



**FIRST
MET** 

**REZONING & DEVELOPMENT
PERMIT APPLICATION**

934 BALMORAL ROAD
1701 QUADRA STREET

MAY 5, 2025
REVISED MAY 27, 2025

ZONING SUMMARY

CIVIC ADDRESS:

934 BALMORAL ROAD & 1701 QUADRA STREET
VICTORIA, BRITISH COLUMBIA V8T 1A8

LEGAL DESCRIPTION:

REFER TO SURVEY

ZONING:

C-1 LIMITED COMMERCIAL AND R-2 TWO FAMILY DWELLING

DRAWING LIST

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PROJECT TEAM

OWNER: ARYZE DEVELOPMENTS 200-398 HARBOUR ROAD VICTORIA BC V8A 0B7 250-040-3568	ENERGY COMPLIANCE ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288
ARCHITECT: MARIANNE AMODIO + HARLEY GRUSKO ARCHITECTS 201-877 EAST HASTINGS ST. VANCOUVER BC V6A 3Y1 778-379-9276	LANDSCAPE ARCHITECT: HAPA COLLABORATIVE 403-375 W 8th AVE. VANCOUVER BC V5Y 1J6 604.909.4150
STRUCTURAL ENGINEER: RJC ENGINEERS 303-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-386-7794	ARBORIST: D CLARK ARBORICULTURE 2741 THE RISE VICTORIA, BC V8T 3T4 250-208-1568
CODE CONSULTANT: GHL CONSULTANTS LTD. 700 PENDER ST. VANCOUVER, BC V6C 1X6 604-689-4449	CIVIL ENGINEER: MCELHANNEY 500-3960 QUADRA ST. VICTORIA, BC V8X 4A3 250-370-9221
MECHANICAL ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	GEOTECHNICAL ENGINEER: RYZUK GEOTECHNICAL 100-771 VERNON AVE. VICTORIA, BC V8X 5A7
ELECTRICAL ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	SURVEYOR: J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVE. VICTORIA, BC V8Z 4B7 250-727-2214
BUILDING ENVELOPE: EVOKE 102-814 BROUGHTON ST. VICTORIA, BC V8W 1E4 250-800-5655	TRANSPORTATION ENGINEER: BUNT & ASSOCIATES 530-645 FORT ST. VICTORIA, BC V8W 1G2 250-592-6122

DEVELOPMENT DATA SUMMARY

SITE DIMENSIONS:	42.76m x 104.80 x 40.35m x 104.73m / 140.29' x 343.83' x 132.38' x 343.60'	
TOTAL SITE AREA:	4,439.8 m ² / 47,790 ft ²	
TOTAL FLOOR AREA:	REQUIRED / PERMITTED 11,100 m ² / 119,479 ft ²	PROPOSED 9,952 m ² / 107,123 ft ²
RESIDENTIAL FLOOR AREA:		7,975 m ² / 85,837 ft ²
COMMERCIAL FLOOR AREA:		269 m ² / 2,897 ft ²
HERITAGE FLOOR AREA TO BE RETAINED:		1,228 m ² / 13,218 ft ²
NEW ADDITIONS TO HERITAGE BLDG:		480 m ² / 5,171 ft ²
FLOOR SPACE RATIO:	2.5 ^(A)	2.24
SITE COVERAGE:	N/A (PER 4.8) (<65%) ^(C)	66%
OPEN SITE SPACE (%):		34%
MAX. DISCRETIONARY HEIGHT:	10.7m / 35.1 ^(D)	21.6m / 70.75'
NUMBER OF STOREYS:	^(A)	6
VEHICLE PARKING STALLS:	133	54
BICYCLE PARKING:	159 CLASS 1 / 35 CLASS 2	161 CLASS 1 / 35 CLASS 2
BUILDING SETBACKS		
FRONT YARD (WEST): (WEST QUADRA ST)	4m / 13.1' AVERAGE, 3m (9.8') MIN ^(E)	2.95m / 9'-8" AT CHURCH NORTH ADDITION
FRONT YARD (SOUTH): (SOUTH BALMORAL RD)	4m / 13.1' AVERAGE, 3m (9.8') MIN ^(E)	4.22m / 13'-10" AT RESIDENTIAL BLDG
REAR YARD (NORTH):	8m / 26.2 ^(E)	5.3m / 17'-4" AT RESIDENTIAL BLDG 5.65m / 18'-6" AT CHURCH NORTH ADDITION
SIDE YARD (EAST):	6m (19'-8") FOR FIRST 1-3 STOREYS, 7.5m (24'7") FOR 4th STOREY, AND 10m (32'-9") FOR THE STOREYS ABOVE ^(E)	6.7m / 21'-11"
RESIDENTIAL USE DETAILS		
TOTAL NUMBER OF UNITS:		129
UNIT TYPES:		LOFTS: 12 (GROUND-ORIENTED) LIVE/WORKS: 7 (GROUND-ORIENTED) STUDIO: 40 1 BED: 38 2 BED: 24 (19%) 3 BED: 8 (6%) = (25% FAMILY UNITS)
MINIMUM UNIT FLOOR AREA:		37 m ² / 403 ft ²
TOTAL RESIDENTIAL FLOOR AREA:		7,975 m ² / 85,837 ft ²

(A) BASED ON SUBSTANTIAL PUBLIC BENEFITS PROVIDED, SEE OCP, NORTH PARK NEIGHBOURHOOD PLAN

(B) SEE RM-4 DISTRICT SCHEDULE 4.2.1

(C) SEE RM-4 DISTRICT SCHEDULE 4.8.1 & 5.3.(C)(V)

(D) SEE RM-4 DISTRICT SCHEDULE 4.3.1

(E) DESIGN GUIDELINES, DCAP

VEHICULAR PARKING REQUIREMENTS

BUILDING USE	REQUIRED PARKING	ACCESSIBLE USE + VAN ACCESSIBLE	REQUIRED PARKING	PROPOSED VEHICLE PARKING
TABLE 1: MINIMUM NUMBER OF REQUIRED VEHICLE PARKING SPACES				
APARTMENT (SECURED RENTAL) 0.50 SPACE PER UNIT < 45 m ² (484 ft ²) 0.60 SPACE PER UNIT > 45 m ² but < 70 m ² 1.00 SPACE PER UNIT > 70 m ² (753 ft ²)	43 x 0.5 = 22	APARTMENT (SECURED RENTAL) = 86 ACCESSIBLE 3 FOR 76 TO 100 SPACES VAN ACCESSIBLE 1 FOR 76 TO 100 SPACES	= 3	USE TYPE COUNT VALUE COMMERCIAL REG 1 1 COMMERCIAL VAN 1 1 2
	54 x 0.6 = 32			
	32 x 1.0 = 32			
VISITOR SPACES 0.10 SPACE PER UNIT	TOTAL = 86 (RESIDENTIAL)	VISITOR SPACES = 13 ACCESSIBLE 0 PER 6 TO 25 SPACES VAN ACCESSIBLE 1 PER 6 TO 25 SPACES	= 0	INSTITUTIONAL ACC 1 1 INSTITUTIONAL REG 4 4 INSTITUTIONAL VAN 1 1 6
	129 x 0.10 = 13			
	TOTAL = 13 (VISITOR)			
ARTS AND CULTURE (CHURCH + 1/2 NEW ADDITION) 1 SPACE PER 80 m ²	2208 m ² / 80 m ² = 28	INSTITUTIONAL = 28 ACCESSIBLE 1 FOR 26 TO 50 PARKING SPACES VAN ACCESSIBLE 1 FOR 26 TO 50 SPACES	= 1	RESIDENTIAL ACC 3 3 RESIDENTIAL REG 35 35 RESIDENTIAL VAN 1 1 39
PLACE OF WORSHIP (1/2 NEW ADDITION) N/A	427 m ² / N/A = 0	COMMERCIAL = 6 ACCESSIBLE 0 FOR 6 TO 25 SPACES VAN ACCESSIBLE 1 FOR 6 TO 25 SPACES	= 1	VISITOR REG 6 6 VISITOR VAN 1 1 7
RESTAURANT 1 SPACE PER 40 m ²	68 m ² + OUTDOOR SEATING /40 m ² = 3	TOTAL REGULAR ACCESSIBLE = 4 TOTAL VAN ACCESSIBLE = 4 TOTAL VISITOR ACCESSIBLE = 1	= 0	54
OFFICE 1 SPACE PER 70 m ²	204 m ² /70 m ² = 3			
	TOTAL = 6 (COMMERCIAL)			
	TOTAL = 133			

BIKE PARKING REQUIREMENTS

CLASS 1 - LONG-TERM USE		REQUIRED PARKING	CLASS 2 - SHORT-TERM USE		REQUIRED PARKING	PROPOSED BIKE PARKING				
TABLE 2: MINIMUM NUMBER OF REQUIRED BIKE PARKING SPACES						CLASS 1 - LONG-TERM USE PROGRAMUSETYPECOUNTVALUE COMMERCIALLONG-TERMH33 INSTITUTIONALLONG-TERMH55 RESIDENTIALLONG-TERMH9393 RESIDENTIALLONG-TERMV6060 153 161 CLASS 2 - SHORT-TERM USE PROGRAMUSETYPECOUNTVALUE COMMERCIALSHORT-TERMH22 INSTITUTIONALSHORT-TERMH2020 RESIDENTIALSHORT-TERMH1313 35 NOTE: ALL BICYCLE STALLS WITHIN THE PARKADE ARE LONG-TERM RESIDENTIAL				
MULTIPLE DWELLING 1.00 SPACE PER UNIT < 45 m² (484 ft²) 1.25 SPACE PER UNIT > 45 m² (484 ft²)		43 x 1.00 = 43 86 x 1.25 = 108	MULTIPLE DWELLING GREATER OF 6 SPACES OR 0.10 SPACES PER UNIT		129 X 0.10 = 13					
TOTAL = 151 (RESIDENTIAL)			TOTAL = 13 (RESIDENTIAL)							
ARTS AND CULTURE 1.00 SPACE PER 450 m² (4844 ft²)		2208 m² / 450 m² = 5	ARTS AND CULTURE 1.00 SPACE PER 130 m²		2208 m² / 130 m² = 17					
PLACE OF WORSHIP N/A		427 m² / N/A = 0	PLACE OF WORSHIP 1.00 SPACE PER 200 m²		427 m² / 200 m² = 3					
TOTAL = 5 (INSTITUTIONAL)			TOTAL = 20 (INSTITUTIONAL)							
RESTAURANT 1.00 SPACE PER 400 m² (4306 ft²)		68 m² / 400 m² = 1	RESTAURANT 1.00 SPACE PER 100 m²		68 m² / 100 m² = 1					
OFFICE 1.00 SPACE PER 150 m² (1615 ft²)		204 m² / 150 m² = 2	OFFICE 1.00 SPACE PER 400 m² (4306 ft²)		204 m² / 400 m² = 1					
TOTAL = 3 (COMMERCIAL)			TOTAL = 2 (COMMERCIAL)							
TOTAL = 159			TOTAL = 35							



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201-877 EAST HASTINGS STREET
VANCOUVER, BC, CANADA, V6A 3Y1
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934 BALMORAL RD & 1701 QUADRA ST

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MAY 5, 2025
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2025-05-28

DEVELOPMENT DATA

SCALE

12" = 1'-0"



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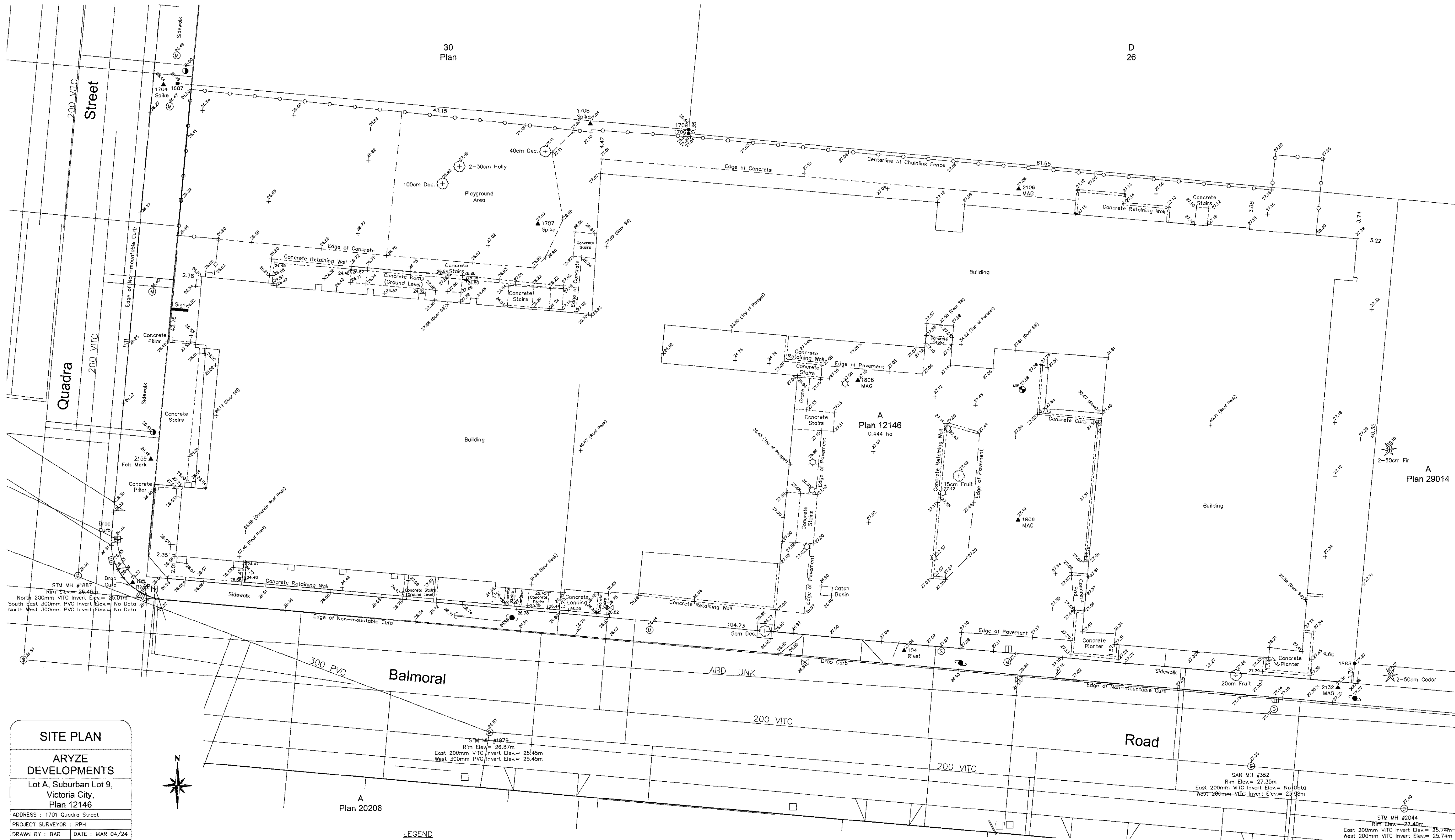
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2025-05-28

SURVEY

SCALE



SITE PLAN

ARYZE DEVELOPMENTS

Lot A, Suburban Lot 9, Victoria City, Plan 12146

ADDRESS : 1701 Quadra Street

PROJECT SURVEYOR : RPH

DRAWN BY : BAR DATE : MAR 04/24

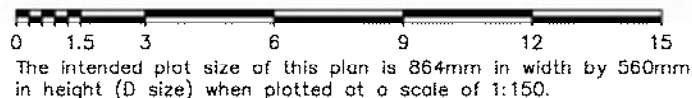
OUR FILE : 34740 REVISION :

JEA

J.E. ANDERSON & ASSOCIATES

SURVEYORS - ENGINEERS

4212 GLANFORD AVE, VICTORIA, B.C. V6Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL : info@janderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER



The intended plot size of this plan is 864mm in width by 360mm in height (D size) when plotted at a scale of 1:150.

- LEGEND
- Denotes Standard Iron Post Found

■

Denotes Lead Plug Found

▲

Denotes Traverse Station Placed

▣

Denotes Catch Basin

○

Denotes Cleanout

★

Denotes Coniferous Tree

Dec.

Denotes Deciduous Tree

⊙

Denotes Drain Manhole
- ☆

Denotes Lamp Standard
- ⊕

Denotes Manhole
- ⊗

Denotes Monitoring Well
- Ⓢ

Denotes Sewer Manhole
- Ⓢ

Denotes Sewer Service
- 22.00+

Denotes Street Sign
- ⊕

Denotes Typical Spot Elevation
- ⊕

Denotes Utility Box

●

Denotes Utility Pole

⌵

Denotes Utility Pole Anchor

⌵

Denotes Water Valve Box

Elev.

Denotes Elevation

PVC

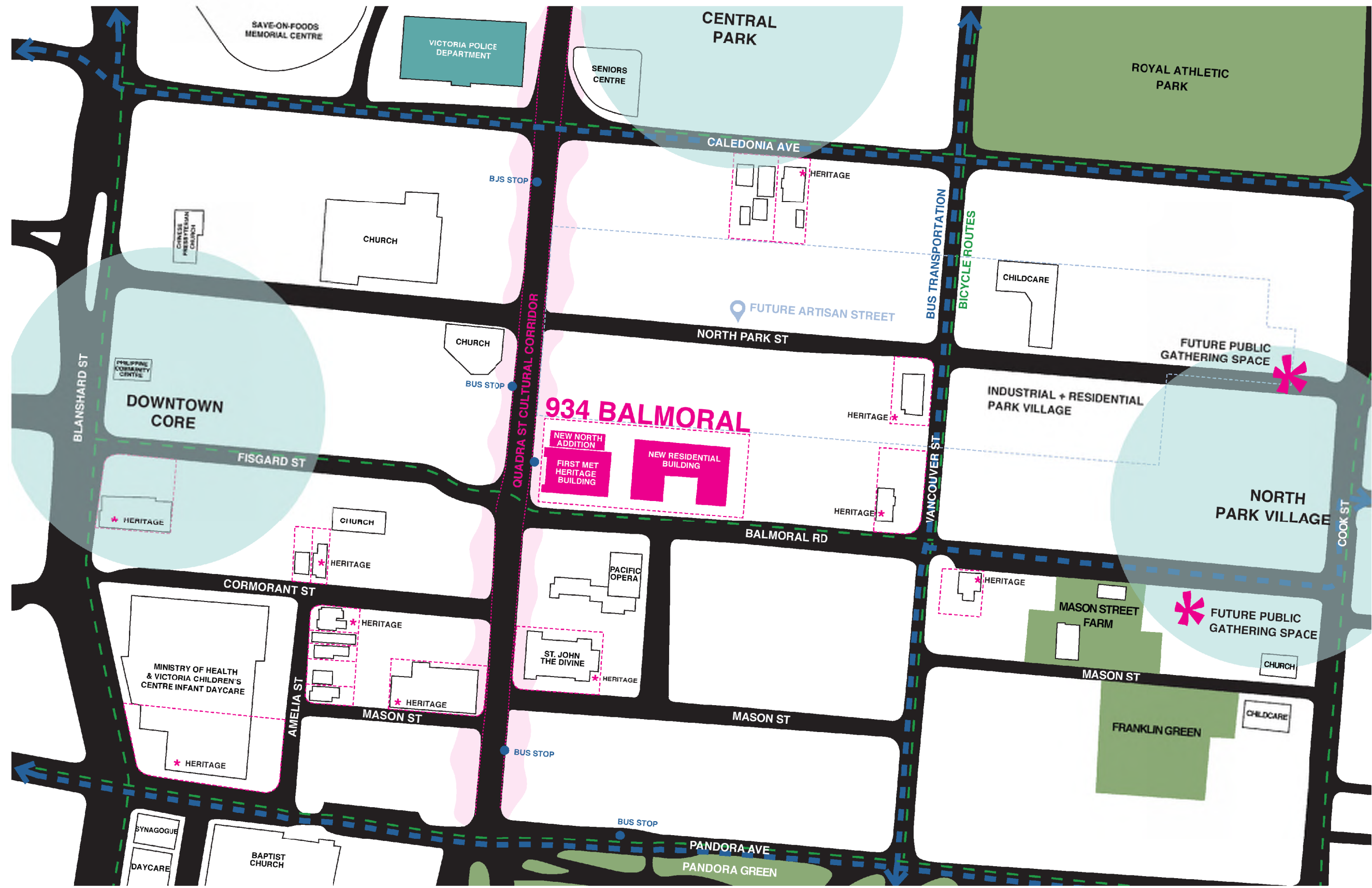
Denotes Polyvinyl Chloride Pipe

WTC

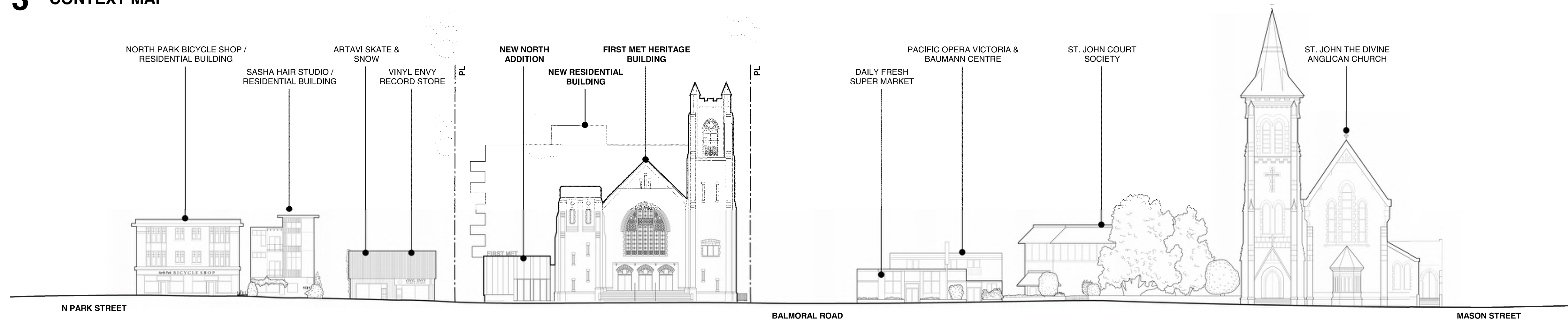
Denotes Vitrified Clay Pipe

Distances and elevations are in metres
Elevations are geodetic based on control monument 16-54
Elevations are at grade unless noted otherwise
Dimensions from property line are to brick
Underground servicing shown schematically and acquired from Victoria GIS
Invert data derived from VicMap

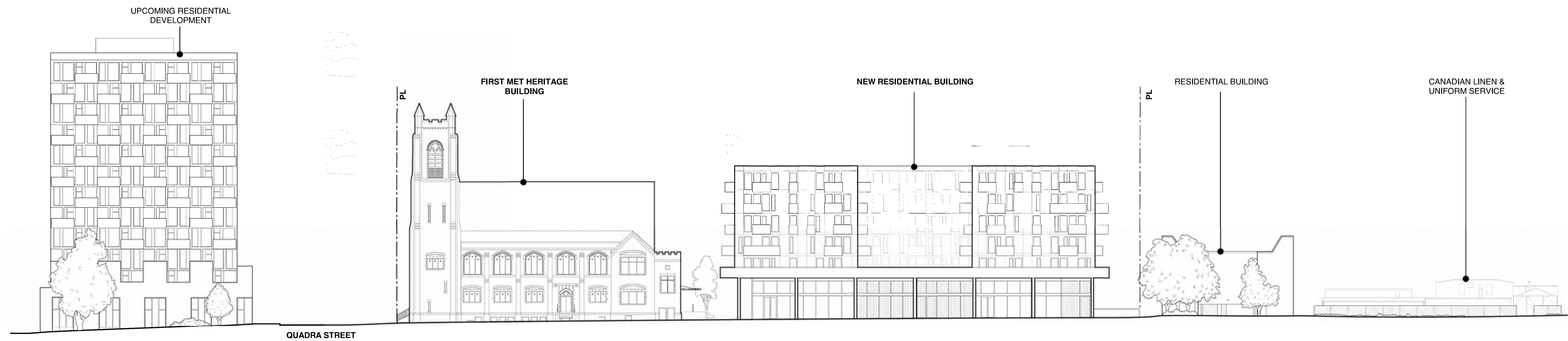
This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.
This plan is intended for use as a topographic site plan. It is based on Land Title Office records and ties to surrounding survey evidence and does not represent a boundary survey. Critical lot dimensions, lot areas and building setbacks should be confirmed by a legal cadastral survey.
Subject to charges, legal notations, and interests shown on: Title No. CB937686 (P.I.D. 004-978-941)



3 CONTEXT MAP



2 STREETSCAPE: BALMORAL ROAD



1 STREETSCAPE: QUADRA STREET



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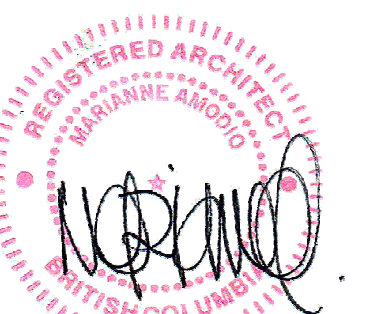
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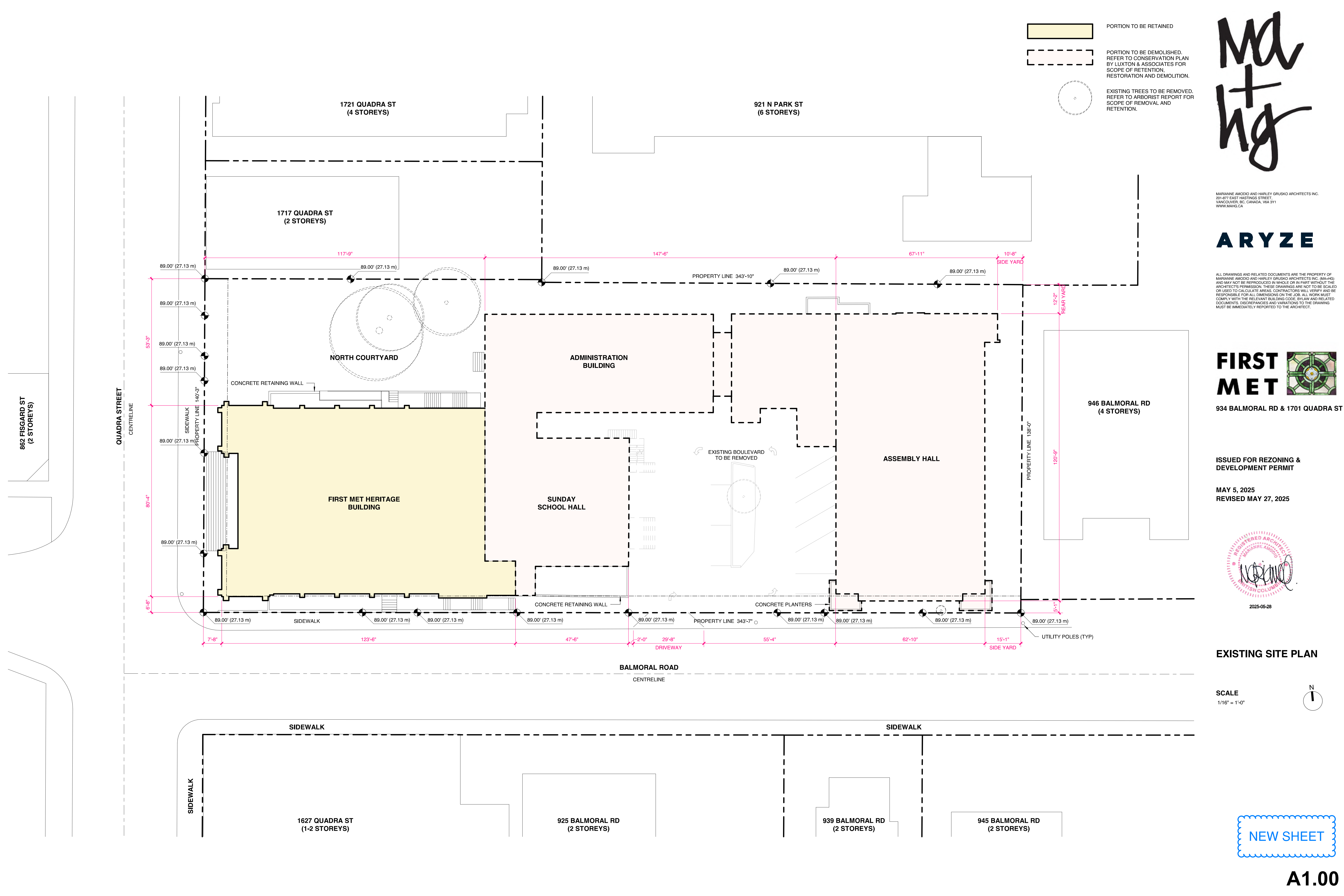


2025-05-28

SITE CONTEXT

SCALE





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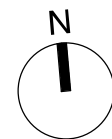
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EXISTING LOWER
FLOOR PLAN - FIRST
MET HERITAGE BLDG

SCALE
1/8" = 1'-0"



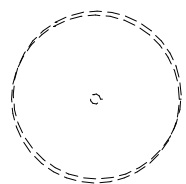
NEW SHEET



PORTION TO BE RETAINED



PORTION TO BE DEMOLISHED.
REFER TO CONSERVATION PLAN
BY LUXTON & ASSOCIATES FOR
SCOPE OF RETENTION,
RESTORATION AND DEMOLITION.



EXISTING TREES TO BE REMOVED.
REFER TO ARBORIST REPORT FOR
SCOPE OF REMOVAL AND
RETENTION.



