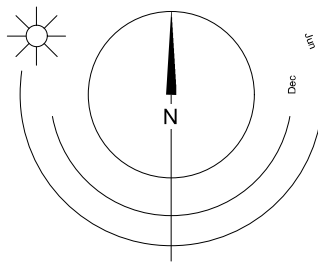




1055 Alston Street



Site Analysis



Drawing List

- A001 Project Data
- A002 Survey
- A004 Street View
- A007 Shadow Studies
- A101 Site Plan Overall
- A102 Site Plan - Circulation
- A103 Site Plan - Grading
- A201 Lower Commercial / Industrial - Tyee Rd
- A203 Parkade - Alston Street
- A204 Level 1
- A205 Level 2
- A206 Level 3
- A207 Level 4
- A208a Roof Amenity Space
- A208b Roof Drainage
- A301 Building Elevation
- A302 Building Elevation
- A303 Building Elevation
- A304 Building Elevation
- A401 Building Section - Looking North

PROJECT DIRECTORY

REGISTERED OWNER

Ryves Holdings Corp
1055 Alston Street
Victoria, BC
V8A 3S6

PROJECT DEVELOPER

Ironclad Developments Inc.
Suite 101, 57158 Symington Rd
Springfield, MB
R2J 4L6

ARCHITECT

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V8V 3K3

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Victoria, BC
V8V 3K3

Cord MacLean
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Forsite Landscape Architecture
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V8A 3S5

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CIVIL CONSULTANT

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V8B 0J3

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Evolve
Suite 102 - 814 Broughton St
Victoria, BC V8W 1E4

Chris Raudoy
craudo@evolvebuildings.com
250.415.8141

PROJECT DESCRIPTION

CIVIC ADDRESS:

1055 Alston Street
Victoria, BC V8A 3S6

LEGAL DESCRIPTION:

LOT 105, DISTRICT LOT 119, ESQUIMALT
DISTRICT, PLAN 3237 INCLUDED IN PLAN 4010

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:

Basement: Industrial Use (F-2 and 3)
1st Storey: Storage Garage (Group F-2 and 3)
2nd - 6th Storeys: Residential Dwelling Units (Group C)

USES: Industrial and Residential

EXISTING ZONE: M2-S, Songhees Light Industrial District

PROPOSED ZONE: TBC

SITE AREA: 1406 m² (15,134 s.f.)

SITE COVERAGE: 80%

OPEN SITE SPACE: 11%

FLOOR AREAS

TOTAL PROPOSED: 3108 m²

FLOOR SPACE RATIO: 2.21 FSR

GRADE OF BUILDING: 16.35 m (GEODETTIC)
See Site Plan for Grade Calculation

HEIGHT OF BUILDING: 21.46 m

NUMBER OF STOREYS: 6

RESIDENTIAL PARKING: 19 stalls (incl. 1 accessible, 1 accessible van, 2 visitor)

COMMERCIAL PARKING: 2 stalls (incl. 1 accessible)

TOTAL CAR PARKING: 21

BICYCLE PARKING: 65 Class 1 + 6 short term (rack)

SETBACKS:

FRONT (West): 4.15 m

REAR (East): 2.77 m

SIDE (North): 0 m

SIDE (South): 0.3 m

COMBINED SIDE: 0.3 m

SUITE COMPOSITION:

Studio: 28

1 Bed: 24

2 Bed: 4

TOTAL: 56 SUITES

Minimum Unit Floor Area 34 m²

Building Code Summary

Referenced Document: BCBC 2024 - Part 3

	CRU (Level) 1	Residential (Levels 2 through 6)
Occupancy	Potentially A-2, D, E, F-3	C
Building Area (m ²)	1120m ²	
Building Height (storeys)	6	
Sprinklered	Yes	
Construction Article	3.2.2.51 (3.2.2.60 if contains Group D)	3.2.2.51*
Maximum Building Area Permitted (m2)	1500m ²	
Type of Construction Permitted	Combustible	Combustible
Floor Assembly Fire Rating (h)	1	1
Roof Fire Rating (h)	1	1

Major Occupancy Classification - Group C Residential
- 1st Storey (proposed): CRU (allowable): Assembly (A-2), Business and Personal Services (D) Mercantile (E), and/or Industrial Use (F-3)
- 2nd Storey (proposed): Storage Garage (Group F-3, associated with residential use above). Open-air storage garage.
- 3rd - 6th Storeys (proposed): Residential Dwelling Units (Group C)

Annotations Legend

The following annotations are used on architectural drawings and details:

BEDROOM

ROOM NAME & ROOM NUMBER

201

101a

DOOR NUMBER

See Door Schedule

W-10

WINDOW NUMBER

See Window Schedule

W1

WALL TYPE

See Assemblies Schedule

2.0 hr

RATED WALL DESIGNATION

00.00

ELEVATION DATUM

2440

CEILING HEIGHT

AREA OF DROP CEILING

1

KEYNOTE SYMBOL

12

MATERIAL TAG

1 A901

INTERIOR ELEVATION REFERENCE

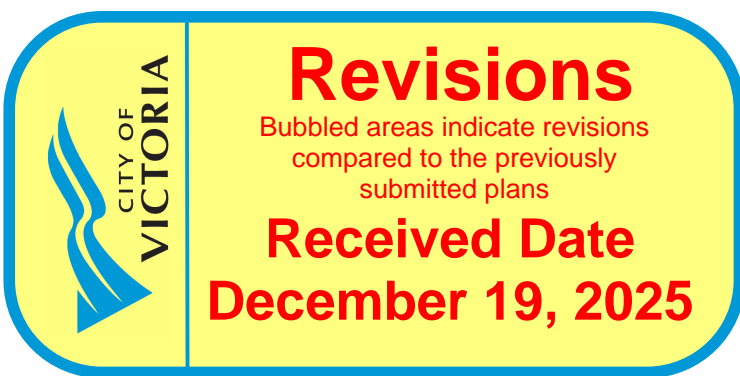
W1 C1 F1 B1

ROOM FINISHES

List of Abbreviations

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	T/D	Tempered / Double Glazed
C/L	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	OH	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	OW	Operable Window	TLGL	Translucent Glass
C/W	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminale	TOO	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOC	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FD	Floor Drain	PTD/W	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNF	Unfinished (for GWB means lapped and filled by not sanded to minimum ULC requirements where applicable)
FFE	Finished Floor Elevation	RA	Rubber Base	UNO	Unless Noted Otherwise
FG	Finished Grade	RES	Resilient Flooring	US	Underside of...
GB	Grab Bar	RD	Roof Drain	VCT	Vinyl Composition Tile
GBL	Glass Block	RD-P	Roof Drain - Planter	VI	Vinyl Glass
GL	Glass	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
GWG	Georgian Wire Glass	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
GWVB	Gypsum Wallboard	SCW	Solid Core Wood	VWC	Vinyl Wall Covering
HC	Hollow Core	SD	Soap Dispenser	WC	Water Closet
HCW	Hollow Core Wood	SL	Sealer	WO	Wood
H/C	Handicap	SP	Spandrel Glass	WPM	Waterproof Membrane
HM	Hollow Metal	SPC	Solid Particleboard Core	WRC	Water Repellant Coating



11	25-12-12	IFC Draft
9	25-11-06	Issued for BP
8	25-10-30	DDP Issued
7	25-10-30	DDP Revisions Rev2
7	25-05-02	DDP Revisions
6	24-06-27	DP / Rezoning Rev. 6
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	11	25-12-12	Description	IFC Draft
Pkt Date	10/30/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Project Data

A001

dHKarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way

V8V 3K3 T 1-250-658-3367

V9T 0H2 T 1-250-585-5810

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BC LAND SURVEYORS SITE PLAN OF:

Civic: 1055 Alston Street

Legal Lot 105, District Lot 119, Esquimalt District,
Plan 3237 Included Within Plan 4010

Parcel Identifier: 002-094-550
in the City of Victoria

LEGEND

Elevations are geodetic and referenced
to the CVD288C datum.

+ - denotes - existing elevation

Tree diameters are in centimetres.

Lot Area = 1406 m2

Scale 1:150 Distances are in meters



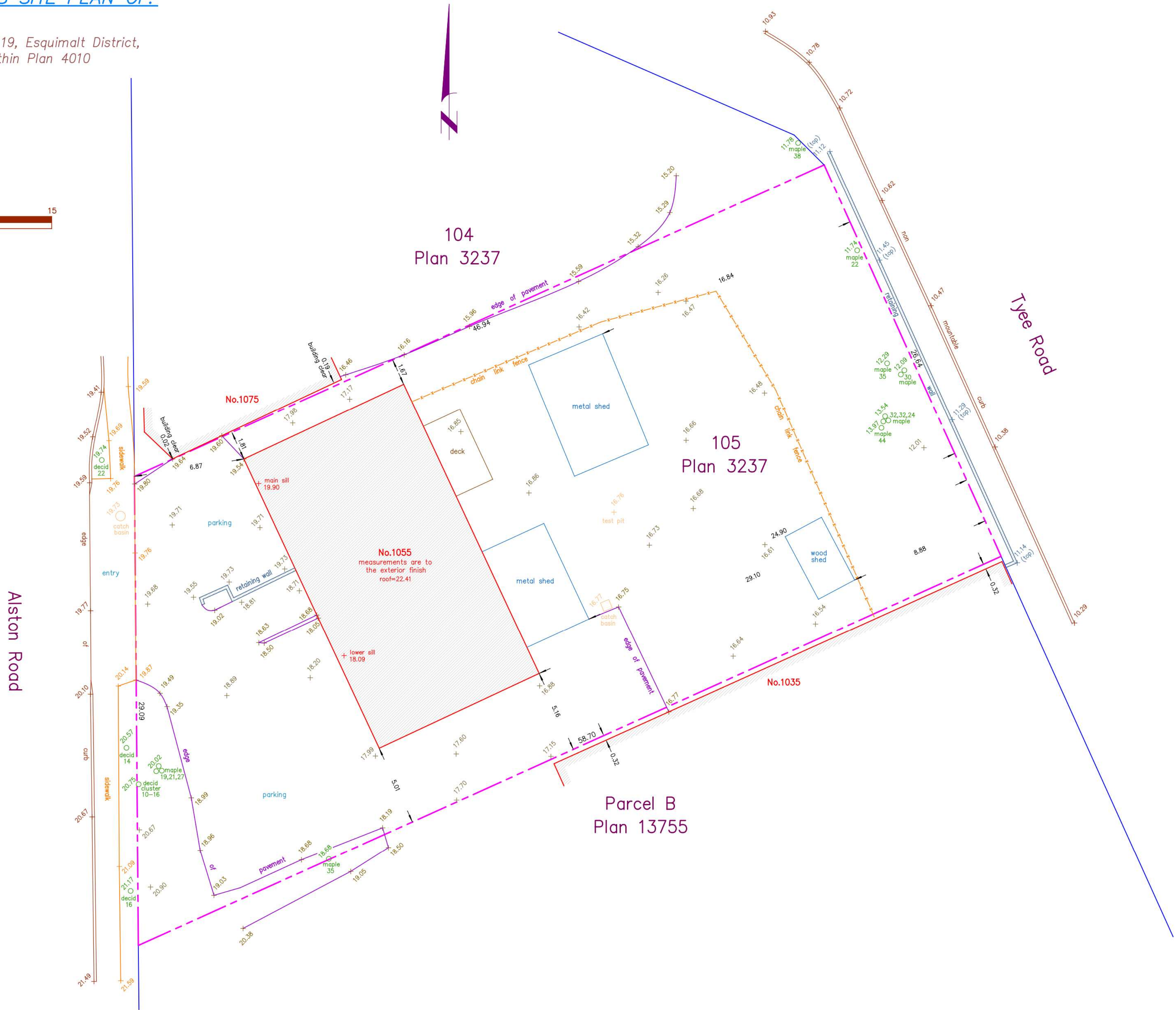
The intended print size is 24" by 18"

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

Property Lines and setbacks shown may
vary upon completion of a lot reposting
and preparation of a legal survey plan.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.



Date	August 9, 2022
File	13,819-23
POWELL & ASSOCIATES	
BC Land Surveyors	
250-2950 Douglas Street	
Victoria, BC V8T 4N4	
phone (250) 382-8855	

Rev	4	25-12-12	IFC Draft
	3	25-11-06	Issued for BP
	2	25-10-30	DOP Issued
	1	23-03-25	CALLUC

Rev	4	25-12-12	Description	IFC Draft
Pkt Date	10/15/25		Project Status	DD
Drawn By	SWS		Checked By	CRK
Scale			Project Number	2304

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Alston

1055 Alston Street
Victoria, BC
Survey



A002

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1075 Alston Street

1055 Alston Street

Alston Street View



736 Tyee Road

740 Tyee Road

790 Tyee Road

Tyee Street View

Rev	5	25-10-30	DDP Revisions Rev2
	4	25-05-02	DDP Revisions
	3	23-06-15	DP / Rezoning Rev. 1
	2	23-03-30	DP / Rezoning
	1	23-03-25	CALUC

Rev	5	25-10-30	Description	DDP Revisions Rev2
Pkt Date	06/15/23		Project Status	DD
Drawn By	SWS		Checked By	CRK
Scale	1 : 3		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

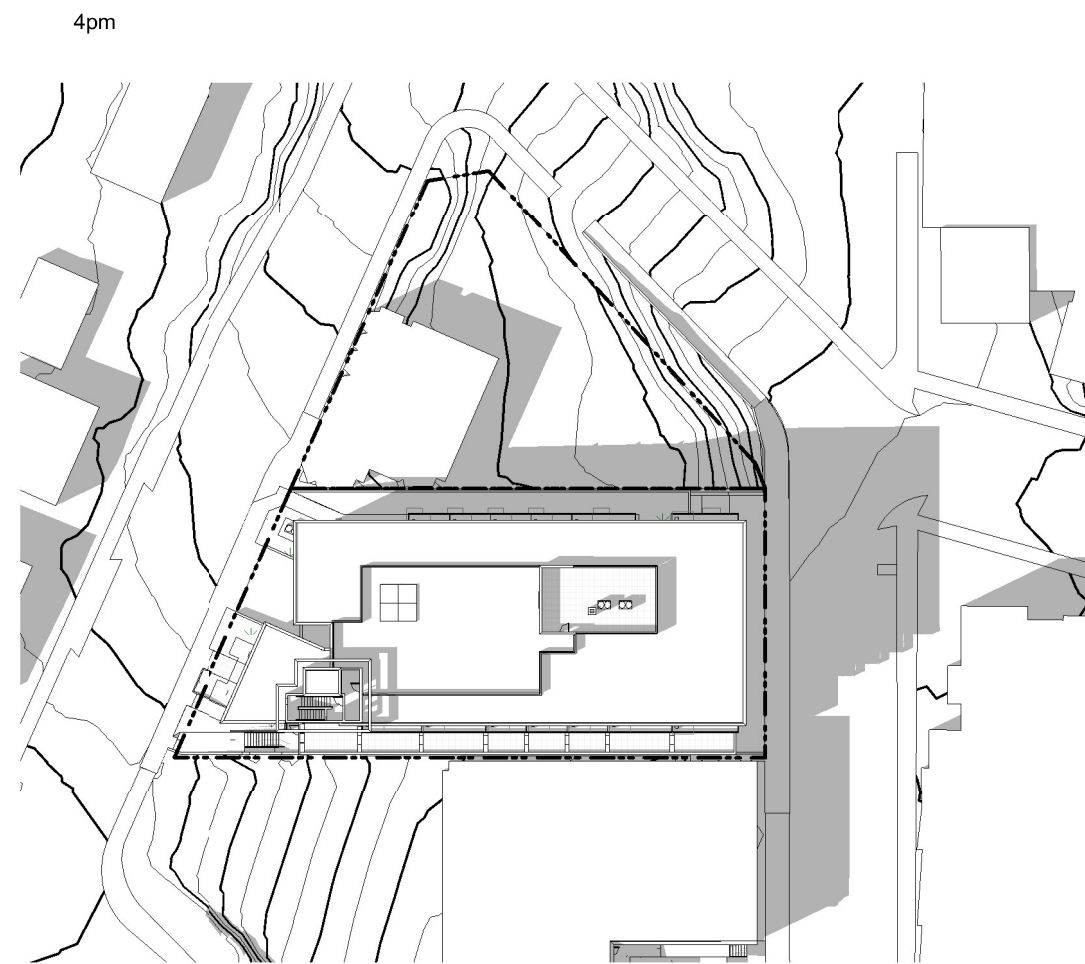
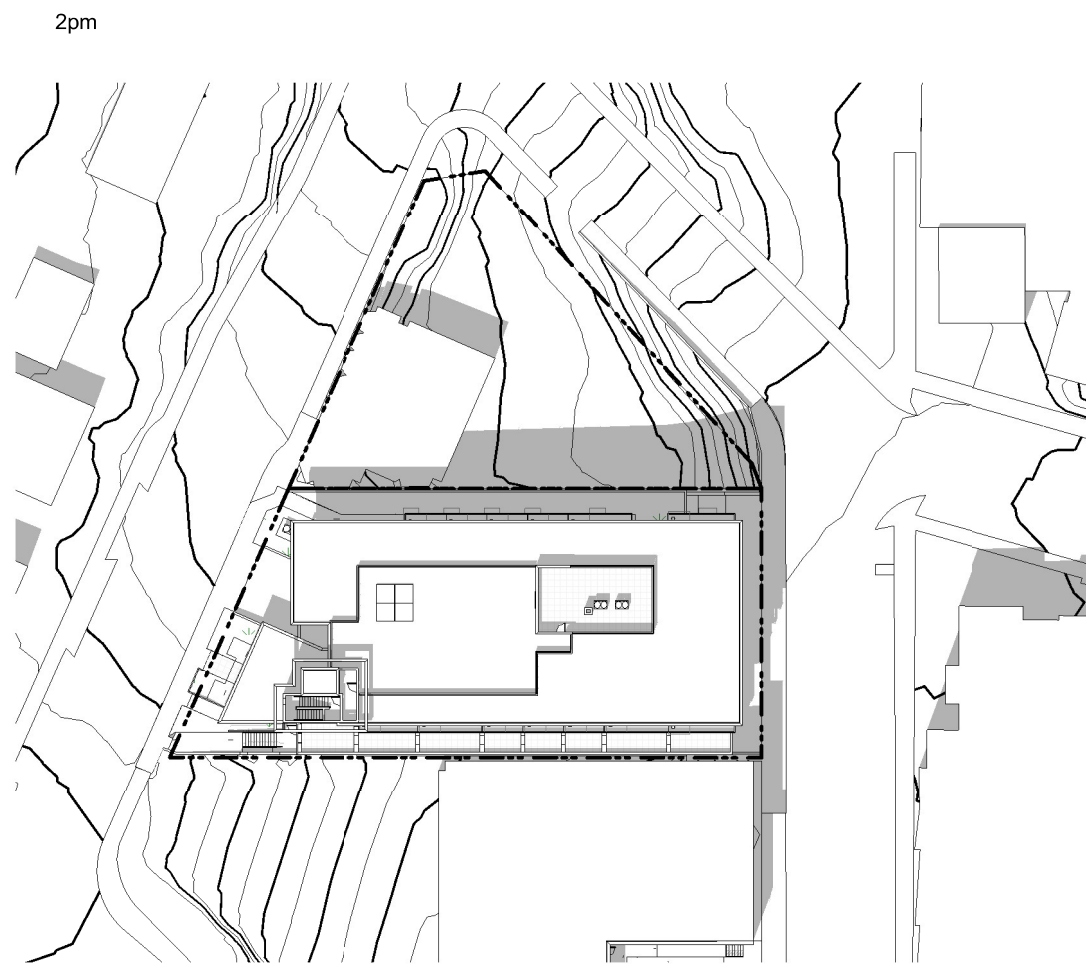
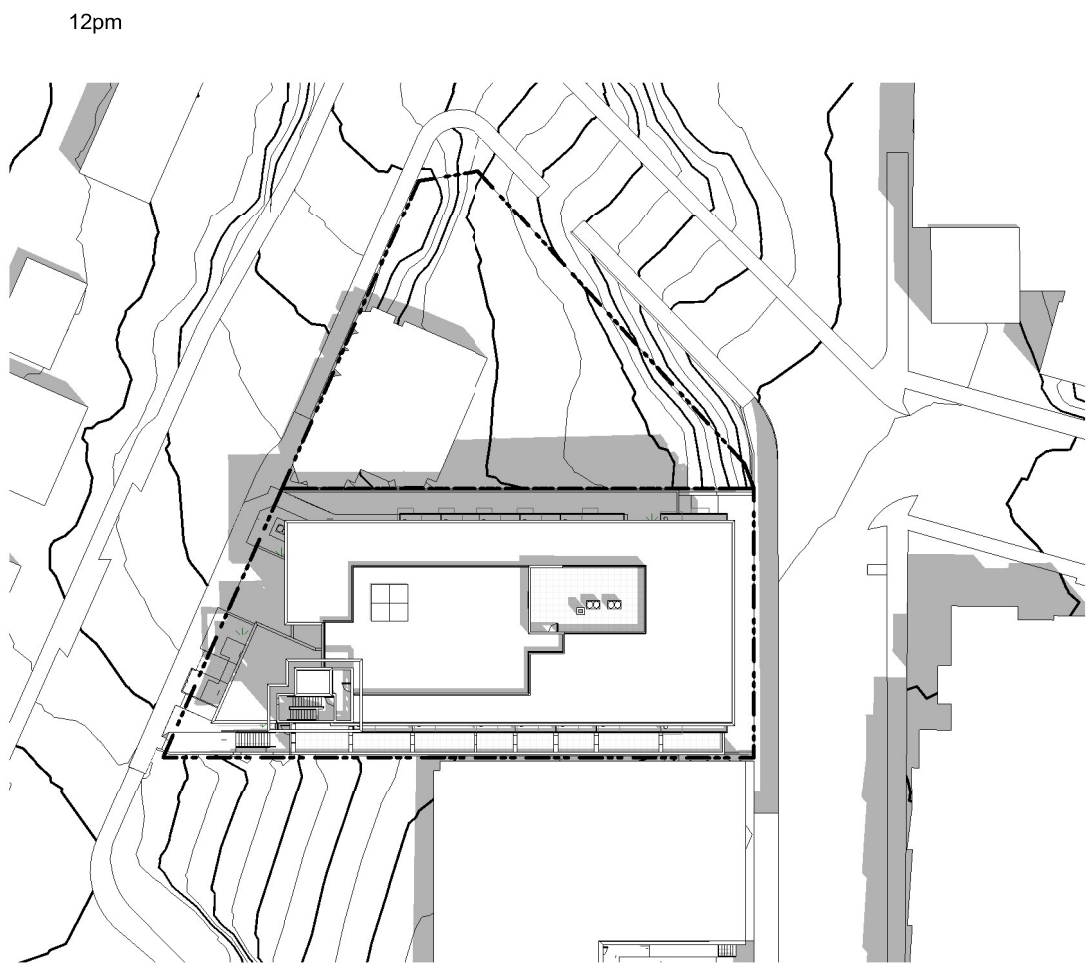
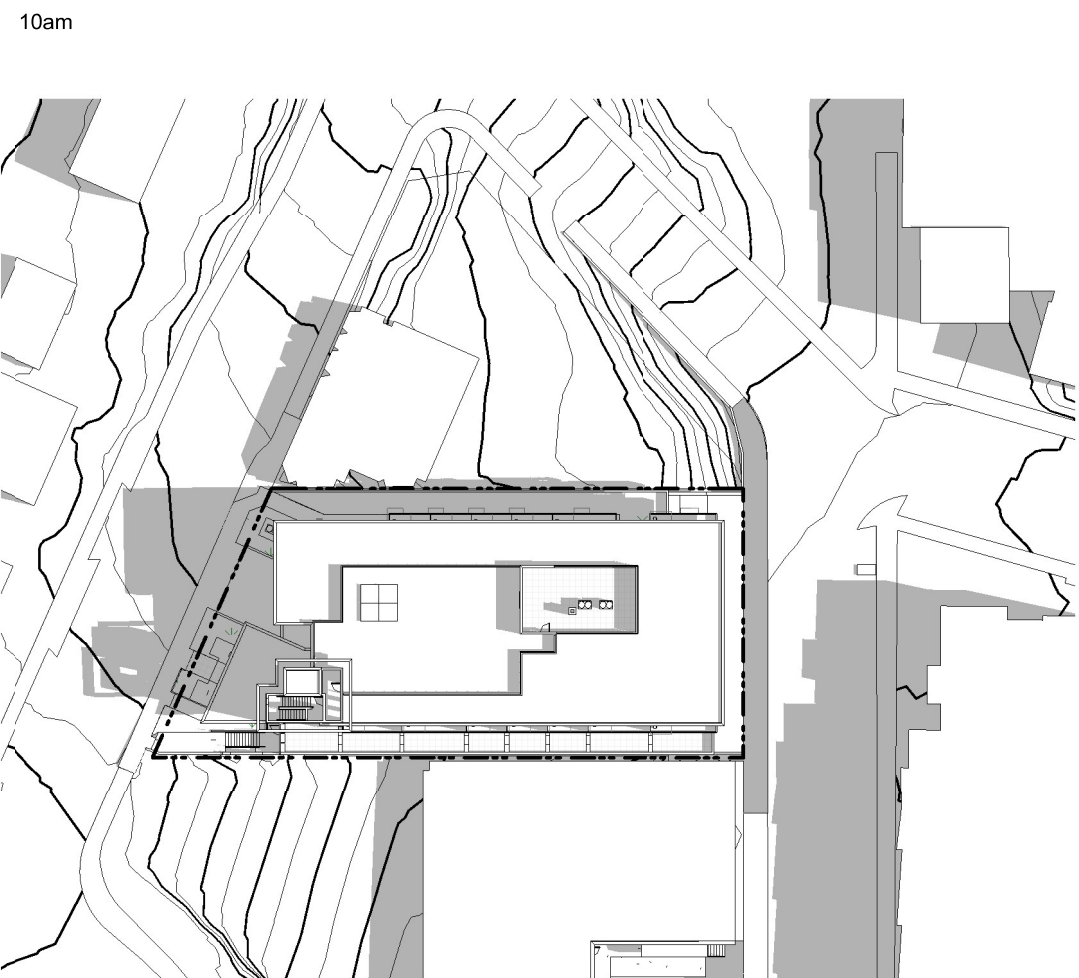
1055 Alston Street
Victoria, BC
Street View



