

THE DESIGNER DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING ITEMS:
 - ANY DWELLING BUILT FROM THIS DRAWING PACKAGE.
 - ANY ERRORS AND OMISSIONS.
 - ANY INFORMATION PROVIDED ON SITE.
 - ANY INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.
 - CONFORMITY OF PLANS TO SITE.

GENERAL NOTES:
 - THIS DRAWING PACKAGE CONFORMS TO THE BRITISH COLUMBIA BUILDING CODE AT THE TIME OF THEIR PREPARATION.

- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

- ROOM SIZES INDICATED WITHIN THIS DRAWING PACKAGE ARE APPROXIMATE ONLY.

- MILLWORK SHOWN ON DRAWINGS IS DIAGRAMMATIC ONLY. MILLWORK SPECIFICATIONS SHALL BE PROVIDED BY OTHERS.

- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY FLOOR AND AS PER THE CURRENT BRITISH COLUMBIA BUILDING CODE.

ENGINEERING
 - IN INSTANCES WHERE THESE NOTES CONFLICT WITH ENGINEERING DRAWINGS AND SPECIFICATIONS THE ENGINEERING INFORMATION SHALL TAKE PRECEDENCE.

- TRUSSES, MANUFACTURED BEAMS, MANUFACTURED JOISTS, AND STRUCTURAL MEMBERS EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

- ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.

- ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER

- MASONRY AND CONCRETE WALLS AND STRUCTURES EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

- UNSUPPORTED LATERAL FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

THE BUILDER SHALL BE RESPONSIBLE FOR VERIFYING:

- ENSURING THAT THE BUILDING CONSTRUCTED FROM THIS DRAWING PACKAGE COMPLIES WITH THE LOCAL BY-LAWS AND REGULATIONS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE AT THE TIME OF ITS CONSTRUCTION.

- TAKE CARE TO PROTECT PUBLIC SAFETY DURING CONSTRUCTION AS OUTLINED IN THE CURRENT BRITISH COLUMBIA BUILDING CODE AND BY ANY OTHER REGULATORY BODY HAVING JURISDICTION.

- PROVIDE ADEQUATE TEMPORARY SUPPORT OF ALL BUILDING COMPONENTS DURING CONSTRUCTION AND SHALL NOT ALLOW MATERIAL STORAGE OR CONSTRUCTION PROCEDURES TO EXCEED THE DESIGN LOADS OF THE COMPONENTS SUPPORTING THEM.

- ALL MEASUREMENTS, INFORMATION, AND SPECIFICATIONS SHOWN IN THIS DRAWING PACKAGE BEFORE CONSTRUCTION BEGINS.

- THE REQUIREMENTS OF THE "HOMEOWNER PROTECTION ACT" REGULATIONS.

- ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS; AND THAT ALL INSTALLATIONS ARE IN PROPER WORKING ORDER.

- ALL STRUCTURAL MEMBERS AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS. STRUCTURAL SPECIFICATIONS PROVIDED BY A BC REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE OVER STRUCTURAL INFORMATION PROVIDED ON THESE DRAWINGS.

- CORRECT SITING OF THE BUILDING AS INDICATED ON THE DRAWINGS AS WELL AS ENSURING COMPLIANCE WITH ALL REGULATIONS GOVERNING IT. REGULATORY BY-LAWS SHALL TAKE PRECEDENCE.

- MEASURE TO INDICATE AND PROTECT ANY EXISTING NATURAL OR MAN-MADE FEATURES AND VEGETATION THAT ARE NOT TO BE DISTURBED.

ROOF & FLASHING
 - ROOFING MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO THE STANDARDS ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- PARAPET FLASHING AND ROOF PENETRATIONS SHALL BE CONSTRUCTED ACCORDING TO THE GUIDELINES ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- FLAT ROOFS AND ROOF DECKS TO HAVE A MINIMUM 1/4" IN 12" SLOPE DOWN TOWARD ROOF DRAIN.

- ROOF DRAINS TO EMPTY INTO SEPARATE PERIMETER DRAINAGE SYSTEM. PERIMETER DRAINAGE SYSTEM TO BE LOCATED BELOW FROST PENETRATION.

- FLASHING SHALL BE PRE-FINISHED AND OF A MATERIAL SUITABLE FOR ITS INTENDED USE IN ACCORDANCE WITH PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- MATERIAL OF FLASHING TO BE COMPATIBLE WITH ADJACENT MATERIALS OR TO BE TREATED SO AS TO PREVENT ADVERSE REACTIONS WITH ADJACENT MATERIALS.

- SHEET METAL FLASHING TO BE INSTALLED TO PROTECT FROM MOISTURE PENETRATION ALL EXTERIOR HORIZONTAL OR OBLIQUE CHANGES OF PLANE OR MATERIAL.

- OPENINGS TO THE EXTERIOR TO BE SEALED OVER AND AROUND OPENINGS WITH A NON-HARDENING CAULKING MATERIAL.

- CAULKING TO BE A THERMO-PLASTIC TYPE SUCH AS "TREMCO DYMONIC" OR "SONNOBORN NPI."

- FLASHINGS TO HAVE A MINIMUM 20% SLOPE AWAY FROM THE BUILDING. IF APPLICABLE WHERE FLASHING TERMINATES ONTO A SLOPED ROOF, TO MATCH SLOPE.

- FLASHING TO HAVE A FORMED DRIP EDGE. FORMED DRIP EDGE NOT REQUIRED WHERE FLASHING TERMINATES ON A SLOPED ROOF.

- FLASHING COVERING SELF-ADHERING MEMBRANES ARE TO BE DARK COLOURED. A HIGH TEMPERATURE RESISTANT TYPE OF SELF-ADHERING MEMBRANE TO BE APPLIED.

EXCAVATION & GRADING:
 - ALL ORGANIC MATTER SHALL BE STRIPPED FROM THE LOCATION OF THE PROPOSED STRUCTURE, INCLUDING BENEATH ITS DECKS, PATIOS, WALKWAYS, ETC. FILL AREAS SERVING AS BASES FOR CONCRETE SLABS OR MASONRY PAVERS WITH CLEAN GRANULAR MATERIAL FREE OF ORGANIC MATTER IN MAXIMUM 6" LIFTS COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTER DENSITY.

- SLOPE FINISHED GRADES DOWN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1% TO FACILITATE RUN OFF OF SURFACE WATER. DIRECT AND DRAIN RUN-OFF WATER IN A MANNER SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

CONCRETE:
 - FOUNDATION WALLS ARE DRAWN AT 8" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- GARAGE/CARPORT CONCRETE SLABS AND EXTERIOR CONCRETE STAIRS SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 32 Mpa AT 28 DAYS.

- FOUNDATION CONCRETE SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 20 Mpa AT 28 DAYS.

- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK.)

- THE FOOTINGS (IF) INDICATED ON THESE DRAWINGS ASSUME A 100 Kpa SOIL BEARING CAPACITY. IF LESSER BEARING CAPACITY IS ENCOUNTERED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR ENGAGING QUALIFIED PROFESSIONAL ENGINEERING PERSONNEL TO ANALYZE EXISTING CONDITIONS AND TO RE-DESIGN AND CERTIFY THE FOOTINGS AS NECESSARY TO SUIT.

- OPENINGS AS REQUIRED FOR SERVICING IN FOUNDATION. BUILDER TO DETERMINE REQUIREMENTS PRIOR TO POURING CONCRETE.

- IRREGULARITIES IN/ON ALL FOUNDATION WALL SURFACES TO BE FILLED WITH GROUT OR OTHER SUITABLE MATERIAL TO ALLOW FOR A SMOOTH FINISH.

- CONCRETE SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CLEAN GRANULAR FILL FREE OF ORGANIC MATTER AND COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTER DENSITY.

- DAMP PROOF FOUNDATION WALLS WITH TWO COATINGS OF ASPHALT EMULSION OR EQUIVALENT MATERIAL BELOW FINISHED GRADE.

CARPENTRY
 - WOOD EXPOSED TO THE ENVIRONMENT TO BE PRESSURE TREATED USING ACO PRESSURE TREATING. METAL FASTENERS TO BE STAINLESS STEEL.

- FRAMING LUMBER SHALL BE No. 1 & 2 SPF UNLESS INDICATED OTHERWISE.

- PROTECT ALL LUMBER IN CONTACT WITH CONCRETE BY INSTALLING A 45LB. FELT OR 6 MIL. POLYETHYLENE DAMP PROOFING LAYER OR OTHER APPROVED METHOD.

- SILL PLATES TO BE ANCHORED TO FOUNDATION WITH 5/8" DIAMETER x 8" LONG GALVANIZED STEEL ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-0"

- BACKING AND BLOCKING TO BE INSTALLED FOR DRYWALL AS REQUIRED. ELECTRIC AND PLUMBING FIXTURES, HANDRAILS, ETC. BACKING AND BLOCKING LOCATIONS AND SIZES NOT NECESSARILY NOTED ON DRAWINGS. REVIEW MANUFACTURER OR SUPPLIERS OF MATERIALS AND EQUIPMENT REQUIREMENTS.

- DOUBLE UP FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST SPAN DIRECTION OR INSTALL BLOCKING THE SAME DEPTH AS THE JOISTS @ 32"oc BETWEEN THE JOISTS FLANKING BOTH SIDES OF THE PARTITION.

- JOIST SPANS THAT EXCEED 7'-0" TO HAVE FULL DEPTH SOLID BLOCKING BETWEEN THE JOISTS IN ROWS OR 2x2 CROSS BRIDGING INSTALLED. HAVING A MAXIMUM SPACING OF 7'-0" UNLESS DIRECTED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- FLUSH FRAMED WOOD MEMBERS TO BE SECURED IN 2,000 LB. GALVANIZED STEEL FRAMING ANCHORS UNLESS INDICATED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- LINTELS SHALL BE 2-2x10 UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

INTERIOR WALLS
 - INTERIOR WALLS ARE DRAWN AT 3 1/2" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- INTERIOR WALL FRAMING SHALL BE 2x4 STUDS @ 16"oc. UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.

EXTERIOR WALLS:
 - EXTERIOR WALLS ARE DRAWN AT 5 1/2" UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS

- EXTERIOR WALL FRAMING SHALL BE 2x6 STUDS @ 16"oc UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.

DOORS
 BUILDER TO CONFIRM ALL DOOR SIZES

INTERIOR DOORS:
 - FRAME OPENING 2" WIDER THAN DOOR.
 - FRAME HEIGHT 2 1/2" HIGHER
 - UNDERCUT 1/2" TO AID VENTILATION.

EXTERIOR DOORS:
 - FRAME OPENING 2" WIDER THAN DOOR.
 - FRAME HEIGHT 3" HIGHER
 - FITTED WITH DEADBOLT LOCKS HAVING A MINIMUM THROW OF 25 MM.
 - DOORS ACCESSING INTERIOR, HEATED SPACE SHALL BE SUITABLY WEATHERSTRIPPED.
 - ACCESS DOORS FROM THE EXTERIOR TO INTERIOR SPACES AND THEIR ASSOCIATED FRAMING SHALL CONFORM TO THE REQUIREMENTS TO RESIST FORCIBLE ENTRY AS OUT-LINED IN PART 9 OF THE BRITISH COLUMBIA BUILDING CODE.

GLAZING:
 - BEDROOMS SHALL HAVE AT LEAST ONE WINDOW WITH AN OPENING SIZE SUITABLE FOR EMERGENCY EGRESS AS PER BRITISH COLUMBIA BUILDING CODE.

- WINDOWS LOCATED WITHIN 2 METERS OF THE ADJACENT GROUND LEVEL OR THE FLOOR LEVEL OF A DECK ACCESSIBLE FROM THE EXTERIOR SHALL BE DESIGNED TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

- GLAZING WEIGHTS SHALL CONFORM TO THE REQUIREMENTS OF PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- GLAZING IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS.

- GLAZING IN BATHROOMS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.

- FENESTRATION PERFORMANCE REQUIREMENTS:
 CLASS R - PG 25 - DESIGN PRESSURE = +1200Pa/-1200Pa - WATER PENETRATION RESISTANCE = 220Pa CANADIAN AIR INFILTRATION / EXFILTRATION = A2

- WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

Site Plan of The East 1/2 of Lot 18, Section 68, Victoria District, Plan 290

Address : 1640 Earle Street, Victoria
 Subject to charges, legal notations, and interests shown on:
 Title No. C40706519 (P.L.D. 009-208-015)
 Scale 1:200
 The intended plot size of this plan is 580mm in width by 432mm in height, C size, when plotted at a scale of 1:200.
 Distances and elevations are in metres unless noted otherwise.

- LEGEND**
- Denotes Standard Iron Post Found
 - ▲ Denotes Traverse Station Set
 - ⊙ Denotes Water Service
 - BEE Denotes Bottom Eave Elevation
 - GL Denotes Gutterline
 - MC Denotes Mountable Curb
 - MFE Denotes Main Floor Elevation
 - NF Denotes Nothing Found
 - NMC Denotes Non Mountable Curb
 - OU Denotes Origin Unknown
 - RP Denotes Roof Peak Elevation
 - Dec. Denotes Deciduous Tree
 - Con Denotes Coniferous Tree
 - Denotes Typical Spot Elevation
 - - - - Denotes Property Line
 - - - - - Denotes Wood Fence

There are no non-financial charges and interests which would affect the positioning of structures on this property.
 Elevations are geoidic (CGVD28) based on control monument 10-90.
 Elevations are at grade unless noted otherwise.

This plan does not show underground servicing.
 This sketch was prepared for planning and design purposes for the exclusive use of our client: Stonehill Land Corp.
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 Boundary dimensions based on field survey.

This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.
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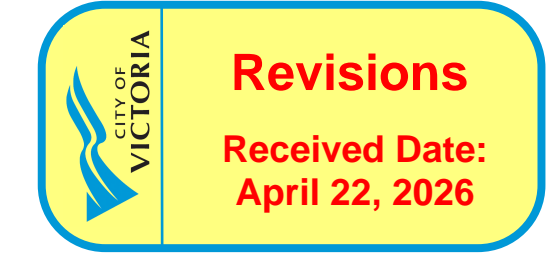
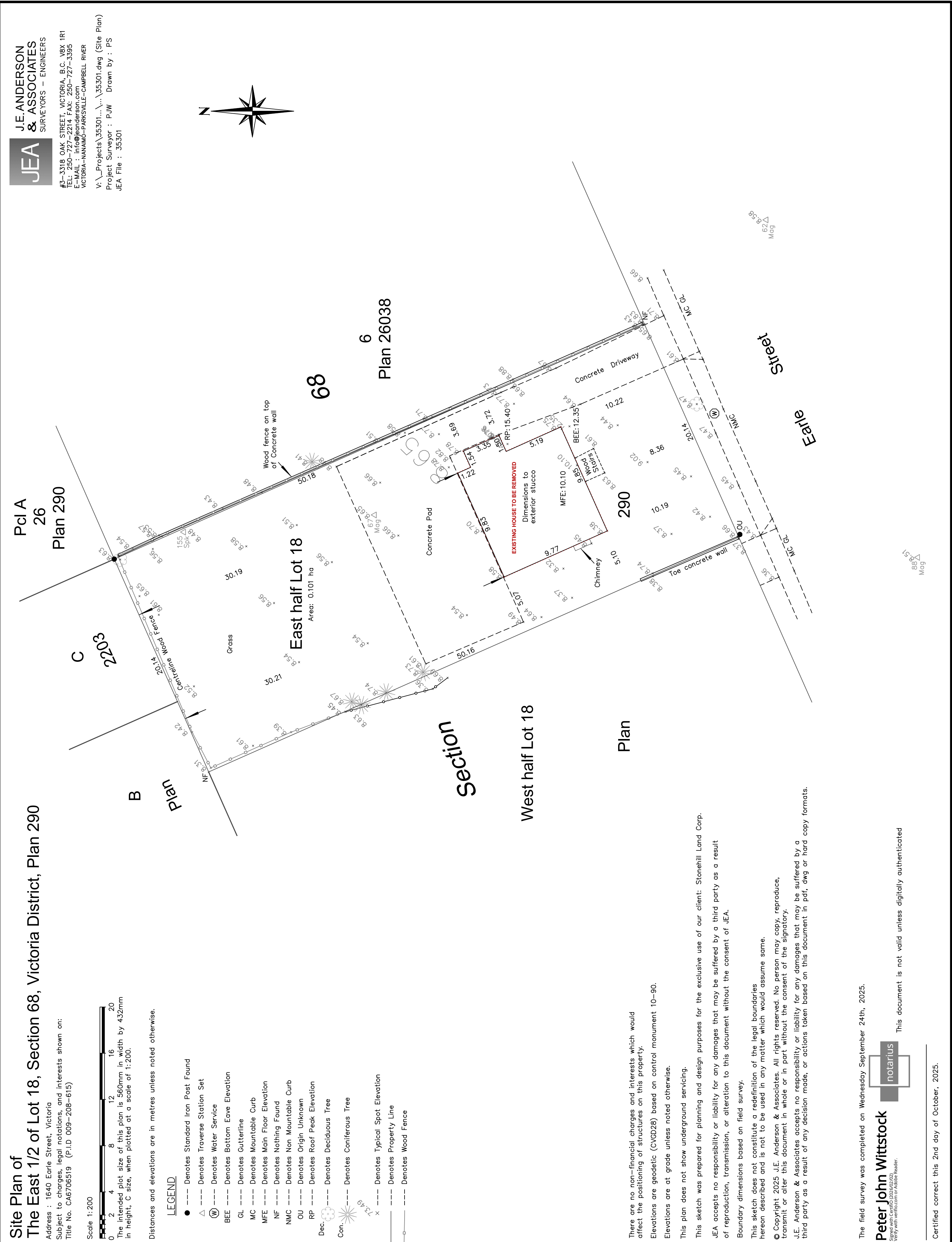
The field survey was completed on Wednesday September 24th, 2025.

Peter John Wittstock
 Notary Public for British Columbia

This document is not valid unless digitally authenticated

Certified correct this 2nd day of October, 2025.