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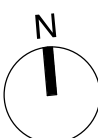
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EXISTING FIRST FLOOR
PLAN - FIRST MET
HERITAGE BLDG

SCALE
1/8" = 1'-0"

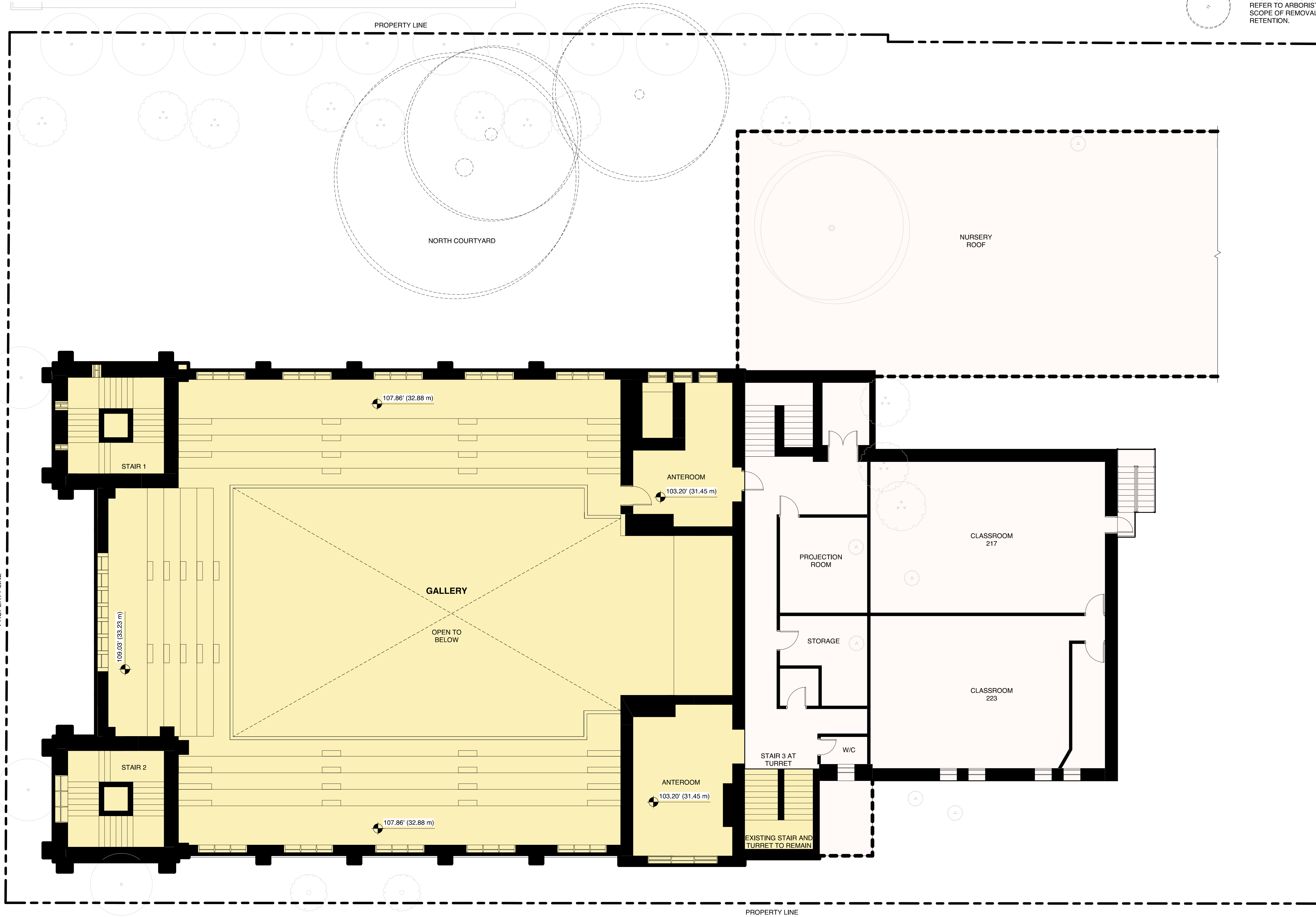


NEW SHEET

A1.02

QUADRA STREET

PROPERTY LINE



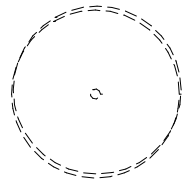
BALMORAL ROAD



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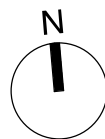
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**EXISTING MEZZANINE
PLAN - FIRST MET
HERITAGE BLDG**

SCALE
1/8" = 1'-0"

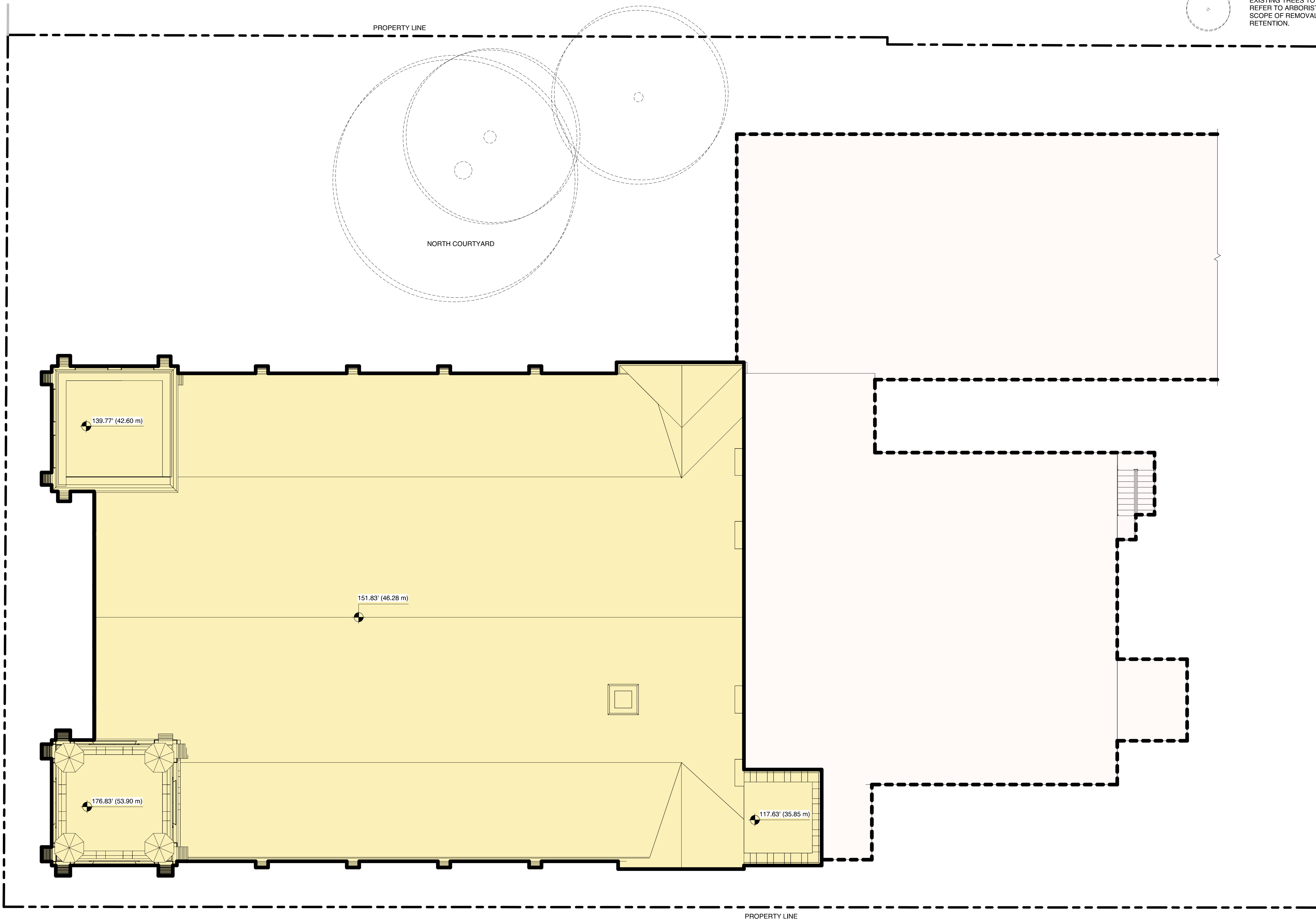


NEW SHEET

A1.03

QUADRA STREET

PROPERTY LINE



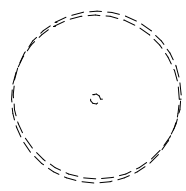
BALMORAL ROAD



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REFER TO CONSERVATION PLAN
BY LUXTON & ASSOCIATES FOR
SCOPE OF RETENTION,
RESTORATION AND DEMOLITION.



EXISTING TREES TO BE REMOVED.
REFER TO ARBORIST REPORT FOR
SCOPE OF REMOVAL AND
RETENTION.

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FIRST
MET



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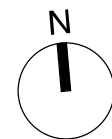
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2025-05-28

EXISTING ROOF PLAN -
FIRST MET HERITAGE
BLDG

SCALE
1/8" = 1'-0"

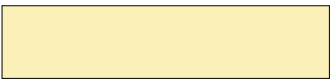


NEW SHEET

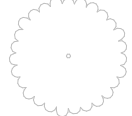
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PORTION TO BE DEMOLISHED.
REFER TO CONSERVATION PLAN
BY LUXTON & ASSOCIATES FOR
SCOPE OF RETENTION,
RESTORATION AND DEMOLITION.

EXISTING TREES TO BE REMOVED.
REFER TO ARBORIST REPORT FOR
SCOPE OF REMOVAL AND
RETENTION.



AREAS OF NEW CONSTRUCTION



NEW TREES, REFER TO
LANDSCAPE DRAWINGS FOR
ALL SPECIES AND SIZES.

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FIRST
MET



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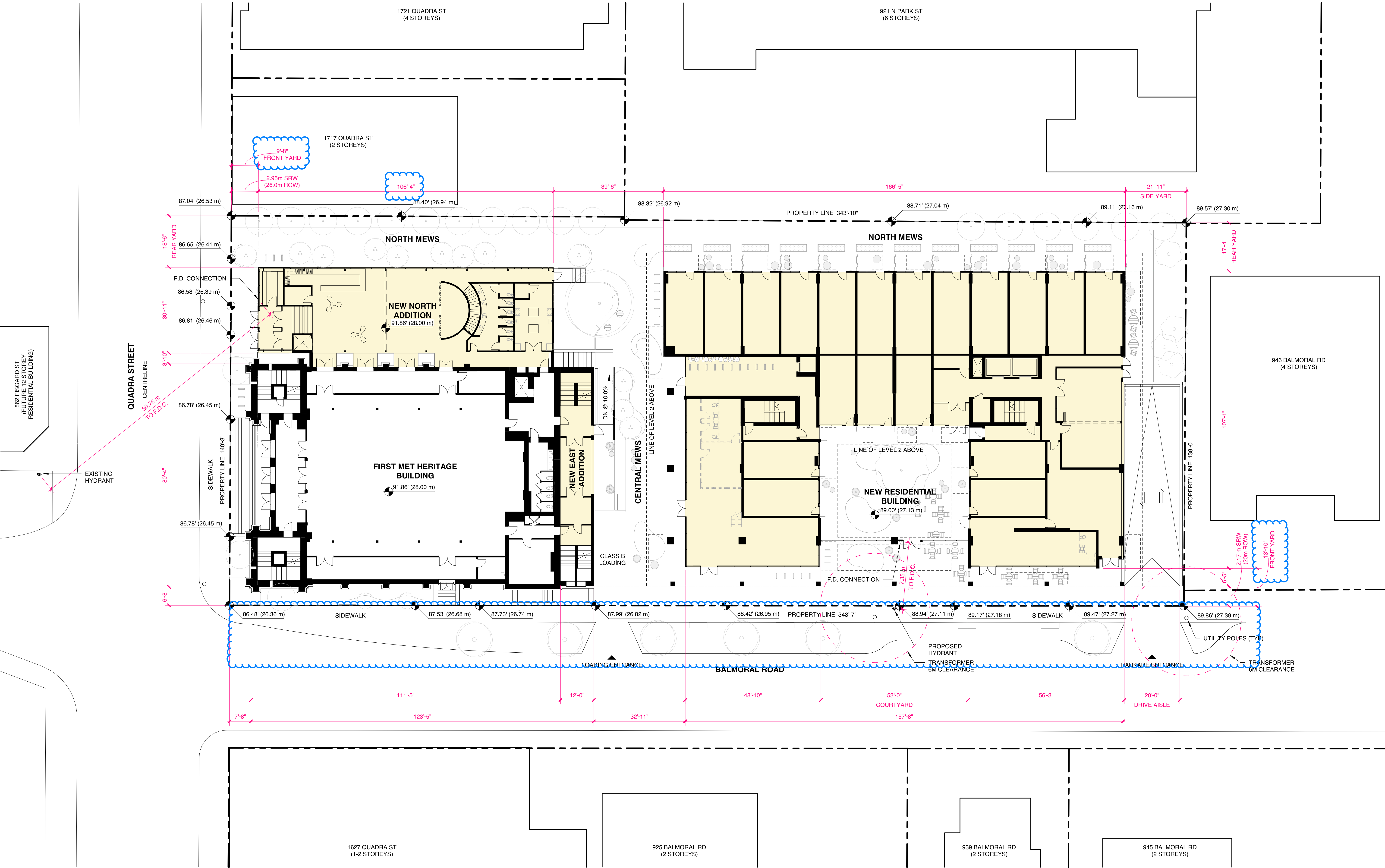


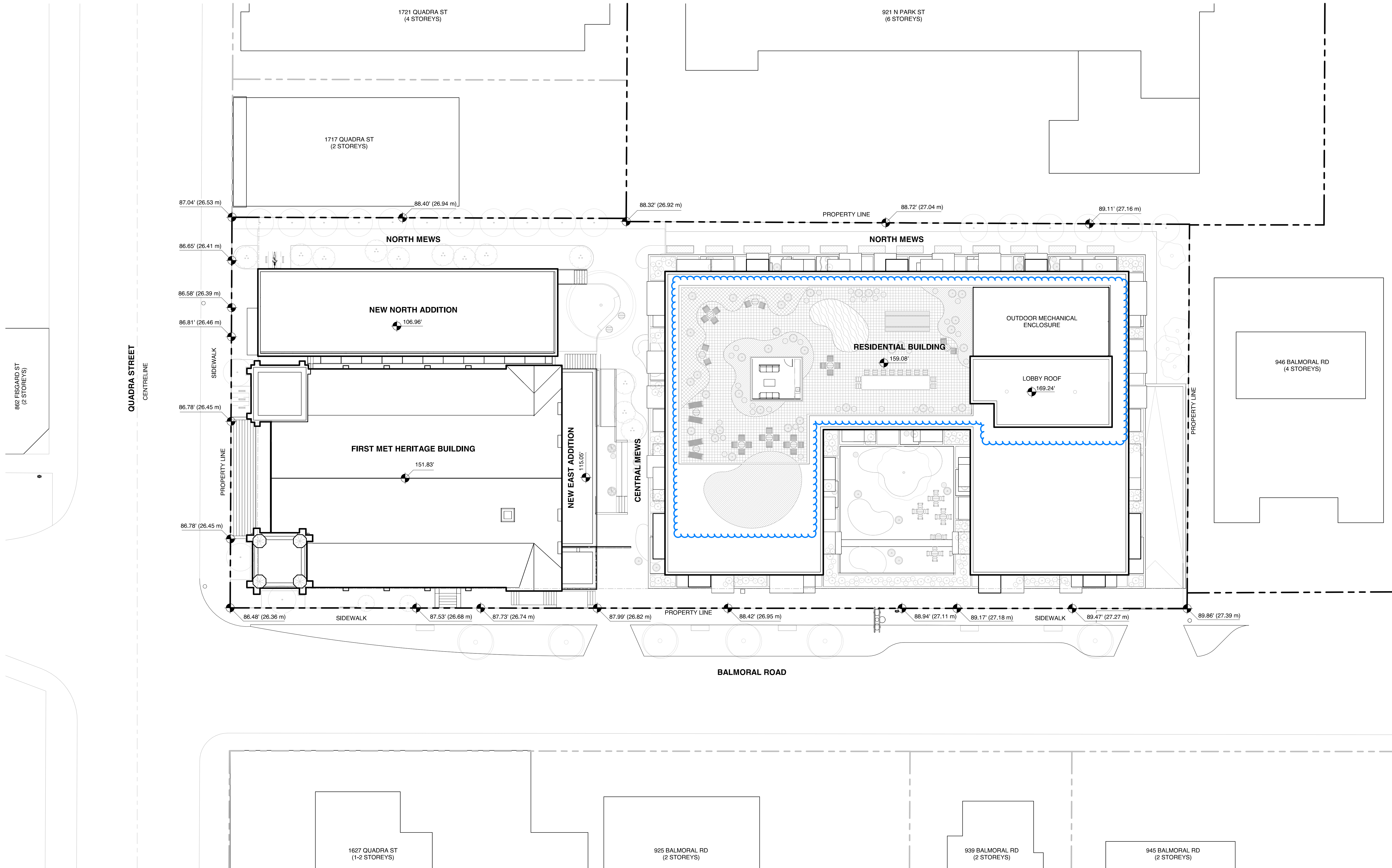
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SITE PLAN AT LEVEL 1

SCALE

1/16" = 1'-0"





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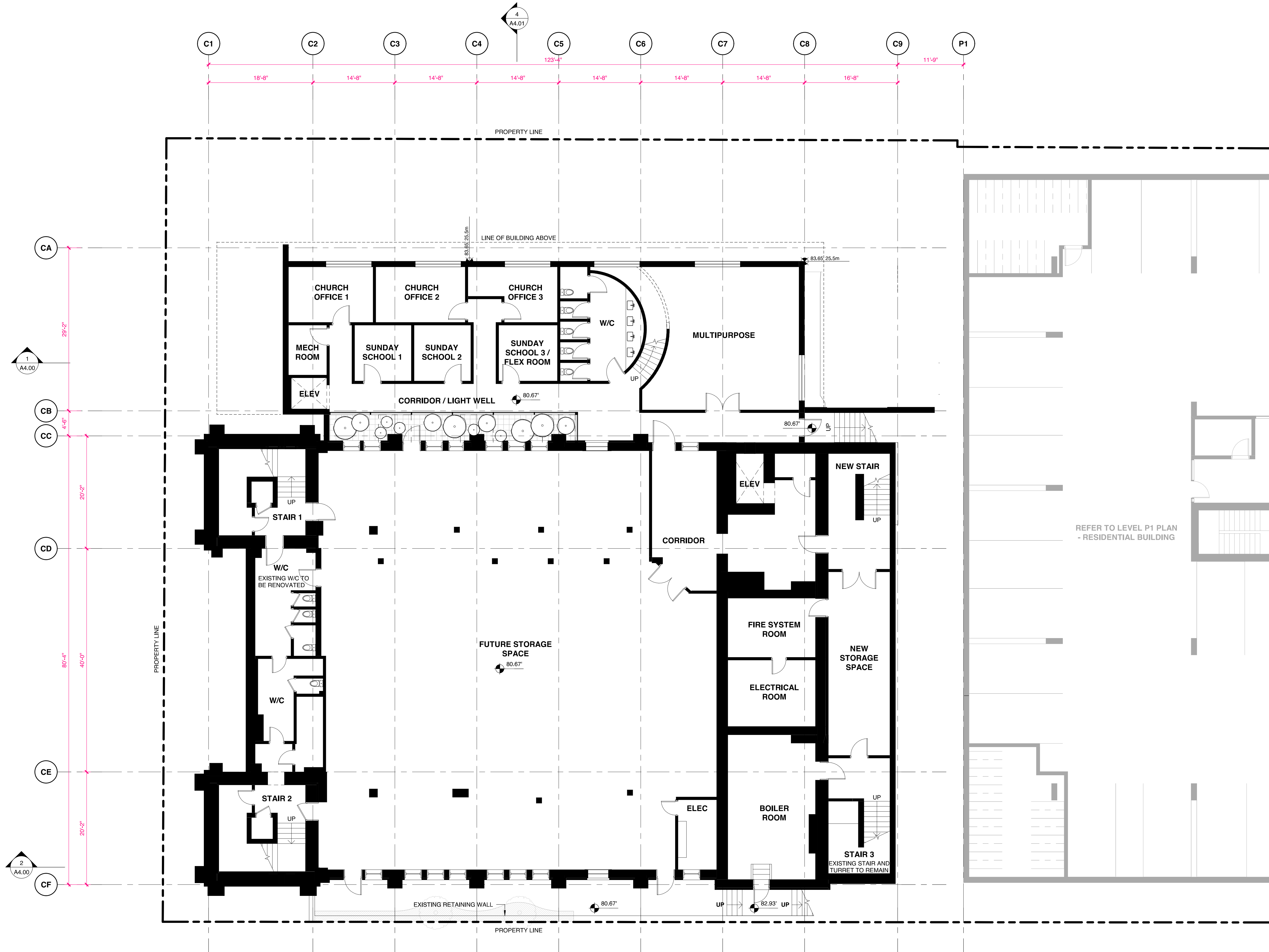


2025-05-28

SITE PLAN AT ROOF

SCALE
1/16" = 1'-0"





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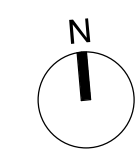
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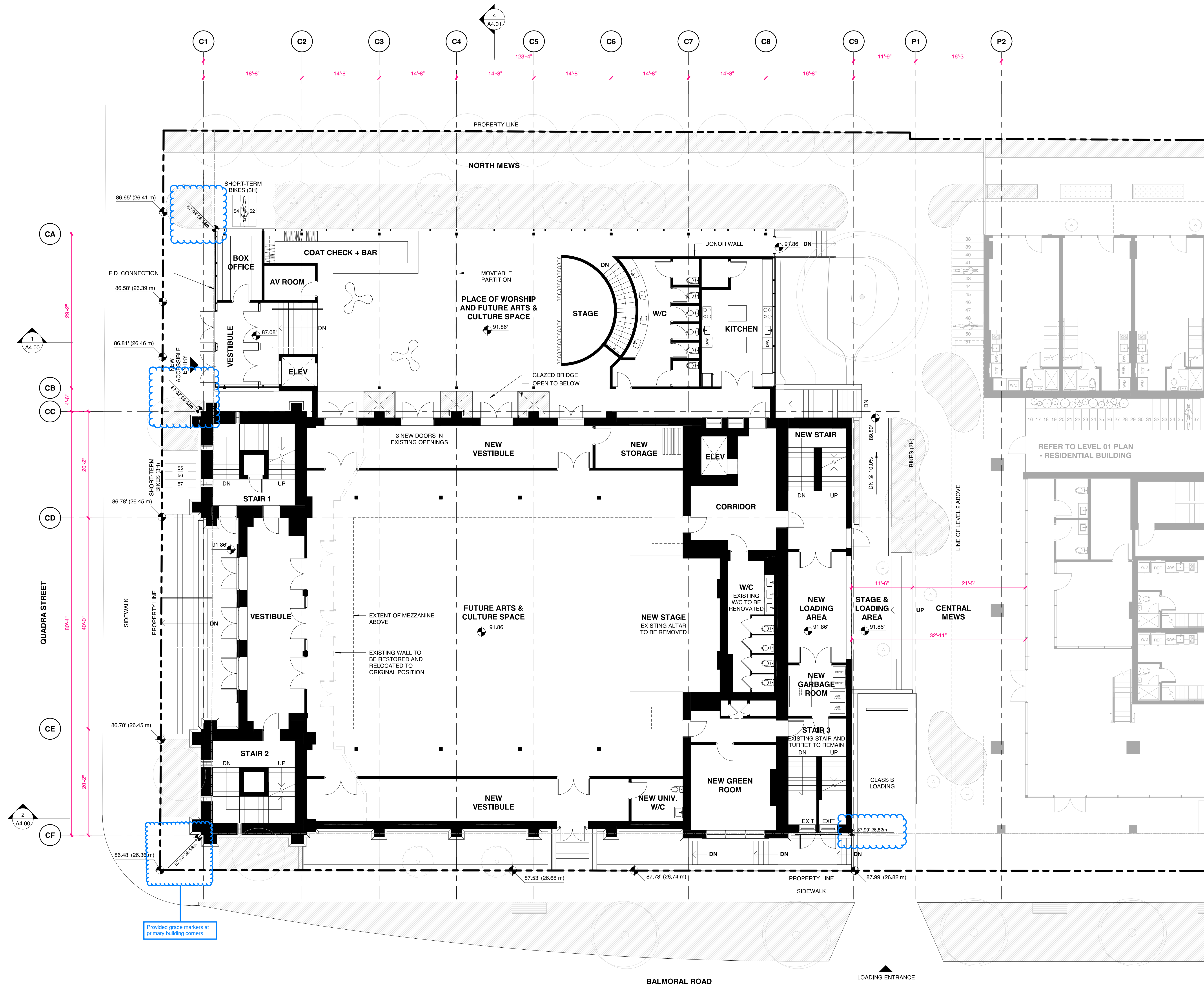
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LOWER FLOOR PLAN - FIRST MET HERITAGE BLDG

SCALE
1/8" = 1'-0"





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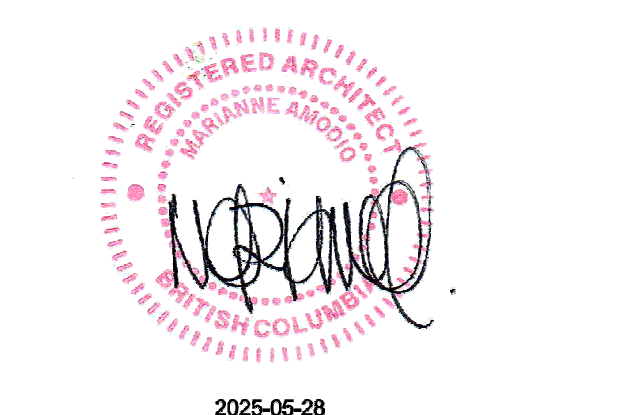
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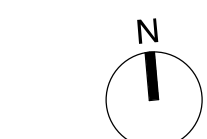
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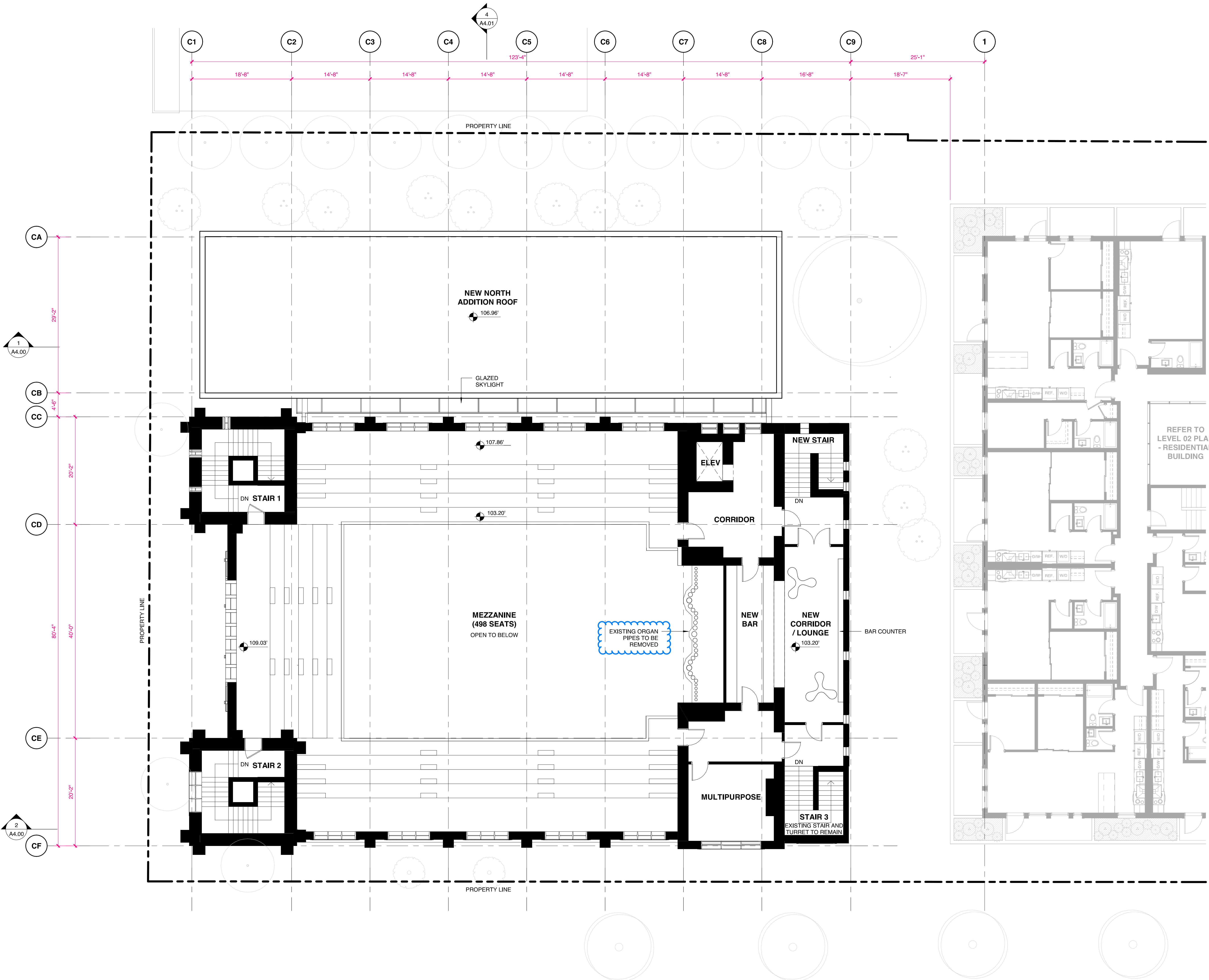
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FIRST FLOOR PLAN - FIRST MET HERITAGE BLDG

SCALE
1/8" = 1'-0"





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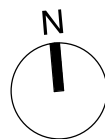
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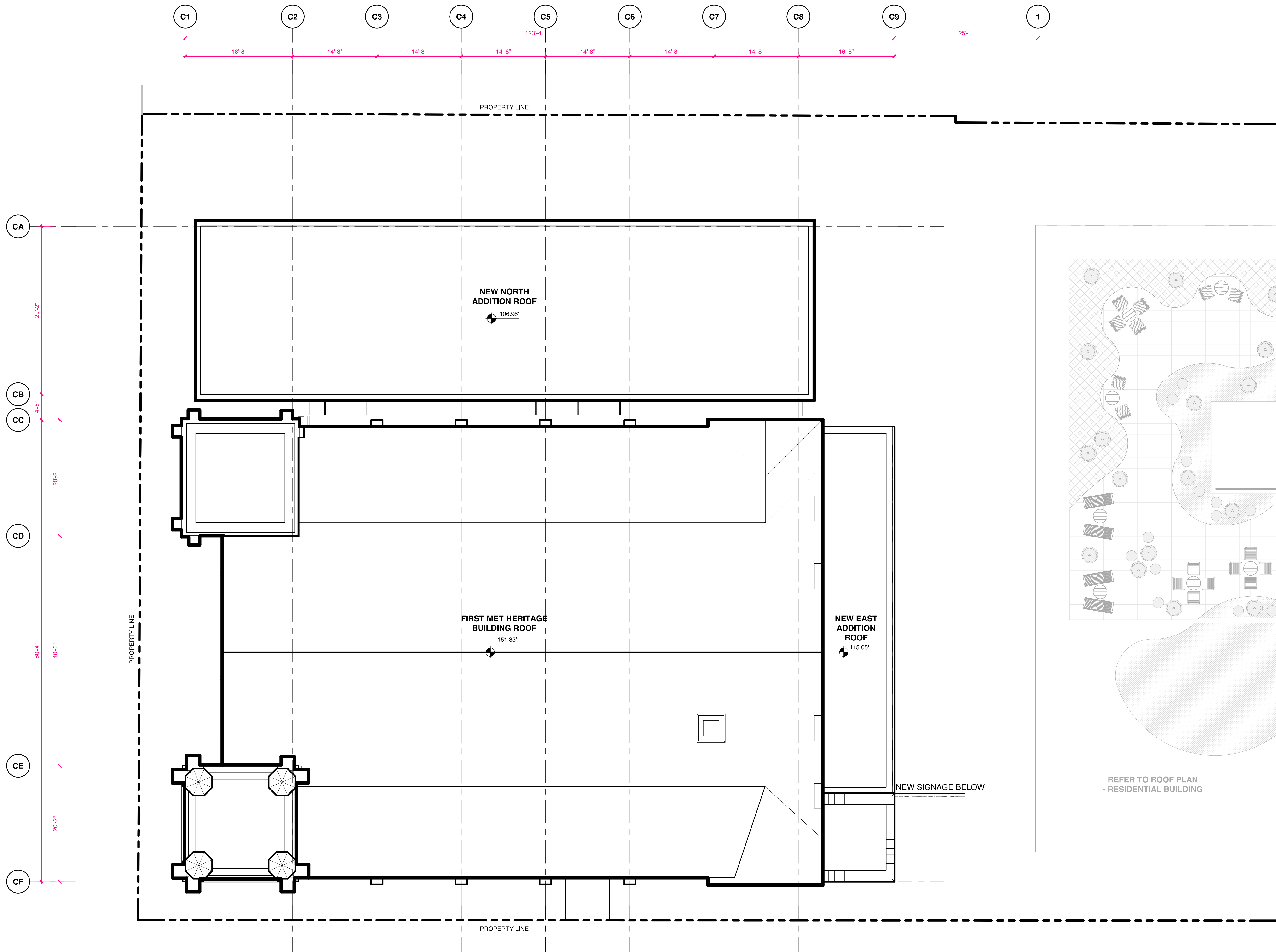
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MEZZANINE PLAN - FIRST MET HERITAGE BLDG

SCALE
1/8" = 1'-0"





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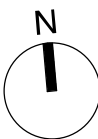
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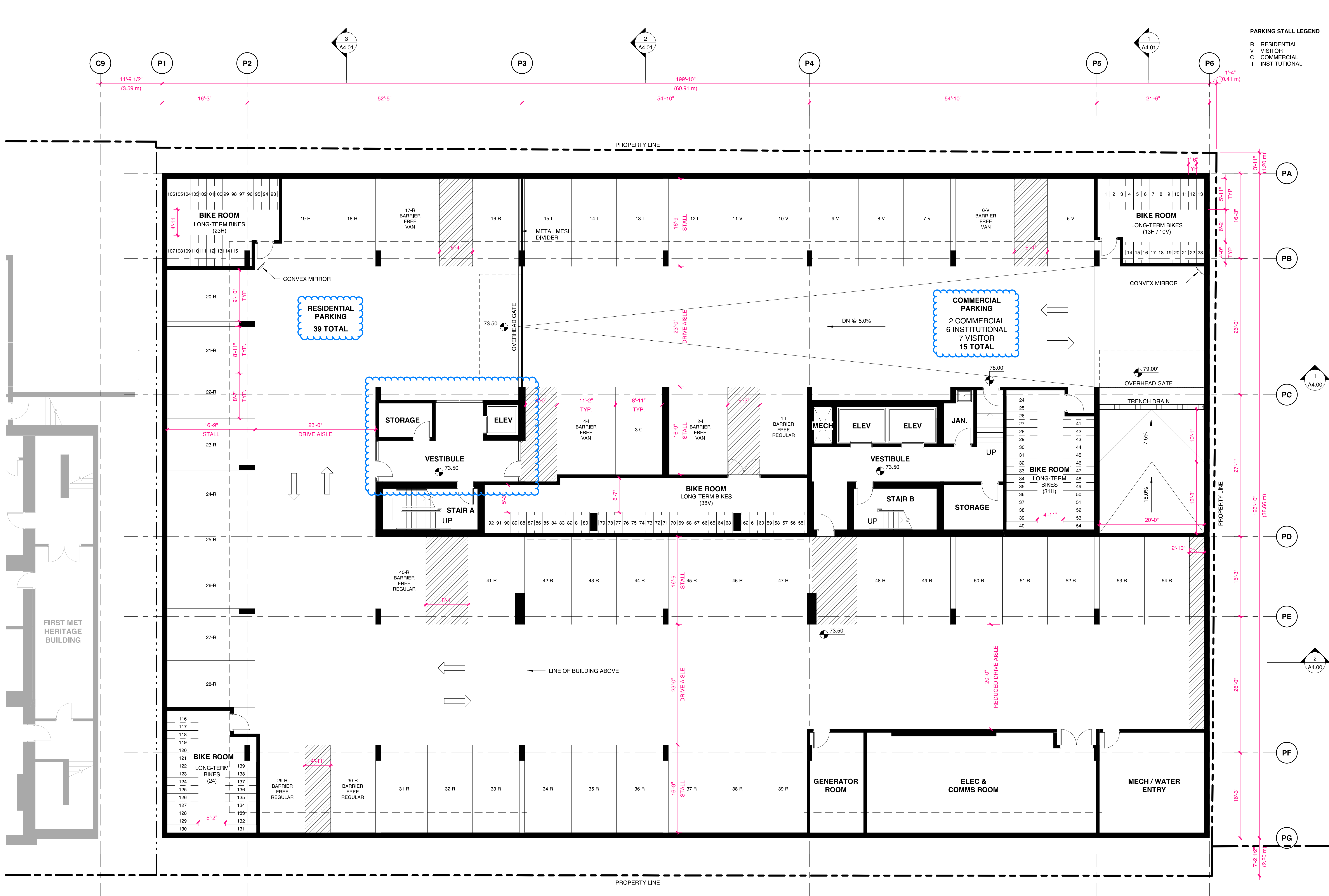


