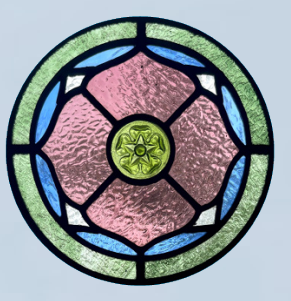




**932 BALMORAL
ROAD & 1701
QUADRA STREET**



**REZONING & DEVELOPMENT
PERMIT APPLICATION
TRG COMMENT RESPONSE 2**

DECEMBER 19, 2025

ZONING SUMMARY

CIVIC ADDRESS:
932 BALMORAL ROAD & 1701 QUADRA STREET
VICTORIA, BRITISH COLUMBIA V8T 1A8

LEGAL DESCRIPTION:
REFER TO SURVEY

ZONING:
CBD-1

DRAWING LIST

COVER SHEET	
A0.01	DEVELOPMENT DATA
A0.02	SURVEY
A0.03	SITE CONTEXT
A0.04	SITE COVERAGE + AVERAGE GRADE
A1.00	DECONSTRUCTION SITE PLAN
A1.01	DECONSTRUCTION PLAN LOWER FLOOR - HERITAGE BLDG
A1.02	DECONSTRUCTION PLAN FIRST FLOOR - HERITAGE BLDG
A1.03	DECONSTRUCTION PLAN MEZZANINE - HERITAGE BLDG
A1.04	DECONSTRUCTION PLAN ROOF - HERITAGE BLDG
A1.10	SITE PLAN AT LEVEL 1
A1.11	SITE PLAN AT ROOF
A2.04	LOWER FLOOR PLAN - HERITAGE BLDG
A2.05	FIRST FLOOR PLAN - HERITAGE BLDG
A2.06	MEZZANINE PLAN - HERITAGE BLDG
A2.07	ROOF PLAN - HERITAGE BLDG
A2.10	LEVEL P1 PLAN - RESIDENTIAL BLDG
A2.11	LEVEL 01 PLAN - RESIDENTIAL BLDG
A2.12	MEZZANINE PLAN - RESIDENTIAL BLDG
A2.13	LEVEL 02 PLAN - RESIDENTIAL BLDG
A2.14	LEVEL 03 PLAN - RESIDENTIAL BLDG
A2.15	LEVEL 04 PLAN - RESIDENTIAL BLDG
A2.16	LEVEL 05 PLAN - RESIDENTIAL BLDG
A2.17	LEVEL 06 PLAN - RESIDENTIAL BLDG
A2.18	ROOF PLAN - RESIDENTIAL BLDG
A3.00	BALMORAL ROAD ELEVATION
A3.01	QUADRA STREET ELEVATION
A3.02	NORTH SITE ELEVATION
A3.03	EAST SITE ELEVATION
A3.04	CENTRAL MEWS WEST SITE ELEVATION
A3.05	CENTRAL MEWS EAST SITE ELEVATION
A3.10	HERITAGE ELEVATION - BALMORAL ROAD
A3.11	HERITAGE ELEVATION - QUADRA STREET
A3.12	HERITAGE ELEVATION - NORTH SITE
A3.13	HERITAGE ELEVATION - CENTRAL MEWS EAST
A4.00	SITE SECTIONS
A4.01	SITE SECTIONS
A4.10	TYP FOUNDATION WALL DETAILS
A4.11	INTERIOR HERITAGE ELEVATION
A5.00	SHADOW STUDIES
FSR 1.00	FLOOR SPACE RATIO PLANS
FSR 1.01	FLOOR SPACE RATIO PLANS
FSR 1.02	FLOOR SPACE RATIO PLANS
FSR 1.03	FLOOR SPACE RATIO PLANS

PROJECT TEAM

OWNER: ARYZE DEVELOPMENTS 200-398 HARBOUR ROAD VICTORIA BC V9A 0B7 250-940-3598	ENERGY COMPLIANCE ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288
ARCHITECT: MARIANNE AMODIO + HARLEY GRUSKO ARCHITECTS 201-877 EAST HASTINGS ST. VANCOUVER BC V6A 3Y1 778-379-9276	LANDSCAPE ARCHITECT: HAPA COLLABORATIVE 403-375 W 5th AVE. VANCOUVER BC V5Y 1J6 604.909.4150
STRUCTURAL ENGINEER: RJC ENGINEERS 303-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-386-7794	ARBORIST: D CLARK ARBORICULTURE 2741 THE RISE VICTORIA, BC V8T 3T4 250-208-1568
CODE CONSULTANT: GHL CONSULTANTS LTD. 700 PENDER ST. VANCOUVER, BC V6C 1X6 604-689-4449	CIVIL ENGINEER: MCELHANNEY 500-3960 QUADRA ST. VICTORIA, BC V8X 4A3 250-370-9221
MECHANICAL ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	GEOTECHNICAL ENGINEER: RYZUK GEOTECHNICAL 100-771 VERNON AVE. VICTORIA, BC V8X 5A7
ELECTRICAL ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	SURVEYOR: J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVE. VICTORIA, BC V8Z 4B7 250-727-2214
BUILDING ENVELOPE: EVOKE 102-814 BROUGHTON ST. VICTORIA, BC V8W 1E4 250-800-5655	TRANSPORTATION ENGINEER: BUNT & ASSOCIATES 530-645 FORT ST. VICTORIA, BC V8W 1G2 250-592-6122

DEVELOPMENT DATA SUMMARY

SITE DIMENSIONS:		42.76m x 104.80 x 40.35m x 104.73m / 140.29' x 343.83' x 132.38' x 343.60'	
TOTAL SITE AREA:		4,442.3 m² / 47,817 ft²	
TOTAL FLOOR AREA:		REQUIRED / PERMITTED 13,326.9 m² / 143,450 ft²	PROPOSED 10,076.7 m² / 108,465 ft²
RESIDENTIAL FLOOR AREA:		8,350.3m² / 86,882 ft²	
COMMERCIAL FLOOR AREA:		275.6 m² / 2,966 ft²	
HERITAGE FLOOR AREA TO BE RETAINED:		1,242 m² / 13,370 ft²	
NEW ADDITIONS TO HERITAGE BLDG FLOOR AREA:		484 m² / 5,213 ft²	
FLOOR SPACE RATIO:		3.00	2.27
SITE COVERAGE:		69%	
OPEN SITE SPACE (%):		28%	
MAX. HEIGHT:		43.00m	RESIDENTIAL BUILDING: 21.56m / 70'-9" HERITAGE BUILDING: 31.27m / 102'-7" CHURCH NORTH ADDITION: 6.82m / 22'-4" CHURCH EAST ADDITION: 9.01m / 29'-7"
NUMBER OF STOREYS:		RESIDENTIAL BUILDING: 6 HERITAGE BUILDING: 3 CHURCH NORTH ADDITION: 2 CHURCH EAST ADDITION: 3	
BUILDING SETBACKS			
FRONT YARD (WEST): (WEST QUADRA ST)	NA	2.95m / 9'-8" 1.7m / 5'-7"	AT CHURCH NORTH ADDITION AT HERITAGE BUILDING
SIDE YARD (SOUTH): (SOUTH BALMORAL RD)	6m	3.64m / 11'-11" 1.37m / 4'-6"	AT RESIDENTIAL BLDG AT HERITAGE BUILDING
SIDE YARD (NORTH):	0m	5.16m / 16'-11" 5.65m / 18'-7"	AT RESIDENTIAL BLDG AT CHURCH NORTH ADDITION
REAR YARD (EAST):	10m	6.39m / 21'-0"	

DEVELOPMENT DATA SUMMARY FOR FUTURE SUBDIVISION

HERITAGE BUILDING				
SITE AREA:		1,847.1 m ² / 19,882 ft ²		
HERITAGE FLOOR AREA TO BE RETAINED:		1,242.1 m ² / 13,370 ft ²		
NEW ADDITIONS TO HERITAGE BLDG FLOOR AREA:		484.3 m ² / 5,213 ft ²		
TOTAL FLOOR AREA:		1,726.4 m ² / 18,583 ft ²		
FLOOR SPACE RATIO:		0.93		
FRONT YARD SETBACK (WEST): (QUADRA ST)	NA	2.95m / 9'-8" 1.7m / 5'-7"	AT NORTH ADDITION AT HERITAGE BUILDING	
SIDE YARD SETBACK (SOUTH): (BALMORAL RD)	6m	1.37m / 4'-6"	AT HERITAGE BUILDING	
SIDE YARD SETBACK (NORTH):	0m	5.65m / 18'-7"	AT NORTH ADDITION	
REAR YARD SETBACK (EAST):	10m	7.77m / 25'-6" 3.37m / 11'-1"	AT NORTH ADDITION AT HERITAGE BUILDING	
SITE COVERAGE:		74%		

RESIDENTIAL BUILDING				
SITE AREA:		2,595.2 m ² / 27,935 ft ²		
RESIDENTIAL FLOOR AREA:		8,074.7m ² / 86,916 ft ²		
COMMERCIAL FLOOR AREA:		275.6 m ² / 2,966 ft ²		
TOTAL FLOOR AREA:		8,350.3 m ² / 89,882 ft ²		
FLOOR SPACE RATIO:		3.22		
FRONT YARD SETBACK (SOUTH):	NA	3.76m / 12'-4" 3.64m / 11'-11"	AT SOUTHEAST CORNER AT SOUTHWEST CORNER	
SIDE YARD SETBACK (EAST):	0m	6.65m / 21'-10" 6.39m / 21'-0"	AT NORTHEAST CORNER AT SOUTHEAST CORNER	
SIDE YARD SETBACK (WEST):	0m	4.24m / 13'-11"		
REAR YARD SETBACK (NORTH):	8m	5.16m / 16'-11"		
SITE COVERAGE:		66%		

RESIDENTIAL UNIT SUMMARY

UNIT TYPE	COUNT	AREA (sf)	AREA (sm)
1 BED + DEN	5	557 ft²	51.8 m²
1 BED A	18	525 ft²	48.8 m²
1 BED B	15	533 ft²	49.6 m²
2 BED A	14	720 ft²	66.9 m²
2 BED B	10	729 ft²	67.7 m²
3 BED A	8	938 ft²	87.1 m²
STUDIO A	40	403 ft²	37.4 m²
LOFT A	10	530 ft²	49.3 m²
LOFT B	2	529 ft²	49.2 m²
LIVE/WORK A	3	498 ft²	46.3 m²
LIVE/WORK B	3	440 ft²	40.9 m²
LIVE/WORK C	1	678 ft²	63.0 m²
TOTAL:	129		
UNIT TYPE TOTALS:			
LOFTS: 12 (GROUND-ORIENTED)			
LIVE/WORKS: 7 (GROUND-ORIENTED)			
STUDIO: 40			
1 BED: 38			
2 BED: 24 (19%)			
3 BED: 8 (6%)			
= (25% FAMILY UNITS)			
MINIMUM UNIT FLOOR AREA:	37 m² / 403 ft²		

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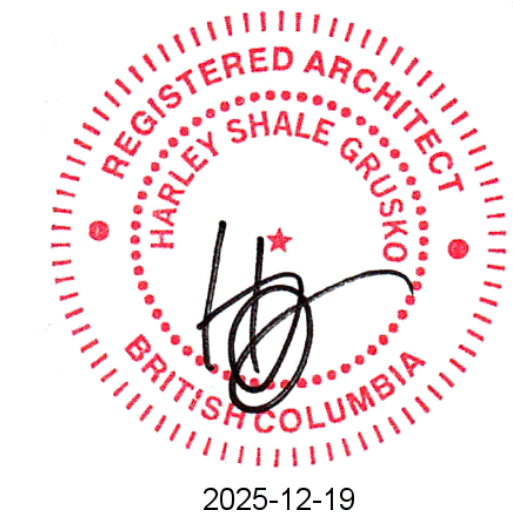
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932 BALMORAL RD
& 1701 QUADRA ST

ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2

DECEMBER 19, 2025



2025-12-19

DEVELOPMENT DATA

SCALE

12" = 1'-0"

A0.01

VEHICULAR PARKING REQUIREMENTS FOR ENTIRE SITE

BUILDING USE	REQUIRED PARKING	ACCESSIBLE USE + VAN ACCESSIBLE	REQUIRED PARKING	PROPOSED VEHICLE PARKING
TABLE 1: MINIMUM NUMBER OF REQUIRED VEHICLE PARKING SPACES				
APARTMENT (SECURED RENTAL) 0.50 SPACE PER UNIT < 45 m² (484 ft²) 0.60 SPACE PER UNIT > 45 m² but < 70 m² 1.00 SPACE PER UNIT > 70 m² (753 ft²)	43 x 0.5 = 22 54 x 0.6 = 32 32 x 1.0 = 32	TOTAL PARKING SPACES REQUIRED: 139 ACCESSIBLE: 101 SPACES OR MORE = 1 PER 25 PARKING SPACES = 6 VAN ACCESSIBLE: WHERE 2-6 ACCESSIBLE PARKING SPACES ARE REQUIRED, MIN 1 OF THESE SPACES MUST BE A VAN ACCESSIBLE SPACE		USE TYPE COUNT
	TOTAL = 86 (RESIDENTIAL)			CAR SHARE REG 1
VISITOR SPACES 0.10 SPACE PER UNIT	129 x 0.10 = 13	ACCESSIBLE = 5 VAN ACCESSIBLE = 1		
	TOTAL = 13 (VISITOR)			COMMERCIAL ACC 1
ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m² x.4 = 1,121 m² 1 SPACE PER 80 m²	1,121 m² / 80 m² = 14			COMMERCIAL REG 1
				2
				INSTITUTIONAL ACC 2
				INSTITUTIONAL REG 2
				4
ASSEMBLY (60% OF CHURCH + NEW ADDITION) = 2,802 m² x.6 = 1,681 m² 1 SPACE PER 80 m²	1,681 m² / 80 m² = 21			RESIDENTIAL ACC 2
				RESIDENTIAL REG 37
				RESIDENTIAL VAN 1
				40
				VISITOR REG 7
				VISITOR VAN 1
				8
RESTAURANT 1 SPACE PER 40 m² (72 m² + 35 m² OUTDOOR SEATING) /40 m² = 3				TOTAL VEHICLE PARKING: 55
OFFICE 1 SPACE PER 70 m²	155 m² /70 m² = 2			
				LOADING SPACES:
				INSTITUTIONAL 1
				RESIDENTIAL 1 (AT STREET)
				TOTAL = 139

BIKE PARKING REQUIREMENTS FOR ENTIRE SITE

CLASS 1 - LONG-TERM USE	REQUIRED PARKING	CLASS 2 - SHORT-TERM USE	REQUIRED PARKING	PROPOSED BIKE PARKING
TABLE 2: MINIMUM NUMBER OF REQUIRED BIKE PARKING SPACES				
MULTIPLE DWELLING GREATER OF 6 SPACES OR 1.25 SPACE PER UNIT > 45 m² (484 ft²)	43 x 1.00 = 43 86 x 1.25 = 108	MULTIPLE DWELLING GREATER OF 6 SPACES OR 0.10 SPACES PER UNIT	129 X 0.10 = 13	CLASS 1 - LONG-TERM USE
	TOTAL = 151 (RESIDENTIAL)		TOTAL = 13 (RESIDENTIAL)	PROGRAM USE TYPE COUNT
ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m² x.4 = 1,121 m² 1.00 SPACE PER 450 m² (4844 ft²)	1,121 m² / 450 m² = 3	ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m² x.4 = 1,121 m² 1.00 SPACE PER 130 m²	1,121m² / 130 m² = 9	COMMERCIAL LONG-TERM H 2
		ASSEMBLY (60% OF CHURCH + NEW ADDITION) = 2,802 m² x.6 = 1,681 m² N/A	1,681 m² / 200 m² = 9	COMMERCIAL LONG-TERM V 2
	TOTAL = 3 (INSTITUTIONAL)			4
RESTAURANT 1.00 SPACE PER 400 m² (4306 ft²)	72 m² / 400 m² = 1	RESTAURANT 1.00 SPACE PER 100 m²	107 m² / 100 m² = 2	INSTITUTIONAL LONG-TERM H 4
OFFICE 1.00 SPACE PER 150 m² (1615 ft²)	155 m² / 150 m² = 3	OFFICE 1.00 SPACE PER 400 m² (4306 ft²)	155 m² / 400 m² = 1	RESIDENTIAL LONG-TERM C 13
	TOTAL = 4 (COMMERCIAL)		TOTAL = 3 (COMMERCIAL)	RESIDENTIAL LONG-TERM H 90
	TOTAL = 158		TOTAL = 34	RESIDENTIAL LONG-TERM V 51
				154
				162
				CLASS 2 - SHORT-TERM USE
				PROGRAM USE TYPE COUNT
				COMMERCIAL SHORT-TERM H 3
				3
				INSTITUTIONAL SHORT-TERM H 21
				21
				RESIDENTIAL SHORT-TERM H 13
				13
				37
				NOTE: ALL BICYCLE STALLS WITHIN THE PARKADE ARE LONG-TERM RESIDENTIAL



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RESPONSE 2

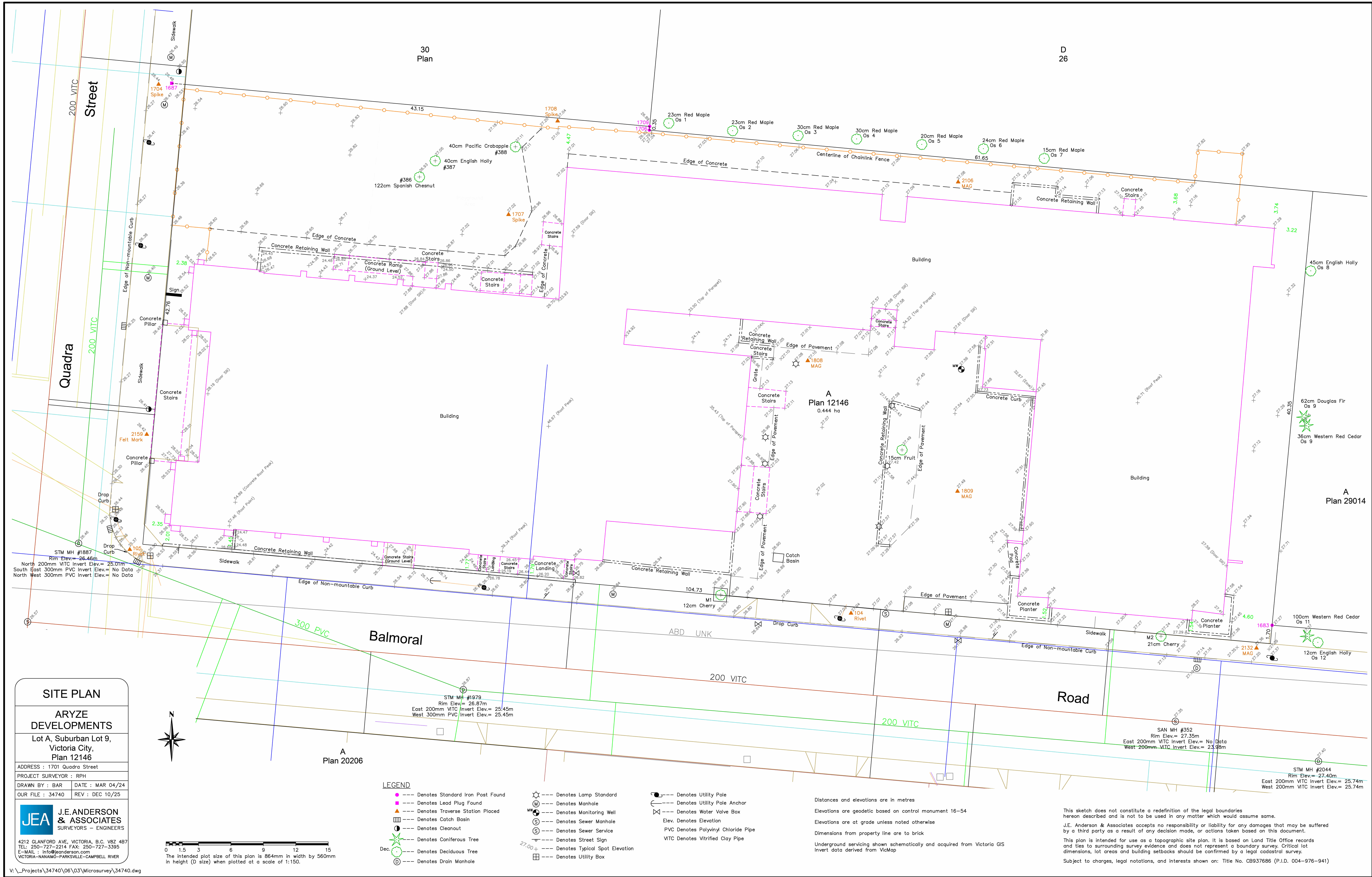
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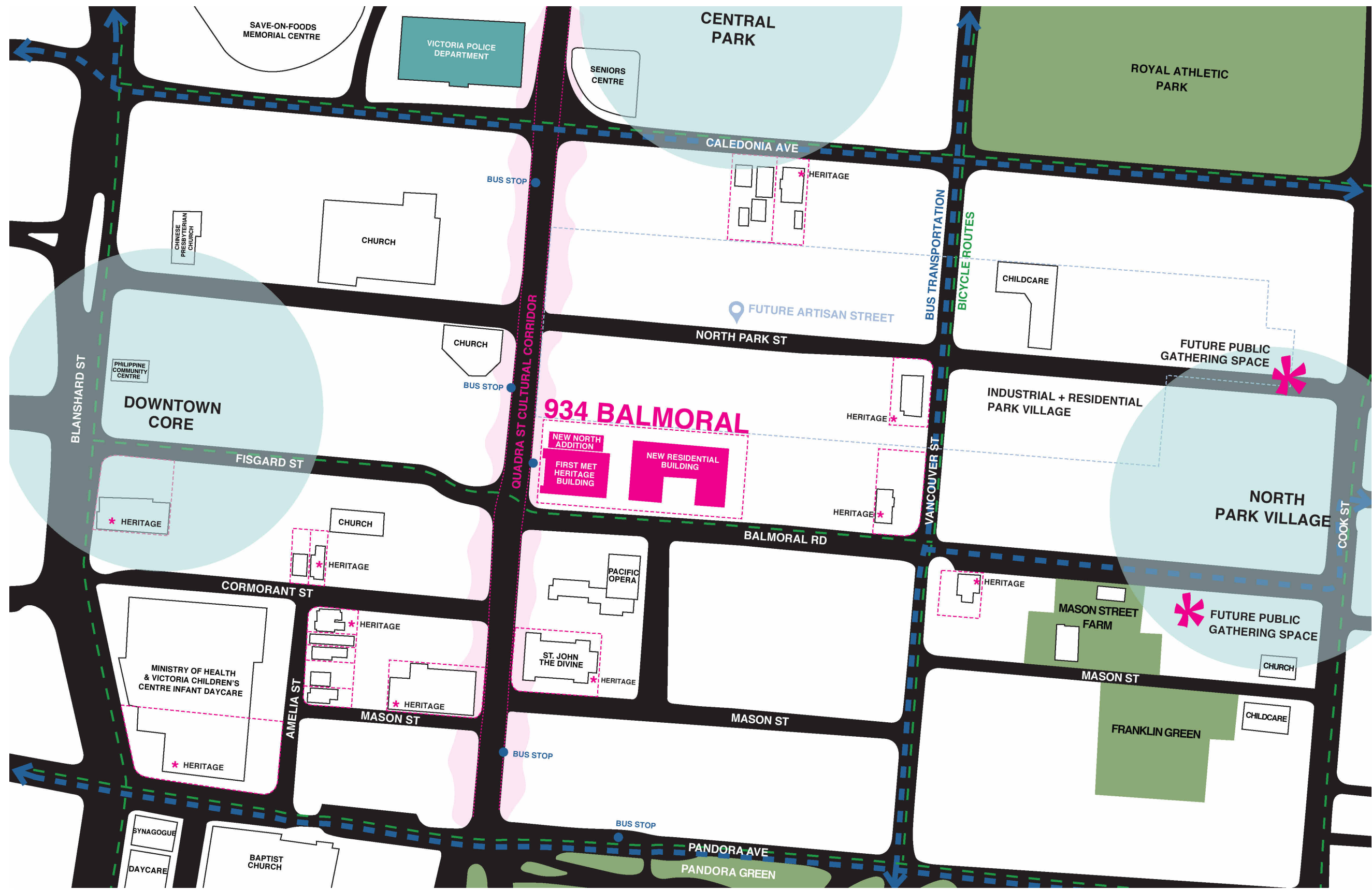


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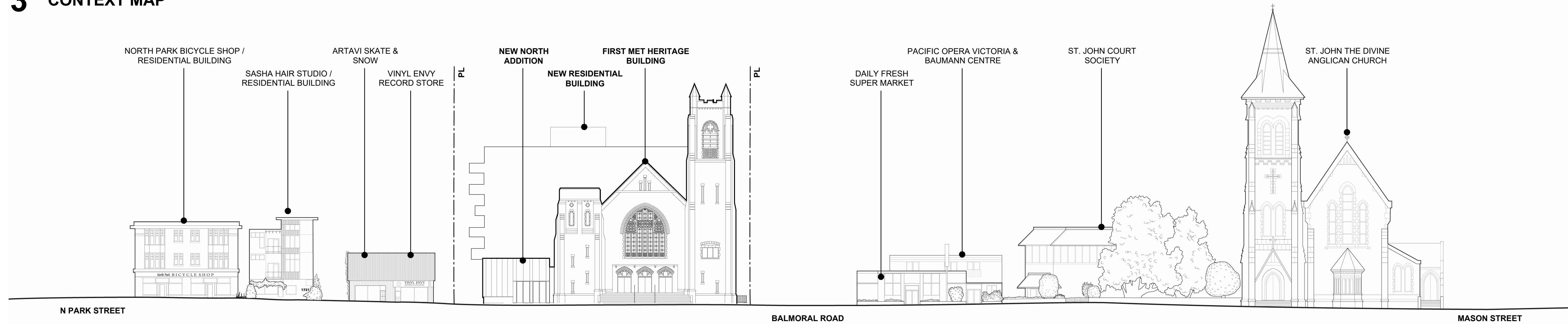
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SCALE

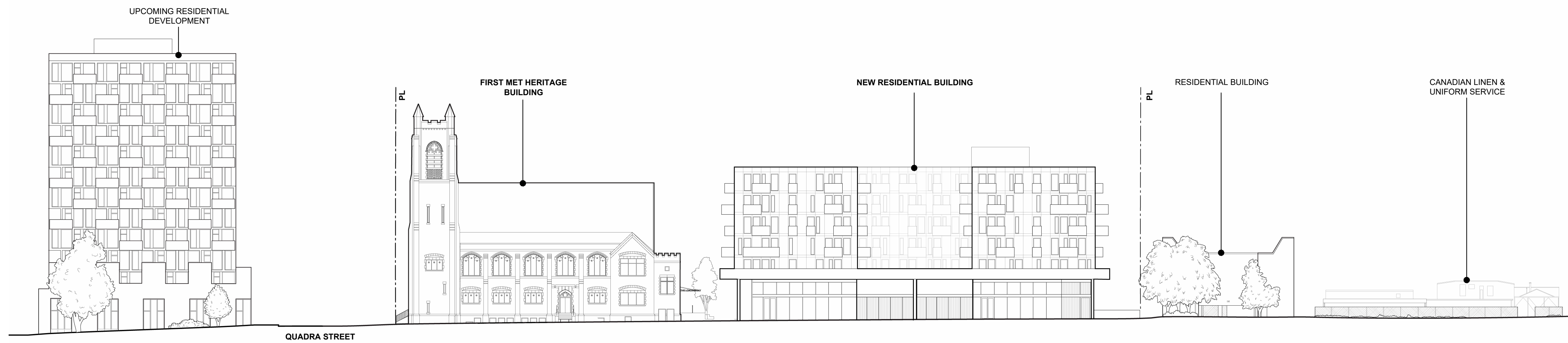




3 CONTEXT MAP



2 STREETSCAPE: BALMORAL ROAD



1 STREETSCAPE: QUADRA STREET



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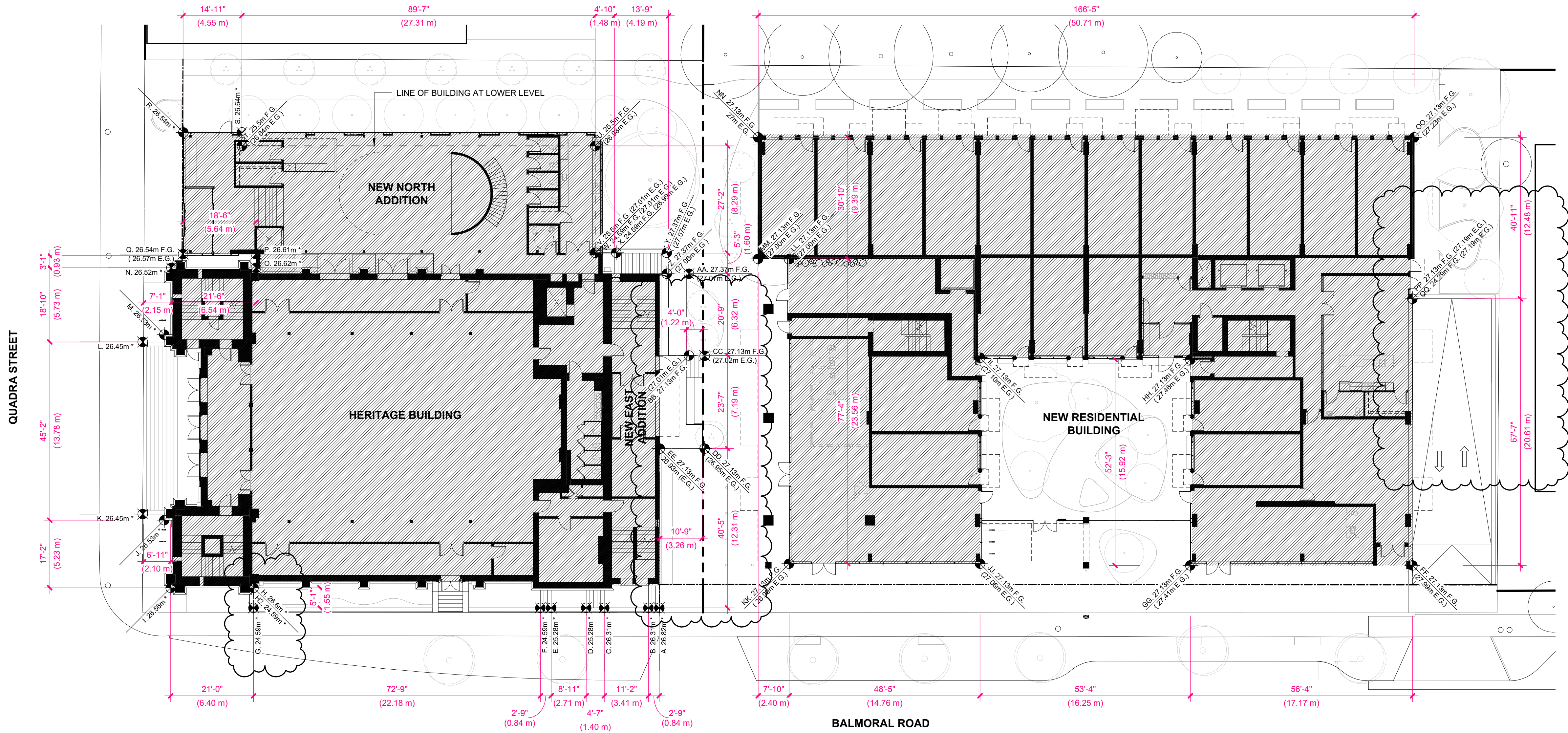


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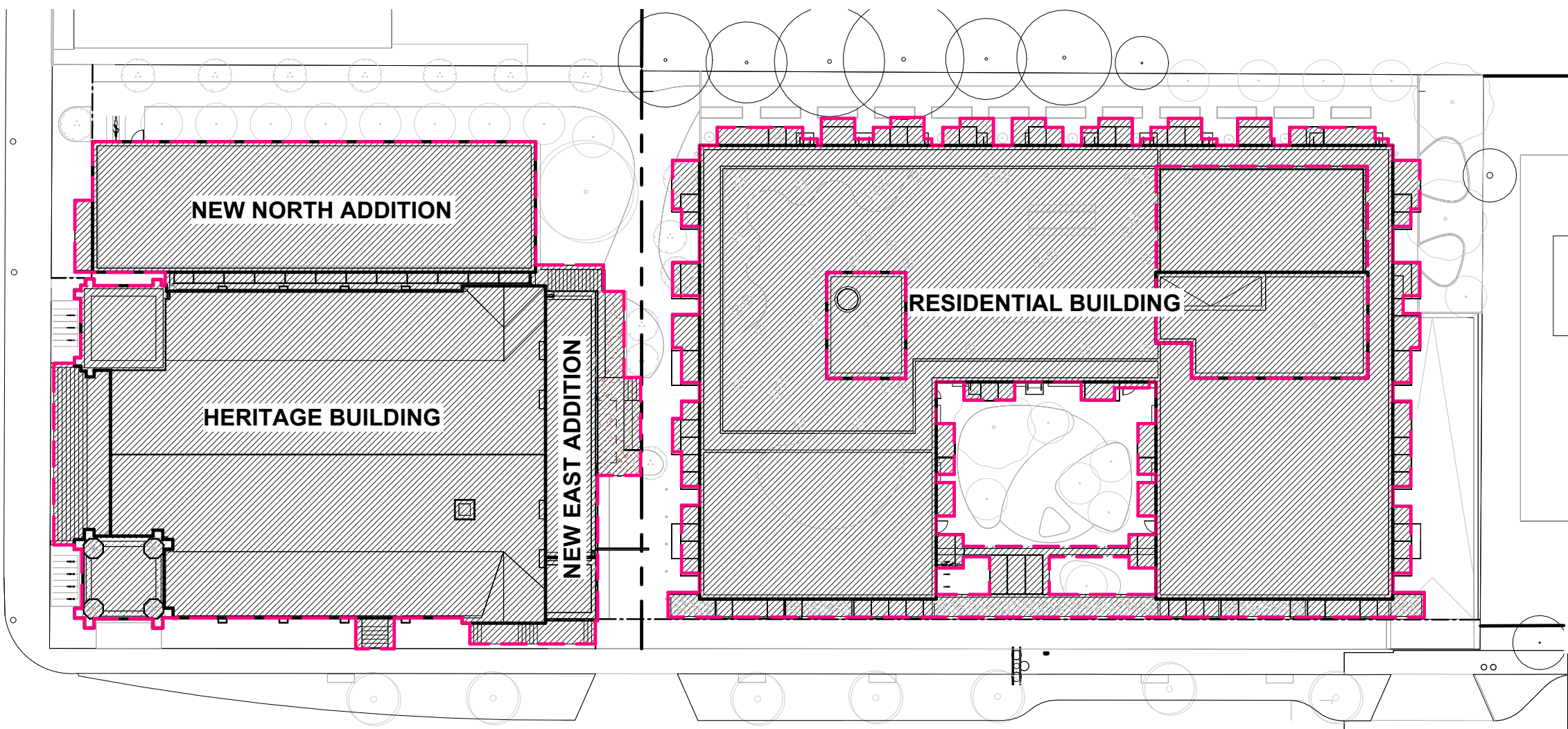
SITE CONTEXT

SCALE





2
A0.04
AVERAGE GRADE KEYPLAN
SCALE: 1/16" = 1'-0"



1
A0.04
SITE COVERAGE DIAGRAM
SCALE: 1/32" = 1'-0"

AVERAGE GRADE CALCULATIONS

FIRST MET HERITAGE BUILDING			
GRADE POINTS	AVERAGE OF POINTS (m)	DISTANCE IN PLAN (m)	TOTALS
A TO B	26.57	0.84	22.31
B TO C	26.31	3.41	89.72
C TO D	25.80	1.40	36.11
D TO E	25.28	2.71	68.51
E TO F	24.94	0.84	20.95
F TO G	24.59	22.18	545.41
G TO H	25.60	1.55	39.67
H TO I	26.58	6.40	170.11
I TO J	26.55	5.23	138.83
J TO K	26.48	2.16	57.73
K TO L	26.45	13.78	364.46
L TO M	26.49	2.15	56.95
M TO N	26.53	5.73	151.99
N TO O	26.57	6.54	173.77
O TO P	26.62	0.93	24.75
P TO Q	26.58	5.84	149.88
Q TO R	26.54	9.56	253.72
R TO S	26.59	4.55	120.89
S TO T	26.07	1.04	27.11
T TO U	26.50	27.31	699.41
U TO V	25.50	8.28	210.63
V TO W	24.59	1.63	40.08
W TO X	25.83	3.91	101.00
X TO Y	27.07	1.82	43.85
Y TO Z	27.07	1.69	45.74
Z TO AA	27.04	7.80	210.91
AA TO BB	27.02	1.22	32.96
BB TO CC	26.99	8.13	219.39
CC TO DD	26.94	3.47	93.48
DD TO EE	26.88	9.91	266.33
EE TO A			
SUM	171.61	4473.78	
AVERAGE GRADE:	26.07 m (85.53')		

RESIDENTIAL BUILDING			
GRADE POINTS	AVERAGE OF POINTS (m)	DISTANCE IN PLAN (m)	TOTALS
FF TO GG	27.13	17.17	465.82
GG TO HH	27.13	15.92	431.91
HH TO II	27.12	16.25	440.82
II TO JJ	27.08	15.92	431.11
JJ TO KK	27.03	14.76	398.89
KK TO LL	27.00	23.56	636.00
LL TO MM	27.00	2.40	64.80
MM TO NN	27.00	9.39	253.23
NN TO OO	27.07	50.71	1372.47
OO TO FF	27.13	33.06	897.73
SUM	188.17	5392.88	
AVERAGE GRADE:	27.08 m (88.85')		

AVERAGE GRADE NOTES:

F.G.: FINISH GRADE
E.G.: EXISTING GRADE
* INDICATES WHERE FINISH GRADE AND EXISTING GRADE ARE EQUAL

SITE COVERAGE CALCULATIONS:

SITE AREA: 47,790 ft² / 4,439.8 m²
HERITAGE BUILDING + ADDITIONS: 14,635 SF (1,360 m²)
RESIDENTIAL BUILDING: 18,444 SF (1,714 m²)
TOTAL: 33,079 SF (3,074 m²)

SITE COVERAGE: 69%

HERITAGE BUILDING

BUILDING FOOTPRINT: 1,360 m²
SITE AREA: 1,847.1 m²
SITE COVERAGE: 74%

RESIDENTIAL BUILDING

BUILDING FOOTPRINT: 1,714 m²
SITE AREA: 2,595.2 m²
SITE COVERAGE: 66%

ROOFTOP STRUCTURE CALCULATIONS

RESIDENTIAL BUILDING
TOTAL ROOF AREA: 15,392 SF (1,430 m²)
ROOFTOP STRUCTURE AREA: 2,997 SF (276 m²)

ROOF COVERAGE: 19.5%

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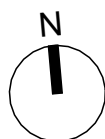


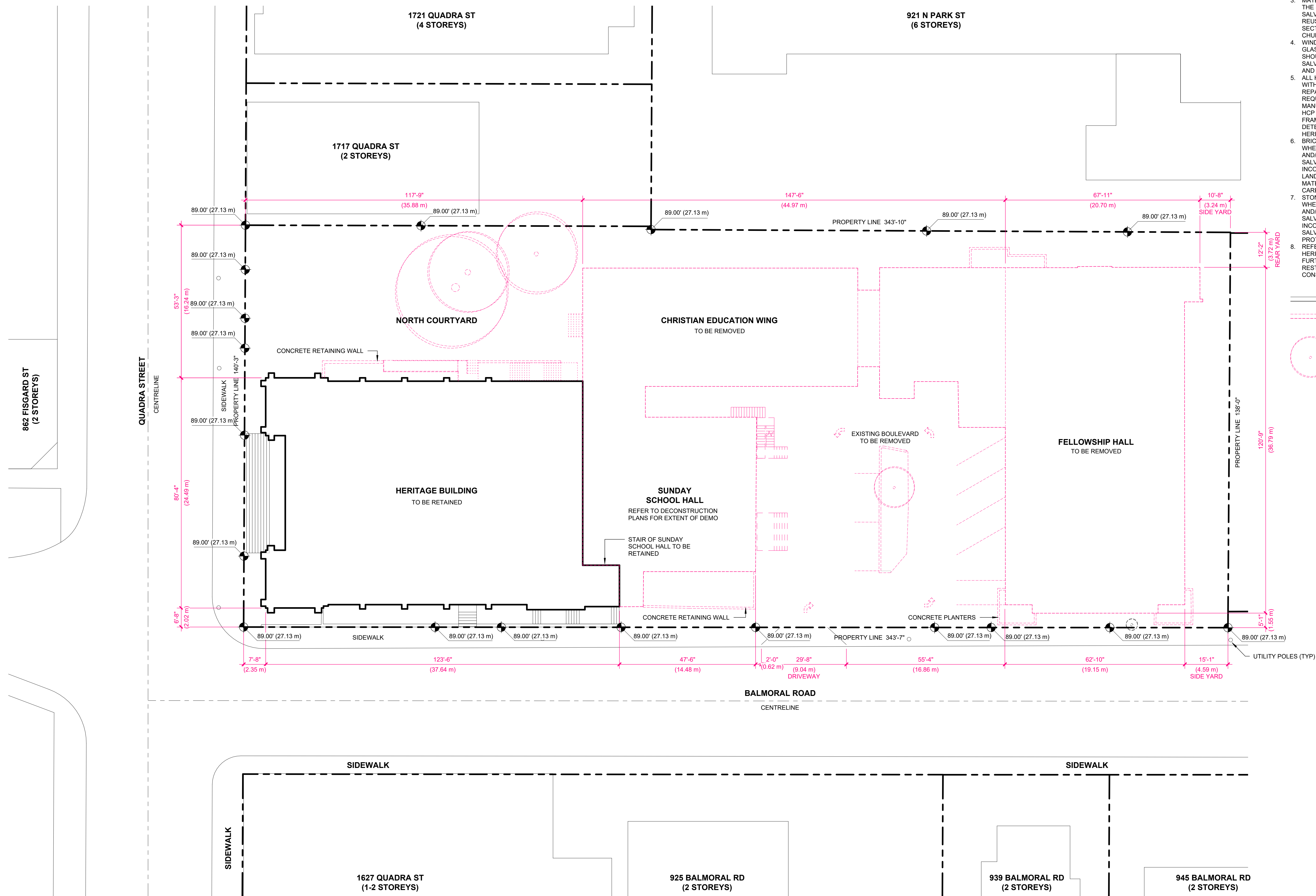
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**SITE COVERAGE +
AVERAGE GRADE**

SCALE

As indicated





NOTES:

1. REFER TO CONSERVATION PLAN BY LUXTON & ASSOCIATES FOR FURTHER INFORMATION ON SCOPE OF RETENTION, RESTORATION AND DEMOLITION.
2. PRESERVE THE ORIGINAL LOCATION OF THE CHURCH AND RETAINED WALL DORMERS AND SOUTHEAST STAIRCASE SECTIONS OF THE SUNDAY SCHOOL HALL. ALL REHABILITATION WORK SHOULD OCCUR WITHIN THE PROPERTY LINES OF THE SITE.
3. MATERIALS FROM DEMOLISHED PORTION OF THE SUNDAY SCHOOL HALL TO BE SALVAGED, IF FEASIBLE, FOR POSSIBLE REUSE IN THE REPAIR OF THE RETAINED SECTIONS OF THE HALL AND/OR THE CHURCH.
4. WINDOWS WITH STAINED AND LEADED GLASS THAT ARE NOTED FOR REMOVAL SHOULD BE SALVAGED WHERE FEASIBLE. SALVAGED PANELS SHOULD BE PROTECTED AND CAREFULLY STORED.
5. ALL HERITAGE DOORS AND WINDOWS WITHIN RETAINED AREAS ARE TO BE REPAIRED AND/OR REPLACED AS REQUIRED. ANY REPLICAS SHALL BE MANUFACTURED IN ACCORDANCE WITH HCP SPECIFICATIONS. PAINT COLOURS FOR FRAMING ELEMENTS ARE TO BE DETERMINED IN COORDINATION WITH THE HERITAGE CONSULTANT.
6. BRICK FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED SHOULD BE SALVAGED AS NECESSARY/FEASIBLE TO INCORPORATE INTO RESTORATION AND LANDSCAPE FEATURES. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.
7. STONE FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED SHOULD BE SALVAGED AS NECESSARY/FEASIBLE TO INCORPORATE INTO RESTORATION.
8. REFER TO PLANS (A2.04-A2.07) AND HERITAGE ELEVATIONS (A3.10-A3.13) FOR FURTHER INFORMATION ON PROPOSED RESTORATION AND INTEGRATION WITH NEW CONSTRUCTION.

