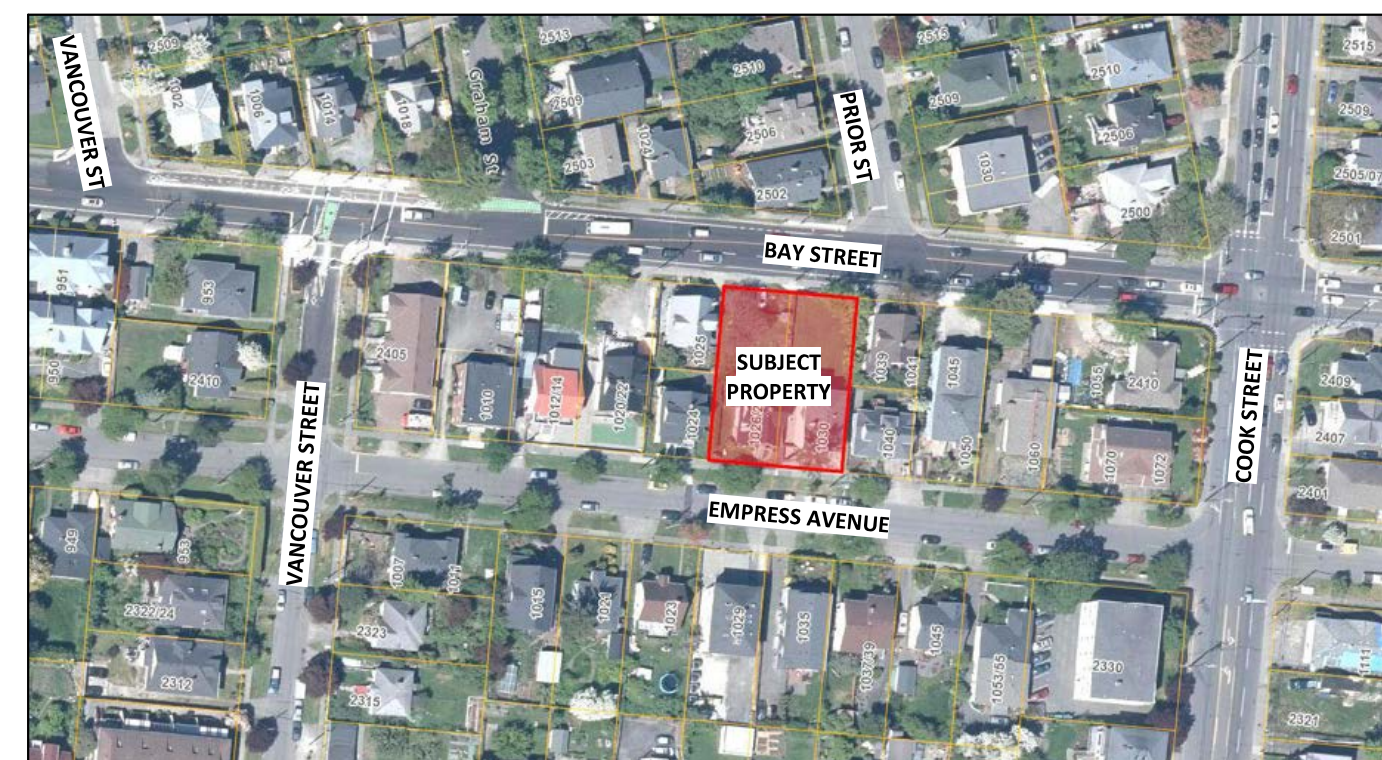


Property Data	
GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	REZONING PERMIT APPLICATION WITH VARIANCES FOR LOT CONSOLIDATION AND STRATA PLAN SUBDIVISION: <ul style="list-style-type: none"> RETENTION OF AN EXISTING CHARACTER CONVERSION (1028; BPO58143) WITH MARKET APARTMENTS, AND REMOVAL OF GARAGE OUT-BUILDING (1028) RETENTION OF AN EXISTING HOUSEPLEX (1030), AND REMOVAL OF NON-CONFORMING REAR ADDITION CONSTRUCTION OF A NEW SEVEN (7) UNIT ATTACHED DWELLING BUILDING (STRATA TOWNHOUSES) WITH ONE (1) TRUCK-LINER ACCESSIBLE PARKING SPACE CONSOLIDATION AND SUBDIVISION OF TWO (2) LOTS INTO THREE (3)
CIVIC ADDRESS	1026/1028 AND 1030 EMPRESS AVENUE, VICTORIA BC
LEGAL DESCRIPTION	LOTS 6 & 7, BLOCK 8, SECTION 3, VICTORIA DISTRICT, PLAN 957
PROPERTY IDENTIFICATION NUMBERS (P.I.D.)	000-213-527 (1026/1028 EMPRESS) AND 000-848-492 (1030 EMPRESS)
AUTHORITY HAVING JURISDICTION	THE CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2024, INCLUDING ALL AMENDMENTS

Municipal Zoning Compliance Summary

0 - ZONING SUMMARY																																				
NO.	ITEM	DESCRIPTION	BYLAW REFERENCES																																	
0-1	ZONING DISTRICT [REZONING]	R-2 (TWO-FAMILY) EXISTING NEW (REZONING) PROPOSED	80-159																																	
0-2	DEVELOPMENT PERMIT AREA (DPA)	DPA-16A (GENERAL) EXISTING	OCF																																	
0-3	HERITAGE STATUS	DESIGNATED (1028 ONLY) N/A	87-121-245																																	
REQUIREMENT 1028 (EX.) 1030 (EX.) PROPOSED TOWNHOUSES																																				
0-4	PRINCIPAL USE [REZONING]	TWO-FAMILY REQUIRED 'G' TRIPLEX 4-PLEX TOWNHOUSES	80-159-2.1.1																																	
0-5	SITE AREA & LOT WIDTH [REZONING]	<p>SITE AREA (m²):</p> <table border="1"> <tr> <td>≥ 555</td> <td>BEFORE: 599.8</td> <td>600.9</td> <td>-</td> </tr> <tr> <td>REQUIRED</td> <td>AFTER: 291.44</td> <td>291.41</td> <td>515.11</td> </tr> </table> <p>SITE AREA FOR EACH DWELLING UNIT (m²):</p> <table border="1"> <tr> <td>≥ 277.5</td> <td>BEFORE: 199.9 (3)</td> <td>150.2 (4)</td> <td>-</td> </tr> <tr> <td>REQUIRED</td> <td>AFTER: 97.1 (3)</td> <td>72.9 (4)</td> <td>73.6 (27)</td> </tr> </table> <p>LOT WIDTH (MINIMUM AVERAGE (m.)):</p> <table border="1"> <tr> <td>≥ 15</td> <td>REQUIRED</td> <td>15.205</td> <td>15.205</td> <td>30.41</td> </tr> </table>	≥ 555	BEFORE: 599.8	600.9	-	REQUIRED	AFTER: 291.44	291.41	515.11	≥ 277.5	BEFORE: 199.9 (3)	150.2 (4)	-	REQUIRED	AFTER: 97.1 (3)	72.9 (4)	73.6 (27)	≥ 15	REQUIRED	15.205	15.205	30.41	80-159-2.1.2												
≥ 555	BEFORE: 599.8	600.9	-																																	
REQUIRED	AFTER: 291.44	291.41	515.11																																	
≥ 277.5	BEFORE: 199.9 (3)	150.2 (4)	-																																	
REQUIRED	AFTER: 97.1 (3)	72.9 (4)	73.6 (27)																																	
≥ 15	REQUIRED	15.205	15.205	30.41																																
0-6	FLOOR AREA OF PRINCIPAL BUILDING [REZONING]	<p>FLOOR SPACE RATIO:</p> <table border="1"> <tr> <td>≤ 0.5</td> <td>BEFORE: 0.300</td> <td>0.304</td> <td>-</td> </tr> <tr> <td>REQUIRED</td> <td>AFTER: 0.854</td> <td>0.938</td> <td>1.428</td> </tr> </table> <p>FLOOR AREA PER DWELLING UNIT (m²):</p> <table border="1"> <tr> <td>≥ 46</td> <td>REQUIRED</td> <td>85.5</td> <td>68.3</td> <td>≥ 51.8</td> </tr> </table> <p>FLOOR AREA - FIRST AND SECOND STOREYS COMBINED (m²):</p> <table border="1"> <tr> <td>≤ 280</td> <td>REQUIRED</td> <td>164.3</td> <td>182.9</td> <td>470.1</td> </tr> </table> <p>TOTAL FLOOR AREA (m²):</p> <table border="1"> <tr> <td>≤ 380</td> <td>REQUIRED</td> <td>256.5</td> <td>273.2</td> <td>735.50</td> </tr> </table>	≤ 0.5	BEFORE: 0.300	0.304	-	REQUIRED	AFTER: 0.854	0.938	1.428	≥ 46	REQUIRED	85.5	68.3	≥ 51.8	≤ 280	REQUIRED	164.3	182.9	470.1	≤ 380	REQUIRED	256.5	273.2	735.50	80-159-2.1.3										
≤ 0.5	BEFORE: 0.300	0.304	-																																	
REQUIRED	AFTER: 0.854	0.938	1.428																																	
≥ 46	REQUIRED	85.5	68.3	≥ 51.8																																
≤ 280	REQUIRED	164.3	182.9	470.1																																
≤ 380	REQUIRED	256.5	273.2	735.50																																
0-7	HEIGHT, STOREYS, ROOF DECKS [REZONING]	<p>BUILDING HEIGHT (STOREYS):</p> <table border="1"> <tr> <td>≤ 1.5 + BSM1</td> <td>REQUIRED</td> <td>2 + BSM1</td> <td>2 + BSM1</td> <td>3</td> </tr> </table> <p>BUILDING HEIGHT, WHERE NO BASEMENT (m.)):</p> <table border="1"> <tr> <td>≤ 7.6</td> <td>REQUIRED</td> <td>7.03</td> <td>8.64</td> <td>10.34</td> </tr> </table>	≤ 1.5 + BSM1	REQUIRED	2 + BSM1	2 + BSM1	3	≤ 7.6	REQUIRED	7.03	8.64	10.34	80-159-2.1.4																							
≤ 1.5 + BSM1	REQUIRED	2 + BSM1	2 + BSM1	3																																
≤ 7.6	REQUIRED	7.03	8.64	10.34																																
0-8	SETBACKS & PROJECTIONS [REZONING]	<p>FRONT YARD SETBACK (m.)):</p> <table border="1"> <tr> <td>≥ 7.5 OR ADJ. AVG. (4.26)</td> <td>REQUIRED</td> <td>3.84</td> <td>3.80</td> <td>3.88 (0.345)</td> </tr> </table> <p>REAR YARD SETBACK (m.)):</p> <table border="1"> <tr> <td>≥ 10.7 OR 35% (13.99)</td> <td>PROPOSED</td> <td>2.38</td> <td>2.51</td> <td>5.67</td> </tr> </table> <p>SIDE YARD SETBACK - WEST (m.)):</p> <table border="1"> <tr> <td>≥ 1.5 OR 10% (3.04)</td> <td>PROPOSED</td> <td>5.09</td> <td>3.70</td> <td>2.17</td> </tr> </table> <p>SIDE YARD SETBACK - EAST (m.)):</p> <table border="1"> <tr> <td>≥ 1.5 OR 10% (3.04)</td> <td>PROPOSED</td> <td>1.80</td> <td>3.40</td> <td>2.17</td> </tr> </table> <p>COMBINED SIDE YARD SETBACKS (m.)):</p> <table border="1"> <tr> <td>≥ 4.5</td> <td>PROPOSED</td> <td>6.89</td> <td>7.10</td> <td>4.34</td> </tr> </table> <p>FALSE PROJECTIONS INTO SETBACKS (m.)):</p> <table border="1"> <tr> <td>≤ 0.75</td> <td>PERMITTED</td> <td>EXISTING</td> <td>EXISTING</td> <td>≤ 0.75</td> </tr> </table>	≥ 7.5 OR ADJ. AVG. (4.26)	REQUIRED	3.84	3.80	3.88 (0.345)	≥ 10.7 OR 35% (13.99)	PROPOSED	2.38	2.51	5.67	≥ 1.5 OR 10% (3.04)	PROPOSED	5.09	3.70	2.17	≥ 1.5 OR 10% (3.04)	PROPOSED	1.80	3.40	2.17	≥ 4.5	PROPOSED	6.89	7.10	4.34	≤ 0.75	PERMITTED	EXISTING	EXISTING	≤ 0.75	80-159-2.1.5			
≥ 7.5 OR ADJ. AVG. (4.26)	REQUIRED	3.84	3.80	3.88 (0.345)																																
≥ 10.7 OR 35% (13.99)	PROPOSED	2.38	2.51	5.67																																
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≤ 0.75	PERMITTED	EXISTING	EXISTING	≤ 0.75																																
0-9	SITE COVERAGE & OPEN SITE SPACE [REZONING]	<p>SITE COVERAGE (%):</p> <table border="1"> <tr> <td>≤ 40</td> <td>BEFORE: 21.74</td> <td>19.05</td> <td>-</td> </tr> <tr> <td>REQUIRED</td> <td>AFTER: 44.90</td> <td>39.29</td> <td>62.42</td> </tr> </table> <p>OPEN SITE SPACE (%):</p> <table border="1"> <tr> <td>≥ 30; ≥ 33 REAR</td> <td>BEFORE: 78.26</td> <td>80.95</td> <td>-</td> </tr> <tr> <td>REQUIRED</td> <td>AFTER: 55.57</td> <td>60.97</td> <td>54.27</td> </tr> </table>	≤ 40	BEFORE: 21.74	19.05	-	REQUIRED	AFTER: 44.90	39.29	62.42	≥ 30; ≥ 33 REAR	BEFORE: 78.26	80.95	-	REQUIRED	AFTER: 55.57	60.97	54.27	80-159-2.1.6																	
≤ 40	BEFORE: 21.74	19.05	-																																	
REQUIRED	AFTER: 44.90	39.29	62.42																																	
≥ 30; ≥ 33 REAR	BEFORE: 78.26	80.95	-																																	
REQUIRED	AFTER: 55.57	60.97	54.27																																	
0-10	OUTDOOR FEATURES	<p>SETBACKS APPLY TO OUTDOOR FEATURES AS THOUGH BUILDINGS:</p> <p>REQUIRED PROPOSED N/A</p> <p>OUTDOOR FEATURES ≤ 3.5 m FROM GRADE:</p> <p>REQUIRED PROPOSED N/A</p>	80-159-2.1.7																																	
0-11	OFF-STREET VEHICULAR PARKING [VARIANCE]	<p>GEOGRAPHIC AREA:</p> <p>CORE VILLAGE/CENTRE OTHER ZONING BYLAW 2017</p> <p>BLDG. USE:</p> <table border="1"> <tr> <td>1026</td> <td>EX. SCHEDULE 'G'</td> <td>UNITS: 3</td> <td>UNITS: 0</td> <td>REQUIRED: 0</td> <td>PROVIDED: 0</td> </tr> <tr> <td>1030</td> <td>EX. HOUSE CONVERSION</td> <td>4</td> <td>0 EX.</td> <td>0</td> <td>0</td> </tr> <tr> <td>NEW</td> <td>CONDO >70m2</td> <td>7</td> <td>1.45</td> <td>10.2+10</td> <td>1</td> </tr> <tr> <td>NEW</td> <td>VISITORS</td> <td>7</td> <td>0.1</td> <td>0.7+1</td> <td>0</td> </tr> </table> <p>(VARIANCE: 10 SPACE REDUCTION) TOTAL:</p> <table border="1"> <tr> <td>REQUIRED</td> <td>11</td> <td>1</td> </tr> </table> <p>ACCESSIBLE SPACES VAN ACCESSIBLE SPACES:</p> <table border="1"> <tr> <td>REQUIRED</td> <td>0</td> <td>1</td> </tr> </table> <p>PARKING AREAS OF ≥ 5 SPACES TO BE GROUND-ORIENTED ILLUMINATED:</p> <p>REQUIRED PROPOSED N/A</p> <p>PROJECT PROPOSES VARIANCE TO SCHEDULE 'C' PARKING REQUIREMENTS. ONLY ONE (1) ACCESSIBLE SIZED PARKING SPACE PROPOSED PROVIDED FOR GENERAL USE BY ALL RESIDENTS AND/OR VISITORS. VARIANCE, MADE POSSIBLE BY CLOSE PROXIMITY TO TRANSIT AND BIKE INFRASTRUCTURE, WOULD ENHANCE LIVABILITY THROUGH PROVISION OF SHARED OPEN SPACE, AND REDUCE DEPENDENCE ON PRIVATE VEHICLES.</p>	1026	EX. SCHEDULE 'G'	UNITS: 3	UNITS: 0	REQUIRED: 0	PROVIDED: 0	1030	EX. HOUSE CONVERSION	4	0 EX.	0	0	NEW	CONDO >70m2	7	1.45	10.2+10	1	NEW	VISITORS	7	0.1	0.7+1	0	REQUIRED	11	1	REQUIRED	0	1	80-159- SCHEDULE C, TABLES 1, 3 & 5			
1026	EX. SCHEDULE 'G'	UNITS: 3	UNITS: 0	REQUIRED: 0	PROVIDED: 0																															
1030	EX. HOUSE CONVERSION	4	0 EX.	0	0																															
NEW	CONDO >70m2	7	1.45	10.2+10	1																															
NEW	VISITORS	7	0.1	0.7+1	0																															
REQUIRED	11	1																																		
REQUIRED	0	1																																		
0-12	OFF-STREET BICYCLE PARKING	<p>LONG TERM BICYCLE PARKING SPACES:</p> <table border="1"> <tr> <td>BLDG. USE:</td> <td>UNITS:</td> <td>UNITS:</td> <td>REQUIRED:</td> <td>PROVIDED:</td> </tr> <tr> <td>1026/8</td> <td>SCHEDULE 'G'</td> <td>3</td> <td>1</td> <td>3</td> </tr> <tr> <td>1030</td> <td>SIM. SCHEDULE 'G'</td> <td>4</td> <td>1</td> <td>4</td> </tr> <tr> <td>NEW</td> <td>MULTI-DWELL. (45m2)</td> <td>7</td> <td>1.25</td> <td>8.75+9</td> </tr> </table> <p>TOTAL:</p> <table border="1"> <tr> <td>REQUIRED</td> <td>16</td> <td>19</td> </tr> </table> <p>SHORT TERM BICYCLE PARKING SPACES:</p> <table border="1"> <tr> <td>BLDG. USE:</td> <td>UNITS:</td> <td>UNITS:</td> <td>REQUIRED:</td> <td>PROVIDED:</td> </tr> <tr> <td>NEW</td> <td>MULTI-DWELL. (45m2)</td> <td>7</td> <td>0.1</td> <td>≥ 6</td> </tr> </table> <p>1 IN ADDITION TO LONG TERM SPACES NOTED ABOVE, TWO (2) AT-GRADE UNITS ALSO PROVIDED WITH DEDICATED INDOOR CLOSET SPACE AND 120W PLUG FOR MOBILITY DEVICE/SCOOTER STORAGE AND CHARGING - 5 m FROM ENTRY DOORS.</p>	BLDG. USE:	UNITS:	UNITS:	REQUIRED:	PROVIDED:	1026/8	SCHEDULE 'G'	3	1	3	1030	SIM. SCHEDULE 'G'	4	1	4	NEW	MULTI-DWELL. (45m2)	7	1.25	8.75+9	REQUIRED	16	19	BLDG. USE:	UNITS:	UNITS:	REQUIRED:	PROVIDED:	NEW	MULTI-DWELL. (45m2)	7	0.1	≥ 6	80-159- SCHEDULE C, TABLES 2 & 4
BLDG. USE:	UNITS:	UNITS:	REQUIRED:	PROVIDED:																																
1026/8	SCHEDULE 'G'	3	1	3																																
1030	SIM. SCHEDULE 'G'	4	1	4																																
NEW	MULTI-DWELL. (45m2)	7	1.25	8.75+9																																
REQUIRED	16	19																																		
BLDG. USE:	UNITS:	UNITS:	REQUIRED:	PROVIDED:																																
NEW	MULTI-DWELL. (45m2)	7	0.1	≥ 6																																



Zoning Floor Area - Existing Buildings			
NAME	F.S.R.	AREA	AREA (IMPERIAL)
1028 - BASEMENT	No	92.18 m ²	992.23 ft ²
1028 - LEVEL 1	Yes	92.93 m ²	1,000.25 ft ²
1028 - LEVEL 2	Yes	71.34 m ²	767.85 ft ²
1030 - BASEMENT	No	90.31 m ²	972.11 ft ²
1030 - LEVEL 1	Yes	92.57 m ²	996.38 ft ²
1030 - LEVEL 2	Yes	90.31 m ²	972.13 ft ²
		529.64 m ²	5,700.96 ft ²

Zoning Floor Area - New Townhouses			
NAME	F.S.R.	AREA	AREA (IMPERIAL)
TOWNHOUSES - LEVEL 1	Yes	204.61 m ²	2,202.36 ft ²
TOWNHOUSES - LEVEL 2	Yes	265.45 m ²	2,857.24 ft ²
TOWNHOUSES - LEVEL 3	Yes	265.45 m ²	2,857.24 ft ²
		735.50 m ²	7,916.85 ft ²

ZONING FLOOR AREAS CALCULATED TO INSIDE FACE OF EXTERIOR WALLS AND DOES NOT INCLUDE PARKING AREAS FOR VEHICLES OR BICYCLES.

