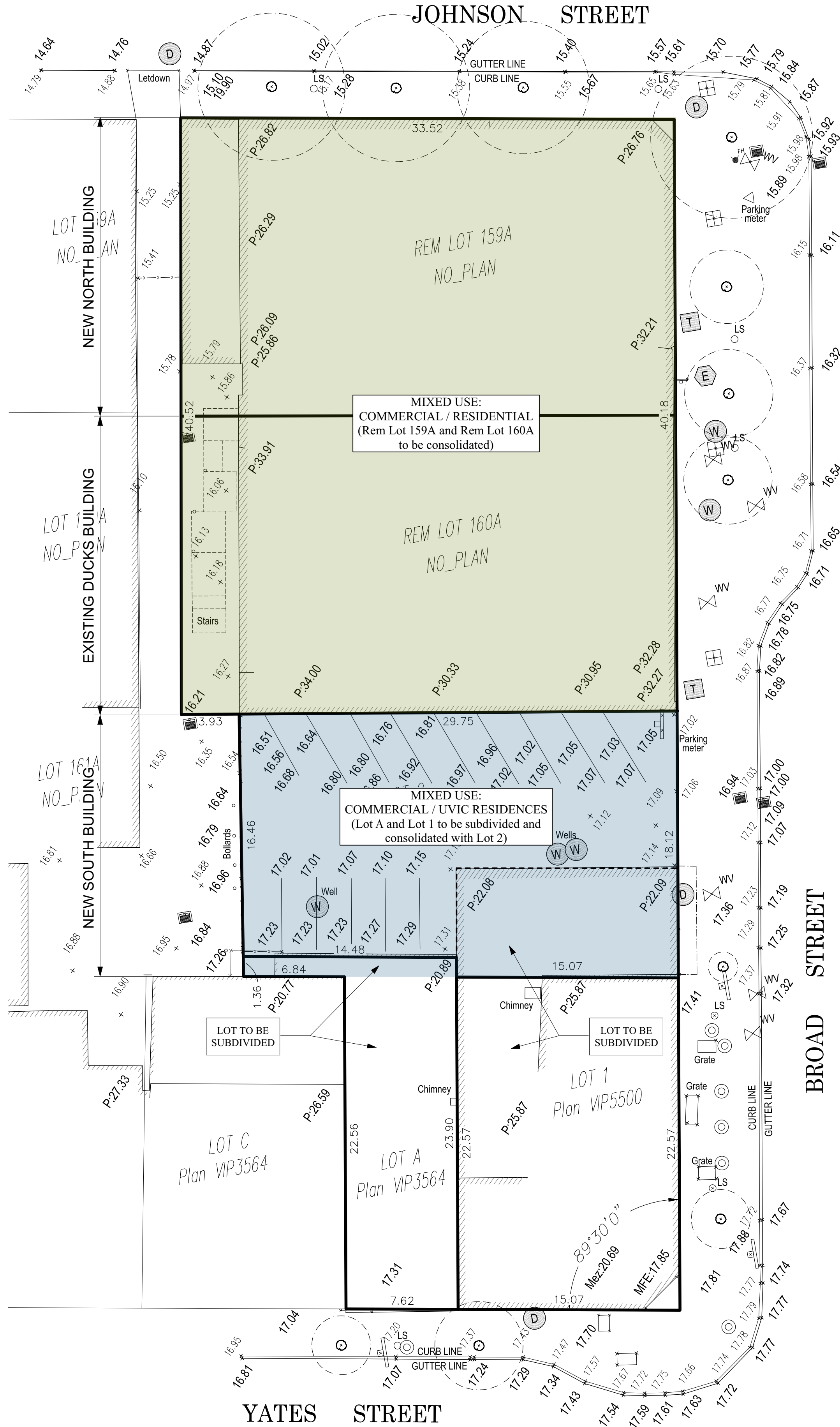


1
A001 Context Plan
Scale: 1:500



2
A001 Site Context Plan
Scale: 1:200

PROJECT DESCRIPTION

CIVIC ADDRESS:
1312-1324 BROAD STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT 1 OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500,
AND REM. LOT 160A ABD REM. LOT 160A.
VICTORIA DISTRICT

REGISTERED OWNER

University of Victoria
3800 Finnerty Rd
P.O. Box 3040 STN. SCC
Victoria, BC
V8W 3N7

DEVELOPER

CHARD DEVELOPMENT LTD Chris Mooi
#500, 509 RICHARDS STREET tel: 604.558-7849
Victoria, BC
V6B 2Z6 chris@charddevelopment.com

ARCHITECT

de Hoog & Kierulf architects Charles Kierulf AIBC
977 Fort Street tel: 250.386-3367
Victoria, BC fax: 250.381-3397
V8V 3K3 crk@dhk.ca

STRUCTURAL CONSULTANT

RJC Leon Plett
220 - 645 Tyee Road tel: 250.386-7794
Victoria, BC fax: 250.381-7900
V9A 6X5 lplett@rjc.ca

MECHANICAL CONSULTANT

AME Consulting Group tel: 250.
721 Johnson St. fax: 250.
Victoria, BC
V8W 1M8

ELECTRICAL CONSULTANT

Applied Engineering Solutions Ltd. Jay Singh
3rd Floor - 1815 Blanshard Street tel: 250.381-6121
Victoria, BC fax: 250.381-6811
V8T 5A4 jsingh@appliedengineering.ca

LANDSCAPE ARCHITECT

Murdoch de Greeff Inc. Scott Murdoch
200-524 Cudthul Rd. tel: 250.412-2819
Victoria, BC fax: 250.412-2892
V8Z 1G1 scott@mdidesign.ca

CIVIL CONSULTANT

JE Anderson tel: 250.
4212 Glanford Ave. fax: 250.
Victoria, BC
V8Z 4B7

GEOTECHNICAL

Ryzuk Geotechnical Isabelle Maltais
28 Crease Avenue tel: 250.475-3131
Victoria, BC fax: 250.475-3611
V8Z 1S3 isabelle@ryzuk.com

SURVEYOR

Explorer Land Survey Inc. Kenneth Ng
101 - 2610 Douglas St. tel: 250.
Victoria, BC fax: 250.
V8T 4M1 kennet@explorersurvey.com

ENVELOPE

RJC Kevin Pickwick
220 - 645 Tyee Road tel: 250.386-7794
Victoria, BC fax: 250.381-7900
V9A 6X5 kpickwick@rjc.ca

BUILDING CODE SUMMARY

REFERENCED DOCUMENT :
BRITISH COLUMBIA BUILDING CODE 2012 - PART 3

MAJOR OCCUPANCY CLASSIFICATION:
• GROUP C - RESIDENTIAL / GROUP D - COMMERCIAL

BUILDING AREA:
• 1,580 m²

BUILDING HEIGHT:
• 7 STOREYS

NUMBER OF STREETS FACING:
• 2

ACCESSIBLE FACILITIES
• ACCESSIBLE ENTRANCE
• ACCESSIBLE PARKING STALLS

CONSTRUCTION REQUIREMENTS:

• 3.2.2.47 GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

• NON-COMBUSTIBLE CONSTRUCTION WITH
2HR MIN FIRE RESISTANCE RATING TO FLOORS AND
LOADBEARING WALLS.

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS
Ref. 3.2.6.1 (1)(d)

VICTORIA ZONING BYLAW SUMMARY

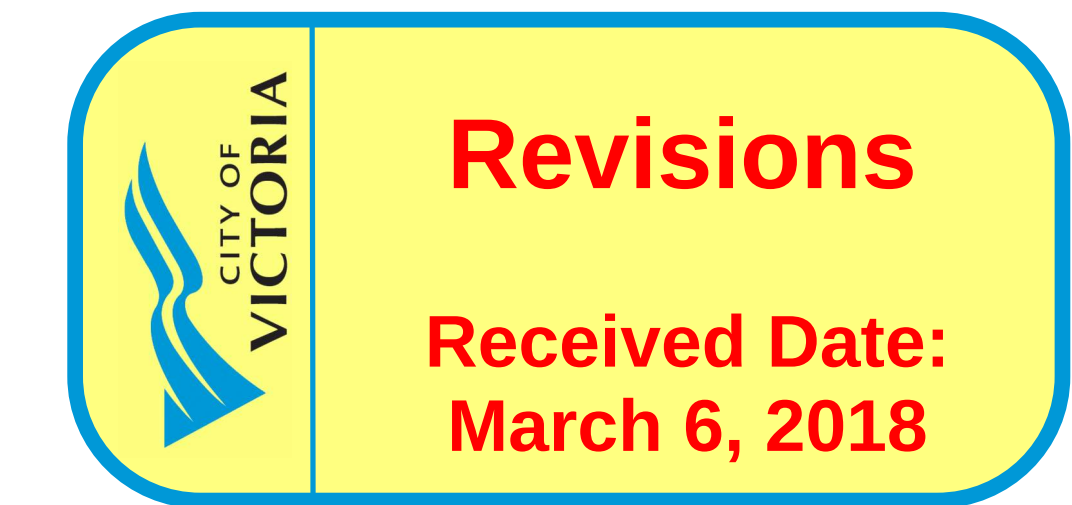
BUILDING DESCRIPTION:
7 STOREY RESIDENTIAL BUILDING

USES: MIXED-USE
MAIN FLOOR: RETAIL
UPPER FLOORS: RESIDENTIAL, CONDOMINIUMS, TRANSIENT
ACCOMMODATION,
MARKET RENTAL

EXISTING ZONE: CA-3C

PROPOSED ZONE: SITE SPECIFIC

DEVELOPMENT PERMIT AREA: DPA1 (HC) HISTORIC CORE



LIST OF DRAWINGS

Architectural

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A204	Level 2A Floor Plan
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A206	Level 4 Floor Plan
A207	Level 5 Floor Plan
A208	Level 6 Floor Plan
A209	Level 7 Floor Plan
A210	Roof Plan
A301	Proposed Sections
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A402	Proposed North Elevations
A403	Proposed South Elevations
A404	Proposed East Elevations
A405	Proposed West Elevations
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A502	Site Context
A503	Perspective Studies
A504	Perspective Studies
A505	Perspective Studies
A506	Bicycle Parking
A507	Stone Wall

Rev.	Date	Description	DP resubmission
01	06 MAR 18		
02	06 MAR 18		
03	06 MAR 18		
04	06 MAR 18		
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98	06 MAR 18		
99	06 MAR 18		
100	06 MAR 18		

NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulf architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-608-3367

