

ZONING INFORMATION - LOT 469

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²):
Lot 469: 685 m²

FLOOR AREA (m²):
L1: 171 m² (no change)
Mezzanine: 67 m² (proposed)

TOTAL: 237 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
237 m²

FLOOR SPACE RATIO: .35: 1

SITE COVERAGE (%): 28%

HEIGHT OF BUILDING (m): 8.6 m

NUMBER OF STOREYS: 2 (one storey plus mezzanine, and rooftop patio)

PARKING STALLS ON SITE: 8 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none (4 provided)

BUILDING SETBACKS (m)
OTD-1 Zone, therefore, no setbacks required.

ZONING INFORMATION - LOT 470

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²):
Lot 470: 687 m²

FLOOR AREA (m²):
L1: 76 m² (no change)
Mezzanine: 16 m² (proposed)

TOTAL: 92 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
92 m²

FLOOR SPACE RATIO: .13: 1

SITE COVERAGE (%): 12%

HEIGHT OF BUILDING (m): 8.6 m

NUMBER OF STOREYS: 2 (one storey plus mezzanine, and rooftop patio)

PARKING STALLS ON SITE: 4 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none

BUILDING SETBACKS (m)
OTD-1 Zone, therefore, no setbacks required.

PROJECT INFORMATION

REGISTERED OWNER

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ARCHITECT

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V8V 3K3
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STRUCTURAL CONSULTANT

Sorensen TRILOGY Engineering Ltd.
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V9B 2X4
Brian Lang
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brian@sorensenTRILOGY.ca

MECHANICAL CONSULTANT

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Mirek Demidow
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fax: 250.384.4134

ELECTRICAL CONSULTANT

Williams Engineering
202-31 Bastion Square
Victoria, BC
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Michael Phillips
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MPhillips@williamsengineering.com

SIGNAGE BYLAW SUMMARY

REFERENCED DOCUMENT: CITY OF VICTORIA SIGNAGE BYLAW 14-097

ZONE 1
Arterial Commercial
1:1 Ratio Permitted (maximum total area: 9 m²)

SIGN TYPE
Combination Sign: Business name painted on facade (mural style).

SIGN AREA AS SHOWN
8.9 sq m

Note: Final sign design to be done by others in compliance to current sign bylaws.

DRAWING LIST

Architectural

A001	Project Data & Site Plan
A201	Level 1 & Mezzanine Floor Plan
A202	Roof Top Plan
A203	Seating Plan
A401	Elevations & Materials
A501	Sections

BUILDING CODE SUMMARY - 506 Herald Street, Victoria, BC

REFERENCED DOCUMENT: BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

BUILDING AREA [Building Footprint]: 1900 m2 overall, 260 m² for A-2 506 Herald Street .

BUILDING HEIGHT: Two (2) storey
NUMBER OF STREETS FACING: One (1)
SPRINKLERED: Yes

MAJOR OCCUPANCY CLASSIFICATIONS: Group E (3.2.2.67) and A2 (3.2.2.27). 3.2.2.67 is more restrictive.

SEPARATION OF MAJOR OCCUPANCIES: (3.1.3.1)
• Minimum fire-resistance rating of fire separation , Group E to A-2: 2 hours., Group A-2 to A-2 - none.

CONSTRUCTION TYPE (3.1.4): Combustible Heavy Timber Construction

OCCUPANT LOAD (3.1.17):
1.2 m²/person for dining and beverage.
4.6 m² /person for process rooms.

Ground Floor:
Gross Floor Area 260 m² (served by 2 exits front and rear) Total Load: 123 people
Ground Floor Restaurant Area: 124 m² = 103 people
Ground Floor Process Area: 73 m² = 16 people
Cooler: 19 m² = 4 people

Mezzanine:
Gross Floor Area 83 m² (served by 1 stair down to Ground Floor) Total Load: 67 people
Mezzanine Restaurant Area: 56 m² = 67 people

Rooftop:
Gross Area 167 m² (served by 2 exits front and rear) Total Load: 200 people (seasonal).
Rooftop Restaurant Area: 167 m² = 200 people

Total Calculated Occupant Load: 390; Occupant load limited and posted per 3.1.17.1.2) to 277 people.

CONSTRUCTION REQUIREMENTS (3.2.2.67):

- Group E, up to 3 storeys, Sprinklered
- 1) A building classified as Group E is permitted to conform to Sentence(2) provided
 - a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout,
 - b) it is not more than 3 storeys in building height, and
 - c) it has abutting area not more than
 - i) 7 200 m2 if 1 storey in building height,
- 2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and
 - a) floor assemblies shall be fire separations with a fire - resistance rating not less than 45min,
 - b) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min,
 - c) loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall
 - i) have a fire-resistance rating not less than 45 min, or
 - ii) be of noncombustible construction, and
 - d) loadbearing walls, columns and arches supporting a fire separation shall have a fire-resistance rating not less than that required for the fire separation.

FIRE ALARM AND DETECTION SYSTEMS (3.2.4):

