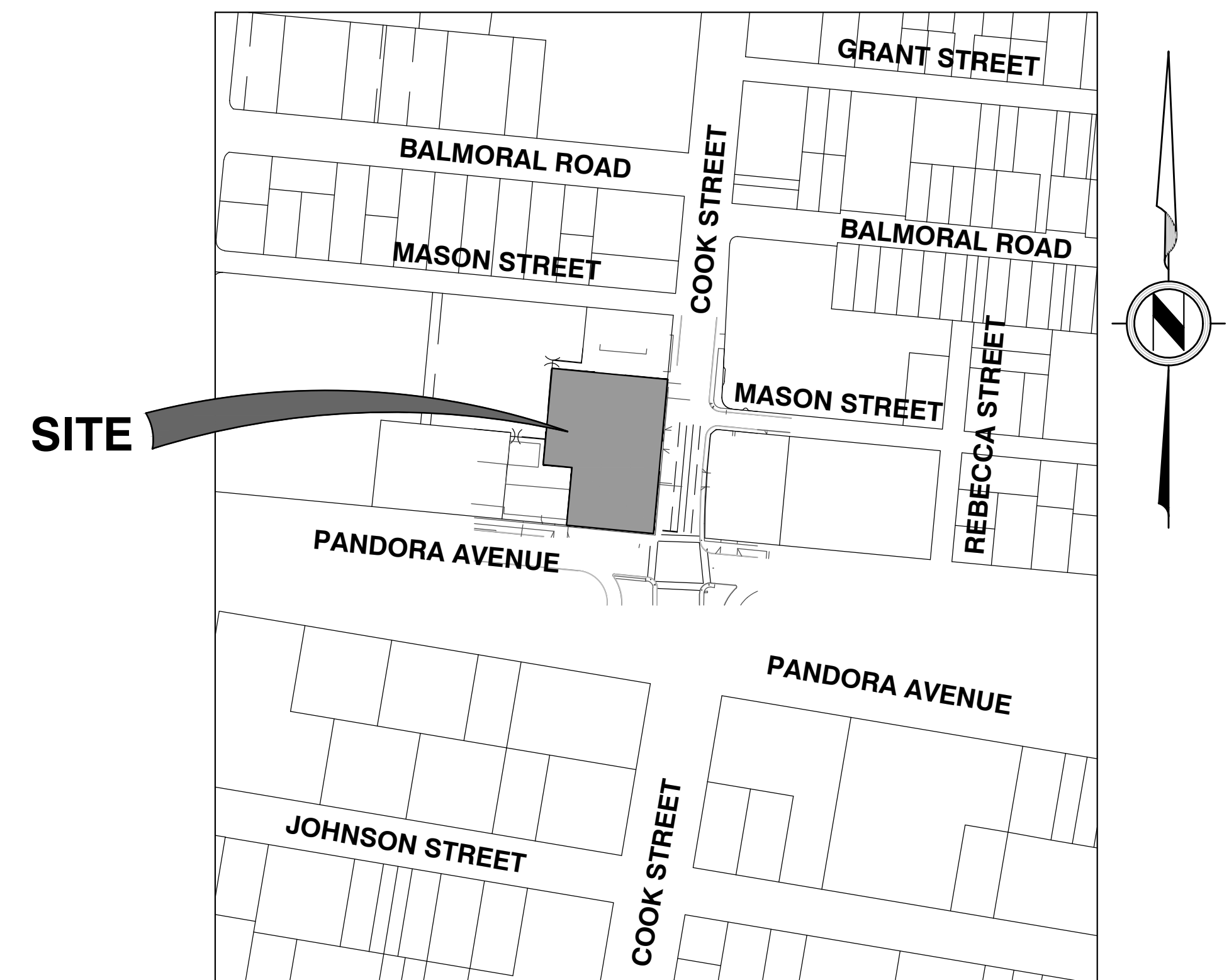




APLIN MARTIN

ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.
#104 - 6596 Applercross Road, Nanaimo, BC, Canada V9V 0A4
Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com



SITE LOCATION PLAN

SCALE 1:2000

DRAWING INDEX

18-010-01	COVER SHEET
18-010-02	KEY PLAN & GENERAL NOTES
18-010-03	SERVICING & GRADING PLAN
18-010-04	TRUCK TURNING PLAN

CLIENT:

DISTRICT GROUP

SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1
PH. 604-322-5762

PROJECT:

