



**932 BALMORAL  
ROAD & 1701  
QUADRA STREET**



**REZONING & DEVELOPMENT  
PERMIT APPLICATION  
TRG COMMENT RESPONSE 2**

DECEMBER 19, 2025

## ZONING SUMMARY

**CIVIC ADDRESS:**  
932 BALMORAL ROAD & 1701 QUADRA STREET  
VICTORIA, BRITISH COLUMBIA V8T 1A8

**LEGAL DESCRIPTION:**  
A0.03

REFER TO SURVEY

**ZONING:**  
CBD-1

## DRAWING LIST

COVER SHEET	NO.	DESCRIPTION
DEVELOPMENT DATA	A0.01	
SURVEY	A0.02	
SITE CONTEXT	A0.03	
SITE COVERAGE + AVERAGE GRADE	A0.04	
DECONSTRUCTION SITE PLAN	A1.00	
DECONSTRUCTION PLAN LOWER FLOOR - HERITAGE BLDG	A1.01	
DECONSTRUCTION PLAN FIRST FLOOR - HERITAGE BLDG	A1.02	
DECONSTRUCTION PLAN MEZZANINE - HERITAGE BLDG	A1.03	
DECONSTRUCTION PLAN ROOF - HERITAGE BLDG	A1.04	
SITE PLAN AT LEVEL 1	A1.10	
SITE PLAN AT ROOF	A1.11	
LOWER FLOOR PLAN - HERITAGE BLDG	A2.04	
FIRST FLOOR PLAN - HERITAGE BLDG	A2.05	
MEZZANINE PLAN - HERITAGE BLDG	A2.06	
ROOF PLAN - HERITAGE BLDG	A2.07	
LEVEL P1 PLAN - RESIDENTIAL BLDG	A2.10	
LEVEL 01 PLAN - RESIDENTIAL BLDG	A2.11	
MEZZANINE PLAN - RESIDENTIAL BLDG	A2.12	
LEVEL 02 PLAN - RESIDENTIAL BLDG	A2.13	
LEVEL 03 PLAN - RESIDENTIAL BLDG	A2.14	
LEVEL 04 PLAN - RESIDENTIAL BLDG	A2.15	
LEVEL 05 PLAN - RESIDENTIAL BLDG	A2.16	
LEVEL 06 PLAN - RESIDENTIAL BLDG	A2.17	
ROOF PLAN - RESIDENTIAL BLDG	A2.18	
BALMORAL ROAD ELEVATION	A3.00	
QUADRA STREET ELEVATION	A3.01	
NORTH SITE ELEVATION	A3.02	
EAST SITE ELEVATION	A3.03	
CENTRAL MEWS WEST SITE ELEVATION	A3.04	
CENTRAL MEWS EAST SITE ELEVATION	A3.05	
HERITAGE ELEVATION - BALMORAL ROAD	A3.10	
HERITAGE ELEVATION - QUADRA STREET	A3.11	
HERITAGE ELEVATION - NORTH SITE	A3.12	
HERITAGE ELEVATION - CENTRAL MEWS EAST	A3.13	
SITE SECTIONS	A4.00	
SITE SECTIONS	A4.01	
TYP FOUNDATION WALL DETAILS	A4.10	
INTERIOR HERITAGE ELEVATION	A4.11	
SHADOW STUDIES	A5.00	
FLOOR SPACE RATIO PLANS	FSR 1.00	
FLOOR SPACE RATIO PLANS	FSR 1.01	
FLOOR SPACE RATIO PLANS	FSR 1.02	
FLOOR SPACE RATIO PLANS	FSR 1.03	

## PROJECT TEAM

<b>OWNER:</b> ARYZE DEVELOPMENTS 200-398 HARBOUR ROAD VICTORIA BC V9A 0B7 250-940-3588	<b>ENERGY COMPLIANCE ENGINEER:</b> INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288
<b>ARCHITECT:</b> MARIANNE AMODIO + HARLEY GRUSKO ARCHITECTS 201-877 EAST HASTINGS ST. VANCOUVER BC V6A 3Y1 778-379-9276	<b>LANDSCAPE ARCHITECT:</b> HAPA COLLABORATIVE 403-375 W 5th AVE. VANCOUVER BC V5Y 1J6 604.909.4150
<b>STRUCTURAL ENGINEER:</b> RJC ENGINEERS 303-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-386-7794	<b>ARBORIST:</b> D CLARK ARBORICULTURE 2741 THE RISE VICTORIA, BC V8T 3T4 250-208-1568
<b>CODE CONSULTANT:</b> GHL CONSULTANTS LTD. 700 PENDER ST. VANCOUVER, BC V6C 1X6 604-689-4449	<b>CIVIL ENGINEER:</b> MCELHANNEY 500-3960 QUADRA ST. VICTORIA, BC V8X 4A3 250-370-9221
<b>MECHANICAL ENGINEER:</b> INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	<b>GEOTECHNICAL ENGINEER:</b> RYZUK GEOTECHNICAL 100-771 VERNON AVE. VICTORIA, BC V8X 5A7
<b>ELECTRICAL ENGINEER:</b> INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	<b>SURVEYOR:</b> J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVE. VICTORIA, BC V8Z 4B7 250-727-2214
<b>BUILDING ENVELOPE:</b> EVOKE 102-814 BROUGHTON ST. VICTORIA, BC V8W 1E4 250-800-5655	<b>TRANSPORTATION ENGINEER:</b> BJNT & ASSOCIATES 530-645 FORT ST. VICTORIA, BC V8W 1G2 250-592-6122

## DEVELOPMENT DATA SUMMARY

SITE DIMENSIONS:	42.76m x 104.80 x 40.35m x 104.73m / 140.29' x 343.83' x 132.38' x 343.60'
TOTAL SITE AREA:	4,442.3 m <sup>2</sup> / 47,817 ft <sup>2</sup>
TOTAL FLOOR AREA:	<b>REQUIRED / PERMITTED</b> 10,076.7 m <sup>2</sup> / 108,465 ft <sup>2</sup>
RESIDENTIAL FLOOR AREA:	8,350.3m <sup>2</sup> / 86,882 ft <sup>2</sup>
COMMERCIAL FLOOR AREA:	275.6 m <sup>2</sup> / 2,966 ft <sup>2</sup>
HERITAGE FLOOR AREA TO BE RETAINED:	1,242 m <sup>2</sup> / 13,370 ft <sup>2</sup>
NEW ADDITIONS TO HERITAGE BLDG FLOOR AREA:	484 m <sup>2</sup> / 5,213 ft <sup>2</sup>
FLOOR SPACE RATIO:	3.00
SITE COVERAGE:	69%
OPEN SITE SPACE (%):	28%
MAX. HEIGHT:	43.00m
RESIDENTIAL BUILDING:	21.56m / 70'-9"
HERITAGE BUILDING:	31.27m / 102'-7"
CHURCH NORTH ADDITION:	6.82m / 22'-4"
CHURCH EAST ADDITION:	9.01m / 29'-7"
RESIDENTIAL BUILDING:	6
HERITAGE BUILDING:	3
CHURCH NORTH ADDITION:	2
CHURCH EAST ADDITION:	3
NUMBER OF STOREYS:	
<b>BUILDING SETBACKS</b>	
FRONT YARD (WEST): (WEST QUADRA ST)	NA
SIDE YARD (SOUTH): (SOUTH BALMORAL RD)	6m
SIDE YARD (NORTH):	0m
REAR YARD (EAST):	10m

## RESIDENTIAL UNIT SUMMARY

UNIT TYPE	COUNT	AREA (sf)	AREA (sm)
1 BED + DEN	5	557 ft <sup>2</sup>	51.8 m <sup>2</sup>
1 BED A	18	525 ft <sup>2</sup>	48.8 m <sup>2</sup>
1 BED B	15	533 ft <sup>2</sup>	49.6 m <sup>2</sup>
2 BED A	14	720 ft <sup>2</sup>	66.9 m <sup>2</sup>
2 BED B	10	729 ft <sup>2</sup>	67.7 m <sup>2</sup>
3 BED A	8	938 ft <sup>2</sup>	87.1 m <sup>2</sup>
STUDIO A	40	403 ft <sup>2</sup>	37.4 m <sup>2</sup>
LOFT A	10	530 ft <sup>2</sup>	49.3 m <sup>2</sup>
LOFT B	2	529 ft <sup>2</sup>	49.2 m <sup>2</sup>
LIVE/WORK A	3	498 ft <sup>2</sup>	46.3 m <sup>2</sup>
LIVE/WORK B	3	440 ft <sup>2</sup>	40.9 m <sup>2</sup>
LIVE/WORK C	1	678 ft <sup>2</sup>	63.0 m <sup>2</sup>
<b>TOTAL:</b>	<b>129</b>		
<b>UNIT TYPE TOTALS:</b>			
LOFTS: 12 (GROUND-ORIENTED)			
LIVE/WORKS: 7 (GROUND-ORIENTED)			
STUDIO: 40			
1 BED: 38			
2 BED: 24	(19%)		
3 BED: 8	(6%)		
	= (25% FAMILY UNITS)		
MINIMUM UNIT FLOOR AREA:		37 m <sup>2</sup> / 403 ft <sup>2</sup>	



MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
201-877 EAST HASTINGS STREET  
VANCOUVER, BC, CANADA, V6A 3Y1  
WWW.MAHG.CA

## ARYZE

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## DEVELOPMENT DATA SUMMARY FOR FUTURE SUBDIVISION

<b>HERITAGE BUILDING</b>	
SITE AREA:	1,847.1 m <sup>2</sup> / 19,882 ft <sup>2</sup>
HERITAGE FLOOR AREA TO BE RETAINED:	1,242.1 m <sup>2</sup> / 13,370 ft <sup>2</sup>
NEW ADDITIONS TO HERITAGE BLDG FLOOR AREA:	484.3 m <sup>2</sup> / 5,213 ft <sup>2</sup>
TOTAL FLOOR AREA:	1,726.4 m <sup>2</sup> / 18,583 ft <sup>2</sup>
FLOOR SPACE RATIO:	0.93
FRONT YARD SETBACK (WEST): (QUADRA ST)	NA
SIDE YARD SETBACK (SOUTH): (BALMORAL RD)	6m
SIDE YARD SETBACK (NORTH):	0m
REAR YARD SETBACK (EAST):	10m
SITE COVERAGE:	74%
<b>RESIDENTIAL BUILDING</b>	
SITE AREA:	2,595.2 m <sup>2</sup> / 27,935 ft <sup>2</sup>
RESIDENTIAL FLOOR AREA:	8,074.7m <sup>2</sup> / 86,916 ft <sup>2</sup>
COMMERCIAL FLOOR AREA:	275.6 m <sup>2</sup> / 2,966 ft <sup>2</sup>
TOTAL FLOOR AREA:	8,350.3 m <sup>2</sup> / 89,882 ft <sup>2</sup>
FLOOR SPACE RATIO:	3.22
FRONT YARD SETBACK (SOUTH):	NA
SIDE YARD SETBACK (EAST):	0m
SIDE YARD SETBACK (WEST):	0m
REAR YARD SETBACK (NORTH):	8m
SITE COVERAGE:	66%

## VEHICULAR PARKING REQUIREMENTS FOR ENTIRE SITE

BUILDING USE	REQUIRED PARKING	ACCESSIBLE USE + VAN ACCESSIBLE	REQUIRED PARKING	PROPOSED VEHICLE PARKING
<b>TABLE 1: MINIMUM NUMBER OF REQUIRED VEHICLE PARKING SPACES</b>				
<b>APARTMENT (SECURED RENTAL)</b> 0.50 SPACE PER UNIT < 45 m <sup>2</sup> (484 ft <sup>2</sup> ) 0.60 SPACE PER UNIT > 45 m <sup>2</sup> but < 70 m <sup>2</sup> 1.00 SPACE PER UNIT > 70 m <sup>2</sup> (753 ft <sup>2</sup> )	43 x 0.5 = 22 54 x 0.6 = 32 32 x 1.0 = 32	<b>TOTAL PARKING SPACES REQUIRED: 139</b> ACCESSIBLE: 101 SPACES OR MORE = 1 PER 25 PARKING SPACES = 6 VAN ACCESSIBLE: WHERE 2-6 ACCESSIBLE PARKING SPACES ARE REQUIRED, MIN 1 OF THESE SPACES MUST BE A VAN ACCESSIBLE SPACE		
<b>VISITOR SPACES</b> 0.10 SPACE PER UNIT	<b>TOTAL = 86</b> <b>(RESIDENTIAL)</b>	<b>ACCESSIBLE = 5</b> <b>VAN ACCESSIBLE = 1</b>		
<b>ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m<sup>2</sup> x 4 = 1,121 m<sup>2</sup></b> 1 SPACE PER 80 m <sup>2</sup>	<b>TOTAL = 13</b> <b>(VISITOR)</b>	<b>VISITOR SPACES = 13</b> ACCESSIBLE: 0 PER 6-25 SPACES VAN ACCESSIBLE: 1 PER 6-25 PACES		
<b>ASSEMBLY (60% OF CHURCH + NEW ADDITION)</b> = 2,802 m <sup>2</sup> x 6 = 1,681 m <sup>2</sup> 1 SPACE PER 80 m <sup>2</sup>	1,121 m <sup>2</sup> / 80 m <sup>2</sup> = 14	<b>VAN ACCESSIBLE = 1</b>		
<b>RESTAURANT</b> 1 SPACE PER 40 m <sup>2</sup> (72 m <sup>2</sup> + 35 m <sup>2</sup> OUTDOOR SEATING) / 40 m <sup>2</sup> = 3	1,681 m <sup>2</sup> / 80 m <sup>2</sup> = 21	<b>TOTAL REGULAR ACCESSIBLE = 5</b> <b>TOTAL VAN ACCESSIBLE = 2</b>		
<b>OFFICE</b> 1 SPACE PER 70 m <sup>2</sup>	155 m <sup>2</sup> / 70 m <sup>2</sup> = 2			
<b>TOTAL = 5</b> <b>(COMMERCIAL)</b>				
<b>TOTAL = 139</b>				
<b>USE</b>	<b>TYPE</b>	<b>COUNT</b>		
CAR SHARE	REG	1		
COMMERCIAL	ACC	1		
COMMERCIAL	REG	1		
INSTITUTIONAL	ACC	2		
INSTITUTIONAL	REG	2		
RESIDENTIAL	ACC	2		
RESIDENTIAL	REG	37		
RESIDENTIAL	VAN	1		
VISITOR	REG	7		
VISITOR	VAN	1		
<b>TOTAL VEHICLE PARKING:</b>		<b>55</b>		
<b>LOADING SPACES:</b>				
INSTITUTIONAL		1		
RESIDENTIAL		1 (AT STREET)		

## BIKE PARKING REQUIREMENTS FOR ENTIRE SITE

CLASS 1 - LONG-TERM USE	REQUIRED PARKING	CLASS 2 - SHORT-TERM USE	REQUIRED PARKING	PROPOSED BIKE PARKING
<b>TABLE 2: MINIMUM NUMBER OF REQUIRED BIKE PARKING SPACES</b>				
<b>MULTIPLE DWELLING</b> 1.00 SPACE PER UNIT < 45 m <sup>2</sup> (484 ft <sup>2</sup> ) 1.25 SPACE PER UNIT > 45 m <sup>2</sup> (484 ft <sup>2</sup> )	43 x 1.00 = 43 88 x 1.25 = 108	<b>MULTIPLE DWELLING</b> GREATER OF 6 SPACES OR 0.10 SPACES PER UNIT	129 X 0.10 = 13	
<b>ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m<sup>2</sup> x 4 = 1,121 m<sup>2</sup></b> 1.00 SPACE PER 450 m <sup>2</sup> (4844 ft <sup>2</sup> )	1,121 m <sup>2</sup> / 450 m <sup>2</sup> = 3	<b>ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m<sup>2</sup> x 4 = 1,121 m<sup>2</sup></b> 1.00 SPACE PER 130 m <sup>2</sup>	1,121m <sup>2</sup> / 130 m <sup>2</sup> = 9	
<b>ASSEMBLY (60% OF CHURCH + NEW ADDITION)</b> = 2,802 m <sup>2</sup> x 6 = 1,681 m <sup>2</sup> N/A	1,681 m <sup>2</sup> / N/A = 0	<b>ASSEMBLY (60% OF CHURCH + NEW ADDITION)</b> = 2,802 m <sup>2</sup> x 6 = 1,681 m <sup>2</sup> 1.00 SPACE PER 200 m <sup>2</sup>	1,681 m <sup>2</sup> / 200 m <sup>2</sup> = 9	
<b>RESTAURANT</b> 1.00 SPACE PER 400 m <sup>2</sup> (4306 ft <sup>2</sup> )	72 m <sup>2</sup> / 400 m <sup>2</sup> = 1	<b>RESTAURANT</b> 1.00 SPACE PER 100 m <sup>2</sup>	107 m <sup>2</sup> / 100 m <sup>2</sup> = 2	
<b>OFFICE</b> 1.00 SPACE PER 150 m <sup>2</sup> (1615 ft <sup>2</sup> )	155 m <sup>2</sup> / 150 m <sup>2</sup> = 3	<b>OFFICE</b> 1.00 SPACE PER 400 m <sup>2</sup> (4306 ft <sup>2</sup> )	155 m <sup>2</sup> / 400 m <sup>2</sup> = 1	
<b>TOTAL = 3</b> <b>(INSTITUTIONAL)</b>		<b>TOTAL = 18</b> <b>(INSTITUTIONAL)</b>		
<b>TOTAL = 4</b> <b>(COMMERCIAL)</b>		<b>TOTAL = 3</b> <b>(COMMERCIAL)</b>		
<b>TOTAL = 158</b>		<b>TOTAL = 34</b>		
<b>CLASS 1 - LONG-TERM USE</b>		<b>CLASS 2 - SHORT-TERM USE</b>		
<b>PROGRAM</b>	<b>USE</b>	<b>TYPE</b>	<b>COUNT</b>	
COMMERCIAL	LONG-TERM	H	2	
COMMERCIAL	LONG-TERM	V	2	
INSTITUTIONAL	LONG-TERM	H	4	
RESIDENTIAL	LONG-TERM	C	13	
RESIDENTIAL	LONG-TERM	H	90	
RESIDENTIAL	LONG-TERM	V	51	
			154	
			162	
<b>CLASS 2 - SHORT-TERM USE</b>				
<b>PROGRAM</b>	<b>USE</b>	<b>TYPE</b>	<b>COUNT</b>	
COMMERCIAL	SHORT-TERM	H	3	
INSTITUTIONAL	SHORT-TERM	H	21	
RESIDENTIAL	SHORT-TERM	H	13	
			13	
			37	
<b>NOTE: ALL BICYCLE STALLS WITHIN THE PARKADE ARE LONG-TERM RESIDENTIAL</b>				

932 BALMORAL RD  
& 1701 QUADRA ST

ISSUED FOR REZONING &  
DEVELOPMENT PERMIT TRG  
RESPONSE 2

DECEMBER 19, 2025



2025-12-19

## DEVELOPMENT DATA

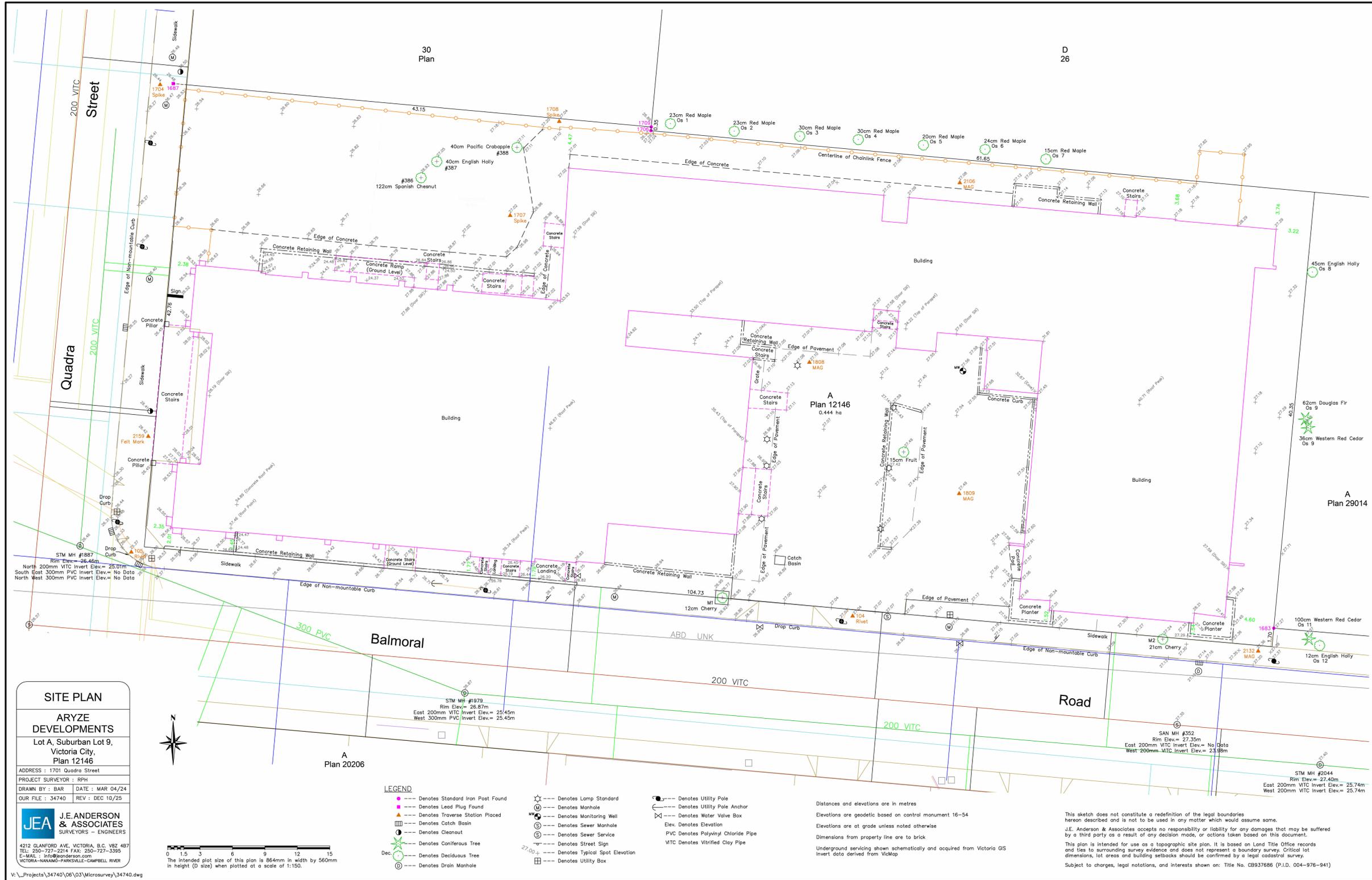
SCALE  
12" = 1'-0"



2025-12-19

**SURVEY**

SCALE



**SITE PLAN**  
ARYZE DEVELOPMENTS  
Lot A, Suburban Lot 9,  
Victoria City,  
Plan 12146  
ADDRESS : 1701 Quadra Street  
PROJECT SURVEYOR : RPH  
DRAWN BY : BAR DATE : MAR 04/24  
OUR FILE : 34740 REV : DEC 10/25

**JEA J.E. ANDERSON & ASSOCIATES**  
SURVEYORS - ENGINEERS

4212 CLANFORD AVE, VICTORIA, B.C. V8Z 4B7  
TEL: 250-727-2214 FAX: 250-727-3395  
E-MAIL: info@jeaanderson.com  
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER



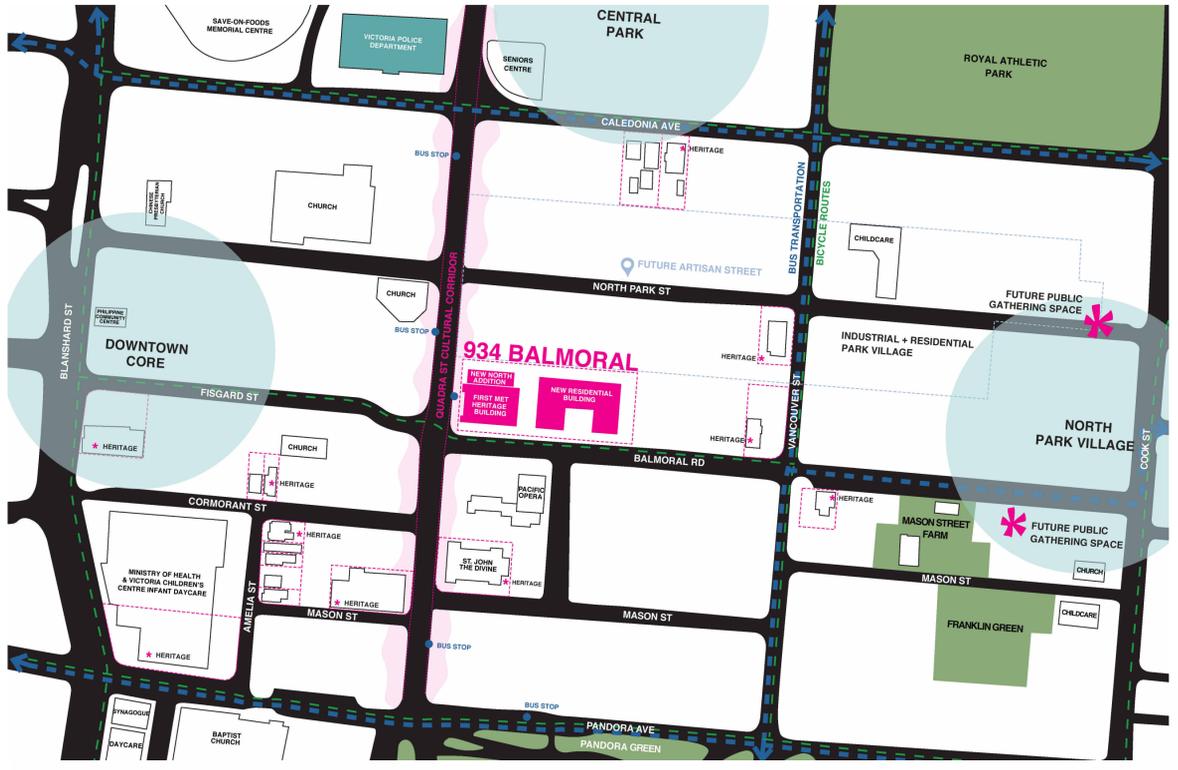
- LEGEND**
- Denotes Standard Iron Post Found
  - Denotes Lead Plug Found
  - Denotes Traverse Station Placed
  - Denotes Catch Basin
  - ▨ Denotes Cleanout
  - Dec Denotes Coniferous Tree
  - Dec Denotes Deciduous Tree
  - Denotes Drain Manhole
  - ⊙ Denotes Lamp Standard
  - ⊙ Denotes Manhole
  - ⊙ Denotes Monitoring Well
  - ⊙ Denotes Sewer Manhole
  - ⊙ Denotes Sewer Service
  - ⊙ Denotes Street Sign
  - ⊙ Denotes Typical Spot Elevation
  - ⊙ Denotes Utility Box
  - ⊙ Denotes Utility Pole
  - ⊙ Denotes Utility Pole Anchor
  - ⊙ Denotes Water Valve Box
  - Elev. Denotes Elevation
  - PVC Denotes Polyvinyl Chloride Pipe
  - VTC Denotes Vitreous Clay Pipe

Distances and elevations are in metres  
Elevations are geodetic based on control monument 16-54  
Elevations are at grade unless noted otherwise  
Dimensions from property line are to brick  
Underground servicing shown schematically and acquired from Victoria GIS  
Invert data derived from VicMap

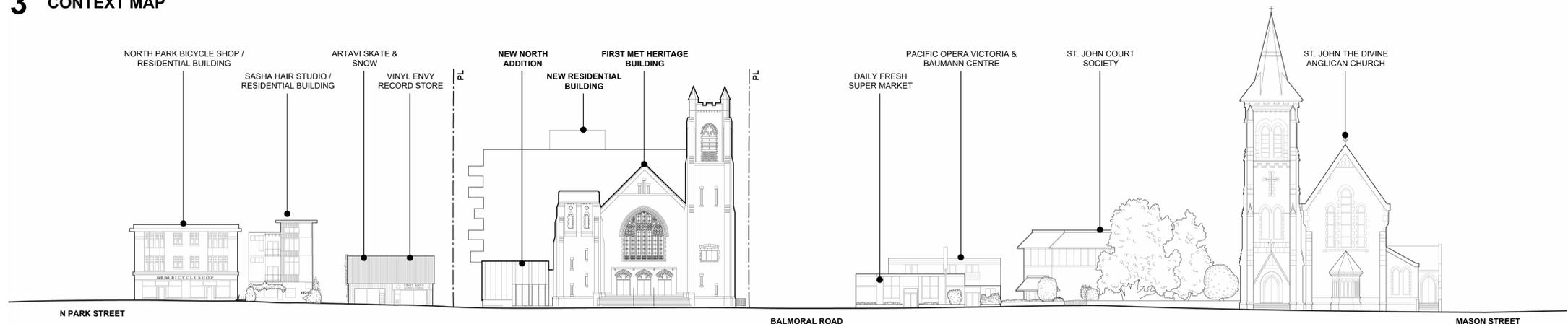
This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.  
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.  
This plan is intended for use as a topographic site plan. It is based on Land Title Office records and ties to surrounding survey evidence and does not represent a boundary survey. Critical lot dimensions, lot areas and building setbacks should be confirmed by a legal cadastral survey.  
Subject to charges, legal notations, and interests shown on: Title No. C8937686 (P.I.D. 004-976-941)

ARYZE

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3 CONTEXT MAP



932 BALMORAL RD & 1701 QUADRA ST

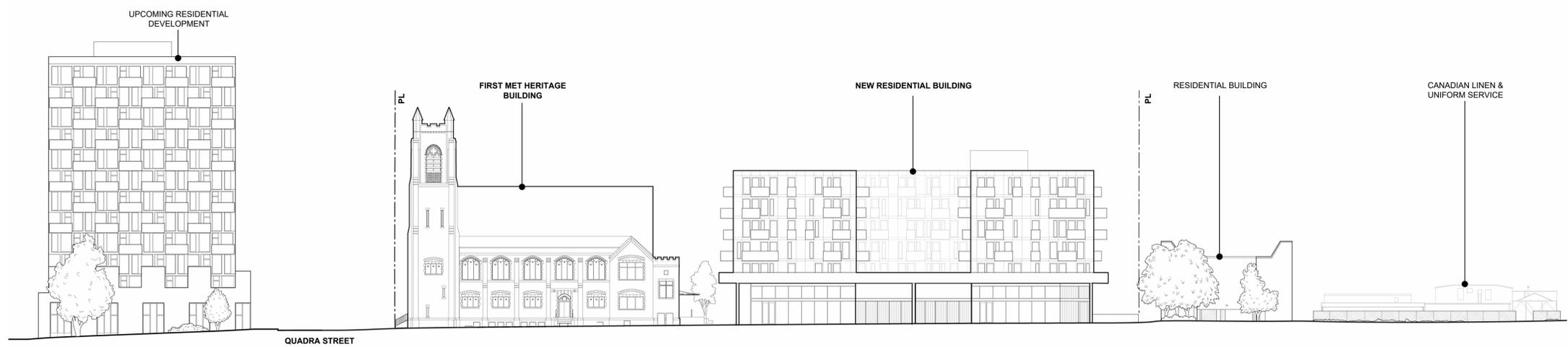
ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2  
DECEMBER 19, 2025



