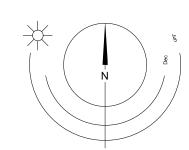


1055 Alston Street



Site Anaylsis



Drawing List

A001	Project Data
A002	Survey
A004	Street View
A007	Shadow Studies
A101	Site Plan Overall
A102	Site Plan - Circulation
A103	Site Plan - Grading
A201	Lower Commercial / Industrial - Tyee Rd
A203	Parkade - Alston Street
A204	Level 1
A205	Level 2
A206	Level 3
A207	Level 4
A208a	Roof Amenity Space
A208b	Roof Drainage
A301	Building Elevation
A302	Building Elevation
A303	Building Elevation
A304	Building Elevation
A401	Building Section - Looking North

PROJECT DIRECTORY

REGISTERED OWNER Reyes Holdings Corp 1055 Alston Street Victoria, BC V9A 3S6

PROJECT DEVELOPER Ironclad Developments Inc. Suiet 101, 57158 Symington Rd Springfield, MB R2J 4L6

ARCHITECT dHKarchitects 977 Fort Street Victoria, BC

V8V 3K3

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Cord MacLean cmaclean@seng.ca 250.590.4133

V8V 3K3

V9A 3P2

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ENVELOPE CONSULTANT Suite 102 - 814 Broughton St Victoria, BC V8W 1E4

Chris Raudoy craudoy@evokebuildings.com 250.415.8141

PROJECT DESCRIPTION

CIVIC ADDRESS: 1055 Alston Street Victoria, BC V9A 3S6

LEGAL DESCRIPTION LOT 105, DISTRICT LOT 119, ESQUIMALT DISTRICT, PLAN 3237 INCLUDED IN PLAN 4010

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:

Basement: Industrial Use (F-2 and 3) 1st Storey: Storage Garage (Group F-2 and 3) 2nd - 5th Storeys: Residential Dwelling Units (Group C)

EXISTING ZONE: M2-S, Songhees Light Industrial District

11%

Industrial and Residential

PROPOSED ZONE:

1406 m² (15,134 s.f.) SITE AREA: SITE COVERAGE:

OPEN SITE SPACE: FLOOR AREAS

SETBACKS:

TOTAL PROPOSED: 3108 m² FLOOR SPACE RATIO:

GRADE OF BUILDING: 16.35 m (GEODETIC) See Site Plan for Grade Calculation

HEIGHT OF BUILDING: 21.46 m NUMBER OF STOREYS: 6

RESIDENTIAL PARKING: 19 stalls (incl. 1 accessible, 1 accessible van, 2 visitor) COMMERCIAL PARKING: 2 stalls (incl. 1 accessible)

TOTAL CAR RACKING 12/11

BICYCLE PARKING: 65 Class 1 + 6 short term (rack)

4.15 m FRONT (West): REAR (East): 2.77 m 0 m 0.3 m 0.3 m SIDE (North): SIDE (South): COMBINED SIDE: SUITE COMPOSITION: Studio: 1 Bed:

56 SUITES TOTAL: Minimum Unit Floor Area 34 m²

Building Code Summary

Referenced Document: BCBC 2024 - Part 3

CRU (Level) 1 Residential (Levels 2 through 6) Potentially A-2, D, E, F-3 Occupancy 1120m² Building Area (m²) Building Height (storeys) Sprinklered 3.2.2.51* Construction Article (3.2.2.60 if contains Group D) 1500m²

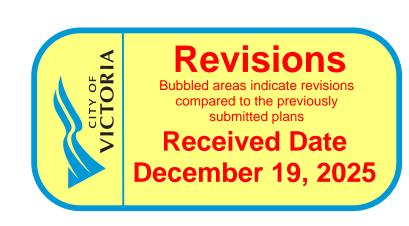
Maximum Building Area Permitted (m2) Type of Construction Permitted Combustible Combustible Floor Assembly Fire Rating (h)

Roof Fire Rating (h) Major Occupancy Classification - Group C Residential
- 1st Storey (proposed): CRU (allowable): Assembly (A-2), Business and Personal Services (D) Mercantile (E), and/or Industrial Use (F-3)
- 2nd Storey (proposed): Storage Garage (Group F-3, associated with residential use above). Open-air storage garage.
- 3rd - 6th Storeys (proposed): Residential Dwelling Units (Group C)

List of Abbreviations

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
CT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
FF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
\L	Aluminum	INSUL	Insulated	STNT	Stone Tile
3G	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	T/D	Tempered / Double Glazed
C/L	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	O/H	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	OW	Operable Window	TLGL	Translucent Glass
C/W	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOD	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
PC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
XP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
-D	Floor Drain	PTD/W	Paper Towel Dispenser / Waste	TP	Toilet Paper
EC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNF	Unfinished (for GWB means taped and filled by not sanded
FE	Finished Floor Elevation	RA	Roof Anchor		minimum ULC requirements where applicable)
-G	Finished Grade	RB	Rubber Base	UNO	Unless Noted Otherwise
3B	Grab Bar	RES	Resilient Flooring	U/S	Underside of
GBL .	Glass Block	RD	Roof Drain	VCT	Vinyl Composition Tile
GL	Glass	RD-P	Roof Drain - Planter	VI	Vision Glass
3WG	Georgian Wire Glass	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
SWB	Gypsum Wallboard	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
HC	Hollow Core	SCW	Solid Core Wood	VWC	Vinyl Wall Covering
HCW	Hollow Core Wood	SD	Soap Dispenser	WC	Water Closet
H/C	Handicap	SL	Sealer	WD	Wood
HM	Hollow Metal	SP	Spandrel Glass	WPM	Waterproof Membrane
		SPC	Solid Particleboard Core	WRC	Water Repellant Coating



Annotations Legend The following annotations are used on architectural drawings and details: BEDROOM ROOM NAME & ROOM NUMBER

DOOR NUMBER See Door Schedule W-10 WINDOW NUMBER

W1 WALL TYPE
See Assemblies Schedule

See Window Schedule

2.0 hr RATED WALL DESIGNATION 600.00 ELEVATION DATUM

CEILING HEIGHT

AREA OF DROP CEILING



▲ A901 > INTERIOR ELEVATION REFERENCE W1 C1 F1 B1 ROOM FINISHES

KEYNOTE SYMBOL

dHKarchitects

11 25-12-12

10 25-11-06

9 25-10-30

8 25-10-30

7 25-05-02

6 24-06-27

5 23-10-26

4 23-07-25

3 23-06-15

2 23-03-30

1 23-03-25

NOTE: All dimensions are shown in millimeters.

Victoria, BC

1055 Alston Street

Project Data

Alston

25-12-12 Description

10/30/25 Project Status

As indicated Project Number

SWS Checked By

IFC Draft

Issued for BP

DDP Issued

DDP Revisions

DP / Rezoning

CALUC

IFC Draft

CRK

DDP Revisions Rev2

DP / Rezoning Rev. 6

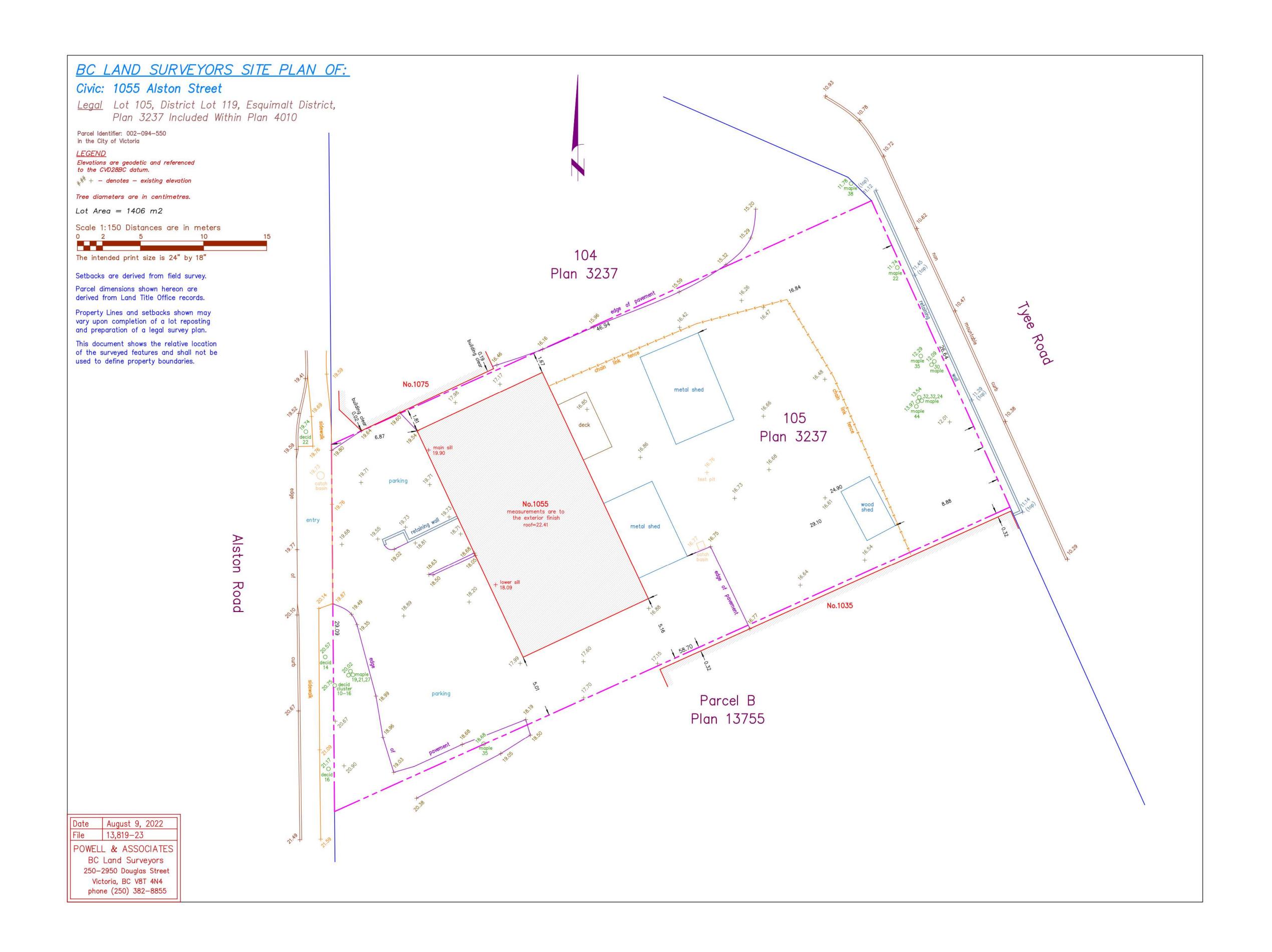
DP / Rezoning Rev. 3

DP / Rezoning Rev. 2

DP / Rezoning Rev. 1

Victoria 977 Fort Street V8V 3K3 **T** 1•250•658•3367 102-5190 Dublin Way V9T 0H2 **T** 1•250•585•5810

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			4	25-12-12		IFC Draft
			3	25-11-06		Issued for BP
			2	25-10-30		DDP Issued
			1	23-03-25		CALUC
	Rev	4		25-12-12	Description	IFC Draf
ı	Plot Date			10/15/25	Project Status	DE
ı	Drawn By			sws	Checked By	CR
	Scale				Project Number	2304
	NOTE: All	dimer	nsions	are shown in mill	meters.	

Alston

1055 Alston Street Victoria, BC Survey



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1075 Alston Street 1055 Alston Street

Alston Street View



736 Tyee Road 740 Tyee Road 790 Tyee Road

Tyee Street View

5 25-10-30 4 25-05-02 3 23-06-15 2 23-03-30 1 23-03-25 DDP Revisions DP / Rezoning Rev. 1 DP / Rezoning CALUC NOTE: All dimensions are shown in millimeters.

Alston

1055 Alston Street Victoria, BC

Street View

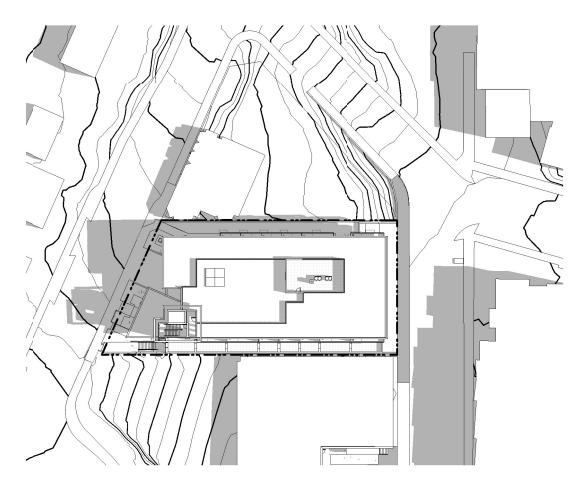


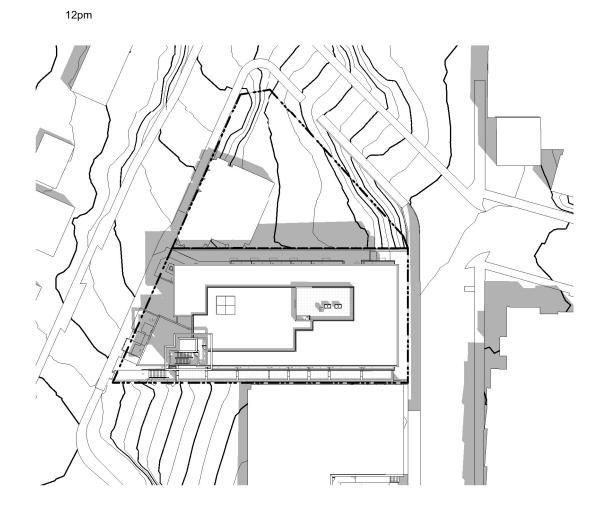
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977 Fort Street
Nanaimo V8V 3K3 **T** 1•250•658•3367 102-5190 Dublin Way V9T 0H2 T 1•250•585•5810

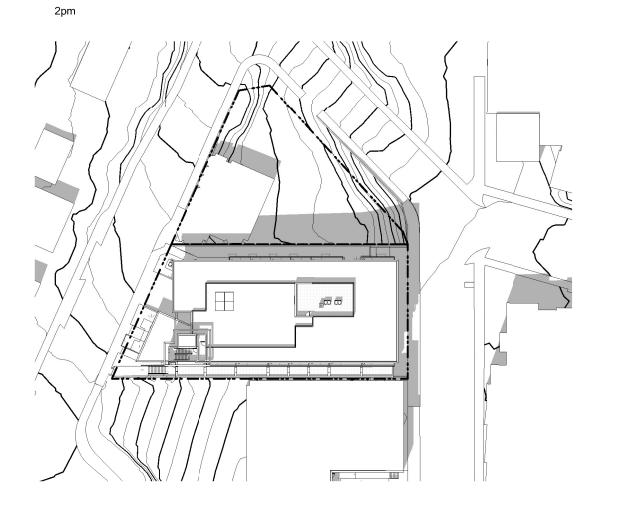
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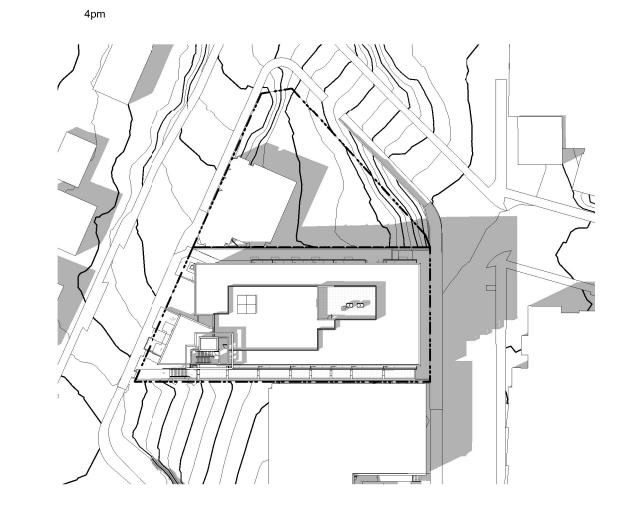
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10am





