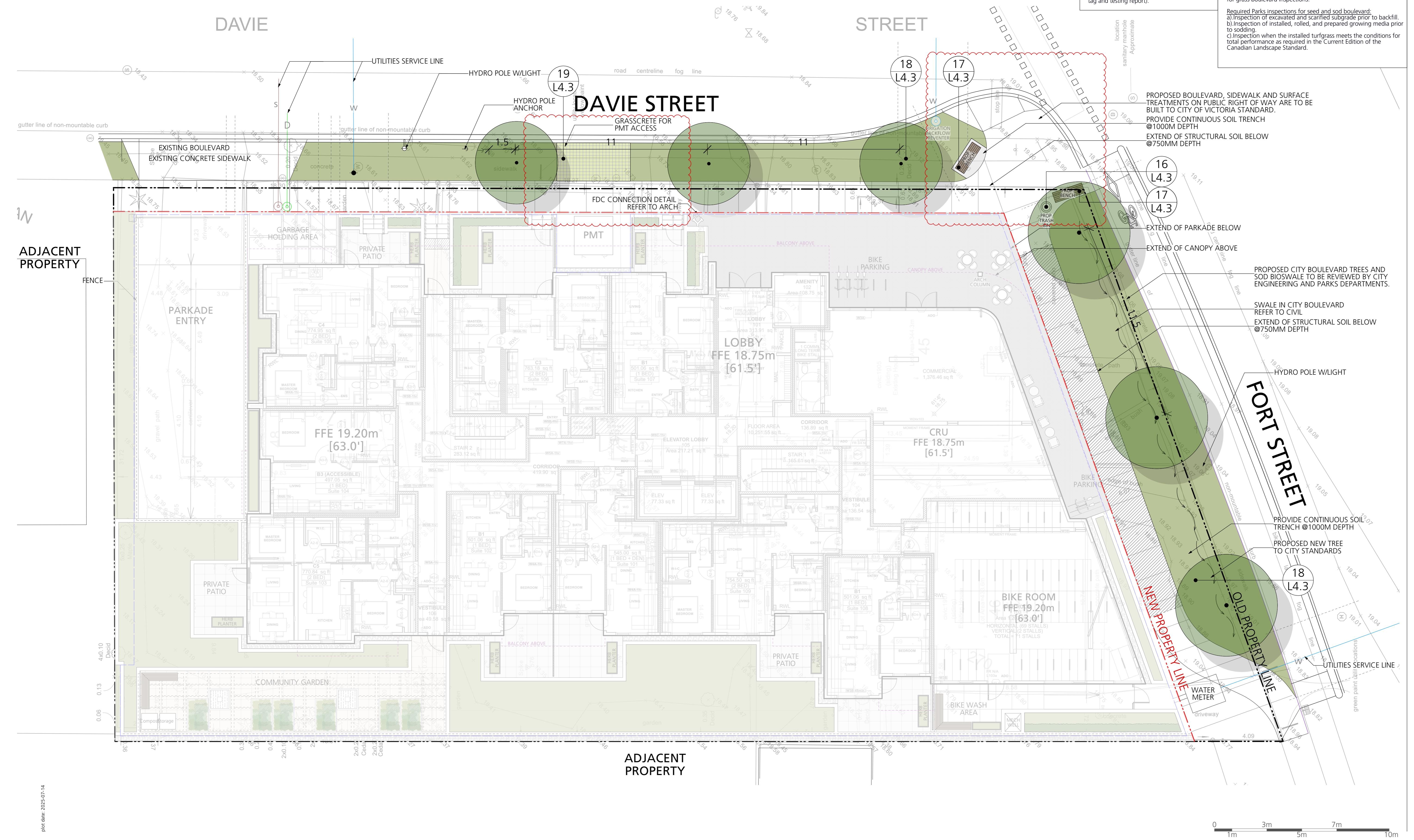


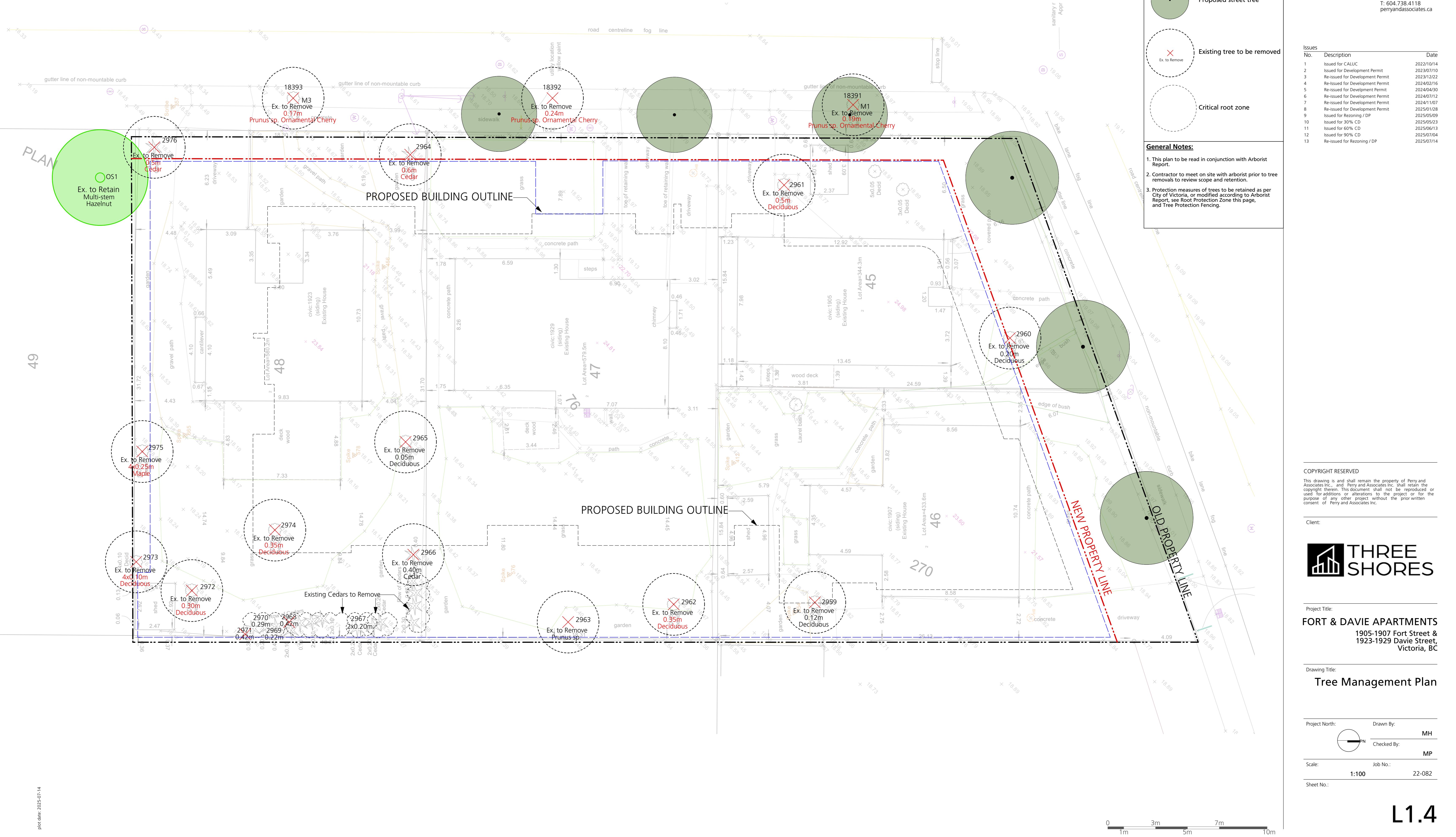
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1A L4.0	CIP Concrete Paving On-grade
1B L4.0	CIP Concrete Paving On-slab
2A L4.0	Unit Paving On-grade
2B L4.0	Unit Paving On-slab
3A L4.0	Hydrapressed Slab Level 1
3B L4.0	Hydrapressed Slab Upper Levels
4 L4.0	Resilient Surfacing
5A L4.0	CIP Concrete Planter Wall On-Grade
5B L4.0	CIP Concrete Planter Wall On-Slab
6 L4.1	Gravel Strip
7 L4.1	Typical Stairs
8 L4.1	Metal Picket Fence
9 L4.1	Bike Rack
10 L4.1	Outdoor Bar & Stools
11 L4.1	Custom Metal Planter
12 L4.1	Garden Plot
13 L4.1	Landscape Bench
14 L4.2	Indicative Trellis
15 L4.3	Soil Cell

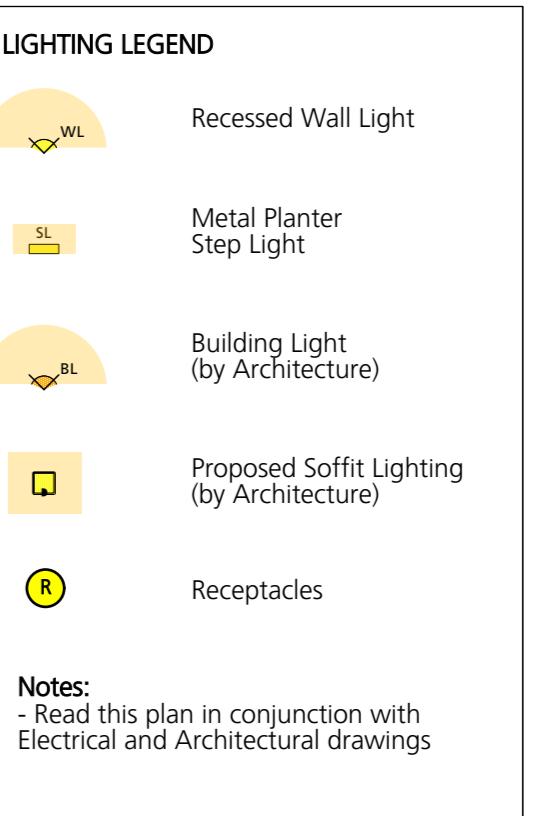
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Offsite Legend:		Street Trees Soil Volume Table					Minimum Clearances of Street Trees:		Offsite Irrigation Legend		General Notes for Off-Site:	
(16) L4.3	Garbage Bin	Qty. of Street Trees	1m Deep Soil Trench @ Boulevard (x 1)	0.75m Deep Struc. Soil under Sidewalk (x 0.2)	Total Provided Soil Volume	Soil Volume per Street Tree	- Underground BC Hydro, natural gas and communication utilities	1.5 m	1. All irrigation work, including required inspections, shall follow the Supplementary Specifications for Street Trees and Irrigation, with the Victoria Subdivision and Development Services Bylaw 12-042, Schedule C, and comply with the Irrigation Industry Association of BC standards.		1. Proposed street tree locations, species selection and number of trees is subject to approval by the city of Victoria Parks Division. Proposed street tree locations must be indicated and shall respect the location of curbs or sidewalks outlined in Victoria Subdivision and Development Services Bylaw 12-042, Schedule C.	
(17) L4.3	City Bench	Davie St. Irrigated Boulevard	3	68 m ³	N/A	68 m ³	- Street lights and BC Hydro poles	5.0 m	2. Street trees must have one dominant central leader or single straight trunk, 6.8 cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) and the Canadian Landscape Standard.		Trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure.	
(18) L4.3	Tree Planting at Boulevard (as per COV standards)	Fort St. Irrigated Boulevard	3	111.3 m ³	33 m ³	144.3 m ³	- intersection	3.0 m	3. Contact Parks at 250-361-0600 with at least 48 hours notice to arrange for irrigation inspections.		Required Parks inspections for street tree planting:	
(19) L4.3	Grasscrete at Boulevard						- driveway crossing	7.0 m	a) Inspection of soil and planting area prior to planting.		b) Inspection of tree stock prior to planting.	



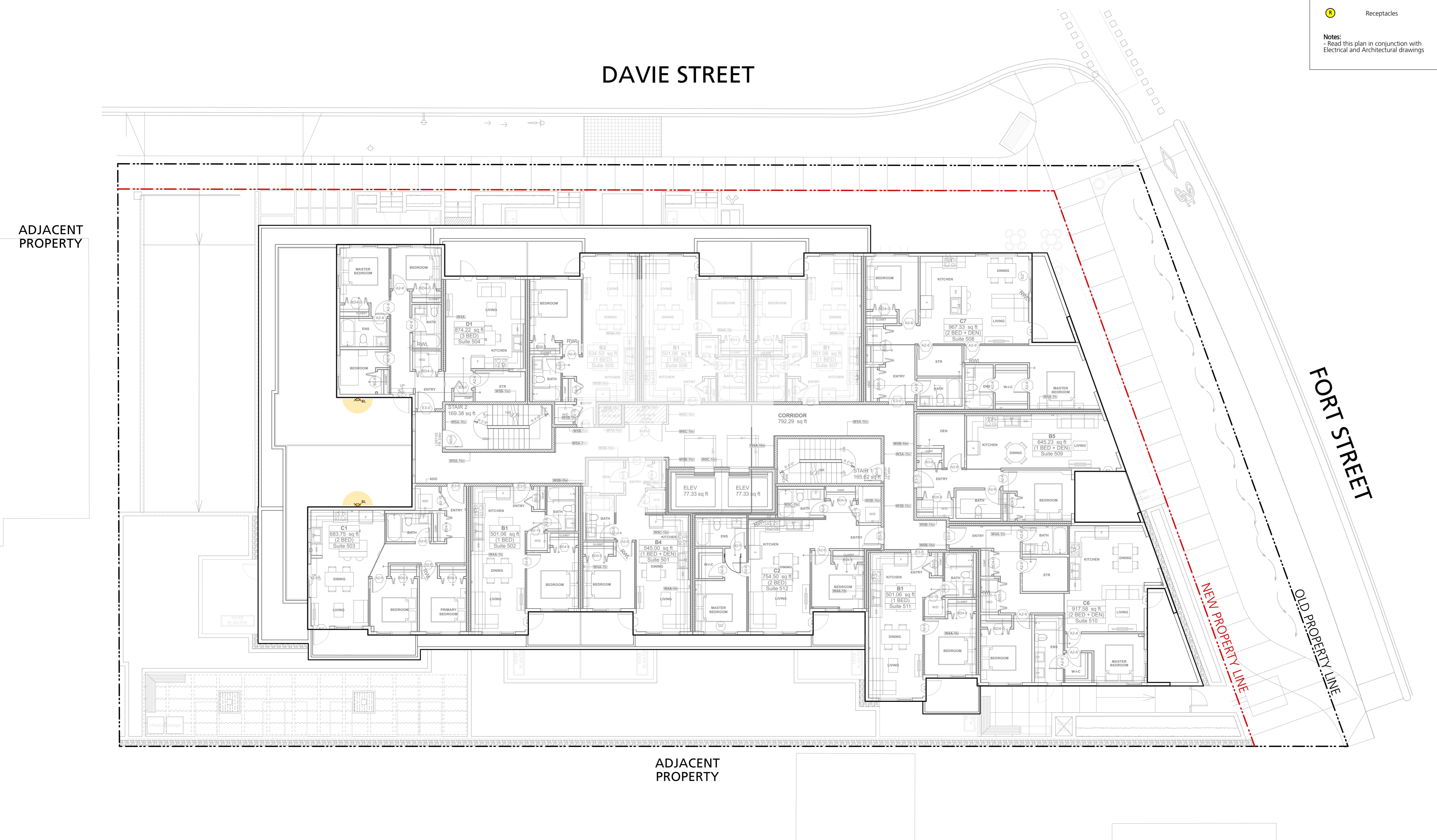




Notes:
 - Read this plan in conjunction with Electrical and Architectural drawings