SITE PLAN SCALE: 1 : 200



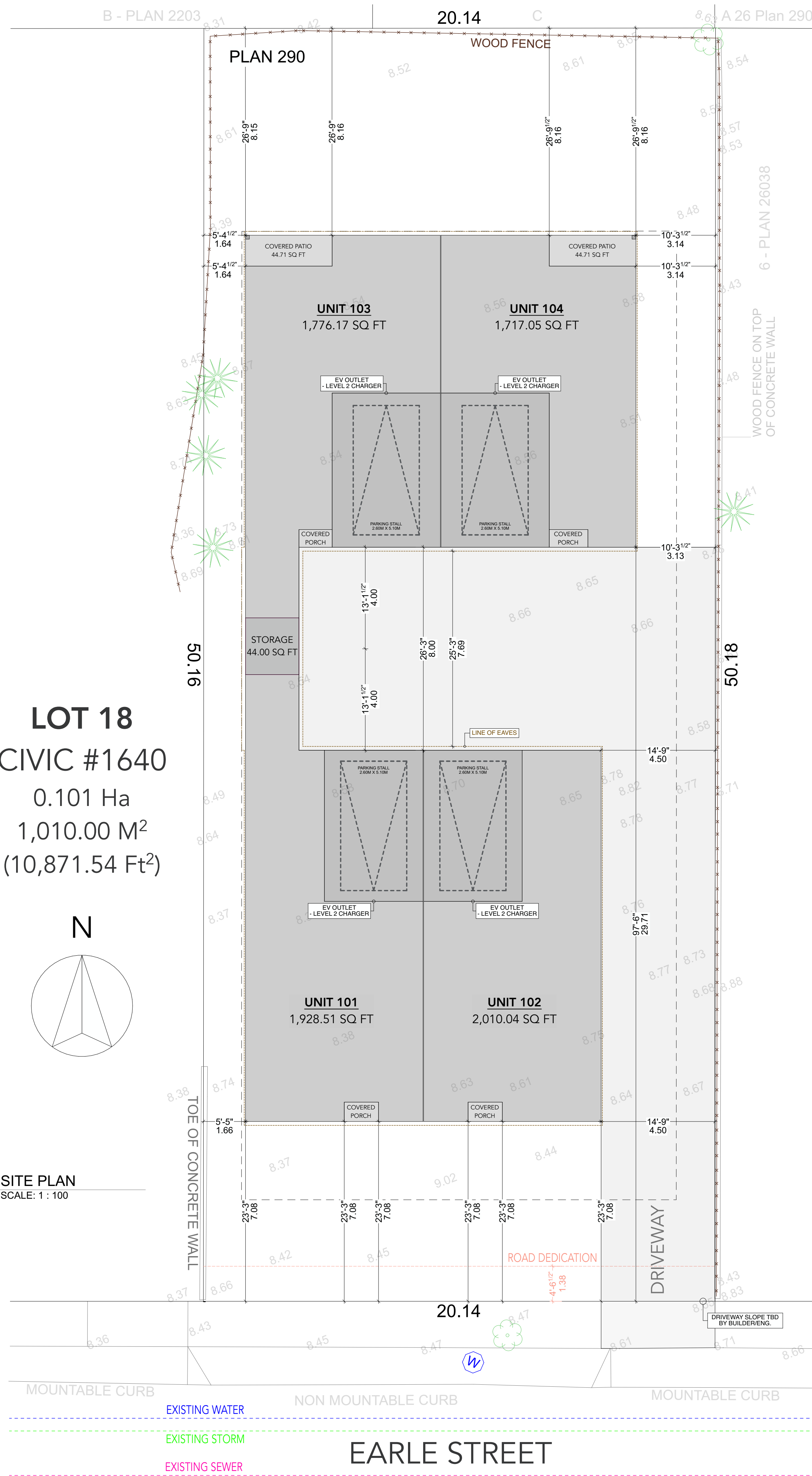
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 SURVEYOR SITE PLAN & DRAWING PACKAGE INFORMATION

SCALE
 SEE DRAWINGS

DATE
 April 14, 2026

SHEET NUMBER
 A1 / A11



PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 SITE PLAN & DATA BOX

SCALE
 SEE DRAWINGS

DATE
 April 14, 2026

SHEET NUMBER
 A2 / A11

DATA TABLE	
ADDRESS:	LOT 18 1640 EARLE STREET
MUNICIPALITY:	VICTORIA
ZONE:	GRD-1
LEGAL PLAN:	VIP290
PID:	009-208-615

SITE	
LOT SIZE:	0.101 HA 10,871.54 SQ FT 1,010.00 SQ M

	PROPOSED	PERMITTED:
	(SOUTH) FRONT LOT LINE SETACK:	23.22 FT 7.08 M
(NORTH) REAR LOT LINE SETBACK:	26.73 FT 8.15 M	26.24 FT 8.00 M
(EAST) INTERIOR LOT LINE SETBACK:	10.26 FT 3.13 M	4.92 FT 1.50 M
(WEST) INTERIOR LOT LINE SETBACK:	5.38 FT 1.64 M	4.92 FT 1.50 M

SEPERATION:	26.24 FT 8.00 M
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	PROPOSED	PERMITTED:
	LOT COVERAGE:	40.72% 4,427.01 SQ FT 411.28 SQ M

	UNIT 101	UNIT 102	UNIT 103	UNIT 104
	GARAGE FLOOR AREA:	92.37 SQ FT 8.58 SQ M	235.36 SQ FT 21.86 SQ M	121.45 SQ FT 11.28 SQ M
UPPER FLOOR AREA:	962.08 SQ FT 89.38 SQ M	962.08 SQ FT 89.38 SQ M	940.83 SQ FT 87.40 SQ M	940.83 SQ FT 87.40 SQ M
MAIN FLOOR AREA:	874.06 SQ FT 81.20 SQ M	812.60 SQ FT 75.49 SQ M	713.89 SQ FT 66.32 SQ M	654.77 SQ FT 60.83 SQ M
TOTAL GROSS FLOOR AREA:	1,928.51 SQ FT 179.16 SQ M	2,010.04 SQ FT 186.73 SQ M	1,776.17 SQ FT 165.01 SQ M	1,717.05 SQ FT 159.51 SQ M

STORAGE FLOOR AREA:	44.00 SQ FT 4.08 SQ M
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COMBINED GROSS FLOOR AREA:	7,475.77 SQ FT 694.52 SQ M
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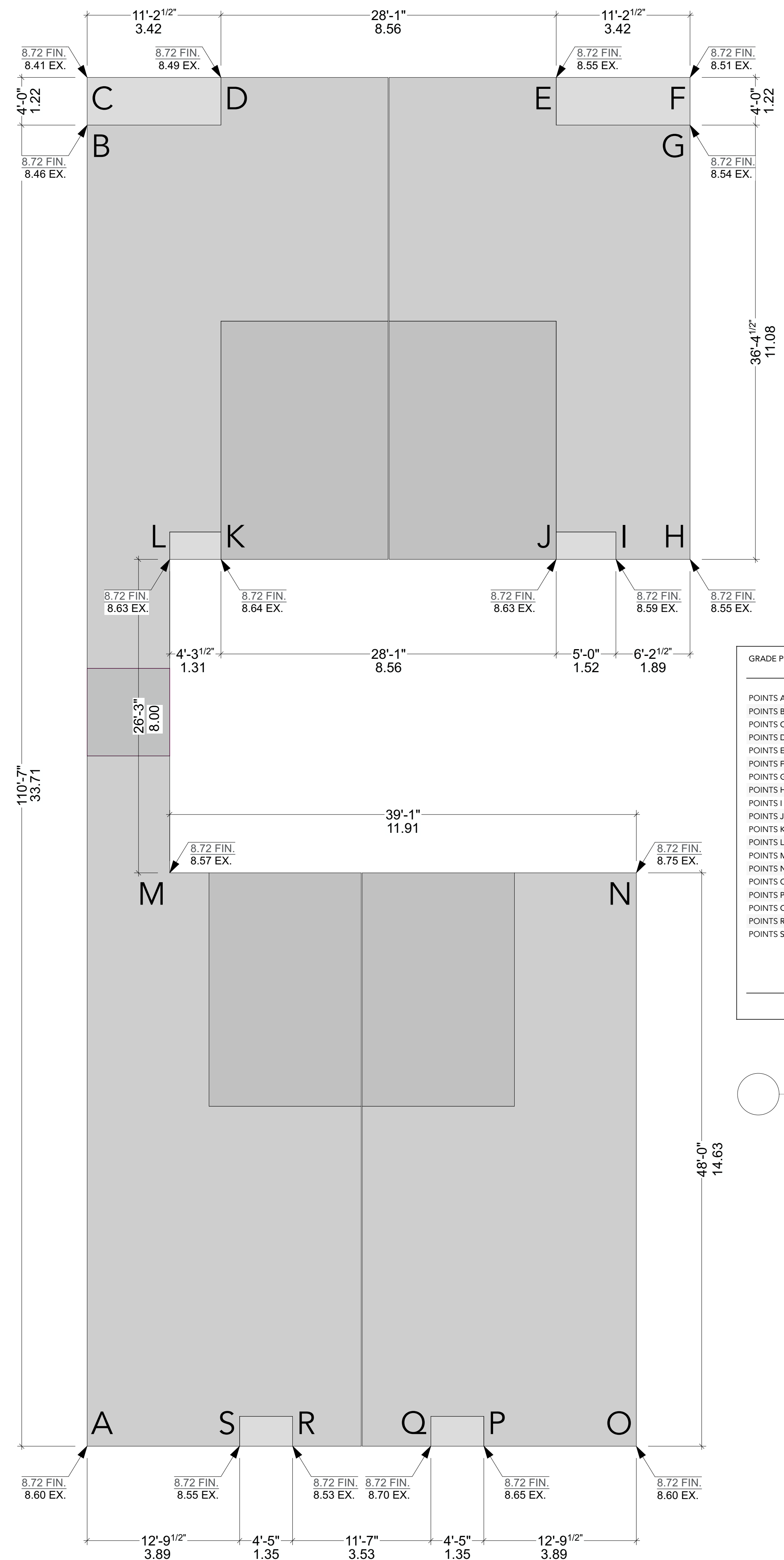
	PROPOSED	PERMITTED:
	FLOOR SPACE RATIO:	0.68 7,475.77 SQ FT 694.52 SQ M

HEIGHT & GRADE	
MAIN FLOOR ELEVATION:	8.87 M
FINISHED GRADE:	8.72 M
AVERAGE GRADE:	8.56

	PROPOSED	PERMITTED:
	BUILDING HEIGHT:	26.24 FT 8.00 M

	PROPOSED	REQUIRED:
	OPEN LOT SPACE:	37.83% 4,113.45 SQ FT 382.15 SQ M
LANDSCAPE AREA:	10.98% 1,194.13 SQ FT 110.93 SQ M	10.00% 1,087.15 SQ FT 101.00 SQ M

	PROPOSED	REQUIRED:
	PARKING SPACES:	4
EV OUTLET LEVEL 2 CHARGERS:	4	4



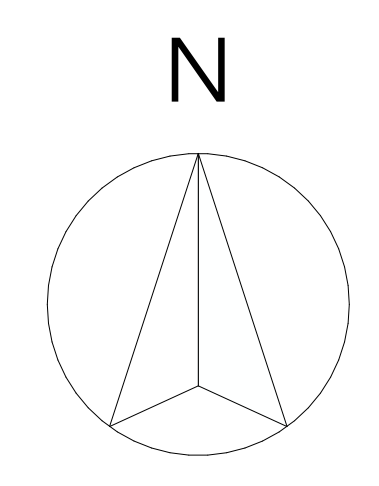
GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN GRADE POINTS	TOTALS
POINTS A & B	((8.60 + 8.46) ÷ 2)	X M	0.00
POINTS B & C	((8.46 + 8.41) ÷ 2)	X 1.22 M	10.29
POINTS C & D	((8.41 + 8.49) ÷ 2)	X 3.42 M	28.90
POINTS D & E	((8.49 + 8.55) ÷ 2)	X 8.56 M	72.93
POINTS E & F	((8.55 + 8.51) ÷ 2)	X 3.42 M	29.17
POINTS F & G	((8.51 + 8.54) ÷ 2)	X 1.22 M	10.40
POINTS G & H	((8.54 + 8.55) ÷ 2)	X 11.08 M	94.68
POINTS H & I	((8.55 + 8.59) ÷ 2)	X 1.89 M	16.20
POINTS I & J	((8.59 + 8.63) ÷ 2)	X 1.52 M	13.09
POINTS J & K	((8.63 + 8.64) ÷ 2)	X 8.56 M	73.92
POINTS K & L	((8.64 + 8.63) ÷ 2)	X 1.31 M	11.31
POINTS L & M	((8.63 + 8.57) ÷ 2)	X 8.00 M	68.80
POINTS M & N	((8.57 + 8.75) ÷ 2)	X 11.91 M	103.14
POINTS N & O	((8.75 + 8.60) ÷ 2)	X 14.63 M	126.92
POINTS O & P	((8.60 + 8.65) ÷ 2)	X 3.89 M	33.55
POINTS P & Q	((8.65 + 8.70) ÷ 2)	X 1.35 M	11.71
POINTS Q & R	((8.70 + 8.53) ÷ 2)	X 3.53 M	30.41
POINTS R & S	((8.53 + 8.55) ÷ 2)	X 1.35 M	11.53
POINTS S & A	((8.55 + 8.60) ÷ 2)	X 3.89 M	33.36
			429.68
GRADE CALCULATION			
429.68 ÷ 50.20 (PERIMETER OF THE BUILDING)			8.56

GRADING CALCULATION
SCALE: NOT TO SCALE

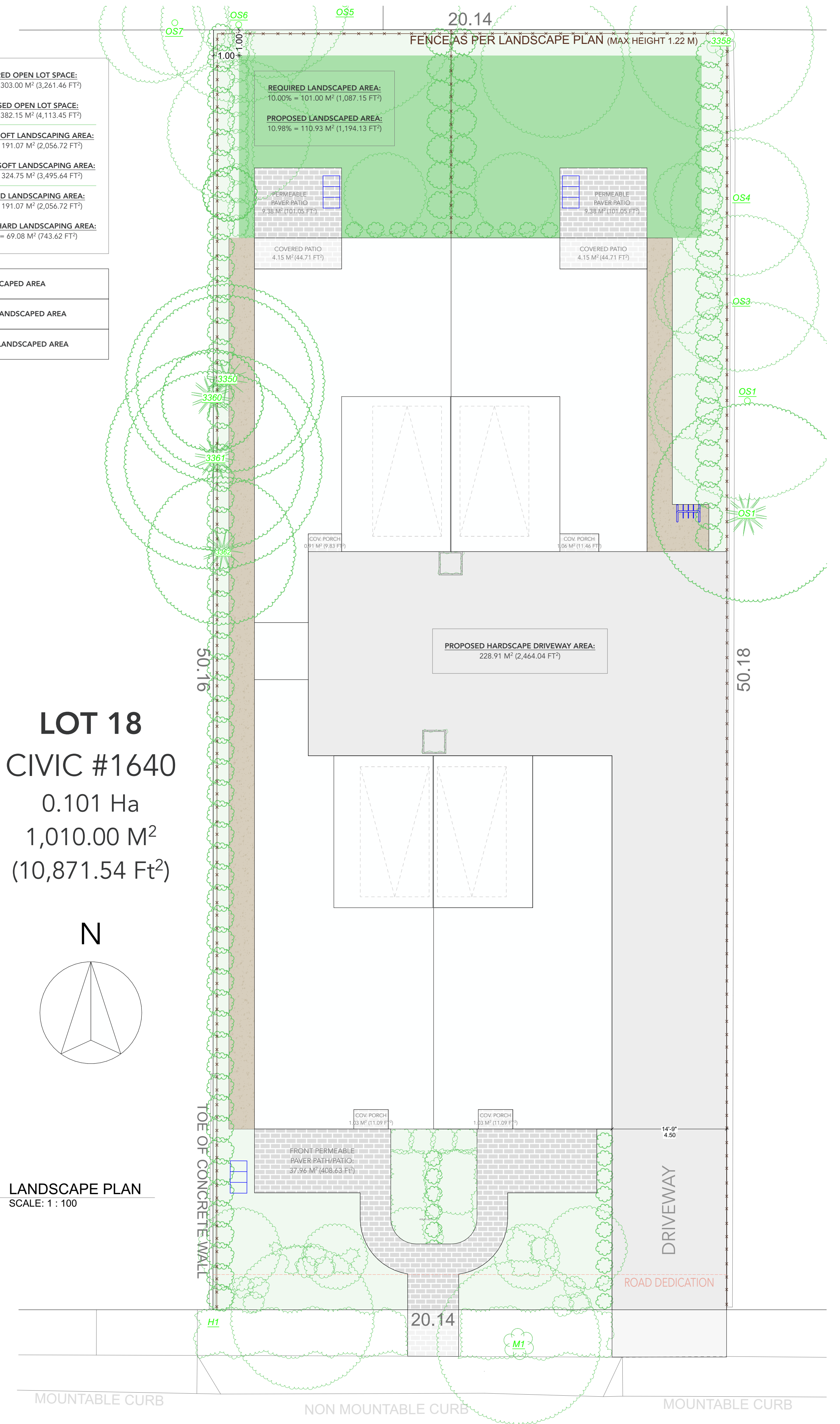
REQUIRED OPEN LOT SPACE: 30.00% = 303.00 M ² (3,261.46 FT ²)
PROPOSED OPEN LOT SPACE: 37.83% = 382.15 M ² (4,113.45 FT ²)
REQUIRED SOFT LANDSCAPING AREA: 50.00% = 191.07 M ² (2,056.72 FT ²)
PROPOSED SOFT LANDSCAPING AREA: 84.97% = 324.75 M ² (3,495.64 FT ²)
MAX HARD LANDSCAPING AREA: 50.00% = 191.07 M ² (2,056.72 FT ²)
PROPOSED HARD LANDSCAPING AREA: 18.06% = 69.08 M ² (743.62 FT ²)

- LANDSCAPED AREA
- SOFT LANDSCAPED AREA
- HARD LANDSCAPED AREA

LOT 18
CIVIC #1640
0.101 Ha
1,010.00 M²
(10,871.54 Ft²)



LANDSCAPE PLAN
SCALE: 1 : 100



PROJECT ADDRESS
LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE
A-1 CROSS SECTION,
CONSTRUCTION NOTES, &
FOUNDATION PLAN

SCALE
SEE DRAWINGS

DATE
April 14, 2026

SHEET NUMBER
A3 / A11

EARLE STREET

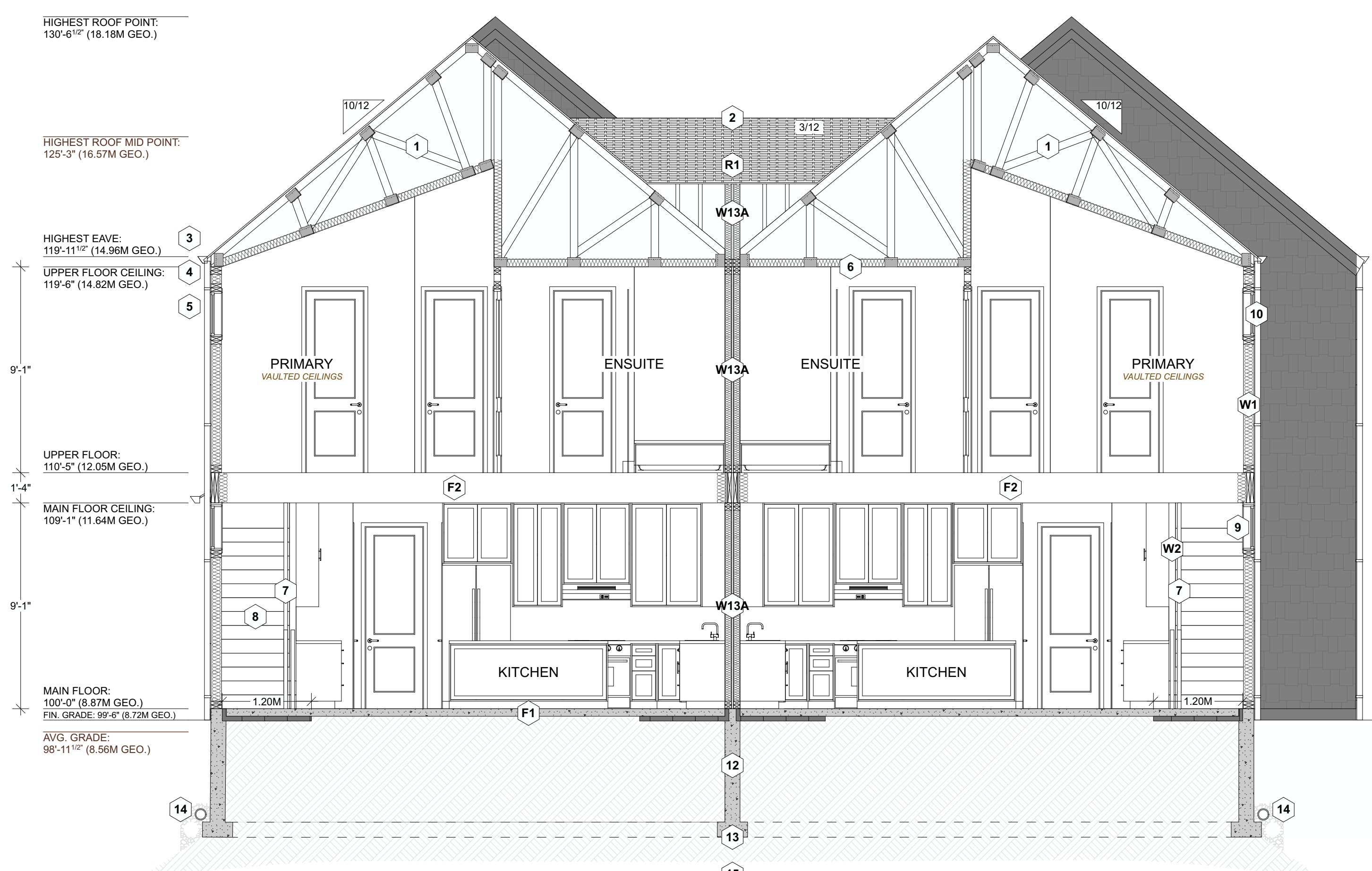
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 A-1 CROSS SECTION,
 CONSTRUCTION NOTES, &
 FOUNDATION PLAN