OFFICIAL COMMUNITY PLAN DESIGNATION:	NORTH PARK - URBAN RESIDENTIAL
BUILT FORM:	<ul style="list-style-type: none"> ATTACHED AND DETACHED BUILDINGS UP TO THREE STOREYS LOW-RISE AND MID-RISE MULTI-UNIT BUILDINGS UP TO APPROXIMATELY SIX STOREYS
PLACE CHARACTER FEATURES:	<ul style="list-style-type: none"> VARIABLE YARD SETBACKS WITH PRIMARY DOORWAYS FACING THE STREET VARIABLE FRONT YARD LANDSCAPING, BOULEVARD AND STREET TREE PLANTING ON-STREET PARKING AND COLLECTIVE DRIVEWAY ACCESS TO REAR YARD OR UNDERGROUND PARKING
USES:	<ul style="list-style-type: none"> GROUND-ORIENTED MULTI-UNIT RESIDENTIAL HOUSE CONVERSIONS LOW TO MID-RISE MULTI-UNIT RESIDENTIAL LOW TO MID-RISE MIXED-USE ALONG ARTERIAL AND SECONDARY ARTERIAL ROADS HOME OCCUPATIONS
DENSITY:	<ul style="list-style-type: none"> TOTAL FLOOR SPACE RATIOS GENERALLY UP TO 1.2:1 INCREASED DENSITY UP TO A TOTAL OF APPROXIMATELY 2:1 MAY BE CONSIDERED IN STRATEGIC LOCATIONS FOR THE ADVANCEMENT OF PLAN OBJECTIVES (SEE POLICY 6.22)

Rezoning - Project Information Table

ZONING DISTRICT	CURRENT		EXISTING		PROPOSED (REZONING)		
	R-2 TWO-FAMILY	SCHED. 'G'	1026/28	1030	1026/28	1030	TOWNHOUSES
SITE AREA (m ²)	≥ 555	599.8	600.9	291.44	291.41	515.11	
TOTAL FLOOR AREA (m ²)	≤ 380	179.7	182.9	NO CHANGE	164.3 (15.3)	735.50	
FLOOR SPACE RATIO	≤ 0.5	0.300	0.304	0.854	0.938	1.428	
SITE COVERAGE (%)	≤ 40	21.74	19.05	44.90	39.29	62.42	
OPEN SITE SPACE (%)	≥ 30; ≥ 33 REAR	78.26	80.95	55.57	60.90	54.27	
HEIGHT OF BUILDING (m)	≤ 7.6	8.2	8.85	NO CHANGE	NO CHANGE	10.33	
NUMBER OF STOREYS (* = BASEMENT)	2	2*	2*	NO CHANGE	NO CHANGE	3	
PARKING STALLS ON SITE	≥ 2	2	0	0 REQ'D (10)	NO CHANGE	1	
BUILDING SETBACKS (m)	FRONT YARD	≥ 7.5 OR AVG	3.84	4.29	NO CHANGE	NO CHANGE	0.345 (1A)
	FRONT STEP PROJECTION	≥ 3.5	2.63	1.63	NO CHANGE	NO CHANGE	-
	FRONT PORCH PROJECTION	≥ 3.5	0.51	1.63	NO CHANGE	NO CHANGE	-
	BAY WINDOW PROJECTION	≥ 0.6	-	0.51	NO CHANGE	NO CHANGE	-
	REAR YARD	10.7 OR 35% (12.01)	22.65	19.31	2.38	2.51	5.67
	SIDE YARD (WEST)	1.5 OR 10% 1 SIDE ≥ 3.0	4.88	3.28	NO CHANGE	NO CHANGE	2.23
	SIDE YARD (EAST)	1.5 OR 10% 1 SIDE ≥ 3.0	1.79	2.15	NO CHANGE	NO CHANGE	2.23
	COMBINED SIDE YARDS	≥ 4.5	6.67	5.43	NO CHANGE	NO CHANGE	4.46
	EAVE PROJECTION	≤ 0.75	≤ 0.92	NO CHANGE	NO CHANGE	≤ 0.6	
	TOTAL NUMBER OF UNITS	5	3	4	NO CHANGE	NO CHANGE	7
RESIDENTIAL USE DETAILS	UNIT TYPE	TWO-FAMILY	4 x 1BED	NO CHANGE	NO CHANGE	1 x STUDIO 3 x 1BED	
	MINIMUM UNIT AREA (m ²)	≥ 46	85.5	68.3	NO CHANGE	~22.4 (8A)	105.03
	TOTAL RESIDENTIAL AREA (m ²)	≤ 380	179.7	182.9	NO CHANGE	164.3 (15.3)	721.20

ARBORIST
D CLARK ARBORICULTURE
2741 THE RISE
VICTORIA, BC V8T 3T4
250-208-1568
CONTACT: MICHE HACEY

CIVIL
KYLE ENGINEERING
SUITE 1 - 40 CADILLAC AVE
VICTORIA, BC V8Z 1T2
250-475-6906
CONTACT: EDWARD KYLE

OWNER
BOWCEY CONSTRUCTION LTD.
INFO@BOWCEY.CA
250-588-0094
CONTACT: CHRIS LACEY

ARCHITECTURAL
CHRISTINE LINTOTT ARCHITECTS INC.
UNIT 1 - 864 QUEENS AVE
VICTORIA, BC V8T 1M5
250-384-1969
CONTACT: TIM KINDRAT

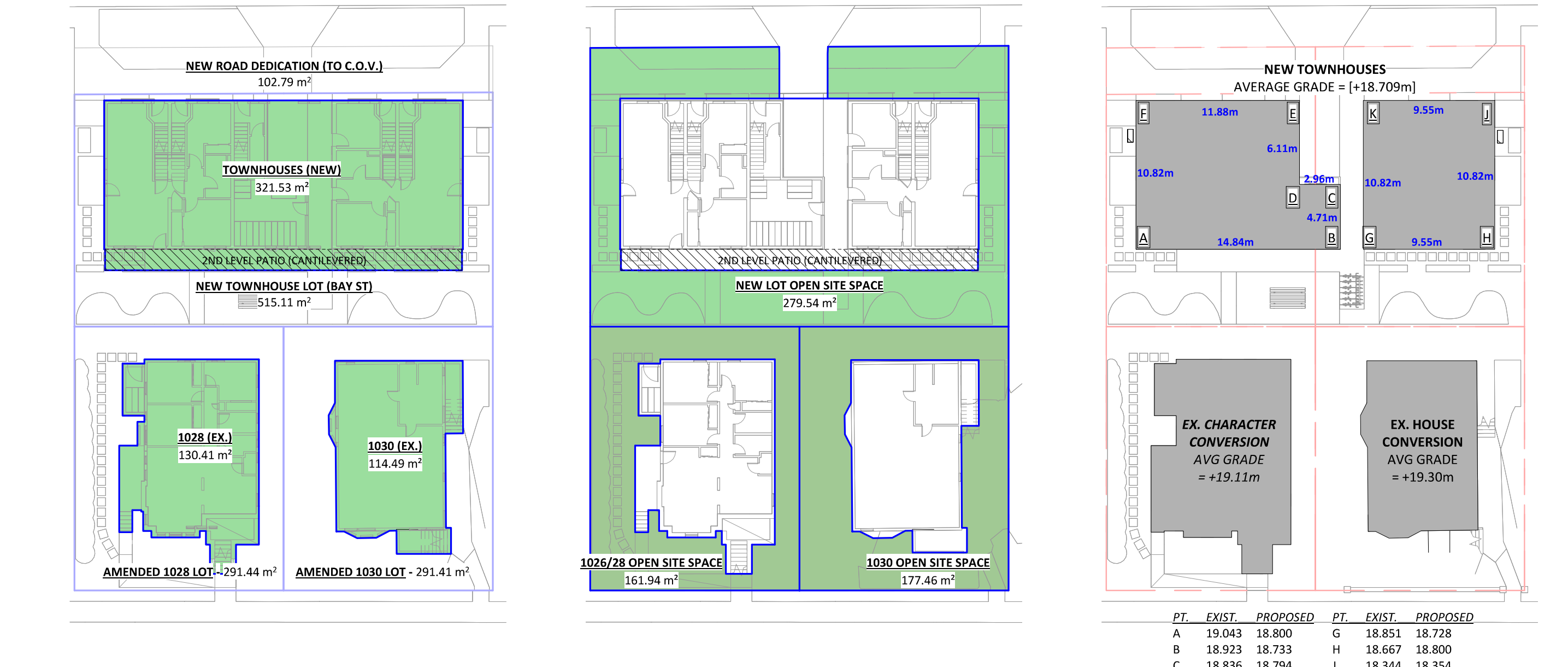
SURVEY
POWELL & ASSOCIATES
#250 - 2590 DOUGLAS ST
VICTORIA, BC V8T 4N4

1026/1028 & 1030 Empress Avenue

Rezoning & Development Permit w/Variance Revision #2 - 21 Jan 2025



7 3D ISOMETRIC - FROM NORTHWEST
8 3D ISOMETRIC - FROM SOUTHEAST



4 AREA - SITE COVERAGE
5 AREA - OPEN SITE SPACE
6 GRADE CALCULATION PLAN (BYLAW #80-159)



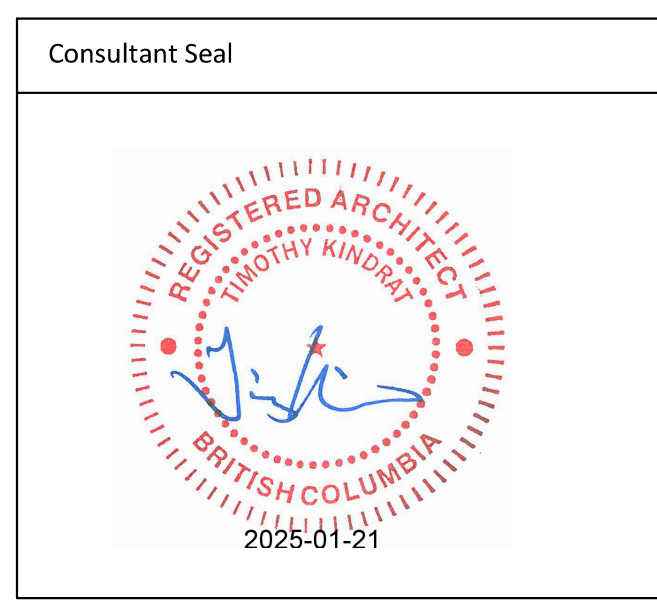
1 ZONING FLOOR AREA - LEVEL 1
2 ZONING FLOOR AREA - LEVEL 2
3 ZONING FLOOR AREA - LEVEL 3

Christine Lintott Architects Inc.
Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue	Date
CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
REVISED REZ & DPV APPLICATION	26-JUL-2024
REZ & DPV REVISION #2	21-JAN-2024

Revision No.	Description	Date
1	CHANGES SINCE CALUC	2024-03-19
2	REZ/DPV REVISION	2024-07-26
3	REZ/DPV REV2 PENDING !!!	2024-12-xx

Revisions
Received Date: January 27, 2025



Empress Townhouses
1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

COVER

Date	2025-01-21 9:44:32 AM
Drawn by	TK
Checked by	CLA
A0.00	
Project #	23-24 Scale As indicated

Building Code Analysis - General Information

1 - GENERAL INFORMATION		BCBC																																																	
NO.	ITEM	DESCRIPTION	REFERENCES																																																
1-1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> RENO. <input type="checkbox"/> TENANT IMPROVEMENT	-																																																
1-2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2024, INCLUDING ALL AMENDMENTS	-																																																
1-3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F2 <input checked="" type="checkbox"/> F3	DIV. A-1.3.2., 1.3.3., 1.3.4.																																																
1-4	OCCUPANCY CLASSIFICATION	<input checked="" type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F2 <input type="checkbox"/> F3	9.10.2.1.																																																
1-5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.2.5.																																																
1-6	FIREWALLS	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.11.																																																
1-7	OCCUPANT LOAD	<table border="1"> <thead> <tr> <th rowspan="2">BUILDING (NBC) BAY ST (NEW) (PROPOSED)</th> <th colspan="2">OCCUPANCY</th> <th colspan="2">OCCUPANTS PER UNIT</th> <th colspan="2">OCCUPANTS</th> </tr> <tr> <th>UNITS</th> <th>PER UNIT</th> <th>UNITS</th> <th>OCCUPANTS</th> <th>UNITS</th> <th>OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td>DWELLING, ADU (1BR)</td> <td>1</td> <td>2</td> <td>1</td> <td>2</td> <td>1</td> <td>2</td> </tr> <tr> <td>DWELLING, ADU (2BR)</td> <td>1</td> <td>4</td> <td>1</td> <td>4</td> <td>1</td> <td>4</td> </tr> <tr> <td>TOWNHOUSE (2BR)</td> <td>4</td> <td>4</td> <td>4</td> <td>16</td> <td>4</td> <td>16</td> </tr> <tr> <td>TOWNHOUSE (3BR)</td> <td>1</td> <td>6</td> <td>1</td> <td>6</td> <td>1</td> <td>6</td> </tr> <tr> <td>TOTAL PROPOSED</td> <td>7</td> <td>28</td> <td>7</td> <td>28</td> <td>7</td> <td>28</td> </tr> </tbody> </table> 1030 EMPRESS (EXISTING) DWELLING (0-1BR) <input type="checkbox"/> 4 <input type="checkbox"/> 2 <input type="checkbox"/> 8 1028 EMPRESS (EXISTING) DWELLING (3BR) <input type="checkbox"/> 1 <input type="checkbox"/> 6 <input type="checkbox"/> 6 DWELLING (2BR) <input type="checkbox"/> 2 <input type="checkbox"/> 4 <input type="checkbox"/> 8 3 <input type="checkbox"/> 14	BUILDING (NBC) BAY ST (NEW) (PROPOSED)	OCCUPANCY		OCCUPANTS PER UNIT		OCCUPANTS		UNITS	PER UNIT	UNITS	OCCUPANTS	UNITS	OCCUPANTS	DWELLING, ADU (1BR)	1	2	1	2	1	2	DWELLING, ADU (2BR)	1	4	1	4	1	4	TOWNHOUSE (2BR)	4	4	4	16	4	16	TOWNHOUSE (3BR)	1	6	1	6	1	6	TOTAL PROPOSED	7	28	7	28	7	28	9.9.1.3.
BUILDING (NBC) BAY ST (NEW) (PROPOSED)	OCCUPANCY			OCCUPANTS PER UNIT		OCCUPANTS																																													
	UNITS	PER UNIT	UNITS	OCCUPANTS	UNITS	OCCUPANTS																																													
DWELLING, ADU (1BR)	1	2	1	2	1	2																																													
DWELLING, ADU (2BR)	1	4	1	4	1	4																																													
TOWNHOUSE (2BR)	4	4	4	16	4	16																																													
TOWNHOUSE (3BR)	1	6	1	6	1	6																																													
TOTAL PROPOSED	7	28	7	28	7	28																																													
1-8	BUILDING AREA (m ²)	≤ 600 REQUIRED 108.68 (1028 EX.) 100.58 (1030 EX.) 281.99 NEW	DIV. A-1.3.3.3., 1.4.1.2.																																																
1-9	GRADE ELEVATION (m, GEODETIC)	+19.11 (1028 EX.) +19.04 (1030 EX.) +19.10 NEW	1.4.1.2.																																																
1-10	BUILDING HEIGHT (STOREYS)	≤ 3 REQUIRED 2 (1028 EX.) 2 (1030 EX.) 3 NEW	9.10.4.																																																
1-11	FIRE ALARM & DETECTION SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.18.2.																																																
1-12	AUTOMATIC SPRINKLER SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.1.3. & 3.2.5.																																																
1-13	MEZZANINES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.4.1.																																																
1-14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.9.5.																																																
1-15	NUMBER OF STREETS FACING	1 BAY STREET	1.4.1.2.																																																
1-16	FIRE DEPARTMENT ACCESS ROUTES	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.20.3.																																																
1-17	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.4.1.																																																
1-18	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.1.3.(9), 3.2.5.																																																
1-19	CONSTRUCTION TYPE(S)	COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.6.																																																
1-20	ASSEMBLY FIRE-RESISTANCE RATINGS (F.R.R., IN HOURS)	MINIMUM RATING (LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY): <input type="checkbox"/> EXCEPT FLOORS OVER 3/4 FLOORS' <input type="checkbox"/> MEZZANINE <input type="checkbox"/> ROOF <input type="checkbox"/> CRAWLSPACES	9.10.8.																																																
1-21	ALTERNATE SOLUTIONS	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	DIV. A-1.2.1.1.(1)(B), & DIV. C-2.3.																																																

Building Code Analysis - Accessibility & Design of Areas and Spaces

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES		9.5.	
NO.	ITEM	DESCRIPTION	REFERENCES
2-1	ACCESSIBILITY FOR PERSONS WITH DISABILITIES	APPLICATION (3.8.2.) FIRST STOREY COMMON BIKE ROOM TO BE ACCESSIBLE; DESIGN (3.8.3.) TOWNHOUSE UNITS EXEMPT; TWO (2) FIRST STOREY AT GRADE UNITS PROPOSED TO BE ADAPTABLE, BUT NOT REQUIRED BY CODE OR BYLAW; ALTERATIONS (3.8.4.) ADAPTABLE DWELLING UNITS (3.8.5.)	9.5.2.1.-3., 3.8.1.1., 3.8.2.1.(1)(A)
2-2	ENTRANCES & POWER DOOR OPERATORS	ALL PEDESTRIAN ENTRANCES TO AN ACCESSIBLE STOREY DESCRIBED BY 3.8.2.1.(1) TO BE ACCESSIBLE TO 3.8.3. & CONNECT TO ACCESSIBLE EXTERIOR PATH OF TRAVEL; POWER DOOR OPERATOR AT REQUIRED ACCESSIBLE ENTRANCES INCLUDING VESTIBULES WHERE PROVIDED; POWER DOOR OPERATOR AT ENTRANCES DESCRIBED BY 3.8.2.2. SERVED BY A PUBLIC CORRIDOR OR CORRIDOR USED BY PUBLIC; FIRST STOREY COMMON BIKE ROOM AND ADAPTABLE DWELLING UNIT ENTRANCES TO BE ACCESSIBLE; COMMON BIKE ROOM (ONLY)	3.8.2.2. & 3.8.2.7.
2-3	AREAS REQUIRING ACCESS	ACCESSIBLE PATH OF TRAVEL FROM 3.8.2.2. ENTRANCES THROUGHOUT ENTRANCE STORIES AND NORMALLY OCCUPIED AREAS; ACCESS NOT REQUIRED TO SERVICE JANITORIAL, ELEVATOR MACHINES, CRAWL, ATTIC & ROOF SPACES OR ROOMS; ELEC. ROOM EXEMPT ACCESS NOT REQUIRED TO FLOOR LEVELS ABOVE/BELOW ENTRANCE LEVEL, IN SUITES WITH MORE THAN ONE LEVEL, PROVIDED NO ELEVATOR SERVING LEVEL AND CONTAINS FACILITIES ALSO ON ENTRANCE LEVEL; ACCESS NOT REQUIRED TO RESIDENTIAL SUITE WHERE NOT DESIGNATED BY CODE OR BYLAW TO BE ACCESSIBLE OR ADAPTABLE DWELLING UNIT; FIRST STOREY A.D.U.S. NOT REQUIRED BUT COMPLIANT	3.8.2.3.
2-4	PATHS OF TRAVEL TO BUILDING ENTRANCES AND EXTERIOR PASSENGER-LOADING ZONES	DIRECT EXTERIOR ACCESSIBLE PATH OF TRAVEL BETWEEN 3.8.2.2. ACCESSIBLE ENTRANCES, ACCESSIBLE PARKING, PASSENGER-LOADING ZONES, COMMON ANCILLARY BUILDINGS AND A PUBLIC THOROUGHFARE; PATH OF TRAVEL FROM BAY TO PARKING, RECYCLING AREA, AND ADAPTABLE ENTRIES	3.8.2.5.
2-5	CONTROLS AND OUTLETS	CONTROLS INTENDED FOR OCCUPANT USE (SWITCHES, THERMOSTATS, FAUCETS, DOOR & WINDOW HARDWARE, ETC.) TO COMPLY WITH 3.8.3.; ALL CONTROLS FOR OCCUPANT USE, APPLIES THROUGHOUT; LOCATED 800 - 1,200 mm ABOVE FLOOR; ADJACENT TO AND CENTRED ON CLEAR FLOOR SPACE 800 x 1,350 mm; ONE-HANDED, CLOSET FIST OPERATION WITH ≤ 22 N FORCE.	3.8.2.6., 3.8.3.8.
2-6	PLUMBING FACILITIES	AT LEAST 1 UNIVERSAL WASHROOM TO BE PROVIDED AT EACH LOCATION WASHROOMS PROVIDED IN A STOREY REQUIRED TO HAVE AN ACCESSIBLE PATH OF TRAVEL; NOT APPLICABLE; WASHROOMS FOR DWELLING UNITS ONLY	3.8.2.8.(3)
2-7	SIGNS AND INDICATORS	NOT REQUIRED GIVEN DWELLING USE & DESIGN; ACCESSIBLE PARKING TO BE PROVIDED WITH INT'L. ACCESS SIGNS PER MUNICIPAL BYLAW REQUIREMENTS	3.8.2.10., 3.8.3.9.
2-8	COUNTERS (FOR PUBLIC SERVICE)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.2.11.
2-9	TELEPHONES (FOR PUBLIC USE)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.2.12.
2-10	SLEEPING ROOMS AND BED SPACES	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.2.13.(1)(B)
2-11	DESIGN STANDARDS	ACCESSIBLE APPLICATION: INT. ACCESSIBLE ROUTES 3.8.3.2. EXT. ACCESSIBLE ROUTES 3.8.3.3. (6.8.2.1) PASSENGER PICK-UP AREAS 3.8.3.4. N/A RAMP 3.8.3.5. DOORS AND DOORWAYS 3.8.3.6. N/A ELEVATORS & LIFTS 3.8.3.7. OPERATING CONTROLS 3.8.3.8. SIGNAGE 3.8.3.9. N/A DRINKING FOUNTAINS 3.8.3.10. N/A WASHROOM FACILITIES 3.8.3.12-16. BATHING FACILITIES 3.8.3.17-18. COMMUNICATION 3.8.3.19. & -21. N/A COUNTERS 3.8.3.20-21. N/A SPACES IN SEATING AREAS 3.8.3.22. BCBC PATH: 3.8.3.2. (6.8.2.1) 3.8.3.3. 3.8.3.4. 3.8.3.5. 3.8.3.6. 3.8.3.7. 3.8.3.8. 3.8.3.9. 3.8.3.10. 3.8.3.12-16. 3.8.3.17-18. 3.8.3.19. & -21. 3.8.3.20-21. 3.8.3.22. CSA B651 PATH: 4.3 & 5.1 8.2.1-8.2.5 & 8.2.7 9.3 5.3 & 5.5 5.2 5.6.2 4.2 4.5 & 9.4 6.1 6.2 & 6.3 6.5 6.6 6.7 6.3	TABLE. 3.8.3.1.