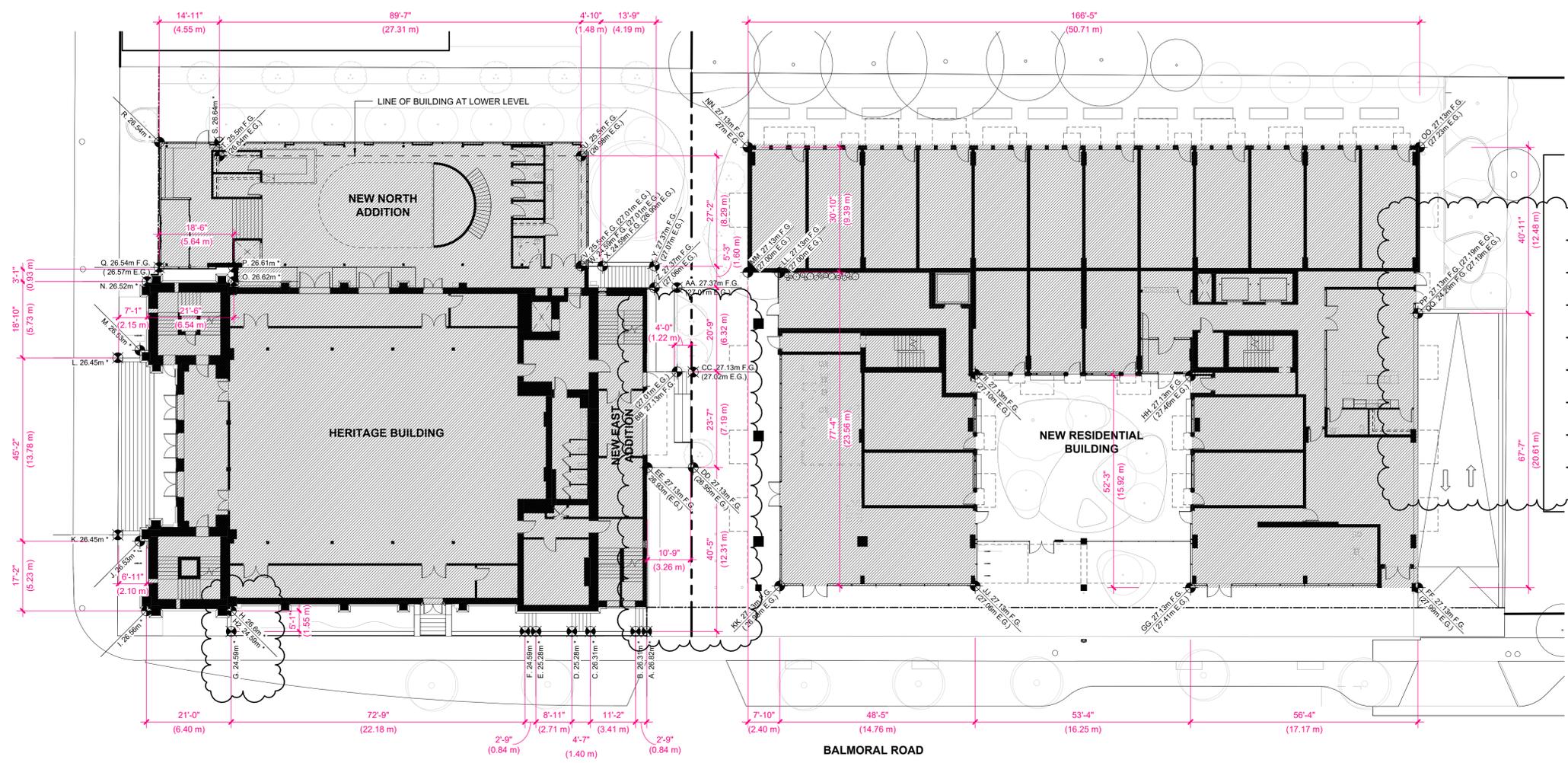
SITE CONTEXT



2 STREETScape: BALMORAL ROAD



1 STREETScape: QUADRA STREET



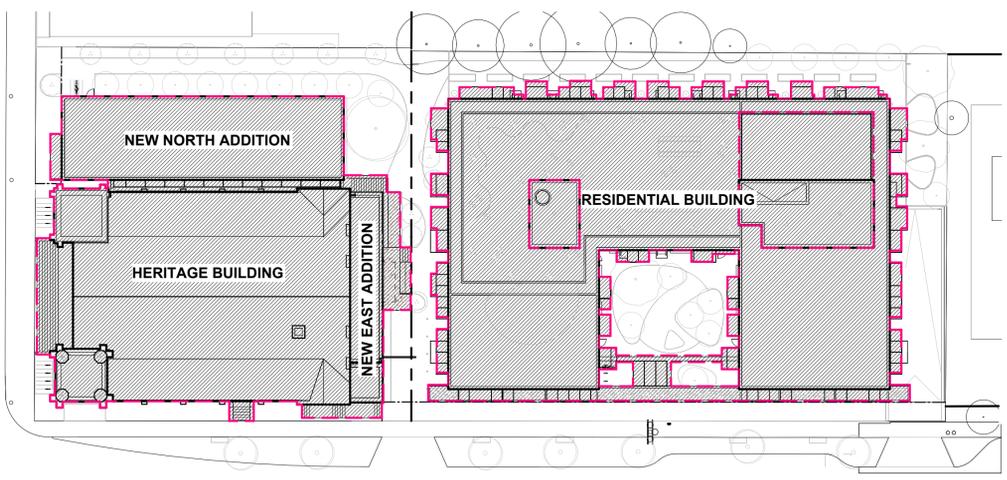
**2 AVERAGE GRADE KEYPLAN**  
A0.04 SCALE: 1/16" = 1'-0"

**AVERAGE GRADE CALCULATIONS**

FIRST MET HERITAGE BUILDING			
GRADE POINTS	AVERAGE OF POINTS (m)	DISTANCE IN PLAN (m)	TOTALS
SOUTH			
A TO B	26.57	0.84	22.31
B TO C	26.31	3.41	89.72
C TO D	25.80	1.40	36.11
D TO E	25.28	2.71	68.51
E TO F	24.94	0.84	20.95
F TO G	24.59	22.18	545.41
G TO H	25.60	1.55	39.67
H TO I	26.58	6.40	170.11
I TO J	26.55	5.23	138.83
J TO K	26.49	2.16	57.75
K TO L	26.45	13.78	364.46
L TO M	26.49	2.15	56.95
M TO N	26.53	5.73	151.99
N TO O	26.57	6.54	173.77
O TO P	26.62	0.93	24.75
P TO Q	26.58	5.64	149.86
Q TO R	26.54	9.56	253.72
R TO S	26.59	4.55	120.89
S TO T	26.07	1.04	27.11
T TO U	26.50	27.21	696.41
U TO V	25.50	8.26	210.63
V TO X	24.50	1.63	40.08
X TO Y	25.83	3.91	101.00
Y TO Z	27.07	1.62	43.85
Z TO AA	27.07	1.69	45.74
AA TO BB	27.04	7.80	210.91
BB TO CC	27.02	1.22	32.96
CC TO DD	26.99	6.13	171.39
DD TO EE	26.94	3.47	93.46
EE TO A	26.88	0.91	236.33
SUM:	171.61	4473.78	
AVERAGE GRADE:	26.07 m (85.53')		

RESIDENTIAL BUILDING			
GRADE POINTS	AVERAGE OF POINTS (m)	DISTANCE IN PLAN (m)	TOTALS
SOUTH			
FF TO GG	27.13	17.17	465.82
GG TO HH	27.13	15.92	431.91
HH TO II	27.12	16.25	440.62
II TO JJ	27.08	15.92	431.11
JJ TO KK	27.03	14.76	398.89
KK TO LL	27.00	23.56	636.00
LL TO MM	27.00	2.40	64.80
MM TO NN	27.00	9.39	253.33
NN TO OO	27.07	50.71	1372.47
OO TO FF	27.13	33.06	897.73
SUM:	186.17	5382.88	
AVERAGE GRADE:	27.08 m (88.85')		

**AVERAGE GRADE NOTES:**  
F.G.: FINISH GRADE  
E.G.: EXISTING GRADE  
\* INDICATES WHERE FINISH GRADE AND EXISTING GRADE ARE EQUAL



**1 SITE COVERAGE DIAGRAM**  
A0.04 SCALE: 1/32" = 1'-0"

**SITE COVERAGE CALCULATIONS:**

SITE AREA: 47,790 ft<sup>2</sup> / 4,439.8 m<sup>2</sup>  
HERITAGE BUILDING + ADDITIONS: 14,635 SF (1,360 m<sup>2</sup>)  
RESIDENTIAL BUILDING: 18,444 SF (1,714 m<sup>2</sup>)  
**TOTAL: 33,079 SF (3,074 m<sup>2</sup>)**  
**SITE COVERAGE: 69%**

HERITAGE BUILDING  
BUILDING FOOTPRINT: 1,360 m<sup>2</sup>  
SITE AREA: 1,847.1 m<sup>2</sup>  
**SITE COVERAGE: 74%**

RESIDENTIAL BUILDING  
BUILDING FOOTPRINT: 1,714 m<sup>2</sup>  
SITE AREA: 2,595.2 m<sup>2</sup>  
**SITE COVERAGE: 66%**

**ROOFTOP STRUCTURE CALCULATIONS**

RESIDENTIAL BUILDING  
TOTAL ROOF AREA: 15,392 SF (1,430 m<sup>2</sup>)  
ROOFTOP STRUCTURE AREA: 2,997 SF (276 m<sup>2</sup>)  
**ROOF COVERAGE: 19.5%**



MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
201-877 EAST HASTINGS STREET  
VANCOUVER, BC, CANADA, V6A 3Y1  
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# ARYZE

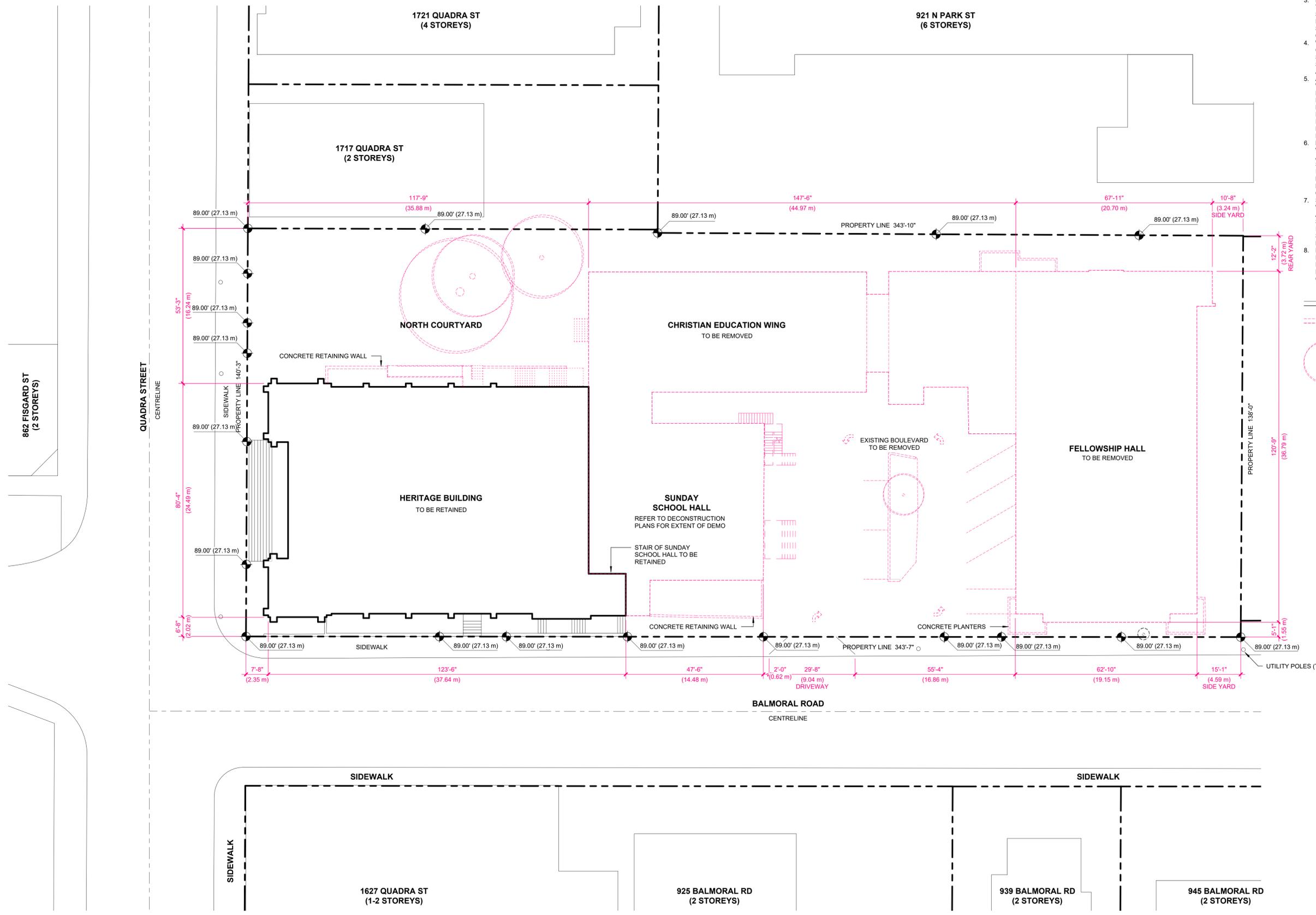
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### NOTES:

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- PRESERVE THE ORIGINAL LOCATION OF THE CHURCH AND RETAINED WALL DORMERS AND SOUTHEAST STAIRCASE SECTIONS OF THE SUNDAY SCHOOL HALL. ALL REHABILITATION WORK SHOULD OCCUR WITHIN THE PROPERTY LINES OF THE SITE. MATERIALS FROM DEMOLISHED PORTION OF THE SUNDAY SCHOOL HALL TO BE SALVAGED, IF FEASIBLE, FOR POSSIBLE REUSE IN THE REPAIR OF THE RETAINED SECTIONS OF THE HALL AND/OR THE CHURCH.
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- PORTION TO BE RETAINED
- - - PORTION TO BE DEMOLISHED.

- EXISTING TREES TO BE REMOVED. REFER TO ARBORIST REPORT FOR SCOPE OF REMOVAL AND RETENTION.



## 932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2  
DECEMBER 19, 2025



2025-12-19

## DECONSTRUCTION SITE PLAN

SCALE  
1/16" = 1'-0"





MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
201-871 EAST HASTINGS STREET  
VANCOUVER, BC, CANADA, V6A 3Y1  
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932 BALMORAL RD & 1701 QUADRA ST

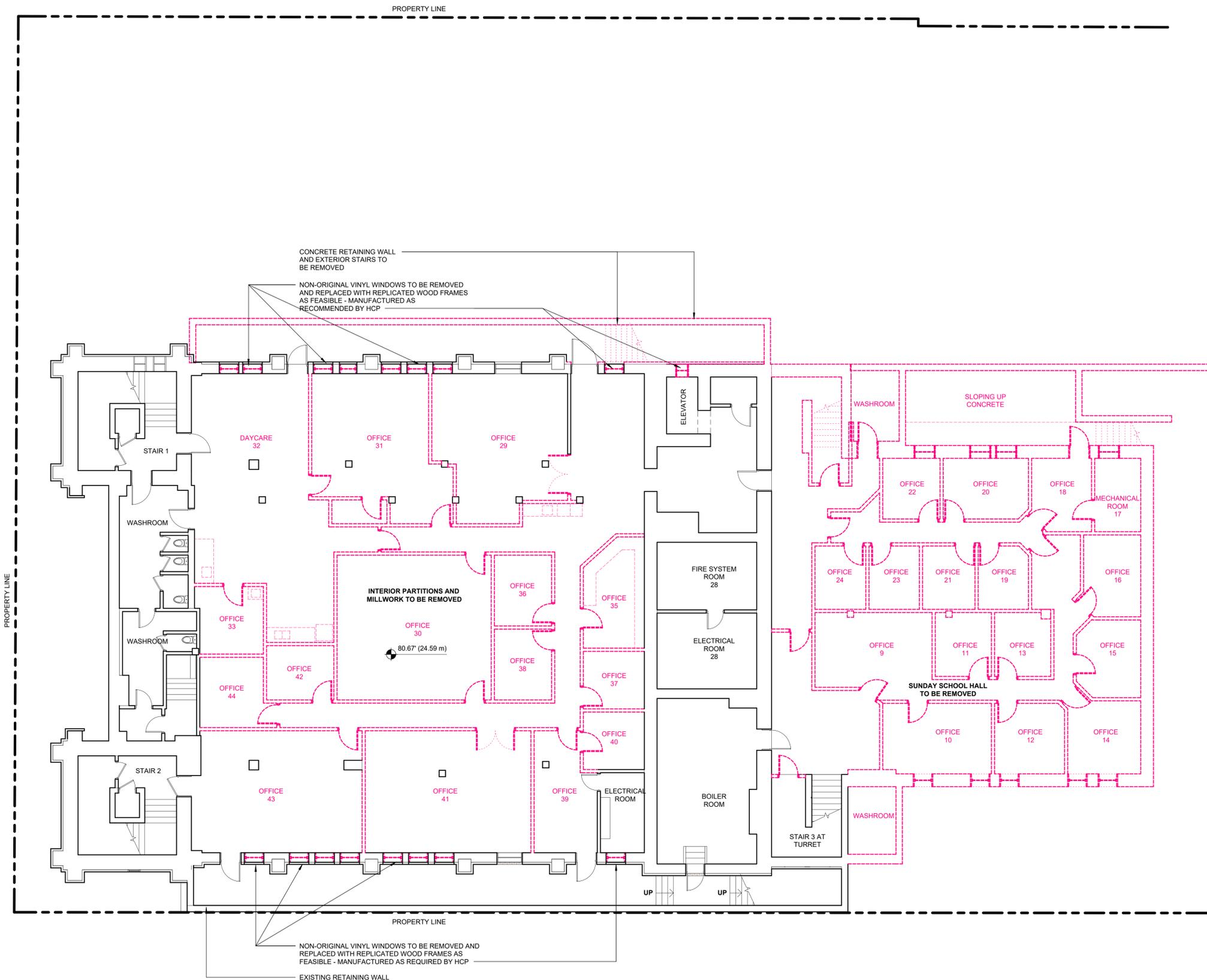
ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



## DECONSTRUCTION PLAN LOWER FLOOR - HERITAGE BLDG

SCALE  
1/8" = 1'-0"





MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
201-877 EAST HASTINGS STREET  
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& 1701 QUADRA ST

ISSUED FOR REZONING &  
DEVELOPMENT PERMIT TRG  
RESPONSE 2

DECEMBER 19, 2025



2025-12-19

## DECONSTRUCTION PLAN FIRST FLOOR - HERITAGE BLDG

SCALE  
1/8" = 1'-0"

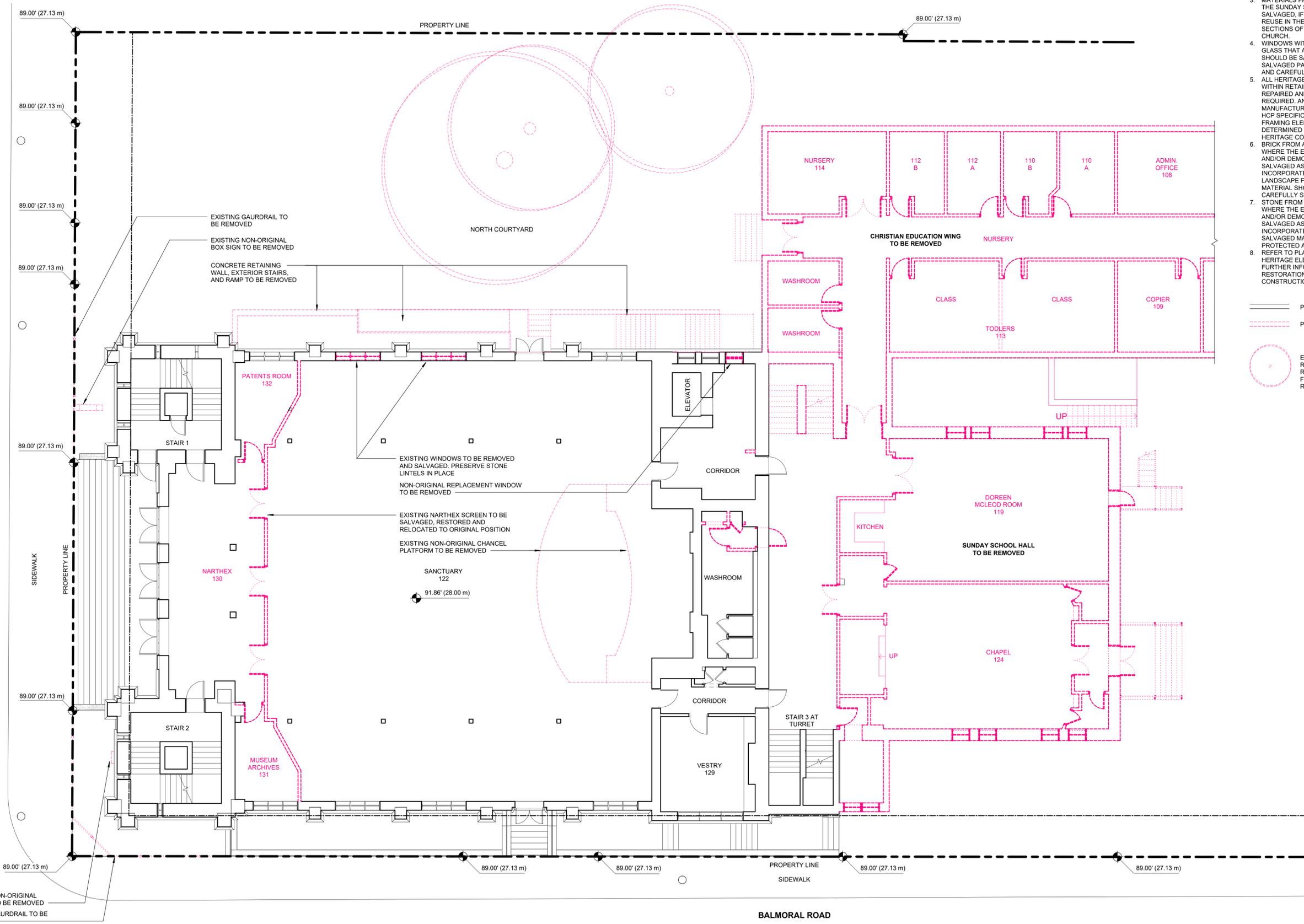


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MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
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932 BALMORAL RD & 1701 QUADRA ST

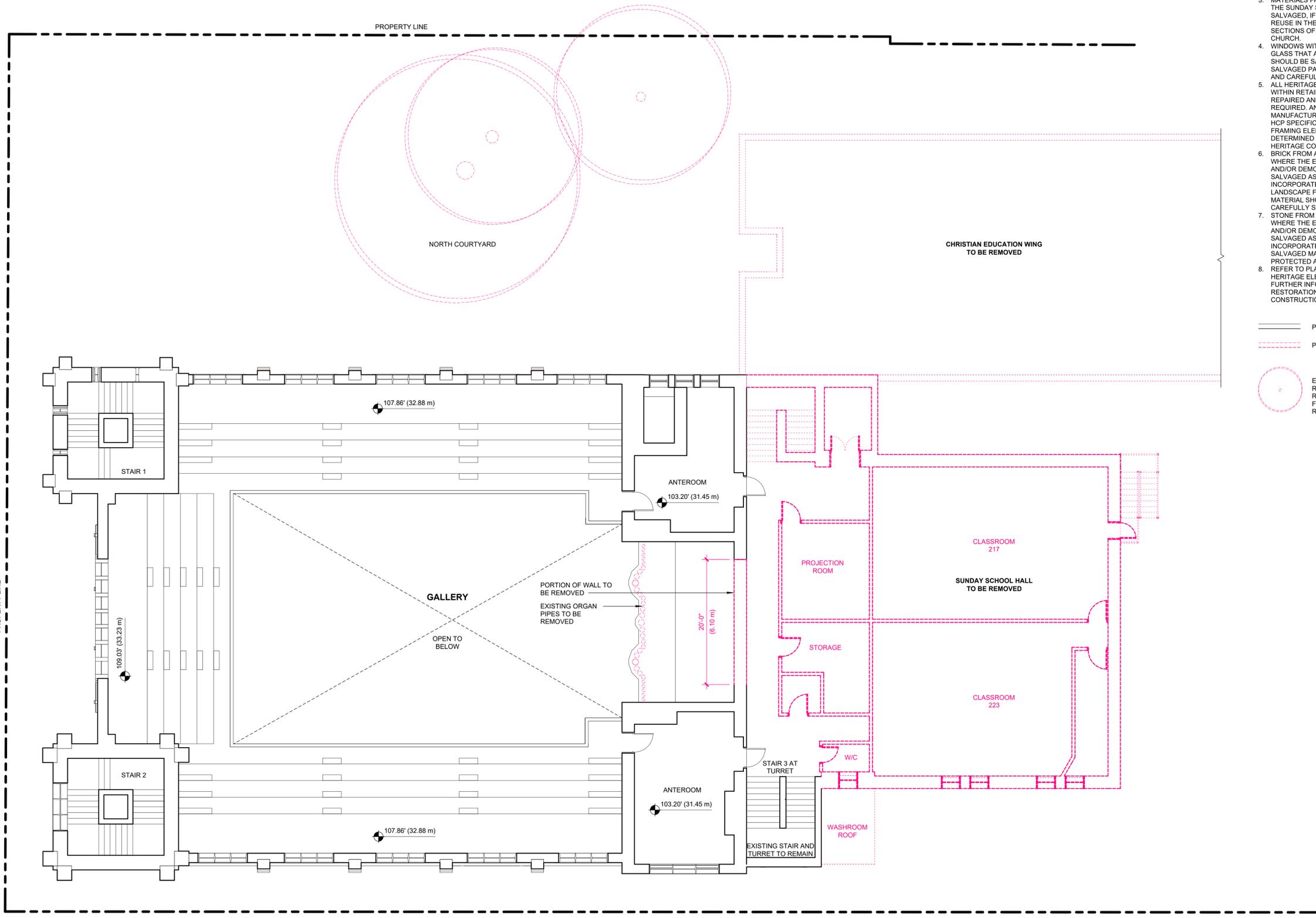
ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



## DECONSTRUCTION PLAN MEZZANINE - HERITAGE BLDG

SCALE  
1/8" = 1'-0"



QUADRA STREET

PROPERTY LINE

PROPERTY LINE

NORTH COURTYARD

CHRISTIAN EDUCATION WING  
TO BE REMOVED

STAIR 1

109.03' (33.23 m)

STAIR 2

GALLERY

OPEN TO BELOW

PORTION OF WALL TO BE REMOVED  
EXISTING ORGAN PIPES TO BE REMOVED

ANTEROOM

103.20' (31.45 m)

ANTEROOM

103.20' (31.45 m)

PROJECTION ROOM

STORAGE

CLASSROOM 217

SUNDAY SCHOOL HALL  
TO BE REMOVED

CLASSROOM 223

STAIR 3 AT TURRET

EXISTING STAIR AND TURRET TO REMAIN

WIC

WASHROOM ROOF

PROPERTY LINE

BALMORAL ROAD



MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
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932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



2025-12-19

## DECONSTRUCTION PLAN ROOF - HERITAGE BLDG

SCALE  
1/8" = 1'-0"



QUADRA STREET

PROPERTY LINE

PROPERTY LINE

NORTH COURTYARD

CHRISTIAN EDUCATION WING  
TO BE REMOVED

SUNDAY SCHOOL HALL  
TO BE REMOVED

PROPERTY LINE

BALMORAL ROAD

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## 932 BALMORAL RD & 1701 QUADRA ST

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DECEMBER 19, 2025



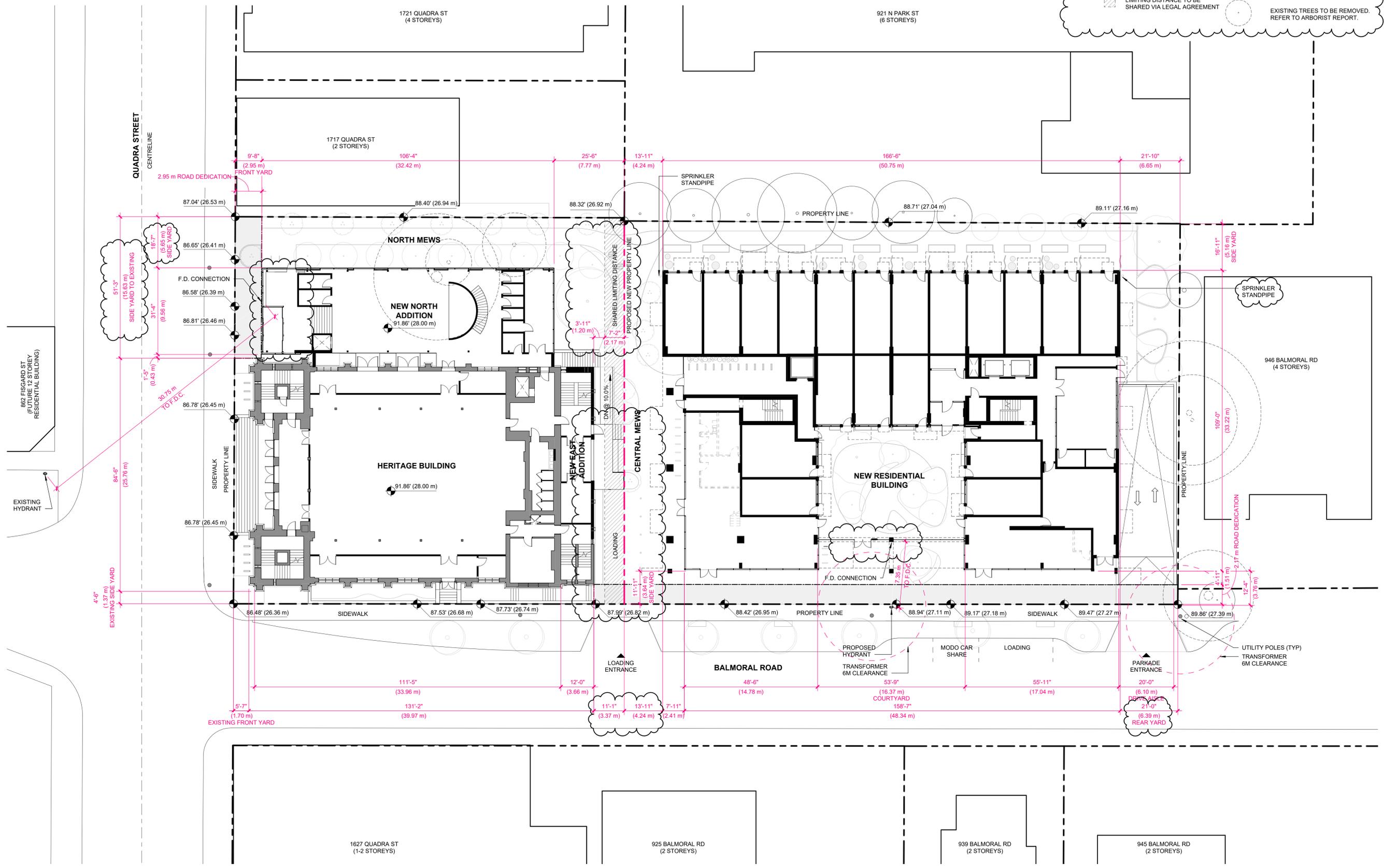
### SITE PLAN AT LEVEL 1

SCALE  
As indicated



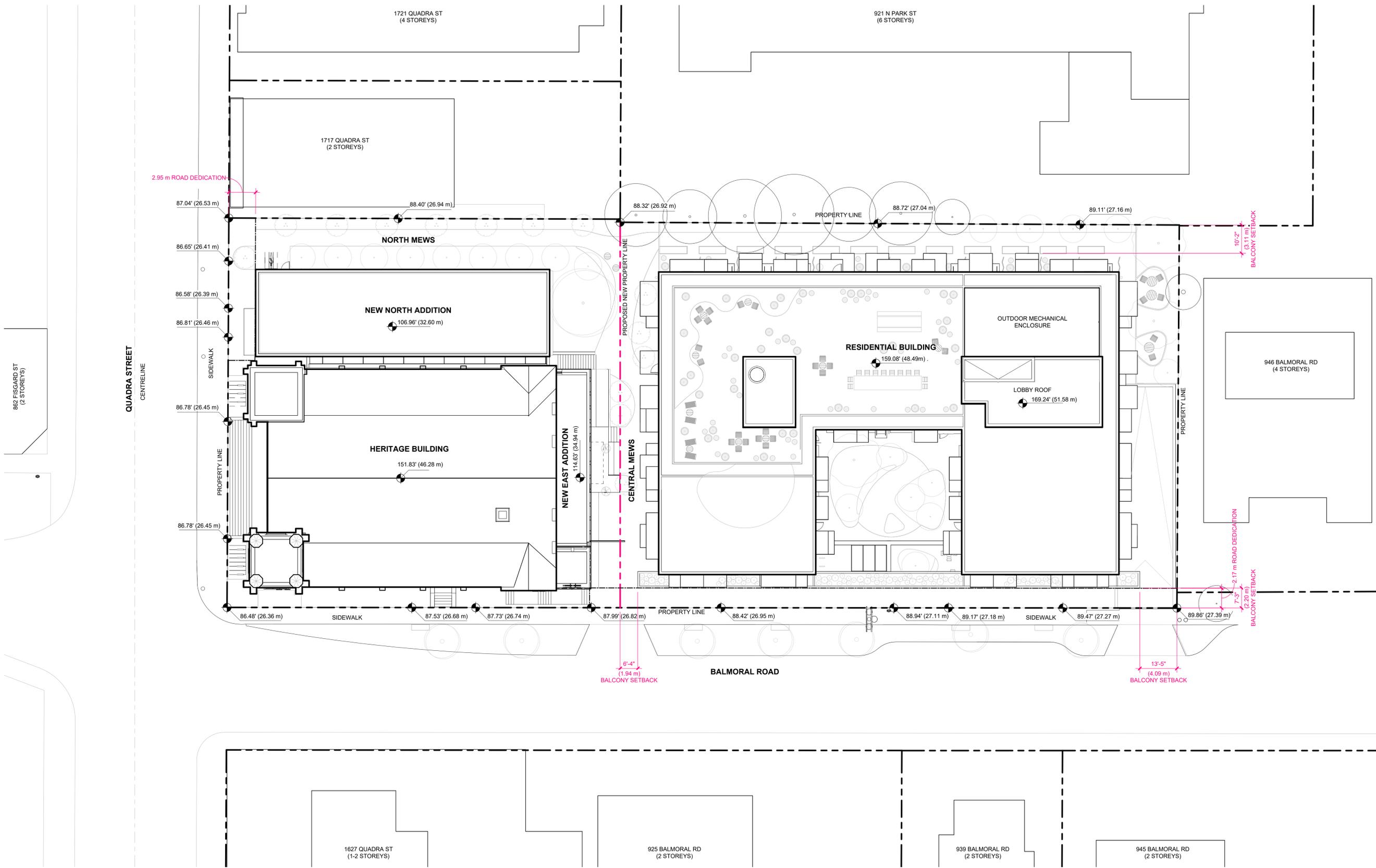
**PLAN LEGEND:**

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION
- ROAD DEDICATION
- LIMITING DISTANCE TO BE SHARED VIA LEGAL AGREEMENT
- NEW TREES. REFER TO LANDSCAPE DRAWINGS FOR ALL SPECIES AND SIZES.
- EXISTING OFF-SITE TREES TO BE RETAINED. REFER TO ARBORIST REPORT.
- EXISTING TREES TO BE REMOVED. REFER TO ARBORIST REPORT.