PARKWAY - MIXED-USE DEVELOPMENT

1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA, BC

NOT FOR CONSTRUCTION

MUNICIPAL PROJECT No. XXX

APLIN & MARTIN PROJECT No. 18-010



NOT FOR CONSTRUCTION

GENERAL

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD), AND CITY OF VICTORIA BYLAW STANDARDS, UNLESS OTHERWISE NOTED.
3. ANY REVISIONS TO THESE DRAWINGS SHALL BE APPROVED BY THE CITY'S REPRESENTATIVE. CONSTRUCTION SHALL NOT COMMENCE PRIOR TO THE APPROVAL OF THESE DRAWINGS BY THE CITY'S REPRESENTATIVE.
4. THE CONTRACTOR SHALL OBTAIN THE CITY'S PERMIT TO WORK WITHIN THE ROAD ALLOWANCE A MINIMUM OF 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL SUBMIT PROOF OF CONTRACTOR LIABILITY INSURANCE TO THE CITY'S REPRESENTATIVE AS PER THE CITY'S SPECIFICATIONS.
6. ALL BUILDINGS & ROADS ARE TO BE LOCATED BY COORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
7. THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO CONSTRUCTION TO SCHEDULE AN ONSITE PRE CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING AND INSPECTION WILL BE DISCUSSED.
8. CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS IN THE VICINITY OF THE SITE. REPORT TO THE ENGINEER ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION
9. ALL OR ANY EXISTING UNDERGROUND UTILITIES ARE NOT NECESSARILY SHOWN. EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND ALL UTILITY COMPANIES CONTACTED PRIOR TO INSTALLING ANY NEW UNDERGROUND SERVICES.
10. THE CONTRACTOR'S SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THE CONSULTING ENGINEERING FIRM SHALL BE NOTIFIED IMMEDIATELY.
11. WORKSAFE BC SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE REGISTERED WITH WORKSAFE BC AND SHALL SUBMIT PROOF OF REGISTRATION TO THE TOWN'S REPRESENTATIVE. ALL WORK SHALL CONFORM TO ALL APPLICABLE REGULATIONS OF WORKSAFE BC.
12. ALL DIMENSIONS SHALL BE IN METRIC UNLESS OTHERWISE NOTED. METRES SHALL BE EXPRESSED IN DECIMALS, MILLIMETERS IN WHOLE NUMBERS. FIGURED DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
13. THE CONTRACTOR SHALL PREPARE AND SUBMIT THE FOLLOWING PLANS TO THE CITY'S REPRESENTATIVE FOR REVIEW AND ACCEPTANCE PRIOR TO CONSTRUCTION COMMENCING.
 - * TRAFFIC MANAGEMENT PLAN.
 - * EROSION AND SEDIMENT CONTROL PLAN FOR CONSTRUCTION.
 - * TREE PRESERVATION PLAN.
14. LEGAL SURVEY MONUMENTS SHALL BE REPLACED BY A BC LAND SURVEYOR, TO CITY SPECIFICATIONS, AT THE CONTRACTOR'S EXPENSE IF DESTROYED OR DAMAGED DURING CONSTRUCTION. THIS ALSO PERTAINS TO MONUMENTS THAT REQUIRE RAISING OR RELOCATING. THE CONTRACTOR SHALL NOTIFY THE CITY'S REPRESENTATIVE THREE WORKING DAYS IN ADVANCE OF THE WORK AFFECTING SURVEY MONUMENTS.
15. WHERE A TRENCH IS UNDER OR WITHIN 1.0 METRES OF THE ROADWAY OR DRIVEWAY EDGE, FULL DEPTH GRANULAR BACKFILL SHALL BE USED.
16. AFTER CONSTRUCTION, WORK AREAS AND EXISTING FEATURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER.
17. ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN UPGRADES.
18. ALL SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY IN ACCORDANCE WITH ALL APPLICABLE GUIDELINES AND REGULATIONS.
19. THE ENGINEER OF RECORD SHALL SUBMIT AS-CONSTRUCTED DRAWINGS TO THE CITY'S REPRESENTATIVE.
20. THE CONTRACTOR SHALL EMPLOY APPROPRIATE EROSION & SEDIMENT CONTROL MEASURE, APPROVED BY THE CITY'S REPRESENTATIVE TO PREVENT SILT DISCHARGES TO THE STORM DRAINAGE SYSTEM AND WATERCOURSES. REGULAR, ONGOING INSPECTION OF SEDIMENT CONTROL SHALL BE CARRIED OUT TO ENSURE CONTINUOUS PROTECTION.