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES (CONTINUED)		9.5.	
NO.	ITEM	DESCRIPTION	REFERENCES
2-12	ACCESSIBLE PATH OF TRAVEL	WIDTH OF ACCESSIBLE PATH OF TRAVEL, EXCEPT AS REQUIRED ELSEWHERE (mm): ≥ 1,000 REQUIRED 1,600 PROPOSED REDUCTION TO ≥ 850 MM FOR LENGTHS ≤ 600 mm PERMITTED WHERE 1.0 m WIDE X 1.5 m LONG CLEAR RECTANGULAR AREA PROVIDED EITHER END; PERMITTED PROPOSED N/A; R.F.E. FINISH, SLIP-RESISTANT SURFACE; REQUIRED PROPOSED N/A; BROOMED CONCRETE NO OPENING PERMITTING PASSAGE OF SPHERE ≥ 13 mm DIAMETER; ANY ELONGATED OPENINGS ORIENTED PERPENDICULAR TO PATH OF TRAVEL; REQUIRED PROPOSED N/A; CROSS SLOPE MAXIMUM 1 IN 50 (2%); REVELED MAX 1 IN 2 AT LEVEL CHANGES ≤ 6.13 mm; RAMP OR SLOPED FLOORS AT LEVEL CHANGES ≥ 13 mm; SLOPING ≤ 1.20 (5%) OR DESIGNED AS RAMP TO 3.8.3.5.; PATHS OF TRAVEL > 24 m TO BE WIDENED TO 1.7 x 1.7 m AT INTERVALS ≤ 24 m; WHERE PATHS OF TRAVEL > 1.5 m WIDE FOR DISTANCE > 12 m, PROVIDE 1.7m CLEAR OR "T" SHAPED CLEAR FLOOR SPACE PER 3.8.3.2.(6)(C); ILLUMINATED TO 3.8.3.7.	3.8.3.2., 3.2.7.1.
2-13	EXTERIOR WALKS (FORMING PART OF AN ACCESSIBLE PATH OF TRAVEL)	SLIP-RESISTANT, CONTINUOUS, EVEN SURFACE; REQUIRED PROPOSED N/A; BROOMED CONCRETE WIDTH OF EXTERIOR WALK (mm): ≥ 1,600 REQUIRED 1,600 PROPOSED AT ENTRANCE DOORWAYS, LEVEL AREAS TO 3.8.3.5.(1)(C); DESIGNED IN ACCORDANCE WITH CLAUSE 8.2. OF CSA B651 STANDARD; AT PATH EDGE ADJACENT PARKING, HIGH CONTRAST PAINT STRIP TO BE PROVIDED; WHERE PROVIDED, PARALLEL ACCESS AISLE MIN. 1.5 m WIDE X 6 m LONG; WHERE PROVIDED, CURB RAMP TO 3.8.3. OF CSA B651 STANDARD; LEVEL AREA W/PAIN COINCIDES WITH EXT. PASSAGEWAY; THRESHOLDS ≤ 13 mm HIGHER THAN ADJACENT FLOOR SURFACES; REQUIRED PROPOSED N/A; PULL SIDE LATCH SIDE CLEAR WIDTH (mm): ≥ 600 REQUIRED 1,200 PROPOSED PUSH LATCH SIDE CLEAR WIDTH (mm): ≥ 300 REQUIRED 2,300 PROPOSED VESTIBULES TO ALLOW CLEAR SPACE ≥ 1,250 mm LONG BETWEEN DOOR SWINGS; REQUIRED PROPOSED N/A; FULL SIDE CLEAR FLOOR SPACE TO BE LEVEL AND ≥ 1.7 m WIDE X 1.5 m DEEP; EXCEPT FOR LEVEL AREAS AT RAMPS OR WHERE AUTO OPERATOR PROVIDED, PUSH SIDE CLEAR FLOOR SPACE TO BE LEVEL AND ≥ 1.5 m WIDE X 1.2 m DEEP; GRASPABLE HARDWARE 900 - 1,100 mm ABOVE FLOOR; THRESHOLDS ≤ 13 mm HIGHER THAN ADJACENT FLOOR SURFACES; REQUIRED PROPOSED N/A	3.8.3.3. & CSA B651: 8.2.1
2-14	PASSENGER LOADING ZONES	WHERE PROVIDED, PARALLEL ACCESS AISLE MIN. 1.5 m WIDE X 6 m LONG; WHERE PROVIDED, CURB RAMP TO 3.8.3. OF CSA B651 STANDARD; LEVEL AREA W/PAIN COINCIDES WITH EXT. PASSAGEWAY; THRESHOLDS ≤ 13 mm HIGHER THAN ADJACENT FLOOR SURFACES; REQUIRED PROPOSED N/A	3.8.3.4.
2-15	RAMPS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.3.5.
2-16	DOORWAYS AND DOORS (IN ACCESSIBLE PATHS OF TRAVEL)	DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED 2,850 PROPOSED DOOR CLEAR WIDTH (mm) TO AT LEAST ONE BATHROOM WITHIN A SUITE OF RESIDENTIAL OCCUPANCE: ≥ 850 REQUIRED 2,850 PROPOSED GRASPABLE HARDWARE 900 - 1,100 mm ABOVE FLOOR; THRESHOLDS ≤ 13 mm HIGHER THAN ADJACENT FLOOR SURFACES; REQUIRED PROPOSED N/A; DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED 2,850 PROPOSED DOOR CLEAR WIDTH (mm) TO AT LEAST ONE BATHROOM WITHIN A SUITE OF RESIDENTIAL OCCUPANCE: ≥ 850 REQUIRED 2,850 PROPOSED GRASPABLE HARDWARE 900 - 1,100 mm ABOVE FLOOR; THRESHOLDS ≤ 13 mm HIGHER THAN ADJACENT FLOOR SURFACES; REQUIRED PROPOSED N/A	3.8.3.6.
2-17	APPLICATION (FOR ADAPTABLE DWELLING UNITS)	ONE STOREY DWELLING UNITS SERVED BY ACCESSIBLE INTERIOR PUBLIC CORRIDOR AND ACCESSIBLE COMMON BUILDING ENTRANCE PER 3.8.2.; COMMON SPACES & FACILITIES INTENDED FOR RESIDENT USE; BUILDINGS DESCRIBED BY 3.8.2.1.(1)(A) TO PROVIDE AT LEAST ONE BATHROOM WITH WALL REINFORCING TO 3.8.5.7.(1)(E); ALL NEW DWELLINGS	3.8.5.1., 3.8.5.2.
2-18	BUILDING ACCESS REQUIREMENTS (FOR ADAPTABLE DWELLING UNITS)	COMMON AREAS, SPACES & FACILITIES AND ALL COMMON PATH SOF TRAVEL SERVING ADAPTABLE DWELLING UNITS TO BE ACCESSIBLE PER 3.8.2.; COMMON CORRIDORS AND CORRIDORS PROVIDING PATH OF TRAVEL FOR ADAPTABLE DWELLING UNITS, PER 3.8.2.1.(1)(A); ADAPTABLE DWELLING UNITS TO BE PROVIDED WITH SPECIAL OUTLET BOXES AND COVER PLATES PER 3.2.4.19.(7), WITH MIN 20% OF OUTLETS OF STROBE TYPE TO SERVE AS VISUAL SIGNALS FOR SMOKE ALARMS OR DETECTORS; ALL NEW DWELLINGS	3.8.5.3., 3.2.4.19.(7)
2-19	ADAPTABLE DWELLING UNIT DOORWAYS	PRINCIPAL ENTRANCE DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED 2,850 PROPOSED WITHIN ADAPTABLE DWELLING UNIT, EVERY DOOR CONNECTING ENTRANCE WITH LIVING, ADAPTABLE BEDROOM, ADAPTABLE BATHROOM, AND KITCHEN, DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED 2,850 PROPOSED UNLESS EQUIPPED WITH OR DESIGNED FOR INSTALLATION OF POWER OPERATOR, CLEAR FLOOR SPACE EITHER SIDE OF PRINCIPAL ENTRANCE AND DOORS FOR ADAPTABLE ACCESS TO HAVE CLEAR FLOOR AREAS MEETING 3.8.3.6.(1)(A)(1); REQUIRED PROPOSED N/A	3.8.5.4.
2-20	ADAPTABLE DWELLING UNIT HALLWAYS AND CORRIDORS	CLEAR WIDTH OF HALLWAYS AND CORRIDORS PROVIDING PATH OF TRAVEL FOR ADAPTABLE DWELLING UNITS, PER 3.8.2.1.(1)(A); ≥ 1,000 REQUIRED 2,100 PROPOSED	3.8.5.5.
2-21	ADAPTABLE DWELLING UNIT BEDROOMS	IN ONE BEDROOM OR SLEEPING SPACE, TURNAROUND ADJACENT BED AND IN FRONT OF CLOSET (m): ≥ 1.7 x 1.5 REQUIRED 1.7 x 1.5 PROPOSED CLEAR FUNCTIONAL PATH WIDTH IN BEDROOM, UNOBSTRUCTED BY BED (mm): ≥ 850 REQUIRED 2,850 PROPOSED CLEAR OPENING WIDTH, CLOSET (mm): ≥ 900 REQUIRED 2,850 PROPOSED	3.8.5.6.
2-22	ADAPTABLE DWELLING UNIT BATHROOMS	IN ONE BATHROOM, CLEAR LATERAL TRANSFER SPACE ADJACENT WATER CLOSET, TO 3.8.3.12.(1)(B), (m): ≥ 1.5 x 0.9 REQUIRED 2.1 x 0.9 PROPOSED IN ONE BATHROOM, 600-800 mm WALL TO WATER CLOSET CENTRE CLEARANCE; REQUIRED PROPOSED N/A ACCOMMODATE FUTURE INSTALLATION OF LAVATORY WITH 0.8 m WIDE X 1.35 m DEEP CLEAR SPACE TO 3.8.3.16.(1)(A)(F) WITHOUT IMPEDING OTHER ITEMS; REQUIRED PROPOSED N/A	3.8.5.7.
2-23	ADAPTABLE DWELLING UNIT KITCHENS	COOKTOP AND SINK TO BE ADJACENT OR HAVE CONTINUOUS COUNTER BETWEEN; REQUIRED PROPOSED N/A 1.7 x 1.5 m CLEAR FLOOR SPACE IN KITCHEN; REQUIRED PROPOSED N/A ACCOMMODATE FUTURE INSTALLATION OF KITCHEN SINK THAT WOULD MEET LAVATORY REQUIREMENTS OF 3.8.3.16.(1)(B)(F); REQUIRED PROPOSED N/A	3.8.5.8.
2-24	CONTROLS, SWITCHES AND OUTLETS (FOR ADAPTABLE DWELLING UNITS)	CONTROLS AND SWITCHES INTENDED FOR FREQUENT OCCUPANT USE TO BE OPERABLE BETWEEN 400 - 1,200 mm ABOVE FLOOR; REQUIRED PROPOSED N/A	3.8.5.9.

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES (CONTINUED)		9.5.	
NO.	ITEM	DESCRIPTION	REFERENCES
2-25	CEILING HEIGHTS (mm)	TYPICAL: ≥ 2,100 REQUIRED 2,100 PROPOSED STORAGE GARAGES: ≥ 2,000 REQUIRED 2,100 PROPOSED	9.5.3.
2-26	HALLWAY WIDTHS (mm)	≥ 860 REQUIRED 2,860 PROPOSED	9.5.4.1.
2-27	DOORWAY SIZES (mm)	HEIGHT: ≥ 1,980 REQUIRED, TYPICAL WIDTH (NON-ADAPTABLE ENTRY (NON-ADAPTABLE) BEDROOM / STAIRS / UTILITY / PUBLIC WATER-CLOSET ROOMS): ≥ 810 REQUIRED 2,100 PROPOSED WIDTH, EXTERIOR BALCONIES: ≥ 760 REQUIRED IF VERTICAL SWING; SLIDING DOORS WITHIN DWELLING EXCEPT IF UNNECESSARY FOR EGRESS; WIDTH (NON-ADAPTABLE) BATHROOM / CLOSET / HALLWAY: ≥ 610 REQUIRED	9.5.5.

Building Code Analysis - Windows, Doors & Skylights

3 - WINDOWS, DOORS AND SKYLIGHTS		9.7.	
NO.	ITEM	DESCRIPTION	REFERENCES
3-1	DWELLING UNIT ENTRANCE DOORS	DOOR VIEWER OR TRANSPARENT GLAZING: REQUIRED PROPOSED N/A	9.7.2.1.
3-2	PERFORMANCE OF WINDOWS, DOORS AND SKYLIGHTS	COMPLIANCE WITH EITHER PART 5 OR 9.7.3.3.; THERMALLY BROKEN METAL FRAMES AND SASHES, UNLESS F.R.R. REQUIRED; REQUIRED PROPOSED N/A	9.7.3.
3-3	DESIGN AND CONSTRUCTION (OF WINDOWS, DOORS AND SKYLIGHTS)	CONFORM TO "AAMA/WDMA/CSA-1017.5.2/A440-11" (NACS STANDARD) AND "A44931-2017" (CANADIAN SUPPLEMENT); REQUIRED PROPOSED N/A	9.7.4.
3-4	RESISTANCE TO FORCED ENTRY FOR SWINGING (DWELLING UNIT) DOORS	WHERE WOOD, ≥ 45mm THICK, SOLID OR 19mm STILE AND-RAIL TYPE; REQUIRED PROPOSED N/A 5-PIN DEADBOLT LOCK AND BOLT THROW ≥ 25mm, WITH STRIKE PLATES CONFORMING TO 9.7.5.2.(2); HINGE FASTENING CONFORMING TO 9.7.5.2.(6); REQUIRED PROPOSED N/A SOLID BLOCKING ON BOTH SIDES AT LOCK HEIGHT; REQUIRED PROPOSED N/A	9.7.5.2.
3-5	RESISTANCE TO FORCED ENTRY FOR (RESIDENTIAL) WINDOWS	WITHIN 2m OF ADJACENT GROUND, FORCED ENTRY WINDOW PROTECTION PER CLAUSE 5.3.5. OF "AAMA/WDMA/CSA-1017.5.2/A440-11" (NACS STANDARD); REQUIRED PROPOSED N/A	9.7.5.3.

Building Code Analysis - Stairs, Ramps, Handrails and Guards

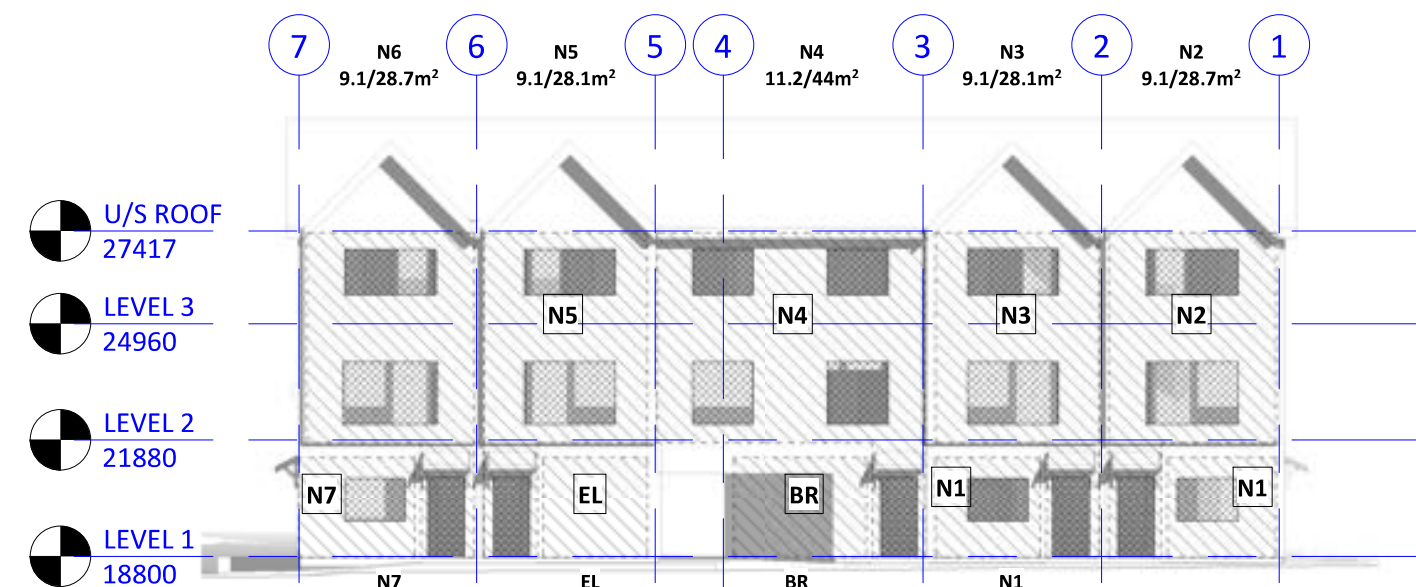
4 - STAIRS, RAMPS, HANDRAILS AND GUARDS		9.8.	
NO.	ITEM	DESCRIPTION	REFERENCES
4-1	STAIR WIDTH (mm)	EXIT STAIRS SERVING A SINGLE DWELLING UNIT: ≥ 860 REQUIRED	9.8.2.1.
4-2	HEIGHT OVER STAIRS AND LANDINGS (mm)	TYPICAL: ≥ 2,050 REQUIRED	9.8.2.2., 9.8.6.4.
4-3	STEP DIMENSIONS (mm)	RISE, PRIVATE STAIR: 125 - 200 REQUIRED 255 - 355 REQUIRED RUN, PRIVATE STAIR: ≥ 3 PERMITTED	9.8.4.1., 9.8.4.2.
4-4	TREAD NOSINGS (mm)	TYPICAL RADIUS: 6 - 14 REQUIRED RESILIENT TREAD RADIUS: ≥ 3 PERMITTED	9.8.4.8.
4-5	TACTILE WARNING STRIPS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.8.6.5., 3.8.3.9.(3)
4-6	RAMPS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.8.5.
4-7	LANDINGS (mm)	WIDTH PRIVATE STAIR: ≥ 860 REQUIRED LENGTH PRIVATE STAIR: ≥ 860 REQUIRED	9.8.6.3., 9.8.2.1.
4-8	HANDRAILS	NO SIDES INT. STAIRS: ≥ 1 REQUIRED NO SIDES EXT. STAIRS: ≥ 1 REQUIRED CONTINUITY ON ONE SIDE THROUGH LANDINGS; REQUIRED PROPOSED N/A HORIZONTAL EXTENSIONS ≥ 300mm, TOP AND BOTTOM, EXCEPT WHERE SERVING ONLY ONE DWELLING UNIT; REQUIRED PROPOSED N/A HEIGHT (mm): ≥ 865 - 1,070 REQUIRED 865 - 1,070 PROPOSED CLEARANCE TO WALL BEHIND (mm): ≥ 50 TYPICAL ≥ 60 ROUGH SURFACE PROTECTION INTO REQUIRED WIDTH (mm): ≥ 100 REQUIRED	9.8.7.
4-9	GUARDS	AT ELEVATION CHANGES ≥ 600 mm, OR ADJACENT SURFACE WITHIN 1.2m, SLOPES ≥ 1 IN 2; REQUIRED PROPOSED N/A RESISTANCE TO LOADING PER TABLE 9.8.8.2.; REQUIRED PROPOSED N/A HEIGHT, WITHIN OR SERVING ONLY ONE DWELLING UNIT (mm): ≥ 900 REQUIRED MAXIMUM OPENING (mm): ≤ 100 0 REQUIRED NON-CUMULABLE FROM 140-900mm, WHERE FALL ≥ 4.2 m; REQUIRED PROPOSED N/A	9.8.8.

Building Code Analysis - Means of Egress

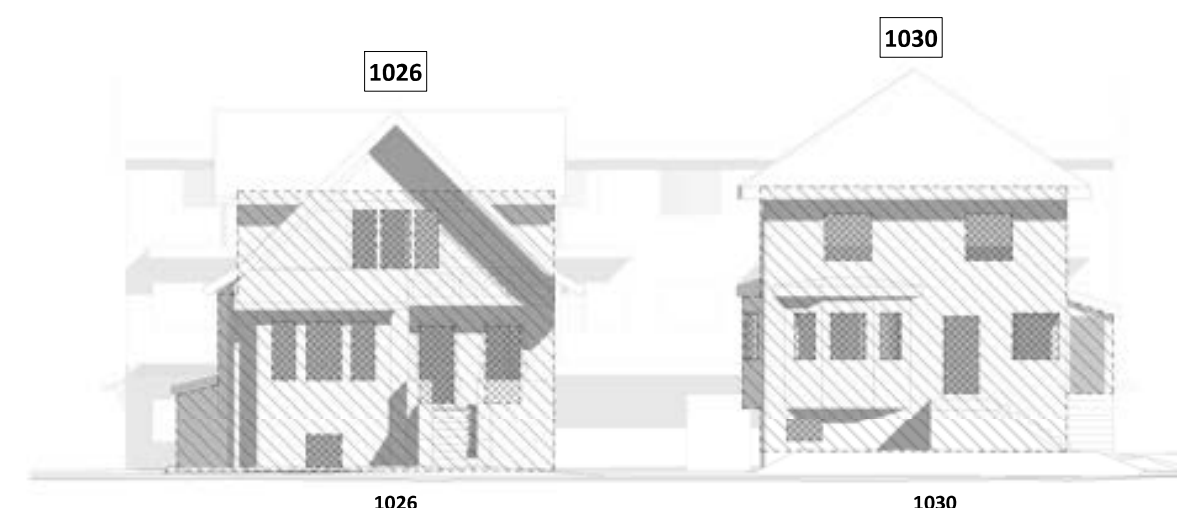
5 - MEANS OF EGRESS		9.9.	
NO.	ITEM	DESCRIPTION	REFERENCES
5-1	EXIT WIDTH (mm)	≥ 900 REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A EXCEPT DOORS & CORRIDORS	9.9.3.2.
5-2	WIDTH OF CORRIDORS (mm)	≥ 1100 REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.9.3.3.
5-3	CLEAR HEIGHT IN EXITS AND ACCESS TO EXITS (mm)	≥ 2,100 REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.9.3.4.
5-4	FIRE SEPARATIONS FOR EXITS (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.9.4.1.
5-5	OPENINGS NEAR UNENCLOSED EXTERIOR EXIT STAIRS AND RAMPS	PROTECT WITH WIRED GLASS IN STEEL FRAMES OR GLASS BLOCK; REQUIRED PROPOSED N/A	9.9.4.4.
5-6	OPENINGS IN EXTERIOR WALLS OF EXITS	PROTECTION WHERE OPENINGS OF DIFFERENT COMPARTMENTS IN EXTERIOR WALLS INTERSECTING AT < 135° AND LOCATED ≤ 3m HORIZONTALLY AND ≤ 2m ABOVE ONE ANOTHER; REQUIRED PROPOSED N/A DOORS FACING EXTERIOR PASSAGEWAY TO BE RATED	9.9.4.5.
5-7	OPENINGS NEAR EXIT DOORS	PROTECTION WHERE OPENINGS OF DIFFERENT COMPARTMENTS IN EXTERIOR WALLS INTERSECTING AT < 135° AND LOCATED ≤ 3m FROM EXIT DOOR; REQUIRED PROPOSED N/A	9.9.4.6.
5-8	SERVICE ROOMS	SERVICE ROOMS UNDER EXITS MAY NOT CONTAIN EQUIPMENT SUBJECT TO POSSIBLE EXPLOSION; REQUIRED PROPOSED N/A	9.9.5.8.
5-9	OBSTRUCTIONS BY DOORS (IN EXITS AND PUBLIC CORRIDORS, NOT SERVING A SINGLE DWELLING) (mm)	≤ 100 REQUIRED ≤ 100 PROPOSED <input type="checkbox"/> N/A	9.9.6.1.
5-10	CLEAR HEIGHT AT DOORWAYS (NOT SERVING A SINGLE DWELLING) (mm)	≥ 2,030 REQUIRED ≥ 2,030 PROPOSED <input type="checkbox"/> N/A	9.9.6.2.
5-11	CLEAR WIDTH AT DOORWAYS (NOT SERVING A SINGLE DWELLING) (mm)	≥ 850 REQUIRED ≥ 850 PROPOSED <input type="checkbox"/> N/A	9.9.6.3.
5-12	EXIT AND DWELLING UNIT DOORS	OPERABLE FROM INSIDE WITHOUT KEYS, SPECIAL DEVICES OR KNOWLEDGE; REQUIRED PROPOSED N/A EXCEPT AT DWELLING UNIT DOORS, OPERABLE BY ONE HAND IN ONE OPERATION; HARDWARE INSTALL HEIGHT ≤ 1,200 mm; REQUIRED PROPOSED N/A MAXIMUM SWIN OPERABLE FORCE; REQUIRED PROPOSED N/A	9.9.6.7.
5-13	EGRESS FROM SUITES	FOR EACH SUITE IN A FLOOR AREA OCCUPIED BY ≥ 3 SUITE, DOORWAY TO EXTERIOR EXIT OR PUBLIC CORRIDOR OR EXTERIOR PASSAGEWAY; REQUIRED PROPOSED N/A DWELLINGS TO 9.9.9.7.3.(1), 9.9.7.3.(1), 9.9.8.2.(2)	9.9.7.2., 9.9.9.9.(1), 9.9.7.3.(1), 9.9.8.2.(2)
5-14	DEAD END CORRIDORS	≤ 6 m REQUIRED <input type="checkbox"/> NONE PROPOSED <input type="checkbox"/> EXCEPT WITHIN A SUITE	9.9.7.3.
5-15	NUMBER AND SPACING OF EGRESS DOORS	EGRESS DOORS: 1 REQUIRED 1 PROPOSED <input type="checkbox"/> ONLY 1 REQUIRED FOR DWELLING UNITS	9.9.7.4.
5-16	TRAVEL DISTANCE (WITHIN SUITES)	<input type="checkbox"/> N/A REQUIRED <input type="checkbox"/> DWELLING UNITS EXEMPT	9.9.7.6., 9.9.8.1.-2.
5-17	LOCATION OF EXITS	WHERE ≥ 1 EXIT REQUIRED, INDEPENDENT AND REMOTE FROM EACH OTHER; REQUIRED PROPOSED N/A	9.9.8.4.
5-18	EXITING THROUGH A LOBBY	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.9.8.5.
5-19	TRAVEL LIMIT TO EXITS OR EGRESS DOORS (FROM DWELLING UNITS)	WHERE ≥ 1 STOREY, EXITS LOCATED SUCH THAT TRAVEL UP/DOWN 1 STOREY TO CORRIDOR, PASSAGEWAY, EXIT STAIR, OR DOORWAY ≤ 1.5 m ABOVE GRADE OR FLOOR LEVEL HAS DIRECT ACCESS TO A BALCONY; REQUIRED PROPOSED N/A BALCONIES AT 3RD LEVEL	9.9.9.1.(3)
5-20	TWO SEPARATE EXITS (FROM DWELLING UNITS)	EGRESS IN TWO DIRECTIONS FROM EGRESS DOOR AT CORRIDOR/PASSAGEWAY; REQUIRED PROPOSED N/A	9.9.9.2.
5-21	SHARED EGRESS FACILITIES (FROM DWELLING UNITS)	SECOND MEANS OF EGRESS WHERE FIRST OPENS ONTO PUBLIC CORRIDOR SERVING MORE THAN 1 SUITE; REQUIRED PROPOSED N/A	9.9.9.3.