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### SITE PLAN AT ROOF

SCALE  
1/16" = 1'-0"





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DECEMBER 19, 2025



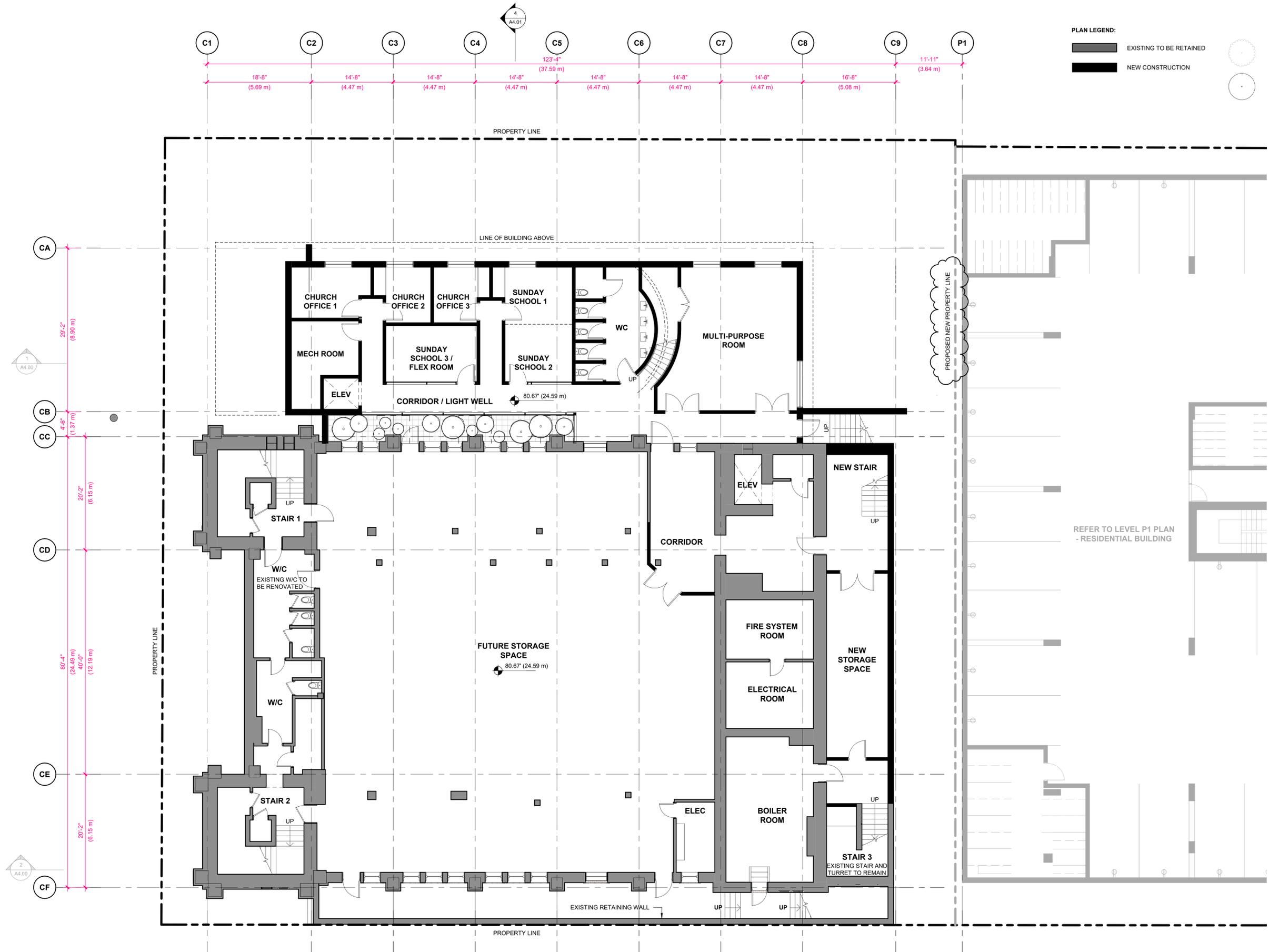
LOWER FLOOR PLAN -  
HERITAGE BLDG

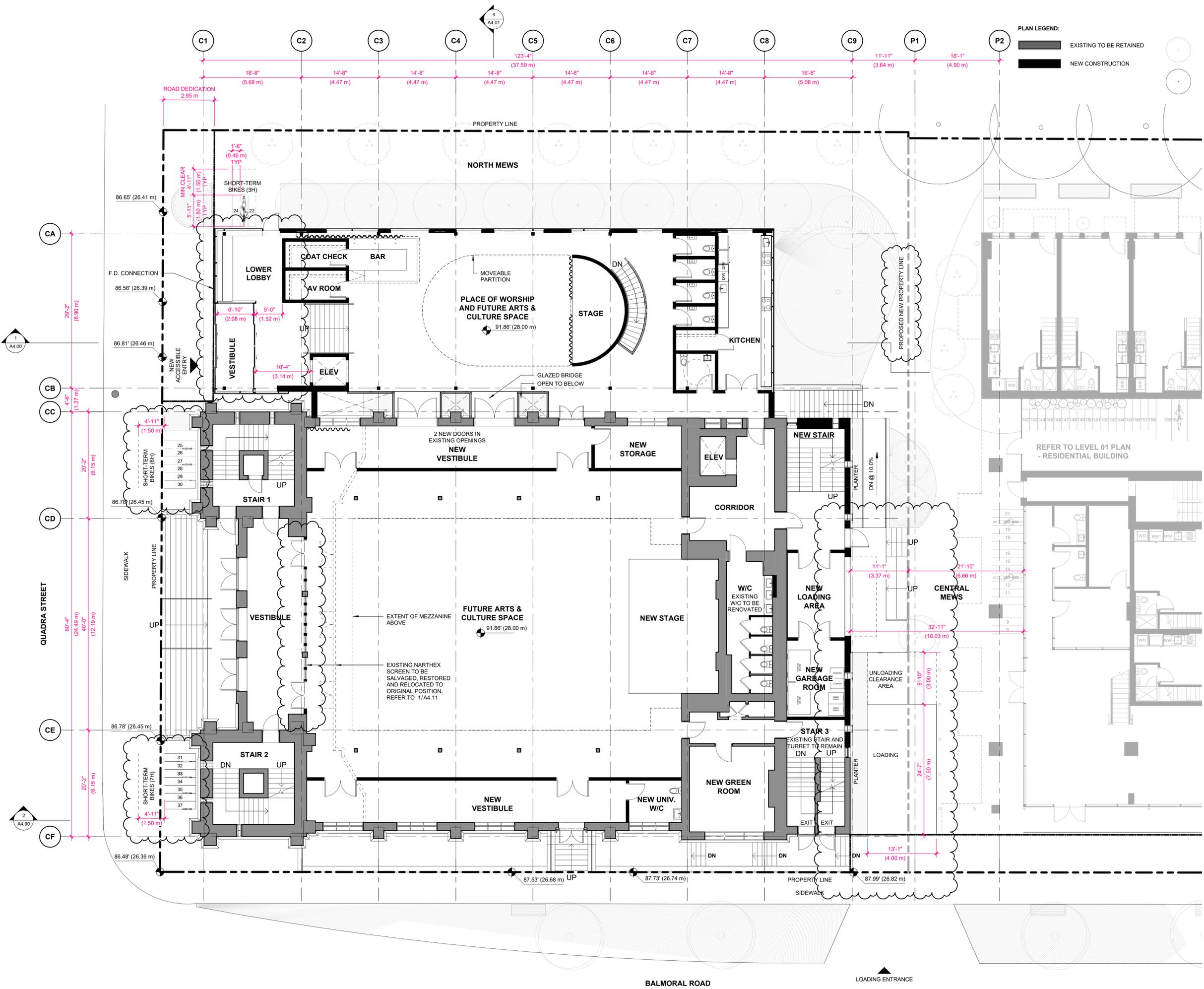
SCALE  
1/8" = 1'-0"



PLAN LEGEND:  
EXISTING TO BE RETAINED  
NEW CONSTRUCTION

NEW TREES. REFER TO  
LANDSCAPE DRAWINGS FOR  
ALL SPECIES AND SIZES.  
EXISTING OFF-SITE TREES TO BE  
RETAINED. REFER TO ARBORIST  
REPORT.





**PLAN LEGEND:**  
 [Hatched Box] EXISTING TO BE RETAINED  
 [Solid Black Box] NEW CONSTRUCTION

NEW TREES. REFER TO LANDSCAPE DRAWINGS FOR ALL SPECIES AND SIZES.  
 EXISTING OFF-SITE TREES TO BE RETAINED. REFER TO ARBORIST REPORT.



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**932 BALMORAL RD & 1701 QUADRA ST**

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2  
 DECEMBER 19, 2025



## FIRST FLOOR PLAN - HERITAGE BLDG

SCALE  
 1/8" = 1'-0"



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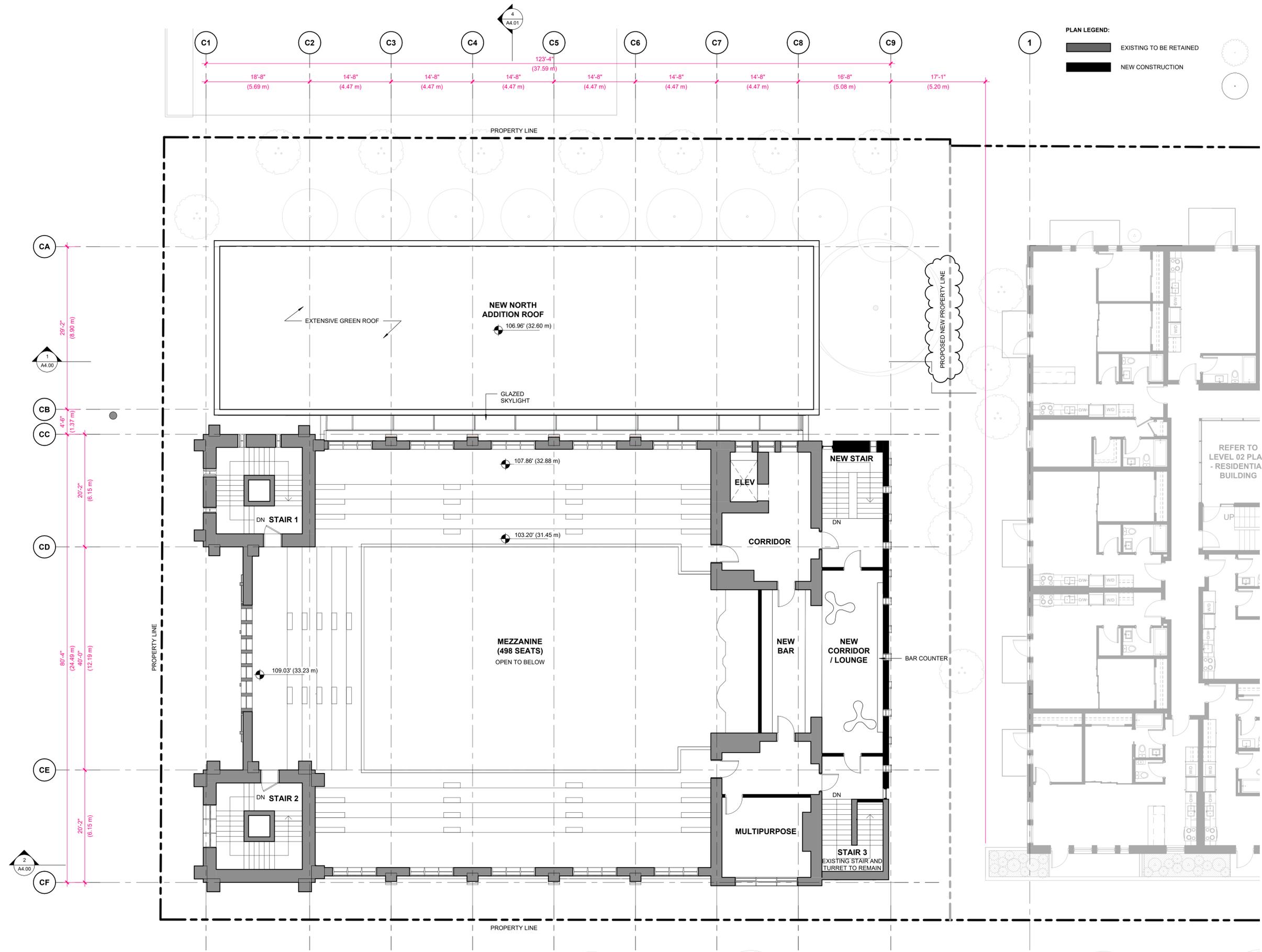
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RESPONSE 2  
DECEMBER 19, 2025



## MEZZANINE PLAN - HERITAGE BLDG

SCALE  
1/8" = 1'-0"



PLAN LEGEND:  
[Solid line] EXISTING TO BE RETAINED  
[Dashed line] NEW CONSTRUCTION

NEW TREES. REFER TO  
LANDSCAPE DRAWINGS FOR  
ALL SPECIES AND SIZES.  
EXISTING OFF-SITE TREES TO BE  
RETAINED. REFER TO ARBORIST  
REPORT.

REFER TO  
LEVEL 02 PLAN  
- RESIDENTIAL  
BUILDING

PROPOSED NEW PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

1  
A4.00

2  
A4.00

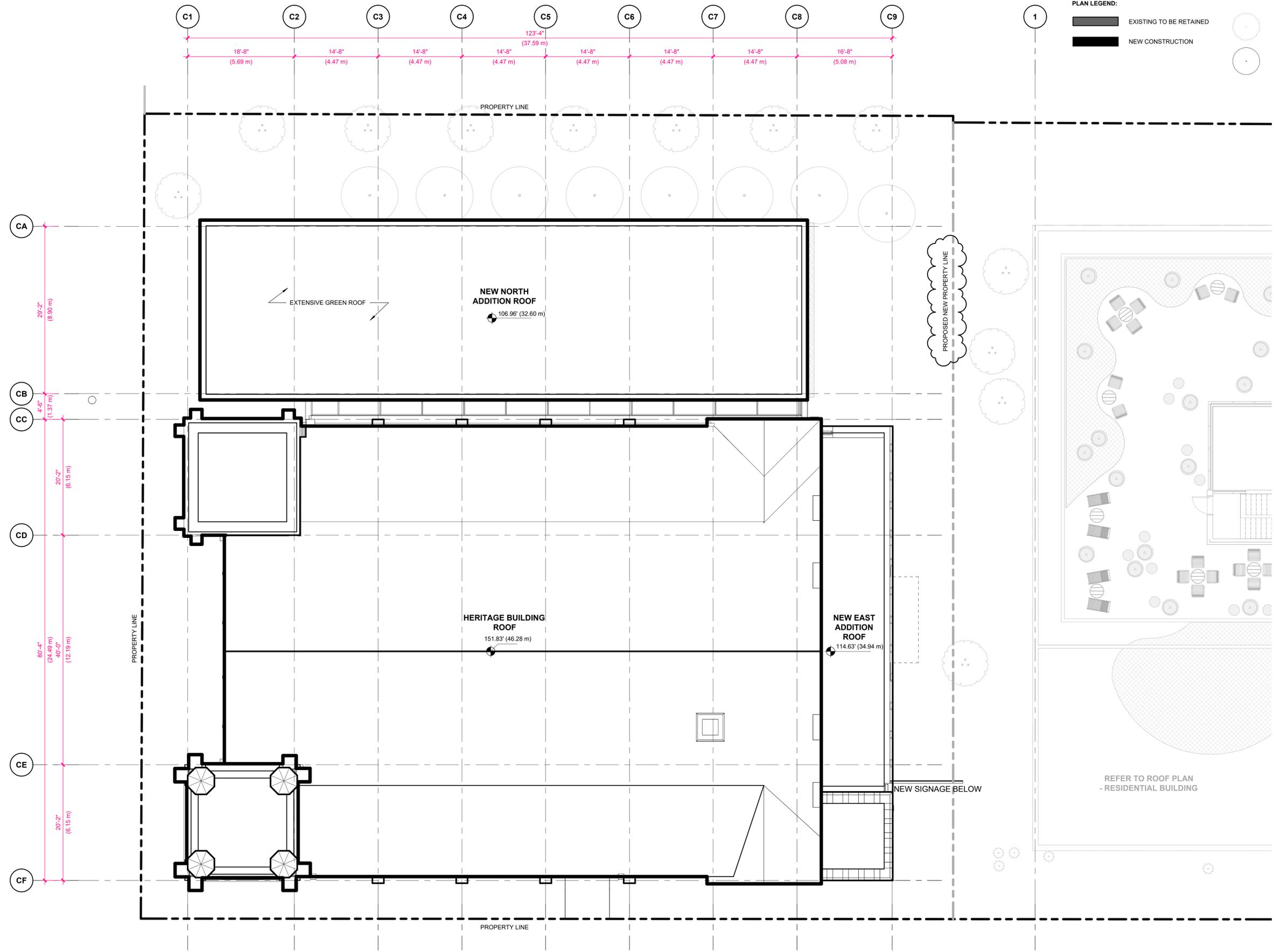
4  
A4.01



PLAN LEGEND:

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION

- NEW TREES. REFER TO LANDSCAPE DRAWINGS FOR ALL SPECIES AND SIZES.
- EXISTING OFF-SITE TREES TO BE RETAINED. REFER TO ARBORIST REPORT.



**PARKING STALL LEGEND**

- R RESIDENTIAL
  - V VISITOR
  - C COMMERCIAL
  - I INSTITUTIONAL
- ⊕ ELECTRIC VEHICLE OUTLET. (RECESSED RECEPTICAL SO AS TO NOT PROJECT INTO PARKING SPACE DIMENSION)
- VERTICAL SIGN MOUNTED IN FRONT OF EACH ACCESSIBLE STALL (LOCATE 2.1M ABOVE FINISH GRADE PER ZONING BYLAW 2018 PART 5 SECTION 7.2.1)



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201-877 EAST HASTINGS STREET  
VANCOUVER, BC, CANADA, V6A 3Y1  
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**932 BALMORAL RD & 1701 QUADRA ST**

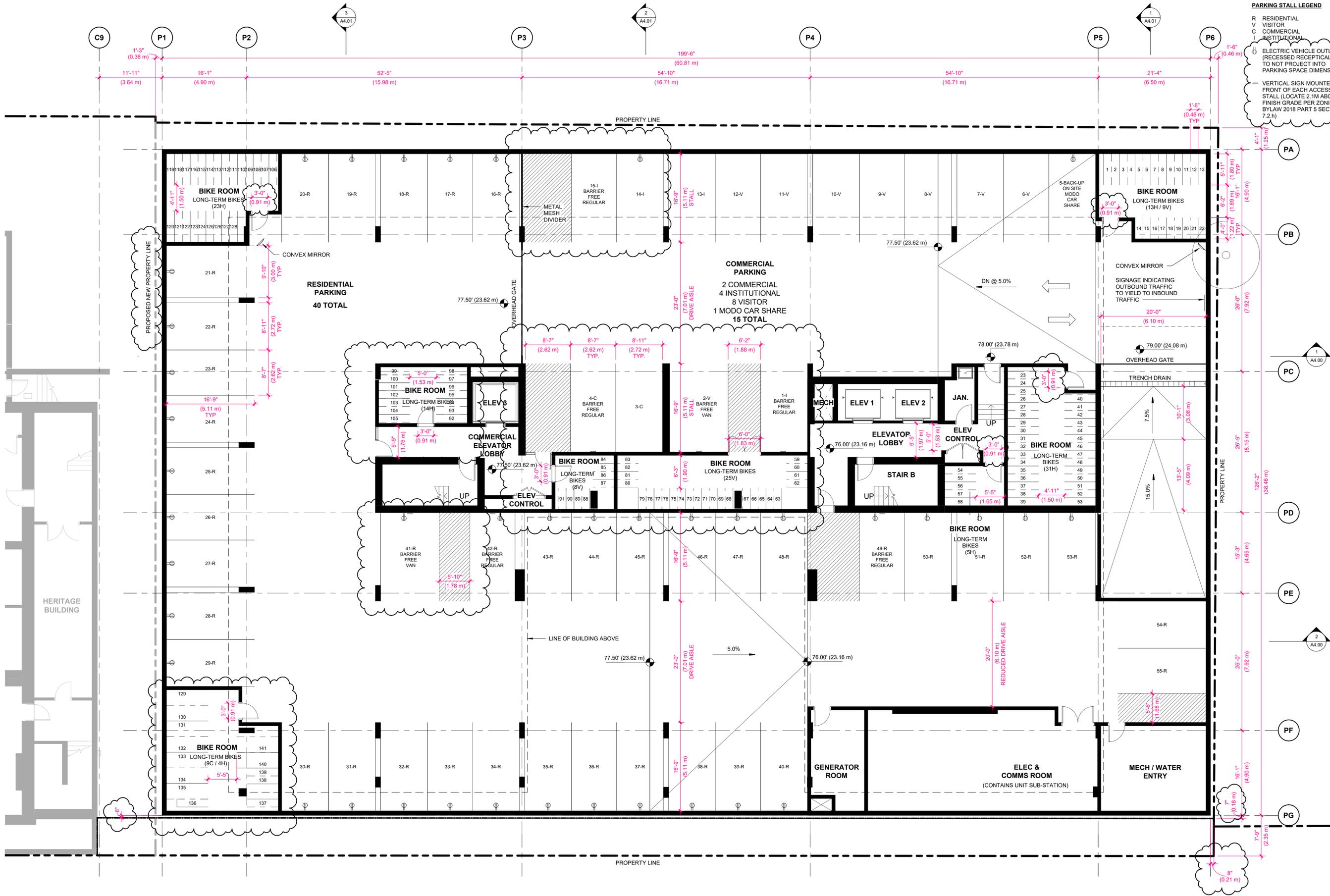
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**LEVEL P1 PLAN - RESIDENTIAL BLDG**

SCALE  
1/8" = 1'-0"





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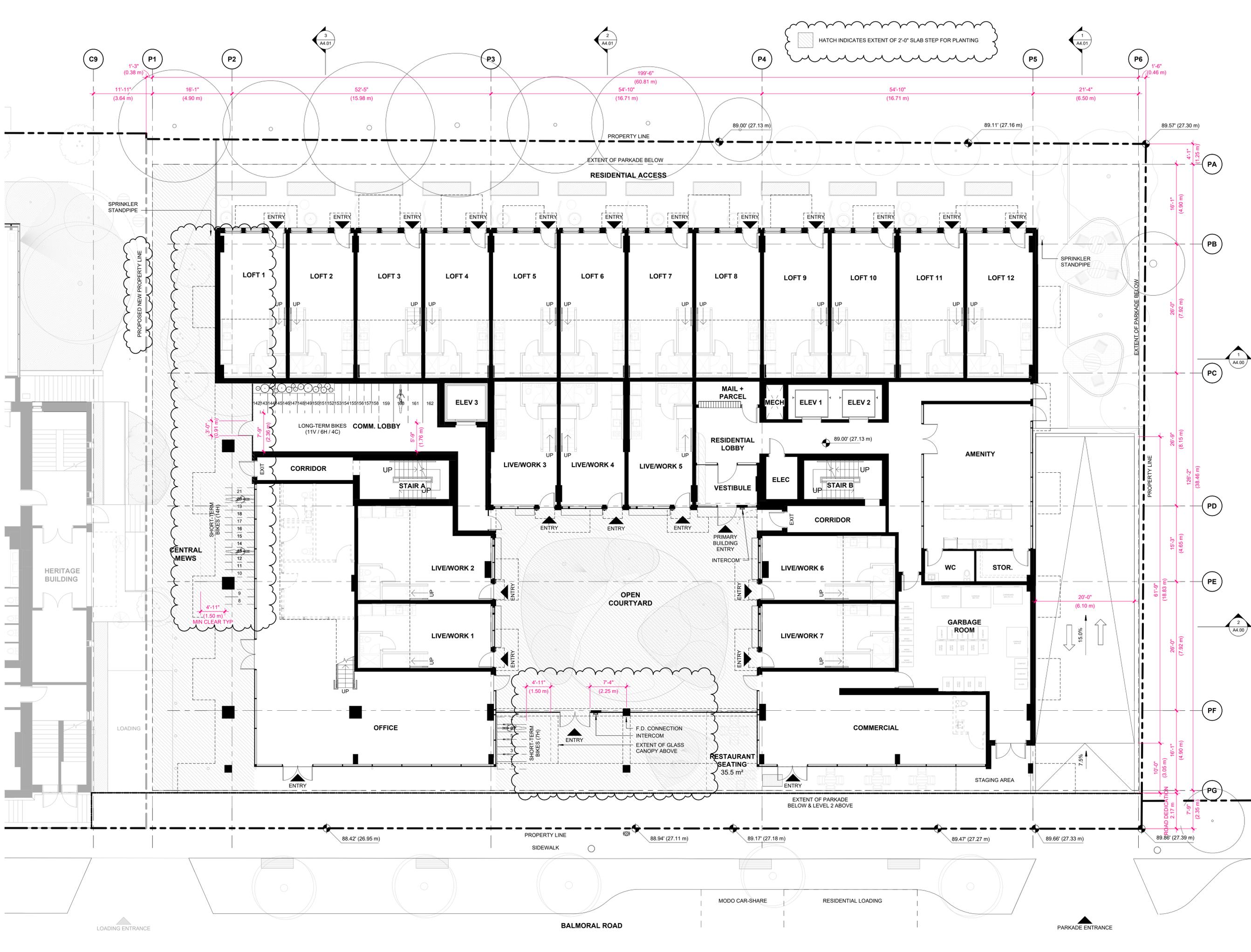
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## LEVEL 01 PLAN - RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"



HATCH INDICATES EXTENT OF 2'-0" SLAB STEP FOR PLANTING

PA

PB

PC

PD

PE

PF

PG

C9

P1

P2

P3

P4

P5

P6

3  
A4.01

2  
A4.01

1  
A4.01

1  
A4.00

2  
A4.00

SPRINKLER STANDPIPE

SPRINKLER STANDPIPE

HERITAGE BUILDING

LOADING

LOADING ENTRANCE

BALMORAL ROAD

MODO CAR-SHARE

RESIDENTIAL LOADING

PARKADE ENTRANCE

PROPERTY LINE

EXTENT OF PARKADE BELOW

RESIDENTIAL ACCESS

EXTENT OF PARKADE BELOW

PROPERTY LINE

EXTENT OF PARKADE BELOW & LEVEL 2 ABOVE

PROPERTY LINE

SIDEWALK

88.94' (27.11 m)

89.17' (27.18 m)

89.47' (27.27 m)

89.66' (27.33 m)

89.86' (27.39 m)

11'-11" (3.64 m)

16'-1" (4.90 m)

52'-5" (15.98 m)

54'-10" (16.71 m)

54'-10" (16.71 m)

21'-4" (6.50 m)

1'-6" (0.46 m)

LOFT 1

LOFT 2

LOFT 3

LOFT 4

LOFT 5

LOFT 6

LOFT 7

LOFT 8

LOFT 9

LOFT 10

LOFT 11

LOFT 12

LONG-TERM BIKES (11V / 6H / 4C)

CENTRAL MEWS

MIN CLEAR TYP

CORRIDOR

STAIR A

LIVE/WORK 2

LIVE/WORK 1

OFFICE

LIVE/WORK 3

LIVE/WORK 4

LIVE/WORK 5

OPEN COURTYARD

MIN CLEAR TYP

MIN CLEAR TYP

RESTAURANT SEATING 35.5 m²

COMMERCIAL

STAGING AREA

GARAGE ROOM

WC

STOR.