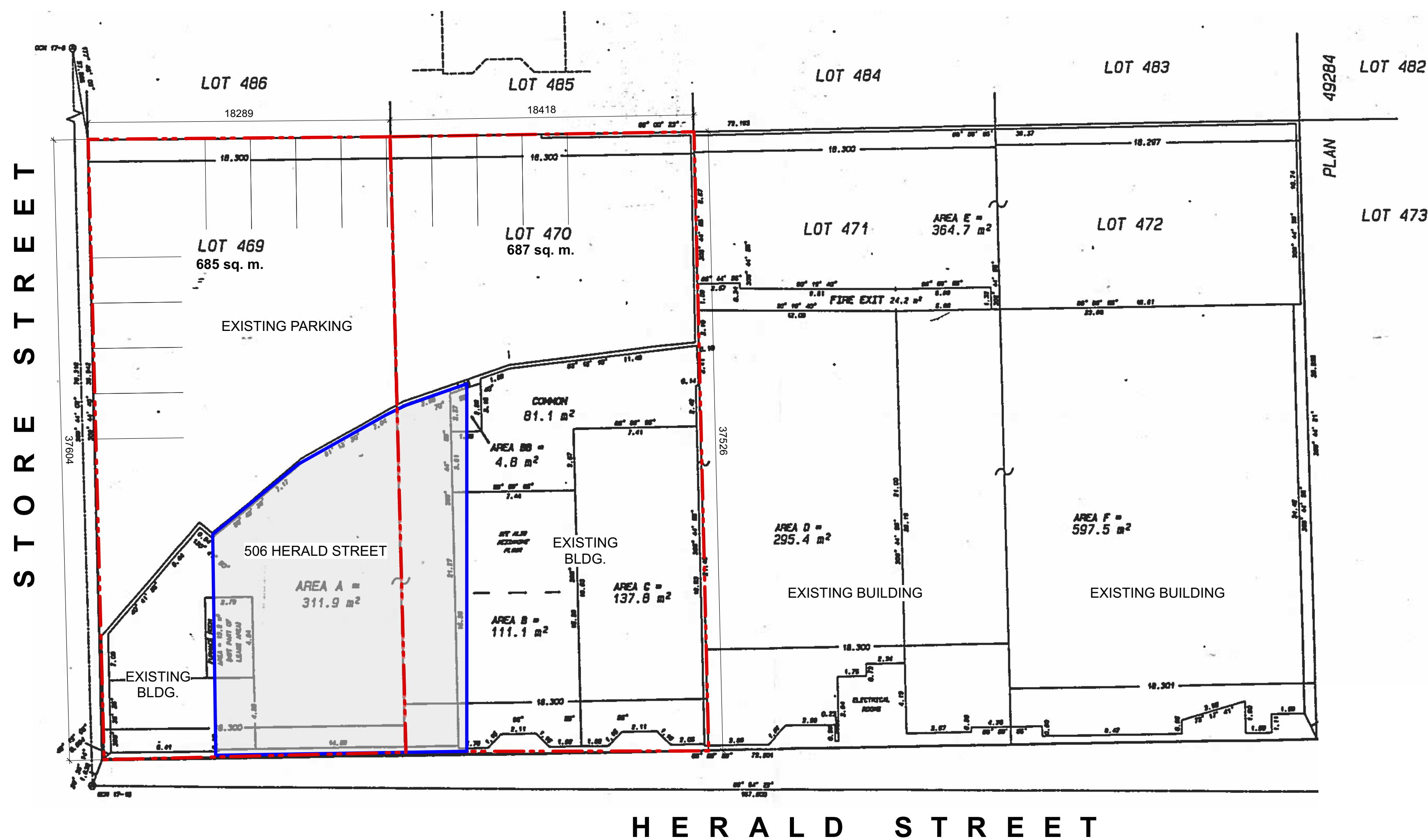
- Signal to Fire Department required, 2 stage. Will notify that an alert signal has been initiated (3.2.4.8.3)
- Building is one storey and less than 2000 m², and therefore can be one fire zone. An annunciator is not required if there is only one zone (3.2.4.9(2.3))
- Visual and audible trouble signal to be provided at main entrance (3.2.4.4)
- Electrical supervision of fire alarm system required (3.2.4.10)
- Smoke detectors not required (3.2.4.12)
- Fire alarm system monitoring required (3.2.4.16)
- Manual pull stations required at exits (3.2.4.17)

EXITS AND EGRESS:

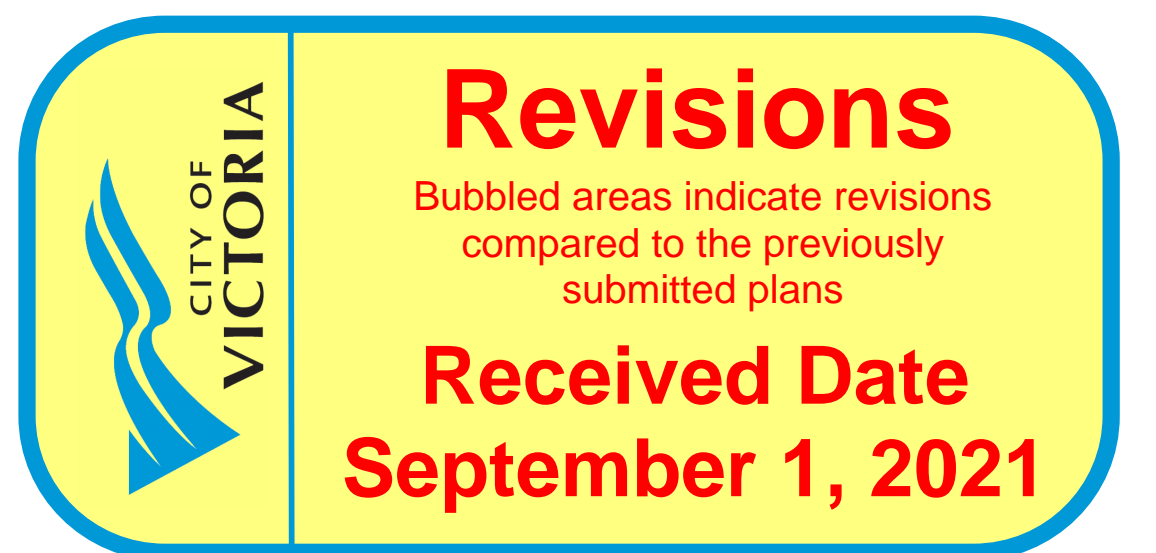
Travel Distance to an exit is 45 m maximum (3.4.2.5); 8.5 m (Ground Floor), 13 m (Mezzanine), 29 m (Roof) actual.
Minimum Width of Exits (3.4.3.2):
Exit corridor / passageway: 1100 mm
Stair: 900 mm
Doorways: 800 mm

WASHROOMS:

- Building occupancy is limited to 178 people as per approved liquor licence, with an additional 99 people on the roof (unlicensed) for a total of 277 people. Total Number of water closets provided (3.7.2.2.A) is 9. All water closet stalls are private and unisex. Sign with occupant limit to be posted on site.
- Accessible washroom provided is ground floor universal washroom (3.7.2.10).