SCALE
 SEE DRAWINGS

DATE
 April 14, 2026

SHEET NUMBER
 A4 / A11



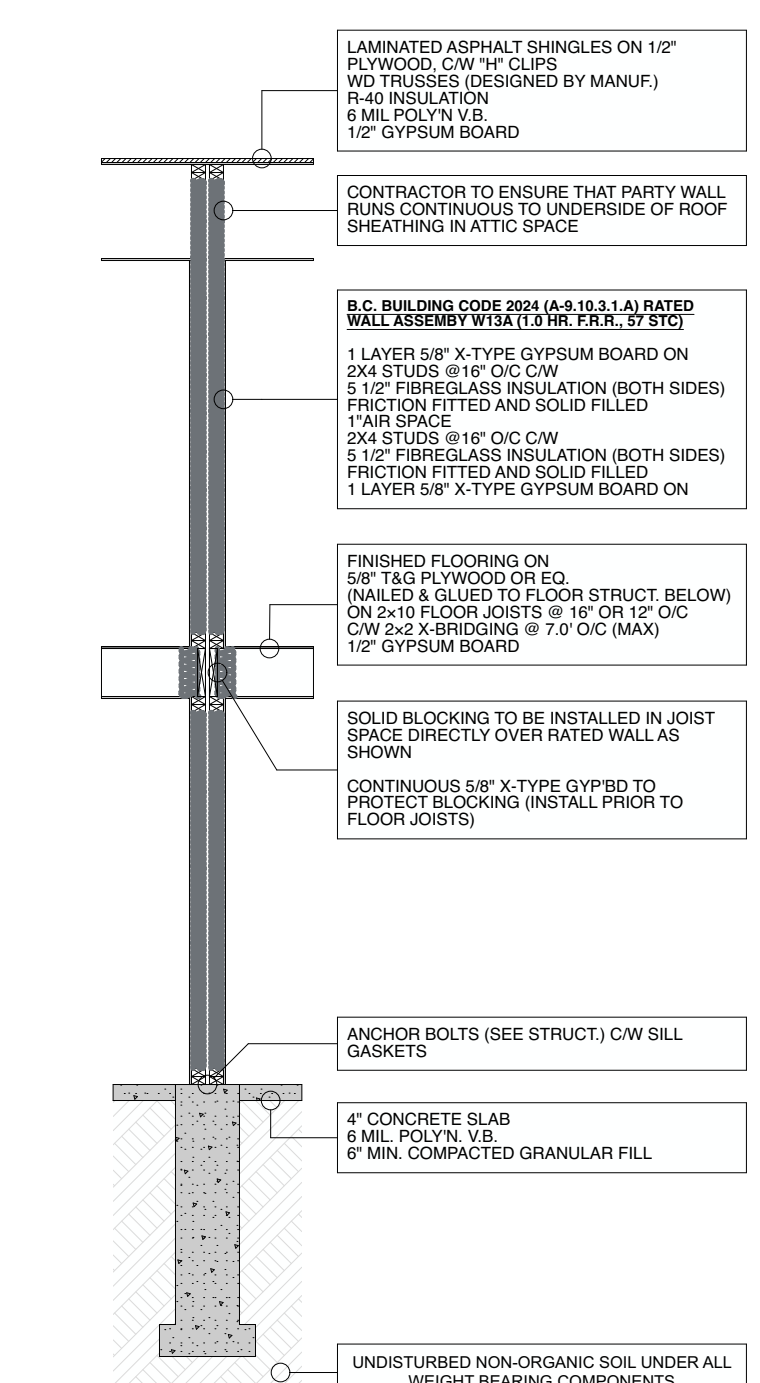
A-1 CROSS SECTION
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5



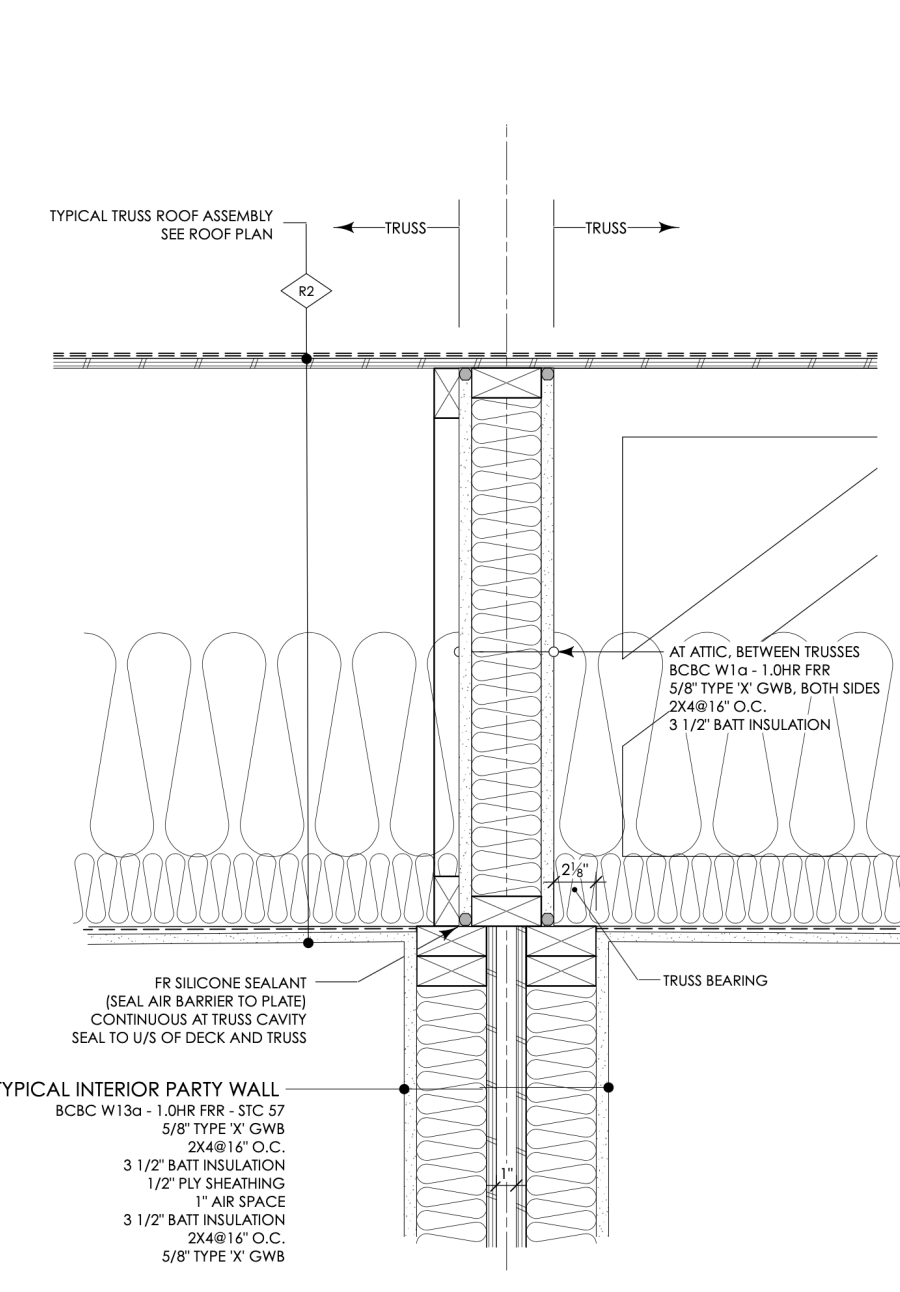
A-2 CROSS SECTION
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5

CONSTRUCTION NOTES:

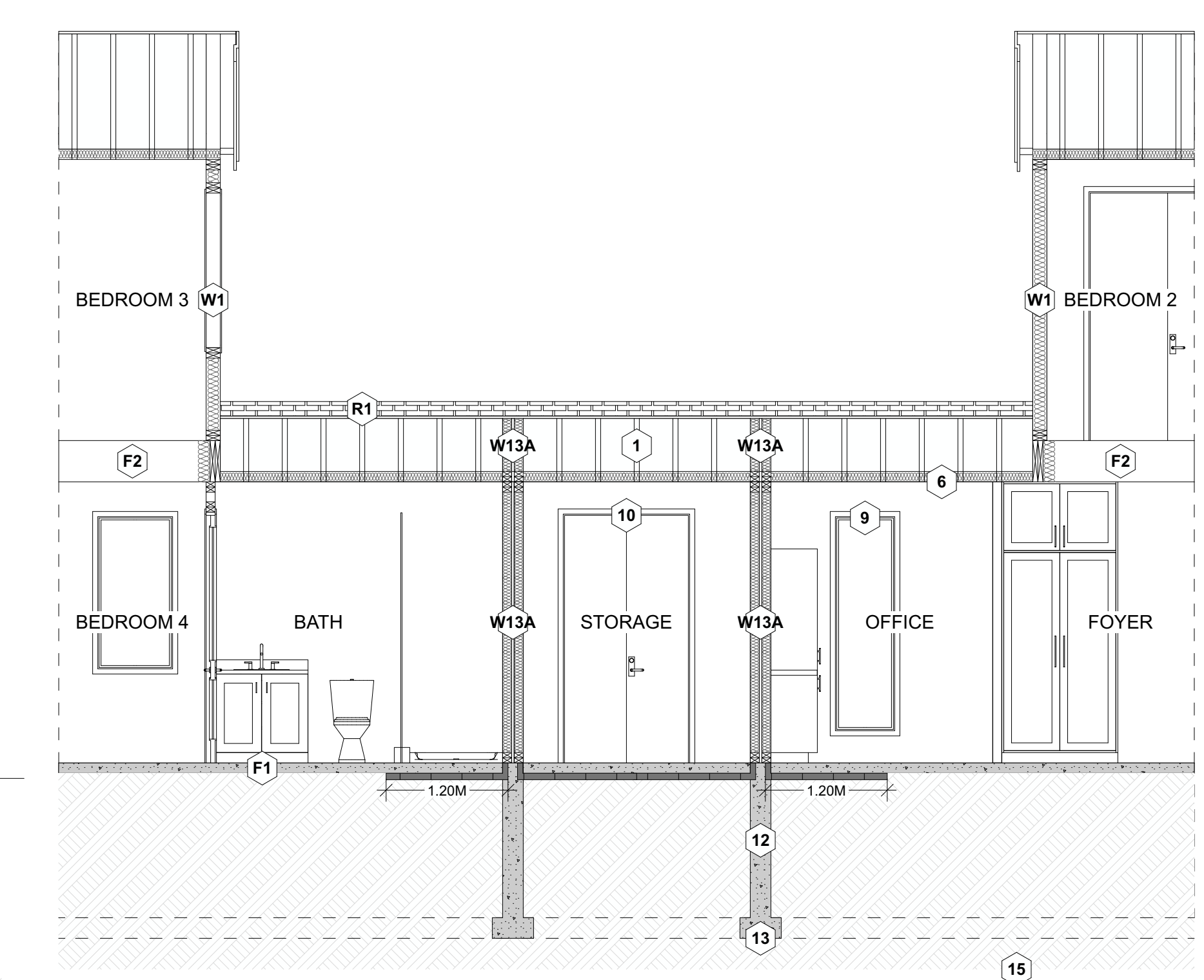
- R1** ASPHALT SHINGLES
 BUILDING PAPER
 7/16" O.S.B. (OR 1/2" PLYWOOD)
 ENGINEERED TRUSSES
 DESIGNED BY SUPPLIER @ 24" O.C. TYP.
 R40 BATT INSULATION
 6 MIL U.V. POLY V.B.
 5/8" GWB
- W1** EXTERIOR FINISH
 3/4" AIR SPACE
 PRESSURE TREATED STRAPPING
 BUILDING WRAP
 1/2" SHEATHING
 2X6 STUDS AT 16" O.C.
 R-20 BATT INSULATION
 6 MIL POLY V.B.
 1/2" GYPSUM WALL BOARD
- W2** 2X4 STUDS 16" O.C.
 1/2" GYPSUM WALL BOARDS ON BOTH SIDES
- W3** 2X6 STUDS 16" O.C.
 1/2" GYPSUM WALL BOARDS ON BOTH SIDES
- F1** 4" CONCRETE FLOOR ON 6 MIL POLY V.B. COMPACTED GRANULAR FILL
- F2** 2X16 FLOOR JOIST 16" O.C. TYP. NAIL AND GLUE
 3/4" T&G PLYWOOD
 R28 BATT INSULATION
 X BRIDGING @ 6" O.C. TYP.
- F3** 2X16 FLOOR JOIST 16" O.C. TYP. NAIL AND GLUE
 3/4" T&G PLYWOOD
 X BRIDGING @ 6" O.C. TYP. EXTERIOR METAL SOFFITS
 60 MIL VINYL DECK OVER
- W13A** DEMISING WALL: (1H AS PER W13A - TABLE A-9 10.3.1.A)
 TWO ROWS 38 MM X 140 MM STUDS EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART
 89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE



DETAIL - W13A PARTY WALL
 SCALE: 1/4" = 1'-0"



W13A ATTIC DETAIL
 SCALE: NOT TO SCALE



A-3 CROSS SECTION
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5

NOTES:

- 1 TRUSS DESIGN:**
 TO BE DESIGNED BY TRUSS DESIGNER
- 2 ROOF VENTS:**
 VENT 1/150 USING SHINGLE VENT II RIDGE VENT
- 3 EAVE PROTECTION:**
 CONSTRUCTION TO BE DETERMINED BY BUILDER
- 4 GUTTERS & DOWNSPOUTS:**
 ALUMINUM GUTTERS & DOWNSPOUTS
- 5 SOFFITS:**
 ALUMINUM VENTED SOFFITS (NON VENTED IF SOFFIT PROJECTS LESS THAN 1.20M FROM PROPERTY LINE)
- 6 CEILING BOARD:**
 R40 INSULATION, 6 MIL POLY V.B. 1/2"
- 7 HANDRAILS:**
 42" NON-CLIMBABLE
- 8 STAIRS:**
 7 7/8" RISE, 10.05" TREAD, 1" NOSING, AND CONTINUOUS HANDRAIL
- 9 WINDOWS:**
 - VINYL
 - RAIN PAN UNDER TO BE SUPPLIED
 - RAIN SCREEN AS PER BCBC
 - WINDOWS IN DOORS TO BE SAFETY GLASS
- 10 EXTERIOR OPENINGS:**
 TO BE CAULKED OVER AND AROUND
- 11 POSTS:**
 10"X10" POST, 8" POST SADDLE, ON 30"X30" CONCRETE FOOTING
 8" CONCRETE WALL
- 12 CONCRETE WALL:**
 8" CONCRETE WALL ON 8"X16"
- 13 CONCRETE FOOTINGS:**
 2/4 BAR CONTINUOUS - R12 RIDGID INSULATION - 2 COATS DAMP PROOFING
- 14 GROUND WORK:**
 - DRAINS TO PERIMETER SYSTEM
 - 4" DRAIN TILE WITH 6" ROCK OVER
- 15 SOIL:**
 NON-ORGANIC SOIL (UNDISTURBED)

DETAILS:

- PLUMBING STACKS:**
 PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATHING TAPE, OR A RUBBER GASKET AT THE CEILING
- ATTIC HATCH:**
 APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FOAM GASKET TO ENSURE PROPER AIR SEALING.
- LIGHTING:**
 RECESSED POT LIGHT HOUSINGS TO BE SEALED TO POLY V.B.
- WALL TO CEILING:**
 ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL
- WINDOWS / DOORS / SKYLIGHTS:**
 INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY V.B. AND THE WINDOW
- INTERIOR & EXTERIOR WALL INTERFACE:**
 ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING TO BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING THE POLY V.B. OF THE EXTERIOR WALLS
- RIM JOISTS / SILL PLATES:**
 ALL JOISTS AT CAVITIES TO BE AIRTIGHT BY SEALING ALL JUNCTIONS AND JOINTS, OR COVER WITH AIR BARRIER MATERIAL
- SLAB FOUNDATION WALLS:**
 SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR TO FOUNDATION WALL
- RIGID INSULATION:**
 (2.5") R12 RIGID INSULATION TO BE 1.2M IN LENGTH ENSURE CONTINUITY OF INSULATION AS PER BCBC 9.36.2.5(2)
- ENERGY EFFICIENCY:**
 ALL COMPONENTS RELATING TO ENERGY EFFICIENCY (IE. COOLING, HEATING, VENTILATION, WINDOWS, BUILDING ENVELOPE) ARE REQUIRED TO COMPLY WITH STEP 3 OF THE BC ENERGY STEP CODE
- RADON:**
 LEVEL 2 FULL PASSIVE VERTICAL RADON STACK SYSTEM REQUIRED TO CONFORM TO THE "RADON CONTROL OPTIONS FOR NEW CONSTRUCTION IN LOW-RISE RESIDENTIAL BUILDINGS" DOCUMENT FROM THE GOVERNMENT OF CANADA. CAN/CGSB-149. 11-2019
 SEE RADON DETAIL PAGE AND GOVERNMENT OF CANADA CAN/CGSB-149.11-2019 DOCUMENT FOR SPECIFICATIONS
- HOUSE PRINCIPAL EXHAUST FAN:**
 PRINCIPAL EXHAUST FAN CAPACITY @50 PASCAL AND MIN. VENTILATION RATE OF 35 AS PER 9.32.3.5 MUST BE WIRED TO RUN CONTINUOUSLY, CONTROLLED BY DEDICATED SWITCH, SOUND RATING NOT TO EXCEED 1.0 SONE(SEE TABLE 9.32.3.3.A)
- DEMISING NOTES:**
 ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19. DWELLING UNITS TO BE SEPARATED FROM EACH OTHER BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min AS PER 9.37.2.15.(b)
- ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**
- HEAT SOURCE:**
 DUCTED HEAT PUMP FOR HEATING & COOLING WITH CEILING DIFFUSERS (INTERNAL HVAC UNITS TO BE RECESSED INTO THE TRUSSES. LOCATED TO BE DETERMINED BY BUILDER)

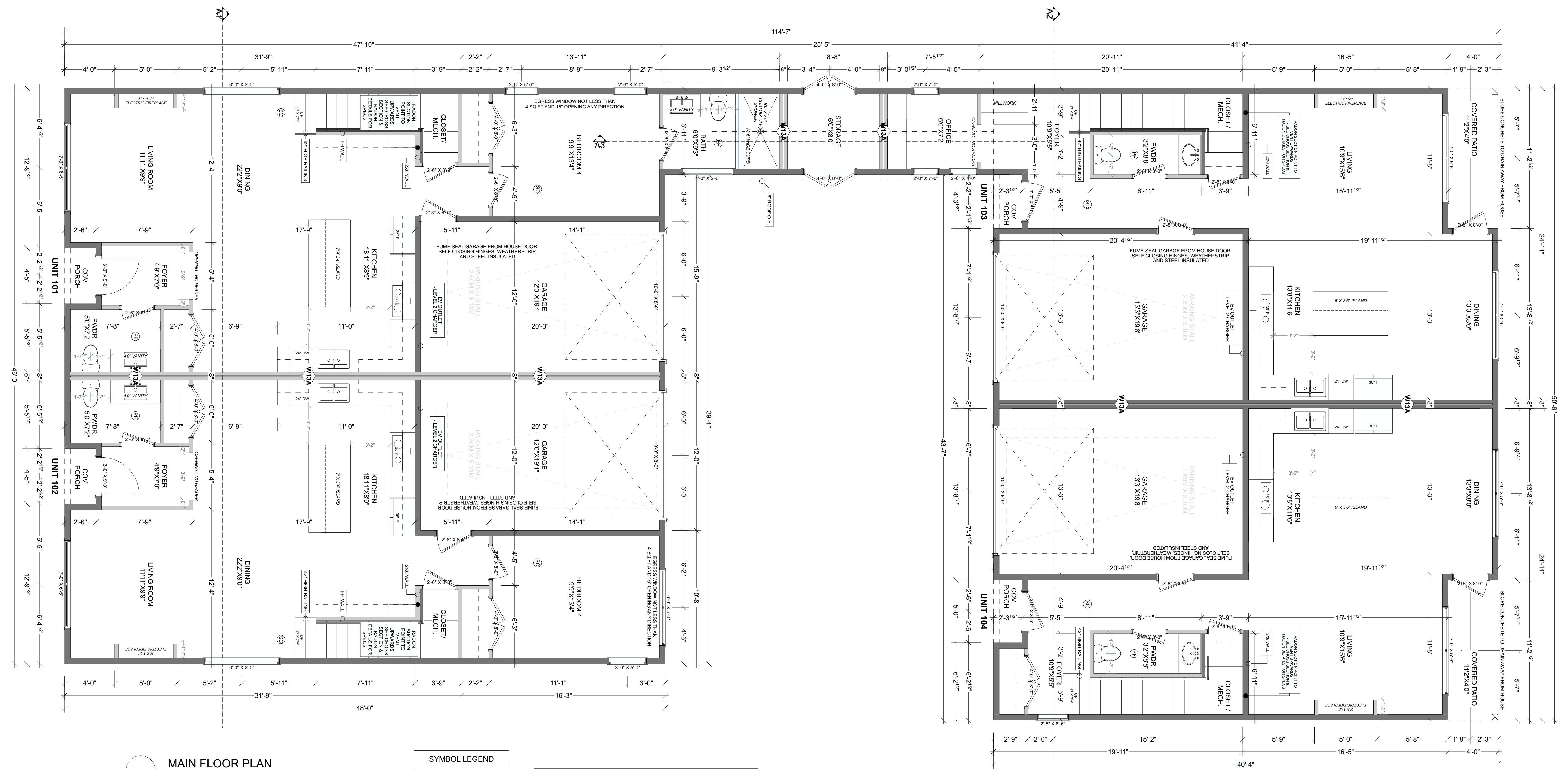
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 MAIN FLOOR PLAN