AMENITY

RESIDENTIAL LOBBY

VESTIBULE

ELEC

LIVE/WORK 6

LIVE/WORK 7

CORRIDOR

PRIMARY BUILDING ENTRY

INTERCOM

ENTRY



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RESPONSE 2  
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## MEZZANINE PLAN - RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"



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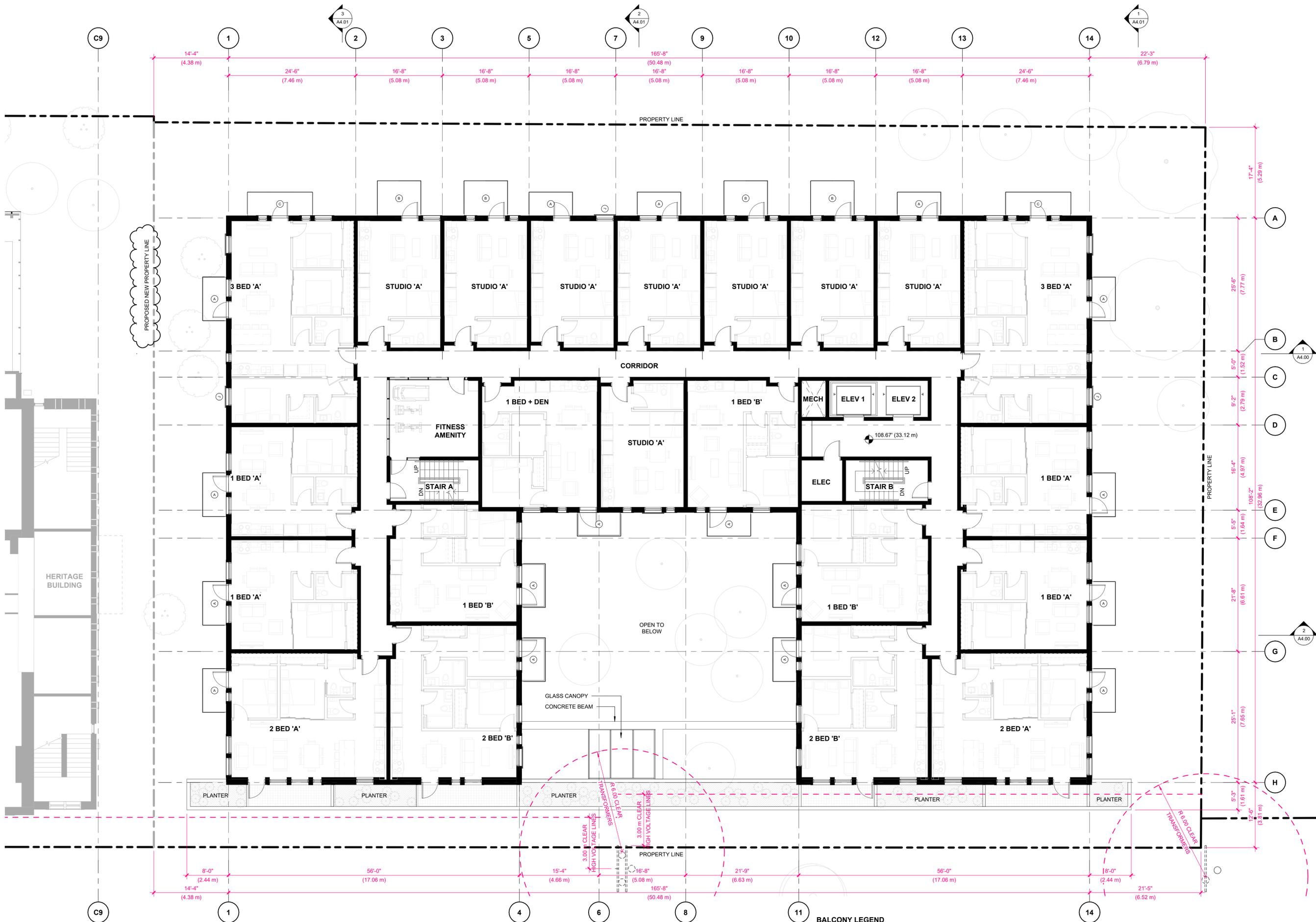
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LEVEL 02 PLAN -  
RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
  - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
  - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
  - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
  - E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
  - J JULIETTE BALCONY: 4'-2" (1.3m)

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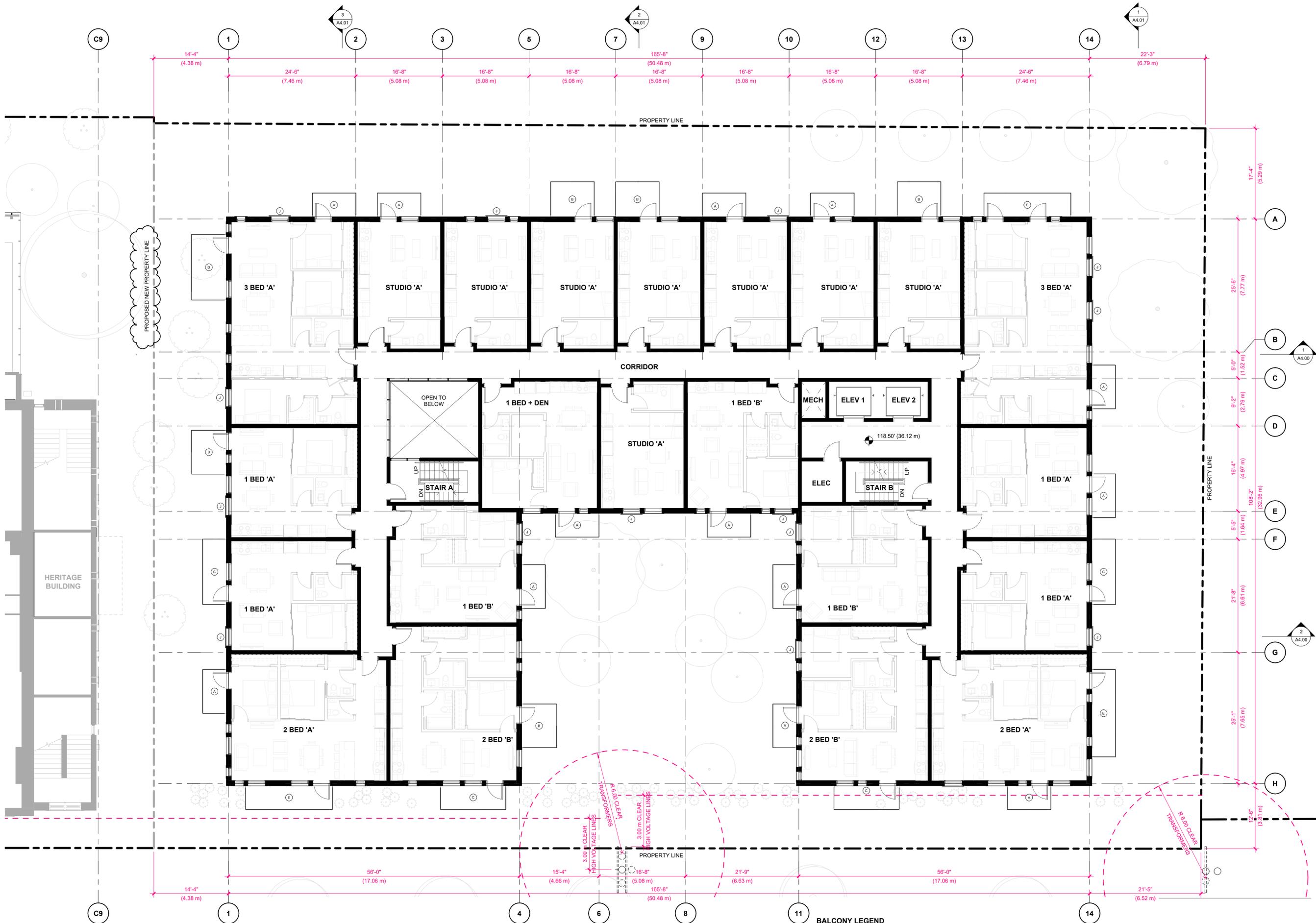
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## LEVEL 03 PLAN - RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
  - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
  - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
  - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
  - E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
  - J JULIETTE BALCONY: 4'-2" (1.3m)

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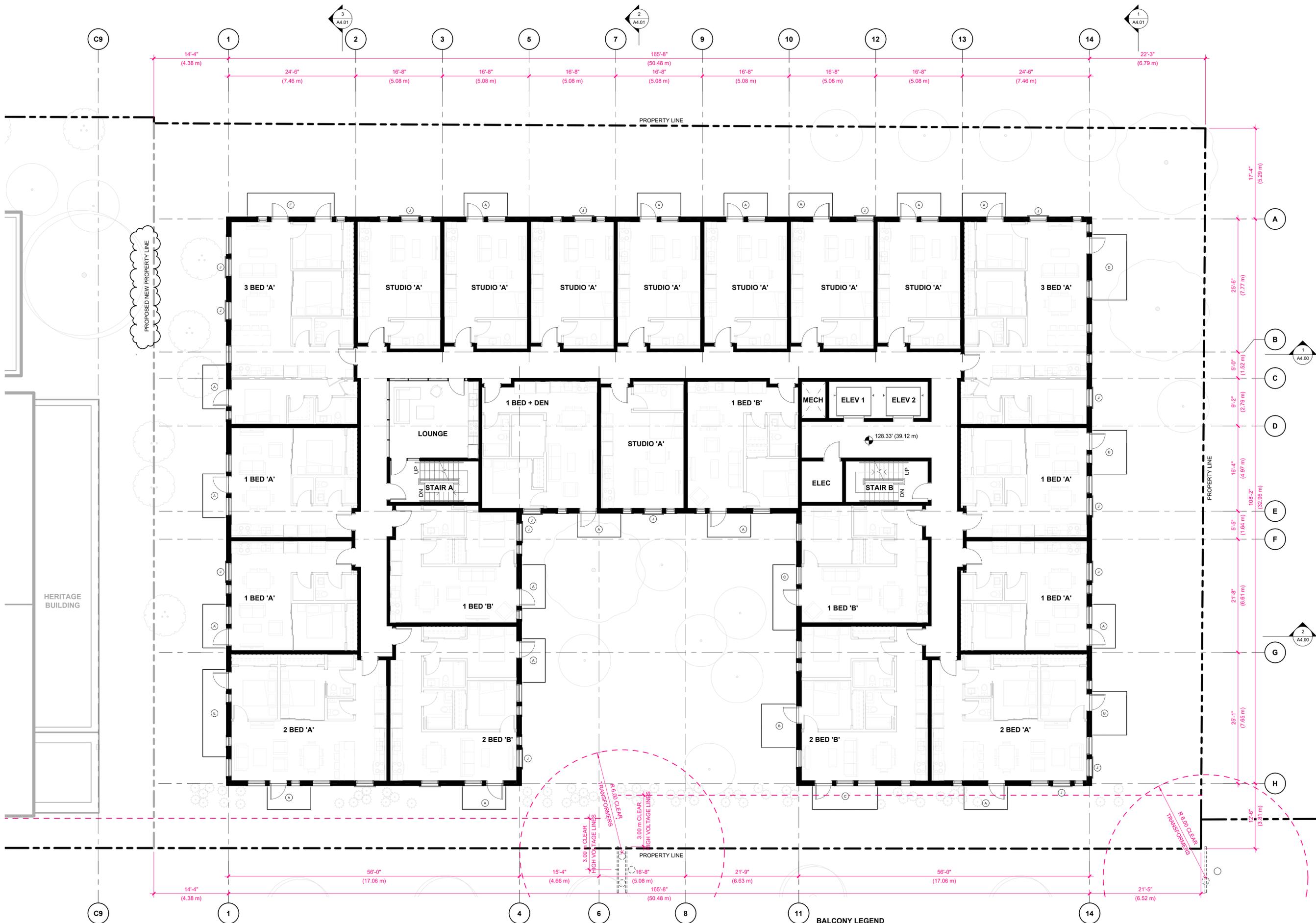
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LEVEL 04 PLAN -  
RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
  - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
  - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
  - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
  - E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
  - J JULIETTE BALCONY: 4'-2" (1.3m)

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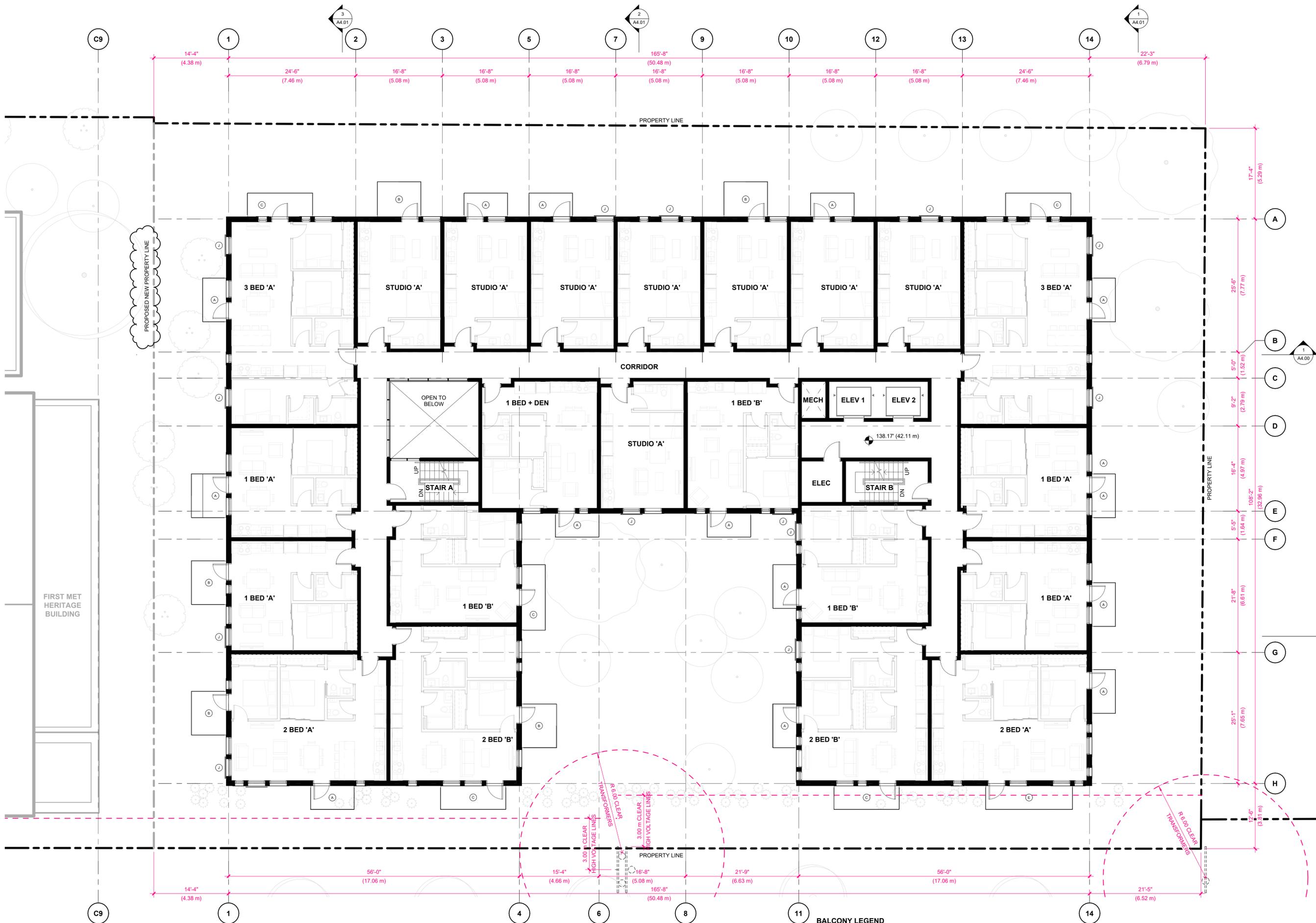
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## LEVEL 05 PLAN - RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"



**BALCONY LEGEND**

A	BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)	E	BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
B	BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)	J	JULIETTE BALCONY: 4'-2" (1.3m)
C	BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)		
D	BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)		

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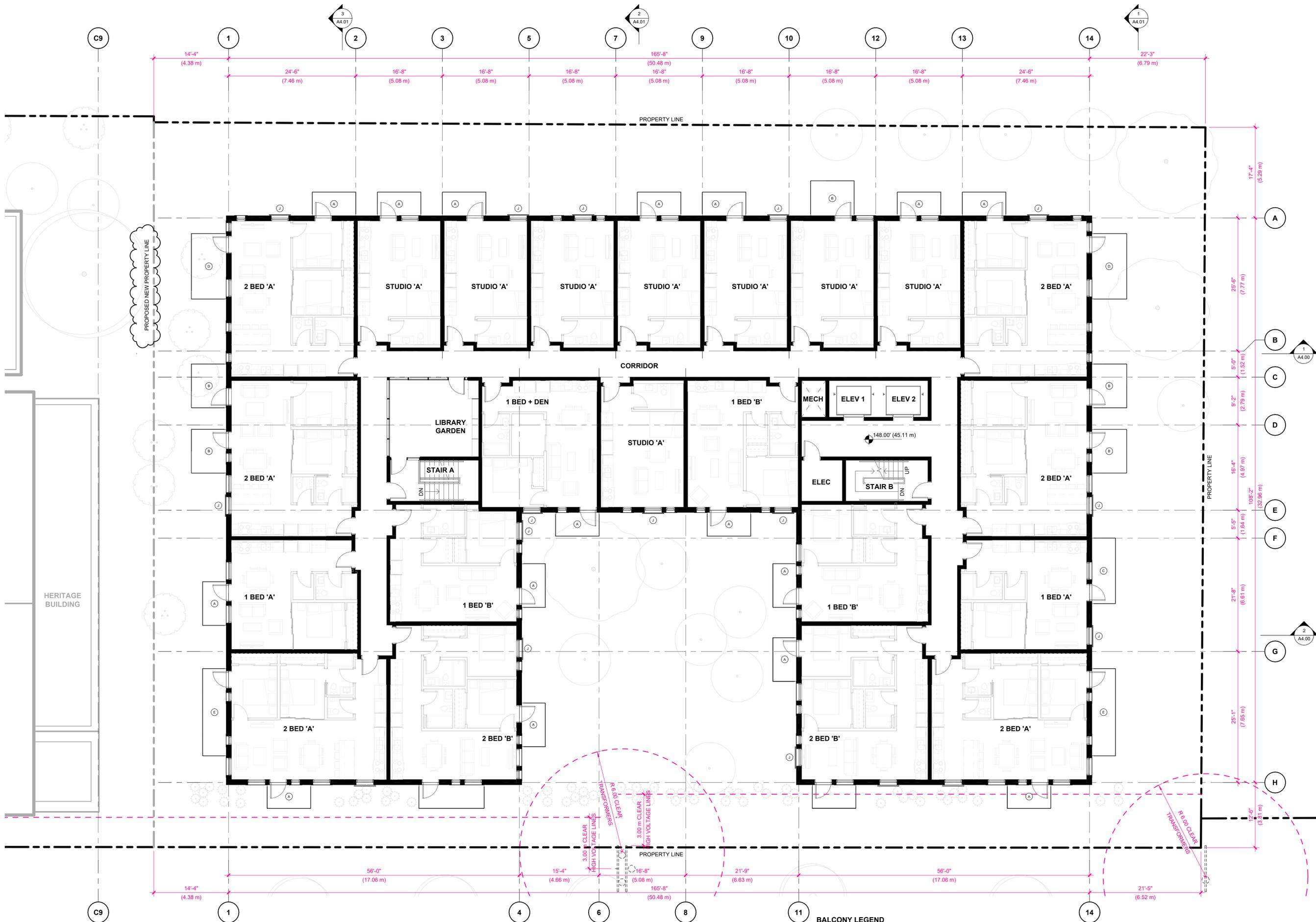
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LEVEL 06 PLAN -  
RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A: 8'-4" x 4'-6" (2.5m x 1.4m)
  - B BALCONY TYPE B: 8'-4" x 6'-8" (2.5m x 2.0m)
  - C BALCONY TYPE C: 12'-6" x 4'-8" (3.8m x 1.4m)
  - D BALCONY TYPE D: 12'-6" x 6'-8" (3.8m x 2.0m)
  - E BALCONY TYPE E: 16'-8" x 4'-6" (5.1m x 1.4m)
  - J JULIETTE BALCONY: 4'-2" (1.3m)



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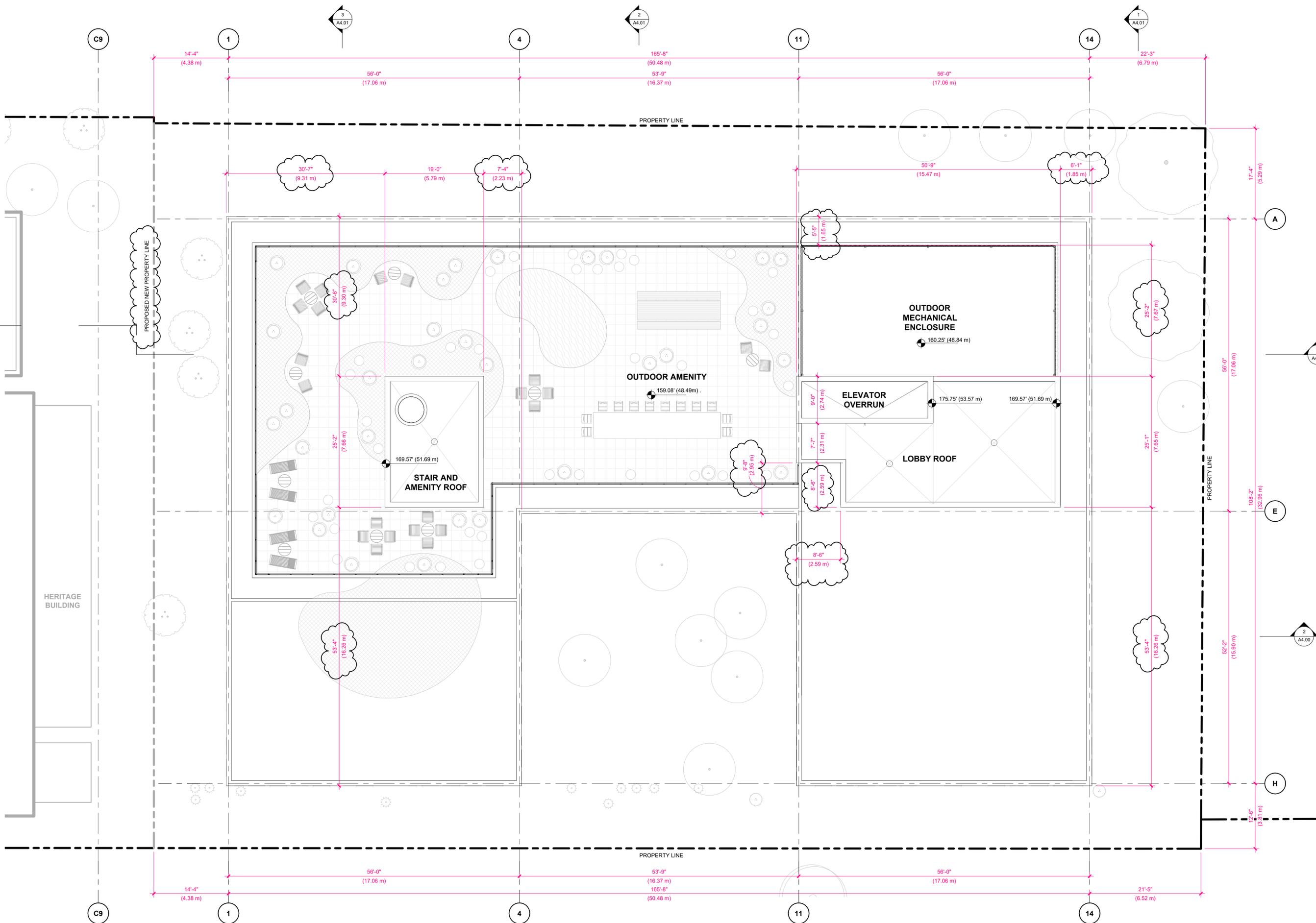
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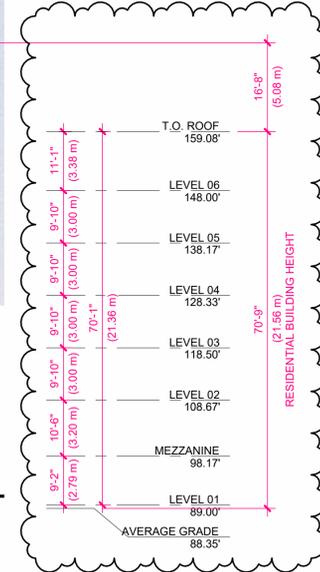
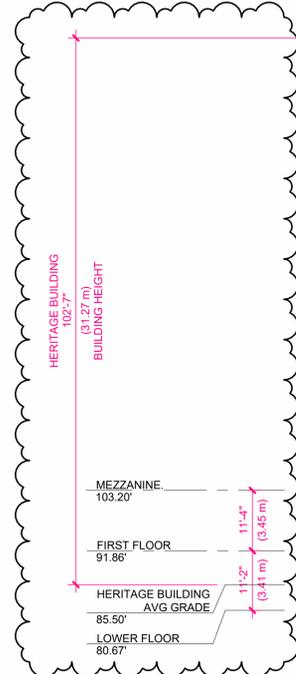


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## ROOF PLAN - RESIDENTIAL BLDG

SCALE  
1/8" = 1'-0"





QUADRA ST

HERITAGE BUILDING

CENTRAL MEWS

NEW RESIDENTIAL BUILDING

ADJACENT BUILDING

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**BALMORAL ROAD ELEVATION**

SCALE  
1/16" = 1'-0"

**HERITAGE MATERIAL LEGEND**

- ① WINDOW FRAMES TO BE RESTORED AS REQUIRED
- ② ENTRY DOORS TO BE RESTORED AS REQUIRED
- ③ ROOFING MATERIAL TO BE REPAIRED AND REPLACED AS REQUIRED
- ⑤ SANDSTONE TO BE RESTORED AS REQUIRED
- ⑦ STAINED GLASS PANELS TO BE RESTORED AS REQUIRED
- ⑪ NEW SIGNAGE

**NEW RESIDENTIAL MATERIAL LEGEND**

- ⑮ ARCHITECTURAL CONCRETE
- ⑯ METAL PANEL, GALVANIZED
- ⑰ METAL PANEL, WHITE
- ⑱ GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
- ⑲ WOVEN WIRE MESH, 1 1/2" x 1 1/2" OPENINGS, PAINTED RAL 090 90 50
- ⑳ THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, 2 SSG
- ㉑ RESIDENTIAL SIGNAGE



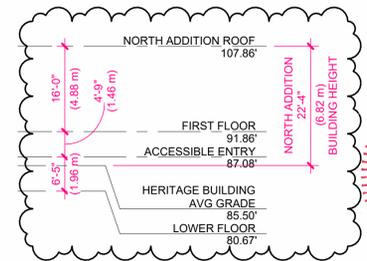
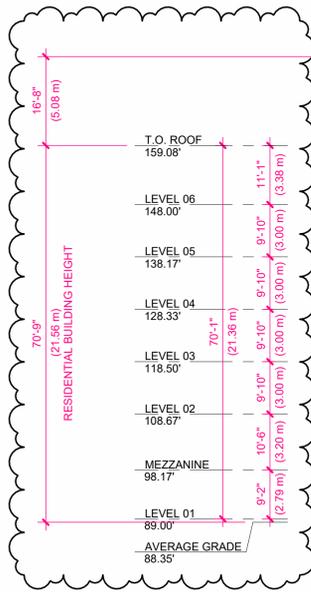
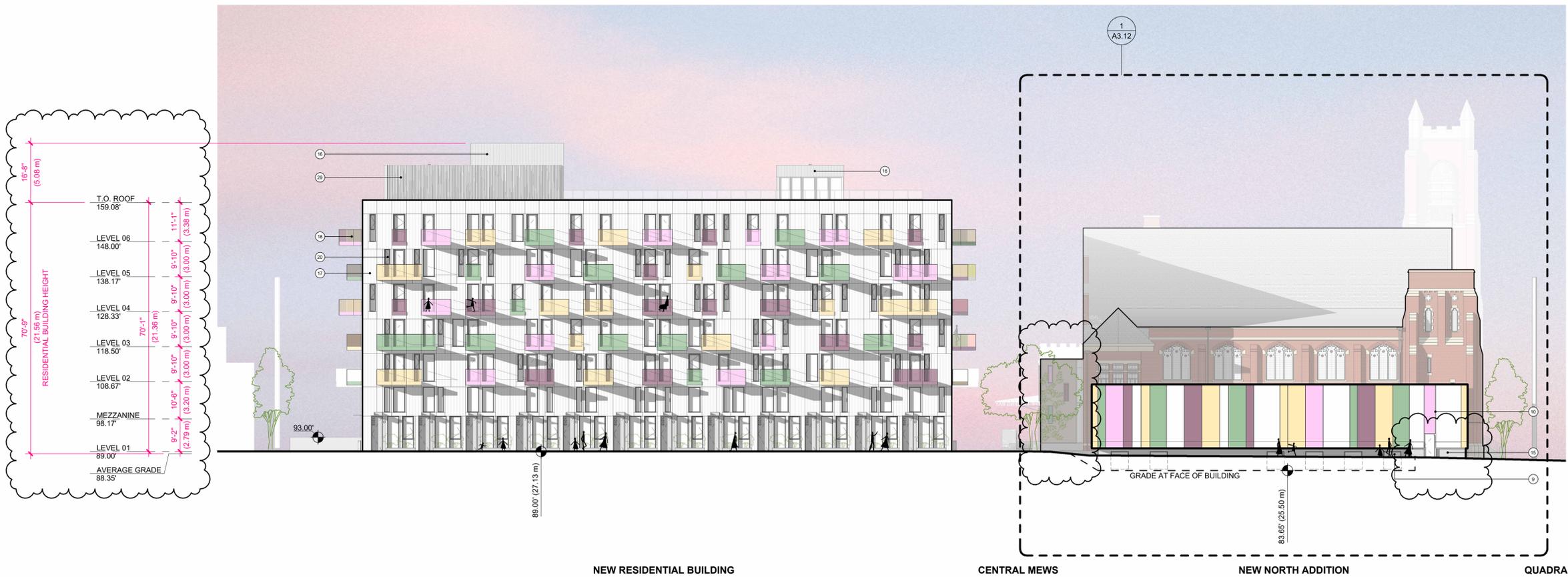
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### NORTH SITE ELEVATION

SCALE  
1/16" = 1'-0"

#### NEW RESIDENTIAL MATERIAL LEGEND

- 16 METAL PANEL, GALVANIZED
- 17 METAL PANEL, WHITE
- 18 GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
- 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
- 29 MECHANICAL METAL SCREEN ENCLOSURE

#### NEW NORTH ADDITION MATERIAL LEGEND

- 9 THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- 10 THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 15 ARCHITECTURAL CONCRETE

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**EAST SITE ELEVATION**

SCALE  
1/16" = 1'-0"

- NEW RESIDENTIAL MATERIAL LEGEND**
- 15 ARCHITECTURAL CONCRETE
  - 16 METAL PANEL, GALVANIZED
  - 17 METAL PANEL, WHITE
  - 18 GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
  - 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
  - 24 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, 2 SSG
  - 29 MECHANICAL METAL SCREEN ENCLOSURE

# ARYZE

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## CENTRAL MEWS WEST SITE ELEVATION

SCALE  
1/16" = 1'-0"

- NEW RESIDENTIAL MATERIAL LEGEND**
- 15 ARCHITECTURAL CONCRETE
  - 16 METAL PANEL, GALVANIZED
  - 17 METAL PANEL, WHITE
  - 18 GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
  - 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
  - 21 WOVEN WIRE MESH, 1 1/2" x 1 1/2" OPENINGS, PAINTED RAL 090 90 50
  - 24 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, 2 SSG

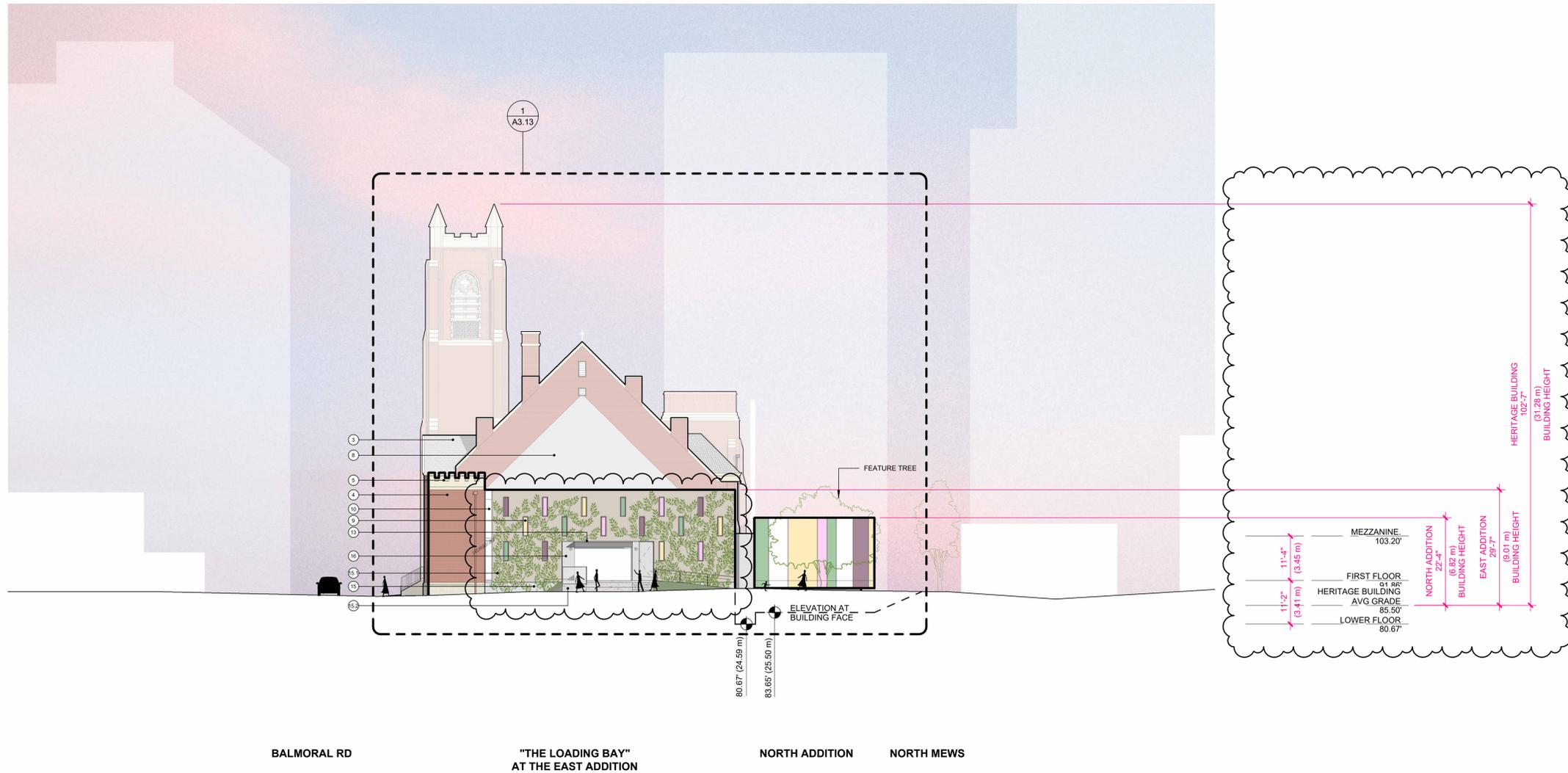
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- HERITAGE MATERIAL LEGEND**
- ③ ROOFING MATERIAL TO BE REPAIRED AND REPLACED AS REQUIRED
  - ④ BRICK TO BE RESTORED AS REQUIRED
  - ⑤ SANDSTONE TO BE RESTORED AS REQUIRED
  - ⑧ ORIGINAL GABLE ROOF FORM OF SUNDAY SCHOOL HALL TO REMAIN

- NEW EAST ADDITION MATERIAL LEGEND**
- ⑨ THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
  - ⑩ THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
  - ⑬ BIFOLD GARAGE DOOR, FINISH TBD
  - ⑮ ARCHITECTURAL CONCRETE
  - ⑮.1 ARCHITECTURAL CONCRETE WITH CLIMBING VINES, REFER TO LANDSCAPE, CONCRETE COLOUR TBD
  - ⑮.2 ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
  - ⑯ METAL PANEL, GALVANIZED



2025-12-19  
**CENTRAL MEWS EAST  
SITE ELEVATION**

**SCALE**  
1/16" = 1'-0"



MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
201-871 EAST HASTINGS STREET  
VANCOUVER, BC, CANADA, V6A 3Y1  
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- SALVAGE BRICK FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.
- SALVAGE STONE FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.