——— PORTION TO BE RETAINED
- - - - - PORTION TO BE DEMOLISHED.

○ EXISTING TREES TO BE REMOVED. REFER TO ARBORIST REPORT FOR SCOPE OF REMOVAL AND RETENTION.

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932 BALMORAL RD
& 1701 QUADRA ST

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DEVELOPMENT PERMIT TRG
RESPONSE 2

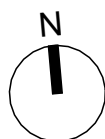
DECEMBER 19, 2025



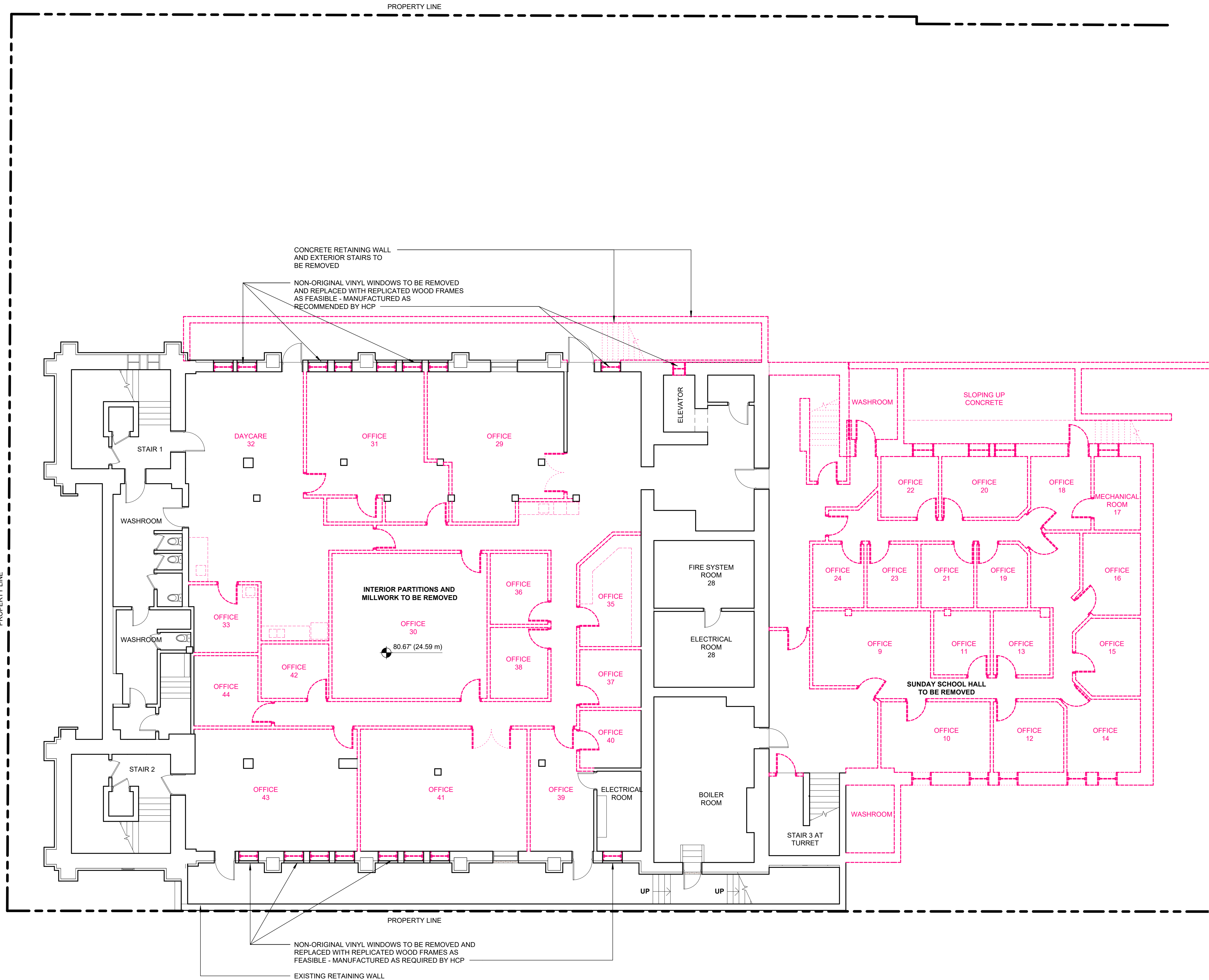
DECONSTRUCTION SITE
PLAN

SCALE

1/16" = 1'-0"



A1.00



NOTES:

1. REFER TO CONSERVATION PLAN BY LUXTON & ASSOCIATES FOR FURTHER INFORMATION ON SCOPE OF RETENTION, RESTORATION AND DEMOLITION.
2. PRESERVE THE ORIGINAL LOCATION OF THE CHURCH AND RETAINED WALL DORMERS AND SOUTHEAST STAIRCASE SECTIONS OF THE SUNDAY SCHOOL HALL. ALL REHABILITATION WORK SHOULD OCCUR WITHIN THE PROPERTY LINES OF THE SITE. MATERIALS FROM DEMOLISHED PORTION OF THE SUNDAY SCHOOL HALL TO BE SALVAGED, IF FEASIBLE, FOR POSSIBLE REUSE IN THE REPAIR OF THE RETAINED SECTIONS OF THE HALL AND/OR THE CHURCH.
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- - - - - PORTION TO BE DEMOLISHED.

- EXISTING TREES TO BE REMOVED. REFER TO ARBORIST REPORT FOR SCOPE OF REMOVAL AND RETENTION.

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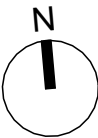


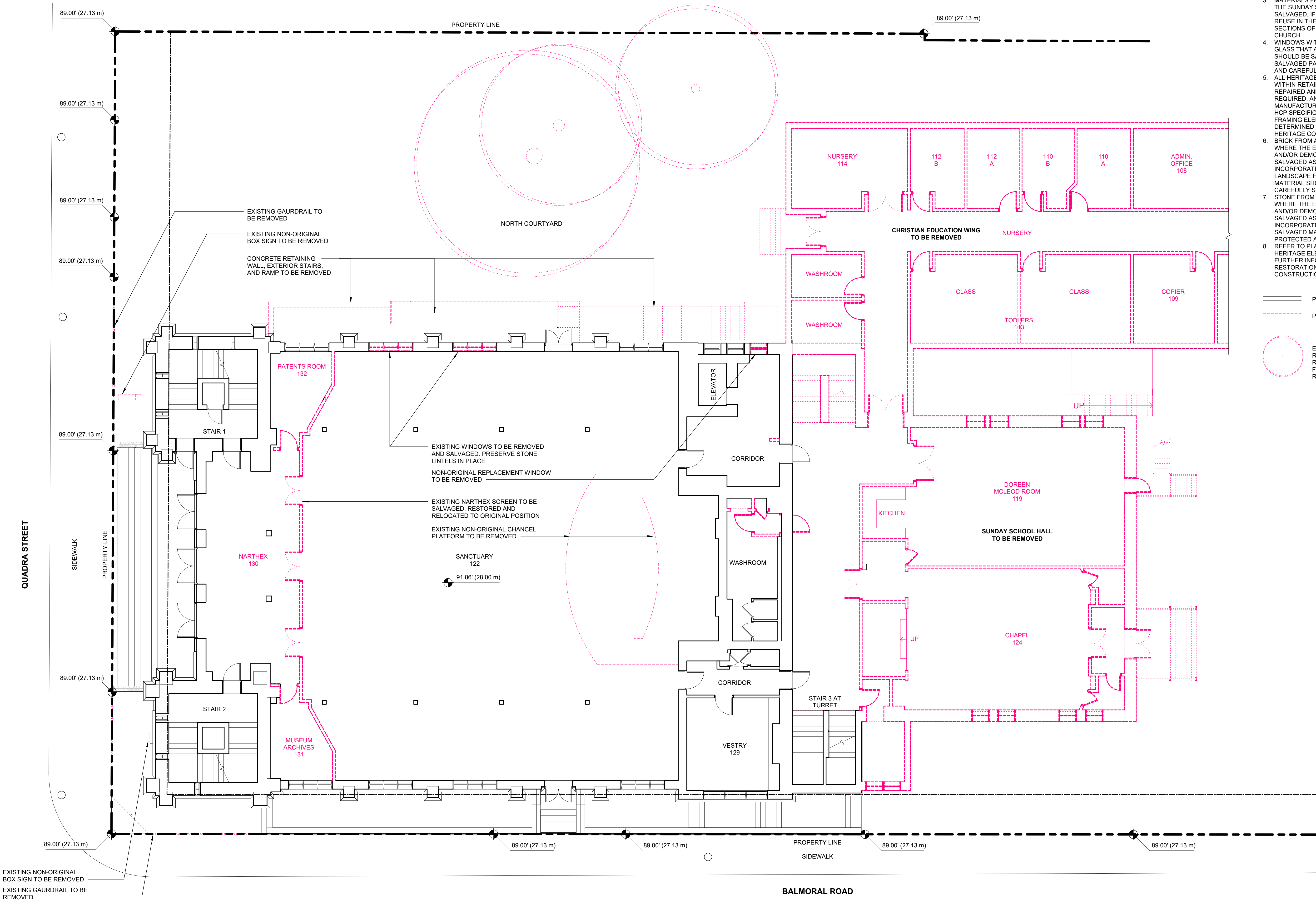
2025-12-19

DECONSTRUCTION PLAN LOWER FLOOR - HERITAGE BLDG

SCALE

1/8" = 1'-0"





- NOTES:
1. REFER TO CONSERVATION PLAN BY LUXTON & ASSOCIATES FOR FURTHER INFORMATION ON SCOPE OF RETENTION, RESTORATION AND DEMOLITION.
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- PORTION TO BE RETAINED
- - - PORTION TO BE DEMOLISHED.
- EXISTING TREES TO BE REMOVED. REFER TO ARBORIST REPORT FOR SCOPE OF REMOVAL AND RETENTION.



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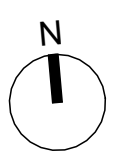
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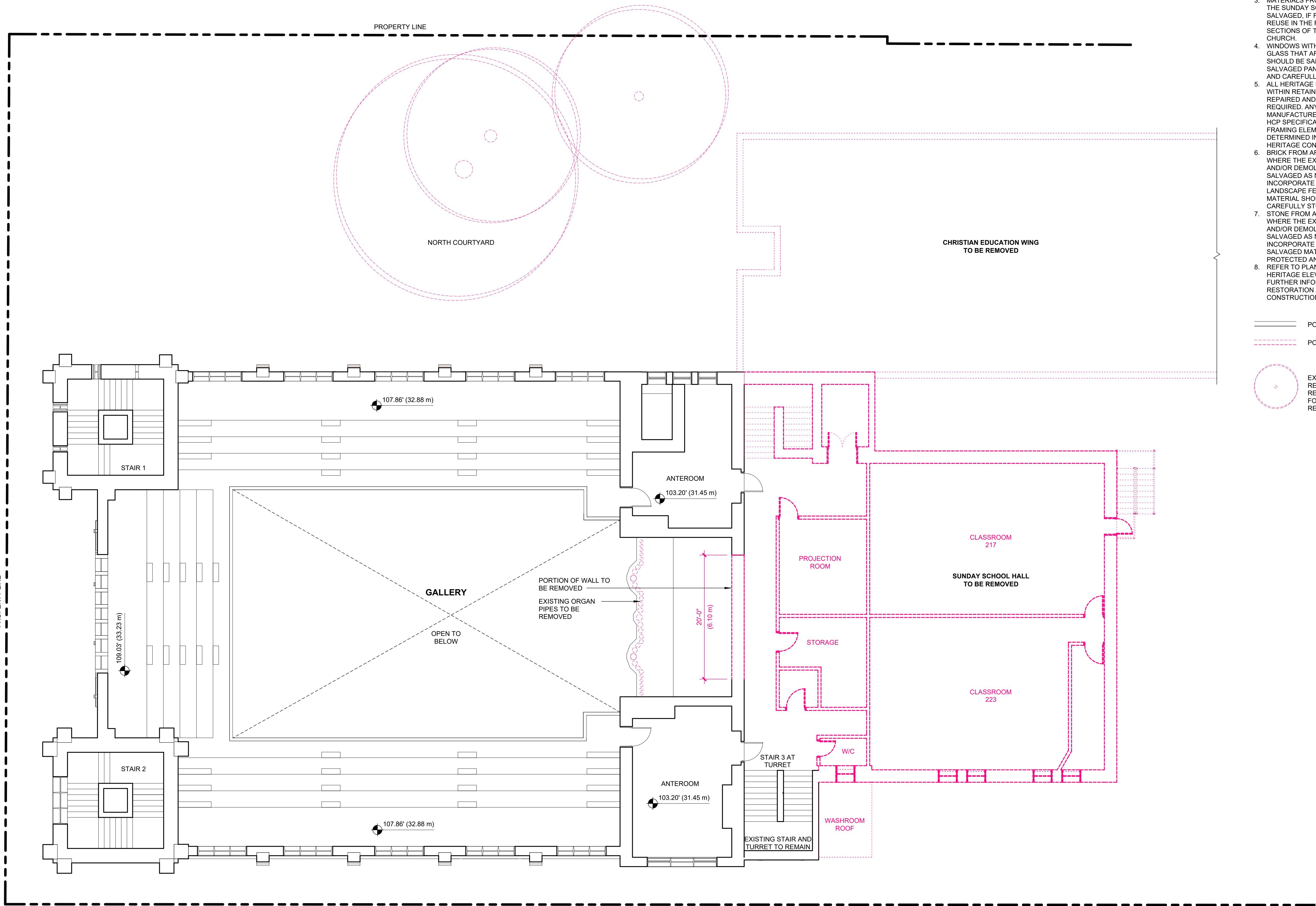
DECONSTRUCTION PLAN FIRST FLOOR - HERITAGE BLDG

SCALE
1/8" = 1'-0"



QUADRA STREET

PROPERTY LINE



PROPERTY LINE

BALMORAL ROAD

NOTES:

1. REFER TO CONSERVATION PLAN BY LUXTON & ASSOCIATES FOR FURTHER INFORMATION ON SCOPE OF RETENTION, RESTORATION AND DEMOLITION.
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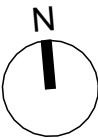
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DECONSTRUCTION PLAN
MEZZANINE - HERITAGE
BLDG

SCALE
1/8" = 1'-0"



QUADRA STREET

PROPERTY LINE

PROPERTY LINE

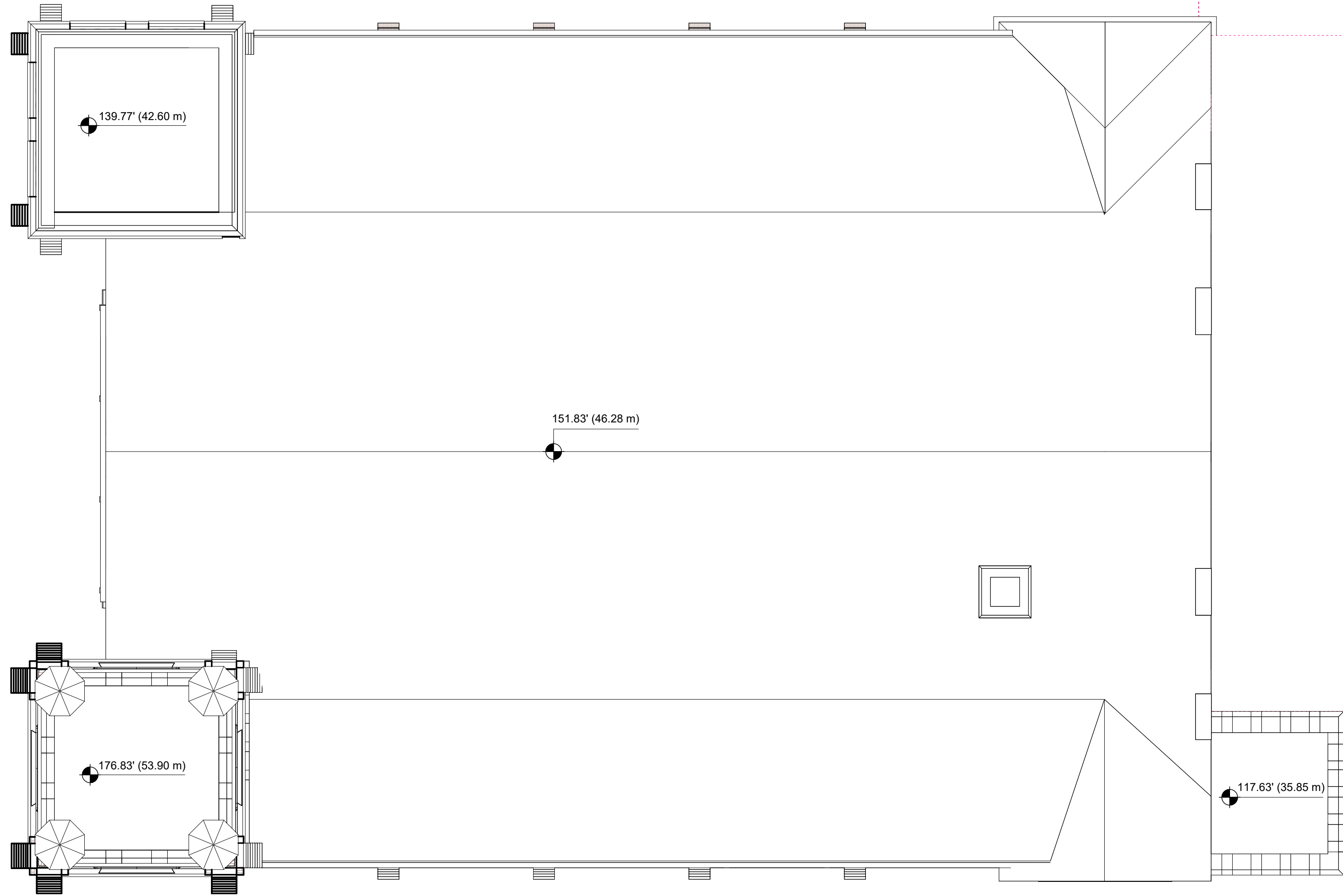
NORTH COURTYARD

CHRISTIAN EDUCATION WING
TO BE REMOVED

SUNDAY SCHOOL HALL TO
BE REMOVED

PROPERTY LINE

BALMORAL ROAD



NOTES:

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RESPONSE 2

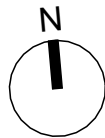
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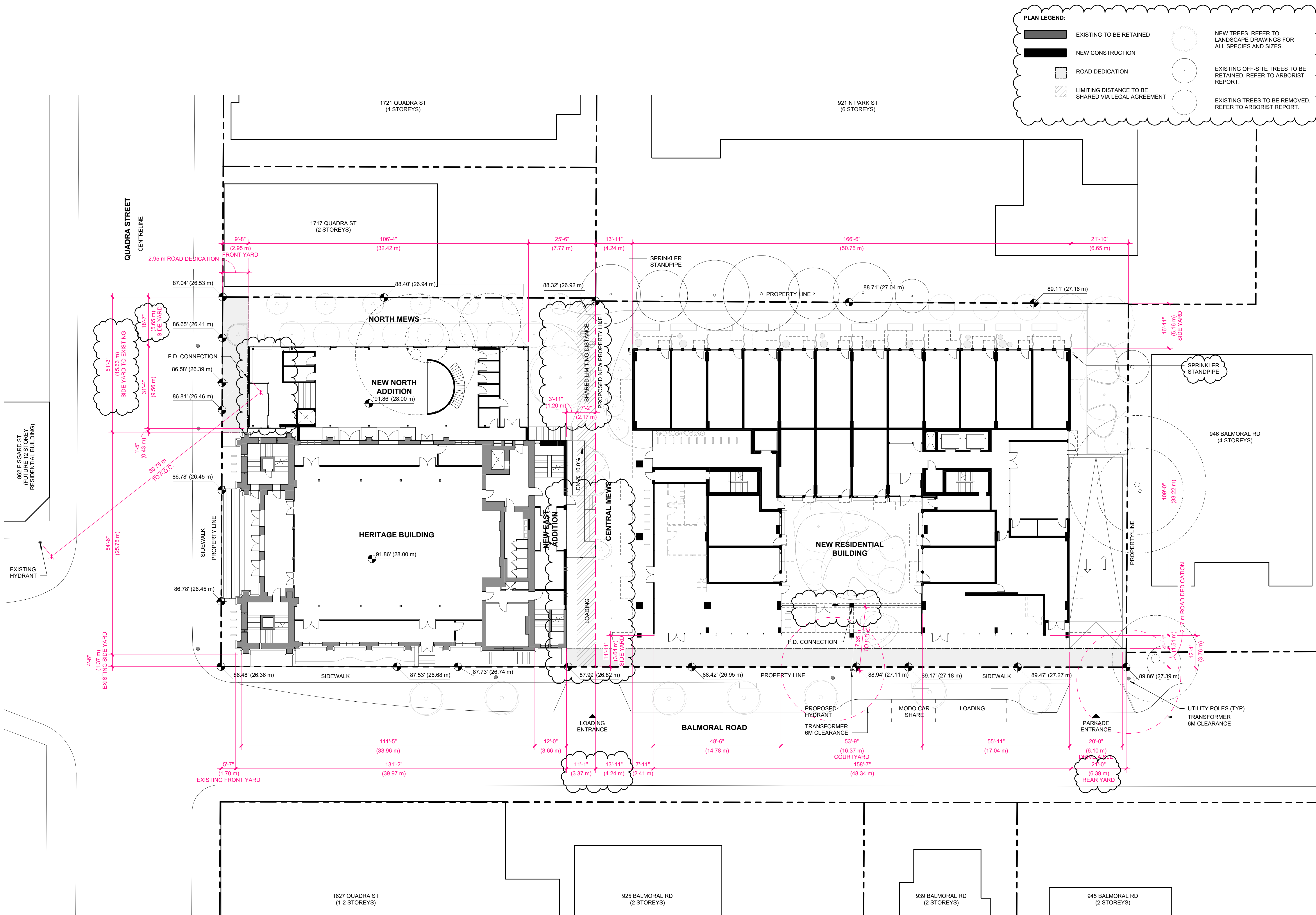


2025-12-19

DECONSTRUCTION PLAN
ROOF - HERITAGE BLDG

SCALE
1/8" = 1'-0"





PLAN LEGEND:

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION
- ROAD DEDICATION
- LIMITING DISTANCE TO BE SHARED VIA LEGAL AGREEMENT
- NEW TREES. REFER TO LANDSCAPE DRAWINGS FOR ALL SPECIES AND SIZES.
- EXISTING OFF-SITE TREES TO BE RETAINED. REFER TO ARBORIST REPORT.
- EXISTING TREES TO BE REMOVED. REFER TO ARBORIST REPORT.



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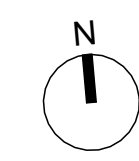
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SITE PLAN AT LEVEL 1

SCALE
As indicated





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RESPONSE 2

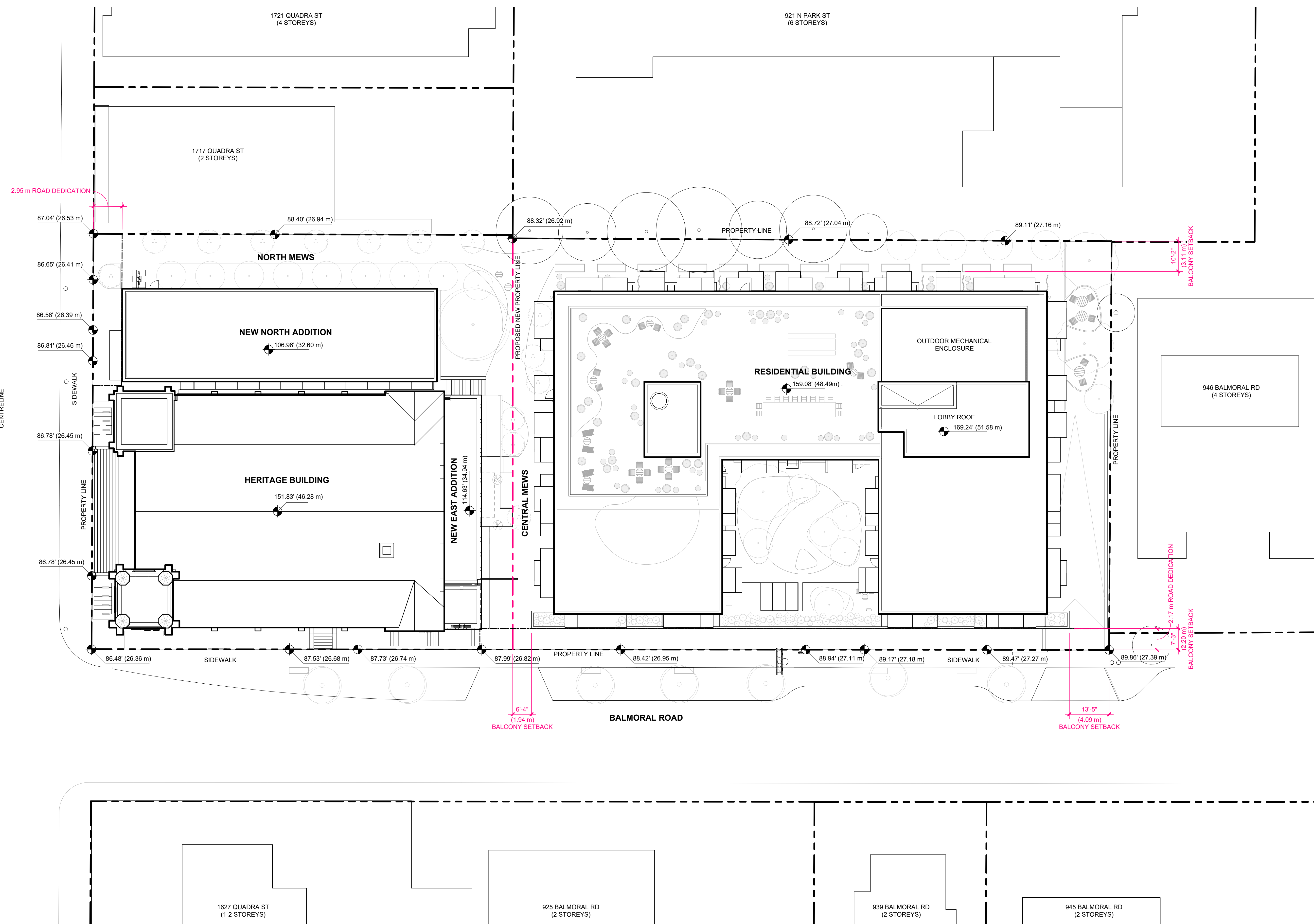
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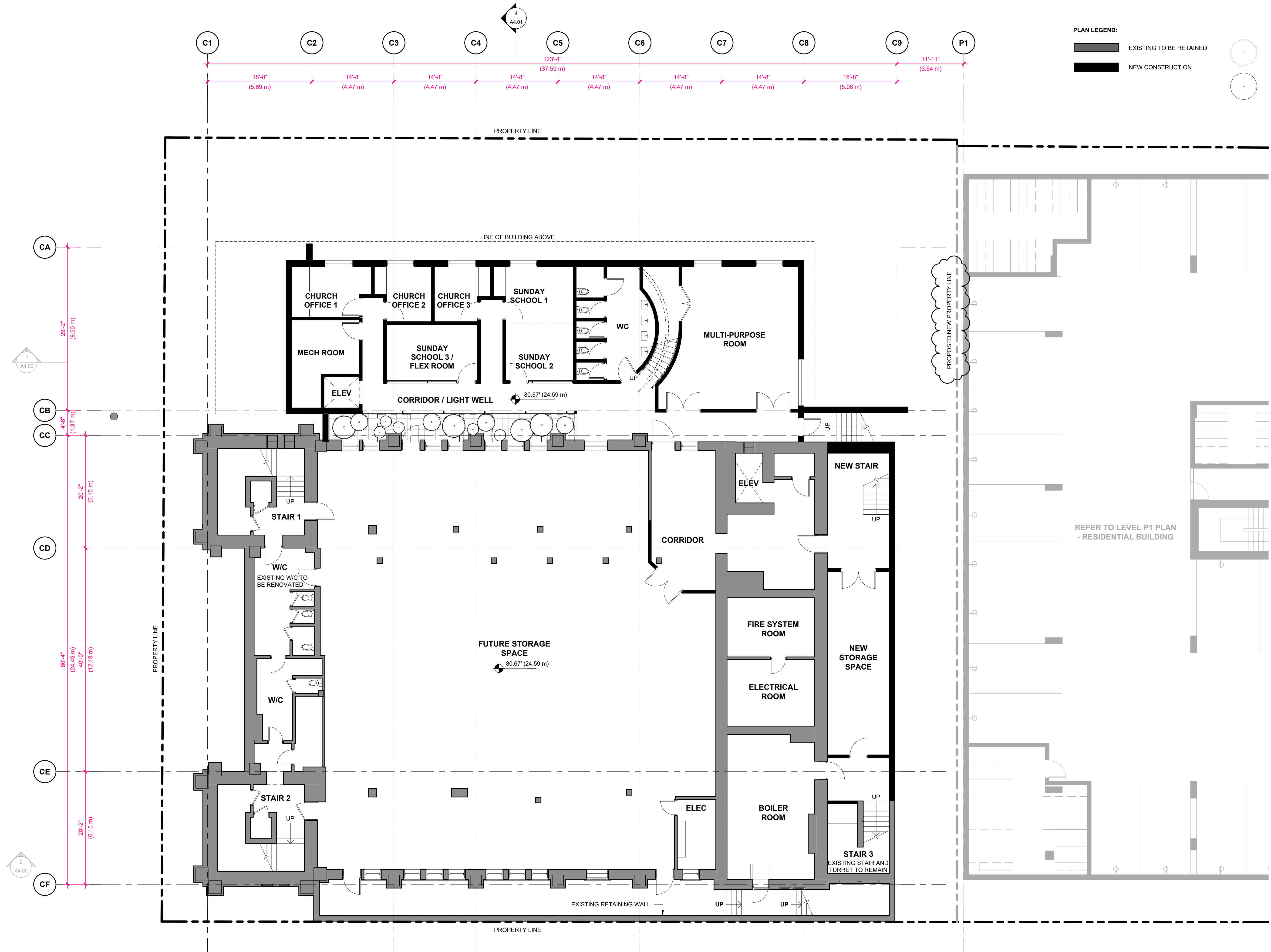


2025-12-19

SITE PLAN AT ROOF

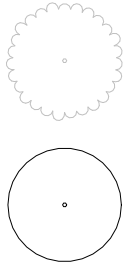
SCALE
1/16" = 1'-0"





PLAN LEGEND:

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION



NEW TREES. REFER TO LANDSCAPE DRAWINGS FOR ALL SPECIES AND SIZES.

EXISTING OFF-SITE TREES TO BE RETAINED. REFER TO ARBORIST REPORT.

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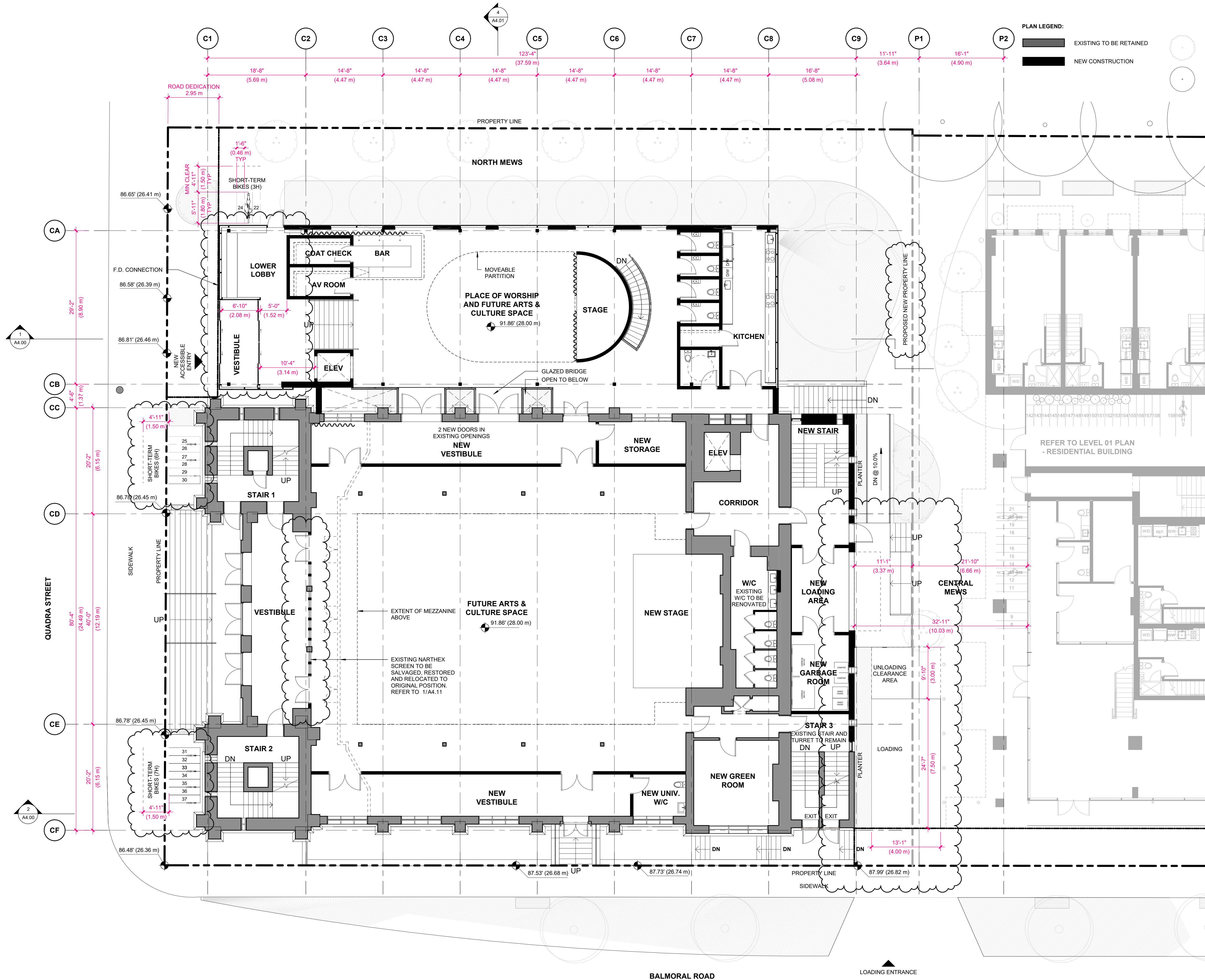
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LOWER FLOOR PLAN -
HERITAGE BLDG

SCALE

1/8" = 1'-0"





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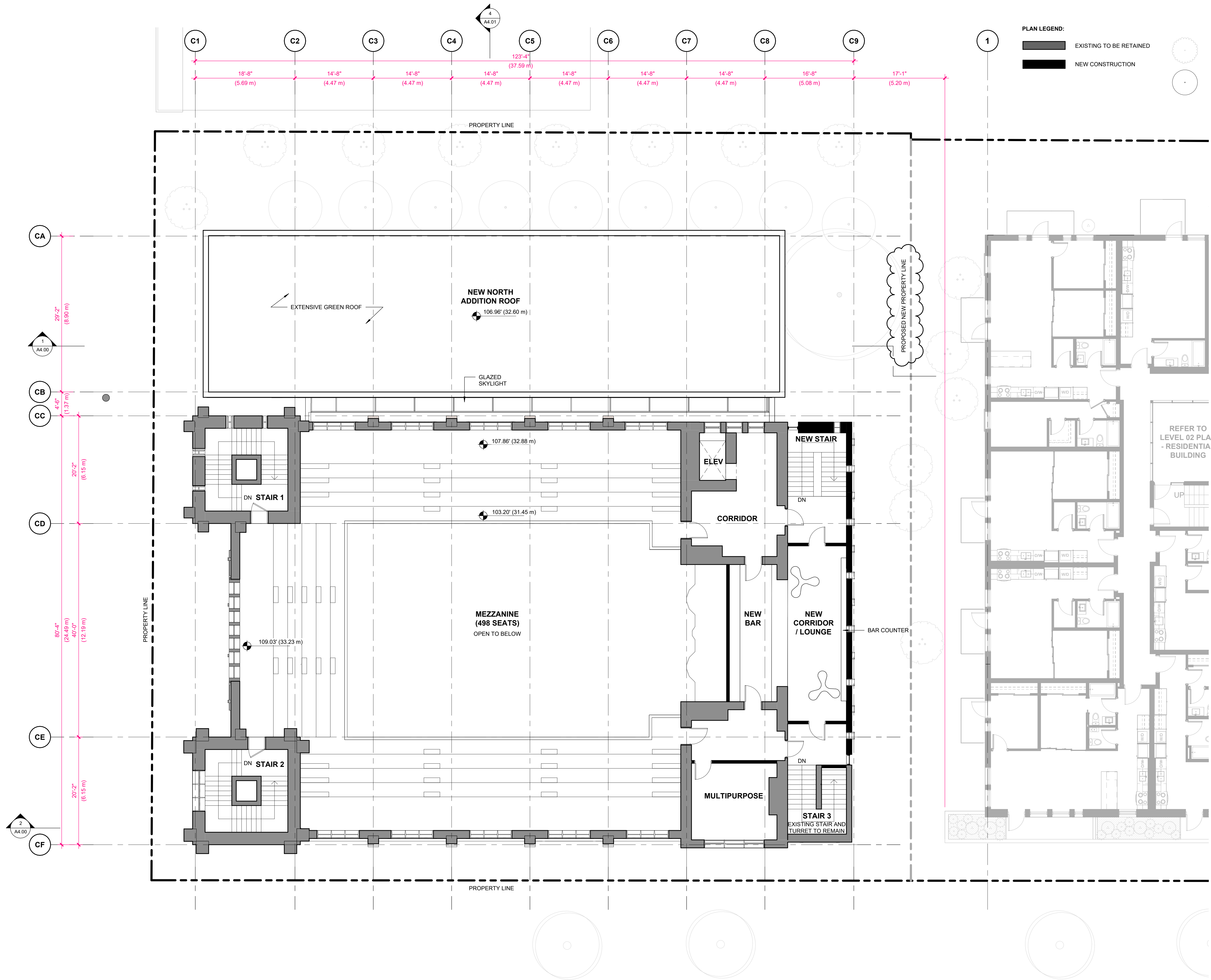