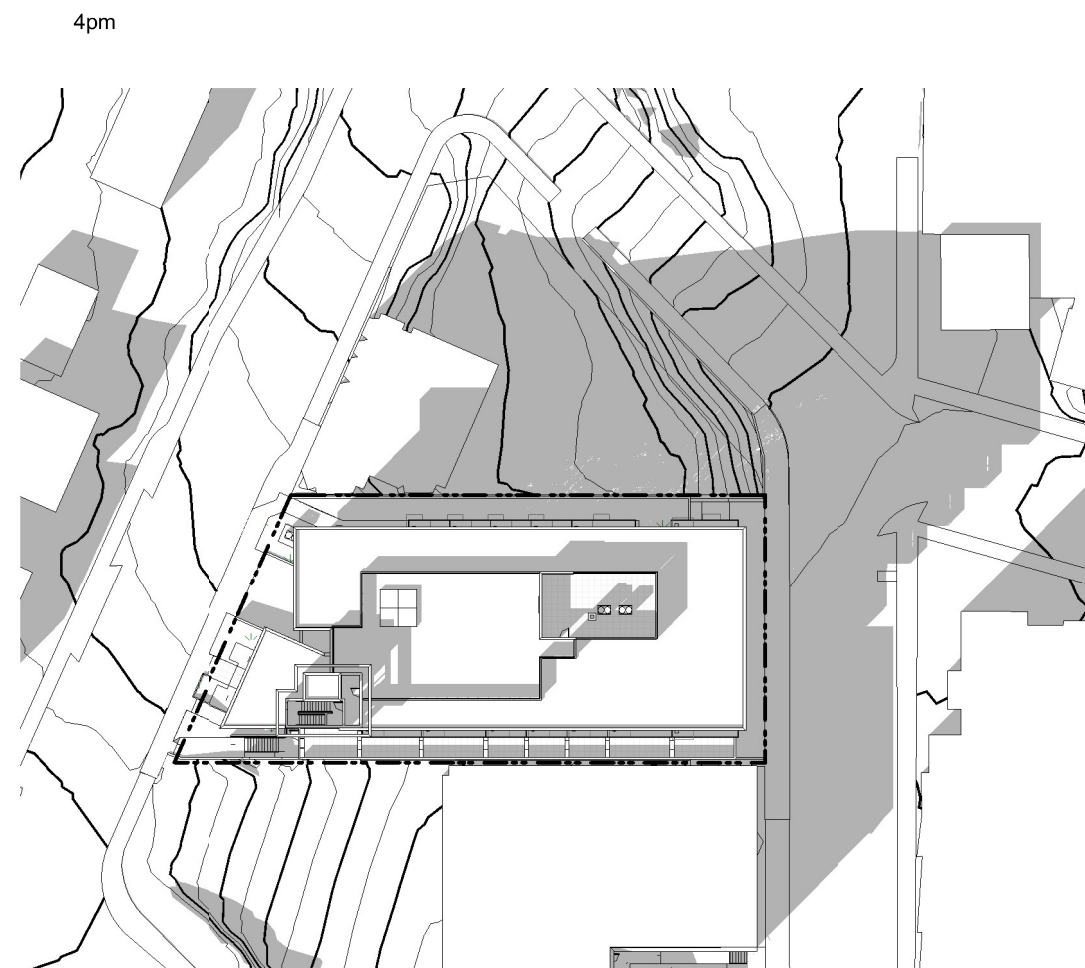
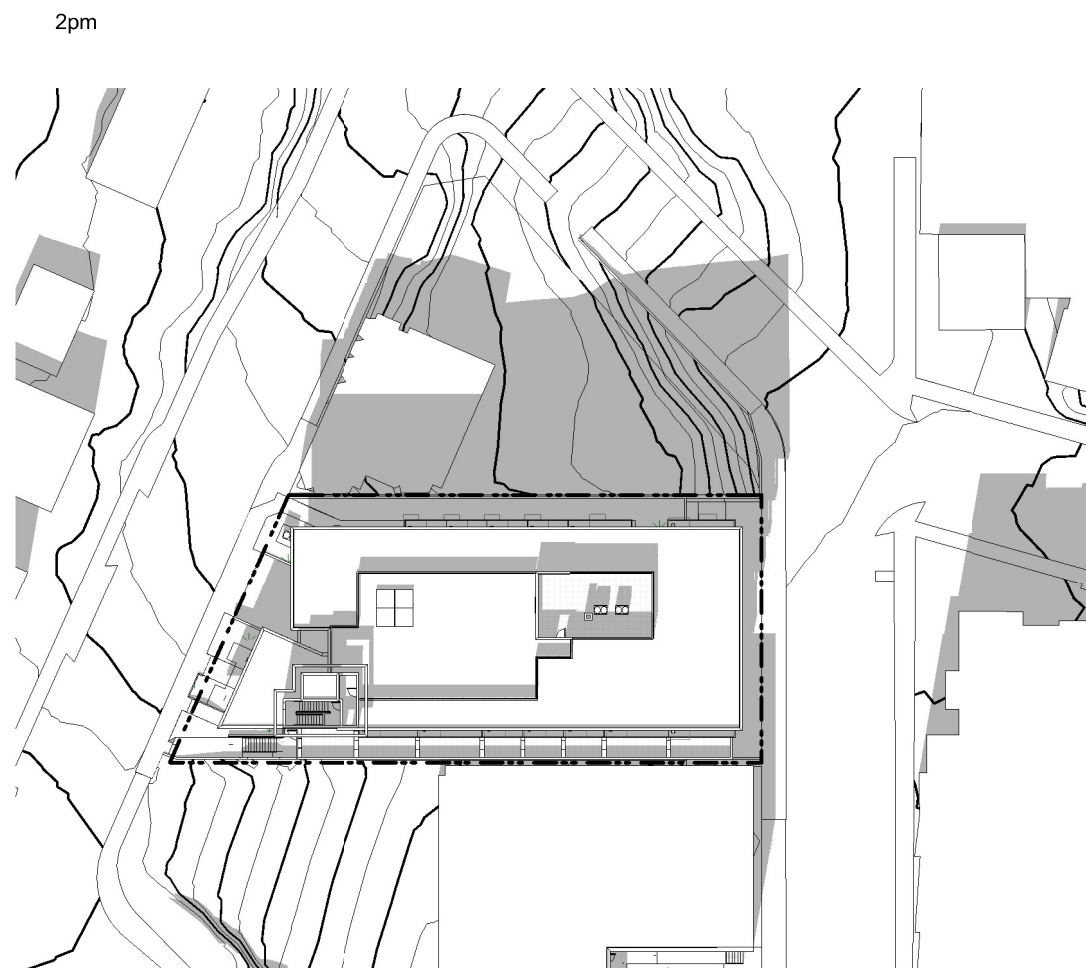
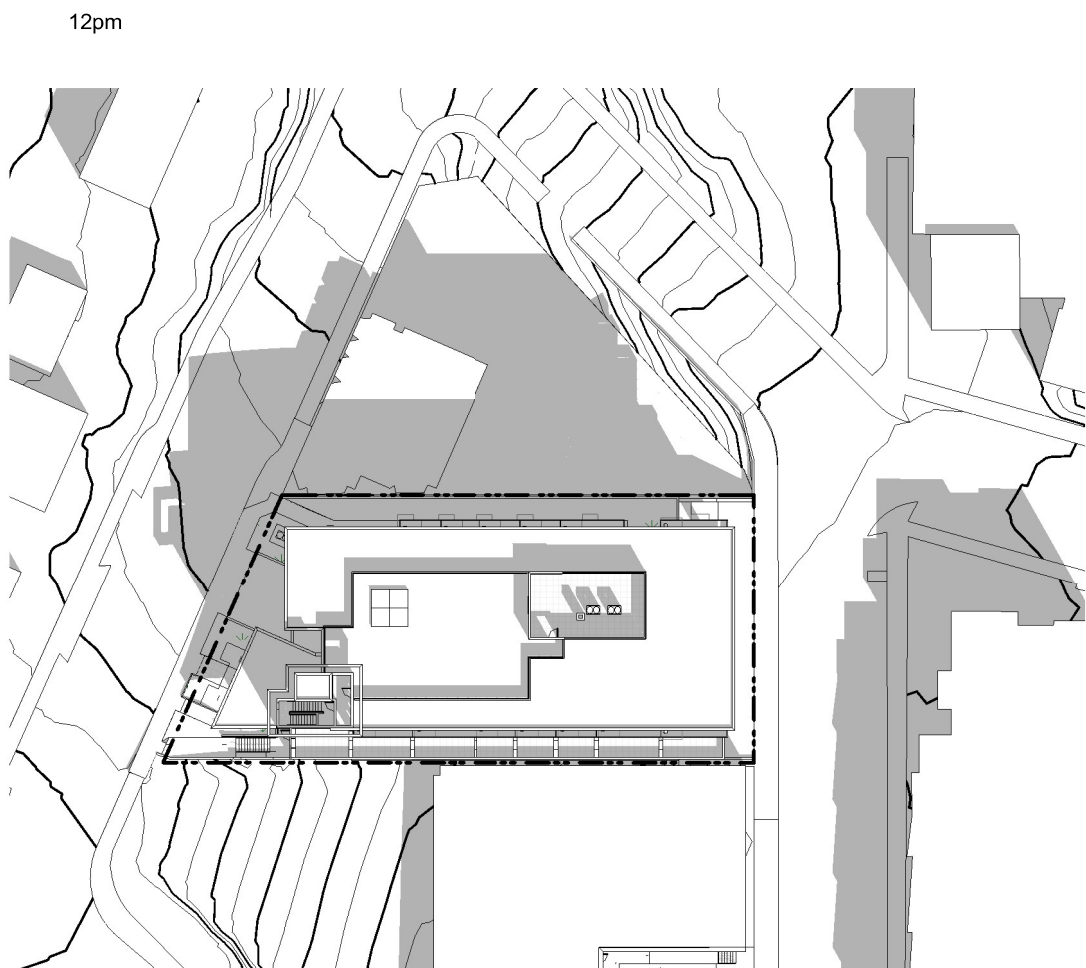
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977 Fort Street V8V 3K3 T 1-250-658-3367
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102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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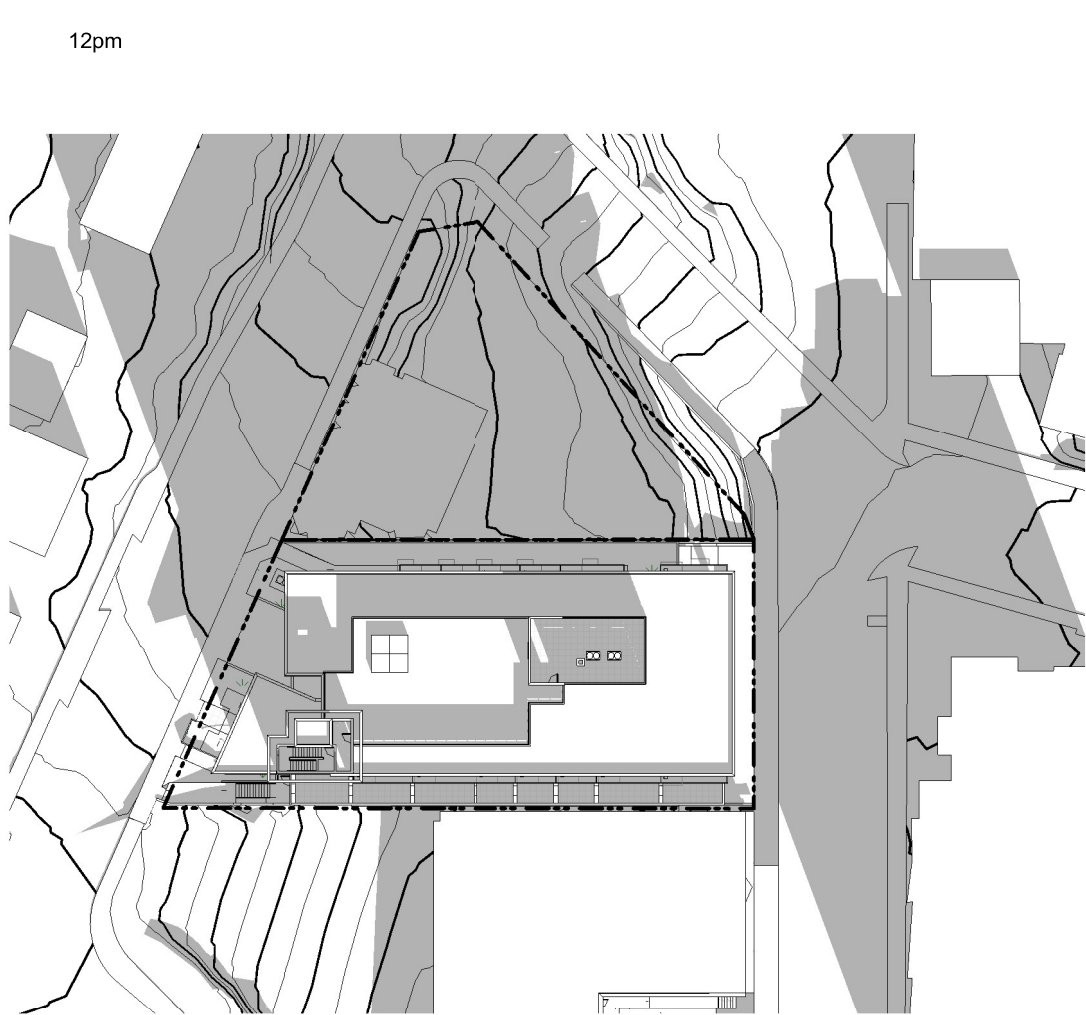
Summer Solstice



Equinox



Winter Solstice



Rev	3	25-10-30	DDP Revisions Rev2
	2	25-05-02	DDP Revisions
	1	23-03-30	DP / Rezoning

Rev	3	25-10-30	Description	DDP Revisions Rev2
Pkt Date		06/15/23	Project Status	DD
Drawn By		Author	Checked By	Checker
Scale		1 : 750	Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