PROP. SANITARY SEWER	
PROP. STORM SEWER	
PROP. WATER MAIN	
EX. SANITARY SEWER	
EX. STORM SEWER	
EX. WATER MAIN	
EXISTING FENCE	

STORM SEWER

1. DO NOT PLUG OR ABANDON AN EXISTING STORM DRAINAGE CONNECTION WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
2. ALL STORM SEWER AND BEDDING MATERIALS TO BE IN ACCORDANCE WITH THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONTRACT DOCUMENTS (MMCD) REQUIREMENTS.
3. ALL EXISTING CULVERTS AND STORM DRAIN SYSTEMS THAT ARE TO BE ABANDONED SHALL BE INSPECTED FOR EXISTING STORM SERVICE LEADS. ALL EXISTING LEADS ARE TO BE CONNECTED TO THE NEW STORM SEWER SYSTEM.
4. ALL PIPING AND RELATED APPURTENANCES TO BE INSPECTED AND APPROVED PRIOR TO BACKFILLING OF TRENCH.
5. ALL MANHOLES ARE TO BE A MINIMUM OF 1050mm DIAMETER UNLESS OTHERWISE NOTED.
6. ALL STORM PIPES TO BE PVC SDR35.
7. ALL TYPICAL TRENCH SECTION DETAILS TO FOLLOW MMCD SPECIFICATION DRAWING G4, UNLESS OTHERWISE NOTED BY THE CITY'S REPRESENTATIVE.
8. ALL PAVEMENT RESTORATION TO FOLLOW MMCD SPECIFICATION DWG. G5.
9. THE CONTRACTOR SHALL CONFIRM THE LOCATION AND INVERTS OF EXISTING STORM SEWER CONNECTIONS PRIOR TO CONSTRUCTION.
10. CATCHBASIN RIM ELEVATIONS GIVEN ARE THE ELEVATION OF THE SURFACE INLET.
11. TIE-INS OF PROPOSED MAINS TO EXISTING STORM SEWER MAINS SHALL BE INSPECTED BY CITY'S REPRESENTATIVE.
12. ALL STORM DRAIN SERVICE CONNECTIONS SHALL BE MINIMUM 100mm IN DIAMETER.
13. THE CONTRACTOR SHALL VIDEO INSPECT ALL COMPLETED STORM DRAIN LINES ON PUBLIC AND PRIVATE PROPERTY FOLLOWING COMPLETION OF INSTALLATION. VIDEO REPORTS SHALL BE SUBMITTED TO THE CITY'S REPRESENTATIVE. SHOULD THE VIDEO INDICATE APPARENT DEFICIENCIES, ADDITIONAL TESTING AND/OR REPLACEMENT SHALL BE REQUIRED AT THE DIRECTION OF THE CITY'S REPRESENTATIVE. AT THE CONTRACTOR'S EXPENSE. ALL STORM DRAIN LINES, CATCH BASINS, MANHOLES, ETC., SHALL BE CLEANED THOROUGHLY UPON COMPLETION OF CONSTRUCTION. AT THE END OF THE ONE-YEAR WARRANTY PERIOD, ALL LINES SHALL AGAIN BE VIDEO INSPECTED AND THE RESULTS SUBMITTED TO THE CITY'S REPRESENTATIVE.

SANITARY SEWER:

1. ALL SANITARY SEWER MATERIALS SHALL BE IN ACCORDANCE WITH THE PLATINUM EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD), UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE CITY'S APPLICATION FOR SANITARY SEWER CONNECTION DOCUMENT FOR ALL REQUIRED SANITARY SEWER CONNECTIONS TO THE CITY'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. THE CONTRACTOR SHALL CONFIRM THE LOCATION AND INVERTS OF EXISTING SANITARY SEWER CONNECTIONS PRIOR TO CONSTRUCTION.
4. NEW SEWER LINES TIED INTO EXISTING LINES SHALL BE PLUGGED UNTIL THEY ARE TESTED AND FLUSHED.
5. TIE-INS OF PROPOSED MAINS TO EXISTING SANITARY SEWER MAINS SHALL BE INSPECTED BY CITY'S REPRESENTATIVE.
6. FOR EXISTING PIPES OR SERVICE CONNECTIONS THAT ARE TO BE ABANDONED, THE CONTRACTOR SHALL CAP ENDS AND FILL WITH CDF OR APPROVED ALTERNATIVE, AS DIRECTED BY THE CITY'S REPRESENTATIVE. EVIDENCE OF THIS (SUCH AS WITH PHOTOGRAPHS), SHALL BE PROVIDED TO THE CITY'S REPRESENTATIVE PRIOR TO BACKFILL. THE ABANDONED PIPE SHALL BE NOTED ON THE AS-CONSTRUCTED DRAWING.
7. TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH INSPECTION AUTHORIZED BY THE CITY'S REPRESENTATIVE.
8. THE CONTRACTOR SHALL VIDEO INSPECT ALL COMPLETED SANITARY SEWER LINES ON PUBLIC AND PRIVATE PROPERTY FOLLOWING COMPLETION OF INSTALLATION. VIDEO REPORTS SHALL BE SUBMITTED TO THE CITY'S REPRESENTATIVE. SHOULD THE VIDEO INDICATE APPARENT DEFICIENCIES, ADDITIONAL TESTING AND/OR REPLACEMENT SHALL BE REQUIRED AT THE DIRECTION OF THE CITY'S REPRESENTATIVE, AT THE CONTRACTOR'S EXPENSE. ALL SANITARY SEWER LINES, MANHOLES, ETC, SHALL BE CLEANED THOROUGHLY UPON COMPLETION OF CONSTRUCTION. AT THE END OF THE ONE-YEAR WARRANTY PERIOD ALL LINES SHALL AGAIN BE VIDEO INSPECTED AND THE RESULTS SUBMITTED TO THE CITY'S REPRESENTATIVE.

WATER:

1. ALL WATER & BEDDING MATERIALS TO MEET MMCD & BC PLUMBING CODE 2018 REQUIREMENTS.

ROADWORKS AND SIDEWALKS:

1. LOOSE OR ORGANIC MATERIALS SHALL BE EXCAVATED FROM ROADWAY.
2. SUB-BASE AND GRANULAR BASE MATERIALS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
3. EXISTING APPURTENANCES SUCH AS VALVE BOXES, MANHOLES, ETC., SHALL BE ADJUSTED TO FINISHED GRADE.
4. THE CONDITIONS FOR PLACING ASPHALT PAVEMENT AND CONCRETE SHALL BE IN ACCORDANCE WITH MMCD SPECIFICATIONS AND STANDARD DETAIL DRAWINGS APPLICABLE AT THE TIME OF CONSTRUCTION. WEATHER CONDITIONS SHALL ALSO BE IN CONFORMANCE WITH MMCD SPECIFICATIONS. SHOULD DEVIANCES BE ALLOWED FROM THESE SPECIFICATIONS BY THE CITY'S REPRESENTATIVE, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THEIR WORKMANSHIP.

NOTICE TO CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

LEGAL DESCRIPTION: SITE PLAN OF AMENDED LOT 14 (DD 106561 I), LOTS 15 & 16, LOT 2, PLAN VIP75915 OF SUBURBAN LOT 15				
B.M. MONUMENT NO. 16-64A ELEVATION: 27.355m				
LOCATED AT COOK STREET & PANDORA AVENUE				
REV. NO.	DESCRIPTION	DR	CH	DATE
04	ISSUED FOR 60% BP SUBMISSION	VG	SL	15-OCT-19
05	ISSUED FOR 90% BP SUBMISSION	VG	SL	06-NOV-19
06	ISSUED FOR 100% BP SUBMISSION	VG	SL	25-NOV-19
07	TREE REMOVED ON COOK STREET	CL	SL	20-MAR-20
08	REVISED FOR REZONING	JP	SL	15-JUL-20



APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.