2025-12-19

FIRST FLOOR PLAN - HERITAGE BLDG

SCALE
1/8" = 1'-0"





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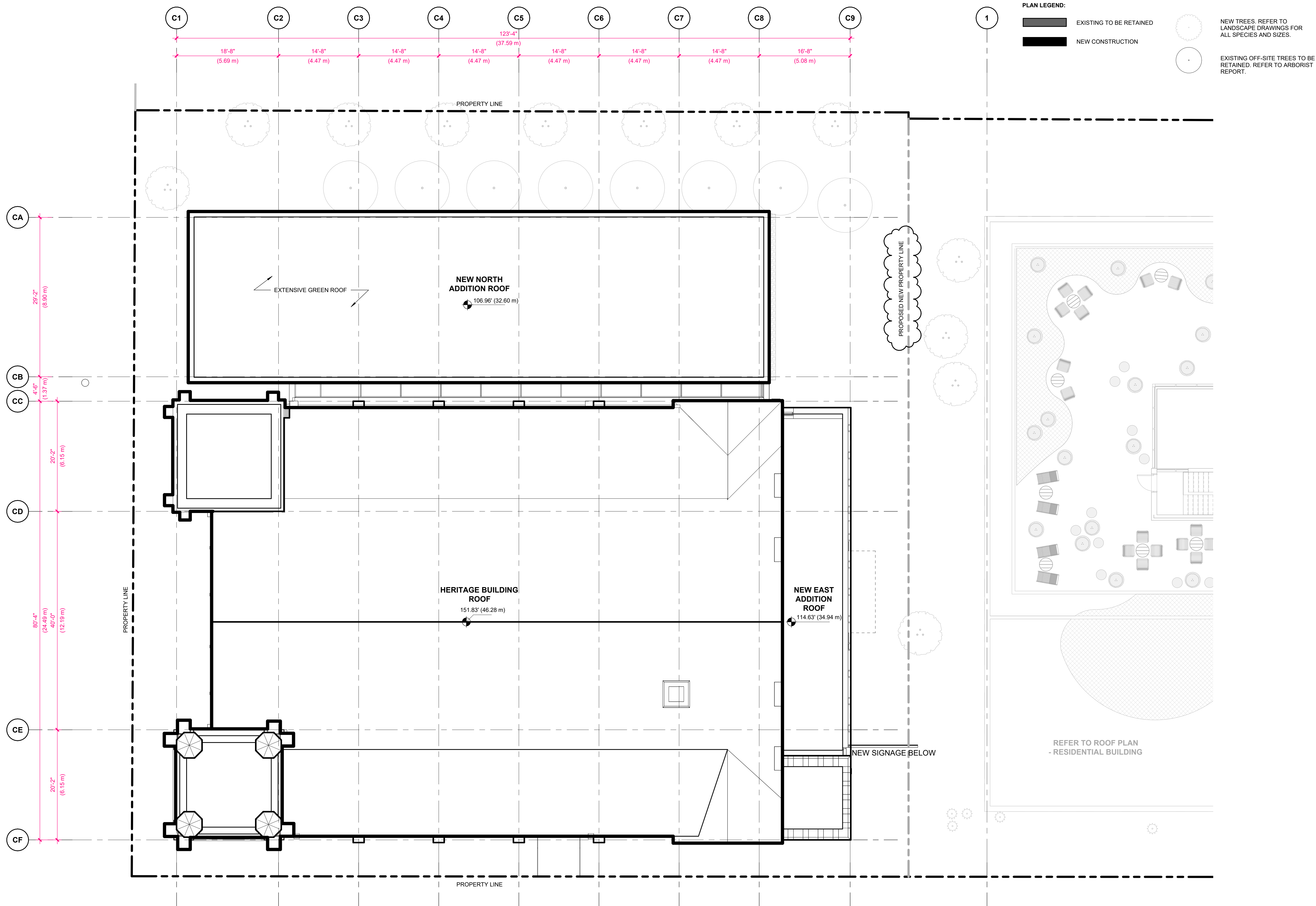
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MEZZANINE PLAN -
HERITAGE BLDG

SCALE
1/8" = 1'-0"





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DEVELOPMENT PERMIT TRG
RESPONSE 2

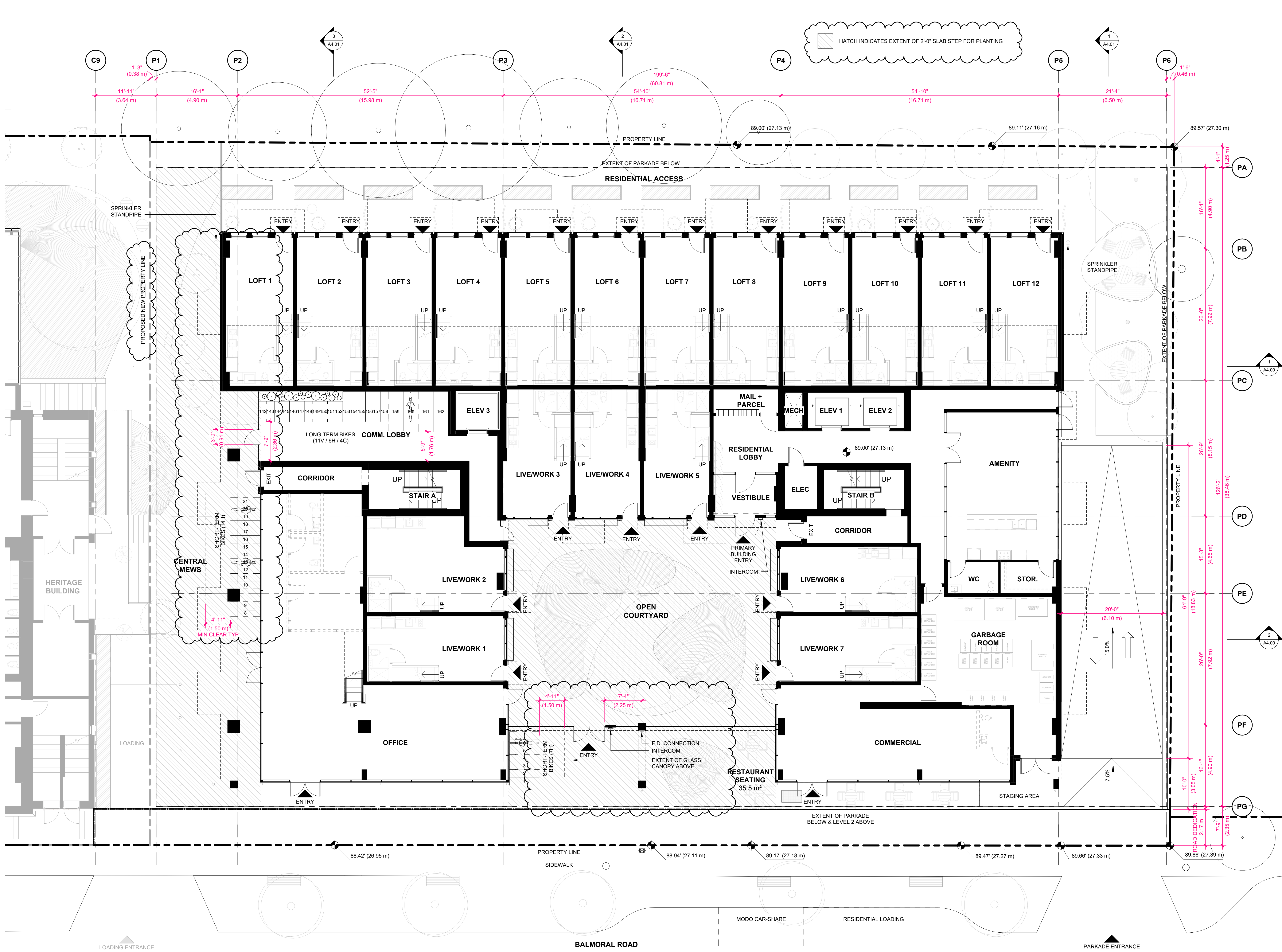
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ROOF PLAN - HERITAGE
BLDG

SCALE
1/8" = 1'-0"





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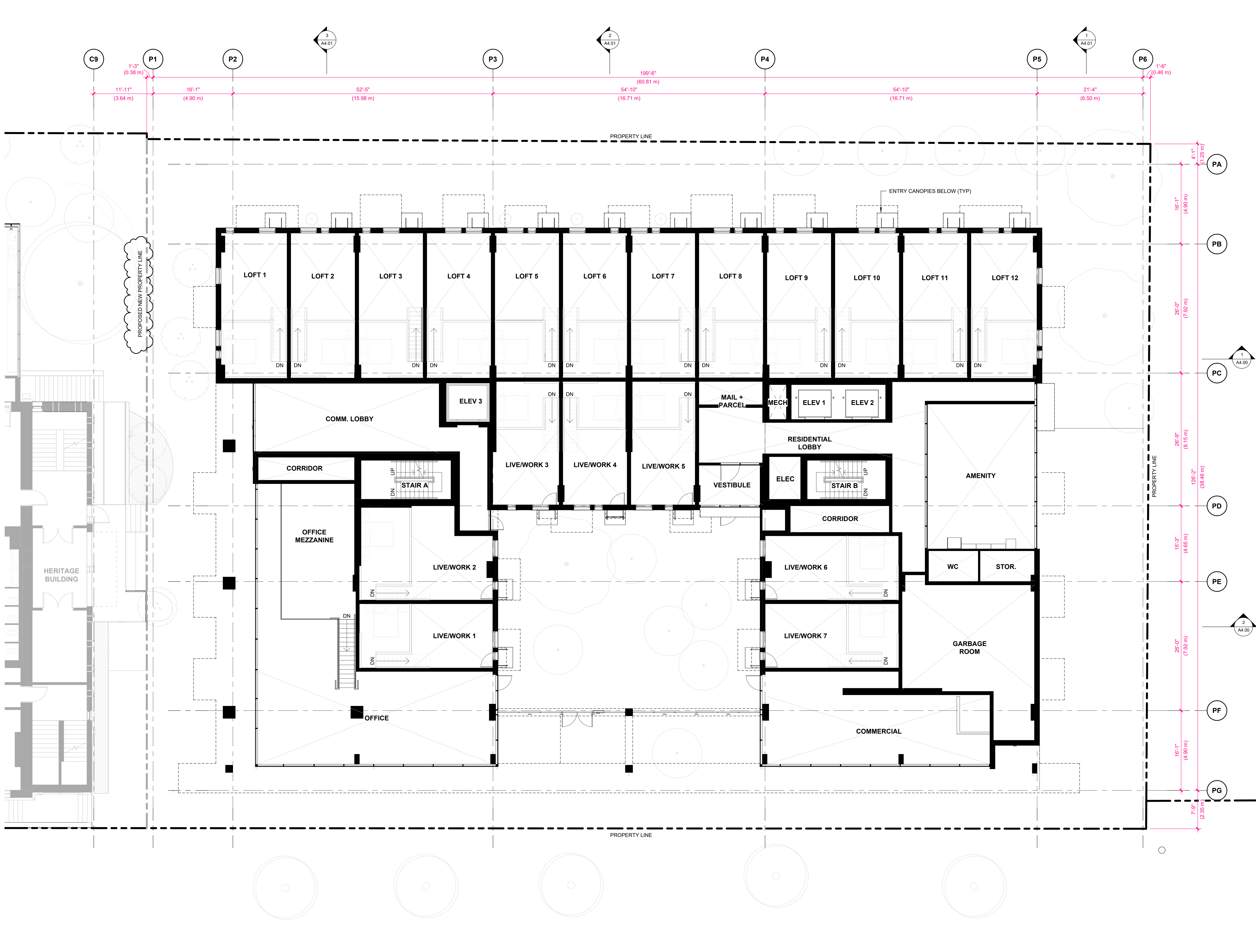
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DECEMBER 19, 2025



2025-12-19
LEVEL 01 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



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MEZZANINE PLAN -
RESIDENTIAL BLDG

SCALE

1/8" = 1'-0"





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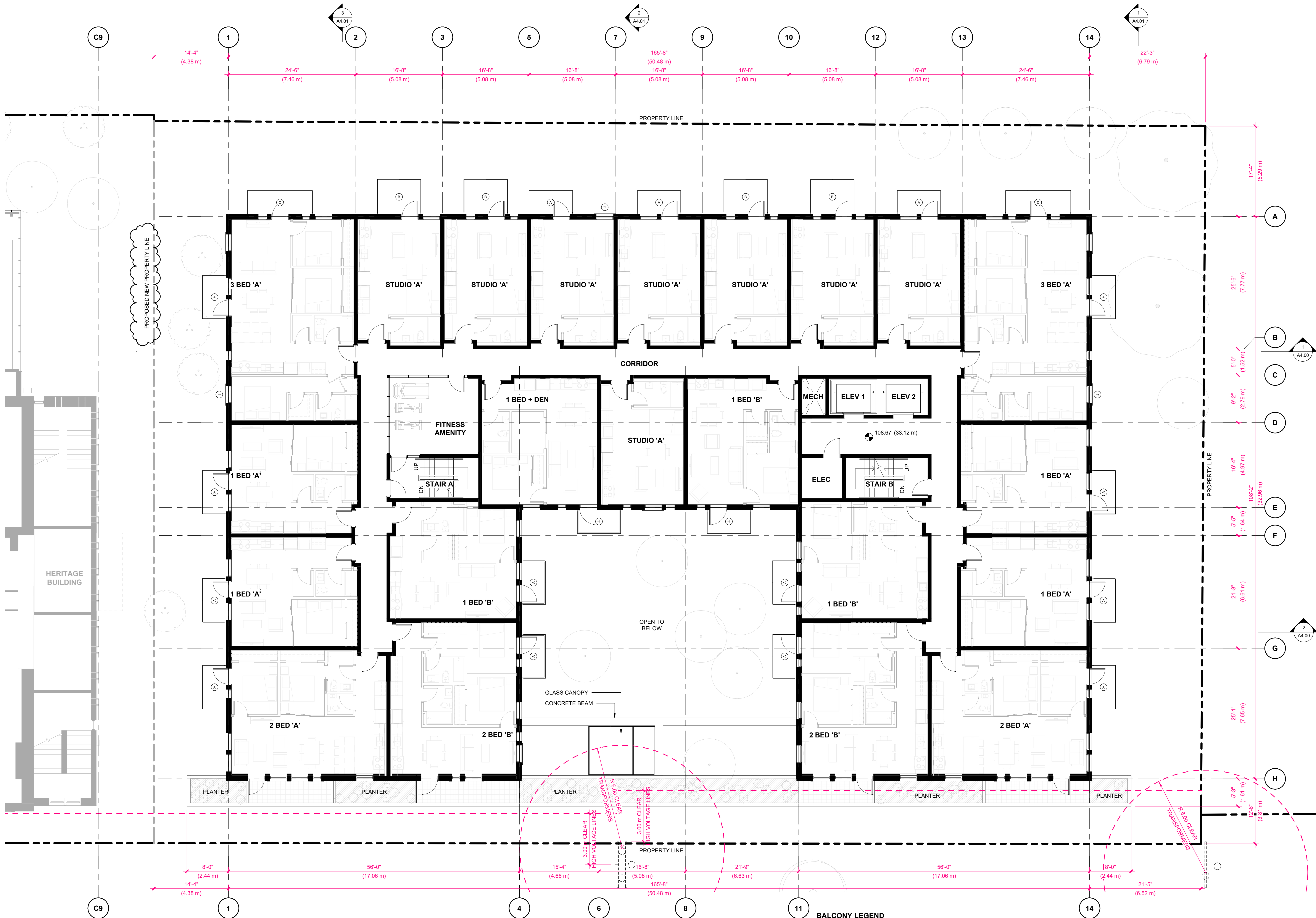
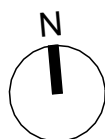


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LEVEL 02 PLAN -
RESIDENTIAL BLDG

SCALE

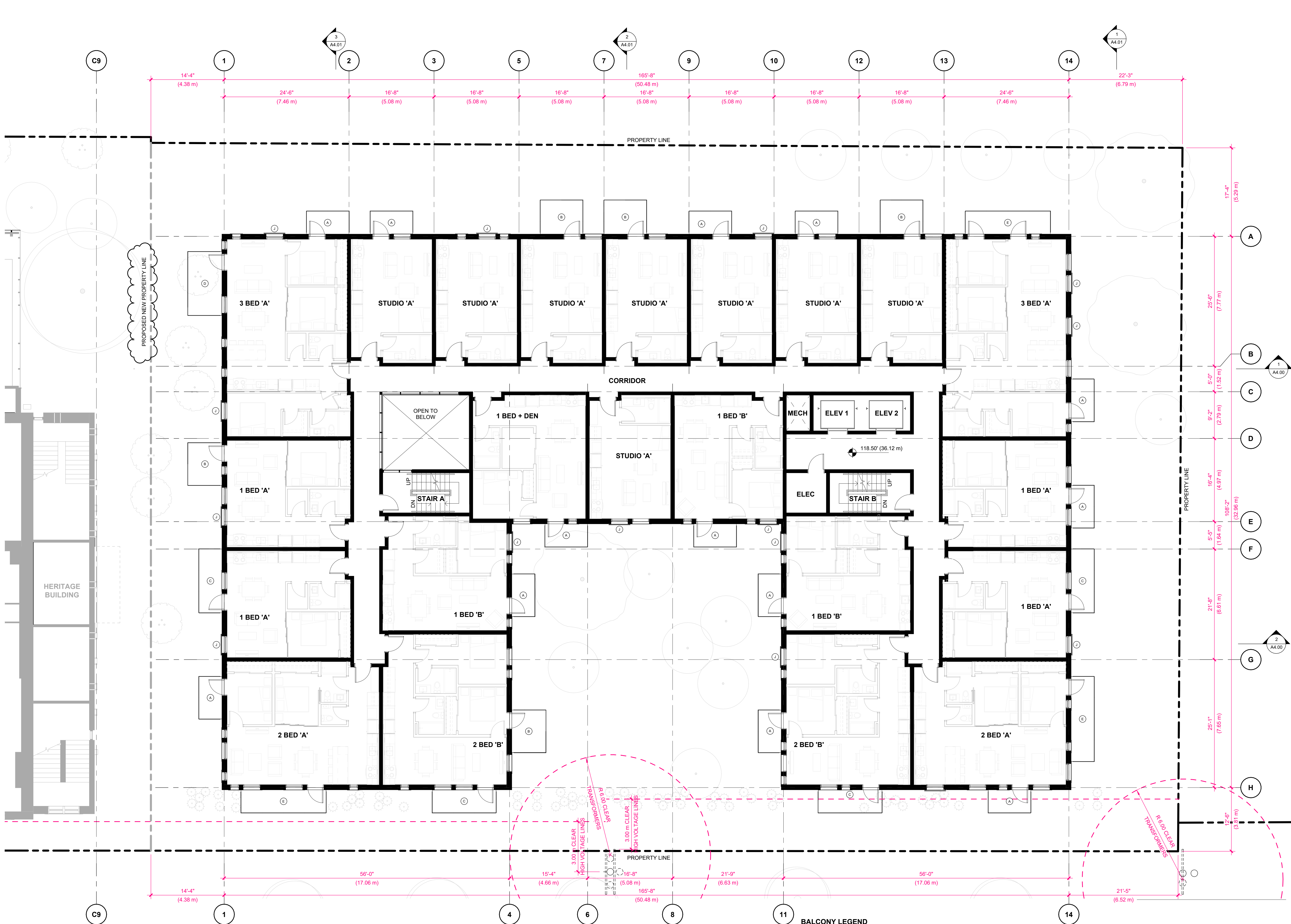
1/8" = 1'-0"



BALCONY LEGEND

- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
- B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
- C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
- D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)

- E BALCONY TYPE E: 16'-8" x 4'-6" (5.1m x 1.4m)
- J JULIETTE BALCONY: 4'-2" (1.3m)



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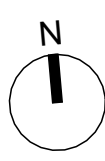
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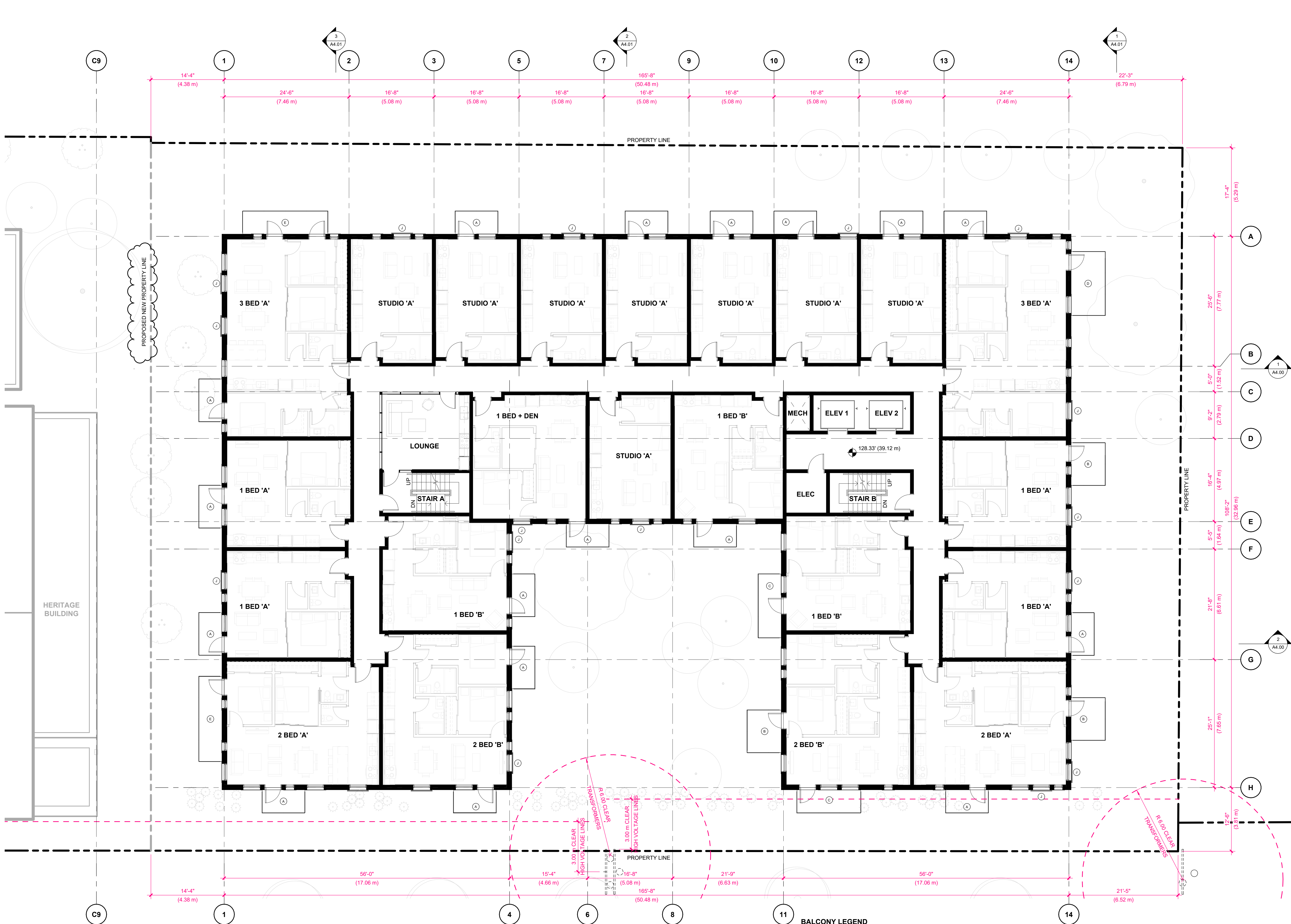
2025-12-19
LEVEL 03 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



BALCONY LEGEND

- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
- B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
- C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
- D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
- E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
- J JULIETTE BALCONY: 4'-2" (1.3m)



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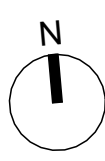
DECEMBER 19, 2025



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LEVEL 04 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



BALCONY LEGEND

- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
- B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
- C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
- D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
- E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
- J JULIETTE BALCONY: 4'-2" (1.3m)



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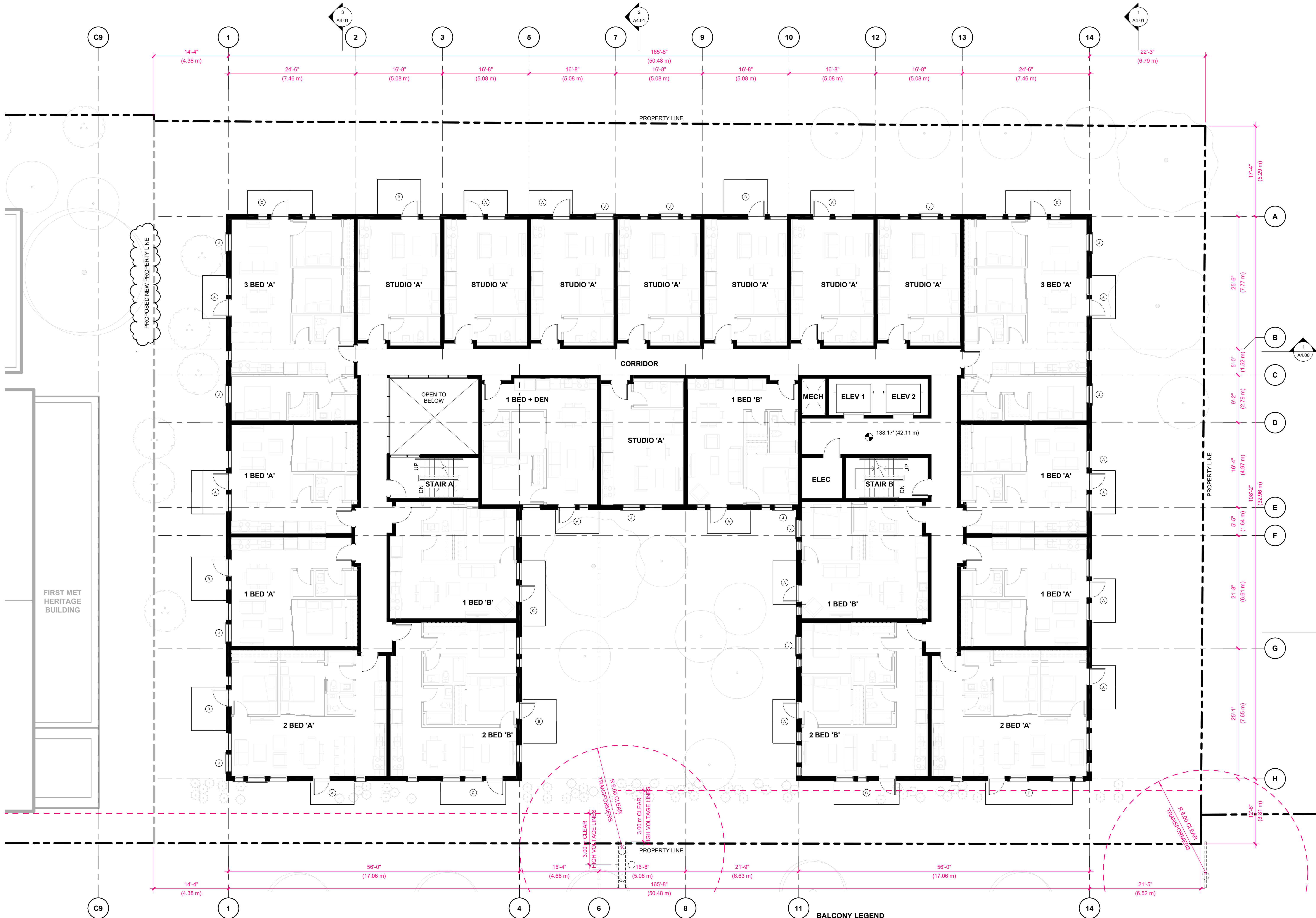
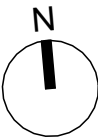


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LEVEL 05 PLAN -
RESIDENTIAL BLDG

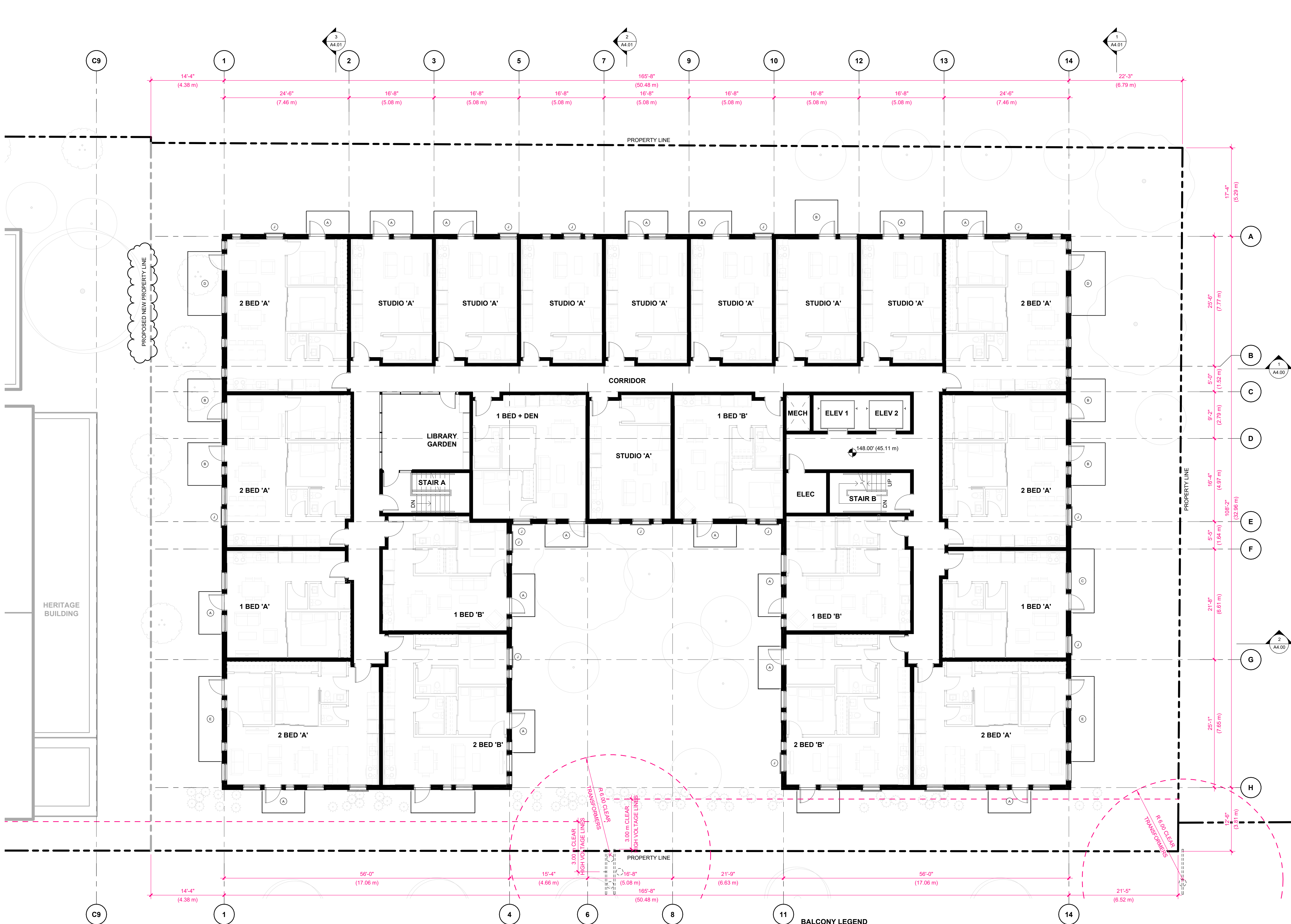
SCALE

1/8" = 1'-0"



BALCONY LEGEND

- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
- B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
- C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
- D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
- E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
- J JULIETTE BALCONY: 4'-2" (1.3m)



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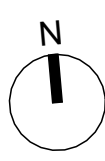
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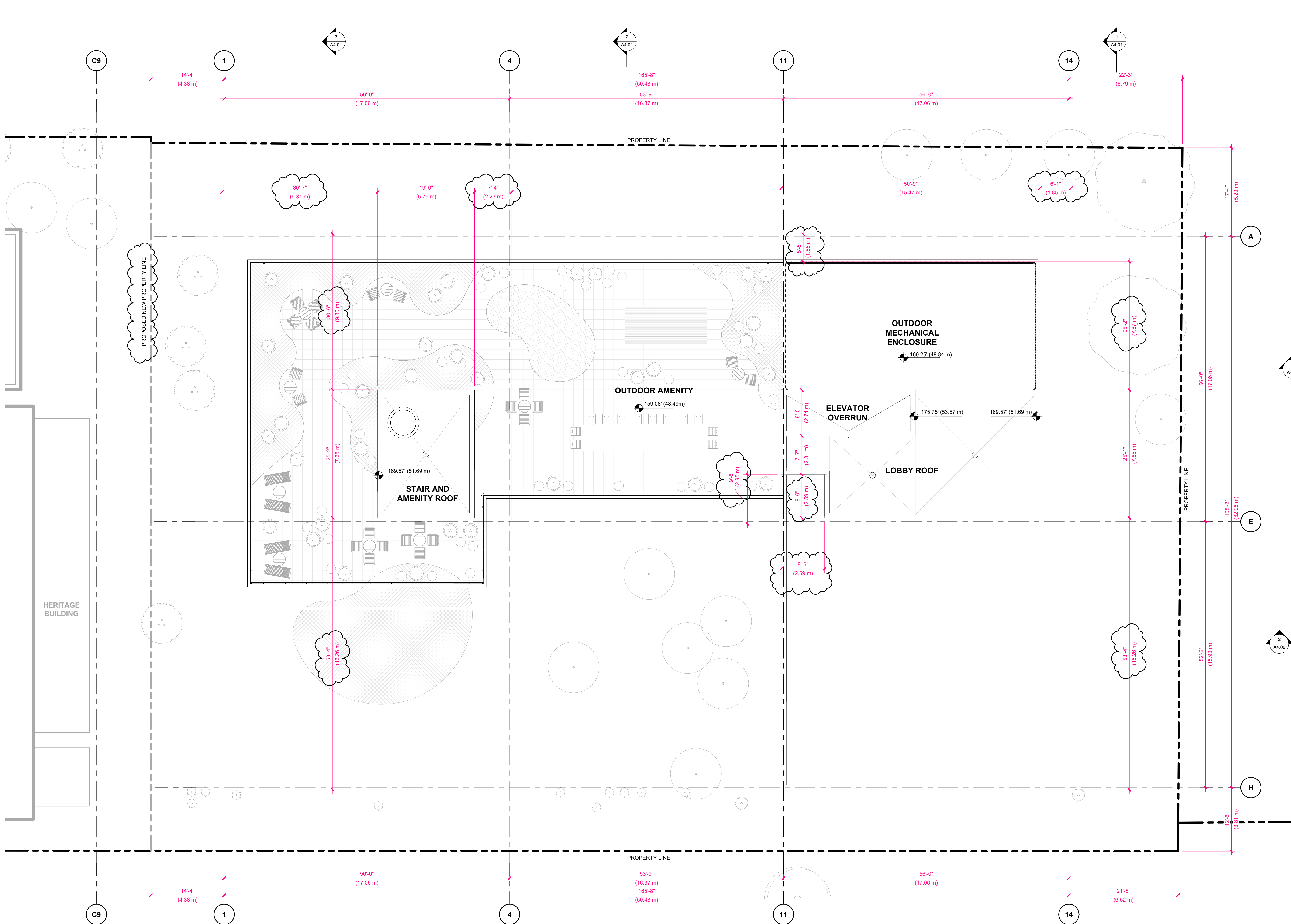
LEVEL 06 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



BALCONY LEGEND

- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
- B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
- C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
- D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
- E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
- J JULIETTE BALCONY: 4'-2" (1.3m)



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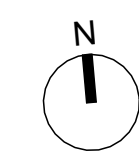
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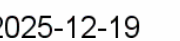


ROOF PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



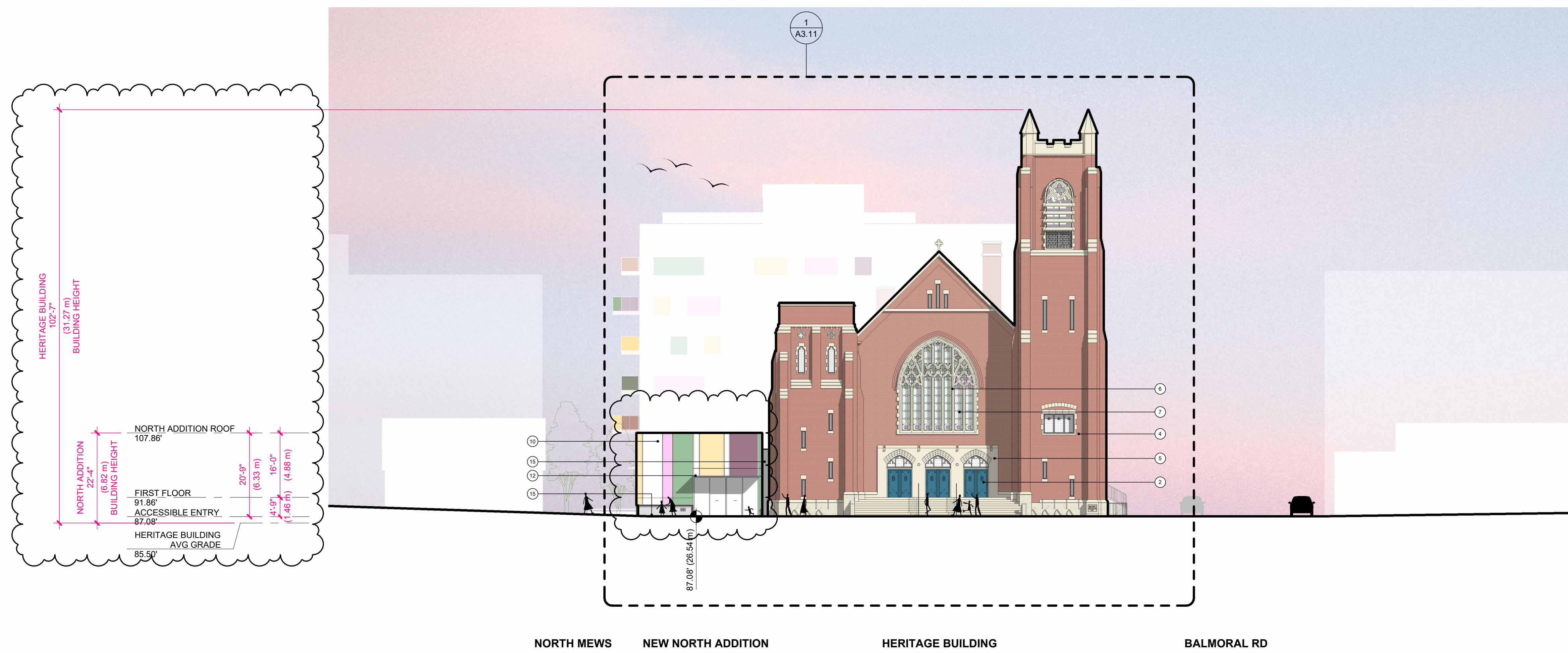
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SCALE
1/16" = 1'-0"



15	ARCHITECTURAL CONCRETE
16	METAL PANEL, GALVANIZED
17	METAL PANEL, WHITE
18	GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
21	WOVEN WIRE MESH, 1 1/2" x 1 1/2" OPENINGS, PAINTED RAL 090 90 50
24	THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, 2 SSG
31	RESIDENTIAL SIGNAGE



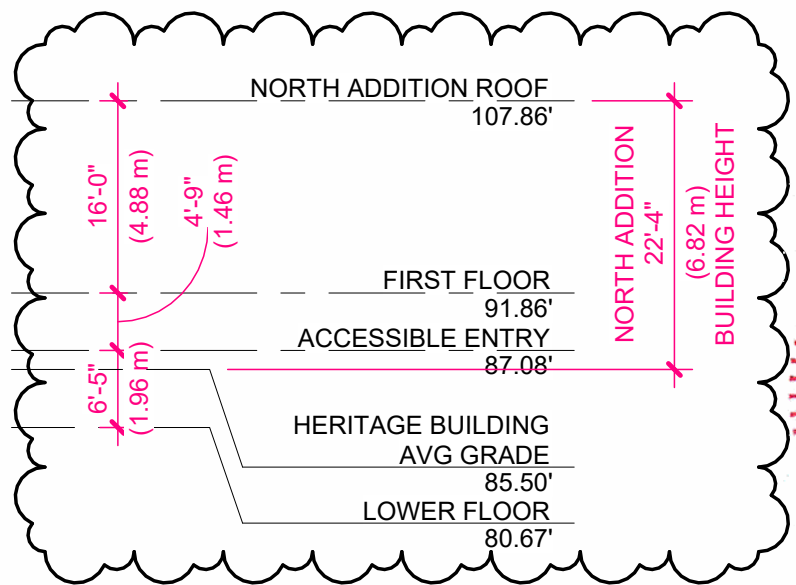
HERITAGE MATERIAL LEGEND

- 2 ENTRY DOORS TO BE RESTORED AS REQUIRED
- 4 BRICK TO BE RESTORED AS REQUIRED
- 5 SANDSTONE TO BE RESTORED AS REQUIRED
- 6 CAST STONE TRACERY TO BE RESTORED AS REQUIRED
- 7 STAINED GLASS PANELS TO BE RESTORED AS REQUIRED