1 Site plan
A001 1:200

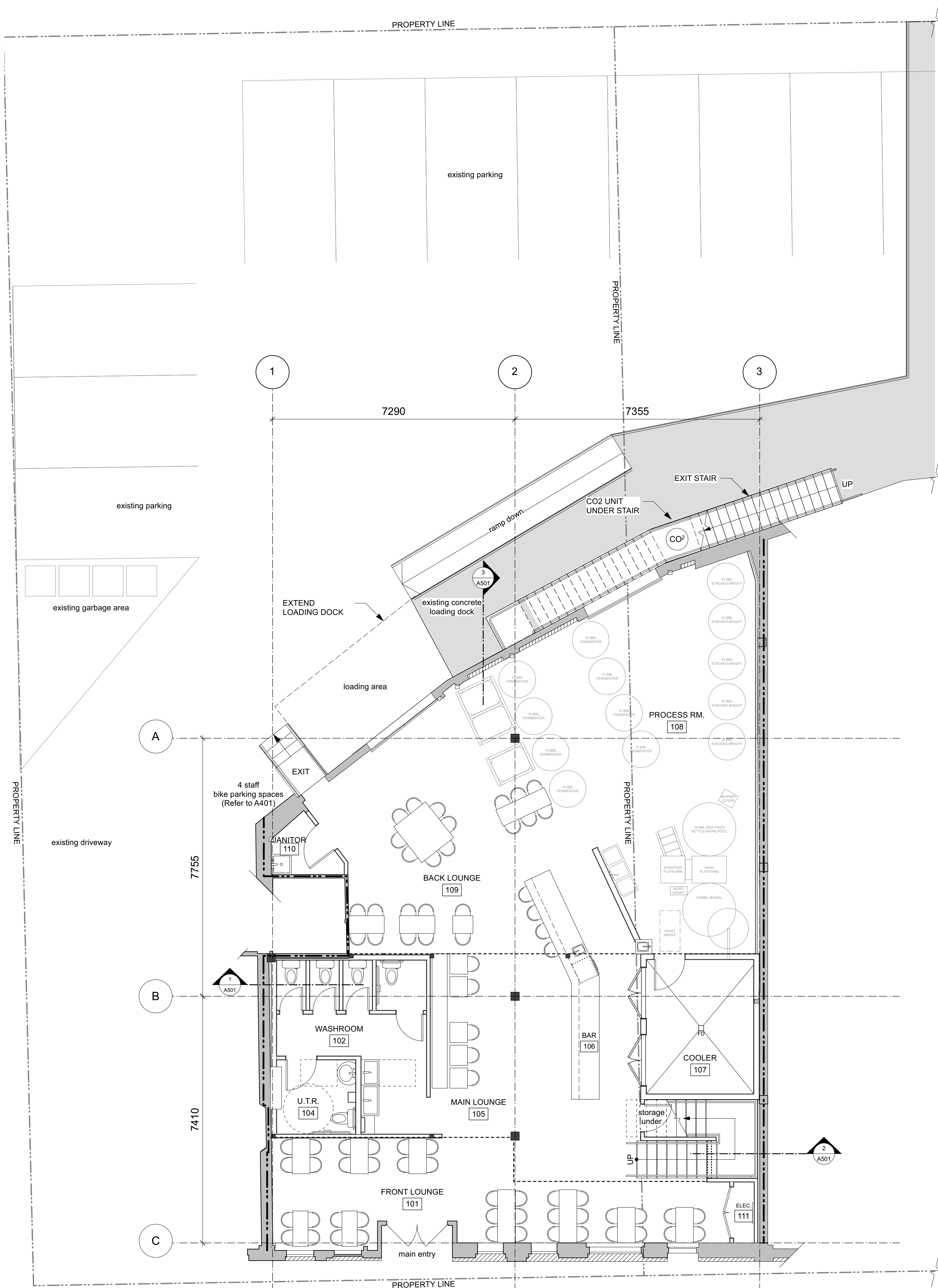


Rev	Date	Description	Issued for Development Permit
4	22 MAR 2021	Acoustic/Privacy Screen Update - For Review	
3	10 NOV 2020	Re-issued for Development Permit	
2	21 JAN 2020	Re-issued for Development Permit	
1	12 NOV 2019	Re-issued for Development Permit	
Rev	Date	Description	Issued for Development Permit

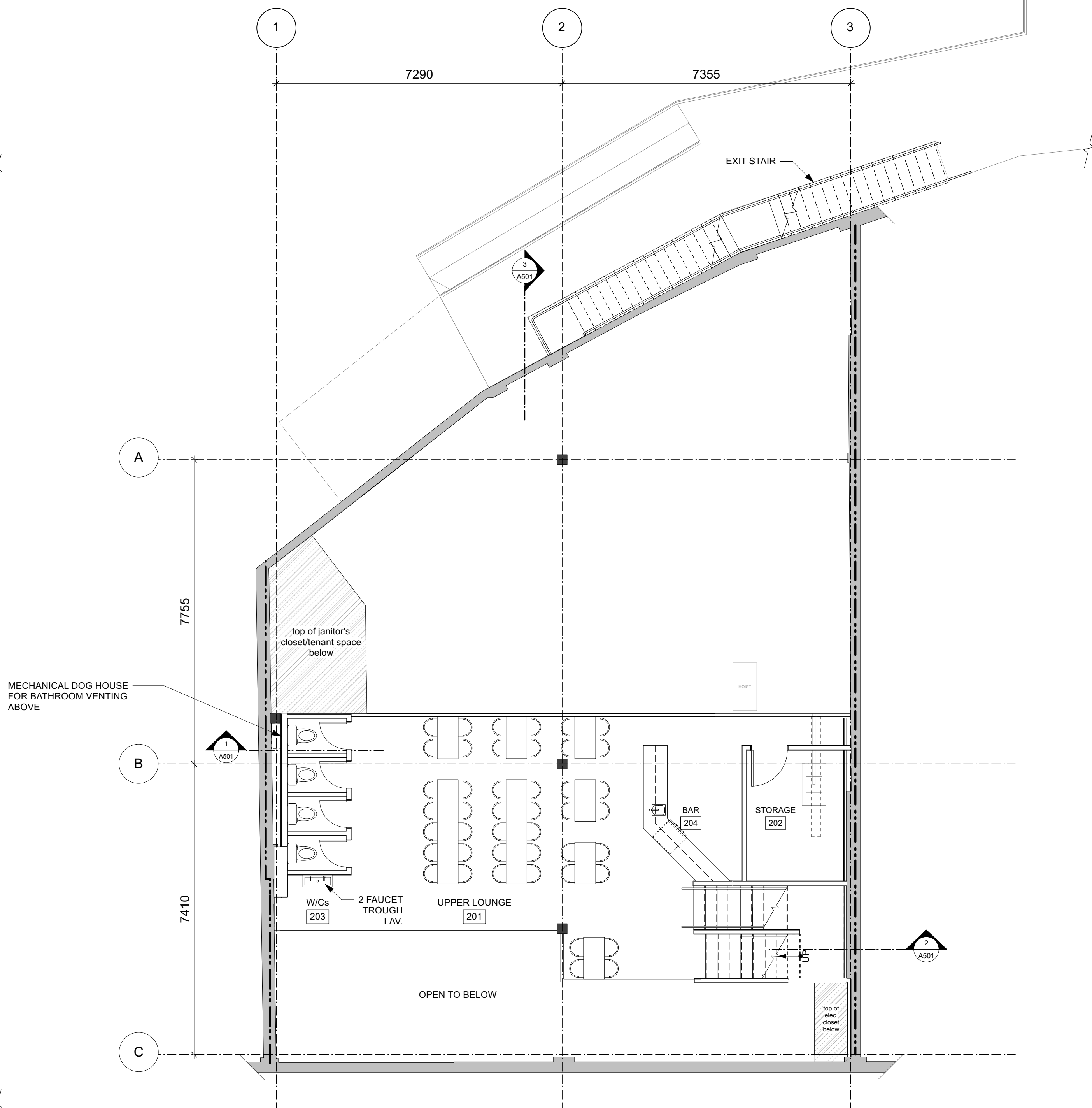
NOTE: All dimensions are shown in millimetres.