#104 - 6596 Applecross Road, Nanaimo, BC, Canada V9V 0A4

Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com

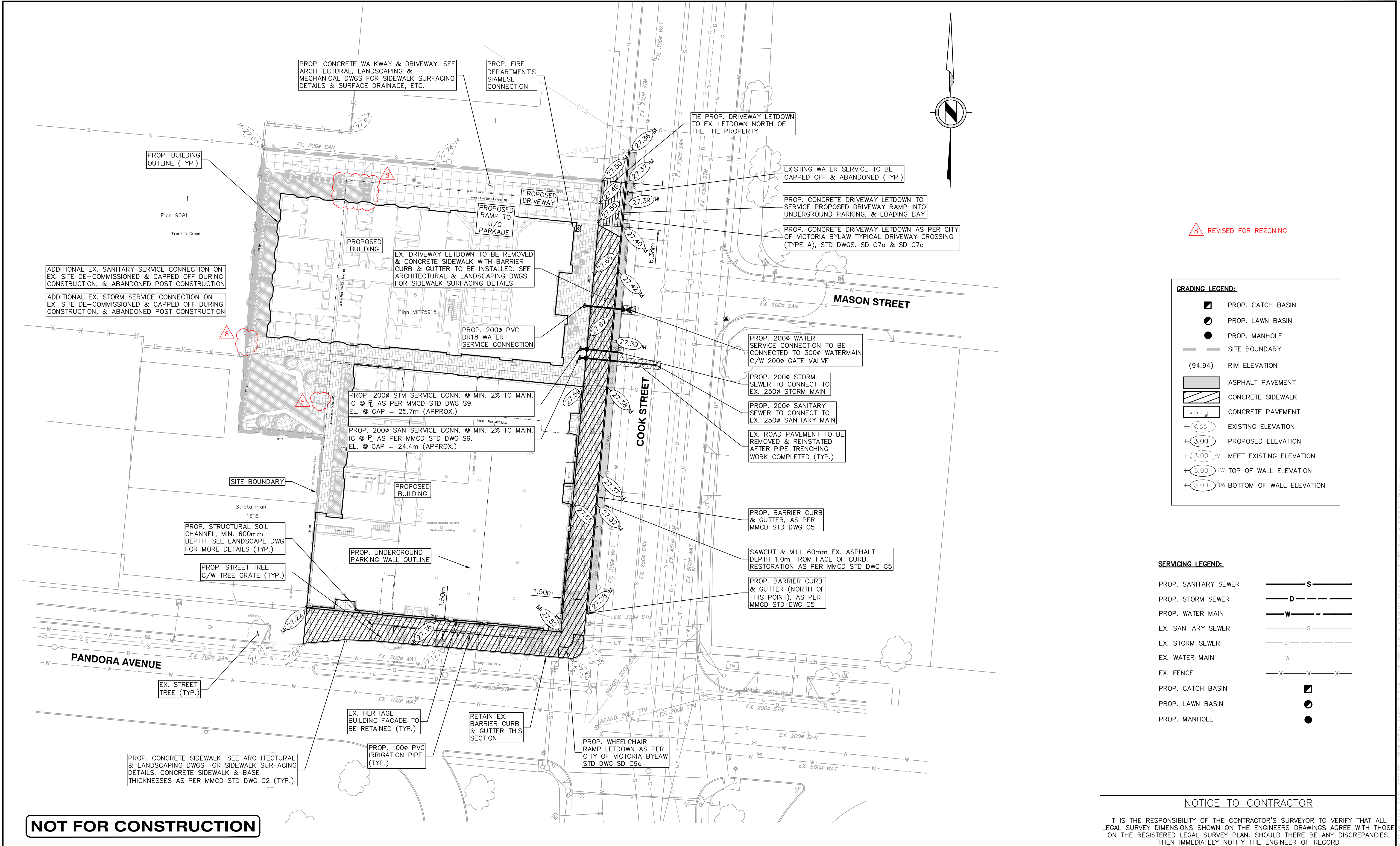
CLIENT:	DISTRICT GROUP SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1 PH. 604-322-5762
PROJECT:	PARKWAY - MIXED USE DEVELOPMENT 1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA BC



The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: KEY PLAN & GENERAL NOTES		DESIGN: VG DRAWN: VG/CL	CHECK: SL APPR: SL
PROJECT NO. .		A & M FILE: 18-010	
DRAWING NO. .		SCALE : HORZ. 1:500 VERT. N/A	DRAWING DATE: FEBRUARY 2019
		A & M DRAWING NO. 18-010 -02	SHEET NO. 02 OF 04
			REV. 08

0 5 1:500 25m



8 REVISED FOR REZONING

GRADING LEGEND:

- PROF. CATCH BASIN
- PROF. LAWN BASIN
- PROF. MANHOLE
- SITE BOUNDARY
- (94.94) RIM ELEVATION
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- EXISTING ELEVATION
- PROPOSED ELEVATION
- MEET EXISTING ELEVATION
- TW TOP OF WALL ELEVATION
- BW BOTTOM OF WALL ELEVATION

SERVICING LEGEND:

- PROF. SANITARY SEWER
- PROF. STORM SEWER
- PROF. WATER MAIN
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER MAIN
- EX. FENCE
- PROF. CATCH BASIN
- PROF. LAWN BASIN
- PROF. MANHOLE

NOTICE TO CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

LEGAL DESCRIPTION: SITE PLAN OF AMENDED LOT 14 (DD 106561 I), LOTS 15 & 16, LOT 2, PLAN VIP75915 OF SUBURBAN LOT 15				
B.M. MONUMENT NO. 16-64A ELEVATION: 27.355m				
LOCATED AT COOK STREET & PANDORA AVENUE				
REV. NO.	DESCRIPTION	DR	CH	DATE
04	ISSUED FOR 60% BP SUBMISSION	VG	SL	15-OCT-19
05	ISSUED FOR 90% BP SUBMISSION	VG	SL	06-NOV-19
06	ISSUED FOR 100% BP SUBMISSION	VG	SL	25-NOV-19
07	TREE REMOVED ON COOK STREET	CL	SL	20-MAR-20
08	REVISED FOR REZONING	JP	SL	15-JUL-20

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.
#104 - 6596 Applecross Road, Nanaimo, BC, Canada V9V 0A4
Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com

CLIENT: **DISTRICT GROUP**
SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1
PH. 604-322-5762

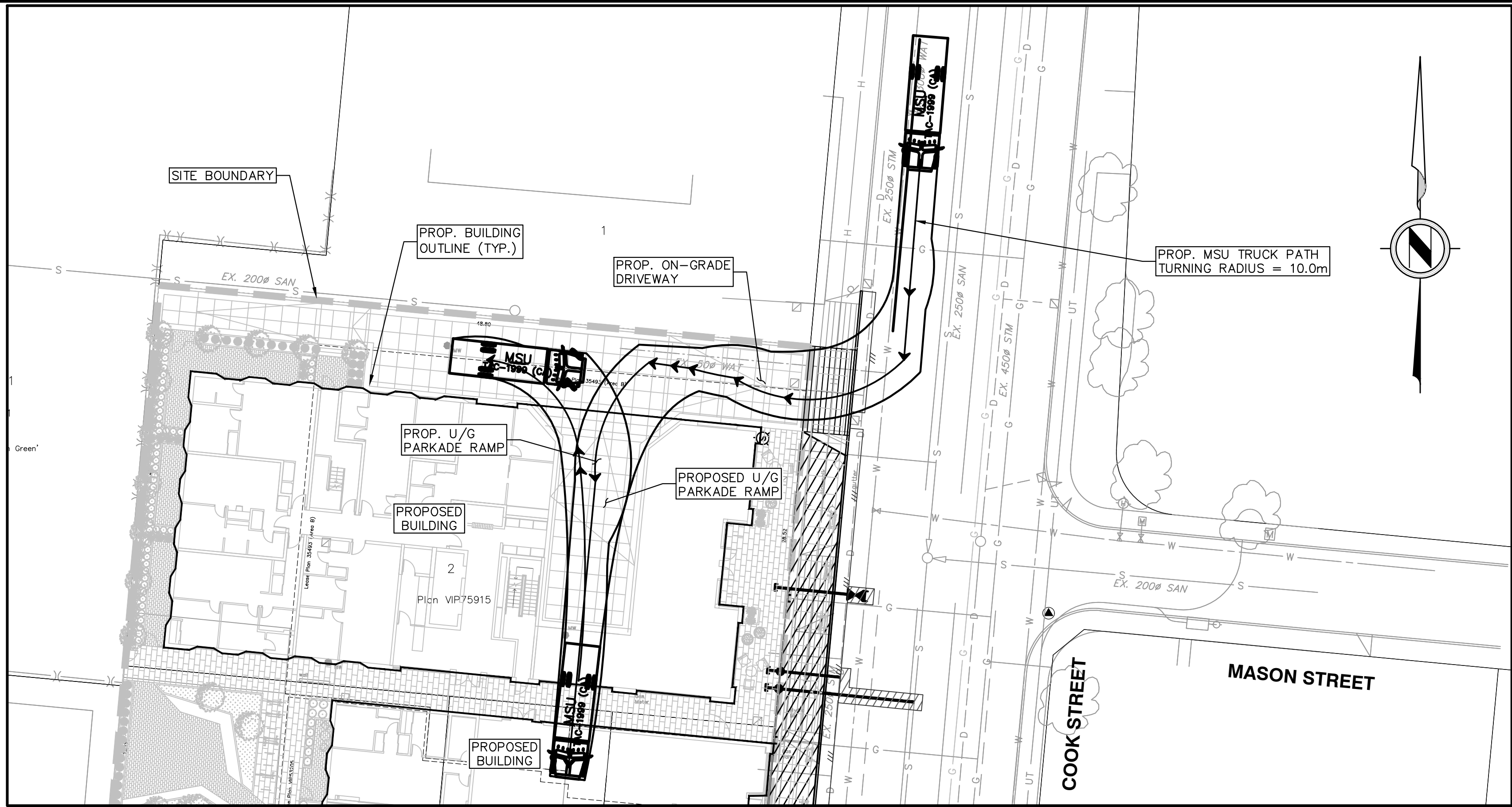
PROJECT: **PARKWAY - MIXED USE DEVELOPMENT**
1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA BC