NEW NORTH ADDITION MATERIAL LEGEND

- 10 THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 12 POWDER COATED METAL CANOPY
- 15 ARCHITECTURAL CONCRETE

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NORTH SITE ELEVATION

$$1/16'' = 1'-0''$$

16	METAL PANEL, GALVANIZED
17	METAL PANEL, WHITE
18	GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIMILAR)
19	THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
20	MECHANICAL METAL SCREEN ENCLOSURE

9	THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
10	THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
15	ARCHITECTURAL CONCRETE



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EAST SITE ELEVATION

SCALE

1/16" = 1'-0"

NEW RESIDENTIAL MATERIAL LEGEND

- 15 ARCHITECTURAL CONCRETE
- 16 METAL PANEL, GALVANIZED
- 17 METAL PANEL, WHITE
- 18 GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
- 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
- 24 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, 2 SSG
- 29 MECHANICAL METAL SCREEN ENCLOSURE



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CENTRAL MEWS WEST
SITE ELEVATION

SCALE

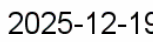
1/16" = 1'-0"

NEW RESIDENTIAL MATERIAL LEGEND

- 15 ARCHITECTURAL CONCRETE
- 16 METAL PANEL, GALVANIZED
- 17 METAL PANEL, WHITE
- 18 GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
- 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
- 21 WOVEN WIRE MESH, 1 1/2" x 1 1/2" OPENINGS, PAINTED RAL 090 90 50
- 24 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, 2 SSG

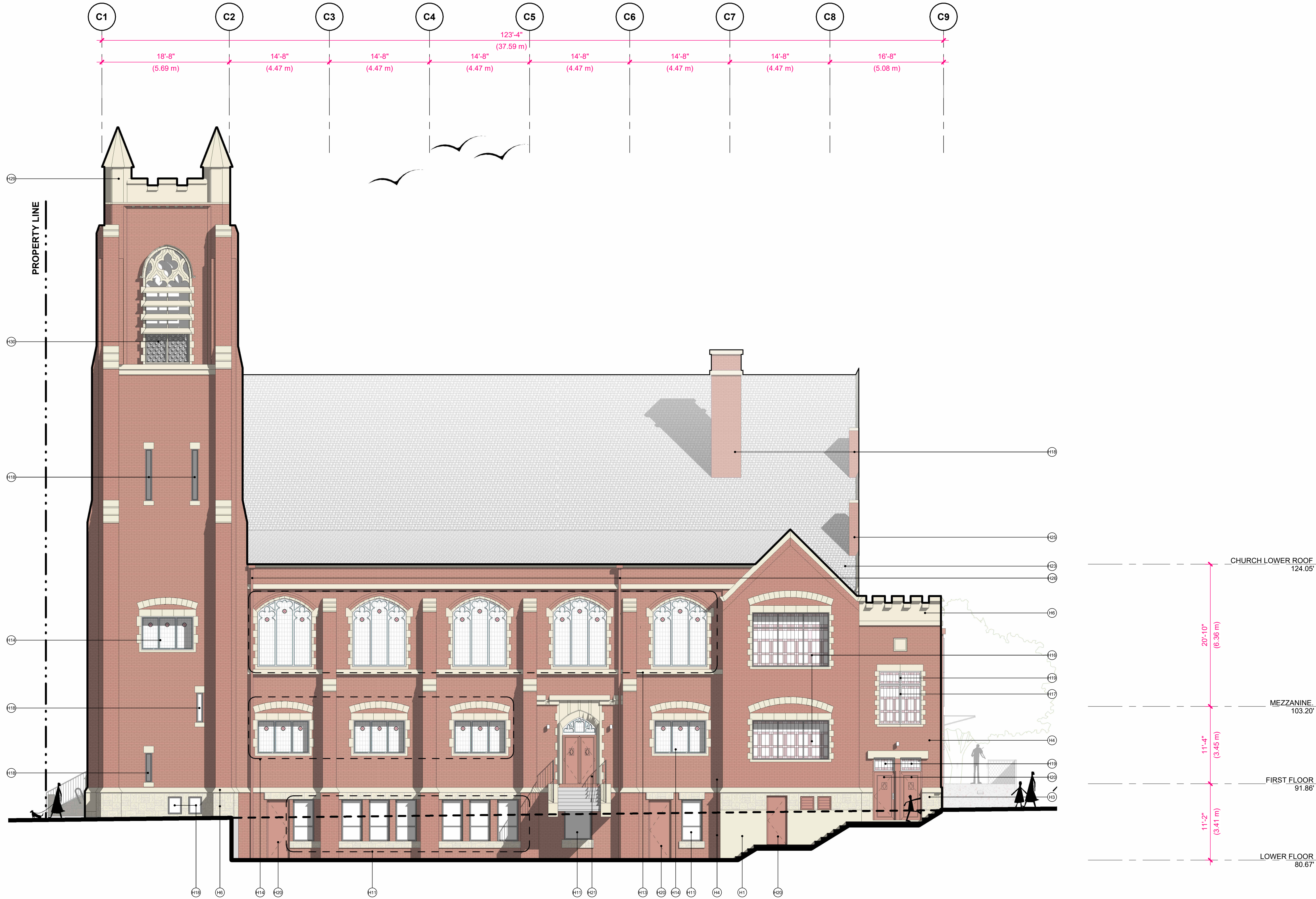
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DECEMBER 19, 2025


$$1/16'' = 1'-0''$$


- 3 ROOFING MATERIAL TO BE REPAIRED AND REPLACED AS REQUIRED
- 4 BRICK TO BE RESTORED AS REQUIRED
- 5 SANDSTONE TO BE RESTORED AS REQUIRED
- 8 ORIGINAL GABLE ROOF FORM OF SUNDAY SCHOOL HALL TO REMAIN

9	THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
10	THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
13	BIFOLD GARAGE DOOR, FINISH TBD
15	ARCHITECTURAL CONCRETE
5.1	ARCHITECTURAL CONCRETE WITH CLIMBING VINES, REFER TO LANDSCAPE, CONCRETE COLOUR TBD
5.2	ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
16	METAL PANEL, GALVANIZED



1 SOUTH ELEVATION
1/8" = 1'-0" |

NOTES:

1. REFER TO CONSERVATION PLAN BY LUXTON & ASSOCIATES FOR FURTHER INFORMATION ON SCOPE OF RETENTION, RESTORATION AND DEMOLITION.
2. PRESERVE THE ORIGINAL LOCATION OF THE CHURCH AND RETAINED WALL DORMERS AND SOUTHEAST STAIRCASE SECTIONS OF THE SUNDAY SCHOOL HALL. ALL REHABILITATION WORK SHOULD OCCUR WITHIN THE PROPERTY LINES OF THE SITE.
3. MATERIALS FROM DEMOLISHED PORTION OF THE SUNDAY SCHOOL HALL TO BE SALVAGED, IF FEASIBLE, FOR POSSIBLE REUSE IN THE REPAIR OF THE RETAINED SECTIONS OF THE HALL AND/OR THE CHURCH.
4. WINDOWS WITH STAINED AND LEADED GLASS THAT ARE NOTED FOR REMOVAL SHOULD BE SALVAGED. SALVAGED PANELS SHOULD BE PROTECTED AND CAREFULLY STORED.
5. ALL HERITAGE DOORS AND WINDOWS WITHIN RETAINED AREAS ARE TO BE REPAIRED AND/OR REPLACED AS REQUIRED. ANY REPLICAS SHALL BE MANUFACTURED IN ACCORDANCE WITH HCP SPECIFICATIONS. PAINT COLOURS FOR FRAMING ELEMENTS ARE TO BE DETERMINED IN COORDINATION WITH THE HERITAGE CONSULTANT.
6. SALVAGE BRICK FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.
7. SALVAGE STONE FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.

PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- (H1) PRESERVED RUSTICATED STONE FOUNDATION - REPAIR ANY MISSING MORTAR AND PARING IF DAMAGED
- (H3) REHABILITATED STONE FOUNDATION
- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H11) REPLACE NON-ORIGINAL WINDOWS WITH REPLICATED WOOD FRAME WINDOW AS FEASIBLE - MANUFACTURED AS RECOMMENDED BY HCP
- (H13) PRESERVED TRI-DIVIDED LANCET WINDOWS WITH CUSPED STONE ARCHES AND STAINED GLASS - REPAIR AS REQUIRED
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- (H16) PRESERVED TRIPLE-LITE WOOD SASH WINDOW WITH STAINED GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H17) PRESERVED DOUBLE-LITE WOOD SASH WINDOW WITH STAINED GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H18) PRESERVED SINGLE-LITE WOOD SASH WINDOW WITH CLEAR GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H19) PRESERVED WOOD SASH TRANSOM WINDOW, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H20) PRESERVED WOOD DOOR, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H21) PRESERVED DOUBLE-DOOR ENTRY WITH POINTED-ARCH TRACERY TRANSOMS - REPAIR AS REQUIRED
- (H23) PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- (H25) PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H29) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED



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**932 BALMORAL RD
& 1701 QUADRA ST**

**ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2**

DECEMBER 19, 2025

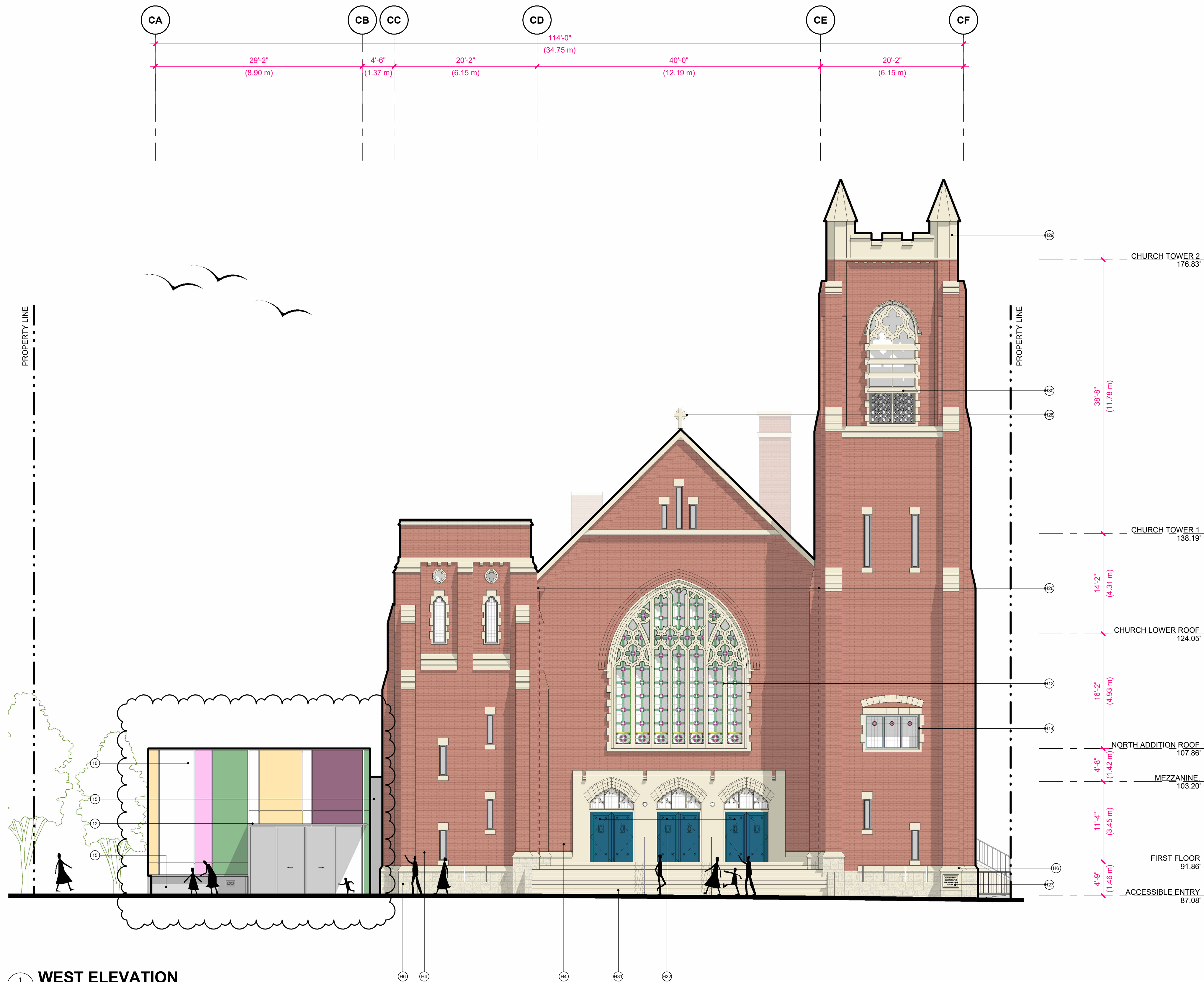


2025-12-19

**HERITAGE ELEVATION -
BALMORAL ROAD**

SCALE

1/8" = 1'-0"



NOTES:

1. REFER TO CONSERVATION PLAN BY LUXTON & ASSOCIATES FOR FURTHER INFORMATION ON SCOPE OF RETENTION, RESTORATION AND DEMOLITION.
2. PRESERVE THE ORIGINAL LOCATION OF THE CHURCH AND RETAINED WALL DORMERS AND SOUTHEAST STAIRCASE SECTIONS OF THE SUNDAY SCHOOL HALL. ALL REHABILITATION WORK SHOULD OCCUR WITHIN THE PROPERTY LINES OF THE SITE.
3. MATERIALS FROM DEMOLISHED PORTION OF THE SUNDAY SCHOOL HALL TO BE SALVAGED, IF FEASIBLE, FOR POSSIBLE REUSE IN THE REPAIR OF THE RETAINED SECTIONS OF THE HALL AND/OR THE CHURCH.
4. WINDOWS WITH STAINED AND LEADED GLASS THAT ARE NOTED FOR REMOVAL SHOULD BE SALVAGED. SALVAGED PANELS SHOULD BE PROTECTED AND CAREFULLY STORED.
5. ALL HERITAGE DOORS AND WINDOWS WITHIN RETAINED AREAS ARE TO BE REPAIRED AND/OR REPLACED AS REQUIRED. ANY REPLICAS SHALL BE MANUFACTURED IN ACCORDANCE WITH HCP SPECIFICATIONS. PAINT COLOURS FOR FRAMING ELEMENTS ARE TO BE DETERMINED IN COORDINATION WITH THE HERITAGE CONSULTANT.
6. SALVAGE BRICK FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.
7. SALVAGE STONE FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.

PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- H4 PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- H6 PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- H12 PRESERVED ARCHED MULTI-LANCET WINDOW WITH CAST STONE TRACERY AND STAINED GLASS - REPAIR AS REQUIRED
- H14 PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- H22 MAIN ENTRY DOOR - RESTORE TO ORIGINAL AND REPAIR AS REQUIRED
- H26 PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- H27 PRESERVED CORNERSTONE - REPAIR AS REQUIRED
- H28 PRESERVED CELTIC CROSS FINIAL - REPAIR AS REQUIRED
- H29 PRESERVED CRENELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- H30 PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED
- H31 PRESERVED STONE ENTRY STAIRCASE - REPAIR AS REQUIRED

NEW ADDITIONS MATERIAL LEGEND

- 10 THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 12 POWDER COATED METAL CANOPY
- 15 ARCHITECTURAL CONCRETE

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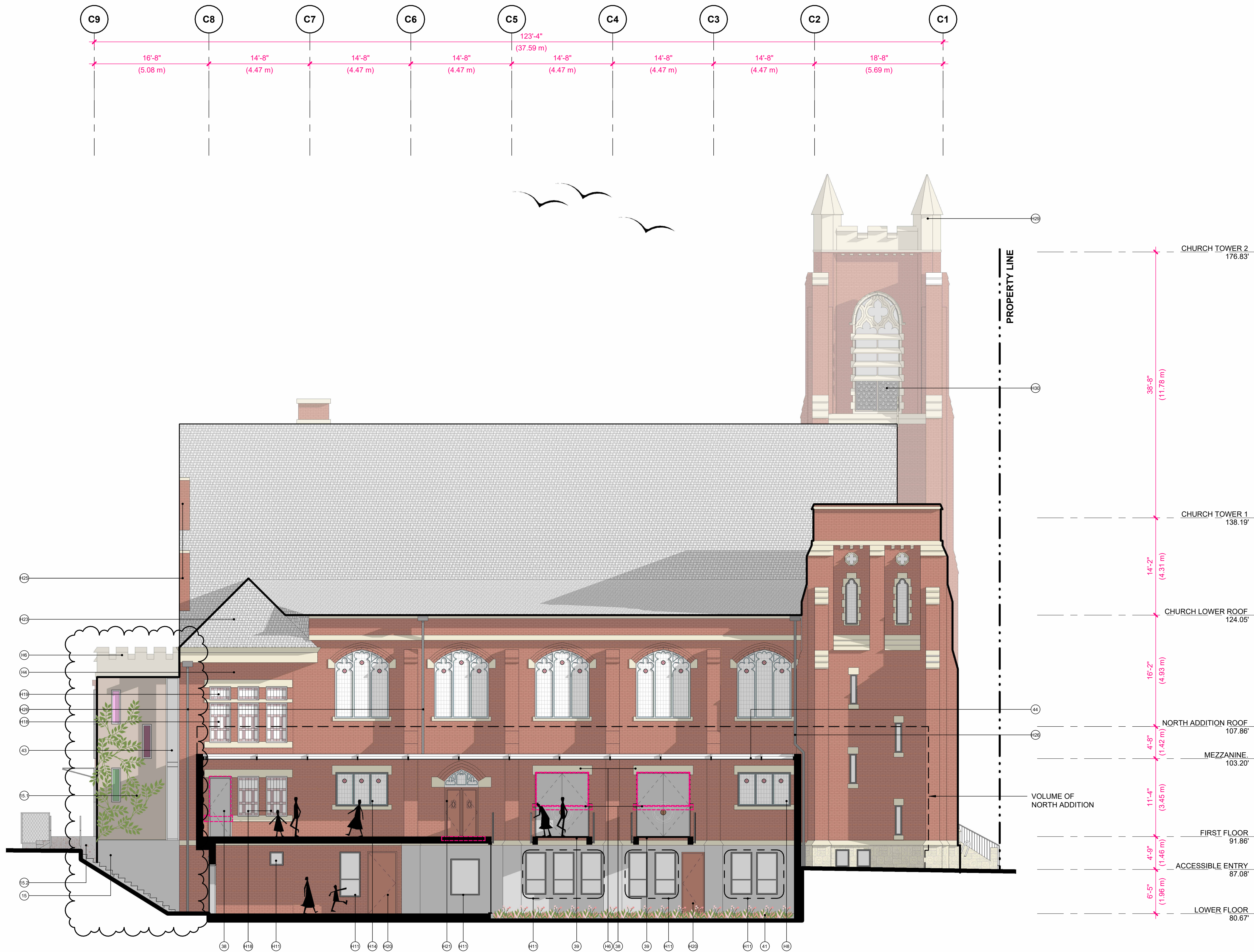


2025-12-19

HERITAGE ELEVATION -
QUADRA STREET

SCALE

1/8" = 1'-0"



1 NORTH ELEVATION AT CHURCH
1/8" = 1'-0"

2 NORTH ELEVATION AT ADDITION
1/8" = 1'-0"

NOTES:

1. REFER TO CONSERVATION PLAN BY LUTXON & ASSOCIATES FOR FURTHER INFORMATION ON SCOPE OF RETENTION, RESTORATION AND DEMOLITION.
2. PRESERVE THE ORIGINAL LOCATION OF THE CHURCH AND RETAINED WALL, DORMERS AND SOUTHEAST STAIRCASE SECTIONS OF THE SUNDAY SCHOOL HALL. ALL REHABILITATION WORK SHOULD OCCUR WITHIN THE PROPERTY LINES OF THE SITE.
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PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H8) ORIGINAL SALVAGED STONE SET WINDOW
- (H11) REPLACE NON-ORIGINAL WINDOWS WITH REPLICATED WOOD FRAME WINDOW AS FEASIBLE - MANUFACTURED AS RECOMMENDED BY HCP
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- (H18) PRESERVED SINGLE-LITE WOOD SASH WINDOW WITH CLEAR GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H19) PRESERVED WOOD SASH TRANSOM WINDOW, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H20) PRESERVED WOOD DOOR, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H21) PRESERVED DOUBLE-DOOR ENTRY WITH POINTED-ARCH TRACERY TRANSOMS - REPAIR AS REQUIRED
- (H23) PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- (H25) PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H29) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED

NEW ADDITIONS MATERIAL LEGEND

- (9) THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- (10) THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- (15) ARCHITECTURAL CONCRETE
- (15.1) ARCHITECTURAL CONCRETE WITH CLIMBING VINES. REFER TO LANDSCAPE, CONCRETE COLOUR TBD
- (15.2) ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
- (38) NEW CUSTOM DOOR, C/W HERITAGE MOTIF - MATCH EXISTING WINDOW WIDTH, REHABILITATE EXISTING OPENING
- (39) NEW GLAZED BRIDGE - BETWEEN EXISTING HERITAGE CHURCH AND NEW NORTH ADDITION OVER EXISTING FLOOR OPENING
- (41) NEW PLANTING, REFER TO LANDSCAPE
- (42) REPLACEMENT HERITAGE FEATURE TREE, REFER TO LANDSCAPE
- (43) THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, BETWEEN EXISTING BRICK WALL AND NEW CONSTRUCTION - REPAIR AND REPLACE ADJACENT EXISTING BRICK WITH SALVAGED BRICK AS REQUIRED
- (44) NEW SKYLIGHT BETWEEN EXISTING HERITAGE CHURCH AND NEW CONSTRUCTION

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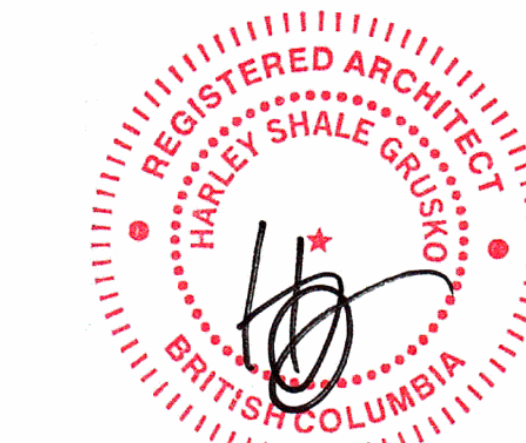
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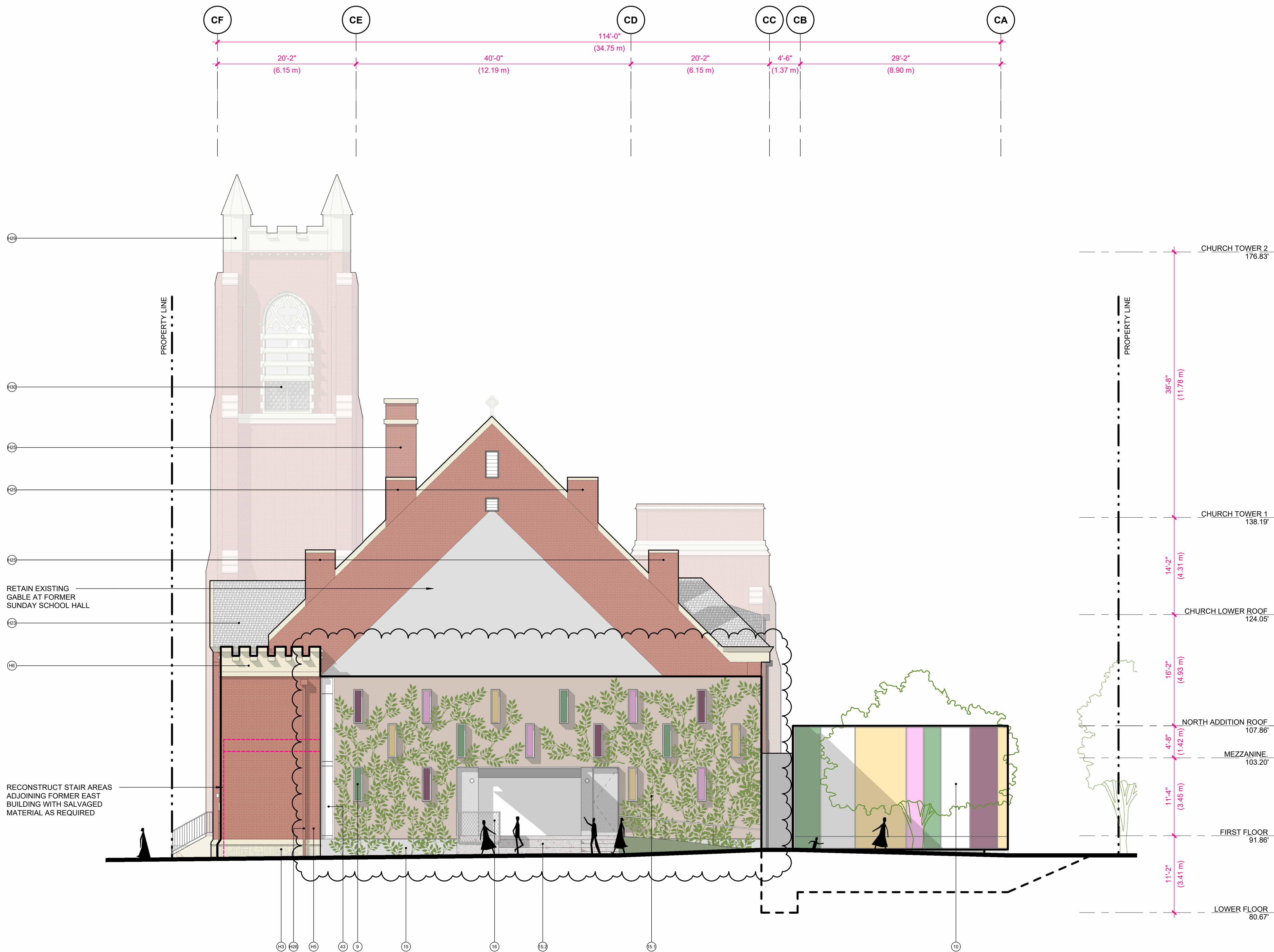


2025-12-19

**HERITAGE ELEVATION -
NORTH SITE**

SCALE

1/8" = 1'-0"



NOTES:

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PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- (H3) REHABILITATED STONE FOUNDATION
- (H5) PRESERVED BRICK, INFILL WITH ORIGINAL SALVAGED BRICK AS REQUIRED
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H23) PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- (H25) PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H29) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED

NEW ADDITIONS MATERIAL LEGEND

- (9) THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- (10) THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- (15) ARCHITECTURAL CONCRETE
- (15.1) ARCHITECTURAL CONCRETE WITH CLIMBING VINES. REFER TO LANDSCAPE, CONCRETE COLOUR TBD
- (15.2) ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
- (16) METAL PANEL, GALVANIZED
- (43) THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, BETWEEN EXISTING BRICK WALL AND NEW CONSTRUCTION - REPAIR AND REPLACE ADJACENT EXISTING BRICK WITH SALVAGED BRICK AS REQUIRED



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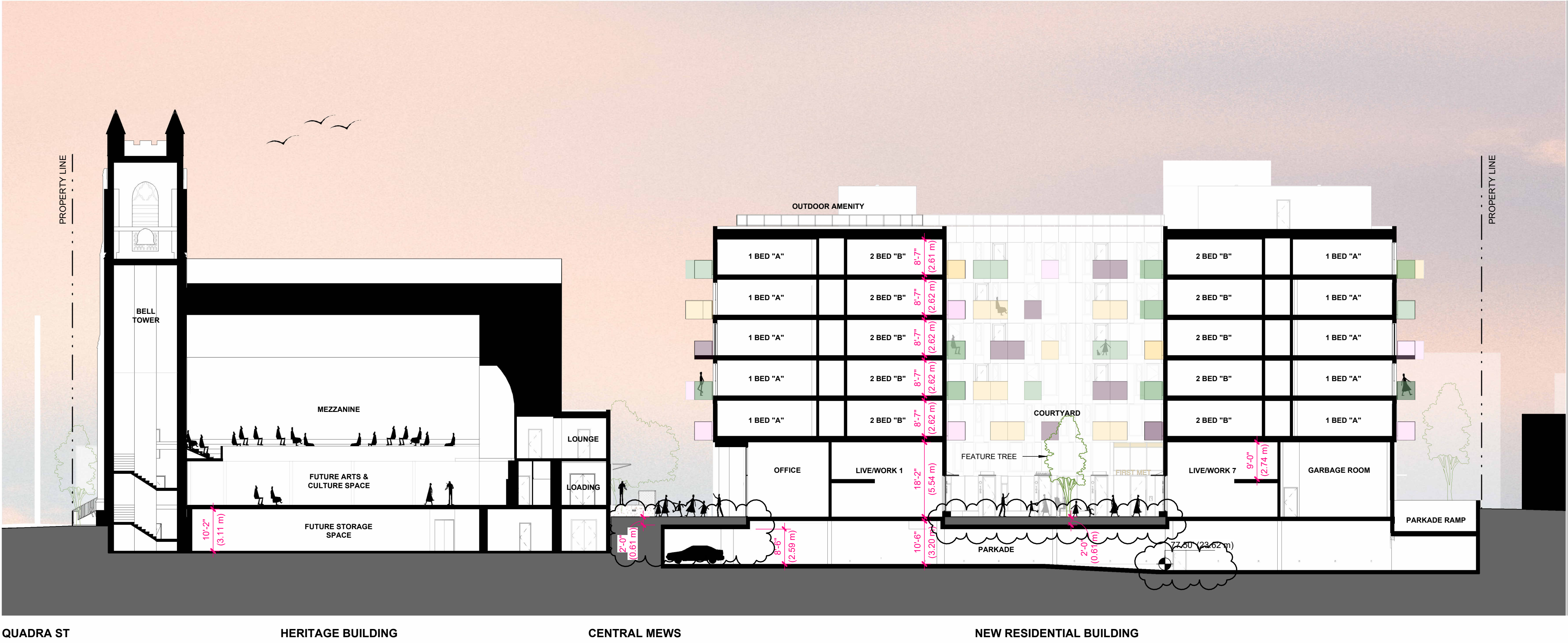


2025-12-19

HERITAGE ELEVATION
CENTRAL MEWS EAST

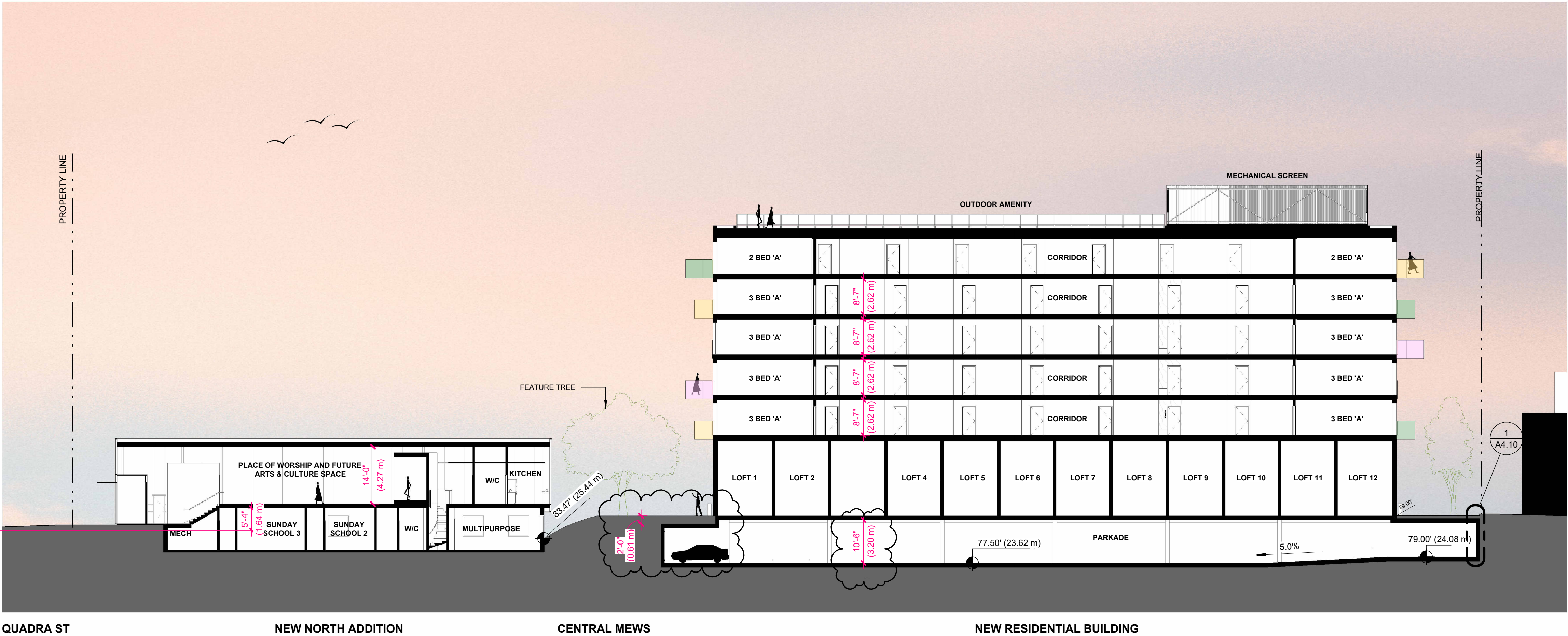
SCALE

1/8" = 1'-0"



QUADRA ST HERITAGE BUILDING CENTRAL MEWS NEW RESIDENTIAL BUILDING

2 SITE SECTION THROUGH HERITAGE BLDG & RESIDENTIAL BLDG LOOKING NORTH



QUADRA ST NEW NORTH ADDITION CENTRAL MEWS NEW RESIDENTIAL BUILDING

1 SITE SECTION THROUGH NORTH ADDITION & RESIDENTIAL BLDG LOOKING NORTH



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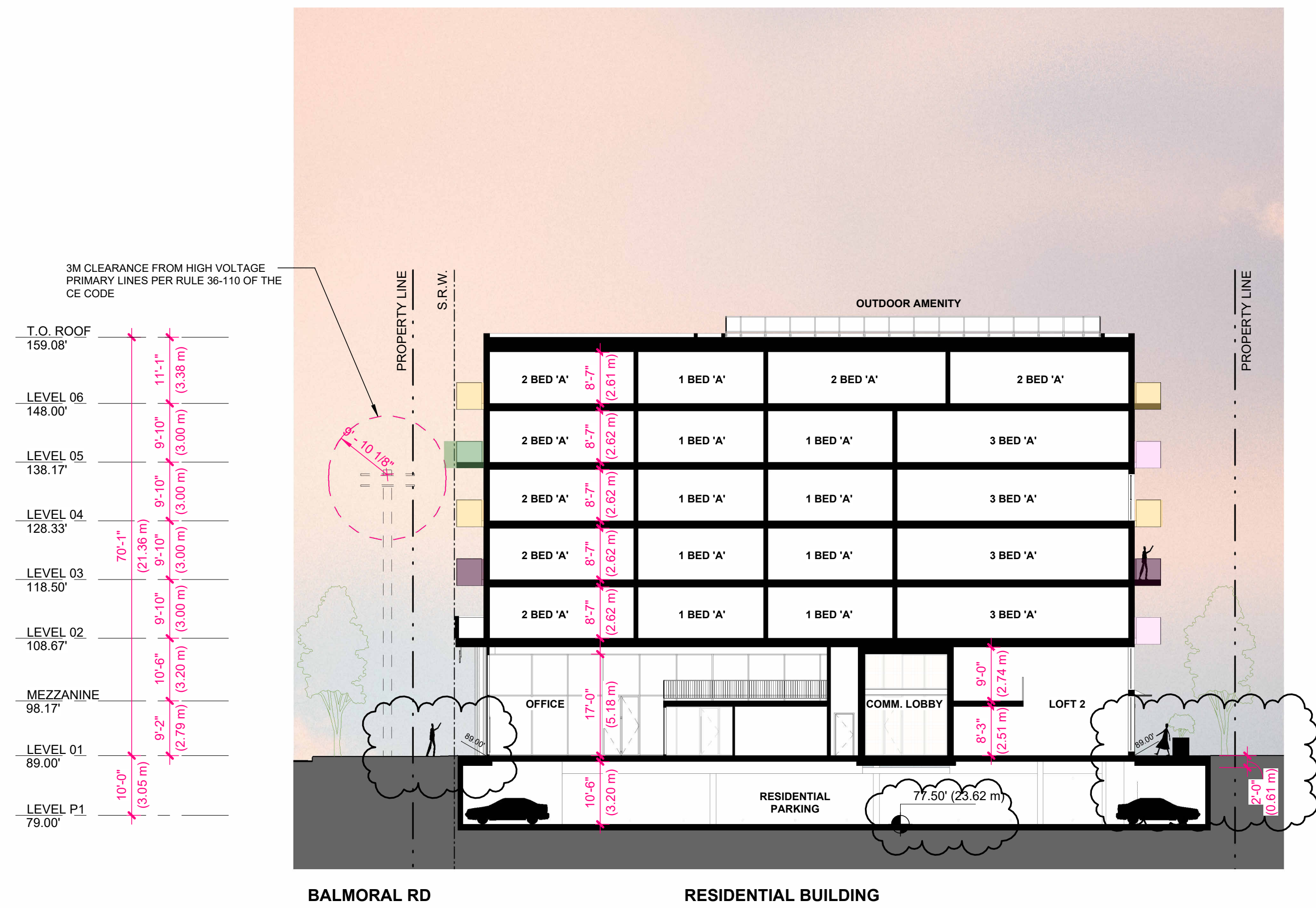
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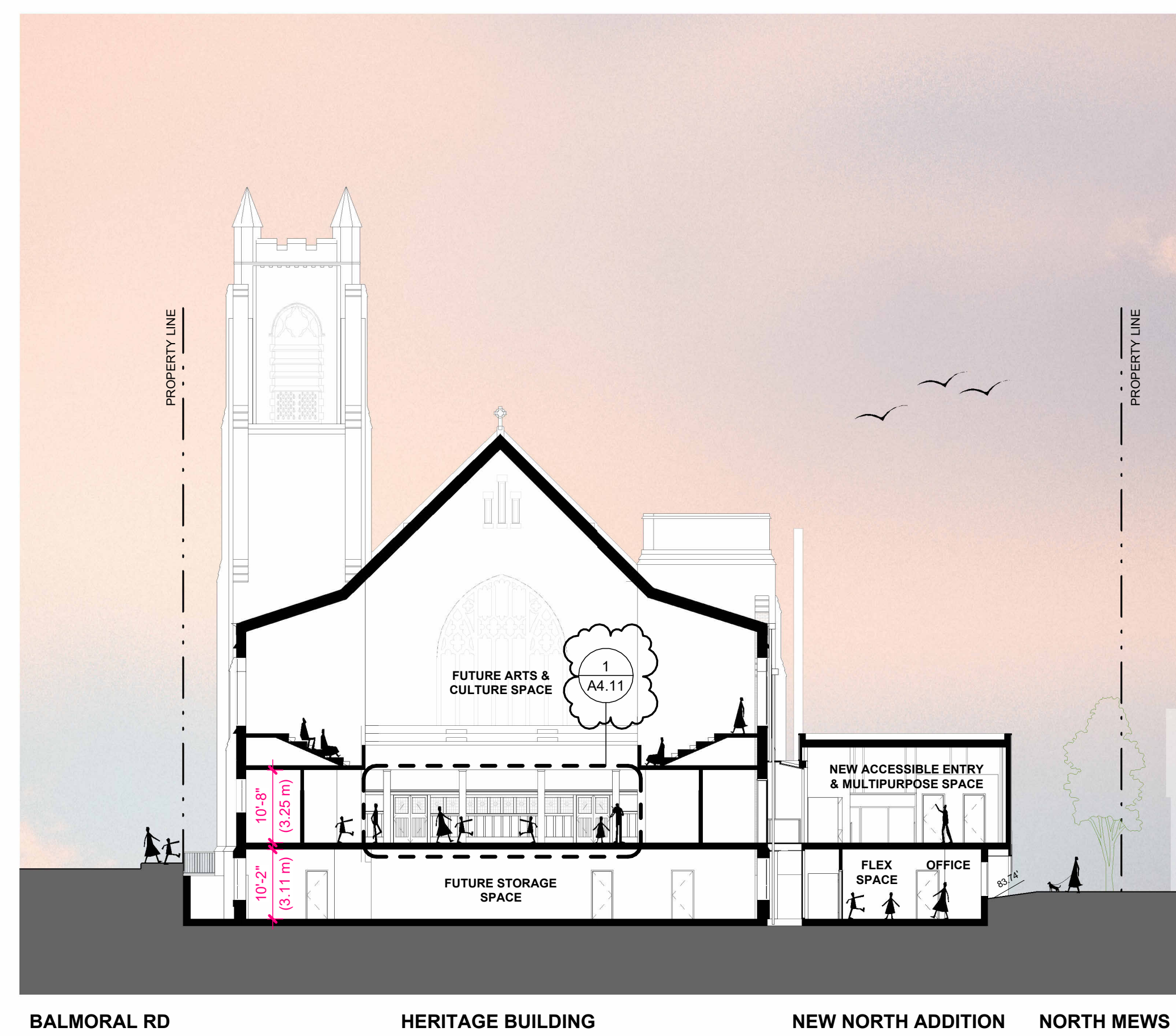
2025-12-19