SCALE
 SEE DRAWINGS

DATE
 April 14, 2026

SHEET NUMBER
 A6 / A11



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0" 9'-0 3/4" CEILING HEIGHT

UNIT 101 MAIN FLOOR AREA: 874.06 sq ft (81.20 sq m)
 UNIT 101 GARAGE FLOOR AREA: 92.37 sq ft (8.58 sq m)
 UNIT 102 MAIN FLOOR AREA: 812.6 sq ft (75.49 sq m)
 UNIT 102 GARAGE FLOOR AREA: 235.36 sq ft (21.86 sq m)
 UNIT 103 MAIN FLOOR AREA: 713.89 sq ft (66.32 sq m)
 UNIT 103 GARAGE FLOOR AREA: 121.45 sq ft (11.28 sq m)
 UNIT 104 MAIN FLOOR AREA: 654.77 sq ft (60.83 sq m)
 UNIT 104 GARAGE FLOOR AREA: 121.45 sq ft (11.28 sq m)

COMMON PROPERTY: 44 sq ft (4.08 sq m)

SYMBOL LEGEND

	INTERCONNECTED
	SMOKE & CO DETECTORS
	AS PER BCBC
	HOUSE PRINCIPAL EXHAUST FAN
	EXHAUST FAN

W13A DEMISING WALL: (1 HAS PER W13A- TABLE A-9.10.3.1 A)
 TWO ROWS 88 MM X 140 MM STUDS EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART 88 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE

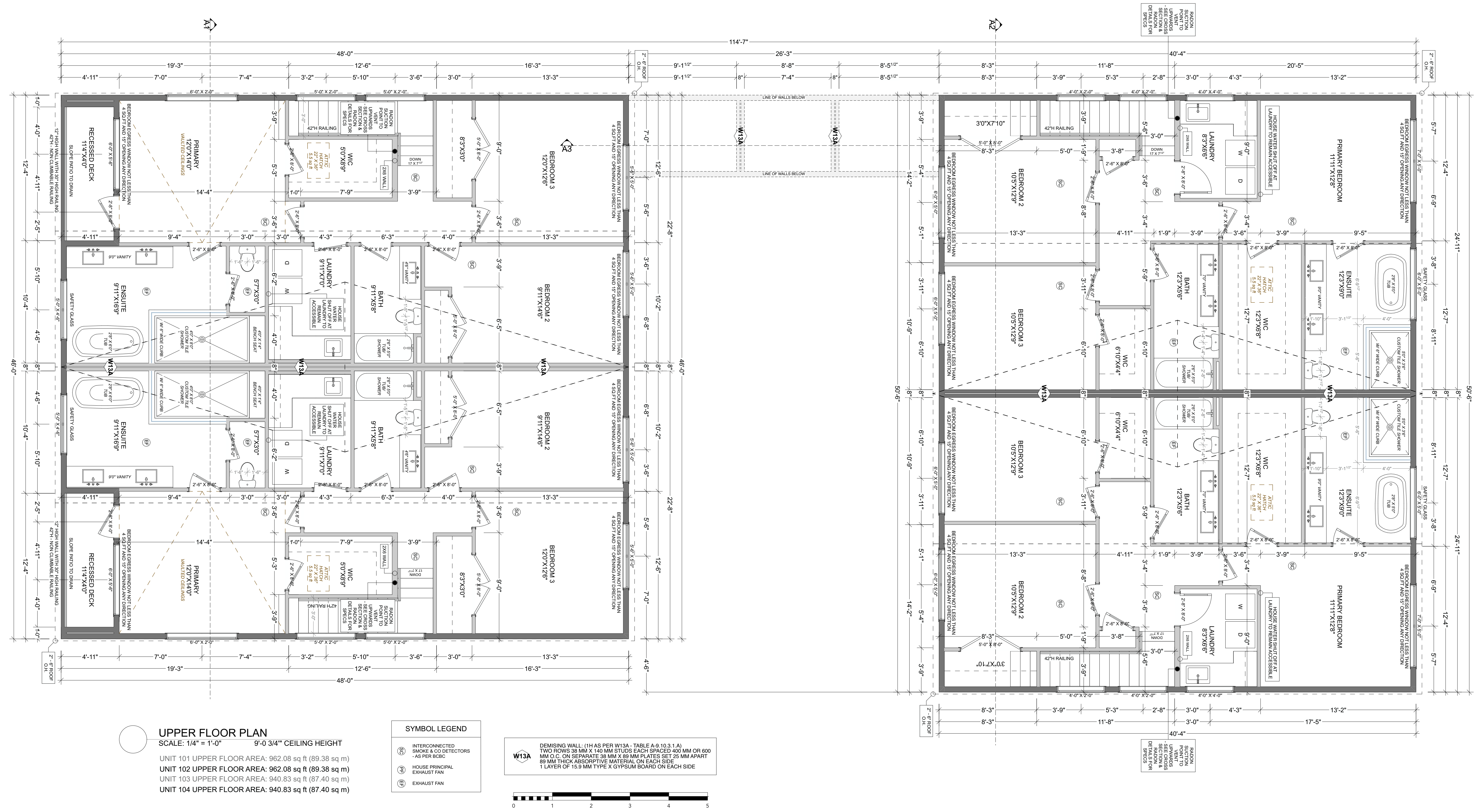
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

SHEET TITLE
 UPPER FLOOR PLAN

SCALE
 SEE DRAWINGS

DATE
 April 14, 2026

SHEET NUMBER
 A7 / A11

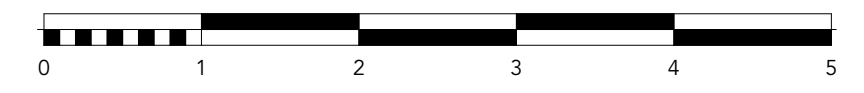


UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0" 9'-0 3/4" CEILING HEIGHT
 UNIT 101 UPPER FLOOR AREA: 962.08 sq ft (89.38 sq m)
 UNIT 102 UPPER FLOOR AREA: 962.08 sq ft (89.38 sq m)
 UNIT 103 UPPER FLOOR AREA: 940.83 sq ft (87.40 sq m)
 UNIT 104 UPPER FLOOR AREA: 940.83 sq ft (87.40 sq m)

SYMBOL LEGEND

	INTERCONNECTED SMOKE & CO DETECTORS - AS PER BCBC
	HOUSE PRINCIPAL EXHAUST FAN
	EXHAUST FAN

W13A DEMISING WALL: (1 HAS PER W13A- TABLE A-9, 10.3.1 A) TWO ROWS OF 38 MM X 140 MM STUDS EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART 88 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE 1 LAYER OF 15.9 MM TYPE X GYPSUM BOARD ON EACH SIDE



RAJON POINT TO UPWARDS - SEE CROSS SECTION RAJON IN DETAIL SHEET

RAJON POINT TO UPWARDS - SEE CROSS SECTION RAJON IN DETAIL SHEET

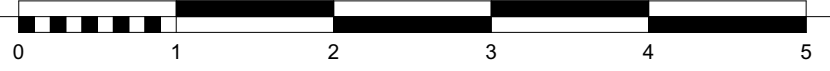
FINISH SCHEDULE:

A	ROOF: ASPHALT ROOFING - RAISED RIDGE & HIP CAPS
B	GUTTERS / SOFFITS: ALUMINUM GUTTERS AND SOFFITS - SOFFIT TO BE NON VENTED - FINISH COLOUR AS PER BUILDERS SPECS
C	DOWNSPOUTS: ALUMINUM DOWNSPOUTS - FINISH COLOUR AS PER BUILDERS SPECS
D	BARGE BOARD: 2X10 WITH 1X4 DOUBLE BARGE BOARD - FINISH COLOUR AS PER BUILDERS SPECS
E	CORNER TRIM: 1X2 CORNER BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
F	FRONT DOOR / GARAGE DOOR & TRIM: 1X2 TRIM BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
G	EXTERIOR WINDOW TRIM: 1X2 TRIM BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
H	EXTERIOR CLADDING: HARDIE SHINGLE SIDING - FINISH COLOUR AS PER BUILDERS SPECS
I	EXTERIOR CLADDING: HARDIE BOARD SIDING - 1X2 BATTENS - FINISH COLOUR AS PER BUILDERS SPECS
J	EXTERIOR CLADDING: METAL PANEL SIDING - FINISH COLOUR AS PER BUILDERS SPECS
K	EXTERIOR CLADDING: WOOD LOOK HARDIE BOARD SIDING - FINISH COLOUR AS PER BUILDERS SPECS
L	SCUPPER DECK DRAIN: - FINISH COLOUR AS PER BUILDERS SPECS
M	RAILINGS: ALUMINUM RAILINGS 42" HIGH NON CLIMBABLE



FRONT/SOUTH 1 ELEVATION

SCALE: 1/4" = 1'-0"



HIGHEST ROOF POINT:
130'-6" (16.18M GEO.)

HIGHEST ROOF MID POINT:
125'-3" (16.57M GEO.)

HIGHEST EAVE:
119'-11" (14.96M GEO.)

UPPER FLOOR CEILING:
119'-6" (14.82M GEO.)

UPPER FLOOR:
110'-5" (12.05M GEO.)

MAIN FLOOR CEILING:
109'-1" (11.84M GEO.)

MAIN FLOOR:
100'-0" (8.87M GEO.)

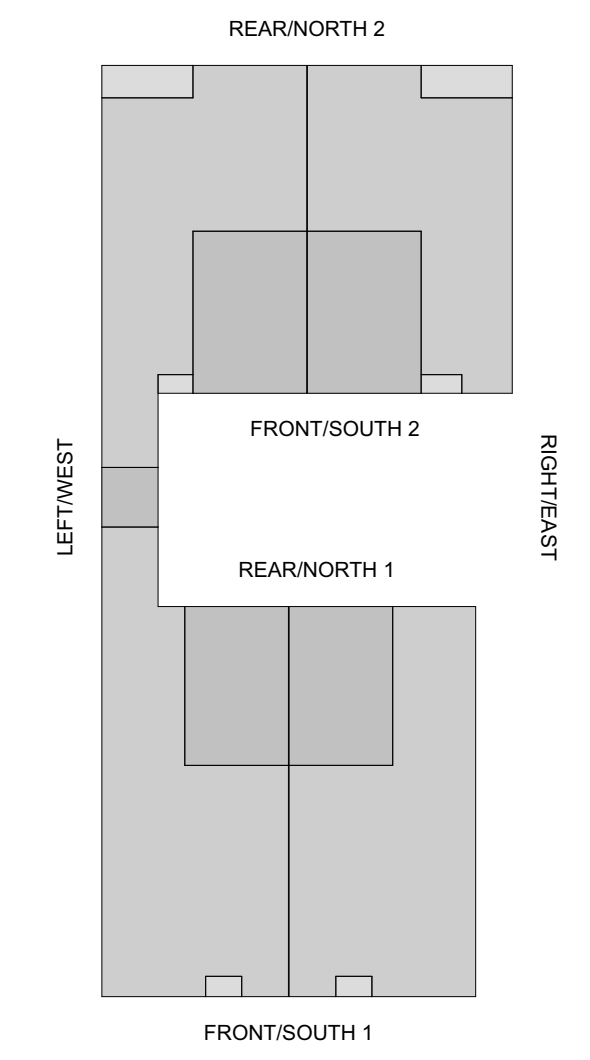
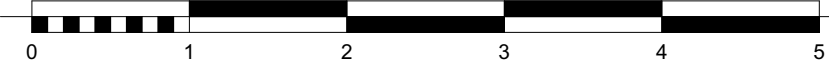
FIN. GRADE: 99'-8" (8.72M GEO.)

AVG. GRADE:
98'-11" (8.56M GEO.)



REAR/NORTH 1 ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

ELEVATIONS & FINISH SCHEDULE

SCALE

SEE DRAWINGS

DATE

April 14, 2026

SHEET NUMBER

A8 / A11



REAR/NORTH 2 ELEVATION

SCALE: 1/4" = 1'-0"



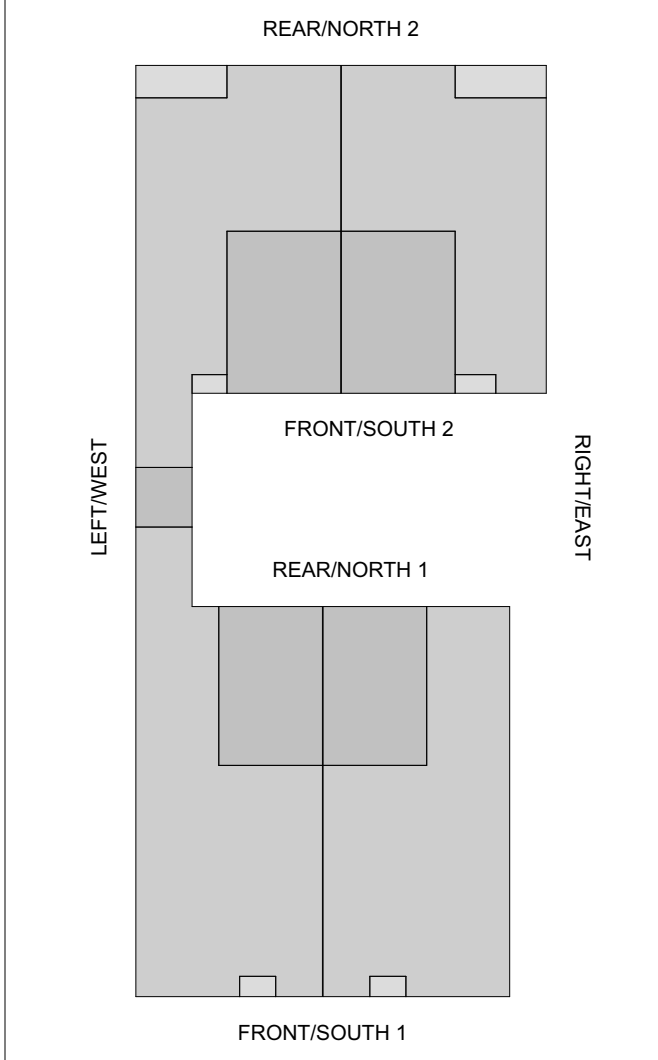
FRONT/SOUTH 2 ELEVATION

SCALE: 1/4" = 1'-0"



FINISH SCHEDULE:

A	ROOF: ASPHALT ROOFING - RAISED RIDGE & HIP CAPS
B	GUTTERS / SOFFITS: ALUMINUM GUTTERS AND SOFFITS - SOFFIT TO BE NON VENTED - FINISH COLOUR AS PER BUILDERS SPECS
C	DOWNSPOUTS: ALUMINUM DOWNSPOUTS - FINISH COLOUR AS PER BUILDERS SPECS
D	BARGE BOARD: 2X10 WITH 1X4 DOUBLE BARGE BOARD - FINISH COLOUR AS PER BUILDERS SPECS
E	CORNER TRIM: 1X2 CORNER BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
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G	EXTERIOR WINDOW TRIM: 1X2 TRIM BOARDS - FINISH COLOUR AS PER BUILDERS SPECS
H	EXTERIOR CLADDING: HARDIE SHINGLE SIDING - FINISH COLOUR AS PER BUILDERS SPECS
I	EXTERIOR CLADDING: HARDIE BOARD SIDING - 1X2 BATTENS - FINISH COLOUR AS PER BUILDERS SPECS
J	EXTERIOR CLADDING: METAL PANEL SIDING - FINISH COLOUR AS PER BUILDERS SPECS
K	EXTERIOR CLADDING: WOOD LOOK HARDIE BOARD SIDING - FINISH COLOUR AS PER BUILDERS SPECS
L	SCUPPER DECK DRAIN: - FINISH COLOUR AS PER BUILDERS SPECS
M	RAILINGS: ALUMINUM RAILINGS 42" HIGH NON CLIMBABLE



PROJECT ADDRESS
LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE
ELEVATIONS & FINISH SCHEDULE

SCALE
SEE DRAWINGS

DATE
April 14, 2026

SHEET NUMBER
A9 / A11



LEFT/WEST ELEVATION
SCALE: 1/4" = 1'-0"

LIMITING DISTANCE: 1.65 M (5.41 FT)
EXPOSING BUILDING FACE: 185.69 M² (1,998.76 FT²)
PROPOSED OPENINGS: 4.71% = 8.75 M² (94.27 FT²)
ALLOWABLE OPENINGS: 7.30% = 13.60 M² (146.38 FT²)



RIGHT/EAST ELEVATION
SCALE: 1/4" = 1'-0"

LIMITING DISTANCE: 4.50 M (14.76 FT)
EXPOSING BUILDING FACE: 89.88 M² (967.50 FT²)
PROPOSED OPENINGS: 4.99% = 4.49 M² (48.33 FT²)
ALLOWABLE OPENINGS: 24.70% = 22.20 M² (238.95 FT²)

LIMITING DISTANCE: 3.13 M (10.26 FT)
EXPOSING BUILDING FACE: 71.98 M² (774.84 FT²)
PROPOSED OPENINGS: 5.73% = 4.13 M² (44.56 FT²)
ALLOWABLE OPENINGS: 17.50% = 12.60 M² (135.62 FT²)