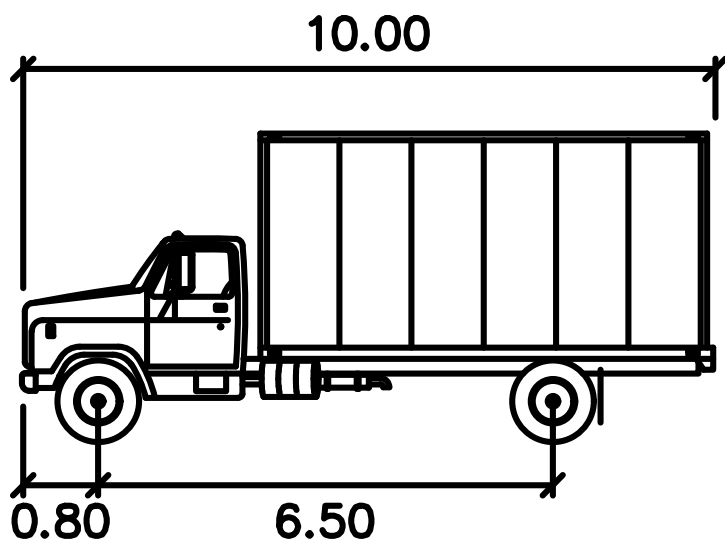
The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: SERVICING & GRADING PLAN		DESIGN: VG CHECK: SL DRAWN: VG/CL APPR: SL	
		A & M FILE: 18-010	
PROJECT NO. .	SCALE : HORZ. 1:250 VERT. N/A	DRAWING DATE: FEBRUARY 2019	
DRAWING NO. .	A & M DRAWING NO. 18-010 - 03	SHEET NO. 03 OF 04	REV. 08