2025-05-28

ROOF PLAN - FIRST MET HERITAGE BLDG

SCALE
1/8" = 1'-0"





- PARKING STALL LEGEND**
- R RESIDENTIAL
 - V VISITOR
 - C COMMERCIAL
 - I INSTITUTIONAL



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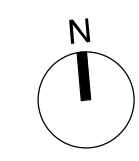
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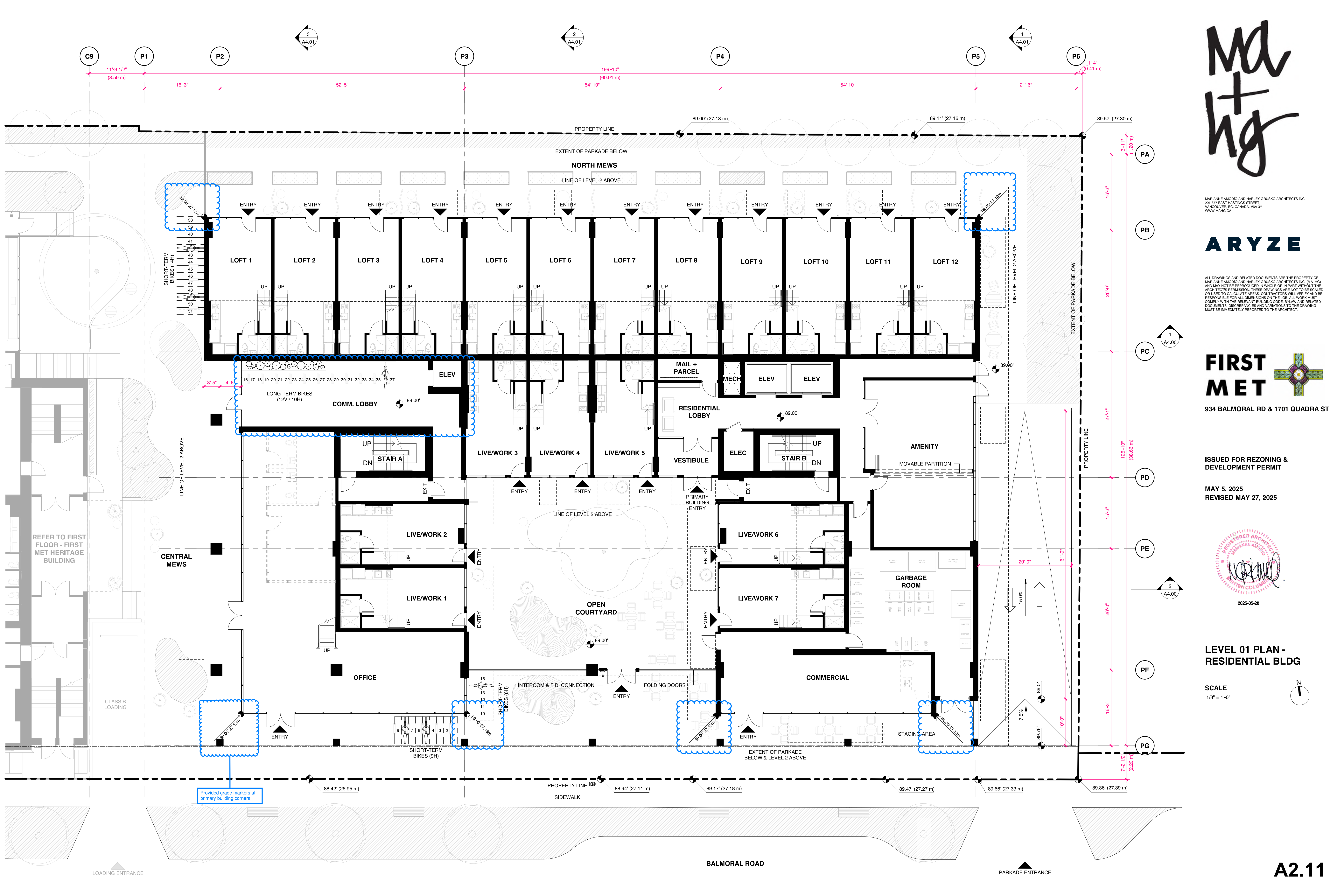
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LEVEL P1 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"





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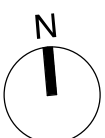
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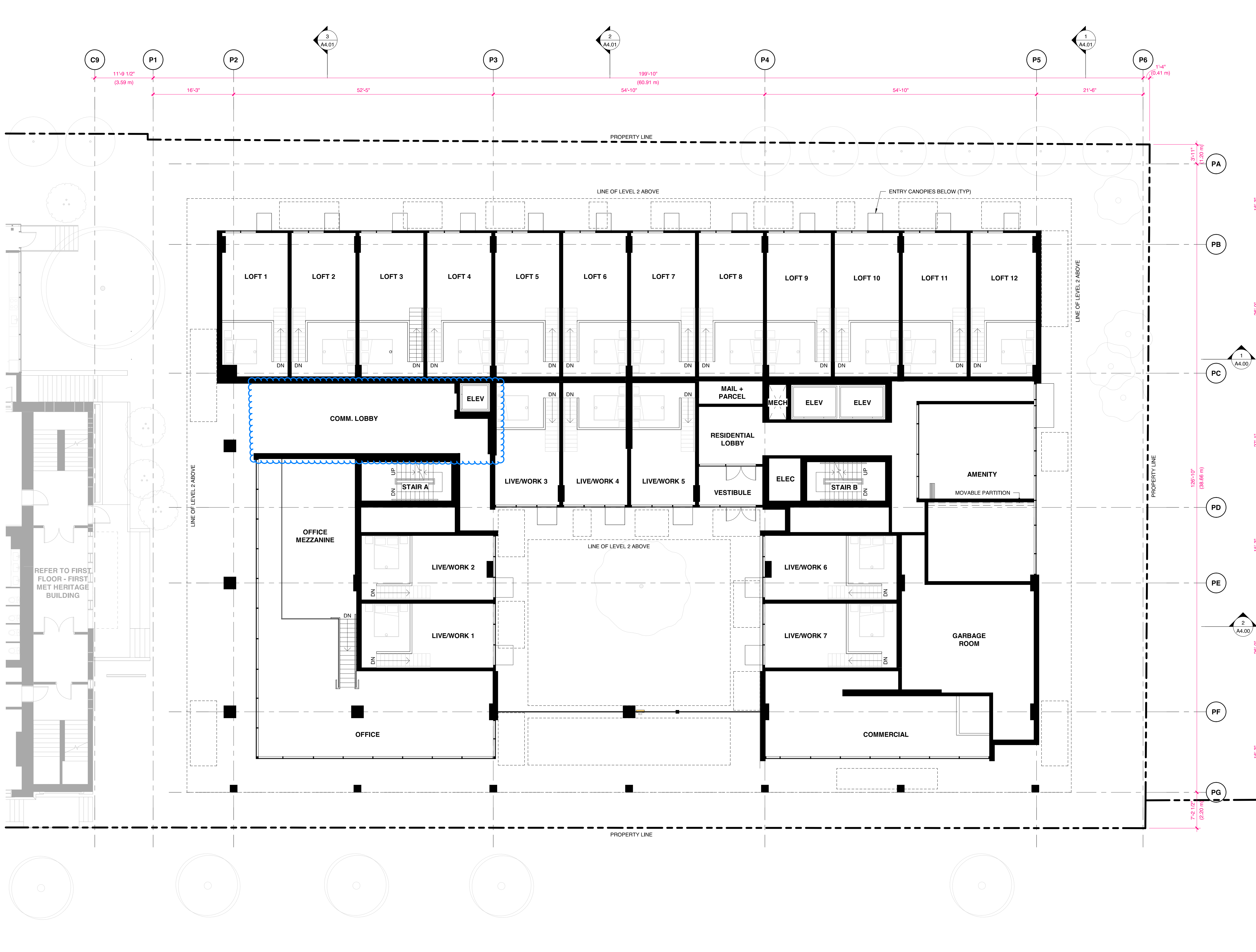


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LEVEL 01 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"





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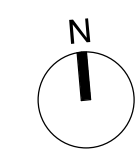
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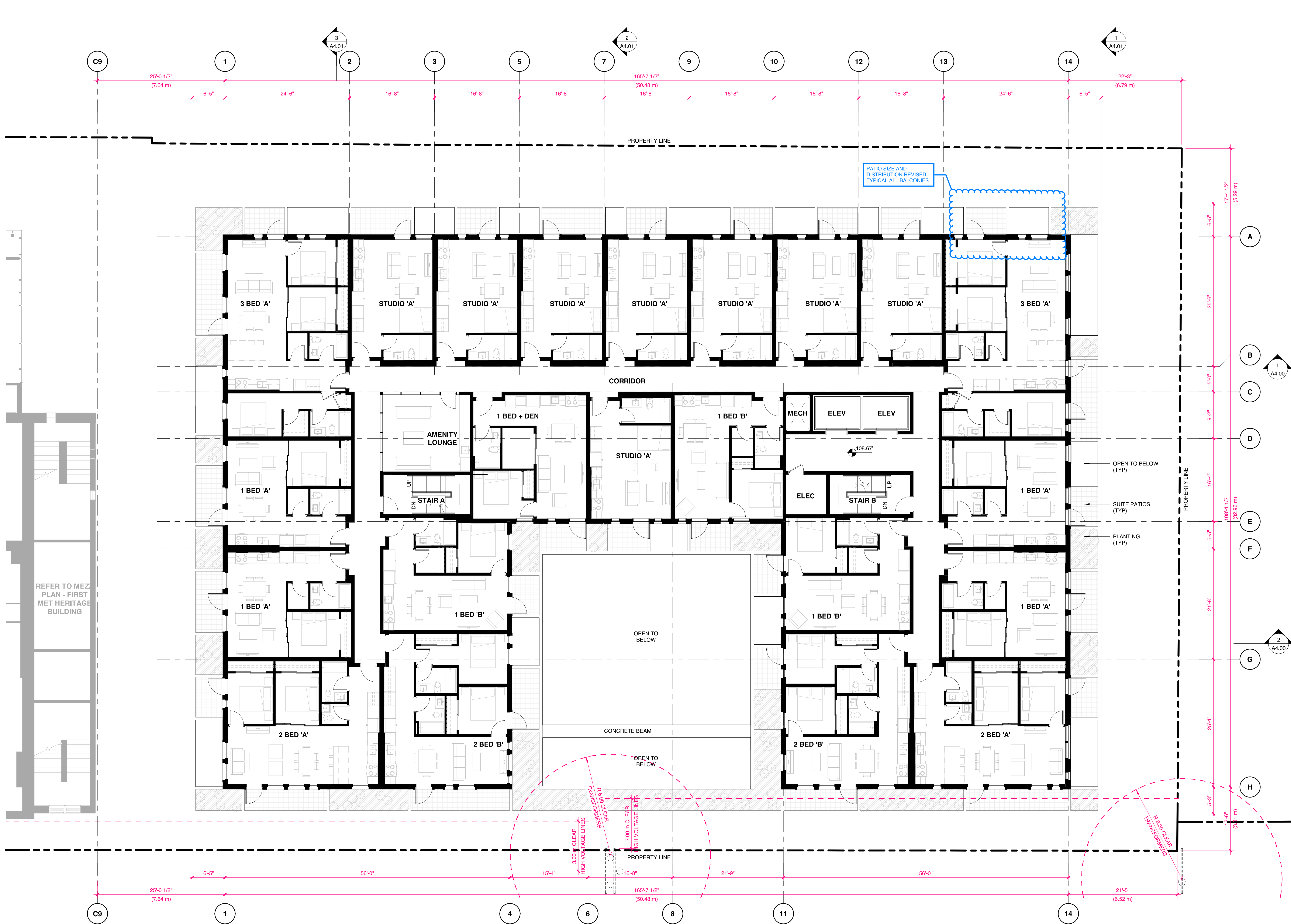
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MEZZANINE PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"





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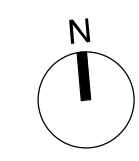
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LEVEL 02 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"





- BALCONY LEGEND**
- | | | | |
|---|---------------------------------|---|---------------------------------|
| A | BALCONY TYPE A - 8'-4" x 4'-6" | D | BALCONY TYPE D - 12'-6" x 6'-8" |
| B | BALCONY TYPE B - 8'-4" x 6'-8" | E | BALCONY TYPE E: 16'-8" x 4'-6" |
| C | BALCONY TYPE C - 12'-6" x 4'-6" | J | JULIETTE BALCONY: 4'-2" |



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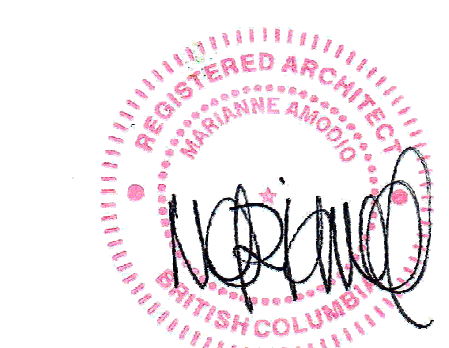
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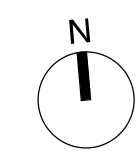
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LEVEL 03 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"





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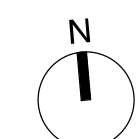
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LEVEL 04 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"





- BALCONY LEGEND**
- | | | | |
|---|---------------------------------|---|---------------------------------|
| A | BALCONY TYPE A - 8'-4" x 4'-6" | D | BALCONY TYPE D - 12'-6" x 6'-8" |
| B | BALCONY TYPE B - 8'-4" x 6'-8" | E | BALCONY TYPE E: 16'-8" x 4'-6" |
| C | BALCONY TYPE C - 12'-6" x 4'-6" | J | JULIETTE BALCONY: 4'-2" |



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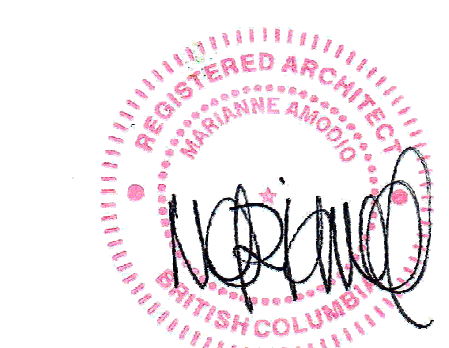
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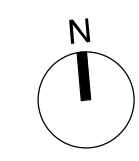
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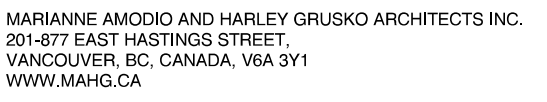
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LEVEL 05 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"

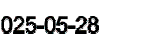




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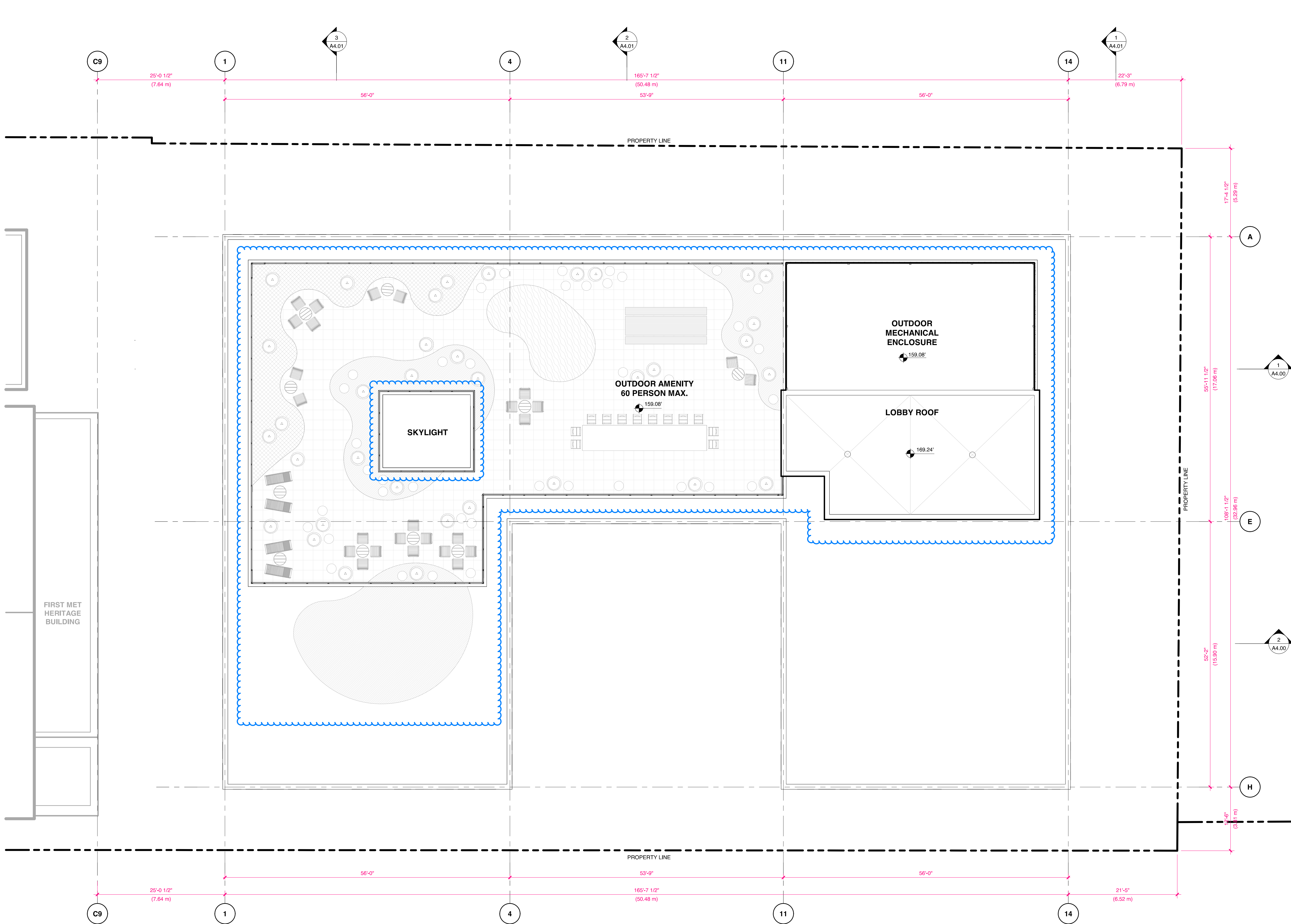
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SCALE
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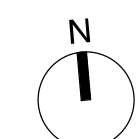
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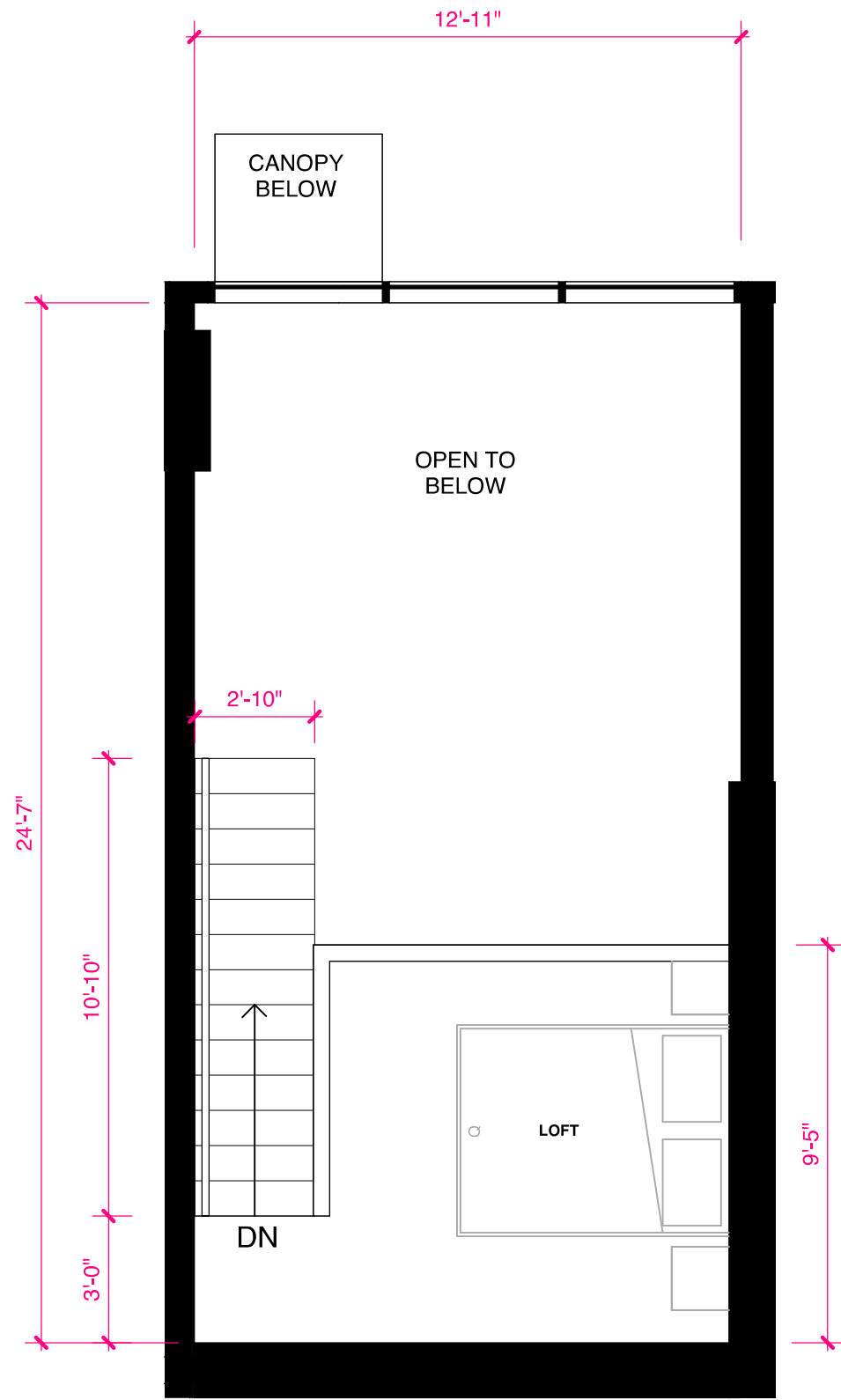
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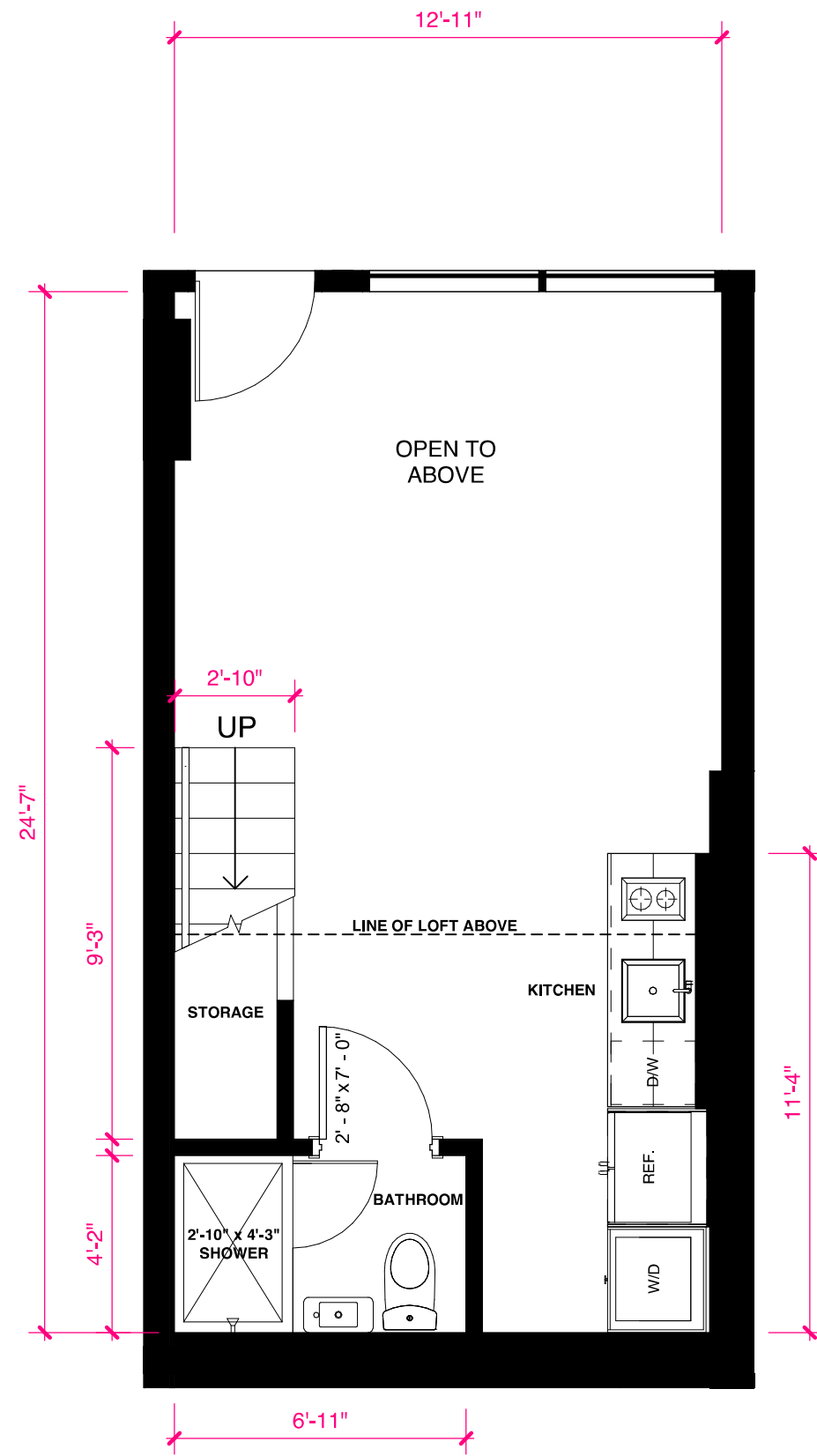
ROOF PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"

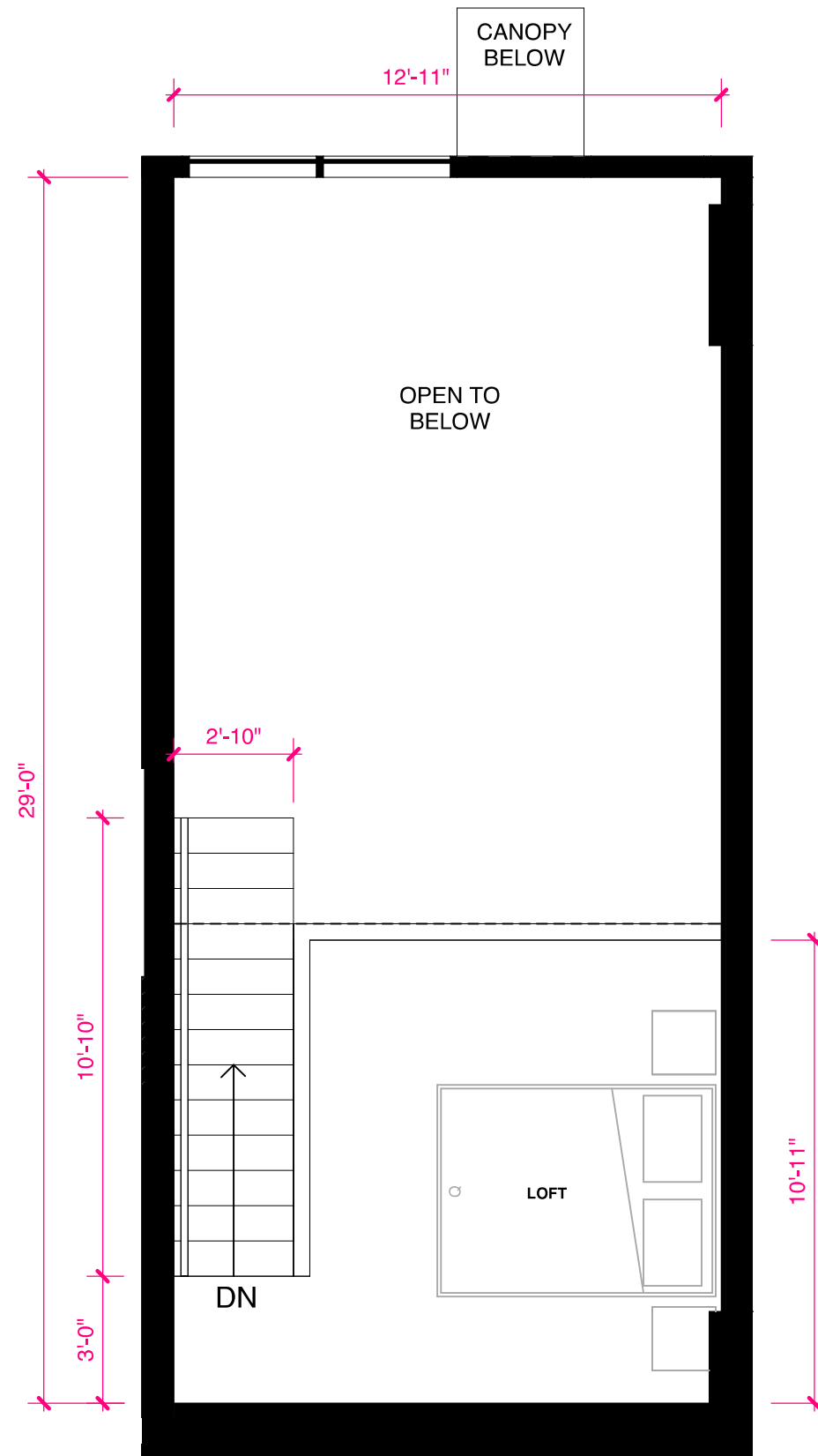




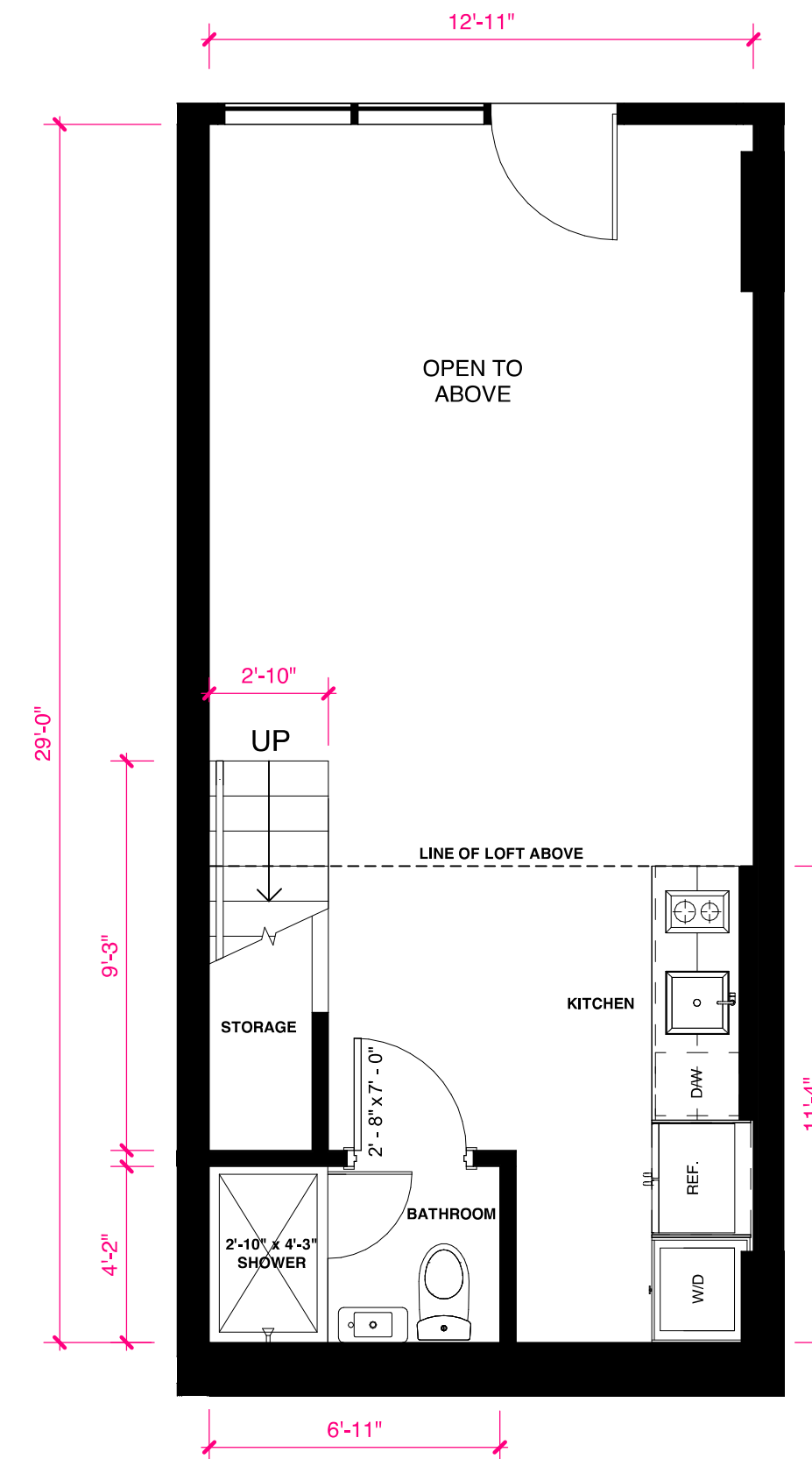
GROSS AREA: 117 SF / 463 SF
7 **LIVE/WORK B - MEZZANINE**
1/4" = 1'-0" |