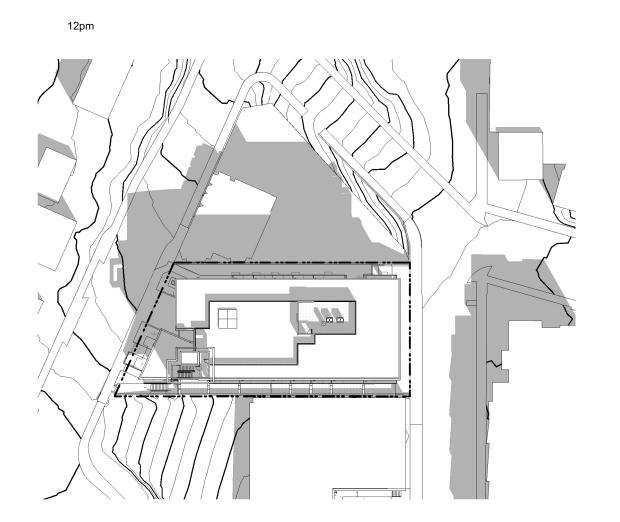


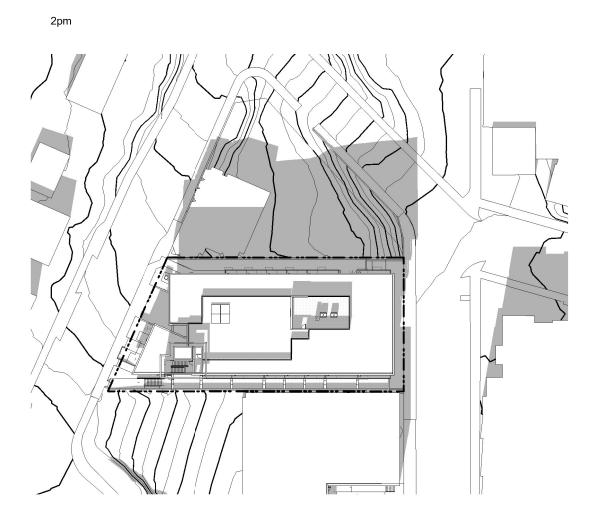


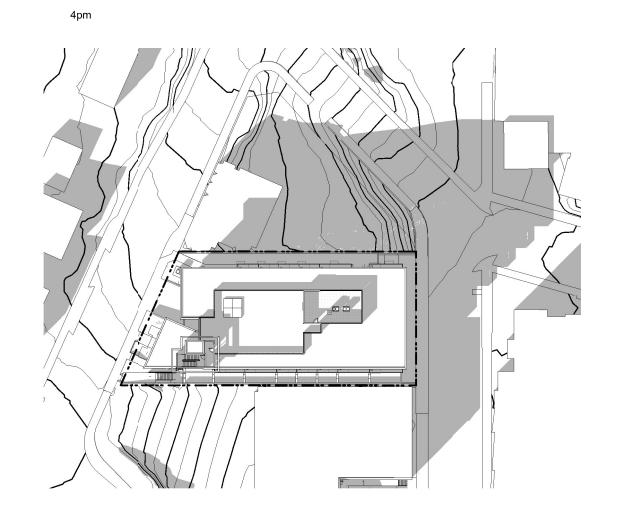
Equinox

10am



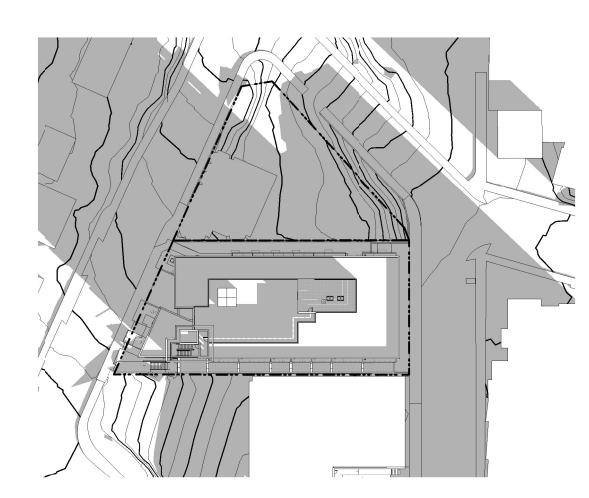


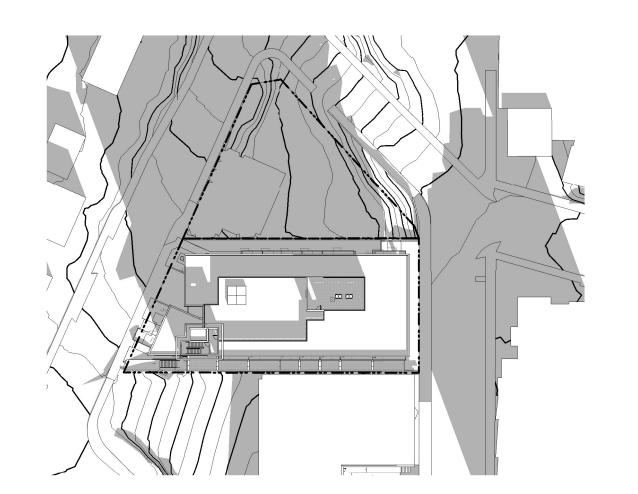


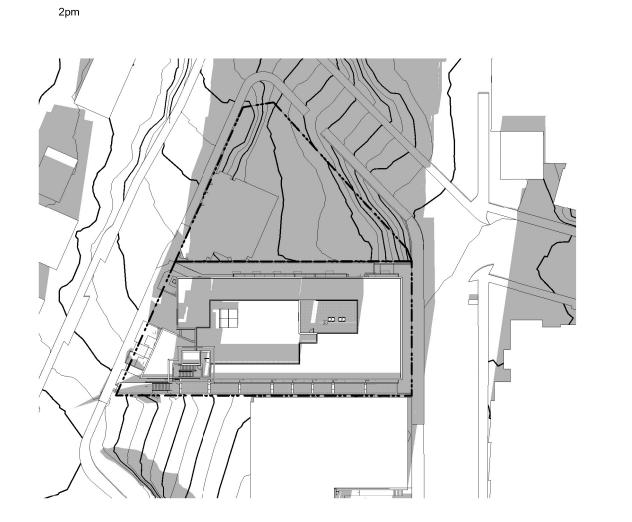


Winter Solstice

10ar









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		2	25-05-02		DDP Revisions
		1	23-03-30		DP / Rezoning
Rev	3		25-10-30	Description	DDP Revisions Rev
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Drawn By			Author	Checked By	Check
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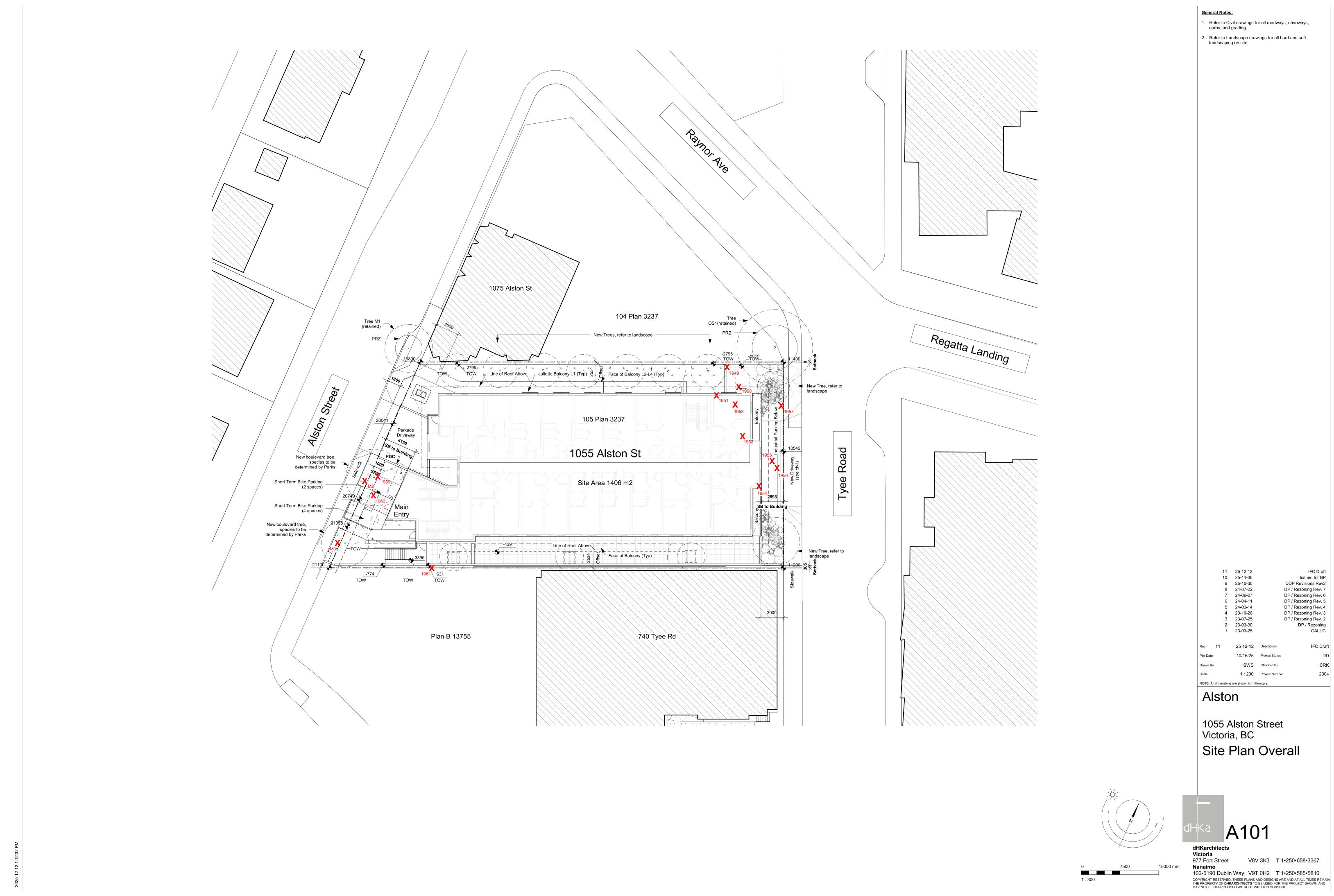
Alston