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

project name
Broad Street Redevelopment
1312-1324 Broad Street
Victoria BC

Project Data

sheet no.
A001

revision no.
-

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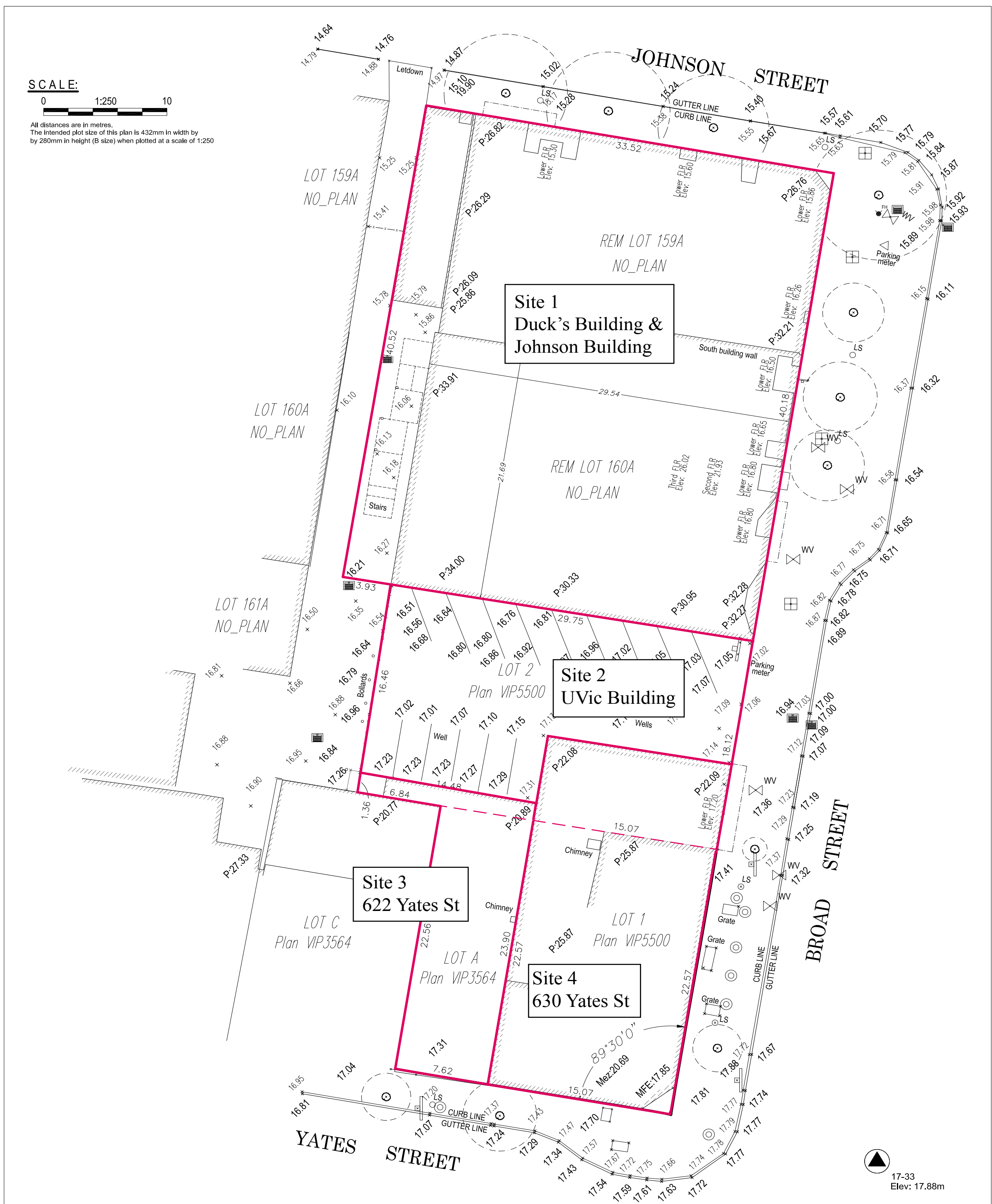
LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500, AND REM. LOT 160A
ABD REM. LOT 160A. VICTORIA DISTRICT

—
dH-Ka

	Site 1	Site 2	Site 1 + Site 2	Site 3	Site 4
	Duck's & Johnson Building	UVic Building	Duck's & Johnson + UVic	Dress Shop	Legacy Art Gallery
Civic Address	1314 Broad + 1312 Broad	1312 Broad + Strip of 622 Yates		Remainder of 622 Yates	Remainder of 630 Yates
Legal Address	Rem Lot 159A + Rem Lot 160A	Lot 2 Plan VIP5500 + Strip of Lot A Plan VIP3564		Remainder of Lot A Plan VIP3564	Remainder of Lot 1 Plan VIP5500
Final Site Area (sm)	1,355.65	532.14	1,887.79	171.91	340.12
Final Gross Floor Area (sm)	6,050.00	3,165.00	9,215.00	171.91	340.12
Final FAR	4.5	5.9		1.0	1.0
Duck's Building Current Floor Area	2,346				
Duck's Building Retained Floor Area	2,346				
Total Floor Area (@ ground)	1160	478	1638	171.95	340.12
Commercial Floor Area	759	237	996	assumed 171.95	assumed 340.12
Building Area Over City Property					
Site Coverage	86%	90%	88%	100%	100%
Open Site Space	14%	10%	12%	0%	0%
Height of Building	21.57	21.57		5.09	7.93
Number of Storys	7	7		1	1
Parking Stalls on Site	3	3	6	0	0
Bicycle Parking (Class 1 & Class 2)	108	60	168	0	0
Building Setbacks					
Front Yard	0 M	0 M		0 M	0 M
Rear Yard	0 M	0 M		0 M	0 M
Side Yard	0 M	0 M		0 M	0 M
Side Yard	0 M	0 M		0 M	0 M
Combined Side Yard	0 M	0 M		0 M	0 M
Residential Use Details					
Total Number of Units	104	59	163	N/a	N/a
Unit Type	Bachelor / One and Two Bedroom	Bachelor / One Bedroom		N/a	N/a
Ground-Orientated Units	0	0		N/a	N/a
Min Unit Floor Area	28	24		N/a	N/a
Total Residential Floor Area	5,193	2,723	7,916	N/a	N/a

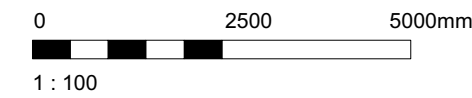
Unit Mix DUCK'S + JOHNSON Building

Unit Mix DUCK'S + JOHNSON Building															
Unit Mix DUCK'S Building		Area (sm)	Area (sf)	L1	L2	L2A	L3	L4	L5	L6	L7	Roof	No. Units	Area (sm)	Area (sf)
	D-A	37.3	401	0	2	0	2	1	1	1	0		7	261.1	2810
	D-A1	38.6	415	0	2	0	2	1	1	0	0		7	270.2	2908
	D-B	47.1	507	0	0	2	0	0	0	0	0		2	94.2	1014
	D-B1	42.5	457	0	0	2	0	0	0	0	0		2	85	915
	D-B Mezzanine	62.9	677	0	0	0	0	3	0	0	0		3	188.7	2031
	D-B1 Mezzanine	58.3	628	0	0	0	0	1	0	0	0		1	58.3	628
	D-C	31.9	343	0	0	0	2	0	0	0	2		4	127.6	1373
	D-C1	30.3	326	0	0	0	1	1	1	1	1		5	151.5	1631
	D-D	39.9	429	0	0	0	0	2	2	2	0		6	239.4	2577
	D-E	34.6	372	0	0	0	0	2	2	2	0		6	207.6	2235
	D-F	40.2	433	0	0	0	0	0	0	3	2		5	201	2164
	D-F1	36.5	393	0	0	0	0	0	0	1	2		3	109.5	1179
Total Duck's Suites				0	4	4	7	11	7	11	7		51	1,994	21,464
Unit Mix JOHNSON Building		Area (sm)	Area (sf)	L1	L2	L2A	L3	L4	L5	L6	L7	Roof	No. Units	Area (sm)	Area (sf)
	J-A	35.1	378	0	3	0	3	3	3	3	0		15	526.5	5667
	J-B	67.4	725	0	1	0	1	1	1	1	0		5	337	3627
	J-C	36.7	395	0	1	0	1	1	1	1	1		6	220.2	2370
	J-D	37.6	405	0	1	0	1	1	1	1	1		6	225.6	2428
	J-E Guest	49.8	536	0	1	0	0	0	0	0	0		1	49.8	536
	J-E1	41.2	443	0	0	0	1	1	1	1	0		4	164.8	1774
	J-E2	42.0	452	0	0	0	0	0	0	0	1		1	42	452
	J-F	50.5	544	0	1	0	1	1	1	1	0		5	252.5	2718
	J-G	48.7	524	0	1	0	1	1	1	1	1		5	243.5	2615
	J-H	47.1	507	0	0	0	0	0	0	0	1		1	47.1	507
	J-I	35.3	380	0	0	0	0	0	0	0	2		2	70.6	760
	J-J	40.0	431	0	0	0	0	0	0	0	1		1	40	431
	J-K	41.6	448	0	0	0	0	0	0	0	1		1	41.6	448
Total Duck's Suites				0	9	0	9	9	9	9	8		53	2,261	24,340
Total Duck's + Jognson Suites				0	13	4	16	20	16	20	15		104	4255.3	45804



1 Site Lots
A002

Unit Mix		Area (sm)	Area (sf)	L1	L2	L2A	L3	L4	L5	L6	L7	Roof	No. Units	Area (sm)	Area (sf)
UVIC Building															
	U-A	34.4	370	0	4	0	4	4	4	4	2		22	756.8	8146
	U-B	44.3	477	0	2	0	2	2	2	2	1		11	487.3	5245
	U-C	28.7	309	0	2	0	2	2	2	2	1		11	315.7	3398
	U-D	40.2	432	0	2	0	2	2	2	2	2		12	481.8	5186
	U-E	41.0	441	0	0	0	0	0	0	0	1		1	41	441
	U-F	29.1	313	0	0	0	0	0	0	0	1		1	29.1	313
	U-F1	25.9	279	0	0	0	0	0	0	0	1		1	25.9	279
Total Suites				0	10	0	10	10	10	10	9		59	2,138	23,009



Rev.	=	Description	DP resubmission
Draft status			
	Date	06 MAR 18	
		Awaiting file	1721.2 A200 Floor Plans
Drawn by:	BWS	checked by:	GJK
Scales	1:100	project number	1721

NOTE: All dimensions are shown in millimeters

de Hoog & Kierulf architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8B 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-1160 Dublin Way
Nanaimo BC V9T 2K8
T 1-250-859-5810