RE-ISSUED FOR DEVELOPMENT PERMIT
2021-07-21

de Hoog & Kierulf, Architects	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-858-9367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1-250-595-5810
Project Name Address Victoria, BC	
Project Data & Floor Plan	
A001	3



1 Level 1 Floor Plan
Scale: 1:75

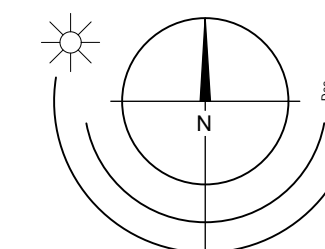


2 Mezzanine Floor Plan
Scale: 1:75

- General Notes**
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
 - Shaded walls are existing.
 - All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

22 MARCH, 2021 - REVISIONS

2200 high screen with tempered glass, corrugated metal and wood posts added to the north side of the patio to provide acoustic and visual screening to the adjacent Ironworks residential building.



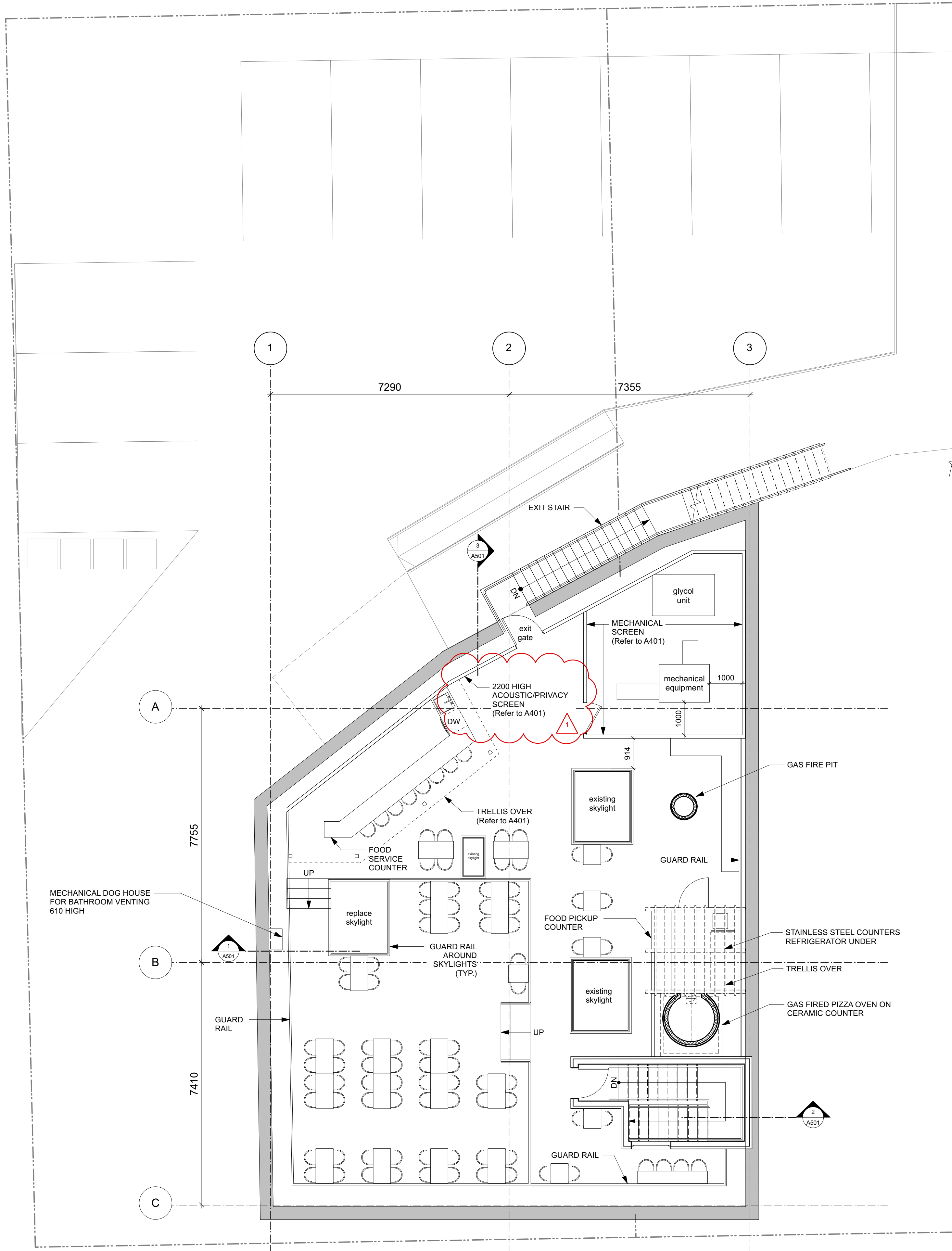
0 2500 5000mm
1:75

Rev	Date	Description
4	22 MAR 2021	Acoustic/Privacy Screen Update - For Review
3	10 NOV 2020	Re-issued for Development Permit
2	21 JAN 2020	Re-issued for Development Permit
1	12 NOV 2019	Re-issued for Development Permit
Rev	Date	Description
1	31 DEC 2018	Issued for Development Permit

NOTE: All dimensions are shown in millimetres.

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2021-07-21

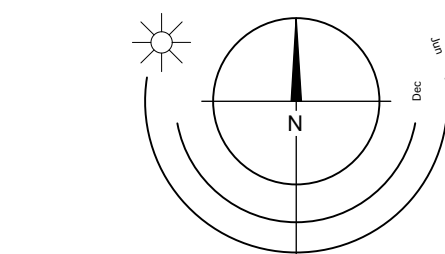
de Hoog & Kierulff, architects	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	HANAMOO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1-250-595-5810
Project Name Address Victoria, BC	
Level 1 & Mezzanine Floor Plan	
drawing title	revision no.
A201	3



- General Notes**
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
 - Shaded walls are existing.
 - All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

22 MARCH, 2021 - REVISIONS

2200 high screen with tempered glass, corrugated metal and wood posts added to the north side of the patio to provide acoustic and visual screening to the adjacent Ironworks residential building.