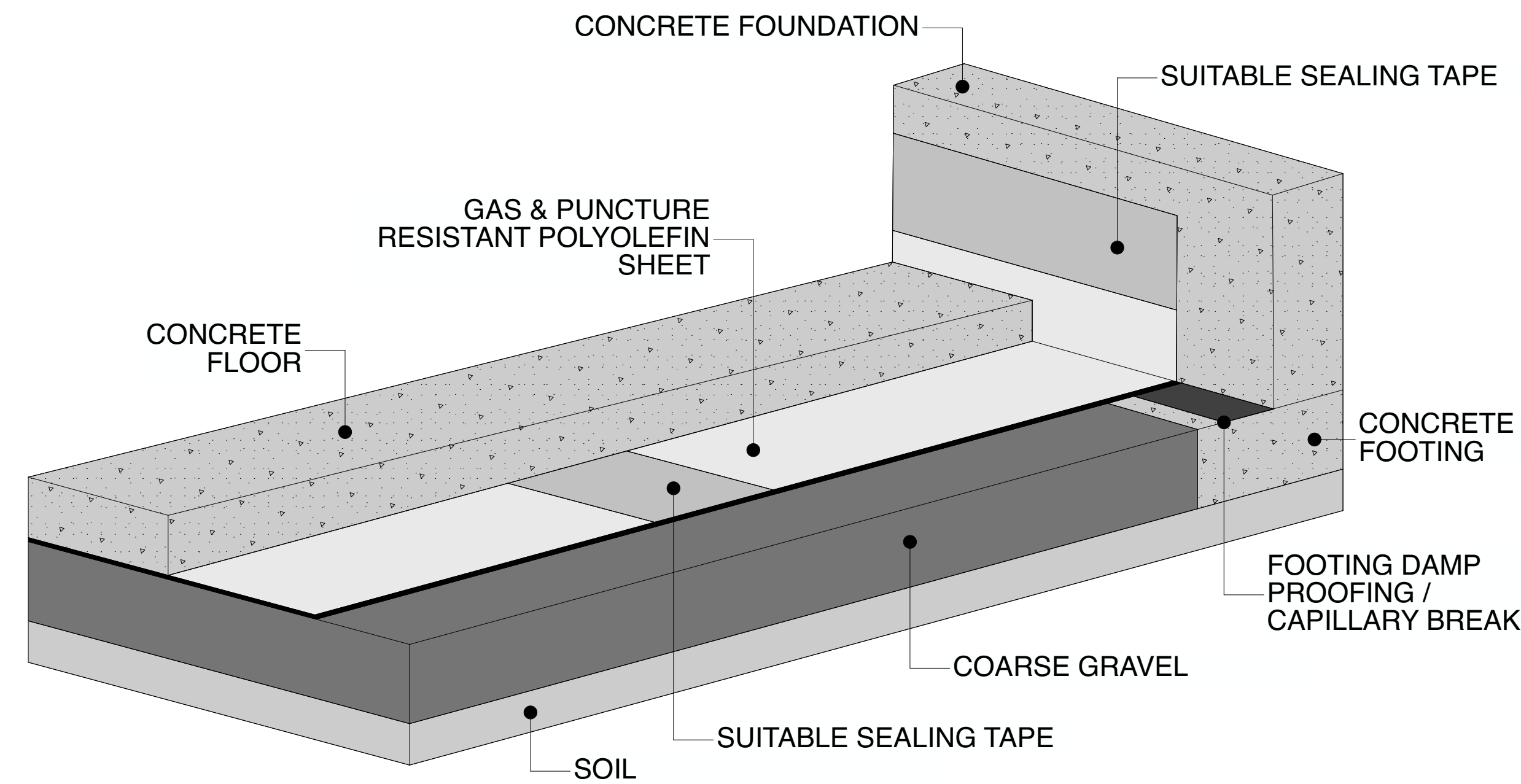


FIGURE 7.1.4.5.5 - SEALING SUB-SLAB MEMBRANE VERTICALLY TO CONCRETE FOUNDATION WALL

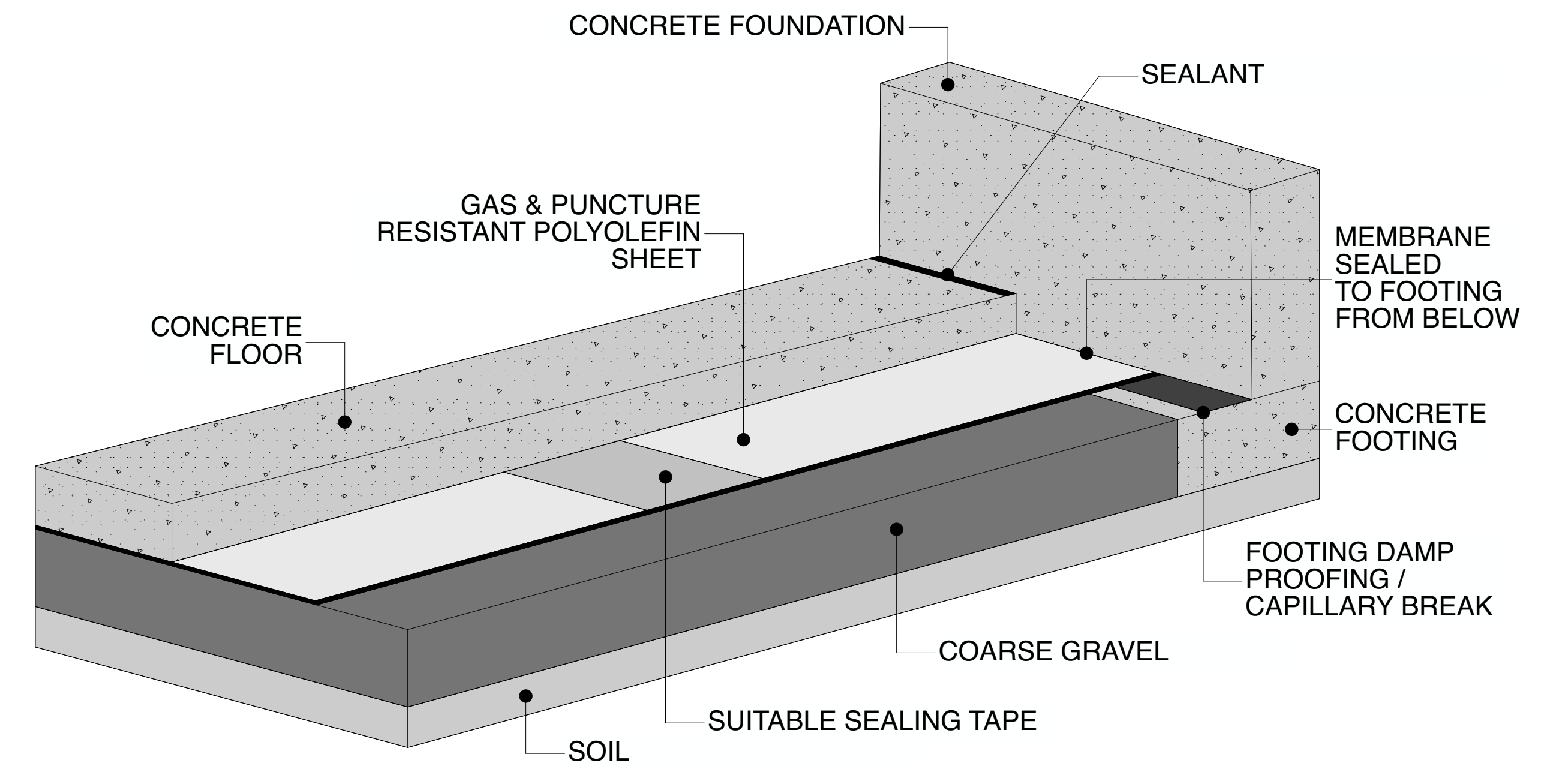


FIGURE 7.1.4.5.6 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING PRIOR TO SLAB POUR AND OF THE SLAB/WALL EXPANSION JOINT AFTER THE SLAB POUR

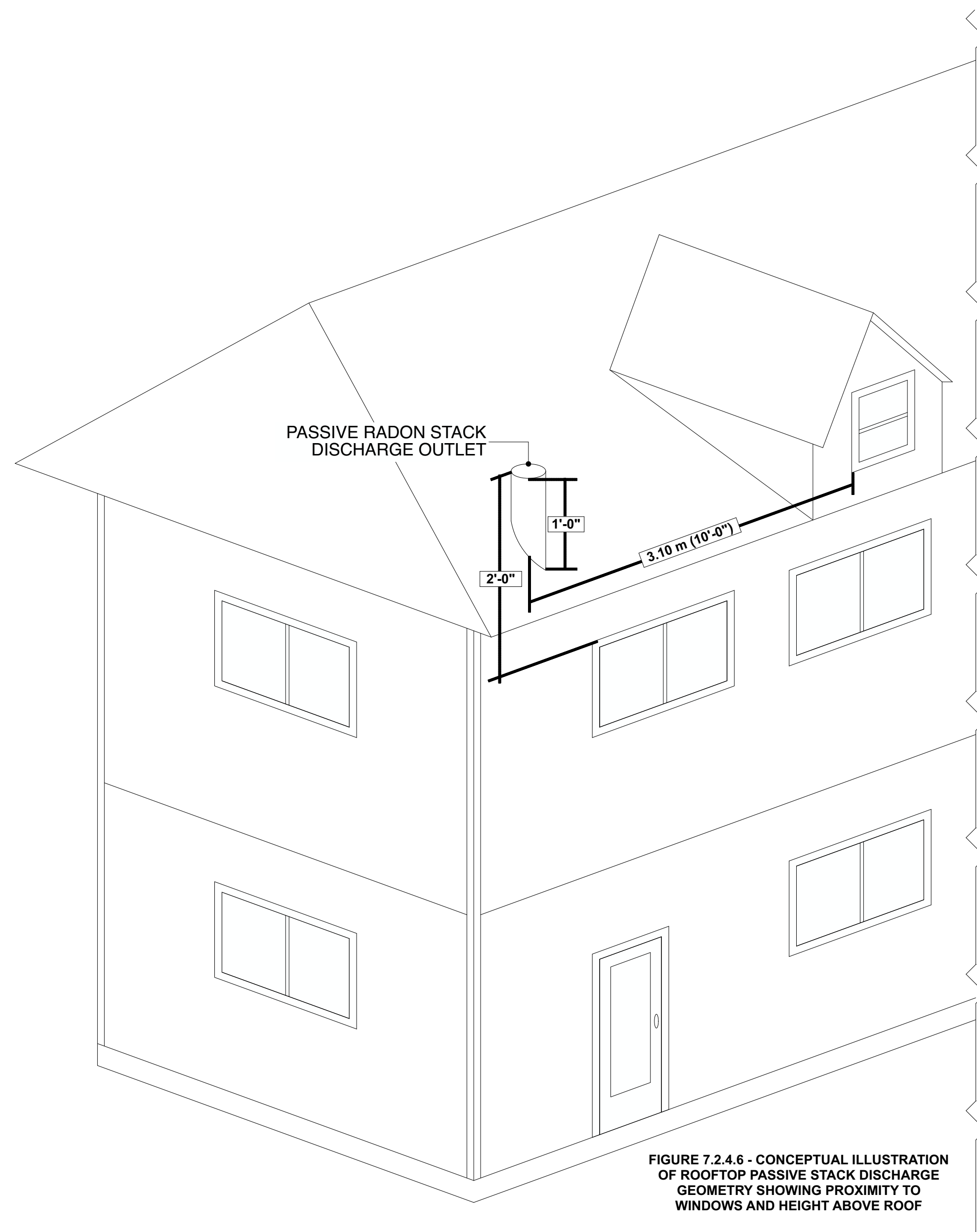


FIGURE 7.2.4.6 - CONCEPTUAL ILLUSTRATION OF ROOFTOP PASSIVE STACK DISCHARGE GEOMETRY SHOWING PROXIMITY TO WINDOWS AND HEIGHT ABOVE ROOF

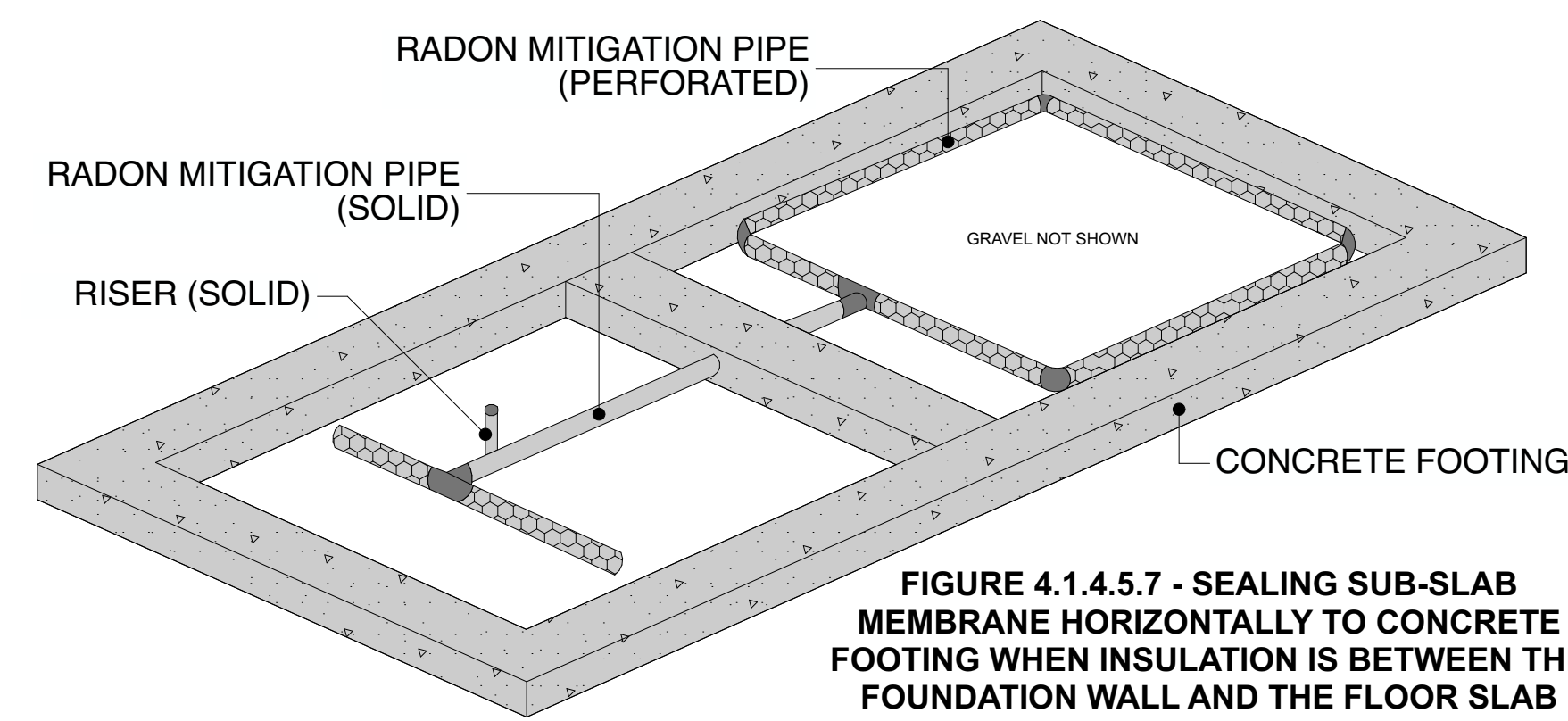


FIGURE 4.1.4.5.7 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND THE FLOOR SLAB

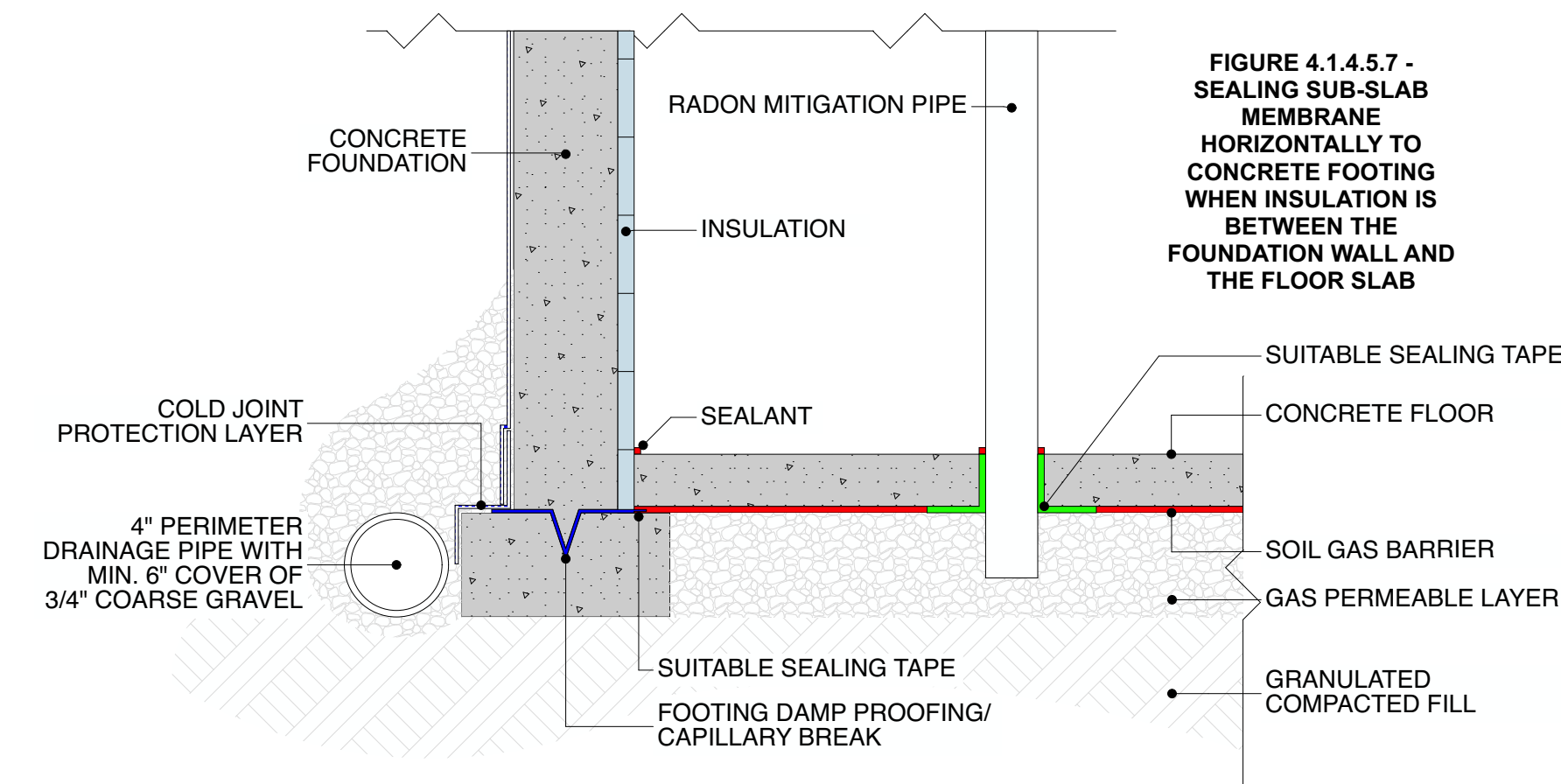


FIGURE 4.1.4.5.7 - SEALING SUB-SLAB MEMBRANE HORIZONTALLY TO CONCRETE FOOTING WHEN INSULATION IS BETWEEN THE FOUNDATION WALL AND THE FLOOR SLAB