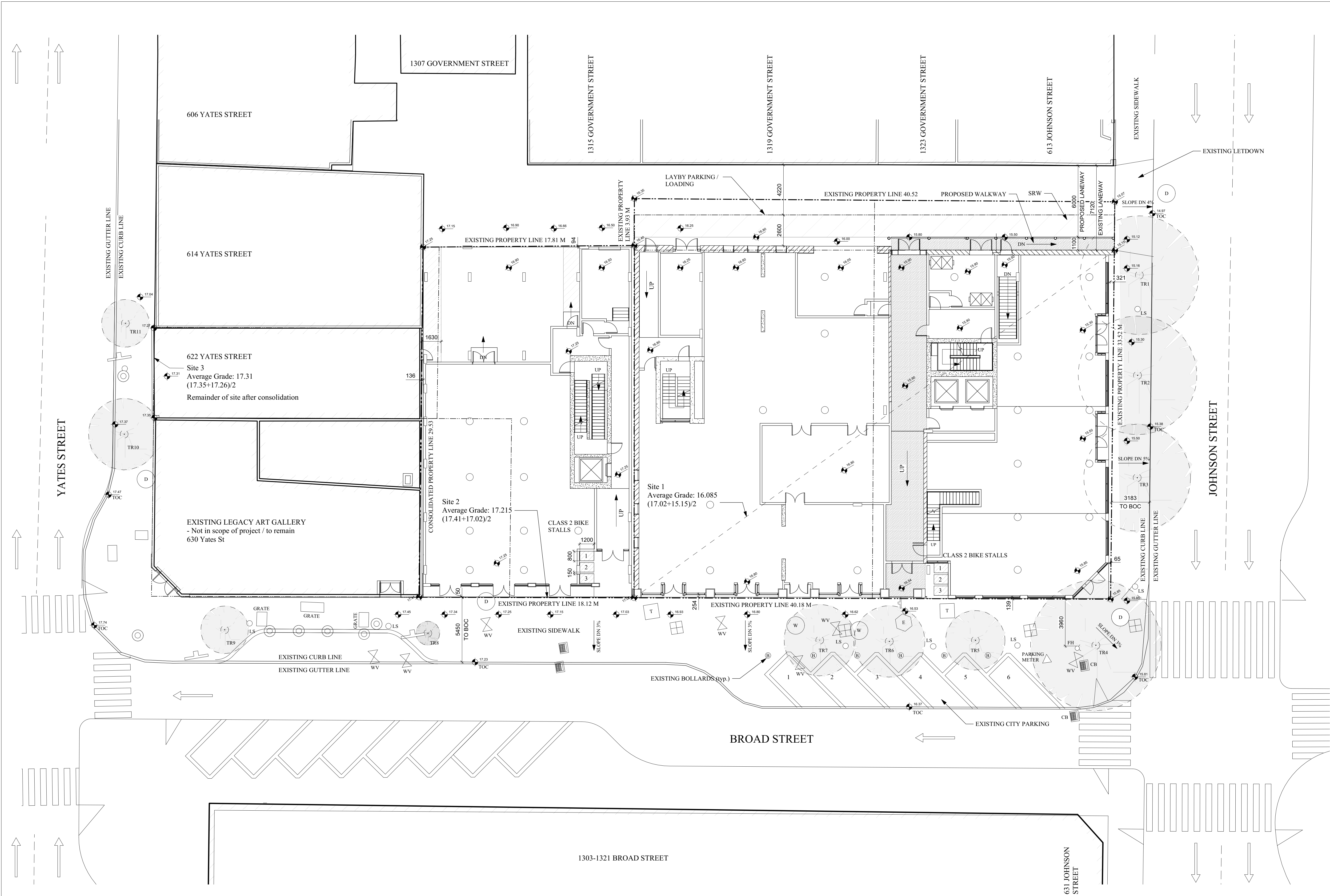
Broad Street Redevelopment
1312-1324 Broad Street
Victoria BC

Project Data

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drawing no. **A002**

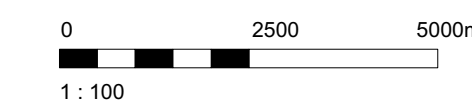
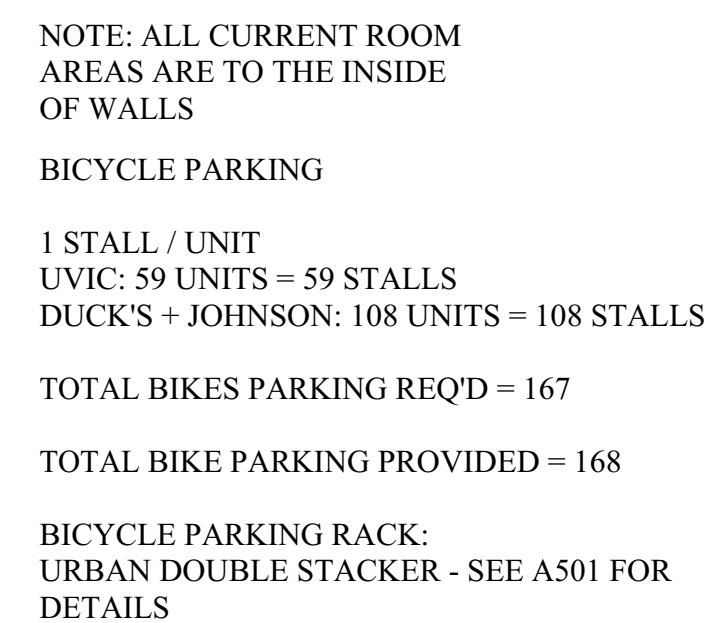
revision no. **-**



NOTES:
- ALL SETBACKS: 0.0 m
- SEE SURVEY ON A100 FOR SITE SERVICES LEGEND
- SEE SURVEY ON A100 FOR EXISTING ELEVATION MARKERS
- SEE BASEMENT PLAN ON A201 FOR BICYCLE PARKING

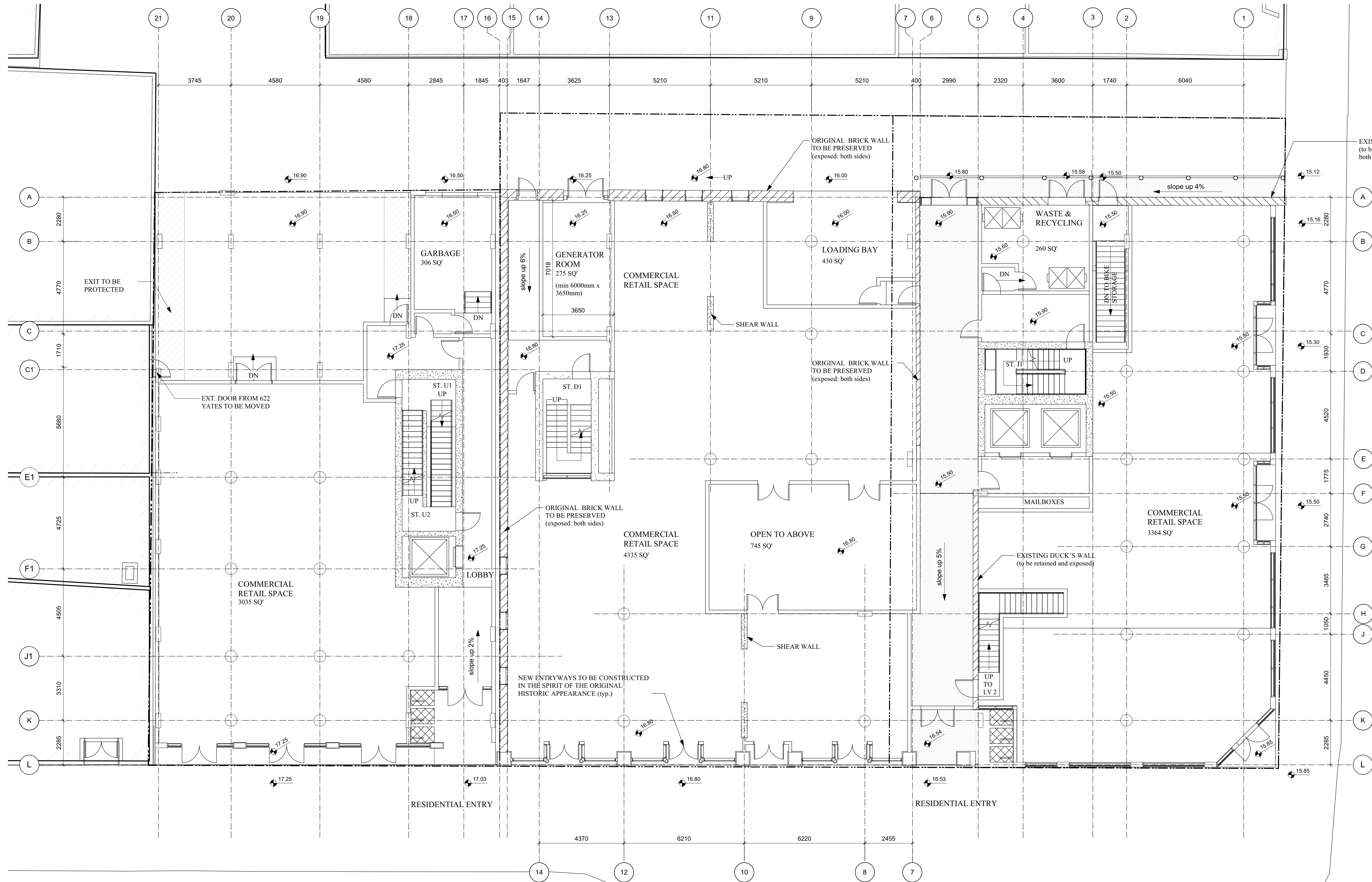
- EXISTING PROPERTY LINE
- CONSOLIDATED PROPERTY LINE
- PREVIOUS PROPERTY LINE

Existing Tree Schedule			
	Species	Diameter	Height
TR1	Carpinus betulus 'Fastigiata'	7	12
TR2	Carpinus betulus 'Fastigiata'	40	12
TR3	Carpinus betulus 'Fastigiata'	36	12
TR4	Quercus palustris	44	14
TR5	Ginkgo biloba	7	10
TR6	Ginkgo biloba	12	7
TR7	Ginkgo biloba	13	8
TR8	Ginkgo biloba	13	8
TR9	Ginkgo biloba	13	7
TR10	Quercus robur	38	14
TR11	Quercus robur	17	7



Day	Date	Description DP resubmission
plot date	06 MAR 18	drawing file 1721.2 A200 Floor Plans
drawn by	SWS	cfs
scales	1:100	project number 1721

NOTE: All dimensions are shown in millimeters



NOTE: ALL CURRENT ROOM AREAS ARE TO THE INSIDE OF WALLS

EXISTING STONE WALL (to be retained and exposed both sides) SEE A507

ORIGINAL BRICK WALL TO BE PRESERVED (exposed: both sides)