PORTION TO BE DEMOLISHED.

### HERITAGE MATERIAL LEGEND

- (H1) PRESERVED RUSTICATED STONE FOUNDATION - REPAIR ANY MISSING MORTAR AND PARGING IF DAMAGED
- (H3) REHABILITATED STONE FOUNDATION
- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H11) REPLACE NON-ORIGINAL WINDOWS WITH REPLICATED WOOD FRAME WINDOW AS FEASIBLE - MANUFACTURED AS RECOMMENDED BY HCP
- (H13) PRESERVED TRI-DIVIDED LANCET WINDOWS WITH CUSPED STONE ARCHES AND STAINED GLASS - REPAIR AS REQUIRED
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- (H16) PRESERVED TRIPLE-LITE WOOD SASH WINDOW WITH STAINED GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H17) PRESERVED DOUBLE-LITE WOOD SASH WINDOW WITH STAINED GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H18) PRESERVED SINGLE-LITE WOOD SASH WINDOW WITH CLEAR GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H19) PRESERVED WOOD SASH TRANSOM WINDOW, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H20) PRESERVED WOOD DOOR, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H21) PRESERVED DOUBLE-DOOR ENTRY WITH POINTED-ARCH TRACERY TRANSOMS - REPAIR AS REQUIRED
- (H23) PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- (H25) PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H28) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED

932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

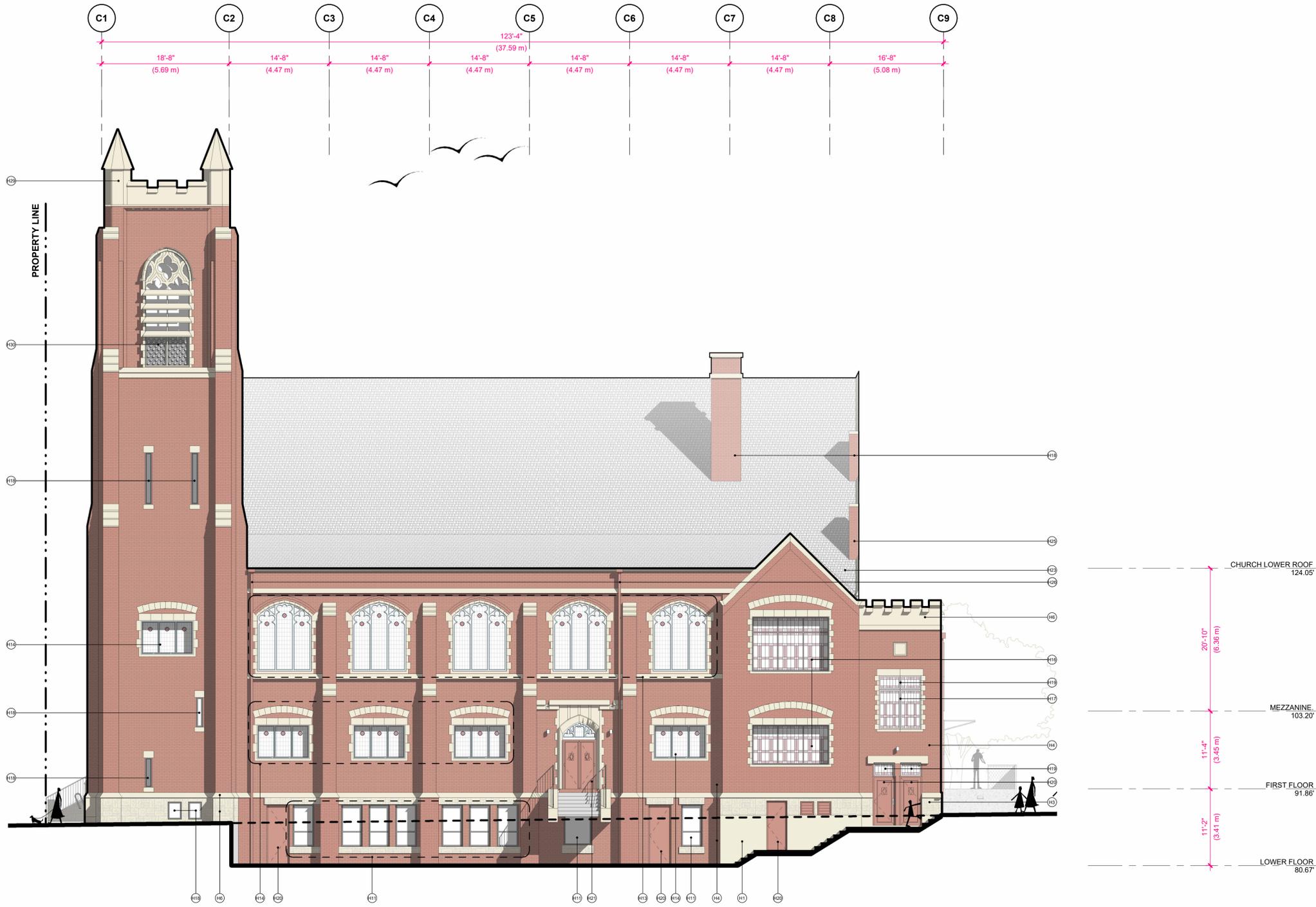
DECEMBER 19, 2025



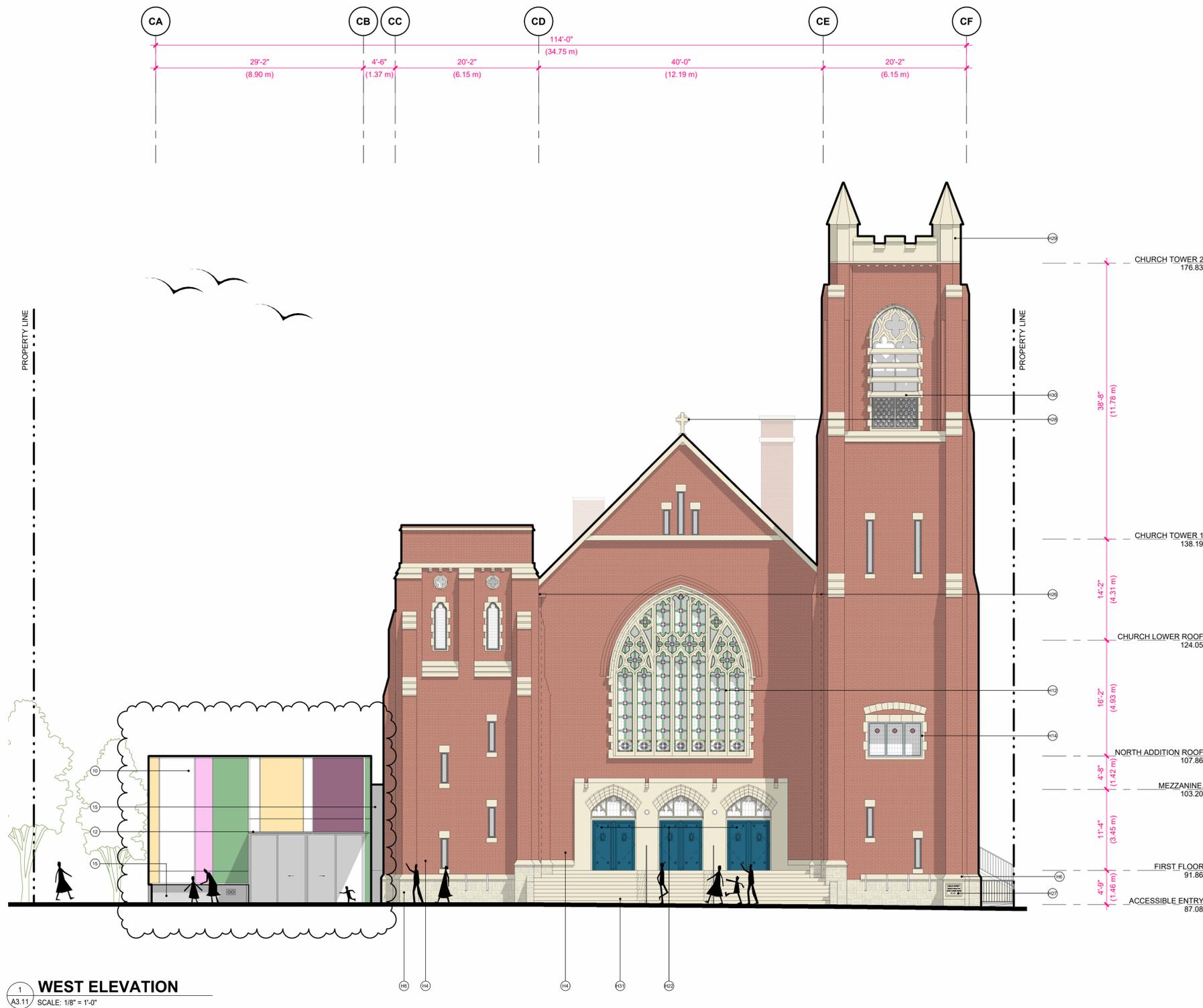
2025-12-19

## HERITAGE ELEVATION - BALMORAL ROAD

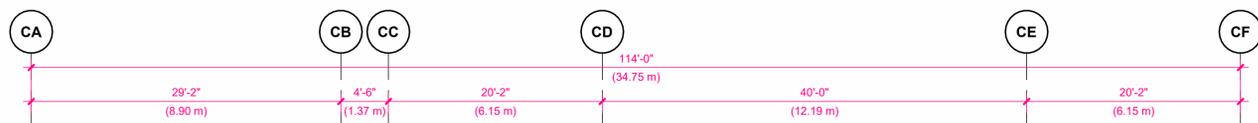
SCALE  
1/8" = 1'-0"



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



1 WEST ELEVATION  
A3.11 SCALE: 1/8" = 1'-0"



NOTES:

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  PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H12) PRESERVED ARCHED MULTI-LANCET WINDOW WITH CAST STONE TRACERY AND STAINED GLASS - REPAIR AS REQUIRED
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- (H22) MAIN ENTRY DOOR - RESTORE TO ORIGINAL AND REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H27) PRESERVED CORNERSTONE - REPAIR AS REQUIRED
- (H28) PRESERVED CELTIC CROSS FINIAL - REPAIR AS REQUIRED
- (H29) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED
- (H31) PRESERVED STONE ENTRY STAIRCASE - REPAIR AS REQUIRED

NEW ADDITIONS MATERIAL LEGEND

- (10) THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- (12) POWDER COATED METAL CANOPY
- (15) ARCHITECTURAL CONCRETE



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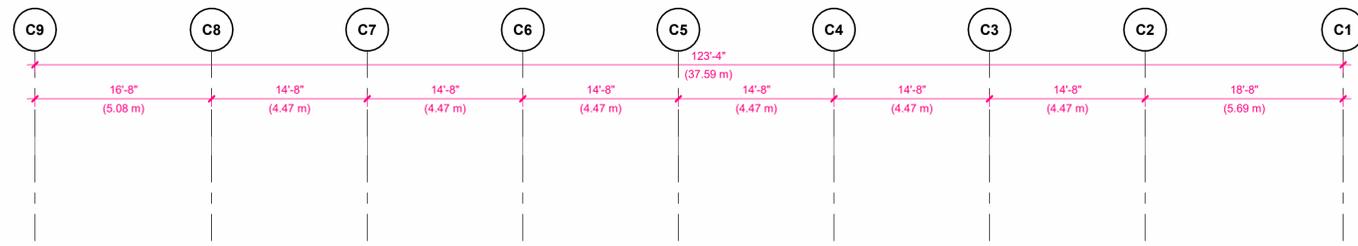
932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2  
DECEMBER 19, 2025



HERITAGE ELEVATION - QUADRA STREET

SCALE  
1/8" = 1'-0"



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**MAH+HG**

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PORTION TO BE DEMOLISHED.

**HERITAGE MATERIAL LEGEND**

- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H8) ORIGINAL SALVAGED STONE SET WINDOW
- (H11) REPLACE NON-ORIGINAL WINDOWS WITH REPLICATED WOOD FRAME WINDOW AS FEASIBLE - MANUFACTURED AS RECOMMENDED BY HCP
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
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**NEW ADDITIONS MATERIAL LEGEND**

- (9) THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- (10) THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- (15) ARCHITECTURAL CONCRETE
- (15.1) ARCHITECTURAL CONCRETE WITH CLIMBING VINES. REFER TO LANDSCAPE. CONCRETE COLOUR TBD
- (15.2) ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
- (38) NEW CUSTOM DOOR, C/W HERITAGE MOTIF - MATCH EXISTING WINDOW WIDTH, REHABILITATE EXISTING OPENING
- (39) NEW GLAZED BRIDGE - BETWEEN EXISTING HERITAGE CHURCH AND NEW NORTH ADDITION OVER EXISTING FLOOR OPENING
- (41) NEW PLANTING, REFER TO LANDSCAPE
- (42) REPLACEMENT HERITAGE FEATURE TREE, REFER TO LANDSCAPE
- (43) THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, BETWEEN EXISTING BRICK WALL AND NEW CONSTRUCTION - REPAIR AND REPLACE ADJACENT EXISTING BRICK WITH SALVAGED BRICK AS REQUIRED
- (44) NEW SKYLIGHT BETWEEN EXISTING HERITAGE CHURCH AND NEW CONSTRUCTION

**932 BALMORAL RD & 1701 QUADRA ST**

**ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2**

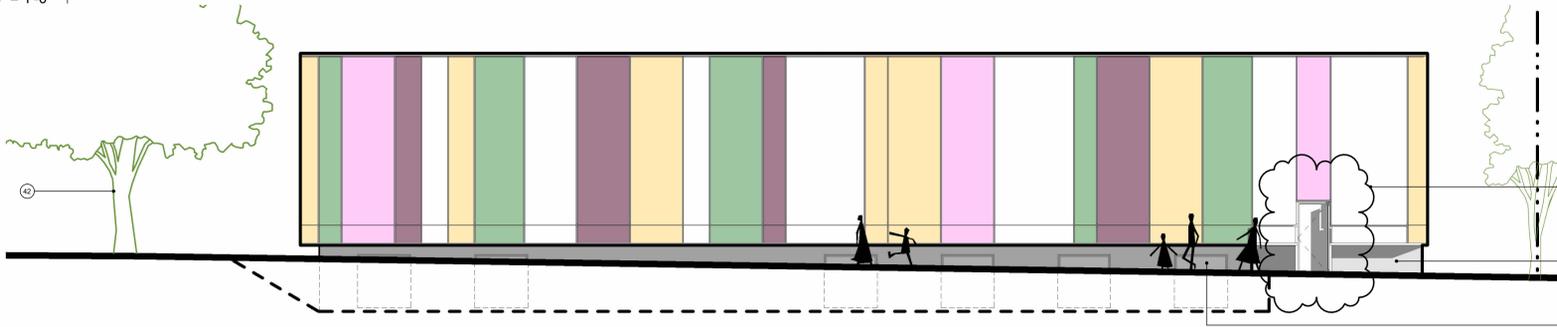
**DECEMBER 19, 2025**



2025-12-19  
**HERITAGE ELEVATION - NORTH SITE**

**SCALE**  
1/8" = 1'-0"

**1 NORTH ELEVATION AT CHURCH**  
1/8" = 1'-0"



**2 NORTH ELEVATION AT ADDITION**  
1/8" = 1'-0"



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DECEMBER 19, 2025



## HERITAGE ELEVATION CENTRAL MEWS EAST

SCALE  
1/8" = 1'-0"

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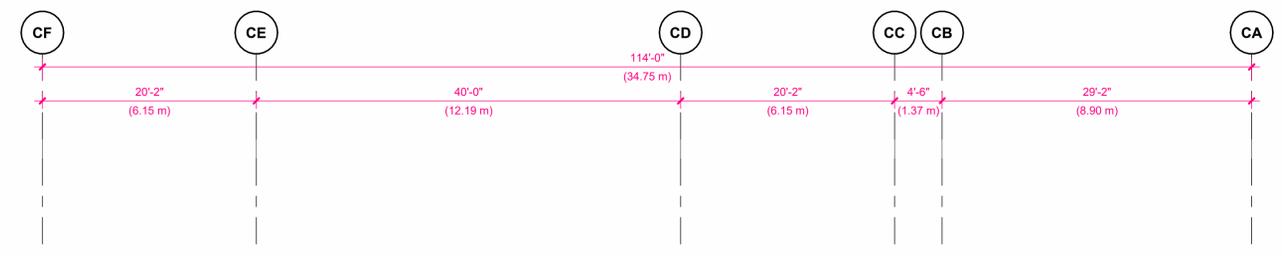
  PORTION TO BE DEMOLISHED.

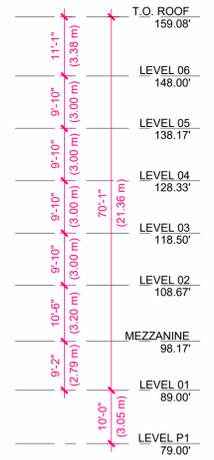
### HERITAGE MATERIAL LEGEND

- (H3) REHABILITATED STONE FOUNDATION
- (H5) PRESERVED BRICK, INFILL WITH ORIGINAL SALVAGED BRICK AS REQUIRED
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H23) PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- (H25) PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- (H29) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H29) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
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### NEW ADDITIONS MATERIAL LEGEND

- (9) THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
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- (15) ARCHITECTURAL CONCRETE
- (15.1) ARCHITECTURAL CONCRETE WITH CLIMBING VINES. REFER TO LANDSCAPE. CONCRETE COLOUR TBD
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- (16) METAL PANEL, GALVANIZED
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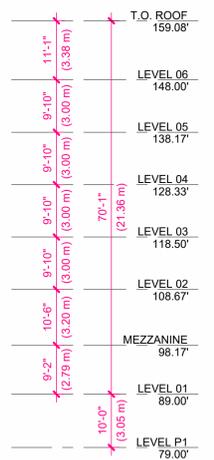
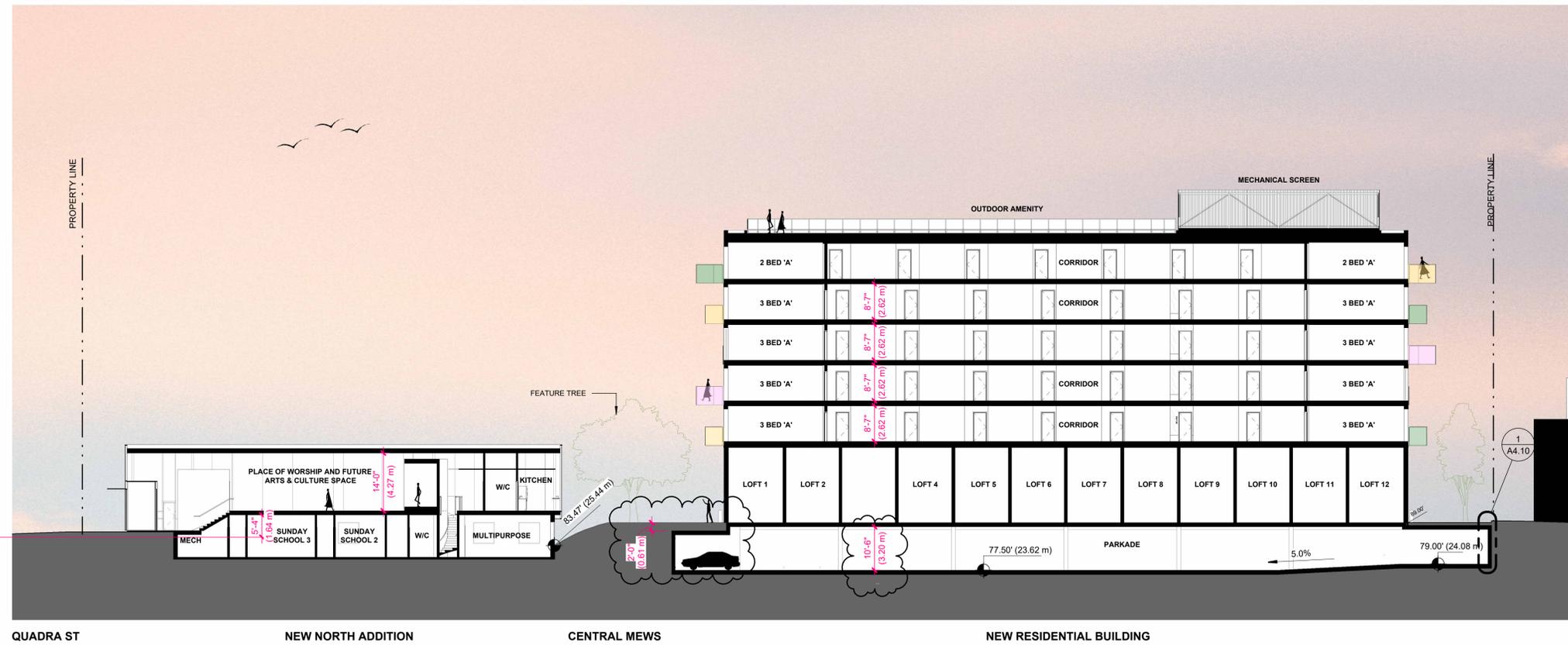
QUADRA ST HERITAGE BUILDING CENTRAL MEWS NEW RESIDENTIAL BUILDING

2 SITE SECTION THROUGH HERITAGE BLDG & RESIDENTIAL BLDG LOOKING NORTH

932 BALMORAL RD & 1701 QUADRA ST

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DECEMBER 19, 2025



QUADRA ST NEW NORTH ADDITION CENTRAL MEWS NEW RESIDENTIAL BUILDING

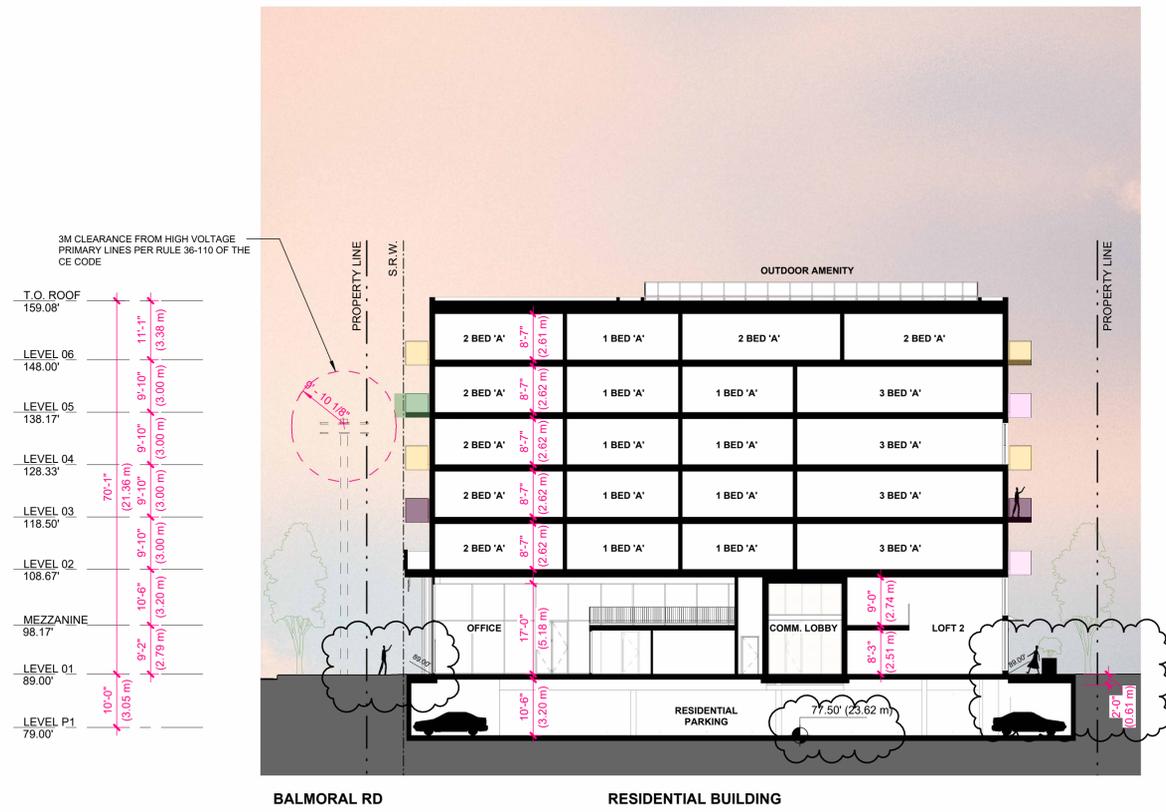
1 SITE SECTION THROUGH NORTH ADDITION & RESIDENTIAL BLDG LOOKING NORTH



2025-12-19

SITE SECTIONS

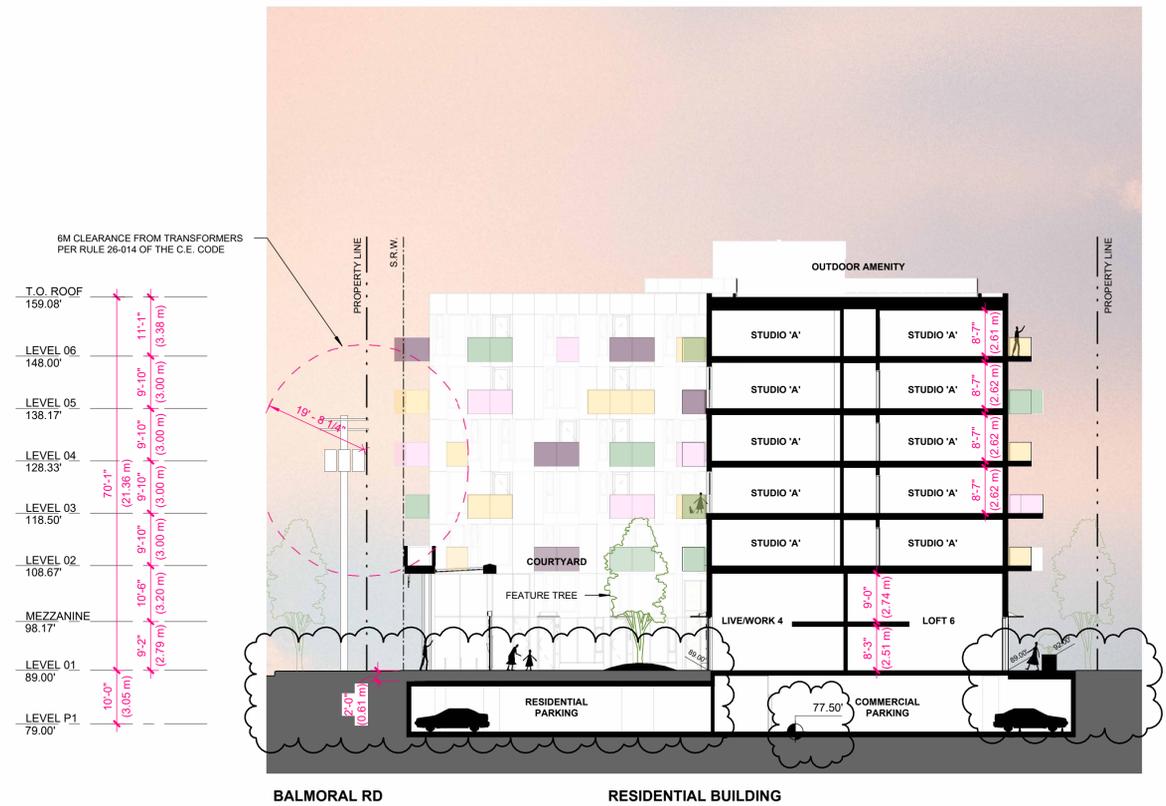
SCALE  
1/16" = 1'-0"



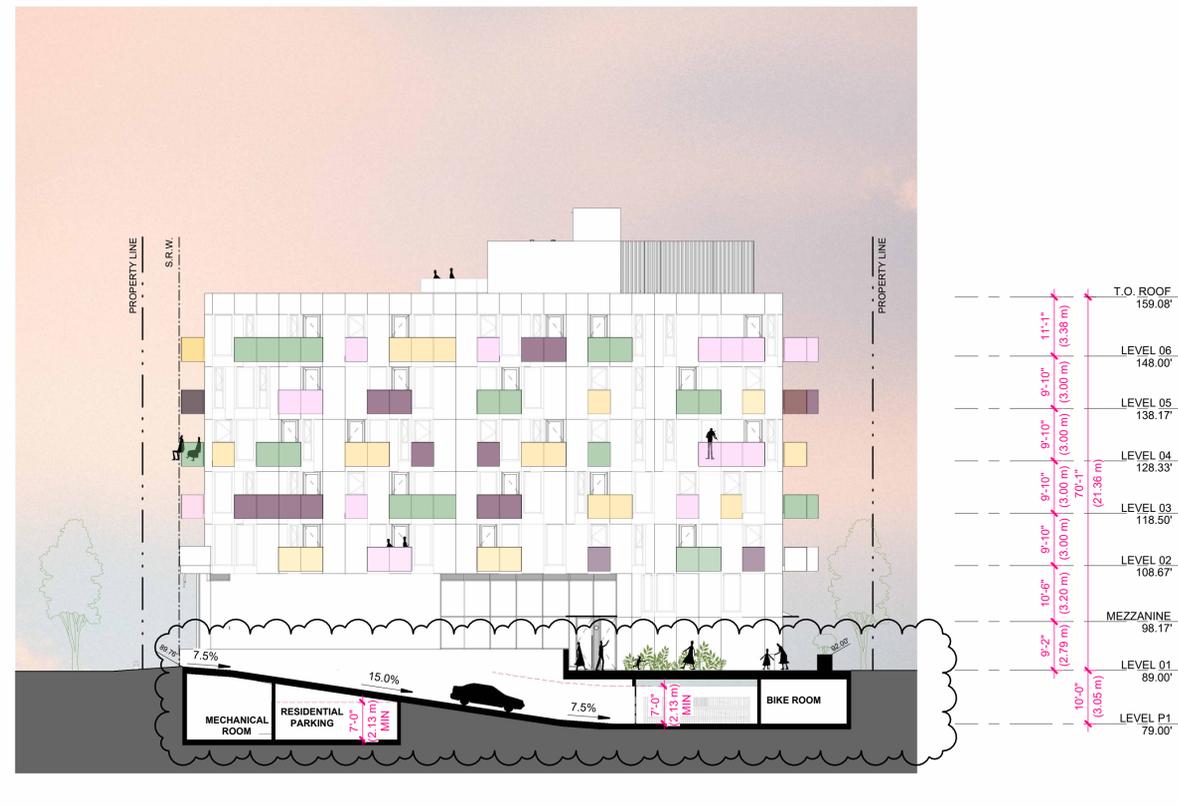
**3** SITE SECTION THROUGH RESIDENTIAL BLDG LOOKING WEST



**4** SITE SECTION THROUGH HERITAGE BUILDING LOOKING WEST



**2** SITE SECTION THROUGH RESIDENTIAL COURTYARD LOOKING WEST



**1** SITE SECTION THROUGH PARKING ENTRY RAMP LOOKING WEST

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2025-12-19

SITE SECTIONS

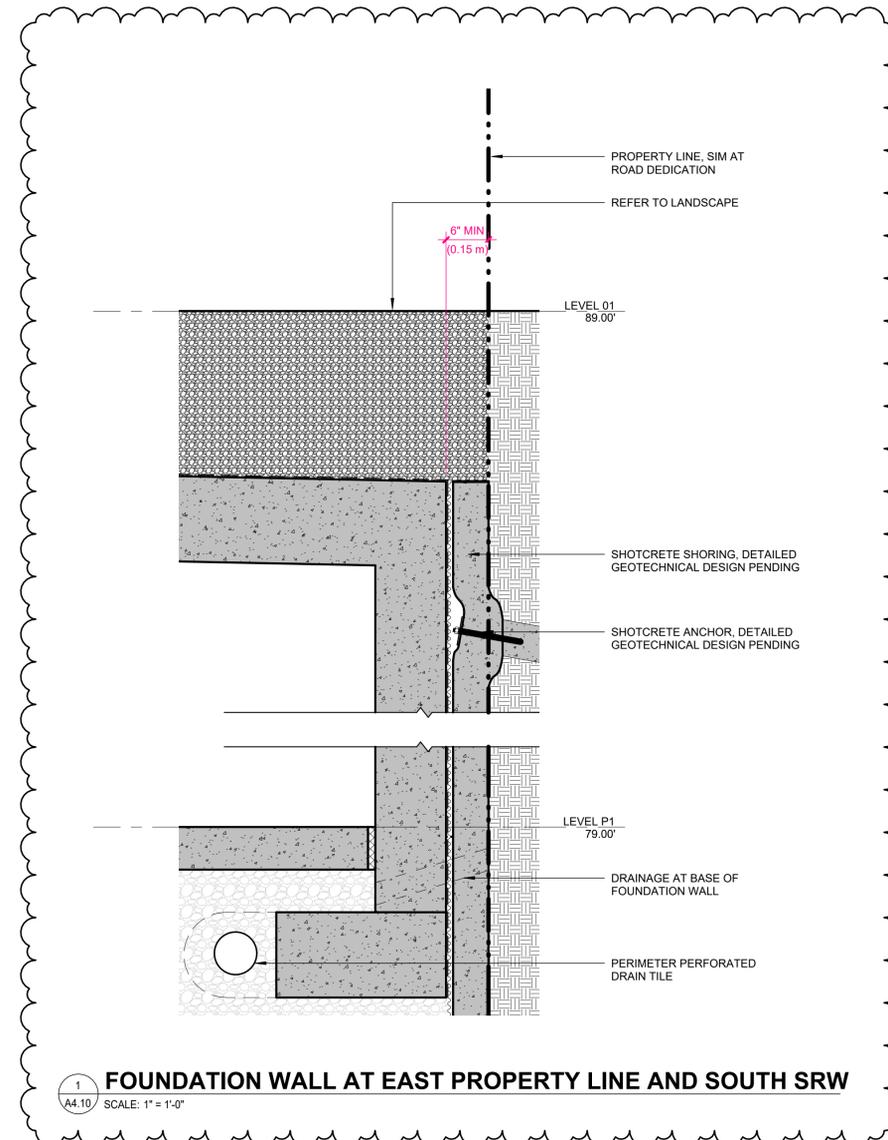
SCALE  
1/16" = 1'-0"