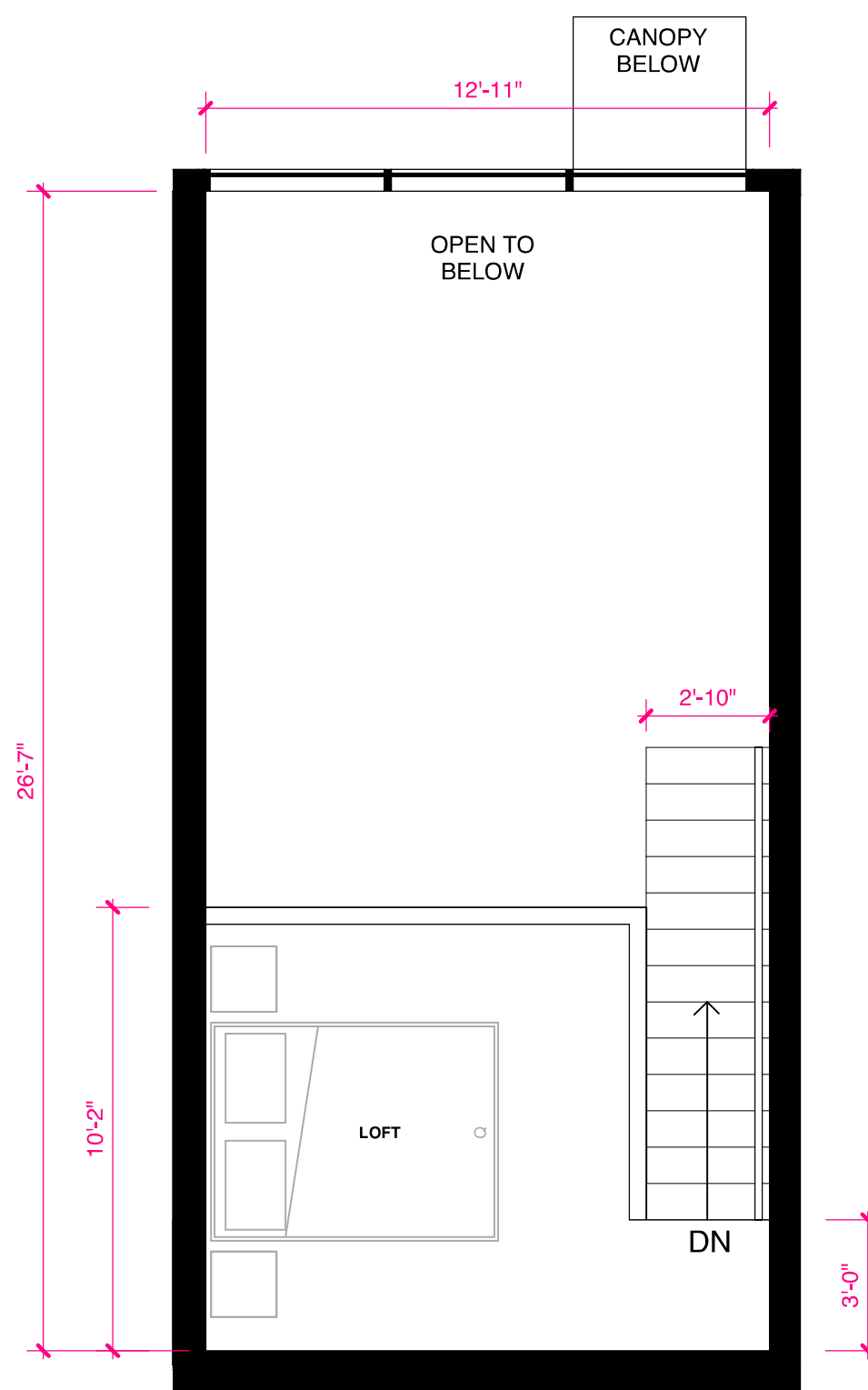
GROSS AREA: 346 SF / 463 SF
6 **LIVE/WORK B**
1/4" = 1'-0" |



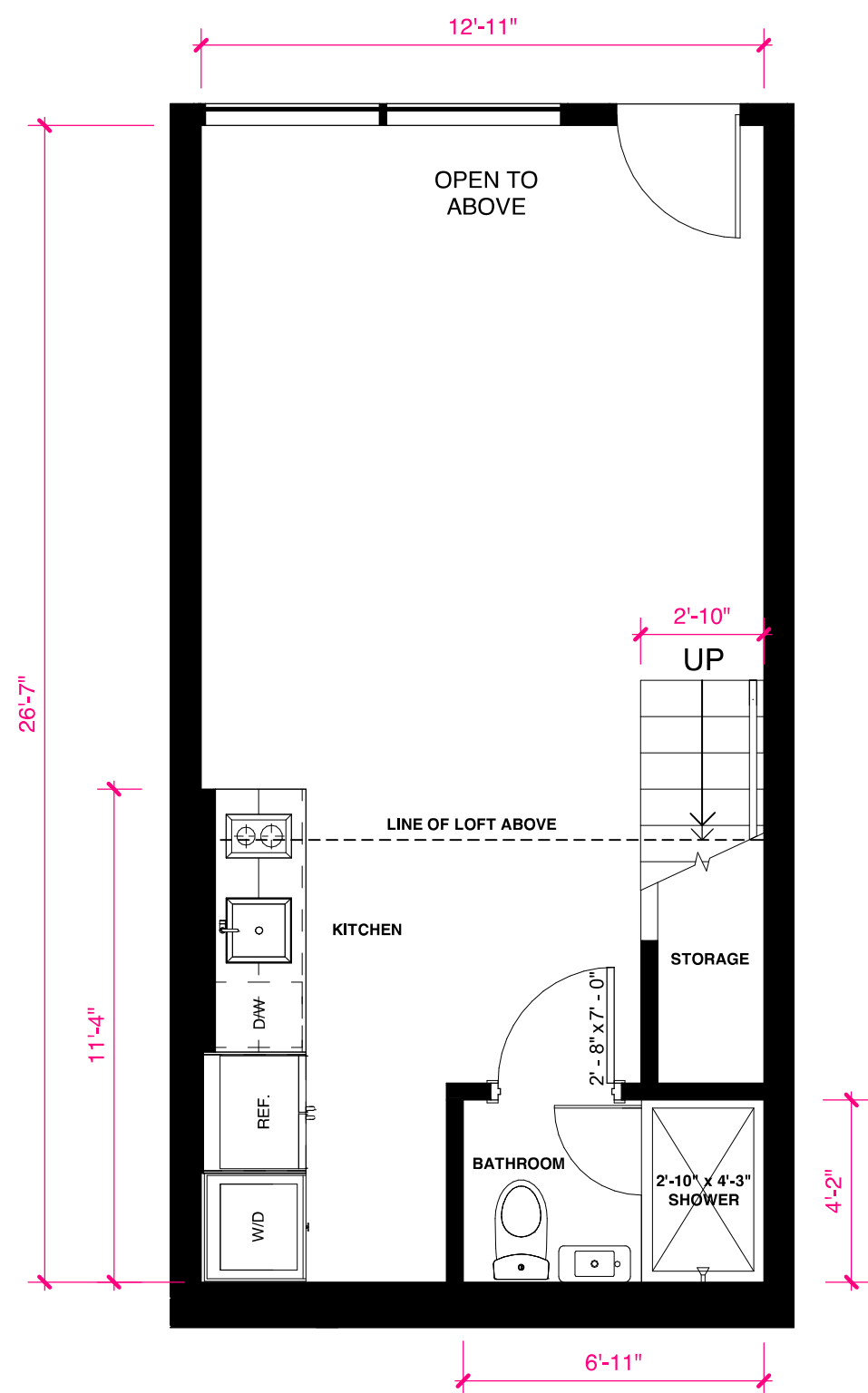
GROSS AREA: 138 SF / 543 SF
5 **LOFT - MEZZANINE**
1/4" = 1'-0" |



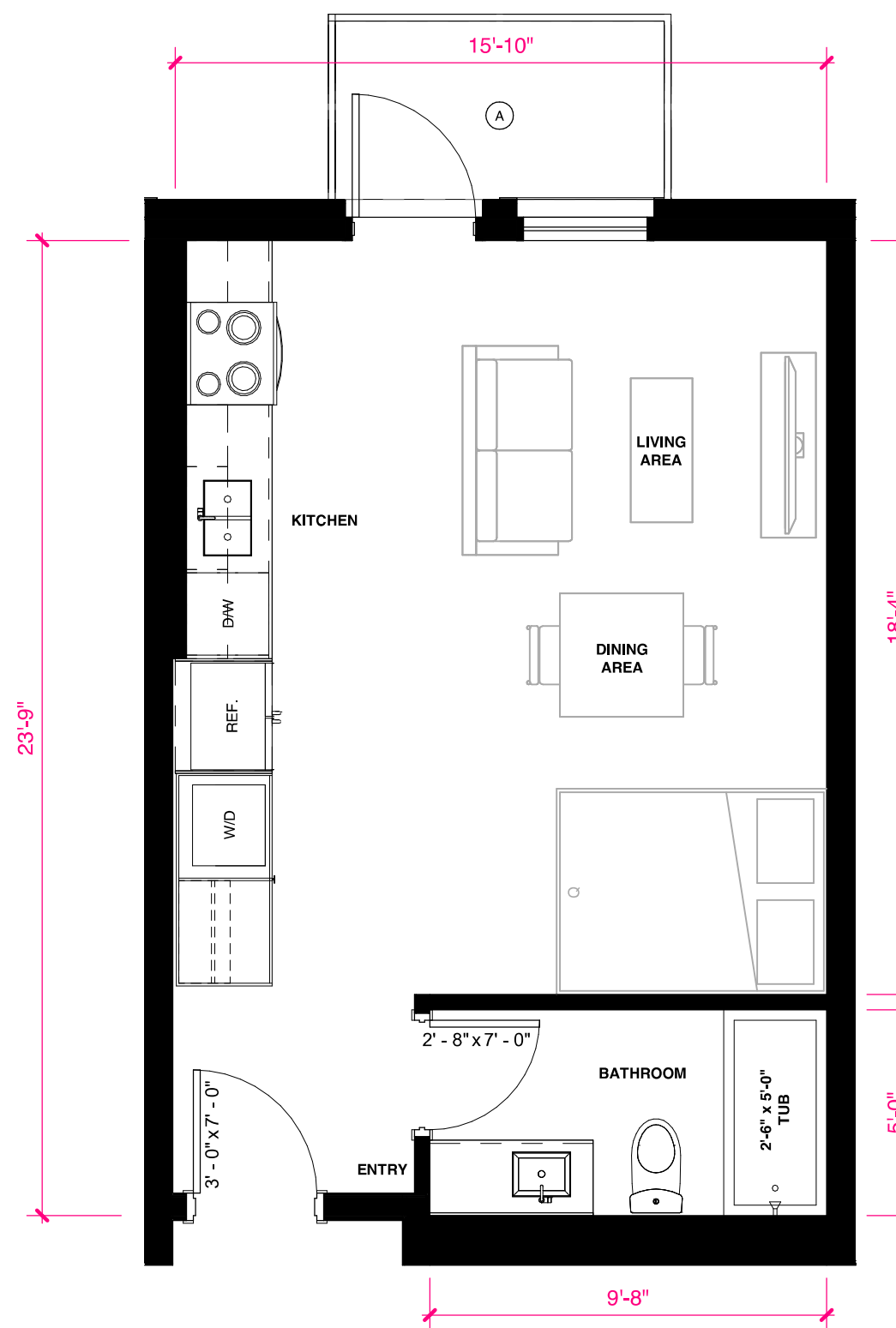
GROSS AREA: 405 SF / 543 SF
4 **LOFT**
1/4" = 1'-0" |



GROSS AREA: 125 SF / 498 SF
3 **LIVE/WORK A - MEZZANINE**
1/4" = 1'-0" |



GROSS AREA: 373 SF / 498 SF
2 **LIVE/WORK A**
1/4" = 1'-0" |



GROSS AREA: 415 SF
1 **STUDIO A**
1/4" = 1'-0" |

BALCONY LEGEND

- A BALCONY TYPE A - 8'-4" x 4'-6"
- B BALCONY TYPE B - 8'-4" x 6'-8"
- C BALCONY TYPE C - 12'-6" x 4'-6"
- D BALCONY TYPE D - 12'-6" x 6'-8"
- E BALCONY TYPE E: 16'-8" x 4'-6"
- J JULIETTE BALCONY: 4'-2"

REFER TO OVERALL PLANS FOR BALCONY LAYOUTS



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ENLARGED UNIT PLANS

SCALE
1/4" = 1'-0"

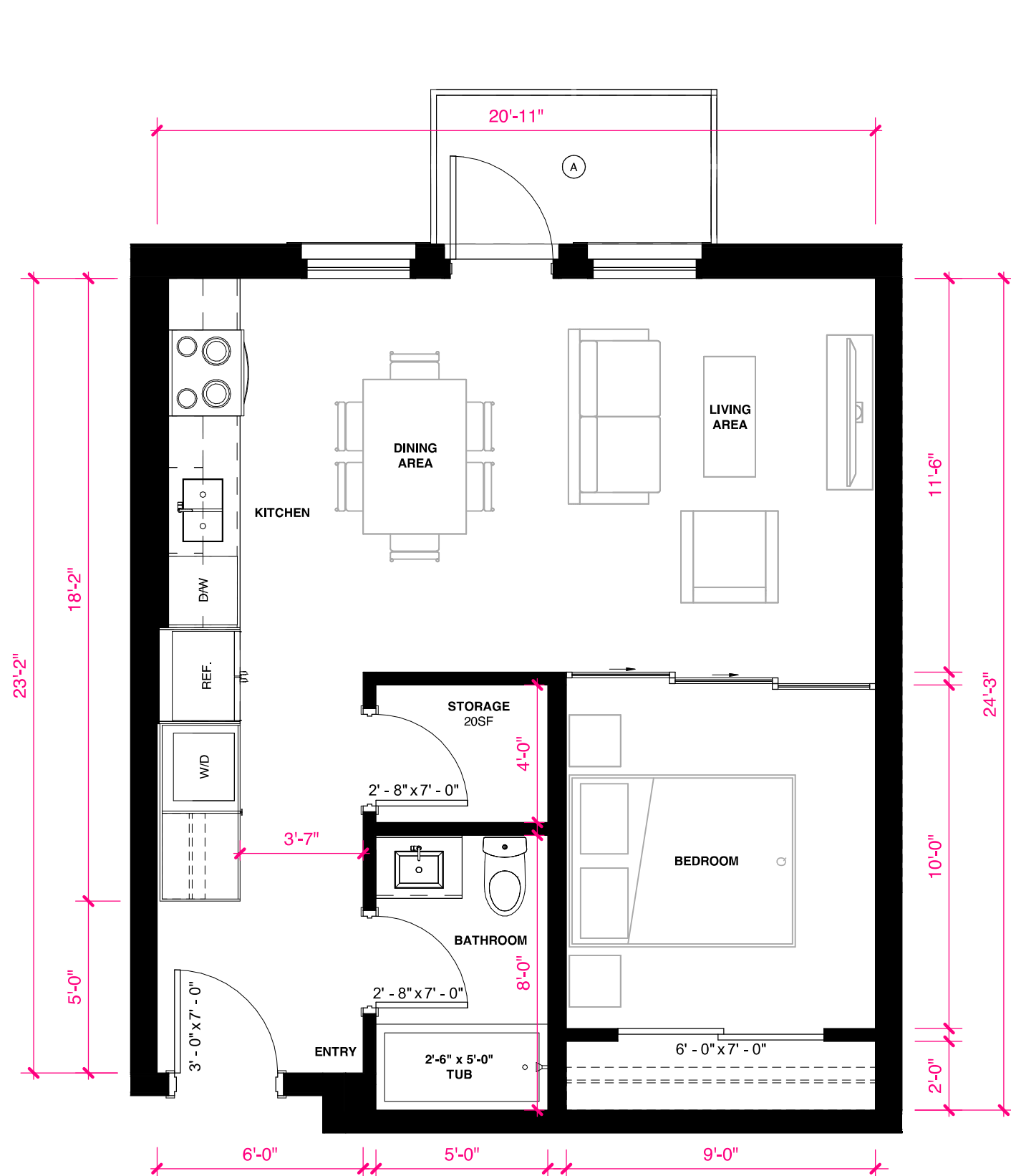


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BALCONY LEGEND

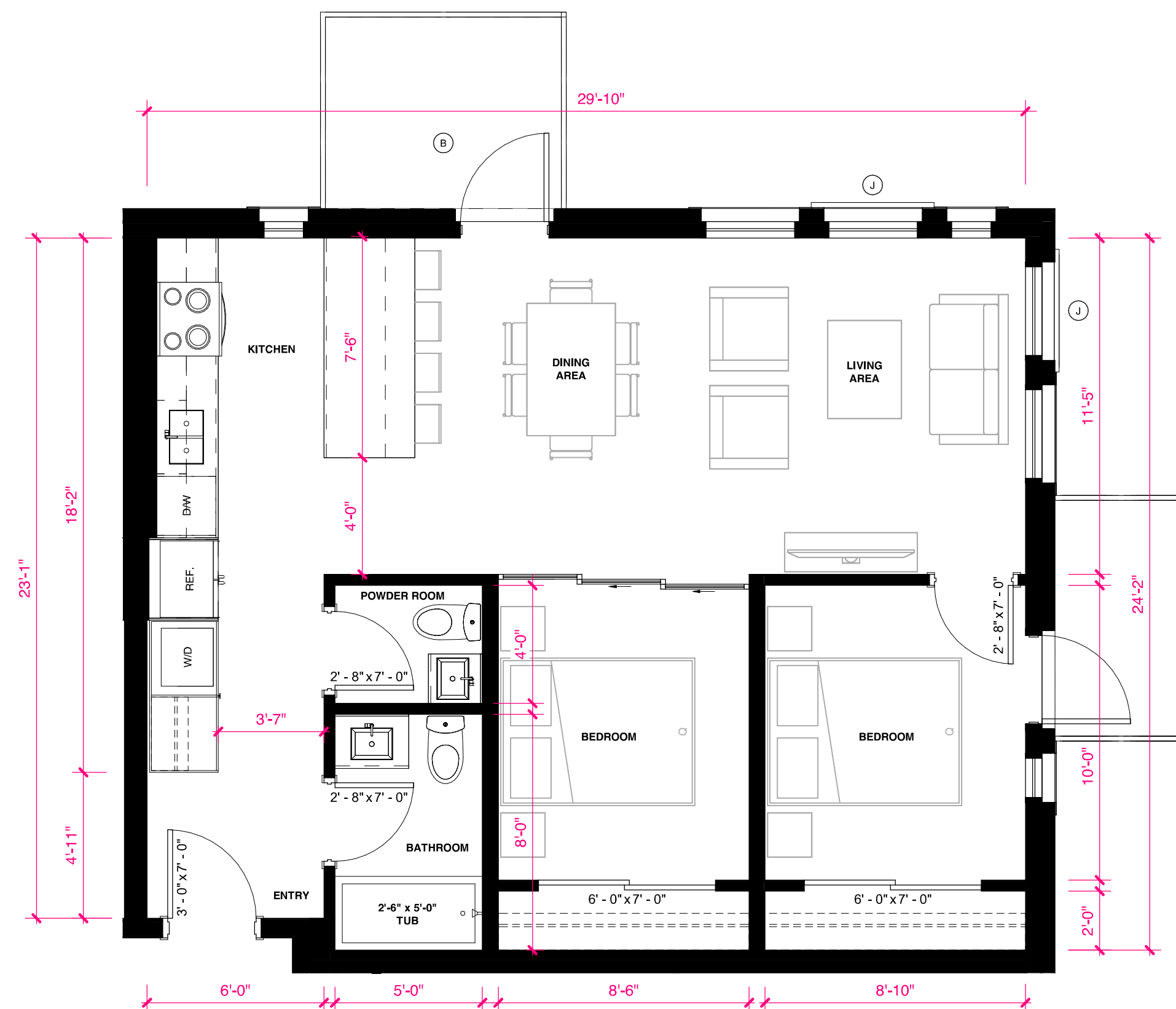
- A BALCONY TYPE A - 8'-4" x 4'-6"
- B BALCONY TYPE B - 8'-4" x 6'-8"
- C BALCONY TYPE C - 12'-6" x 4'-6"
- D BALCONY TYPE D - 12'-6" x 6'-8"
- E BALCONY TYPE E: 16'-8" x 4'-6"
- J JULIETTE BALCONY: 4'-2"

NEW SHEET



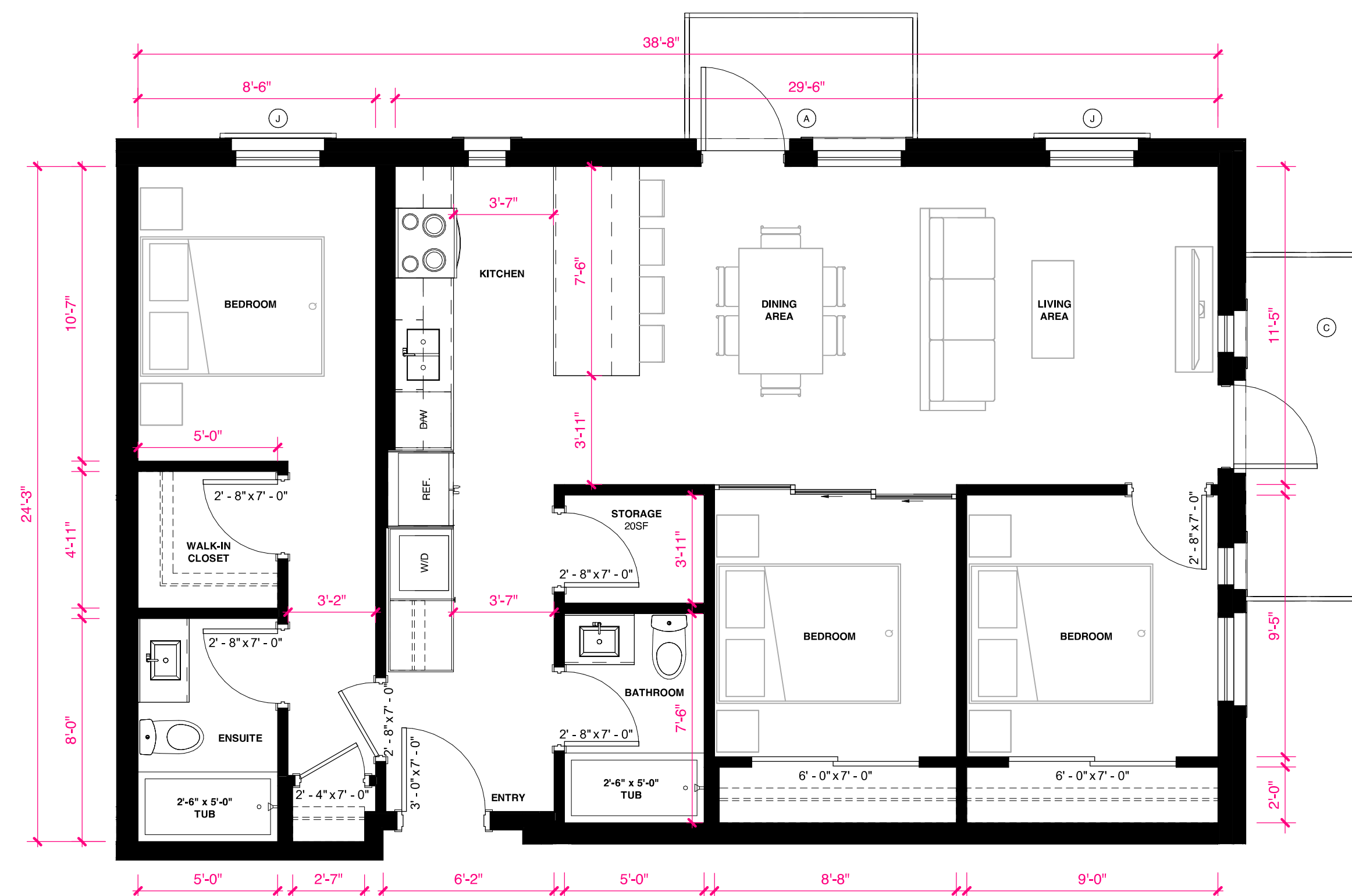
GROSS AREA: 526 SF

6 1 BED A (INBOARD)
1/4" = 1'-0"



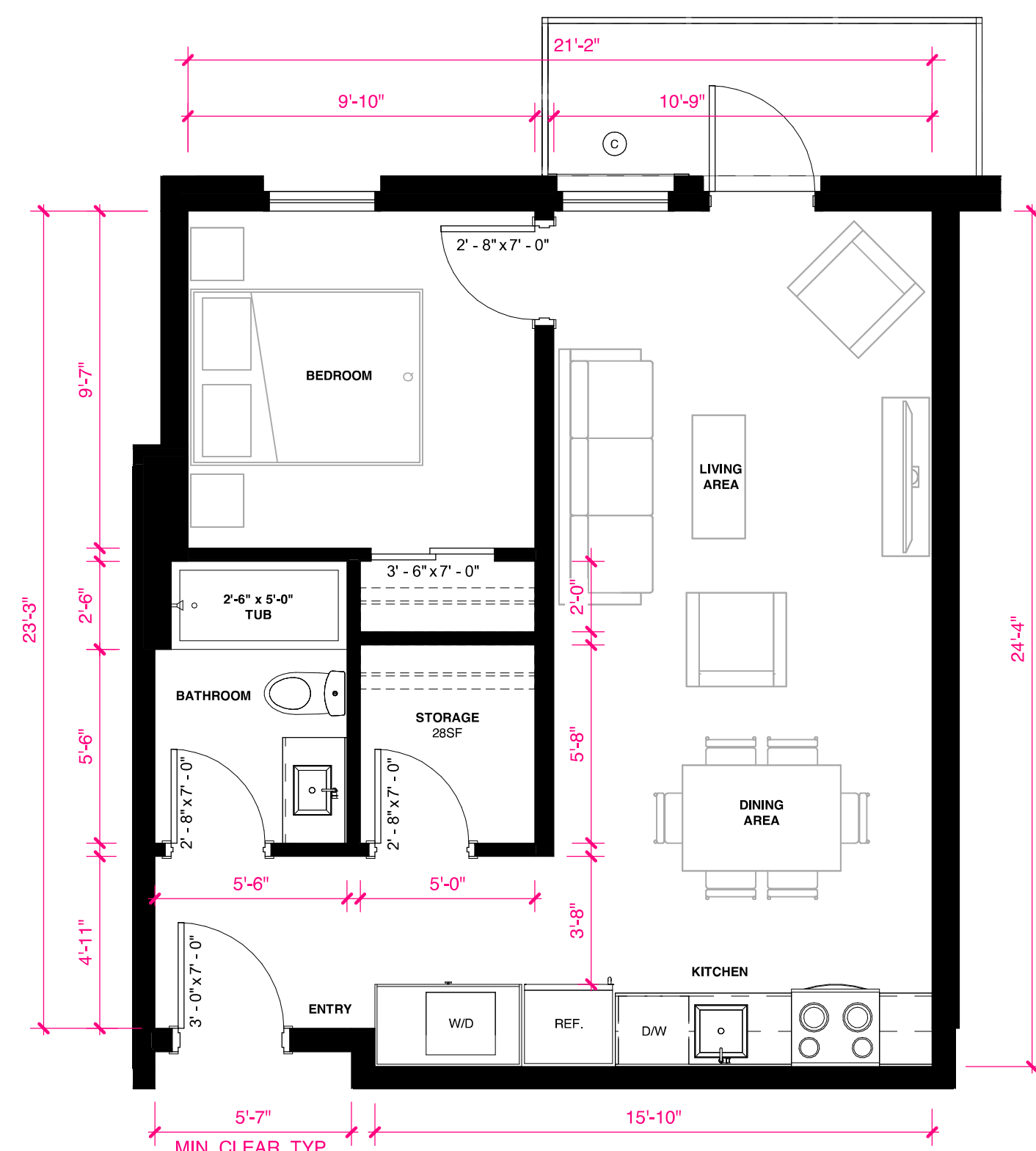
GROSS AREA: 735 SF

5 2 BED A (INBOARD)
1/4" = 1'-0"



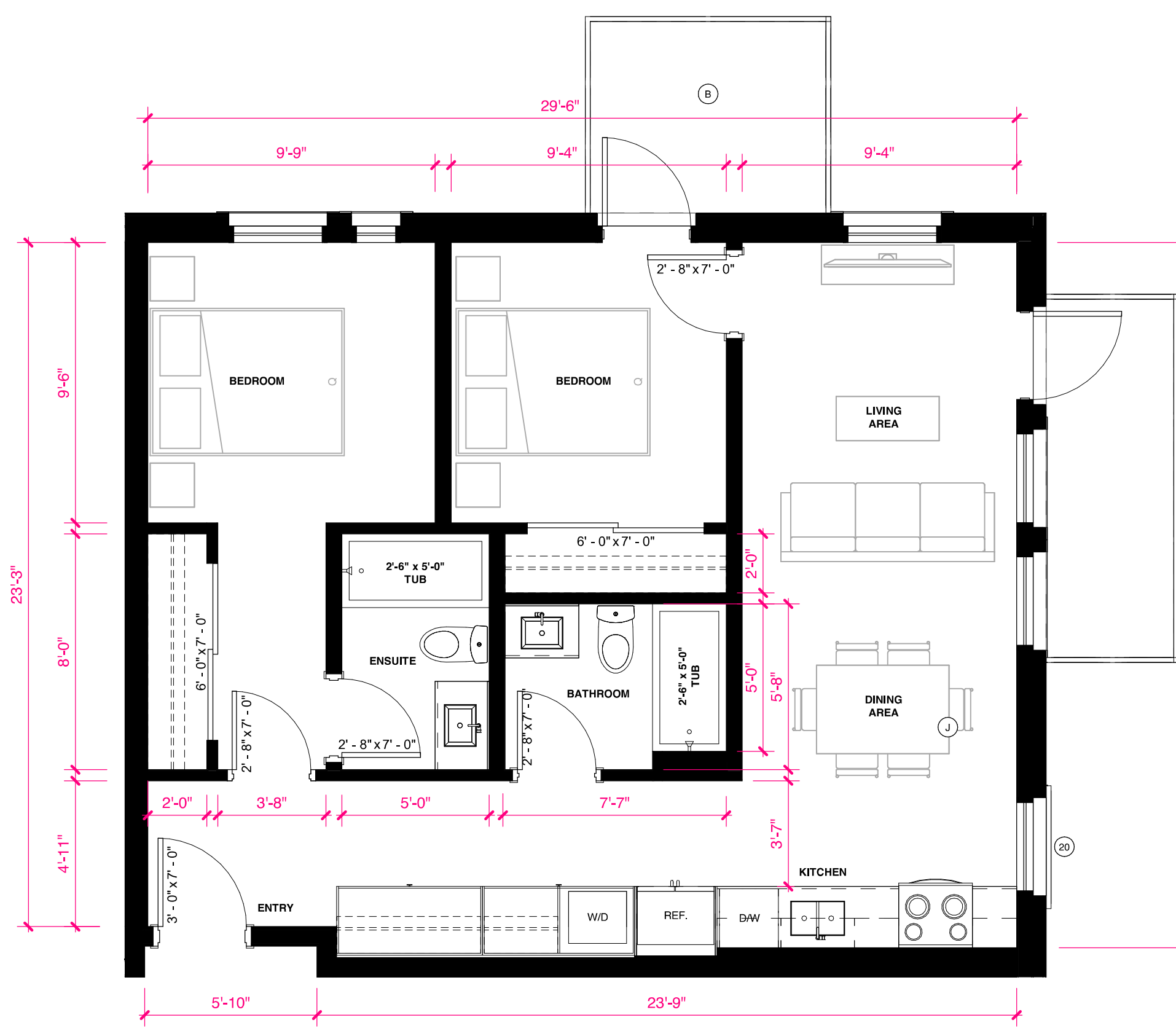
GROSS AREA: 940 SF

4 3 BED A (INBOARD)
1/4" = 1'-0"