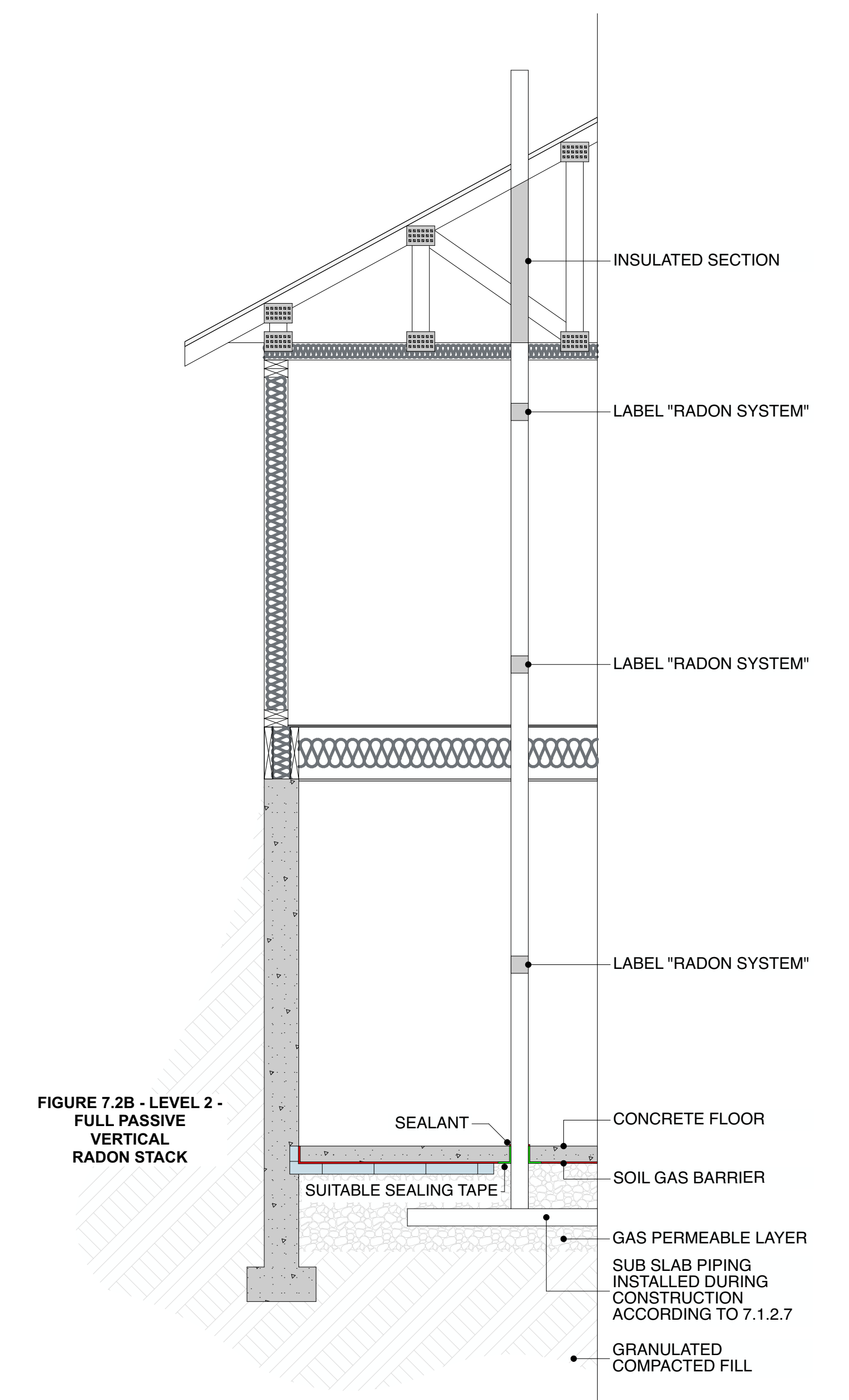


FIGURE 7.2B - LEVEL 2 - FULL PASSIVE VERTICAL RADON STACK

PROJECT ADDRESS

LOT 18
1640 EARLE STREET
VICTORIA V8S 1N5

SHEET TITLE

RADON DETAILS

SCALE

SEE DRAWINGS

DATE

April 14, 2026

SHEET NUMBER

A10 / A11

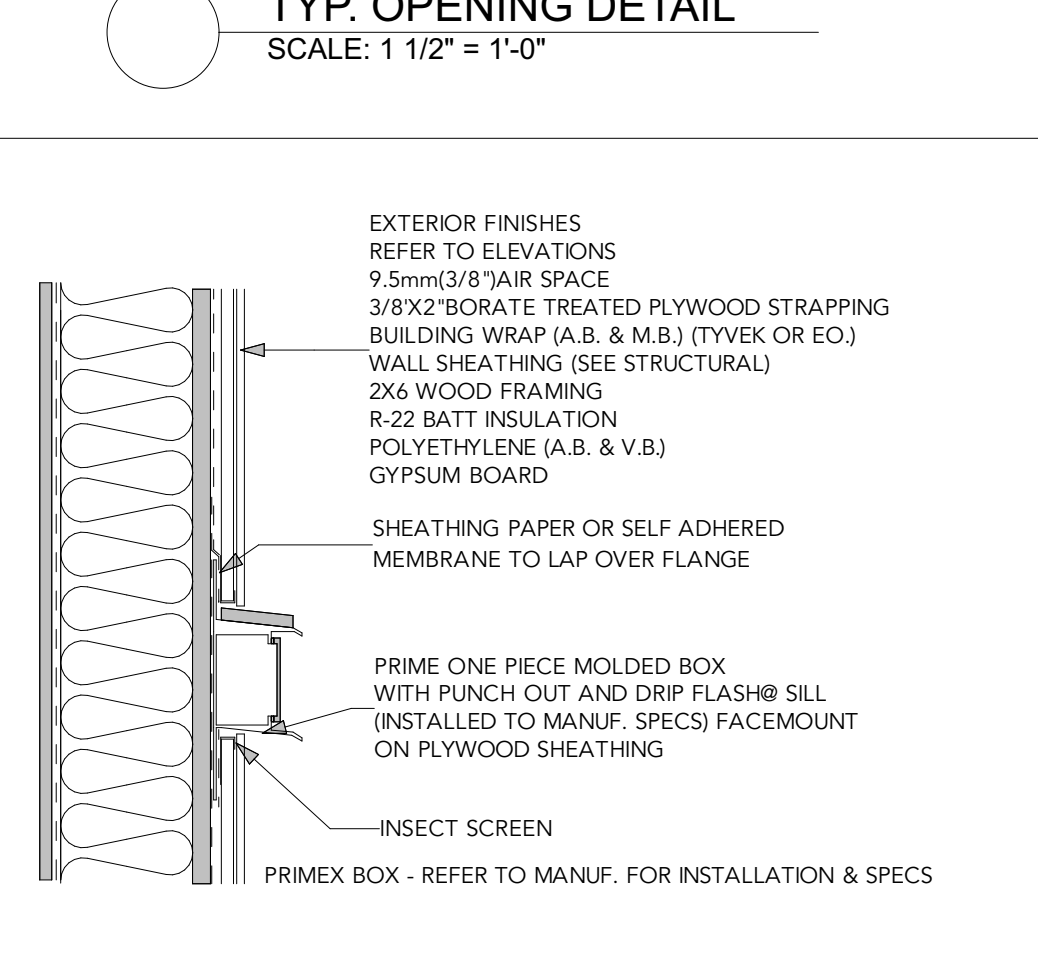
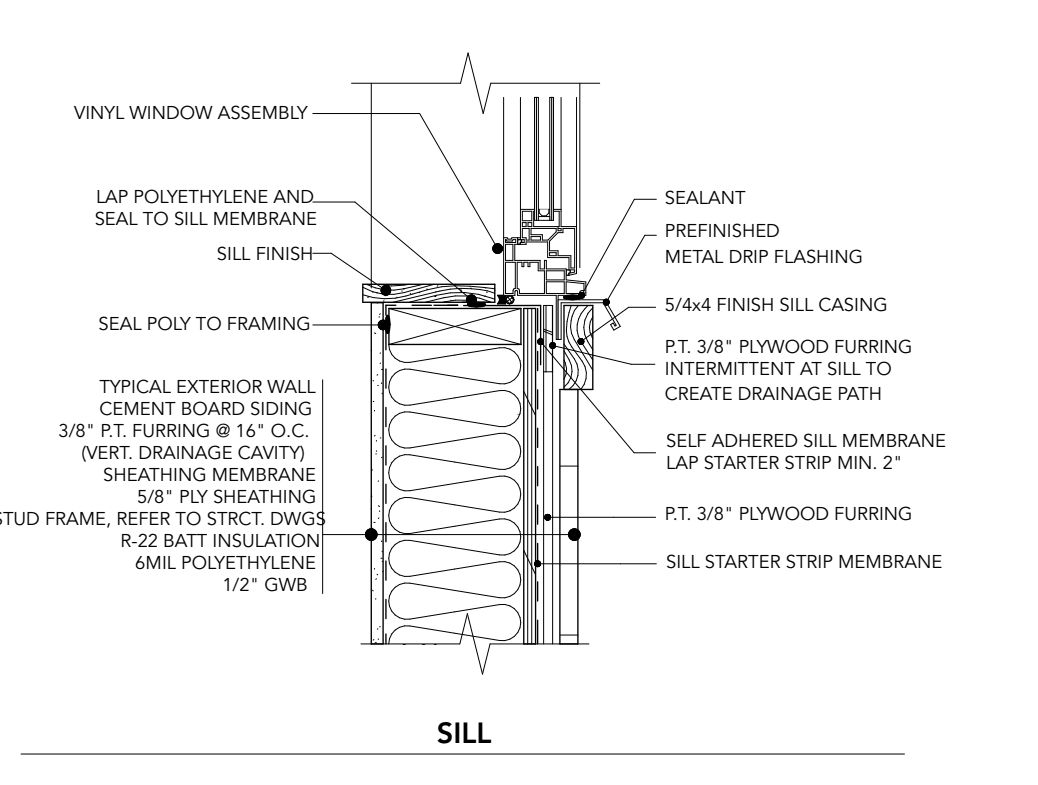
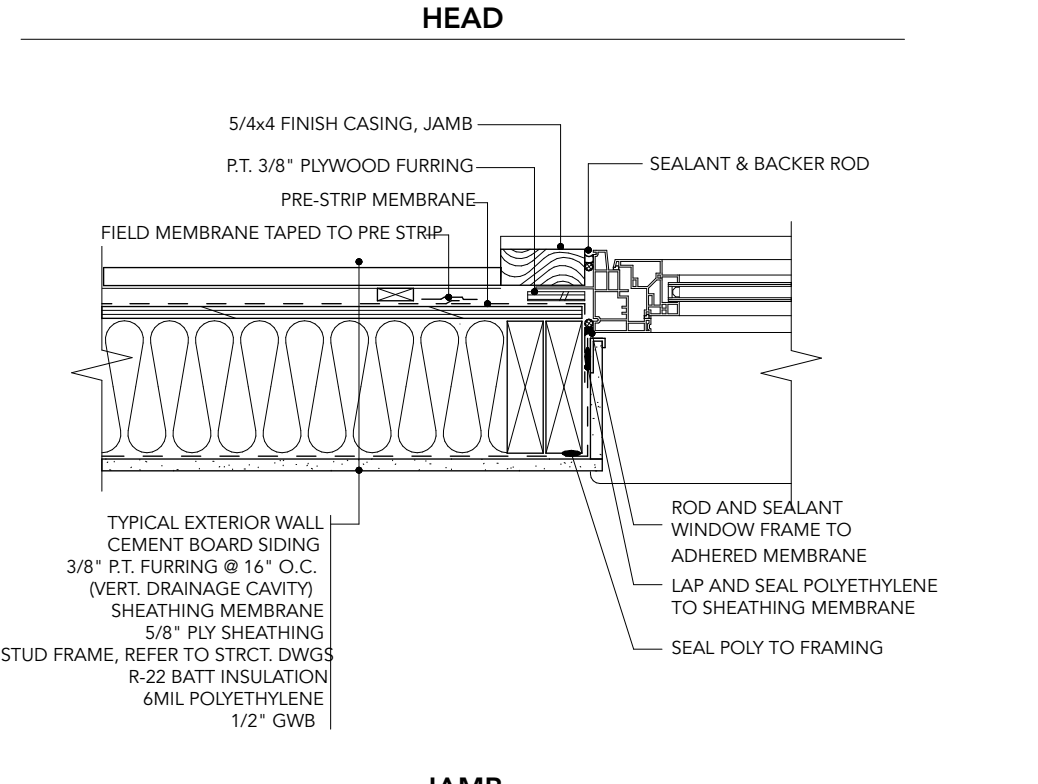
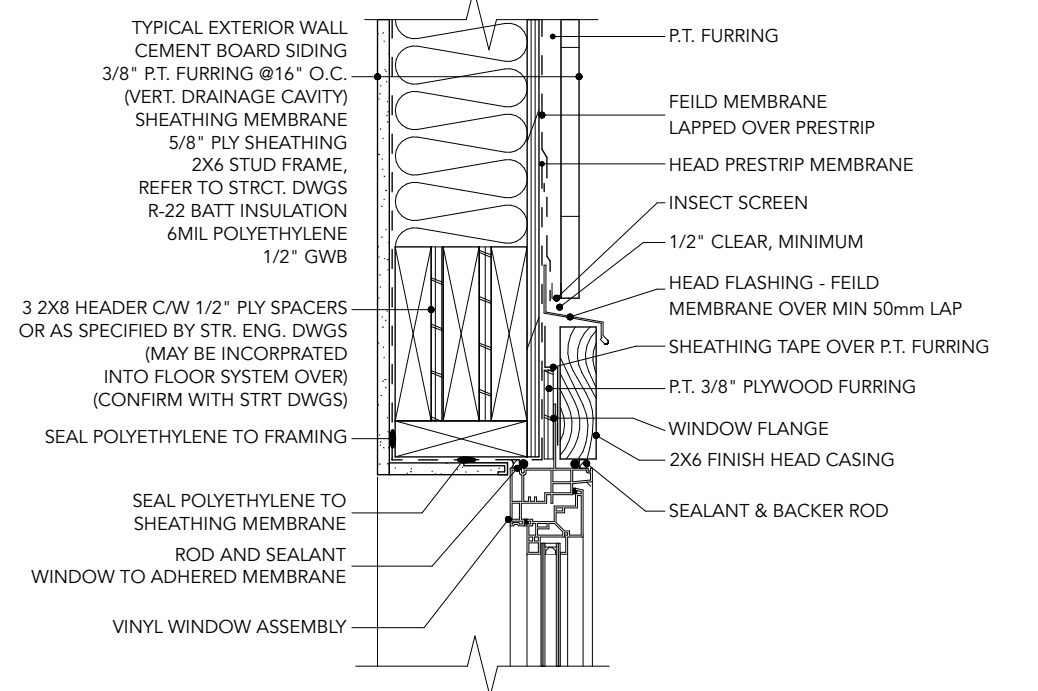
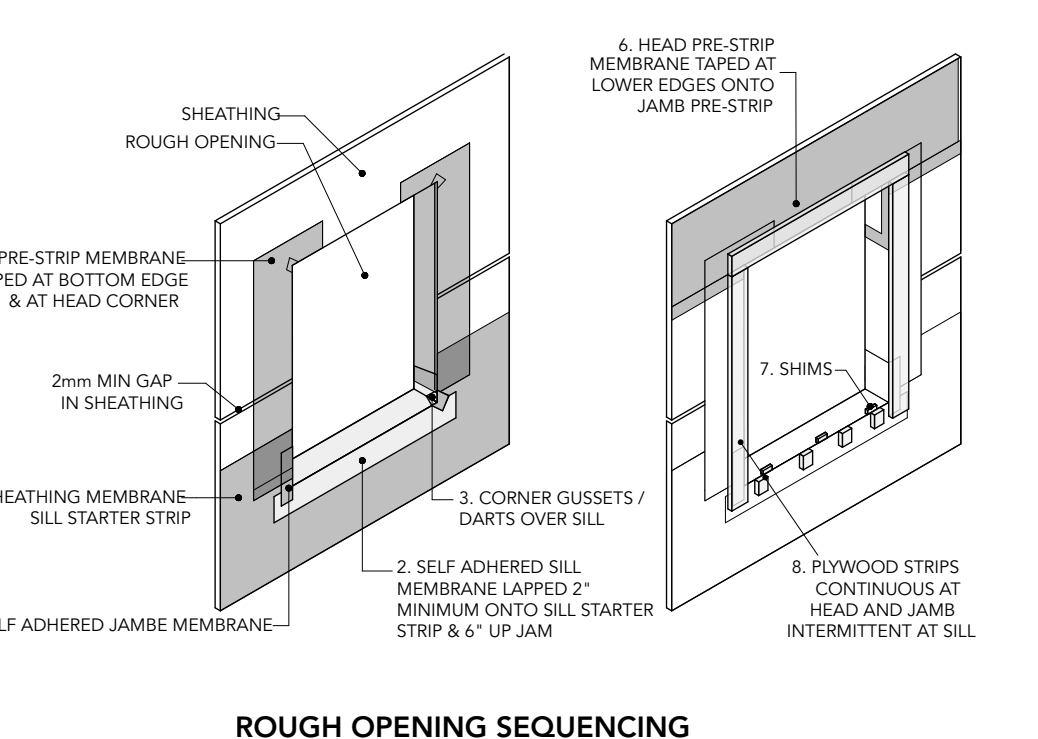
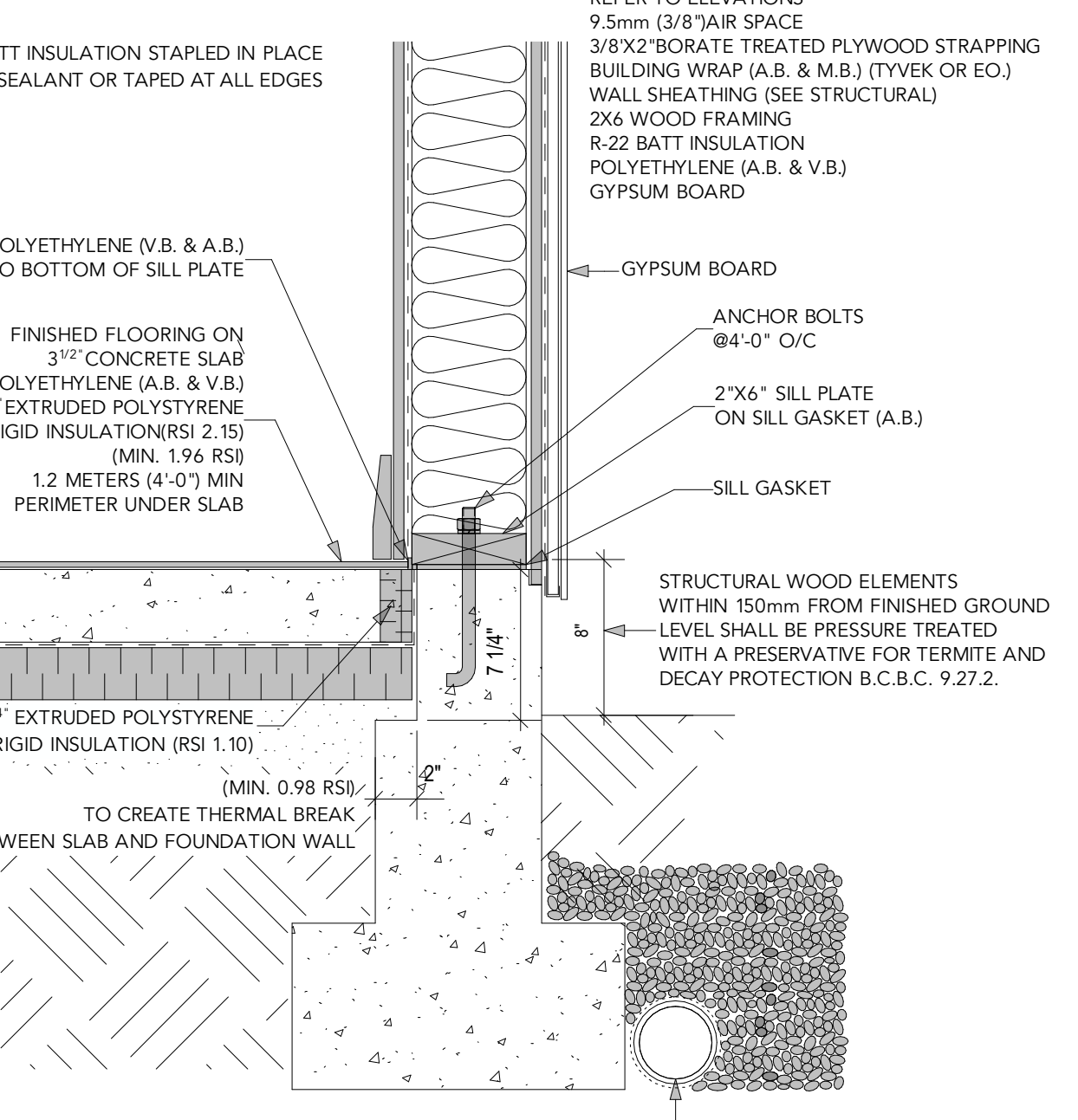