2025-12-19

**TYP FOUNDATION WALL  
DETAILS**

**SCALE**  
1" = 1'-0"



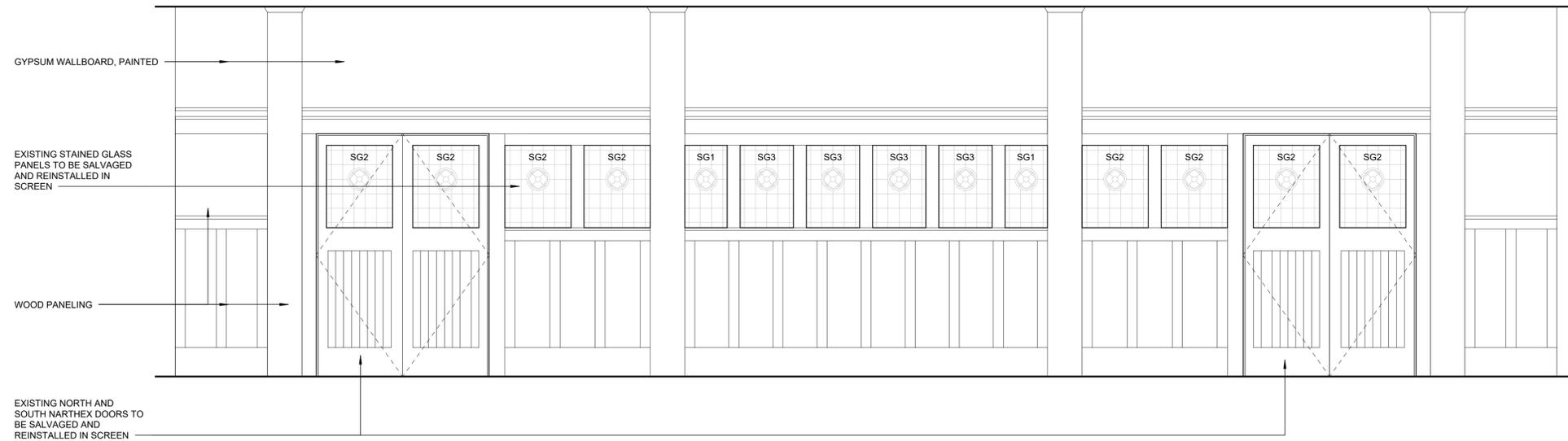


2025-12-19

**NARTHEX SCREEN STAINED GLASS SIZES**

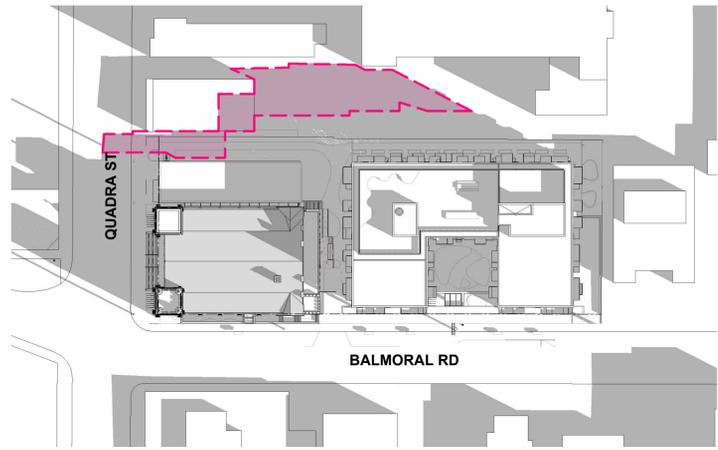
TYPE	DESCRIPTION	SIZE	EXISTING COUNT	PROPOSED COUNT
SG1	3 LITE X 5 LITE	375mm x 724mm	6*	2
SG2	5 LITE X 5 LITE	581mm x 724mm	10*	8
SG3	4 LITE X 5 LITE	470mm x 724mm	4	4
SG4	7 LITE X 5 LITE	683mm x 660mm	2*	0

\*NOTE: WHERE THE EXISTING COUNT OF STAINED GLASS PANELS EXCEEDS THOSE USED IN THE RESTORED SCREEN, THE REMAINDER ARE TO BE SALVAGED AND STORED FOR FUTURE USE



**1 RESTORED NARTHEX SCREEN ELEVATION**  
 A4.11 SCALE: 1/2" = 1'-0"

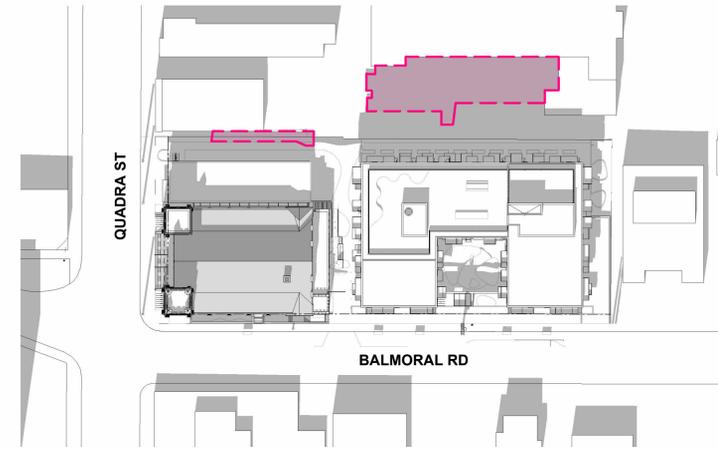
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10:00AM

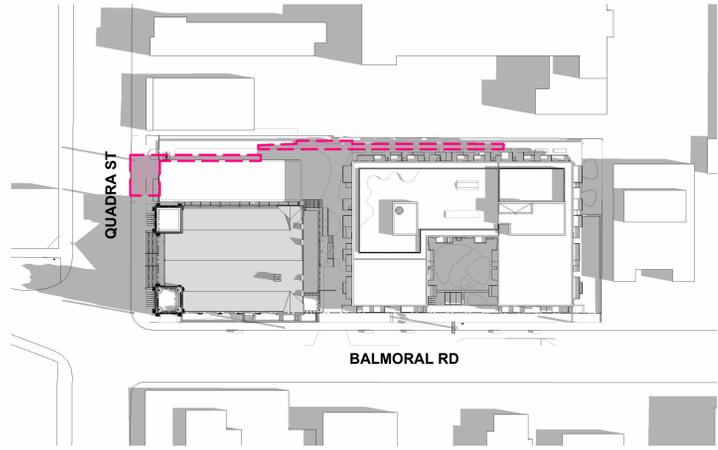


12:00PM

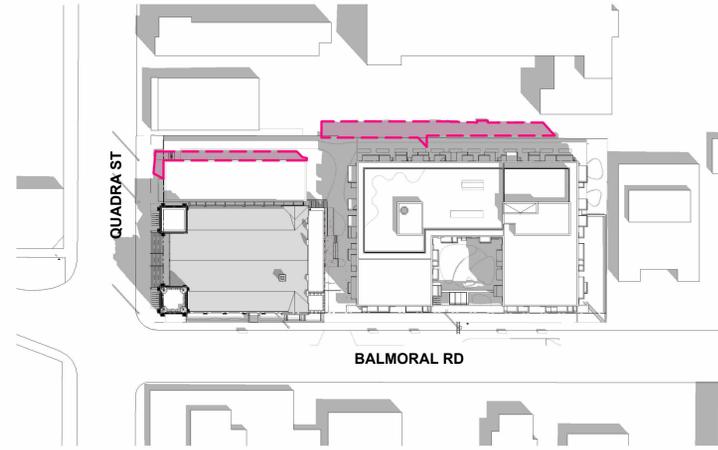


2:00PM

3 SPRING EQUINOX



10:00AM

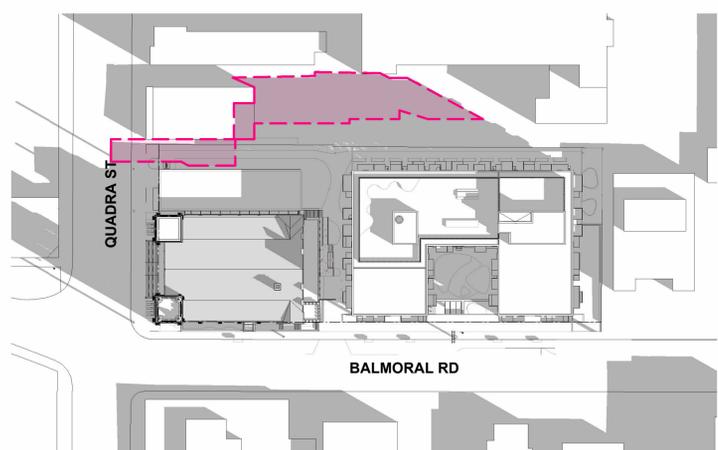


12:00PM

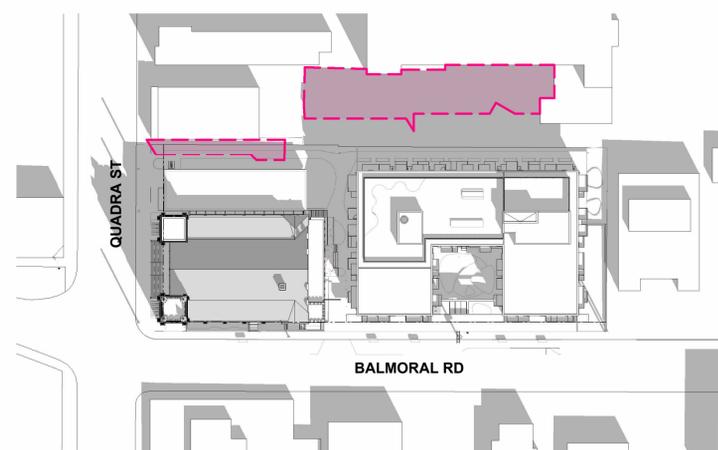


2:00PM

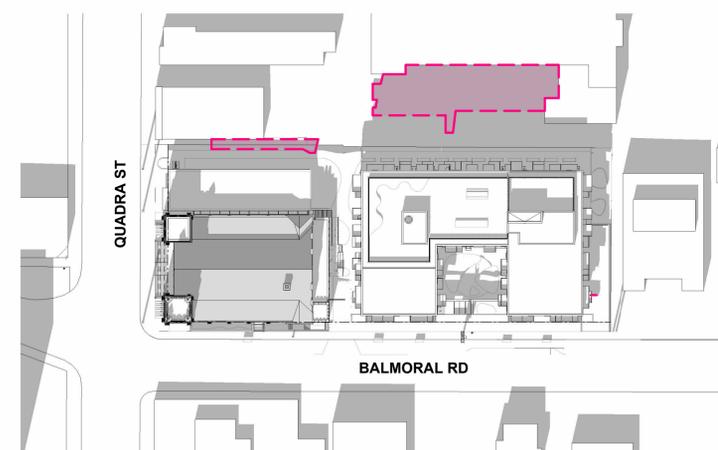
2 SUMMER SOLTICE



10:00AM



12:00PM



2:00PM

1 FALL EQUINOX

932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



2025-12-19

SHADOW STUDIES

SCALE  
1/64" = 1'-0"



EXTENT OF NEW SHADOWS ONLY



MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.  
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## 932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



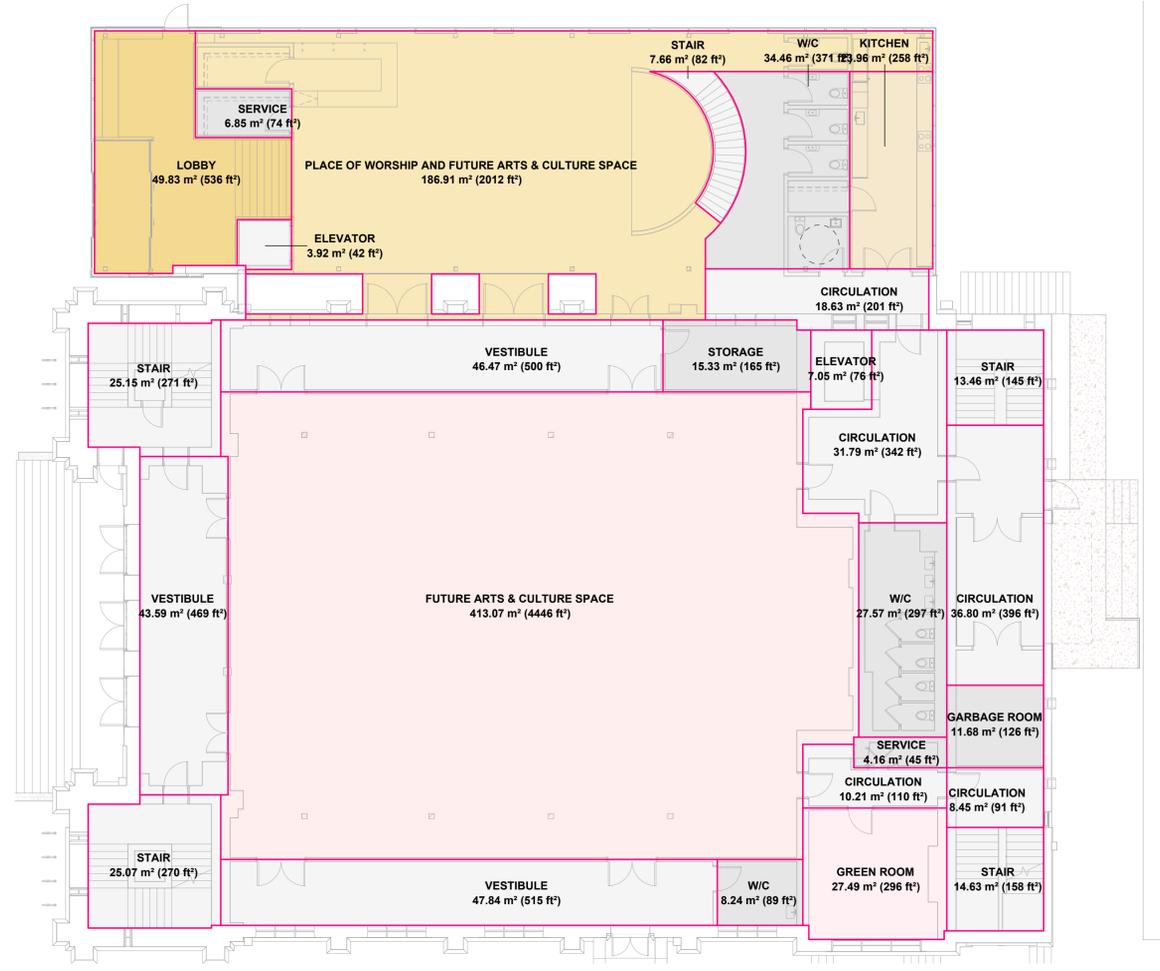
### FLOOR SPACE RATIO PLANS

SCALE  
 3/32" = 1'-0"

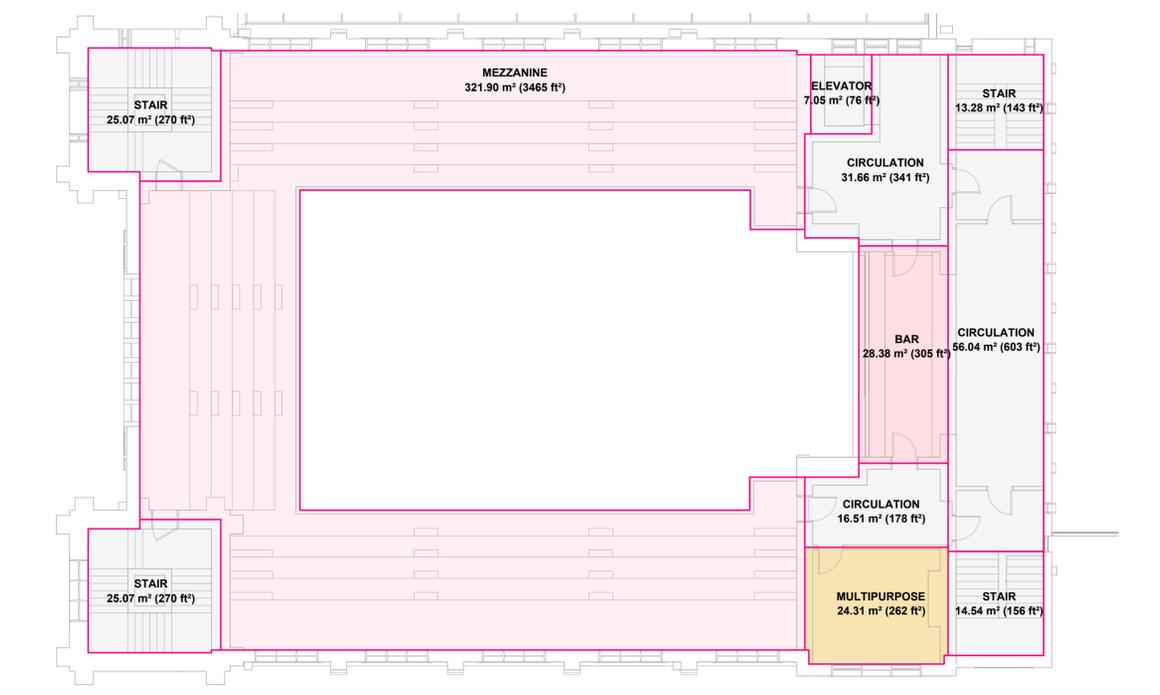


## FSR 1.00

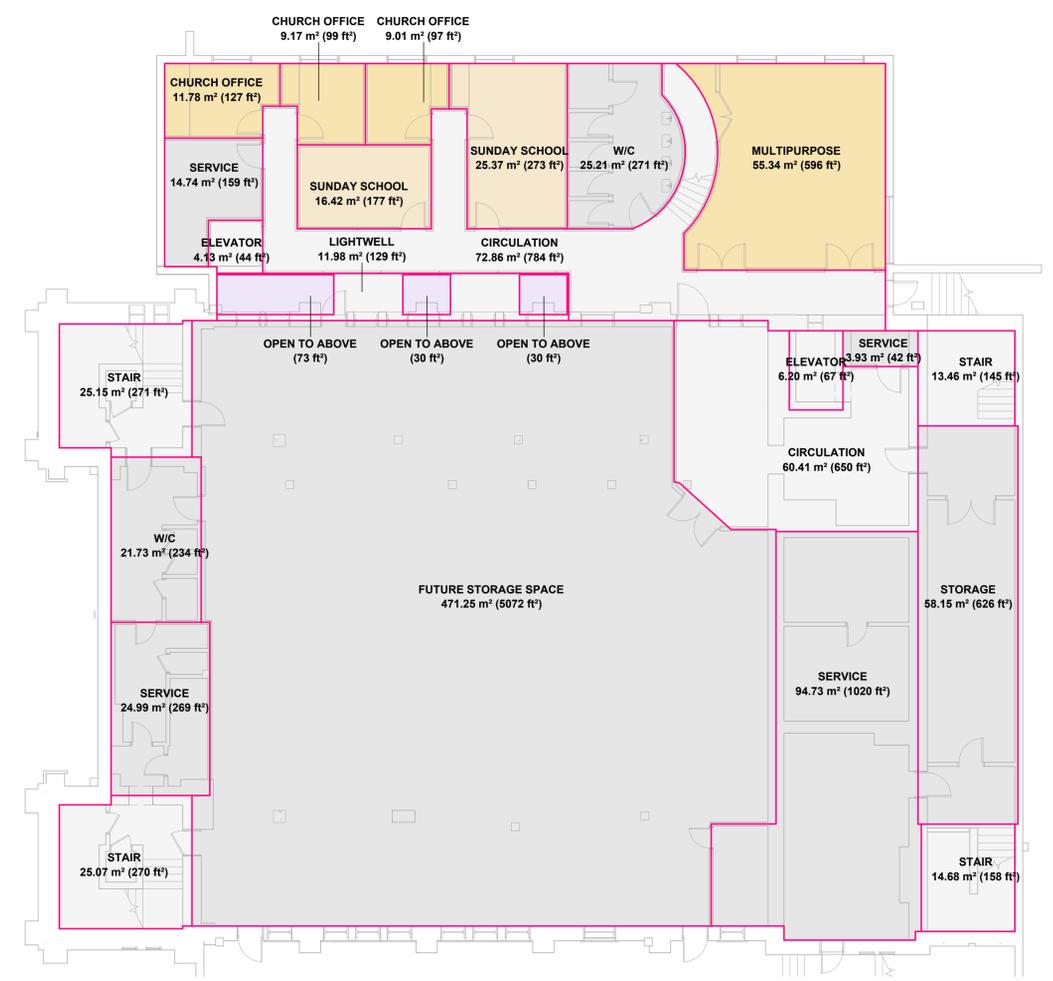
FSR CALCULATIONS		FSR BREAKDOWN	
<small>**FSR CALCULATIONS ARE TAKEN FROM INSIDE FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS AS PER CITY OF VICTORIA REQUIREMENTS</small>			
ALLOWABLE FSR:			
SITE AREA:	47,817 ft <sup>2</sup> (4,442.3m <sup>2</sup> )		
MAX FSR:	2.5 / 119,475 ft <sup>2</sup>		
TOTAL PROPOSED GFA:	120,044 ft <sup>2</sup> / 11,152.5 m <sup>2</sup>		
TOTAL PROPOSED FSR:	2.27 / 108,465 ft <sup>2</sup> / 10,076.7 m <sup>2</sup>		
<b>RESIDENTIAL BUILDING</b>			
TOTAL GFA RESIDENTIAL BLDG:	89,882 ft <sup>2</sup>	8,350.3 m <sup>2</sup>	
EXCLUSIONS			
NONE			
<b>RESULTING FSR AREAS</b>		<b>AREA (sf)</b>	<b>AREA (sm)</b>
COMMERCIAL		2,966 ft <sup>2</sup>	275.6 m <sup>2</sup>
RESIDENTIAL		86,916 ft <sup>2</sup>	8,074.7 m <sup>2</sup>
<b>TOTAL FSR AREA:</b>		<b>89,882 ft<sup>2</sup></b>	<b>8,350.3 m<sup>2</sup></b>
<b>HERITAGE BUILDING</b>			
TOTAL GFA HERITAGE BLDG:	21,423 ft <sup>2</sup>	1,990 m <sup>2</sup>	
EXCLUSIONS			
HERITAGE BUILDING	BASEMENT	8,053 ft <sup>2</sup>	748 m <sup>2</sup>
<b>RESULTING FSR AREA</b>		<b>AREA (sf)</b>	<b>AREA (sm)</b>
HERITAGE BUILDING		13,370 ft <sup>2</sup>	1,242 m <sup>2</sup>
<b>TOTAL FSR AREA:</b>		<b>13,370 ft<sup>2</sup></b>	<b>1,242 m<sup>2</sup></b>
<b>NEW ADDITIONS</b>			
TOTAL GFA NEW ADDITIONS:	8,740 ft <sup>2</sup>	812 m <sup>2</sup>	
EXCLUSIONS			
NEW ADDITIONS	BASEMENT	3,527 ft <sup>2</sup>	328 m <sup>2</sup>
<b>RESULTING FSR AREA</b>		<b>AREA (sf)</b>	<b>AREA (sm)</b>
NEW ADDITIONS		5,213 ft <sup>2</sup>	484 m <sup>2</sup>
<b>TOTAL FSR AREA:</b>		<b>5,213 ft<sup>2</sup></b>	<b>484 m<sup>2</sup></b>



3 FIRST FLOOR PLAN



2 MEZZANINE PLAN

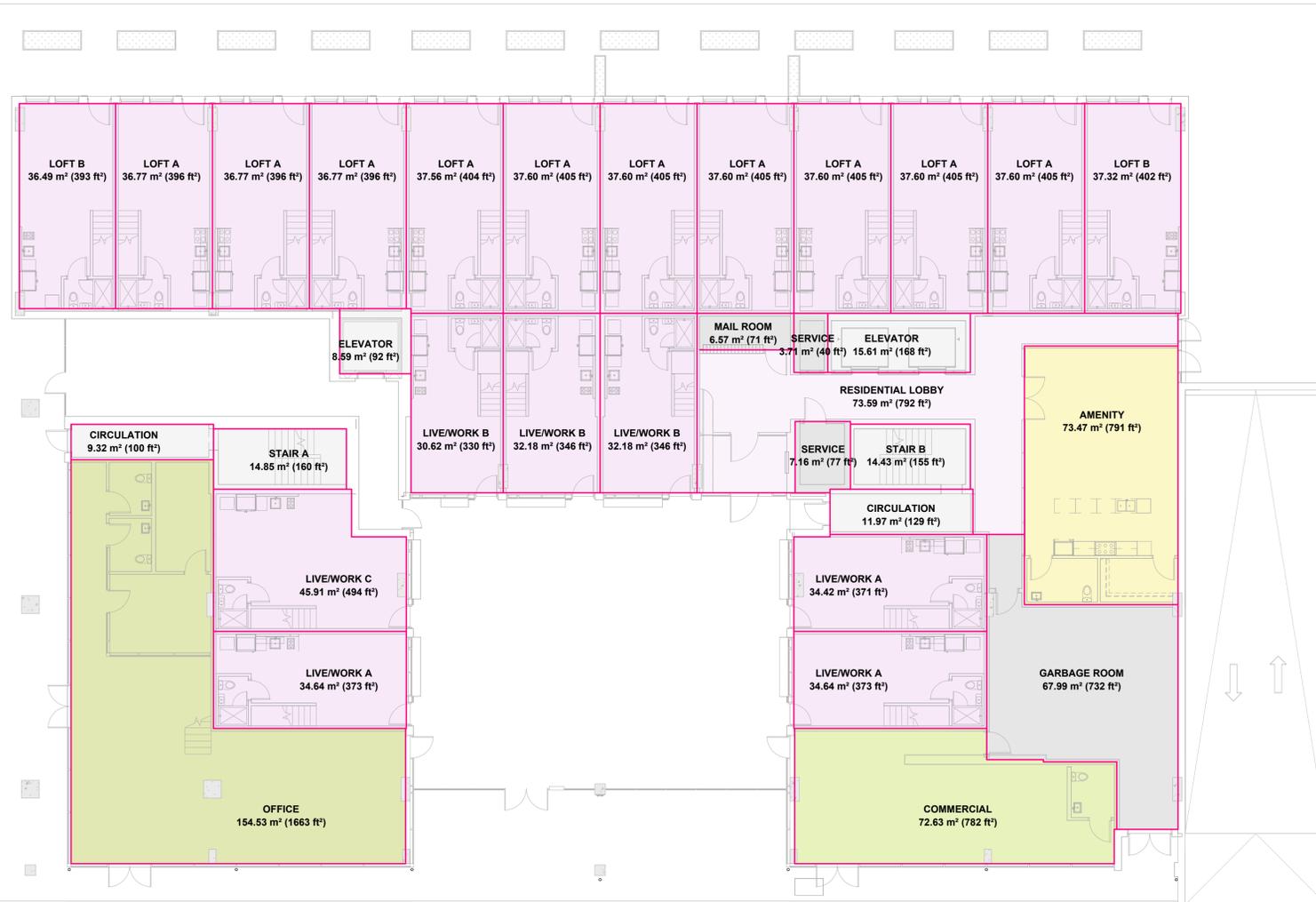


1 LOWER FLOOR PLAN

**2** LEVEL 01 MEZZANINE



**1** LEVEL 01



**932 BALMORAL RD & 1701 QUADRA ST**

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



2025-12-19

**FLOOR SPACE RATIO PLANS**

SCALE  
3/32" = 1'-0"



**FSR 1.01**



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932 BALMORAL RD  
& 1701 QUADRA ST

ISSUED FOR REZONING &  
DEVELOPMENT PERMIT TRG  
RESPONSE 2

DECEMBER 19, 2025



2025-12-19

## FLOOR SPACE RATIO PLANS

SCALE  
3/32" = 1'-0"



FSR 1.02

2 LEVELS 03 TO 05



1 LEVEL 02





**1** LEVEL 06



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**932 BALMORAL RD  
 & 1701 QUADRA ST**

ISSUED FOR REZONING &  
 DEVELOPMENT PERMIT TRG  
 RESPONSE 2

DECEMBER 19, 2025



2025-12-19

**FLOOR SPACE RATIO  
 PLANS**

SCALE  
 3/32" = 1'-0"



**FSR 1.03**

# FIRST MET - 934 BALMORAL RD & 1701 QUADRA ST

Victoria, BC

## Re-Issued for Rezoning / DP - December 19, 2025

### LANDSCAPE DRAWING LIST

L0.00 - Cover Sheet

#### Landscape Plans

- L1.01 - Site Concept Plan
- L1.02 - Level 2 Concept Plan
- L1.03 - Roof Terrace Concept Plan
- L1.04 - Rainwater Management Plan
- L1.05 - Landscape Lighting Plan