1055 Alston Street Victoria, BC Shadow Studies

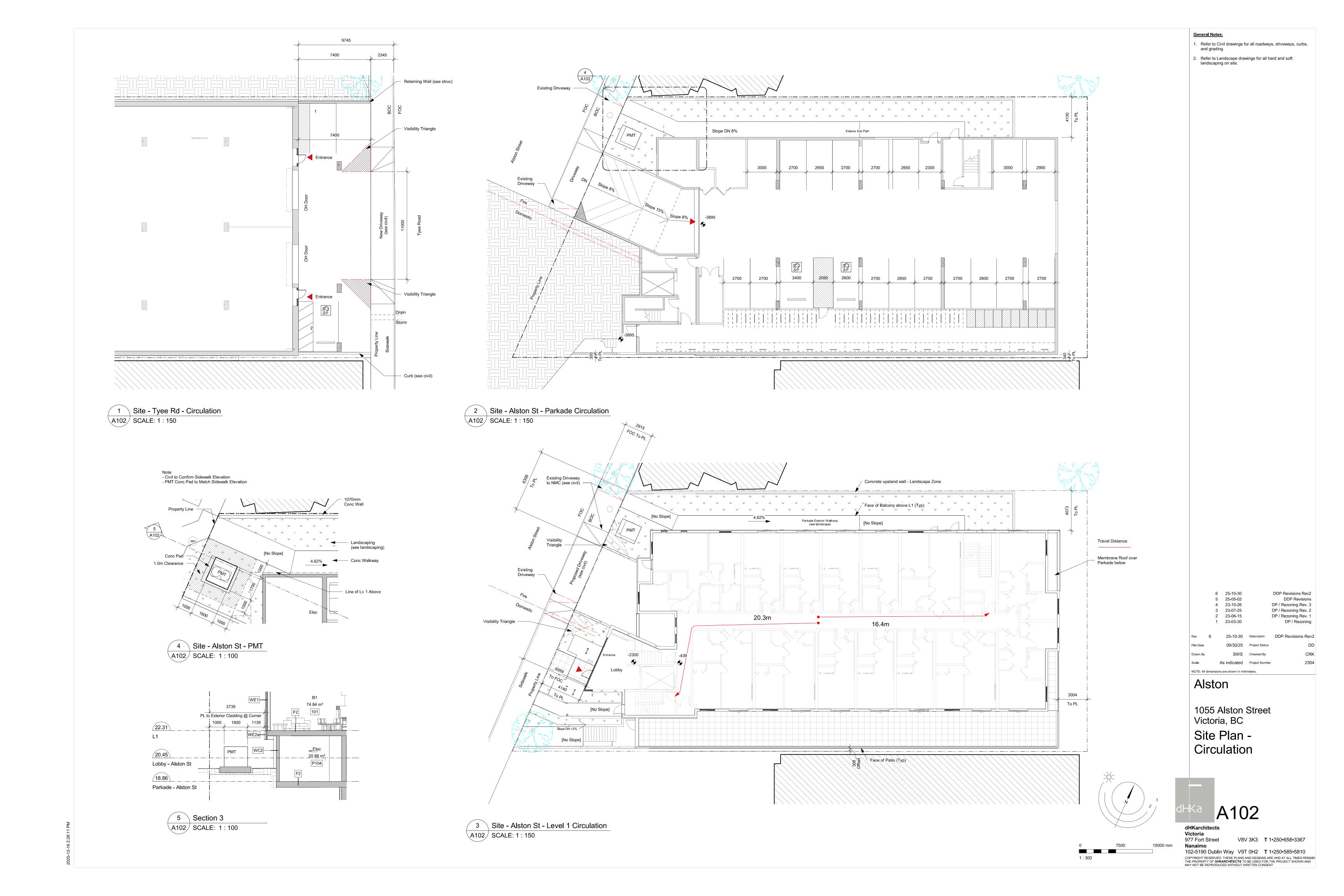


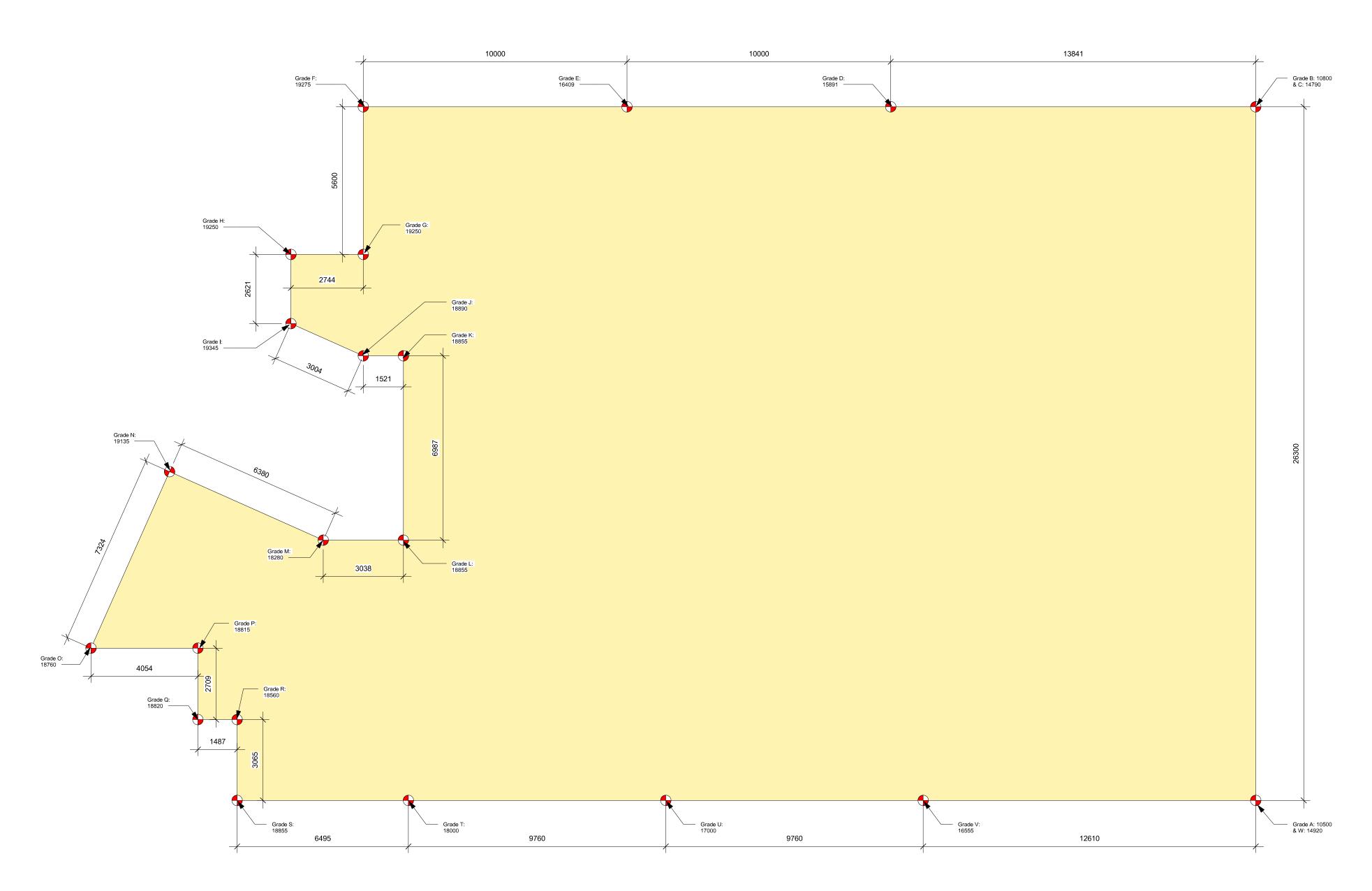
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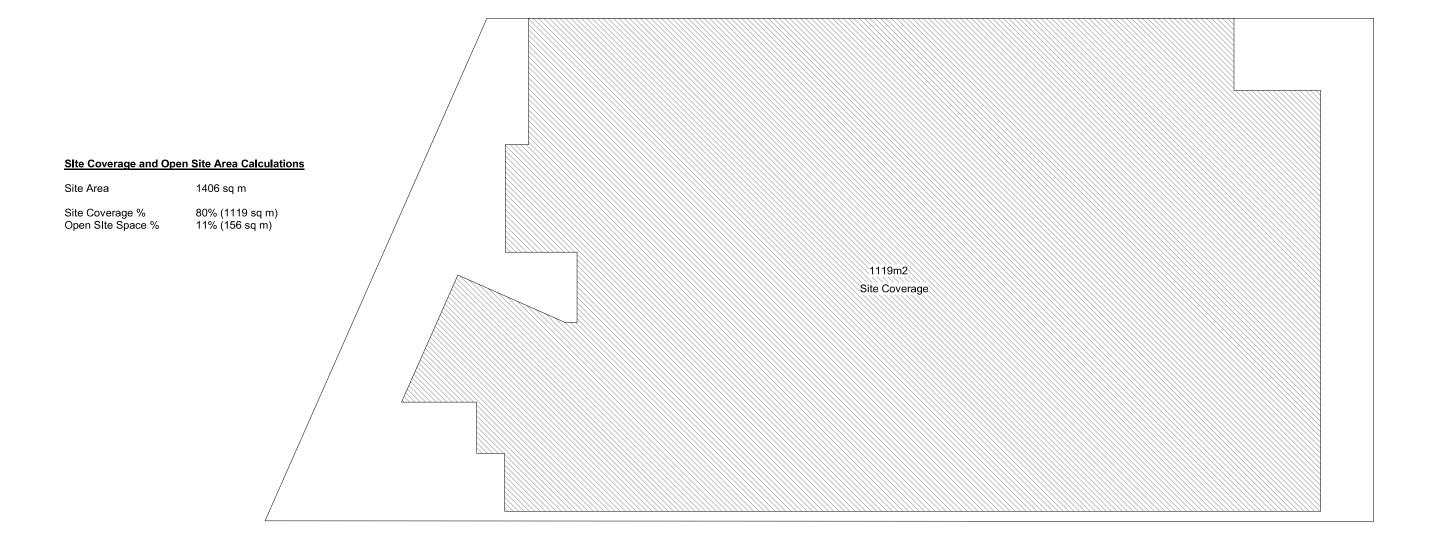


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Grade Point	Grade	
Grade A	10500	
Grade B	10800	
Grade C	14790	
Grade D	15891	
Grade E	16409	
Grade F	19275	
Grade G	19250	
Grade H	19250	
Grade I	19345	
Grade J	18890	
Grade K	18855	
Grade L	18855	
Grade M	18280	
Grade N	19135	
Grade O	18760	
Grade P	18815	
Grade Q	18820	
Grade R	18560	
Grade S	18855	
Grade T	18000	
Grade U	17000	
Grade V	16555	
Grade W	14920	

	Grade Point	Grade Point	+ /		Distance	Total
	Α	В				
Points A to B	10500	1080	0 21300	10650	26.3	280095
	С	D				
Points C to D	14790	18-0.1%,18	1 30681	15340.5	13.84	212312.52
	D	E				
Points D to E	15891		9 32300	16150	10	161500
D-:	E 40400	F 4007	E 25004	47040	10	470400
Points E to F	16409 F	1927 G	5 35684	17842	10	178420
Points F to G	19275	_	0 38525	19262.5	5.6	107870
OIIIIO T IO O	G 13270	H 1525	00020	10202.0	0.0	107070
Points G to H	19250	100	0 38500	19250	2.74	52745
	Н	1				
Points H to I	19250	1934	5 38595	19297.5	2.62	50559.45
	1	J				
Points I to J	19345	1889	0 38235	19117.5	3	57352.5
	J	K				
Points J to K	18890	1885	5 37745	18872.5	1.52	28686.2
	K	L				
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	L	М				
Points L to M	18855		0 37135	18567.5	3.03	56259.525
	M	N		10707.5		440050.05
Points M to N	18280 N	O 1913	5 37415	18707.5	6.38	119353.85
Points N to O	19135	-	0 37895	18947.5	7.32	138695.7
- OII ILS IN IO O	0	P 1070	0 37093	10947.5	1.32	130093.7
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	Т	U				
Points U to V	18000		0 35000	17500	9.76	170800
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Points V to W	V 16555		0 31475	15737.5	12.61	198449.875
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Average Grade: 16.35m

1 Grading A103 SCALE: 1:100





DP / Rezoning Rev. 2 DP / Rezoning As indicated Project Number NOTE: All dimensions are shown in millimeters.

4 25-10-30 3 23-10-26 2 23-07-25

1 23-03-30

DDP Issued DP / Rezoning Rev. 3

DDP Issued

Alston

General Notes:

Refer to Civil drawings for all roadways, driveways, curbs, and grading.

Refer to Landscape drawings for all hard and soft landscaping on site.

1055 Alston Street Victoria, BC Site Plan - Grading

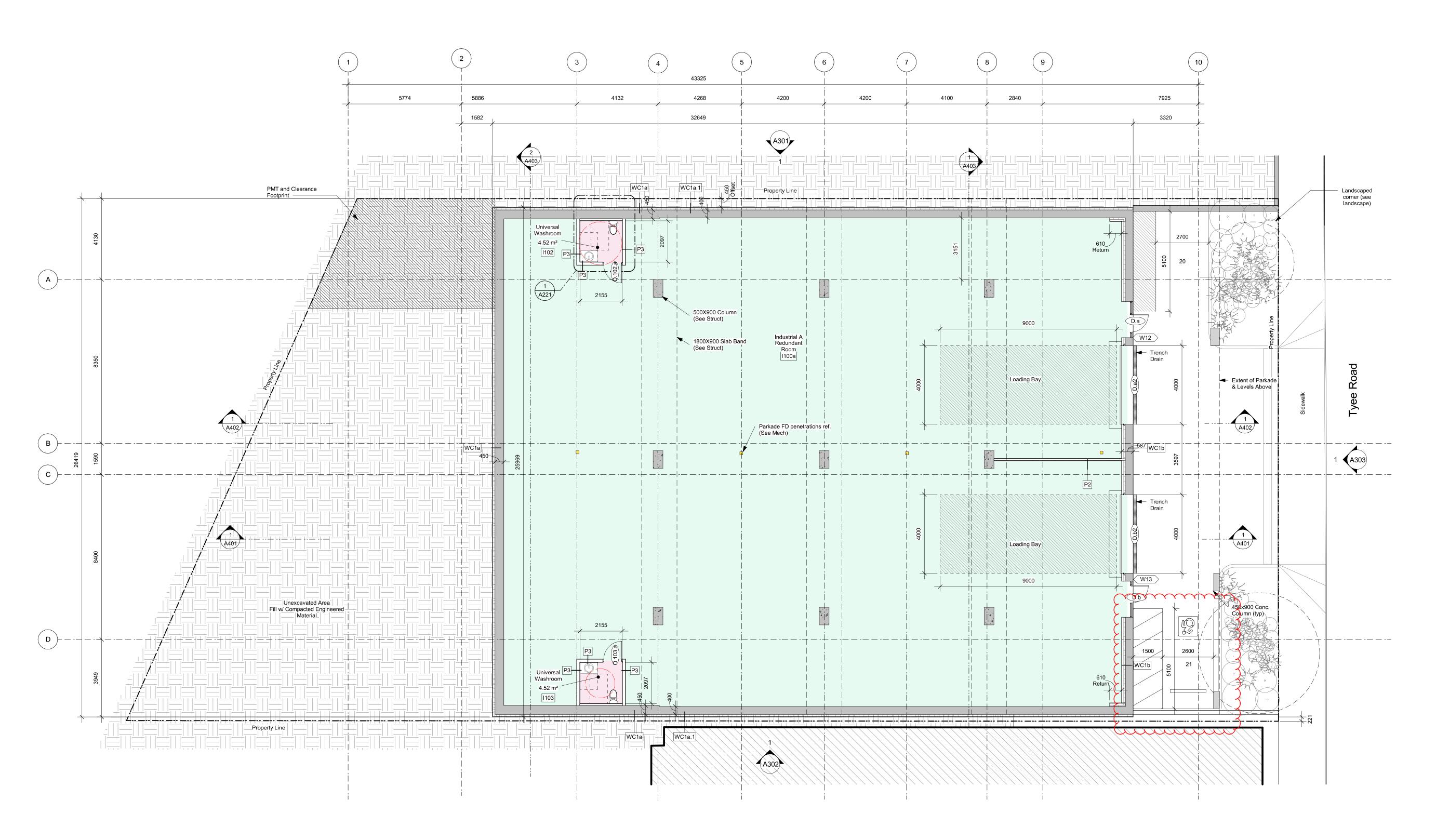


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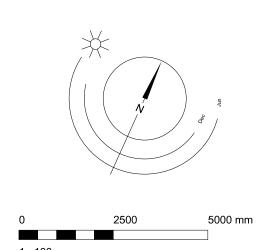
V8V 3K3

T 1•250•658•3367 Nanaimo 102-5190 Dublin Way V9T 0H2 **T** 1•250•585•5810 COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF **DHKARCHITECTS** TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

Site Coverage
A103 SCALE: 1:200



1 Industrial - Tyee Rd SCALE: 1:100



10 25-12-12 9 25-11-06 Issued for BP 8 25-10-30 7 25-05-02 DDP Revisions Rev2 6 24-07-22 DP / Rezoning Rev. 7 5 24-06-27 DP / Rezoning Rev. 6 4 23-10-26 DP / Rezoning Rev. 3 DP / Rezoning Rev. 2 DP / Rezoning CALUC 3 23-07-25 2 23-03-30 1 23-03-25 NOTE: All dimensions are shown in millimeters.

Fire Separation Legend

Alston

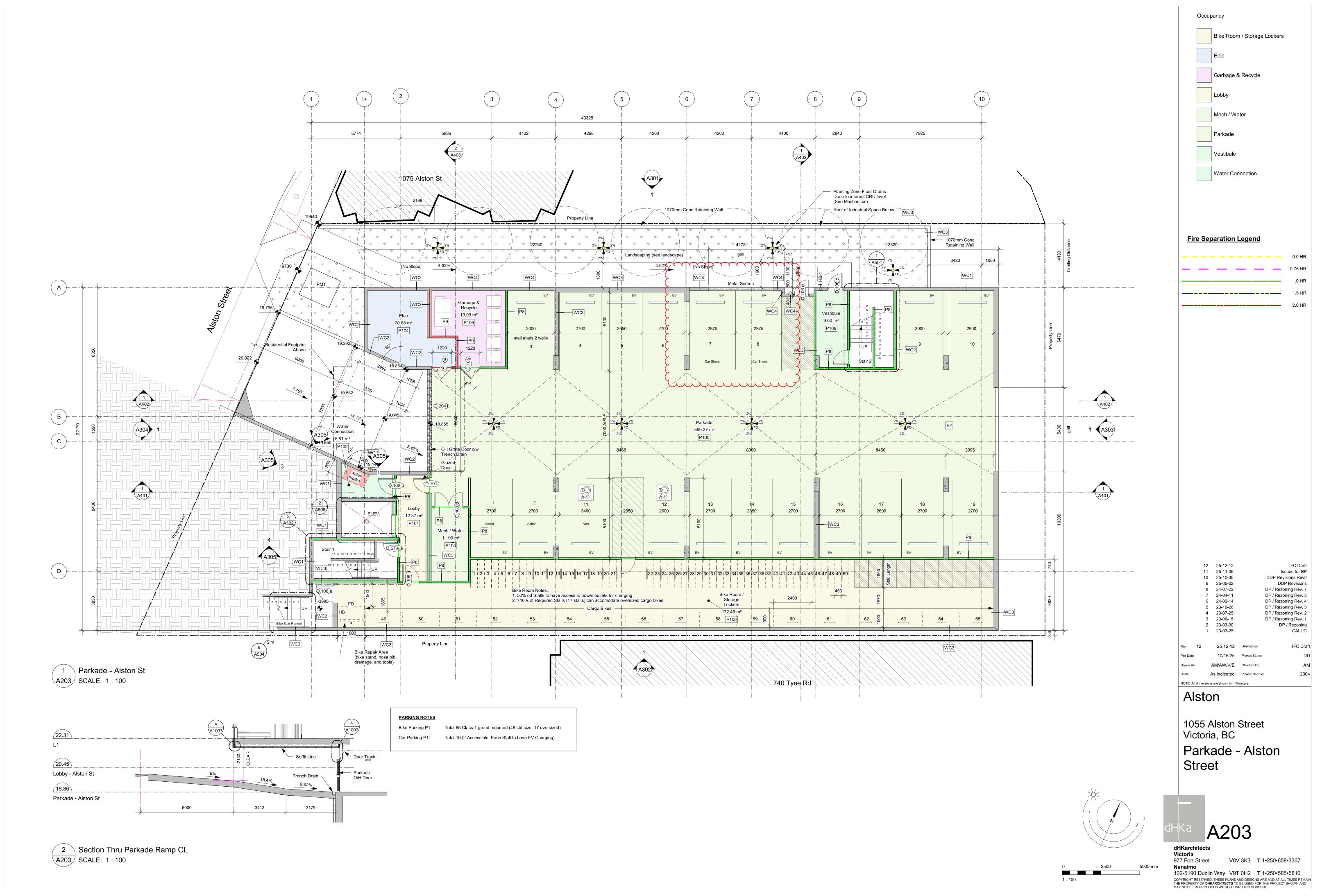
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Lower Commercial / Industrial - Tyee Rd