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DAVIE STREET

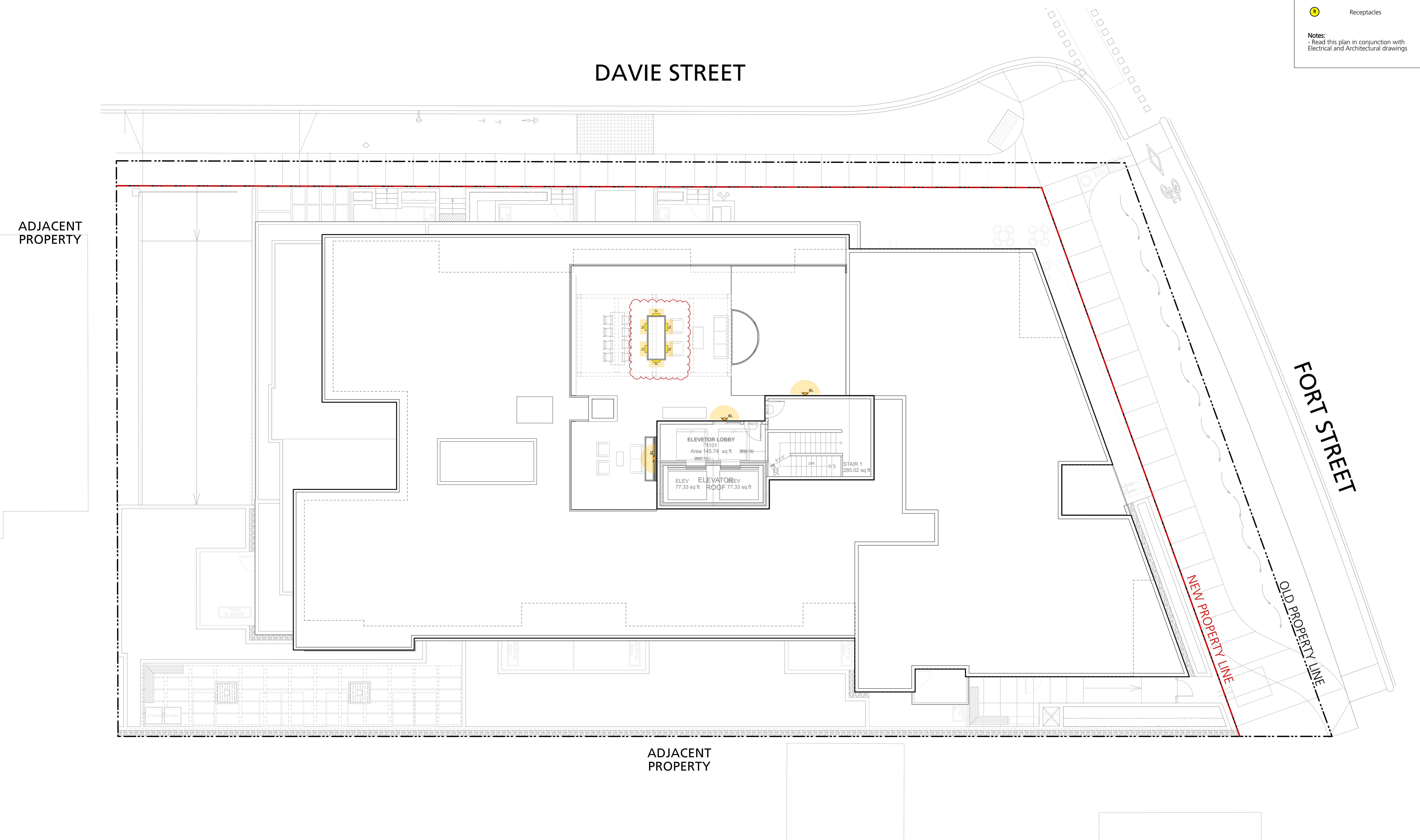


LIGHTING LEGEND	
	Recessed Wall Light
	Metal Planter Step Light
	Building Light (by Architecture)
	Proposed Soffit Lighting (by Architecture)
	Receptacles

Notes:
 - Read this plan in conjunction with Electrical and Architectural drawings

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DRAIN TYPE LEGEND

- RD  ROOF DRAIN
- PD  PLANTER DRAIN C/W CLEAN OUT
- SN  DRAIN TO SANITARY
- AD2  2 LEVEL AREA DRAIN
- AD1  1 LEVEL AREA DRAIN
- LB  LAWN BASIN
- WF  WATER FEATURE DRAIN - REFER TO WF MECH
- PERFORATED PIPE - CONNECT TO STORM

DAVIE STREET

ADJACENT PROPERTY

FOURTH STREET

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Client:

Project Title:

FORT & DAVIE APARTMENTS

1905-1907 Fort Street &
1923-1929 Davie Street

Drawing Title:

Drainage Layout Plan

Level 5

Project North:	Drawn By:
	MH
	Checked By:
	MP
Scale:	Job No.:
1:100	22-082
Sheet No.:	

121

ADJACENT PROPERTY

A horizontal scale bar representing 10 meters. The bar is divided into segments of 1m, 3m, 5m, and 7m. The 10m mark is at the right end of the bar.

L2.1

DAVIE STREET

ADJACENT PROPERTY

ADJACENT PROPERTY

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12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

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Client:

Project Title:

FORT & DAVIE APARTMENTS

1905-1907 Fort Street &
1923-1929 Davie Street

Drawing Title:

Drainage Layout Plan Rooftop

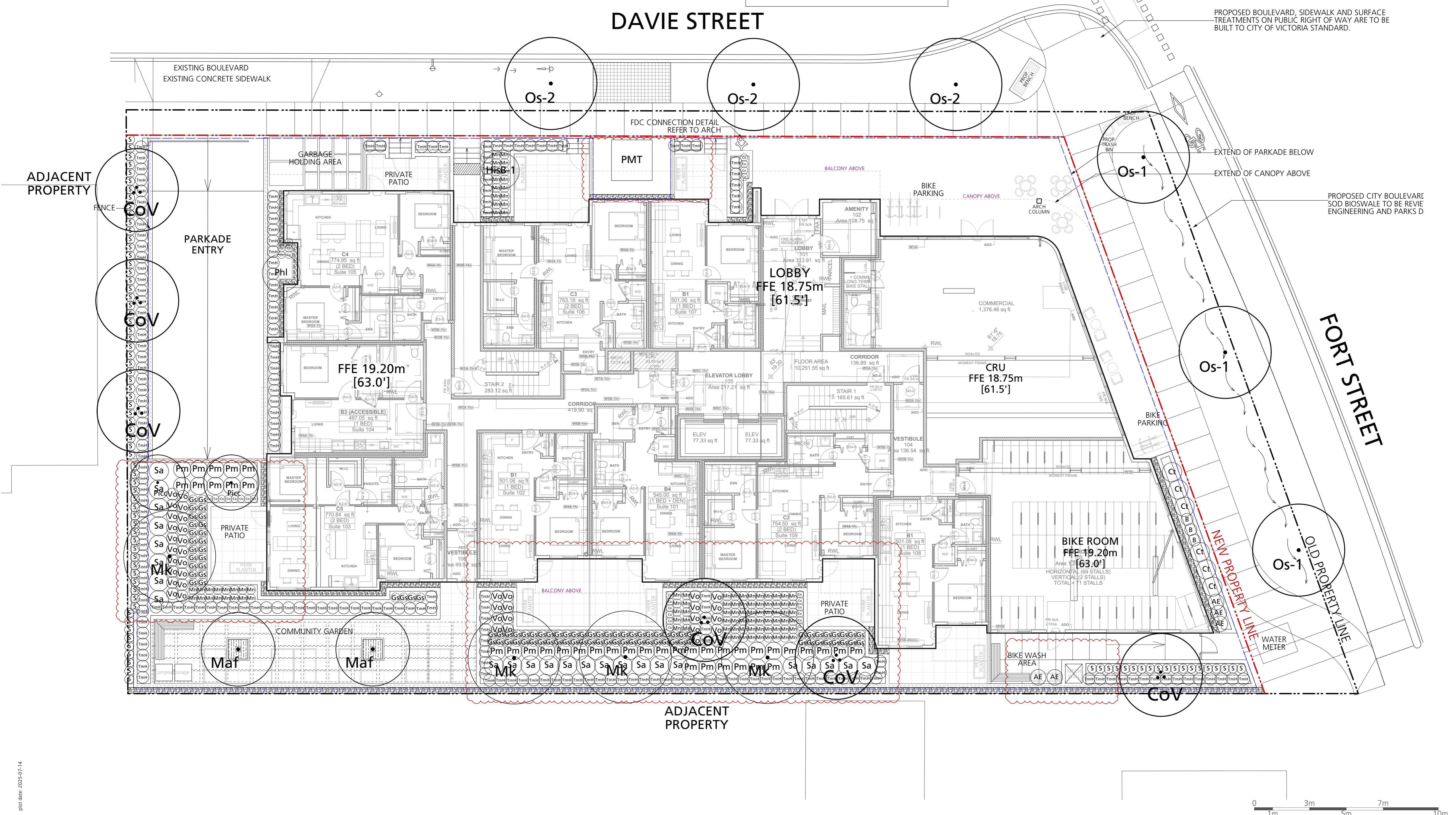
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	MH
	Checked By:
	MP
Scale:	Job No.:
1:100	22-082
Sheet No.:	

122

GENERAL NOTES:					
Plant List All Levels					
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
CoV	6	<i>Cornus 'Venus'</i>	'Venus' Dogwood	6cm cal., WB	Part 2, 2:1, small
HisB	2	<i>Hibiscus syriacus 'Bluebird'</i>	Blue Bird Rose of Sharon	6cm cal., standard	
Mk	4	<i>Magnolia kobus</i>	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium
Maf	2	<i>Malus fusca</i>	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium
Os-1	3	Offsite Tree TBD #1	Species TBD	6cm cal., WB min.	as per City of Victoria standards
OS-2	3	Offsite Tree TBD #2	Species TBD	6cm cal., WB min.	as per City of Victoria standards
Picc	2	<i>Pinus contorta</i> var. <i>contorta</i>	Shore Pine	2m ht, B&B	Part 1, 1:1, medium
Shrubs					
AE	9	<i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia	#2 pot	pollinator friendly, food-bearing
B	3	<i>Berberis thunbergii</i> 'Concorde'	Concorde Japanese Barberry	#2 pot	pollinator friendly, food-bearing
Ct	6	<i>Choisya ternata</i>	Mexican Orange	#3 pot	pollinator friendly
Gs	92	<i>Gaultheria shallon</i>	Salal	#2 pot	native, pollinator friendly, food-bearing
HisB-1	1	<i>Hibiscus syriacus</i> 'Bluebird'	Blue Bird Rose of Sharon	#5 pot	pollinator friendly, food bearing
Mn	96	<i>Mahonia nervosa</i>	Longleaf Mahonia	#2 pot	native, pollinator friendly, food-bearing
Phl	1	<i>Philadelphus lewisii</i>	Wild Mock Orange	#5 pot	native, pollinator friendly
S	85	<i>Sarcococca hookeriana</i> var. <i>humilis</i>	Dwarf Sweet Box	#2 pot	pollinator friendly
Sa	24	<i>Symporicarpos albus</i>	Snowberry	#2 pot	native, pollinator friendly, food-bearing
TmH	192	<i>Taxus x media</i> 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge
Vo	38	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#2 pot	native, pollinator friendly, food-bearing
Groundcovers, Vines, Ferns, Perennials and Grasses					
Ca	12	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#2 pot	
Co	30	<i>Carex oshimensis</i> 'Evergold'	Sedge	#1 pot	
O	39	<i>Ophiopogon planiscapus</i> 'Nigrescens'	Black Mondo Grass	#1 pot	Groundcover
Pm	39	<i>Polystichum munitum</i>	Western Sword Fern	#1 pot	native

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13	Re-issued for Rezoning / DP	2025/07/14

DAVIE STREET



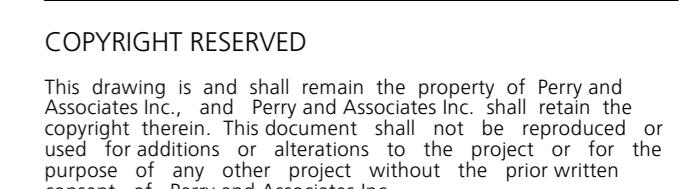
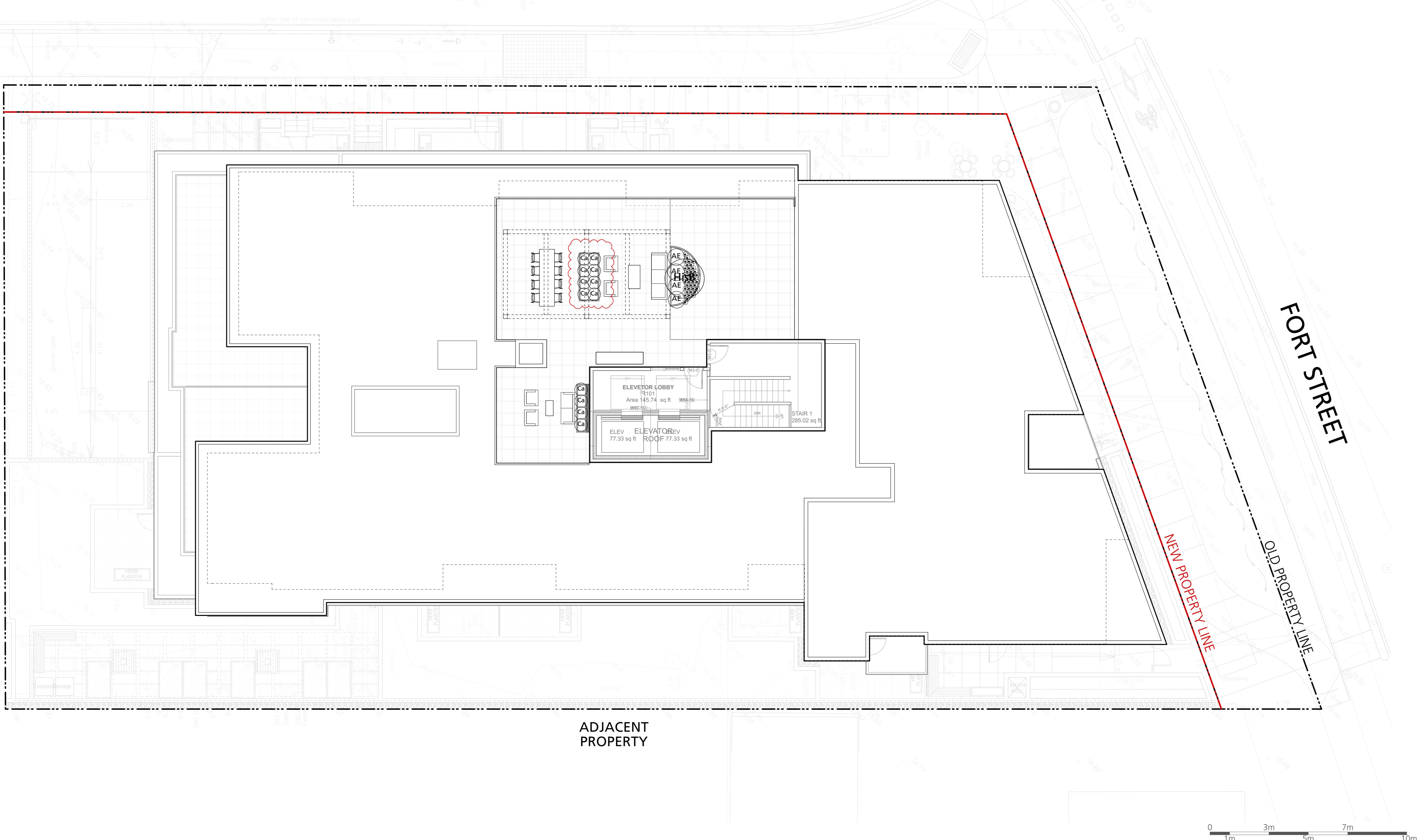
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12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