#### Planting Plan

- L4.01 - Site Planting Plan
- L4.02 - Tree Replacement and Soil Volume Plan

#### Details

- L4.11 - Paving
- L4.41 - Planting

4	Re-Issued for Rezoning/DP	2025-12-19
3	Re-Issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

**NOT FOR CONSTRUCTION**

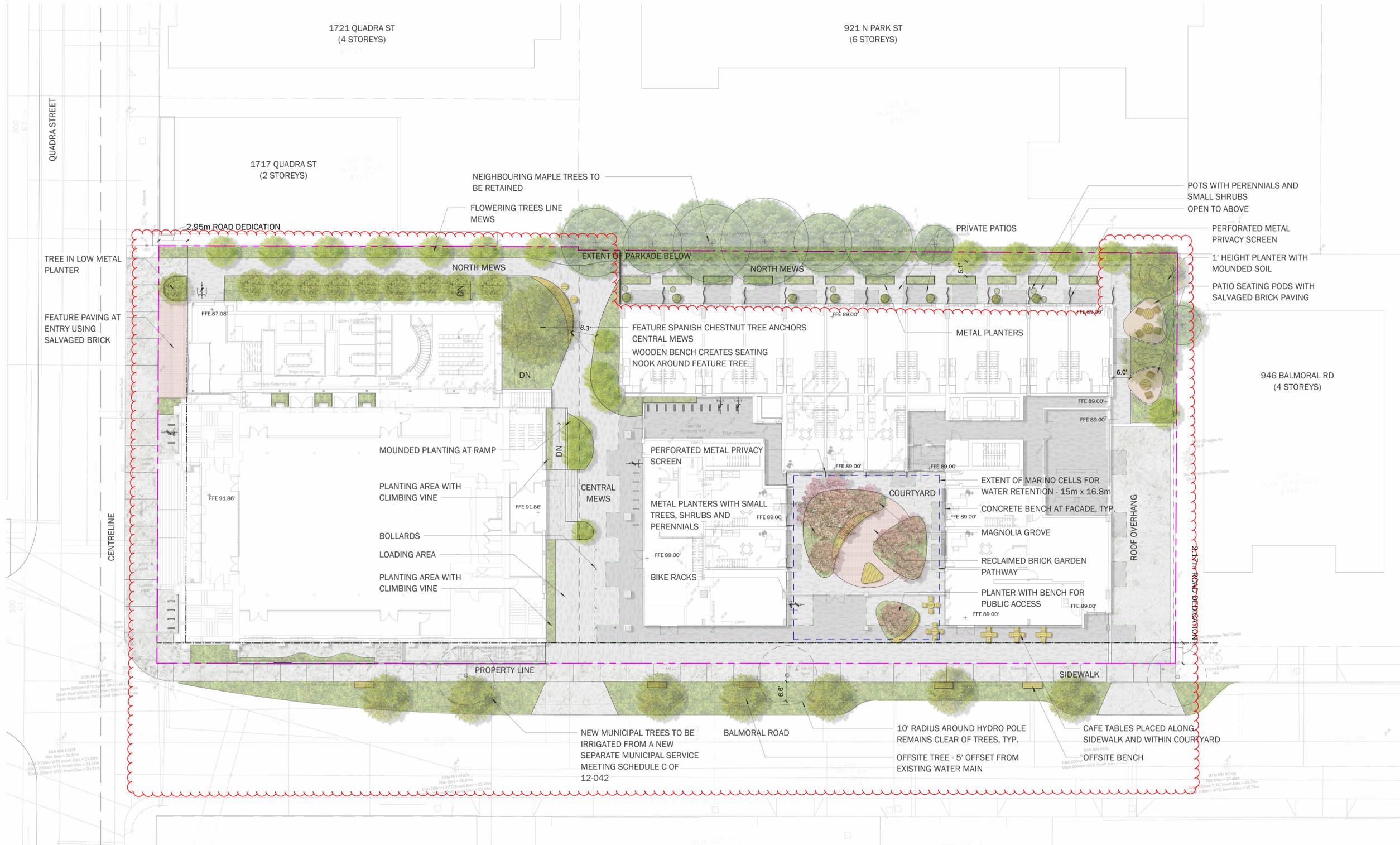
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**First Met**

**1701 Quadra St. Victoria,  
BC**

**Cover Sheet**

Date **02/08/24** Drawing Number  
Project No. **2429**  
Scale **L0.00**  
Drawn/Checked/Author | Checker



4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/03/05
1	CALUC Issue	2025/03/21
No.	Description	Date

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## First Met

1701 Quadra St. Victoria, BC

## Concept Plan Ground Floor

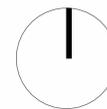
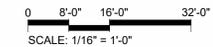
Date	03/21/25	Drawing Number	
Project No.	2429		
Scale	1/16" = 1' 0"		<b>L1.01</b>
Drawn/Checked	ZF   SS		

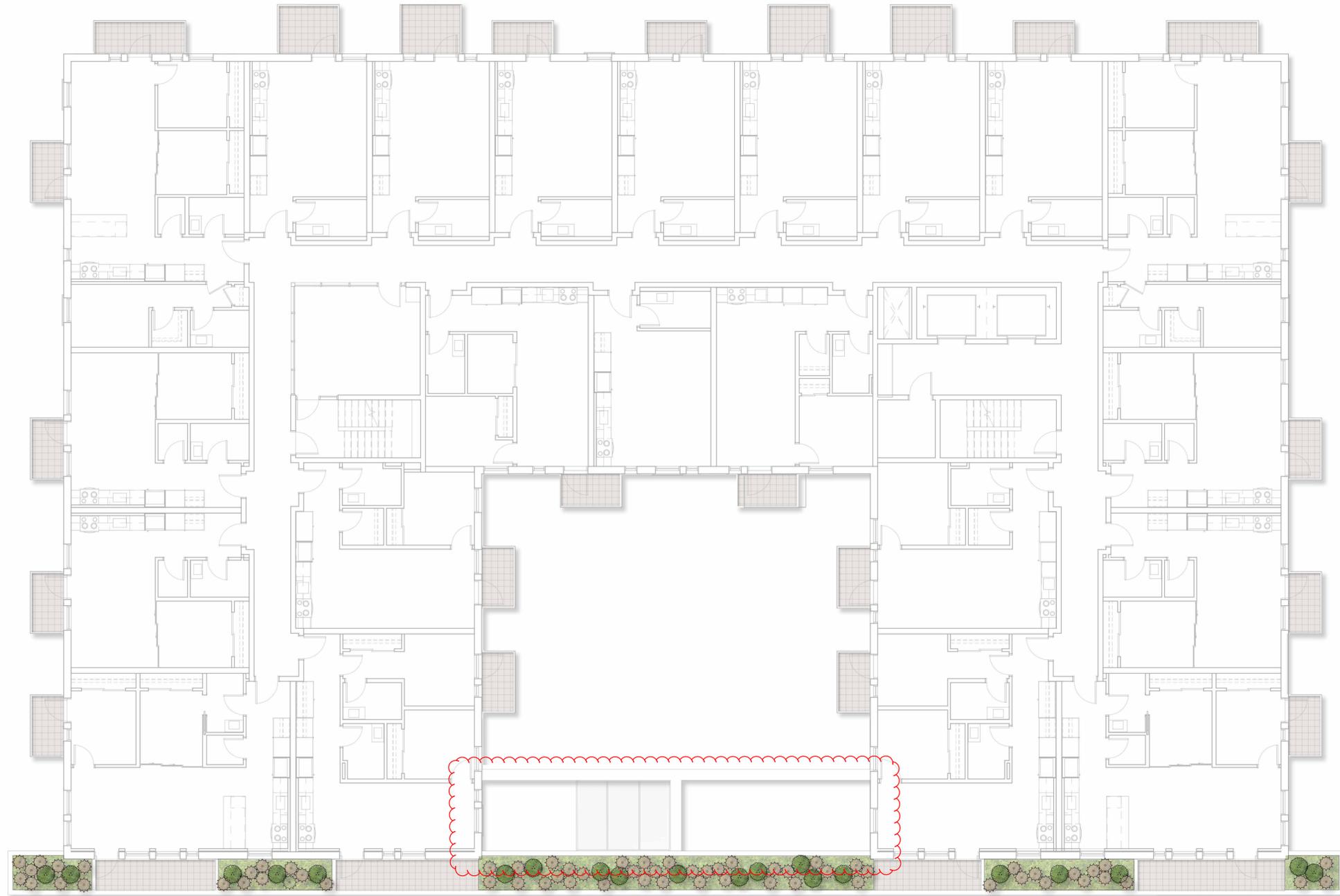
### MATERIAL LEGEND

- CONCRETE UNIT PAVERS
- CIP CONCRETE
- MOVEABLE TABLE AND CHAIRS
- BIKE RACKS (46 PUBLIC SPACES)
- EXISTING TREE TO BE RETAINED
- PLANTING AREA
- PLANTER WITH METAL EDGE
- METAL POTS - 36" OR 24" DIAMETER PLANTED WITH SMALL TREES, SHRUBS AND PERENNIALS
- PROPOSED OFFSITE BENCH

### GENERAL LEGEND

- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION





4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

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## First Met

1701 Quadra St. Victoria, BC

## Concept Plan Level 2

Date	03/21/25	Drawing Number
Project No.	2429	
Scale	1/8" = 1' 0"	<b>L1.02</b>
Drawn/Checked	ZF   SS	

### MATERIAL LEGEND

- PRIVATE PATIOS
- INTEGRATED PLANTING BOXES WITH MIXED SHRUBS

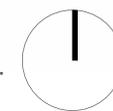
### GENERAL LEGEND

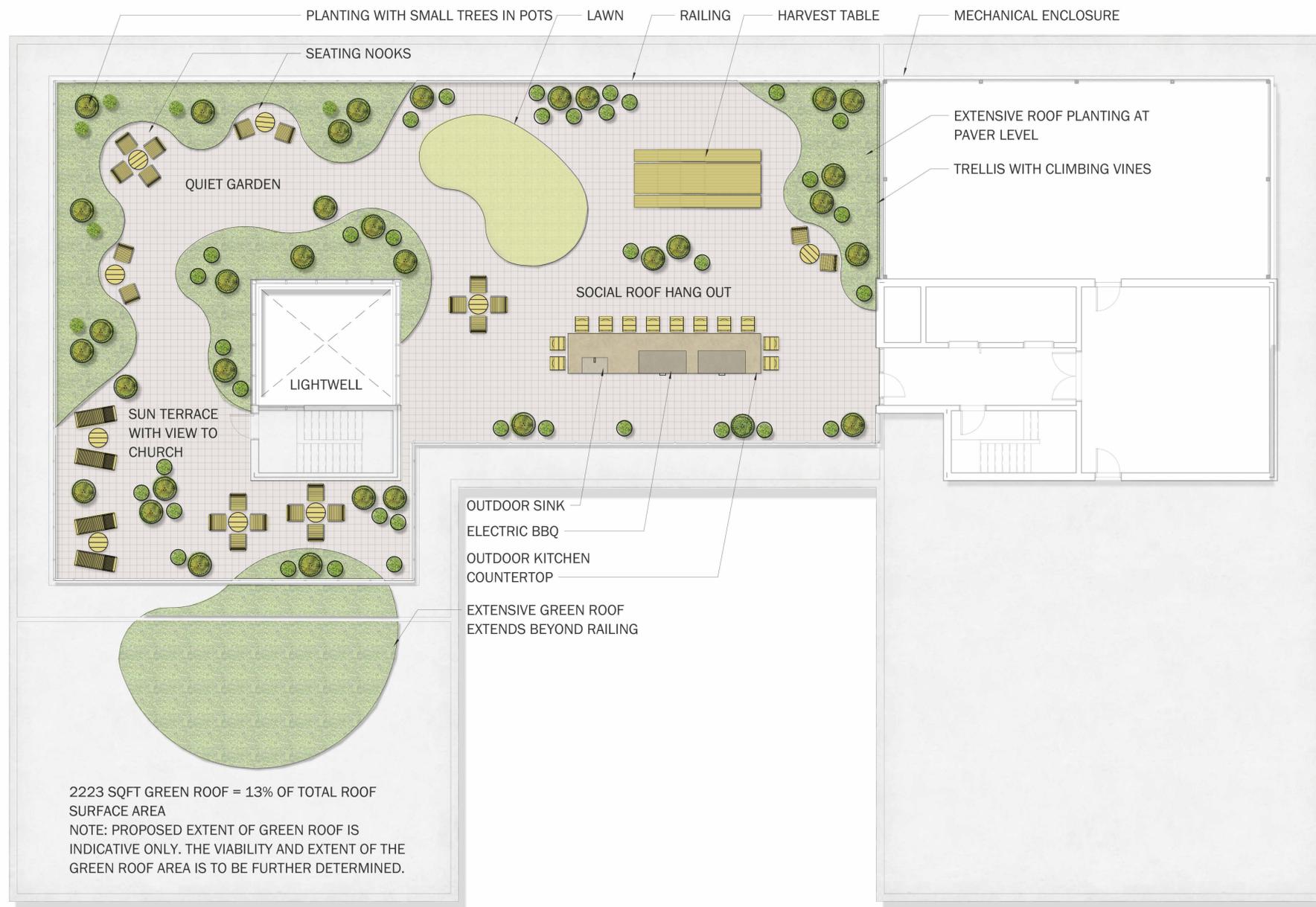
- DETAIL NUMBER:
- SHEET ON WHICH DETAIL IS SHOWN:
- REVISION:
- SECTION:
- ELEVATION:

### PLANT CONCEPT SCHEDULE

LEVEL 2 PART SUN	478 sf
Ceanothus thyrsiflorus repens / Creeping Blueblossom	6
Cotoneaster adpressus / Creeping Cotoneaster	6
Jasminum nudiflorum / Winter Jasmine	6
Rosa nutkana / Nootka Rose	6
Rubus parviflorus / Thimbleberry	6

0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"





**PLANTING CONCEPT SCHEDULE**

SMALL POTS - ROOF TERRACE	114 sf
Artemisia frigida / Fringed Wormwood	18 962
Aster laevis / Smooth Aster	18 962
Camassia leichtlinii / Great Camas	9 462
Polystichum munitum / Western Sword Fern	38
LARGE POTS - ROOF TERRACE	248 sf
Armeria maritima / Sea Thrift	41 239
Fragaria vesca / Woodland Strawberry	41 239
ROOF TERRACE EXTENSIVE ROOF	1 892 sf
Sedum mats with mixed species	
LAWN	255 sf

2223 SQFT GREEN ROOF = 13% OF TOTAL ROOF SURFACE AREA  
 NOTE: PROPOSED EXTENT OF GREEN ROOF IS INDICATIVE ONLY. THE VIABILITY AND EXTENT OF THE GREEN ROOF AREA IS TO BE FURTHER DETERMINED.

**PLANTING SCHEDULE**

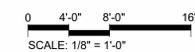
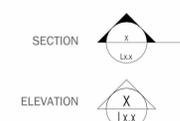
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS
	A12	9	Amelanchier laevis / Allegheny Serviceberry	#3 Pot	As Shown	Full, Well Established, Specimen Quality
	Cc2	11	Ceanothus x 'Concha' / Concha Wild Lilac	#3 Pot	As Shown	Full, Well Established, Specimen Quality
	Ps	8	Pinus contorta 'Spaan's Dwarf' / Spaan's Dwarf Shore Pine	#3 Pot	As Shown	Full, Well Established, Specimen Quality
	Rt2	7	Rhus typhina / Staghorn Sumac	#3 Pot	As Shown	Full, Well Established, Specimen Quality

**MATERIAL LEGEND**

	CONCRETE UNIT PAVERS ON PEDESTALS
	METAL POTS - 36" OR 24" DIAMETER PLANTED WITH SMALL TREES, SHRUBS AND PERENNIALS

**GENERAL LEGEND**

	DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
	REVISION
	PROPERTY LINE
	BUILDING OVERHANG



4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

**NOT FOR CONSTRUCTION**

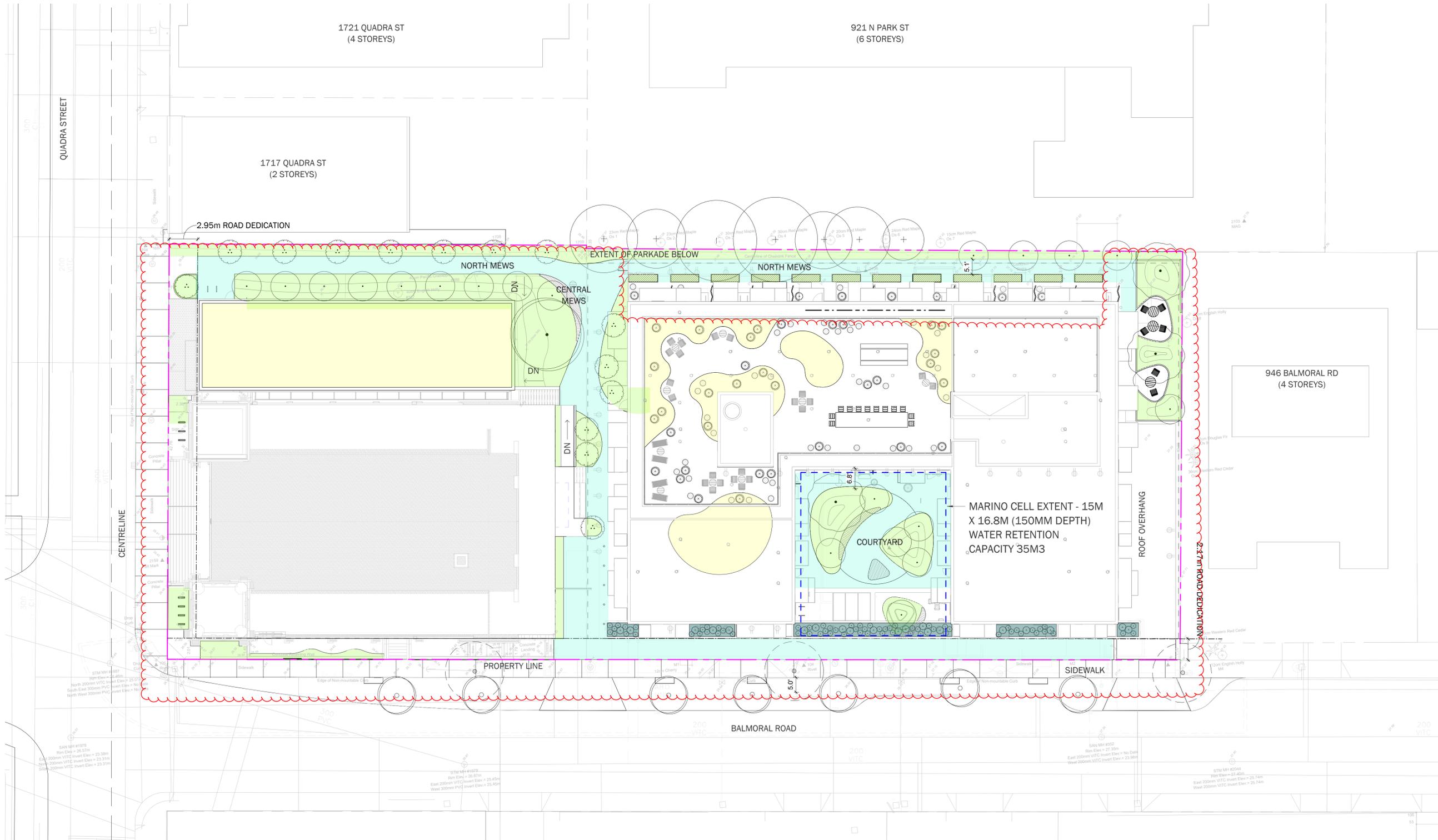
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**First Met**

**1701 Quadra St. Victoria, BC**

**Concept Plan Roof**

Date	03/21/25	Drawing Number
Project No.	2429	
Scale	1/8" = 1'-0"	<b>L1.03</b>
Drawn/Checked	ZF   SS	



# HAPA COLLABORATIVE

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403 - 375 West Fifth Avenue  
Vancouver BC, V5Y 1J6

Landscape Architecture  
Urban Design

3	Re-issued for Rezoning/DP	2025/09/09
No.	Description	Date

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**First Met**

**1701 Quadra St. Victoria, BC**

**Rainwater Management Plan**

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1:192	<b>L1.04</b>
Drawn/Checked	ZF   SS	

**SURFACE TREATMENT LEGEND**

- PLANTING AREA - 5804 SQFT / 539 SQM
- EXTENSIVE GREEN ROOF - 5040 SQFT / 468 SQM
- INTENSIVE GREEN ROOF - 477 SQFT / 44 SQM
- PERMEABLE PAVERS - 5005 SQFT / 465 SQM
- MARINO CELL EXTENTS - WATER RETENTION CAPACITY 35M3 TO MEET PREVIOUSLY SUBMITTED PLAN

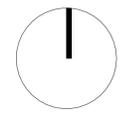
TOTAL PERVIOUS: - 16318 SQFT / 1516 SQM  
 TOTAL IMPERVIOUS: 31506 SQFT / 2927 SQM  
 TOTAL REQUIRED RAINWATER STORAGE: 93M3

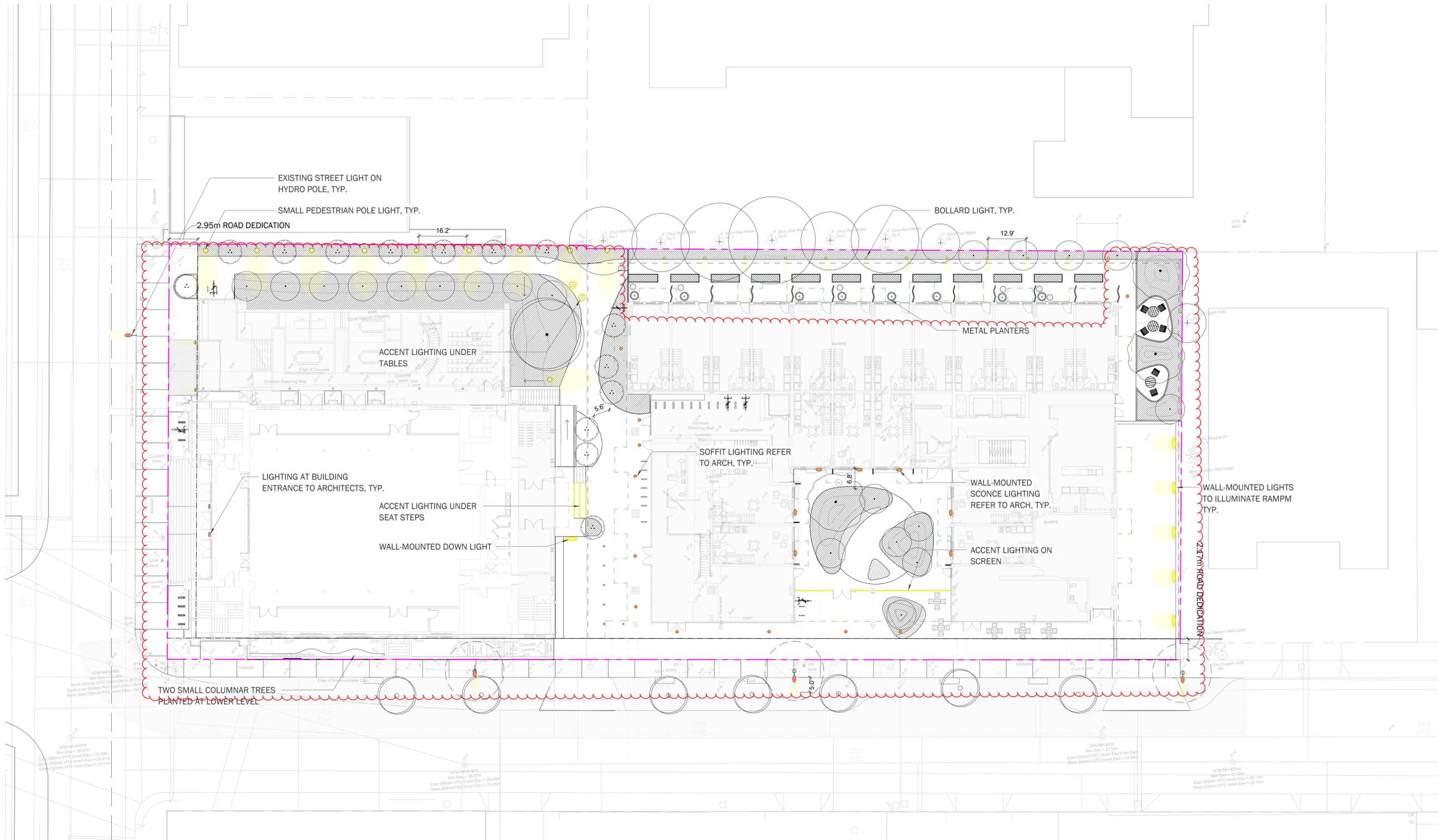
TOTALS NOT INCLUDING EXISTING CHURCH FOOTPRINT:  
 TOTAL PERVIOUS: - 16318 SQFT / 1516 SQM  
 TOTAL IMPERVIOUS: 20472 SQFT / 1927 SQM  
 TOTAL REQUIRED RAINWATER STORAGE: 61M3

**GENERAL LEGEND**

- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION

0 8'-0" 16'-0" 32'-0"  
 SCALE: 1/16" = 1'-0"





3	Re-issued for Rezoning/DP	2025/09/09
No.	Description	Date

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**First Met**

**1701 Quadra St. Victoria, BC**

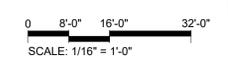
**Lighting Plan - Ground Floor**

**LIGHTING LEGEND**

- SMALL PEDESTRIAN POLE LIGHT
- BOLLARD LIGHT
- WALL-MOUNTED DOWN LIGHT
- ACCENT LIGHT

**GENERAL LEGEND**

- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION



Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1:192	<b>L1.05</b>
Drawn/Checked	ZF   SS	

### CONCEPT PLANT SCHEDULE

GROUND FLOOR - SHADE GROUNDCOVER		4 755 sf
Adiantum Pedantum / Northern Maidenhair Fern	395 323	
Asarum caudatum / Wild Ginger	790 646	
Athyrium filix-femina / Common Lady-Fern	197 663	
Blechnum spicant / Deer Fern	351 398	
Oxalis oregana / Redwood Sorrel	1 185 968	
Polystichum munitum / Sword Fern	790 647	
Tiarella cordifolia / Foamflower	790 647	

LARGE POTS - GROUND FLOOR		56 sf
Asarum caudatum / Wild Ginger	9 312	
Blechnum spicant / Deer Fern	4 136	

SMALL POTS - GROUND FLOOR		18 sf
Adiantum Pedantum / Northern Maidenhair Fern	1 494	
Oxalis oregana / Redwood Sorrel	4 488	
Polystichum munitum / Western Sword Fern		
Tiarella cordifolia / Foamflower	2 994	

BOULEVARD LAWN		2 503 sf
Cerastium arvense / Field Chickweed		
Festuca roemerii / Roemer's Fescue		
Trifolium tridentatum / Tomcat Clover		

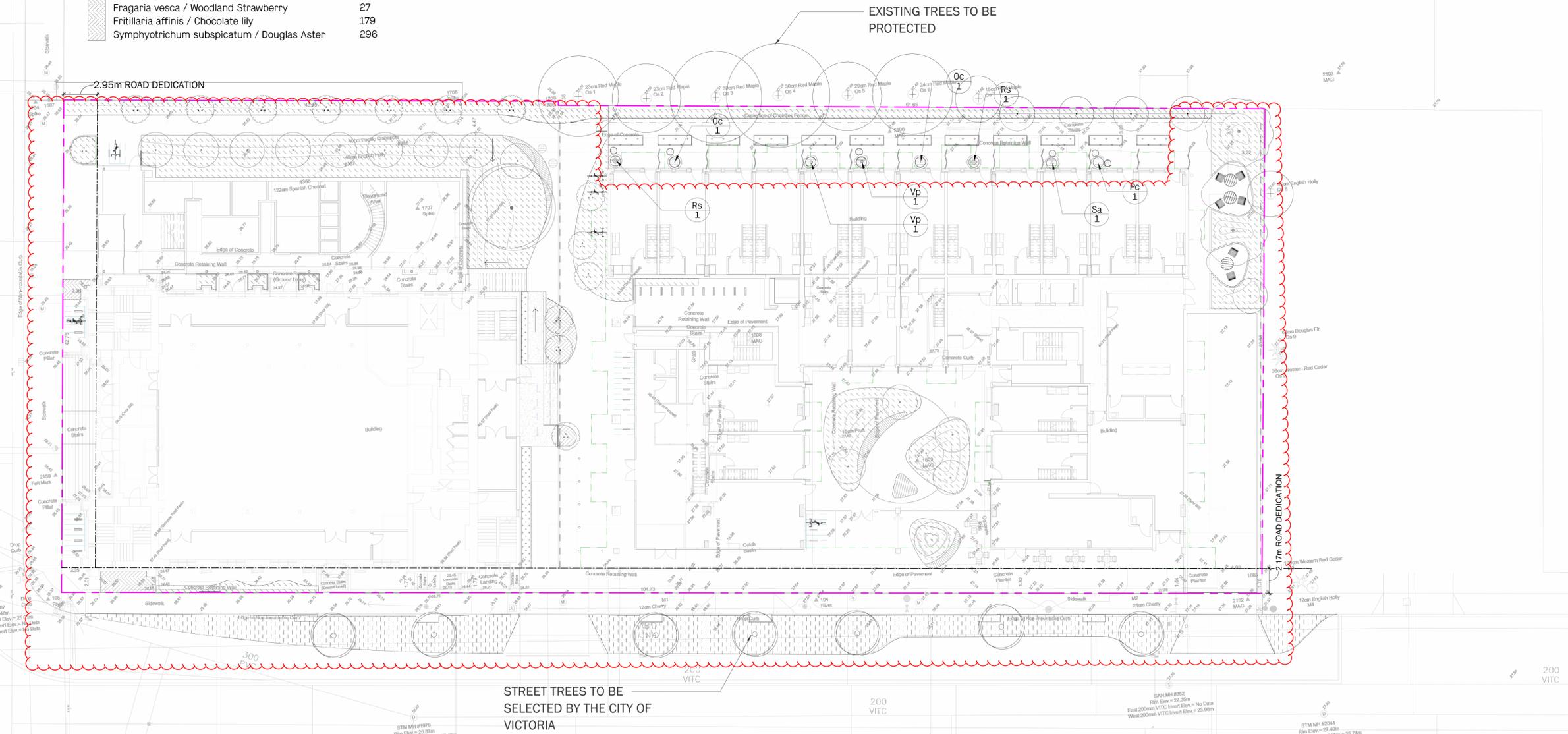
PART SUN GROUNDCOVER		283 sf
Allium cernuum / Nodding Onion	43	
Arctostaphylos uva-ursi / Kinnikinnick	11	
Deschampsia cespitosa / Tufted Hair Grass	59	
Fragaria vesca / Woodland Strawberry	27	
Fritillaria affinis / Chocolate lily	179	
Symphytichum subspicatum / Douglas Aster	296	

PATIO PLANTERS		325 sf
Mahonia nervosa / Oregon Grape	36	

GREEN WALL		136 sf
Hydrangea anomala petiolaris / Climbing Hydrangea	19	
Parthenocissus quinquefolia / Virginia Creeper	19	
Parthenocissus tricuspidata / Boston Ivy	22	

### PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
	Oc	2	Oemleria cerasiformis / Osoberry	#3 Pot	As Shown
	Pc	1	Physocarpus capitatus / Pacific Ninebark	#3 Pot	As Shown
	Rs	2	Ribes sanguineum / Red Flowering Currant	#3 Pot	As Shown
	Sa	1	Symphoricarpos albus / Common Snowberry	#3 Pot	As Shown
	Vp	2	Vaccinium parvifolium / Red Huckleberry	#3 Pot	As Shown



STREET TREES TO BE  
SELECTED BY THE CITY OF  
VICTORIA

EXISTING TREES TO BE  
PROTECTED

3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date
1	Rezoning/DP	2025/05/05

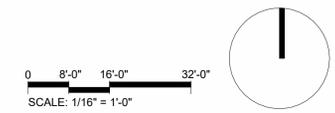
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**First Met**

**1701 Quadra St. Victoria, BC**

**Planting Plan - Ground Floor**



Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1:192	<b>L4.01</b>
Drawn/Checked	ZF   SS	

PLANT SCHEDULE

SYMBOL CODE QTY BOTANICAL / COMMON NAME SIZE SPACING COMMENTS

1:1 - 13 TOTAL

	BR	9	Betula nigra / River Birch	6cm cal.	As Shown	B&B
	CS	1	Castanea sativa / Spanish Chestnut	6cm cal.	As Shown	B&B
	GB	2	Ginkgo biloba / Maidenhair Tree	6cm cal.	As Shown	B&B
	MK	1	Magnolia kobus / Kobus Magnolia	3.0m ht.	As Shown	B&B