Building Code Analysis - Spatial Separations

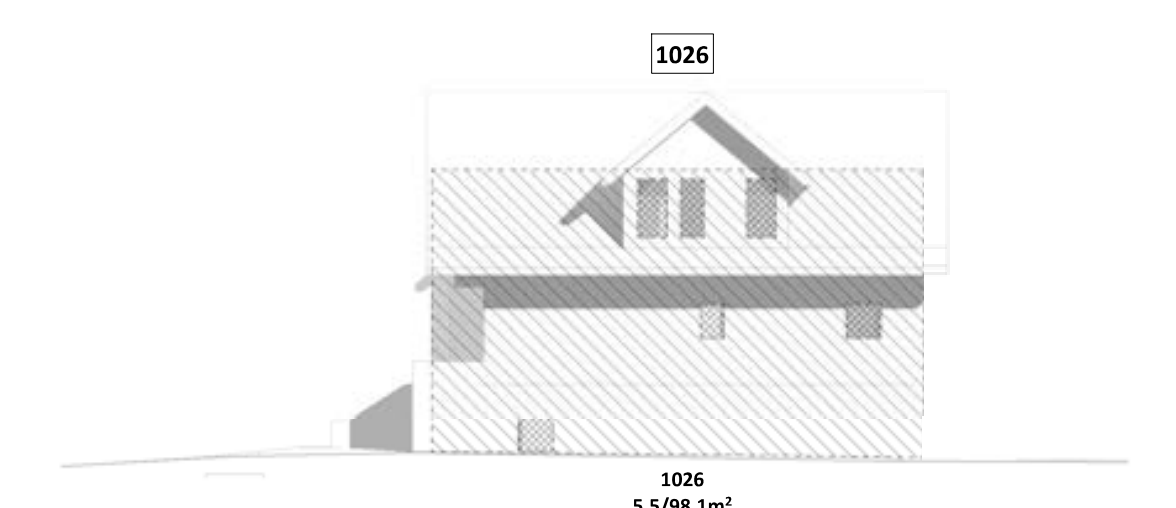
6 - SPATIAL SEPARATIONS									
NO.	ANALYSIS BY FIRE COMPARTMENT	WALL AREA (m ²)	LIMITING DIST. (m)	MAX. OPEN (%)	PROPOSED OPEN (%)	F.R.R. (HR.)	WALL NON-COMBUST.	CLADDING NON-COMB.	REFERENCE
PROPOSED TOWNHOUSE (2 DWELLING UNITS)									
9.10.14.4.									
6-1	NORTH - BAY STREET (A/A.04.)								
	N1	15.2	12.92	100	25	-	N	N	
	N2	28.7	12.94	100	31.7	-	N	N	
	N3	28.1	12.95	100	32.4	-	N	N	
	N4	44.0	12.97	100	25.5	-	N	N	
	N5	28.1	13.02	100	32.4	-	N	N	
	N6	28.7	13.03	100	31.7	-	N	N	
	N7	8.3	13.04	100	22.9	-	N	N	
	BIKE ROOM	9.7	12.98	100	0	-	N	N	
	ELECTRICAL	7.4	13.01	100	0	-	N	N	
WEST - 1025 BAY STREET (G/A.04.)									
	N1	27.9	2.23	15.1	14.3	1	N	Y	
	N2	57.4	2.23	10.04	3.3	1	N	Y	
SOUTH - TO LOT INTERIOR (R/A.04.)									
	N1	24.2	5.67	78.5	15.7	3/4	N	N	
	N2	24.4	5.67	78.5	27.0	3/4	N	N	
	N3	23.8	5.67	78.5	27.7	3/4	N	N	
	N4	39.7	5.67	61.8	26.2	3/4	N	N	
	N5	23.8	5.67	78.5	27.7	3/4	N	N	
	N6	24.1	5.67	78.5	27.0	3/4	N	N	
	N7	24.2	5.67	78.5	15.7	3/4	N	N	
	BIKE ROOM	13.7	10.71	100	0	-	N	N	
EAST - TO 1039 BAY STREET (Z/A.04.)									
	N6	57.4	2.23	10.04	3.3	1	N	Y	
	N7	27.9	2.23	15.1	14.3	1	N	Y	
1030 EMPRESS - EXISTING HOUSE CONVERSION (4 DWELLING UNITS)									
9.10.14.4.									
6-2	SOUTH - TO EMPRESS (S/A.04.)	60.9	14.29	100	15.9	EX	(EXISTING)	(EXISTING)	
	WEST - TO LOT LINE (L/A.04.)	96.7	3.28	14.7	4.2	EX	(EXISTING)	(EXISTING)	
	NORTH - TO N. BLDG. (B/A.04.)	69.2	2.51	11.3	4.6	EX	(EXISTING)	(EXISTING)	
	EAST - TO LOT LINE (Z/A.04.)	91.6	2.15	9.7	5.9	EX	(EXISTING)	(EXISTING)	
1026/1028 EMPRESS - EXISTING CHARACTER CONVERSION (3 DWELLING UNITS - BPO58143)									
9.10.14.4.									
6-3	SOUTH - TO EMPRESS (S/A.04.)	66.6	12.8	100	16.2	EX	(HERITAGE)	(HERITAGE)	
	WEST - TO LOT LINE (L/A.04.)	96.8	3.50	15.8	11.6	EX	(HERITAGE)	(HERITAGE)	
	NORTH - TO N. BLDG. (B/A.04.)	67.2	2.38	10.7	6.8	EX	(HERITAGE)	(HERITAGE)	
	EAST - TO E. BLDG. (10/A.04.)	98.1	1.79	8.6	5.6	EX	(HERITAGE)	(HERITAGE)	



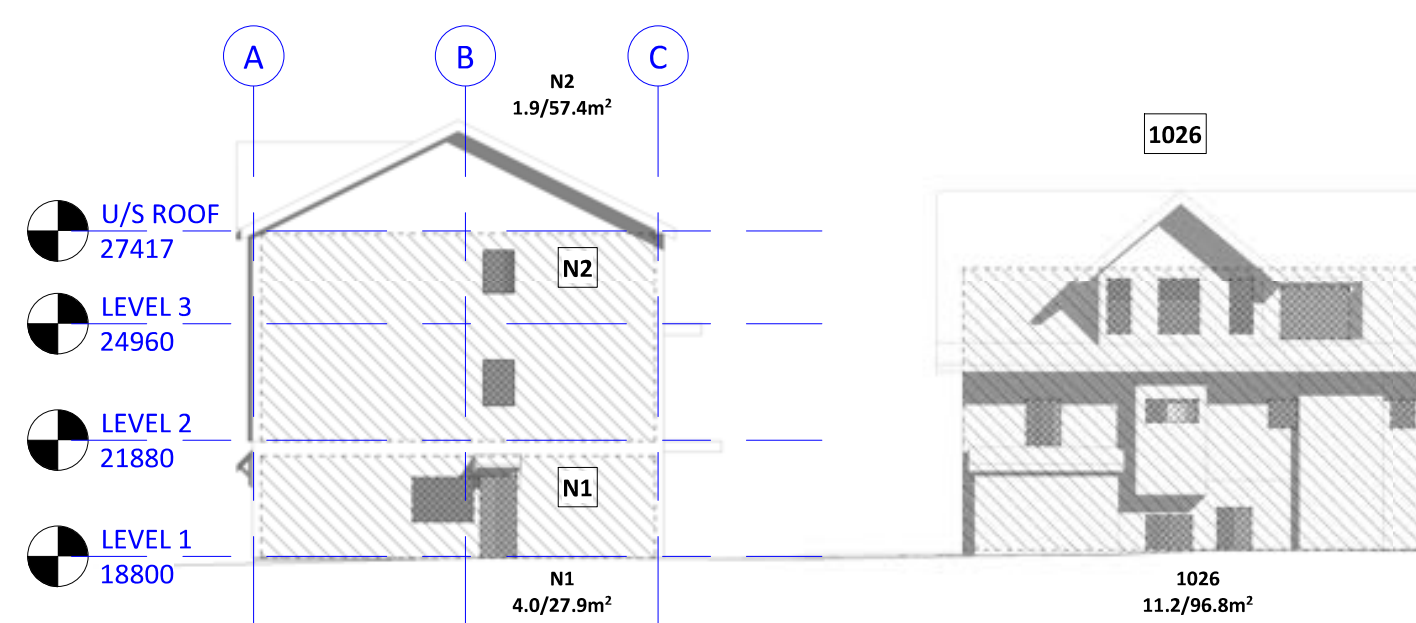
4 SPATIAL SEPARATIONS - NORTH ELEVATION (BAY STREET)
A0.02 1 : 200



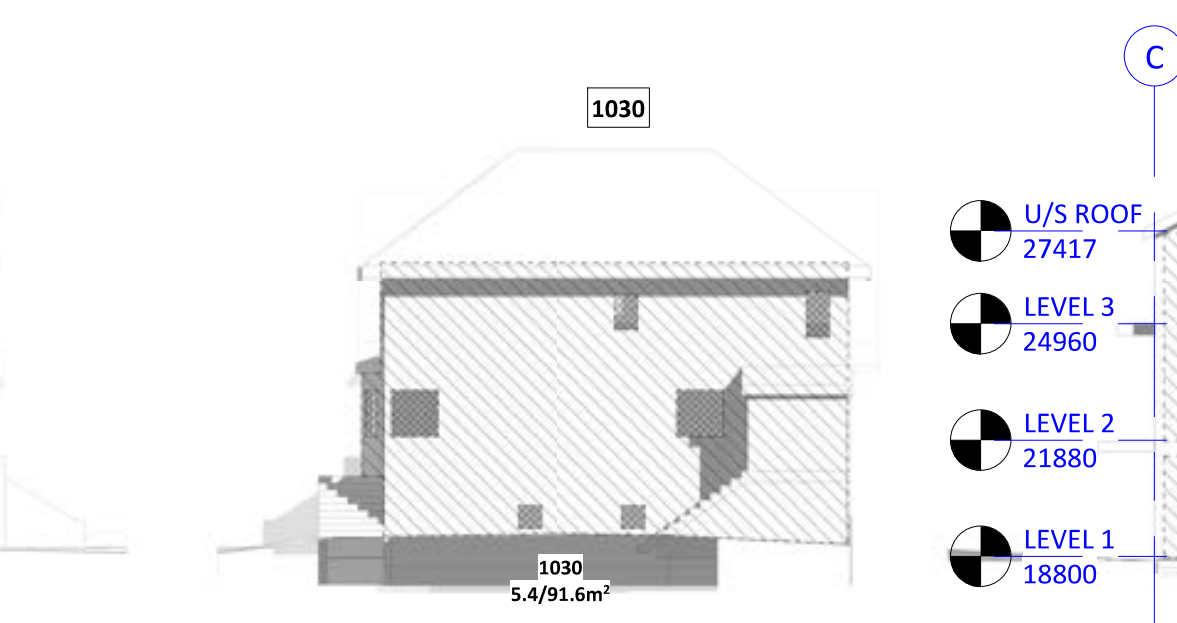
5 SPATIAL SEPARATIONS - SOUTH ELEVATION (EMPRESS AVE)
A0.02 1 : 200



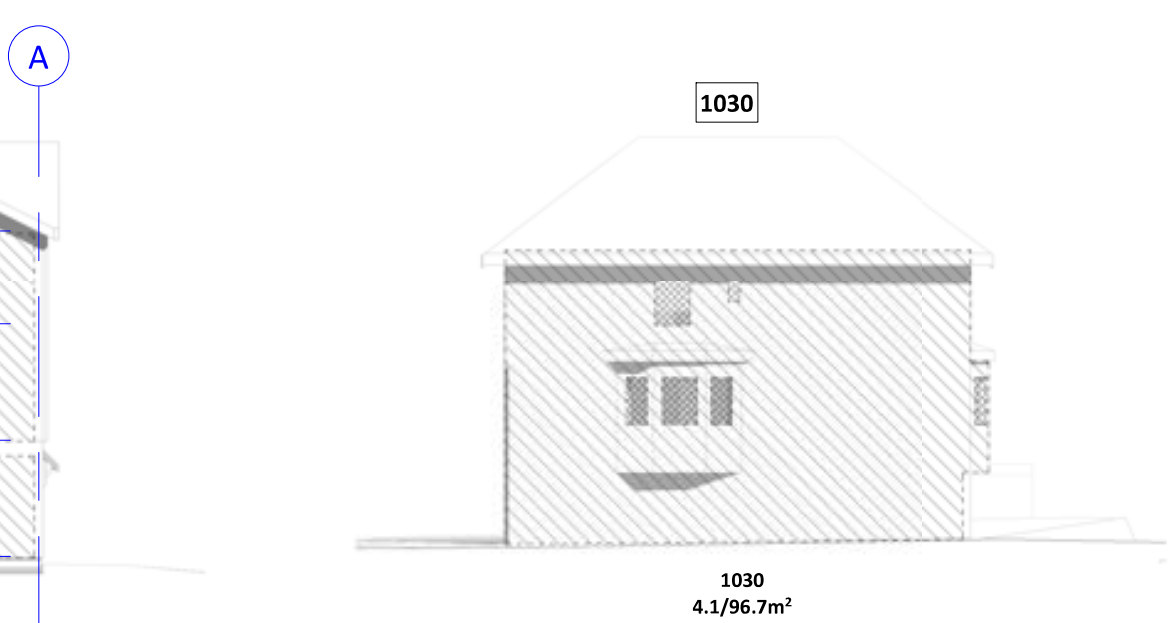
10 SPATIAL SEPARATIONS - EAST ELEVATION OF EX. HERITAGE BLDG. (1026)
A0.02 1 : 200



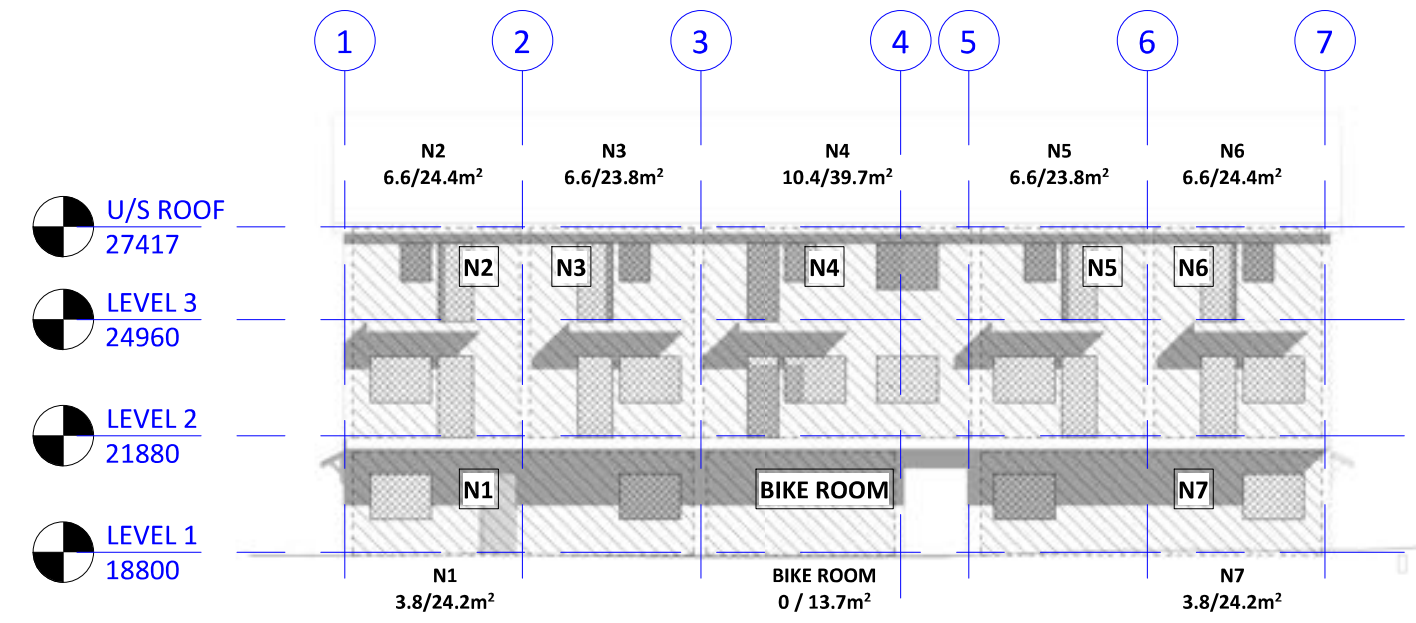
6 SPATIAL SEPARATIONS - WEST ELEVATION
A0.02 1 : 200



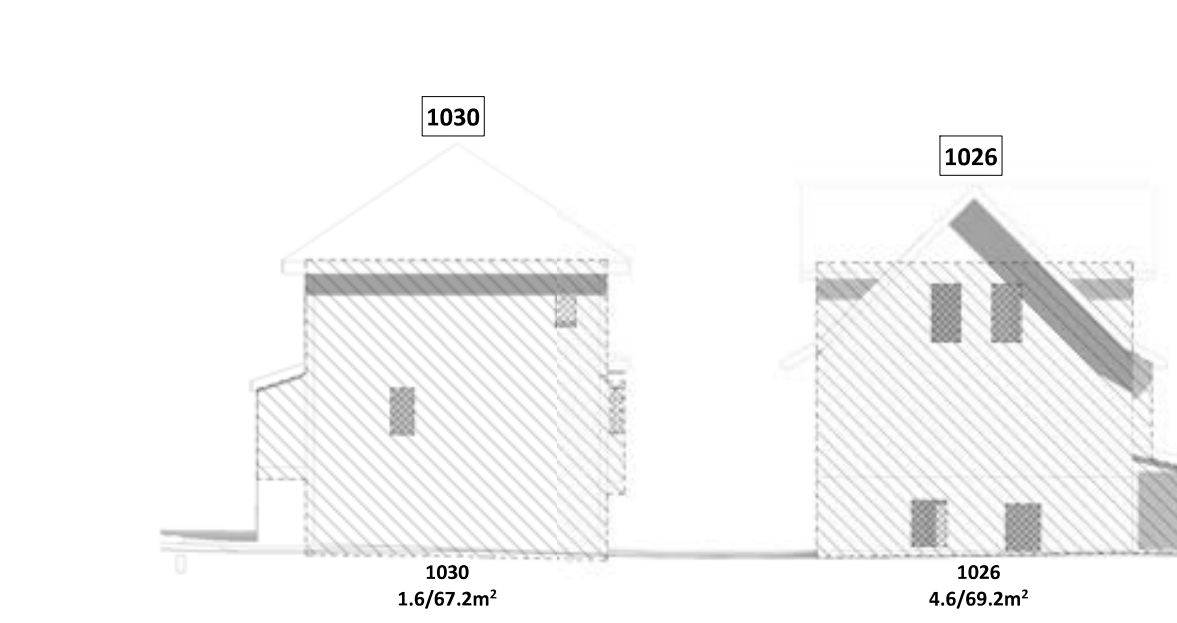
7 SPATIAL SEPARATIONS - EAST ELEVATION
A0.02 1 : 200



11 SPATIAL SEPARATIONS - WEST ELEVATION OF EX. HC BLDG. (1030)
A0.02 1 : 200

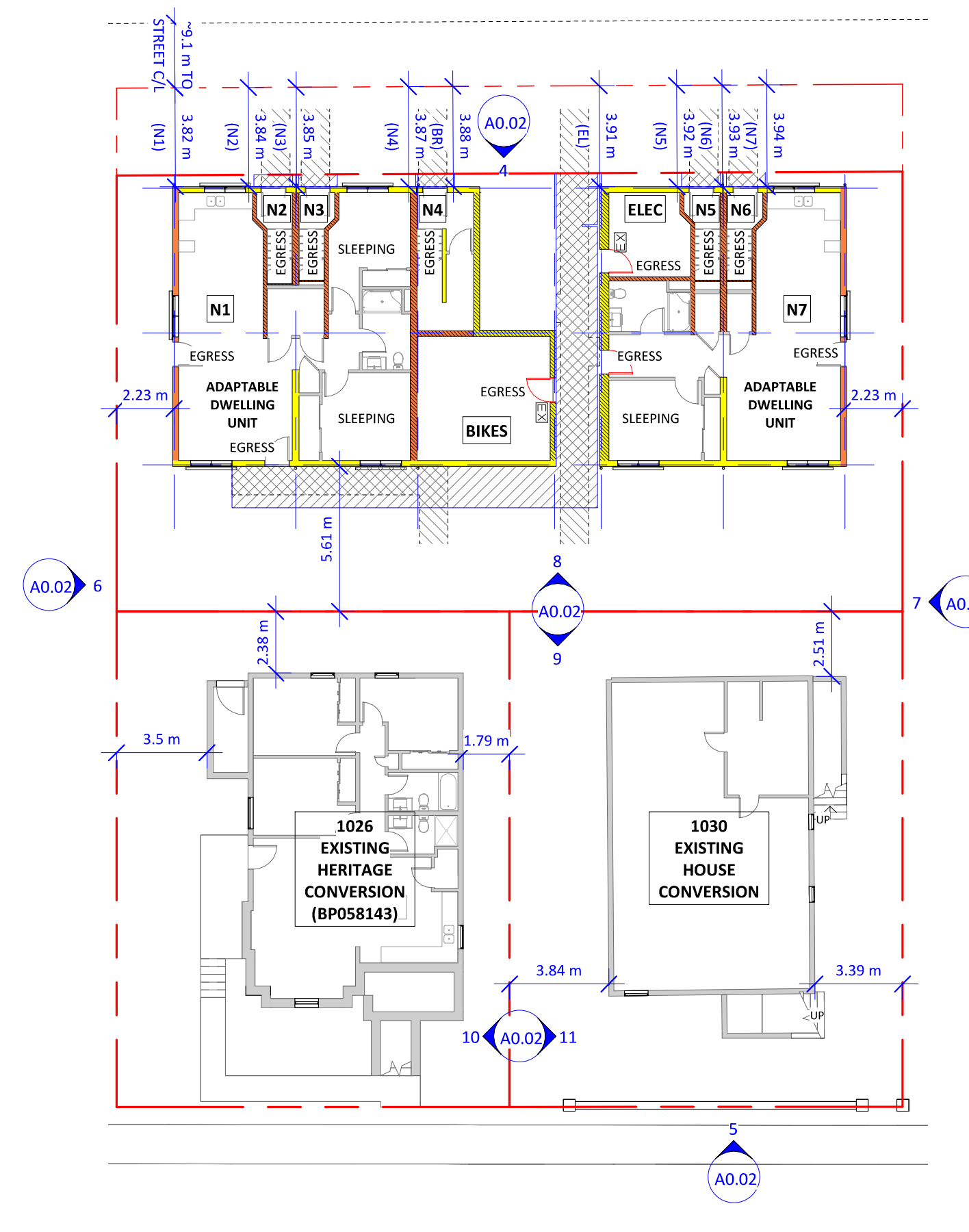
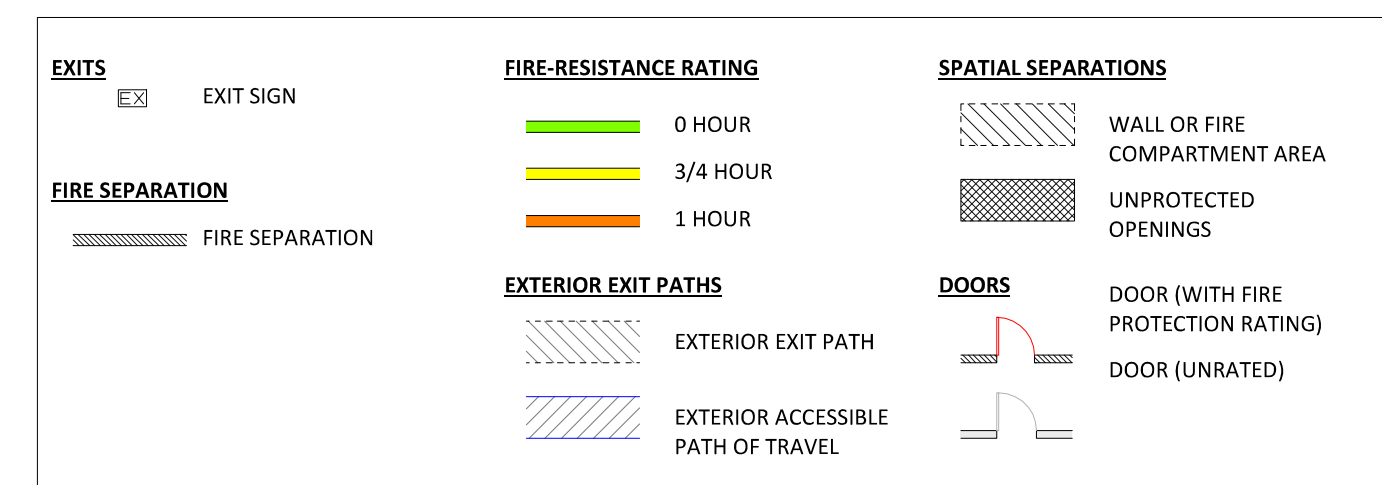