ORIGINAL BRICK WALL TO BE PRESERVED (exposed: both sides)

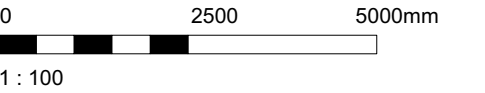
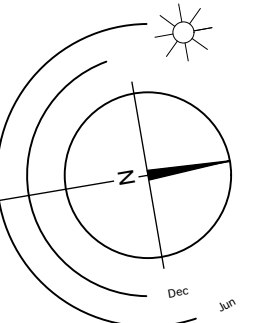
ORIGINAL BRICK WALL TO BE PRESERVED (exposed: both sides)

EXISTING DUCK'S WALL (to be retained and exposed)

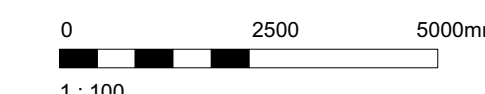
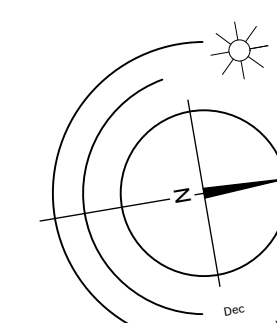
NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)

RESIDENTIAL ENTRY

RESIDENTIAL ENTRY

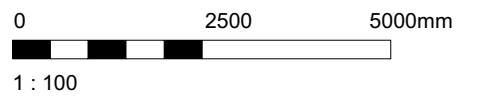
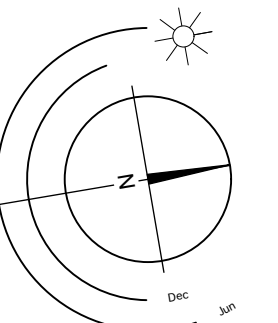


NOTE: All dimensions are shown in millimeters.



Date	*	Date	06 MAR 18 Description DP resubmissio
print date	06 MAR 18		showing file 1721.2 A200 Floor Pla
showed by	SWS	abstracted by	C
scale	1:100	project number	17

NOTE: All dimensions are shown in millimeters.



NOTE: All dimensions are shown in millimeters.

de Hoog & Kierulf architects	
VICTORIA OFFICE	NANAIMO OFFICE
8777 Fraser Street	102-108 Dublin Way
Victoria BC V8P 3K7	Nanaimo BC V9T 2K8
T 1-250-459-3363	T 250-845-0800

project name

Broad Street Redevelopment

1312-1324 Broad Street

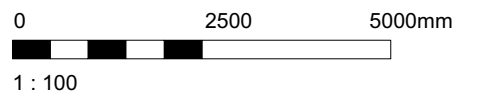
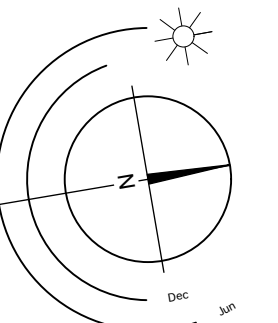
Victoria BC

drawing title

Level 3 Floor Plan

DATE: 2010-05-10
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 DESIGNED AND AS NOTED: J. HARRIS
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drawing no.	revision no.
A205	-



NOTE: All dimensions are shown in millimeters.

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VICTORIA OFFICE
977 977 Street
Victoria BC V8V 3K3
T +506-658-3367

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2A8
T +250-885-5810

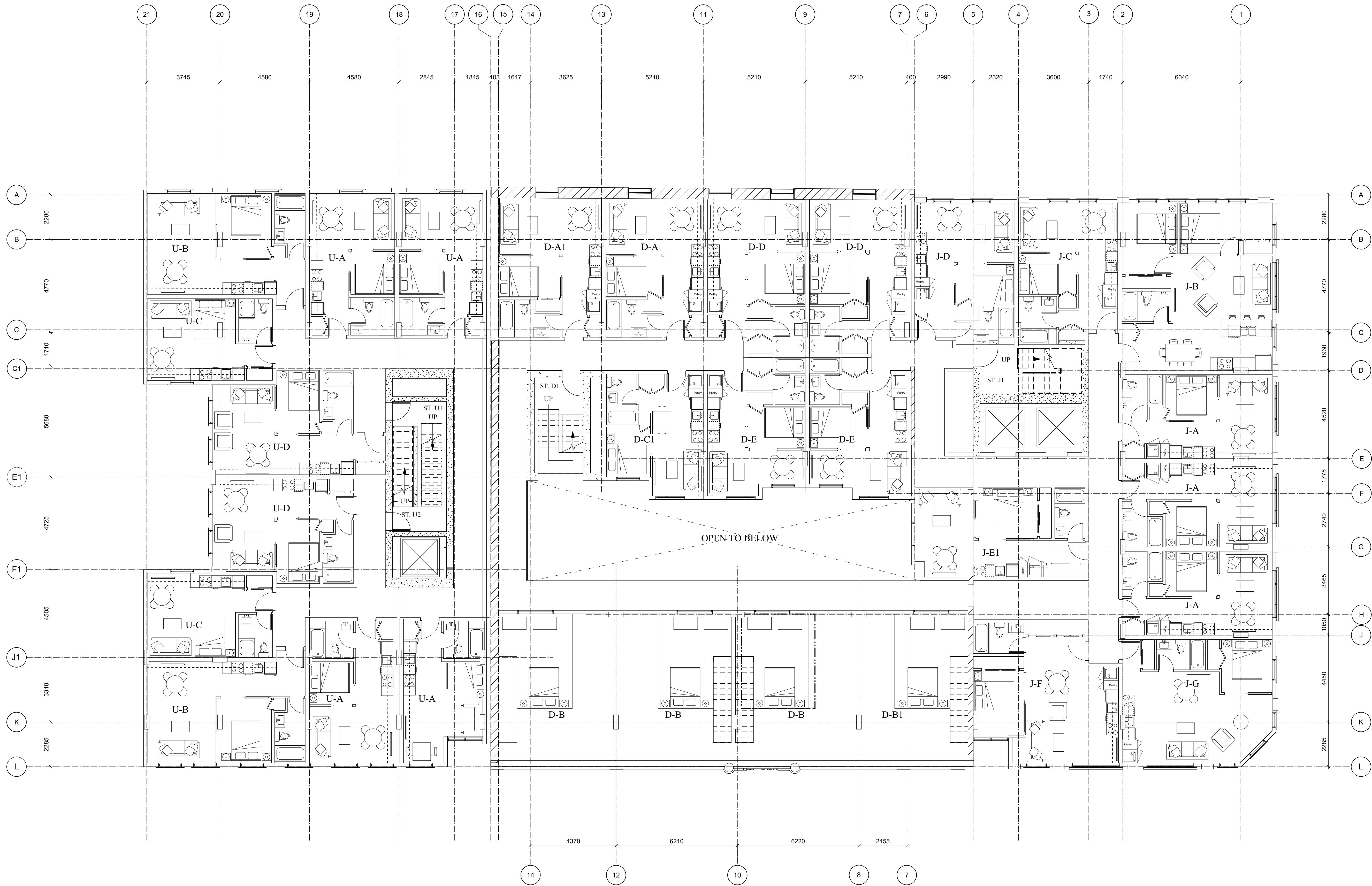
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Victoria BC

Level 4 Floor Plan

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977 Fort Street
Victoria BC V8V 3K3
T 1-250-608-3367

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Nanaimo BC V9T 2K6
T 1-250-585-5810

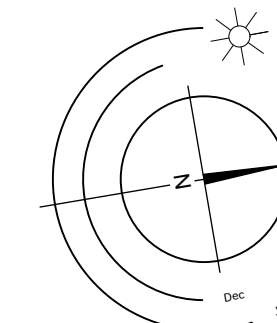
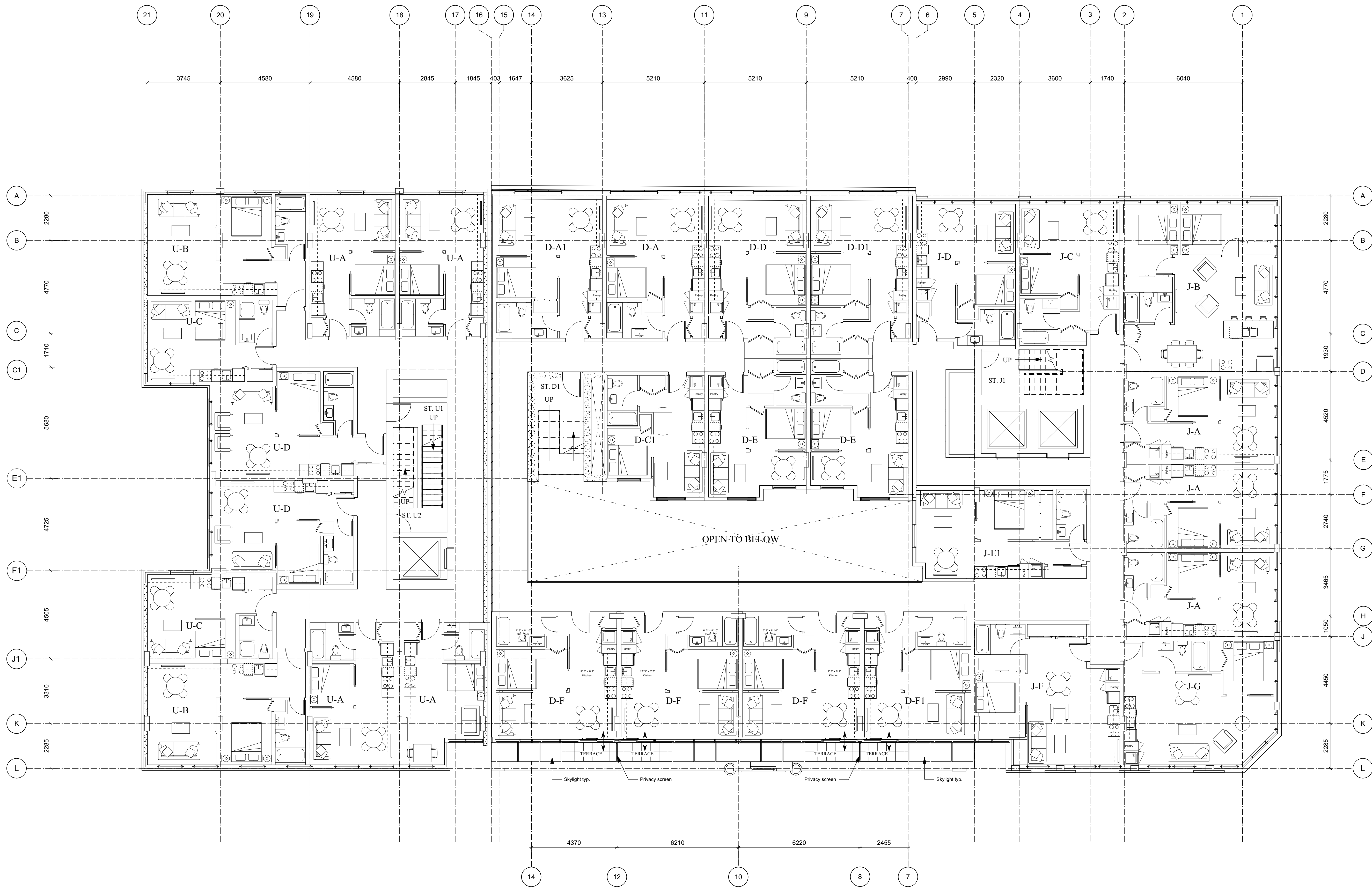
project name
Broad Street Redevelopment
1312-1324 Broad Street
Victoria BC