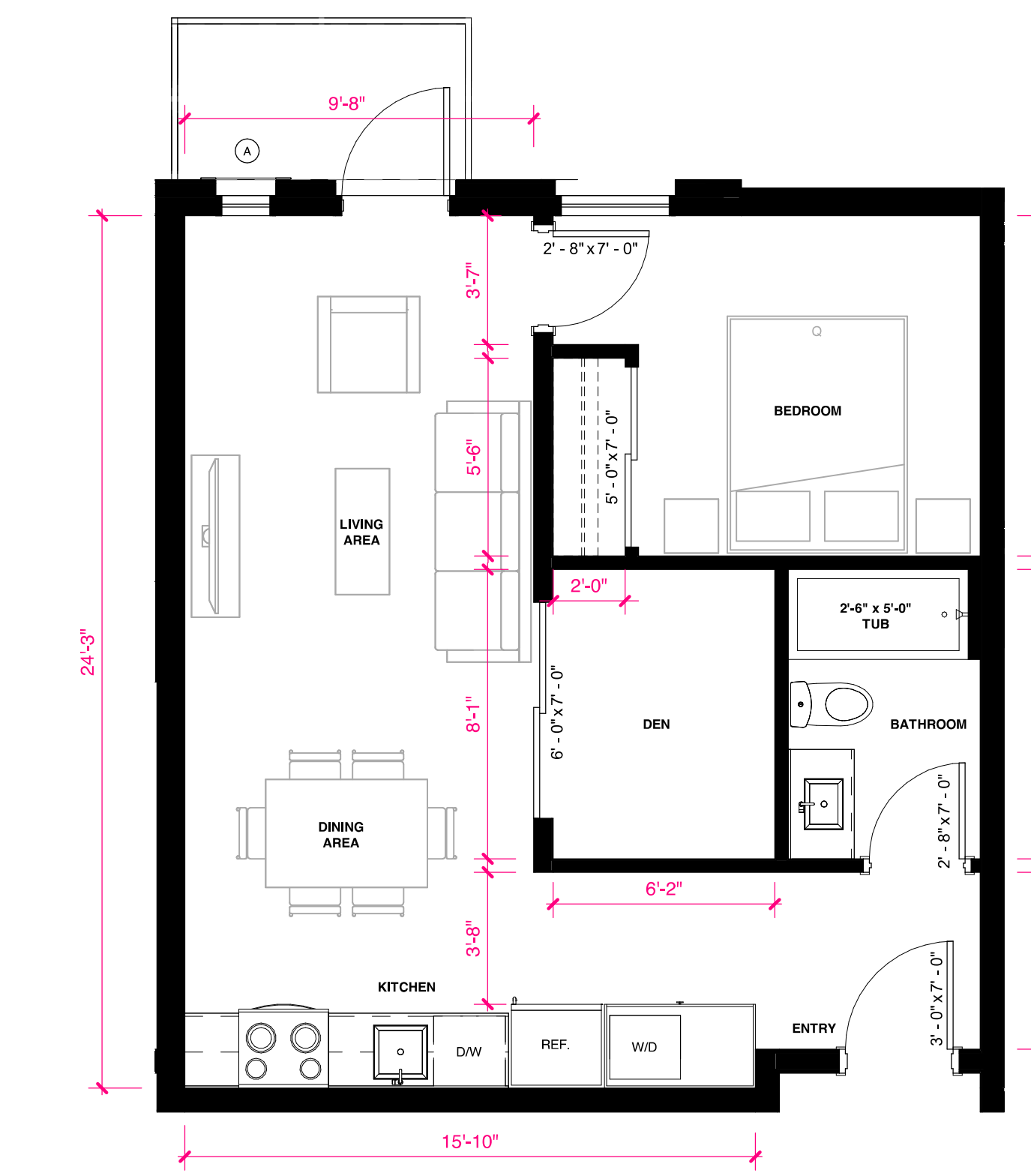
GROSS AREA: 550 SF

3 1 BED B (OUTBOARD)
1/4" = 1'-0"



GROSS AREA: 730 SF

2 2 BED B (OUTBOARD)
1/4" = 1'-0"



GROSS AREA: 555 SF

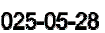
1 1 BED + DEN (OUTBOARD)
1/4" = 1'-0"

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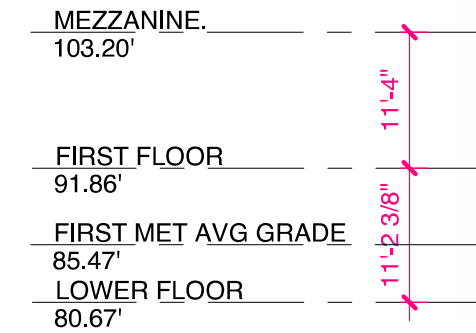
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REVISED MAY 27, 2025



BALMORAL ROAD ELEVATION

SCALE
1/16" = 1'-0"



FIRST MET HERITAGE MATERIAL LEGEND

- | | |
|----|---|
| 1 | WINDOW FRAMES TO BE RESTORED TO ORIGINAL MATERIALITY & DESIGN |
| 2 | ENTRY DOORS TO BE RETURNED TO ORIGINAL MATERIALITY |
| 3 | ROOFING MATERIAL TO BE REPAIRED AND REPLACED AS REQUIRED |
| 5 | SANDSTONE TO BE RESTORED AS REQUIRED |
| 7 | STAINED GLASS PANELS TO BE RESTORED AS REQUIRED |
| 11 | NEW SIGNAGE |

NEW RESIDENTIAL MATERIAL LEGEND

- | | |
|----|--|
| 15 | ARCHITECTURAL CONCRETE |
| 16 | METAL PANEL, GALVANIZED |
| 17 | METAL PANEL, WHITE |
| 18 | GLASS GUARDRAIL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS |
| 20 | THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS |
| 23 | METAL MESH FOLDING DOORS, COLOUR TBD |
| 24 | THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS |
| 31 | RESIDENTIAL SIGNAGE |

AVERAGE GRADE CALCULATION

FIRST MET MORTGAGE BUILDING				RESIDENTIAL BUILDING	
	GRADE POINTS	AVERAGE OF POINTS (IN)	DISCREPANCY IN PLAIN (IN)	TOTALS	ALL POINTS
EAST	T.O.T	26.561	2.99	21.561	27.11
	B.T.O.C	26.31	5.45	69.72	
	T.O.D	26.295	1.64	36.111	
	T.O.E	25.38	2.73	35.35	
	T.O.F	24.935	0.84	20.35	
WEST	T.O.G	24.88	2.94	26.82	27.11
	H.T.O	25.58	4.05	100.81	
	T.O.J	26.54	2.499	85.27	
	T.O.K	25.87	3.84	17.72	
	T.O.L	26.015	1.331	24.87	
NORTH	T.O.M	26.89	4.65	100.17	27.11
	M.T.O.N	26.495	9.15	342.4	
	T.O.O	26.38	3.72	88.88	
	T.O.P	26.08	1.04	20.15	
	T.O.Q	25.2	3.57	171.83	
SOUTH	T.O.R	25.5	20.55	237.84	27.11
	T.O.S	24.99	1.6	36.34	
	T.O.U	24.89	1.63	40.08	
	T.O.V	25.88	0.85	10.88	
	T.O.W	27.25	1.73	48.60	
DASH	T.O.X	27.25	7.28	212.55	27.11
	T.O.Y	27.15	1.79	39.10	
	T.O.Z	27.13	8.15	220.57	
	T.O.AA	27.13	2.55	62.20	
	T.O.AB	26.975	6.56	216.42	
SUM			166.81	429.23	
AVERAGE GRADE:			26.60	67.847	



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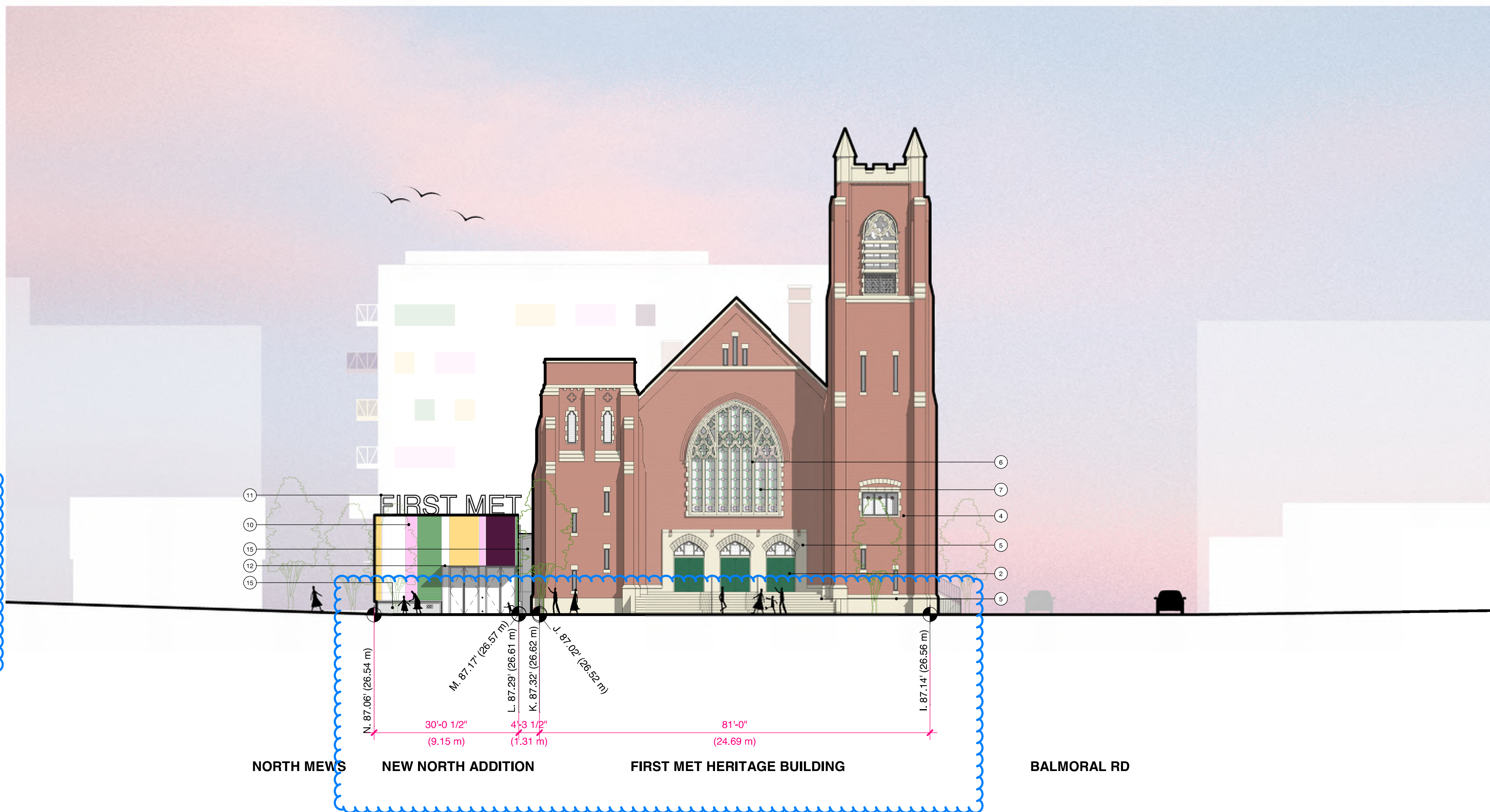
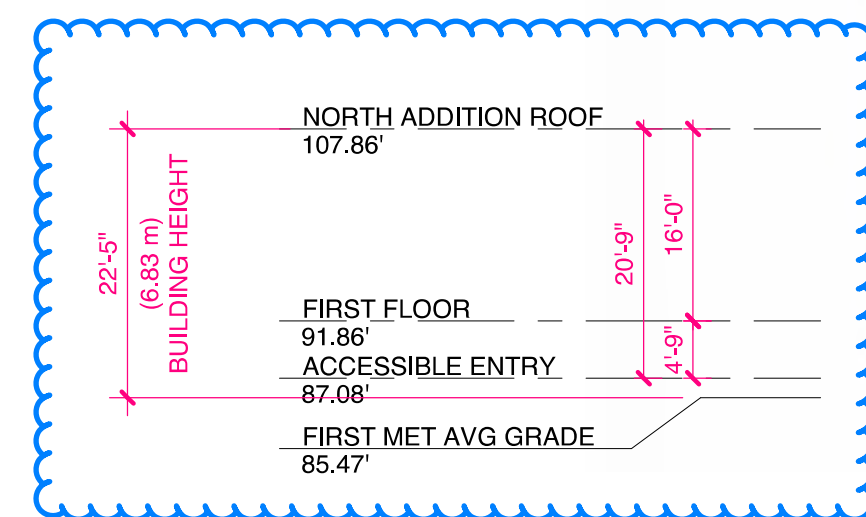
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QUADRA STREET ELEVATION

SCALE
1/16" = 1'-0"



FIRST MET HERITAGE MATERIAL LEGEND

- 2 ENTRY DOORS TO BE RETURNED TO ORIGINAL MATERIALITY
- 4 BRICK TO BE RESTORED AS REQUIRED
- 5 SANDSTONE TO BE RESTORED AS REQUIRED
- 6 CAST STONE TRACERY TO BE RESTORED AS REQUIRED
- 7 STAINED GLASS PANELS TO BE RESTORED AS REQUIRED

NEW NORTH ADDITION MATERIAL LEGEND

- 10 THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 11 NEW SIGNAGE
- 12 POWDER COATED METAL CANOPY
- 15 ARCHITECTURAL CONCRETE

AVERAGE GRADE CALCULATION

GRADE POINTS	FIRST MET HERITAGE BUILDING		TOTALS
	AVERAGE OF POINTS (m)	DISTANCE BY PLAN (m)	
10 TO R	26.665	0.60	22.58
10 TO C	26.51	3.41	69.73
10 TO D	26.755	1.42	36.11
10 TO E	22.26	2.71	48.81
10 TO F	24.905	0.64	35.95
10 TO G	24.99	22.46	552.72
10 TO J	29.59	6.06	169.81
10 TO L	26.54	16.68	455.97
10 TO M	26.57	6.96	133.77
10 TO N	26.615	1.31	34.87
10 TO O	26.00	0.61	149.17
10 TO P	26.460	9.15	243.43
10 TO Q	26.58	3.75	88.88
10 TO R	26.55	1.06	27.10
10 TO S	26.5	16.15	717.85
10 TO T	26.5	8.20	227.85
10 TO U	24.99	1.6	35.94
10 TO V	24.89	1.65	40.28
10 TO W	27.98	5.91	165.63
10 TO X	27.25	1.71	46.40
10 TO Y	27.25	7.8	213.50
10 TO Z	27.13	1.20	33.10
10 TO A	27.13	8.19	226.57
10 TO B	27.13	3.91	95.55
10 TO C	26.915	0.90	217.47
10 TO D	26.91	16.46	429.69
AVERAGE GRADE:		26.08 m (85.87')	

RESIDENTIAL BUILDING		27.13
ALL POINTS	AVERAGE GRADE:	27.13 m (89.00')

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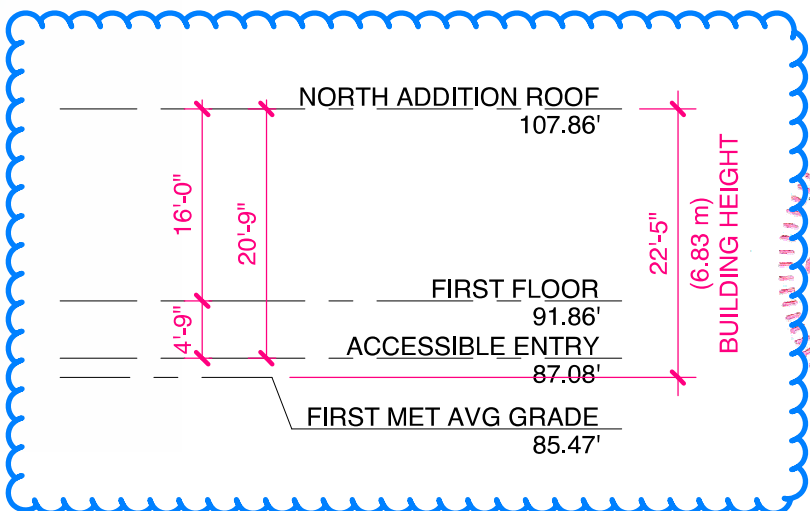
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NORTH SITE ELEVATION

SCALE

$$1/16'' = 1'-0''$$


2025-05-28

NEW RESIDENTIAL MATERIAL LEGEND

- | | |
|----|--|
| 17 | METAL PANEL, WHITE |
| 18 | GLASS GUARDRAIL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS |
| 19 | GLASS GUARDRAIL, CLEAR GLASS |
| 24 | THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS |
| 29 | MECHANICAL METAL SCREEN ENCLOSURE |

NEW NORTH ADDITION MATERIAL LEGEND

- | | |
|----|--|
| 9 | THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS |
| 10 | THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS |
| 15 | ARCHITECTURAL CONCRETE |

AVERAGE GRADE CALCULATION

FIRST MET HERITAGE BUILDING				RESIDENTIAL BUILDING	
SPACE POINTS	AVERAGE OF POINTS (B)	DISTANCE IN PLAN (M)	TOTALS	ALL POINTS	
SOUTH	B TO A	26.95	1.4	22.55	AVERAGE GRADE: 27.15 +/- (98.00)
	B TO D	26.31	3.41	83.72	
	C TO D	26.79	1.4	26.11	
	D TO E	25.95	2.71	68.31	
	E TO F	24.93	0.84	20.93	
WEST	F TO G	24.98	22.48	59.48	AVERAGE GRADE: 27.15 +/- (98.00)
	H TO I	26.50	6.56	160.81	
	I TO J	26.54	24.69	655.79	
	K TO N	26.57	6.54	172.17	
	K TO L	26.54	1.31	24.87	
NORTH	L TO M	26.43	6.61	143.17	AVERAGE GRADE: 27.15 +/- (98.00)
	M TO N	26.40	9.15	245.43	
	N TO O	26.28	3.72	95.83	
	O TO P	26.56	1.04	27.15	
	P TO Q	25.35	36.15	717.83	
EAST	Q TO R	25.5	22.68	55.5	AVERAGE GRADE: 26.56 +/- (95.47)
	R TO T	24.65	1.6	35.31	
	T TO U	24.56	1.65	40.26	
	U TO V	23.91	3.91	107.93	
	V TO W	22.65	1.21	48.40	
WEST	W TO X	22.55	7.8	212.51	AVERAGE GRADE: 26.56 +/- (95.47)
	X TO Y	22.15	1.22	28.35	
	Y TO Z	22.18	8.33	235.52	
	Z TO AAK	22.15	2.51	56.33	
	AA TO A	26.95	8.06	217.43	
SUBTOTAL			194.4	629.20	
AVERAGE GRADE:			26.56 +/- (95.47)		

A3.02



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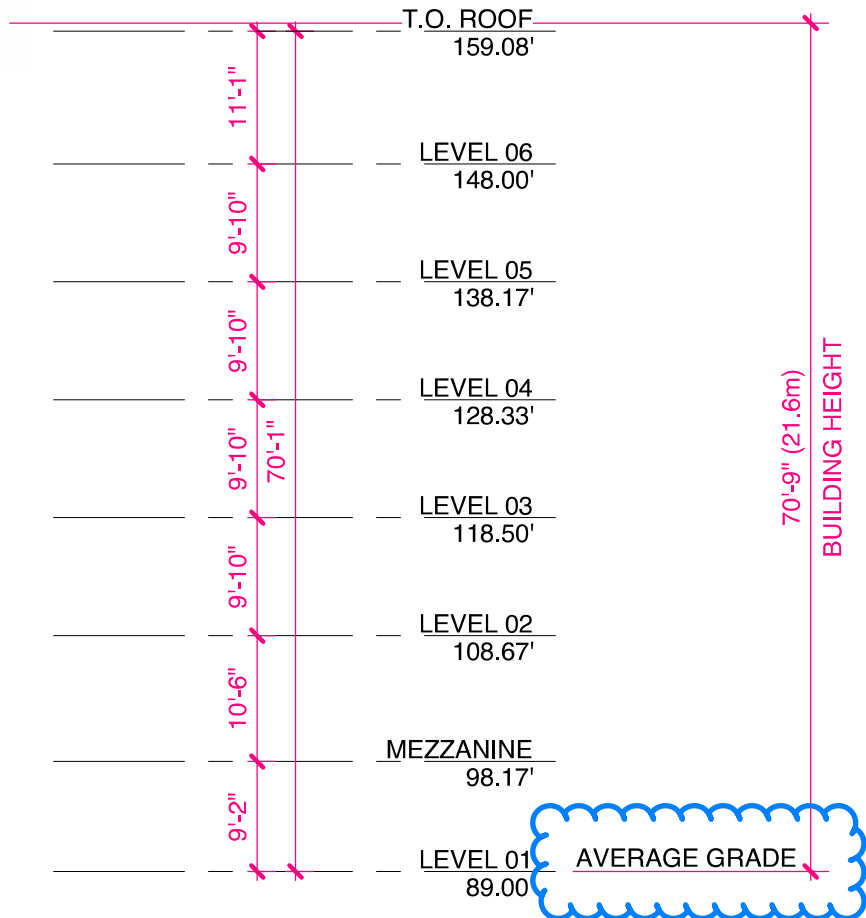


2025-05-28

EAST SITE ELEVATION

SCALE

1/16" = 1'-0"



NEW RESIDENTIAL MATERIAL LEGEND

- 15 ARCHITECTURAL CONCRETE
- 16 METAL PANEL, GALVANIZED
- 17 METAL PANEL, WHITE
- 18 GLASS GUARDRAIL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
- 24 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS
- 29 MECHANICAL METAL SCREEN ENCLOSURE

AVERAGE GRADE CALCULATION

FIRST MET HERITAGE BUILDING			
GRADE POINTS	AVERAGE OF POINTS IN	DISTANCE IN PLAN (ft)	TOTALS
A TO B	25.565	9.85	251.90
B TO C	26.511	3.41	89.72
C TO D	25.785	3.4	86.11
D TO E	25.399	2.7	68.51
E TO F	26.803	3.84	100.95
F TO G	24.59	22.48	552.18
G TO H	25.98	1.25	32.48
H TO I	26.54	24.69	655.27
I TO J	26.21	1.54	40.37
J TO K	28.615	1.21	34.83
K TO L	26.59	9.81	260.77
L TO M	26.485	9.15	242.43
M TO N	25.59	2.72	69.68
N TO O	26.485	1.86	49.35
O TO P	25.3	28.15	711.83
P TO Q	25.3	9.35	237.58
Q TO R	24.59	1.6	39.34
R TO S	24.59	1.63	40.98
S TO T	25.98	3.91	101.58
T TO U	27.25	1.71	46.60
U TO V	27.25	1.8	49.05
V TO W	27.12	1.25	33.9
W TO X	27.12	8.15	220.51
X TO Y	27.12	3.51	95.19
Y TO Z	26.575	8.28	219.42
AA TO A	26.8	104.81	2804.65
AVERAGE GRADE:			26.05 (ft) (7.93m)

RESIDENTIAL BUILDING	
ALL POINTS	27.13
AVERAGE GRADE:	27.13 (ft) (8.27m)



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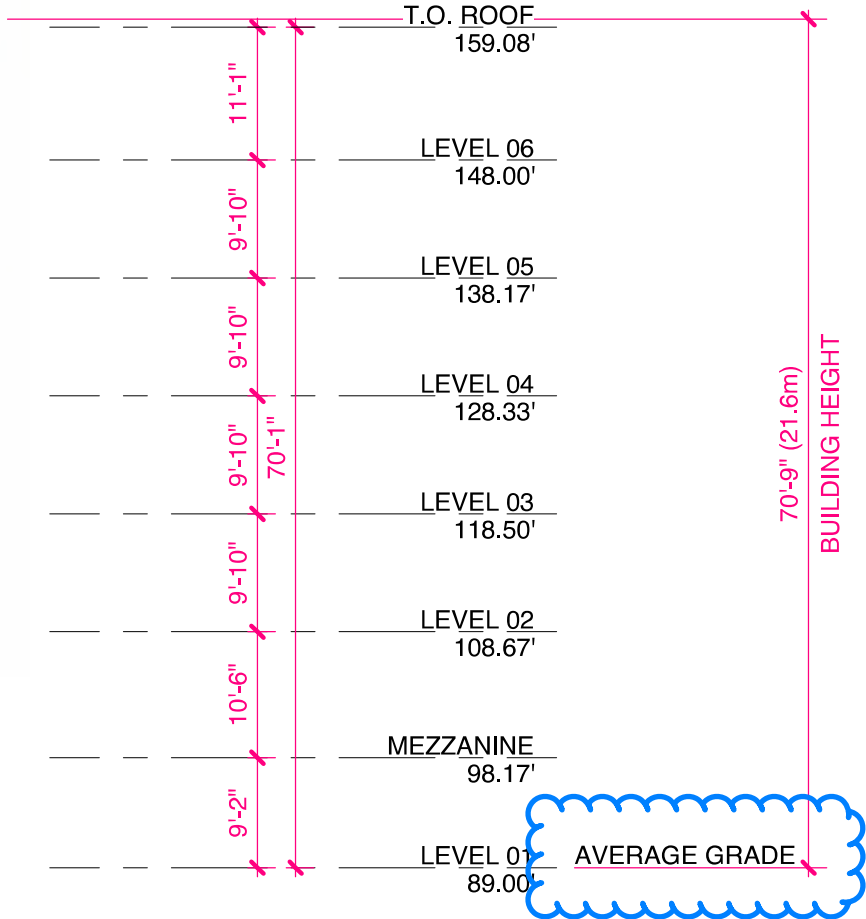
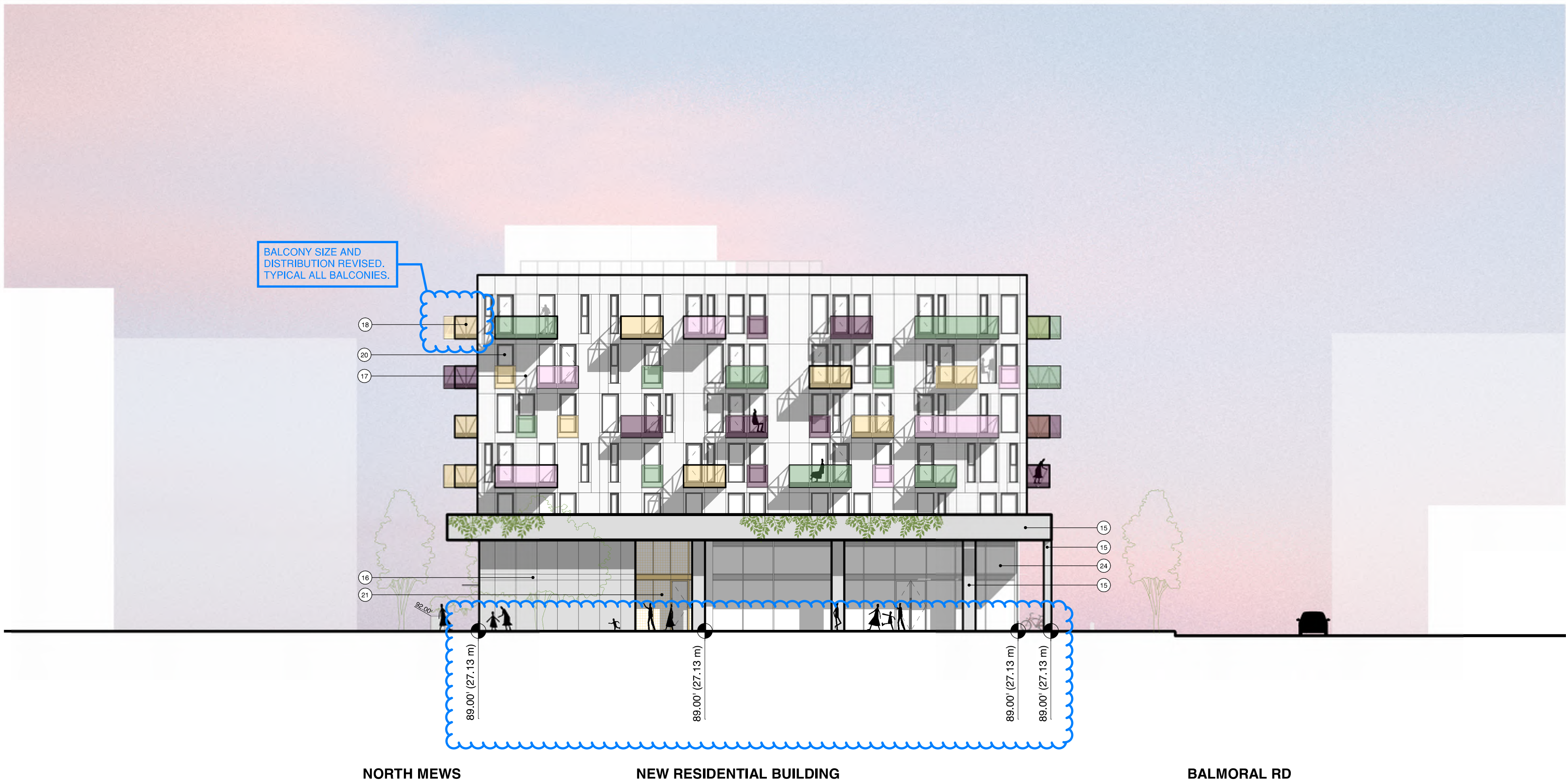


2025-05-28

CENTRAL MEWS WEST SITE ELEVATION

SCALE

1/16" = 1'-0"