2:1 - 21 Total = 10 REPLACEMENT TREES

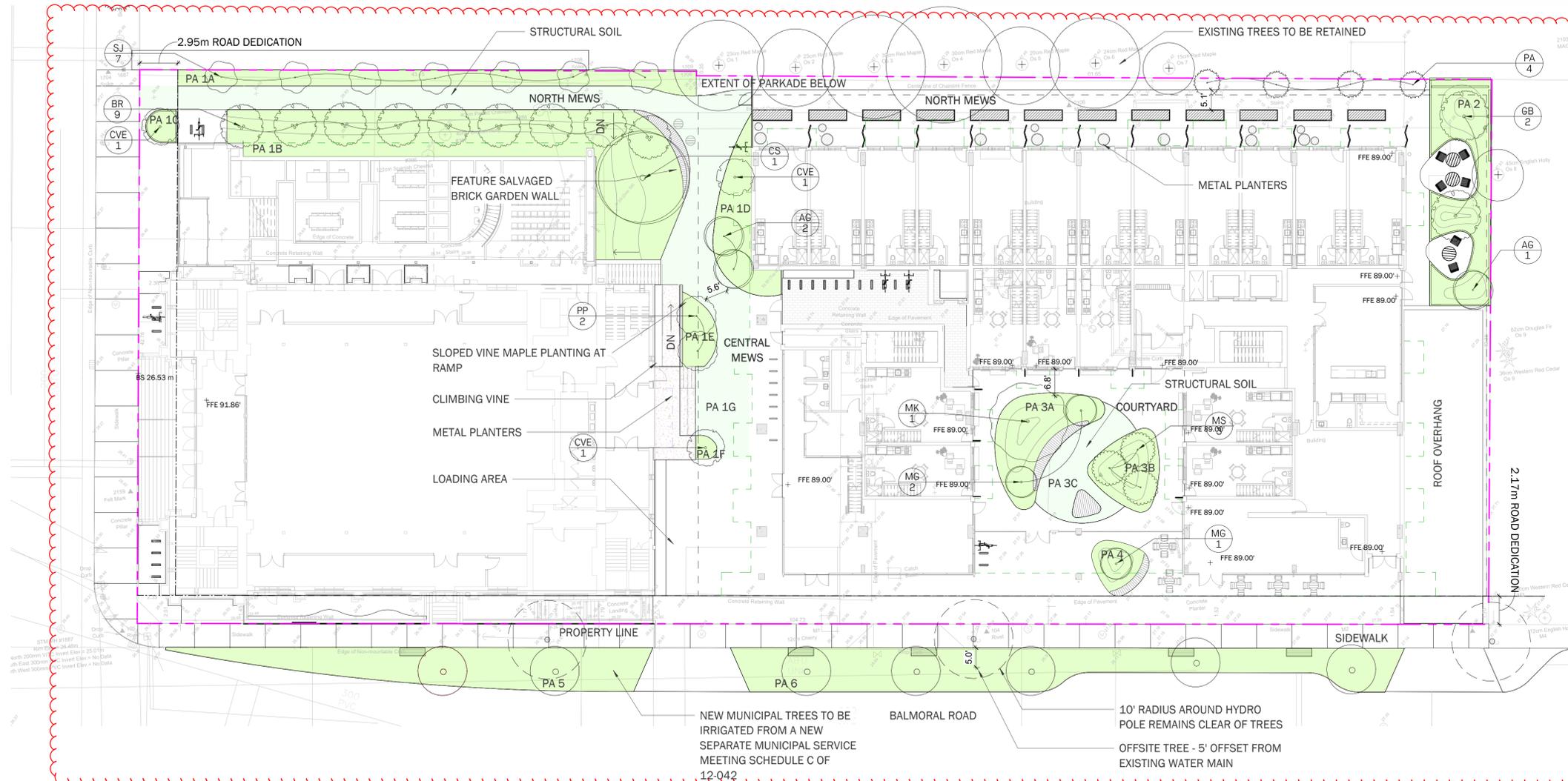
	AG	3	Acer griseum / Paperbark Maple	6cm cal.	As Shown	B&B
	CVE	3	Cornus x 'KN30-8' / Venus® Dogwood	1.8m ht.	As Shown	B&B
	MG	3	Magnolia grandiflora / Southern Magnolia	2.0m ht.	As Shown	B&B
	MS	3	Magnolia stellata / Star Magnolia	2.0m ht.	As Shown	B&B
	PP	2	Parrotia persica / Persian Parrotia	6cm cal.	As Shown	B&B
	SJ	7	Styrax japonicus / Japanese Snowbell	6cm cal.	As Shown	B&B

ADDITIONAL TREES

	PA	4	Prunus serrulata 'Amanogawa' / Japanese Flowering Cherry	2.0m ht.	As Shown	B&B
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REPLACEMENT TREE CHART

Planting Area ID	Area (m2)	Soil volume multiplier	Replacement Trees proposed				Soil volume required (m3)			
			A. Estimate soil volume	B. #Small	C. # Medium	D. #Large	E. Small	F. Medium	G. Large	Total
Onsite										
1	54.53	0.9	49.10m3	8			48m3			48m3
2	167	0.9	150m3		10			150m3		150m3
3	9.00	0.9	8.1m3	1			8m3			8m3
4	5.75	0.9	5.2m3	1			8m3			8m3
5	9.00	0.9	8.1m3	1			8m3			8m3
6	9.00	0.9	8.1m3	1			8m3			8m3
7	18.20	0.9	16.38m3	2			12m3			12m3
8	27.6	0.9	24.94m3	4			24m3			24m3
9	58.6	0.6	35.16m3		2			30m3		30m3
10	34.6	0.9	31.14m3		1			20m3		20m3
11	8.92	0.9	8.02m3	1			8m3			8m3
12	9.75	0.9	8.78m3	1			8m3			8m3
13	9.65	0.9	8.69m3	1			8			8m3
Offsite										
14	90.0	0.9	81m3		2			30m3		30m3
15	148.64	0.9	133.78m3		4			120m3		120m3
Calculation Instructions							E	F	G	
							If B=1, Bx8 If B>1, Bx6	If C=1, Cx20 If C>1, Cx15	If D=1, Dx35 If D>1, Dx30	E+F+G



4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
No.	Description	Date

**NOT FOR CONSTRUCTION**

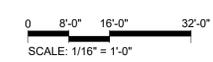
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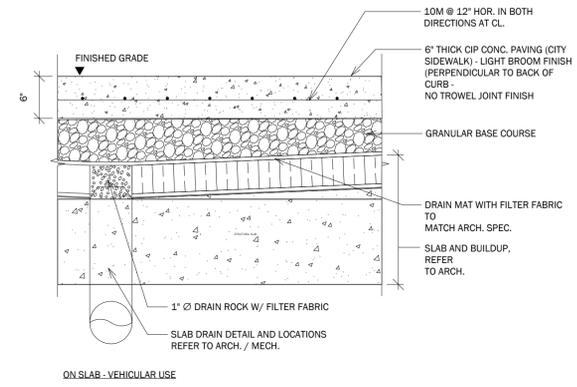
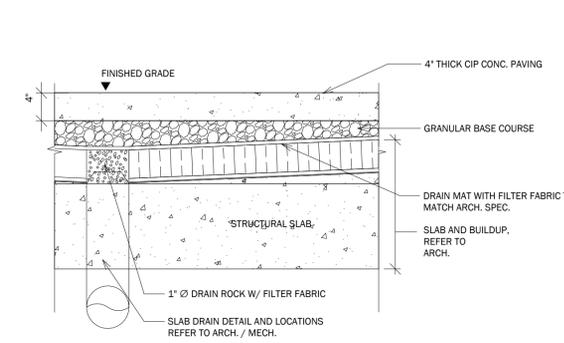
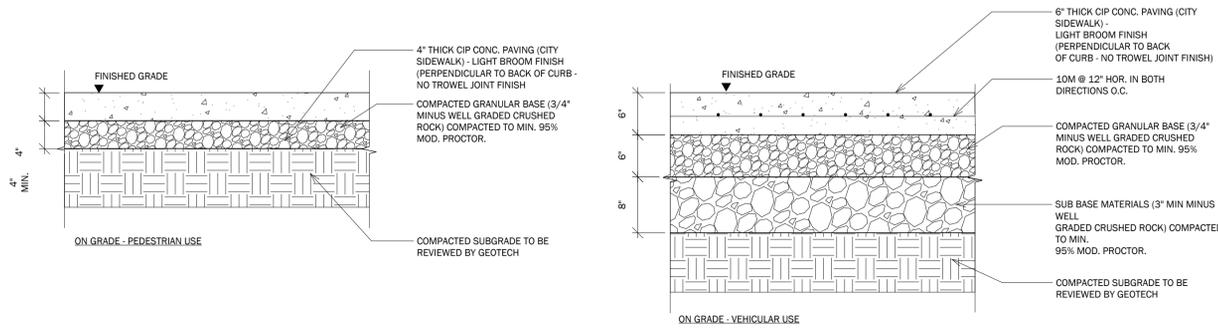
**First Met**

1701 Quadra St. Victoria, BC

**Tree Replacement and Soil Volume Plan**

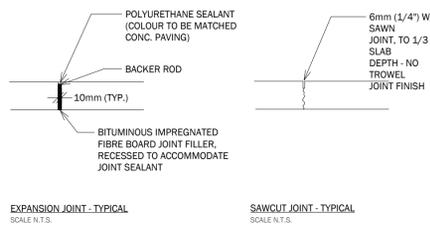
Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1:192	<b>L4.02</b>
Drawn/Checked	ZF   SS	





1 CIP CONCRETE PAVING ON GRADE  
L4.11 1" = 1' 0"

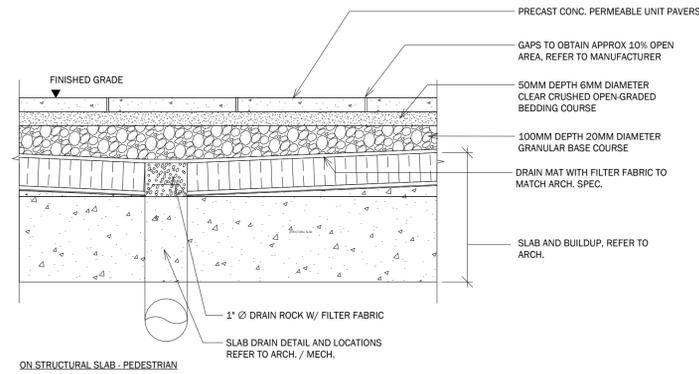
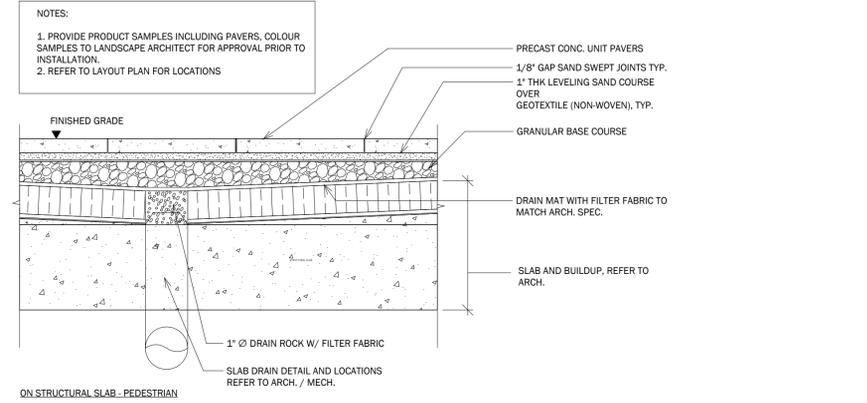
2 CIP CONCRETE PAVING ON SLAB  
L4.11 1" = 1' 0"



- NOTES:
1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH.
  2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS.
  3. C-2 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS REFER TO LAYOUT PLAN.
  4. PROVIDE ISOLATION JOINTS, AS SHOWN ON PLAN, BETWEEN POURS; AT CHANGE IN MATERIALS; AT EDGES ABUTTING STRUCTURES AND OTHER FIXED ELEMENTS; AT MAX. 6.0M O.C.
  5. SAW CUT JOINTS TO BE LOCATED AT 9' 0" (3.0m) MAX. INTERVALS. REFER TO PLAN.
  6. EXPANSION JOINTS TO BE LOCATED AT 30' 0" (9.0m) MAX. INTERVALS AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS. INSTALL EXPANSION JOINTS (MAXIMUM 9m), WHEN SIDEWALK IS ADJACENT TO CURB, MAKE JOINTS OF CURB, GUTTERS AND SIDEWALK COINCIDE.
  7. ENSURE CLEAN CUT EDGE OF EXISTING PAVING ALONG PROPERTY LINE.
  8. REFER LANDSCAPE SPECIFICATION 32 13 13 - CONCRETE FOR EXTERIOR IMPROVEMENTS

3 CIP CONCRETE PAVING JOINTS  
L4.11 1" = 1' 0"

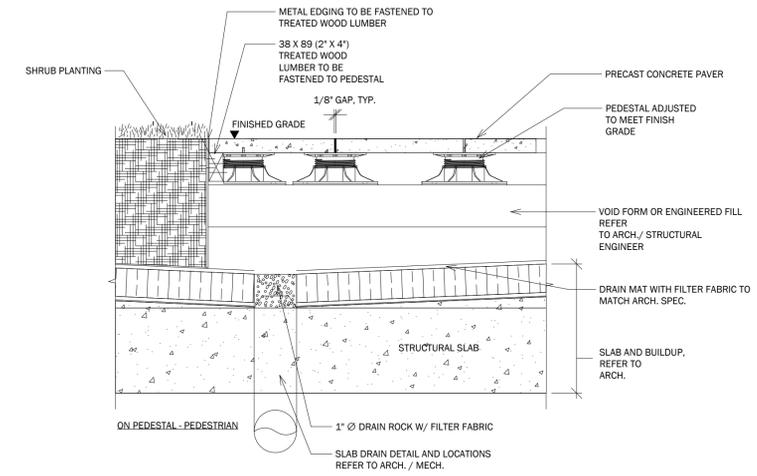
- NOTES:
1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
  2. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR JOINT WIDTHS.
  3. REFER TO LAYOUT PLAN FOR LOCATIONS



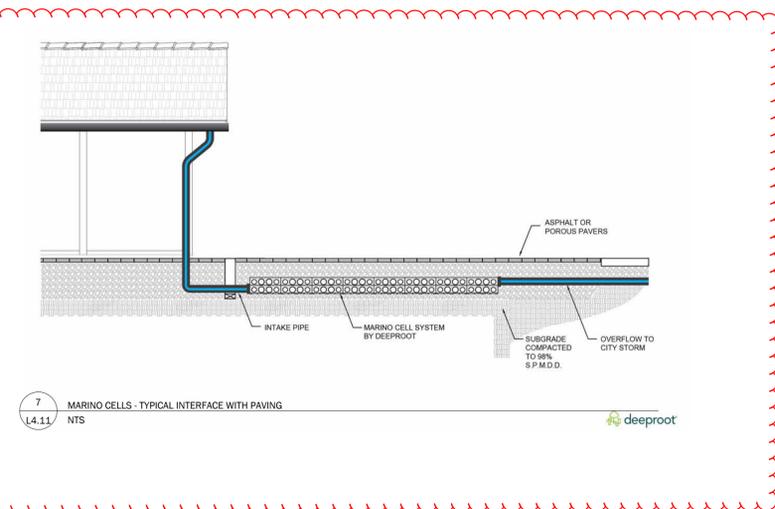
4 PRECAST CONCRETE UNIT PAVING  
L4.11 1" = 1' 0"

5 PRECAST CONCRETE UNIT PAVING - PERMEABLE  
L4.11 1" = 1' 0"

- NOTES:
1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
  2. ALL PEDESTALS MUST BE INSTALLED OVER A MINIMUM 60 PSI RIGID INSULATION WITH PROTECTION BOARD TO SPREAD THE LOAD. REFER TO PEDESTAL MANUFACTURER'S RECOMMENDATIONS.
  3. REFER TO LAYOUT PLAN FOR LOCATIONS



6 PRECAST CONCRETE UNIT PAVING  
L4.11 1" = 1' 0"



7 MARINO CELLS - TYPICAL INTERFACE WITH PAVING  
L4.11 NTS

4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALLUC Issue	2025/03/21
No.	Description	Date
1	Rezoning/DP	2025/05/05

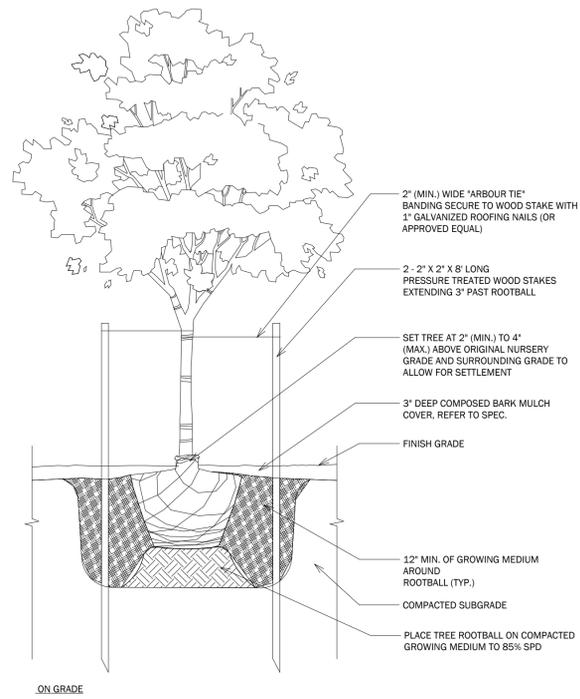
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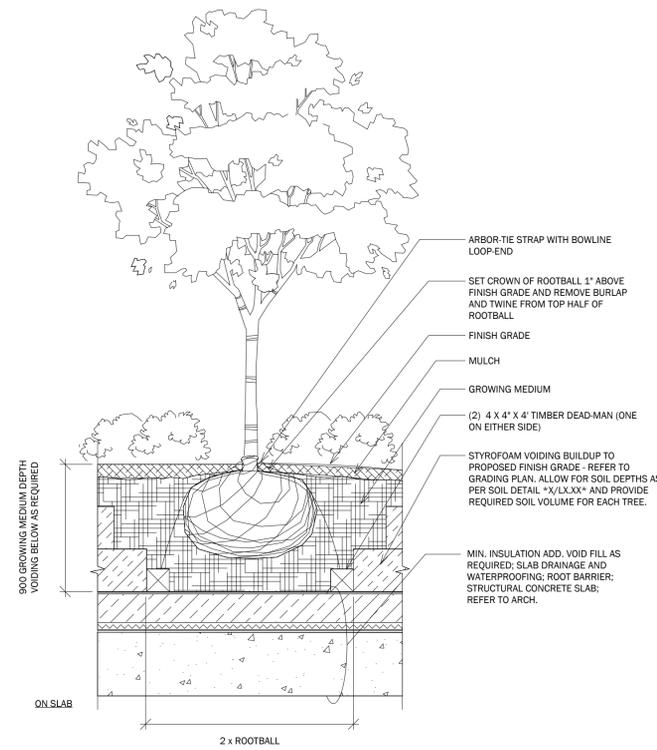
First Met

1701 Quadra St. Victoria, BC

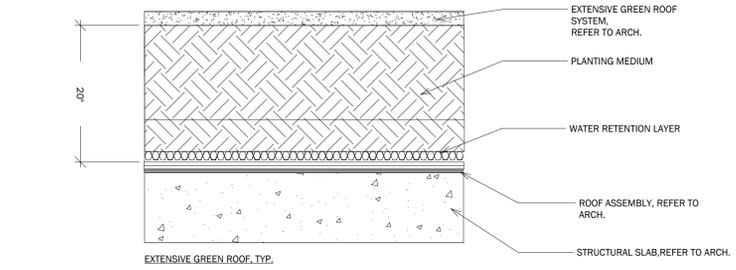
Paving Details



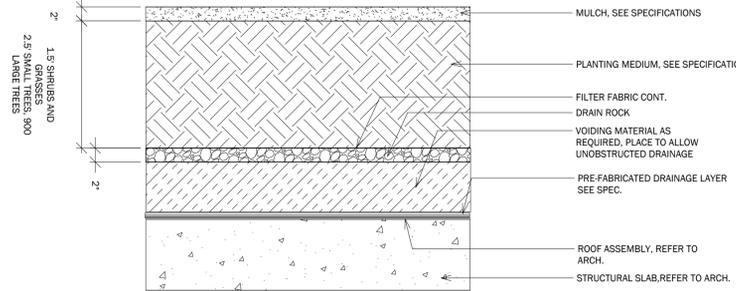
1 TREE PLANTING  
L4.41 1" = 1' 0"



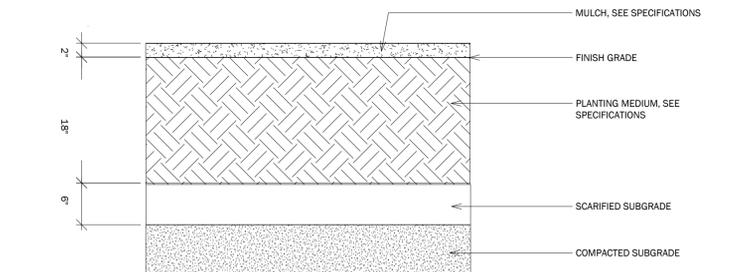
2 TREE PLANTING  
L4.41 1" = 1' 0"



EXTENSIVE GREEN ROOF, TYP.

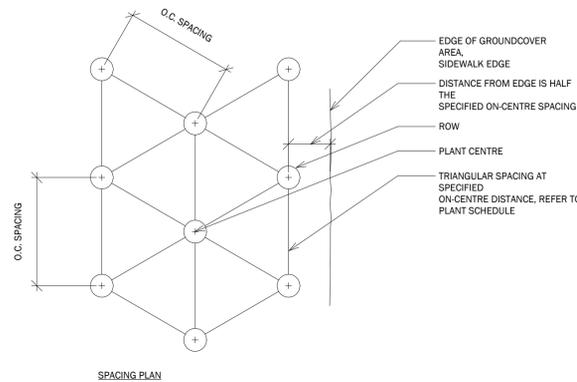


SHRUB AND TREE PLANTING ON SLAB

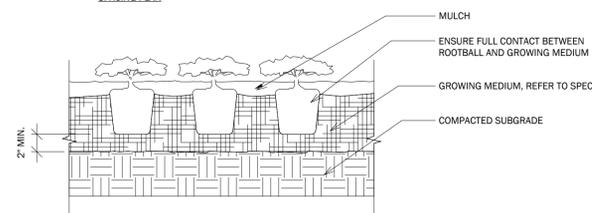


SHRUB PLANTING AREAS

3 TREE PLANTING  
L4.41 1" = 1' 0"



SPACING PLAN



5 GROUND COVER PLANTING  
L4.41 1" = 1' 0"

# HAPA COLLABORATIVE

604 909 4150  
hapactb.com

403 - 375 West Fifth  
Avenue  
Vancouver BC, V5Y 1J6

Landscape Architecture  
Urban Design

4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALLUC Issue	2025/03/21
No.	Description	Date
1	Rezoning/DP	2025/05/05

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**First Met**

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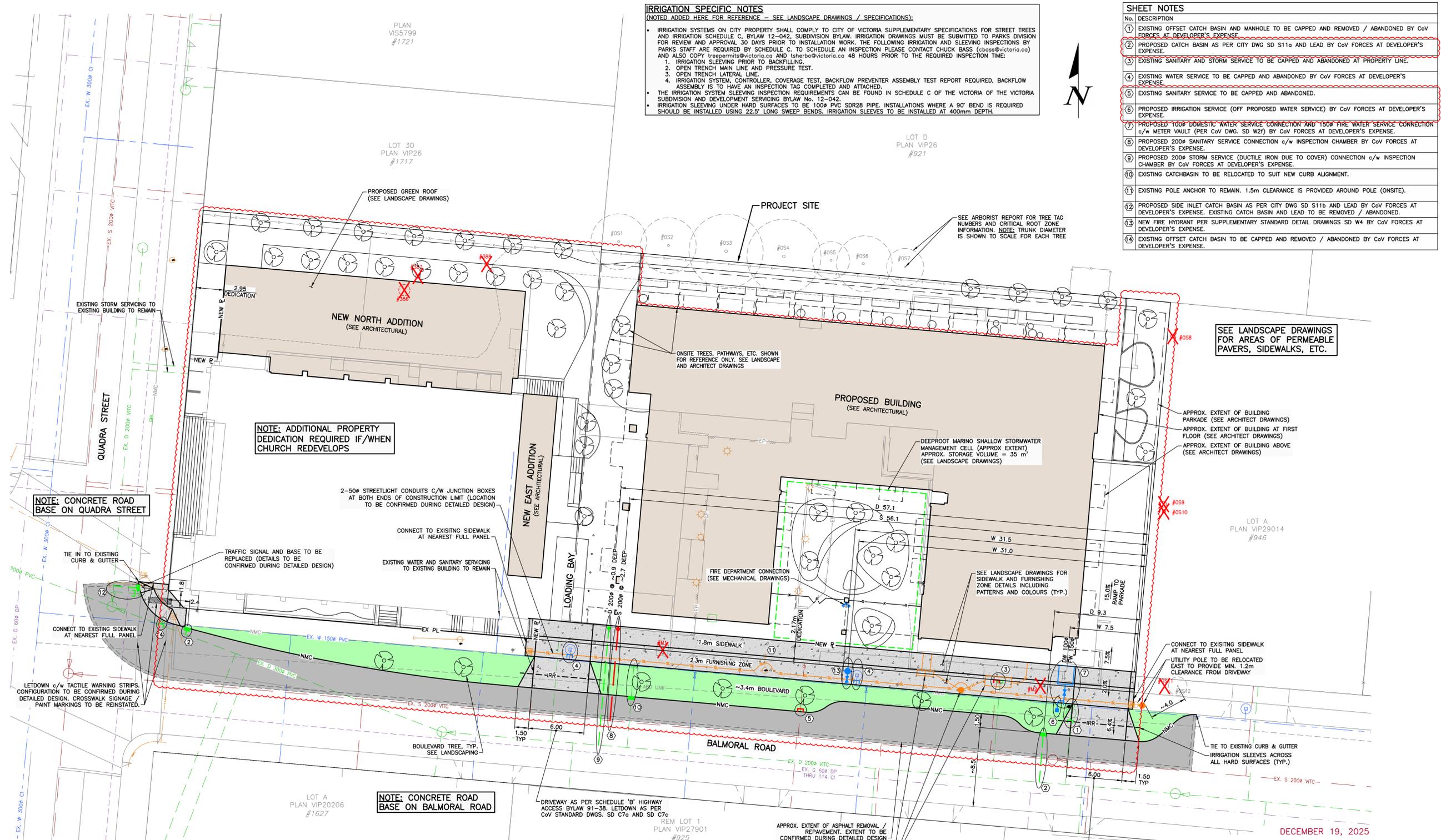
**Planting Details**

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 12	<b>L4.41</b>
Drawn/Checked	ZF   SS	

**IRRIGATION SPECIFIC NOTES**  
(NOTED ADDED HERE FOR REFERENCE - SEE LANDSCAPE DRAWINGS / SPECIFICATIONS):

- IRRIGATION SYSTEMS ON CITY PROPERTY SHALL COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO PARKS DIVISION FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT CHUCK BASS (cbass@victoria.ca) AND ALSO COPY treepermits@victoria.ca AND tshebo@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME:
  - IRRIGATION SLEEVING PRIOR TO BACKFILLING.
  - OPEN TRENCH MAIN LINE AND PRESSURE TEST.
  - OPEN TRENCH LATERAL LINE.
  - IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY IS TO HAVE AN INSPECTION TAG COMPLETED AND ATTACHED.
- THE IRRIGATION SYSTEM SLEEVING INSPECTION REQUIREMENTS CAN BE FOUND IN SCHEDULE C OF THE VICTORIA OF THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW No. 12-042.
- IRRIGATION SLEEVING UNDER HARD SURFACES TO BE 100mm PVC SDR28 PIPE. INSTALLATIONS WHERE A 90° BEND IS REQUIRED SHOULD BE INSTALLED USING 22.5' LONG SWEEP BENDS. IRRIGATION SLEEVES TO BE INSTALLED AT 400mm DEPTH.

SHEET NOTES	
No.	DESCRIPTION
1	EXISTING OFFSET CATCH BASIN AND MANHOLE TO BE CAPPED AND REMOVED / ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
2	PROPOSED CATCH BASIN AS PER CITY DWG SD S11a AND LEAD BY CoV FORCES AT DEVELOPER'S EXPENSE.
3	EXISTING SANITARY AND STORM SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
4	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
5	EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED.
6	PROPOSED IRRIGATION SERVICE (OFF PROPOSED WATER SERVICE) BY CoV FORCES AT DEVELOPER'S EXPENSE.
7	PROPOSED 100mm DOMESTIC WATER SERVICE CONNECTION AND 150mm FIRE WATER SERVICE CONNECTION c/w METER VAULT (PER CoV DWG. SD W2f) BY CoV FORCES AT DEVELOPER'S EXPENSE.
8	PROPOSED 200mm SANITARY SERVICE CONNECTION c/w INSPECTION CHAMBER BY CoV FORCES AT DEVELOPER'S EXPENSE.
9	PROPOSED 200mm STORM SERVICE (DUCTILE IRON DUE TO COVER) CONNECTION c/w INSPECTION CHAMBER BY CoV FORCES AT DEVELOPER'S EXPENSE.
10	EXISTING CATCHBASIN TO BE RELOCATED TO SUIT NEW CURB ALIGNMENT.
11	EXISTING POLE ANCHOR TO REMAIN. 1.5m CLEARANCE IS PROVIDED AROUND POLE (ONSITE).
12	PROPOSED SIDE INLET CATCH BASIN AS PER CITY DWG SD S11b AND LEAD BY CoV FORCES AT DEVELOPER'S EXPENSE. EXISTING CATCH BASIN AND LEAD TO BE REMOVED / ABANDONED.
13	NEW FIRE HYDRANT PER SUPPLEMENTARY STANDARD DRAWINGS SD W4 BY CoV FORCES AT DEVELOPER'S EXPENSE.
14	EXISTING OFFSET CATCH BASIN TO BE CAPPED AND REMOVED / ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.



**NOTES:**

- FOR BUILDING INFORMATION, SEE DRAWINGS BY MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.
- FOR LANDSCAPING, SEE DRAWINGS BY HAPA COLLABORATIVE.
- FOR TREE INFORMATION INCLUDING DRIP LINES AND TREE REMOVAL/RETAIN, SEE REPORT/DRAWINGS BY D. CLARK ARBORICULTURE.
- FOR LEGAL INFORMATION, SEE DRAWINGS BY J.E. ANDERSON & ASSOCIATES.
- UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
- FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT).
- ALL EXISTING DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE (NOT SHOWN FOR CLARITY).
- ALL EXISTING VALVE BOXES, UTILITY BOXES, MANHOLES, ETC. TO BE ADJUSTED AS REQUIRED TO MEET FINAL GRADES.
- BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
- ONSITE BIKE PARKING, ETC. NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).
- ANY DISTURBED SURVEY MONUMENT TO BE REPLACED BY REGISTERED PROFESSIONAL SURVEY AT DEVELOPER'S EXPENSE.

**LEGEND**

	EXISTING TREE AND TAG # REFER TO ARBORIST REPORT BY D. CLARK ARBORICULTURE.
	EXISTING TREE AND TAG # TO BE REMOVED REFER TO ARBORIST REPORT BY D. CLARK ARBORICULTURE.

**LEGAL PLAN & TOPOGRAPHIC SURVEY PROVIDED BY J.E. ANDERSON & ASSOCIATES**

**SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION**

**PERMIT TO PRACTICE**  
McElhanney Ltd.  
PERMIT NUMBER: 1003289  
Engineers and Geoscientists of BC

**ISSUED FOR REZONING / DEVELOPMENT PERMIT**

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**CAUTION:** EXISTING UTILITIES KNOWN TO BE IN THE PROJECT VICINITY ARE SHOWN SCHEMATICALLY AND INCLUDE, BUT ARE NOT LIMITED TO: BC HYDRO, CITY OF VICTORIA WATER / SANITARY / STORM DRAIN, FORTISBC, AND TELUS COMMUNICATIONS. FIELD LOCATES REQUIRED PRIOR TO CONSTRUCTION. HAND DIG WERE REQUIRED.

NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
3	DEC 19/25	NCD	ISSUED FOR REZONING / DEVELOPMENT PERMIT				
2	SEPT 8/25	NCD	ISSUED FOR REZONING / DEVELOPMENT PERMIT				
1	APR 30/25	NCD	ISSUED FOR REZONING / DEVELOPMENT PERMIT				

**McElhanney**  
500 - 3960 QUADRA STREET  
VICTORIA, BC V8X 4A3  
PH (250) 370-9221



PROJECT: <b>934 BALMORALE ROAD, VICTORIA, BC</b>	SCALE HORIZ: 1:200	VERT:
TITLE: <b>PRELIMINARY CIVIL PLAN</b>	PROJECT NO. 24-054	ISSUED/REVISION 3
	APPROVING AUTHORITY FILE NO.	
	DRAWING NO. 24-054-CSP	

A:\2024\PROJECTS\24-054\934 BALMORALE\8907-08\DWG\03-24-054-CSP.dwg 12/19/2025 9:05 AM CSP