GENERAL NOTES:

- All on-site planting areas to be irrigated with a high efficiency drip irrigation system.
- Replacement trees must be planted:
 - At least 2 m away from a building foundation wall
 - At least 1 m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
 - In a location approved by the Director
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLAC/CSLA "Canadian Landscape Standard" and the CNLA "Canadian Nursery Stock Standard".
- Replacement trees must be planted during the suitable local planting season (spring and fall (September - November) and early February - April). Where planting must occur outside of the prescribed time periods, then a strategy for ensuring the trees are watered (in the summer) and appropriately cared for must be included as part of the tree permit application.
- Replacement trees must be:
 - For sites of development re-issued tree permits, a minimum of 6.0 m minimum planting distance for deciduous trees and a minimum of 2.0m height for coniferous trees,
 - Replacement trees may be of a comparable size approved by the Director if obtaining the above sizes is not possible.
- A soil test for the growing media, for each landscape application (City of Victoria website: www.victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Plant List All Levels			
Symbol	Qty. Botanical Name	Common Name	Scheduled Size
Trees			
CoV	6 <i>Cornus 'Venus'</i>	'Venus' Dogwood	6cm cal., WB
HiSB	2 <i>Hibiscus syriacus 'Bluebird'</i>	Blue Bird Rose of Sharon	6cm cal., standard
Mk	4 <i>Magnolia kobus</i>	Kobus Magnolia	6cm cal., WB
Maf	2 <i>Malus fusca</i>	Pacific Crabapple	6cm cal., WB
Os-1	3 Offsite Tree TBD #1	Species TBD	6cm cal., WB min.
Os-2	3 Offsite Tree TBD #2	Species TBD	6cm cal., WB min.
Picc	2 <i>Pinus contorta</i> var. <i>contorta</i>	Shore Pine	2m ht, B&B
Shrubs			
AE	9 <i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia	#2 pot
B	3 <i>Berberis thunbergii 'Concorde'</i>	Concorde Japanese Barberry	#2 pot
CL	6 <i>Chionanthus ternata</i>	Mexican Orange	#3 pot
Gs	92 <i>Gaultheria shallon</i>	Salal	#2 pot
HiSB-1	1 <i>Hibiscus syriacus 'Bluebird'</i>	Blue Bird Rose of Sharon	#2 pot
Mn	96 <i>Mahonia nervosa</i>	Longleaf Mahonia	#2 pot
Phl	1 <i>Philadelphus lewisi</i>	Wild Mock Orange	#5 pot
S	85 <i>Sarcococca hookeriana</i> var. <i>humilis</i>	Dwarf Sweet Box	#2 pot
Sa	24 <i>Symporicarpos albus</i>	Snowberry	#2 pot
TmH	192 <i>Taxus x media 'Hicksii'</i> (male form)	Hicksii Yew (male form)	4' ht
Vo	38 <i>Vaccinium ovatum</i>	Evergreen Huckleberry	#2 pot
Groundcovers, Vines, Ferns, Perennials and Grasses			
Ca	12 <i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#2 pot
Co	30 <i>Carex oshimensis 'Evergold'</i>	Sedge	#1 pot
O	39 <i>Ophiopogon planiscapus 'Nigrescens'</i>	Black Mondo Grass	#1 pot
Pm	39 <i>Polystichum munitum</i>	Western Sword Fern	#1 pot
			Groundcover native

DAVIE STREET



Replacement Tree List		Common Name	Scheduled Size	Replacement Ratio (Schedule E)	Min. Required Soil Volume
Symbol	Qty. Botanical Name				
Trees					
CoV	6	Cornus 'Venus'	'Venus' Dogwood	6cm cal., WB	Part 2, 2:1, small
Mk	4	Magnolia kobus	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium
Maf	2	Malus fusca	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium
Picc	2	Pinus contorta var. contorta	Shore Pine	2m ht, B&B	Part 1, 1:1, medium
					15.0 m³

REPLACEMENT TREE SOIL VOLUME TABLE

 Onsite minimum replacement tree required: 10
 Onsite proposed replacement tree : 10

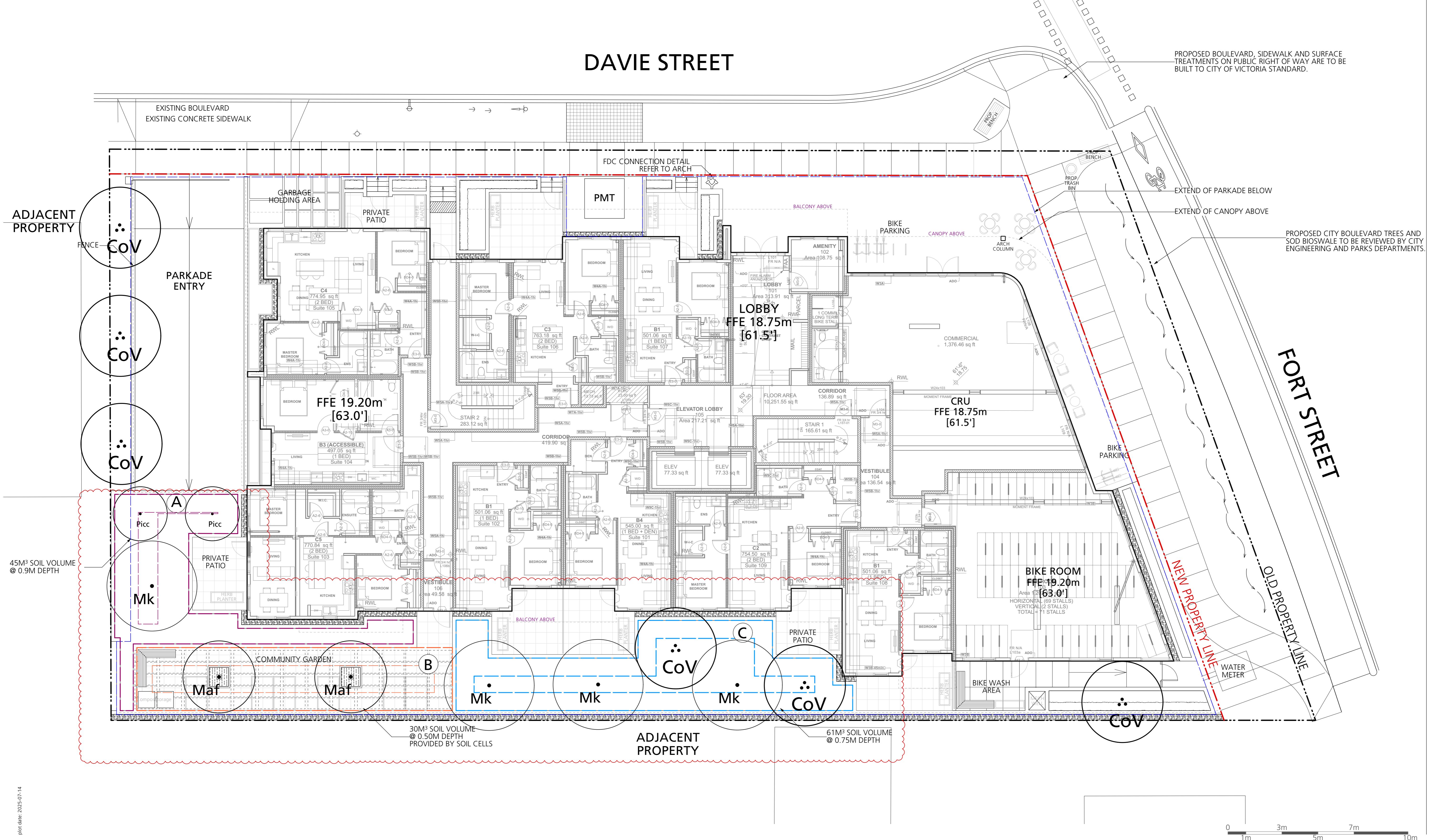
Planting Area ID	Area (m²)	Soil Volume Multiplier	Estimated Soil Volume	Proposed Replacement Tree			Required Soil Volume (m³)			
				#Small	#Medium	#Large	Small	Medium	Large	Total
A	56.7 m²	0.8	45 m³	0	3	0	0	45.0 m³	0	45 m³
B	61.2 m²	0.5	30 m³	0	2	0	0	30.0 m³	0	30.0 m³
C	81.8 m²	0.75	61.3 m³	2	3	0	12.0 m³	45.0 m³	0	57.0 m³

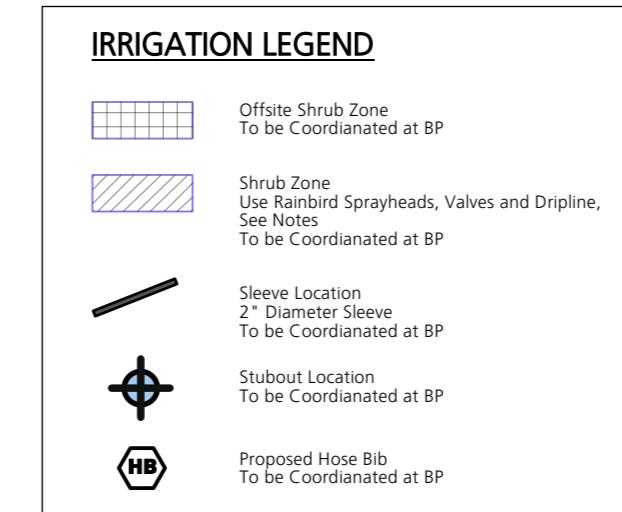
REPLACEMENT TREE PLANTING NOTES:

1. Replacement trees must be planted:
 a) At least 2.0m away from a building foundation wall,
 b) At least 1.0m away from any property line of a lot, above and below the property line, and a driveway or other paved surface, and
 c) In a location approved by the Director.
2. Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035, Schedule E, Part 4 Siting.
3. Replacement trees must meet the applicable plant condition and standards specified in Part 4 in the latest edition of the CLA/CSLA "Canadian Landscape Standard" and the CLA "Canadian Nursery Stock Standard".
4. Replacement trees must be planted during the suitable local planting seasons generally defined as fall (September - November) and spring (February - April). Where planting must occur outside these prescribed time periods, then a strategy for ensuring the trees are watered in the summer and appropriately cared for must be included as part of the tree permit application.
5. Replacement trees must be:
 a) For sites of development related tree permits, a minimum of 6.0 cm caliper or 30 cm height for coniferous trees and a minimum of 8.0 cm caliper or 40 cm height for deciduous trees.
 b) Replacement trees may be of a comparable size approved by the Director if obtaining the above sizes is not possible.
6. The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

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DAVIE STREET



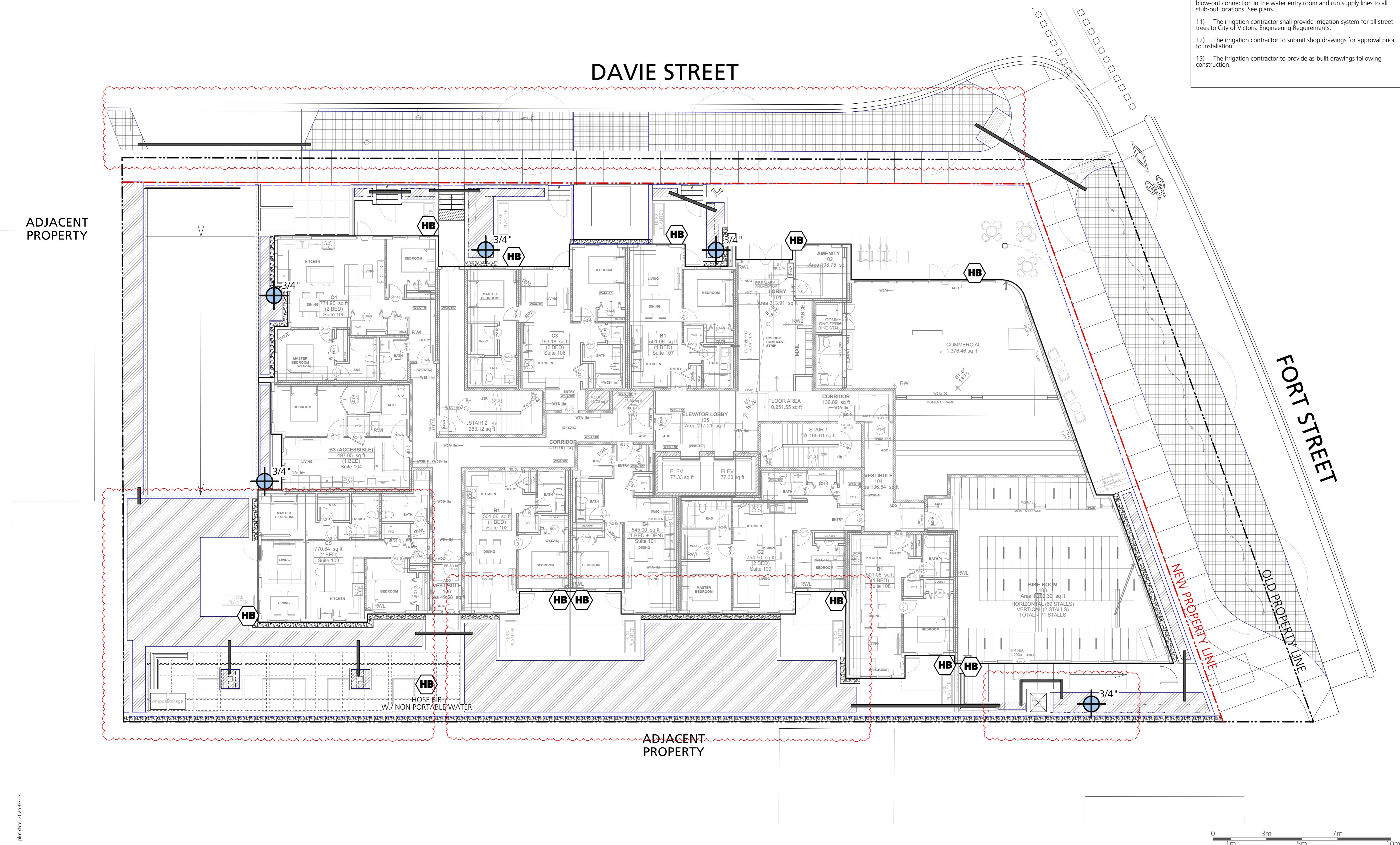


IRRIGATION NOTES:

- The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.
- The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
- The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
- The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
- Provide rain sensor on system. Location to be determined.
- Flow thru all piping not to exceed 5ft/sec.
- Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
- The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
- The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.
- The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
- The irrigation contractor shall provide irrigation system for all street trees to City of Victoria Engineering Requirements.
- The irrigation contractor to submit shop drawings for approval prior to installation.
- The irrigation contractor to provide as-built drawings following construction.