8 SPATIAL SEPARATIONS - SOUTH ELEVATION OF NORTH BLDG.
A0.02 1 : 200

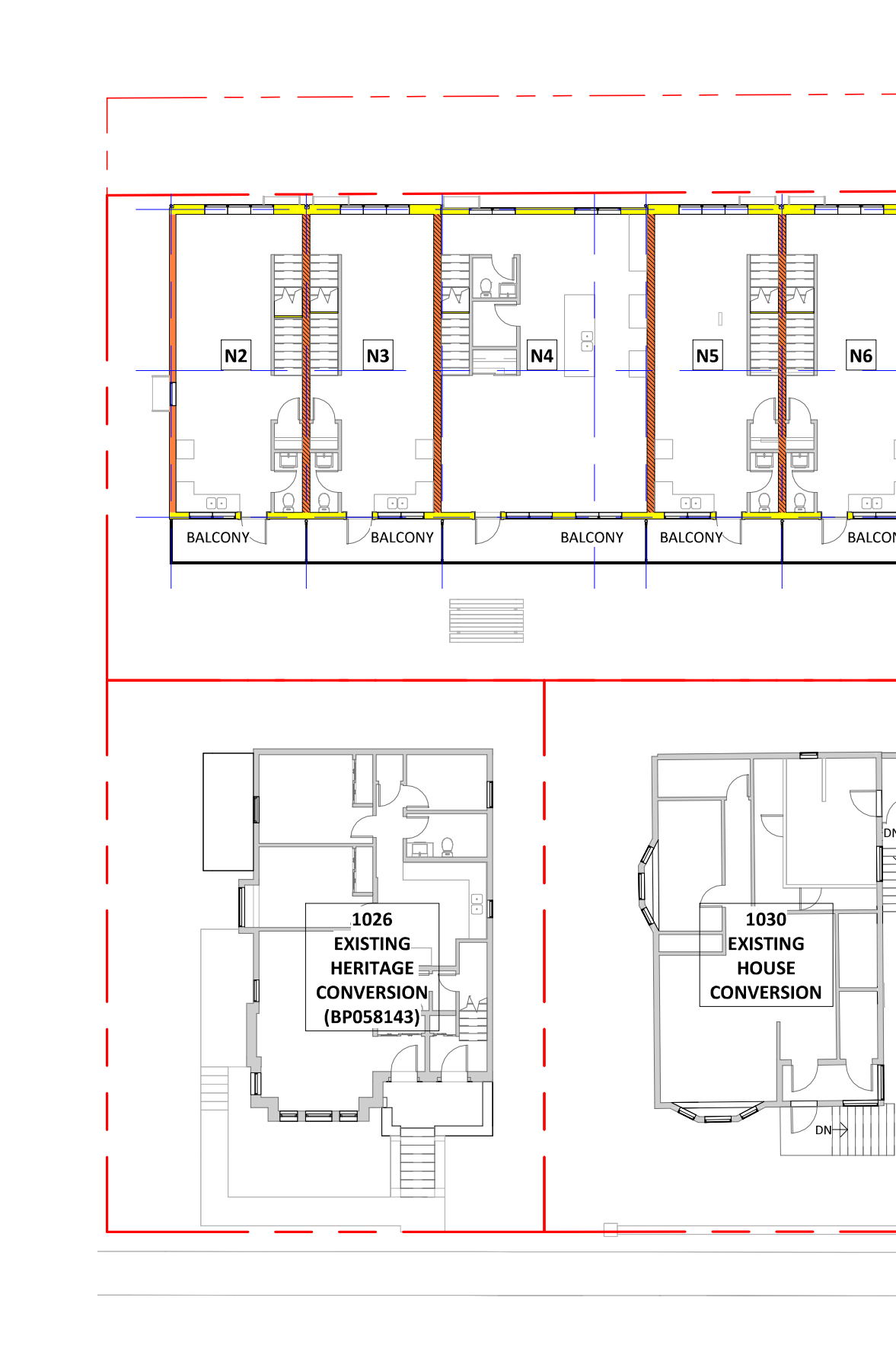


9 SPATIAL SEPARATIONS - NORTH ELEVATIONS OF EX. BLDGS. (1026 & 1030)
A0.02 1 : 200

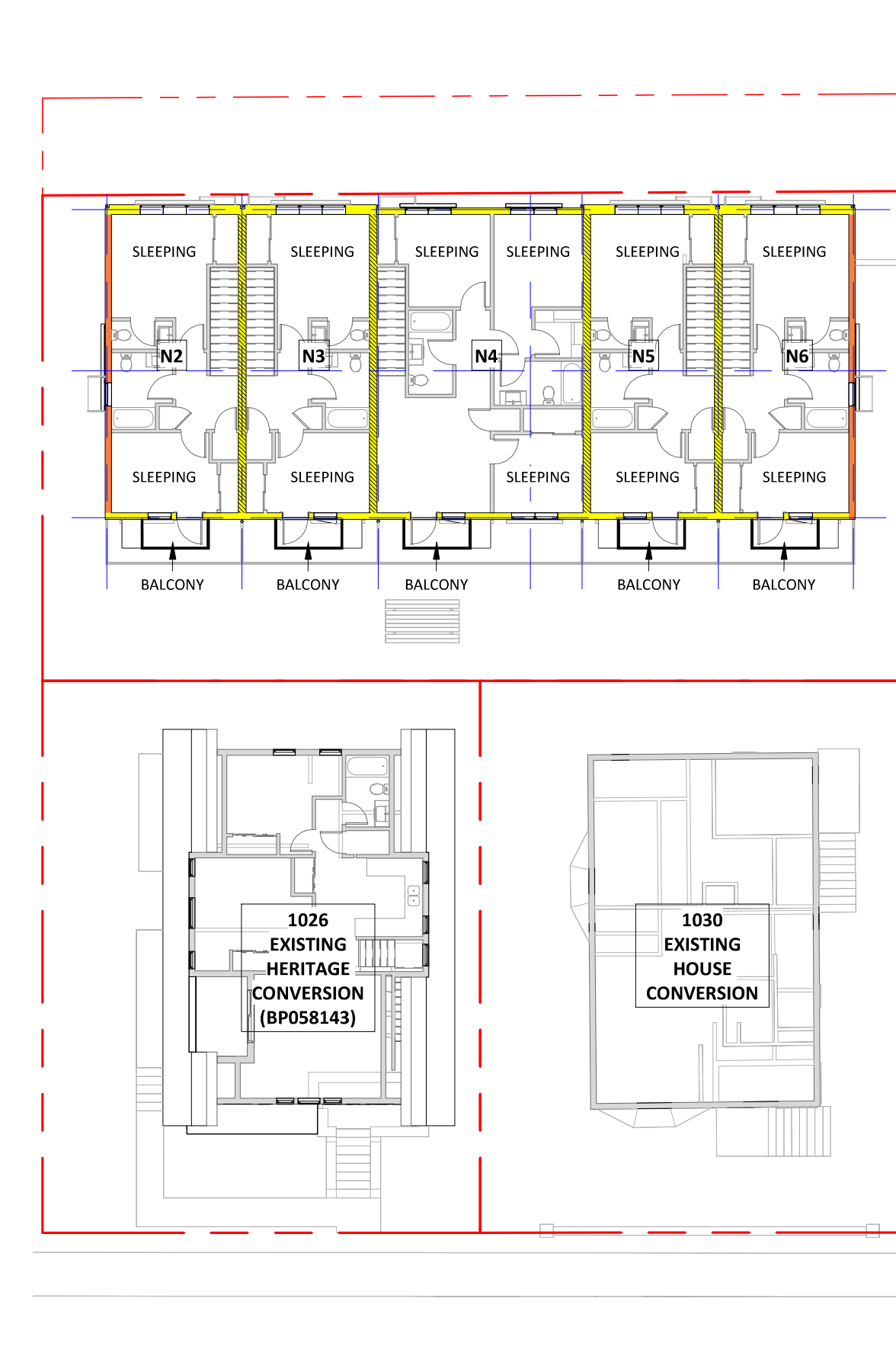
Code Compliance Drawing Legend



1 BUILDING CODE COMPLIANCE PLAN - LEVEL 1
A0.02 1 : 200



2 BUILDING CODE COMPLIANCE PLAN - LEVEL 2
A0.02 1 : 200



3 BUILDING CODE COMPLIANCE PLAN - LEVEL 3
A0.02 1 : 200

Christine Lintott Architects Inc.
Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue	Date
CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
REVISED REZ & DPV APPLICATION	26-JUL-2024
REZ& DPV REVISION #2	21-JAN-2024

Revision		
No.	Description	Date
1	CHANGES SINCE CALUC	2024-03-19
2	REZ/DPV REVISION	2024-07-26
3	REZ/DPV REV2 PENDING !!!	2024-12-xx

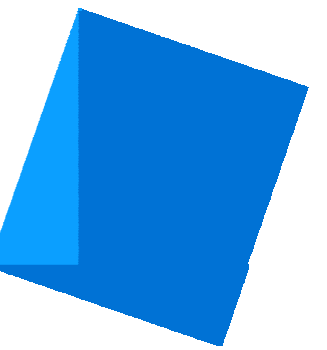
Consultant Seal
REGISTERED ARCHITECT
TIMOTHY KINDER
BRITISH COLUMBIA
2025-01-21

Empress Townhouses
1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

BUILDING CODE ANALYSIS

Date	2025-01-21 9:44:36 AM
Drawn by	TK
Checked by	CLA

A0.02
Project # 23-24 Scale As indicated



BC Land Surveyors Site Plan of
1026 and 1030 Empress Avenue

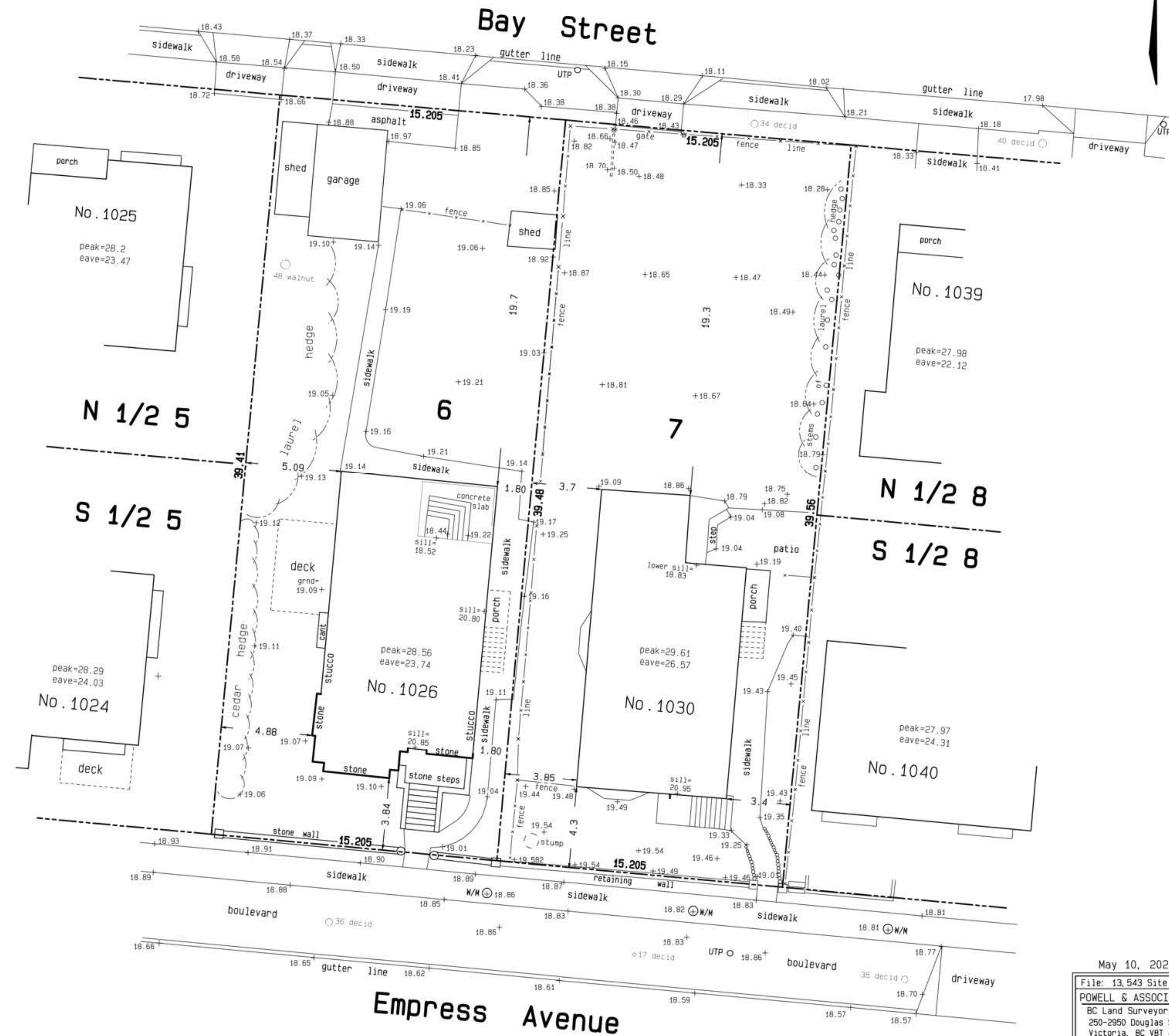
Legal - Lots 6 & 7, Block B, Section 3, Victoria District, Plan 957
Parcel Identifiers: 000-213-527 and 000-848-492

The following non-financial charges are shown on the current titles which may effect the properties - RC 2054186 and RC 563786

Scale - 1:150
Distances are in metres

Geodetic elevations shown + (in METRES)

Site Areas = 599.8 m² and 600.9 m²
UTP denotes utility pole
W/M denotes water meter



May 10, 2022
File: 13_543 Site (26)
POMELL & ASSOCIATES
BC Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Issue Date

CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT	19-MAR-2024
PERMIT W/VARIANCE	
REVISED REZ & DPV APPLICATION	26-JUL-2024
REZ& DPV REVISION #2	21-JAN-2024