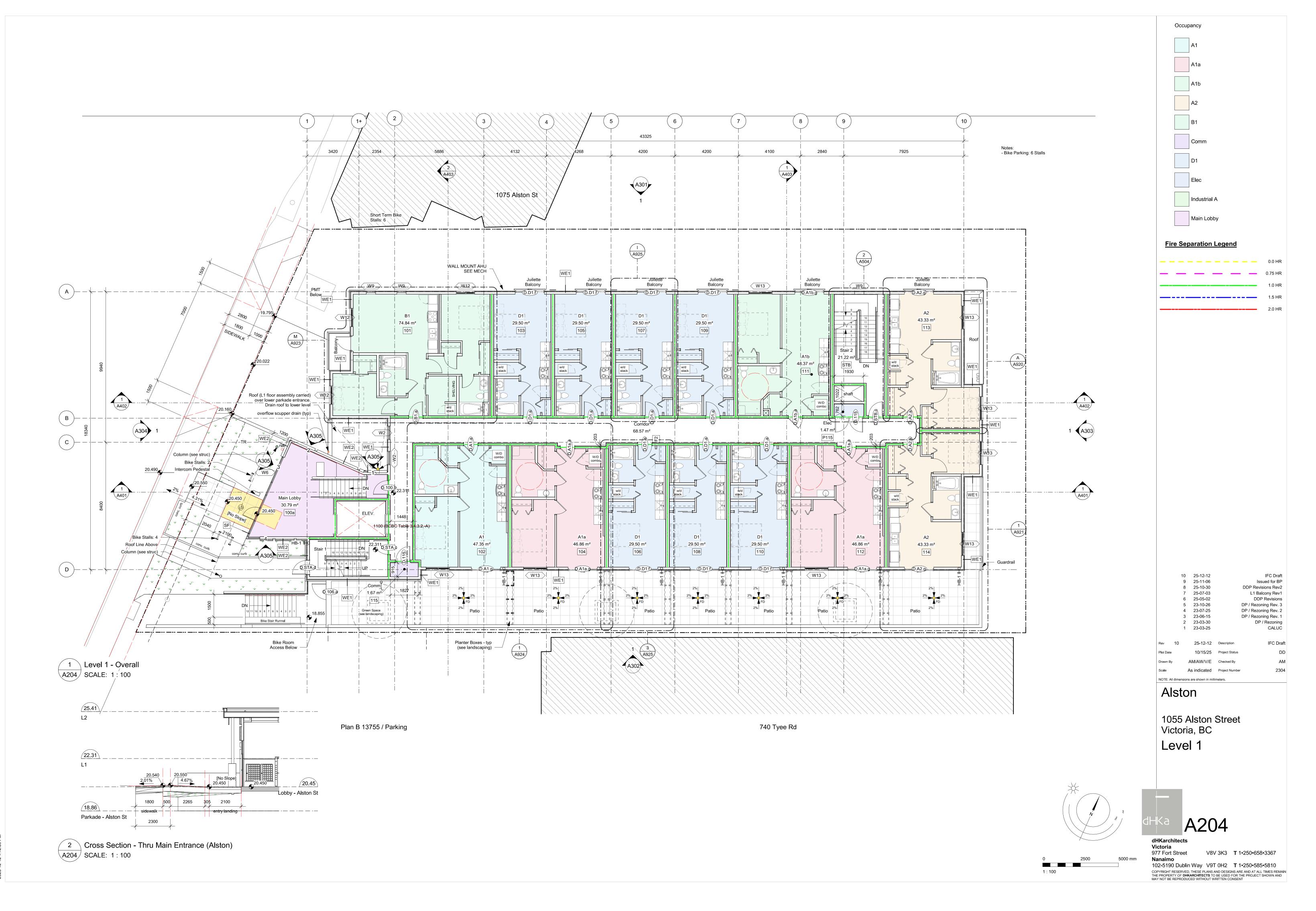


dHKarchitects Victoria 977 Fort Street

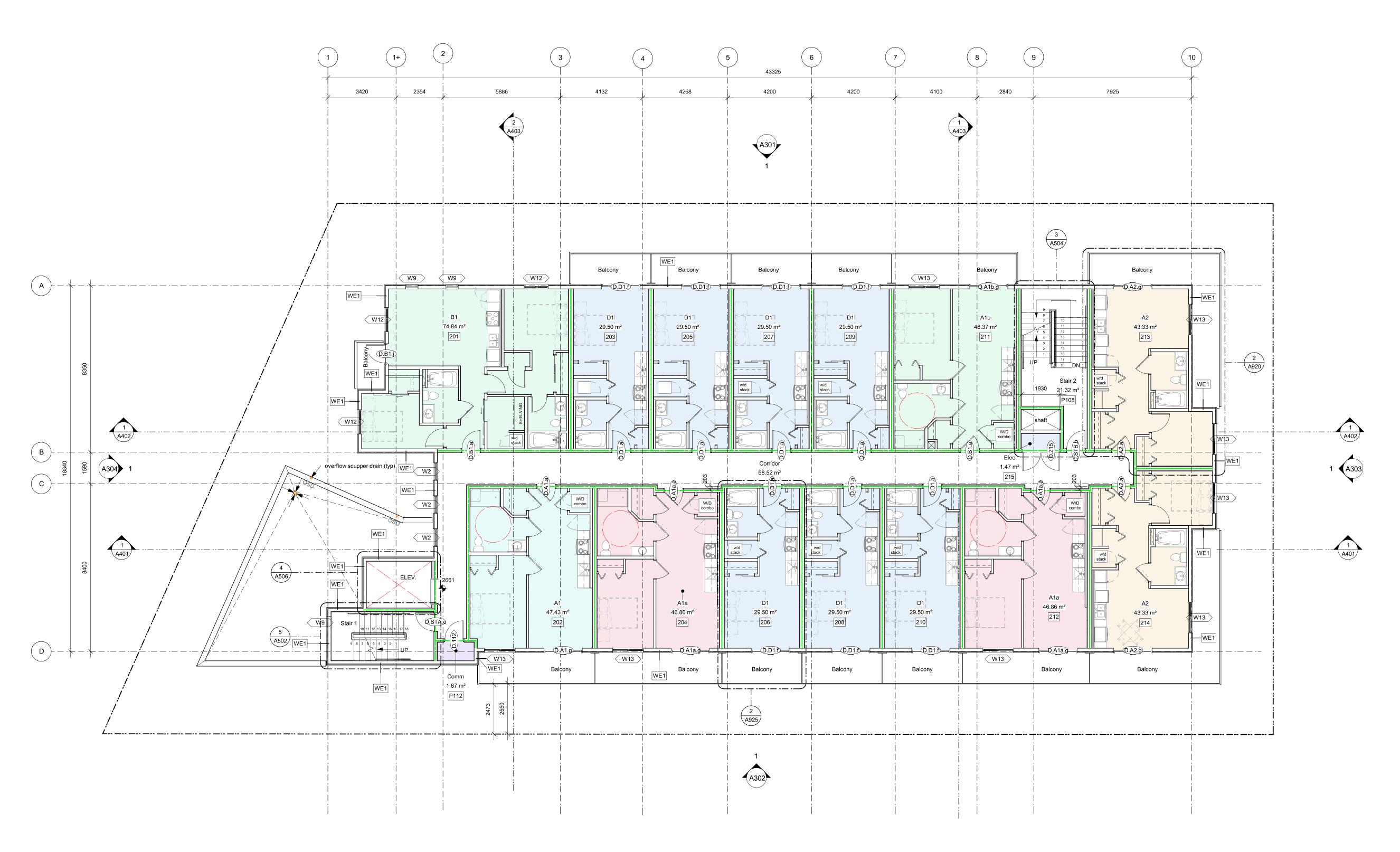
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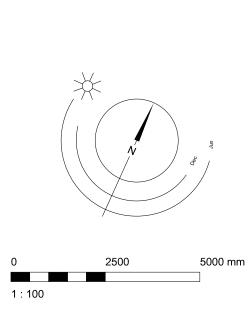
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12-12 1-12-39 PM



1 Level 2 - Overall SCALE: 1:100



4 25-10-30 DDP Revisions Rev2 3 25-05-02 DDP Revisions 2 23-03-30 DP / Rezoning 1 23-03-25 CALUC IFC Draft NOTE: All dimensions are shown in millimeters. Alston

6 25-12-12 5 25-11-06

IFC Draft Issued for BP

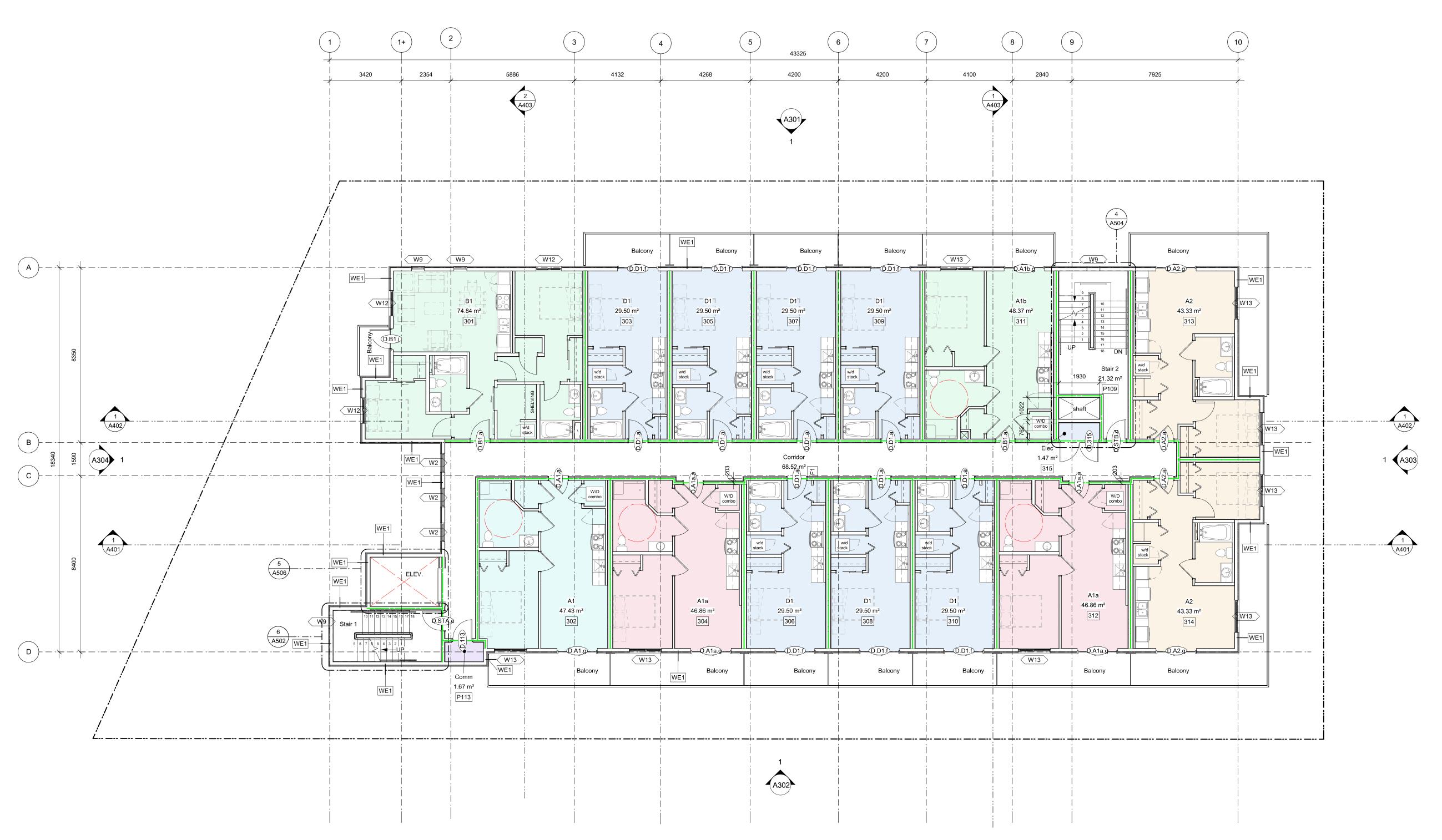
1055 Alston Street Victoria, BC Level 2

Occupancy

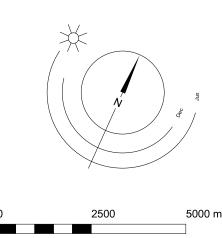
Fire Separation Legend



Victoria V8V 3K3 **T** 1•250•658•3367 977 Fort Street 102-5190 Dublin Way V9T 0H2 **T** 1•250•585•5810 COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF **DHKARCHITECTS** TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



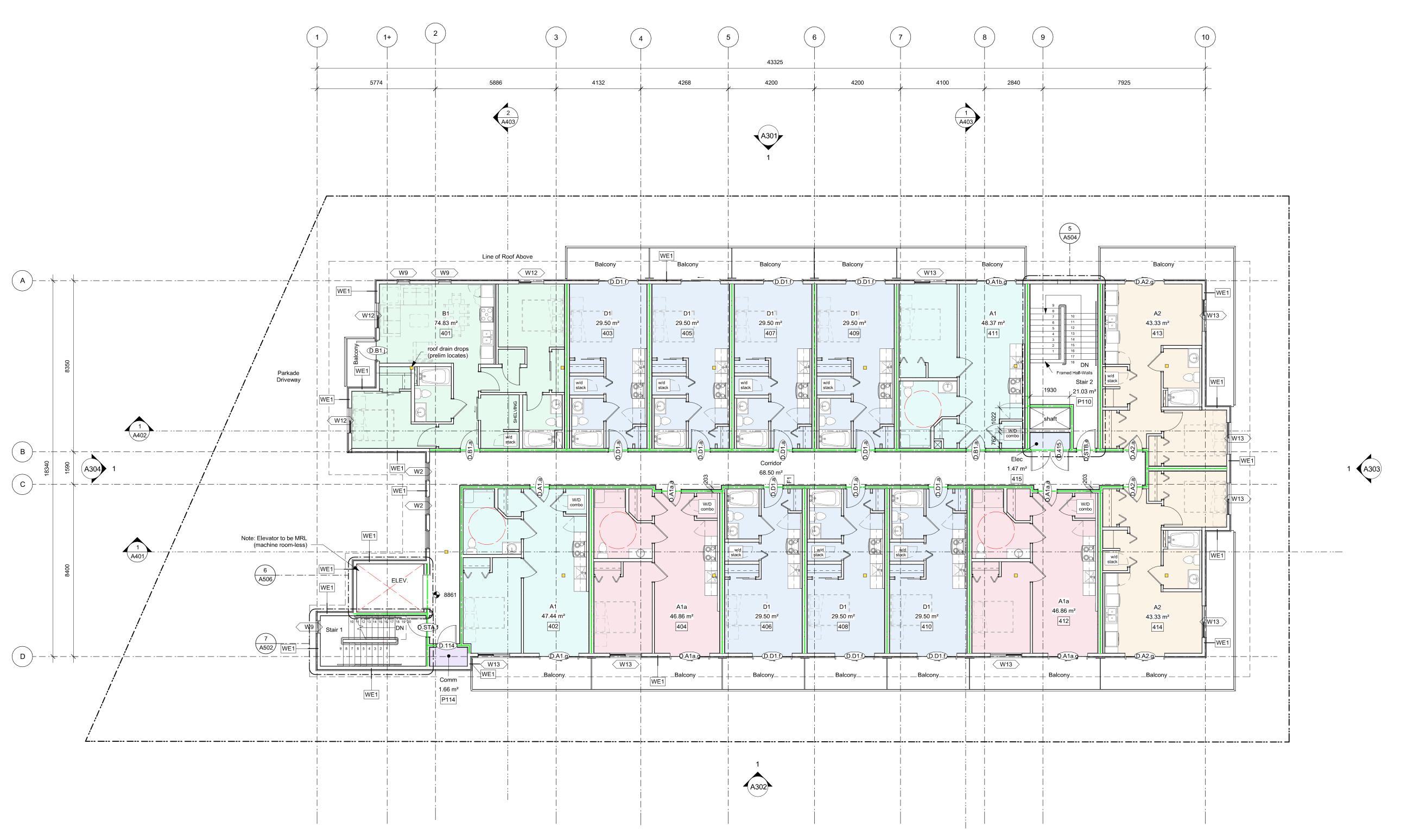
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Occupancy

Fire Separation Legend



1 Level 4 - Overall SCALE: 1:100



5000 mm

Occupancy

Fire Separation Legend

6 25-12-12 5 25-11-06

4 25-10-30

3 25-05-02

2 23-03-30

1 23-03-25

25-12-12 Description

102-5190 Dublin Way V9T 0H2 **T** 1•250•585•5810 COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF **DHKARCHITECTS** TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