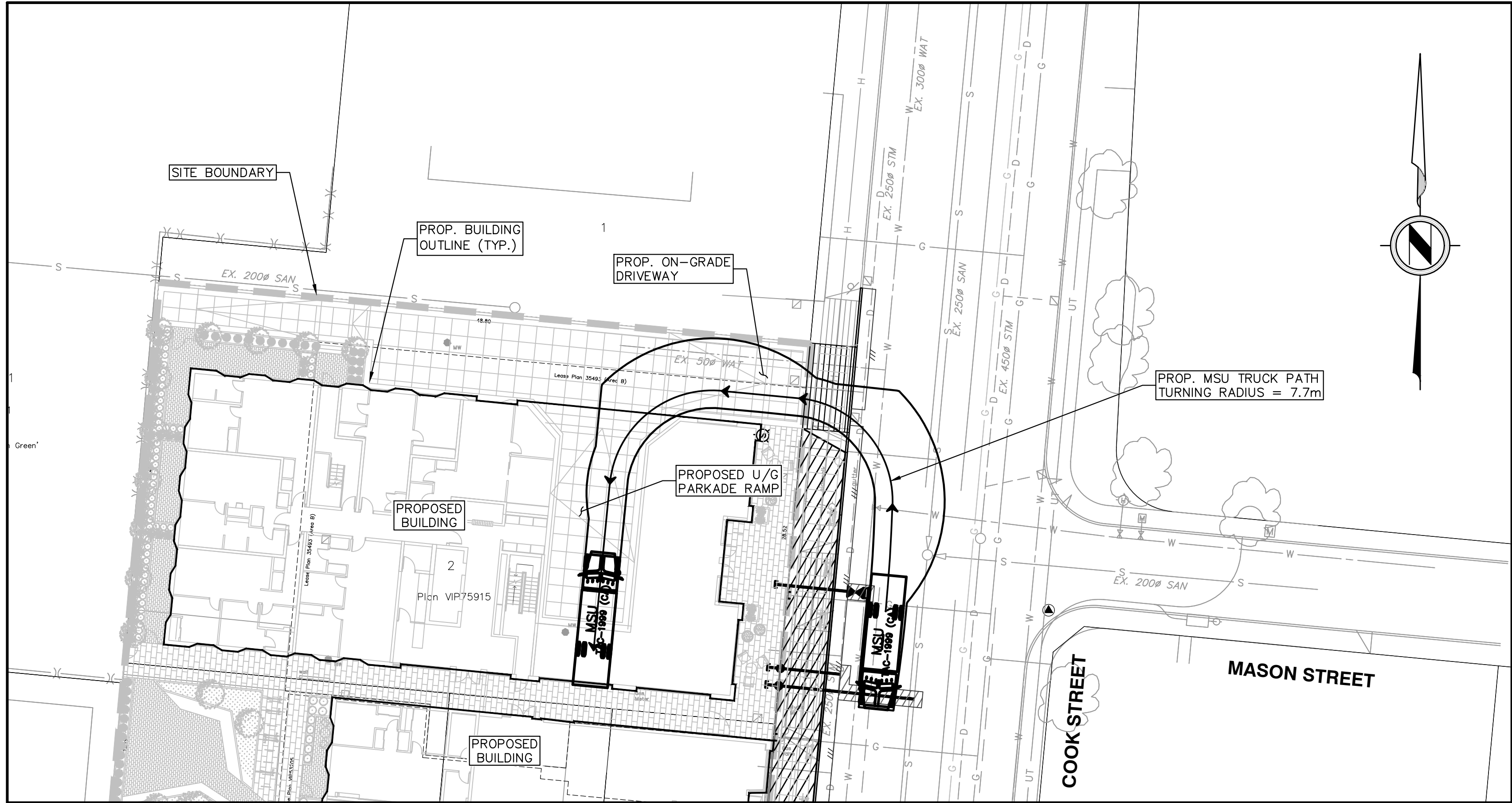
0 2 1:250 12m



TURN ROUTE 1 – DIRECT ENTRY



MSU	meters
Width	: 2.60
Track	: 2.60
Lock to Lock Time	: 6.0
Steering Angle	: 40.2



TURN ROUTE 1 – BACK-IN ENTRY

NOT FOR CONSTRUCTION

NOTICE TO CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

LEGAL DESCRIPTION: SITE PLAN OF AMENDED LOT 14 (DD 106561.1), LOTS 15 & 16, LOT 2, PLAN VIP75915 OF SUBURBAN LOT 15				
B.M. MONUMENT NO. 16-64A ELEVATION: 27.355m				
LOCATED AT COOK STREET & PANDORA AVENUE				
REV. NO.	DESCRIPTION	DR	CH	DATE
04	ISSUED FOR 60% BP SUBMISSION	VG	SL	15-OCT-19
05	ISSUED FOR 90% BP SUBMISSION	VG	SL	06-NOV-19
06	ISSUED FOR 100% BP SUBMISSION	VG	SL	25-NOV-19
07	TREE REMOVED ON COOK STREET	CL	SL	20-MAR-20
08	REVISED FOR REZONING	JP	SL	15-JUL-20



APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.

#104 - 6596 Applecross Road, Nanaimo, BC, Canada V9V 0A4

Tel: (778) 841-0484, Fax: (604) 597-9061, Email: general@aplinmartin.com

CLIENT:

DISTRICT GROUP

SUITE 200 - 8809 HEATHER STREET, VANCOUVER, BC V6P 3T1

PH. 604-322-5762

PROJECT:

PARKWAY - MIXED USE DEVELOPMENT

1050 PANDORA AVENUE & 1518 COOK STREET, VICTORIA BC



The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE:		DESIGN: VG CHECK: SL	
PROJECT NO.		DRAWN: VG/CL APPR: SL	
DRAWING NO.		A & M FILE:	
.		18-010	
SCALE :		DRAWING DATE:	
HORZ. 1:250		FEBRUARY 2019	
VERT. N/A		SHEET NO.	
A & M DRAWING NO.		REV.	
18-010 - 04		04 OF 04	
		08	

0 2 1:250 12m