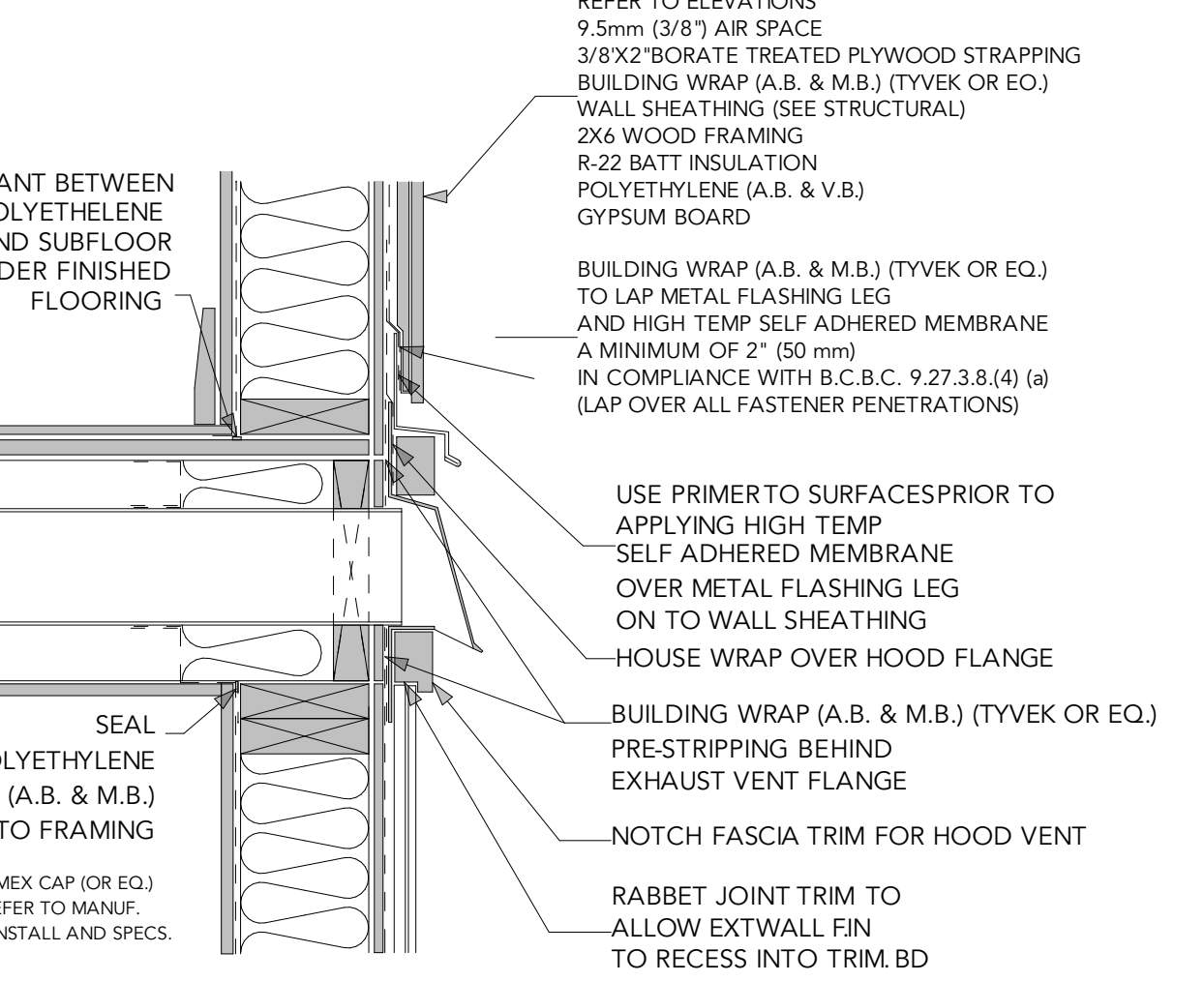
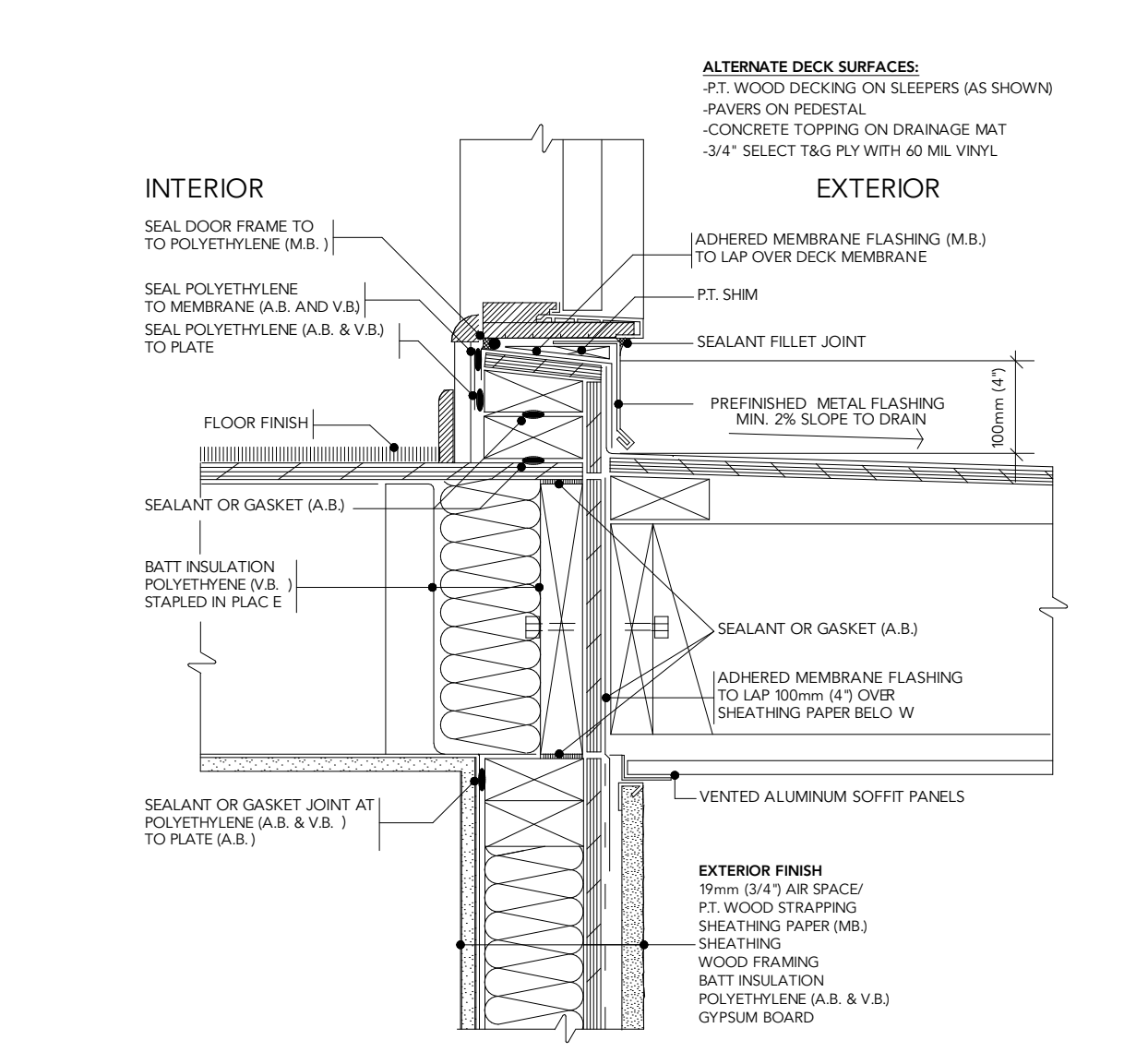
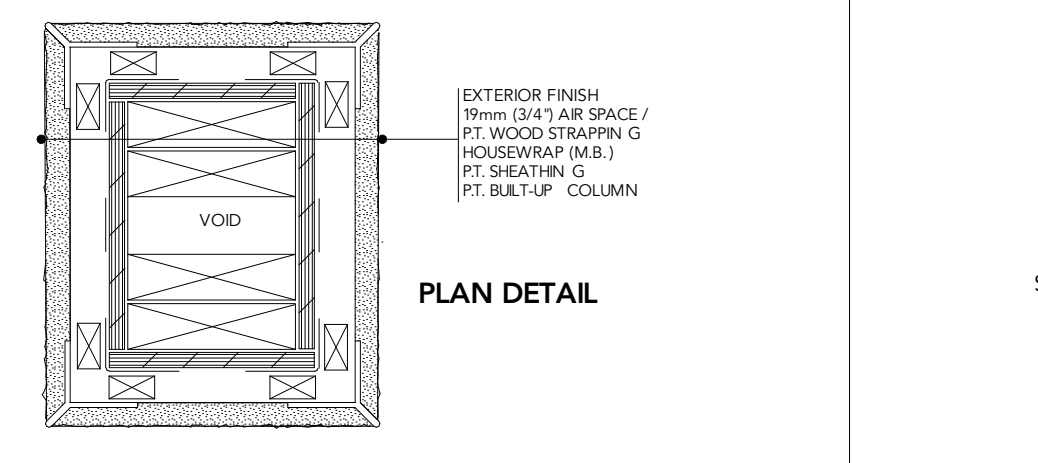
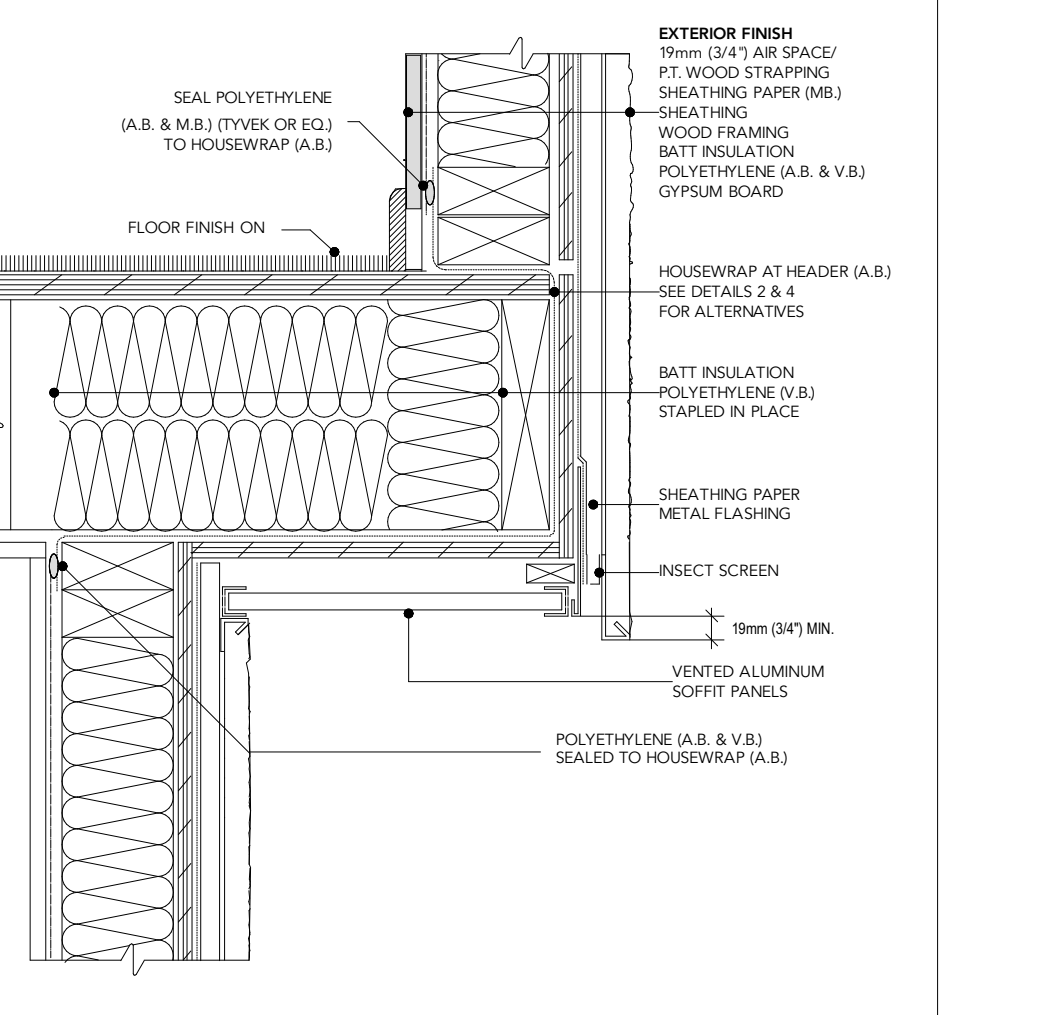
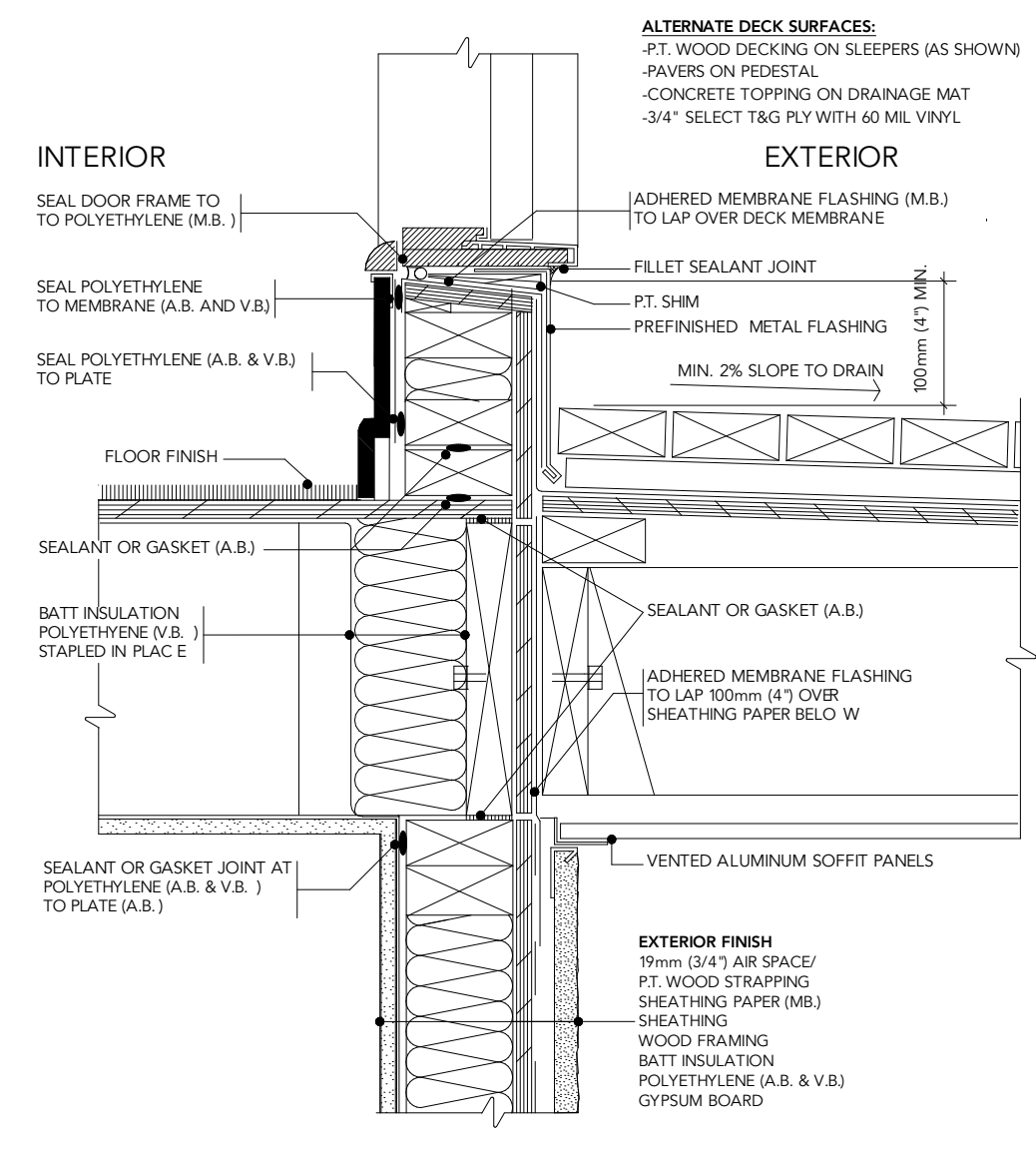
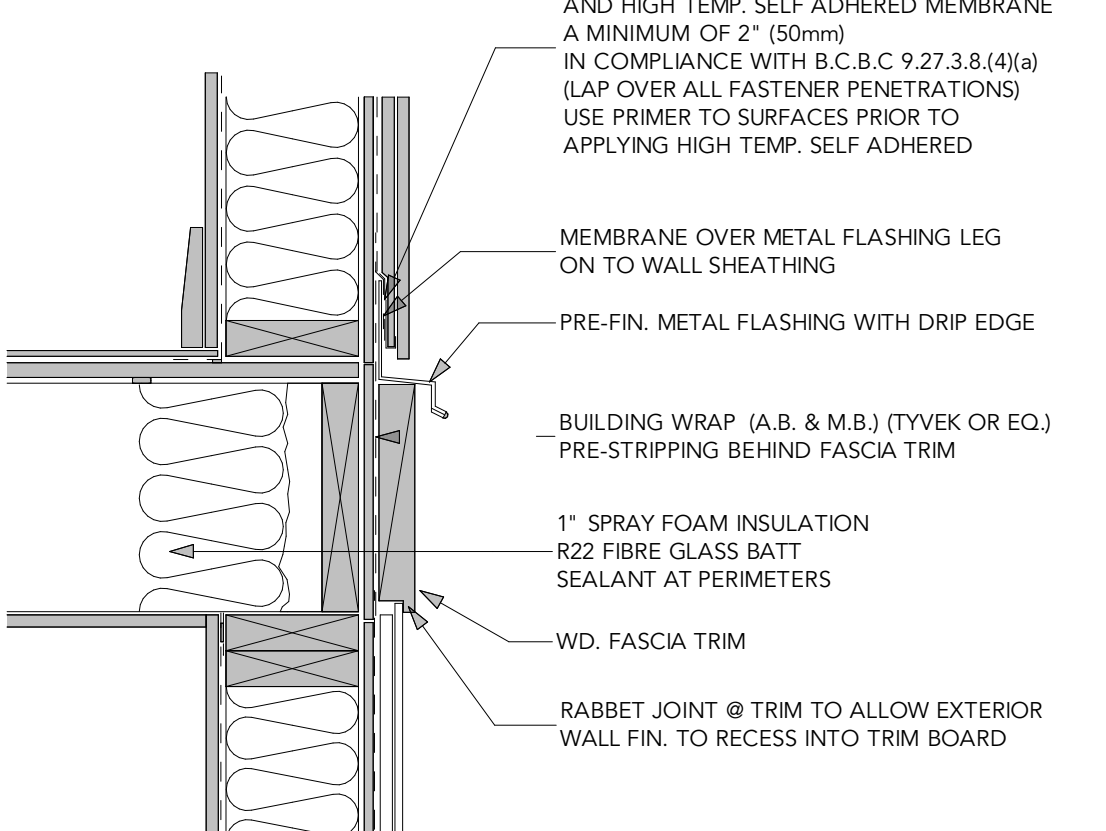
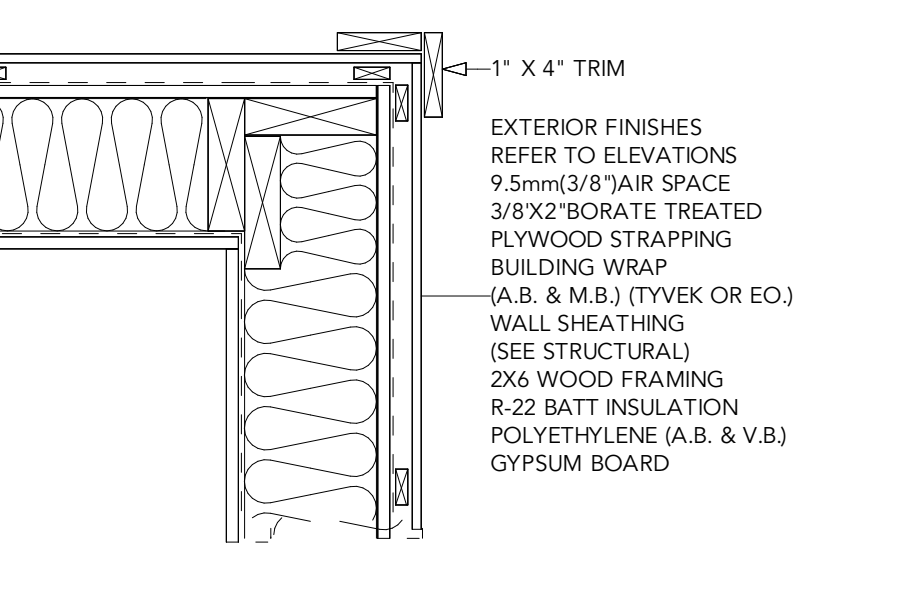
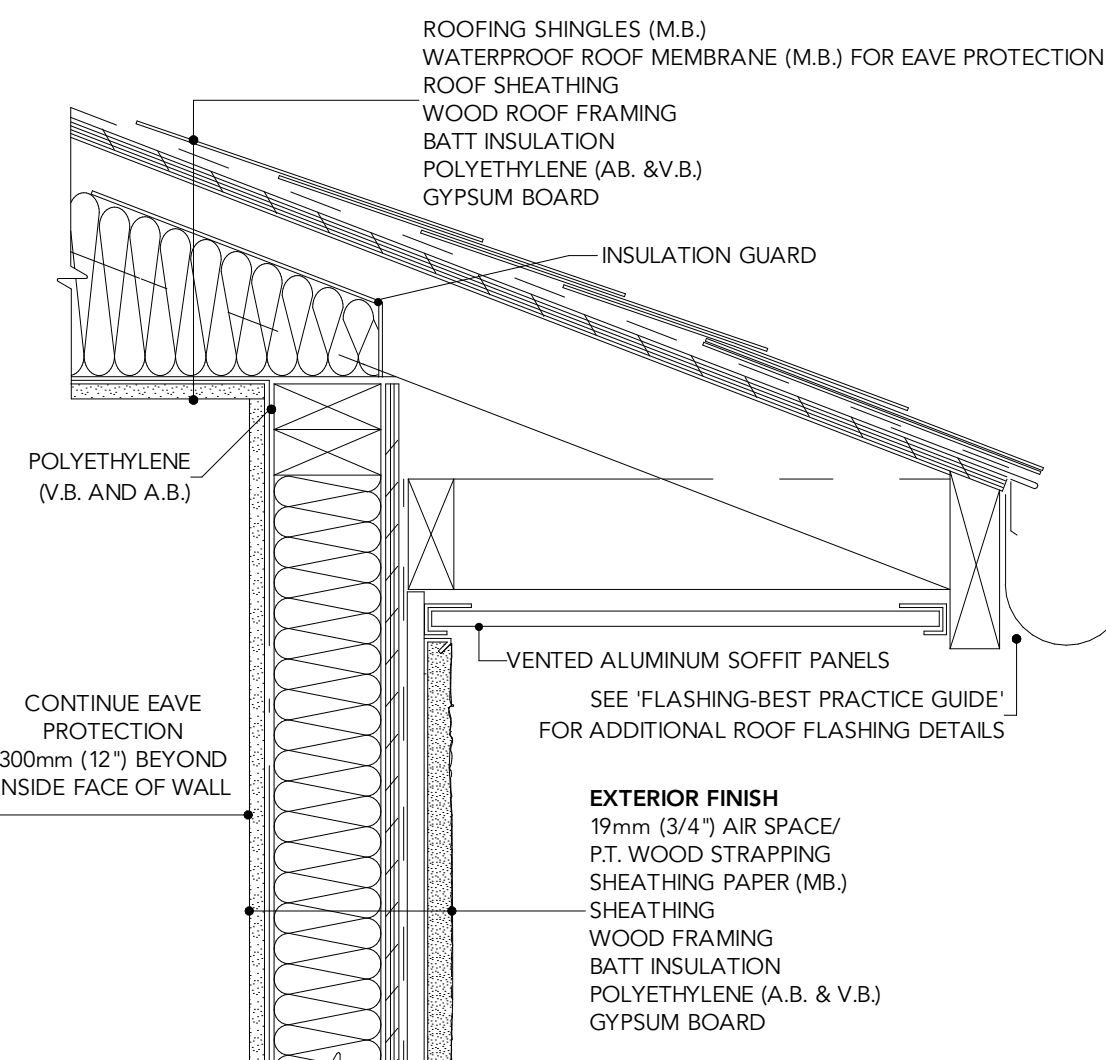
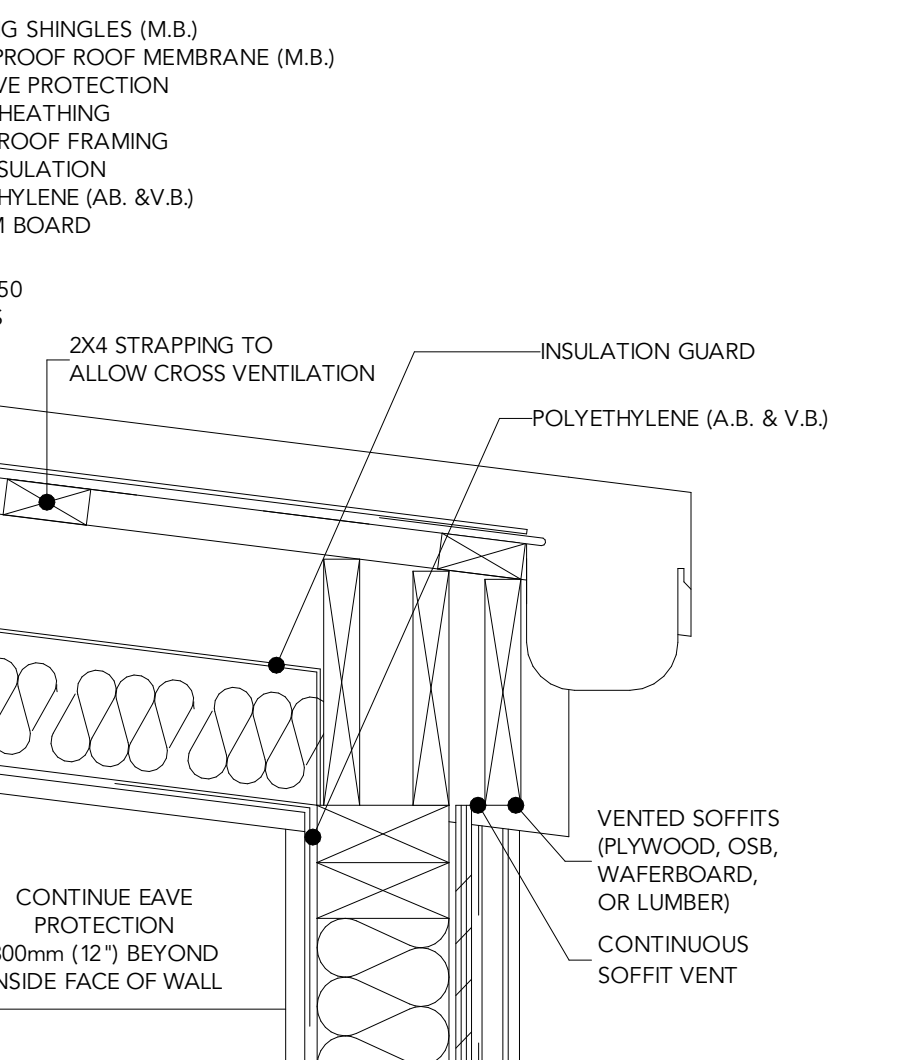
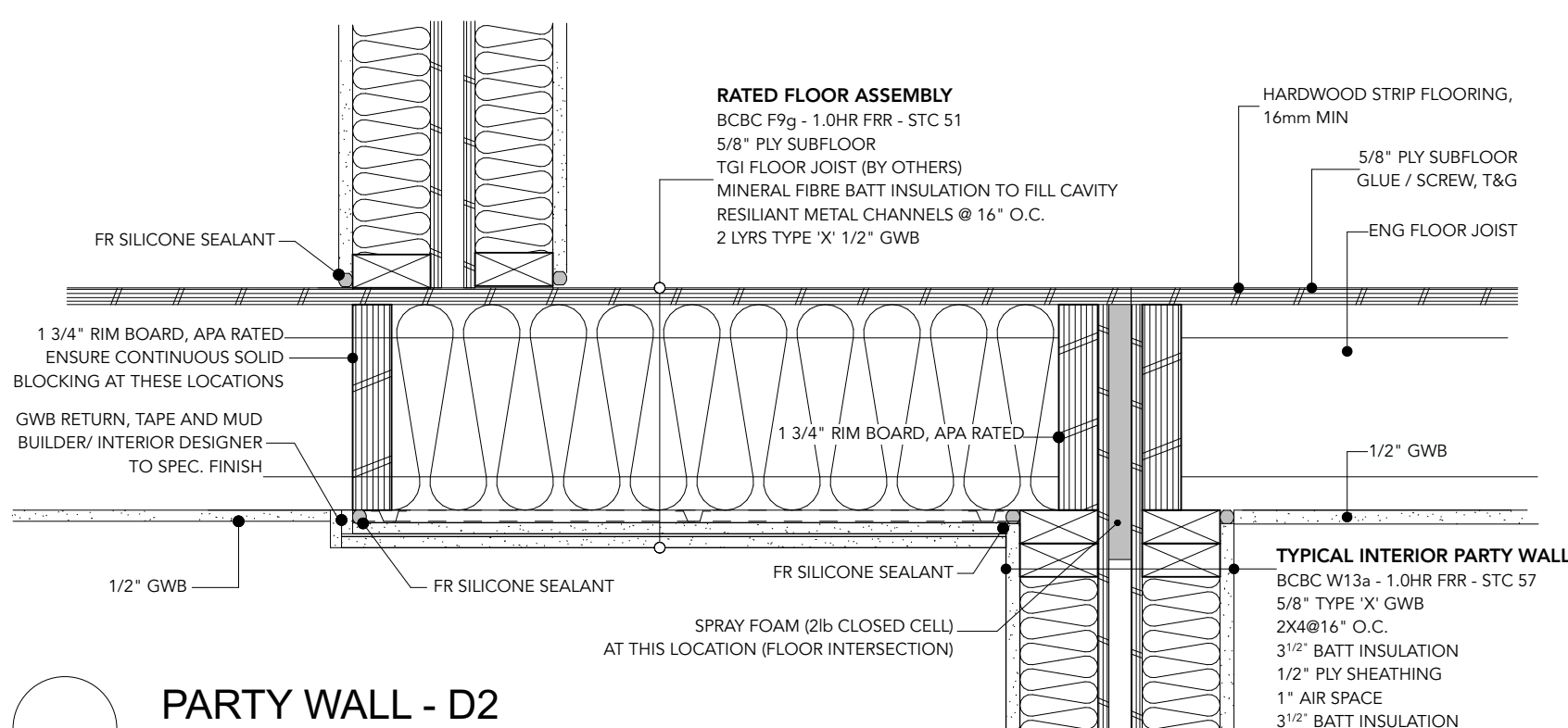
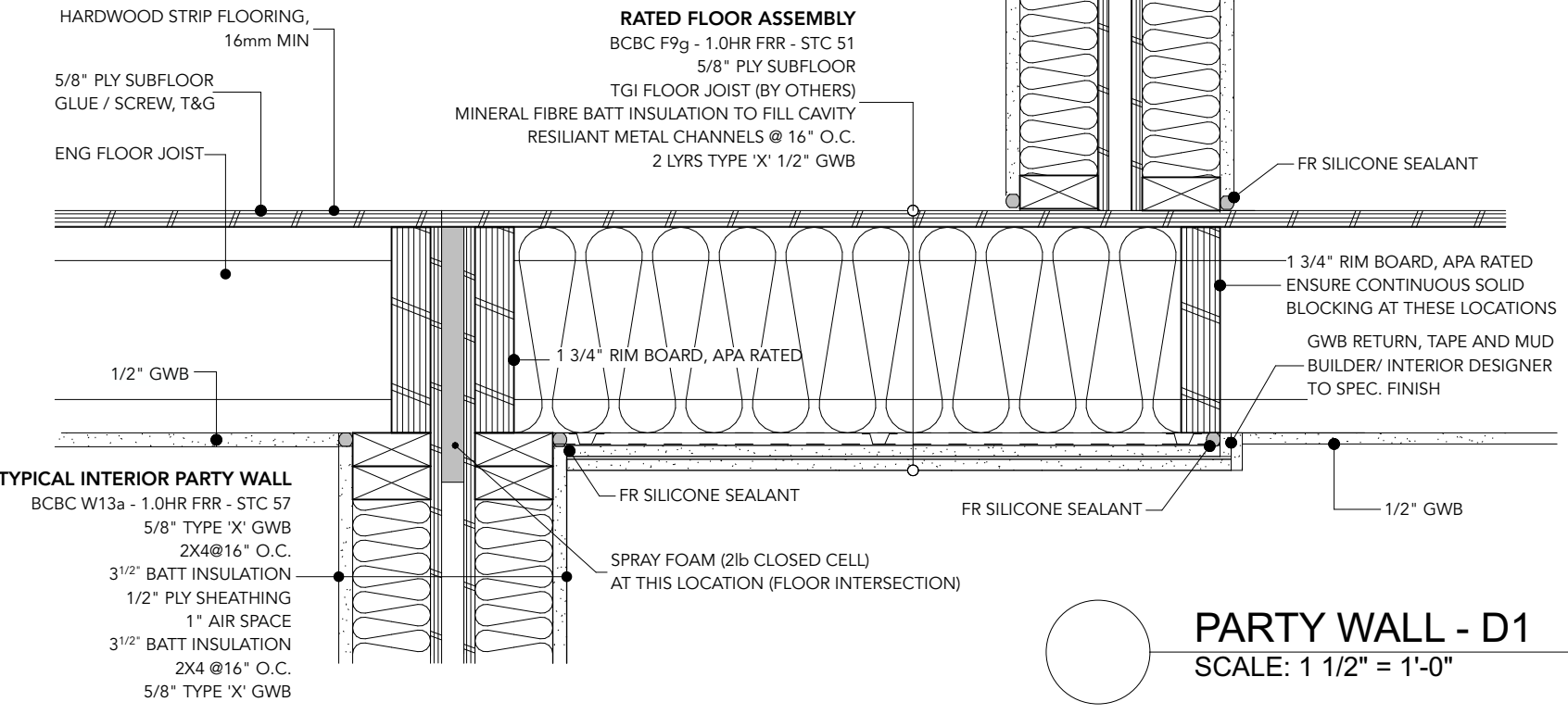
PROJECT ADDRESS
 LOT 18
 1640 EARLE STREET
 VICTORIA V8S 1N5

