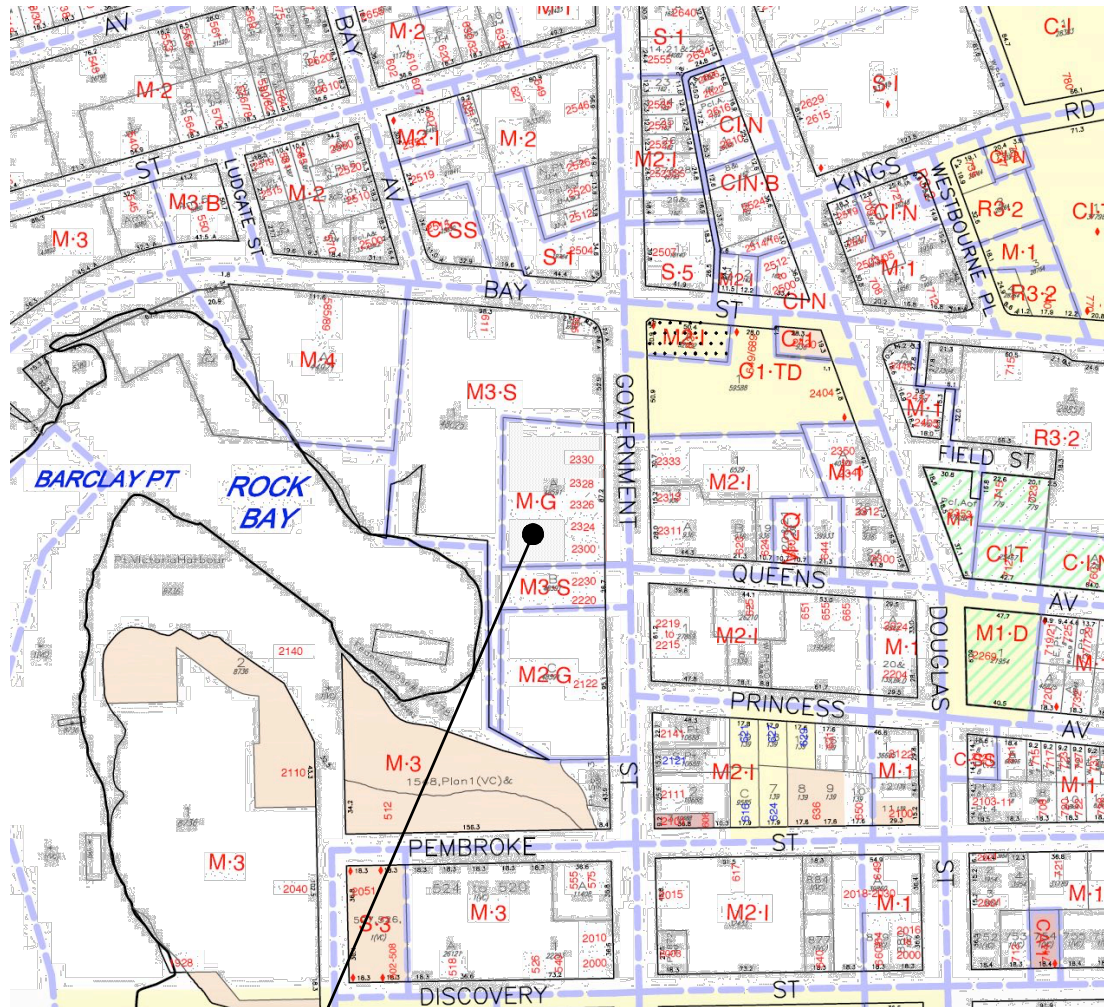


# Vancouver Island Brewing Rezoning Application

2330 Government Street, Victoria, B.C.



3 2330 Government Street, Aerial View  
SK-0 No Scale

2 2330 Government Street, Location Plan  
SK-0 No Scale

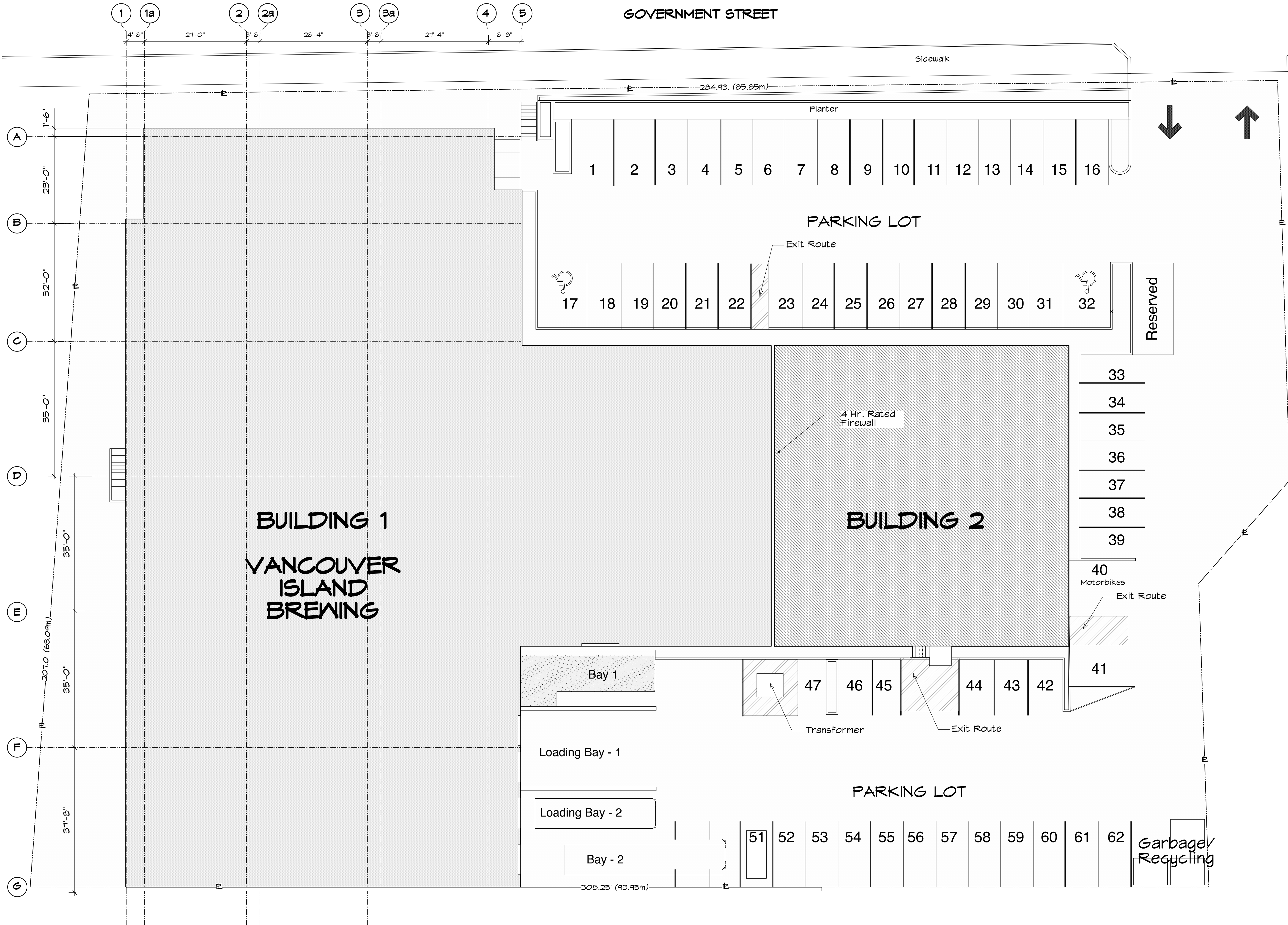


Original  
Submission

Received Date:  
December 18/18

MJM Architect Inc.				project name: Vancouver Island Brewing Rezoning Application		project no. 1807	
#10, 809 Vancouver Street, Victoria, B.C. V8V 3V6 ph:(250)661-5482 e-mail: mjmoody@shaw.ca				2330 Government Street, Victoria, B.C.			
drawing title: Cover Sheet/Location Plan		drawn by: rjm checked by: rjm		scale: As noted		date: 18/08/23 yy/mm/dd	
						drawing no. SK-0	