0 2500 5000mm
1 : 75

Rev	Date	Description
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1	12 NOV 2019	Re-issued for Development Permit
Rev	Date	Description
1	31 DEC 2018	Issued for Development Permit

drawn by: rfc checked by: ctk
scale: 1:75 project: 2021-07-21

NOTE: All dimensions are shown in millimetres.

RE-ISSUED FOR DEVELOPMENT PERMIT
2021-07-21

de Hoog & Kierulff, architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 2K3
T 1-250-658-3367

HANAMOO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K8
T 1-250-595-5810

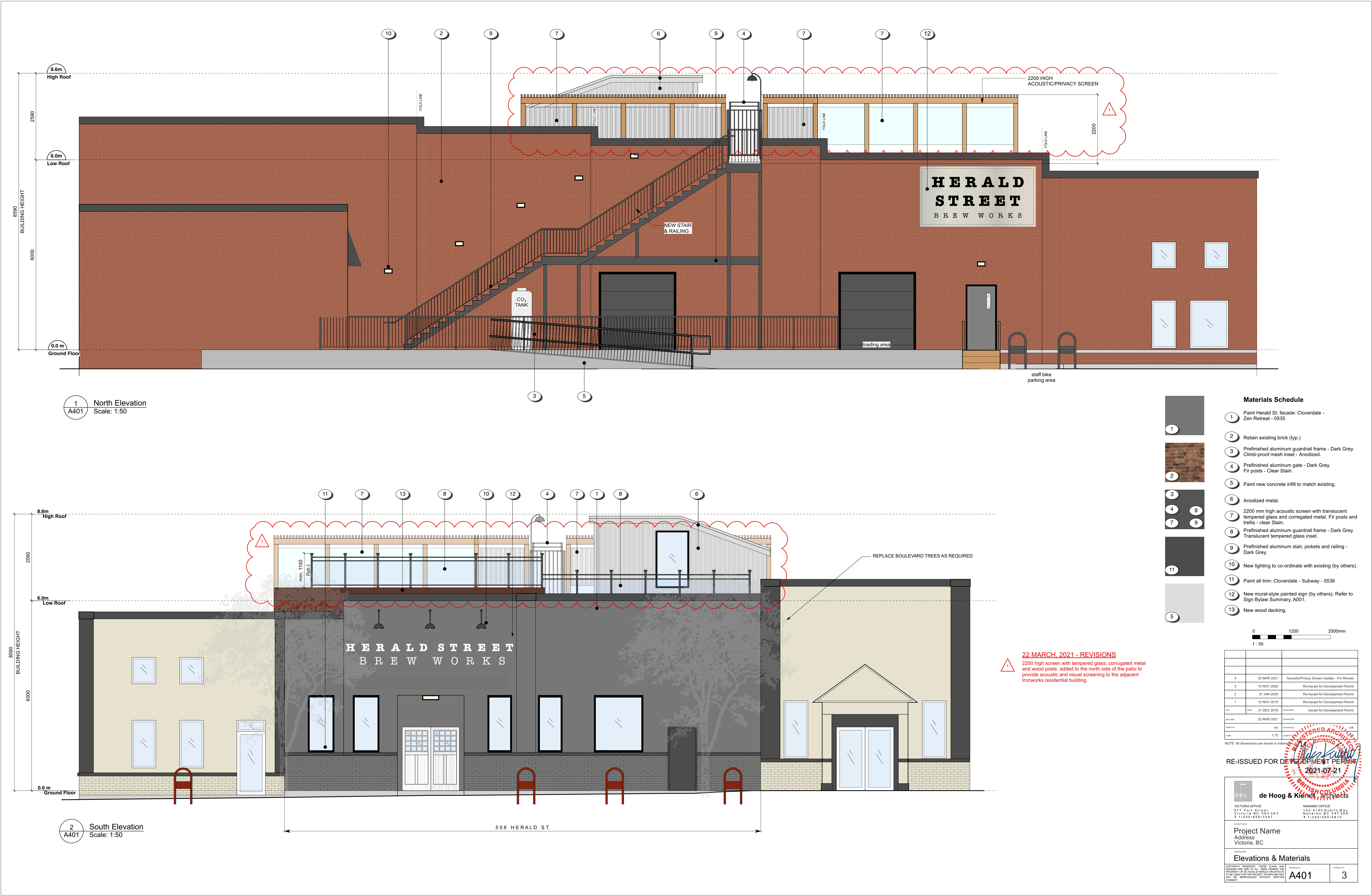
Project Name
Address
Victoria, BC

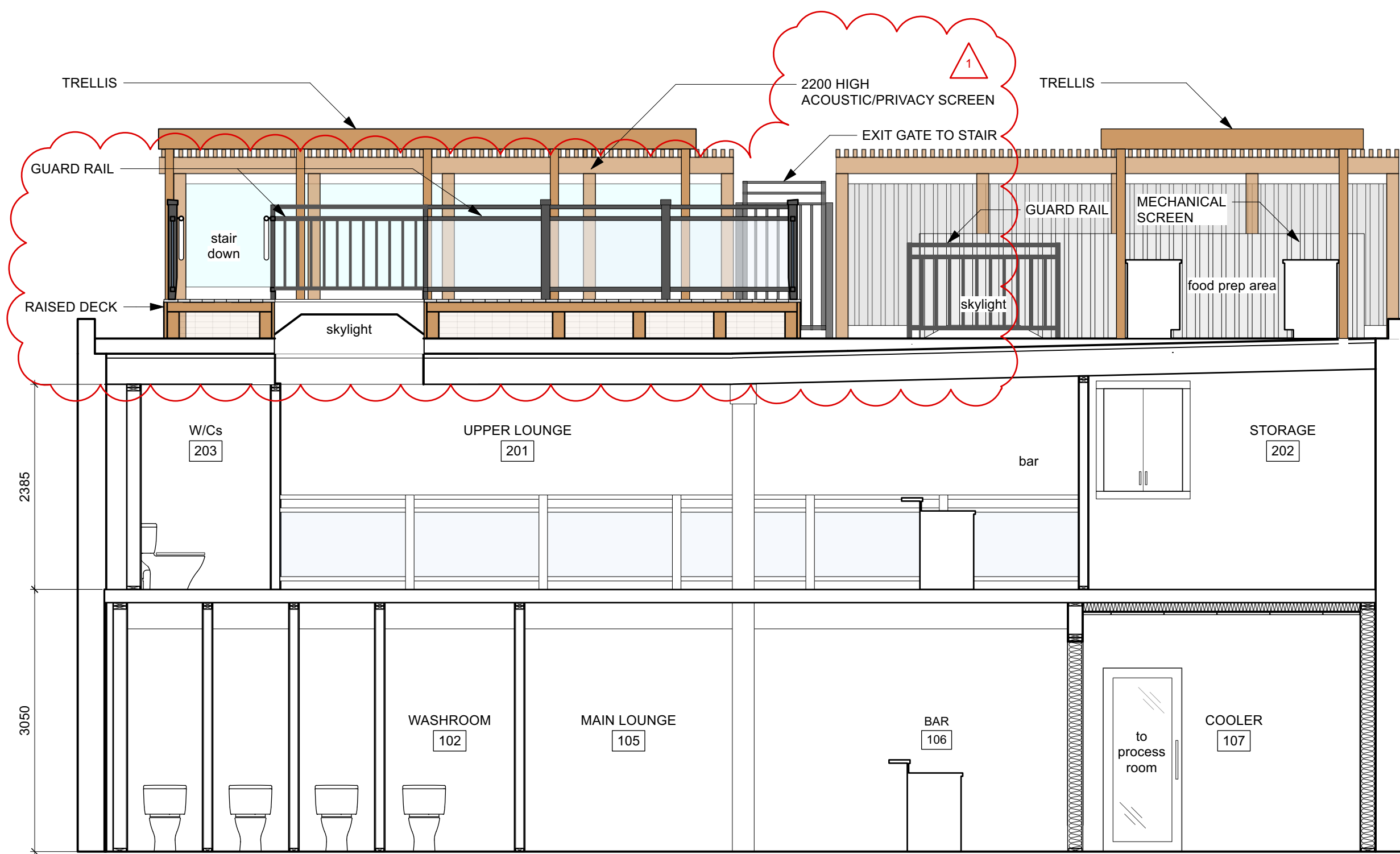
Roof Top Floor Plan

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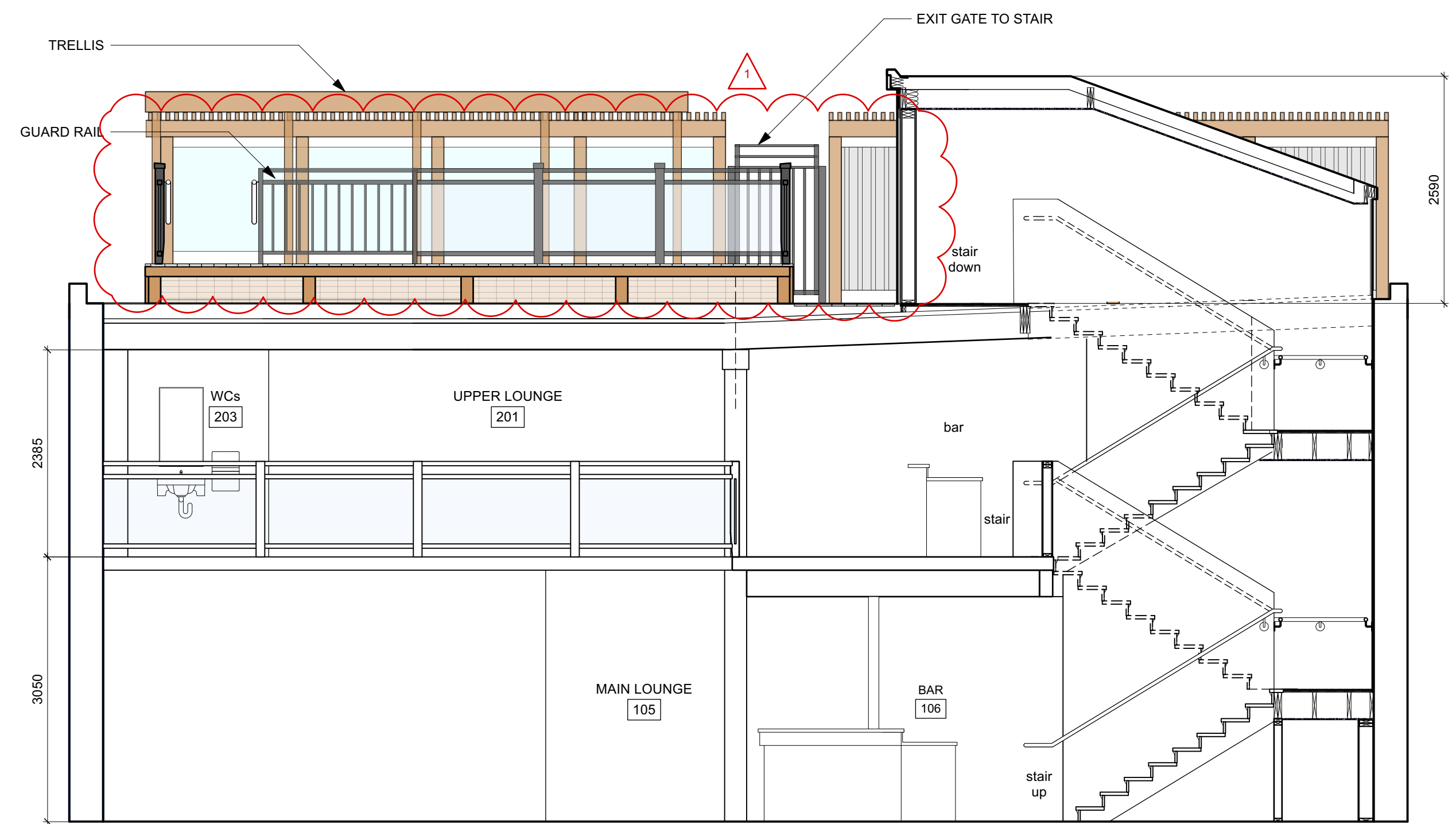
A202