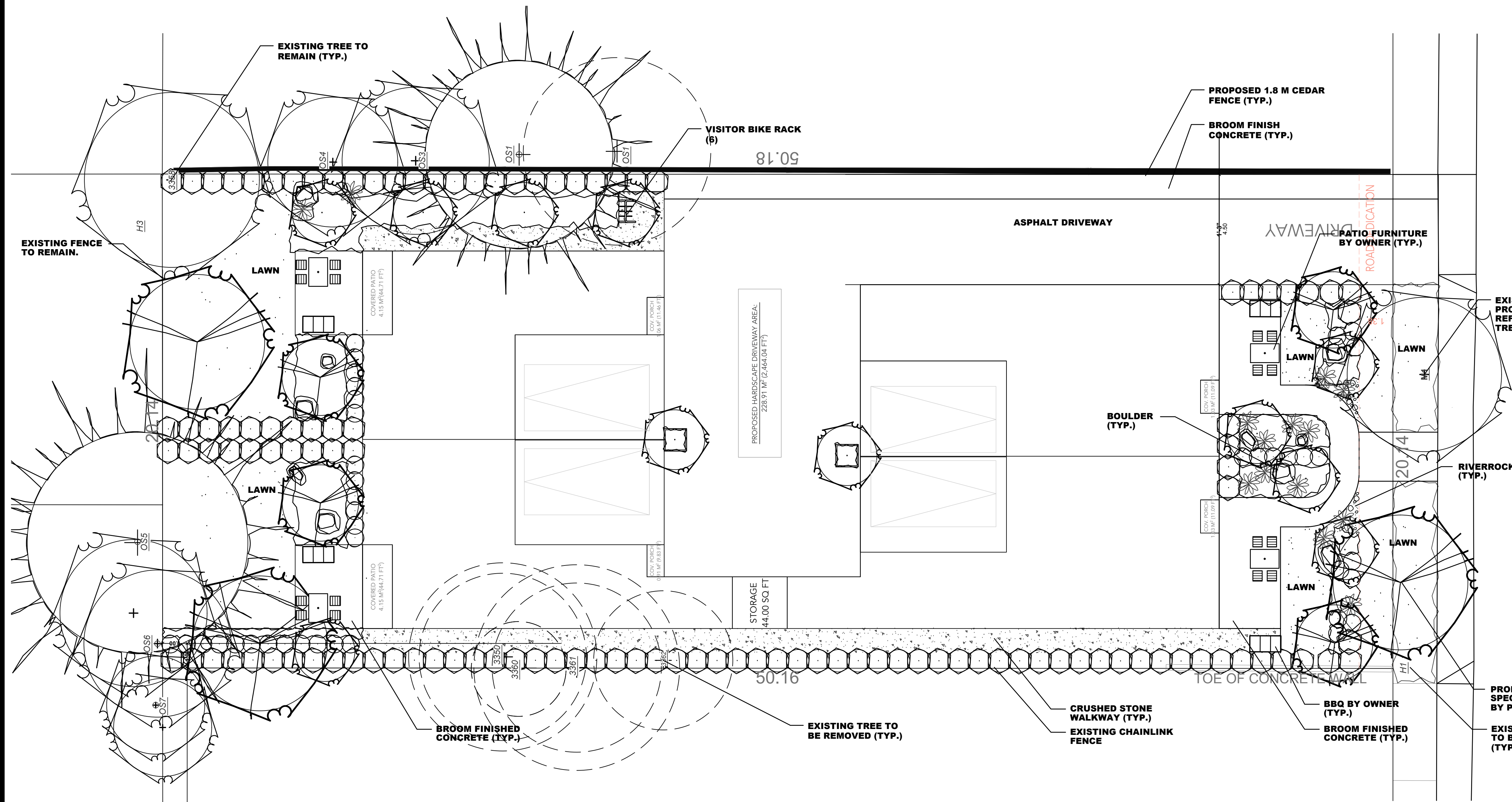
SHEET TITLE
 CONSTRUCTION DETAILS

SCALE
 SEE DRAWINGS

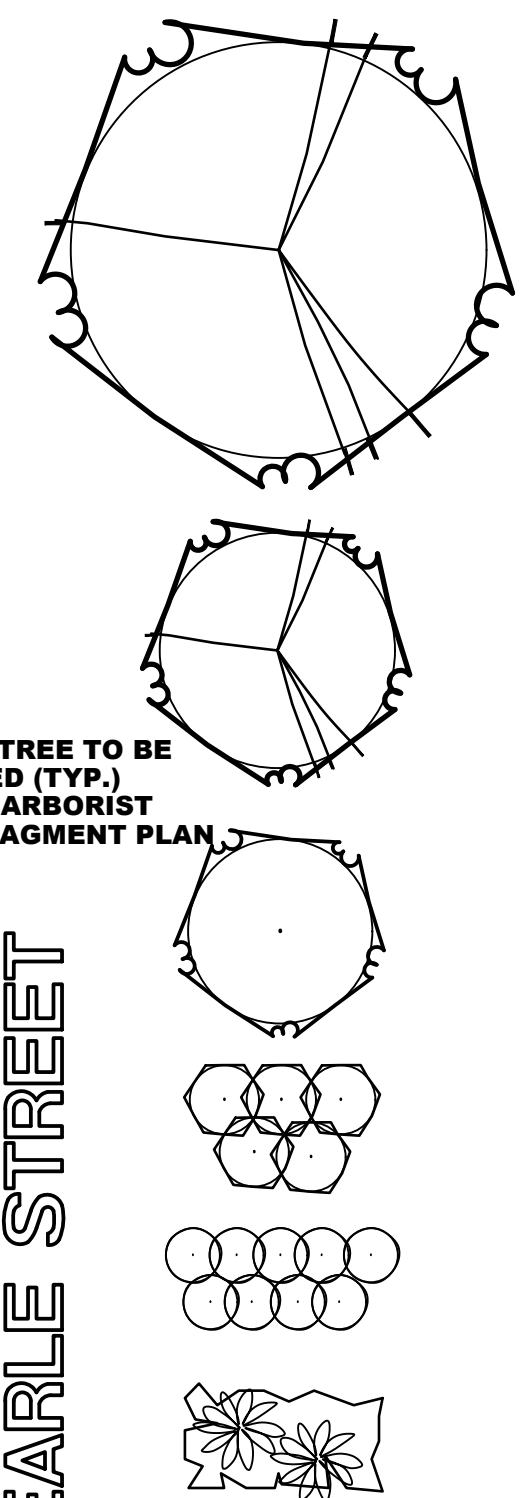
DATE
 April 14, 2026

SHEET NUMBER
 A11 / A11





LEGEND



- MEDIUM DECIDUOUS TREE TO BE A SELECTION OF: KATSURA TREE, GOLDEN LOCUST; SIZE 5 CM CAL.; APPROXIMATE NO. - 2
- COLUMNAR DECIDUOUS TREE TO BE A SELECTION OF: ARMSTRONG GOLD MAPLE, PENICTON SENTRY MAIDENHAIR, SIZE 6.0 CM CAL.; APPROXIMATE NO. - 04
- MULTISTEM TO BE A SELECTION OF: STAR MAGNOLIA (DEC), LILAC (DEC); RIBES SANGUINEUM (DEC); SIZE 27 CM POT; APPROXIMATE NO. - 11
- MEDIUM SHRUB TO BE A SELECTION OF: OREGON GRAPE (BL), GOLDEN NINEBARK (DEC), WESTERN SWORD FERNS (BL), BRACHYGLOTTIS; SIZE 21 CM POT; APPROXIMATE NO. - 145
- SMALL SHRUB TO BE A SELECTION OF: LONG LEAF MAHONIA (BL), ABBOTSWOOD POTENTILLA (BL), EUPHORBIA (BL), RUSSIAN SAGE (DEC), LIRIOPE (BL); SIZE 15 CM POT; APPROXIMATE NO. - 60
- GROUNDCOVER TO BE A SELECTION OF: KINKINNICK (BL), GRASSES, W. NEW ZEALAND FLAX (BL); SIZE 10 CM POT; PLANT 45 CM O.C.

NOTES

- LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THIS DRAWING IS CONCEPTUAL ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES.
- ALL LANDSCAPE WORK AND PLANT MATERIAL WILL CONFORM TO THE MOST RECENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- ALL LANDSCAPE WORK ON CITY PROPERTY TO CITY OF VICTORIA STANDARD AND APPROVAL.
- REFER TO ARCHITECTURAL/CIVIL FOR HARD LANDSCAPE, SITE GRADING

ISSUED FOR DEVELOPMENT PERMIT DECEMBER 22, 2025

NO.	DATE	BY	REVISION
1.	02/03/26	S.P.	GENERAL
2.	04/10/26	S.P.	CITY COMMENTS

DESIGN	S.P.
CHECKED	J.P.
DATE	DECEMBER 22, 2025
DRAWING	1640 EARLE - P1R3R
FILE	

Lombard North Group
 LOMBARD NORTH GROUP (BC) INC.
 430 COMMERCE STREET
 VICTORIA, BRITISH COLUMBIA, V8W 1R1
 TELEPHONE: (250) 588-1336
 EMAIL: lombardnorthgroup@gmail.com

JOB NAME

1640 EARLE STREET

VICTORIA, B.C.

CONSULTANT

LANDSCAPE PLAN

P1