Level 5 Floor Plan

sheet no.
A207

revision no.
-

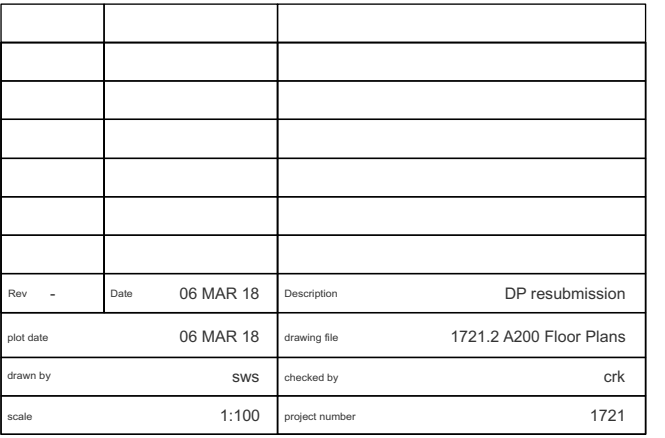
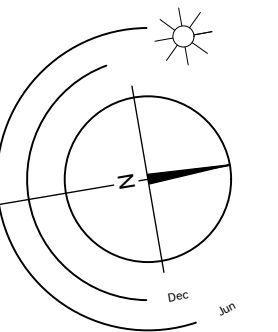
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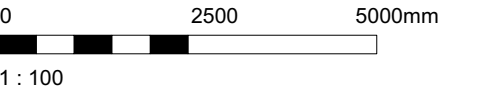
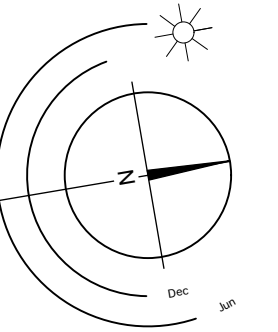
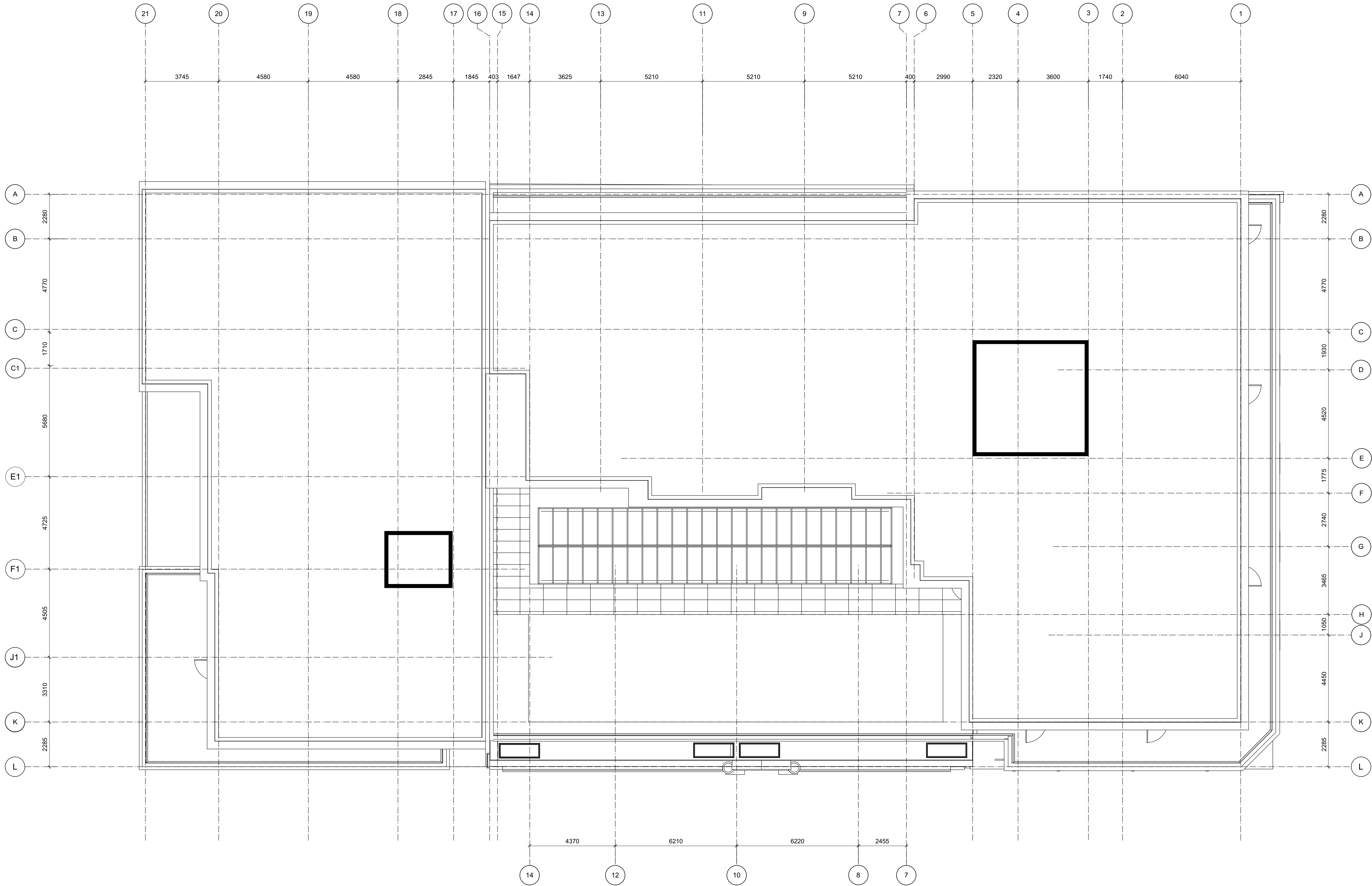
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Rev.	Date	Description
1	06 MAR 18	DP resubmission
2	06 MAR 18	1721.2 A200 Floor Plans
3	06 MAR 18	1721.2 A200 Floor Plans
4	06 MAR 18	1721.2 A200 Floor Plans
5	06 MAR 18	1721.2 A200 Floor Plans
6	06 MAR 18	1721.2 A200 Floor Plans
7	06 MAR 18	1721.2 A200 Floor Plans
8	06 MAR 18	1721.2 A200 Floor Plans
9	06 MAR 18	1721.2 A200 Floor Plans
10	06 MAR 18	1721.2 A200 Floor Plans
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16	06 MAR 18	1721.2 A200 Floor Plans
17	06 MAR 18	1721.2 A200 Floor Plans
18	06 MAR 18	1721.2 A200 Floor Plans
19	06 MAR 18	1721.2 A200 Floor Plans
20	06 MAR 18	1721.2 A200 Floor Plans
21	06 MAR 18	1721.2 A200 Floor Plans

NOTE: All dimensions are shown in millimeters.



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project 1276 Broad Street Redevelopment 1312-1324 Broad Street Victoria BC	
drawing 10 Level 7 Floor Plan Copyright reserved. These plans and drawings are the property of de Hoog & Kierulf architects. No part of these drawings may be reproduced without written consent. drawing 10 A209 number 10 -	



06 MAR 18		DP Resubmission
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print date	06 MAR 18	drawing file 1721.2 A200 Floor Plans
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project name
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Victoria BC

Roof Plan

sheet no.
A210

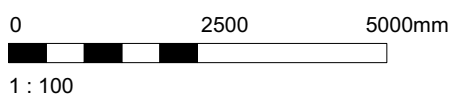
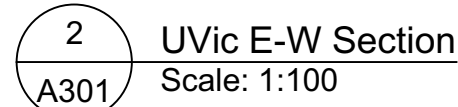
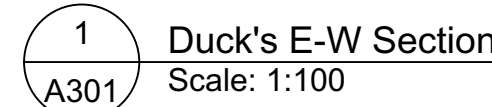
revision no.
-

1

Level 7 Floor Plan

A210

Scale: 1:100



06 MAR 18		DP Resubmission
File	Date	Description
plot date	06 MAR 18	drawing file 1721.2 A200 Floor Plans
drawn by	BWS	checked by CRK
scale	1:100	project number 1721

NOTE: All dimensions are shown in millimeters.