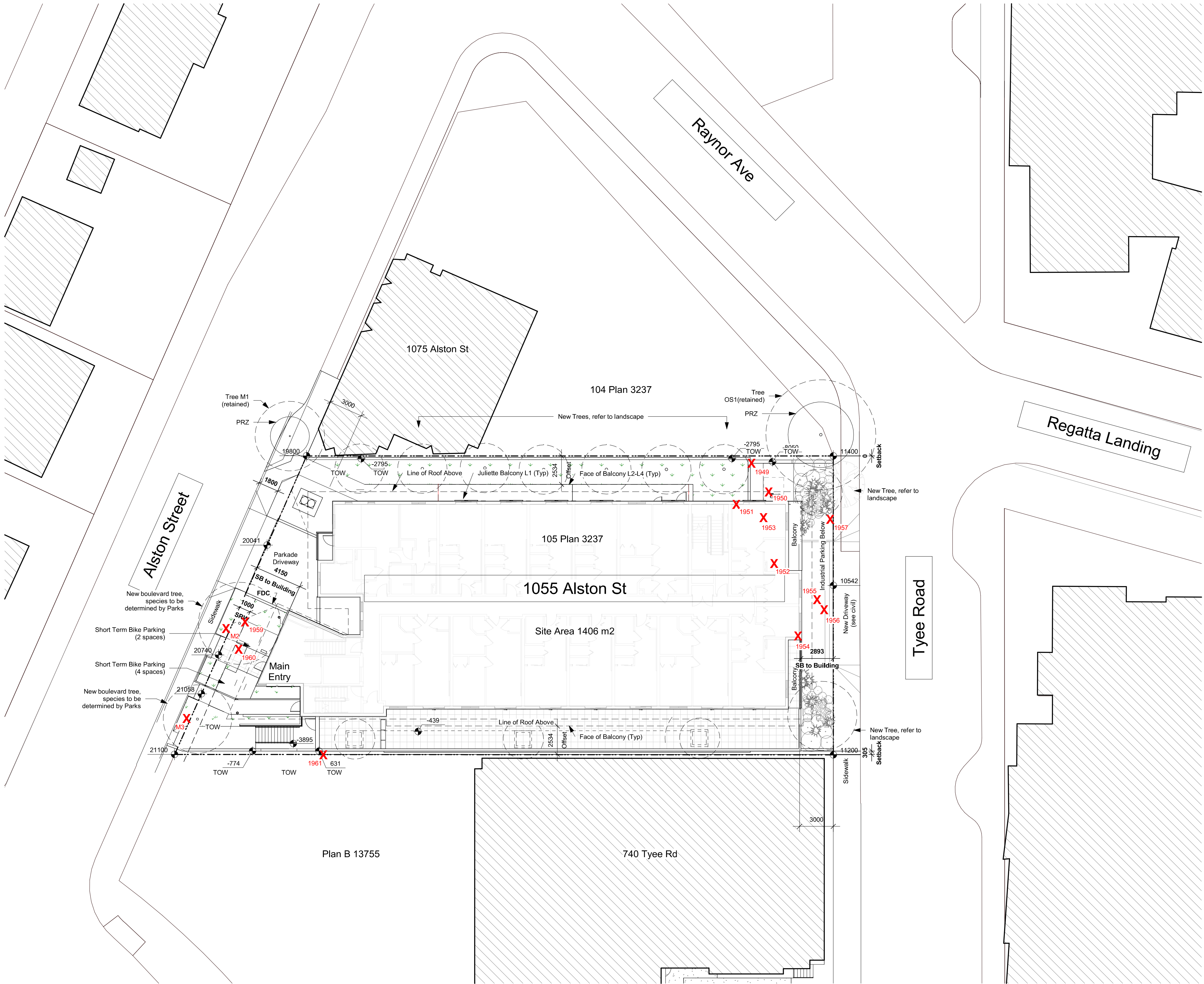
1055 Alston Street
Victoria, BC
Shadow Studies



A007

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General Notes:

1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site.

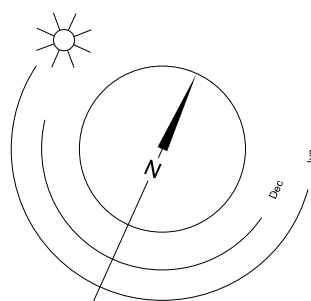
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10	25-11-06	Issued for BP
9	25-10-30	DDP Revisions Rev2
8	24-07-22	DP / Rezoning Rev. 7
7	24-06-27	DP / Rezoning Rev. 6
6	24-04-11	DP / Rezoning Rev. 5
5	24-02-14	DP / Rezoning Rev. 4
4	23-10-26	DP / Rezoning Rev. 3
3	23-07-25	DP / Rezoning Rev. 2
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	11	25-12-12	Description	IFC Draft
Plot Date	10/15/25		Project Status	DD
Drawn By	SWS		Checked By	CRK
Scale	1 : 200		Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Site Plan Overall



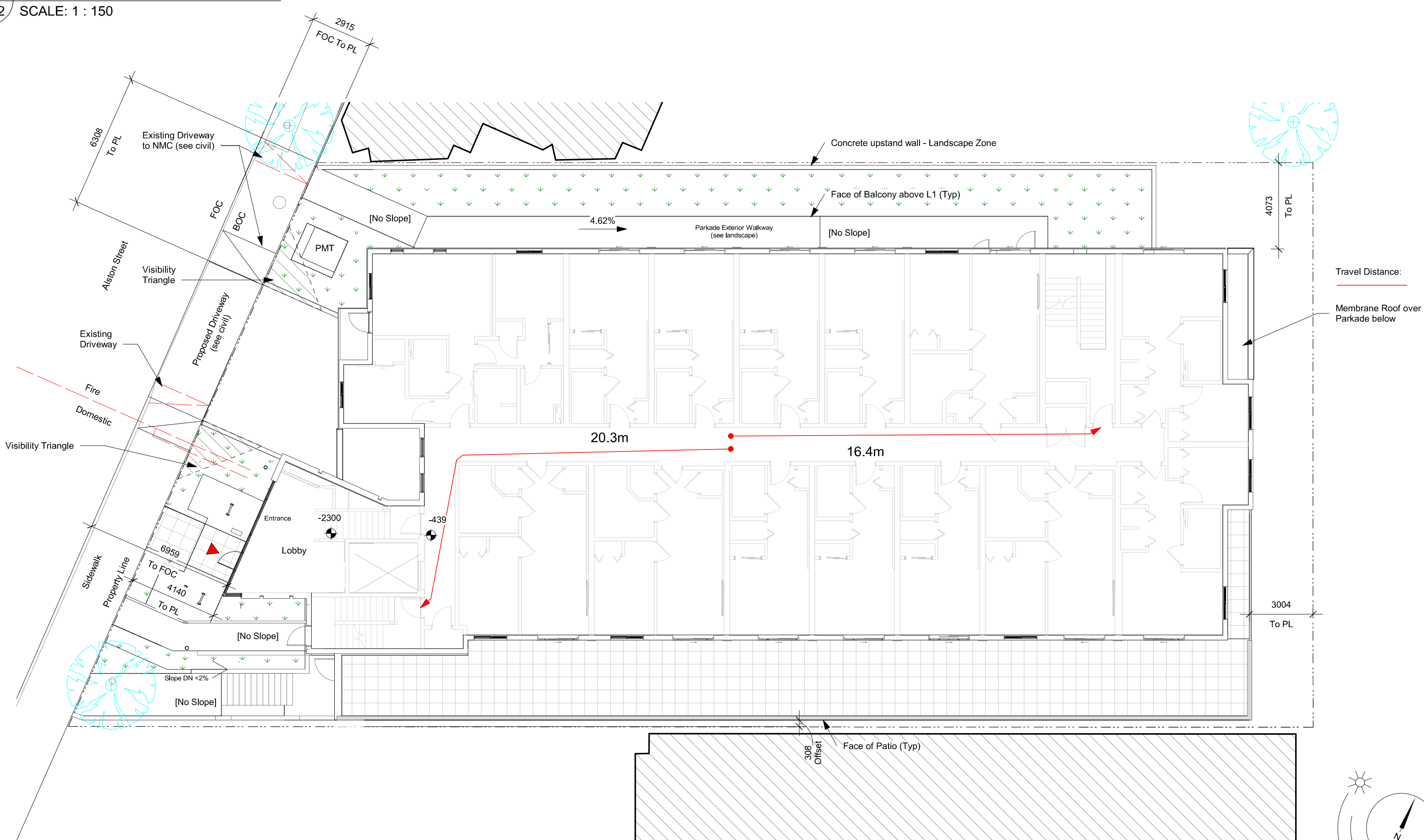
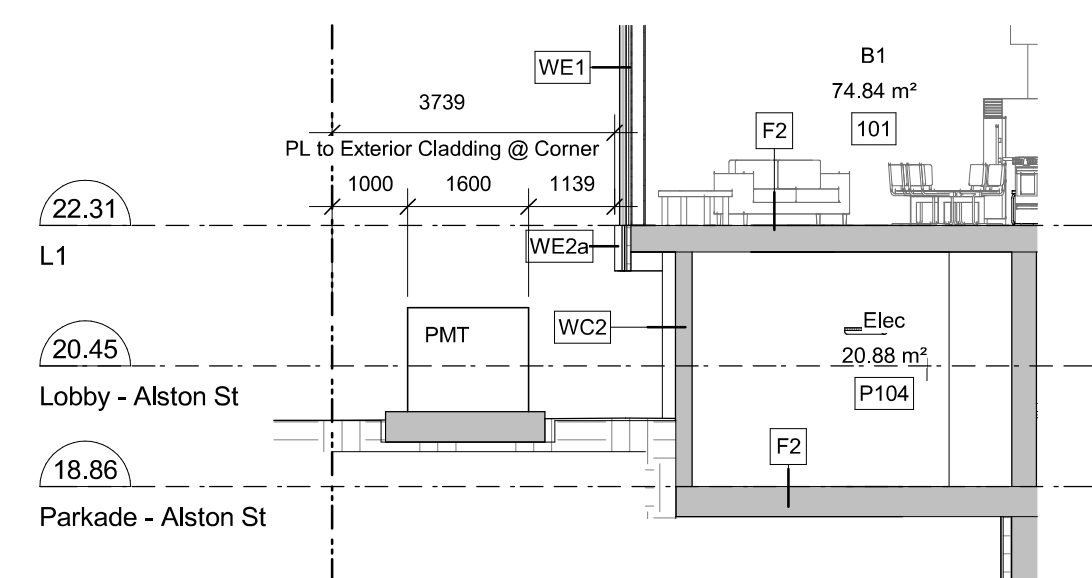
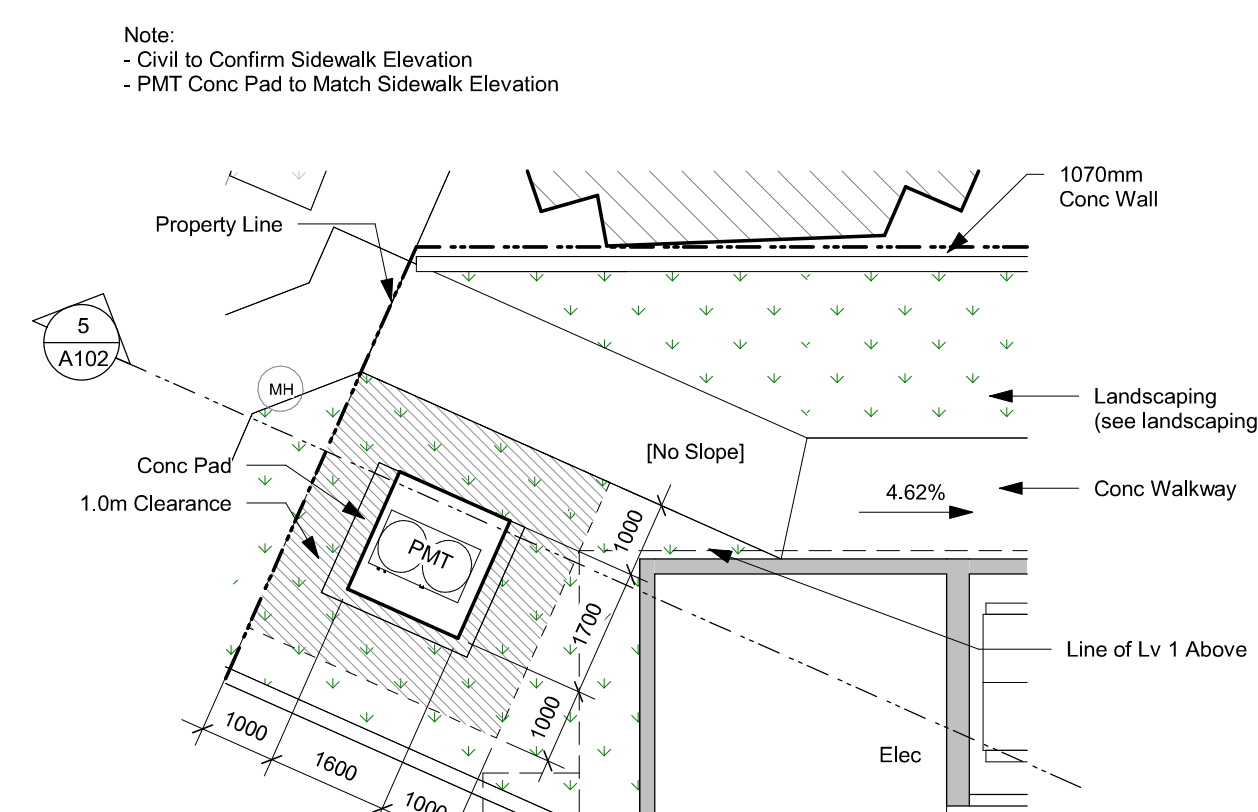
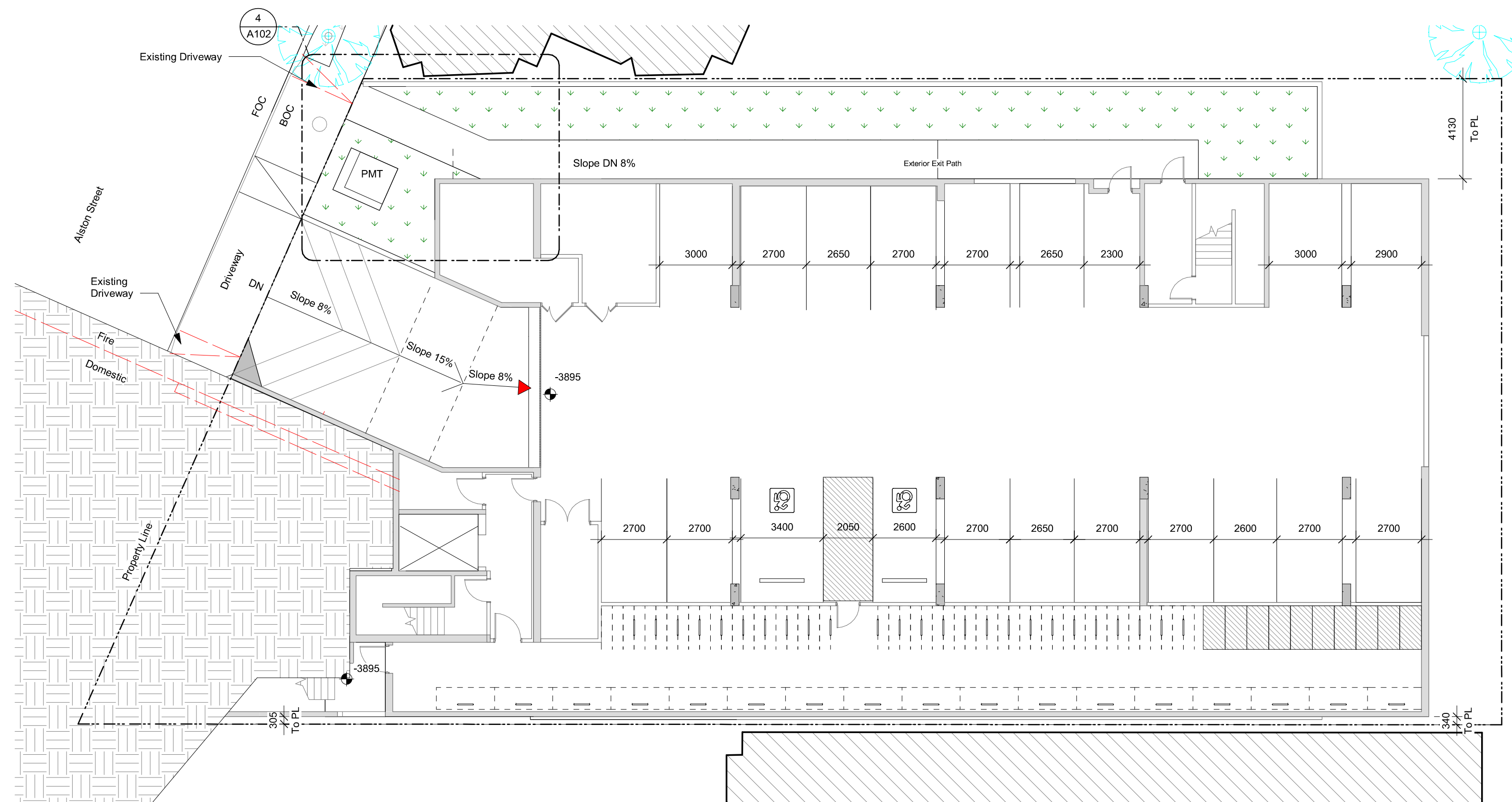
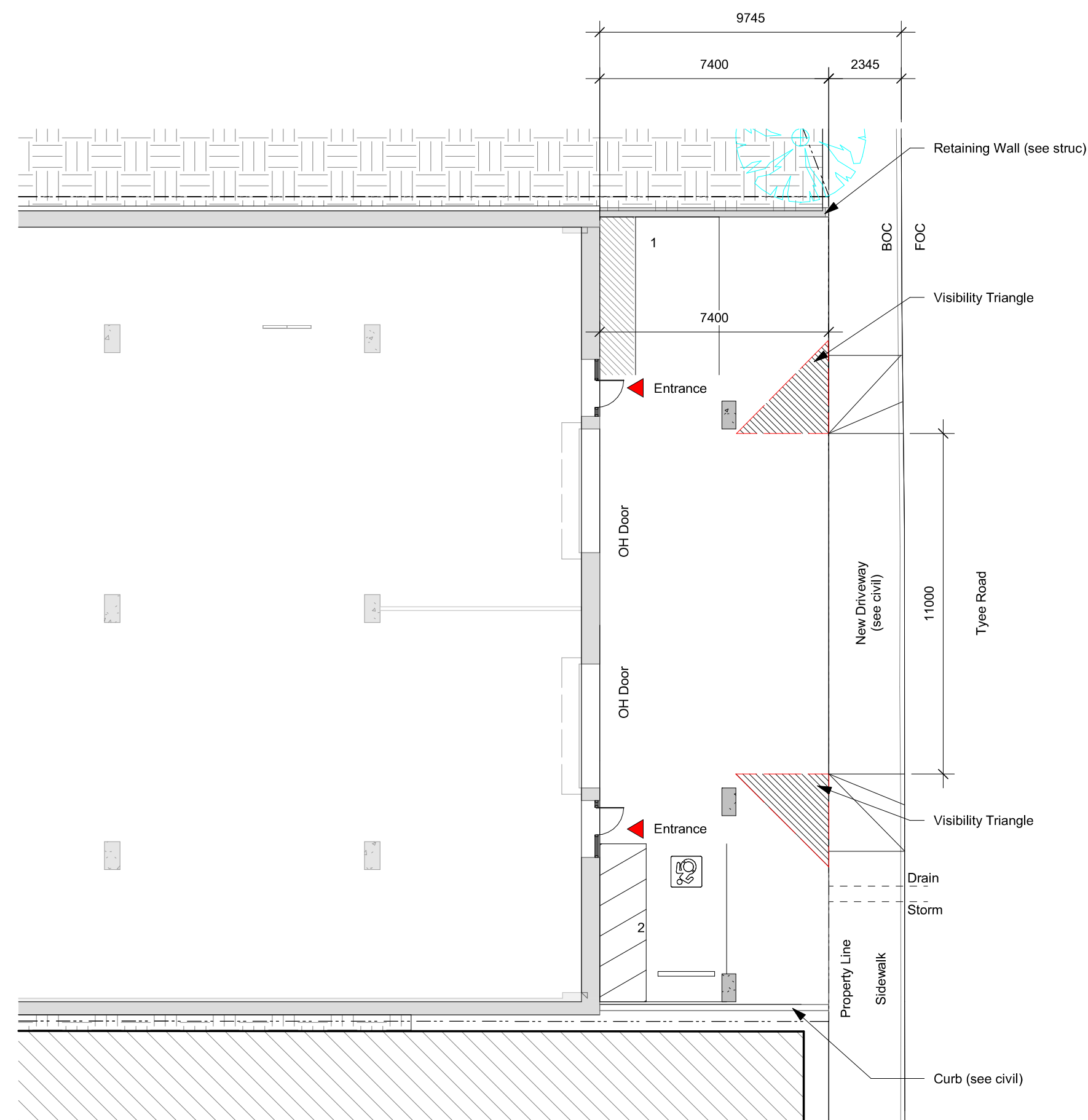
0 7500 15000 mm
1 : 300



A101

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977 Fort Street V8V 3K3 T 1-250-658-3367
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General Notes:

1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site.