2330 Government Street Allotted Parking (New Schedule 'C')						
Area*	Tenant	Use	sq. ft.	m2	Parking Req. mt	# of Spaces Req. d
1, 8, & 10	V.I. Brewery	Manufacturing	16,758	1,556.9	1/140m2	11
4	V.I. Brewery	Warehouse	5,527	513.5	1/100m2	5
2 & 9	V.I. Brewery	Retail	1,153	107.1	1/80	2
3 & 11	V.I. Brewery	Office	4,267	396.4	1/70	6
Sub-Total						24
5	Grand & Toy	Office	3,885	360.9	1/70	4
6	Greater Vic. Housing	Office	3,212	298.4	1/70	4
7	Allison Pianos	Retail Manufacturing	1,200	111.5	1/80	1
12	Vivid Solutions	Office	5,780	536.9	1/140m2	7
13	Vacant	Offices	944	87.7	1/70	1
14	Fusion Performance	Personal Services	1,158	107.6	1/50	2
15	Vacant	Office (Assumed)	1,856	172.4	1/70	2
Sub-Total						24
Total Spaces Req. d						48
Total Spaces Provided						62
* Refer To Drawings SK-2 & SK-3 For Referenced Areas						

Project Information Data Table	
Existing Zone	M-G
Proposed Zone	M-G
Site Area	6,272.7m2
Floor Areas:	
Main	2,937.4m2
Second	1,451.6m2
Total Floor Area	4,389.0m2
Commercial Floor Area	4,389.0m2
Floor Space Ratio (FSR)	4,389.0m / 6,272.7m2 = .699:1
Site Coverage (%)	N/A
Open Site Space (%)	N/A
Building Height (m)	N/A
Number Of Storeys	2
Parking Stalls (Number On Site)	62
Bicycle Parking Number (Class 1)	0
Bicycle Parking Number (Class 2)	0
Building Setbacks	
Front Yard	East
Rear Yard	West
Side Yard (South)	South
Side Yard (North)	North
Combined Side Yards	N/A
Residential Use Details	N/A
Total Number Of Units	N/A
Unit Type (eg., 1 Bedroom)	N/A
Ground-oriented Units	N/A
Minimum Unit Floor Area (m2)	N/A
Total Residential Floor Area (m2)	N/A