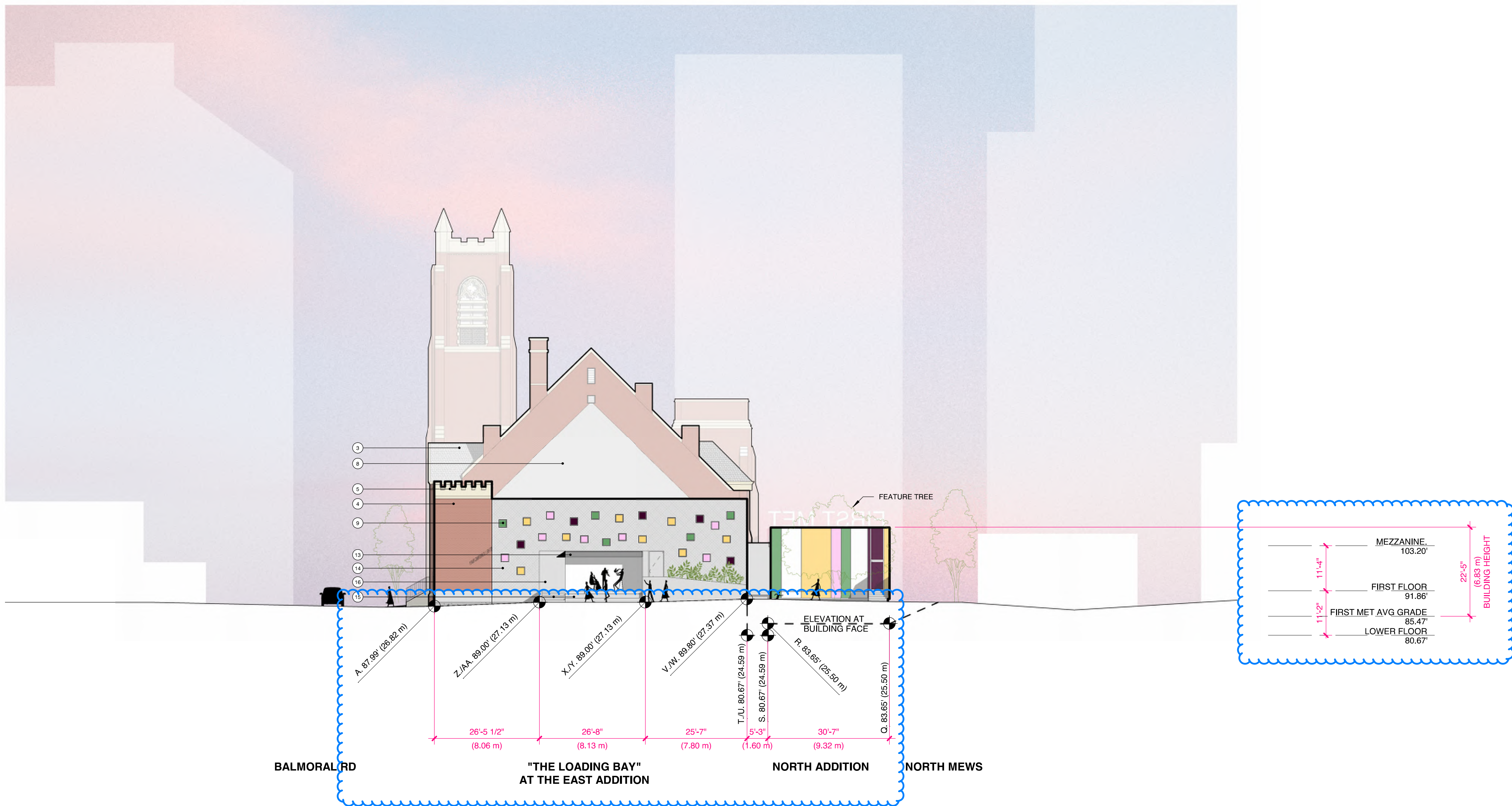
NEW RESIDENTIAL MATERIAL LEGEND

- 15 ARCHITECTURAL CONCRETE
- 16 METAL PANEL, GALVANIZED
- 17 METAL PANEL, WHITE
- 18 GLASS GUARDRAIL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
- 21 METAL MESH, YELLOW
- 24 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS

AVERAGE GRADE CALCULATION

FIRST MET HERITAGE BUILDING			
GRADE POINTS	AVERAGE OF POINTS (ft)	DISTANCE IN PLAN (ft)	TOTALS
A TO B	26.565	0.85	22.58
B TO C	25.51	5.41	89.52
C TO D	25.795	1.48	36.11
D TO E	25.78	2.71	69.83
E TO F	24.695	0.84	20.95
F TO G	24.58	72.48	152.99
G TO H	25.95	4.05	104.81
H TO J	26.54	24.69	652.77
J TO K	25.57	6.84	173.73
K TO L	26.615	1.31	34.87
L TO M	25.55	0.81	148.17
M TO N	24.465	8.15	148.82
N TO O	25.46	3.72	89.89
O TO P	25.06	1.64	27.53
P TO Q	25.3	28.15	717.83
Q TO R	25.3	8.39	207.88
R TO T	24.59	1.69	36.54
T TO U	24.59	1.83	45.08
U TO V	25.98	3.81	107.48
V TO W	27.25	1.71	46.69
W TO X	27.25	1.8	112.53
X TO Y	27.13	1.32	33.13
Y TO Z	27.13	8.18	209.57
Z TO AA	27.13	3.81	86.27
AA TO A	26.975	6.95	217.42
SUM	304	156.84	4304.49
AVERAGE GRADE	25.65	ft (8.47)	

HERITAGE BUILDING	
ALL POINTS	27.15
AVERAGE GRADE	27.15 m (89.88)



FIRST MET HERITAGE MATERIAL LEGEND

- 3 ROOFING MATERIAL TO BE REPAIRED AND REPLACED AS REQUIRED
- 4 BRICK TO BE RESTORED AS REQUIRED
- 5 SANDSTONE TO BE RESTORED AS REQUIRED
- 8 ORIGINAL GABLE ROOF FORM OF SUNDAY SCHOOL HALL TO REMAIN

NEW EAST ADDITION MATERIAL LEGEND

- 9 THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- 13 BIFOLD GARAGE DOOR, FINISH TBD
- 14 ARCHITECTURAL CONCRETE WITH STAINLESS STEEL CABLE MESH PLANTING SUPPORT
- 15 ARCHITECTURAL CONCRETE
- 16 METAL PANEL, GALVANIZED

AVERAGE GRADE CALCULATION

FIRST MET HERITAGE BUILDING			
GRADE POINTS	AVERAGE OF POINTS (ft)	DISTANCE IN PLAN (ft)	TOTALS
A TO B	26.565	0.85	22.59
B TO C	25.57	9.41	89.73
C TO D	25.795	1.4	36.11
D TO E	25.38	2.71	68.87
E TO F	24.895	0.84	20.93
F TO G	24.58	22.48	552.39
G TO H	25.58	8.86	168.81
H TO J	26.54	24.89	655.27
J TO K	26.57	9.59	173.77
K TO L	26.615	1.51	34.87
L TO M	26.15	8.61	149.12
M TO N	24.495	9.15	124.45
N TO O	26.58	3.72	98.89
O TO P	26.58	1.04	27.33
P TO Q	25.3	28.15	712.83
Q TO R	25.3	9.38	237.48
R TO S	24.59	1.8	36.24
S TO T	24.59	1.63	40.09
T TO U	25.58	3.81	107.38
U TO V	27.45	1.71	46.83
V TO W	27.45	1.71	46.83
W TO X	27.25	1.8	113.03
X TO Y	27.13	1.22	33.10
Y TO Z	27.13	8.13	220.57
Z TO AA	26.57	3.53	93.59
AA TO A	26.57	8.08	214.42
SUM	26.58	154.44	4204.49
AVERAGE GRADE	26.58	ft (81.47')	

RESIDENTIAL BUILDING	
ALL POINTS	27.13
AVERAGE GRADE	27.13 m (89.02')



2 SITE SECTION THROUGH HERITAGE BLDG & RESIDENTIAL BLDG LOOKING NORTH



1 SITE SECTION THROUGH NORTH ADDITION & RESIDENTIAL BLDG LOOKING NORTH



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SITE SECTIONS

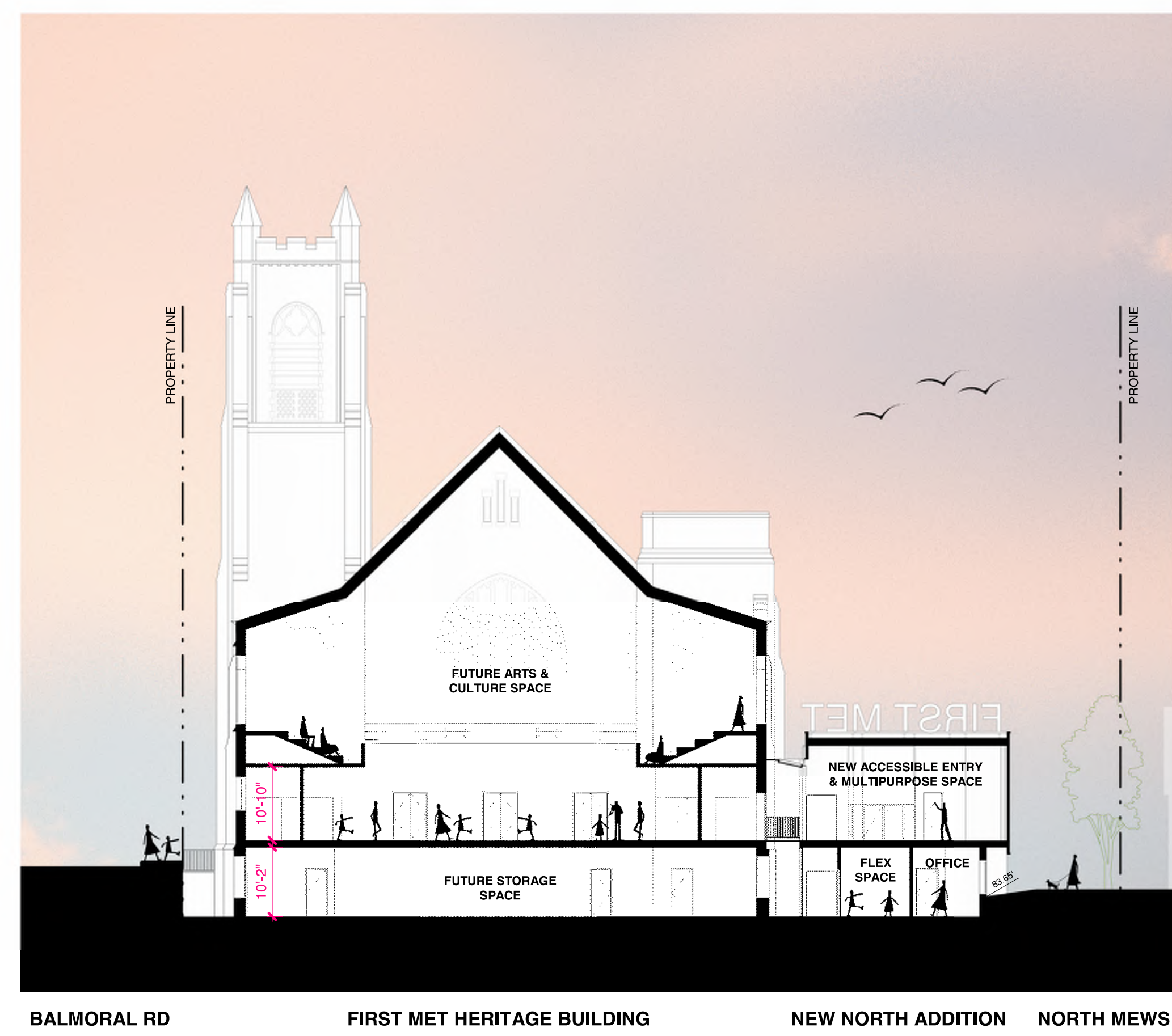
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NEW SECTION

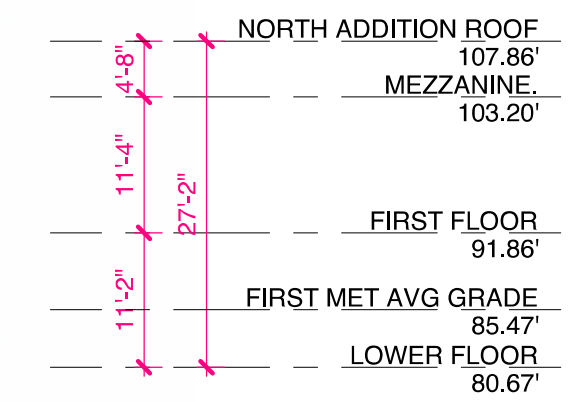


3 SITE SECTION THROUGH RESIDENTIAL BLDG LOOKING WEST

NEW SECTION



4 SITE SECTION THROUGH HERITAGE BUILDING LOOKING WEST



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FIRST MET



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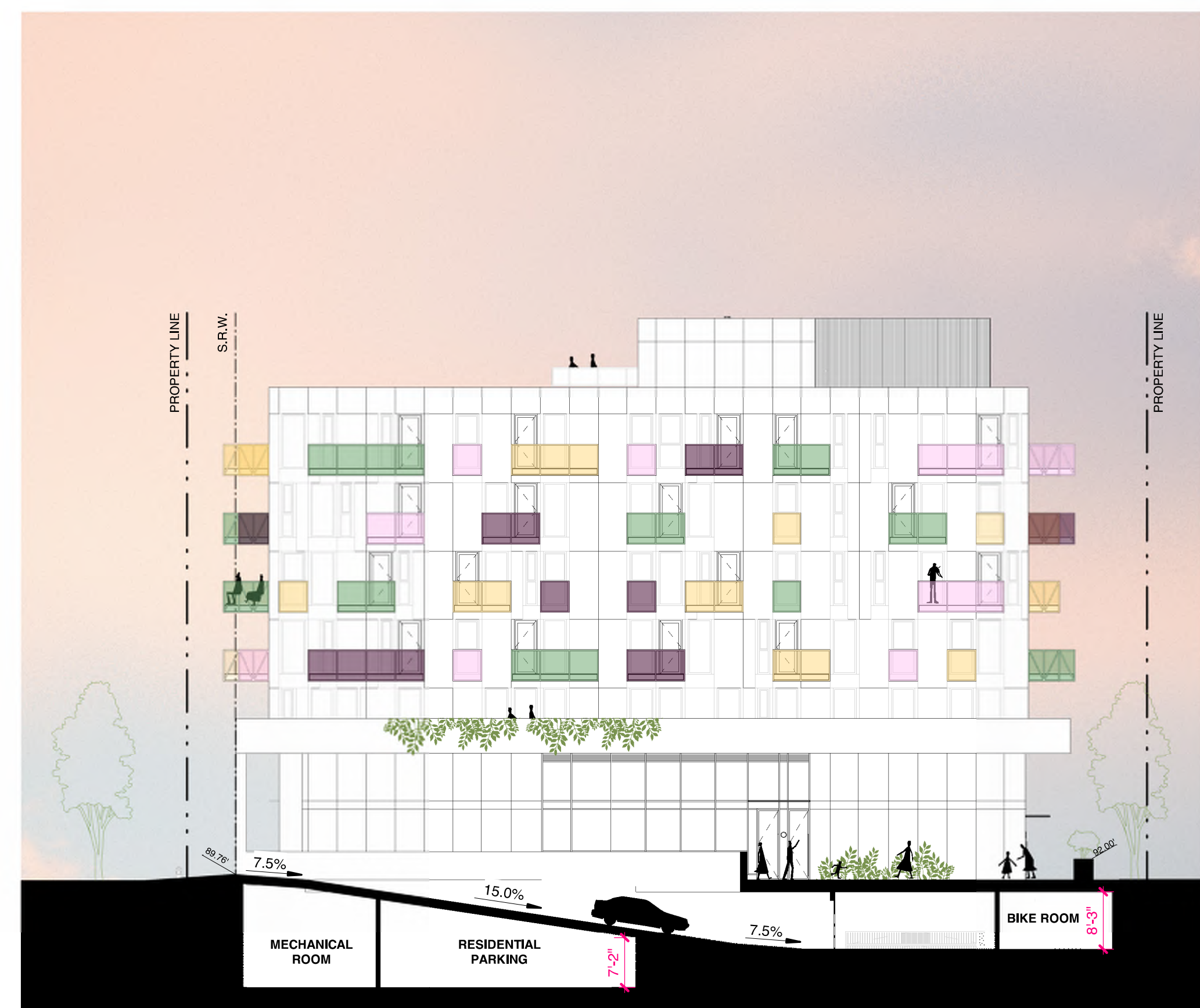
2025-05-28

SITE SECTIONS

SCALE
1/16" = 1'-0"