6	25-10-30	DDP Revisions Rev2
5	25-05-02	DDP Revisions
4	23-10-26	DP / Rezoning Rev. 3
3	23-07-25	DP / Rezoning Rev. 2
2	23-06-15	DP / Rezoning Rev. 1
1	23-03-30	DP / Rezoning

Rev	6	25-10-30	Description	DDP Revisions Rev2
Plot Date		09/30/25	Project Status	DD
Drawn By		SWS	Checked By	CRK
Scale		As indicated	Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

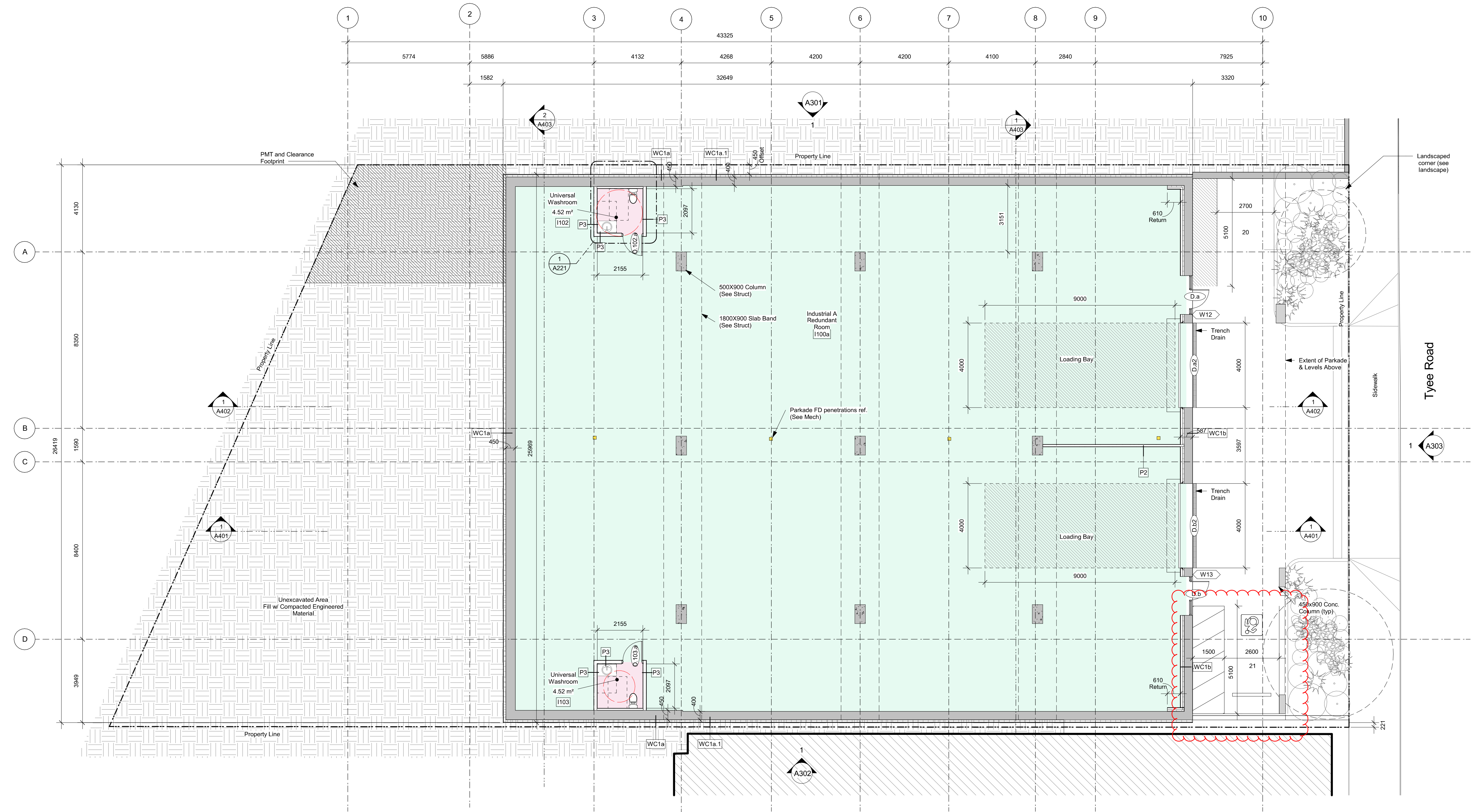
1055 Alston Street
Victoria, BC
**Site Plan -
Circulation**



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Fire Separation Legend	
---	0.0 HR
---	0.75 HR
---	1.0 HR
---	1.5 HR
---	2.0 HR

10	25-12-12	IFC Draft
9	25-11-06	Issued for BP
8	25-10-30	DDP Revisions Rev2
7	25-05-02	DDP Revisions
6	24-07-22	DP / Rezoning Rev. 7
5	24-06-27	DP / Rezoning Rev. 6
4	23-10-26	DP / Rezoning Rev. 3
3	23-07-25	DP / Rezoning Rev. 2
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	10	25-12-12	Description	IFC Draft
Plot Date	10/15/25		Project Status	DD
Drawn By	AM/AW/VE		Checked By	AM
Scale	As indicated		Project Number	2304

NOTE: All dimensions are shown in millimeters.

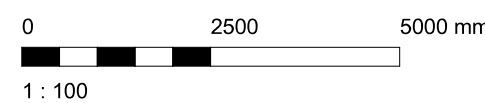
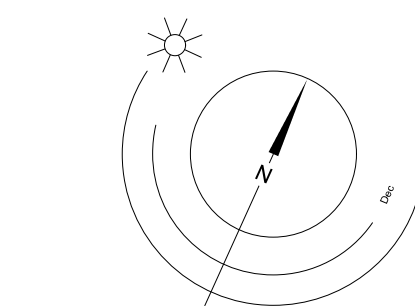
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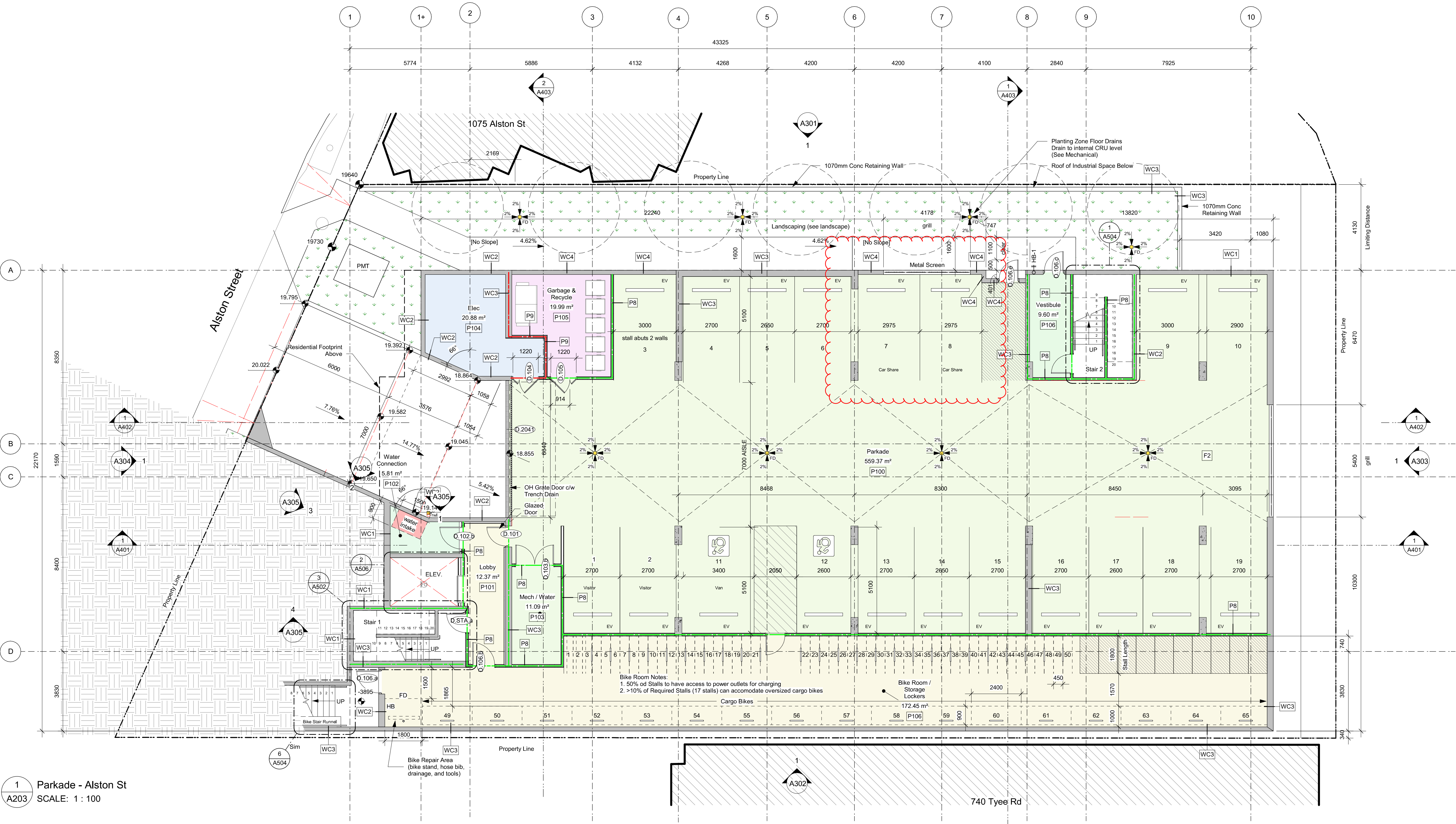
1055 Alston Street
Victoria, BC
Lower Commercial /
Industrial - Tyee Rd



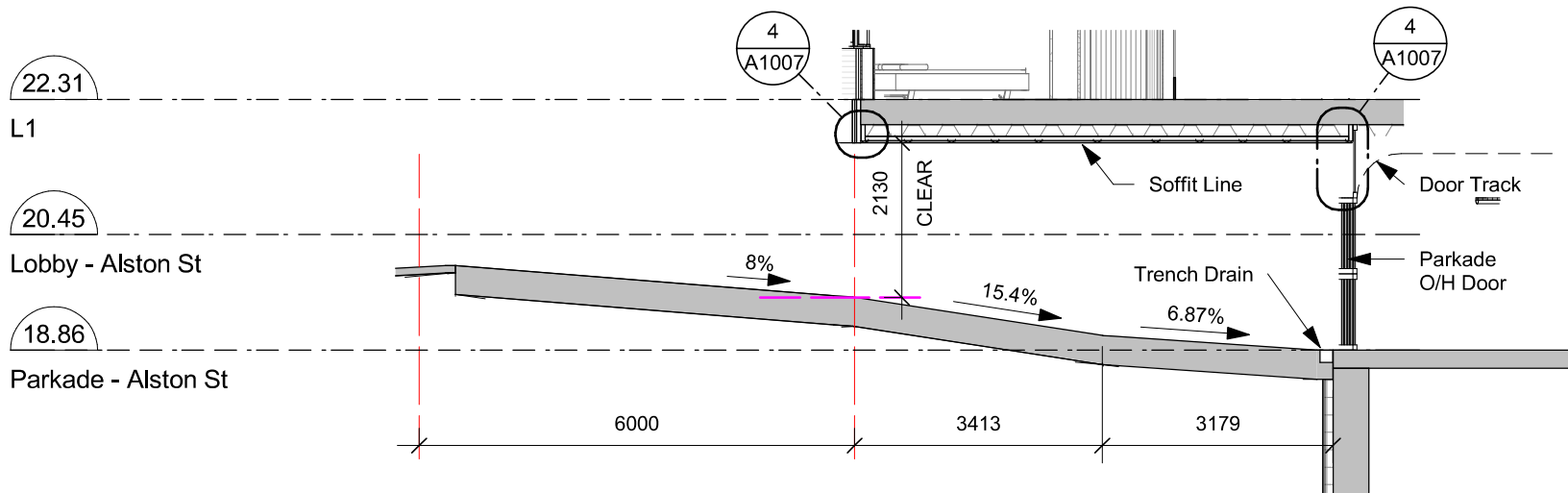
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1 Parkade - Alston St
A203 / SCALE: 1 : 100



2 Section Thru Parkade Ramp CL
A203 / SCALE: 1 : 100

PARKING NOTES

Bike Parking P1: Total 65 Class 1 ground mounted (48 std size, 17 oversized)

Car Parking P1: Total 19 (2 Accessible, Each Stall to have EV Charging)

- Occupancy
- Bike Room / Storage Lockers
 - Elec
 - Garbage & Recycle
 - Lobby
 - Mech / Water
 - Parkade
 - Vestibule
 - Water Connection

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

12	25-12-12	IFC Draft
11	25-11-06	Issued for BP
10	25-10-30	DDP Revisions Rev2
9	25-05-02	DDP Revisions
8	24-07-22	DP / Rezoning Rev. 7
7	24-04-11	DP / Rezoning Rev. 5
6	24-02-14	DP / Rezoning Rev. 4
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	12	25-12-12	Description	IFC Draft
Pkt Date		10/15/25	Project Status	DD
Drawn By		AM/AW/V/E	Checked By	AM
Scale		As indicated	Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

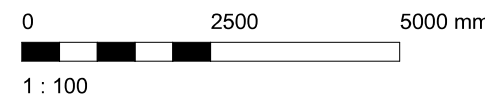
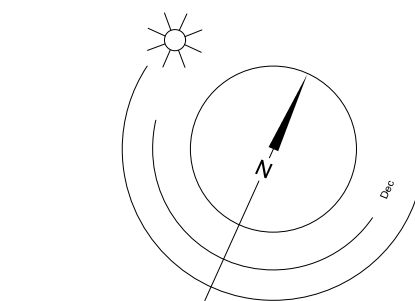
1055 Alston Street
Victoria, BC

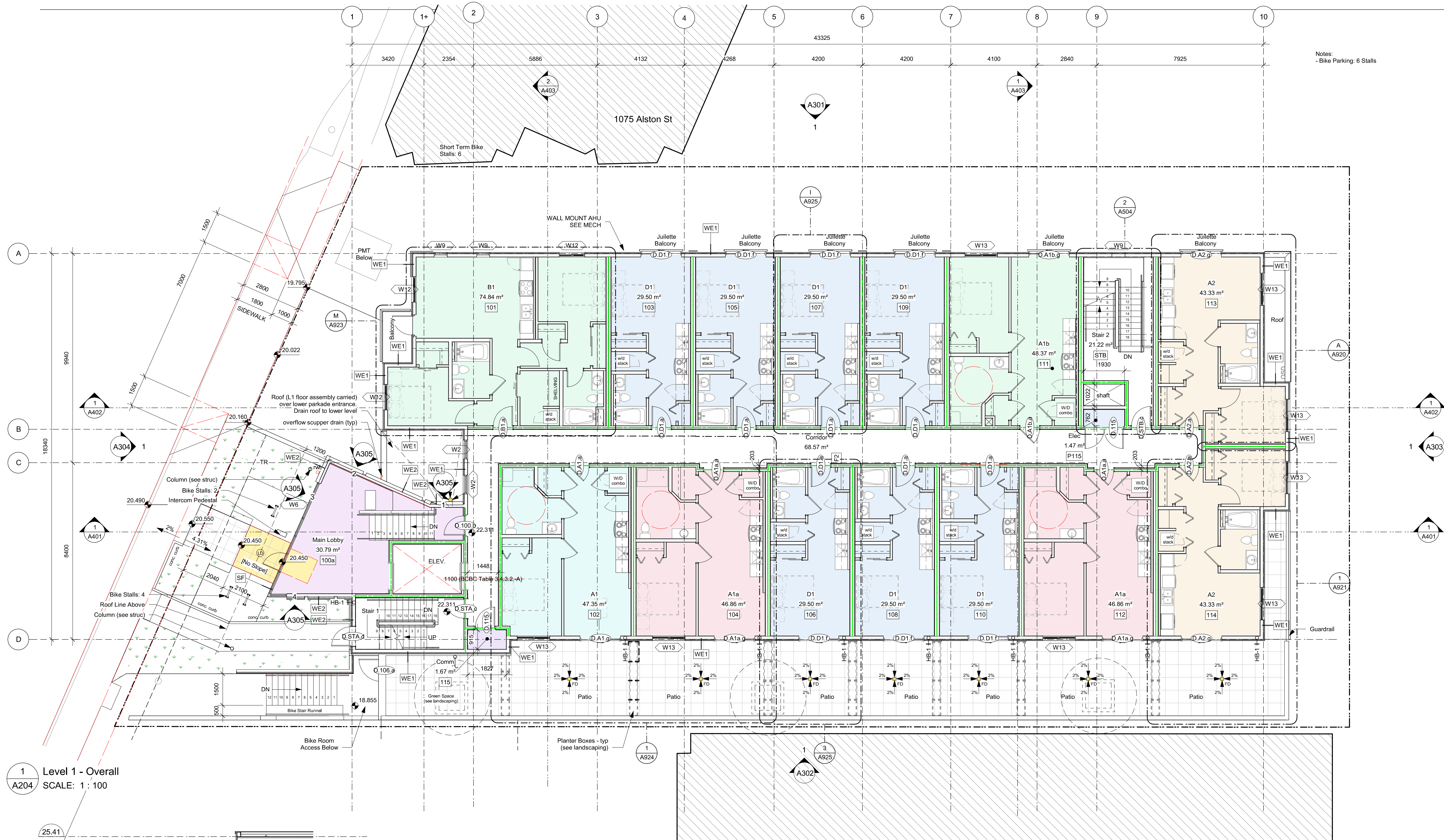
Parkade - Alston
Street

dHkA A203

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Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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Occupancy

- A1
- A1a
- A1b
- A2
- B1
- Comm
- D1
- Elec
- Industrial A
- Main Lobby

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

10	25-12-12	IFC Draft
9	25-11-06	Issued for BP
8	25-10-30	DDP Revisions Rev2
7	25-07-03	L1 Balcony Rev1
6	25-05-02	DDP Revisions
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	10	25-12-12	Description	IFC Draft
Pkt Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/V/E	Checked By	AM	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