Revision

No. Description Date

Consultant Seal

SURVEY DRAWING
ARCHITECTURAL SEAL NOT REQUIRED

Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

SITE SURVEY

Date 2025-01-21 9:44:36 AM

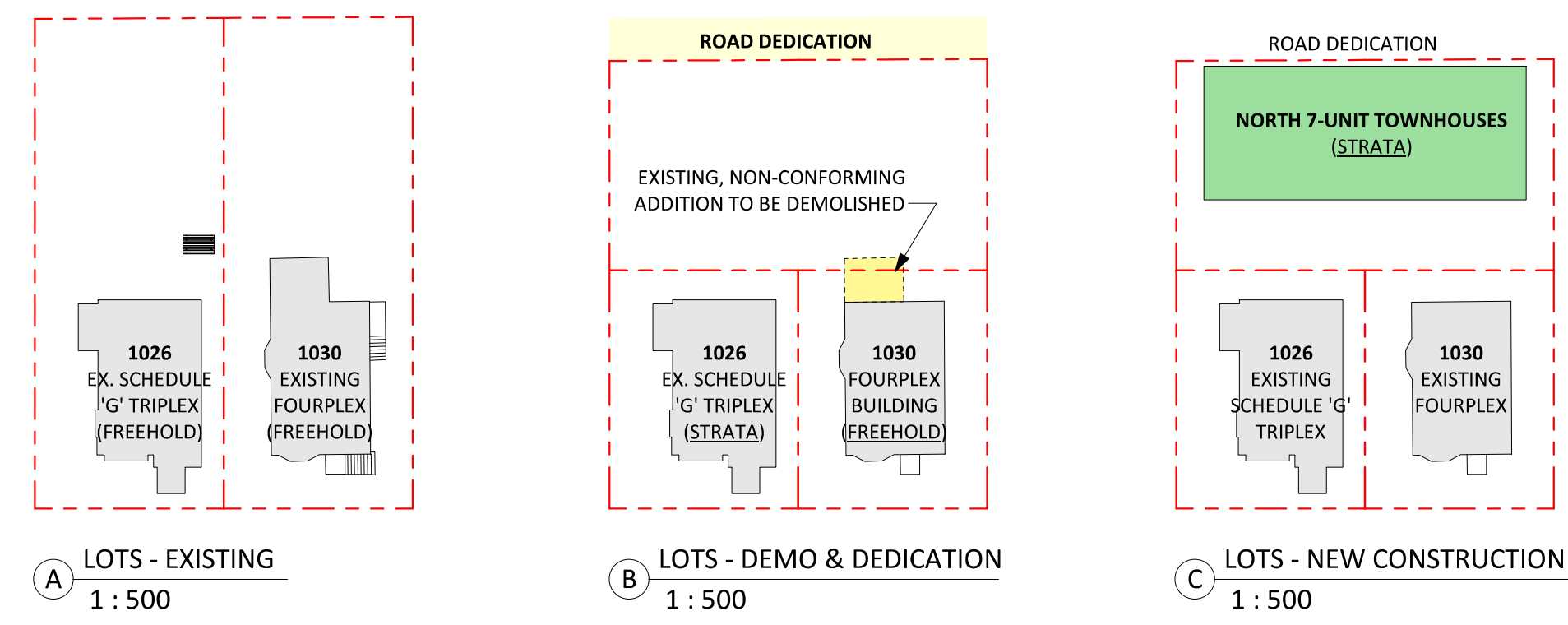
Drawn by SURVEYOR

Checked by -

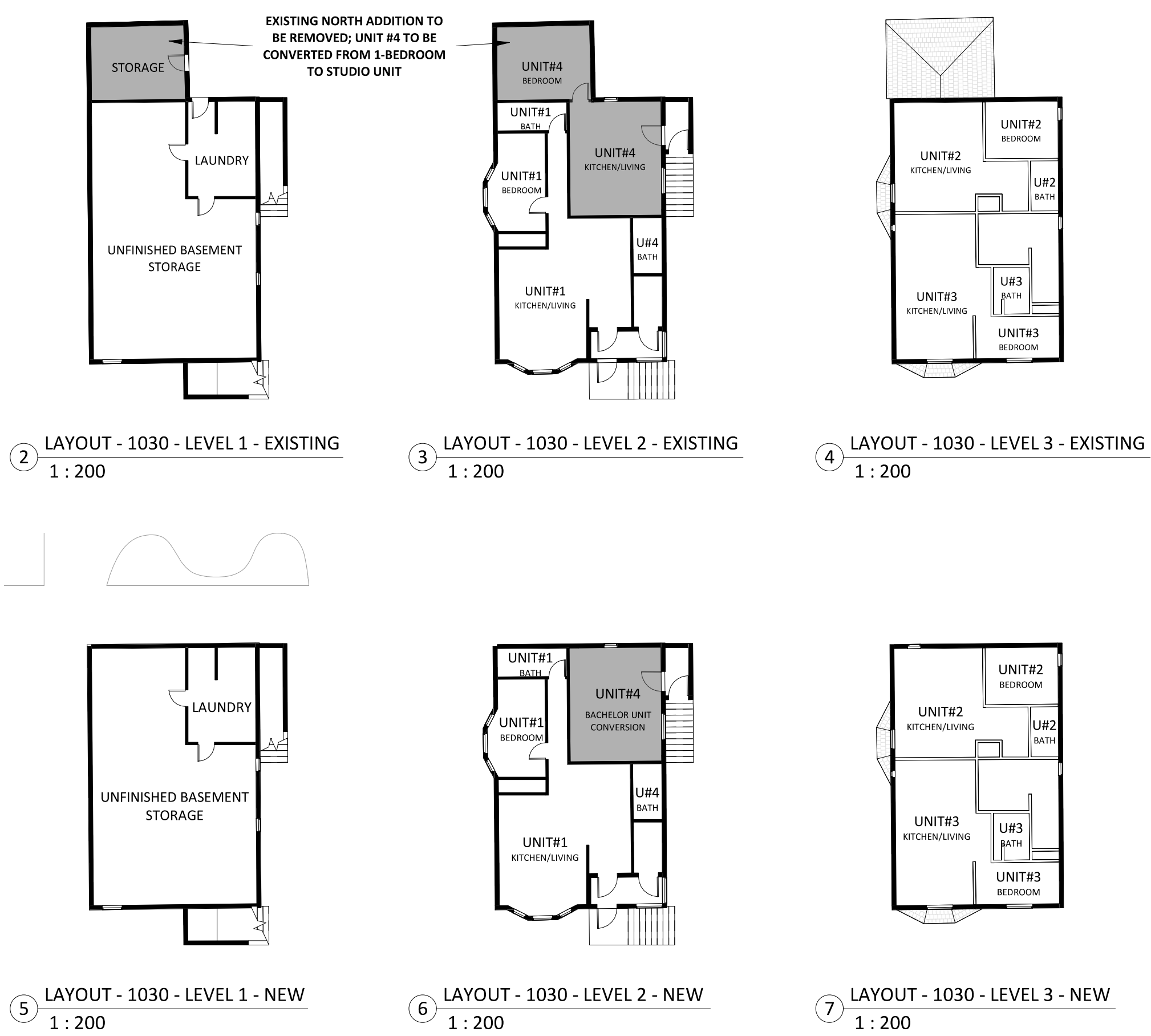
A1.00

Project # 23-24 Scale

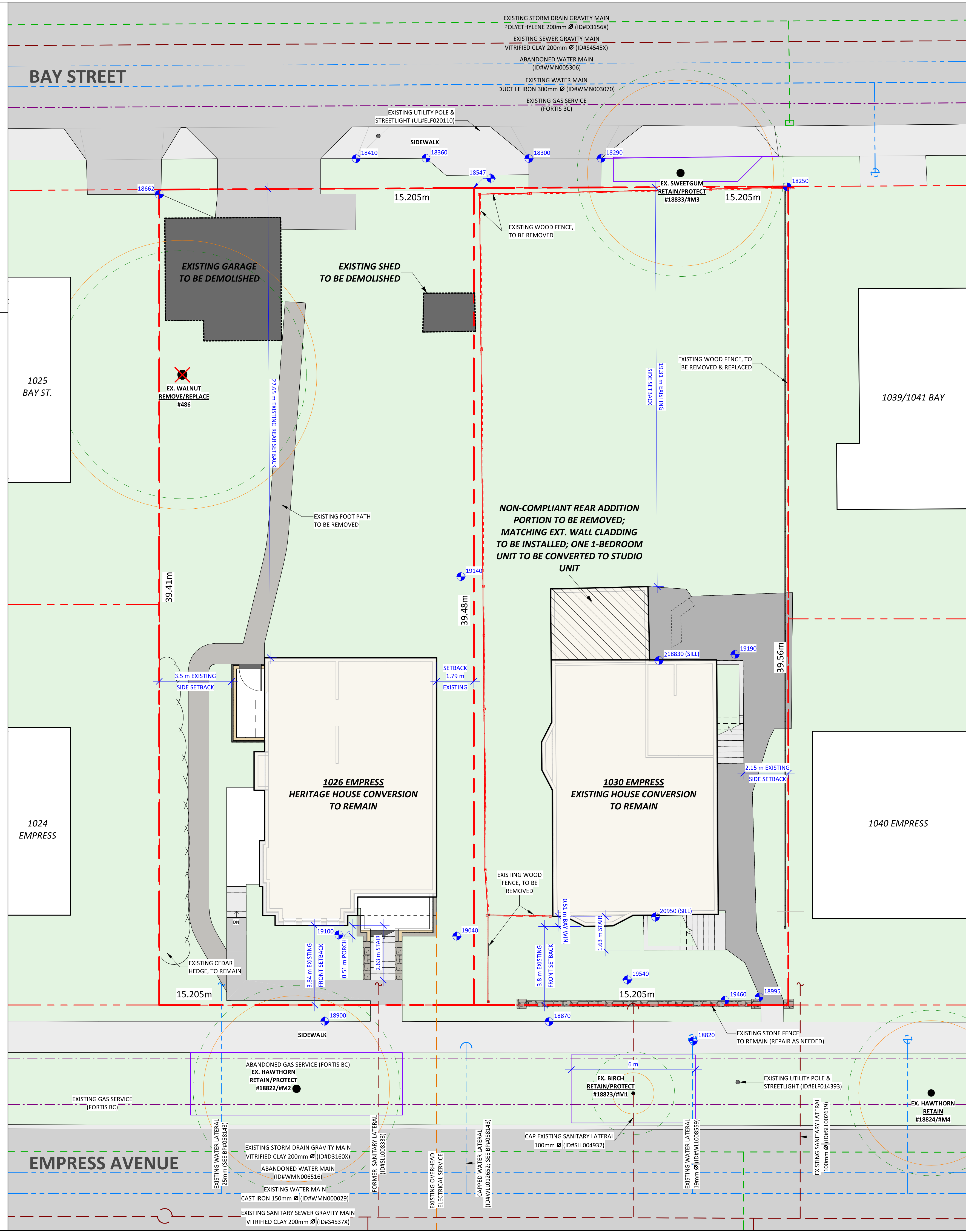
Strata Phasing Development Plan



1030 Empress - Existing & Proposed Floor Plan Layouts



1 SITE PLAN - EXISTING
A0.02 1:100



Christine Lintott Architects Inc.

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Issue	Date
CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
REVISED REZ & DPV APPLICATION	26-JUL-2024
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Consultant Seal

Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

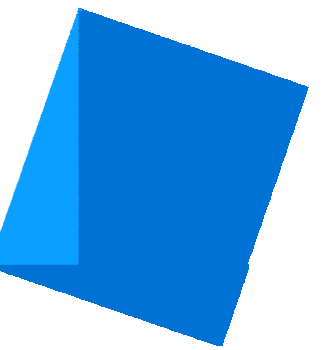
SITE PLAN - EXISTING & STRATA PHASING

Date: 2025-01-21 9:44:38 AM
Drawn by: KKD, TK
Checked by: CLA

A1.01

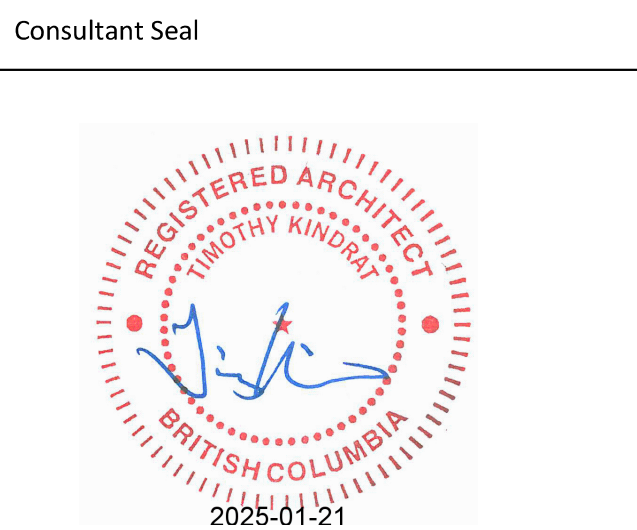
Project # 23-24 Scale As indicated

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Issue	Date
CALUC PRELIM. COMMENT	15-SEP-2023
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Empress Townhouses

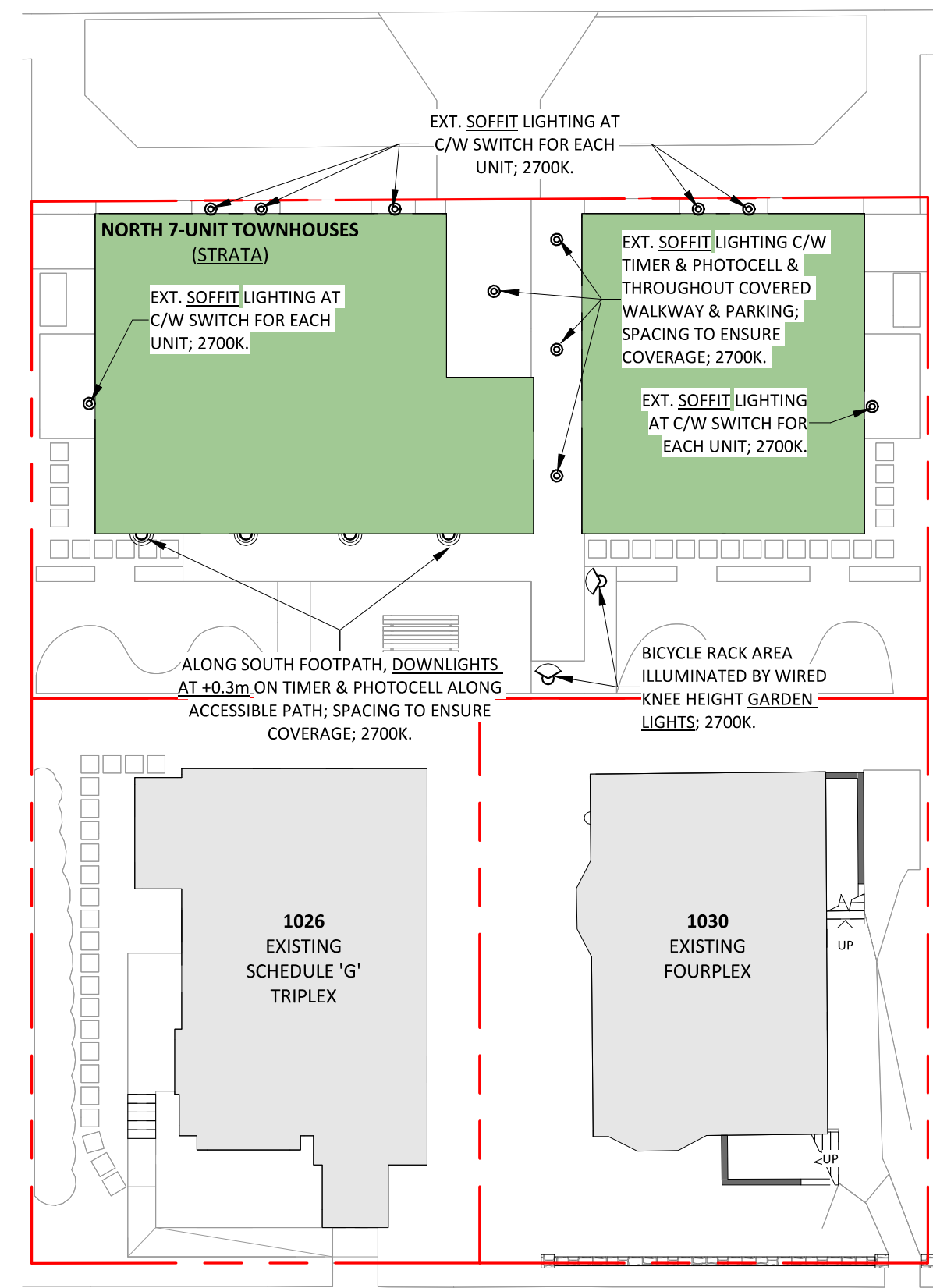
1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

SITE PLAN - PROPOSED

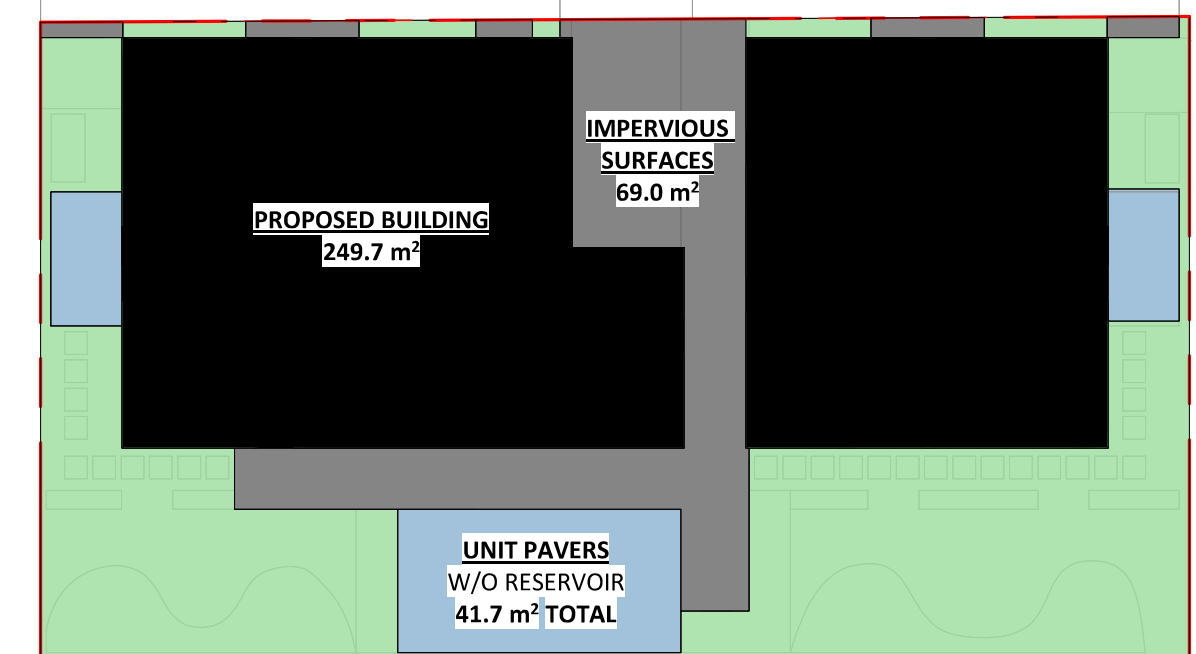
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Drawn by	KKD, TK
Checked by	CLA

A1.02

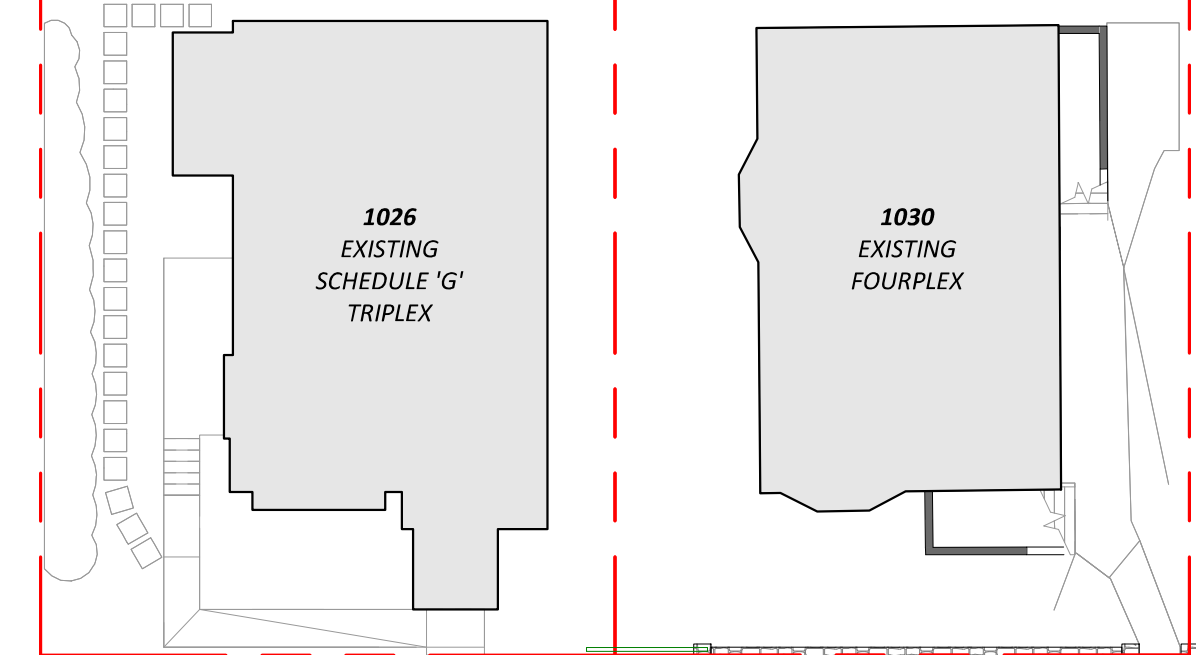
Project # 23-24 Scale As indicated



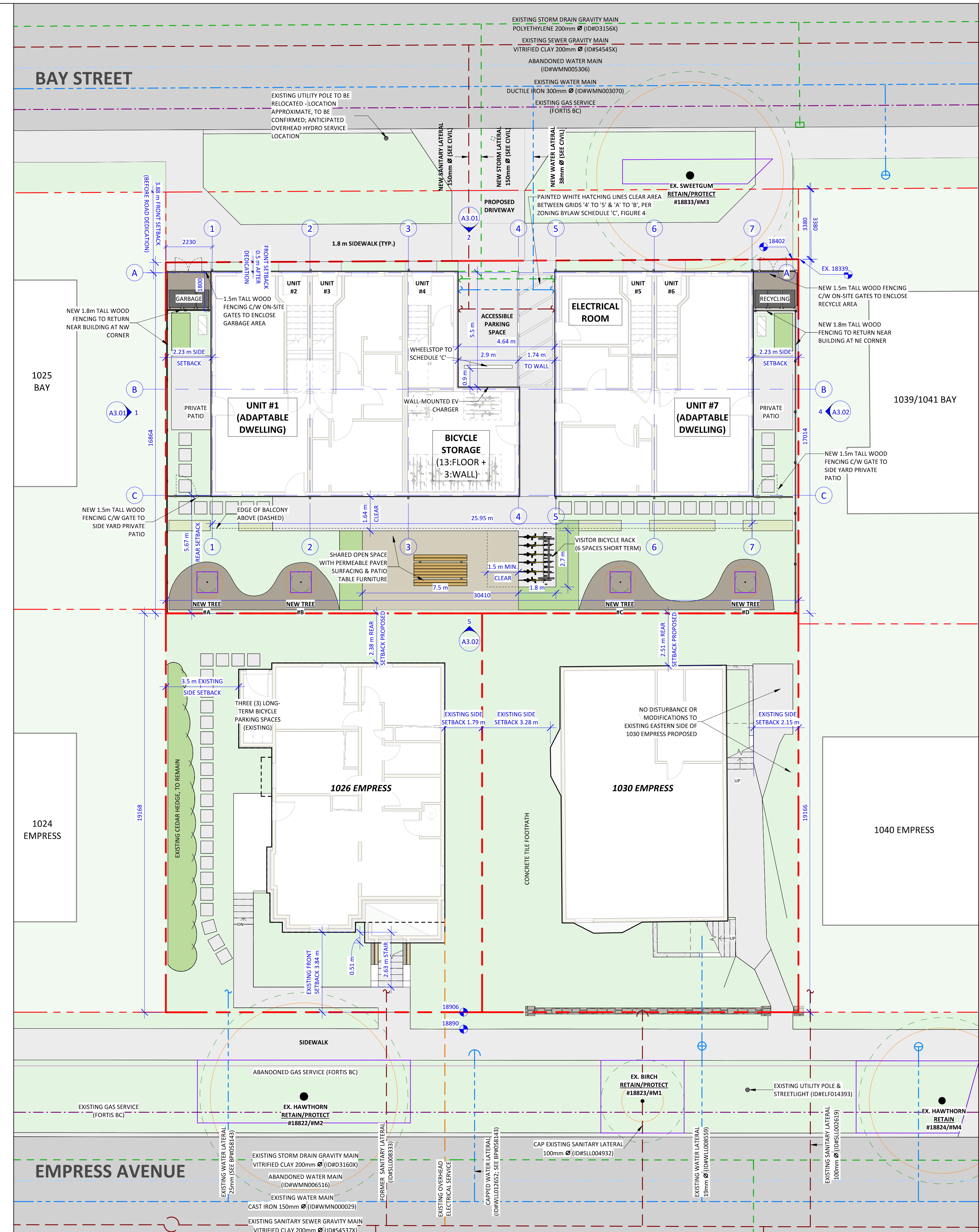
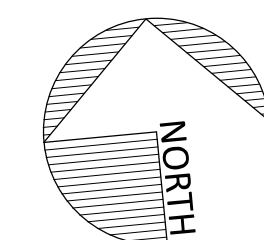
3 LIGHTING PLAN - PROPOSED
A0.02 1 : 200



2 STORMWATER MANAGEMENT CONCEPT PLAN
A0.02 1 : 200



1 SITE PLAN - PROPOSED
A0.02 1 : 100



Tree Inventory (All measurements in mm)									
NO.	COMMON NAME	LATIN NAME	D.B.H.	CANOPY SPREAD	C.R.Z.	PROTECT ED	RETAINED	COMMENTS	
486	ENGLISH WALNUT	JUNGLINS REGIA	470	13000	6000	Yes	No	TO BE REMOVED	
18822/M2	COCKSPUR HAWTHORN	CRATAGUS CRUS-GALLI	390	9000	5000	Yes	Yes	BOULEVARD AT 1026 EMPRESS	
18823/M1	PAPER BIRCH	BETULA PAPIRYFERA	170	2000	2000	Yes	Yes	BOULEVARD AT 1030 EMPRESS	
18824/M4	COCKSPUR HAWTHORN	CRATAGUS CRUS-GALLI	340	7000	4000	Yes	Yes	BOULEVARD AT 1040 EMPRESS	
18833/M3	AMERICAN SWEETGUM	LIQUIDAMBAR STYRACIFLUA	380	9000	5000	Yes	Yes	BOULEVARD AT 1030 BAY	
A (NEW)	JAPANESE KATSURA	CERCIDIPHYLLUM JAPONICUM	60	1500	500	Yes	No	NEW MEDIUM REPLACEMENT	
B (NEW)	JAPANESE KATSURA	CERCIDIPHYLLUM JAPONICUM	60	1500	500	Yes	No	NEW MEDIUM REPLACEMENT	
C (NEW)	GARRY OAK	QUERCUS GARRYANA	60	1500	500	Yes	No	NEW LARGE REPLACEMENT	
D (NEW)	GARRY OAK	QUERCUS GARRYANA	60	1500	500	Yes	No	NEW LARGE REPLACEMENT	

SITE LEGEND

- SITE - Easement
- SITE - Gas Services
- SITE - Hydro/Tel/Cable
- SITE - Property Line
- SITE - Sanitary Sewer
- SITE - Storm Service
- SITE - Travel Distance
- SITE - Water Service

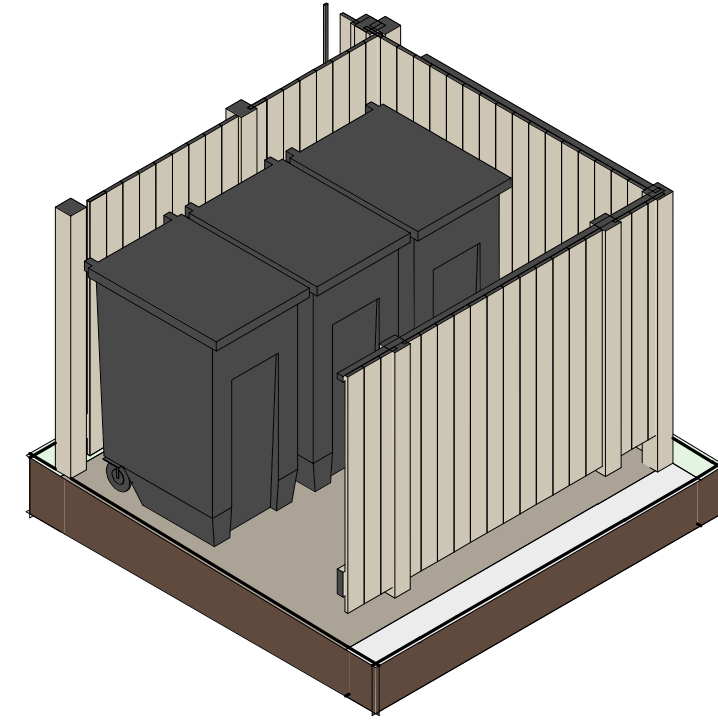
LANDSCAPE LEGEND

- 8 GRASS LAWN
- 9 GRAVEL (NON-DUSTY EPOXY TREATMENT WHEN <3M FROM PROPERTY LINE)
- 10 CONCRETE SLABS ON GRADE
- 11 PERMEABLE UNIT PAVERS
- 12 PLANTING - SHRUBS
- 13 PLANTING - HERBACEOUS AND GROUNDCOVER