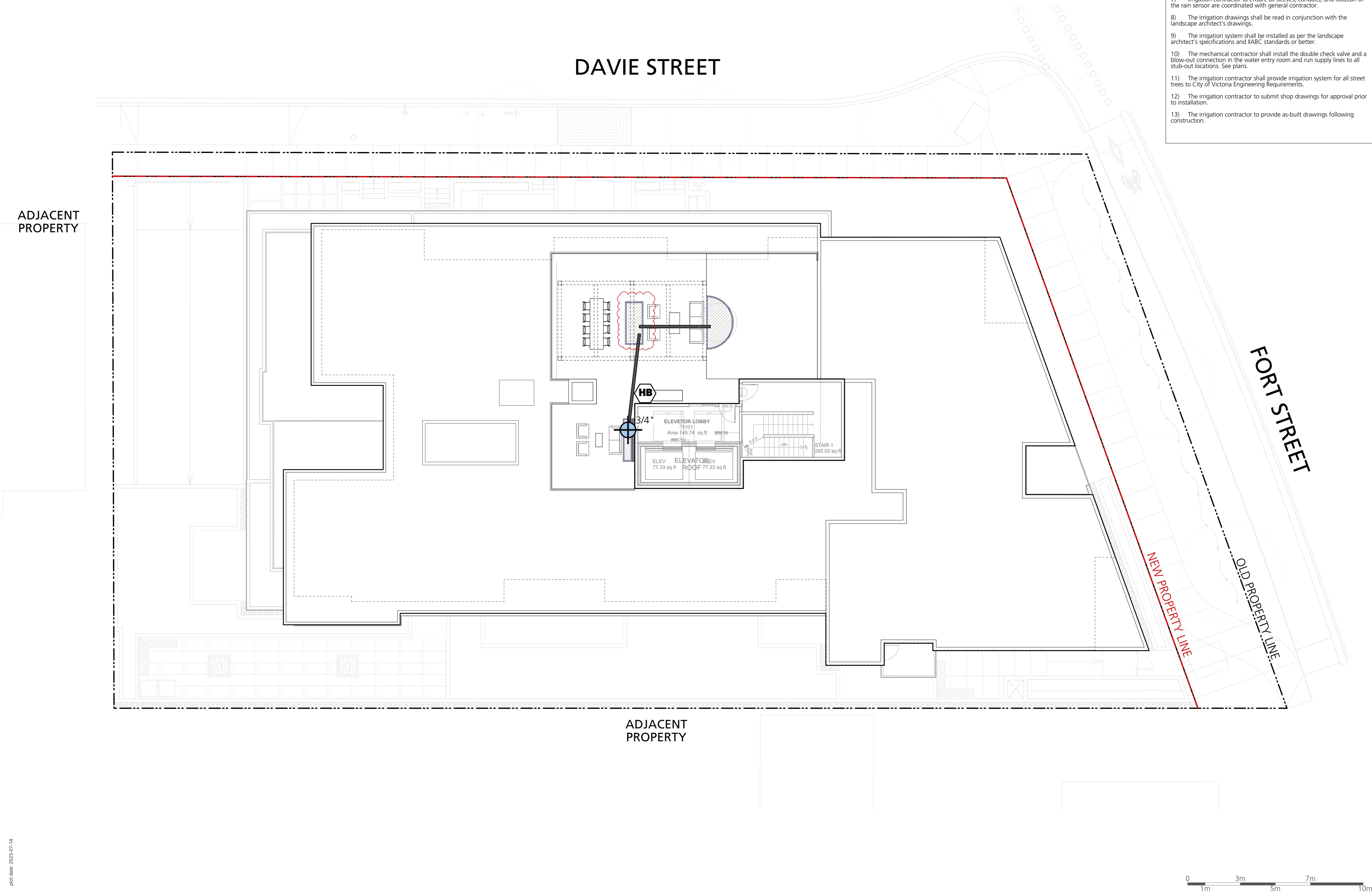
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10	Issued for 30% CD	2025/05/23
11	Issued for 60% CD	2025/06/13
12	Issued for 90% CD	2025/07/04
13	Re-issued for Rezoning / DP	2025/07/14

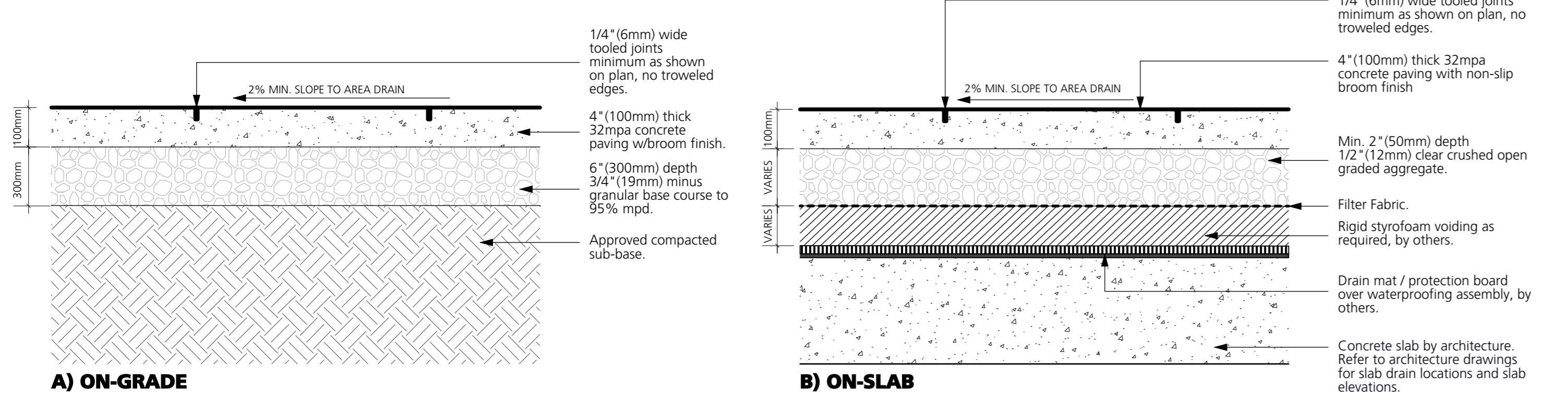
DAVIE STREET



IRRIGATION LEGEND		IRRIGATION NOTES:	
	Offsite Shrub Zone To be Coordinated at BP	1) The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.	
	Shrub Zone Use Rainbird Sprayheads, Valves and Dripline, Sleeve Conduits To be Coordinated at BP	2) The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.	
	Sleeve Location 2" Diameter Sleeve To be Coordinated at BP	3) The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.	
	Stubout Location To be Coordinated at BP	4) The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.	
	Proposed Hose Bib To be Coordinated at BP	5) Provide rain sensor on system. Location to be determined.	
		6) Flow thru all piping not to exceed 5ft/sec.	
		7) Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.	
		8) The irrigation drawings shall be read in conjunction with the landscape architect's drawings.	
		9) The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.	
		10) The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.	
		11) The irrigation contractor shall provide irrigation system for all street trees to City of Victoria Engineering Requirements.	
		12) The irrigation contractor to submit shop drawings for approval prior to installation.	
		13) The irrigation contractor to provide as-built drawings following construction.	

DAVIE STREET





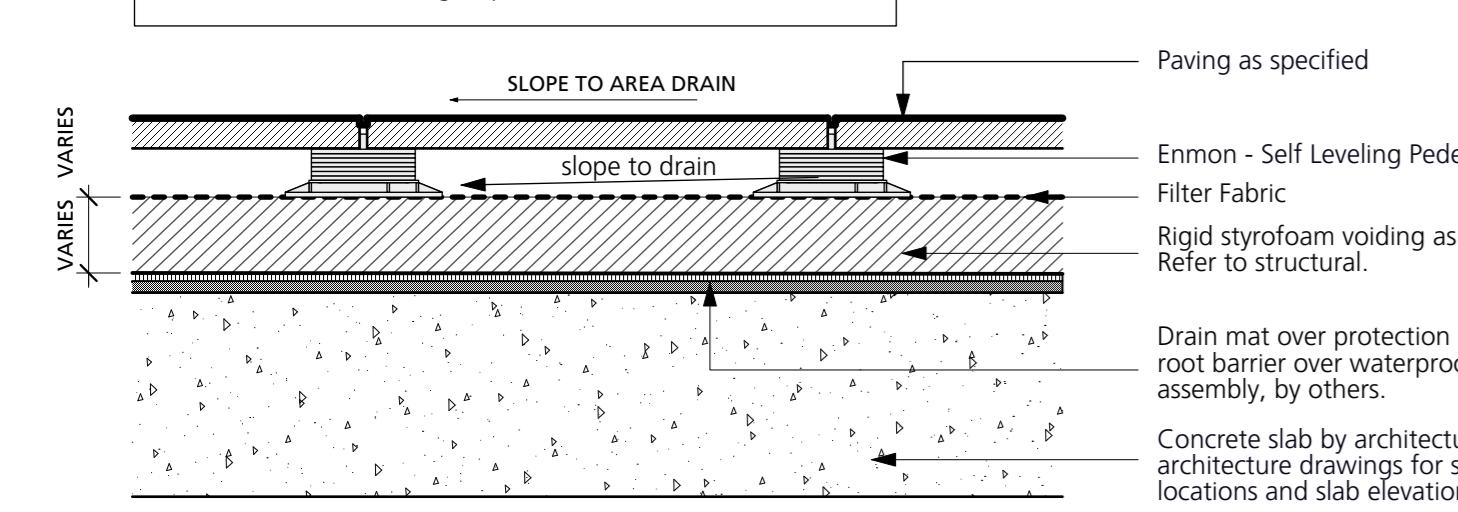
A) ON-GRADE

CIP Concrete Paving

1

Manhattan VibroPressed Slabs:
(or Pre-approved Equivalent)
Dimension: 600 X 600 X 52 mm (24" X 24" X 2")
Color: Natural, standard finish, or pre-approved equivalent
Pattern: Stack Bond
Location: Level 1 and Level 5 Private Patios

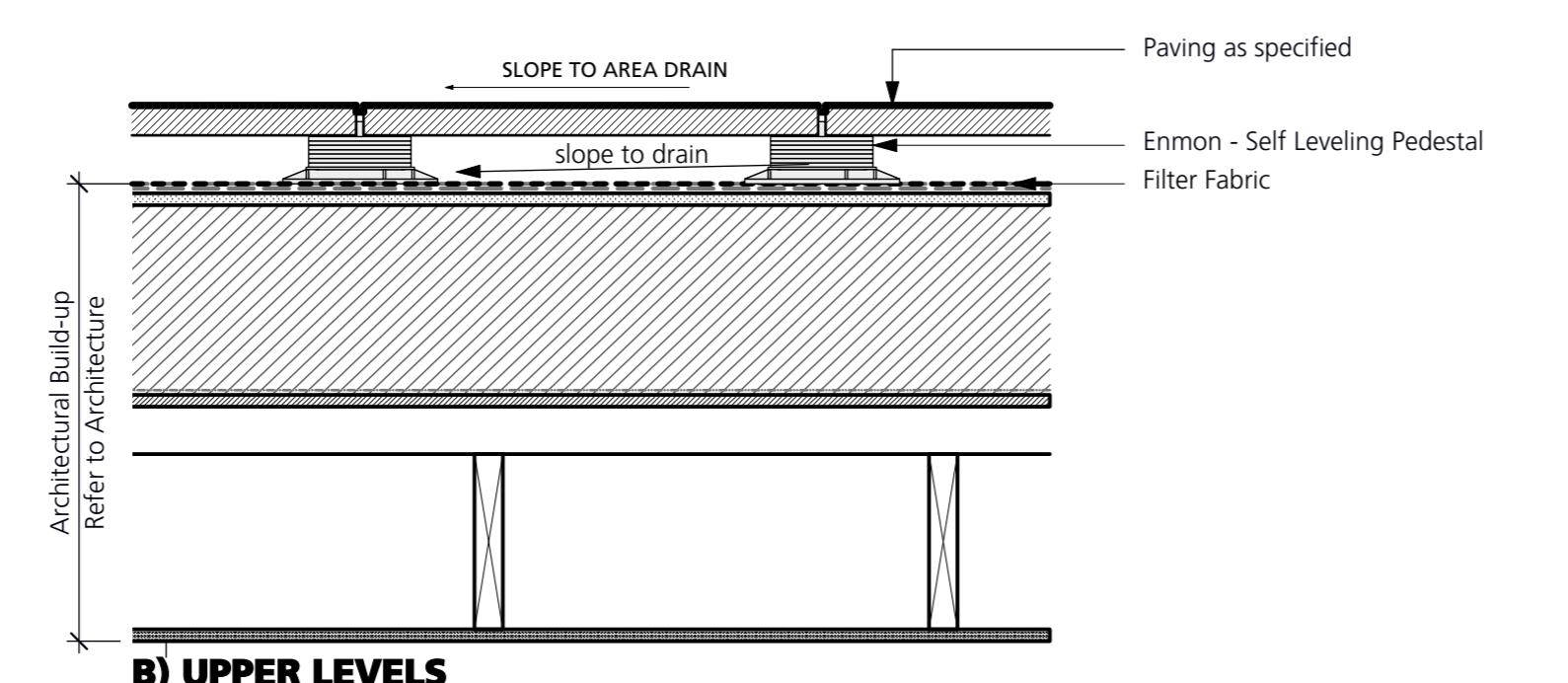
Color: Sierra Beige, standard finish, or pre-approved equivalent
Pattern: Stack Bond
Location: Level 5 Outdoor Amenity
Available at NewStone Group or Pre-approved Equivalent
Website: www.newstonegroup.ca