dr-Ka

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NANAIMO OFFICE

102-5100 Quinlan Way
Nanaimo BC V9T 2K8
T 1-250-856-6810

project name

Broad Street Redevelopment
1312-1324 Broad Street
Victoria BC

drawing title

Building Sections

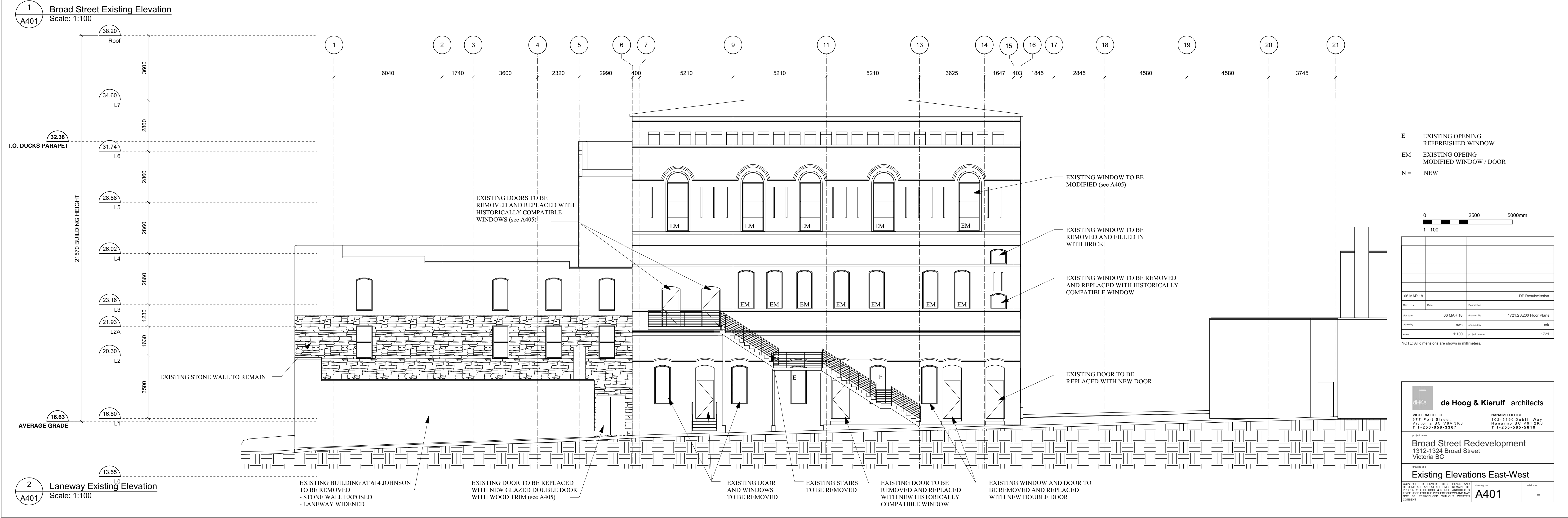
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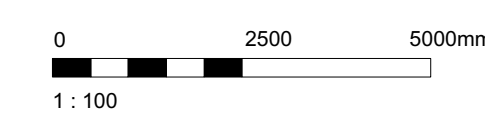
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A301

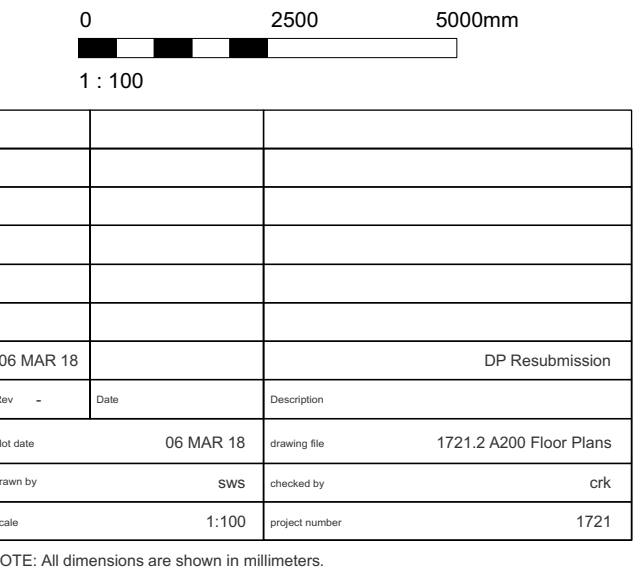
revision no.

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NOTE: All dimensions are shown in millimeters.



1 South Elevation
A403 Scale: 1:100

- ① PREFINISHED METAL ROOF AND PARAPET
- ② BRICK MASONRY VENEER CLADDING - FOREST BLEND
- ③ PREFINISHED METAL WINDOW
- ④ PREFINISHED METAL CLADDING
- ⑤ PRECAST CONCRETE
- ⑥ TERRA COTTA TILE VENEER CLADDING - LIMESTONE
- ⑦ STOREFRONT WINDOW SYSTEM - CLEAR ANODIZED ALUMINUM

- 8 JULIETTE BALCONY: TEMPERED CLEAR GLASS GUARD
W/ ALUMINUM FRAME
- 9 STEEL DOOR
- 10 SECTIONAL OVERHEAD DOOR
- 11 EXISTING WINDOW TO REMAIN (E)
- 12 WINDOW INFILL
- 13 WOOD FRAMED DOUBLE GLAZED
DOOR



EXISTING LEGACY ART GALLERY
- Not in scope of project / to remain
630 Yates St

NEW University of Victoria
Market Rental (Graduate
Student Preference)

EXISTING Duck's Building
- Renovation / Mixed-use
1312 Broad St

NEW Johnson Building
- New Mixed-Use

BRICK AND TILE COLOUR

1 TERRA COTTA TILE VENEER
CLADDING - LIMESTONE SMOOTH

2 BRICK MASONRY VENEER
CLADDING - FOREST BLEND
MISSION

CONSERVATION STRATEGY

1 BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)

2 EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)

3 EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO
BE REHABILITATED WHERE POSSIBLE, AND REPLACED
WITH HISTORICALLY COMPATIBLE DOUBLE-HUNG
WOOD SASHES WHERE NEEDED

4 IRON COLUMNS TO BE RETAINED (typ.)

5 ORIGINAL CORBELLED CORNICE DETAILING WITH
BRACKETS AND TRIANGULAR PEDIMENT TO BE
PRESERVED (typ.)

6 PAINT TO BE REMOVED FROM EXTERIOR MASONRY
WHERE APPLICABLE (typ.)

7 RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)

8 NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT
OF THE ORIGINAL HISTORIC APPEARANCE (typ.)

9 STONE LINTALS TO BE PRESERVED (typ.)

E = EXISTING OPENING
REFERBISHED WINDOW

EM = EXISTING OPEING
MODIFIED WINDOW / DOOR

N = NEW WINDOW

MATERIALS SCHEDULE

1 PREFINISHED METAL ROOF AND PARAPET

2 BRICK MASONRY VENEER CLADDING
- FOREST BLEND

3 PREFINISHED METAL WINDOW

4 PREFINISHED METAL CLADDING

5 PRECAST CONCRETE

6 TERRA COTTA TILE VENEER
CLADDING - LIMESTONE

7 STOREFRONT WINDOW SYSTEM - CLEAR
ANODIZED ALUMINUM

8 JULIETTE BALCONY: TEMPERED CLEAR GLASS GUARD
W/ ALUMINUM FRAME

9 STEEL DOOR

10 SECTIONAL OVERHEAD DOOR

11 EXISTING WINDOW TO REMAIN (E)

12 WINDOW INFILL

13 WOOD FRAMED DOUBLE GLAZED
DOOR

0 2500 5000mm
1 : 100

06 MAR 18		GP Resubmission	
Rev	Desc		
06 MAR 18	06 MAR 18	1721.2 A200 Floor Plans	
Drawn by	BWS	Checked by	CPK
Scale	1:100	Project number	1721

NOTE: All dimensions are shown in millimeters.

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NANAIMO OFFICE
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project name
Broad Street Redevelopment
1312-1324 Broad Street
Victoria BC

drawing no.
A404

revision no.
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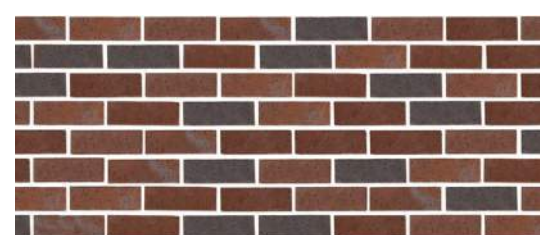
1 East Elevation
A404 Scale: 1:100



1 West Elevation
A405 Scale: 1:100

BRICK AND TILE COLOUR
1 TERRA COTTA TILE VENEER
CLADDING - LIMESTONE SMOOTH

2 BRICK MASONRY VENEER
CLADDING - FOREST BLEND
MISSION



CONSERVATION STRATEGY

- 1 BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- 2 EXTERIOR BRICK WALLS TO BE PRESERVED (TYP.)
- 3 EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED WITH HISTORICALLY COMPATIBLE DOUBLE-HUNG WOOD SASHES WHERE NEEDED (typ.)

- 6 PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- E = EXISTING OPENING
REFERBISHED WINDOW
- EM = EXISTING OPENING
MODIFIED WINDOW / DOOR
- N = NEW WINDOW

MATERIALS SCHEDULE

- 1 PREFINISHED METAL ROOF AND PARAPET
- 2 BRICK MASONRY VENEER CLADDING - FOREST BLEND
- 3 PREFINISHED METAL WINDOW
- 4 PREFINISHED METAL CLADDING
- 5 PRECAST CONCRETE
- 6 TERRA COTTA TILE VENEER CLADDING - LIMESTONE
- 7 STOREFRONT WINDOW SYSTEM - CLEAR ANODIZED ALUMINUM
- 8 JULIETTE BALCONY: TEMPERED CLEAR GLASS GUARD W/ ALUMINUM FRAME
- 9 STEEL DOOR
- 10 SECTIONAL OVERHEAD DOOR
- 11 EXISTING WINDOW TO REMAIN (E)
- 12 WINDOW INFILL
- 13 WOOD FRAMED DOUBLE GLAZED DOOR

0 2500 5000mm
1 : 100

06 MAR 18			DP Resubmission
Rev	Date	Description	
proj date	06 MAR 18	drawing file	1721.2 A200 Floor Plans
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scale	1:100	project number	1721

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project name

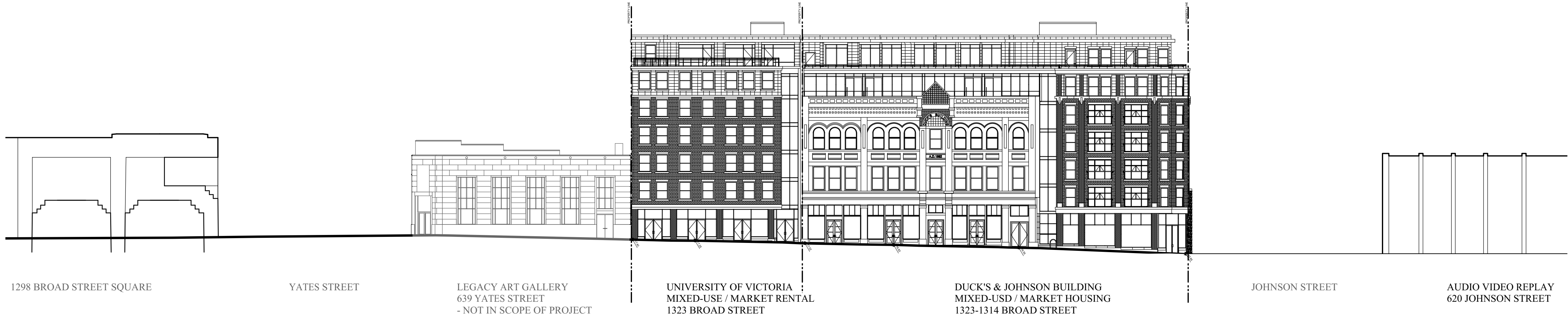
Broad Street Redevelopment
1312-1324 Broad Street
Victoria BC

drawing no.