3

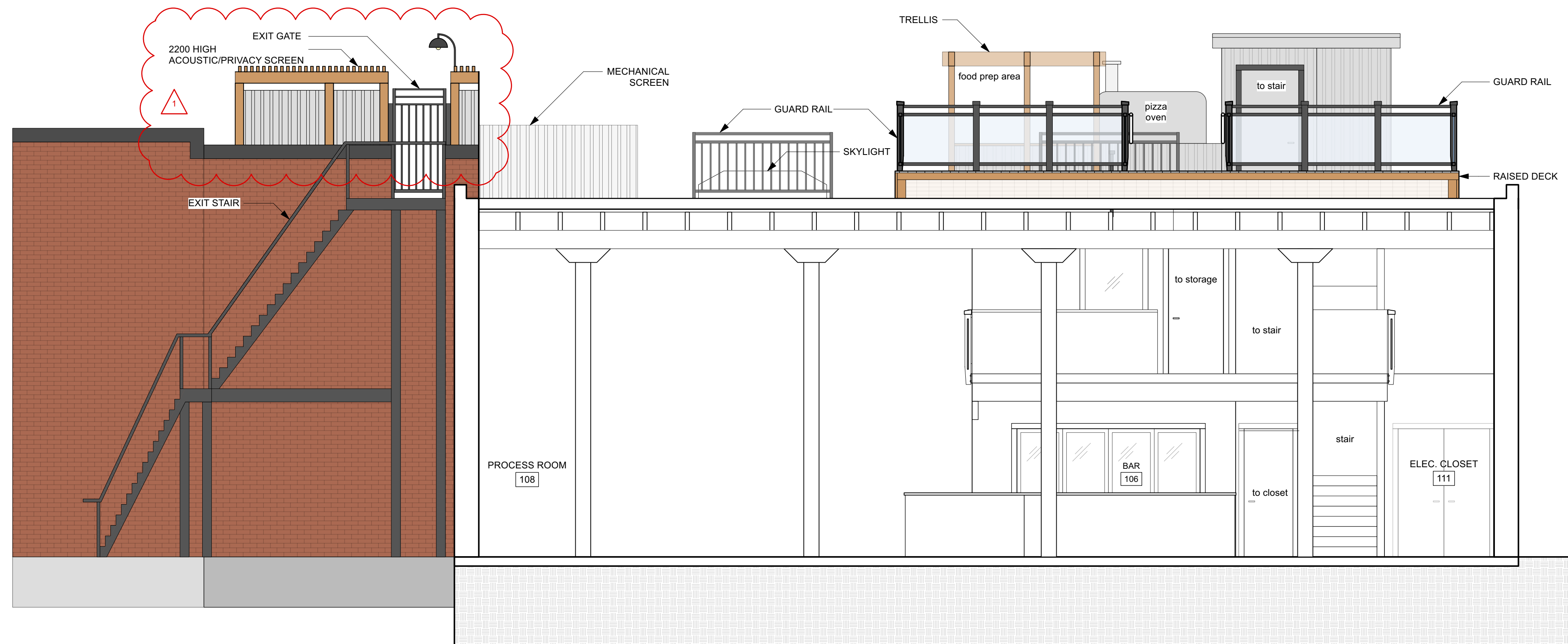




1 Building Section
A501 Scale: 1:50



2 Building Section
A501 Scale: 1:50



3 Building Section
A501 Scale: 1:50

22 MARCH, 2021 - REVISIONS
1 2200 high screen with tempered glass, corrugated metal and wood posts added to the north side of the patio to provide acoustic and visual screening to the adjacent Ironworks residential building.

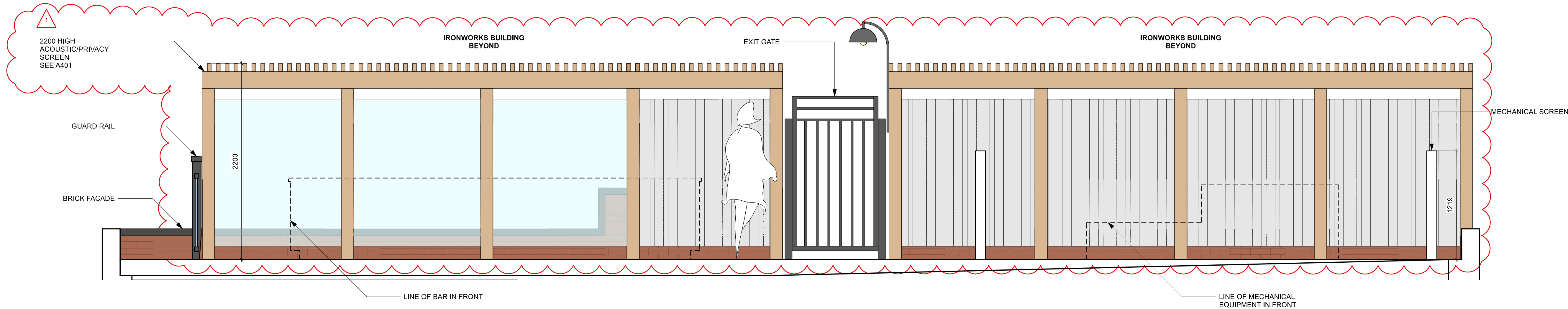
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Rev	Date	Description
4	22 MAR 2021	Acoustic/Privacy Screen Update - For Review
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2	21 JAN 2020	Re-issued for Development Permit
1	12 NOV 2019	Re-issued for Development Permit
Rev	Date	Description
1	31 DEC 2018	Issued for Development Permit

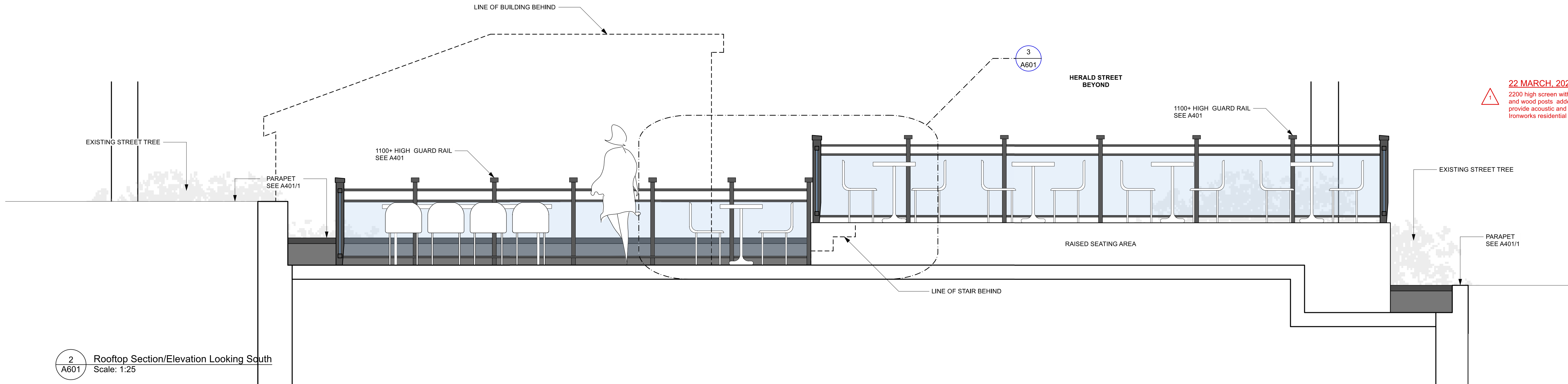
NOTE: All dimensions are shown in millimetres.