A) LEVEL 1

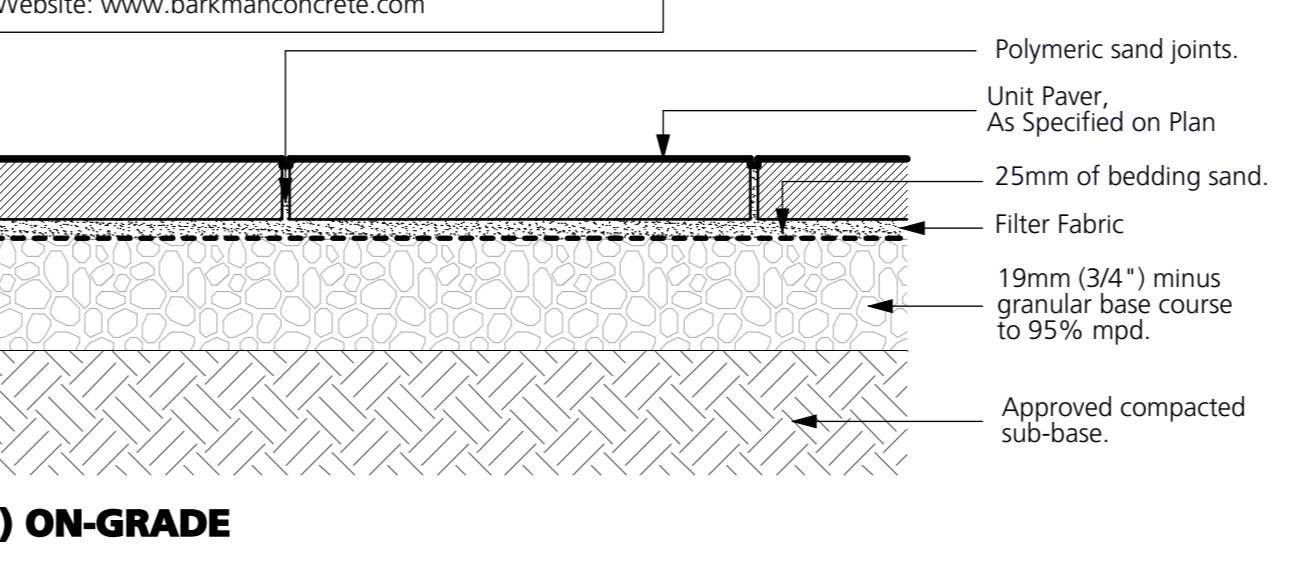
Hydropressed Slab

3



B) UPPER LEVELS

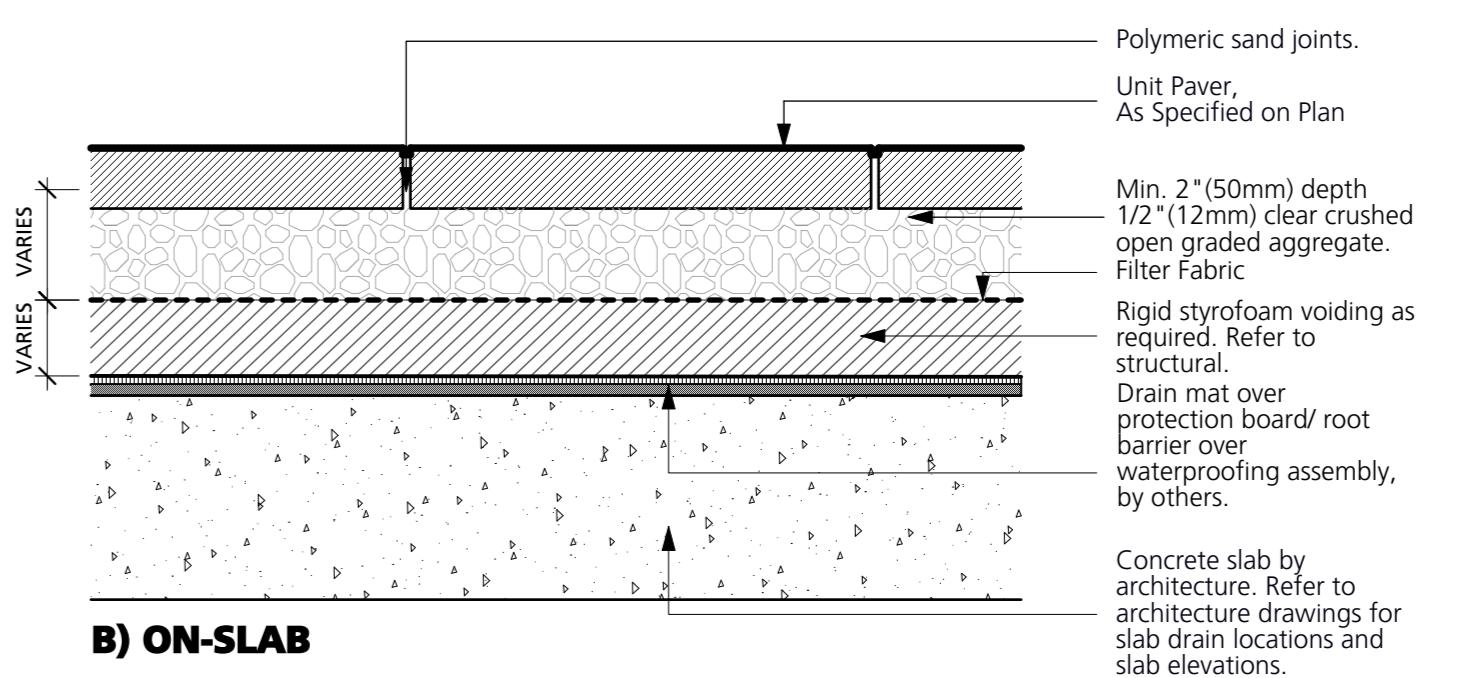
Barkman Broadway Planks 100mm Paver:
(or Pre-approved Equivalent)
600 X 150 X 100 mm (23.62" X 5.91" X 3.94")
Color: Charcoal and Natural, standard finish
Pattern: Herring Bond
Location: main entrance and corner CRU
Available at Barkman Concrete or Pre-approved Equivalent
Website: www.barkmanconcrete.com



A) ON-GRADE

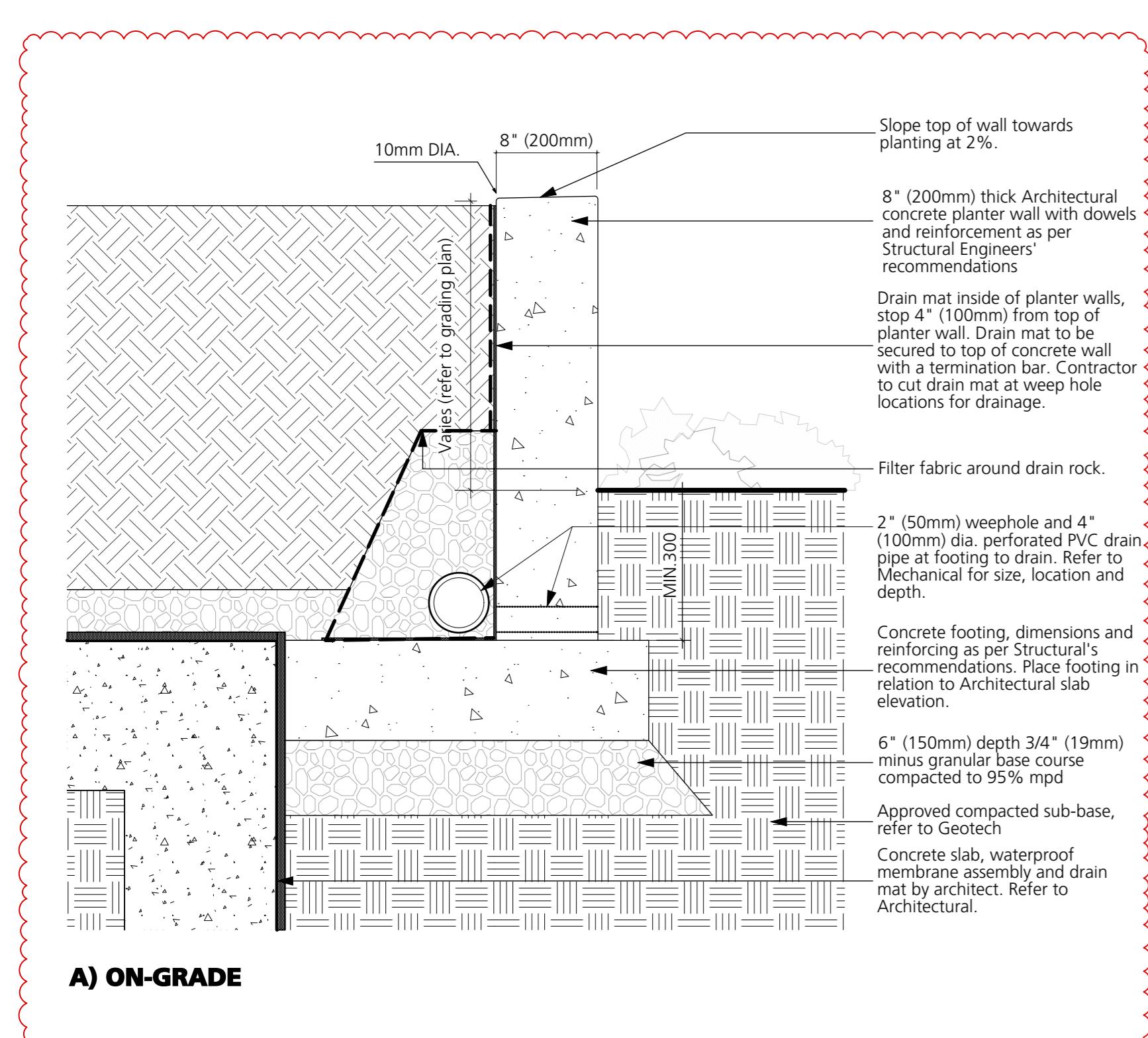
Unit Paving

2



B) ON-SLAB

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/14
2	Issued for Development Permit	2023/07/10
3	Re-issued for Development Permit	2023/12/22
4	Re-issued for Development Permit	2024/02/16
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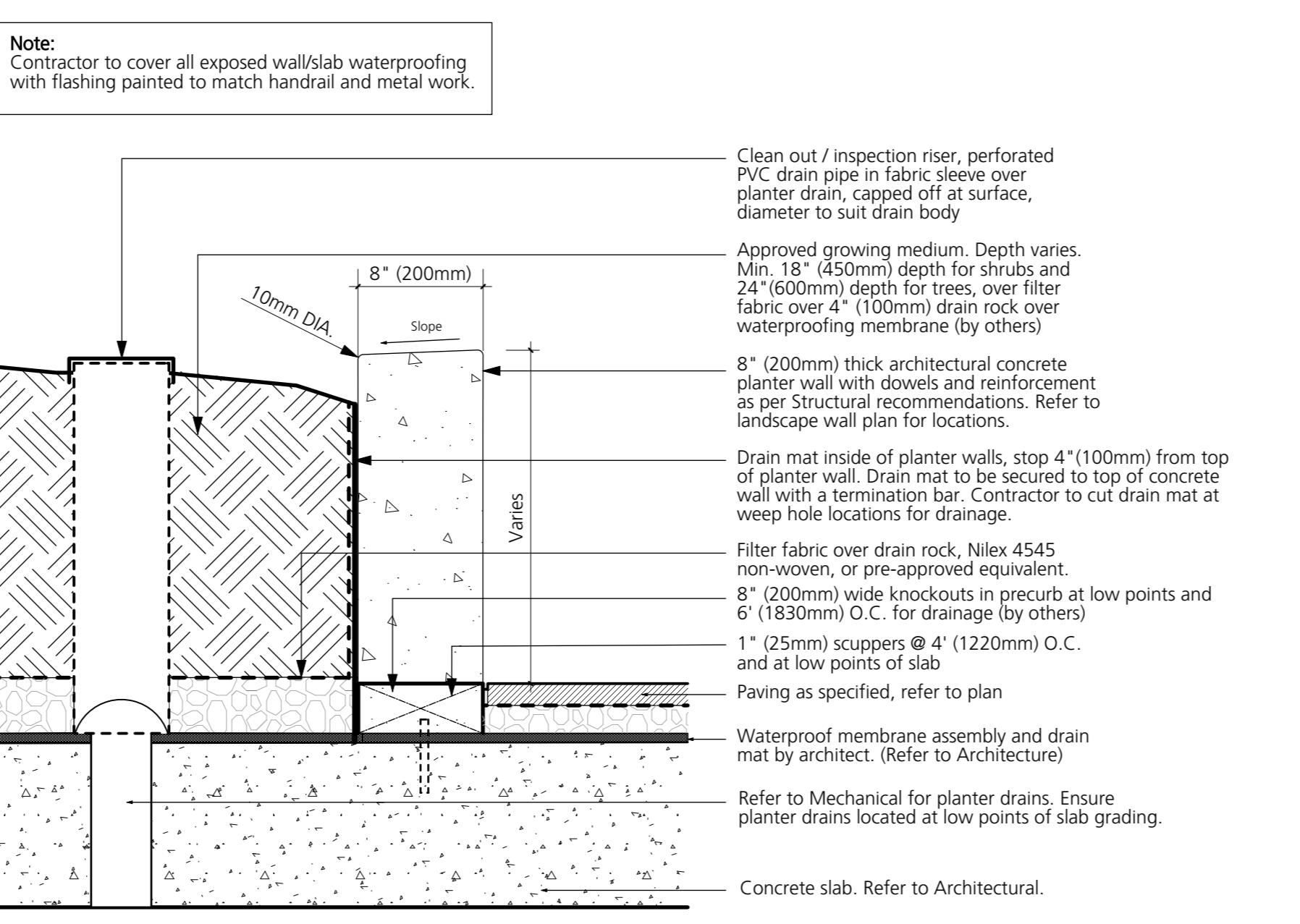


A) ON-GRADE

CIP Concrete Planter Wall

5

1:10



B) ON-SLAB

plot date: 2025-07-14

1:10

Note:
Contractor to cover all exposed wall/slab waterproofing with flashing painted to match handrail and metal work.

Clean out / inspection riser, perforated PVC drain pipe in fabric sleeve over planter drain, capped off at surface, diameter to suit drain body

Approved growing medium. Depth varies. Min. 18" (450mm) depth for shrubs and 24" (600mm) depth for trees, over filter fabric over 4" (100mm) drain rock over waterproofing membrane (by others)

8" (200mm) thick architectural concrete planter wall with dowels and reinforcement as per Structural recommendations. Refer to landscape wall plan for locations

Drain mat inside of planter walls, stop 4" (100mm) from top of planter wall. Drain mat to be secured to top of concrete wall with a termination bar. Contractor to cut drain mat at weep hole locations for drainage

Filter fabric over drain rock, Nlex 4545 non-woven, or pre-approved equivalent

8" (200mm) wide knockouts in pre-curb at low points and 6" (1830mm) O.C. for drainage (by others)

1" (25mm) scuppers @ 4' (1220mm) O.C. and at low points of slab

Paving as specified, refer to plan

Waterproof membrane assembly and drain mat by architect. (Refer to Architecture)

Refer to Mechanical for planter drains. Ensure planter drains located at low points of slab grading

Concrete slab. Refer to Architectural

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Client:

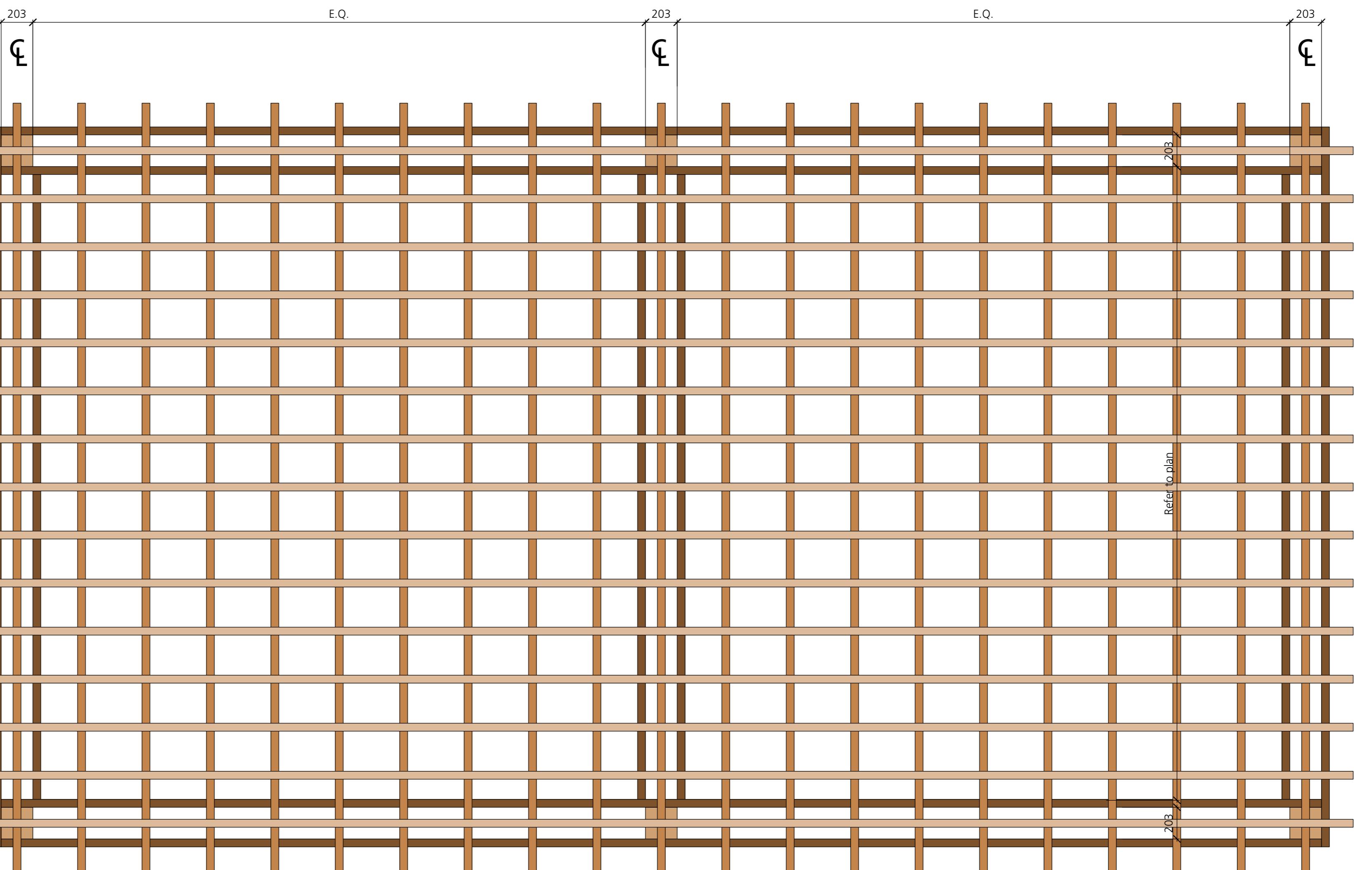
Project Title: FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title: Landscape Details