Exterior Finishes Legend

- 1 ASPHALT ROOF SHINGLES - COLOUR: DARK GRAY (APPROXIMATE)
- 2 HORIZONTAL CEMENTITIOUS LAP SIDING - COLOUR: "MOUNTAIN SAGE"
- 3 CEMENTITIOUS SHINGLE SIDING - COLOUR: "CHANTILLY LACE"
- 4 VERTICAL CEMENTITIOUS BOARD & BATTEN SIDING - COLOUR: "CHANTILLY LACE"
- 5 PAINTED TRIM, TYPICAL - COLOUR: "IRON GREY"
- 6 RAINWATER LEADERS & GUTTERS - COLOUR: BLACK (APPROXIMATE)
- 7 WINDOWS, DOORS & METAL - COLOUR: WHITE (APPROXIMATE)
- 8 SITE - GREEN LAWN
- 9 SITE - GRAVEL PATHWAY (NON-DUST EPOXY TREATMENT WHERE <3m FROM PROPERTY LINE)
- 10 SITE - CONCRETE SLABS ON GRADE
- 11 SITE - PERMEABLE UNIT PAVERS
- 12 SITE - PLANTING - SHRUBS
- 13 SITE - PLANTING - HERBACEOUS AND GROUNDCOVER

WOOD FENCING (1.8m TALL) ALONG PROPERTY LINES AND SCREENING (1.5m TALL) AROUND REFUSE & RECYCLING SCREENING TO CONSIST OF CEDAR OR P.T. VERTICAL POSTS & 2X6 OR 2X8 HORIZONTAL RAILS, WITH FENCING OF 19mm THICK CEDAR LUMBER; GATES (PLAN SWING DASHED) OF MATCHING MATERIAL. HARDWARE NOT SHOWN

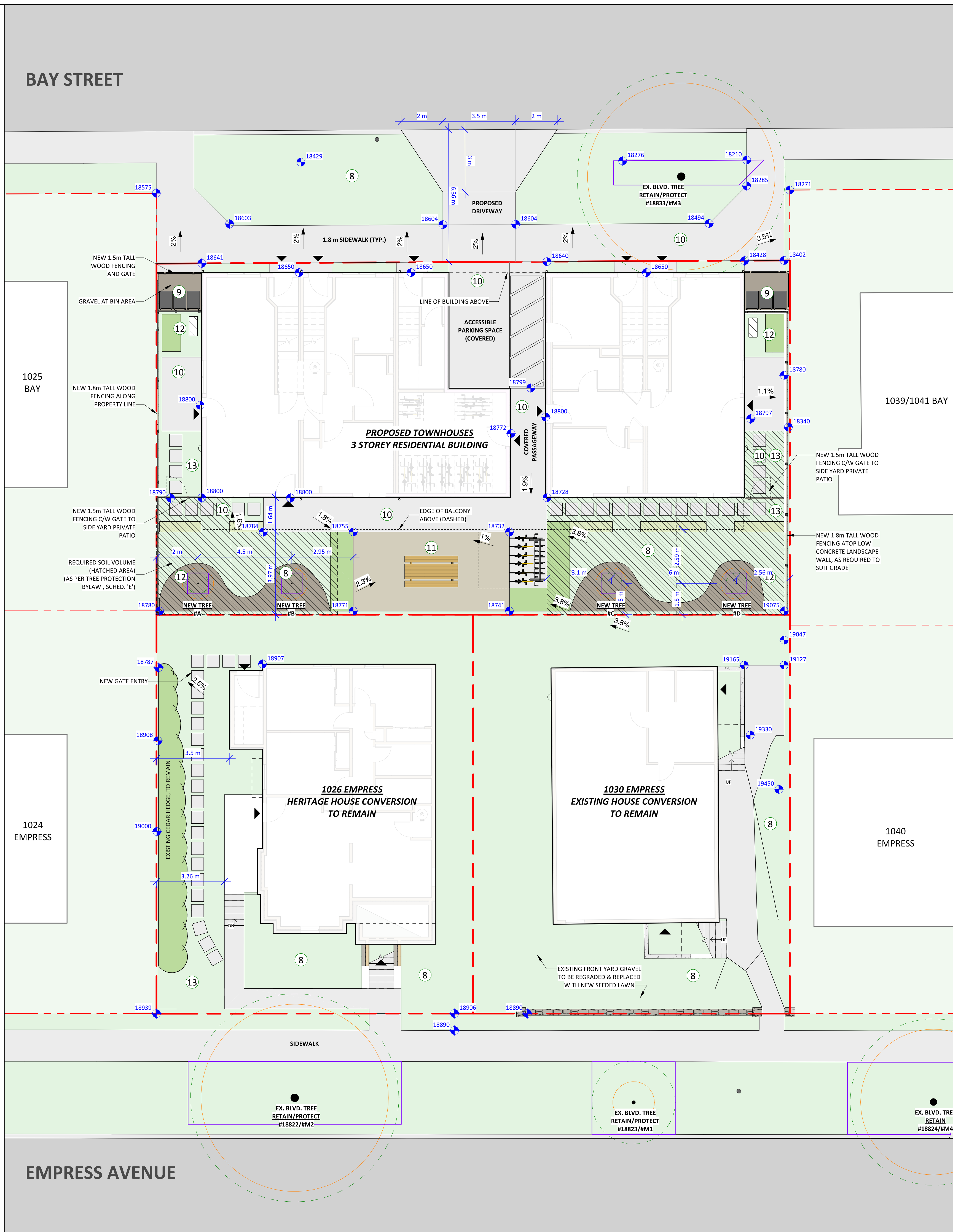


3 3D - Garbage Enclosure Axo

Plant List

Botanical Name	Common Name	Size	Count
Trees			
Quercus garryana	Garry Oak	6cm cal.	3
Shrubs - Average spacing 1 plant / sq.m.			
Symphoricarpos albus	Snowberry	#2 pot	
Cornus sericea 'Arctic Fire'	'Arctic Fire' Red-osier dogwood...	#2 pot	
Polystichum munitum	Sword Fern	#1 pot	
Dryopteris erythrosora	Autumn Fern	#1 pot	
Vaccinium ovatum	Evergren huckleberry	#2 pot	
Herbaceous and Groundcover - Average spacing 3 plants / sq.m.			
Calamagrostis x acutiflora 'Karl Foerster'	Feather reed grass	#1 pot	
Koeleria macantha	Junegrass	#1 pot	
Plectritis congesta	Sea Blush	Seed	
Sedum ssp.	Stonecrop	Cutting	
Camassia leichtlinii ssp. Suksdorfii	Great Camas	Bulb	
Thymus serpyllum	Creeping Thyme	#1 pot	
Cerastium arvense	Fiel Chickweed	#1 pot	
Achillea millefolium	Yarrow	#1 pot	
Eriophyllum lanatum	Woolly Sunflower	#1 pot	
Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	

1 SITE PLAN - LANDSCAPE PLAN
A0.02 1 : 100

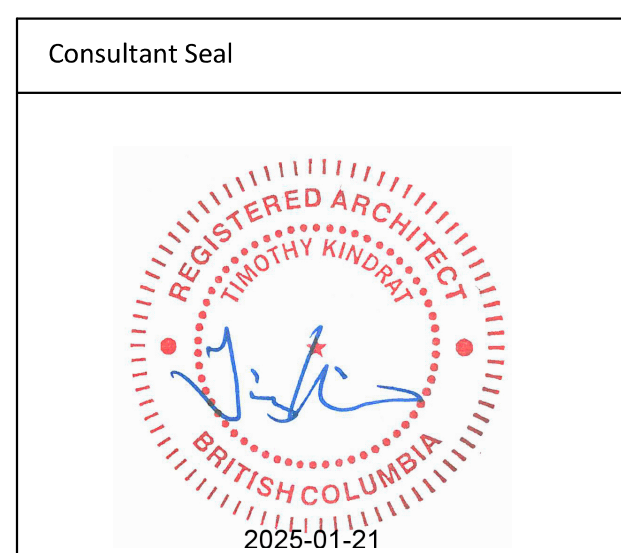


Christine Lintott Architects Inc.

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Telephone: 250.384.1969
www.lintottarchitect.ca

Issue	Date
CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
REVISED REZ & DPV APPLICATION	26-JUL-2024
REZ & DPV REVISION #2	21-JAN-2024

Revision		
No.	Description	Date
1	CHANGES SINCE CALUC	2024-03-19
2	REZ/DPV REVISION	2024-07-26
3	REZ/DPV REV2 PENDING !!!	2024-12-xx



Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

SITE PLAN - LANDSCAPE PLAN

Date	2025-01-21 9:44:48 AM
Drawn by	KKD, TK
Checked by	CLA

A1.03

Project # 23-24 Scale As indicated



2 STREET ELEVATION - NORTH
1 : 200



1 STREET ELEVATION - SOUTH
1 : 200



VIEW FROM REAR YARD OF 1024 EMPRESS/1025 BAY



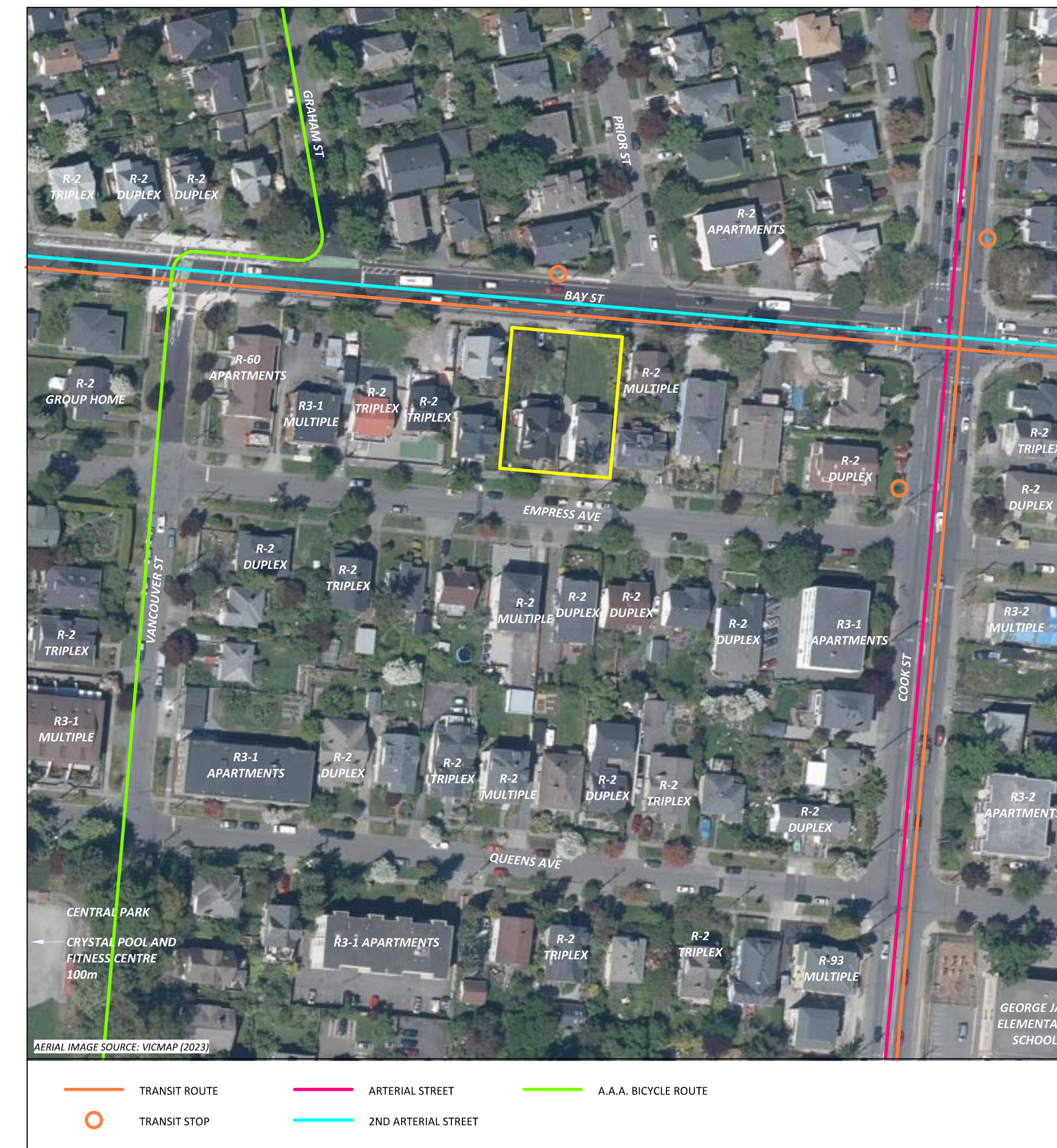
VIEW FROM REAR YARD OF 1039/1041 BAY AND 1040 EMPRESS



PERSPECTIVE VIEW FROM BAY STREET



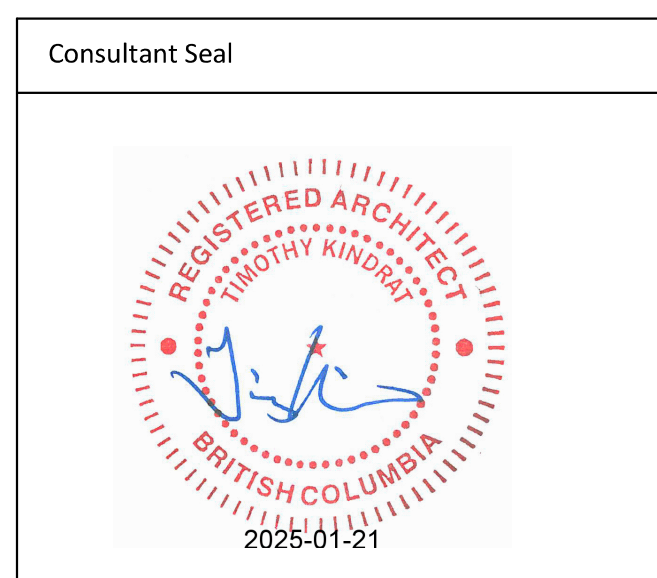
PERSPECTIVE VIEW FROM EMPRESS AVE



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Empress Townhouses
 1026/1028 & 1030
 Empress Avenue
 Victoria, BC V8T 1P2

CONTEXT & 3D PERSPECTIVES

Date	2025-01-21 9:44:56 AM
Drawn by	-
Checked by	CLA

A1.11
 Project # 23-24 Scale As indicated

Issue	Date
CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
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REZ& DPV REVISION #2	21-JAN-2024

Revision		
No.	Description	Date
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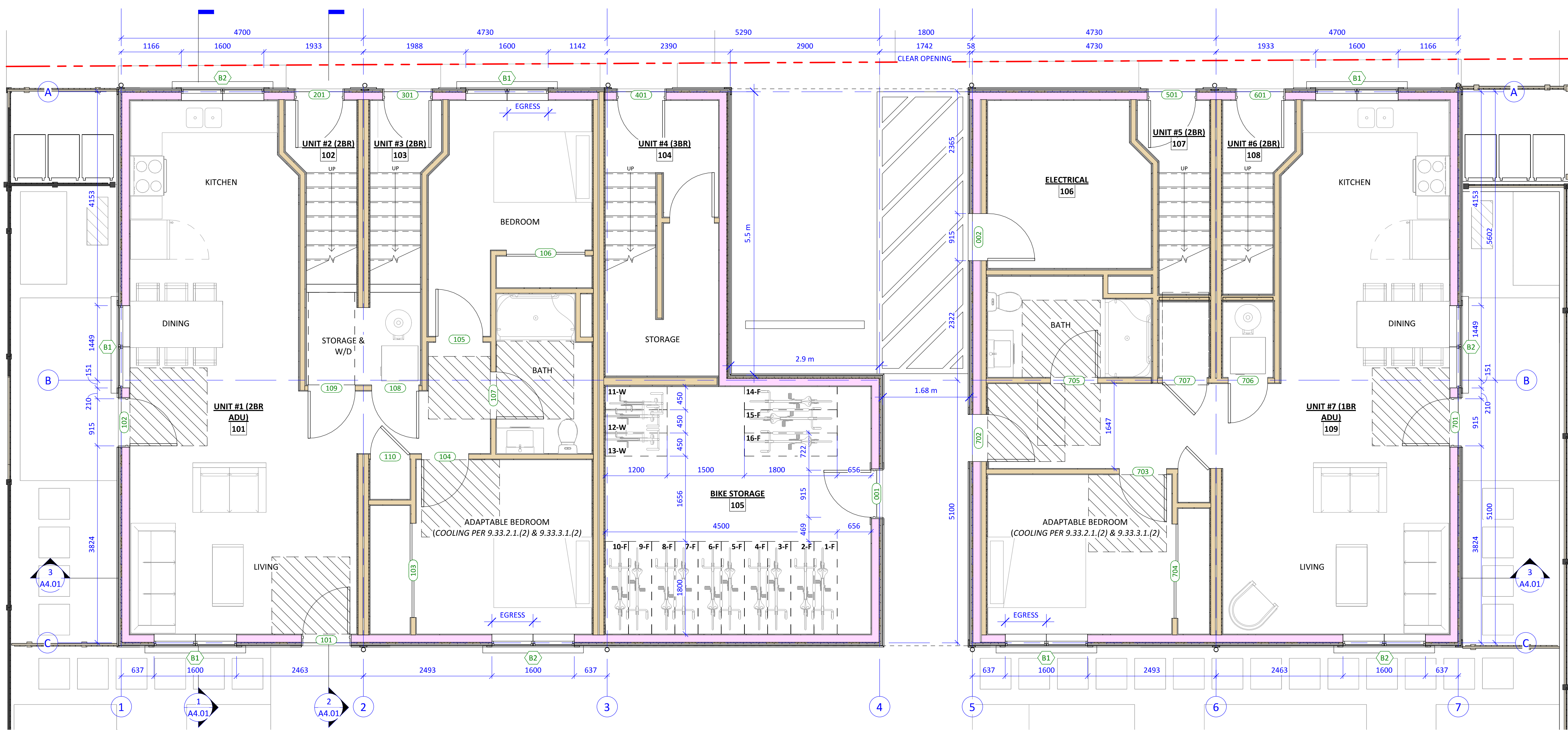
Empress Townhouses
 1026/1028 & 1030
 Empress Avenue
 Victoria, BC V8T 1P2

FLOOR PLANS - LEVELS 1 & 2

Date	2025-01-21 9:45:01 AM
Drawn by	KKD
Checked by	CLA
A2.01	
Project #	23-24 Scale 1:50



2 TOWNHOUSE FLOOR PLAN - LEVEL 2
 1:50



1 TOWNHOUSE FLOOR PLAN - LEVEL 1
 1:50

Issue	Date
CALCULATED PRELIMINARY COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
REVISED REZ & DPV APPLICATION	26-JUL-2024
REZ & DPV REVISION #2	21-JAN-2024

Revision		
No.	Description	Date
1	CHANGES SINCE CALCULATED	2024-03-19
2	REZ/DPV REVISION	2024-07-26
3	REZ/DPV REV2 PENDING !!!	2024-12-xx

3 TOWNHOUSE FLOOR PLAN - LEVEL 3
 A0.02 1:50

4 TOWNHOUSE ROOF PLAN
 A0.02 1:50



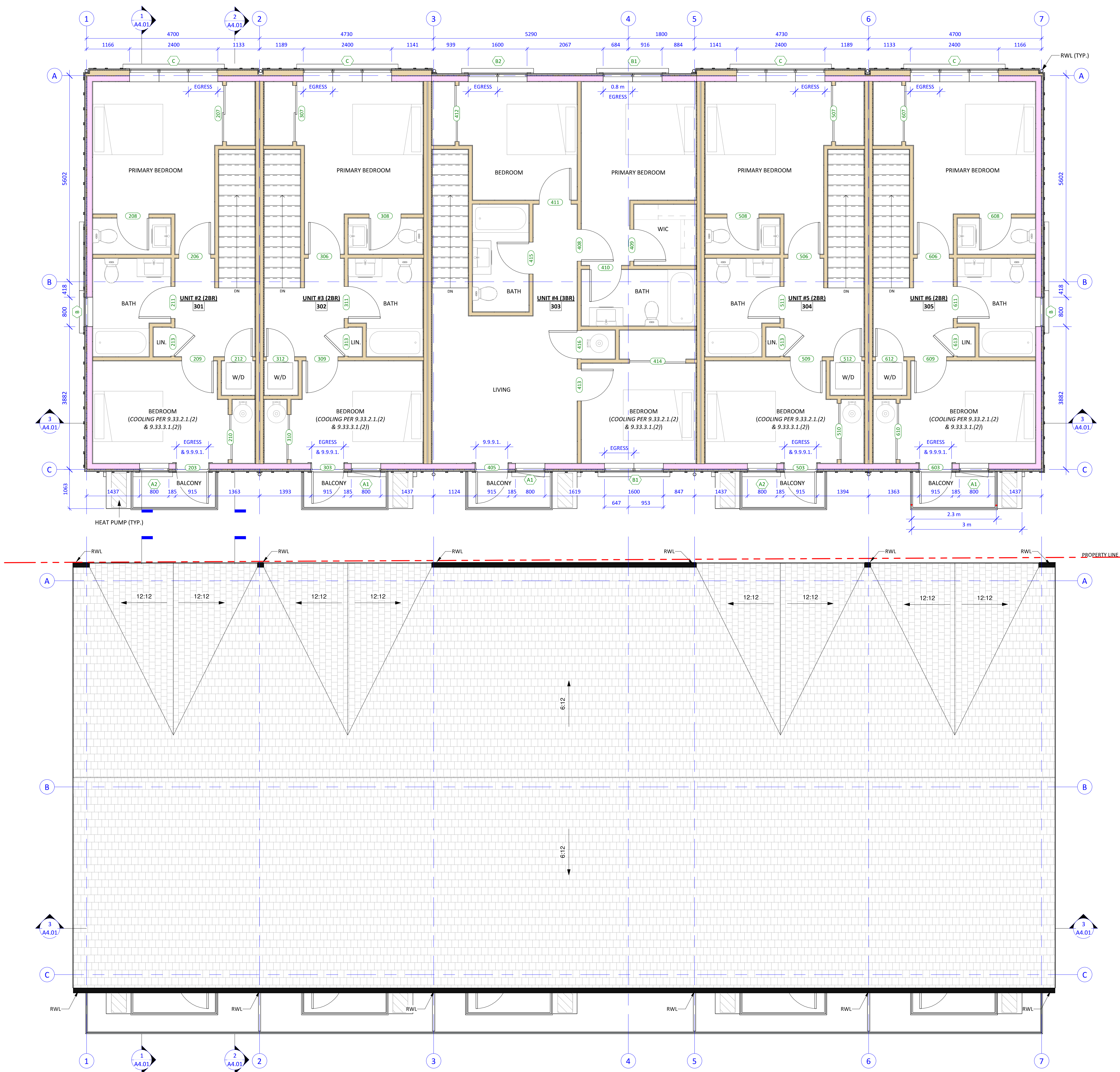
Empress Townhouses

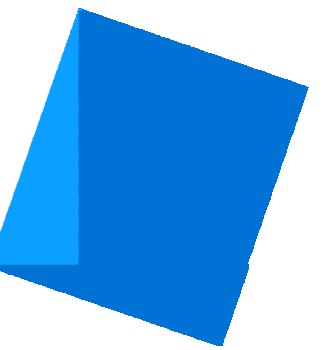
1026/1028 & 1030
 Empress Avenue
 Victoria, BC V8T 1P2