SITE SECTIONS

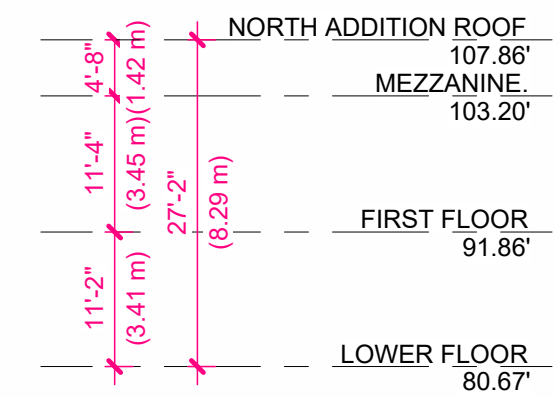
SCALE
1/16" = 1'-0"



3 SITE SECTION THROUGH RESIDENTIAL BLDG LOOKING WEST



4 SITE SECTION THROUGH HERITAGE BUILDING LOOKING WEST



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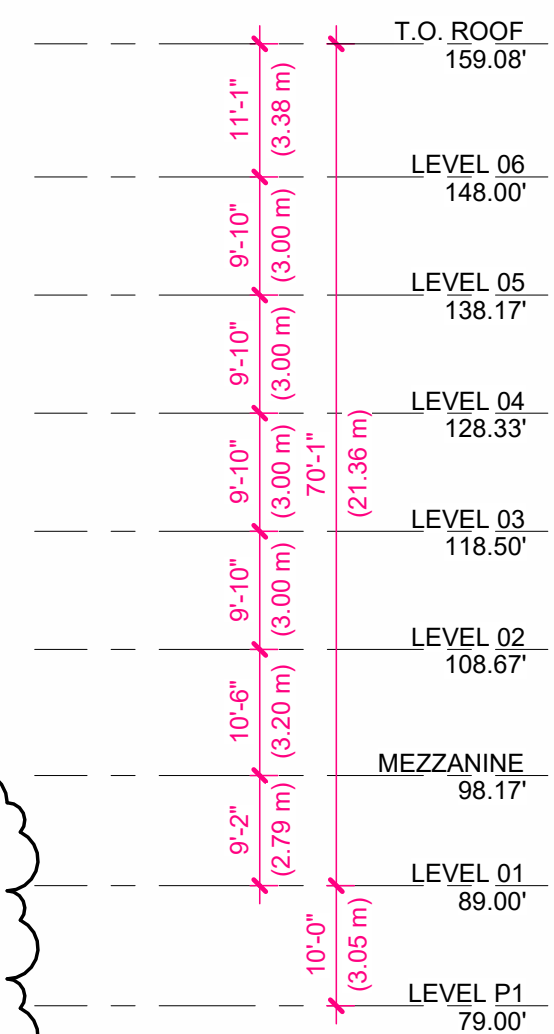
DECEMBER 19, 2025



2 SITE SECTION THROUGH RESIDENTIAL COURTYARD LOOKING WEST



1 SITE SECTION THROUGH PARKING ENTRY RAMP LOOKING WEST



2025-12-19

SITE SECTIONS

SCALE
1/16" = 1'-0"

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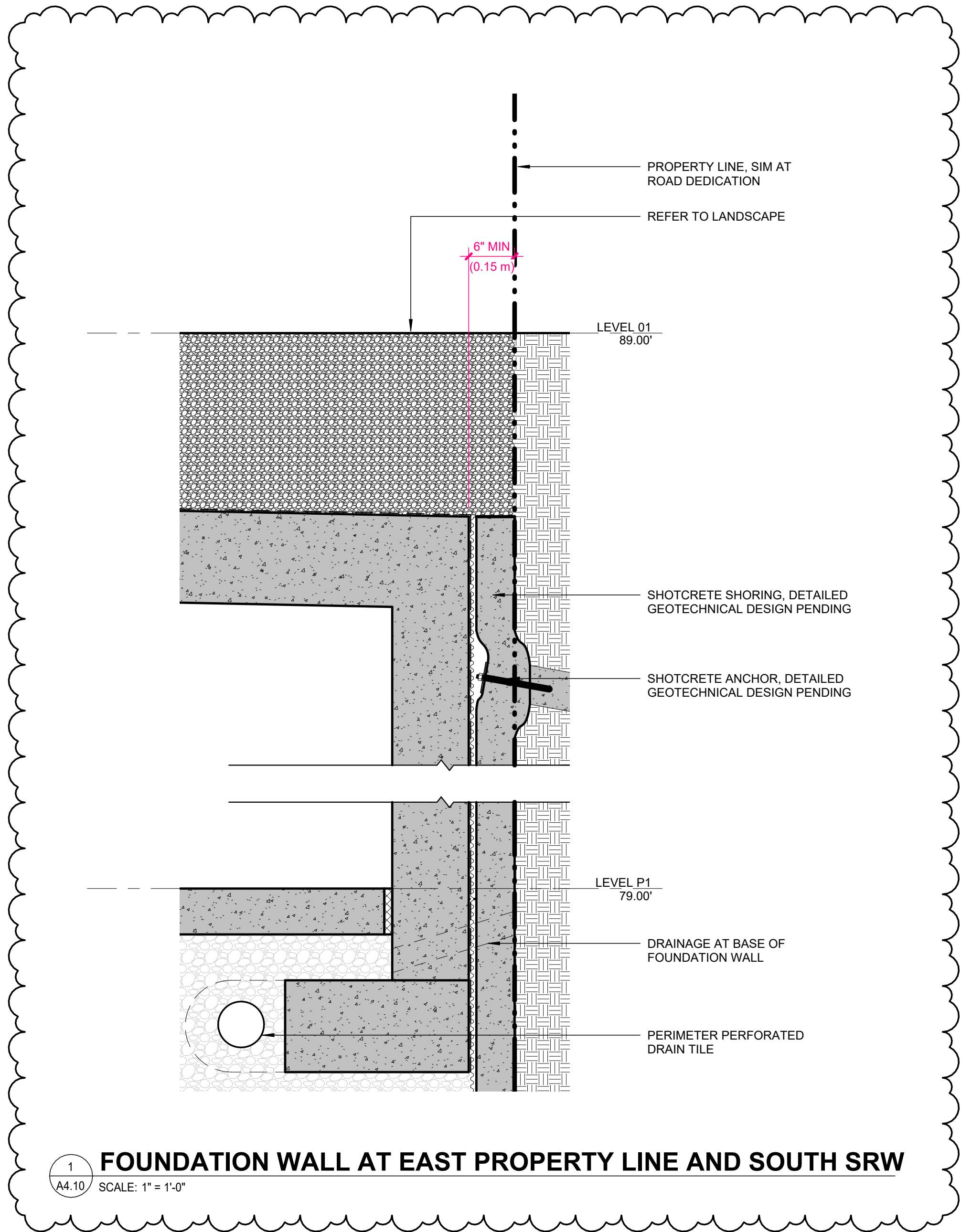


2025-12-19

TYP FOUNDATION WALL
DETAILS

SCALE

1" = 1'-0"





2025-12-19

INTERIOR HERITAGE
ELEVATION

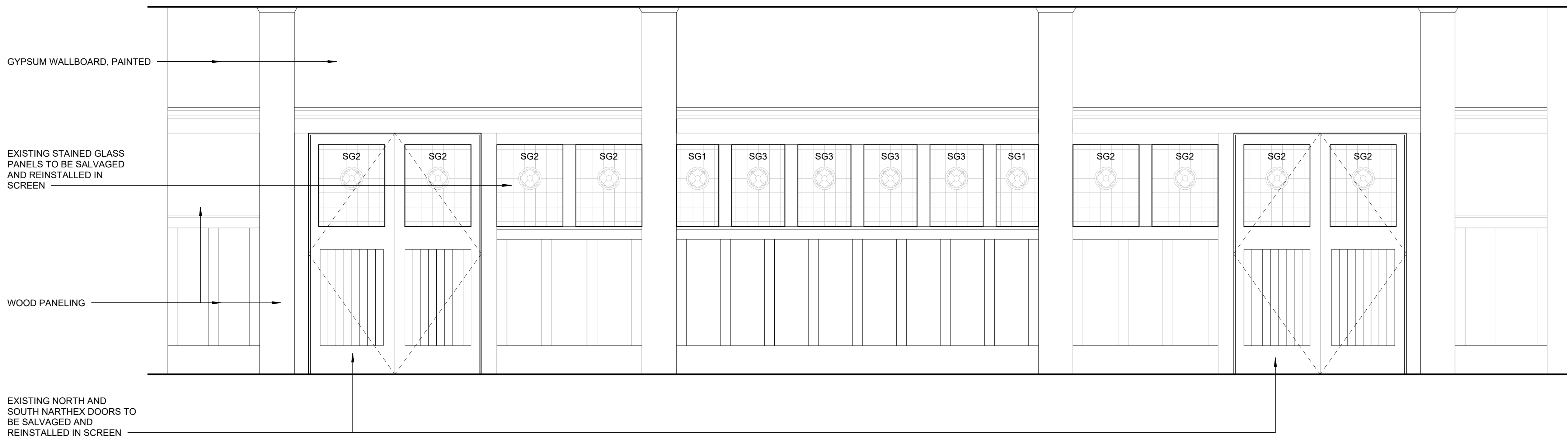
SCALE

1/2" = 1'-0"

NARTHEX SCREEN STAINED GLASS SIZES

TYPE	DESCRIPTION	SIZE	EXISTING COUNT	PROPOSED COUNT
SG1	3 LITE X 5 LITE	375mm x 724mm	6*	2
SG2	5 LITE X 5 LITE	581mm x 724mm	10*	8
SG3	4 LITE X 5 LITE	470mm x 724mm	4	4
SG4	7 LITE X 5 LITE	683mm x 660mm	2*	0

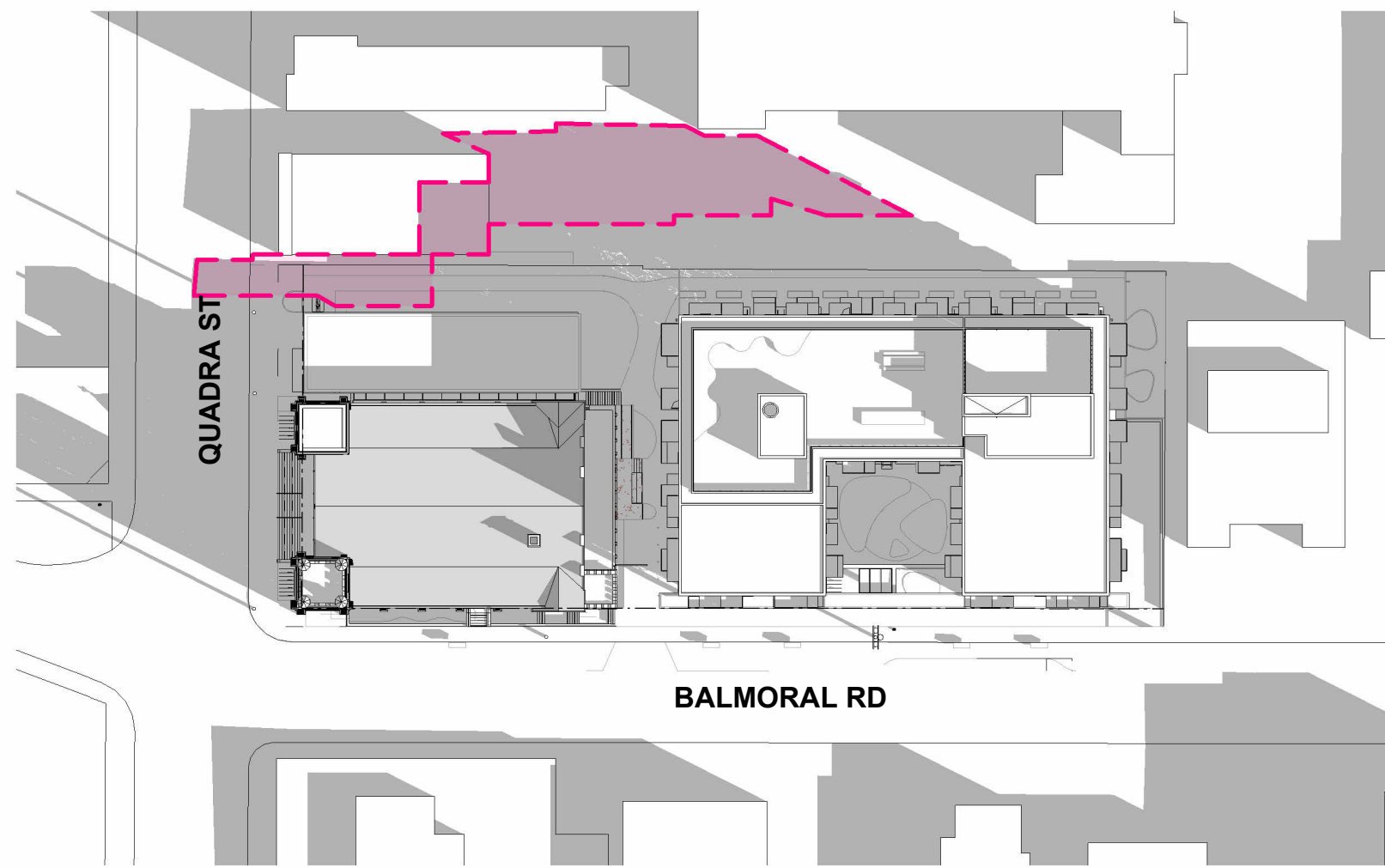
*NOTE: WHERE THE EXISTING COUNT OF STAINED GLASS PANELS EXCEEDS THOSE USED IN THE RESTORED SCREEN, THE REMAINDER ARE TO BE SALVAGED AND STORED FOR FUTURE USE



1
A4.11

RESTORED NARTHEX SCREEN ELEVATION

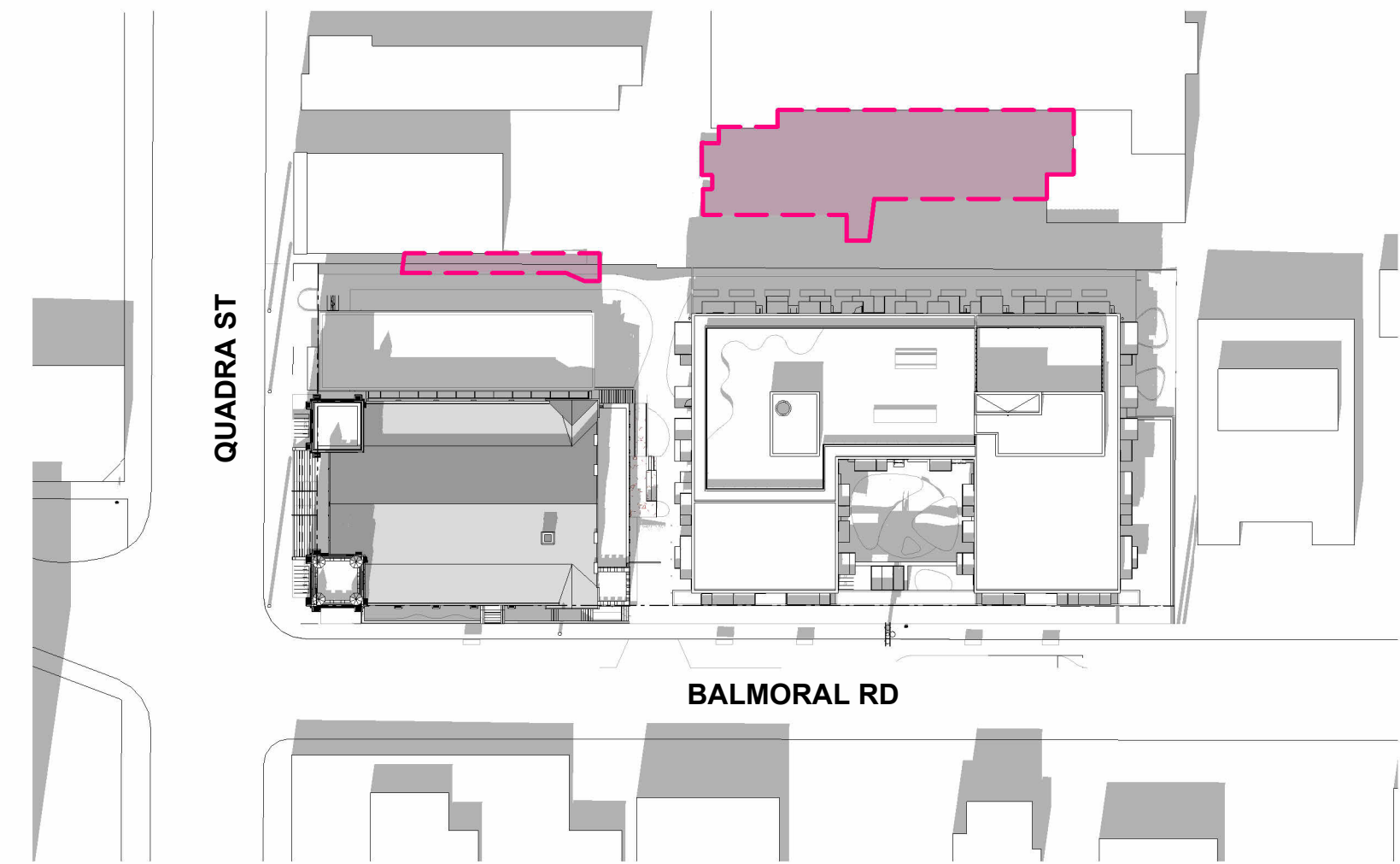
SCALE: 1/2" = 1'-0"



10:00AM

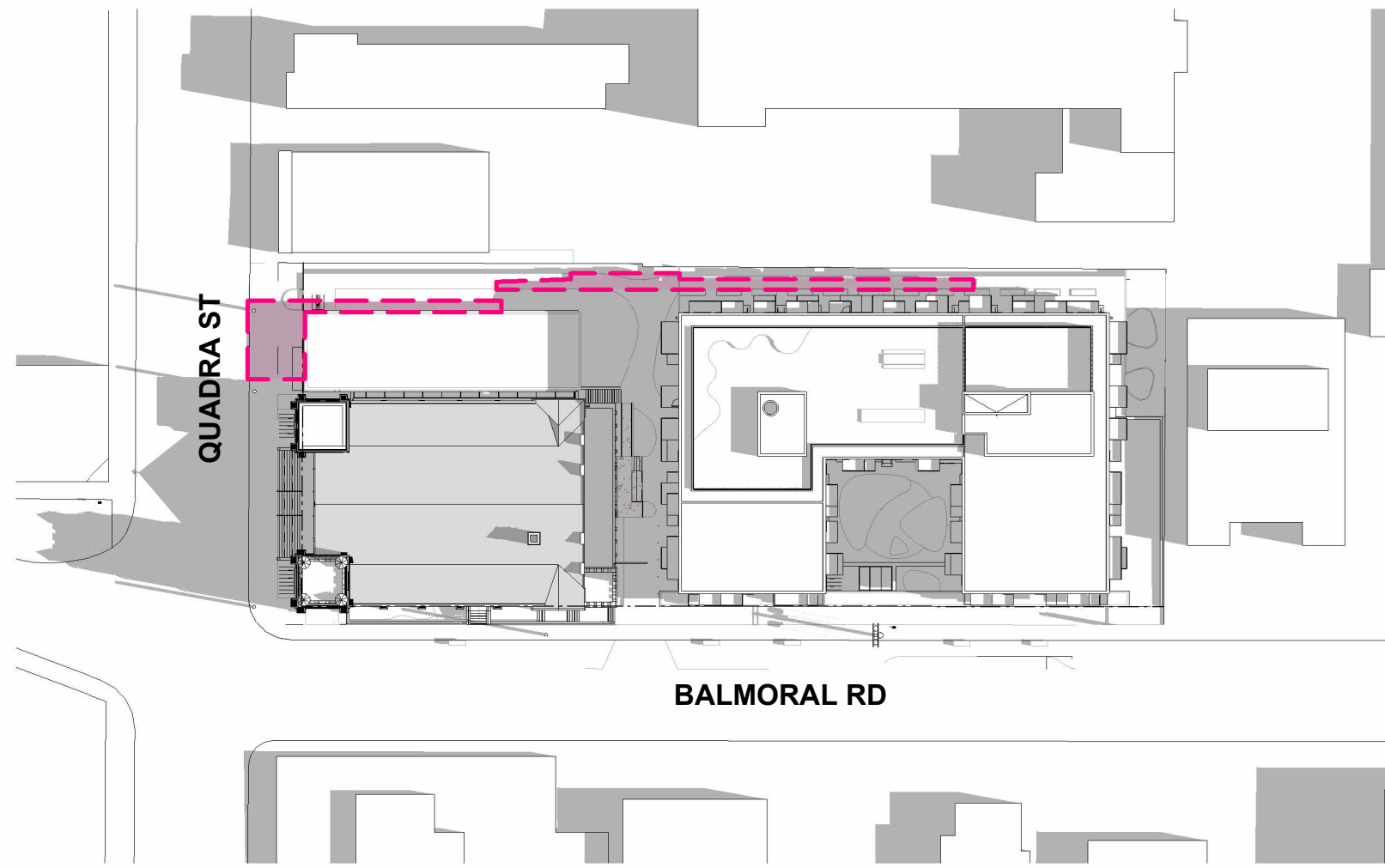


12:00PM

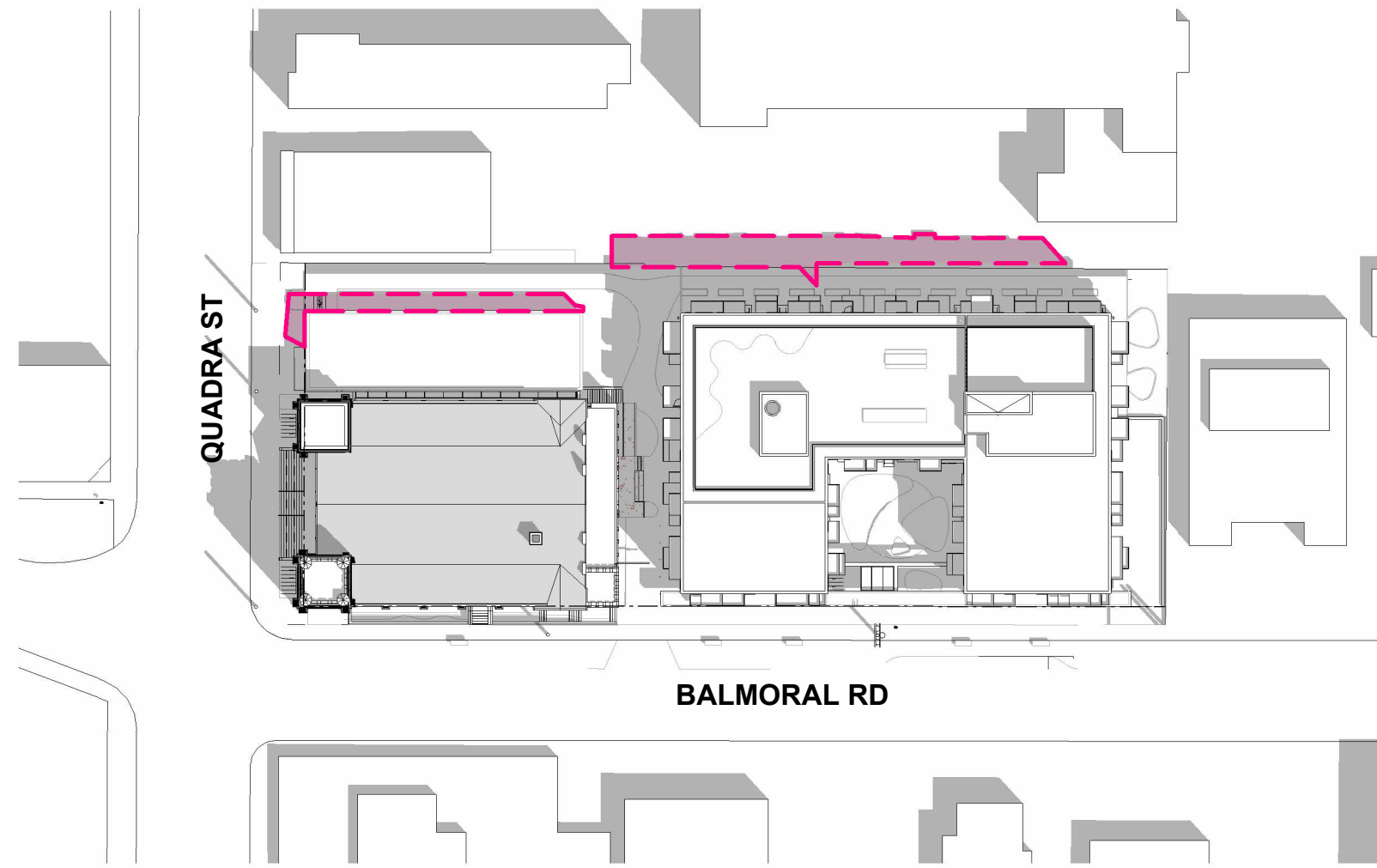


2:00PM

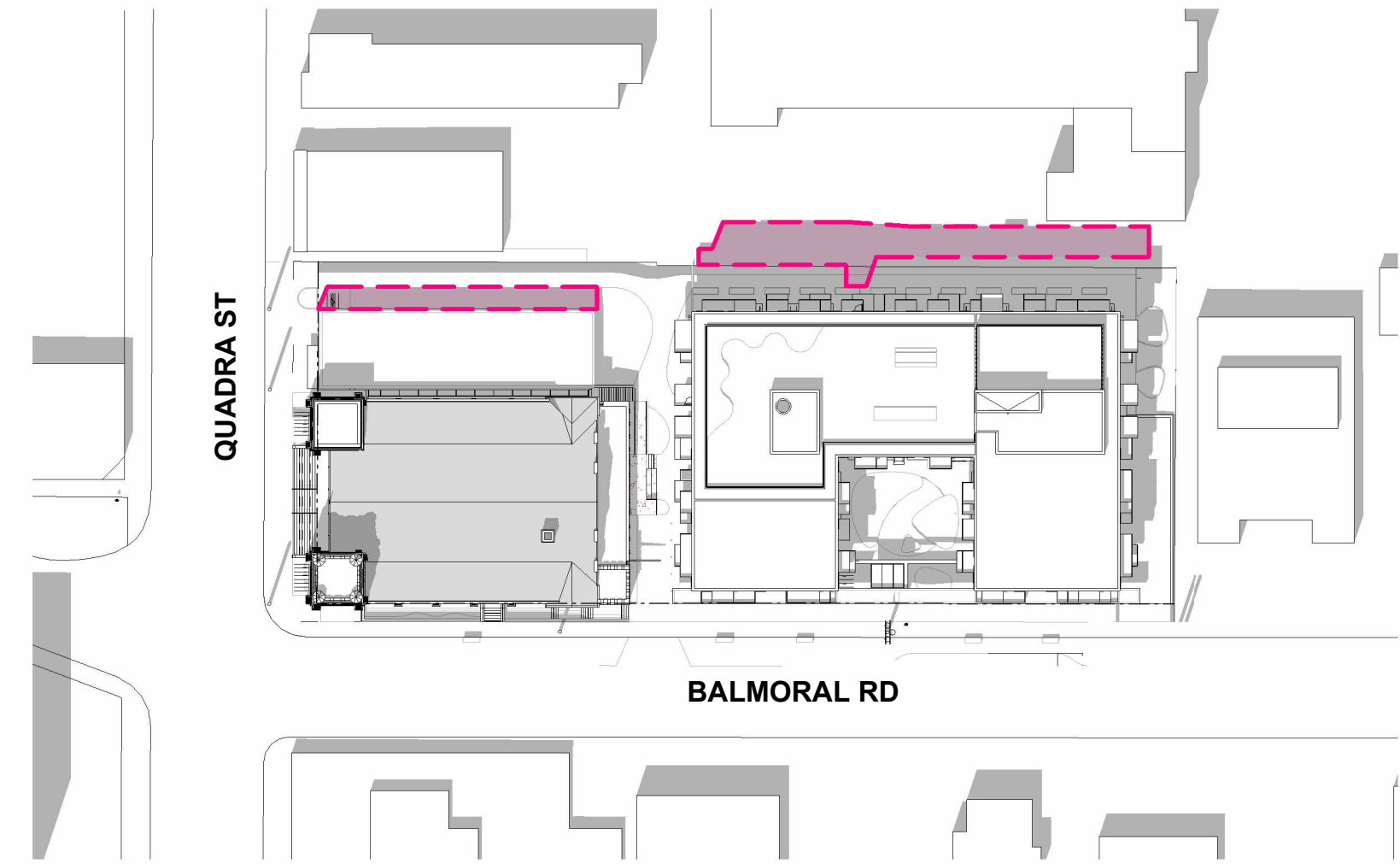
3 SPRING EQUINOX



10:00AM

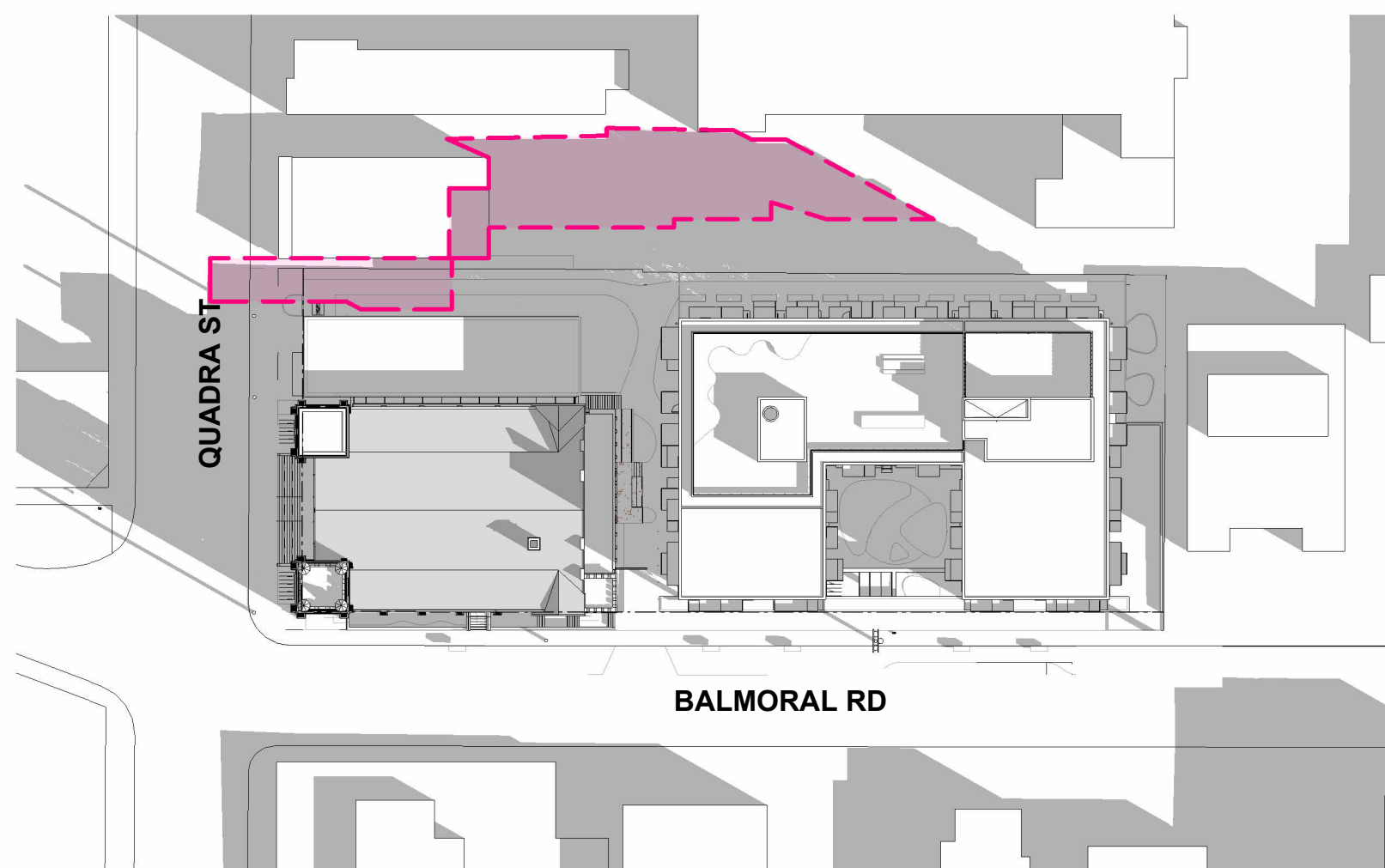


12:00PM



2:00PM

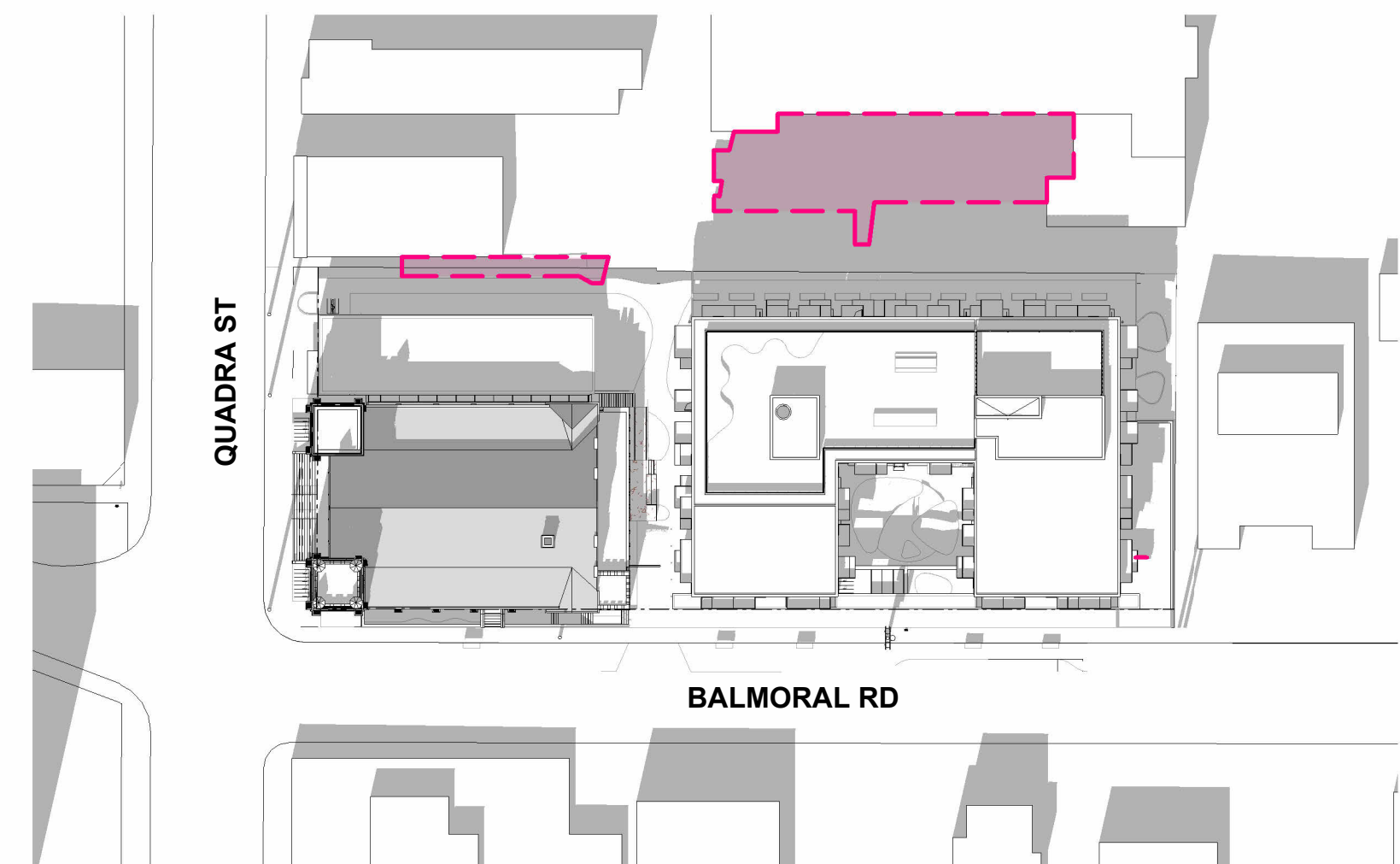
2 SUMMER SOLTICE



10:00AM



12:00PM



2:00PM

1 FALL EQUINOX

--- EXTENT OF NEW SHADOWS ONLY

MA
+
HG

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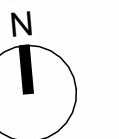
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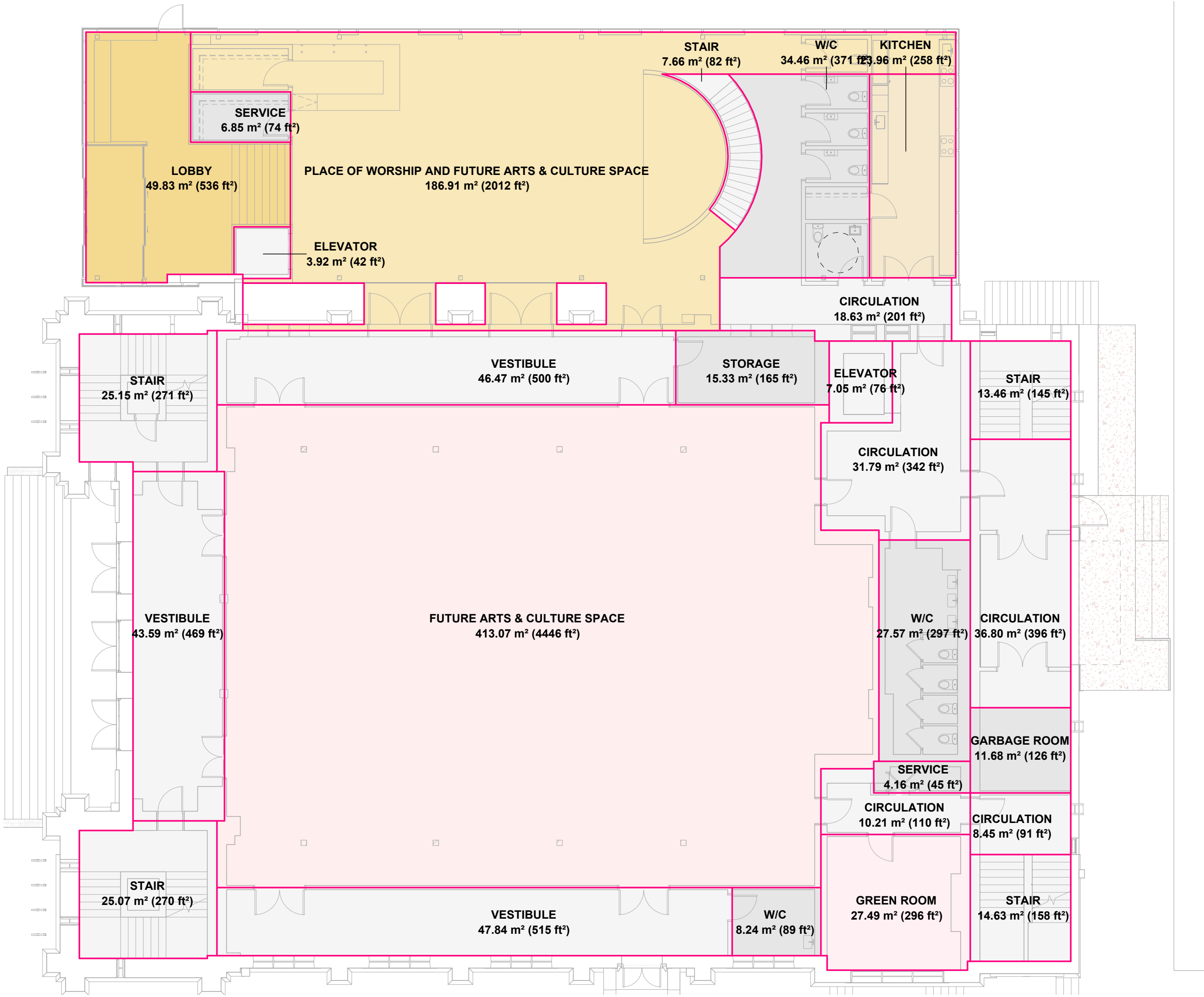
2025-12-19