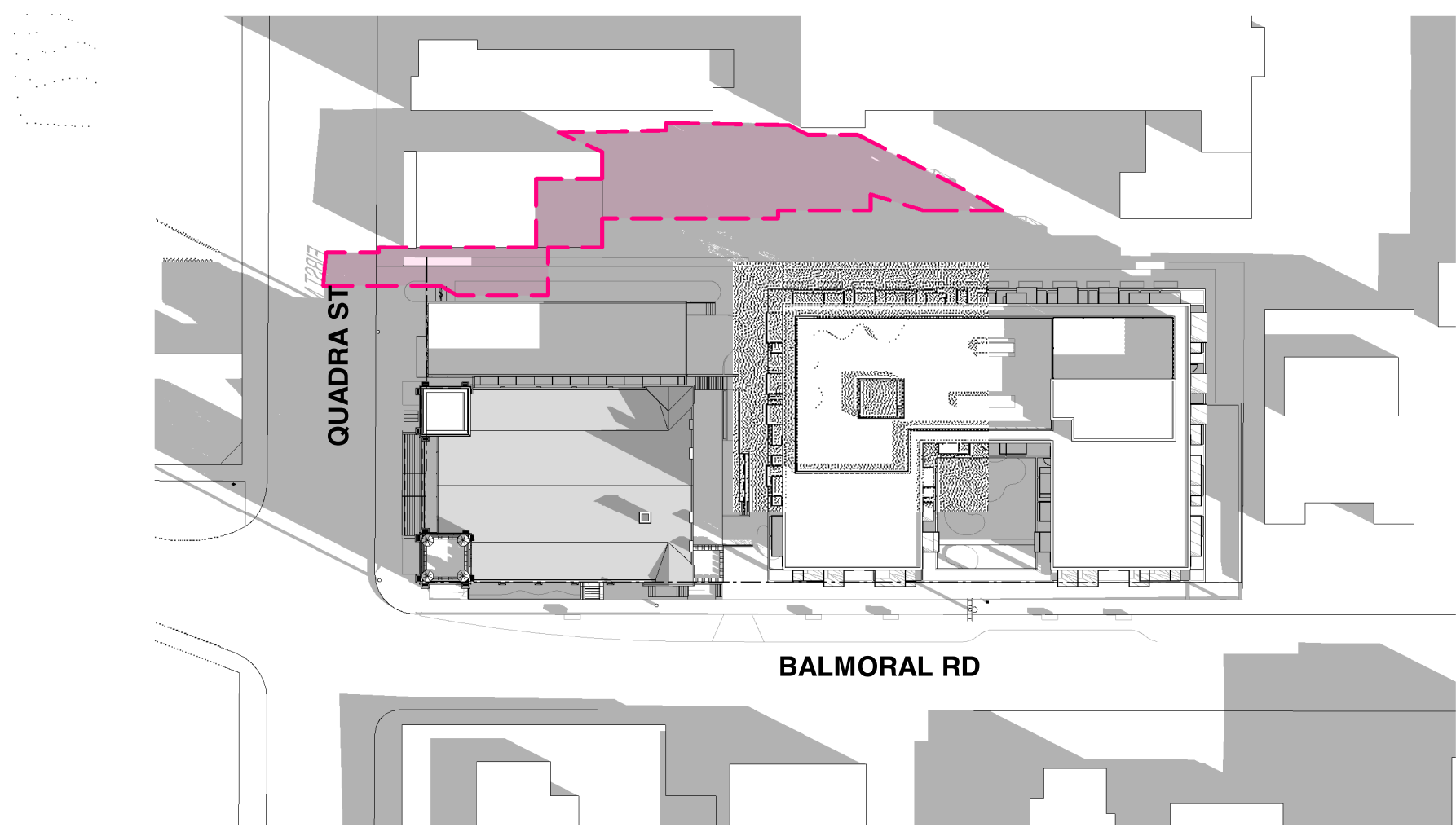
2 SITE SECTION THROUGH RESIDENTIAL COURTYARD LOOKING WEST



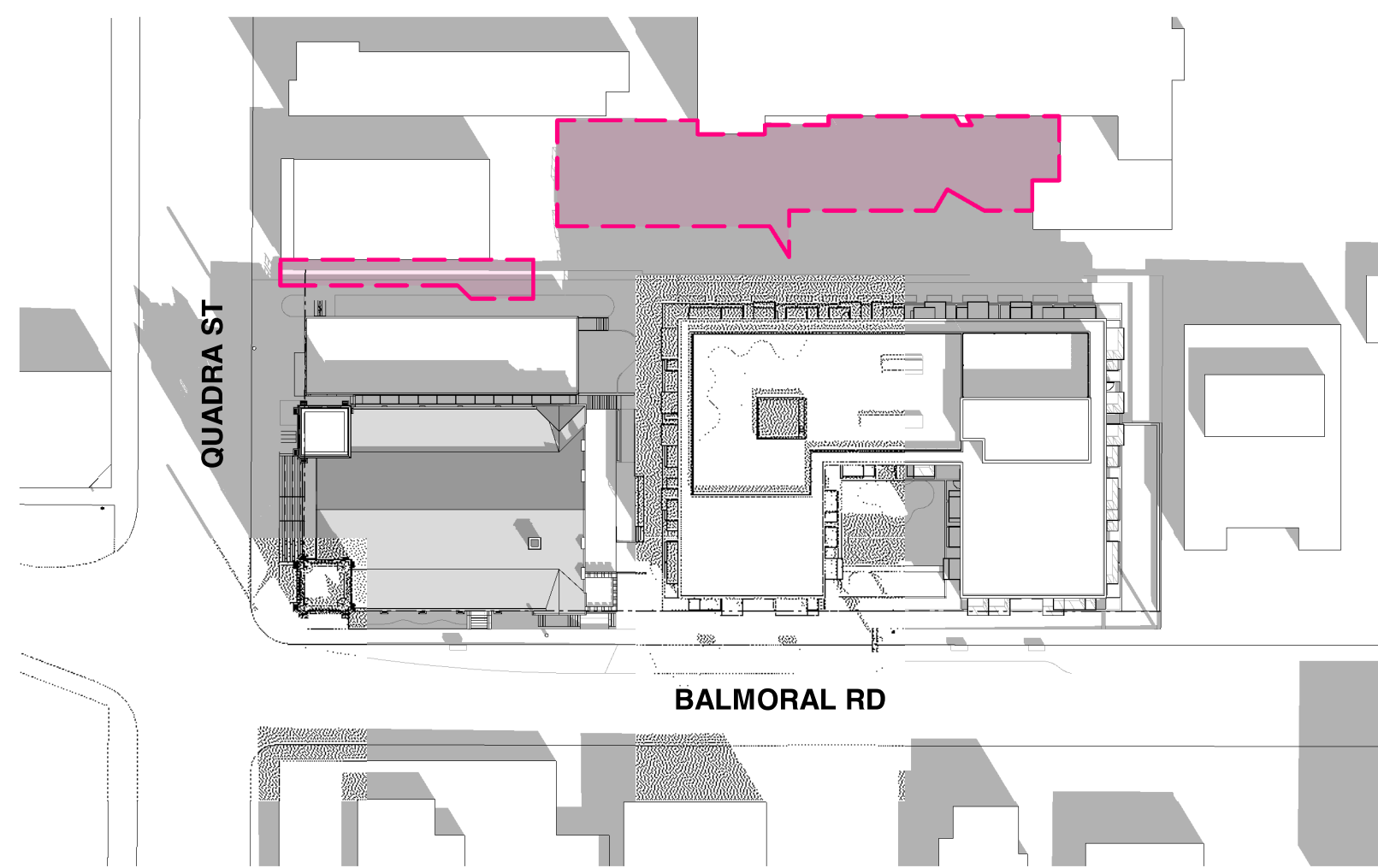
1 SITE SECTION THROUGH PARKING ENTRY RAMP LOOKING WEST

NEW SECTION

A4.01



10:00AM

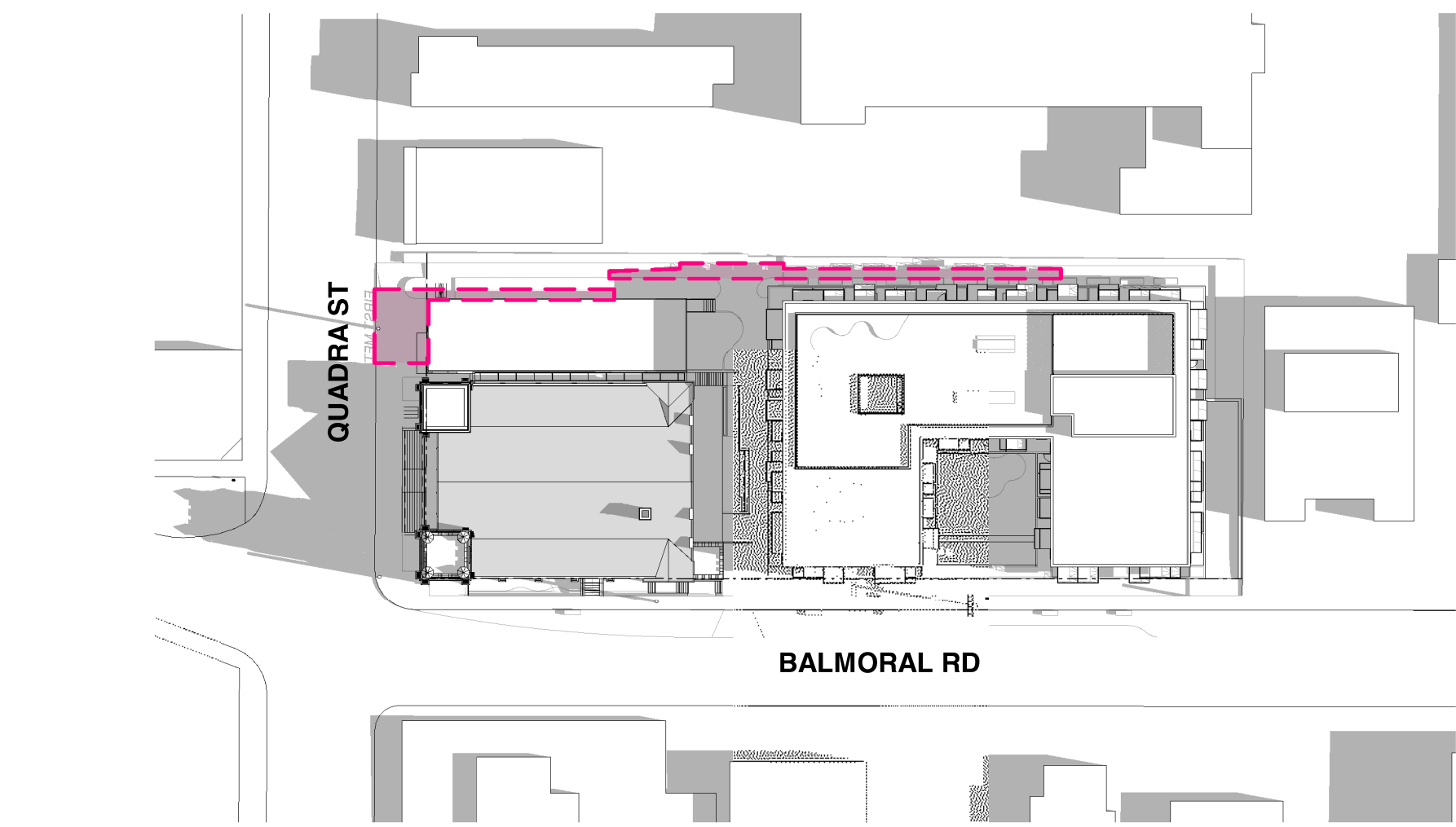


12:00PM

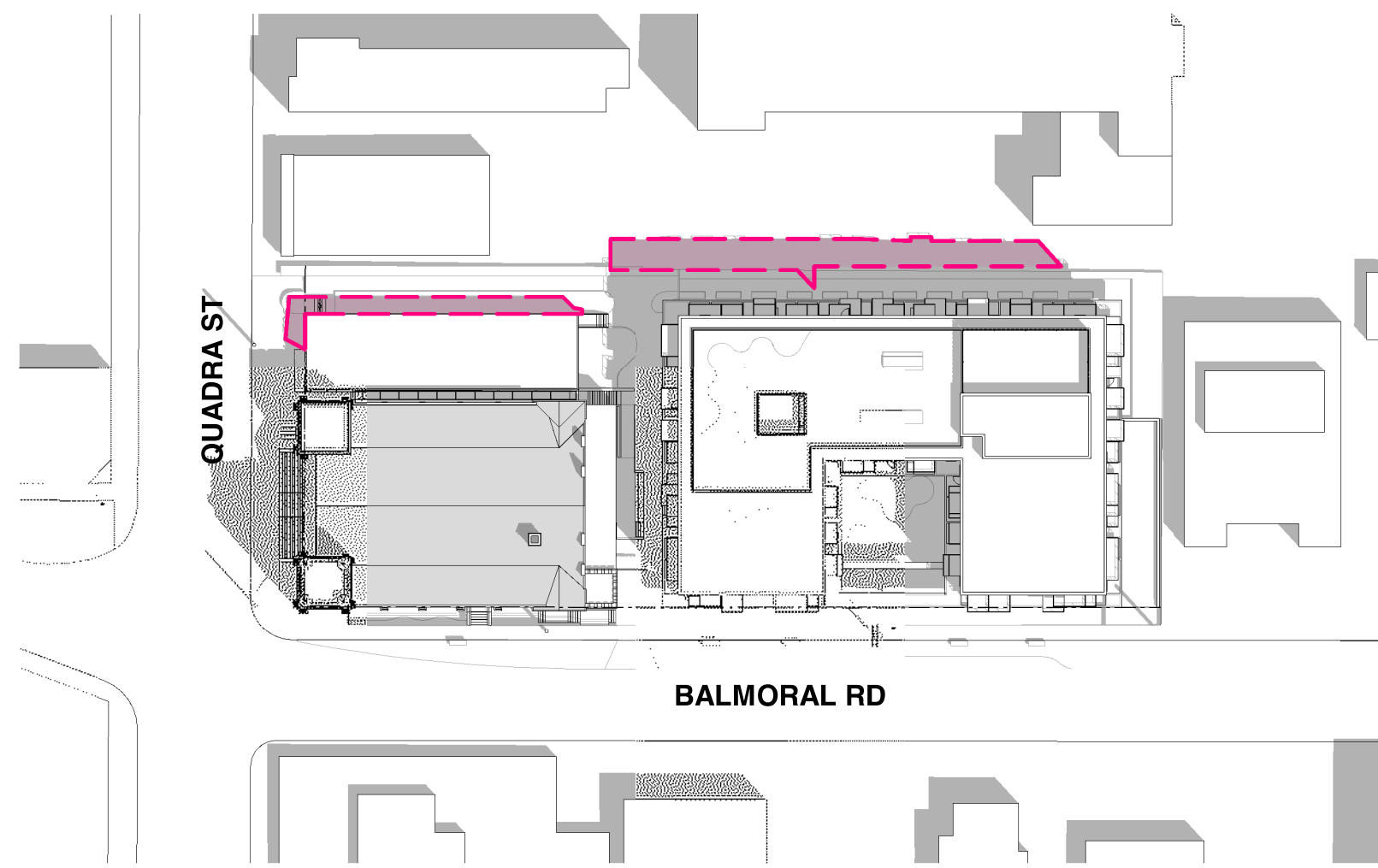


2:00PM

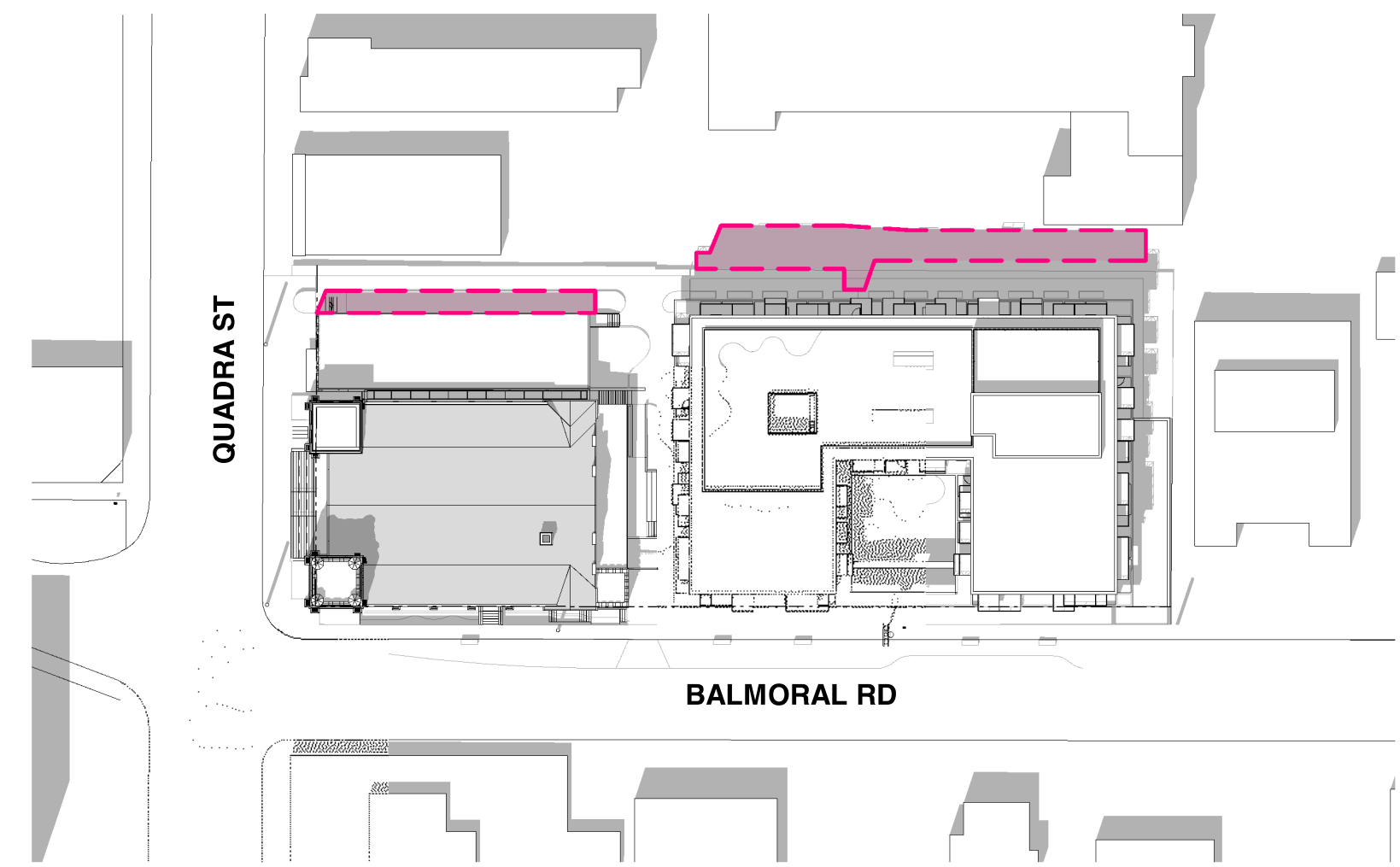
3 SPRING EQUINOX



10:00AM

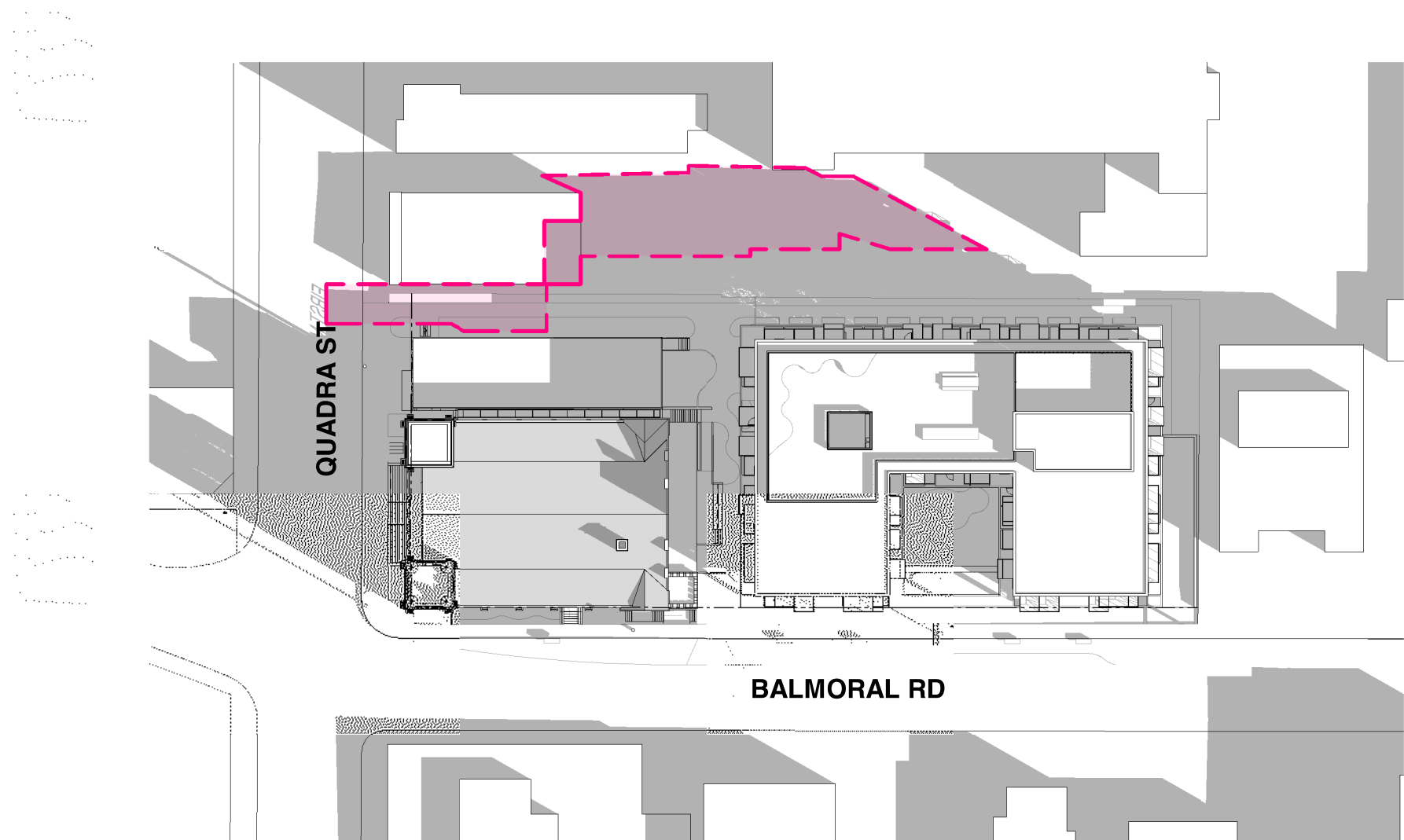


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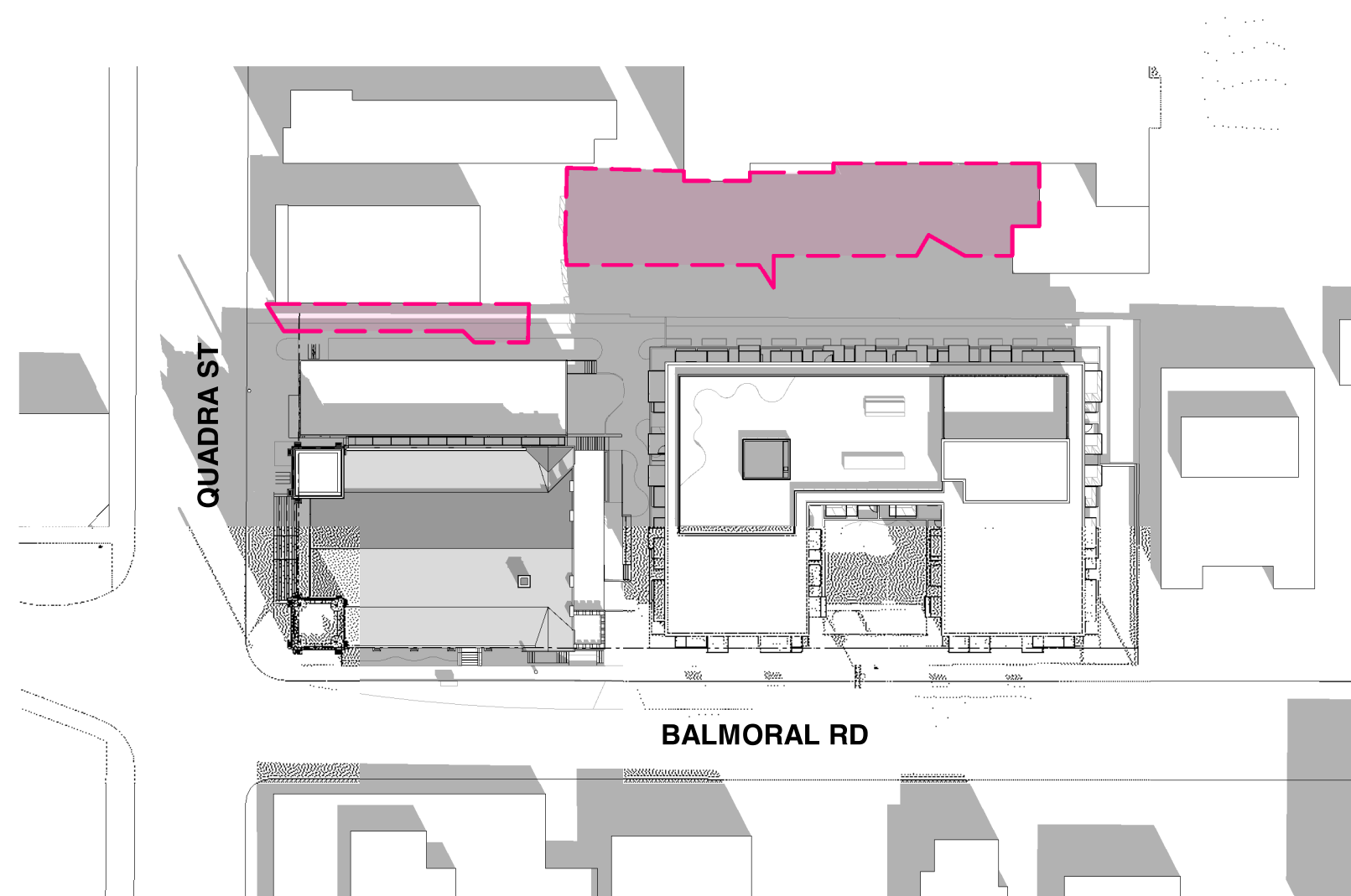


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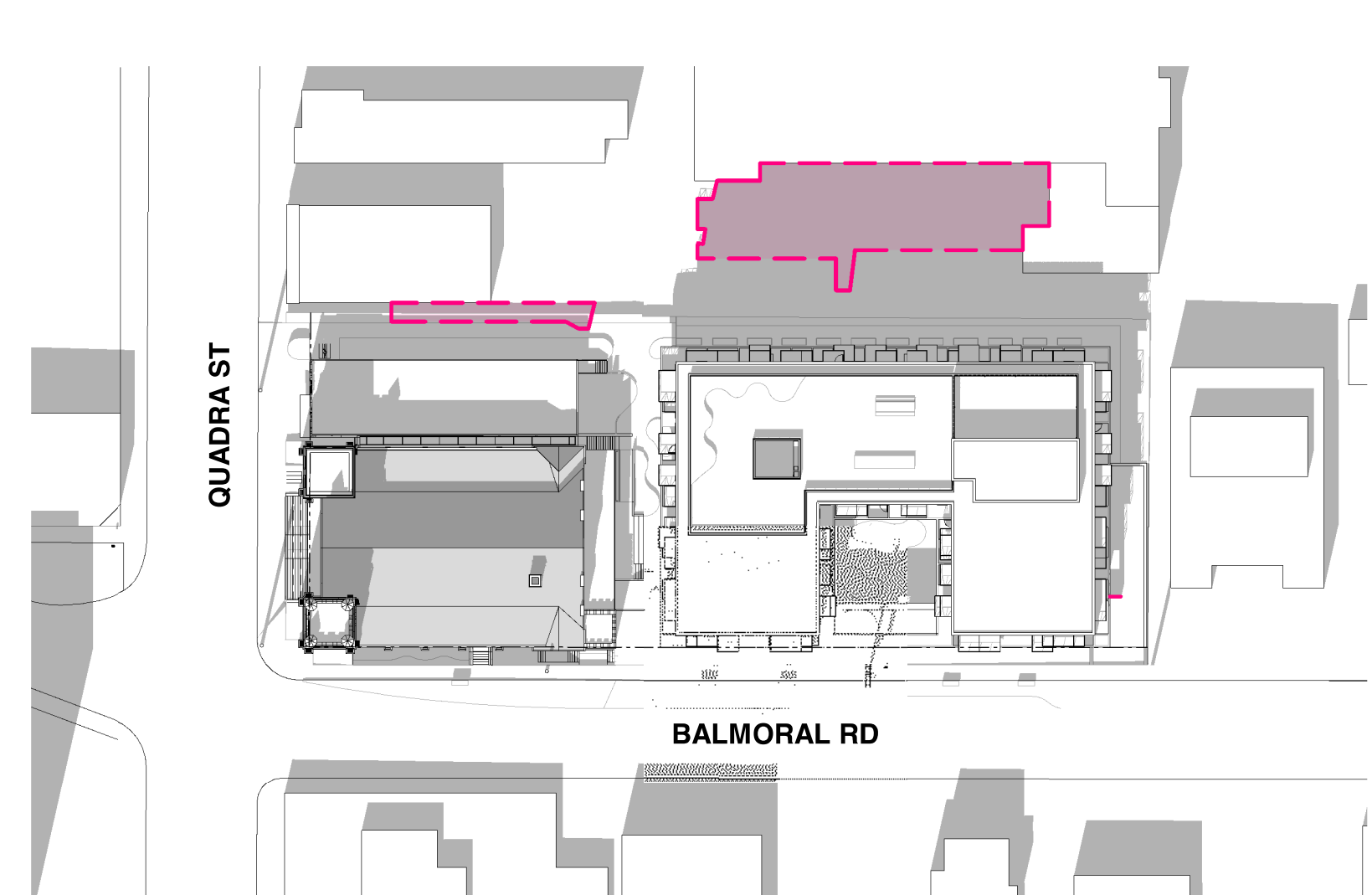
2 SUMMER SOLTICE



10:00AM



12:00PM



2:00PM

1 FALL EQUINOX

--- EXTENT OF NEW SHADOWS ONLY

MA
+
HG

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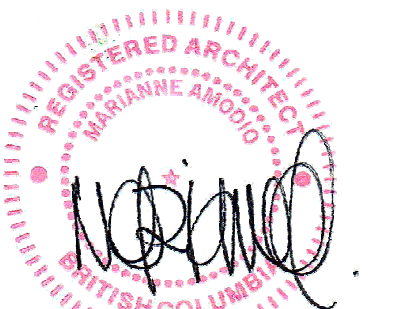
FIRST
MET



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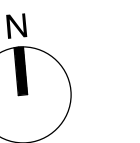
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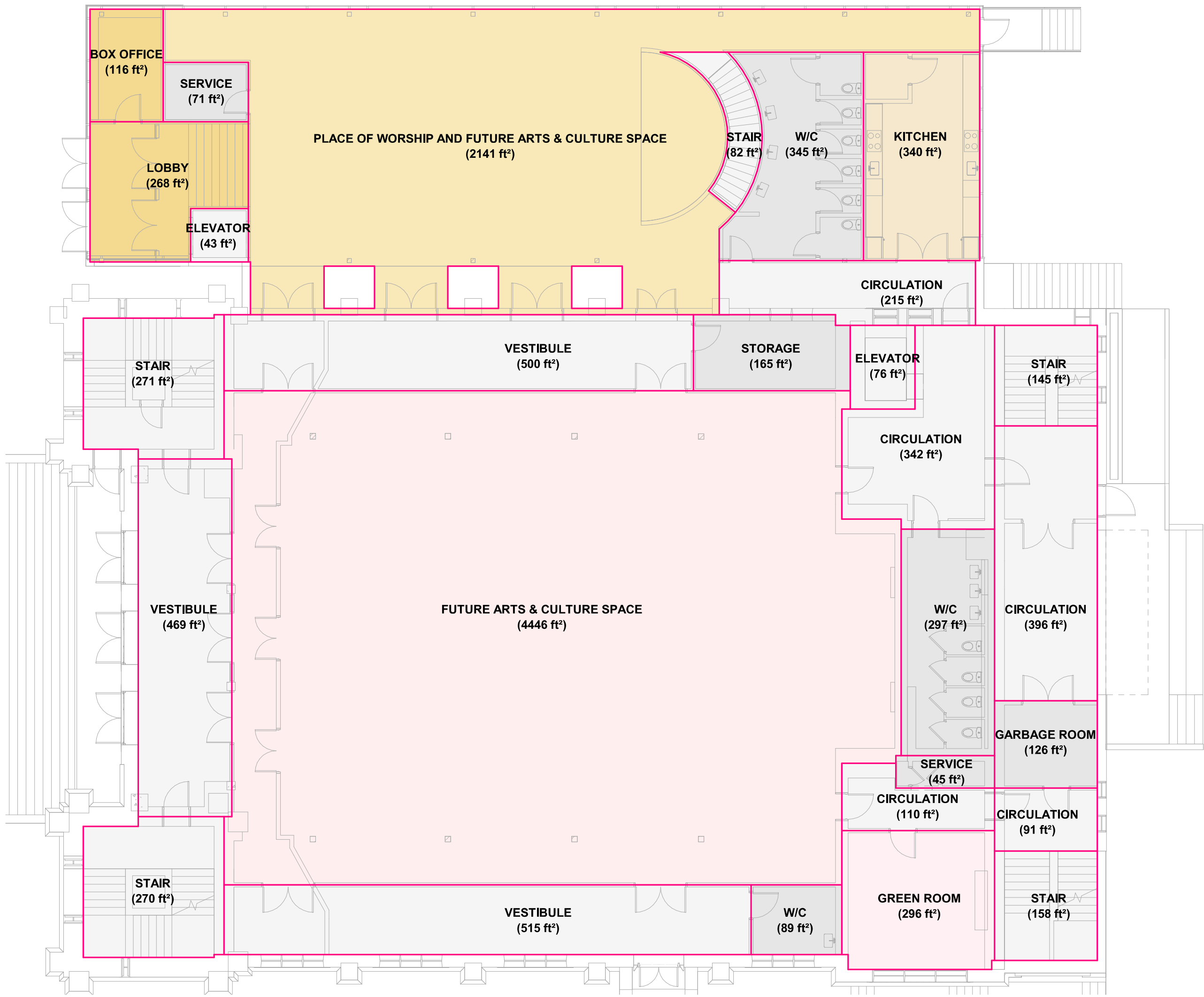
2025-05-28

SHADOW STUDIES

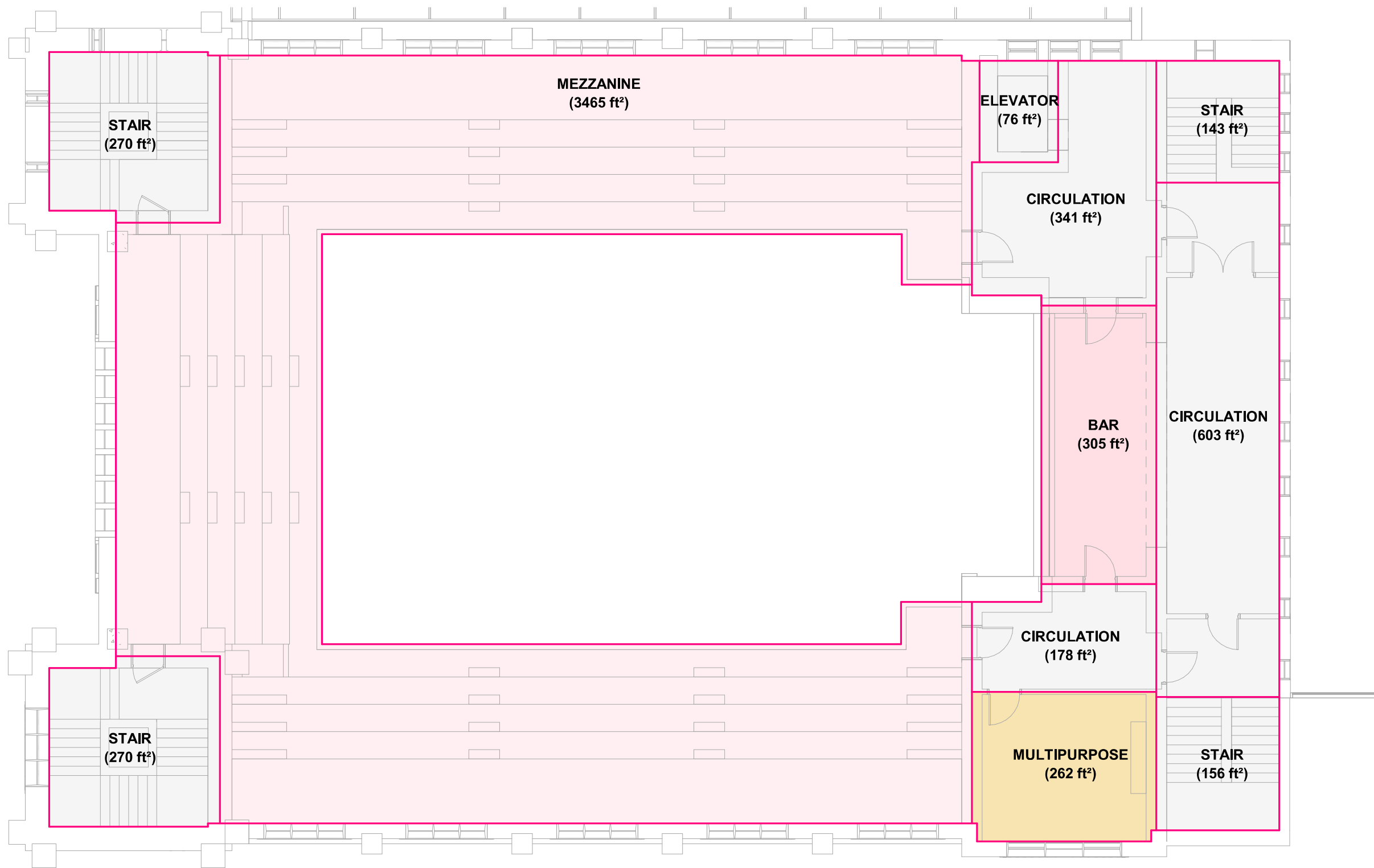
SCALE
1/64" = 1'-0"



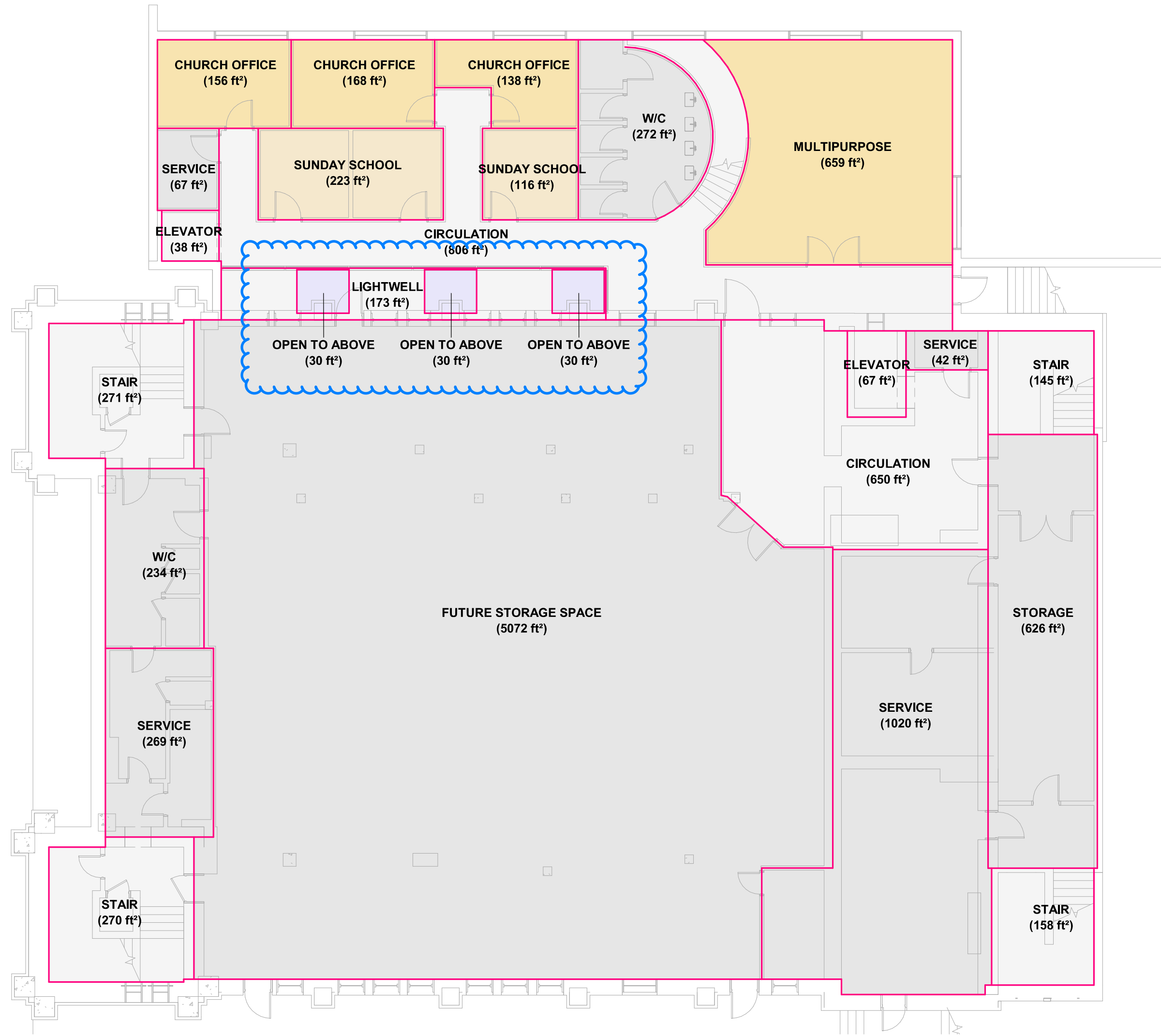
A5.00



3 FIRST FLOOR PLAN



2 MEZZANINE PLAN



1 LOWER FLOOR PLAN

FSR CALCULATIONS

**FSR CALCULATIONS ARE TAKEN FROM INSIDE FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS AS PER CITY OF VICTORIA REQUIREMENTS

ALLOWABLE FSR:	
SITE AREA:	47,790 ft² (4440m²)
MAX FSR:	2.5 / 119,475 ft²
TOTAL PROPOSED GFA:	
TOTAL PROPOSED FSR:	2.24 / 107123 ft²

FSR BREAKDOWN

RESIDENTIAL BUILDING	
TOTAL GFA RESIDENTIAL BLDG:	
89,708 ft²	
EXCLUSIONS	
COMMERCIAL	ELEVATOR
RESIDENTIAL	ELEVATOR
974 ft²	
RESULTING FSR AREAS	
COMMERCIAL	AREA
RESIDENTIAL	FSR
TOTAL FSR AREA:	
88,734 ft² 1.857	

FIRST MET HERITAGE BUILDING

TOTAL GFA FIRST MET HERITAGE BLDG:	
21,423 ft²	
EXCLUSIONS	
HERITAGE BUILDING	ELEVATOR
HERITAGE BUILDING	LOWER FLOOR
8,205 ft²	
RESULTING FSR AREAS	
HERITAGE BUILDING	AREA
TOTAL FSR AREA:	FSR
13,218 ft² 0.277	

NEW ADDITIONS

TOTAL GFA NEW ADDITIONS:	
8,801 ft²	
EXCLUSIONS	
NEW ADDITIONS	ELEVATOR
NEW ADDITIONS	LOWER FLOOR
3,630 ft²	
RESULTING FSR AREAS	
NEW ADDITIONS	AREA
TOTAL FSR AREA:	FSR
5,171 ft² 0.108	



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FLOOR SPACE RATIO PLANS

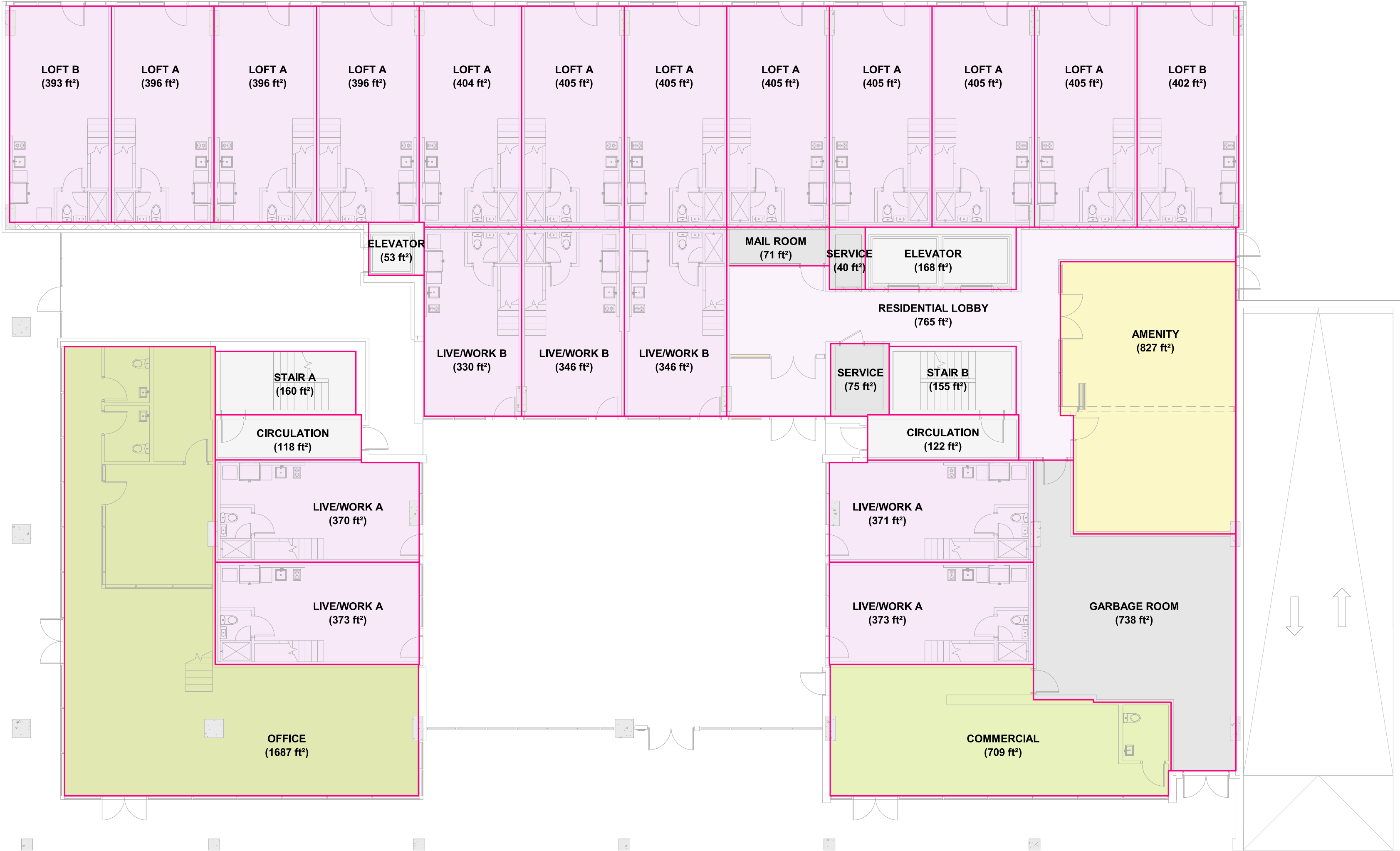
SCALE
3/32" = 1'-0"



FSR 1.00



2 LEVEL 01 MEZZANINE



1 LEVEL 01



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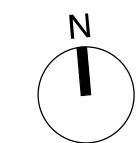
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FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"



FSR 1.01

2 LEVELS 03 TO 05



1 LEVEL 02



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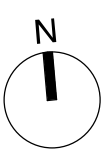
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FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"



FSR 1.02



1 LEVEL 06



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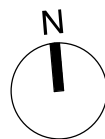
MAY 5, 2025
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2025-05-28

FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"



FSR 1.03

FIRST MET - 934 BALMORAL RD & 1701 QUADRA ST

Victoria, BC

Issued for Rezoning / DP

LANDSCAPE DRAWING LIST

L0.00 - Cover Sheet

Concept Plan

- L1.01 - Site Concept Plan
- L1.02 - Level 2 Concept Plan
- L1.03 - Roof Terrace Concept Plan

Planting Plan

- L1.41 - Site Planting Plan

Details

- L4.11 - Paving
- L4.41 - Planting

Information on this Record Drawing regarding the locations of landscape architectural features is based on the IFC drawings, Change Orders and Site Instructions issued after the issuance of the IFC drawings, and on information provided by the Contractor. This drawing is intended for general guidance only; no guarantee is given of its accuracy.