1 SITE PLAN  
Scale - 1:150

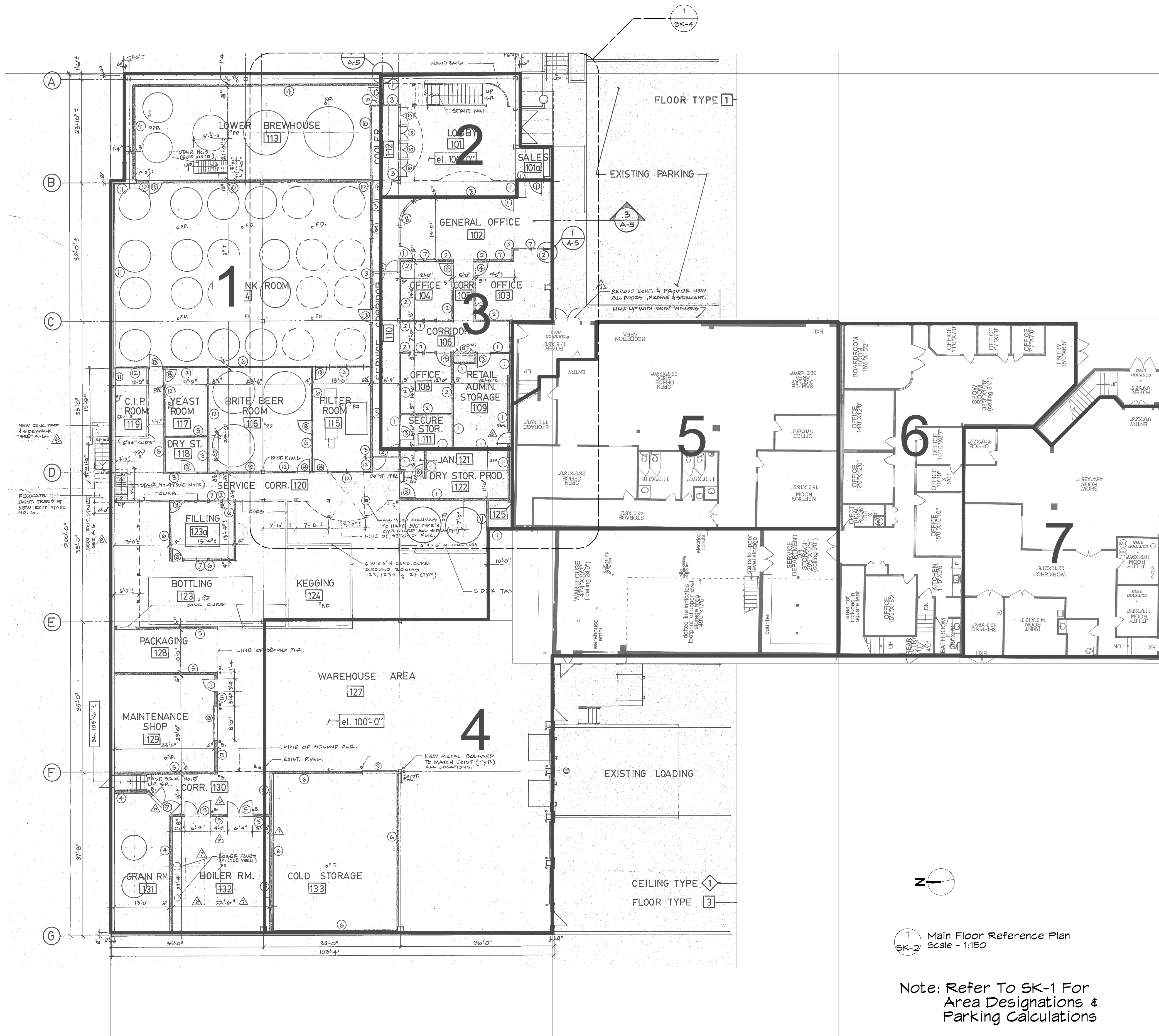
MJM Architect Inc.

#10, 509 Vancouver Street, Victoria, B.C.  
V8V 3V6  
ph:(250)661-5492 e-mail: mjmoody@shaw.ca



project name: <b>Vancouver Island Brewing Rezoning Application</b>		2330 Government Street, Victoria, B.C.		project no. <b>1807</b>
drawing title: <b>Site/Parking Plan</b>	drawn by: mjn	scale: As noted	date: <b>18/08/23</b>	drawing no. <b>SK-1</b>
	checked by: mjn		yy/mm/dd	