Project North: Drawn By: MH
Checked By: MP

Scale: Job No.: As Shown 22-082
Sheet No.:

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/14
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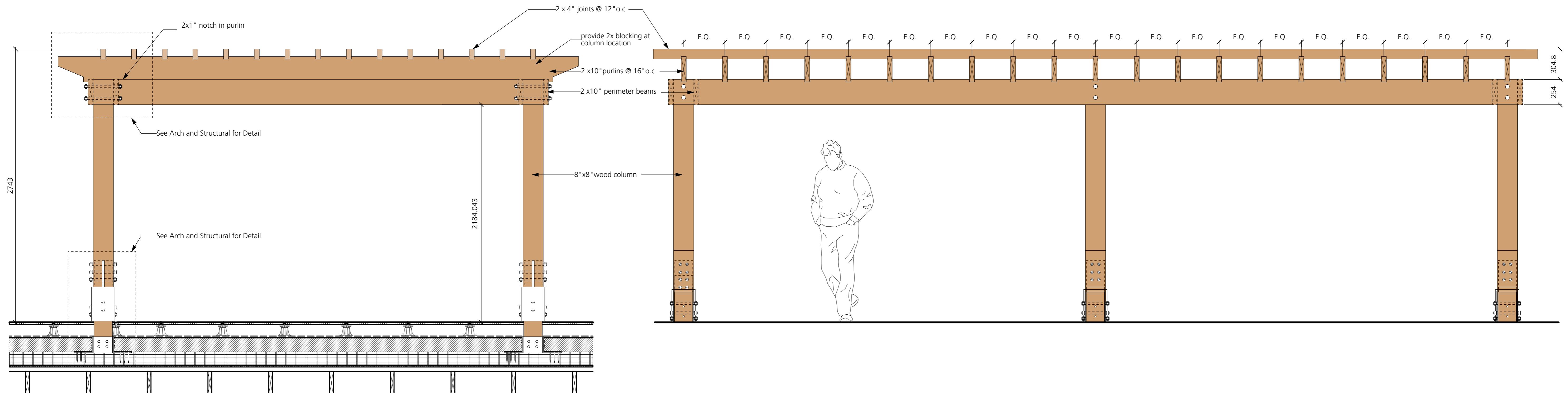
Custom Wood Trellis

Material:
Western red cedar or approved alternative

Finish:
Clear Coat with Stained Finish, Colour TBD. Refer to Arch
All Steel to be hot dipped galvanized unless note otherwise, refer to structural.

Installation:
Surface mount as per details below, refer to structural's specifications and recommendations.

Notes:
1.) Colour to match Architectural.
2.) Provide paint ready wood finish.
3.) All measurements to be verified with as-built conditions prior to fabrication.
4.) Refer to Structural drawings for all wood member size.
5.) Refer to Envelope, Architectural and Structural for connection details.
6.) Contractor to provide **engineered shop drawings** for all components, finishes, connections, hardware, and footings and submit for approvals prior to fabrication.
7.) Contractor to verify all dimensions before fabrication.



14 Indicative Trellis
1:20

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Client:



Project Title:
FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

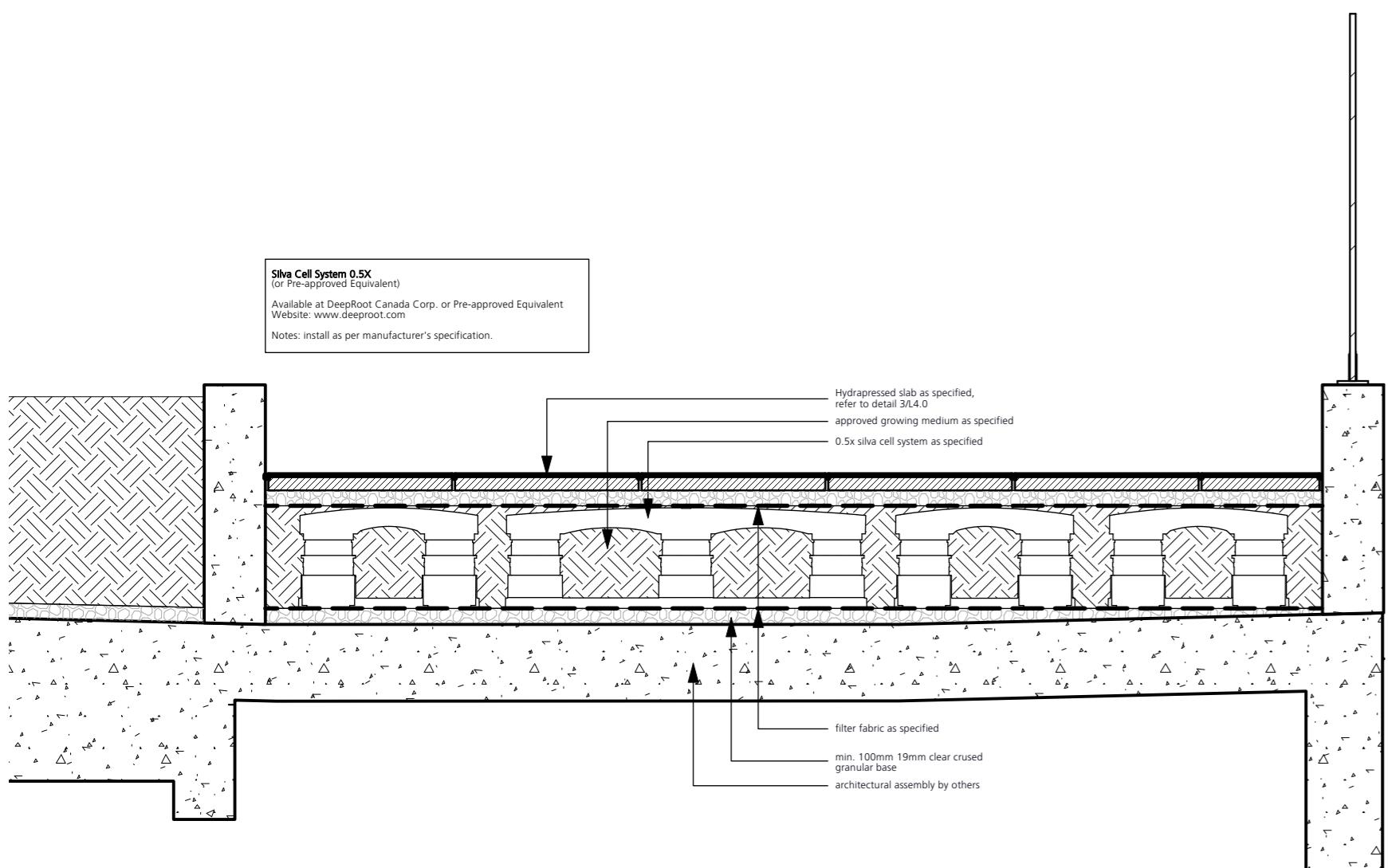
Drawing Title:

Landscape Details

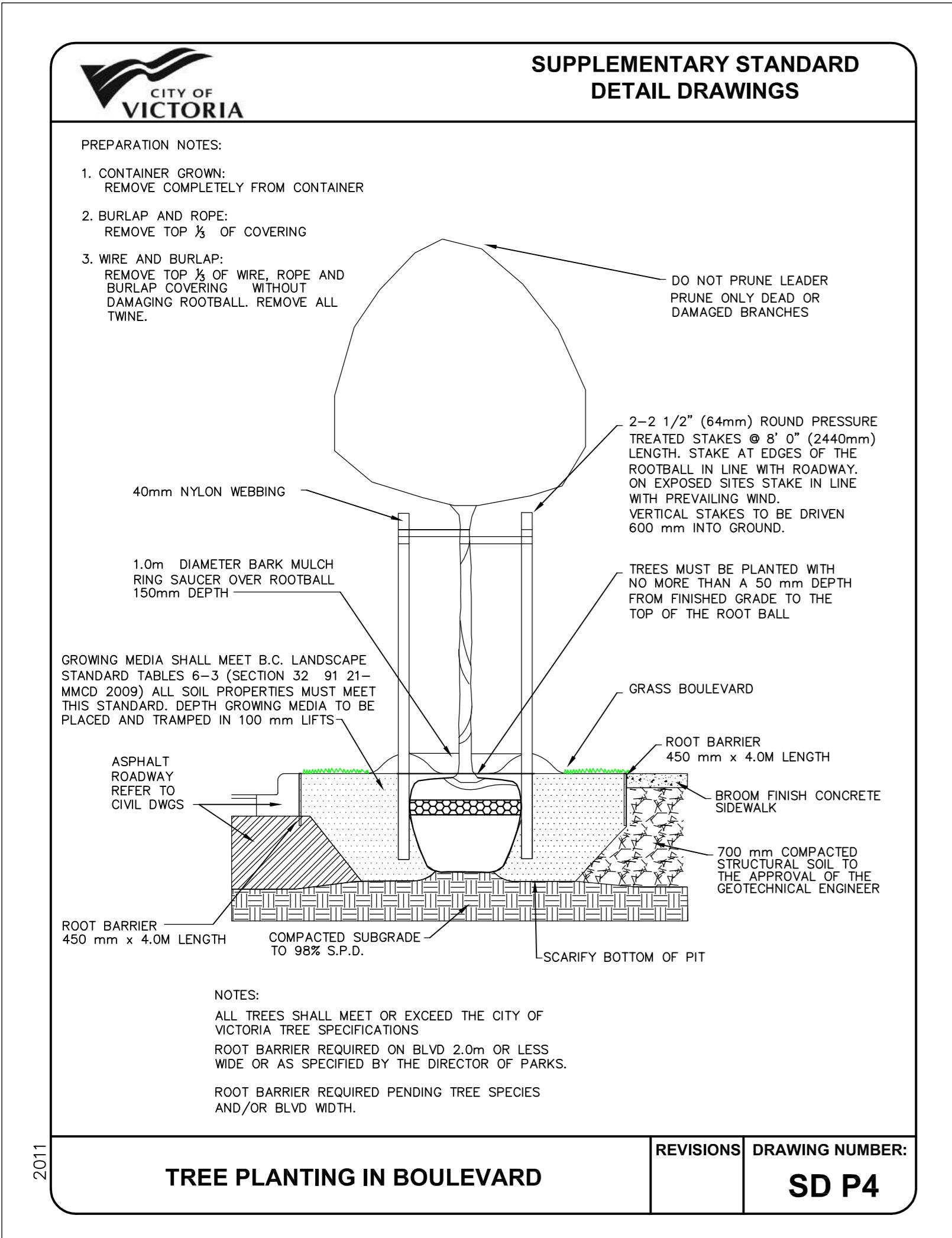
Project North: Drawn By:
MH
Checked By:
MP

Scale: Job No.:
As Shown 22-082
Sheet No.:

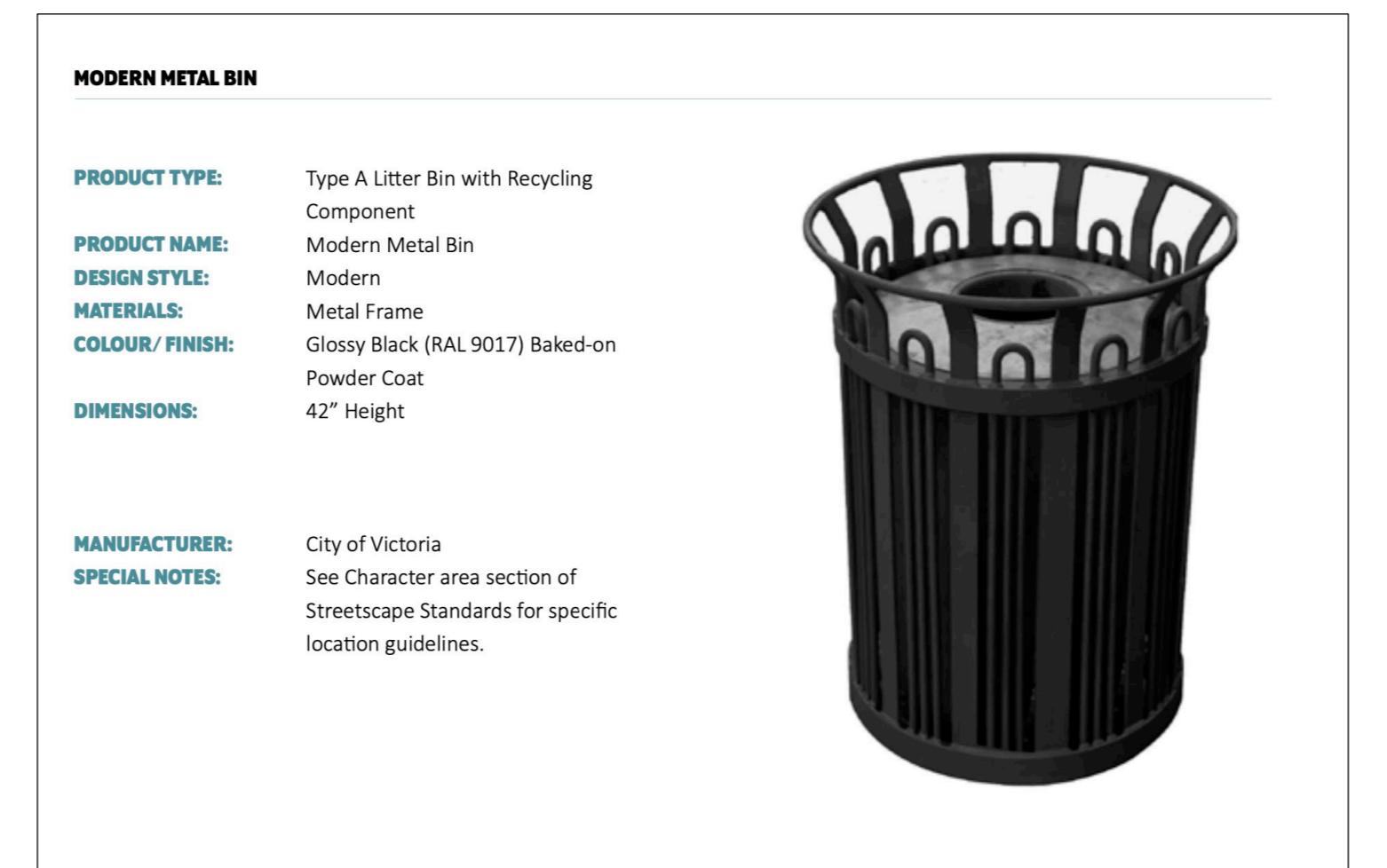
Description	Date
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15 Soil Cell
1:20