SHADOW STUDIES

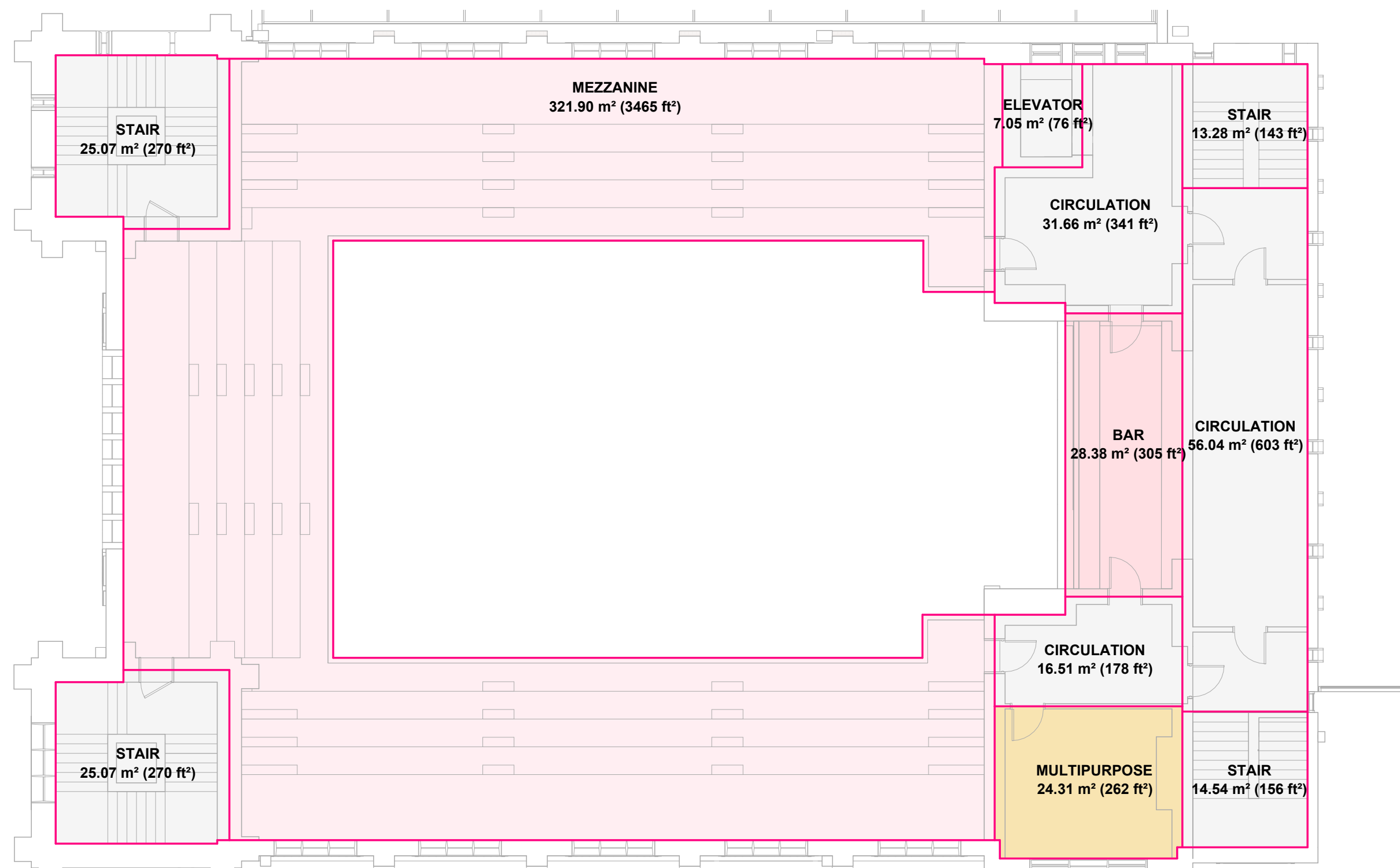
SCALE
1/64" = 1'-0"



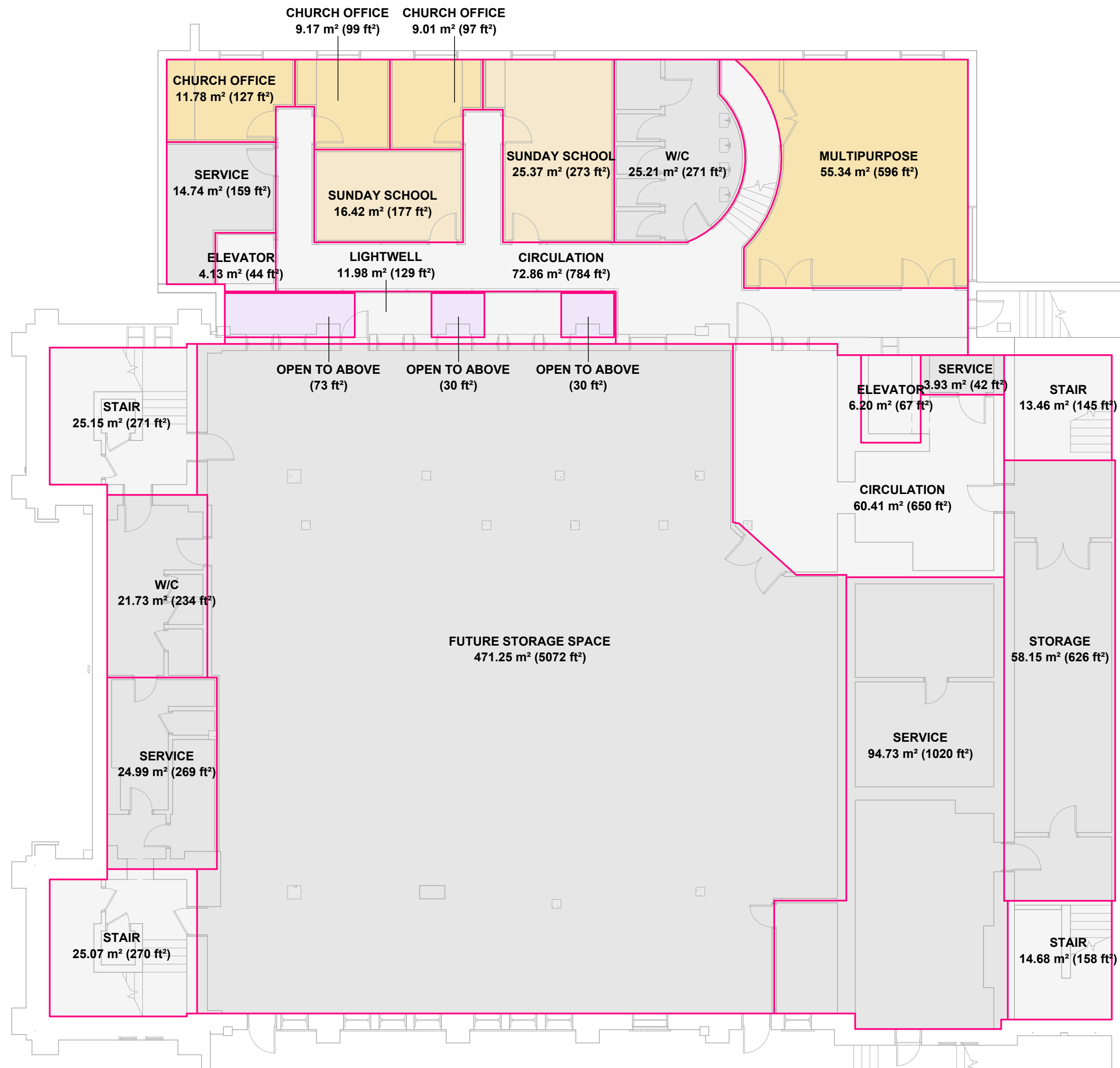
A5.00



3 FIRST FLOOR PLAN



2 MEZZANINE PLAN



1 LOWER FLOOR PLAN

FSR CALCULATIONS

**FSR CALCULATIONS ARE TAKEN FROM INSIDE FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS AS PER CITY OF VICTORIA REQUIREMENTS

ALLOWABLE FSR:			
SITE AREA:	47,817 ft²	(4,442.3m²)	
MAX FSR:	2.5	/	119,475 ft²
TOTAL PROPOSED GFA:		120044 ft²	11,152.5 m²
TOTAL PROPOSED FSR:	2.27	108,465 ft²	10,076.7 m²

FSR BREAKDOWN

RESIDENTIAL BUILDING			
TOTAL GFA RESIDENTIAL BLDG:	89,882 ft²		8,350.3 m²
EXCLUSIONS	NONE		
RESULTING FSR AREAS	AREA (sf)	AREA (sm)	
COMMERCIAL	2,966 ft²		275.6 m²
RESIDENTIAL	86,916 ft²		8,074.7 m²
TOTAL FSR AREA:	89,882 ft²		8,350.3 m²

HERITAGE BUILDING			
TOTAL GFA HERITAGE BLDG:	21,423 ft²		1,990 m²
EXCLUSIONS	AREA (sf)	AREA (sm)	
HERITAGE BUILDING	8,053 ft²		748 m²
BASEMENT	8,053 ft²		748 m²
RESULTING FSR AREA	AREA (sf)	AREA (sm)	
HERITAGE BUILDING	13,370 ft²		1,242 m²
TOTAL FSR AREA:	13,370 ft²		1,242 m²

NEW ADDITIONS			
TOTAL GFA NEW ADDITIONS:	8,740 ft²		812 m²
EXCLUSIONS	AREA (sf)	AREA (sm)	
NEW ADDITIONS	3,527 ft²		328 m²
BASEMENT	3,527 ft²		328 m²
RESULTING FSR AREA	AREA (sf)	AREA (sm)	
NEW ADDITIONS	5,213 ft²		484 m²
TOTAL FSR AREA:	5,213 ft²		484 m²



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932 BALMORAL RD
& 1701 QUADRA ST

ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2

DECEMBER 19, 2025



2025-12-19

FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"



FSR 1.00



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RESPONSE 2

DECEMBER 19, 2025



2025-12-19

FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"

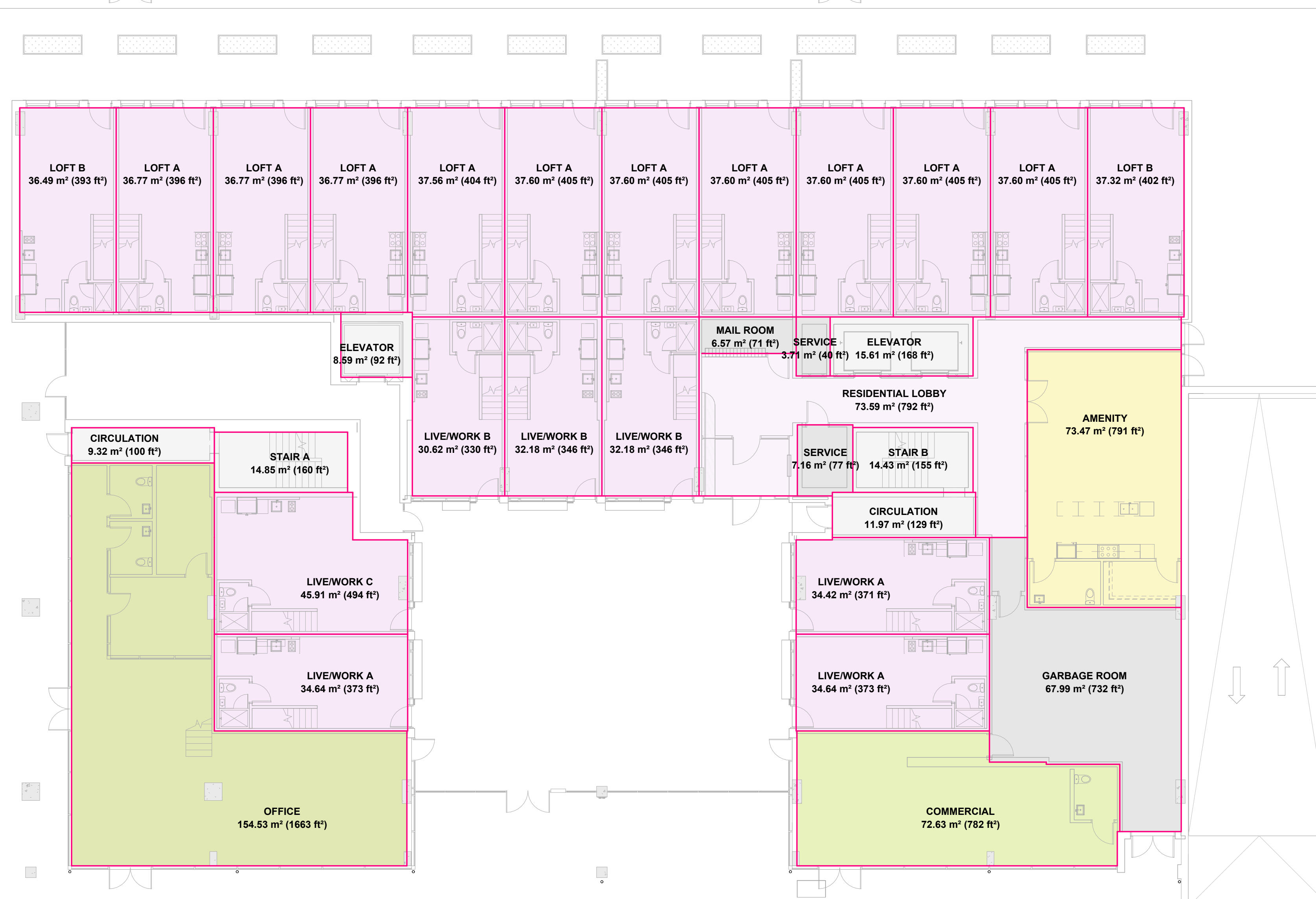


FSR 1.01

2 LEVEL 01 MEZZANINE



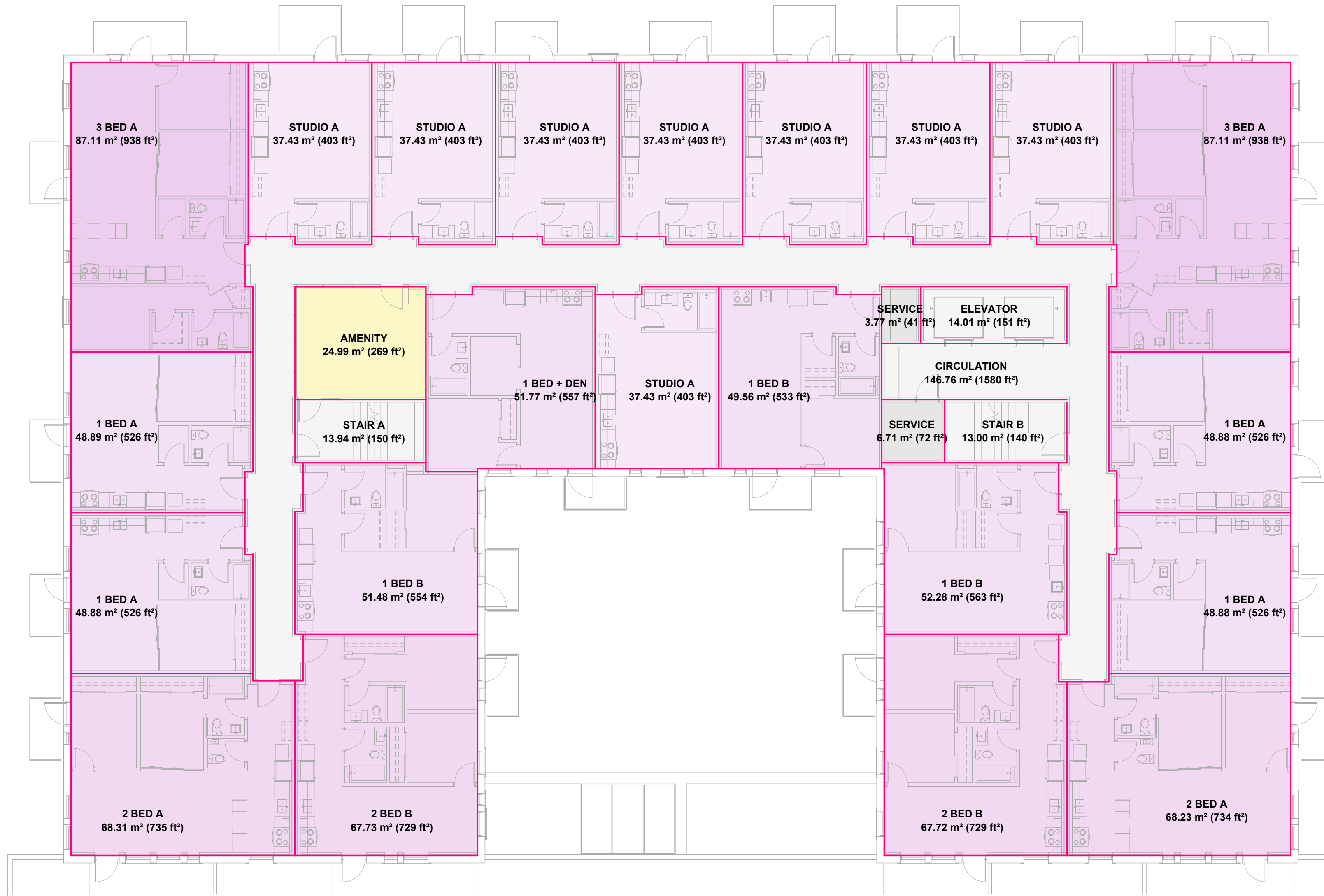
1 LEVEL 01



2 LEVELS 03 TO 05



1 LEVEL 02



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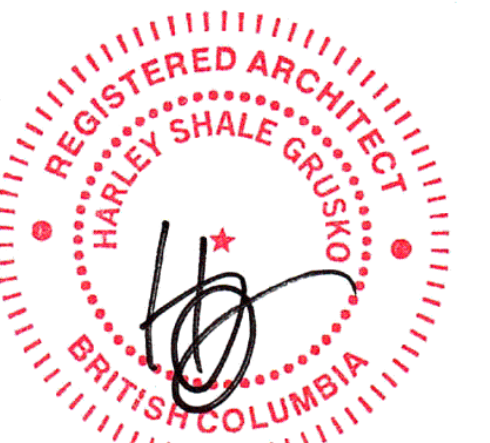
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RESPONSE 2

DECEMBER 19, 2025



2025-12-19

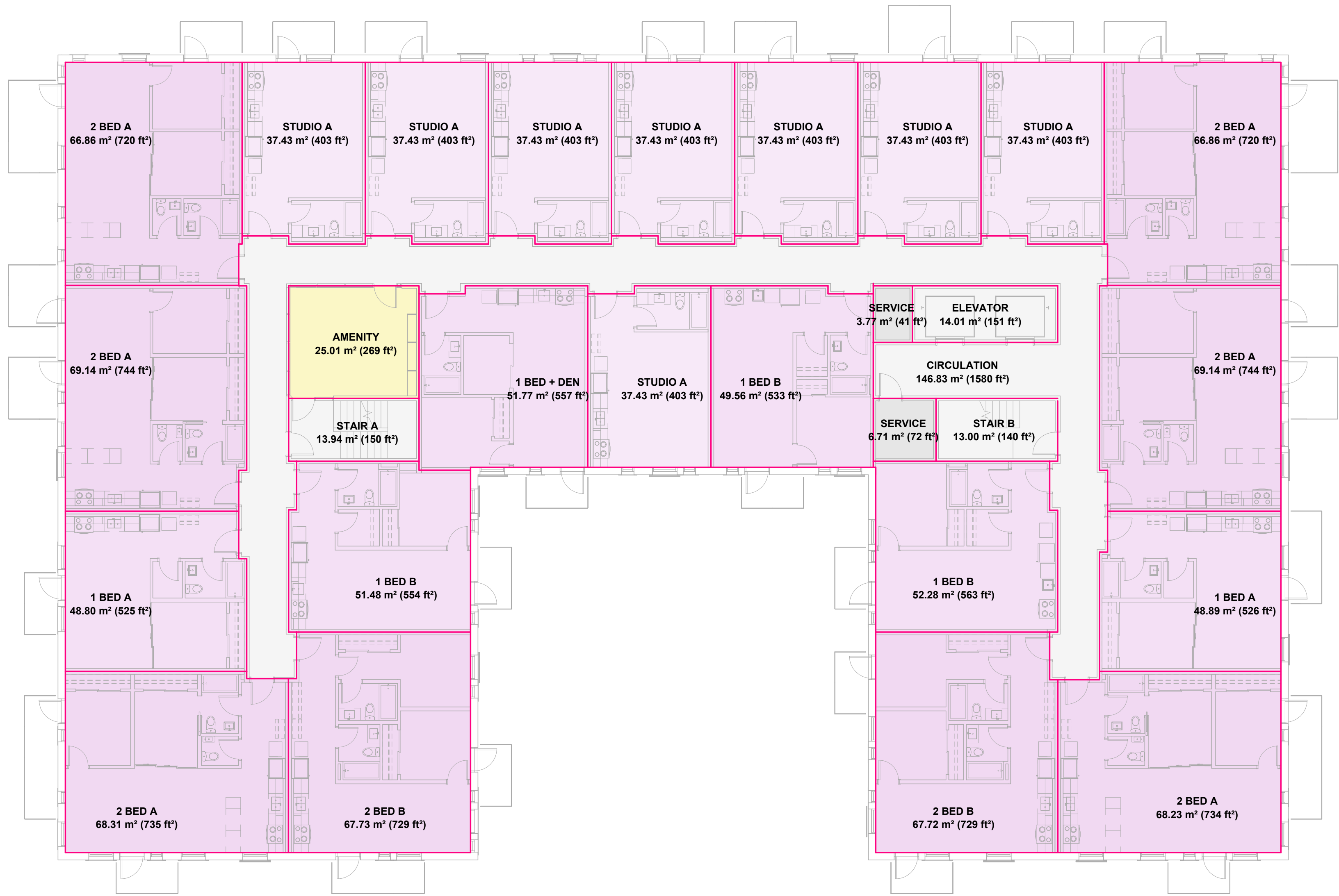
FLOOR SPACE RATIO PLANS

SCALE

3/32" = 1'-0"



FSR 1.02



1 LEVEL 06



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DEVELOPMENT PERMIT TRG
RESPONSE 2

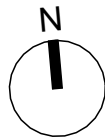
DECEMBER 19, 2025



2025-12-19

FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"



FIRST MET - 934 BALMORAL RD & 1701 QUADRA ST

Victoria, BC

Re-Issued for Rezoning / DP - December 19, 2025

LANDSCAPE DRAWING LIST

L0.00 - Cover Sheet

Landscape Plans

- L1.01 - Site Concept Plan
- L1.02 - Level 2 Concept Plan
- L1.03 - Roof Terrace Concept Plan
- L1.04 - Rainwater Management Plan
- L1.05 - Landscape Lighting Plan

Planting Plan

- L4.01 - Site Planting Plan
- L4.02 - Tree Replacement and Soil Volume Plan

Details

- L4.11 - Paving
- L4.41 - Planting

4	Re-Issued for Rezoning/DP	2025-12-19
3	Re-Issued for Rezoning/DP	2025/08/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

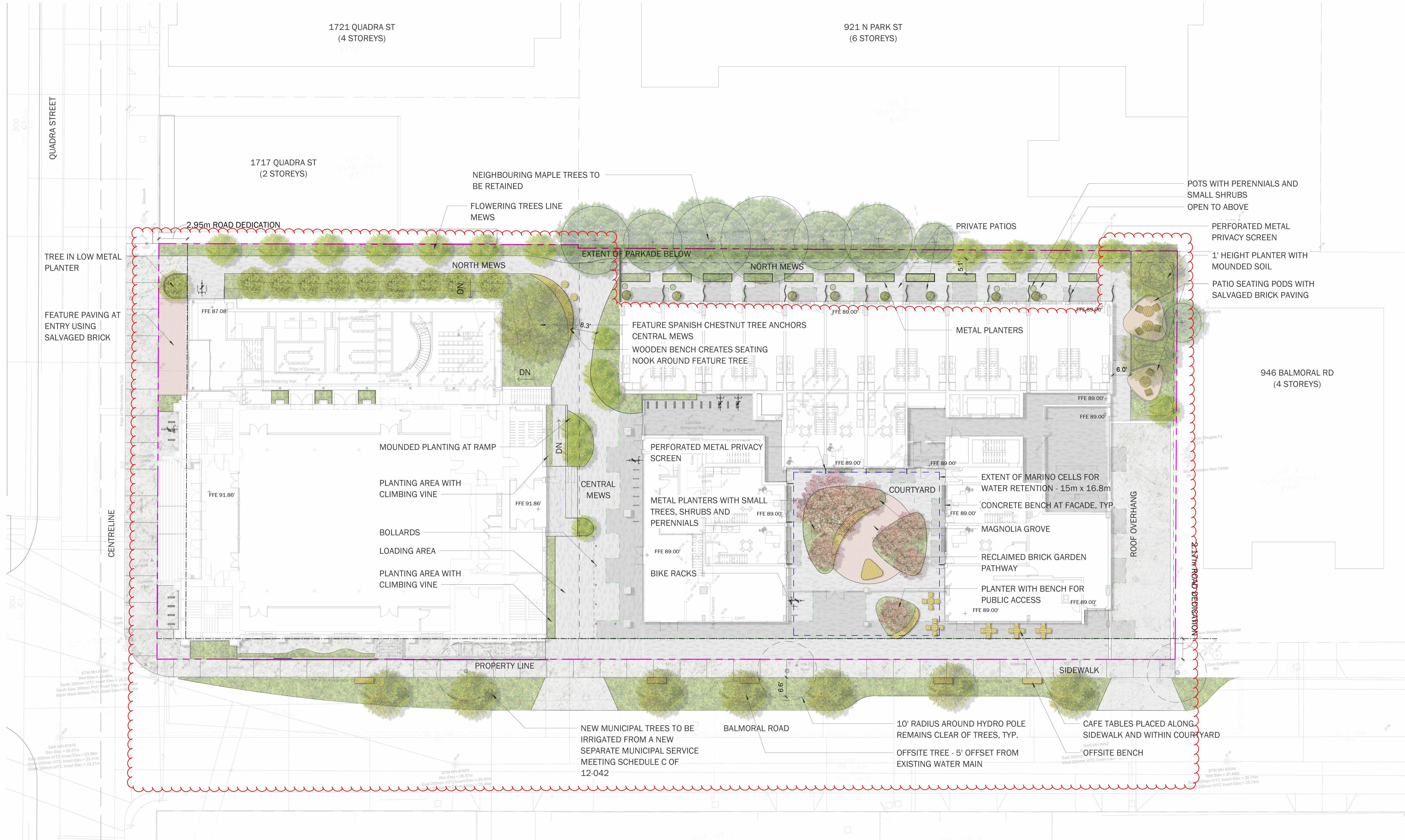
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First Met

1701 Quadra St. Victoria,
BC

Cover Sheet



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2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

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First Met

1701 Quadra St. Victoria, BC

Concept Plan
Ground Floor

Date	03/21/25	Drawing Number
Project No.	2429	L1.01
Scale	1/16" = 1' 0"	
Drawn/Checked	ZF SS	

MATERIAL LEGEND

- CONCRETE UNIT PAVERS
- CIP CONCRETE
- MOVEABLE TABLE AND CHAIRS
- BIKE RACKS (46 PUBLIC SPACES)

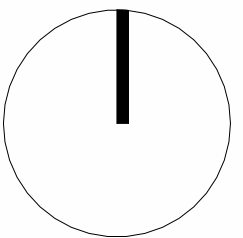
- EXISTING TREE TO BE RETAINED
- PLANTING AREA
- PLANTER WITH METAL EDGE

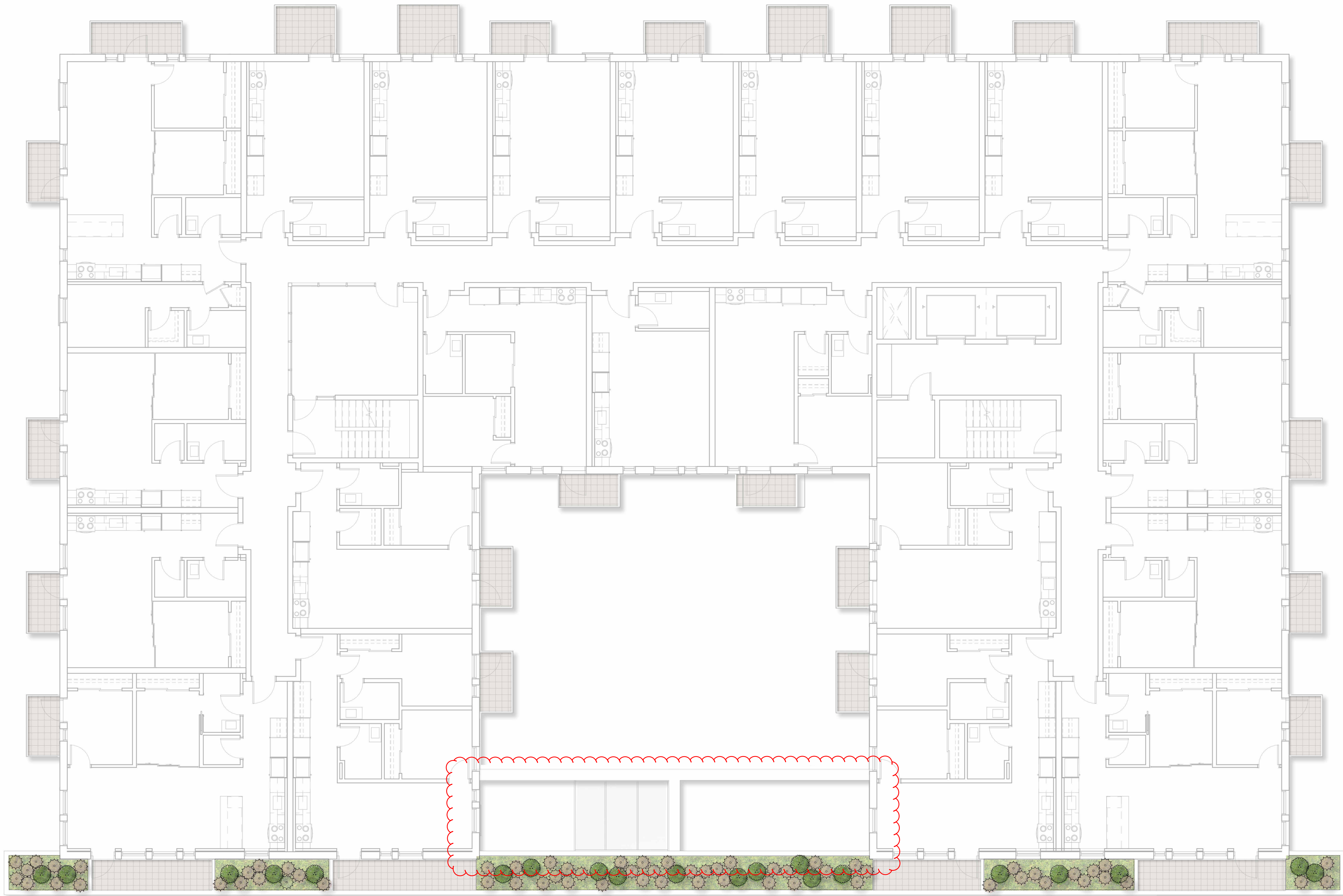
- METAL POTS - 36" OR 24" DIAMETER PLANTED WITH SMALL TREES, SHRUBS AND PERENNIALS
- PROPOSED OFFSITE BENCH

GENERAL LEGEND

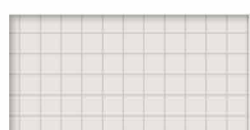
- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION

0 8'-0" 16'-0" 32'-0"
SCALE: 1/16" = 1'-0"





MATERIAL LEGEND

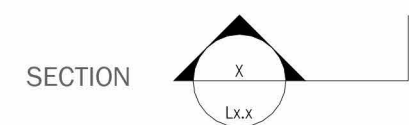
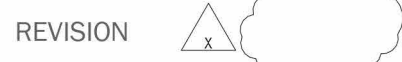
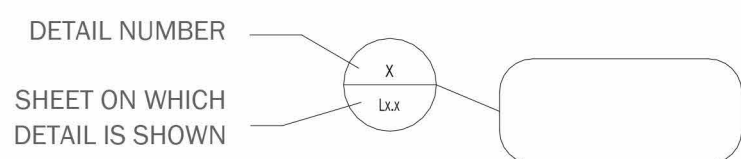


PRIVATE PATIOS



INTEGRATED PLANTING BOXES WITH MIXED SHRUBS

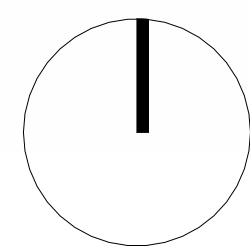
GENERAL LEGEND



PLANT CONCEPT SCHEDULE

LEVEL 2 PART SUN	478 sf
Ceanothus thyrsiflorus repens / Creeping Blueblossom	6
Cotoneaster adpressus / Creeping Cotoneaster	6
Jasminum nudiflorum / Winter Jasmine	6
Rosa nutkana / Nootka Rose	6
Rubus parviflorus / Thimbleberry	6

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"



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2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

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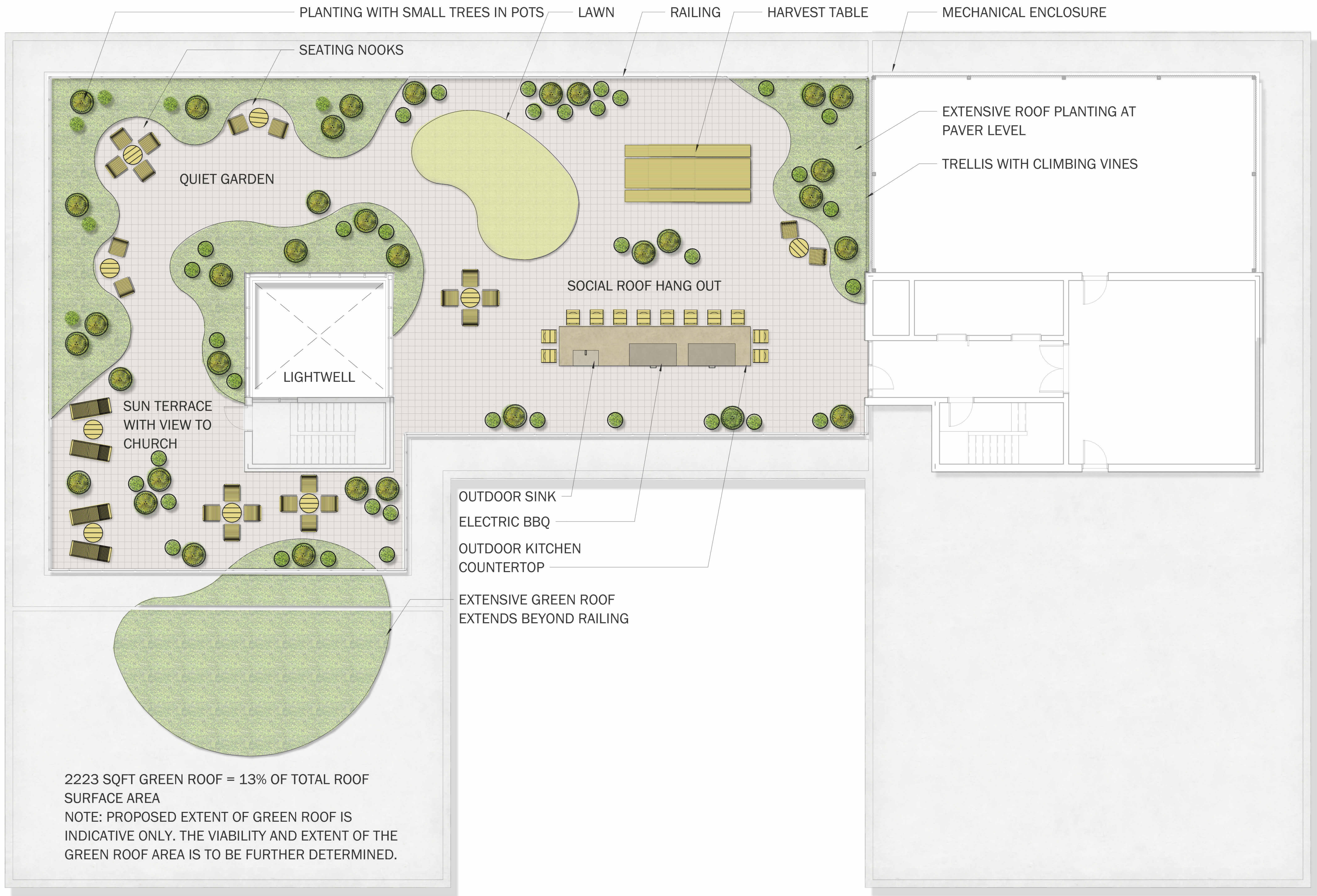
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First Met

1701 Quadra St. Victoria,
BC

Concept Plan
Level 2

Date	03/21/25	Drawing Number
Project No.	2429	
Scale	1/8" = 1'-0"	L1.02
Drawn/Checked	ZF SS	



PLANTING CONCEPT SCHEDULE

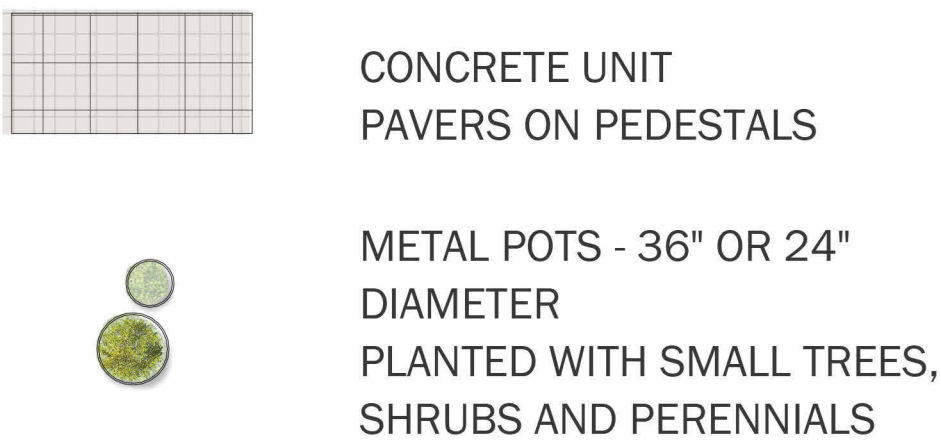
SMALL POTS - ROOF TERRACE		114 sf
Artemisia frigida / Fringed Wormwood		18 962
Aster laevis / Smooth Aster		18 962
Camassia leichtlinii / Great Camas		9 462
Polystichum munitum / Western Sword Fern		38
LARGE POTS - ROOF TERRACE		248 sf
Armeria maritima / Sea Thrift		41 239
Fragaria vesca / Woodland Strawberry		41 239
ROOF TERRACE EXTENSIVE ROOF		1 892 sf
Sedum mats with mixed species		
LAWN		255 sf

PLANTING SCHEDULE

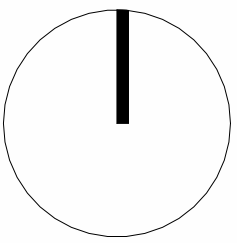
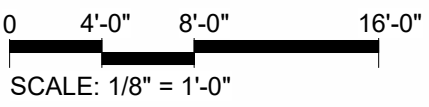
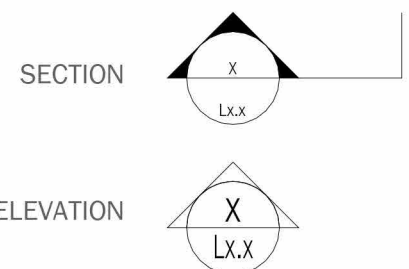
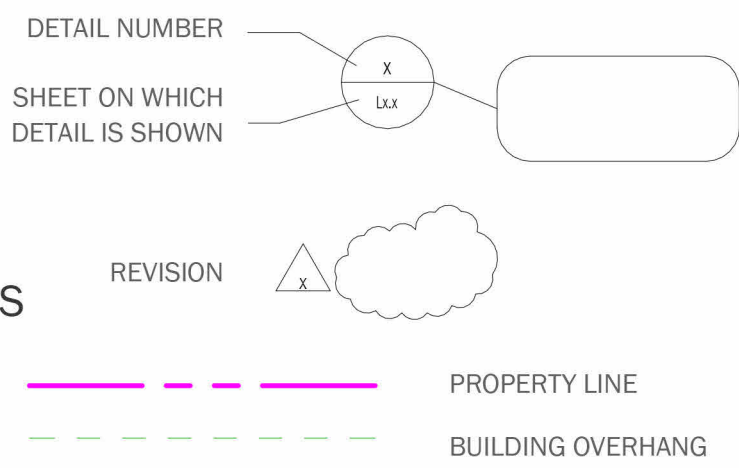
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
SHRUBS			
	Al2	9	Amelanchier laevis / Allegheny Serviceberry
	Cc2	11	Ceanothus x 'Concha' / Concha Wild Lilac
	Ps	8	Pinus contorta 'Spaan's Dwarf' / Spaan's Dwarf Shore Pine
	Rt2	7	Rhus typhina / Staghorn Sumac