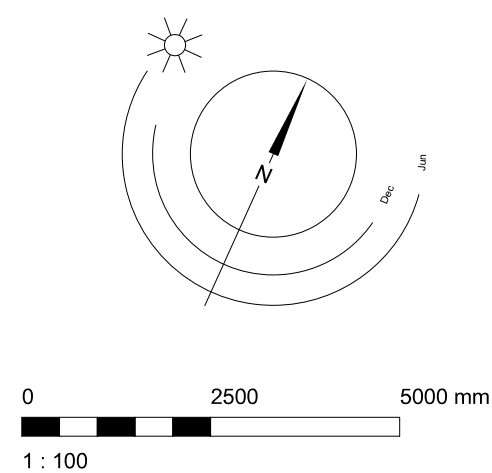
Alston

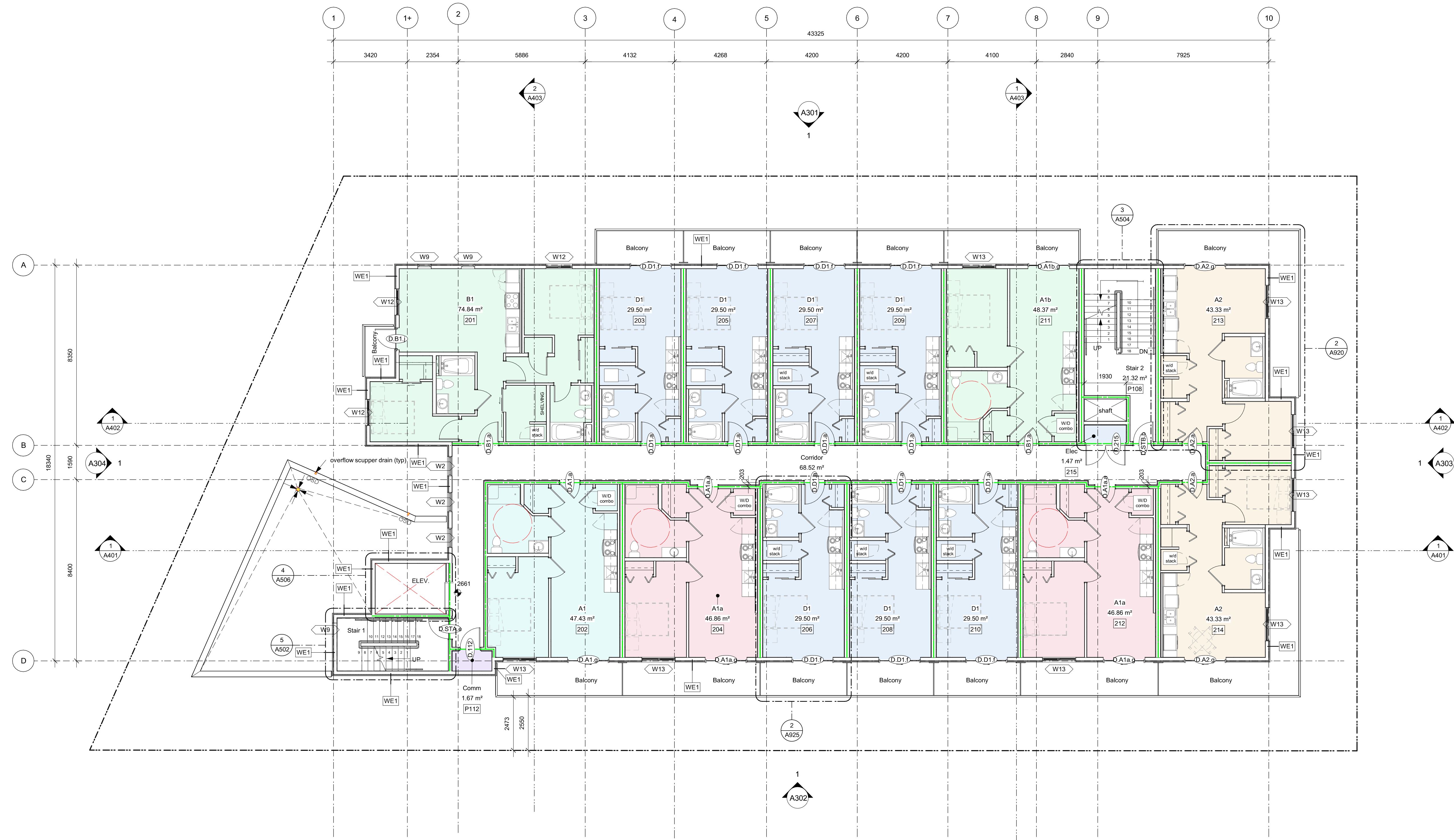
1055 Alston Street
Victoria, BC
Level 1



A204

dHkArchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810
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1 Level 2 - Overall
A205 SCALE: 1 : 100

Occupancy

- A1
- A1a
- A1b
- A2
- B1
- Comm
- D1
- Elec

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

6	25-12-12	IFC Draft
5	25-11-06	Issued for BP
4	25-10-30	DDP Revisions Rev2
3	25-05-02	DDP Revisions
2	23-03-30	DP / Reasoning
1	23-03-25	CALUC

Rev	6	25-12-12	Description	IFC Draft
Pkt Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/VE	Checked By	AM	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Level 2

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A205

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Nanaimo
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Occupancy

- A1
- A1a
- A1b
- A2
- B1
- Comm
- D1
- Elec

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

6	25-12-12	IFC Draft
5	25-11-06	Issued for BP
4	25-10-30	DDP Revisions Rev2
3	25-05-02	DDP Revisions
2	23-03-30	DP / Reasoning
1	23-03-25	CALUC

Rev	6	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/VE	Checked By	AM	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

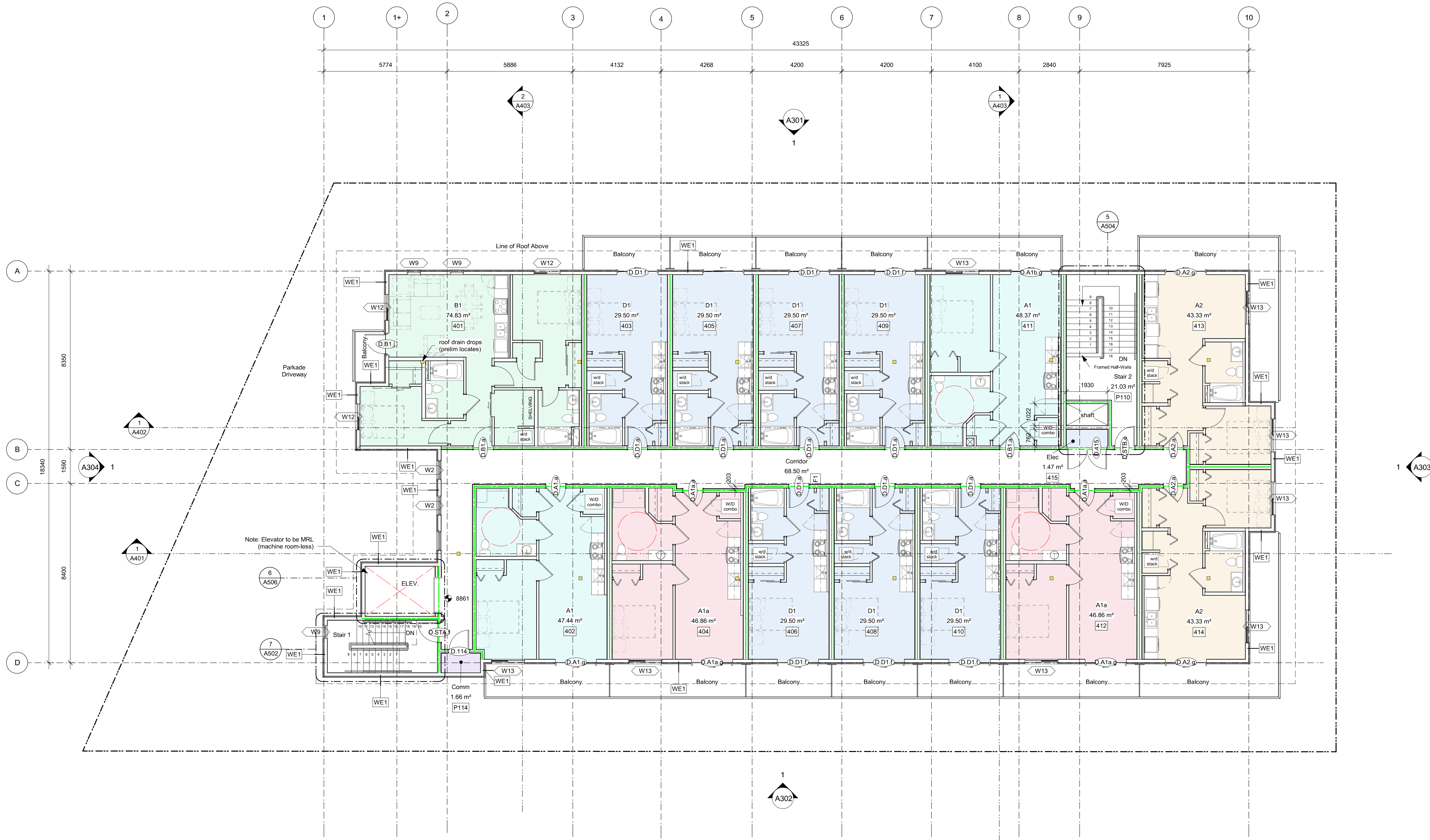
1055 Alston Street
Victoria, BC
Level 3

dHk Architects
A206

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102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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1 Level 3 - Overall
A206 SCALE: 1 : 100



1 Level 4 - Overall
A207 SCALE: 1 : 100

Occupancy

- A1
- A1a
- A2
- B1
- Comm
- D1
- Elec

Fire Separation Legend

- 0.0 HR
- 0.75 HR
- 1.0 HR
- 1.5 HR
- 2.0 HR

6	25-12-12	IFC Draft
5	25-11-06	Issued for BP
4	25-10-30	DDP Revisions Rev2
3	25-05-02	DDP Revisions
2	23-03-30	DP / Reasoning
1	23-03-25	CALUC

Rev	6	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/VE	Checked By	AM	
Scale	As indicated	Project Number	2304	

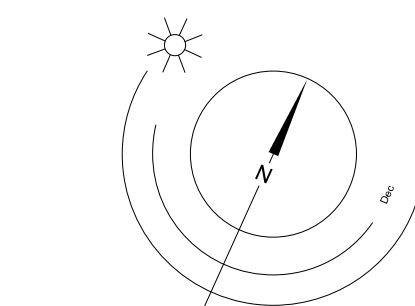
NOTE: All dimensions are shown in millimeters.

Alston

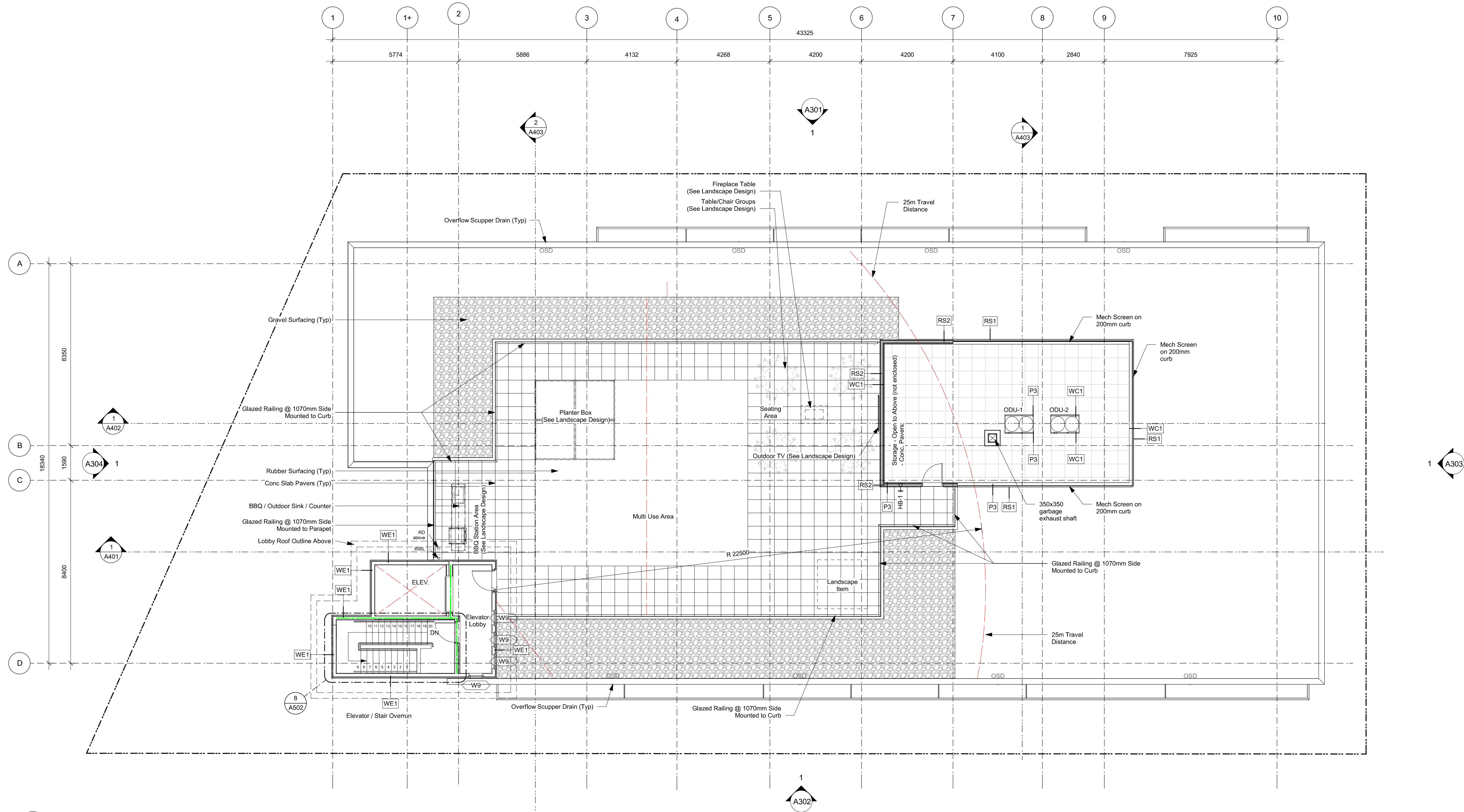
1055 Alston Street
Victoria, BC
Level 4

dHKa A207

dHK Architects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
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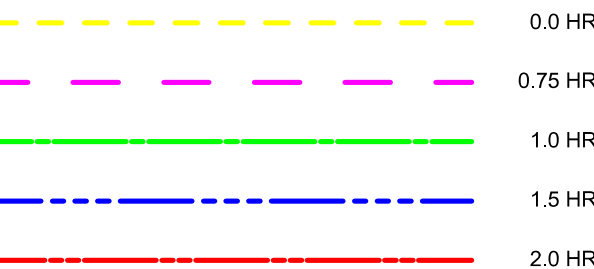


0 2500 5000 mm
1 : 100



1 Roof Amenity Space
A208a SCALE: 1 : 100

Fire Separation Legend



5	25-12-12	IFC Draft
4	25-11-06	Issued for BP
3	25-10-30	DDP Revisions Rev2
2	25-05-02	DDP Revisions
1	23-06-15	DP / Rezoning Rev. 1

Rev	5	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/V/E	Checked By	AM	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

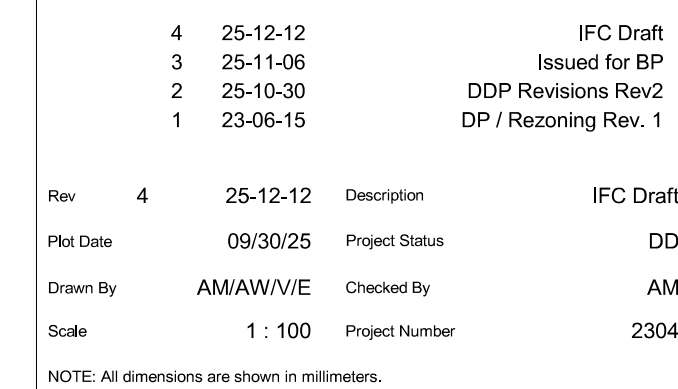
Alston

1055 Alston Street
Victoria, BC
Roof Amenity Space

dHk Architects
A208a

Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
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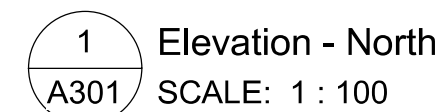











1055 Alston Street
Victoria, BC
Roof Drainage



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Material #	Material	Colour	
<div>4</div> <div>5</div>	7/8" Corrugated Metal Panel 	<div>  Ebony 9622 (26ga) </div> <div>  Light Pewter 2697 (24ga) </div>	<div>1</div> <div>Aluminum Flashing</div> 
<div>2</div> <div>13</div> <div>18</div> <div>19</div>	Metal Composite Panel 	<div>  Neon Red </div> <div>  Nissan Grey </div> <div>  Brushed Carbon </div>	<div>20</div> <div>Architectural Concrete</div> 

9	25-12-12	IFC Draft
8	25-11-06	Issued for BP
7	25-10-30	DDP Revisions Rev2
6	25-05-02	DDP Revisions
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

iv	9	25-12-12	Description	IFC Draft
ot Date		10/15/25	Project Status	DD
awn By		SWS	Checked By	CRK
ale		As indicated	Project Number	2304

NOTE: All dimensions are shown in millimeters.

Alston

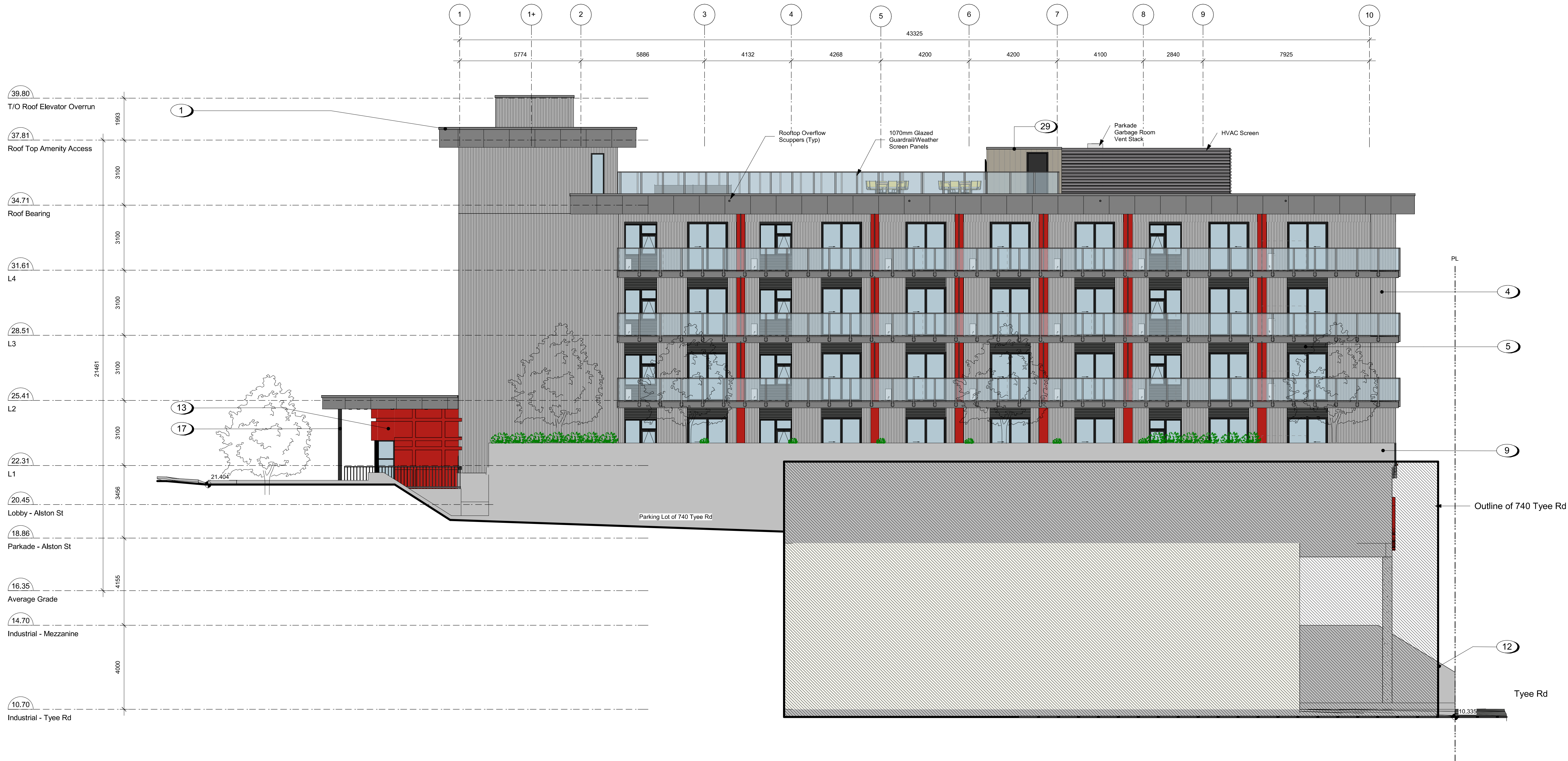
1055 Alston Street
Victoria, BC
Building Elevation

A301

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Victoria		
977 Fort Street	V8V 3K3	T 1•250•658•3367
Nanaimo		
102-5190 Dublin Way	V9T 0H2	T 1•250•585•5810

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1 Elevation - South
A302 SCALE: 1 : 100