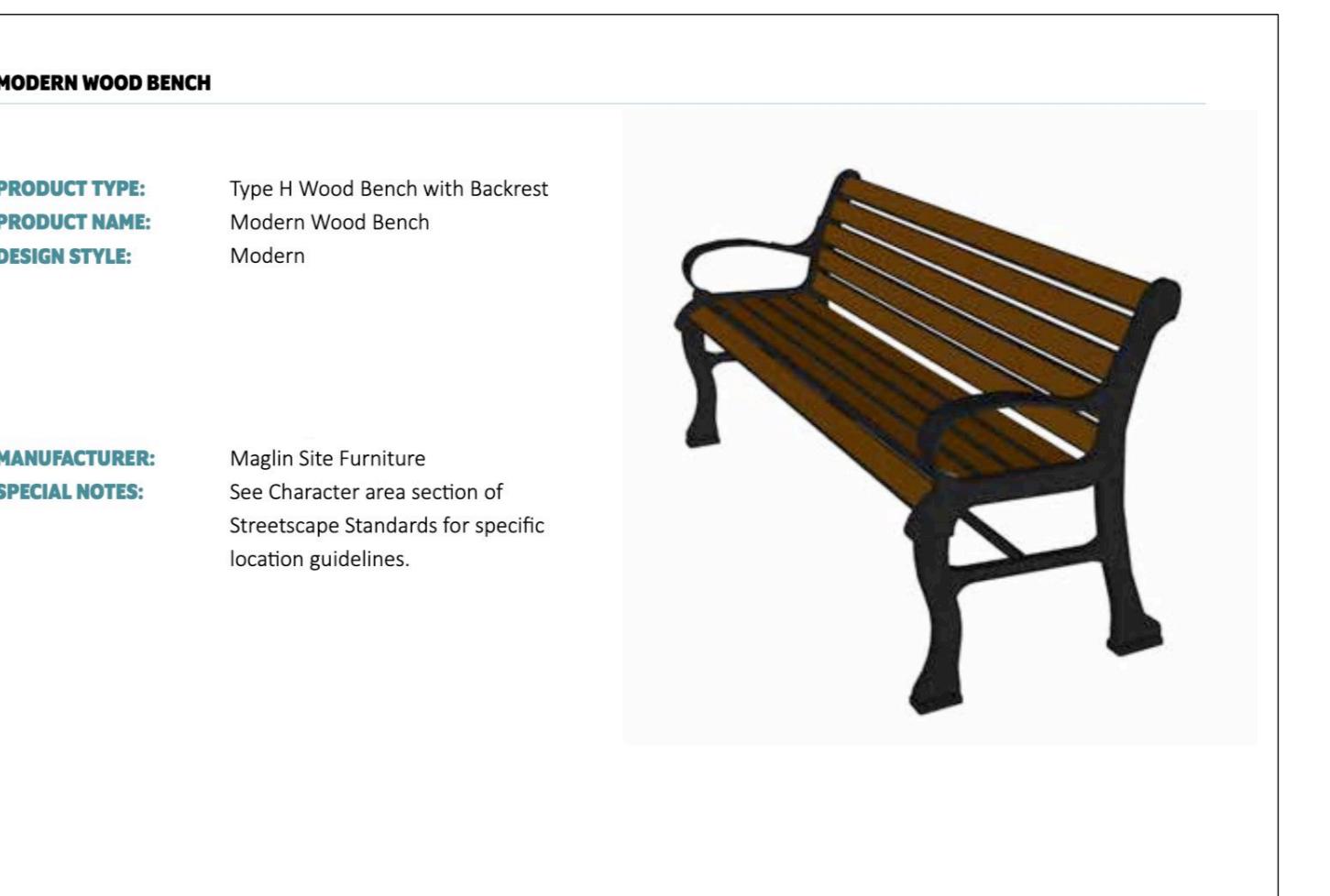


18 Tree Planting at Boulevard (as per City of Victoria Standards) NTS



City of Victoria Modern Metal Bin
Finish: Powder coat glossy black (RAL 9017)
Quantity: 1
Dimension: 42" ht

Manufacturer: City of Victoria
Installation: Mount as per manufacturer's specifications

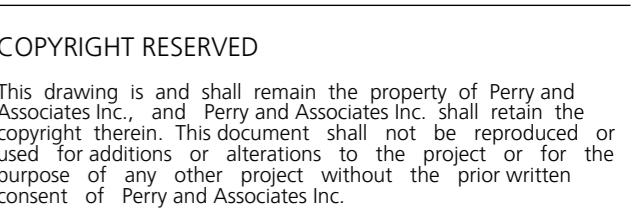


City of Victoria Modern Wood Bench
Model: MBE-0300-00182
Finish: Steel Frame and Thermally Modified Ash Wood Slats
Color: Gun metal
Quantity: 2
Dimension: 70" (L) x 24" (W) x 31" (H)

Manufacturer: Maglin Site Furniture
Installation: Mount as per manufacturer's specifications



19 Grasscrete at Boulevard
NTS



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Client:

Project Title:

FORT & DAVIE APARTMENTS

1905-1907 Fort Street & 1923-1929 Davie Street

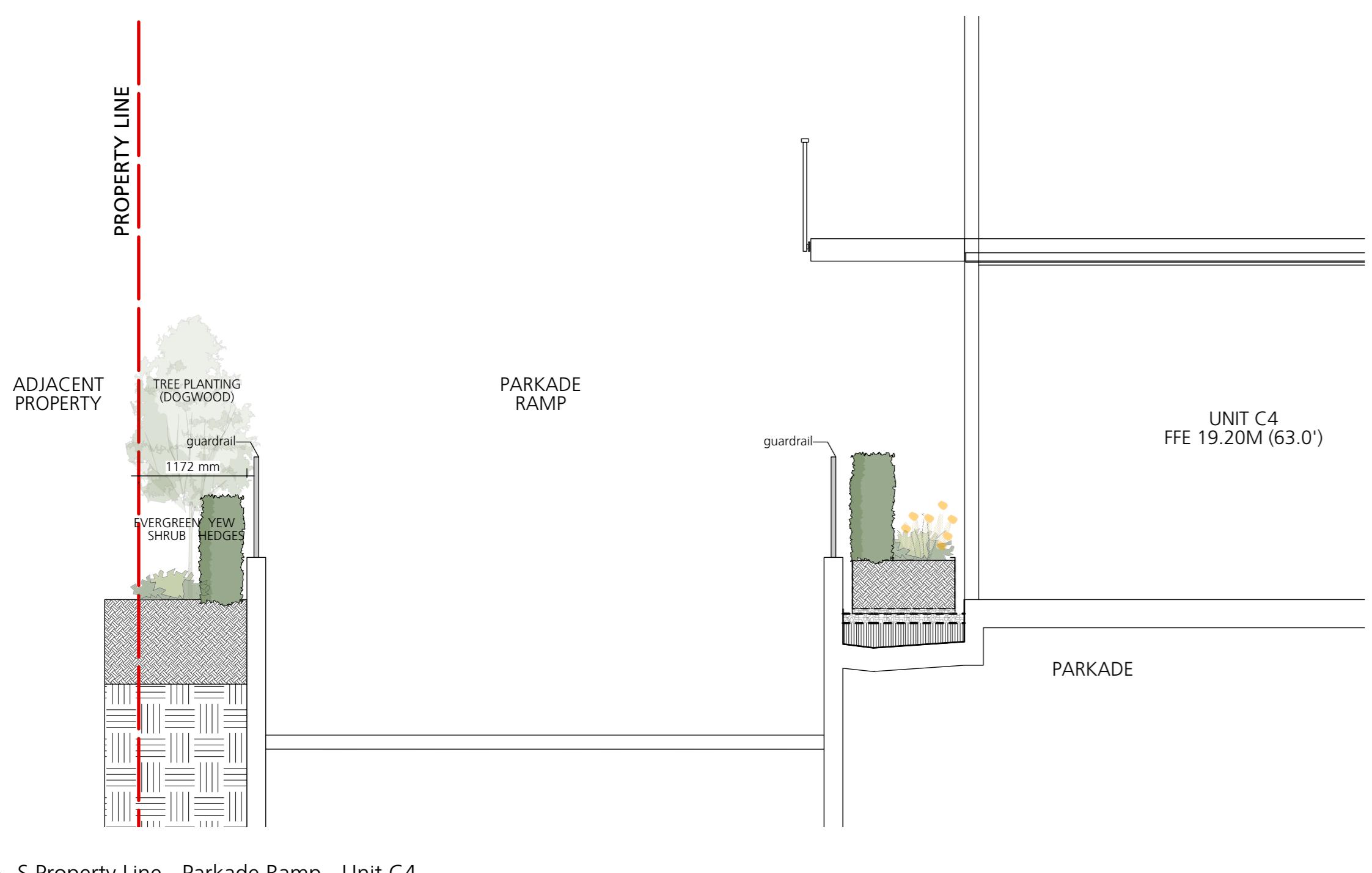
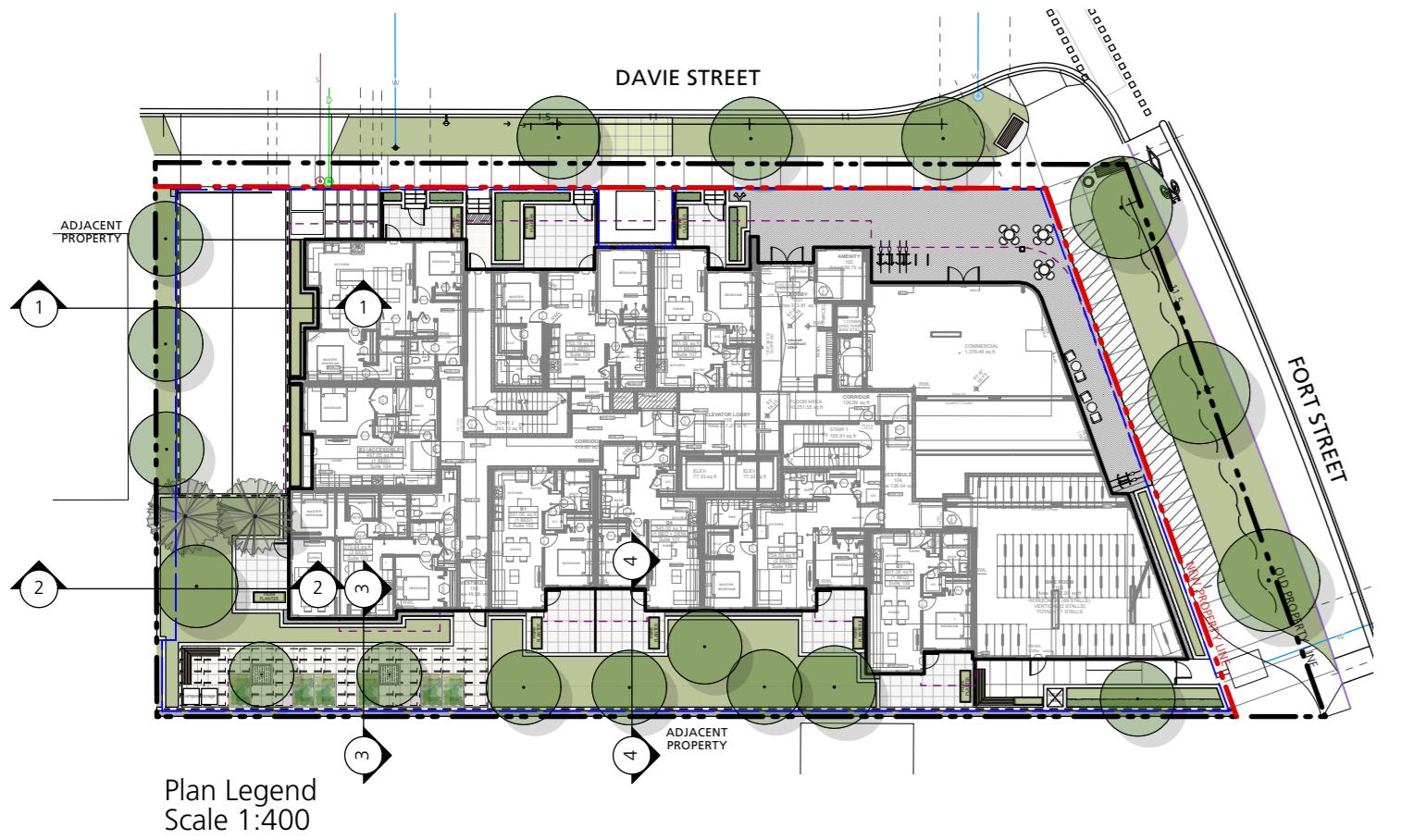
Landscape Details

Project North: Drawn By: **MH**

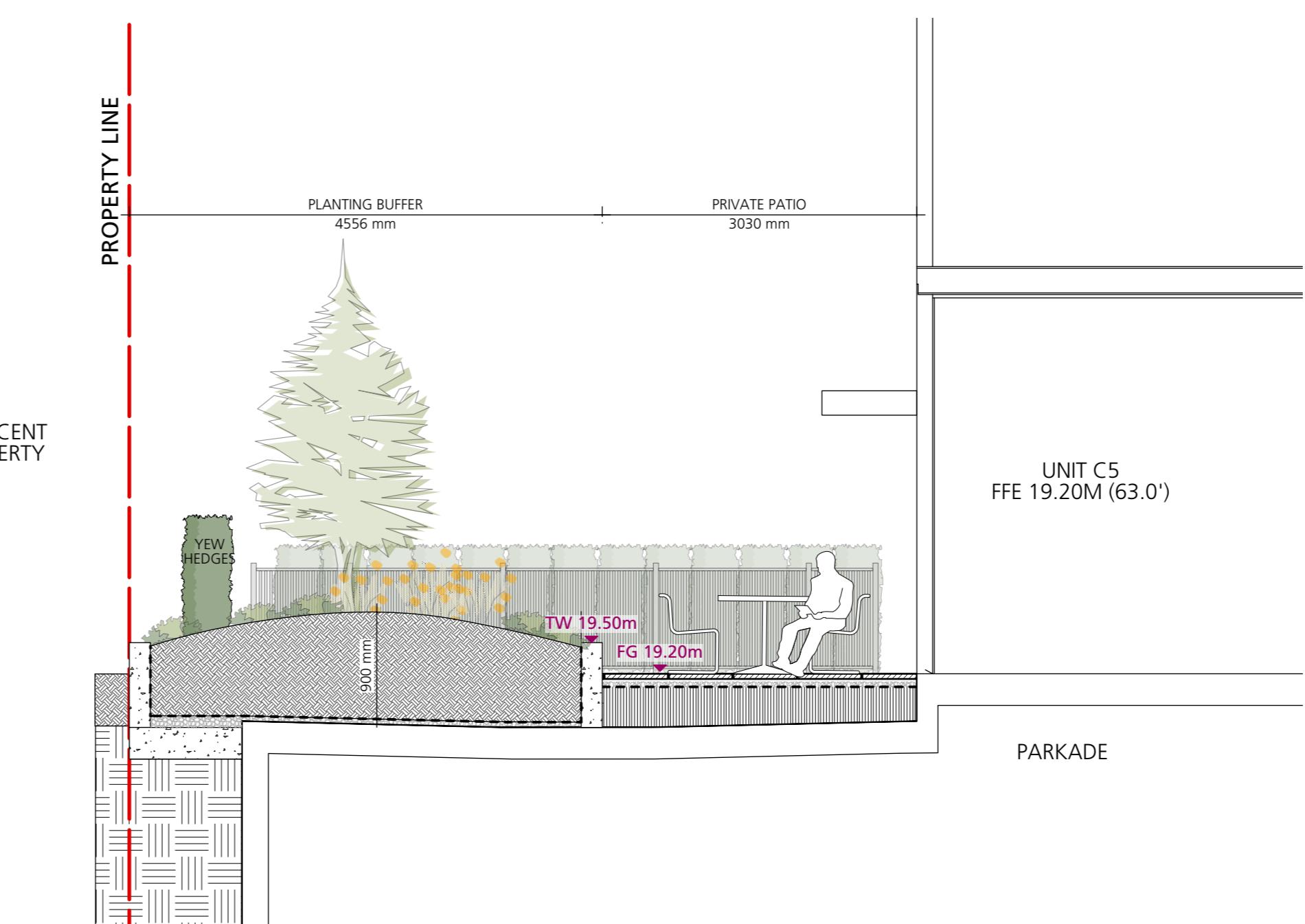
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Scale: Job No.: **22-082**