SIZE	SPACING	COMMENTS
#3 Pot	As Shown	Full, Well Established, Specimen Quality
#3 Pot	As Shown	Full, Well Established, Specimen Quality
#3 Pot	As Shown	Full, Well Established, Specimen Quality
#3 Pot	As Shown	Full, Well Established, Specimen Quality

MATERIAL LEGEND



GENERAL LEGEND



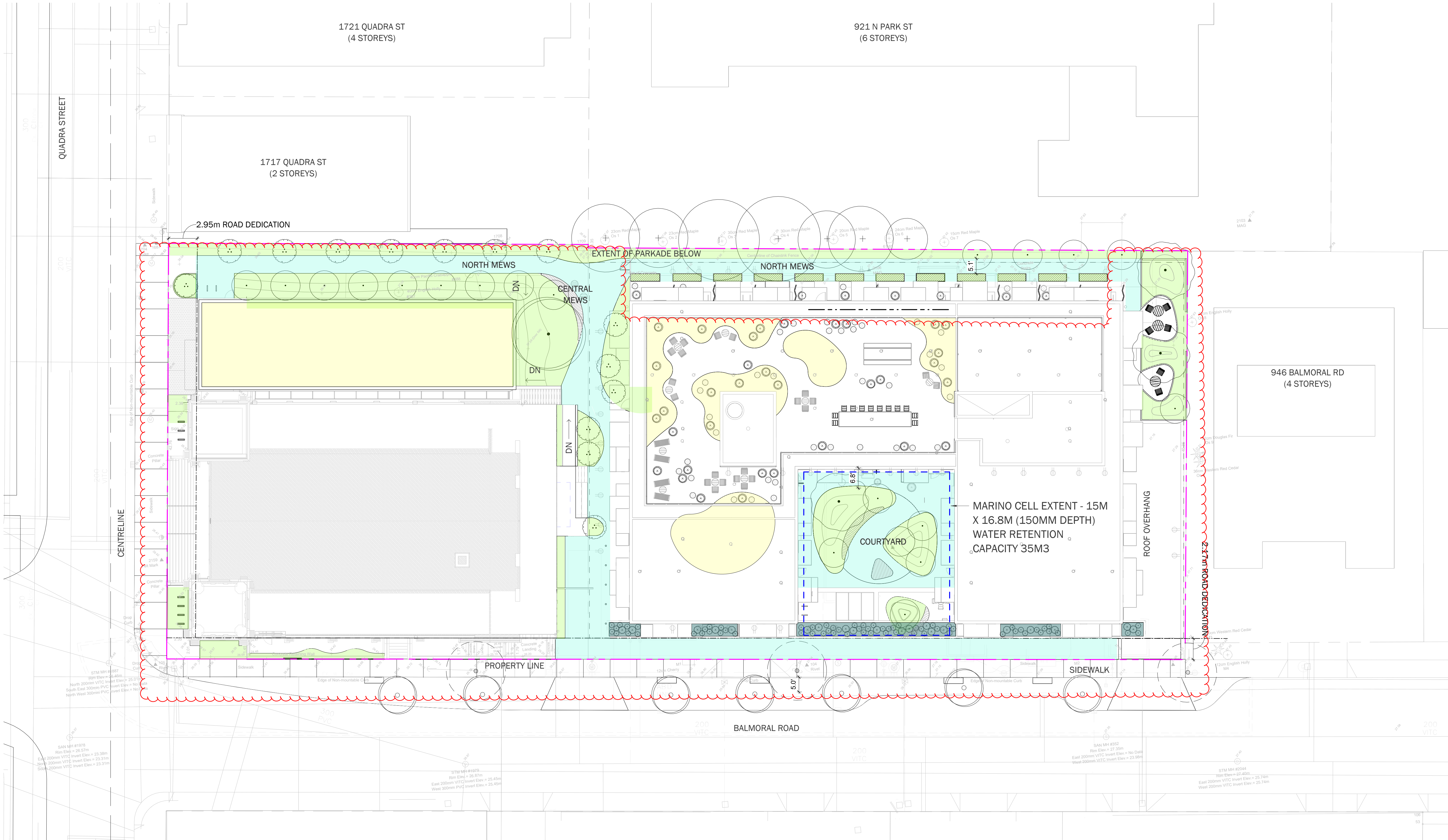
4	Re-issued for Rezoning/OP	2025-12-19
3	Re-issued for Rezoning/OP	2025/08/09
2	Rezoning/OP	2025/05/05
1	CALCULUS Issue	2025/03/21
No.	Description	Date

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1701 Quadra St. Victoria, BC



SURFACE TREATMENT LEGEND

- PLANTING AREA - 5804 SQFT / 539 SQM
- EXTENSIVE GREEN ROOF - 5040 SQFT / 468 SQM
- INTENSIVE GREEN ROOF - 477 SQFT / 44 SQM
- PERMEABLE PAVERS - 5005 SQFT / 465 SQM
- MARINO CELL EXTENTS - WATER RETENTION CAPACITY 35M3 TO MEET PREVIOUSLY SUBMITTED PLAN

TOTAL PERVIOUS: - 16318 SQFT / 1516 SQM
TOTAL IMPERVIOUS: 31506 SQFT / 2927 SQM
TOTAL REQUIRED RAINWATER STORAGE: 93M3

TOTALS NOT INCLUDING EXISTING CHURCH FOOTPRINT:
TOTAL PERVIOUS: - 16318 SQFT / 1516 SQM
TOTAL IMPERVIOUS: 20472 SQFT / 1927 SQM
TOTAL REQUIRED RAINWATER STORAGE: 61M3

GENERAL LEGEND

- DETAIL NUMBER
SHEET ON WHICH
DETAIL IS SHOWN

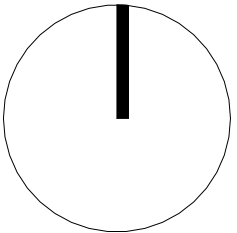
REVISION

PROPERTY LINE

BUILDING OVERHANG
- SECTION

ELEVATION

0 8'-0" 16'-0" 32'-0"
SCALE: 1/16" = 1'-0"



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1701 Quadra St. Victoria, BC

Rainwater Management Plan

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 192	
Drawn/Checked	ZF SS	

L1.04

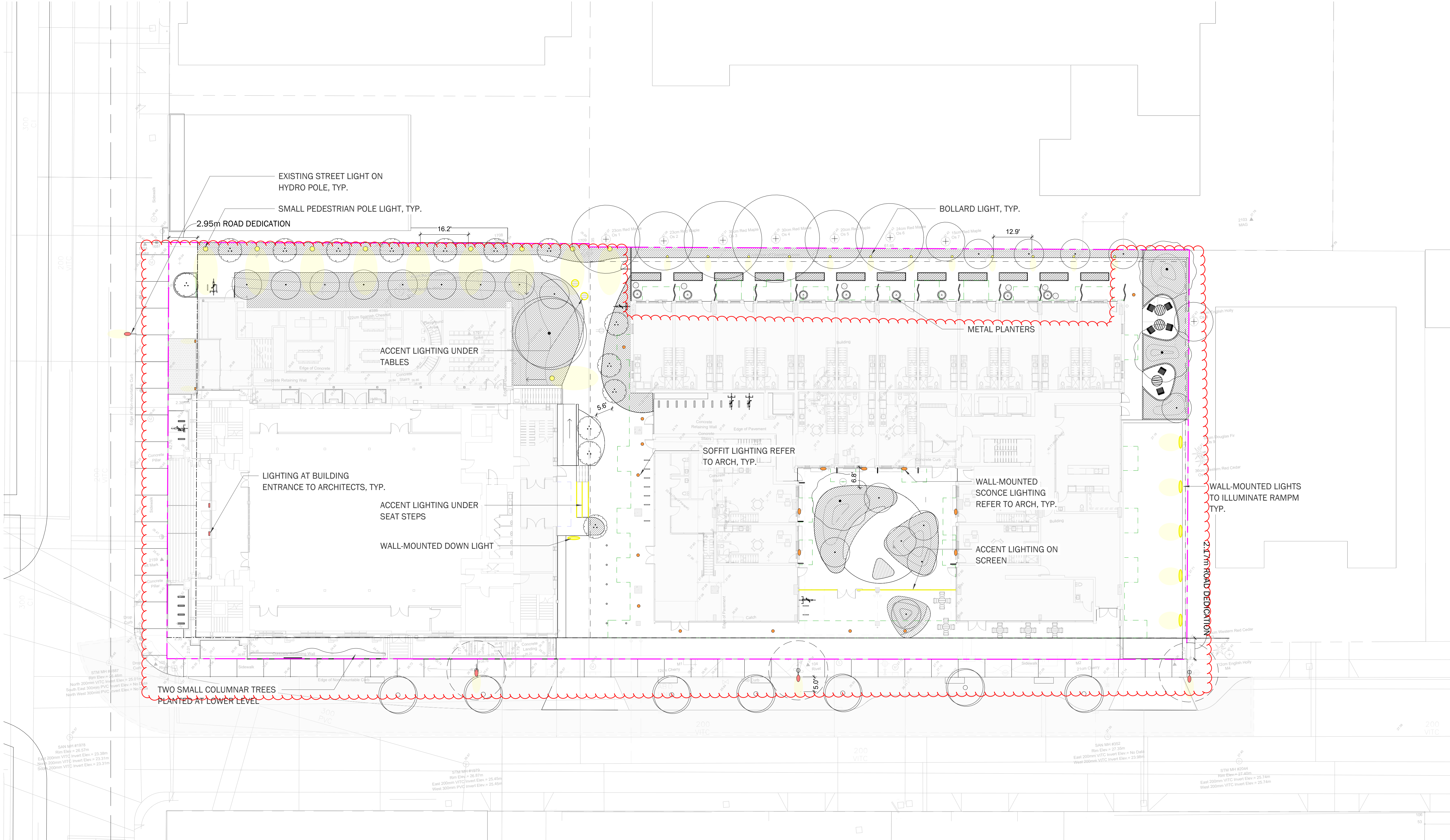
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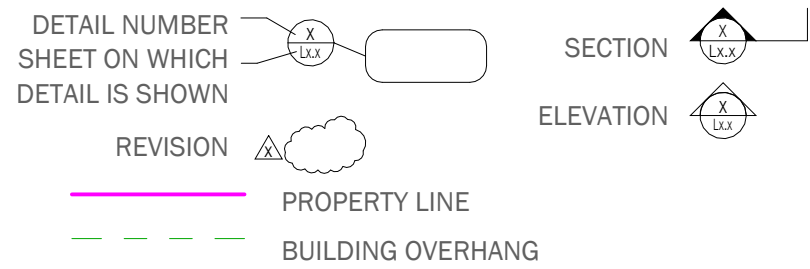
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No.	Description	Date



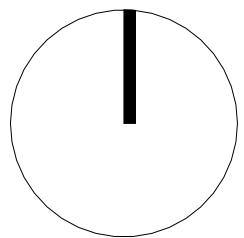
LIGHTING LEGEND

- SMALL PEDESTRIAN POLE LIGHT
- WALL-MOUNTED DOWN LIGHT
- BOLLARD LIGHT
- ACCENT LIGHT

GENERAL LEGEND



0 8'-0" 16'-0" 32'-0"
SCALE: 1/16" = 1'-0"



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1701 Quadra St. Victoria, BC

Lighting Plan - Ground Floor

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 192	
Drawn/Checked	ZF SS	

L1.05

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2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

1	Rezoning/DP	2025/05/05
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First Met

1701 Quadra St. Victoria, BC

Planting Plan -
Ground Floor

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 192	L4.01
Drawn/Checked	ZF SS	

CONCEPT PLANT SCHEDULE

GROUND FLOOR - SHADE GROUNDCOVER	4 755 sf
Adiantum Pedantum / Northern Maidenhair Fern	395 323
Asarum caudatum / Wild Ginger	790 646
Athyrium filix-femina / Common Lady-Fern	197 663
Blechnum spicant / Deer Fern	351 398
Oxalis oregana / Redwood Sorrel	1 185 968
Polystichum munitum / Sword Fern	790 647
Tiarella cordifolia / Foamflower	790 647

LARGE POTS - GROUND FLOOR	56 sf
Asarum caudatum / Wild Ginger	9 312
Blechnum spicant / Deer Fern	4 136

SMALL POTS - GROUND FLOOR	18 sf
Adiantum Pedantum / Northern Maidenhair Fern	1 494
Oxalis oregana / Redwood Sorrel	4 488
Polystichum munitum / Western Sword Fern	
Tiarella cordifolia / Foamflower	2 994






BOULEVARD LAWN	2 503 sf
Cerastium arvense / Field Chickweed	
Festuca roemerii / Roemer's Fescue	
Trifolium tridentatum / Tomcat Clover	

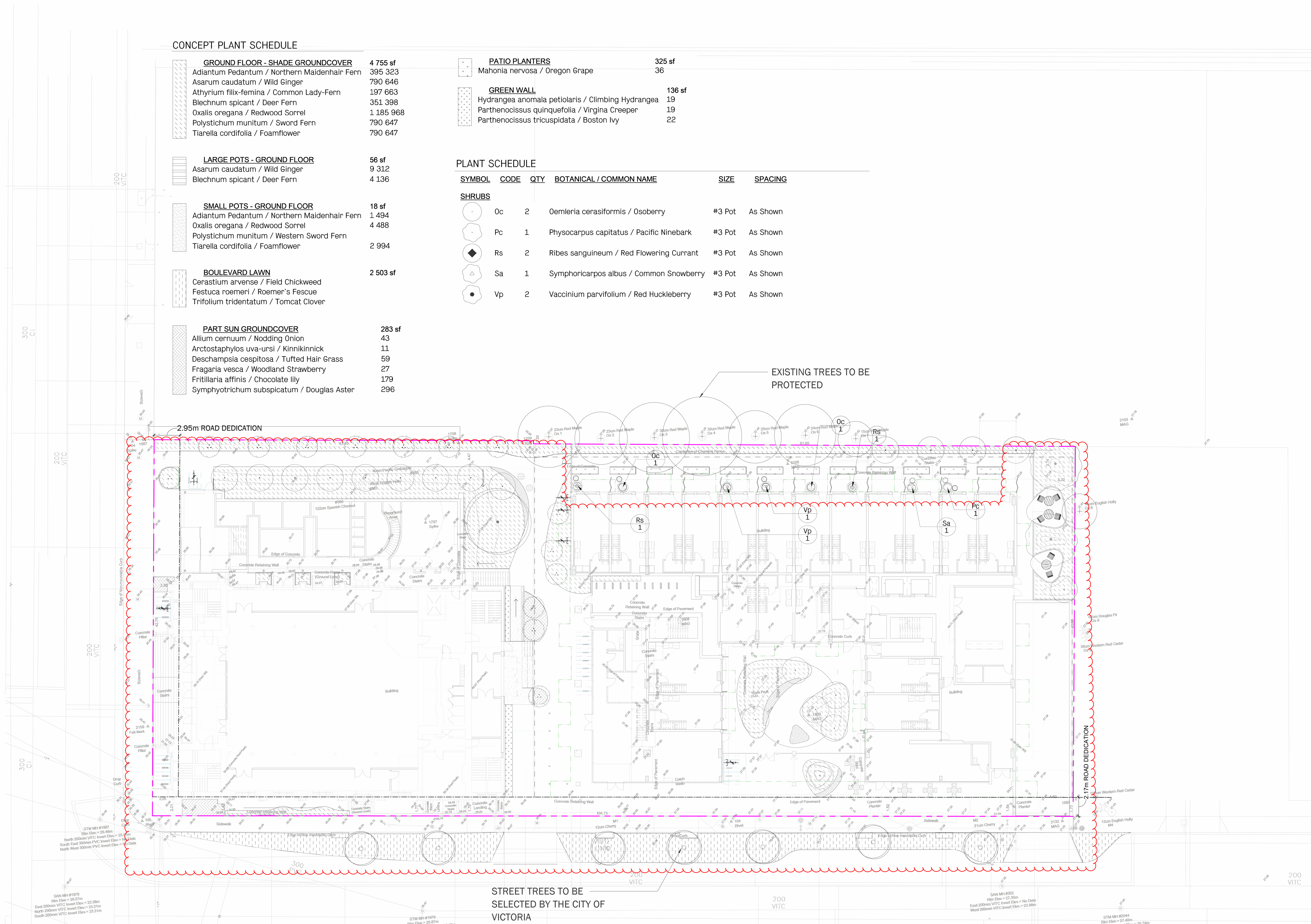
PART SUN GROUNDCOVER	283 sf
Allium cernuum / Nodding Onion	43
Arctostaphylos uva-ursi / Kinnikinnick	11
Deschampsia cespitosa / Tufted Hair Grass	59
Fragaria vesca / Woodland Strawberry	27
Fritillaria affinis / Chocolate lily	179
Symphytotrichum subspicatum / Douglas Aster	296

PATIO PLANTERS	325 sf
Mahonia nervosa / Oregon Grape	36

GREEN WALL	136 sf
Hydrangea anomala petiolaris / Climbing Hydrangea	19
Parthenocissus quinquefolia / Virginia Creeper	19
Parthenocissus tricuspidata / Boston Ivy	22

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
SHRUBS					
	Oc	2	Oemleria cerasiformis / Osoberry	#3 Pot	As Shown
	Pc	1	Physocarpus capitatus / Pacific Ninebark	#3 Pot	As Shown
	Rs	2	Ribes sanguineum / Red Flowering Currant	#3 Pot	As Shown
	Sa	1	Symphoricarpos albus / Common Snowberry	#3 Pot	As Shown
	Vp	2	Vaccinium parvifolium / Red Huckleberry	#3 Pot	As Shown



STREET TREES TO BE
SELECTED BY THE CITY OF
VICTORIA

0 8'-0" 16'-0" 32'-0"
SCALE: 1/16" = 1'-0"

PLANT SCHEDULE

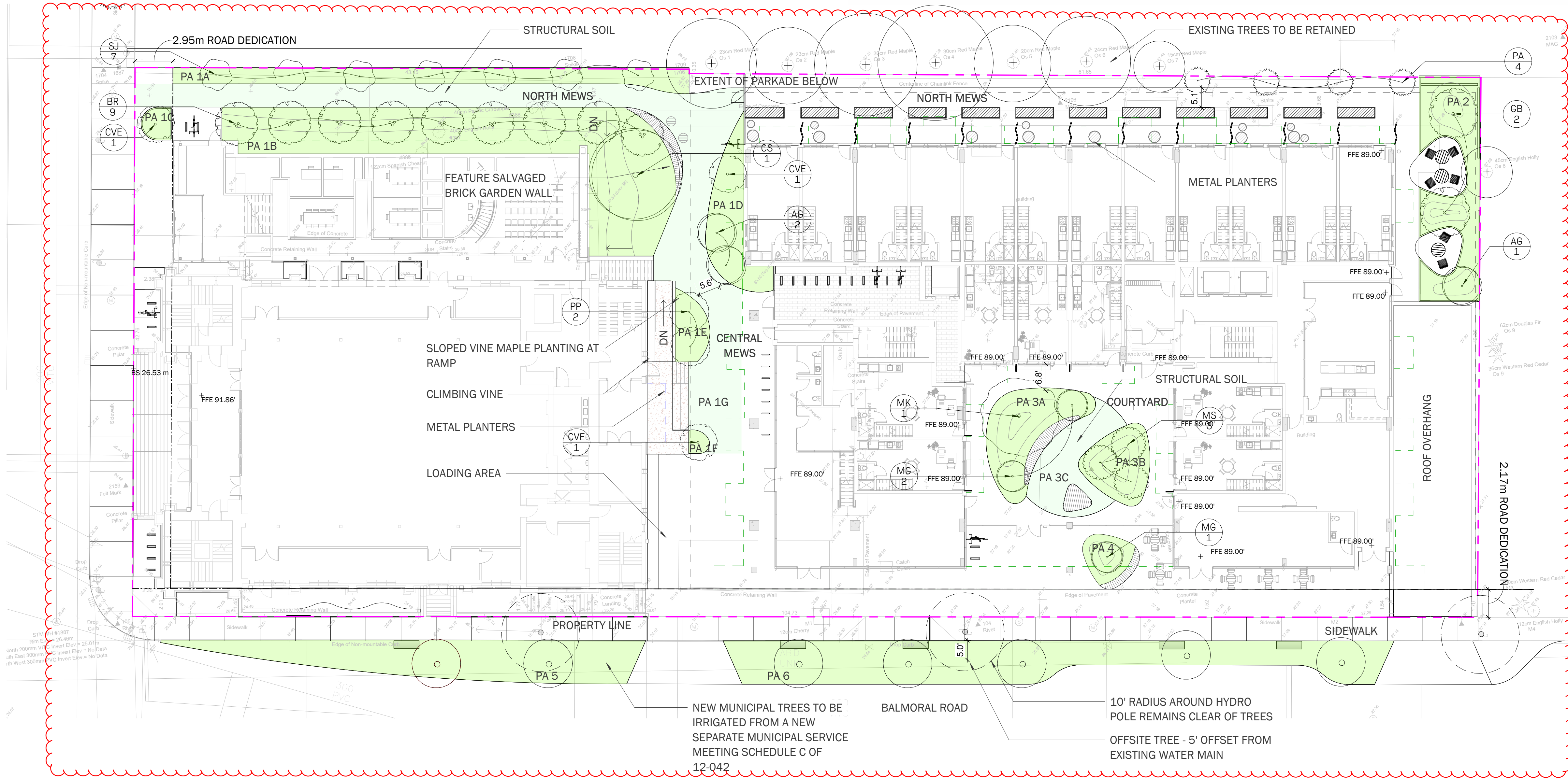
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS
1:1 - 13 TOTAL						
	BR	9	Betula nigra / River Birch	6cm cal.	As Shown	B&B
	CS	1	Castanea sativa / Spanish Chestnut	6cm cal.	As Shown	B&B
	GB	2	Ginkgo biloba / Maidenhair Tree	6cm cal.	As Shown	B&B
	MK	1	Magnolia kobus / Kobus Magnolia	3.0m ht.	As Shown	B&B
2:1 - 21 Total = 10 REPLACEMENT TREES						
	AG	3	Acer griseum / Paperbark Maple	6cm cal.	As Shown	B&B
	CVE	3	Cornus x 'KN30-8' / Venus® Dogwood	1.8m ht.	As Shown	B&B
	MG	3	Magnolia grandiflora / Southern Magnolia	2.0m ht.	As Shown	B&B
	MS	3	Magnolia stellata / Star Magnolia	2.0m ht.	As Shown	B&B
	PP	2	Parrotia persica / Persian Parrotia	6cm cal.	As Shown	B&B
	SJ	7	Styrax japonicus / Japanese Snowbell	6cm cal.	As Shown	B&B

ADDITIONAL TREES

	PA	4	Prunus serrulata 'Amanogawa' / Japanese Flowering Cherry	2.0m ht.	As Shown	B&B
--	----	---	--	----------	----------	-----

REPLACEMENT TREE CHART

			Replacement Trees proposed			Soil volume required (m3)				
Planting Area ID	Area (m2)	Soil volume multiplier	A. Estimate soil volume	B. #Small	C. # Medium	D. #Large	E. Small	F. Medium	G. Large	Total
Onsite										
1	54.53	0.9	49.10m3	8			48m3			48m3
2	167	0.9	150m3		10			150m3		150m3
3	9.00	0.9	8.1m3	1			8m3			8m3
4	5.75	0.9	5.2m3	1			8m3			8m3
5	9.00	0.9	8.1m3	1			8m3			8m3
6	9.00	0.9	8.1m3	1			8m3			8m3
7	18.20	0.9	16.38m3	2			12m3			12m3
8	27.6	0.9	24.94m3	4			24m3			24m3
9	58.6	0.6	35.16m3		2			30m3		30m3
10	34.6	0.9	31.14m3		1			20m3		20m3
11	8.92	0.9	8.02m3	1			8m3			8m3
12	9.75	0.9	8.78m3	1			8m3			8m3
13	9.65	0.9	8.69m3	1			8			8m3
Offsite										
14	90.0	0.9	81m3		2		30m3			30m3
15	148.64	0.9	133.78m3		4		120m3			120m3
Calculation Instructions							E	F	G	
							If B=1, Bx8 If B>1, Bx6	If C=1, Cx20 If C>1, Cx15	If D=1, Dx35 If D>1, Dx30	E+F+G



4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
No.	Description	Date

NOT FOR CONSTRUCTION

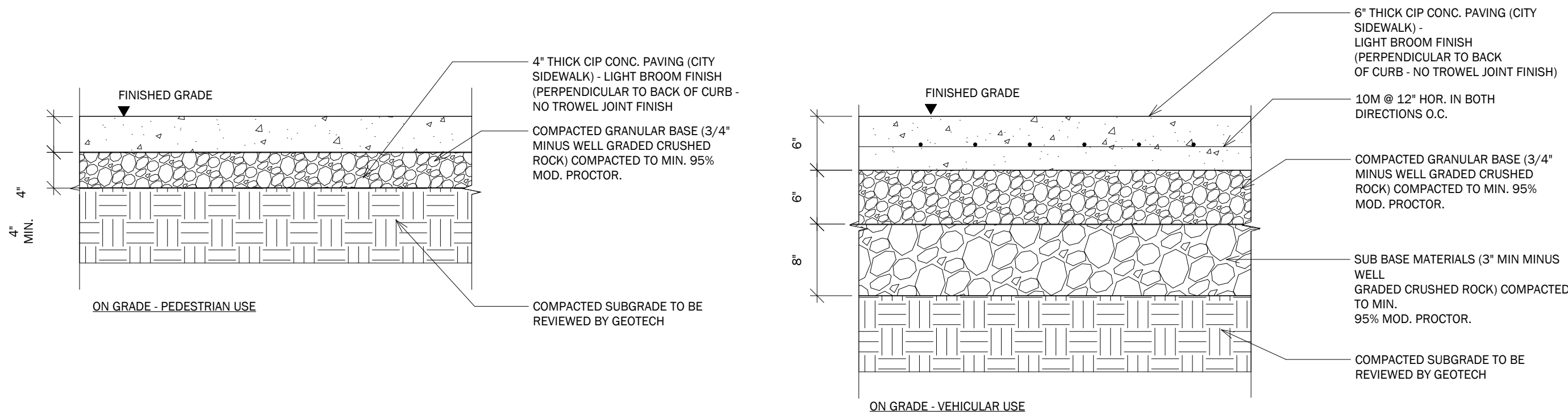
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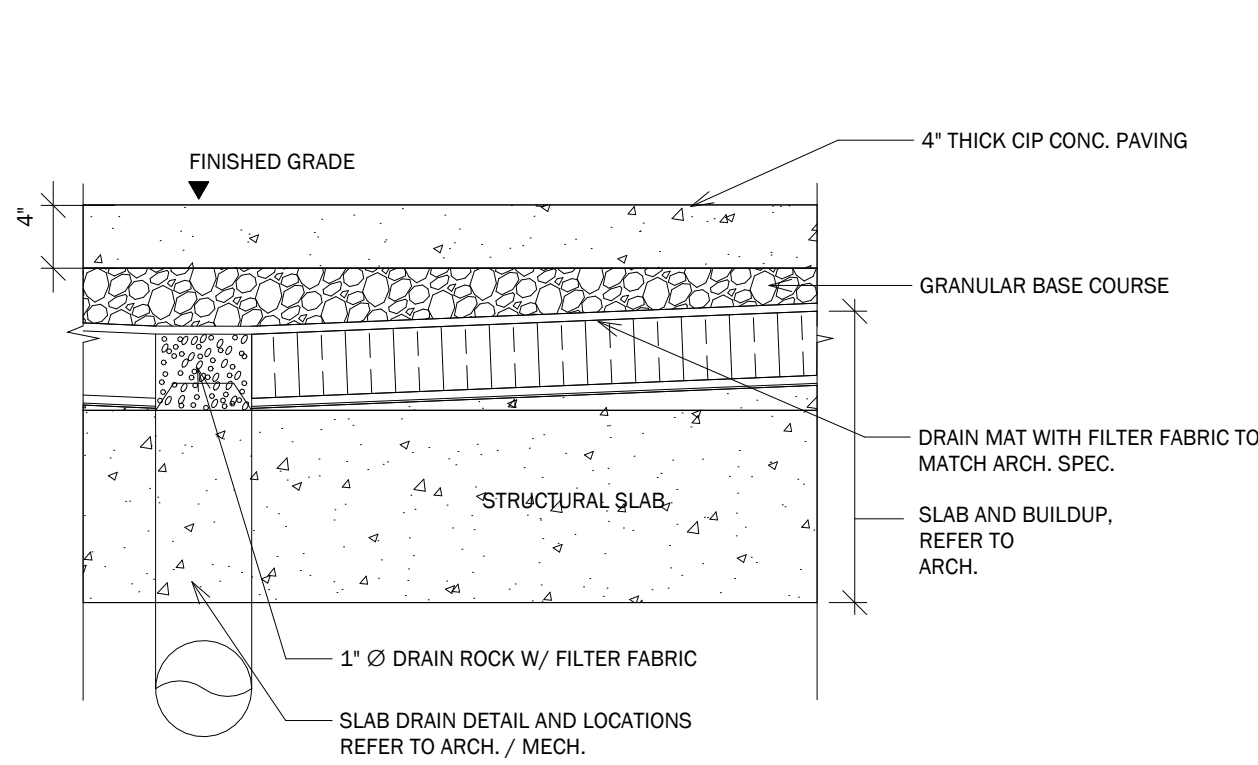
1701 Quadra St. Victoria, BC

Tree Replacement and Soil Volume Plan

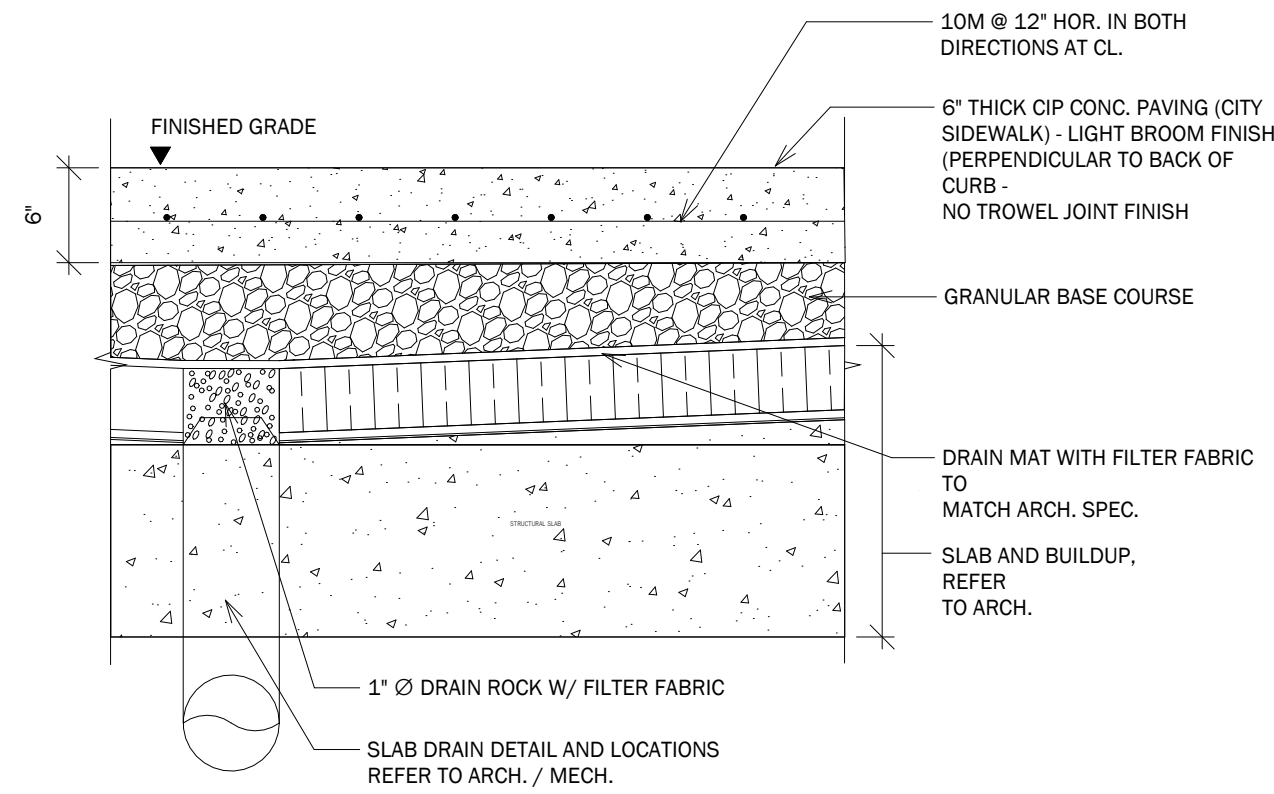
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Project No.	2429	
Scale	1 : 192	L4.02
Drawn/Checked	ZF SS	



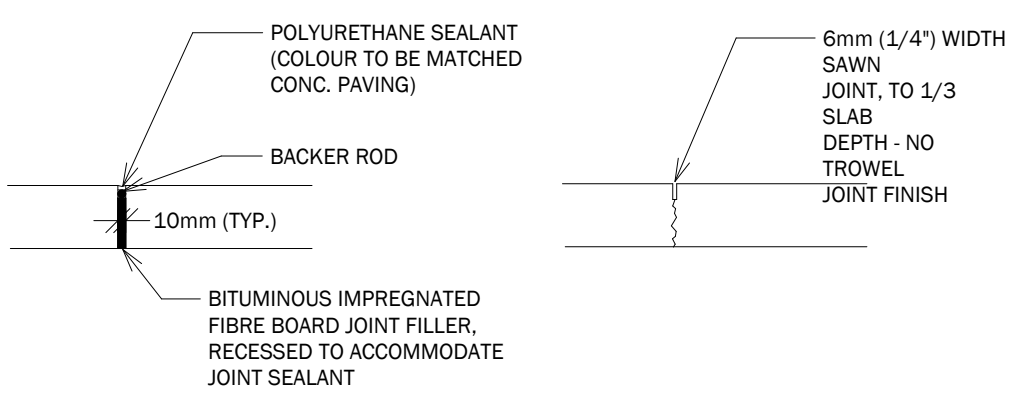
1
L4.11 CIP CONCRETE PAVING ON GRADE
1" = 1' 0"



2
L4.11 CIP CONCRETE PAVING ON SLAB
1" = 1' 0"



ON SLAB - VEHICULAR USE

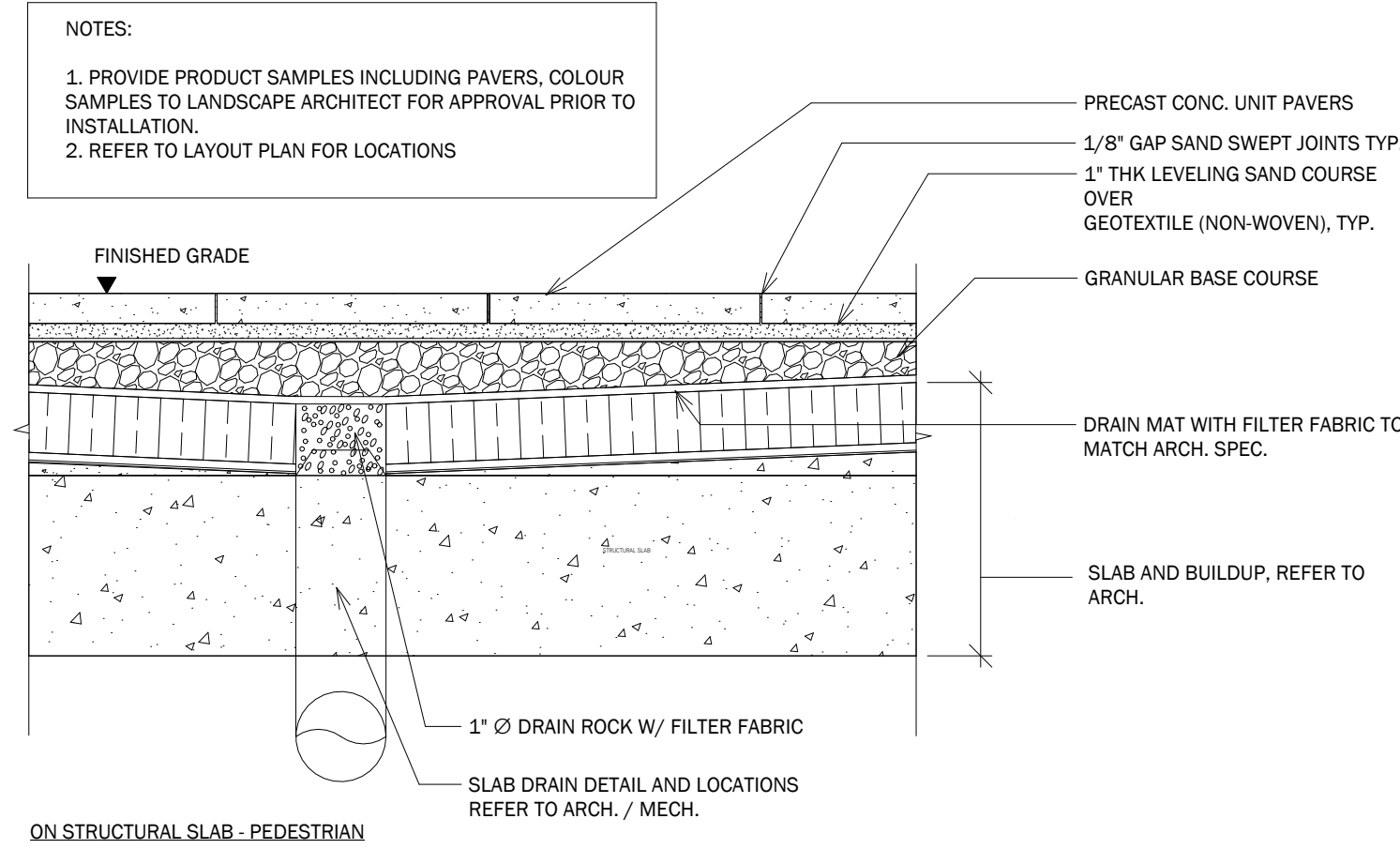


EXPANSION JOINT - TYPICAL
SCALE N.T.S.

SAWCUT JOINT - TYPICAL
SCALE N.T.S.