Material Board

Material #	Material	Colour	
4	7/8" Corrugated Metal Panel	Ebony 9822 (28ga)	Light Pewter 2897 (24ga)
5			
2	Metal Composite Panel	Neon Red	Nissan Grey
13			
18			
19		Brushed Carbon	
1	Aluminum Flashing		
20	Architectural Concrete		

Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
- 10 Parkade Wall - Architectural Concrete
- 11 Perforated Metal Screen
- 12 Retaining Wall - Concrete
- 13 Metal Panel - Grey and Red
- 14 Metal Door - Black
- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage
- 23 Juliette Balcony Railing System
- 24 AHU - Wall Mount
- 25 Concrete Facing Insulation Panels

9	25-12-12	IFC Draft
8	25-11-06	Issued for BP
7	25-10-30	DDP Revisions Rev2
6	25-05-02	DDP Revisions
5	23-10-26	DP / Rezoning Rev. 3
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	9	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

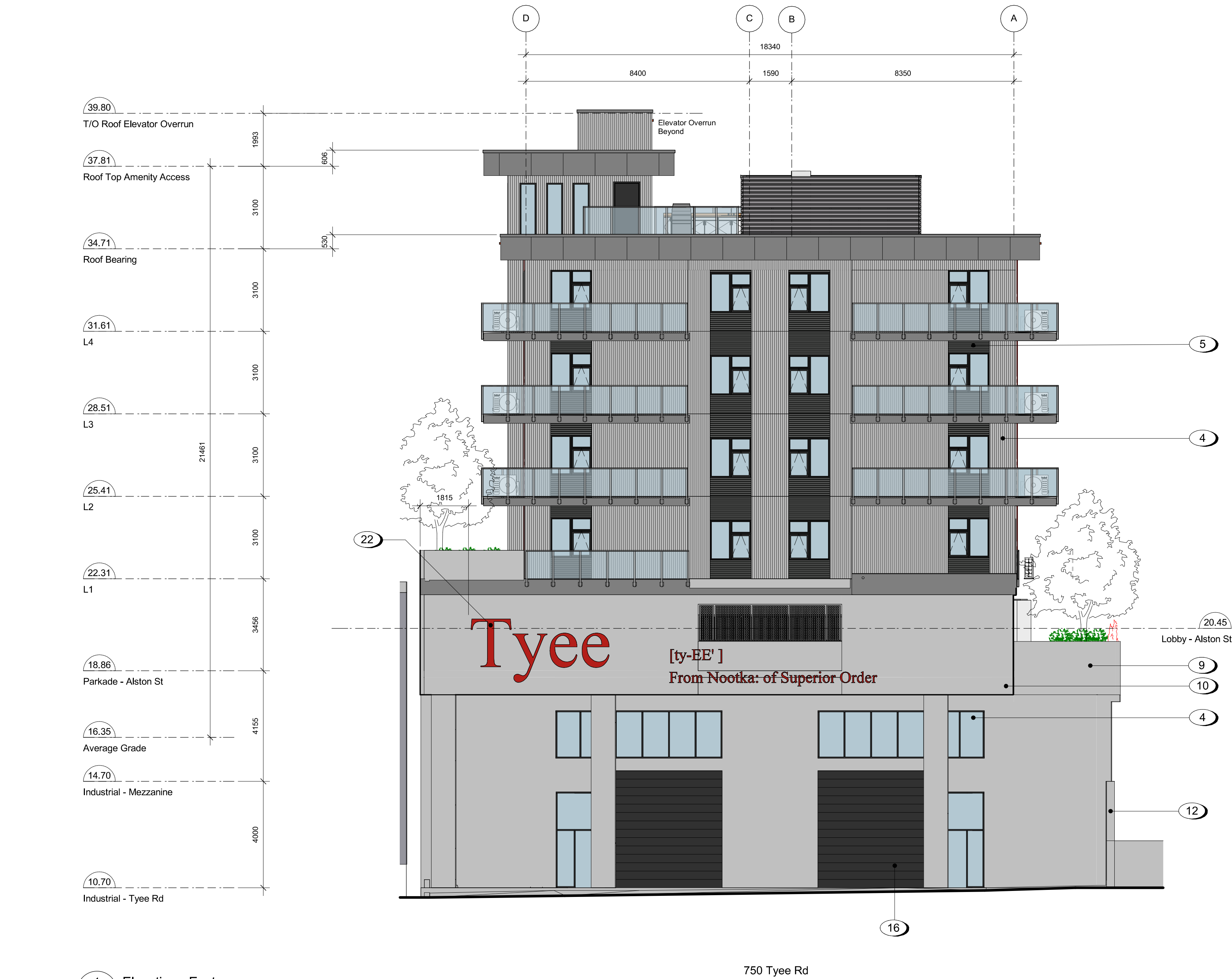
Alston

1055 Alston Street
Victoria, BC
Building Elevation

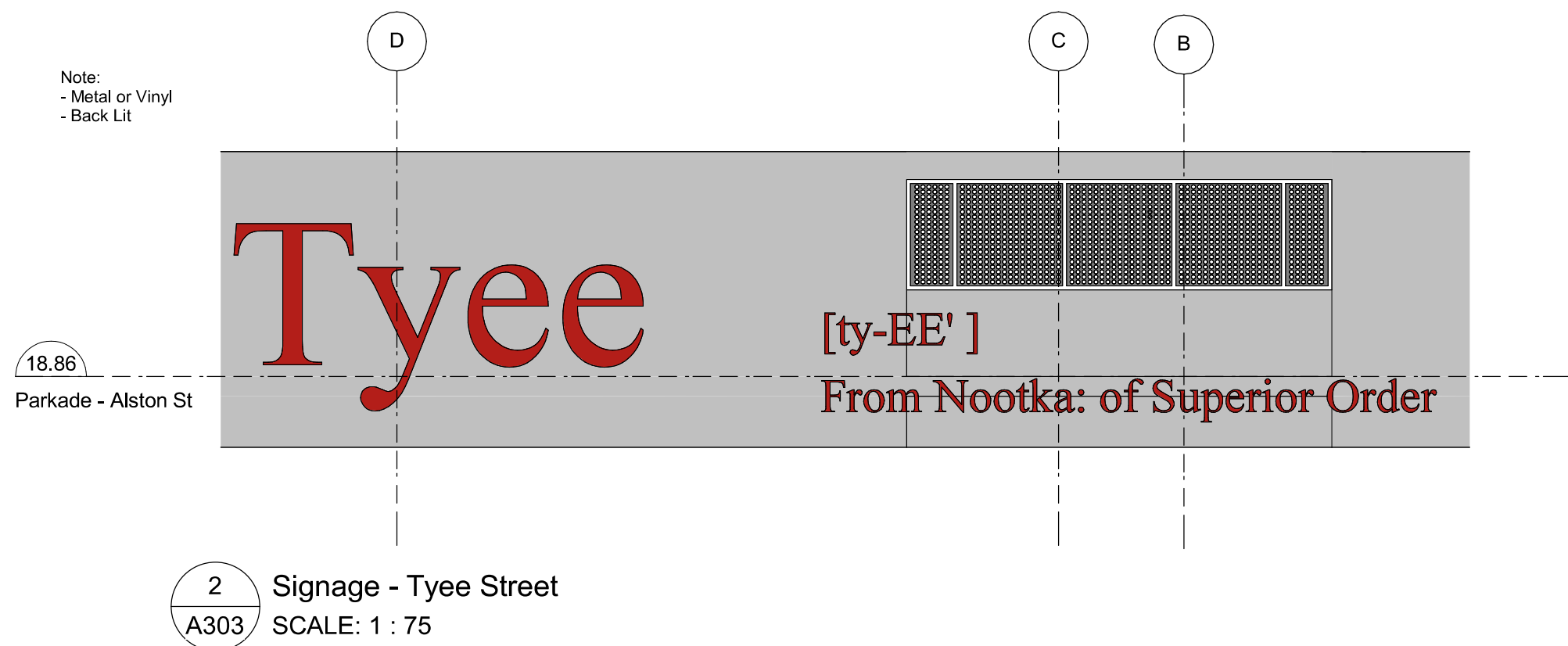


A302

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Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
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1 Elevation - East
A303 SCALE: 1 : 100



2 Signage - Tyee Street
A303 SCALE: 1 : 75

Material Board

Material #	Material	Colour	
4	7/8" Corrugated Metal Panel	Ebony 9822 (28ga)	Light Pewter 2897 (24ga)
5			
2	Metal Composite Panel	Neon Red	Nissan Grey
13			
18			
19		Brushed Carbon	

1	Aluminum Flashing	
20	Architectural Concrete	

Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
- 10 Parkade Wall - Architectural Concrete
- 11 Perforated Metal Screen
- 12 Retaining Wall - Concrete
- 13 Metal Panel - Grey and Red
- 14 Metal Door - Black
- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage
- 23 Juliette Balcony Railing System
- 24 AHU - Wall Mount
- 25 Concrete Facing Insulation Panels

Rev	9	25-12-12	Description	IFC Draft
Pkt Date	10/15/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

Rev	9	25-12-12	Description	IFC Draft
Pkt Date	10/15/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Building Elevation

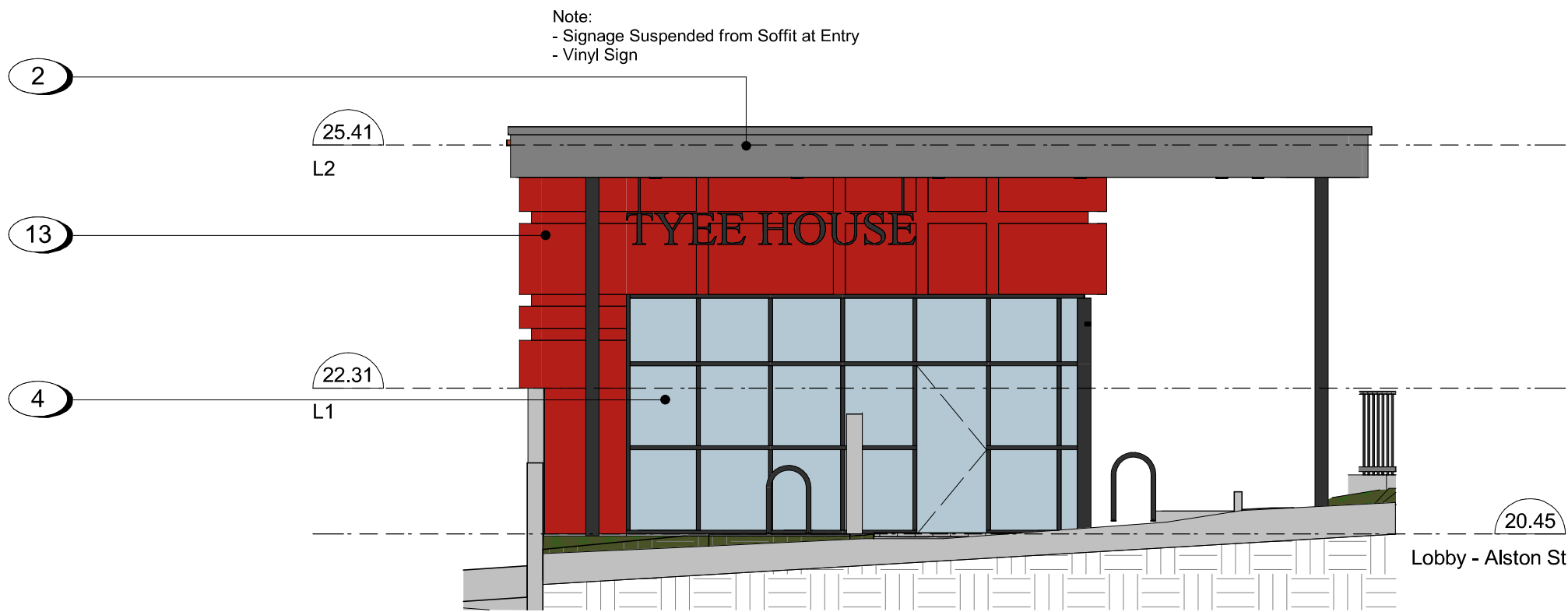
dHkA A303

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977 Fort Street V8V 3K3 T 1-250-658-3367
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1 Elevation - West
A304 SCALE: 1 : 100



2 Signage - Alston Street
A304 SCALE: 1 : 75

Material Board

Material #	Material	Colour	
4	7/8" Corrugated Metal Panel		1 Aluminum Flashing
5			
2	Metal Composite Panel		20 Architectural Concrete
13			
18			
19			

Materials Legend

- 1 Pre-finished Aluminum Flashing - Grey
- 2 Parapet - Metal Composite Panel - Grey
- 3 Guardrail - Tempered Glass w/ Aluminum Rails - Black
- 4 Corrugated Metal Panel - Vertical Orientation - Grey and Black
- 5 Corrugated Metal Panel - Horizontal Orientation - Grey and Black
- 6 Balcony / Patio Sliding Door - Black
- 7 Vinyl Frame Window - Black
- 8 Planter - (see landscaping)
- 9 1070mm Guard - Concrete
- 10 Parkade Wall - Architectural Concrete
- 11 Perforated Metal Screen
- 12 Retaining Wall - Concrete
- 13 Metal Panel - Grey and Red
- 14 Metal Door - Black
- 15 Anodized Aluminum Storefront - Glazing w/ Doors - Black
- 16 Overhead Door - Black
- 17 Canopy Structural Column (see structural) - Black
- 18 Lobby Canopy / Roof - Metal Composite Panel - Grey
- 19 Eyebrow Roof - Metal Composite Panel - Red
- 20 Architectural Concrete
- 21 RWL Guard
- 22 Signage
- 23 Juliette Balcony Railing System
- 24 AHU - Wall Mount
- 25 Concrete Facing Insulation Panels

8	25-12-12	IFC Draft
7	25-11-06	Issued for BP
6	25-10-30	DDP Revisions Rev2
5	25-05-02	DDP Revisions
4	23-07-25	DP / Rezoning Rev. 2
3	23-06-15	DP / Rezoning Rev. 1
2	23-03-30	DP / Rezoning
1	23-03-25	CALUC

Rev	8	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	SWS	Checked By	CRK	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street
Victoria, BC
Building Elevation

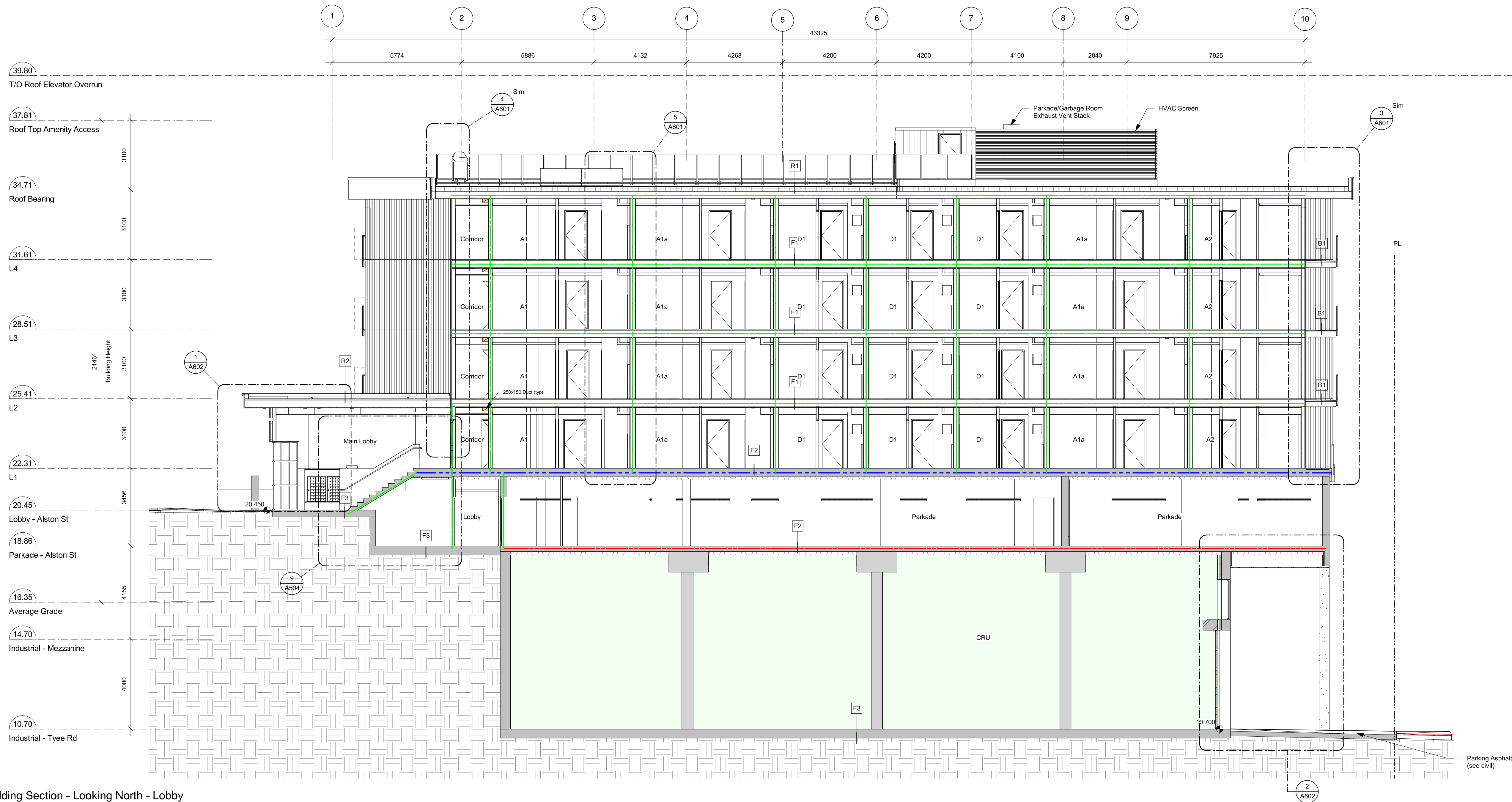
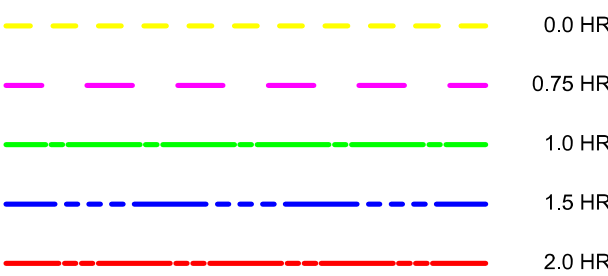


A304

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Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
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102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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Fire Separation Legend



1 Building Section - Looking North - Lobby
A401 SCALE: 1 : 100

7	25-12-12	IFC Draft
6	25-11-06	Issued for BP
5	25-10-30	DDP Revisions Rev2
4	25-05-02	DDP Revisions
3	23-10-26	DP / Rezoning Rev. 3
2	23-07-25	DP / Rezoning Rev. 2
1	23-06-15	DP / Rezoning Rev. 1

Rev	7	25-12-12	Description	IFC Draft
Plot Date	10/15/25	Project Status	DD	
Drawn By	AM/AW/VE	Checked By	AM	
Scale	As indicated	Project Number	2304	

NOTE: All dimensions are shown in millimeters.