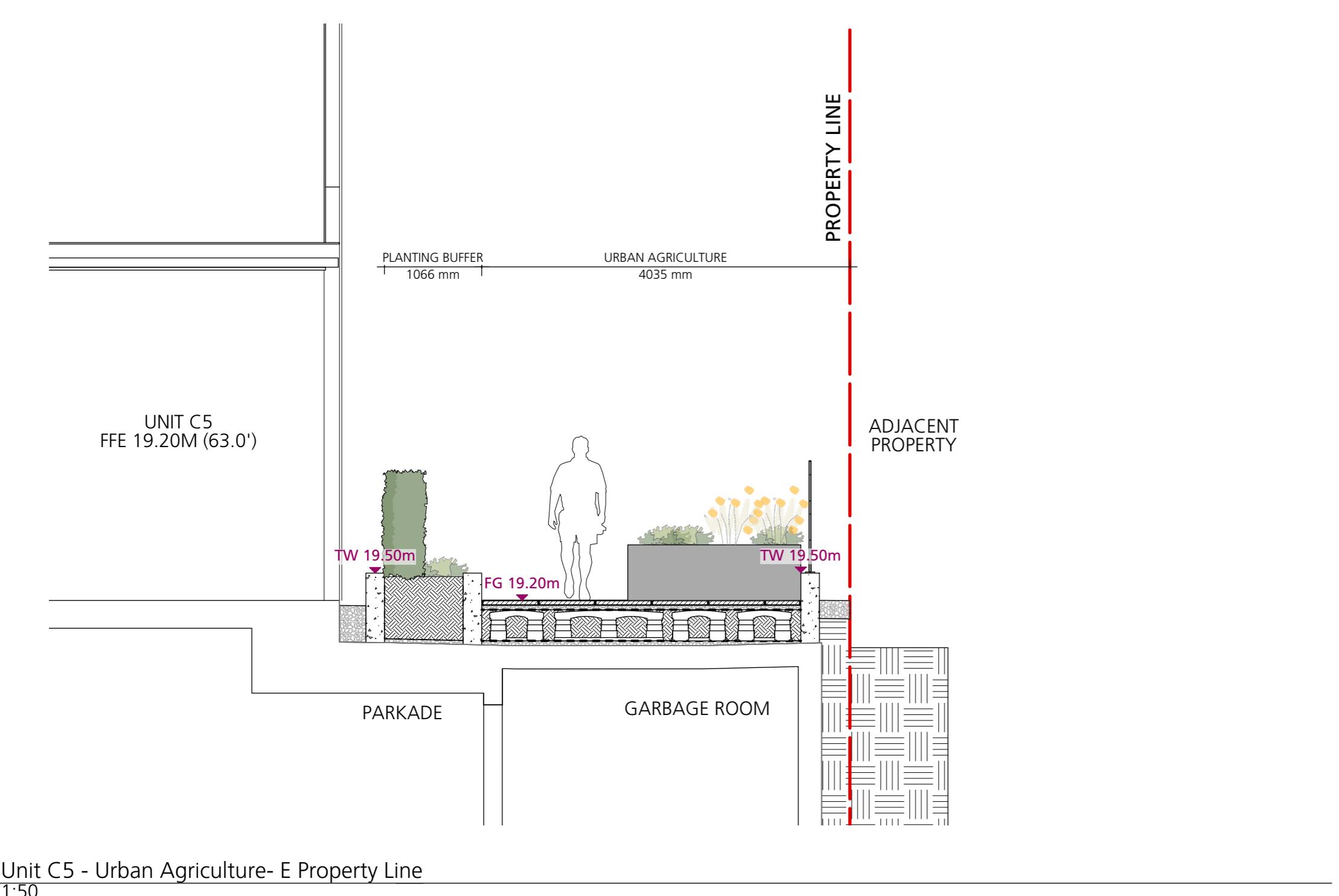
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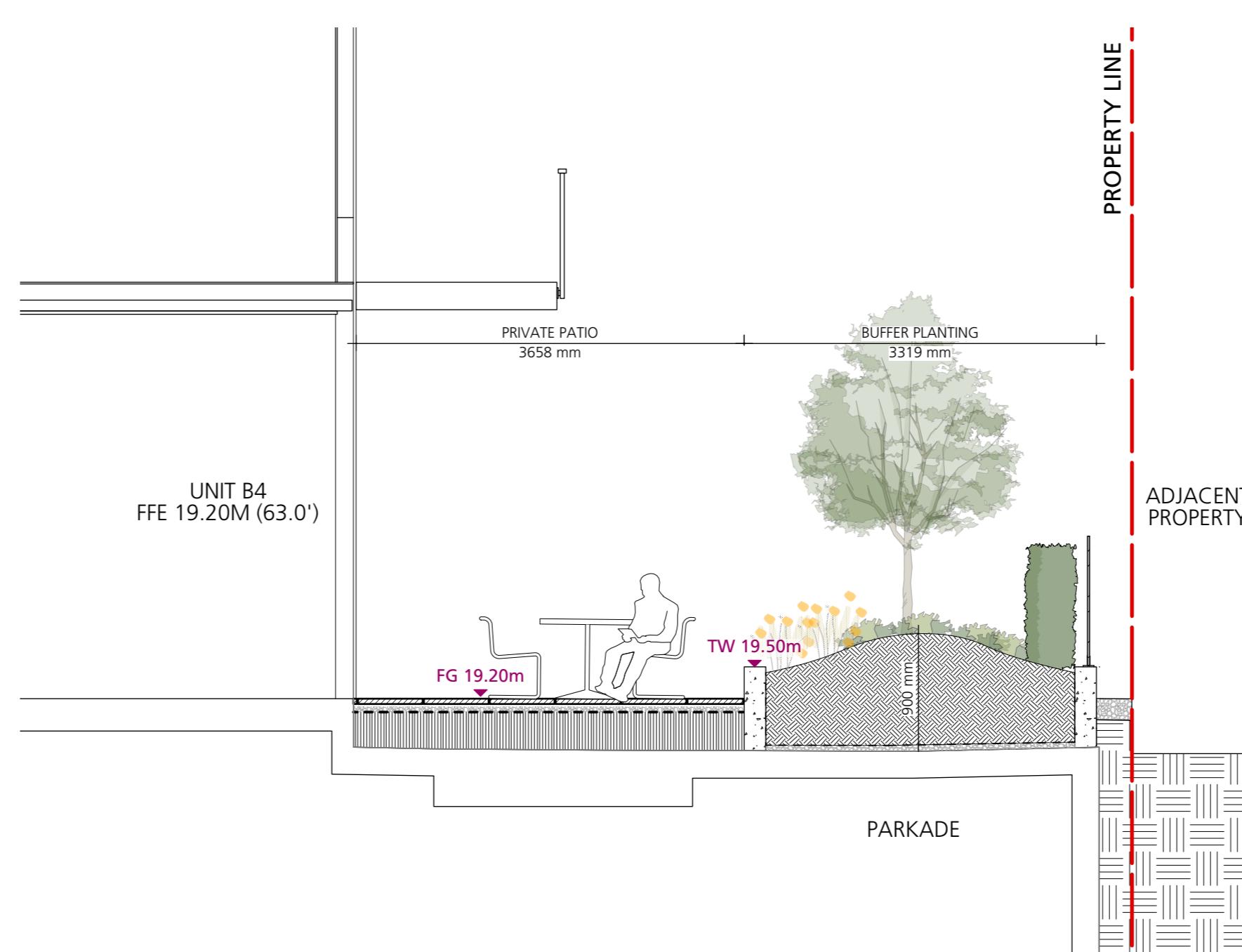
1 S Property Line - Parkade Ramp - Unit C4
1:50



2 S Property Line - Buffer Planting - Unit C5
1:50



3 Unit C5 - Urban Agriculture- E Property Line
1:50



4 Unit B4 - Private Patio- E Property Line
1:50

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Client:



Project Title:
FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:
Landscape Sections

Project North: Drawn By:
MH
Checked By:
MP

Scale: Job No.:
As Shown
22-082
Sheet No.:

L5.0

PLAN CHECKER		AUTHORIZED REPRESENTATIVE		DATE
UTILITY	HYDRO ELECTRICAL COMPANY	NAME	NAME	
	TELEPHONE COMPANY			
	GAS COMPANY			
MUNICIPAL	CABLE COMPANY			
	UNDERGROUND SERVICES			
	TRAFFIC			
	HIGHWAYS			

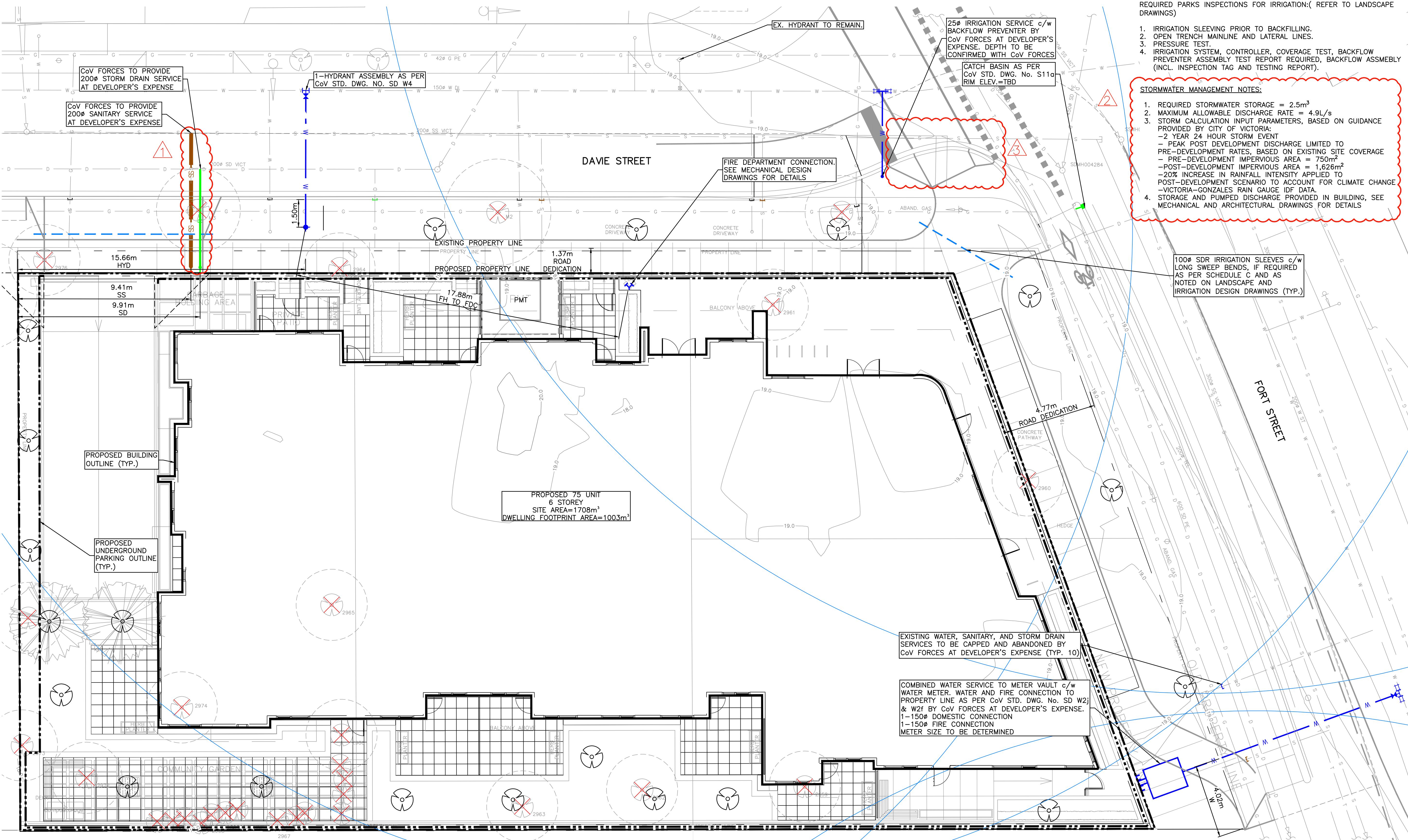
INFORMATION IS AT PROPERTY LINE		STORM DRAIN	SANITARY SEWER	
EXISTING DEPTH (m)				
PROPOSED DEPTH (m)				
PROPOSED INVERT ELEVATION (m)				
MAXIMUM DEPTH REQUESTED	<input type="checkbox"/> YES	NO	<input type="checkbox"/> YES	NO

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
— W —	—	WATERMAIN
— S —	—	SANITARY MAIN
— D —	—	STORM MAIN
○	●	FIRE HYDRANT
	○	HYDRANT COVERAGE (45m RADIUS)

NOTES:

1. FOR GENERAL NOTES SEE SHEET C100.
2. ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
3. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, WITHIN THE VICTORIA SUBDIVISION AND DEVELOPING SERVICING BYLAW 12-042, SCHEDULE C, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
4. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
5. CONTACT PARKS AT 250-361-0600 WITH AT LEAST 48 HOURS NOTICE TO ARRANGE FOR IRRIGATION INSPECTIONS.
6. FOR SHALLOW UTILITIES DESIGN, SEE SHEET C400 AND INDIVIDUAL UTILITY DESIGN DRAWINGS (TO FOLLOW). DESIGN TO BE DETERMINED BY THIRD PARTY UTILITIES AT A LATER DATE.
7. CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY CoV FORCES.
8. ELEVATIONS ARE GEODETIC (CGVD28) BASED ON CONTROL MONUMENT

ISSUES		
no.	DATE yyyy.mm.dd	ISSUED FOR
1	2023.12.21	DEVELOPMENT PERMIT
2	2024.05.02	DP REVIEW
3	2024.11.07	DP RESUBMISSION
4	2024.01.28	DP RESUBMISSION 2
5	2025.05.09	DP RESUBMISSION 3
6	2025.05.23	30% REVIEW
7	2025.06.13	60% REVIEW
8	2025.07.11	90% REVIEW
0	2025.07.11	DP RESUBMISSION 4



FORT AND DAVIE RESIDENCES CIVIL WORKS

THREE SHORES MANAGEMENT VICTORIA, BC

HEROLD ENGINEERING

600-1112 Fort St, Victoria, BC V8V 3K8
250-590-4875 Fax: 250-590-4392

l: mail@heroldengineering.com
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CONCEPT PLAN

ENGINER'S SEAL

ENGINEER'S SEAL
HEL PERMIT NO: 1000201

A circular stamp with the text "PROVINCE OF ALBERTA" around the top edge. In the center, it says "T. D. LUTIC" and "# 4700". At the bottom, it has the date "10-10-1971".

The logo is circular with a decorative border. The outer ring contains the text "BRITISH COLUMBIA" at the top and "ENGINEER" at the bottom. The inner circle contains the text "CIVIL" at the top and "CIVIL" at the bottom, with a small "C" in the center.

Z	2025-07-11
ECT No.	CLIENT DRAWING No.
50-003	

50-003

E S NOTED	PERMIT No.
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S NOTED	DRAWING No.	REVISION
	200	0

DRAWINGS SHOWING PREVIOUS REVISION