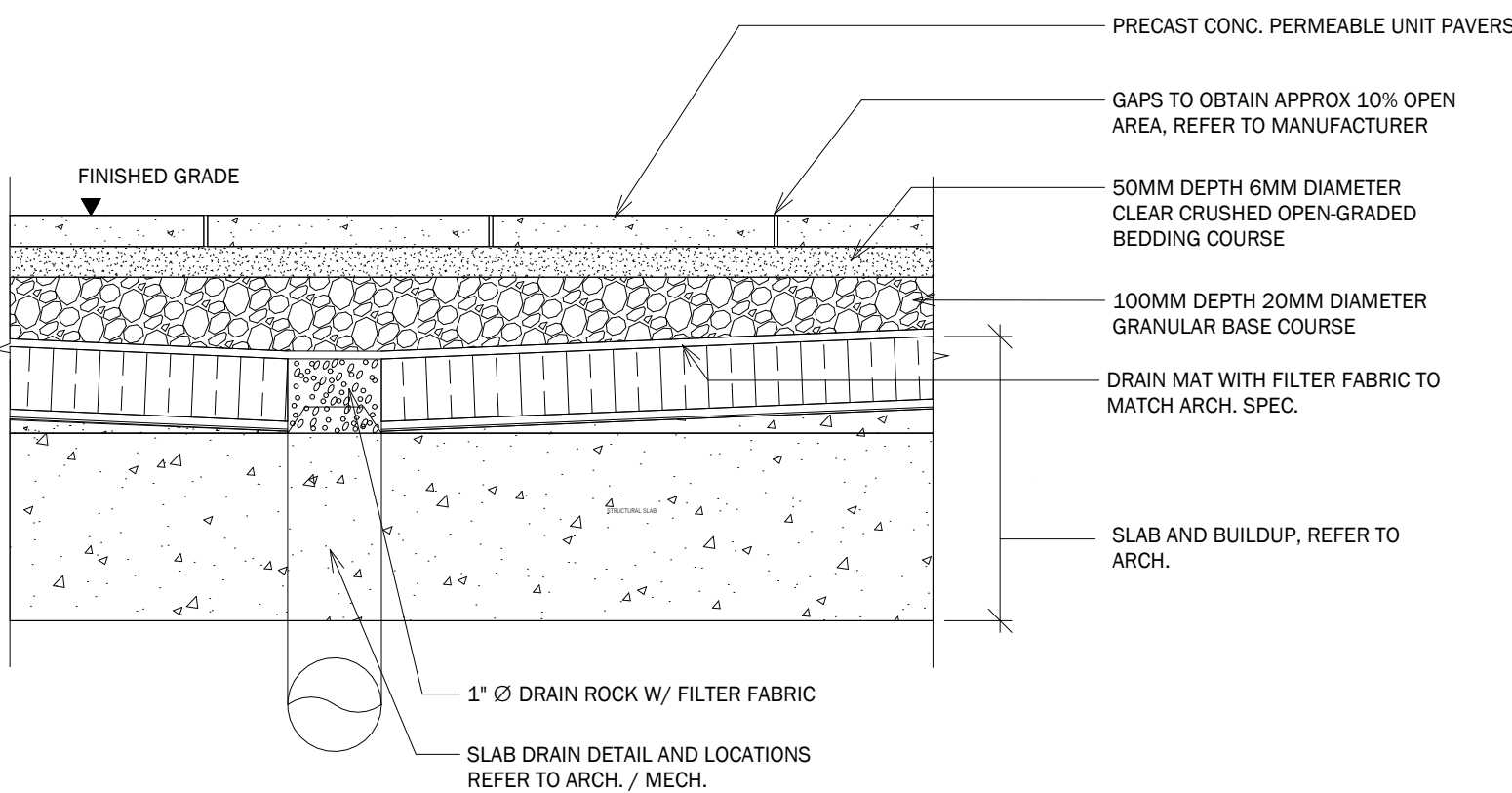
- NOTES:
1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH;
 2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS;
 3. C-2 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS REFER TO LAYOUT PLAN.
 4. PROVIDE ISOLATION JOINTS; AS SHOWN ON PLAN; BETWEEN POURS; AT CHANGE IN MATERIALS; AT EDGES ABUTTING STRUCTURES AND OTHER FIXED ELEMENTS; AT MAX. 6.0M O.C.
 5. SAW CUT JOINTS TO BE LOCATED AT 9'-0" (3.0m) MAX. INTERVALS. REFER TO PLAN.
 6. EXPANSION JOINTS TO BE LOCATED AT 30'-0" (9.0m) MAX. INTERVALS AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS. INSTALL EXPANSION JOINTS (MAXIMUM 9m), WHEN SIDEWALK IS ADJACENT TO CURB, MAKE JOINTS OF CURB, GUTTERS AND SIDEWALK COINCIDE.
 7. ENSURE CLEAN CUT EDGE OF EXISTING PAVING ALONG PROPERTY LINE.
 8. REFER LANDSCAPE SPECIFICATION 32.13.13 - CONCRETE FOR EXTERIOR IMPROVEMENTS

3
L4.11 CIP CONCRETE PAVING JOINTS
1" = 1' 0"



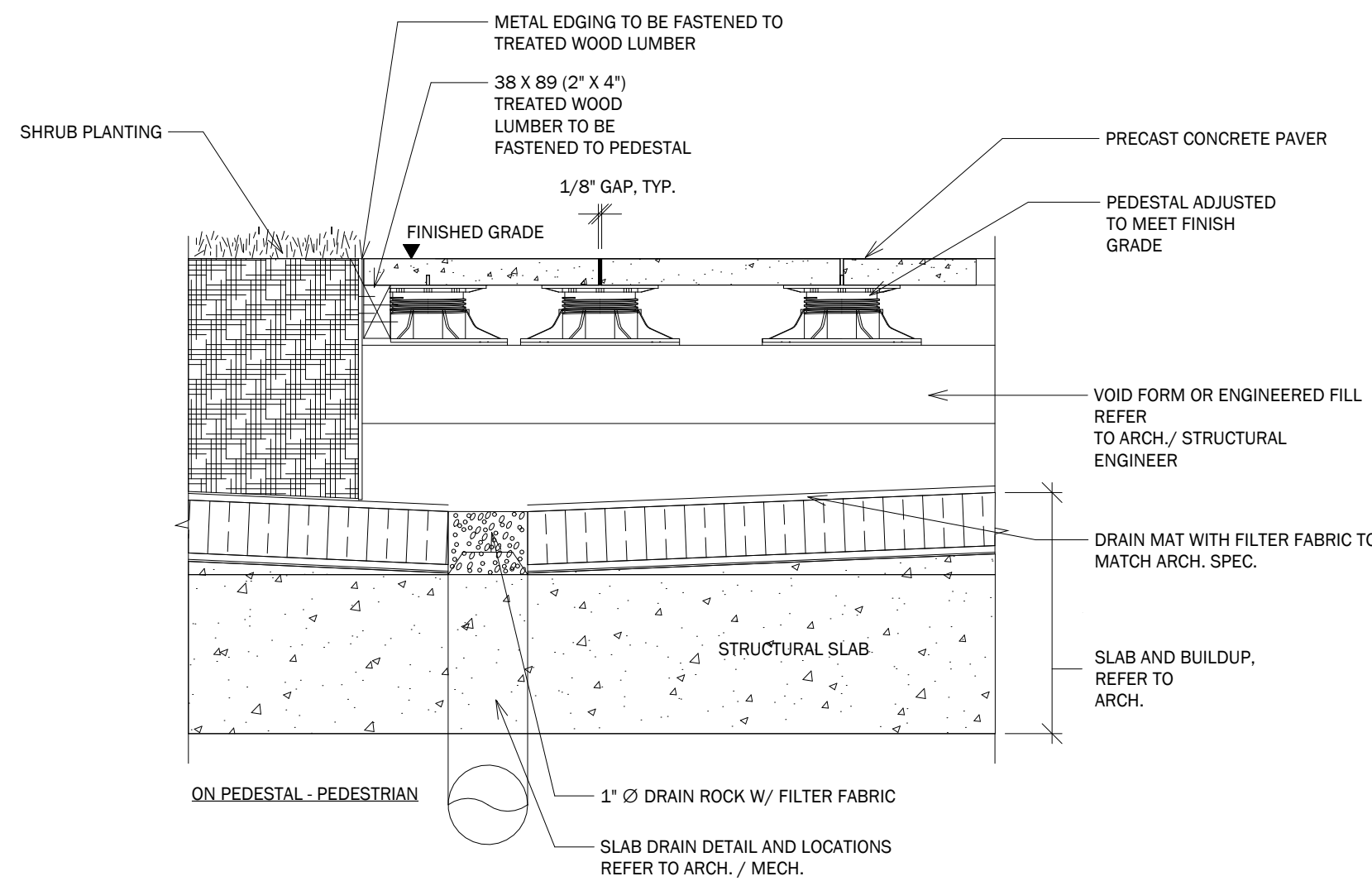
ON STRUCTURAL SLAB - PEDESTRIAN

- NOTES:
1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 2. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR JOINT WIDTHS.
 3. REFER TO LAYOUT PLAN FOR LOCATIONS



ON STRUCTURAL SLAB - PEDESTRIAN

- NOTES:
1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 2. ALL PEDESTALS MUST BE INSTALLED OVER A MINIMUM 60 PSI RIGID INSULATION WITH PROTECTION BOARD TO SPREAD THE LOAD. REFER TO PEDESTAL MANUFACTURER'S RECOMMENDATIONS.
 3. REFER TO LAYOUT PLAN FOR LOCATIONS

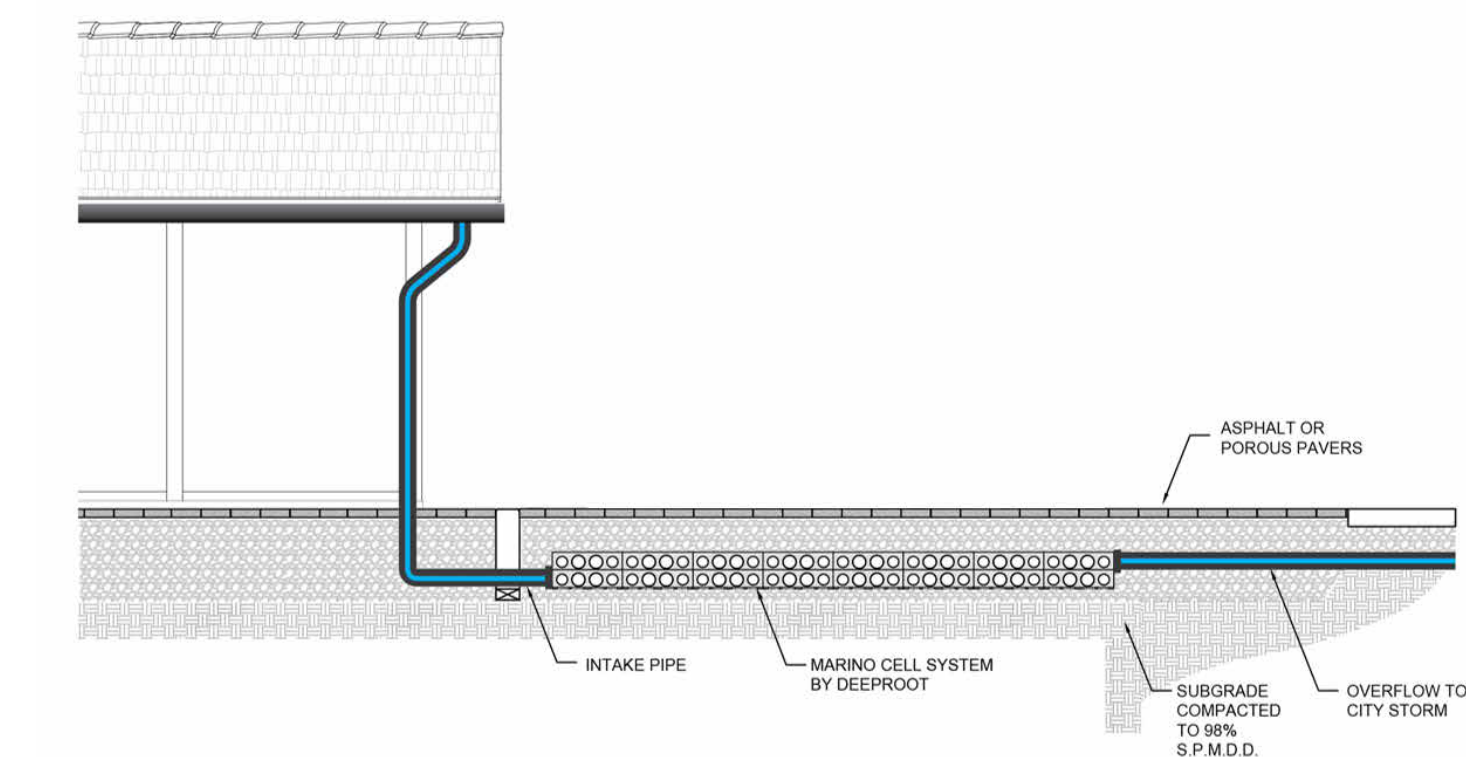


ON PEDESTAL - PEDESTRIAN

4
L4.11 PRECAST CONCRETE UNIT PAVING
1" = 1' 0"

5
L4.11 PRECAST CONCRETE UNIT PAVING - PERMEABLE
1" = 1' 0"

6
L4.11 PRECAST CONCRETE UNIT PAVING
1" = 1' 0"



7
L4.11 MARINO CELLS - TYPICAL INTERFACE WITH PAVING
NTS



4	Re-Issued for Rezoning/DP	2025-12-19
3	Re-Issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALLUC Issue	2025/03/21
No.	Description	Date

1	Rezoning/DP	2025/05/05
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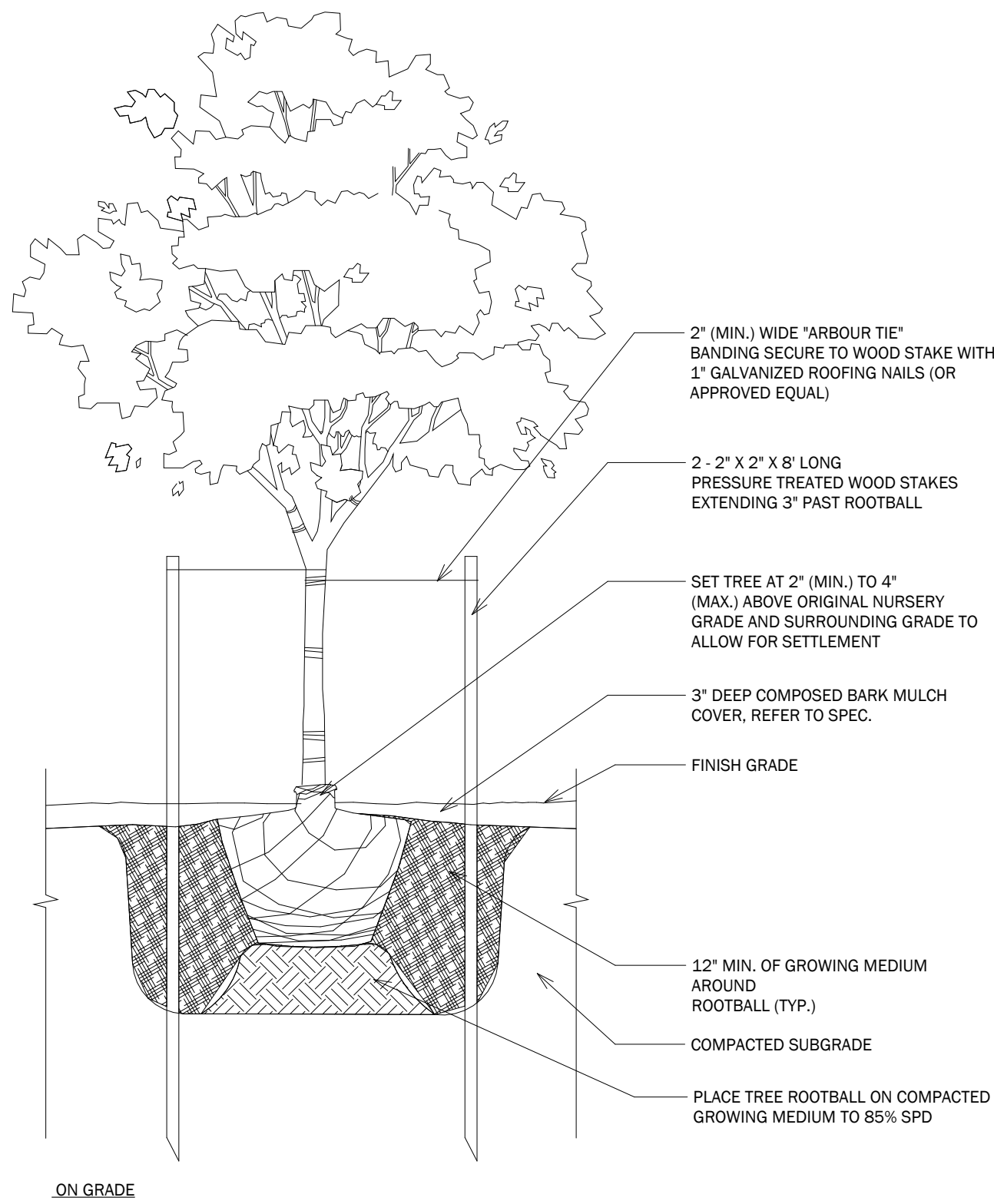
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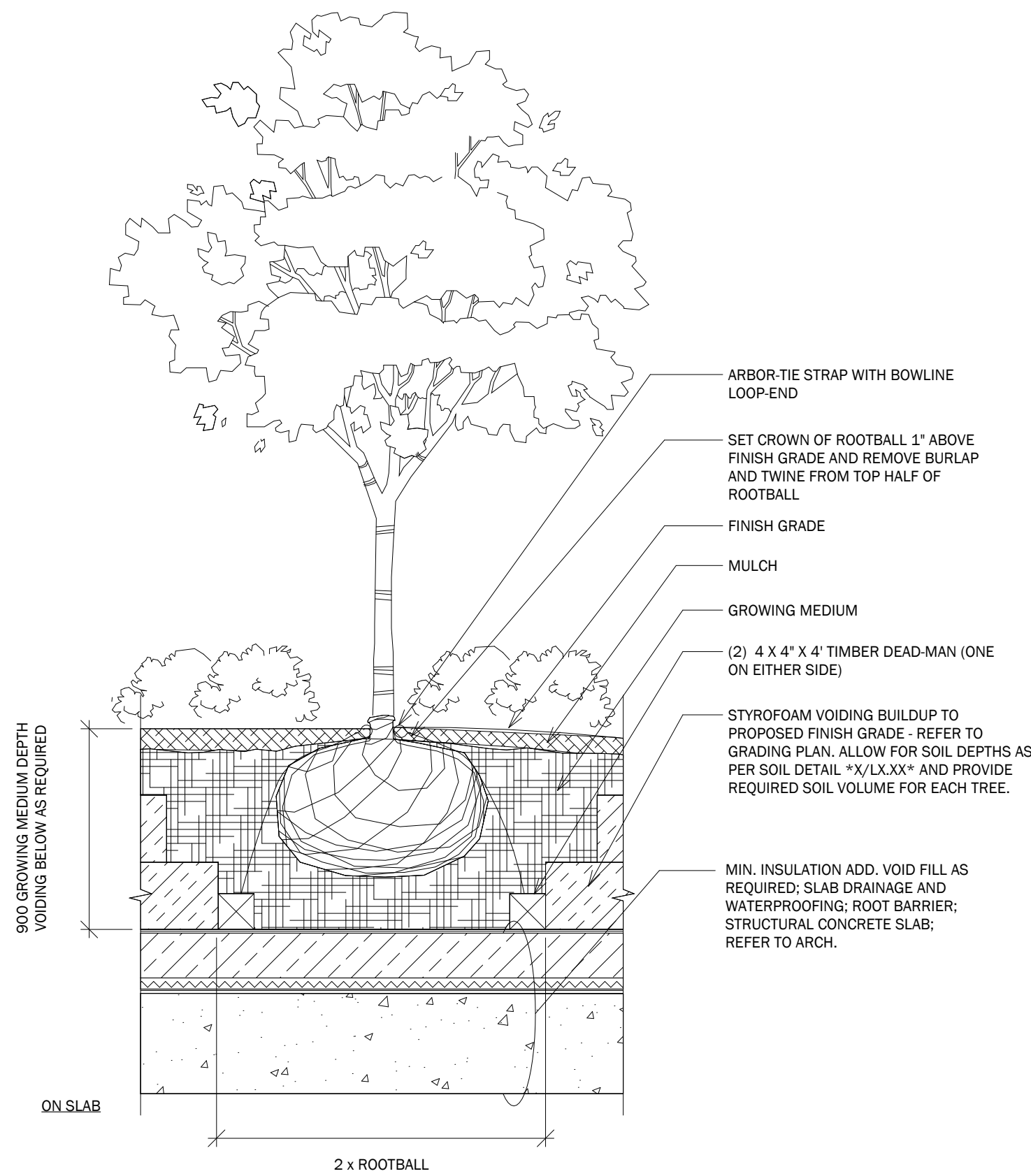
First Met

1701 Quadra St. Victoria, BC

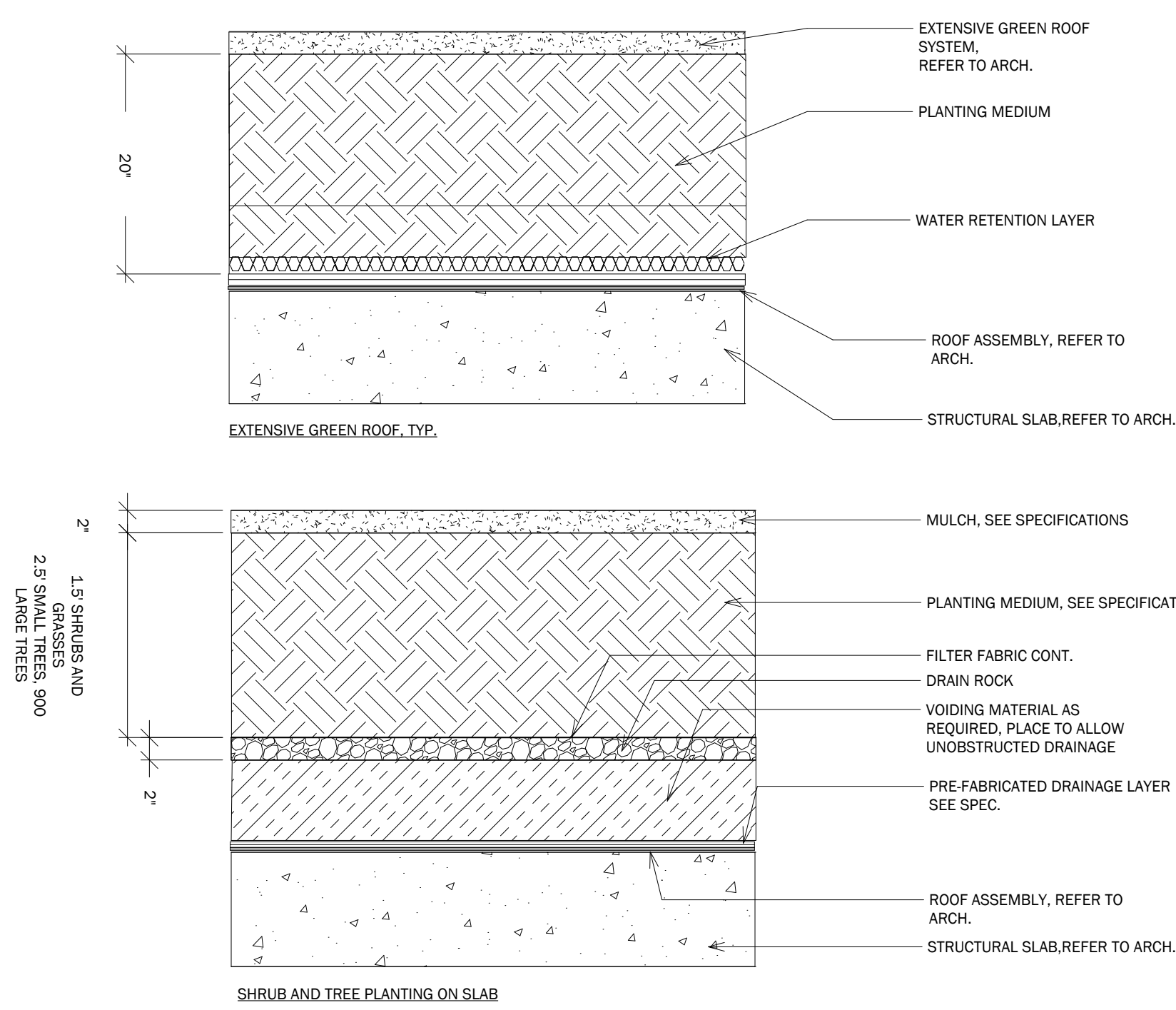
Paving Details



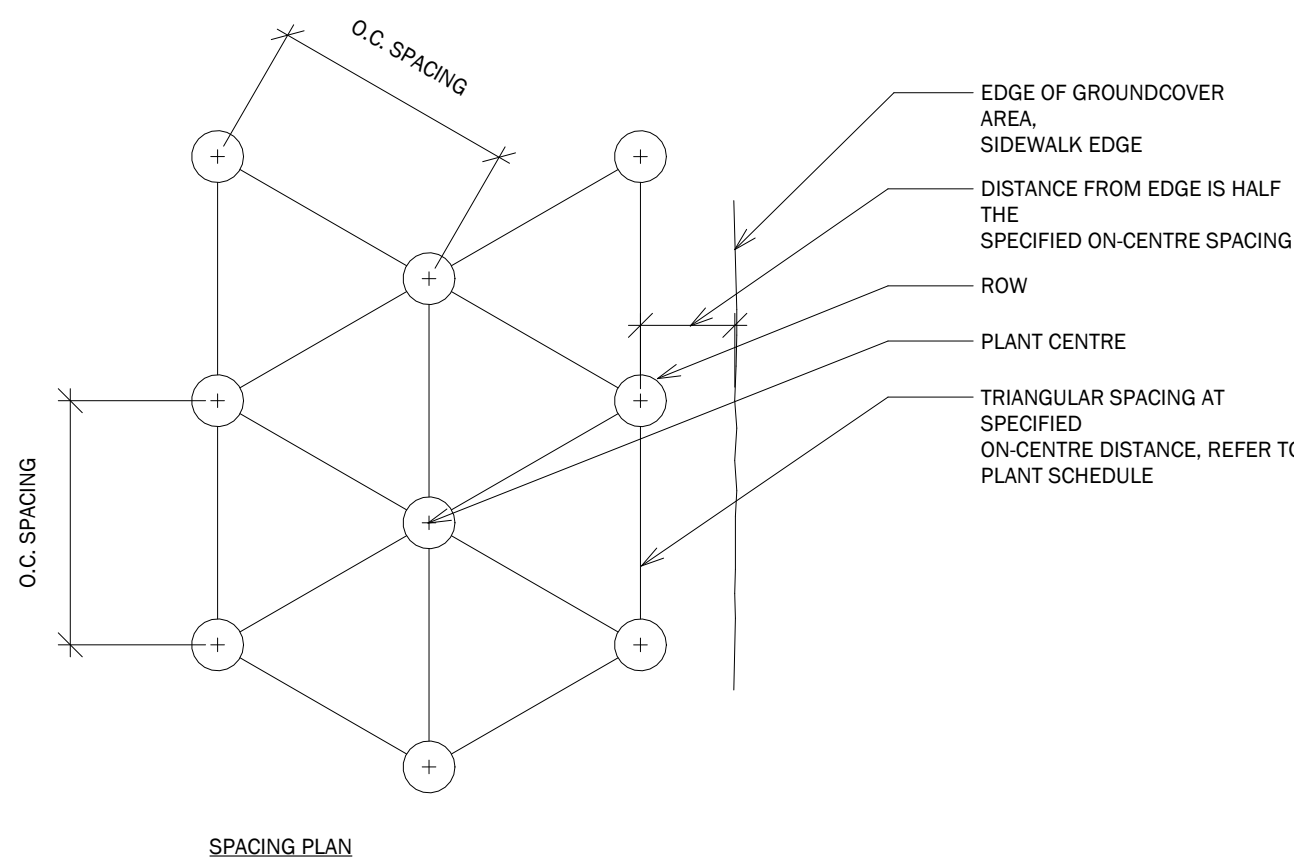
1 TREE PLANTING
1:4.41 1" = 1' 0"



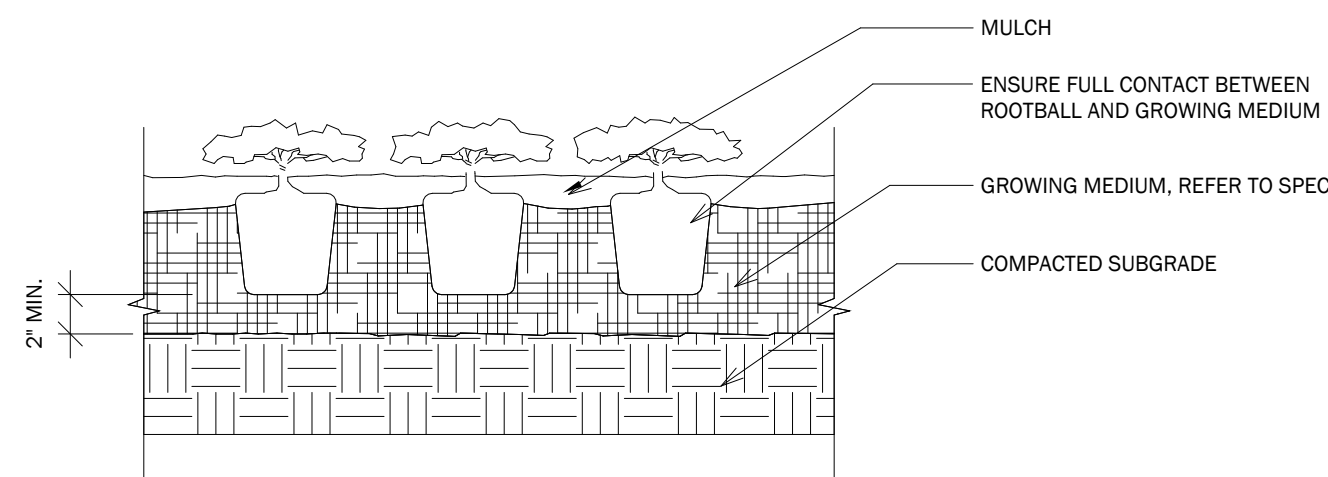
2 TREE PLANTING
1:4.41 1" = 1' 0"



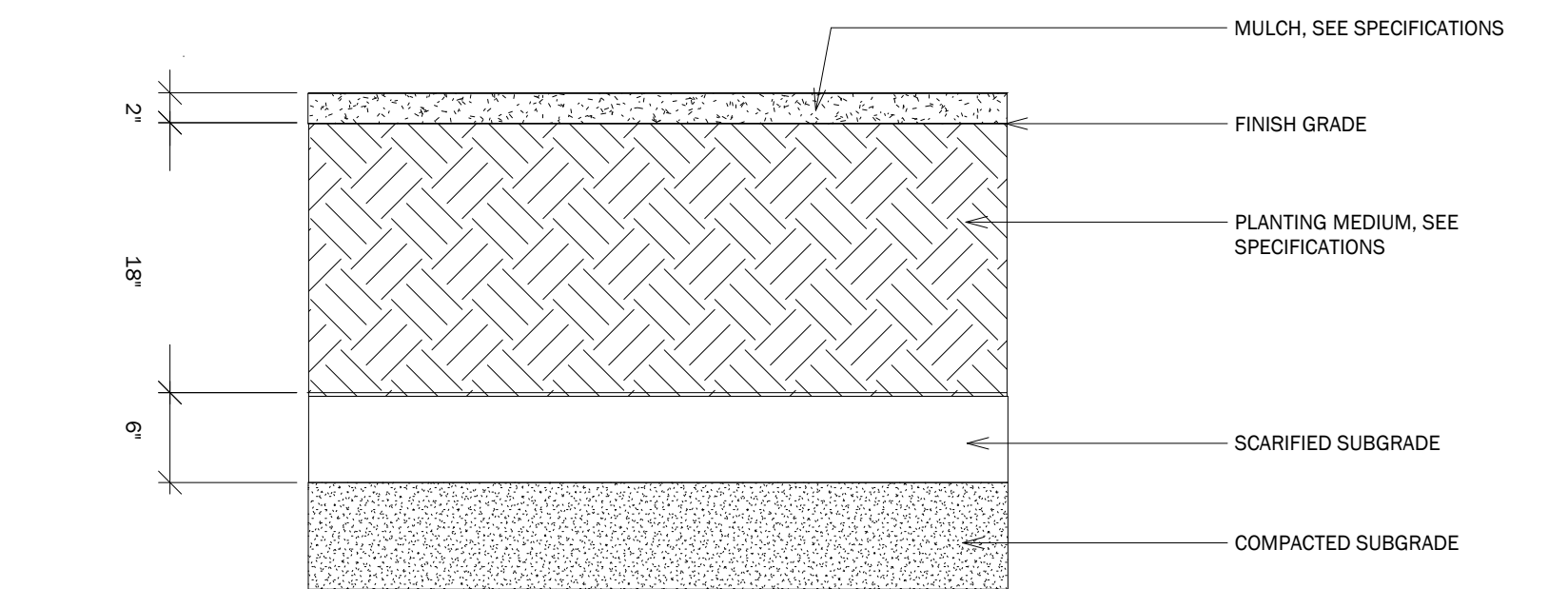
3 TREE PLANTING
1:4.41 1" = 1' 0"



SPACING PLAN



5 GROUND COVER PLANTING
1:4.41 1" = 1' 0"



SHRUB PLANTING AREAS

3 TREE PLANTING
1:4.41 1" = 1' 0"

4	Re-Issued for Rezoning/DP	2025-12-19
3	Re-Issued for Rezoning/DP	2025/08/09
2	Rezoning/DP	2025/05/05
1	CALLUC Issue	2025/03/21
No.	Description	Date
1	Rezoning/DP	2025/05/05

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1701 Quadra St. Victoria,
BC

Planting Details

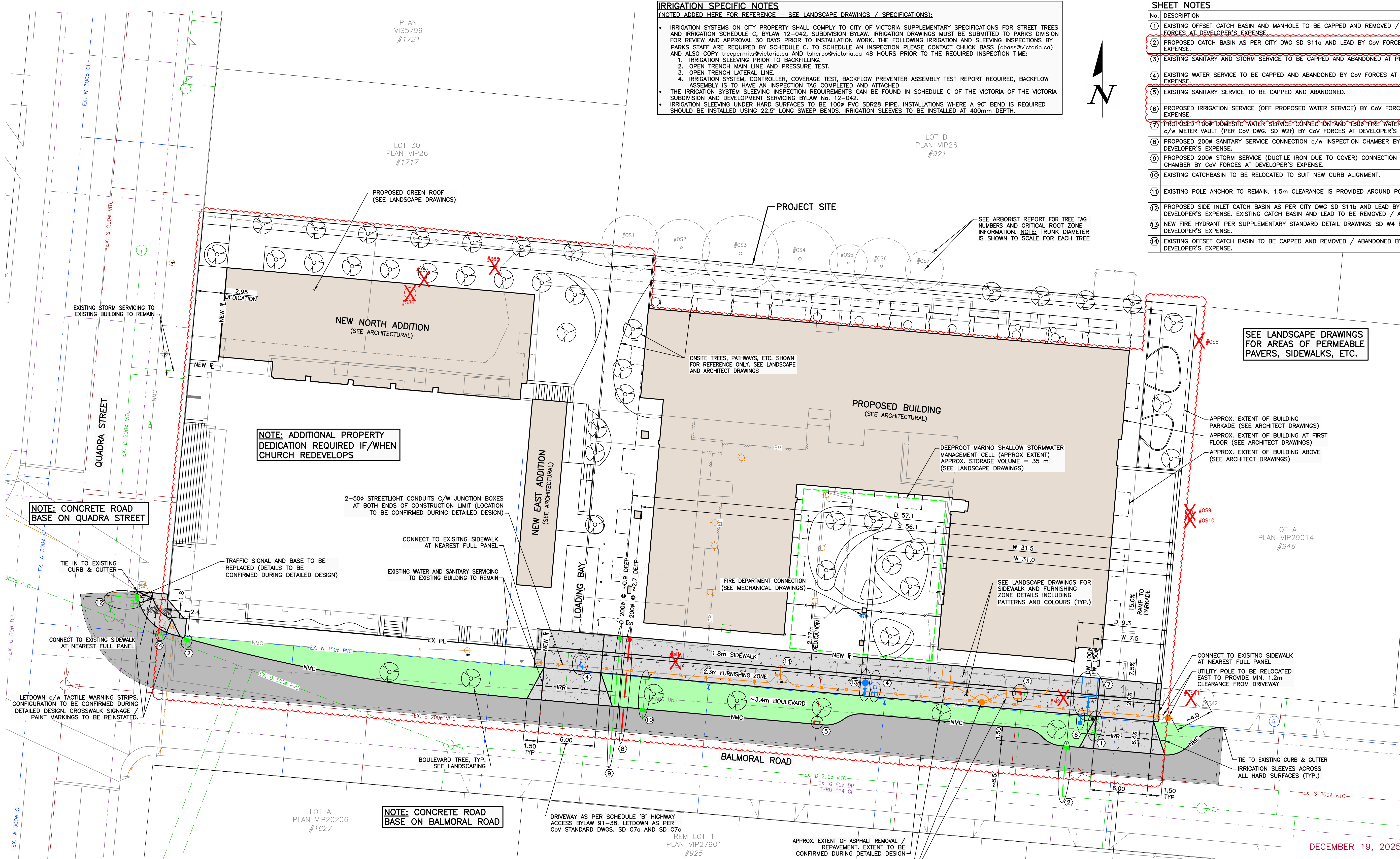
Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 12	
Drawn/Checked	ZF SS	

L4.41

IRRIGATION SPECIFIC NOTES
(NOTED ADDED HERE FOR REFERENCE - SEE LANDSCAPE DRAWINGS / SPECIFICATIONS):

- IRRIGATION SYSTEMS ON CITY PROPERTY SHALL COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO PARKS DIVISION FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT CHUCK BASS (cbass@victoria.ca) AND ALSO COPY treepermits@victoria.ca AND tshebo@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME:
- 1. IRRIGATION SLEEVING PRIOR TO BACKFILLING.
- 2. OPEN TRENCH MAIN LINE AND PRESSURE TEST.
- 3. OPEN TRENCH LATERAL LINE.
- 4. IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY IS TO HAVE AN INSPECTION TAG COMPLETED AND ATTACHED.
- THE IRRIGATION SYSTEM SLEEVING INSPECTION REQUIREMENTS CAN BE FOUND IN SCHEDULE C OF THE VICTORIA OF THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW No. 12-042.
- IRRIGATION SLEEVING UNDER HARD SURFACES TO BE 100# PVC SDR28 PIPE. INSTALLATIONS WHERE A 90° BEND IS REQUIRED SHOULD BE INSTALLED USING 22.5' LONG SWEEP BENDS. IRRIGATION SLEEVES TO BE INSTALLED AT 400mm DEPTH.

SHEET NOTES	
No.	DESCRIPTION
1	EXISTING OFFSET CATCH BASIN AND MANHOLE TO BE CAPPED AND REMOVED / ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
2	PROPOSED CATCH BASIN AS PER CITY DWG SD S11a AND LEAD BY CoV FORCES AT DEVELOPER'S EXPENSE.
3	EXISTING SANITARY AND STORM SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
4	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
5	EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED.
6	PROPOSED IRRIGATION SERVICE (OFF PROPOSED WATER SERVICE) BY CoV FORCES AT DEVELOPER'S EXPENSE.
7	PROPOSED 100# DOMESTIC WATER SERVICE CONNECTION AND 150# FIRE WATER SERVICE CONNECTION c/w METER VAULT (PER CoV DWG. SD W2f) BY CoV FORCES AT DEVELOPER'S EXPENSE.
8	PROPOSED 200# SANITARY SERVICE CONNECTION c/w INSPECTION CHAMBER BY CoV FORCES AT DEVELOPER'S EXPENSE.
9	PROPOSED 200# STORM SERVICE (DUCTILE IRON DUE TO COVER) CONNECTION c/w INSPECTION CHAMBER BY CoV FORCES AT DEVELOPER'S EXPENSE.
10	EXISTING CATCHBASIN TO BE RELOCATED TO SUIT NEW CURB ALIGNMENT.
11	EXISTING POLE ANCHOR TO REMAIN. 1.5m CLEARANCE IS PROVIDED AROUND POLE (ONSITE).
12	PROPOSED SIDE INLET CATCH BASIN AS PER CITY DWG SD S11b AND LEAD BY CoV FORCES AT DEVELOPER'S EXPENSE. EXISTING CATCH BASIN AND LEAD TO BE REMOVED / ABANDONED.
13	NEW FIRE HYDRANT PER SUPPLEMENTARY STANDARD DETAIL DRAWINGS SD W4 BY CoV FORCES AT DEVELOPER'S EXPENSE.
14	EXISTING OFFSET CATCH BASIN TO BE CAPPED AND REMOVED / ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.



- NOTES:**
- FOR BUILDING INFORMATION, SEE DRAWINGS BY MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.
 - FOR LANDSCAPING, SEE DRAWINGS BY HAPA COLLABORATIVE.
 - FOR TREE INFORMATION INCLUDING DRIPLINES AND TREE REMOVAL/RETAIN, SEE REPORT/DRAWINGS BY D. CLARK ARBORICULTURE.
 - FOR LEGAL INFORMATION, SEE DRAWINGS BY J.E. ANDERSON & ASSOCIATES.
 - UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT).
 - ALL EXISTING DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE (NOT SHOWN FOR CLARITY).
 - ALL EXISTING VALVE BOXES, UTILITY BOXES, MANHOLES, ETC. TO BE ADJUSTED AS REQUIRED TO MEET FINAL GRADES.
 - BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
 - ONSITE BIKE PARKING, ETC. NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).
 - ANY DISTURBED SURVEY MONUMENT TO BE REPLACED BY REGISTERED PROFESSIONAL SURVEY AT DEVELOPER'S EXPENSE.

LEGEND	
	EXISTING TREE AND TAG # REFER TO ARBORIST REPORT BY D. CLARK ARBORICULTURE.
	EXISTING TREE AND TAG # TO BE REMOVED REFER TO ARBORIST REPORT BY D. CLARK ARBORICULTURE.

LEGAL PLAN & TOPOGRAPHIC SURVEY PROVIDED BY J.E. ANDERSON & ASSOCIATES

SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

SITE PLAN
1:200

PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003289
Engineers and Geoscientists of BC

DECEMBER 19, 2025

ISSUED FOR REZONING / DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

1:200 0 4 12m

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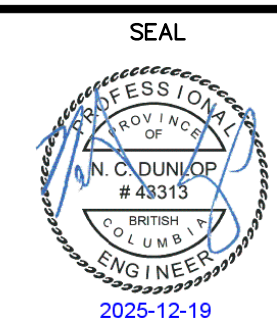
CAUTION: EXISTING UTILITIES KNOWN TO BE IN THE PROJECT VICINITY ARE SHOWN SCHEMATICALLY AND INCLUDE, BUT ARE NOT LIMITED TO: BC HYDRO, CITY OF VICTORIA WATER / SANITARY / STORM DRAIN, FORTISBC, AND TELUS COMMUNICATIONS. FIELD LOCATES REQUIRED PRIOR TO CONSTRUCTION. HAND DIG WERE REQUIRED.

NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
3	DEC 19/25	NCD	ISSUED FOR REZONING / DEVELOPMENT PERMIT				
2	SEPT 8/25	NCD	ISSUED FOR REZONING / DEVELOPMENT PERMIT				
1	APR 30/25	NCD	ISSUED FOR REZONING / DEVELOPMENT PERMIT				



McElhanney

500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3
PH (250) 370-9221



PROJECT:
934 BALMORAL ROAD, VICTORIA, BC

TITLE:
PRELIMINARY CIVIL PLAN

SCALE
HORIZ: 1:200 VERT:
PROJECT NO.
24-054
ISSUED/REVISION
3
APPROVING AUTHORITY FILE NO.
DRAWING NO.
24-054-CSP