IFC Draft Issued for BP

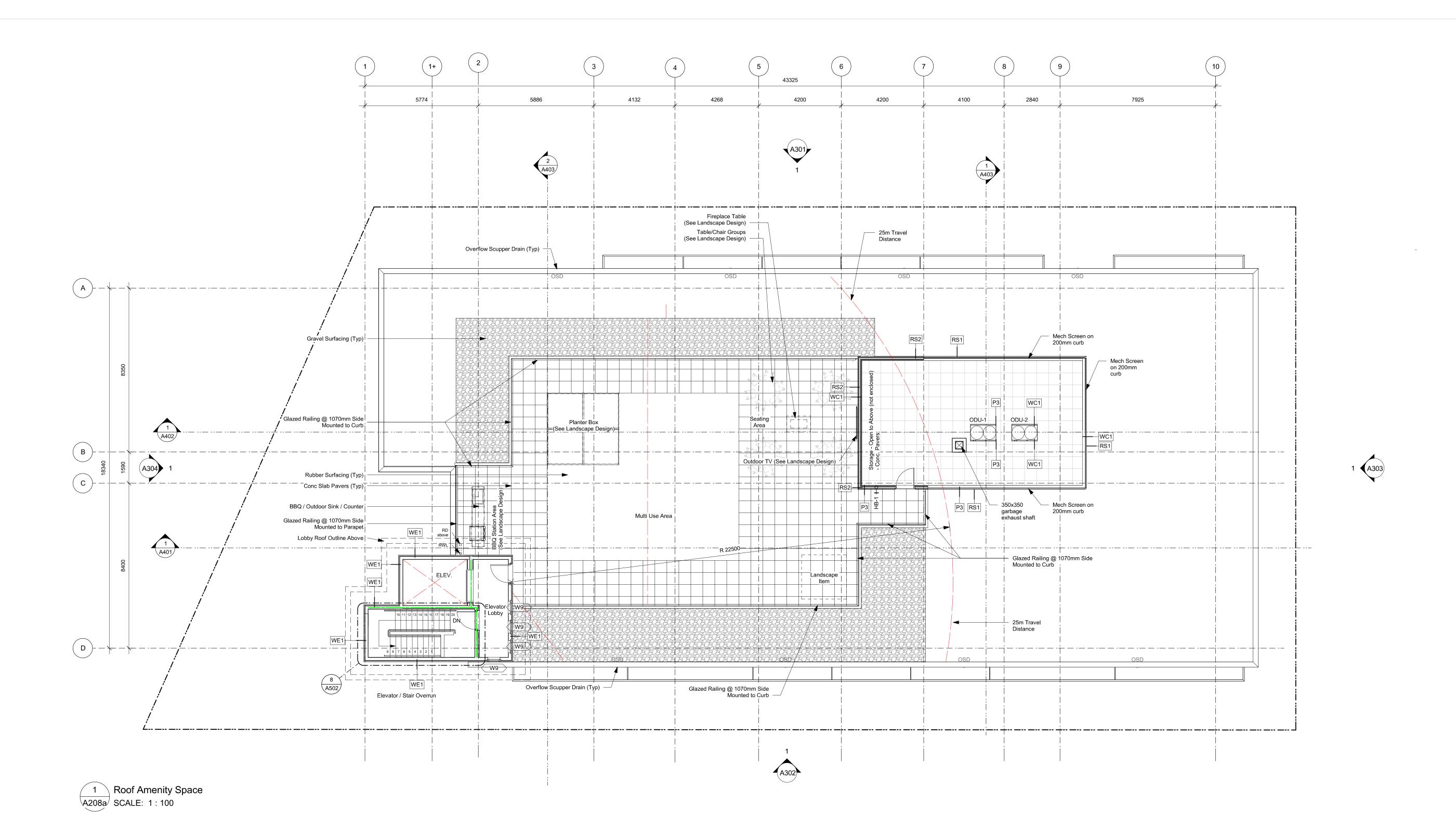
CALUC

IFC Draft

DDP Revisions Rev2

DDP Revisions

DP / Rezoning



Fire Separation Legend

0.01 HR
0.75 HR
1.0 HR
1.5 HR

5 25-12-12 IFC Draft
4 25-11-06 Issued for BP
3 25-10-30 DDP Revisions Rev2
2 25-05-02 DDP Revisions
1 23-06-15 DP / Rezoning Rev. 1

Rev 5 25-12-12 Description II

Plot Date 10/15/25 Project Status

Drawn By AM/AW/V/E Checked By

Scale As indicated Project Number

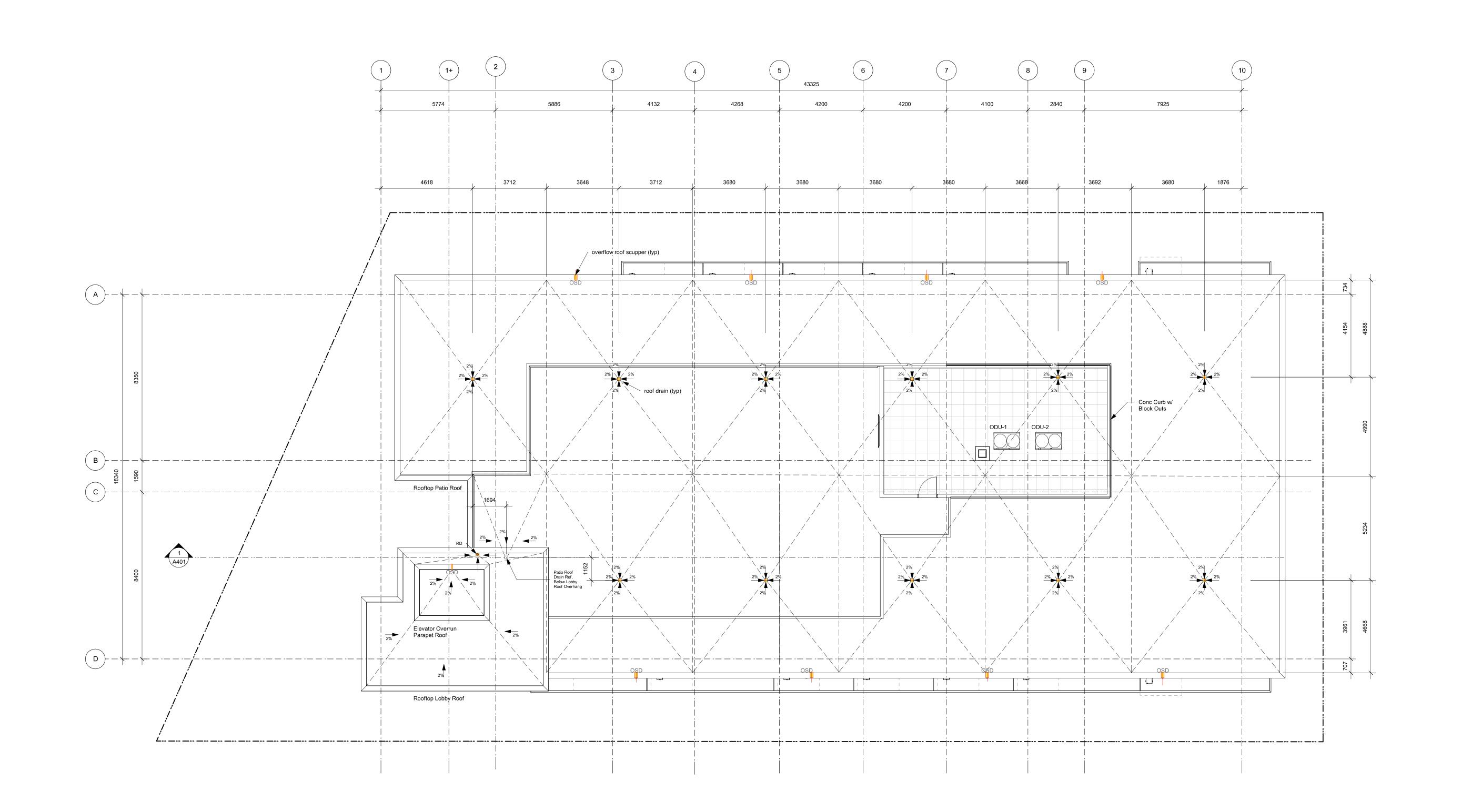
NOTE: All dimensions are shown in millimeters.

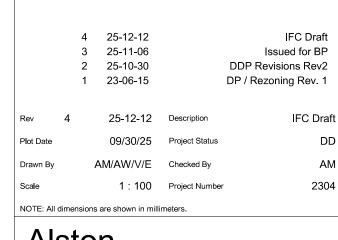
Alston

1055 Alston Street Victoria, BC Roof Amenity Space



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Victoria
977 Fort Street V8V 3K3 T 1•250•658•3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1•250•585•5810
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Alston

1055 Alston Street Victoria, BC Roof Drainage



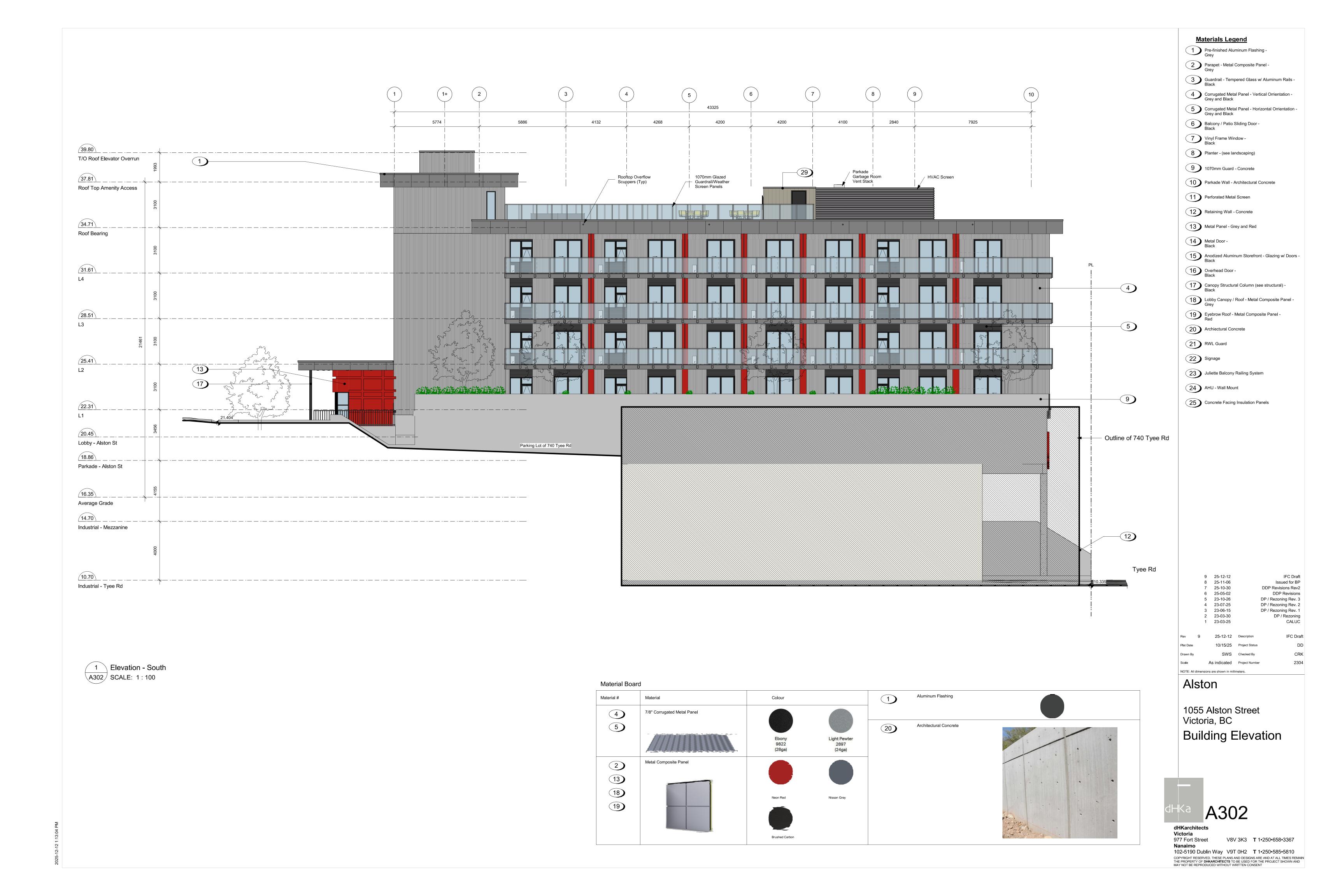
dHKarchitects Victoria 977 Fort Street

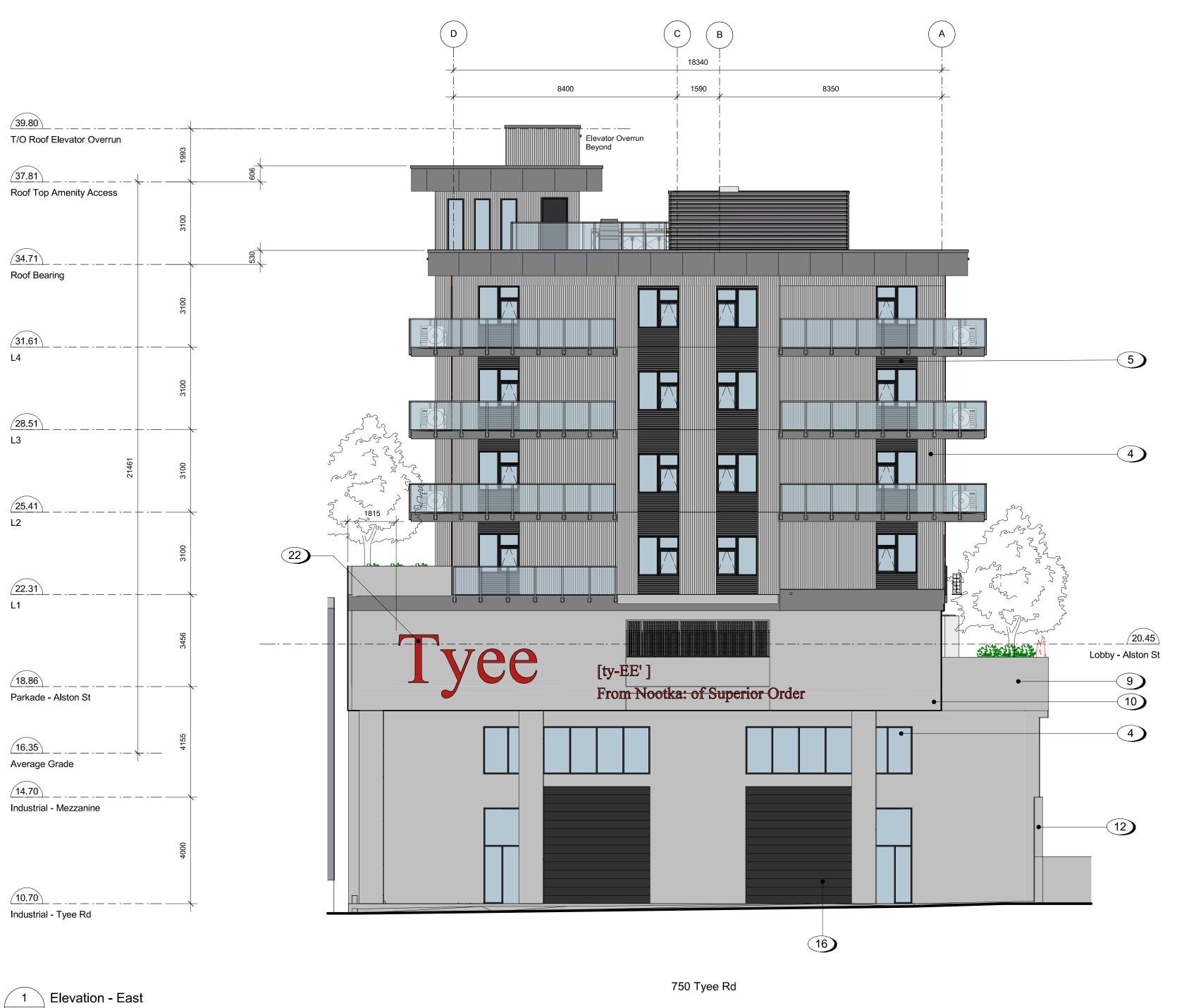
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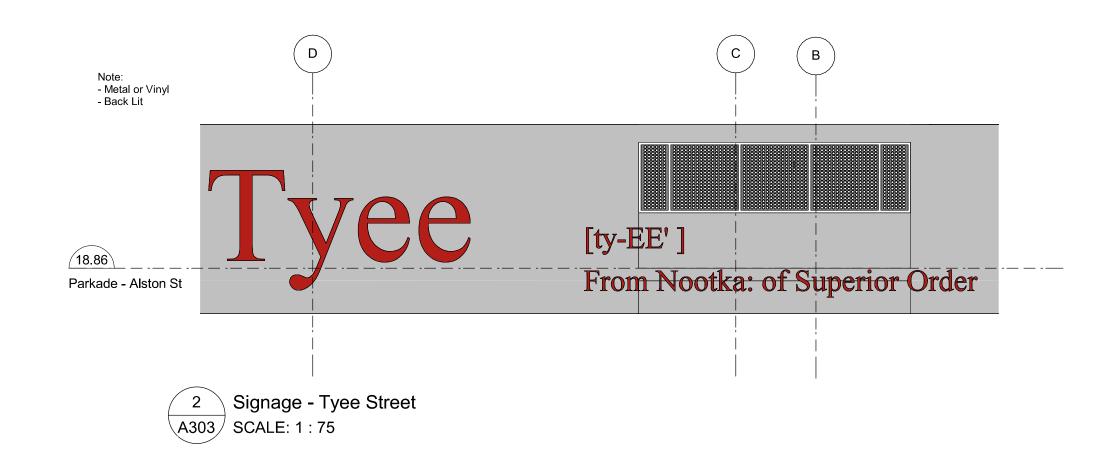
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1 Elevation - East SCALE: 1:100



Material Boa						_
Material #	Material	Colour			Aluminum Flashing	
4	7/8" Corrugated Metal Panel					
5				20)	Architectural Concrete	
		Ebony	Light Pewter			
		9822 (28ga)	2897 (24ga)			
	Metal Composite Panel					
2						
13						
18)						
_		Neon Red	Nissan Grey			
19)						
		Brushed Carbon				