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2021-07-21

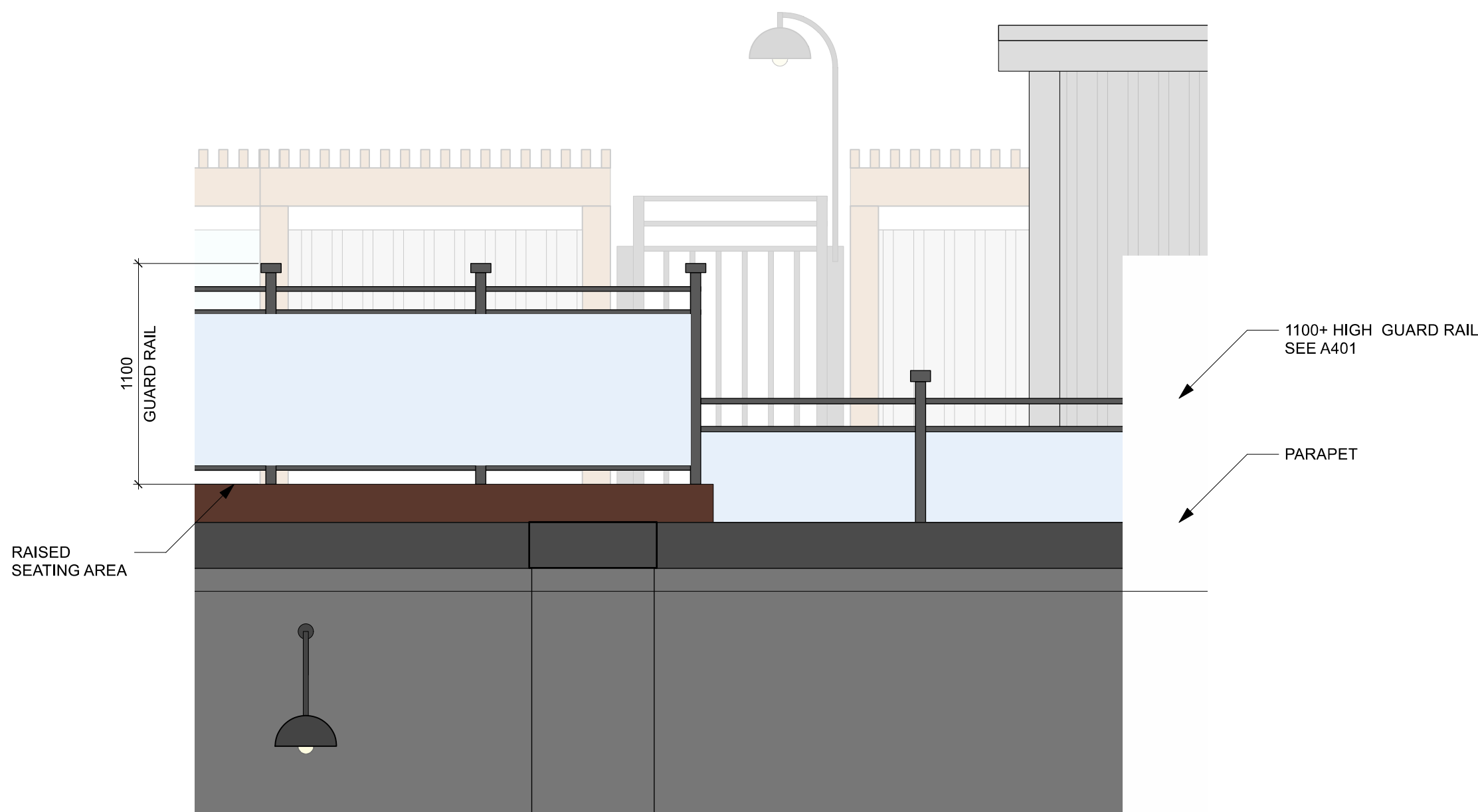
de Hoog & Kienit, Architects	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo, BC V9T 2K8 T 1-250-595-5810
Project Name Address Victoria, BC	Sections A501
3	3



1
A601 Rooftop Section/Elevation Looking North
Scale: 1:25



2
A601 Rooftop Section/Elevation Looking South
Scale: 1:25



3
A601 Railing At South Elevation
Scale: 1:25

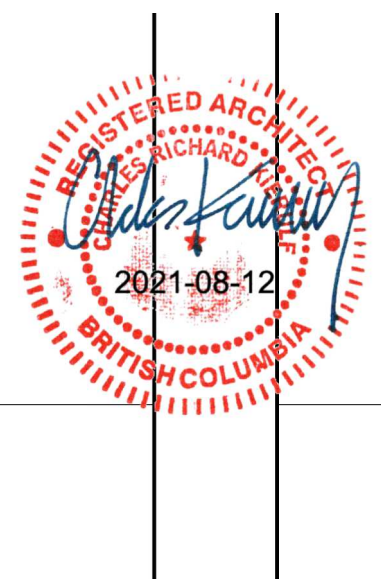
22 MARCH, 2021 - REVISIONS
2200 high screen with tempered glass, corrugated metal and wood posts added to the north side of the patio to provide acoustic and visual screening to the adjacent Ironworks residential building.

0 625 1250mm
1 : 25

4	22 MAR 2021	Acoustic/Privacy Screen Update - For Review
3	10 NOV 2020	Re-Issued for Development Permit
2	21 JAN 2020	Re-Issued for Development Permit
1	12 NOV 2019	Re-Issued for Development Permit
Rev	Date	Description
plot date	22 MAR 2021	drawing file
drawn by	nlc	checked by
scale	1:25	project number

NOTE: All dimensions are shown in millimeters.

RE-ISSUED FOR DEVELOPMENT PERMIT



g & Kierulff architects	
4000 LITTLE Fort Street Vancouver BC V6T 2A6 250-658-9367	NANAIMO OFFICE 102-5160 Dunbar Way Nanaimo BC V9T 2A6 T 1-250-555-5810
Project Name Jress lonia, BC	
Screen & Railing Details	
A601	3