A405

revision no.

-



1298 BROAD STREET SQUARE YATES STREET LEGACY ART GALLERY 639 YATES STREET - NOT IN SCOPE OF PROJECT 1306 BROAD ST - TO BE REMOVED EXISTING DUCK'S BUILDING - EXTERIOR TO BE RETAINED 625 JOHNSON STREET - TO BE REMOVED AUDIO VIDEO REPLAY 620 JOHNSON STREET

1 Broad Street Context Facing West
A501 Scale: 1:200



631 - 635 JOHNSON STREET BROAD STREET EXISTING 615-625 JOHNSON TO BE REMOVED LANEWAY 605 - 613 JOHNSON STREET

2 Johnson Street Context Facing South
A501 Scale: 1:200

0 2500 5000mm
1 : 100

06 MAR 18		GP Resubmission
Rev	Desc	Description
print date	06 MAR 18	drawing file 1721.2 A200 Floor Plans
drawn by	BWS	checked by CJK
scale	1:100	project number 1721

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project name
Broad Street Redevelopment
1312-1324 Broad Street
Victoria BC

drawing title
Site Context

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sheet no.
A501

revision no.
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LONDON FLATS
1313 BROAD STREET

ROBONSON'S OUTDOOR STORE
1307 BROAD STREET

METTA YOGA
1303 BROAD STREET



606-614 JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

BROAD STREET



BEST WESTERN
636 JOHNSON STREET

1 Broad Street Context Facing East
A502 Scale: 1:200



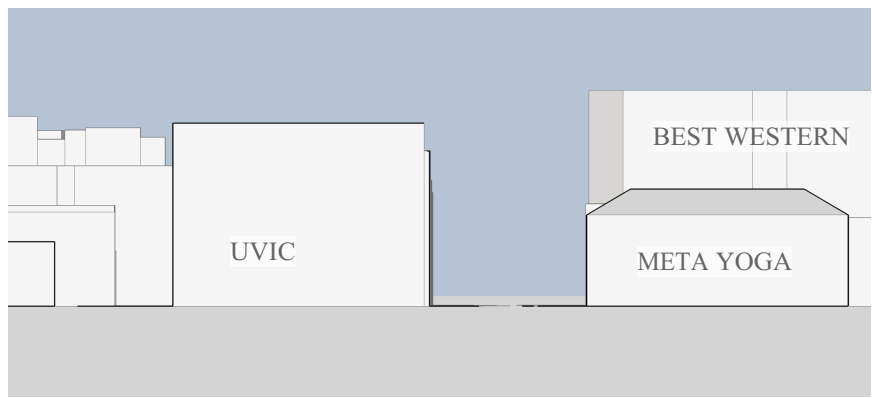
SUMMER EQUINOX 10 A.M.



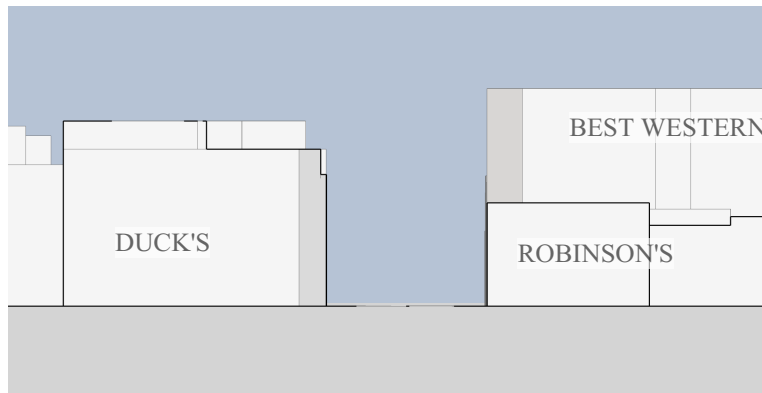
SUMMER EQUINOX NOON



SUMMER EQUINOX 4 P.M.



UVIC SCHEMATIC SECTION -
BROAD STREET



DUCK'S SCHEMATIC SECTION -
BROAD STREET



WINTER EQUINOX 10 A.M.



WINTER EQUINOX NOON



WINTER EQUINOX 4 P.M.

3 Shadow Study
A502 NTS

4 Broad Street Sections
A502 Scale: 1:200

2 Johnson Street Context Facing North
A502 Scale: 1:200



5 Aerial View
A502 Scale: 1:200

0 2500 5000mm
1 : 100

Rev.	Date	Description
06 MAR 18		GP Resubmission
06 MAR 18	06 MAR 18	1721.2 A200 Floor Plans
Drawn by:	BWS	checked by: CJK
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project name

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1312-1324 Broad Street
Victoria BC

Site Context

project no. **A502**

sheet no. **-**

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Rev	Date	Description
		DP Resubmission
print date	06 MAR 18	drawing file
		1721.2 A200 Floor Plans
drawn by	BWS	checked by
		CPK
scale	NTS	project number
		1721

NOTE: All dimensions are shown in millimeters.

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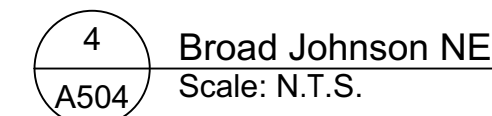
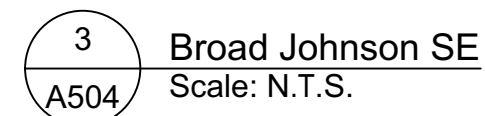
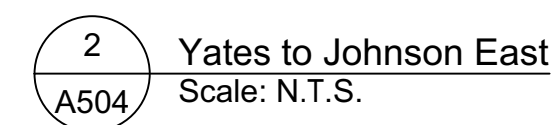
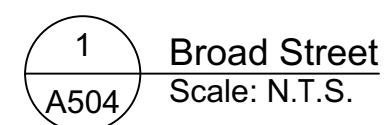
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project name
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1312-1324 Broad Street
Victoria BC

perspective studies
A503

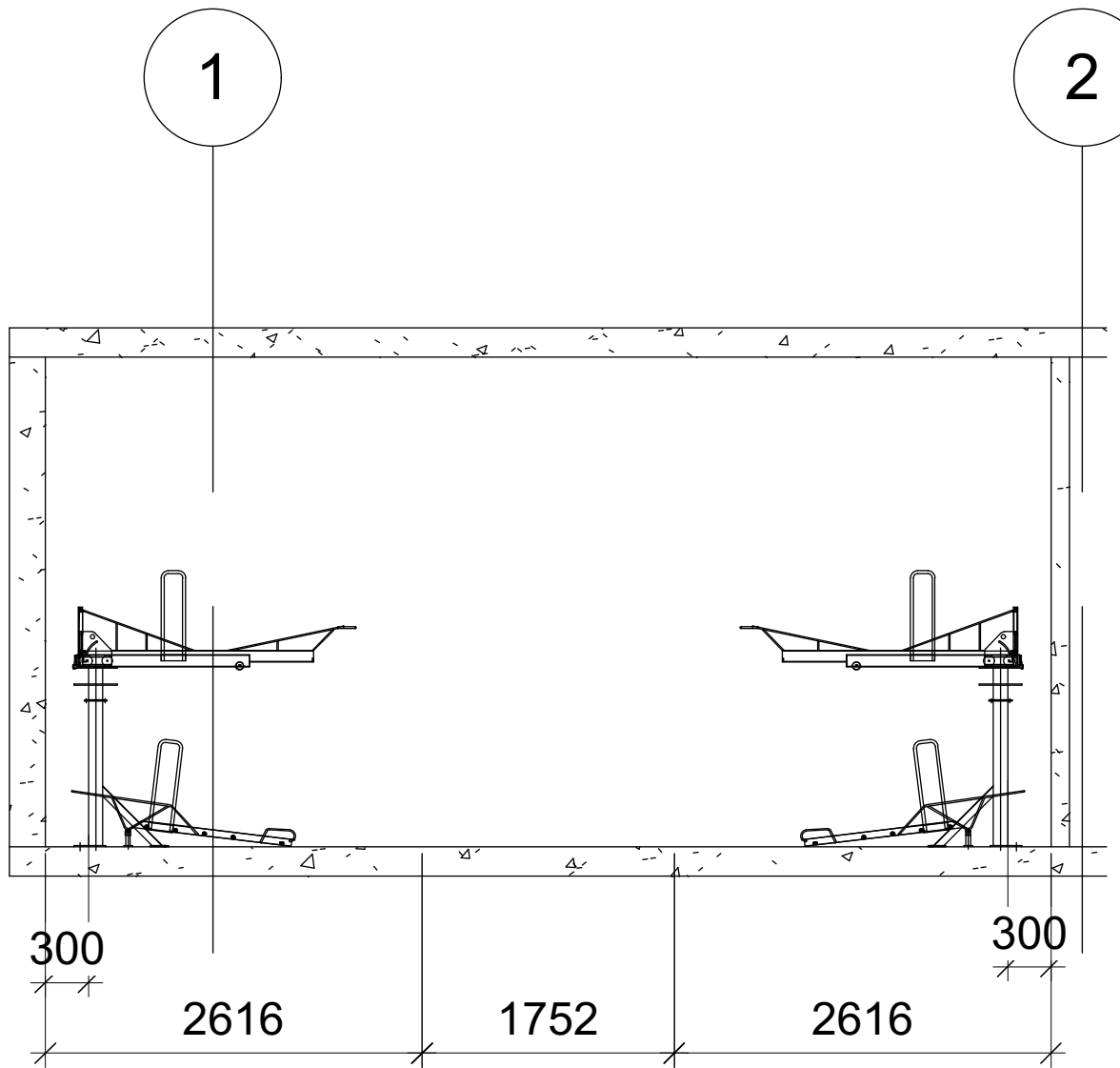
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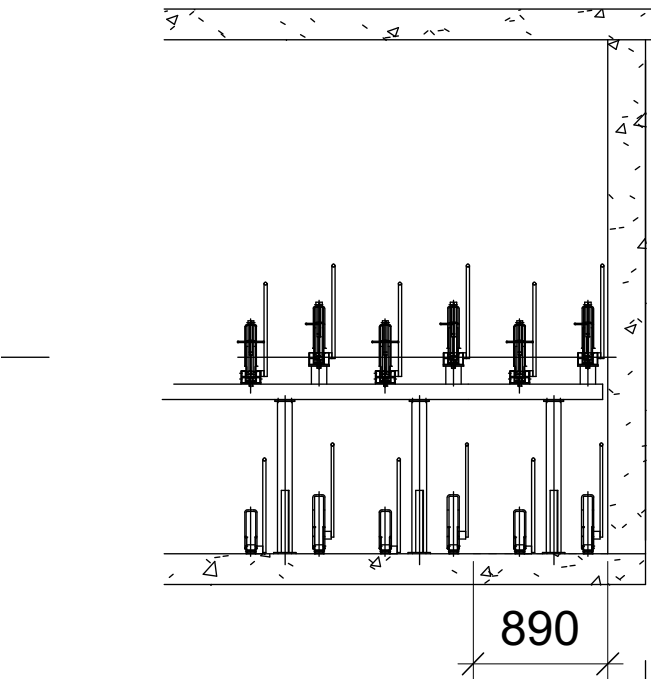