FLOOR PLANS - LEVELS 3 & ROOF

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Drawn by	KKD
Checked by	CLA

A2.02

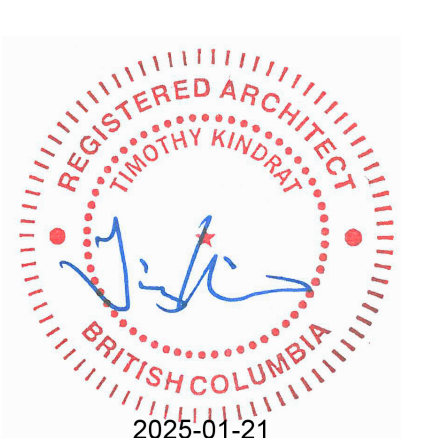




Issue	Date
CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
REVISED REZ & DPV APPLICATION	26-JUL-2024
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Revision	No.	Description	Date
	1	CHANGES SINCE CALUC	2024-03-19
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	3	REZ/DPV REV2 PENDING !!!	2024-12-xx

Consultant Seal



Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

BUILDING ELEVATIONS - NORTH (BAY) & WEST

Date	2025-01-21 9:45:08 AM
Drawn by	KKD
Checked by	CLA

A3.01

Project # 23-24 Scale As indicated



2 NORTH ELEVATION - BAY STREET
A1.02 1 : 50

"MOUNTAIN SAGE"
(HARDIEPLANK)
• CEMENTITIOUS LAP SIDING

"CHANTILLY LACE"
(BENJAMIN MOORE #OC-65)
• CEMENTITIOUS PANEL BOARD & BATTEN SIDING
• CEMENTITIOUS SHINGLE SIDING
• JULIET WOOD GUARD PICKETS

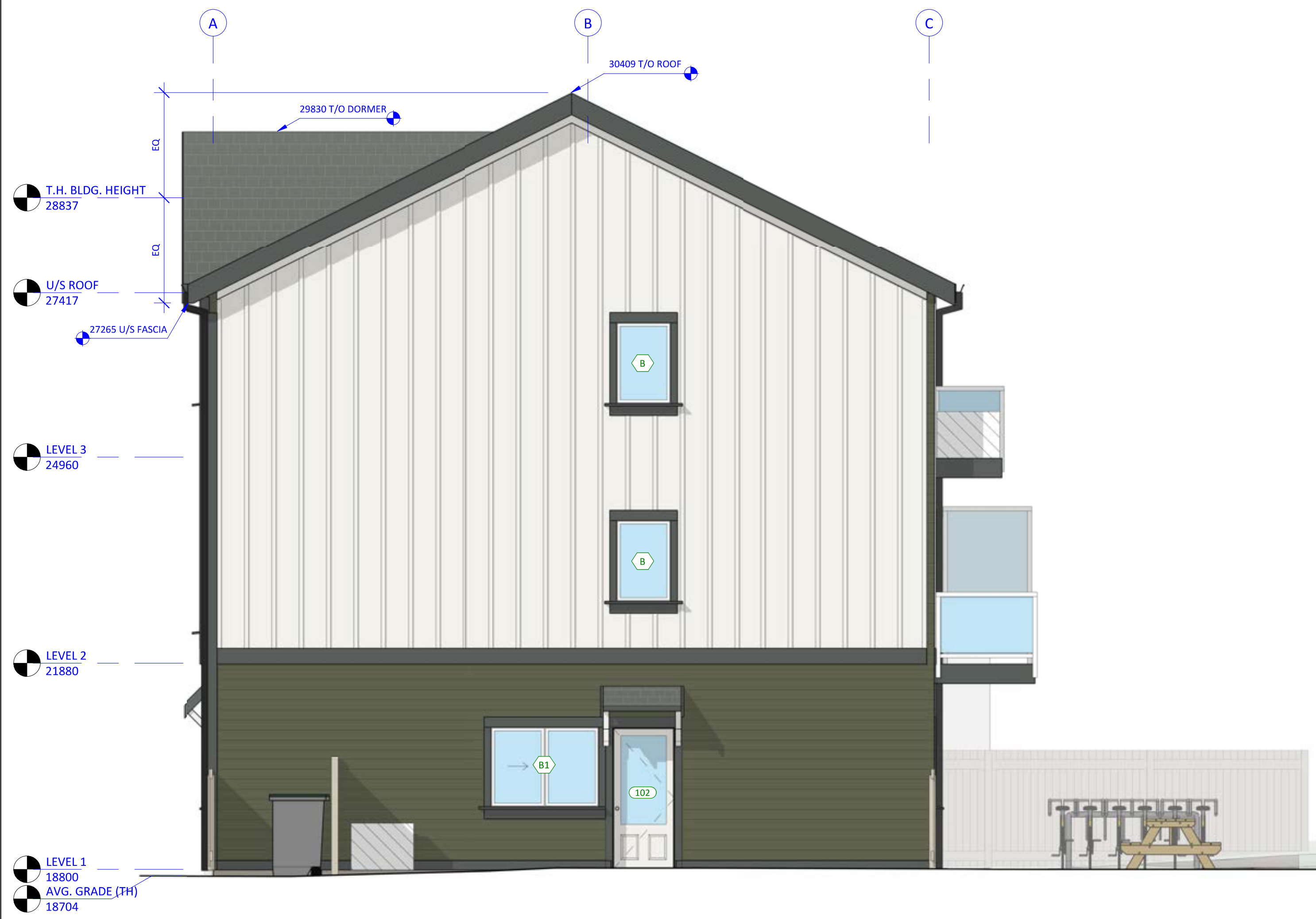
"IRON GREY"
(MATCH TO JAMES HARDIE)
• HORIZONTAL & CORNER TRIMS
• WINDOW TRIMS
• ROOF FASCIAS

BLACK
(PREFINISHED; COLOUR APPROXIMATE)
• RAIN WATER LEADERS
• GUTTERS

DARK GRAY
(COLOUR APPROXIMATE)
• ASPHALT ROOFING SHINGLES

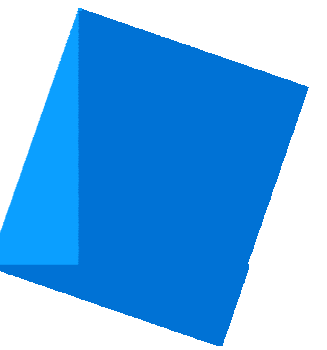
WHITE
(PREFINISHED; COLOUR APPROXIMATE)
• WINDOWS & DOORS
• METAL BALCONY RAILINGS & SCREENS

Exterior Finishes Legend	
1	ASPHALT ROOF SHINGLES - COLOUR: DARK GRAY (APPROXIMATE)
2	HORIZONTAL CEMENTITIOUS LAP SIDING - COLOUR: "MOUNTAIN SAGE"
3	CEMENTITIOUS SHINGLE SIDING - COLOUR: "CHANTILLY LACE"
4	VERTICAL CEMENTITIOUS BOARD & BATTEN SIDING - COLOUR: "CHANTILLY LACE"
5	PAINTED TRIM, TYPICAL - COLOUR: "IRON GREY"
6	RAINWATER LEADERS & GUTTERS - COLOUR: BLACK (APPROXIMATE)
7	WINDOWS, DOORS & METAL - COLOUR: WHITE (APPROXIMATE)
8	SITE - GREEN LAWN
9	SITE - GRAVEL PATHWAY (NON-DUST EPOXY TREATMENT WHERE <3m FROM PROPERTY LINE)
10	SITE - CONCRETE SLABS ON GRADE
11	SITE - PERMEABLE UNIT PAVERS
12	SITE - PLANTING - SHRUBS
13	SITE - PLANTING - HERBACEOUS AND GROUNDCOVER



1 ELEVATION - WEST
A1.02 1 : 50





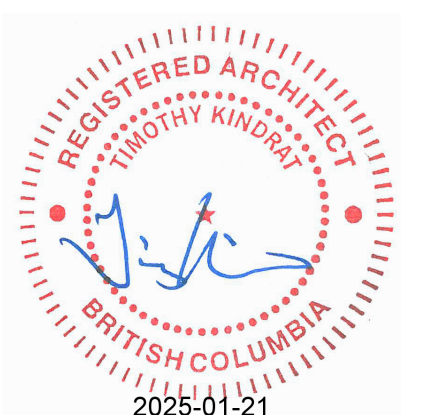
Issue Date

CALUC PRELIM. COMMENT	15-SEP-2023
REZONING & DEVELOPMENT PERMIT W/VARIANCE	19-MAR-2024
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Revision

No.	Description	Date
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Consultant Seal



Empress Townhouses

1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

BUILDING ELEVATIONS - EAST & SOUTH

Date 2025-01-21 9:45:13 AM

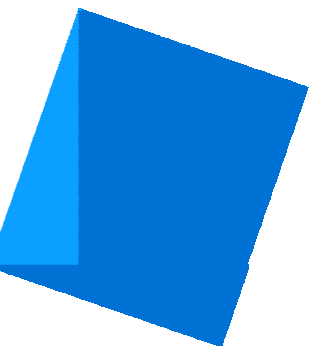
Drawn by KKD

Checked by CLA

A3.02

Project # 23-24 Scale 1 : 50

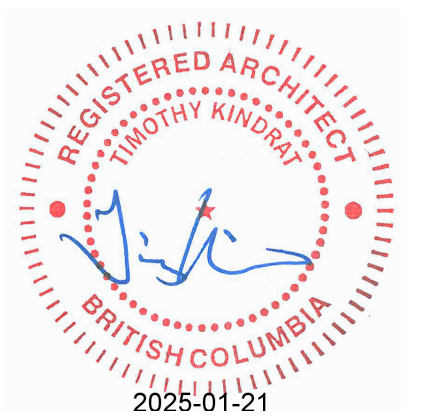




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Consultant Seal



Empress Townhouses

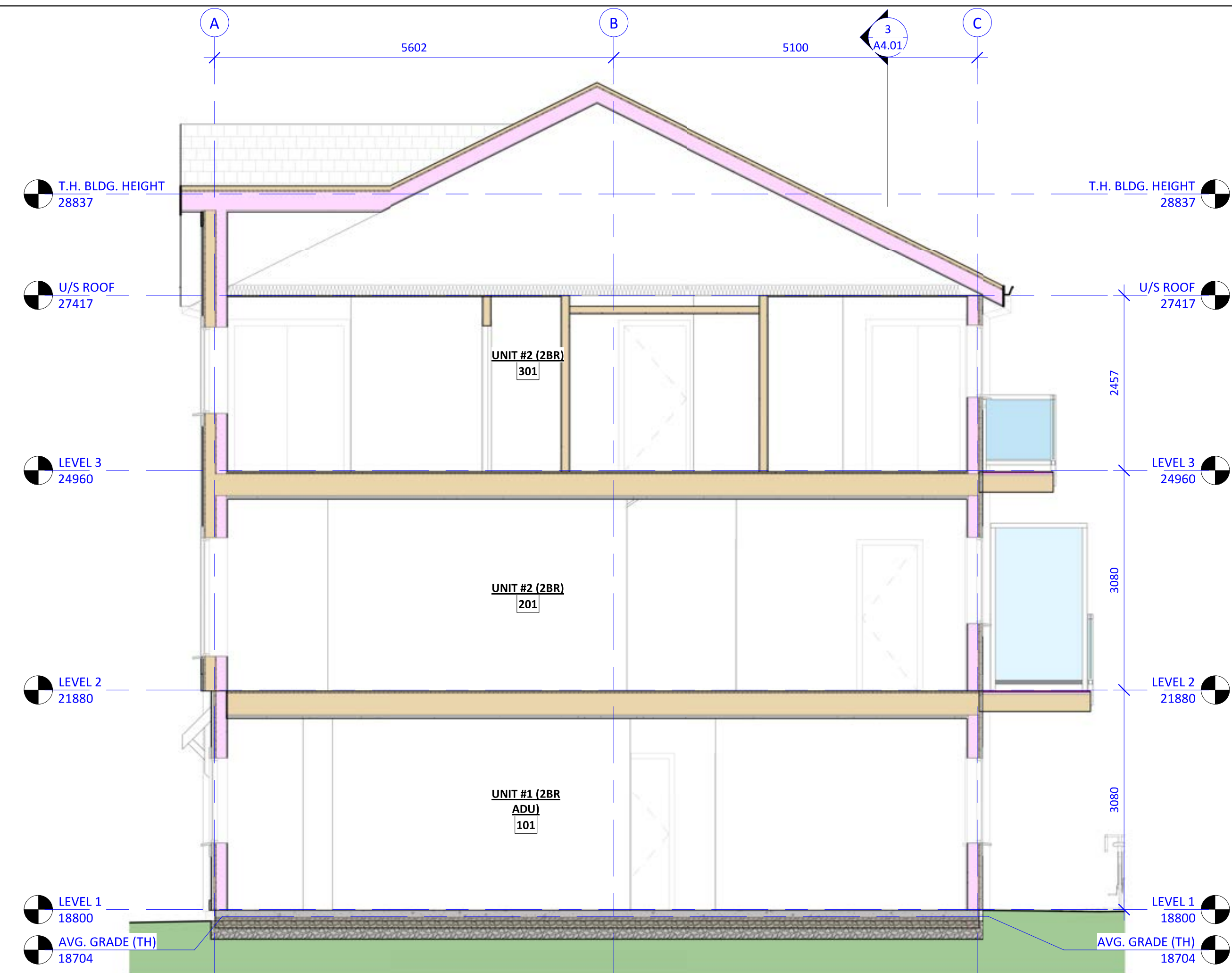
1026/1028 & 1030
Empress Avenue
Victoria, BC V8T 1P2

BUILDING SECTIONS

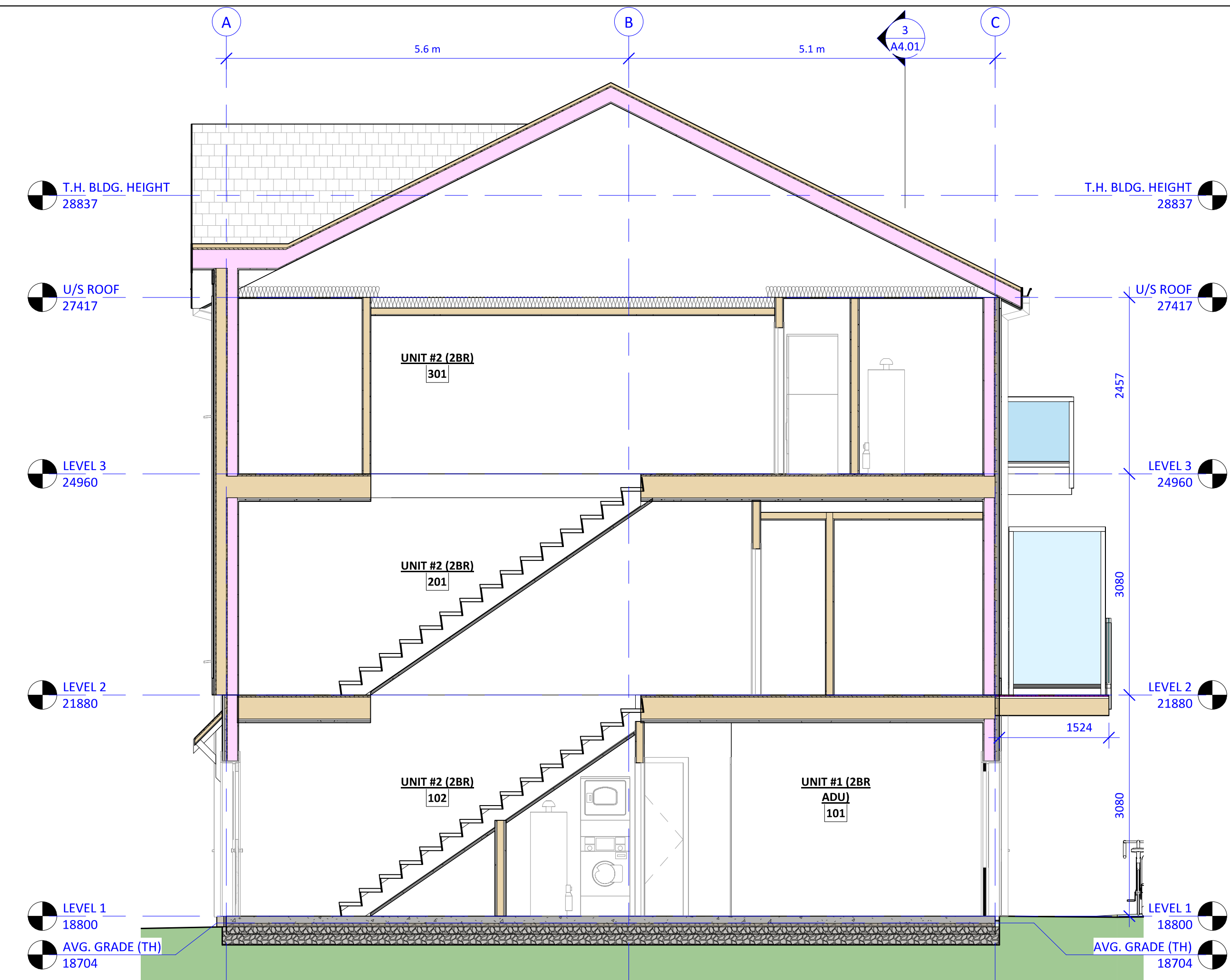
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Drawn by	KKD
Checked by	CLA

A4.01

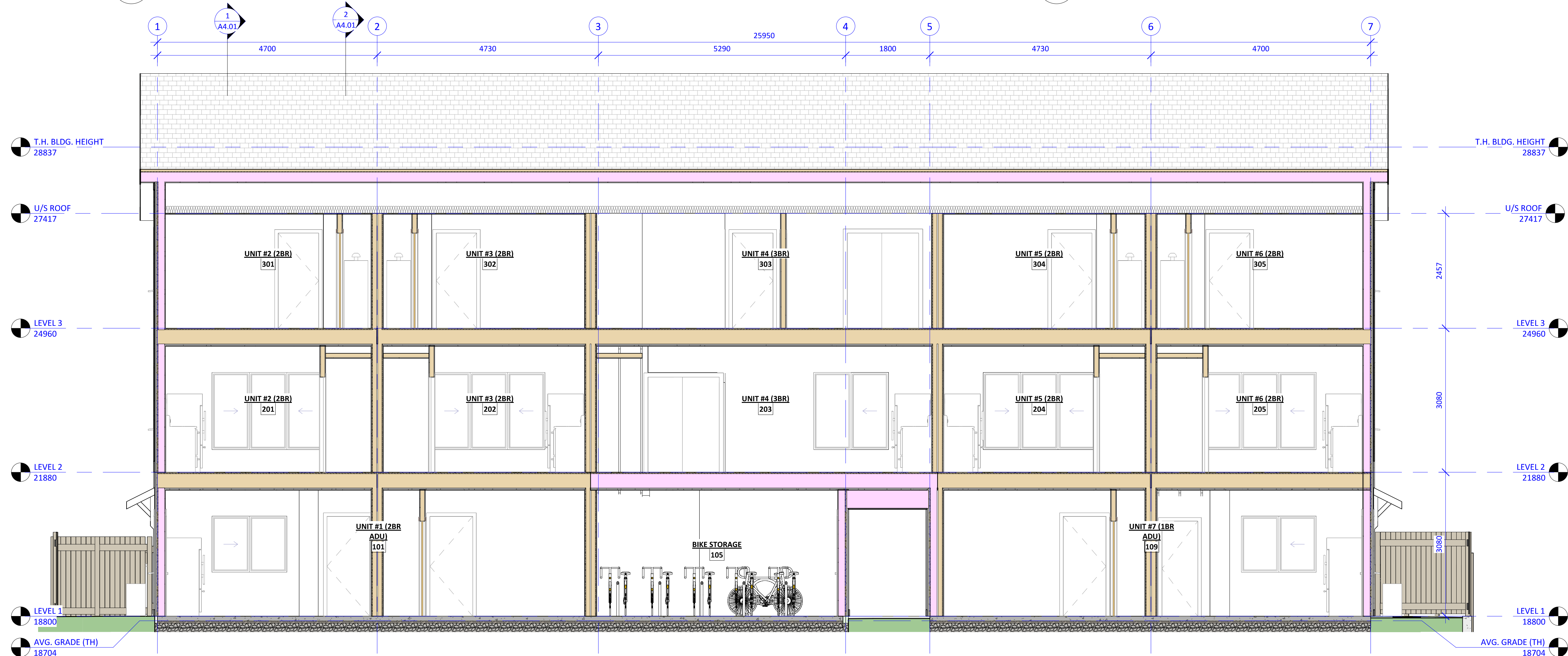
Project #	23-24	Scale	1 : 50
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1 BUILDING SECTION - LIVING
A2.01 1 : 50



2 BUILDING SECTION - STAIRS
A2.01 1 : 50



3 BUILDING SECTION - LONGITUDINAL
A2.01 1 : 50

Door Schedule																		
NO.	TYPE	WIDTH (mm)	WIDTH (in.)	HEIGHT (mm)	HEIGHT (in.)	FRAME	PANEL	CORE	GLAZING	HARDWARE	THRESHOLD	ELEC. STRIKE	AUTO OPEN	CLOSER	SEALS	FIRE SEPARATION	F.P.R.	F.R.R.
BICYCLE ROOM																		
001	D3	915	36	2135	84	METAL	METAL	INSULATED	CERAMIC	CARD READER	THERMALLY BROKEN	Yes	Yes	Yes	Yes	Yes	20 MIN	0.75hr
ELECTRICAL																		
002	D5	915	36	2135	84	METAL	METAL	INSULATED	-	STOREROOM	THERMALLY BROKEN	No	No	Yes	Yes	Yes	20 MIN	0.75hr
UNIT #1																		
101	D1	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	ACCESSIBLE	No	No	No	Yes	No		
102	D1	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	ACCESSIBLE	No	No	No	Yes	No		
103	D8	1830	72	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
104	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
105	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
106	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
107	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
108	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
109	D7	915	36	2135	84	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
110	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #2																		
201	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
202	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
203	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
204	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
205	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
206	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
207	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
208	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
209	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
210	D8	1220	48	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
211	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
212	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
213	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #3																		
301	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
302	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
303	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
304	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
305	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
306	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
307	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
308	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
309	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
310	D8	1220	48	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
311	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
312	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
313	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #4																		
401	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
402	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
403	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
404	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
405	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
406	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
407	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
408	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
409	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
410	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
411	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
412	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
413	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
414	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
415	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
416	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #5																		
501	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
502	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
503	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
504	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
505	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
506	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
507	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
508	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
509	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
510	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
511	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
512	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
513	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #6																		
601	D2	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	THERMALLY BROKEN	No	No	No	Yes	No		
602	D6	865	34	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
603	D6	865	34	2035	80	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	PRIVACY	THERMALLY BROKEN	No	No	No	Yes	No		
604	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
605	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
606	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
607	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
608	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
609	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
610	D8	1525	60	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	BYPASS KIT		No	No	No	No	No		
611	D7	865	34	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PRIVACY		No	No	No	No	No		
612	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
613	D7	765	30	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
614	D7	610	24	2035	80	WOOD	WOOD	SOLID/HOLLOW	-	PASSAGE		No	No	No	No	No		
UNIT #7																		
701	D1	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	ACCESSIBLE	No	No	No	Yes	No		
702	D4	915	36	2135	84	FIBREGLOSS	FIBREGLOSS	INSULATED	SAFETY	ENTRANCE	ACCESSIBLE	No	No	No				