<u>Ma</u>	aterials Legend
1	Pre-finished Aluminum Flashing - Grey
2	Parapet - Metal Composite Panel - Grey
3	Guardrail - Tempered Glass w/ Aluminum Rai Black
4	Corrugated Metal Panel - Vertical Orrientation Grey and Black
5	Corrugated Metal Panel - Horizontal Orrientati Grey and Black
6	Balcony / Patio Sliding Door - Black
7	Vinyl Frame Window - Black
8	Planter - (see landscaping)
9	1070mm Guard - Concrete
10	Parkade Wall - Architectural Concrete
11)	Perforated Metal Screen
12)	Retaining Wall - Concrete
13)	Metal Panel - Grey and Red
14)	Metal Door - Black
15)	Anodized Aluminum Storefront - Glazing w/ Di Black
16)	Overhead Door - Black
17)	Canopy Structural Column (see structural) -

Lobby Canopy / Roof - Metal Composite Panel - Grey

Eyebrow Roof - Metal Composite Panel - Red

20 Archiectural Concrete

23 Juliette Balcony Railing System

25 Concrete Facing Insulation Panels

21 RWL Guard

24 AHU - Wall Mount

22 Signage

		9	25-12-12		IFC Draft	
		8	25-11-06		Issued for BP	
		7	25-10-30		DDP Revisions Rev2	
		6	25-05-02		DDP Revisions	
		5	23-10-26		DP / Rezoning Rev. 3	
		4	23-07-25		DP / Rezoning Rev. 2	
		3	23-06-15		DP / Rezoning Rev. 1	
		2	23-03-30		DP / Rezoning	
		1	23-03-25		CALUC	
Rev	9		25-12-12	Description	IFC Draft	
Plot Date			10/15/25	Project Status	DD	
Drawn By			sws	Checked By	CRK	
Scale		Α	s indicated	Project Number	2304	

Alston

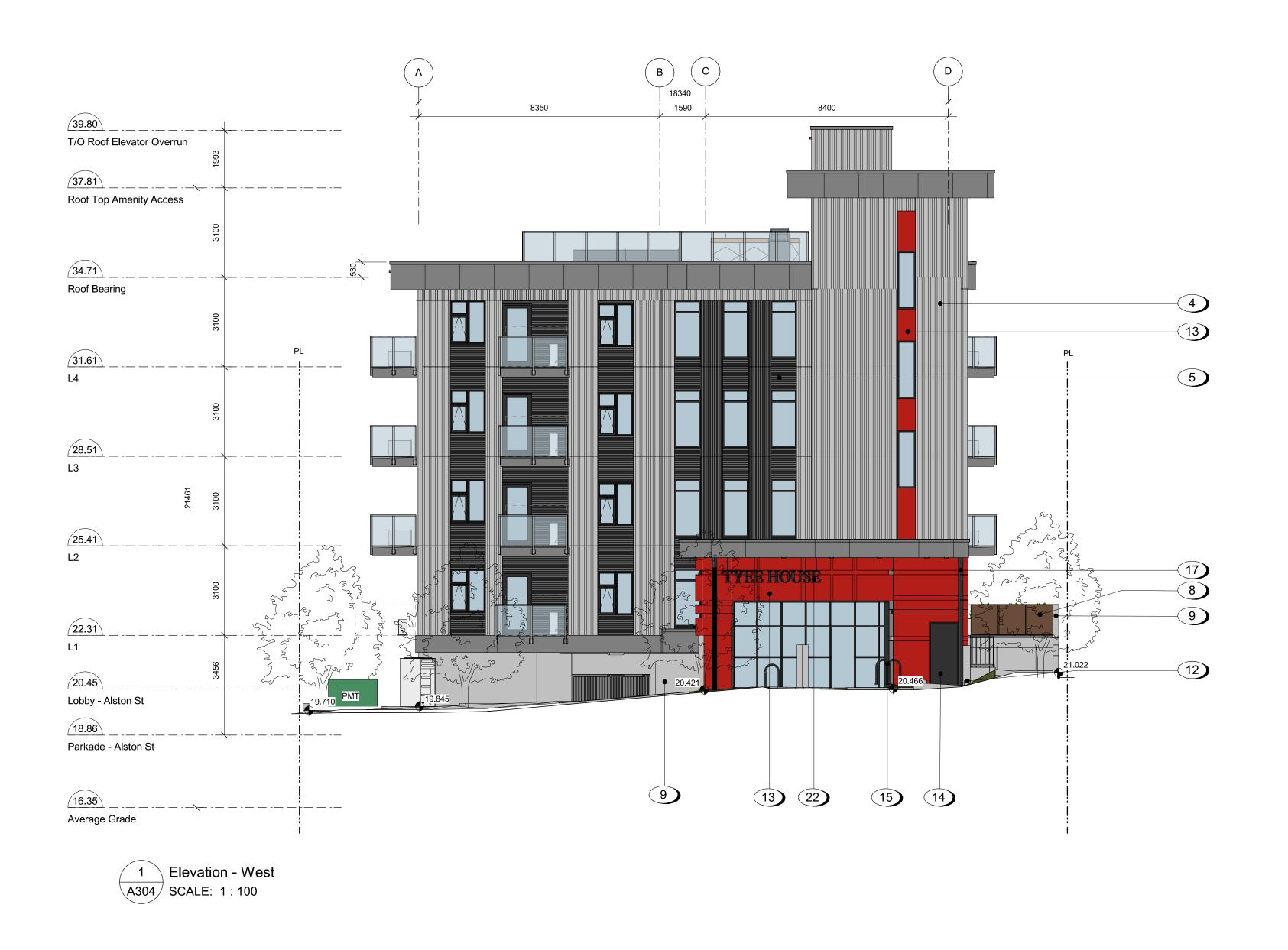
NOTE: All dimensions are shown in millimeters.

1055 Alston Street Victoria, BC **Building Elevation**

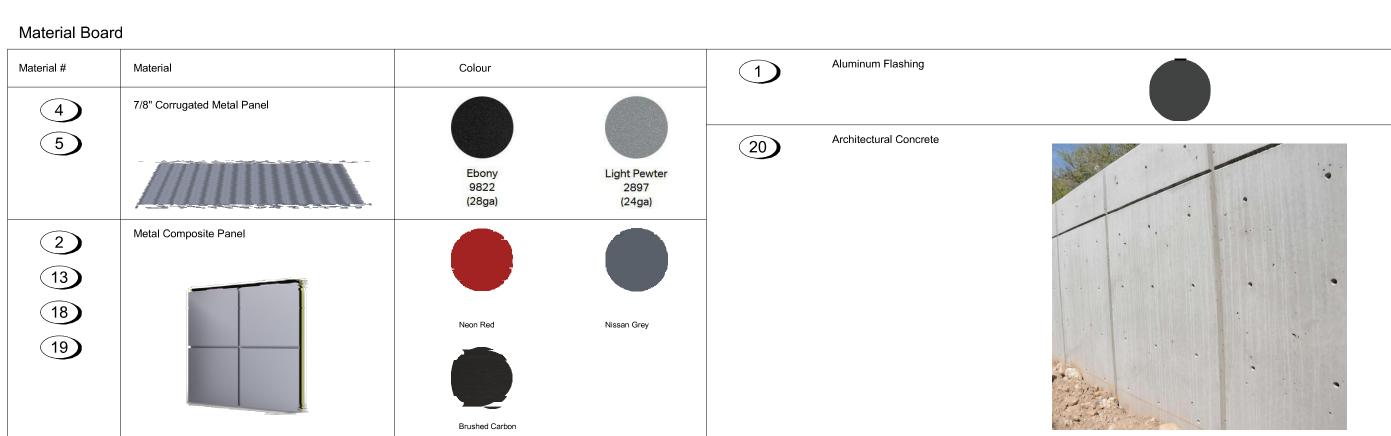


A303

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A304 SCALE: 1 : 75

Materials Legend

- Pre-finished Aluminum Flashing Grey
- Parapet Metal Composite Panel Grey
- Guardrail Tempered Glass w/ Aluminum Rails Black
- Corrugated Metal Panel Vertical Orrientation Grey and Black
- Corrugated Metal Panel Horizontal Orrientation Grey and Black
- Balcony / Patio Sliding Door -Black
- 7 Vinyl Frame Window Black
- 8 Planter (see landscaping)
- 9 1070mm Guard Concrete
- Parkade Wall Architectural Concrete
- 11 Perforated Metal Screen
- Retaining Wall Concrete
- Metal Panel Grey and Red
- Metal Door -Black
- Anodized Aluminum Storefront Glazing w/ Doors Black
- Overhead Door -Black
- Canopy Structural Column (see structural) Black
- Lobby Canopy / Roof Metal Composite Panel Grey
- Eyebrow Roof Metal Composite Panel Red
- 20 Archiectural Concrete
- 21 RWL Guard
- 22 Signage
- 23 Juliette Balcony Railing System
- AHU Wall Mount
- 25 Concrete Facing Insulation Panels

		7	25-11-06		Issued for BP
		6	25-10-30		DDP Revisions Rev2
		5	25-05-02		DDP Revisions
		4	23-07-25		DP / Rezoning Rev. 2
		3	23-06-15		DP / Rezoning Rev. 1
		2	23-03-30		DP / Rezoning
		1	23-03-25		CALUC
Rev	8		25-12-12	Description	IFC Draft
Plot Date			10/15/25	Project Status	DD
Drawn By			sws	Checked By	CRK
Scale			As indicated	Project Number	2304

IFC Draft

Alston

1055 Alston Street Victoria, BC

NOTE: All dimensions are shown in millimeters.

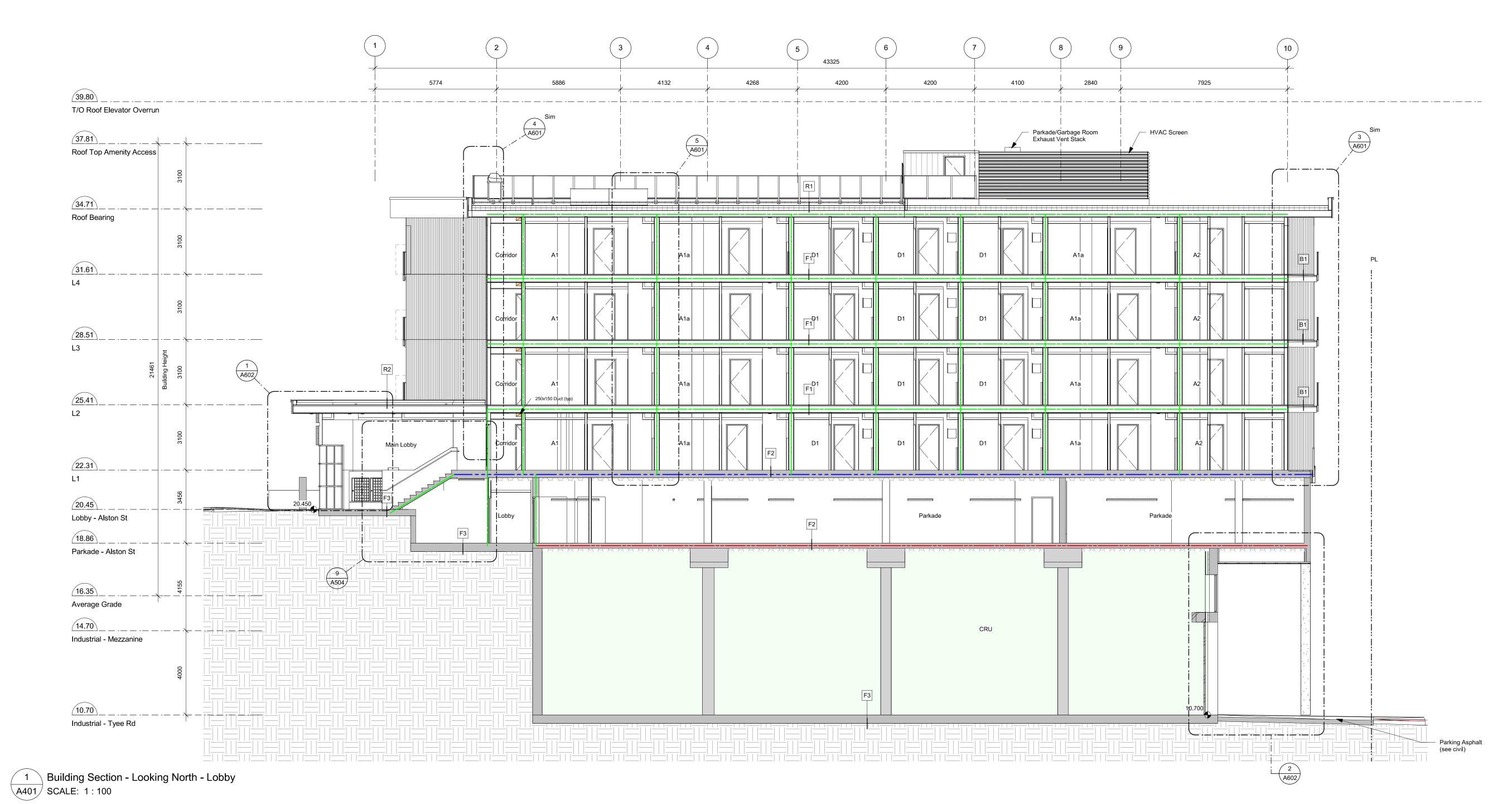
8 25-12-12

Building Elevation



A304

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IFC Draft Issued for BP 7 25-12-12 6 25-11-06 5 25-10-30 DDP Revisions Rev2 4 25-05-02 DDP Revisions 3 23-10-26 DP / Rezoning Rev. 3 DP / Rezoning Rev. 2 DP / Rezoning Rev. 1 2 23-07-25 1 23-06-15 NOTE: All dimensions are shown in millimeters. Alston 1055 Alston Street Victoria, BC

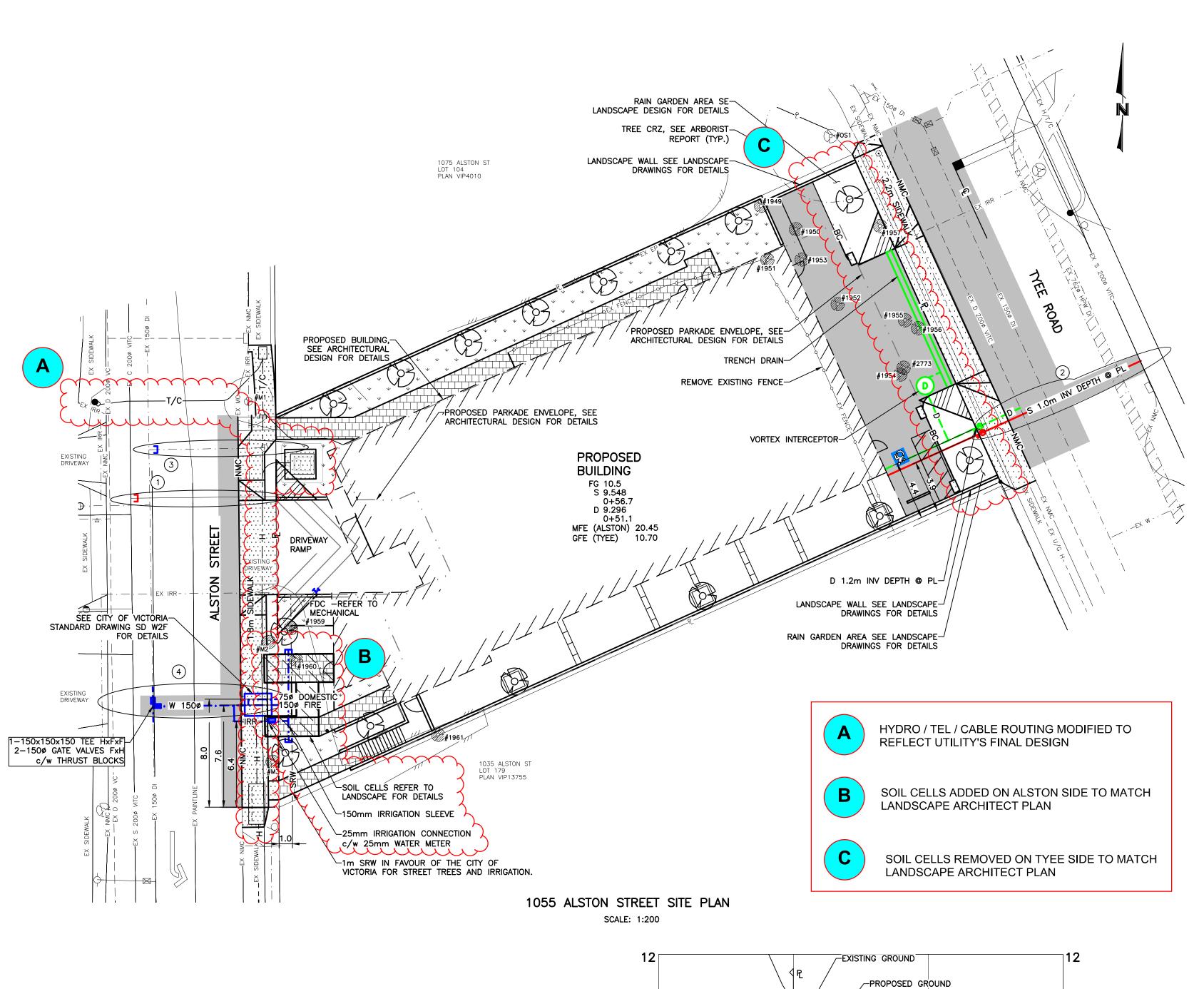
Fire Separation Legend

Building Section -Looking North



dHKarchitects Victoria 977 Fort Street

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-DRAIN & SEWER INSPECTION CHAMBERS -CENTER LENGTH OF PIPE OVER WATER CROSSING AND WRAP SEWER JOINTS WITH CANUS JOINT WRAP 3m - EITHER SIDE OF WATER MAIN. PLACE 30mil POLY OVER WATER MAIN, 300mm BEYOND OUTER EDGE OF PIPE. 2.0% -RIGID STYROFOAM BETWEEN WATER Z/S 150ø DI MAIN AND SEWER SERVICE D 150ø PVC LONG RADII BEND -EXISTING 2000 VITC SEWER MAIN. EXISTING 2000 VITC DRAIN MAIN,-CONFIRMED LOCATION IN FIELD CONFIRMED LOCATION IN FIELD EXISTING 1500 DI WATER MAIN, CONFIRMED LOCATION IN FIELD WITH THE PRESENCE OF THE CIVIL ENGINEER EXISTING 7620 HIGH PRESSURE WATER-MAIN, CONFIRMED LOCATION IN FIELD WITH THE PRESENCE OF THE CIVIL ENGINEER 4+90 5+10 5+20 5+00 STORM AND DRAIN PROFILE H 1:200 V 1:40