06 MAR 18			
Day	Date	Description	DP Resubmission
print date	06 MAR 18	drawing file	1721.2 A200 Floor Plan
drawn by	SWB	checked by	C
scale	NTS	project number	1721



1 Bicycle Parking Detail 1
Scale: 1:200

K



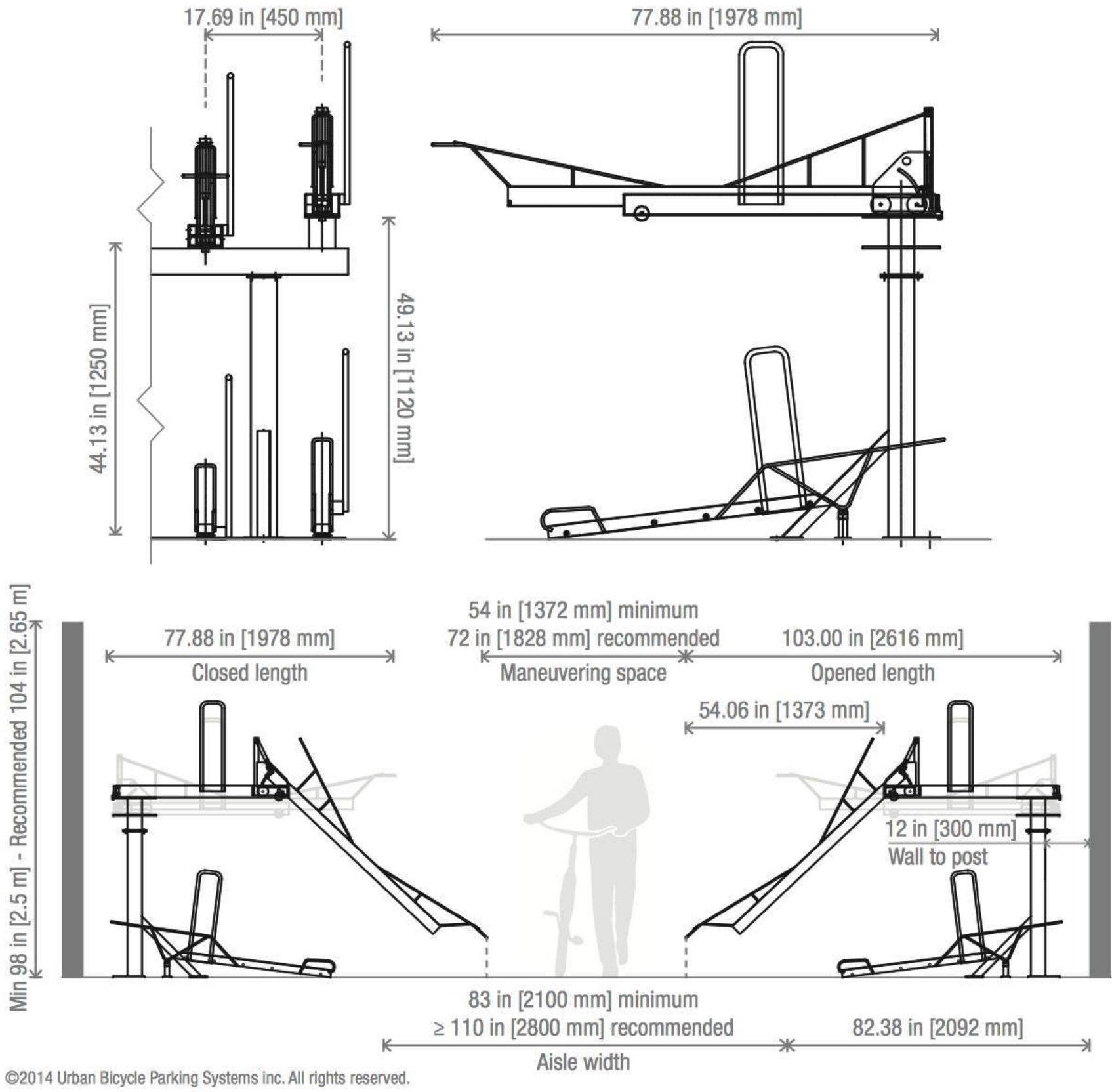
2 Bicycle Parking Detail 2
Scale: 1:200

Basement
13550

Basement
13550

Urban Double Stacker

Model: UB-2500-SM-2WG



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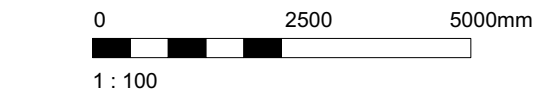
Specifications

Capacity	
Bicycles per set	2 (one up and one down)
Bicycle spacing	17.69 in [450 mm]
Weight	
Per two bicycle spaces	± 89.65 lbs [40.75 kg]
Materials	
Assembly material	Steel
Available finishes	
Powder coated (grey)	

These drawings are not for construction purposes and are for information purposes only. All information contained herein was current at the time of development but must be reviewed and confirmed by Urban Racks to be considered accurate.

URBAN RACKS

INNOVATIVE | BICYCLE PARKING
1-888-717-8881 sales@urbanracks.com
For more product and company information,
please visit us at www.urbanracks.com



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scale	1:100	project number 1721

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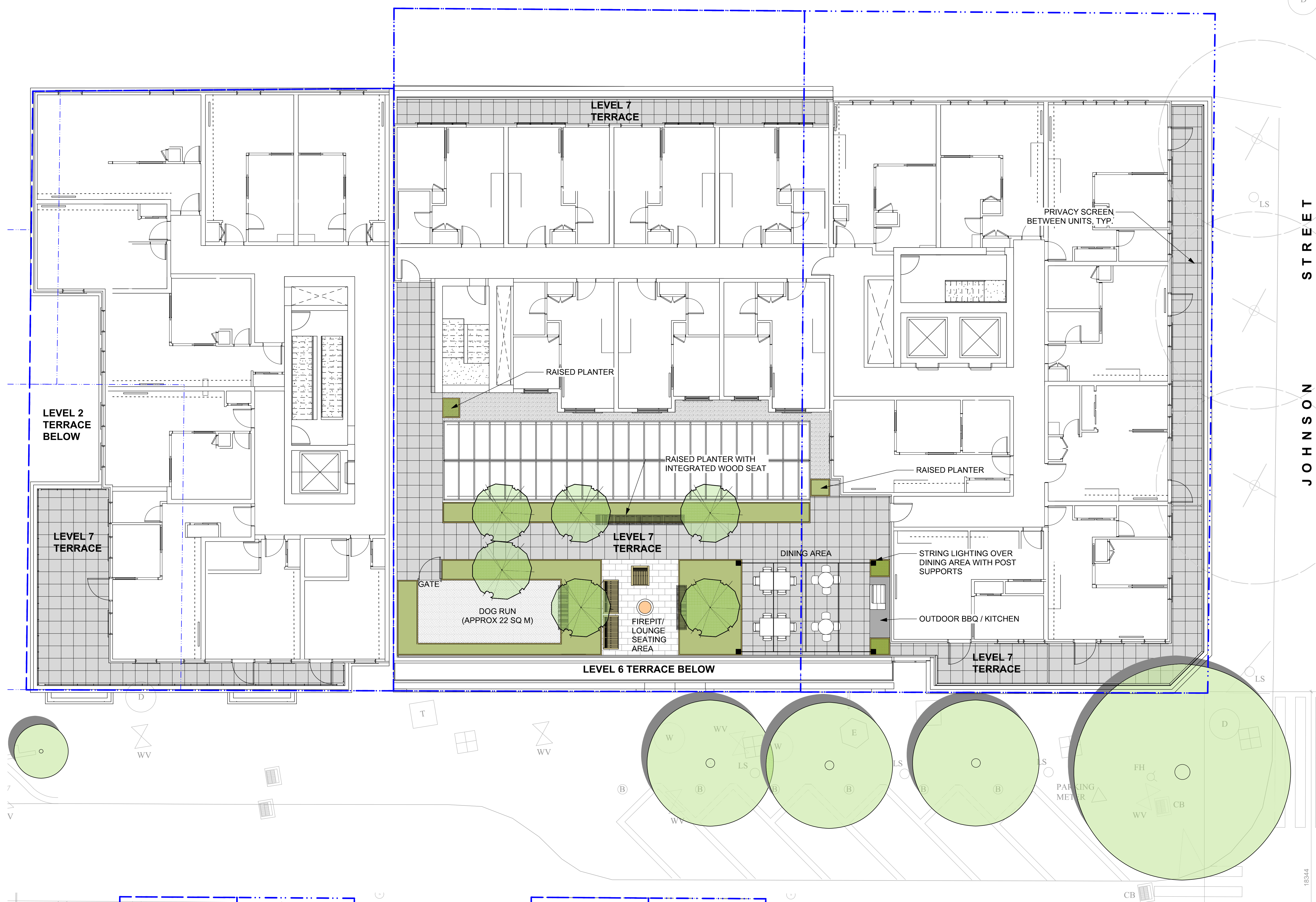
project name
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1312-1324 Broad Street
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Bicycle Parking

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sheet no.
A506

revision no.
-



LEGEND

--- Property line

LANDSCAPE MATERIALS

- Level 2, 6 and 7 - Hydrapressed slab paving on pedestal
- Level 7 - Specialty unit paving on pedestal
- Raised Planter
400 mm depth growing medium
Type 1P, refer to Canadian Landscape Standard
- Gravel Surfacing

Existing Tree to be Retained

Existing Tree to be Removed

NOT FOR CONSTRUCTION

1	REVIEW	17.12.06
rev no	description	date

Murdoch de Greeff INC

Landscape Planning & Design

200 - 524 Cuduhel Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

client

CHARD DEVELOPMENT

project

BROAD ST. REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title

Landscape Materials
Plan - Terrace Levels

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.
1	L1.02

DRAWING NOTES

1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.

2. All plan dimensions in metres and all detail dimensions in millimetres.

3. Plant quantities on Plans shall take precedence over plant list quantities.

4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.

5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.

6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.

7. Landscape installation to carry a 1 year warranty from date of acceptance.

8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.

9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