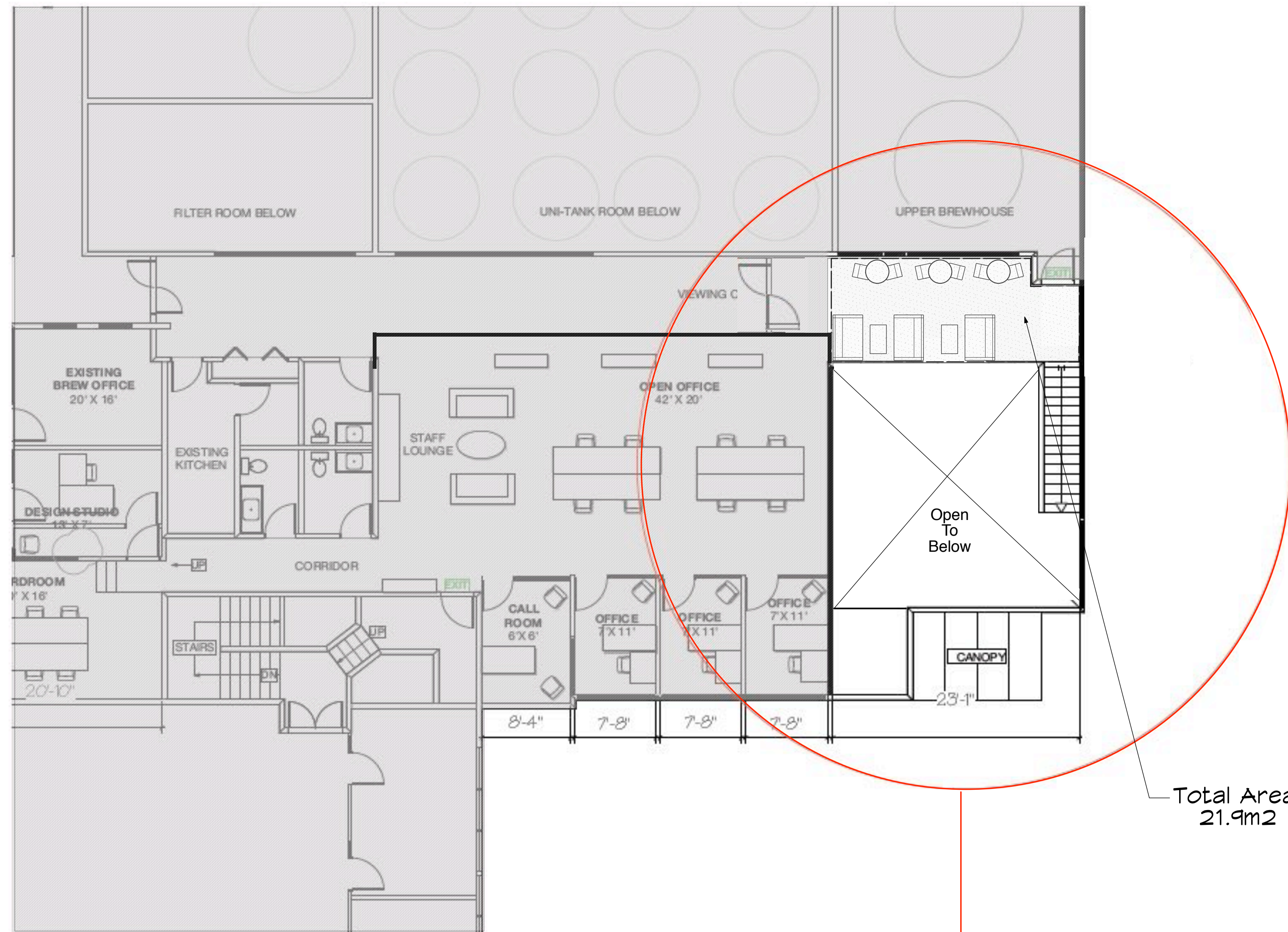












Total Area = 21.9m<sup>2</sup>

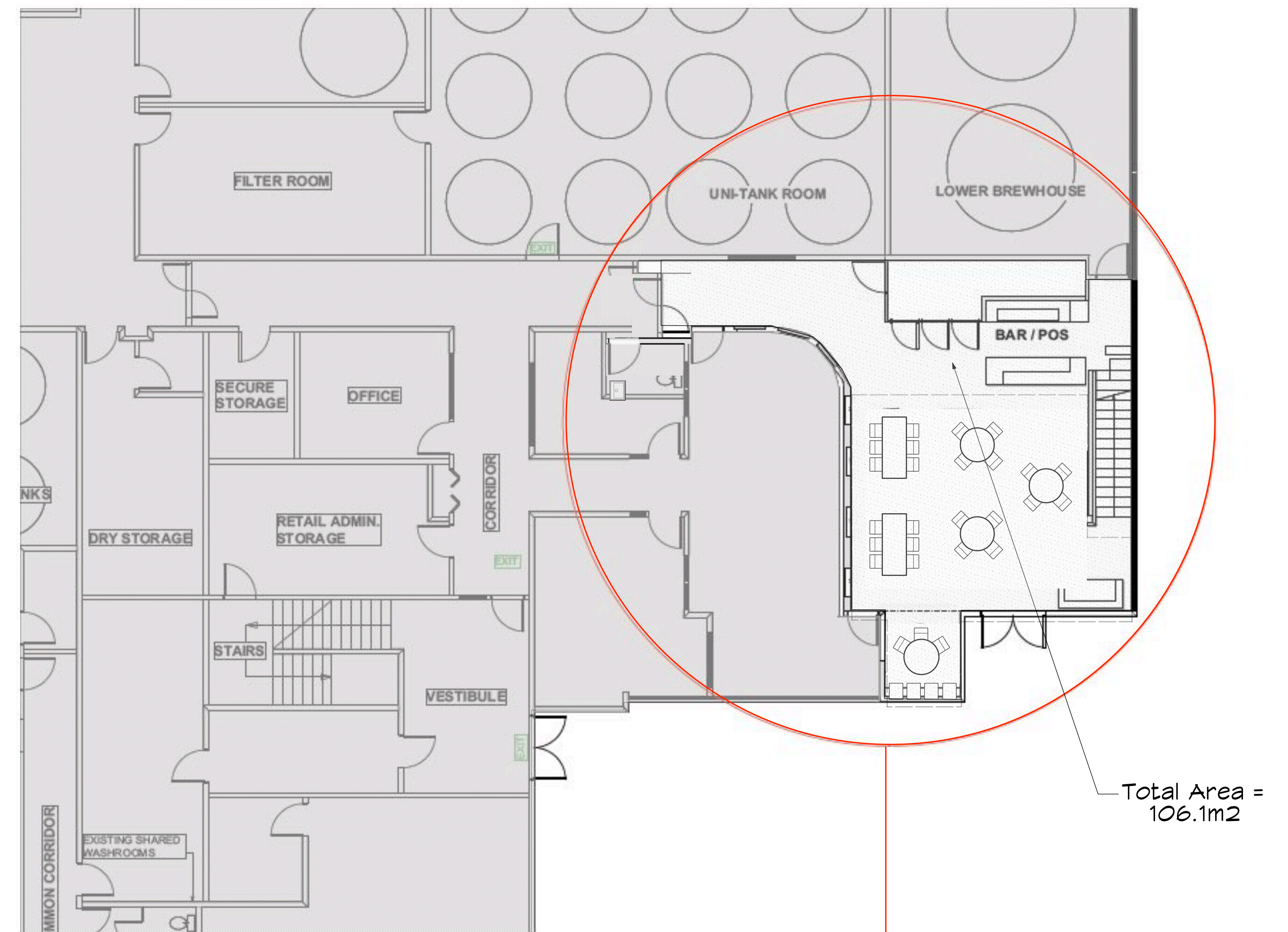
2 Existing Level 2  
SK-4 Scale: 1/8" = 1'-0" N

PROPOSED AREA  
FOR  
REZONING  
APPLICATION

#### LEGEND

- AREA TO REMAIN UNAFFECTED
- AREA W/ PROPOSED MODIFICATIONS

Note: No New Construction Proposed.  
All Work Is Related To Furniture &  
Seating Capacity Only



Total Area = 106.1m<sup>2</sup>

1 Existing Level 1  
SK-4 Scale: 1/8" = 1'-0" N

PROPOSED AREA  
FOR  
REZONING  
APPLICATION

				project name: <b>Vancouver Island Brewing Rezoning Application</b>	project no. <b>1807</b>
#10, 909 Vancouver Street, Victoria, B.C. V8V 3V6 ph: (250) 661-5492 e-mail: mjmood@shaw.ca		2330 Government Street, Victoria, B.C.		drawing title: <b>Proposed Tasting Room Area Calculation</b>	drawn by: mjm checked by: mjm
		scale: As noted		date: <b>18/08/23</b>	drawing no. <b>SK-4</b>
				yy/mm/dd	