GENERAL NOTES

• ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, LATEST EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
• WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
• THE APPLICANT SHALL CONTACT THE CITY'S REPRESENTATIVE WITH THE ENGINEERING DEPARTMENT, LAND DEVELOPMENT SECTION (BMOLNAR@VICTORIA.CA) TO ARRANGE FOR A PRE—CONSTRUCTION MEETING FOR THE FRONTAGE WORKS. ONE WEEK (5 WORKING DAYS) ADVANCE NOTICE FOR THE MEETING IS REQUIRED.

• THE APPLICANT SHALL CONTACT THE TRANSPORTATION DEPARTMENT (ENG@VICTORIA.CA) TO DISCUSS THE PROPOSED WORKS AND STREET OCCUPANCY PERMIT REQUIREMENTS, ONE WEEK (5 WORKING DAYS) IN ADVANCE OF STARTING CONSTRUCTION.
• OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF

(5 WORKING DAYS) IN ADVANCE OF STARTING CONSTRUCTION.

• OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.

• OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON—CONFORMING STRUCTURES.

• EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.

• BED ALL PIPE USING CLASS 'B' BEDDING.
• WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
• DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE

DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG ALSTON STREET & TYEE ROAD DURING

COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED

AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

• PRIOR TO COMMENCEMENT OF EXCAVATION, SOIL RELOCATION OR DE-WATERING OF THE CONSTRUCTION SITE, CONTRACTORS SHALL BE REGISTERED UNER BYLAW 14-071 SCHEDULE G: CODE OF PRACTICE FOR CONSTRUCTION AND DEVELOPMENT ACTIVITIES. CONTACT ADAM STEELE, STORMWATER MANAGEMENT SPECIALIST, AT (250) 361-0318 OR ASTEELE@VICTORIA.CA TO

**REGISTER.

**THE APPLICANT SHALL IMPLEMENT SEDIMENTATION CONTROL TO ENSURE NO SILT LADEN WATER OR DEBRIS FROM EXCAVATION WORKS ENTER THE ADJACENT CATCH BASIN(S) AND CITY'S DRAINAGE SYSTEM. ALL DISCHARGES FROM THE CONSTRUCTION SITES TO THE CITY STORM SYSTEM MUST BE REGISTERED AND COMPLIANT WITH THE CITY'S CODES OF PRACTICE PROGRAM. THE PROPERTY MUST BE REGISTERED (SCHEDULE F) AND MUST ENSURE THAT ANY DISCHARGE IS COMPLIANT (SCHEDULES D AND H). THIS INCLUDES WORKS IN PLACE WITH INSPECTIONS AND MAINTENANCE, SAMPLING LOCATION, AND SAMPLE COLLECTION AND ANALYSIS.

**NO PROHIBITED WASTE (SCHEDULE D) CAN DRAIN TO THE STORM SYSTEM. IF THIS IS NOT POSSIBLE THEN THE APPLICANT MUST APPLY TO THE CRD TO DISCHARGE TO THE SANITARY SYSTEM.

RECORD DRAWINGS, AS PER THE CITY'S BYLAW NO.12-042 SHALL BE SUBMITTED TO THE

SEWER AND DRAIL

CONSTRUCTION.

• SEWER AND DRAIN SERVICE CONNECTIONS TO BE 1500 PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 2000 PVC DR35 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
• SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
• SEWER AND DRAIN MANHOLES SHALL BE 10500 BARRELS UNLESS OTHERWISE SPECIFIED.

THE CITY OF VICTORIA SHALL CAP AND REMOVE EXISTING SANITARY CONNECTION AT THE DEVELOPER'S EXPENSE.

 THE CITY OF VICTORIA SHALL INSTALL THE SEWER AND DRAIN CONNECTIONS TO THE PROPERTY LINE OF LOT 1055 AT THE DEVELOPER'S EXPENSE.

CITY'S ENGINEERING DEPARTMENT REPRESENTATIVE UPON COMPLETION.

CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR
TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED
DRAWINGS.
 VIDEO INSPECT ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND

WATER

• WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.

PROVIDE 1.0m MINIMUM COVER.

• ALL PIPE FITTINGS 250mm OR GREATER SHALL BE MECHANICAL JOINTS COMPLETE WITH RESTRAINTS, RATED FOR 235 PSI FOR 250mm DIAMETER AND SMALLER PIPE, AND 350 PSI FOR 300mm DIAMETER AND LARGER PIPE. RESTRAIN PIPE AT FIRST JOINT.

CONTRACTOR TO TEST, CHLORINATE, FLUSH AND CONNECT THE WATER MAINS UNDER THE DIRECTION OF THE ENGINEER. CHLORINATION AND DISINFECTION TO AWWA C651.
 CONTRACTOR TO ENSURE CHLORINE SOLUTIONS ARE NEUTRALIZED IN ACCORDANCE WITH THE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES AND OCEANS CANADA REGULATIONS PRIOR TO DISCHARGING TO ANY DRAINAGE COURSE.

3 • CITY OF VICTORIA FORCES SHALL CAP THE EXISTING SERVICE AND REMOVE THE WATER METER

• OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON—CONFORMING STRUCTURES.
• EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS
• EXPOSE ALL EXISTING CONSTRUCTION ON ANY SUCH SERVICES. FINSURE FINGINFER HAS CONFIRMED

• SERVICE C/W 500 WATER METER AS PER CITY OF VICTORIA STD DWG SD W2F AT DEVELOPER'S

• SERVICE C/W 500 WATER METER AS PER CITY OF VICTORIA STD DWG SD W2F AT DEVELOPER'S

IHA WATER SUPPLY NOTES

THE IHA WATER CONSTRUCTION PERMIT IS CONDITIONAL UPON THE CRD RECEIVING A RIGHT OF WAY TO ITS SATISFACTION ENCOMPASSING AT LEAST THE PROPOSED ON—SITE WATER MAIN, SERVICES AND WATER METERS.
THE IHA WATER CONSTRUCTION PERMIT IS CONDITIONAL UPON THE INSTALLATION OF INDIVIDUAL RESIDENTIAL WATER METER BOXES C/W DUAL—CHECK VALVES IN THE METER SETTERS, FOR CROSS—CONNECTION CONTROL.
THE CONTRACTOR MUST IDENTIFY AND LOCATE FOR THE "AS—CONSTRUCTED DRAWINGS" THE

IRRIGATION SYSTEM CONNECTIONS AND ANY BURIED TEST POINTS FOUND ALONG THE PROPOSED WATER MAIN.

• IRRIGATION CONNECTIONS MUST BE SUPPLIED WITH AN ACCESSIBLE TESTABLE BACKFLOW ASSEMBLY AND SHUTOFF VALVES FOR CROSS—CONNECTION CONTROL.

ROAD

• CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
• CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.

<u>PARKS</u>

OBTAIN A PARKS PERMIT FROM THE CITY OF VICTORIA PARKS DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION.
PROTECT ALL TREES EXCEPT THOSE SHALL BE REMOVED FROM DAMAGE DURING CONSTRUCTION.

• HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
• OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.

ANY CONSTRUCTION.

• THE PROJECT ARBORIST SHALL BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING AT APPROPRIATE LOCATIONS.

• THE ARBORIST SHALL DIRECT THE REMOVAL OF TREES WITHIN THE SEWER AND DRAIN

EASEMENTS AND RIGHT OF WAYS AND TO PRUNE ROOTS ENCOUNTERED DURING TRENCHING TO ENSURE THE PRESERVATION OF THE OAK TREES.

THE ARBORIST SHALL DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ONSITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.

ENVIRONMENTAL PROTECTION AND EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PRIOR TO, AND THROUGHOUT CONSTRUCTION ONSITE AND OFFSITE. THESE MEASURES MAY INCLUDE, BUT NOT NECESSARILY LIMITED TO TREE AND VEGETATION PROTECTION FENCING, SILT FENCING, SEDIMENT CONTROL PONDS AND INTERCEPTOR SWALES, CATCH BASIN SOCKS AND WADDLES, ETC.

PROVIDE TEMPORARY EROSION AND SEDIMENT CONTROL PLAN FOR REVIEW BY THE DISTRICT

PRIOR TO CONSTRUCTION.

• SUPPLY AND INSTALL ROOT BARRIERS AT BACK OF SIDEWALK, AT EACH TREE LOCATION, 4.0M LONG CENTERED ON THE TREE.

• ROOT BARRIER TO BE DEEPROOT BRAND, MODEL DB 18-2, OR APPROVED ALTERNATIVE.

• IRRIGATION SLEEVING SHALL BE 150mm ABS PIPE BURIED AT 450mm COVER AND STACKED

HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS

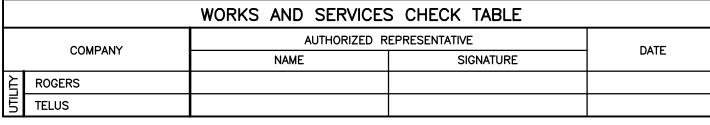
ON BOTH SIDES WITH WOOD STAKES.

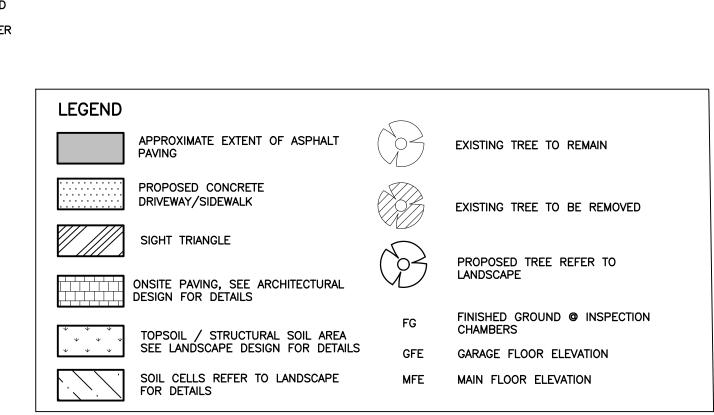
INSPECTOR PRIOR TO BACKFILL.

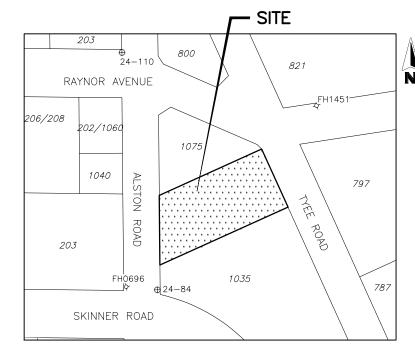
• CONTACT "B.C. ONE CALL" AT 1-800-474-6886 AND "DIG SHAW" AT DIGSHAW.CA A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.

LOT 1055 ALSTON STREET SHALL BE SERVICED UNDERGROUND.
BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL.

FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.
ARRANGE A PRE-CONSTRUCTION MEETING WITH BC HYDRO CIVIL INSPECTOR AT LEAST TWO (2) WEEKS PRIOR TO ANTICIPATED START OF CONSTRUCTION SO AS TO ARRANGE DELIVERY OF MATERIALS.
CONTRACTOR INSTALLED BC HYDRO CONDUIT SHALL BE INSPECTED BY BC HYDRO CIVIL

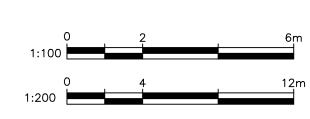






LOCATION PLAN

PROPOSED DEVELOPMENT OF LOT 105, DISTRICT LOT 119, PLAN 3237, ESQUIMALT DISTRICT INCLUDED WITH PLAN 4010



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

USE LONG SWEEP BENDS AS REQUIRED TO MEET GRADE OF

BENDS MUST BE LOCATED

BE BEDDED IN GRAVEL EXTENDING TO UNDISTURBED

OUTSIDE TRENCH AND MUST

ANGLE TO BE LESS -

THAN 45°

DEEP TRENCH

SERVICE CONNECTION DETAIL

BUILDING CONNECTION

			LEGEND			REVISIONS		DESIGNED	ВС
			LEGEND			INEVISIONS		DRAWN	NC
WATER ——W——	GAS —— G——	EXISTING U/G UTL.	MANHOLE	HYDRANT →	MONUMENT \oplus	6 ISSUED FOR DEVELOPMENT PERMIT 251210	ΙΥ	CHECKED	JS
SEWER ——S—	CURB —— C——	PROPOSED U/G UTL	CLEANOUT ₀O	VALVE ⊠	LOT PIN •	5 ISSUED FOR BUILDING PERMIT 251021	PC	DATE	23.03.14
DRAIN ——D—	SIDEWALK S/W	LIGHT STANDARD ***	CATCHBASIN	METER ⊖	LEAD PLUG ■	4 DRAFT BUILDING PERMIT 250815	JS	B.M.	24-84
DITCH \longrightarrow	EDGE PAVE.	POWER POLE 0	ROAD SIGN	REDUCER —		3 REISSUED FOR DEVELOPMENT PERMIT 240722	NC	ELEV.	22.250
CULVERT ——	BUSHLINE ~~~	ANCHOR →				2 REISSUED FOR DEVELOPMENT PERMIT 240627	NC	SCALE Horz.	1:200
HEADWALL ——(TREE 💮					No. DESCRIPTION DATE	SIGN	Vert.	1:40



#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3 Telephone: 250-391-8592 Facsimile: 250-391-8593 1055 ALSTON ROAD
SAKURA PROPERTY DEVELOPMENT
SERVICING PLAN,
DETAILS AND,
GENERAL NOTES