Alston

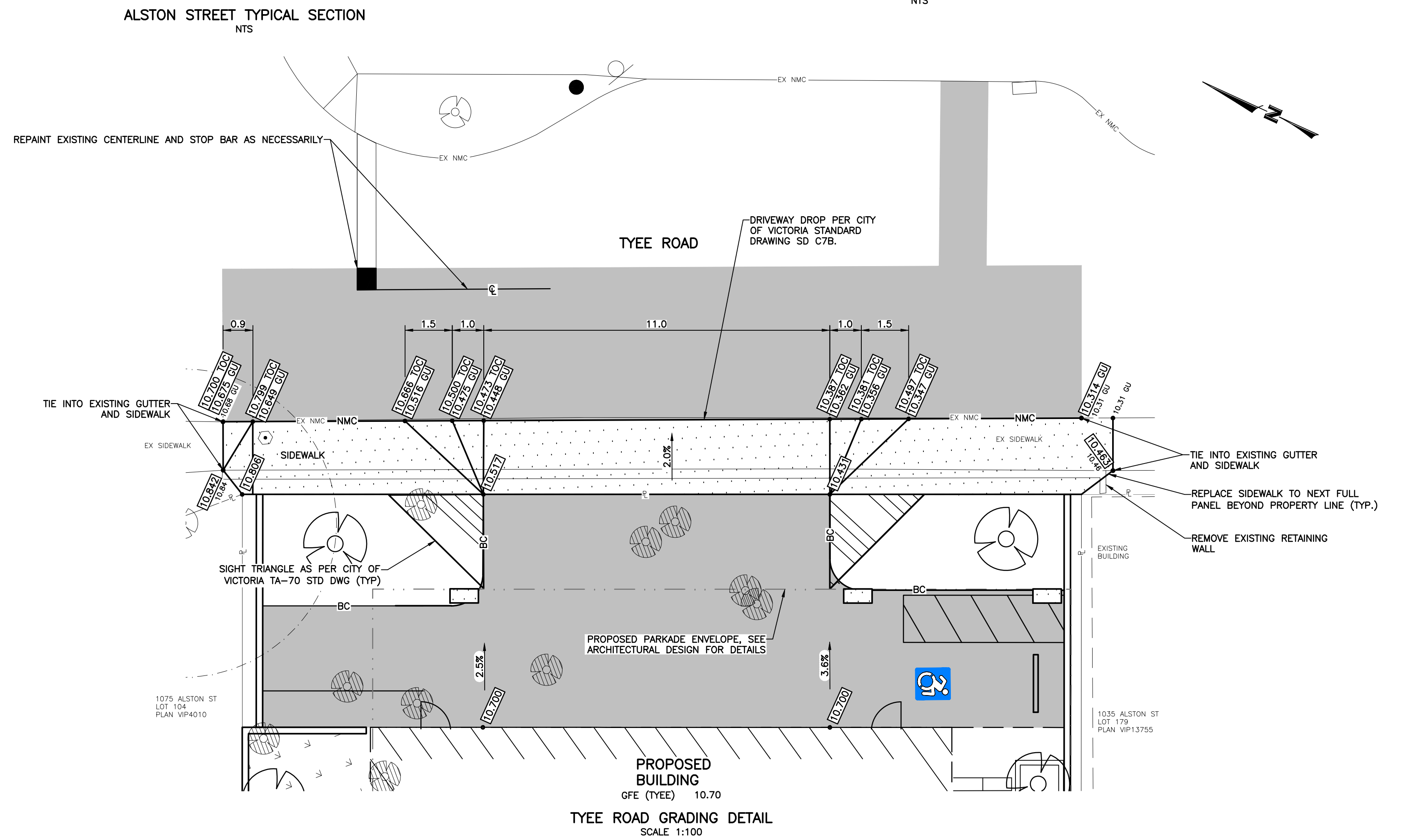
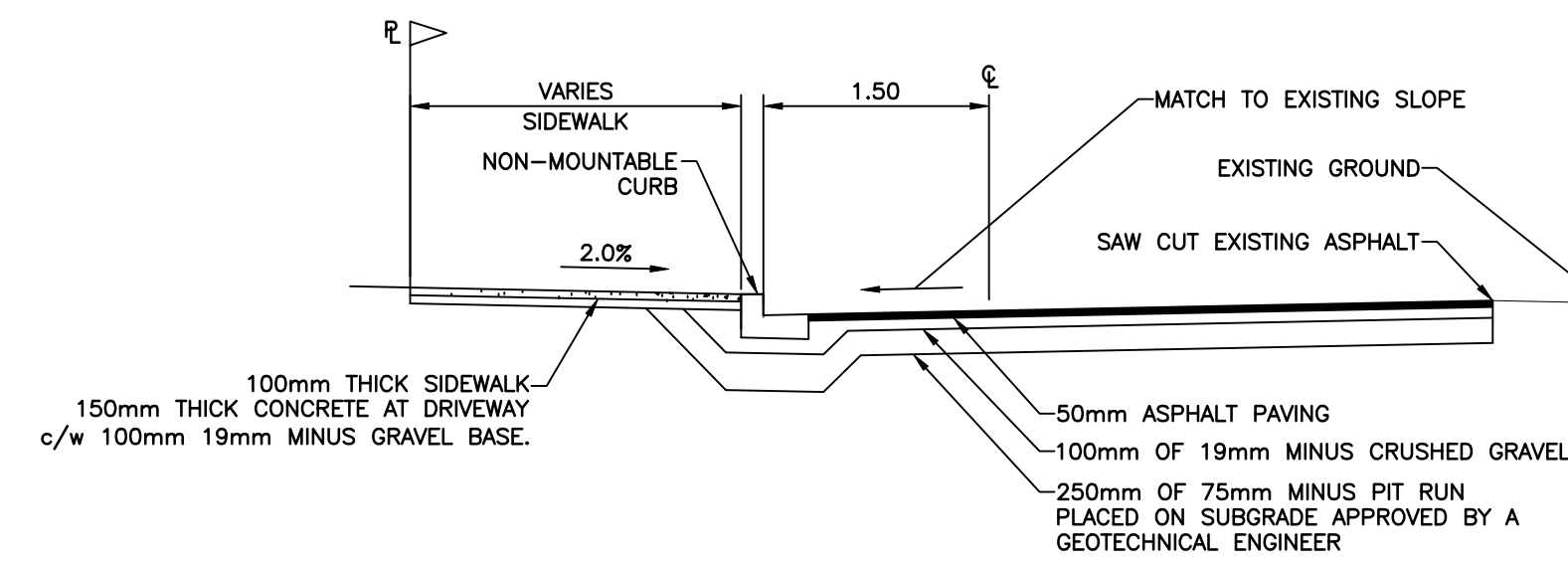
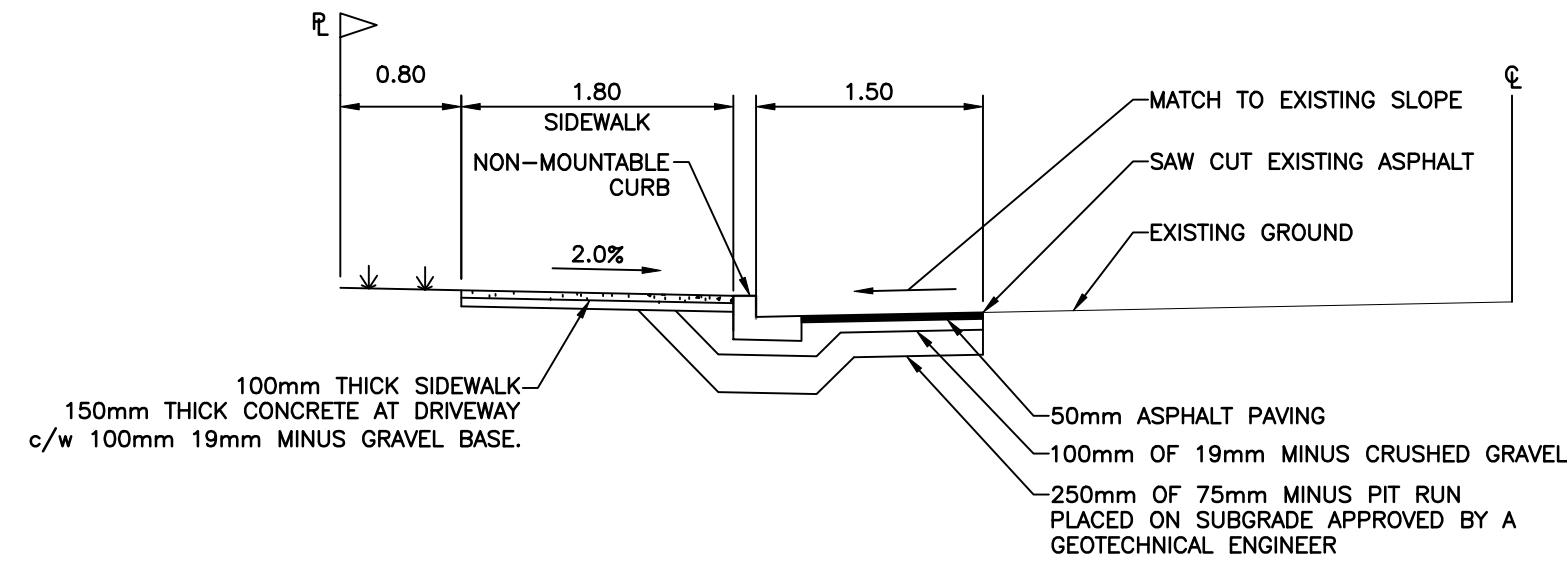
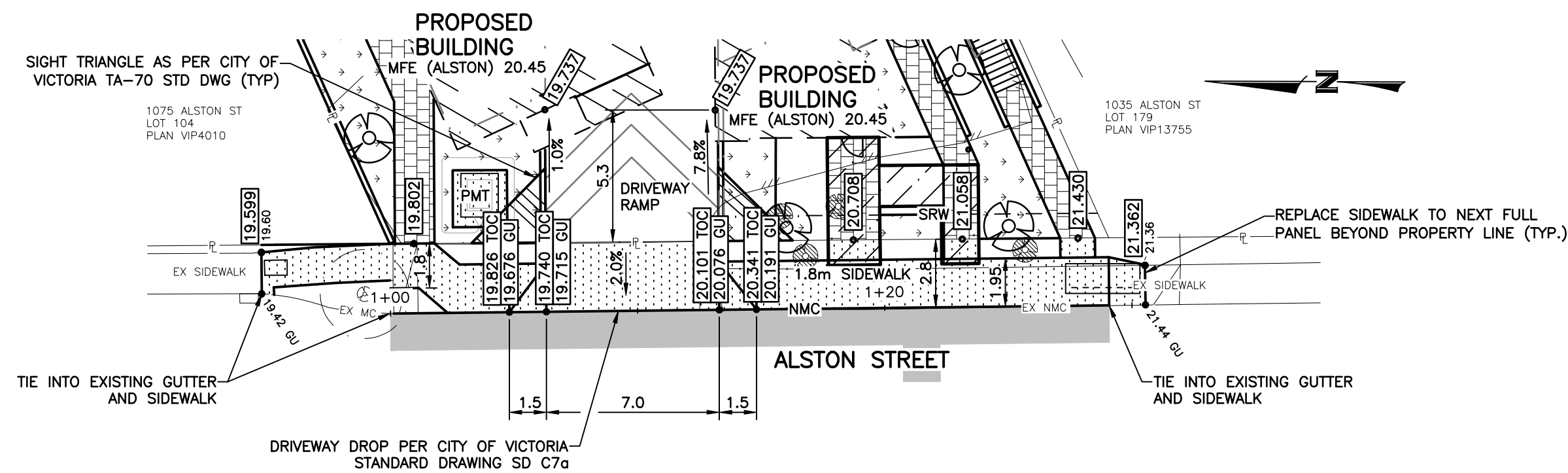
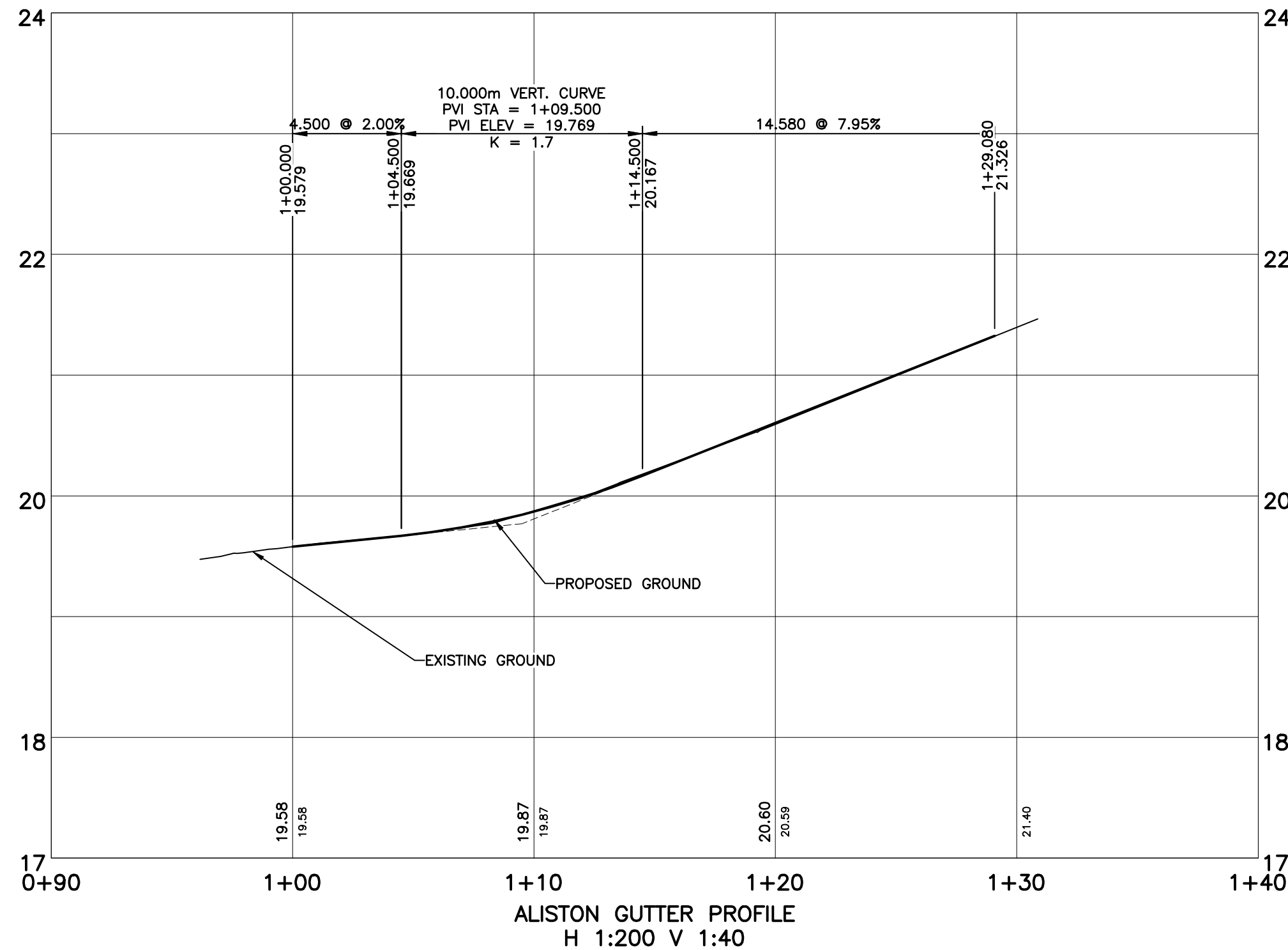
1055 Alston Street
Victoria, BC

Building Section -
Looking North

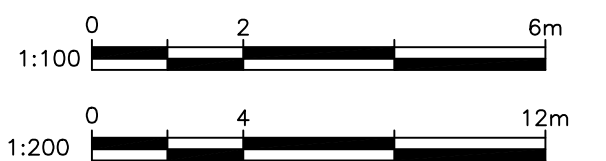


A401

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LEGEND	
	PROPOSED ELEVATION
	PROPOSED ELEVATION @ GUTTER
	PROPOSED ELEVATION @ TOP OF CURB
	EXISTING ELEVATION
	EXISTING ELEVATION @ GUTTER
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED TREE REFER TO LANDSCAPE



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND	
WATER — W —	GAS — G —
SEWER — S —	CURB — C —
DRAIN — D —	SIDEWALK — S/W —
DITCH — D —	EDGE PAVE. — E/P —
CULVERT — C —	BUSHLINE — B —
HEADWALL — H —	TREE — T —
EXISTING U/G UTL. —	PROPOSED U/G UTL. —
LIGHT STANDARD —	POWER POLE —
ANCHOR —	
MANHOLE —	HYDRANT —
CLEANOUT —	VALVE —
CATCHBASIN —	METER —
ROAD SIGN —	REDUCER —
	MONUMENT —
	LOT PIN —
	LEAD PLUG —

REVISIONS	
6	ISSUED FOR DEVELOPMENT PERMIT
5	ISSUED FOR BUILDING PERMIT
4	DRAFT BUILDING PERMIT
3	REISSUED FOR DEVELOPMENT PERMIT
2	REISSUED FOR DEVELOPMENT PERMIT
No.	DESCRIPTION
DESIGNED	BC
DRAWN	NC
CHECKED	JS
DATE	23.03.14
B.M.	24-84
ELEV.	22.250
SCALE	Horz. 1:200
Vert.	1:40

WESTBROOK Consulting Ltd.
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
1055 ALSTON ROAD
SAKURA PROPERTY DEVELOPMENT
GRADING PLAN
AND TYPICAL SECTIONS

WESTBROOK PROJECT No.
4091
GOVERNING AUTHORITY FILE No.
SHEET 2 OF 6
REV. 6
WESTBROOK DRAWING No.
4091-02

STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND AND BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P4 (TREE PLANTING IN BOULEVARD) OR SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.

A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

NOTE: AT LEAST 30% OF ALL PLANTINGS ON SITE SHALL BE NATIVE PLANTS.

BUBBLED REVISIONS

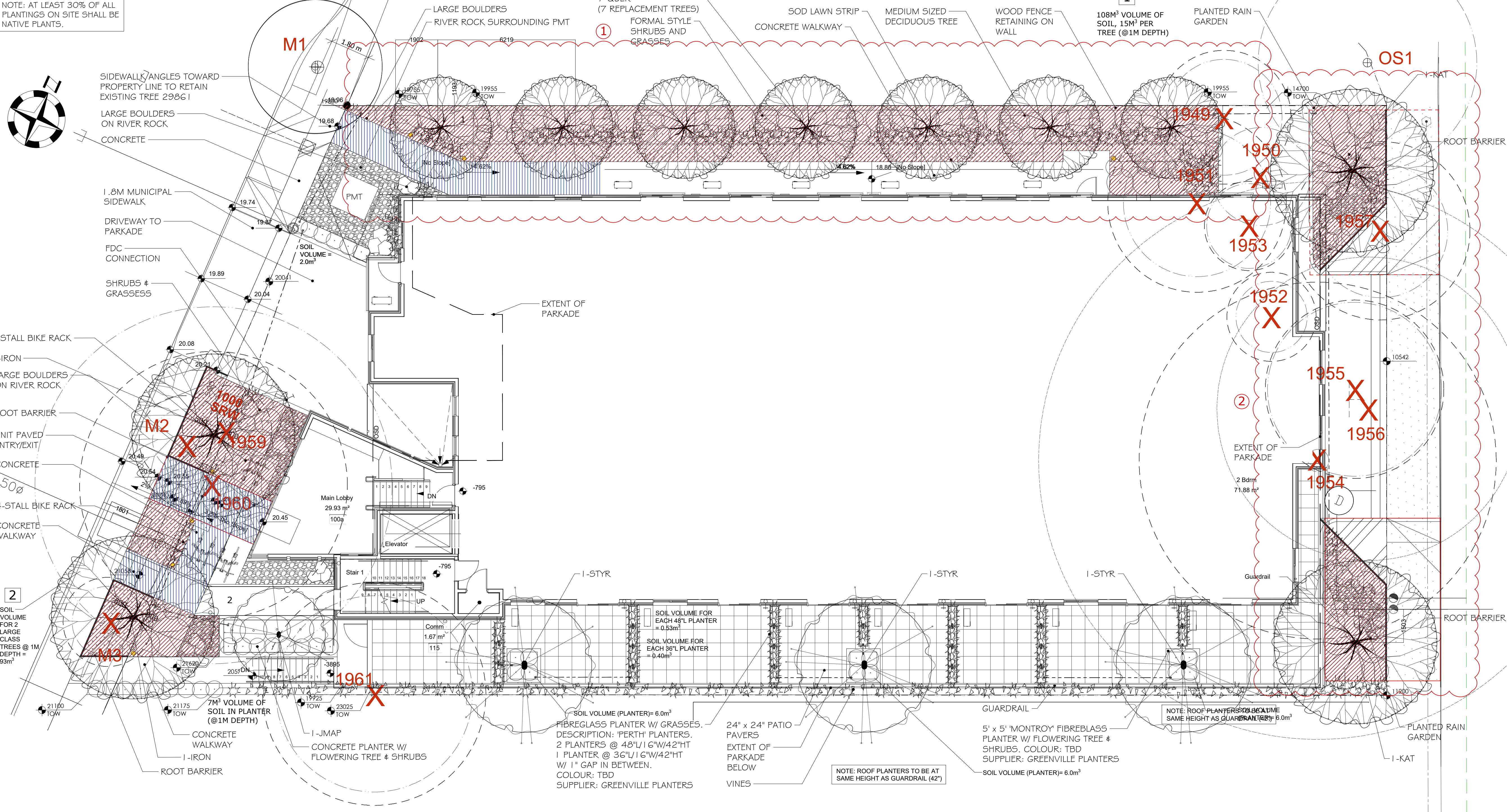
① 7 REPLACEMENT TREES CHANGED FROM YELLOWBIRD MAGNOLIA TO COLUMNAR ENGLISH OAK

② SOIL CELLS DELETED FOR 2 TREES ALONG TYEE

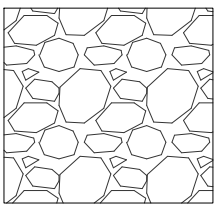
③ ADDITIONAL IRRIGATION NOTES

●---● SUGGESTED IRRIGATION SLEEVE LOCATION

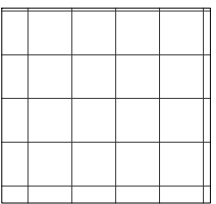
NOTE:
- CONTRACTOR SHALL ENGAGE THE SERVICES OF A BRITISH COLUMBIA CERTIFIED IRRIGATION DESIGN PROFESSIONAL IN ACCORDANCE WITH THE IABC STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS, MOST RECENT EDITION.



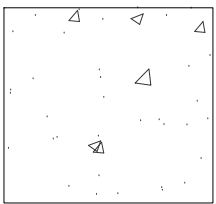
MATERIALS



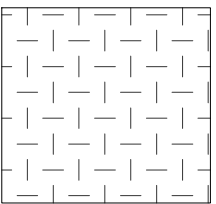
RIVER
ROCK



UNIT
PAVERS



CONCRETE
WALKWAY



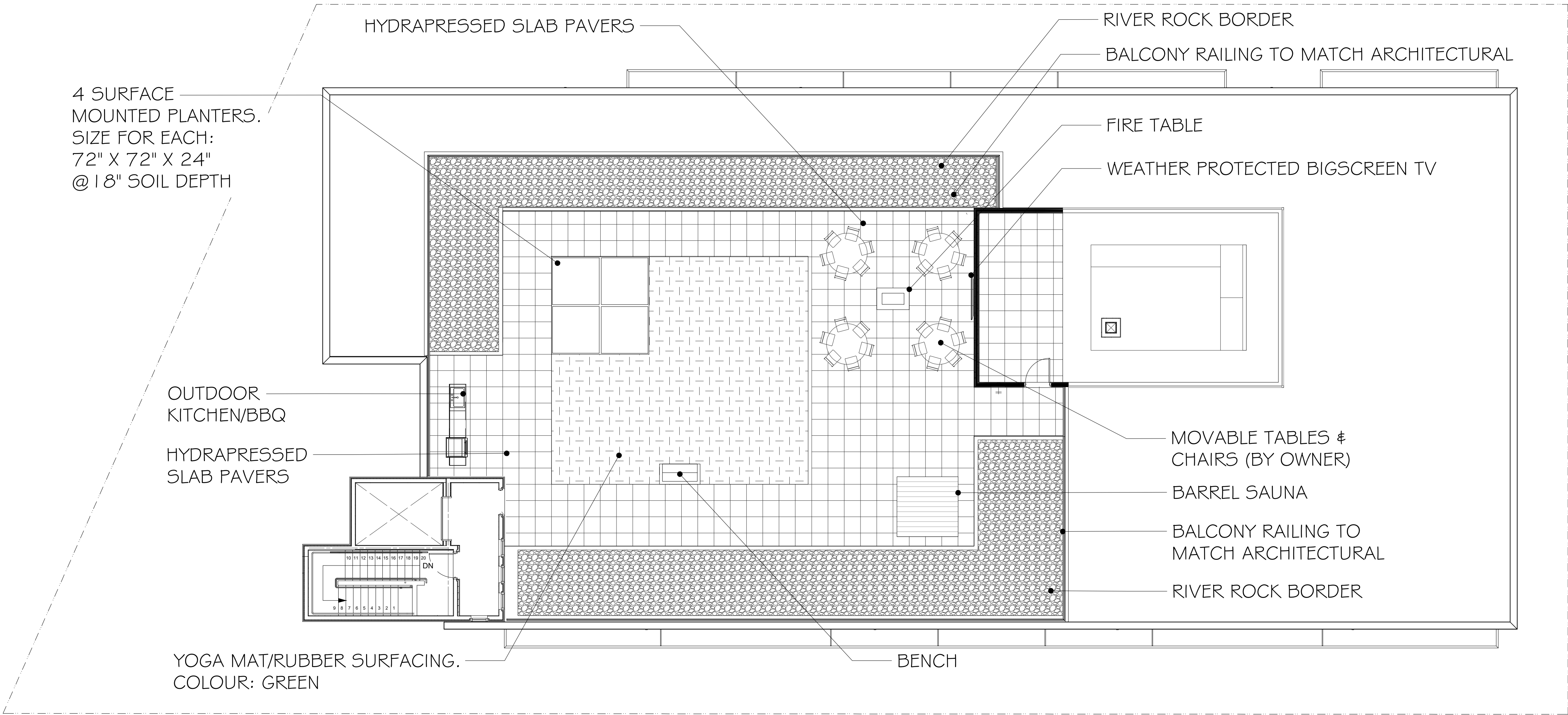
OUTDOOR
YOGA MAT



BARREL SAUNA



CORTEN STEEL ROOF TOP PLANTERS



BENCHES

RECTANGULAR FIBERGLASS PLANTER

NAME: TRADITIONAL STRATUS MODERN BENCH
MODEL #: CAL-718
SIZE : 78 3/4"L x 21 1/4"W x 32 1 1/16"H
QUANTITY: 1
SUPPLIER: CAANAN SITE FURNISHINGS

PAVERS

DESCRIPTION (TYPE 2):

NAME: 'TERRACE' SLAB PAVER
SIZE: 24" x 24"
PATTERN: STACK BOND (90° TO BUILDING FACE)
COLOUR: STERLING
SUPPLIER: BARKMAN CONCRETE PRODUCTS

REV. DATE	NUMBER	DESCRIPTION
10-26-23	5	REV. LANDSCAPE CONCEPT PLAN
02-13-24	6	RE-ISSUED FOR DP
04-15-24	7	RE-ISSUED FOR DP
06-25-24	8	REVISED
07-16-24	9	REVISED
04-30-25	10	REVISED
05-05-25	11	DDP AMENDMENTS
09-05-25	12	DDP AMENDMENTS
10-27-25	13	DDP AMENDMENTS
12-05-25	14	DDP AMENDMENTS

DATE	DECEMBER 05, 2025
SCALE	1:100
DRAWN BY	BF/RF

PREPARATION NOTES:

1. CONTAINER GROWN:
REMOVE COMPLETELY FROM
CONTAINER
2. BURLAP & ROPE:
REMOVE TOP 1/2 OF COVERING
3. WIRE & BURLAP:
REMOVE TOP 1/2 OF WIRE, ROPE &
BURLAP COVERING WITHOUT
DAMAGING ROOT BALL. REMOVE ALL
TWINE.
- 40 MM NYLON WEBBING

1.0 M DIAMETER BARK
MULCH RING SAUCER OVER
ROOTBALL 150 MM DEPTH

GROWING MEDIA SHALL MEET
B.C. LANDSCAPE STANDARD
TABLES 6-3 (SECTION 32 91 21
- MMCD 2009) ALL SOIL
PROPERTIES MUST MEET THIS
STANDARD. DEPTH GROWING
MEDIA TO BE PLACED AND
TRAMPED IN 100 MM LIFTS

ASPHALT
ROADWAY. REFER
TO CIVIL DRAWINGS

ROOT BARRIER
450 MM x 4.0 M
LENGTH

COMPACTED SUBGRADE
TO 98% S.P.D.

SCARIFY BOTTOM OF PIT

TREES MUST BE PLANTED
WITH NO MORE THAT A
50 MM DEPTH FROM
FINISHED GRADE TO THE
TOP OF THE ROOT BALL

GRASS BOULEVARD

ROOT BARRIER
450 MM x 4.0 M LENGTH

BROOM FINISHED
CONCRETE SIDEWALK

700 MM COMPACTED
STRUCTURAL SOIL TO
THE APPROVAL OF THE
GEOTECHNICAL
ENGINEER

NOTES:

ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA TREE SPECIFICATIONS.

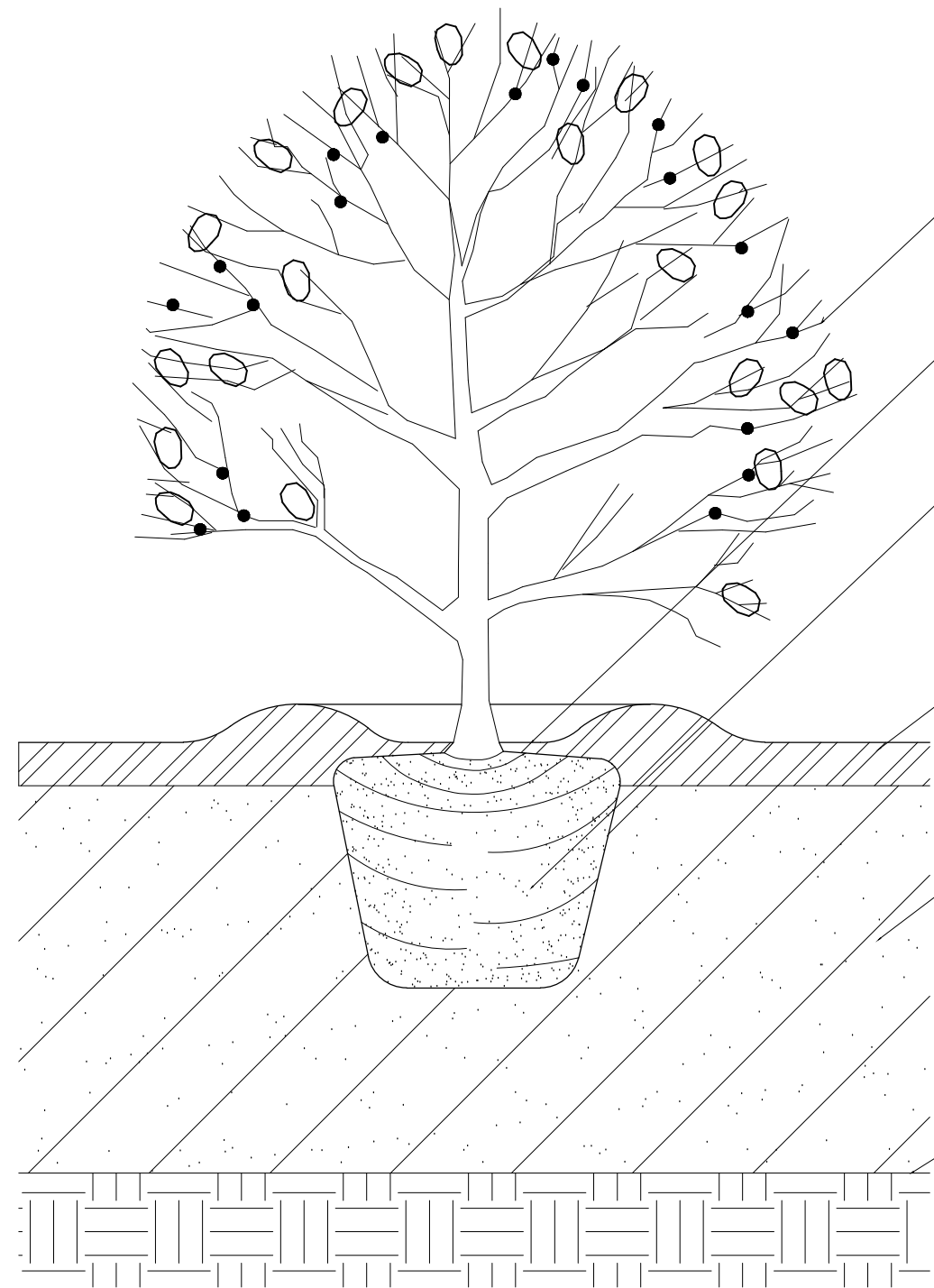
ROOT BARRIER REQUIRED ON BLVD 2.0 M OR LESS WIDE OR AS SPECIFIED BY THE DIRECTOR OR PARKS.

ROOT BARRIER REQUIRED PENDING TREE SPECIES & OR BOULEVARD WIDTH.

1 BOULEVARD TREE PLANTING

L2 SCALE

3/4" = 1' - 0"



3 SHRUB PLANTING

L2 SCALE

1" = 1' - 0"

- NOTE PREPARATION:
1.) CONTAINER GROWN -REMOVE
COMPLETELY FROM CONTAINER.
2.) BURLAP & ROPE - REMOVE
TOP 1/3 OF COVERING.
3.) WIRE & BURLAP - REMOVE TOP
1/3 OF COVERING "WITHOUT
DAMAGING ROOTBALL.

2" (50mm) NYLON WEBBING

BARK MULCH - SAUCER
OVER ROOTBALL 6" DEPTH.

SCARIFY BOTTOM AND
SIDES OF TREE PIT.

TOPSOIL MIX - COMPACT
BASE & TAMP IN LAYERS.

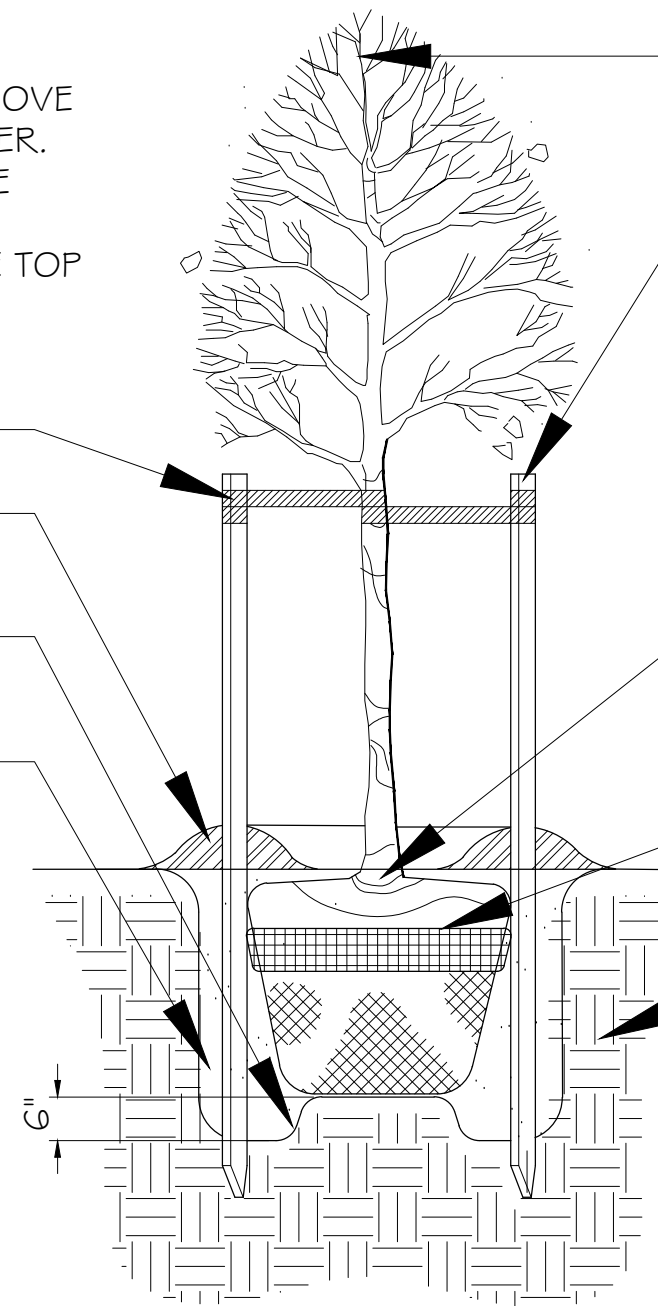
DO NOT PRUNE LEADER.
PRUNE ONLY DEAD OR
DAMAGED BRANCHES.

3" (75mm) ROUND OR 2" X 3"
(50 X 75mm) PRESSURE
TREATED STAKES @ 8'-0"
(2440mm) LENGTH. 2 STAKES
PER TREE. STAKE AT EDGE OF
ROOTBALL ON PREVAILING
WIND SIDE OF TREE. VERTICAL
STAKES TO BE DRIVEN 2'-0"
(610mm) INTO GROUND.

TOP OF ROOTBALL TO BE
SET 1" LOWER THAN IT
STOOD IN THE NURSERY.

REMOVE BURLAP, WIRE
BASKET & ROPE FROM
TOP THIRD OF ROOTBALL.

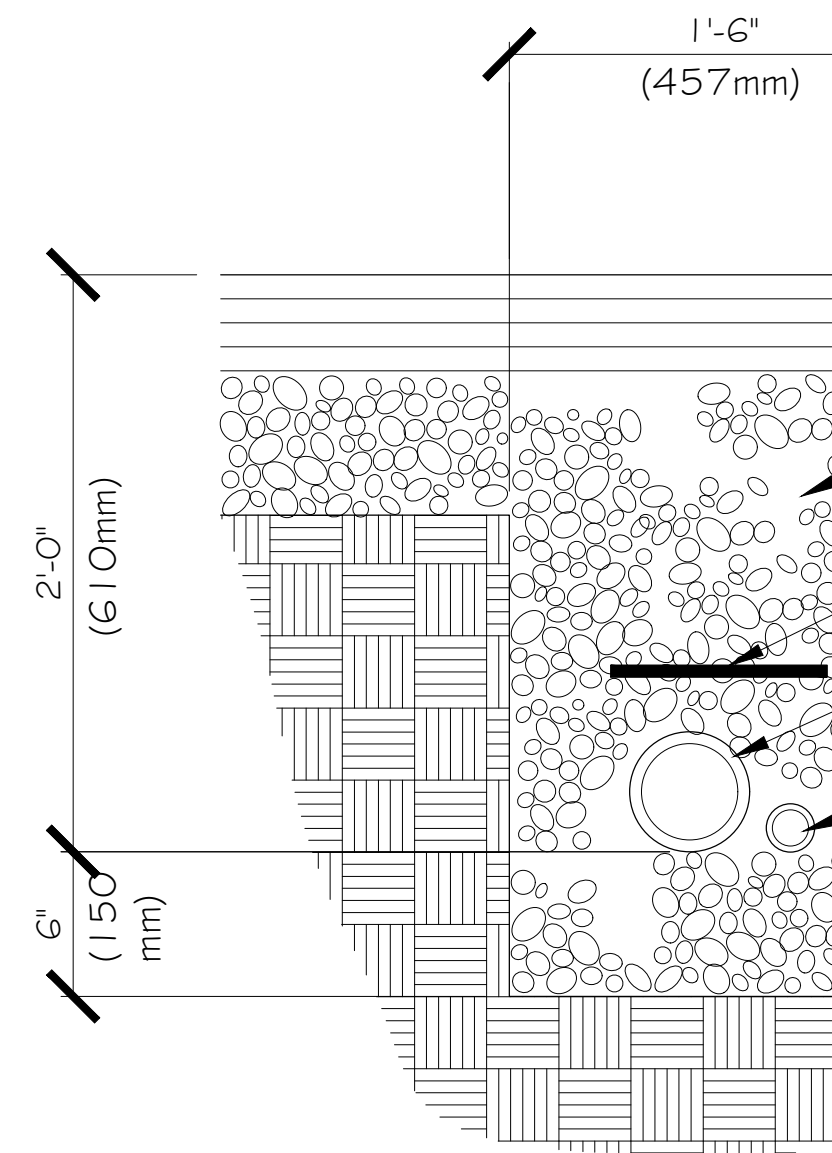
COMPACTED SUBGRADE
TO 98% S.P.D.



2 TREE PLANTING

L2 SCALE

1" = 1' - 0"



4 IRRIGATION SLEEVE

L2 SCALE

1-1/2" = 1' - 0"

BUBBLED REVISIONS
① ADDITIONAL DETAILS
PAGE

REV. DATE	NUMBER	DESCRIPTION
12-05-25	1	DDP AMENDMENTS