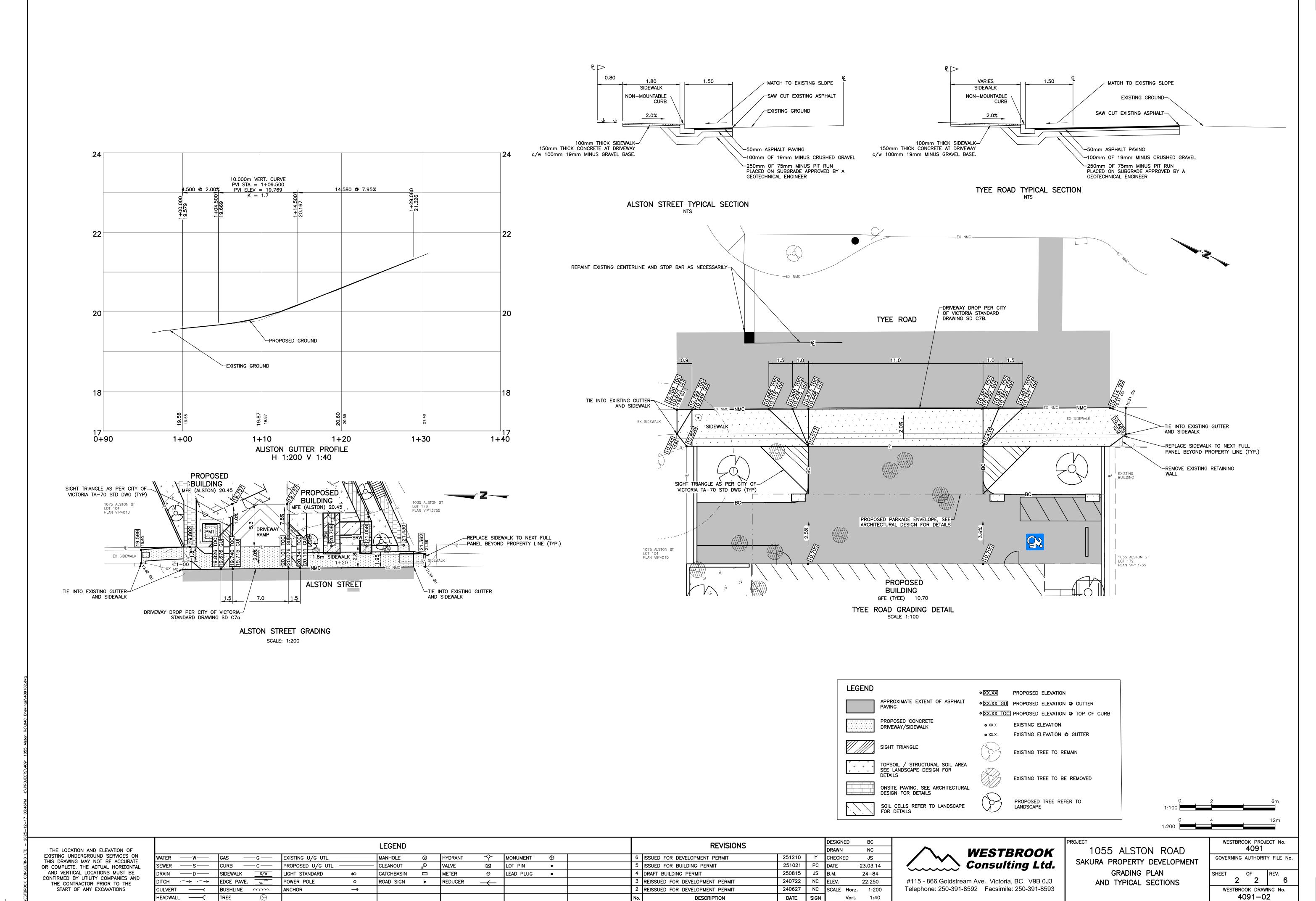
WESTBROOK PROJECT No. 4091

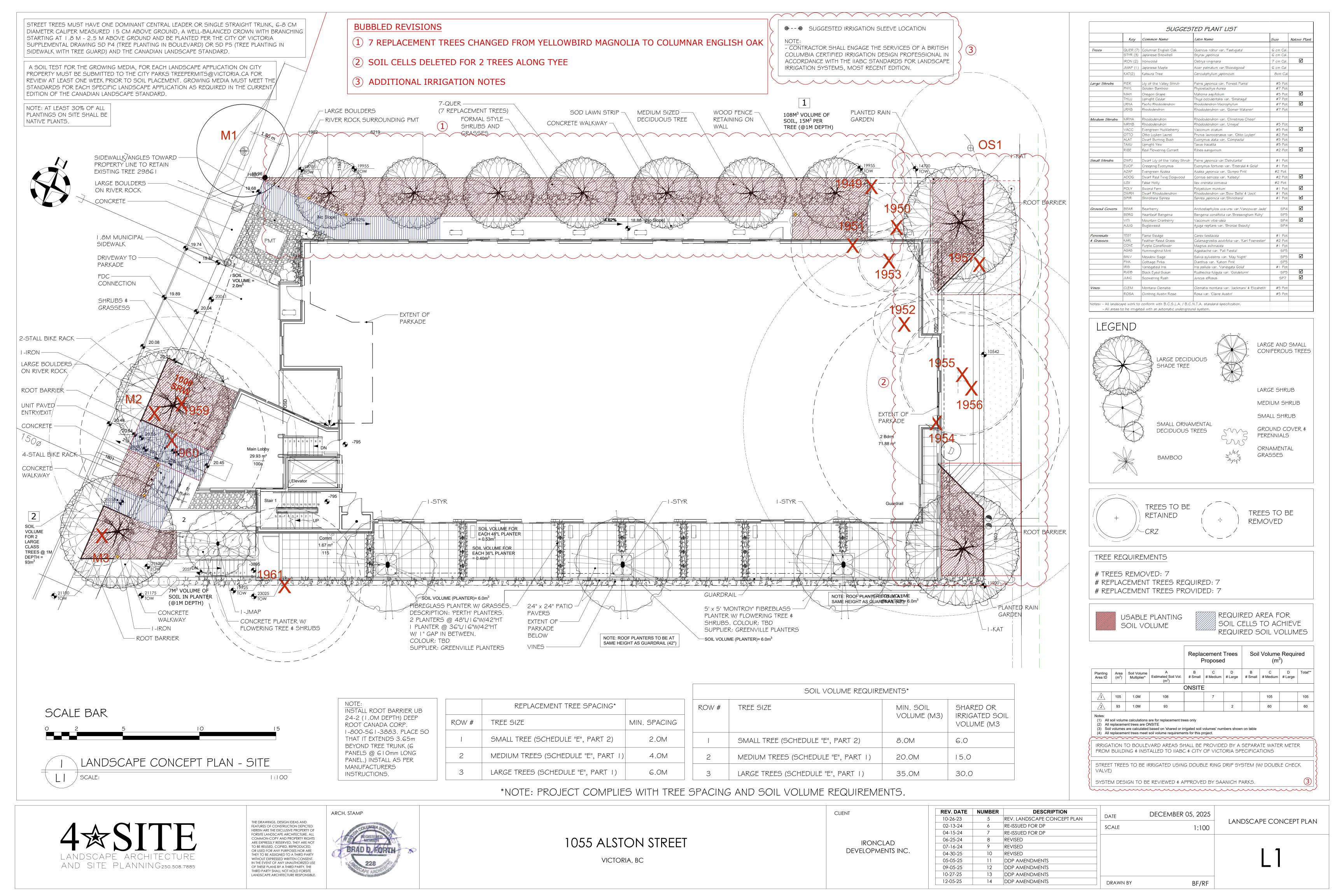
GOVERNING AUTHORITY FILE No.

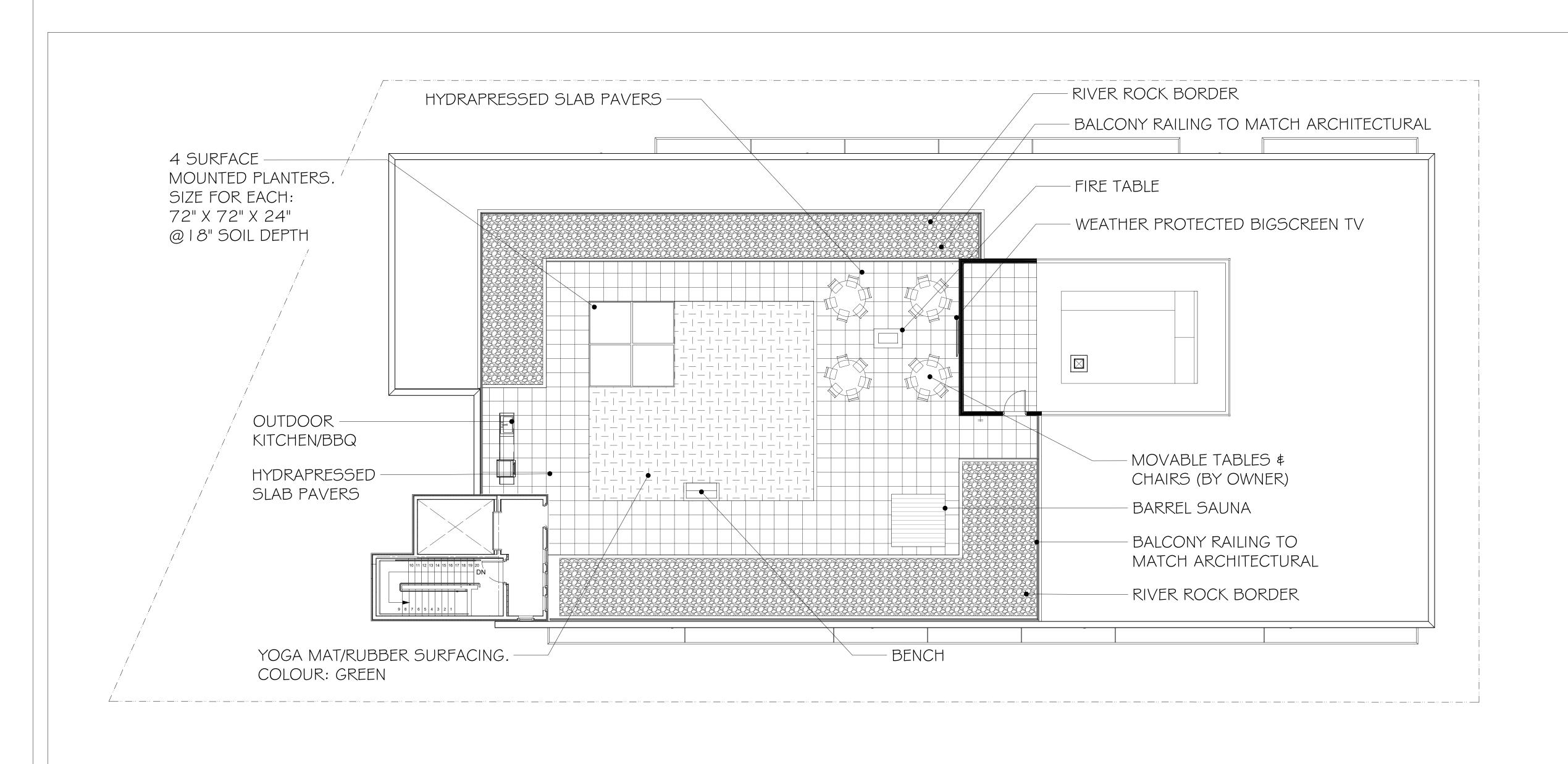
SHEET OF REV. 6

WESTBROOK DRAWING No.

4091-01







BENCHES

RECTANGULAR FIBERGLASS PLANTER

NAME: TRADITIONAL STRATUS MODERN BENCH

MODEL #: CAL-718

SIZE: 78 3/4"L x 2 | 1/4"W x 32 | 1/16"H

QUANTITY: I

SUPPLIER: CAANAN SITE FURNISHINGS

PAVERS

DESCRIPTION (TYPE 2):

NAME: 'TERRACE' SLAB PAVER

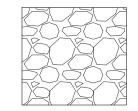
ZE: 24" x 24"

PATTERN: STACK BOND (90° TO BUILDING FACE)

COLOUR: STERLING

SUPPLIER: BARKMAN CONCRETE PRODUCTS

MATERIALS

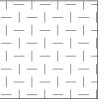


RIVER ROCK





CONCRETE WALKWAY



OUTDOOR YOGA MAT



BARREL SAUNA



CORTEN STEEL ROOF TOP PLANTERS



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1055 ALSTON STREET

VICTORIA, BC

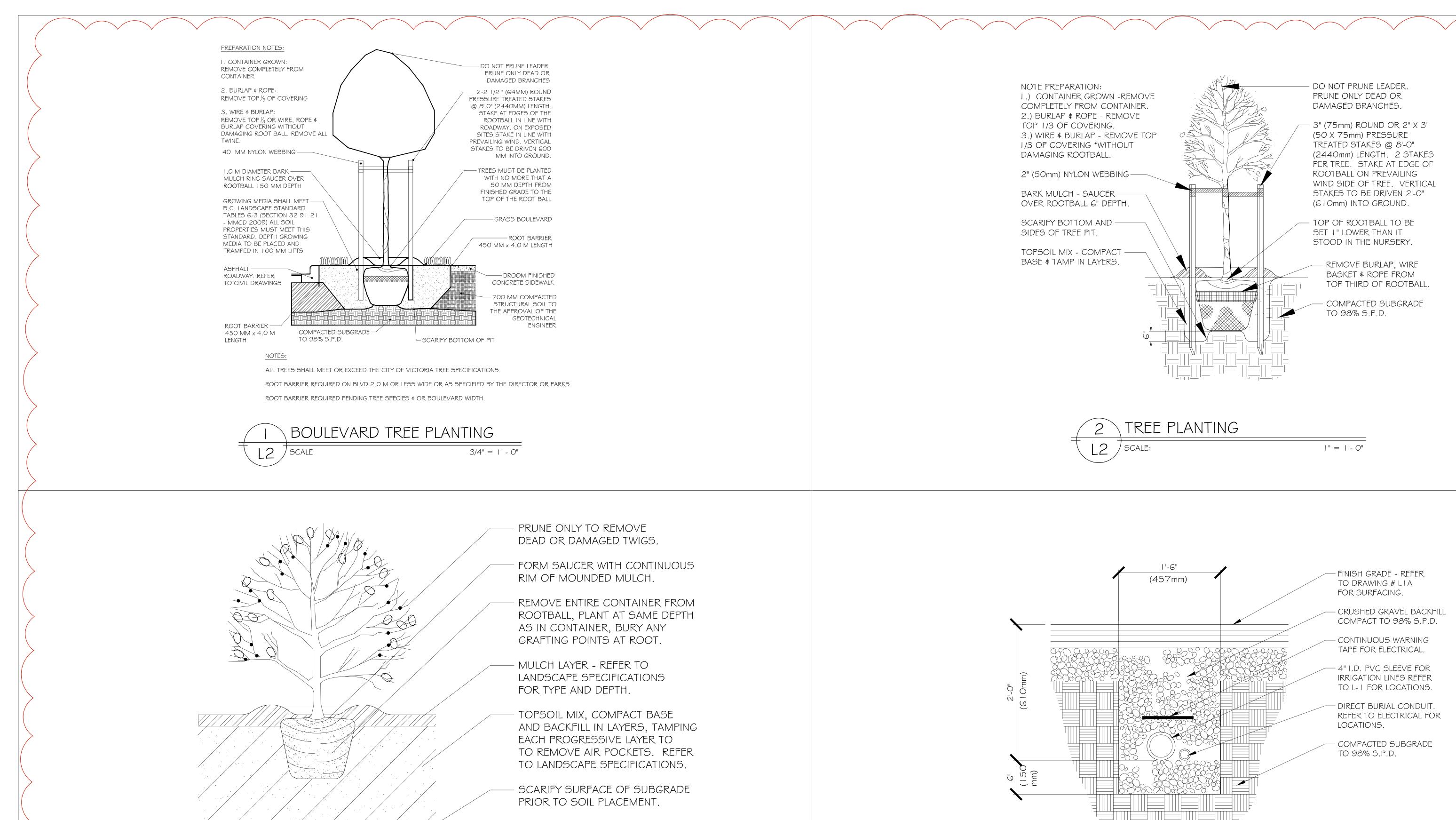
CLIENT

IRONCLAD DEVELOPMENTS INC.

REV. DATE	NUMBER	DESCRIPTION
10-26-23	5	REV. LANDSCAPE CONCEPT PLAN
02-13-24	6	RE-ISSUED FOR DP
04-15-24	7	RE-ISSUED FOR DP
06-25-24	8	REVISED
07-16-24	9	REVISED
04-30-25	10	REVISED
05-05-25	11	DDP AMENDMENTS
09-05-25	12	DDP AMENDMENTS
10-27-25	13	DDP AMENDMENTS
12-05-25	14	DDP AMENDMENTS

DATE	DECEMBER 05, 2025	
SCALE	1:100	
DD 414/41 DV	25.05	
 DRAWN BY	BF/RF	

LANDSCAPE CONCEPT PLAN (ROOF AMENITY)



SHRUB PLANTING L2 SCALE |" = |'- O"

IRRIGATION SLEEVE SCALE

BUBBLED REVISIONS 1) ADDITIONAL DETAILS

AND SITE PLANNING 250.508.7885

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..\..\..\..\STAMP1.jpg

ARCH. STAMP

1055 ALSTON STREET VICTORIA, BC

CLIENT IRONCLAD DEVELOPMENTS INC.

EV. DATE	NUMBER	DESCRIPTION
2-05-25	1	DDP AMENDMENTS

DECEMBER 05, 2025 LANDSCAPE DETAILS **AS NOTED** SCALE DRAWN BY BF/RF