No.	Description	Date
1	CALUC Issue	2025/03/21
2	Rezoning/DP	2025/05/05

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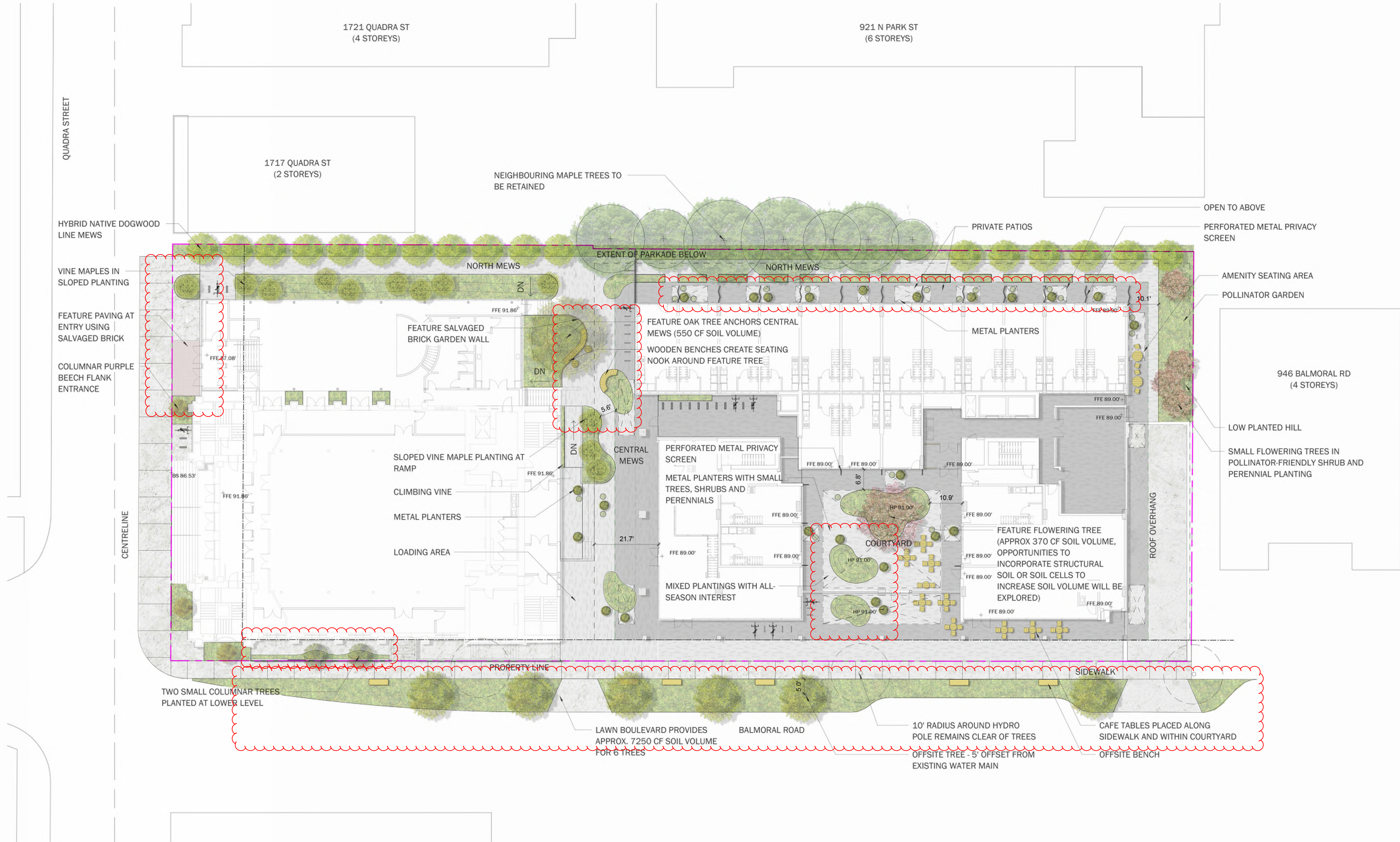
First Met

1701 Quadra St. Victoria, BC

Cover Sheet

Date	02/08/24	Drawing Number
Project No.	2429	
Scale		
Drawn/Checked/Author	Checker	

L0.00



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No.	Description	Date
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2	Rezoning/DP	2025/05/05

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1701 Quadra St. Victoria, BC

Concept Plan
Ground Floor

Date	03/21/25	Drawing Number
Project No.	2429	
Scale	1/16" = 1' 0"	L1.01
Drawn/Checked	ZF SS	

MATERIAL LEGEND

- CONCRETE UNIT PAVERS
- CIP CONCRETE
- MOVEABLE TABLE AND CHAIRS
- BIKE RACKS (46 PUBLIC SPACES)
- EXISTING TREE TO BE RETAINED
- PLANTING AREA
- PLANTER WITH METAL EDGE
- METAL POTS - 36" OR 24" DIAMETER PLANTED WITH SMALL TREES, SHRUBS AND PERENNIALS
- PROPOSED OFFSITE BENCH

GENERAL LEGEND

- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION

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No.	Description	Date
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2	Rezoning/DP	2025/05/05

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First Met

1701 Quadra St. Victoria, BC

Concept Plan
Level 2

Date	03/21/25	Drawing Number
Project No.	2429	
Scale	1/8" = 1' 0"	L1.02
Drawn/Checked	ZF SS	

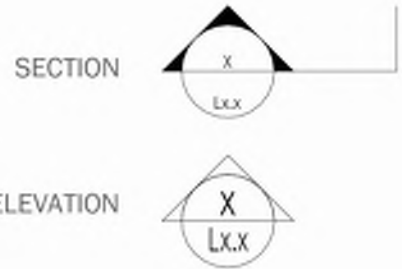
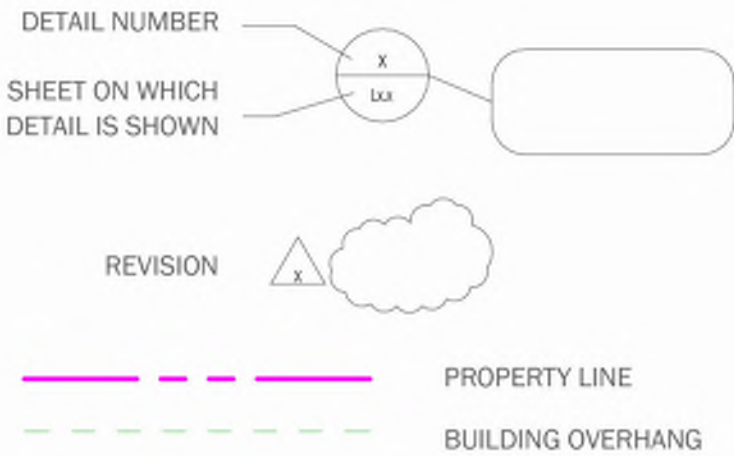


MATERIAL LEGEND



PRIVATE PATIOS

GENERAL LEGEND



PLANTING SCHEDULE

	LEVEL 2 PART SUN Ceanothus thyrsiflorus repens / Creeping Blueblossom Cotoneaster adpressus / Creeping Cotoneaster Jasminum nudiflorum / Winter Jasmine Rosa nutkana / Nootka Rose Rubus parviflorus / Thimbleberry	956 sf 13 13 13 13 13
	LEVEL 2 SHADE Arctostaphylos uva-ursi / Kinnikinnick Polystichum munitum / Western Sword Fern Symphoricarpos albus / Common Snowberry	115 sf 30 30 14

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No.	Description	Date
1	CALUC Issue	2025/03/21
2	Rezoning/DP	2025/05/05

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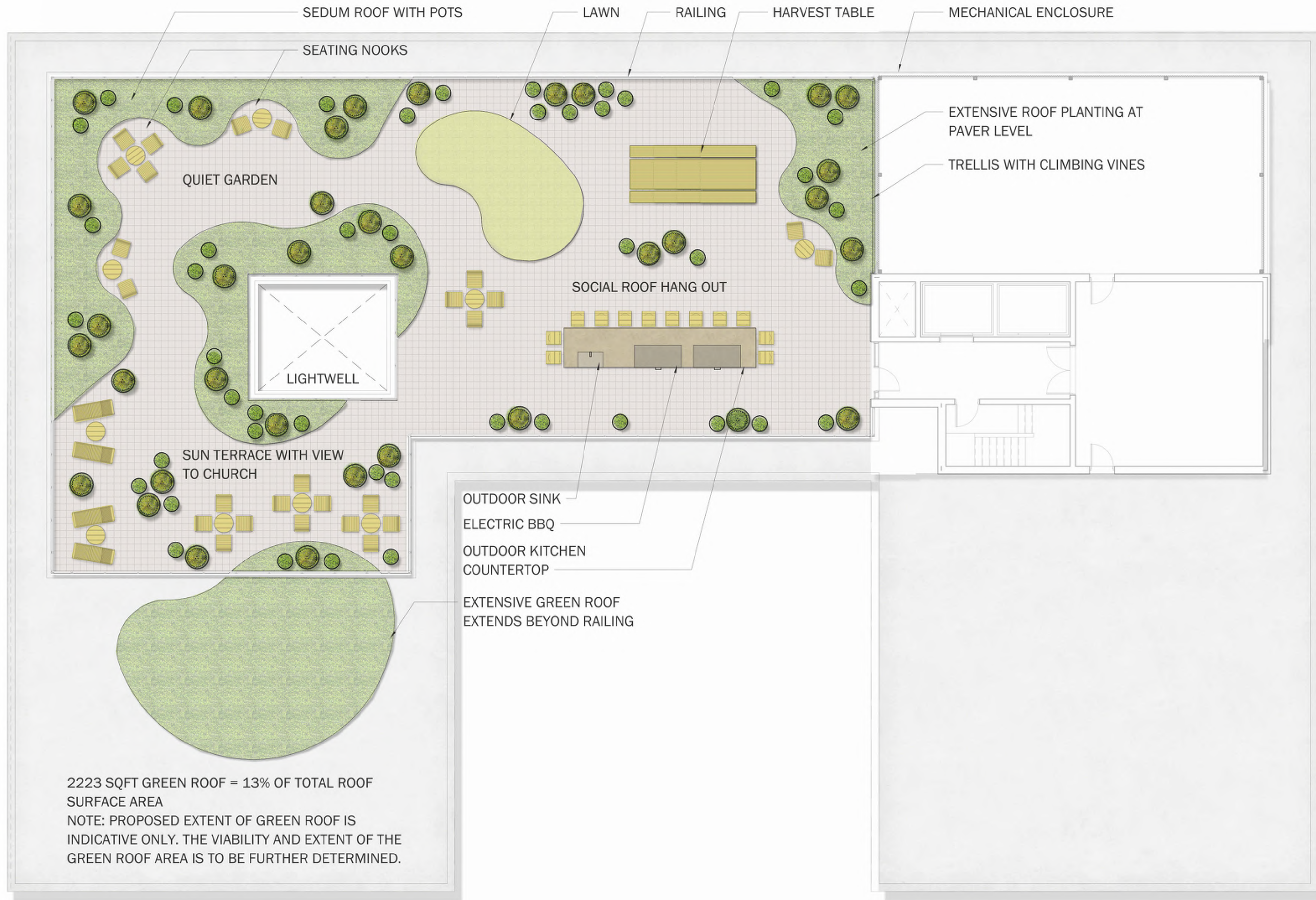
First Met

1701 Quadra St. Victoria, BC

Concept Plan
Roof

Date	03/21/25	Drawing Number
Project No.	2429	
Scale	1/8" = 1' 0"	
Drawn/Checked	ZF SS	

L1.03



PLANTING CONCEPT SCHEDULE

SMALL POTS - ROOF TERRACE		114 sf
Artemisia frigida / Fringed Wormwood		18 962
Aster laevis / Smooth Aster		18 962
Camassia leichtlinii / Great Camas		9 462
Polystichum munitum / Western Sword Fern		38
LARGE POTS - ROOF TERRACE		248 sf
Armeria maritima / Sea Thrift		41 239
Fragaria vesca / Woodland Strawberry		41 239
ROOF TERRACE EXTENSIVE ROOF		1 892 sf
Sedum mats with mixed species		
LAWN		255 sf

2223 SQFT GREEN ROOF = 13% OF TOTAL ROOF SURFACE AREA
NOTE: PROPOSED EXTENT OF GREEN ROOF IS INDICATIVE ONLY. THE VIABILITY AND EXTENT OF THE GREEN ROOF AREA IS TO BE FURTHER DETERMINED.

PLANTING SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
SHRUBS			
	Al2	9	Amelanchier laevis / Allegheny Serviceberry
	Cc2	11	Ceanothus x 'Concha' / Concha Wild Lilac
	Ps	8	Pinus contorta 'Spaan's Dwarf' / Spaan's Dwarf Shore Pine
	Rt2	7	Rhus typhina / Staghorn Sumac

SIZE	SPACING	COMMENTS
#3 Pot	As Shown	Full, Well Established, Specimen Quality
#3 Pot	As Shown	Full, Well Established, Specimen Quality
#3 Pot	As Shown	Full, Well Established, Specimen Quality
#3 Pot	As Shown	Full, Well Established, Specimen Quality

MATERIAL LEGEND



CONCRETE UNIT
PAVERS ON PEDESTALS



METAL POTS - 36" OR 24"
DIAMETER
PLANTED WITH SMALL TREES,
SHRUBS AND PERENNIALS

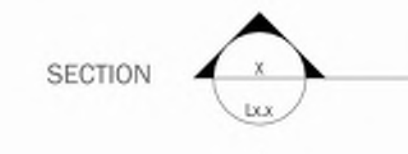
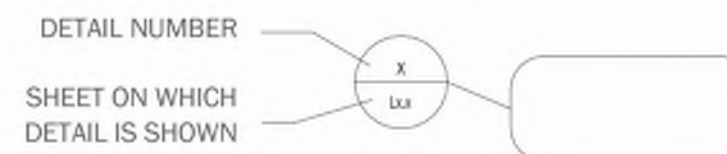


MOVEABLE FURNITURE



MOVEABLE TABLE AND CHAIRS

GENERAL LEGEND



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No.	Description	Date
1	Rezoning/DP	2025/05/05

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First Met

1701 Quadra St. Victoria,
BC

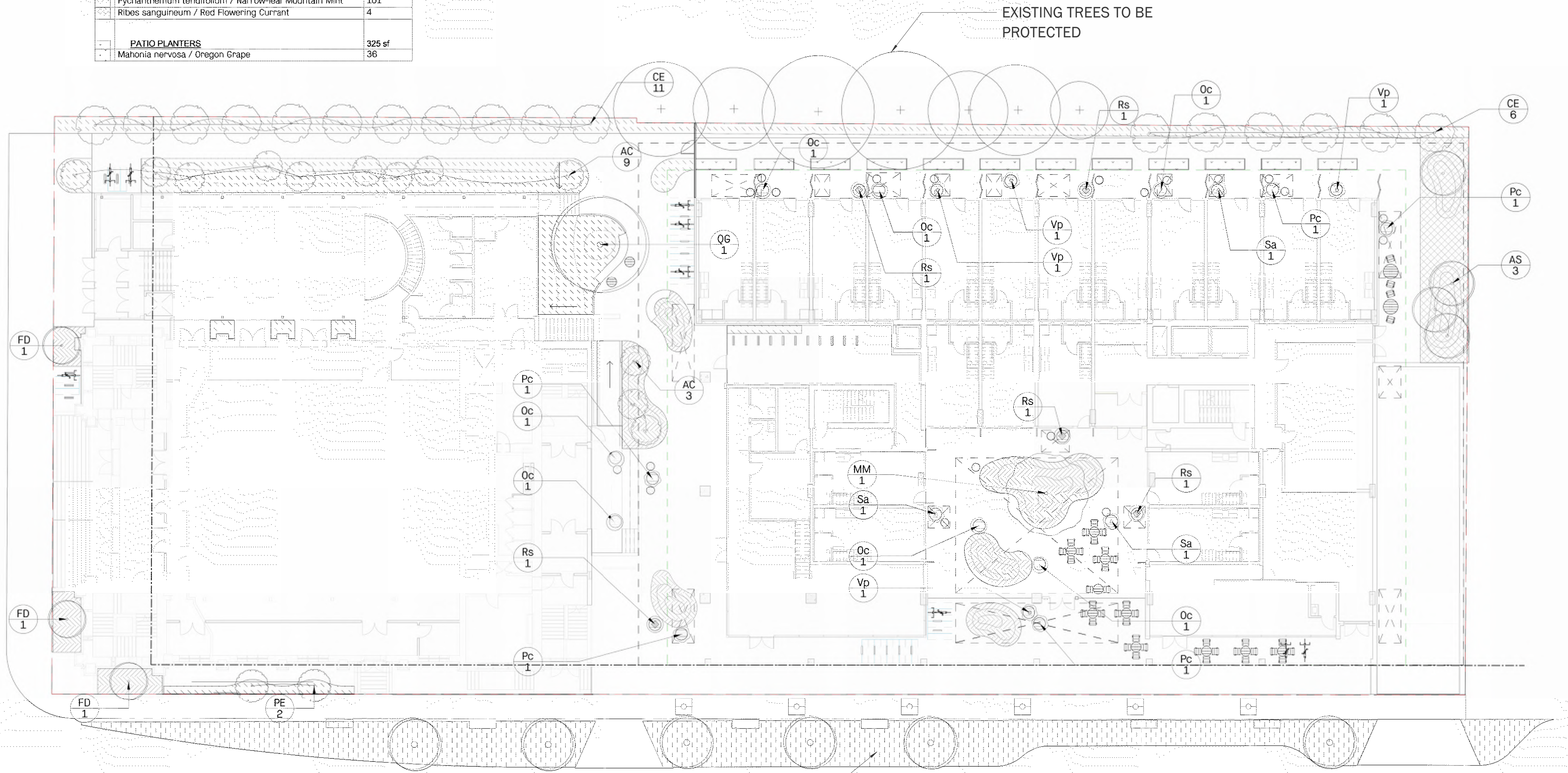
Planting Plan -
Ground Floor

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1/16" = 1'-0"	
Drawn/Checked	ZF SS	

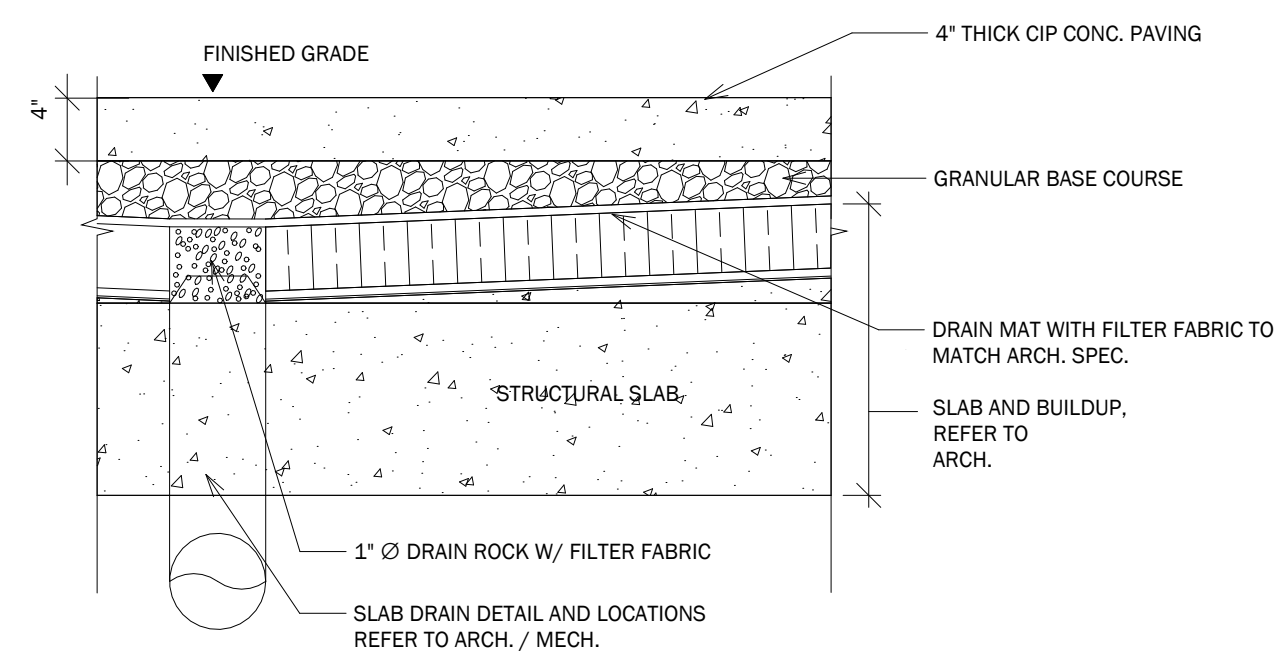
L1.41

CONCEPT PLANT SCHEDULE		
GROUND FLOOR - SHADE GROUNDCOVER		
Adiantum Pedatum / Northern Maidenhair Fern	227	135
Asarum caudatum / Wild Ginger	454	269
Athyrium filix-femina / Common Lady-Fern	113	568
Blechnum spicant / Deer Fern	201	896
Oxalis oregana / Redwood Sorrel	681	400
Polystichum munitum / Sword Fern	454	268
Tiarella cordifolia / Foamflower	454	268
LARGE POTS - GROUND FLOOR		
Asarum caudatum / Wild Ginger	27	936
Blechnum spicant / Deer Fern	12	408
SMALL POTS - GROUND FLOOR		
Adiantum Pedatum / Northern Maidenhair Fern	4	482
Oxalis oregana / Redwood Sorrel	13	464
Polystichum munitum / Western Sword Fern	8	982
Tiarella cordifolia / Foamflower	8	982
BOULEVARD LAWN		
Cerastium arvense / Field Chickweed		
Festuca roemerii / Roemer's Fescue		
Trifolium tridentatum / Tomcat Clover		
PART SUN GROUNDCOVER		
Allium cernuum / Nodding Onion	193	
Arctostaphylos uva-ursi / Kinnikinnick	49	
Deschampsia cespitosa / Tufted Hair Grass	258	
Fragaria vesca / Woodland Strawberry	116	
Fritillaria affinis / Chocolate Lily	777	
Symphoricarpos subspicatum / Douglas Aster	1	295
POLLINATOR GARDEN		
Achillea millefolium / Common Yarrow	134	
Anaphalis margaritacea / Pearly Everlasting	134	
Daphne x transatlantica 'Blafra' / Eternal Fragrance Daphne	25	
Gaultheria shallon / Salal	134	
Pycnanthemum tenuifolium / Narrow-leaf Mountain Mint	101	
Ribes sanguineum / Red Flowering Currant	4	
PATIO PLANTERS		
Matronia nervosa / Oregon Grape	325	sf
	36	

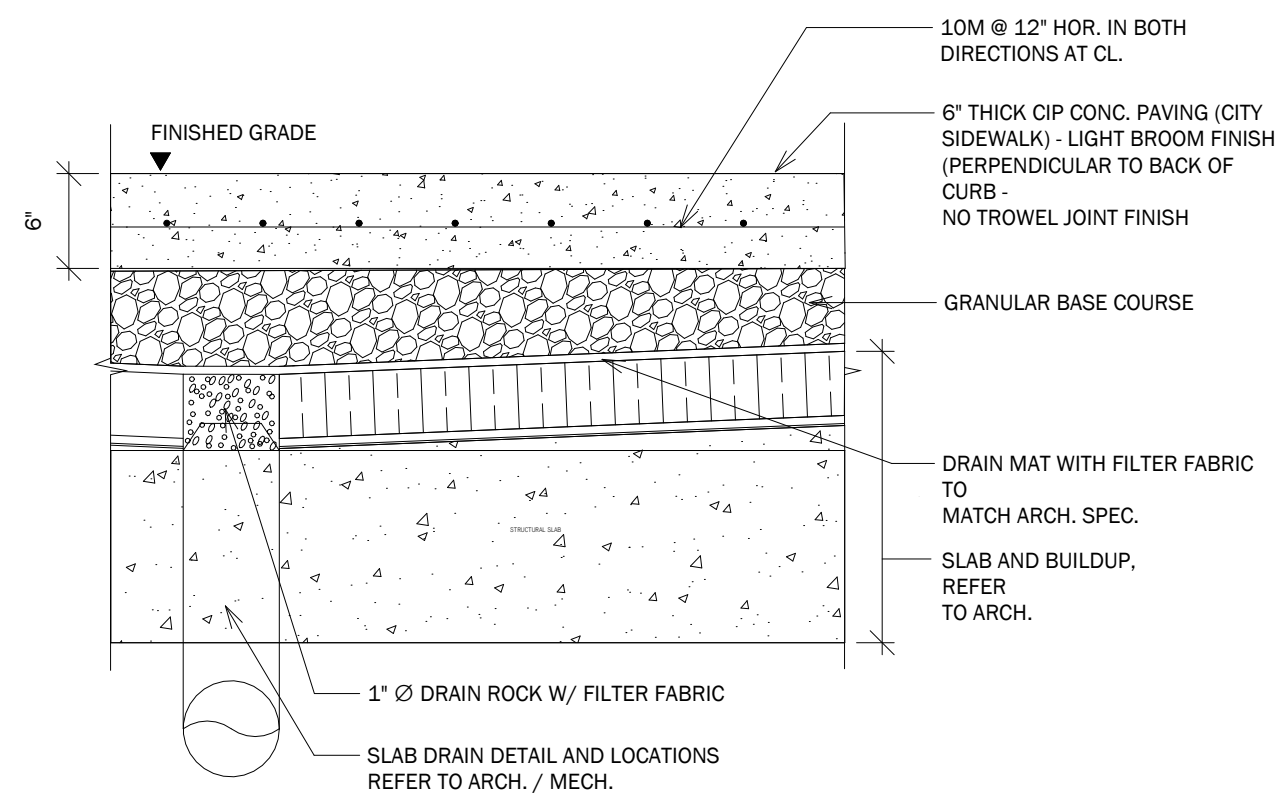
PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
TREES					
AC	12	Acer circinatum / Vine Maple	1.8m ht.	As Shown	
AS	4	Amelanchier alnifolia / Serviceberry	1.8m ht.	As Shown	
CE	17	Cornus x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	4cm cal.	As Shown	
FD	3	Fagus sylvatica 'Dawyck Purple' / Dawyck Purple European Beech	6cm cal.	As Shown	
MM	1	Magnolia x soulangeana / Saucer Magnolia Multi-Trunk	6cm cal.	As Shown	
PE	2	Populus tremula 'Erecta' / European Columnar Aspen	1.8m ht.	As Shown	
QG	1	Quercus garryana / Oregon White Oak	6cm cal.	As Shown	
SHRUBS					
Oc	7	Oemleria cerasiformis / Osoberry	#3 Pot	As Shown	
Pc	5	Physocarpus capitatus / Pacific Ninebark	#3 Pot	As Shown	
Ra	5	Ribes sanguineum / Red Flowering Currant	#3 Pot	As Shown	
Sa	3	Symphoricarpos albus / Common Snowberry	#3 Pot	As Shown	
Vp	4	Vaccinium parvifolium / Red Huckleberry	#3 Pot	As Shown	



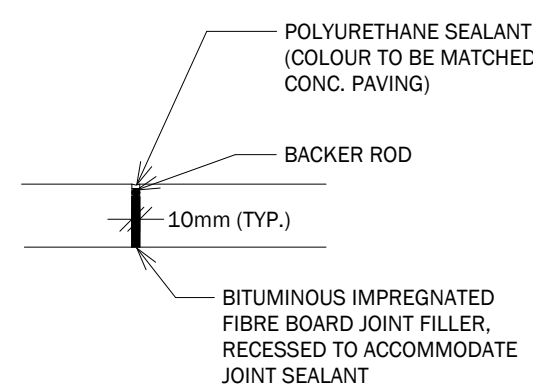
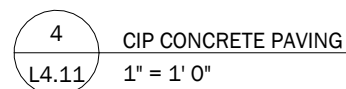
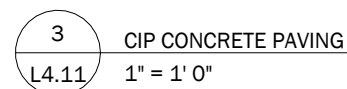
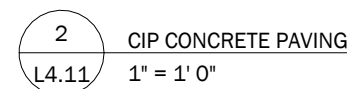
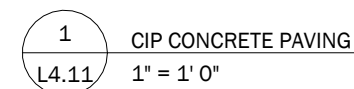
STREET TREES TO BE
SELECTED BY THE CITY OF
VICTORIA



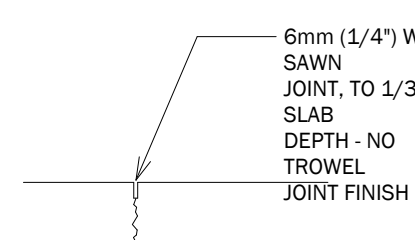
ON SLAB - PEDESTRIAN USE



ON SLAB - VEHICULAR USE



EXPANSION JOINT - TYPICAL
SCALE N.T.S.



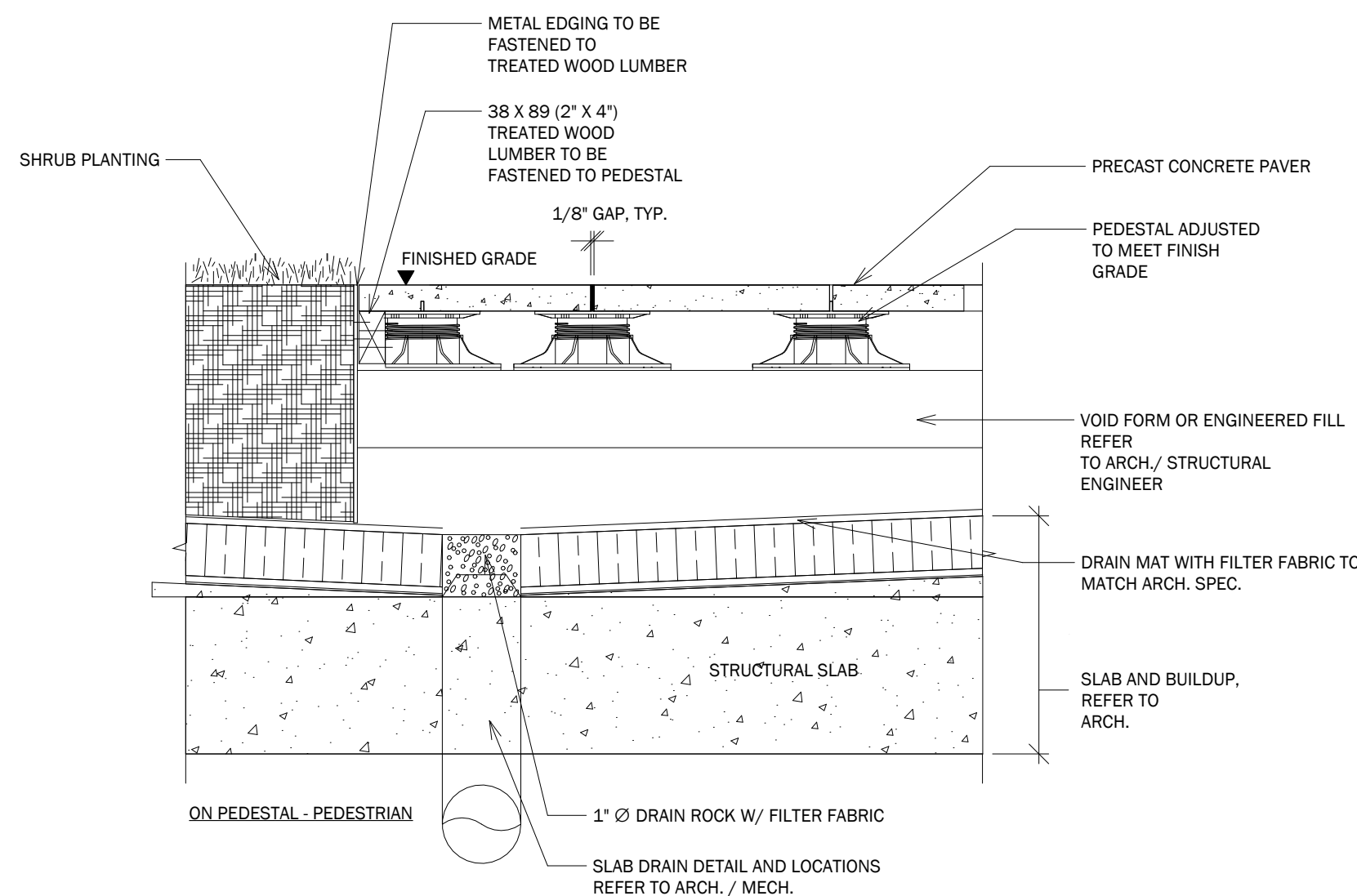
SAWCUT JOINT - TYPICAL
SCALE N.T.S.

NOTES:

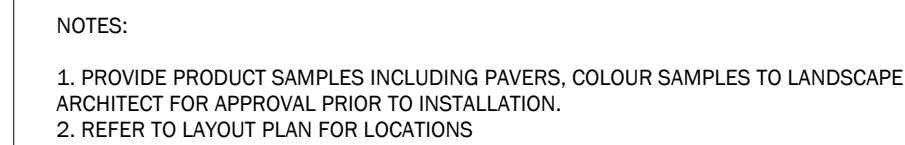
1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH;
2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS;
3. CUT 3 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS REFER TO LAYOUT PLAN.
4. PROVIDE ISOLATION JOINTS: AS SHOWN ON PLAN; BETWEEN POURLS; AT CHANGE IN MATERIALS; AT EDGES ABUTTING STRUCTURES AND OTHER FIXED ELEMENTS; AT MAX. 6.0M O.C.
5. SAW CUT JOINTS TO BE LOCATED AT 9'-0" (3.0m) MAX. INTERVALS. REFER TO PLAN.
6. ISOLATION JOINTS TO BE LOCATED AT 30'-0" (9.0m) MAX. INTERVALS AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS. INSTANT EXPANSION JOINTS (MAXIMUM 8M). WHEN SIDEWALK IS ADJACENT TO CURB, MAKE JOINTS OF CURB, GUTTERS AND SIDEWALK COINCIDE.
7. ENSURE CLEAN CUT EDGE OF EXISTING PAVING ALONG PROPERTY LINE.
8. REFER LANDSCAPE SPECIFICATION 32 13 13 - CONCRETE FOR EXTERIOR LINE.

NOTES:

1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
2. ALL PEDESTALS MUST BE INSTALLED OVER A MINIMUM 60 PSI RIGID INSULATION WITH PROTECTION BOARD TO SPREAD THE LOAD. REFER TO PEDESTAL MANUFACTURER'S RECOMMENDATIONS.
3. REFER TO LAYOUT PLAN FOR LOCATIONS

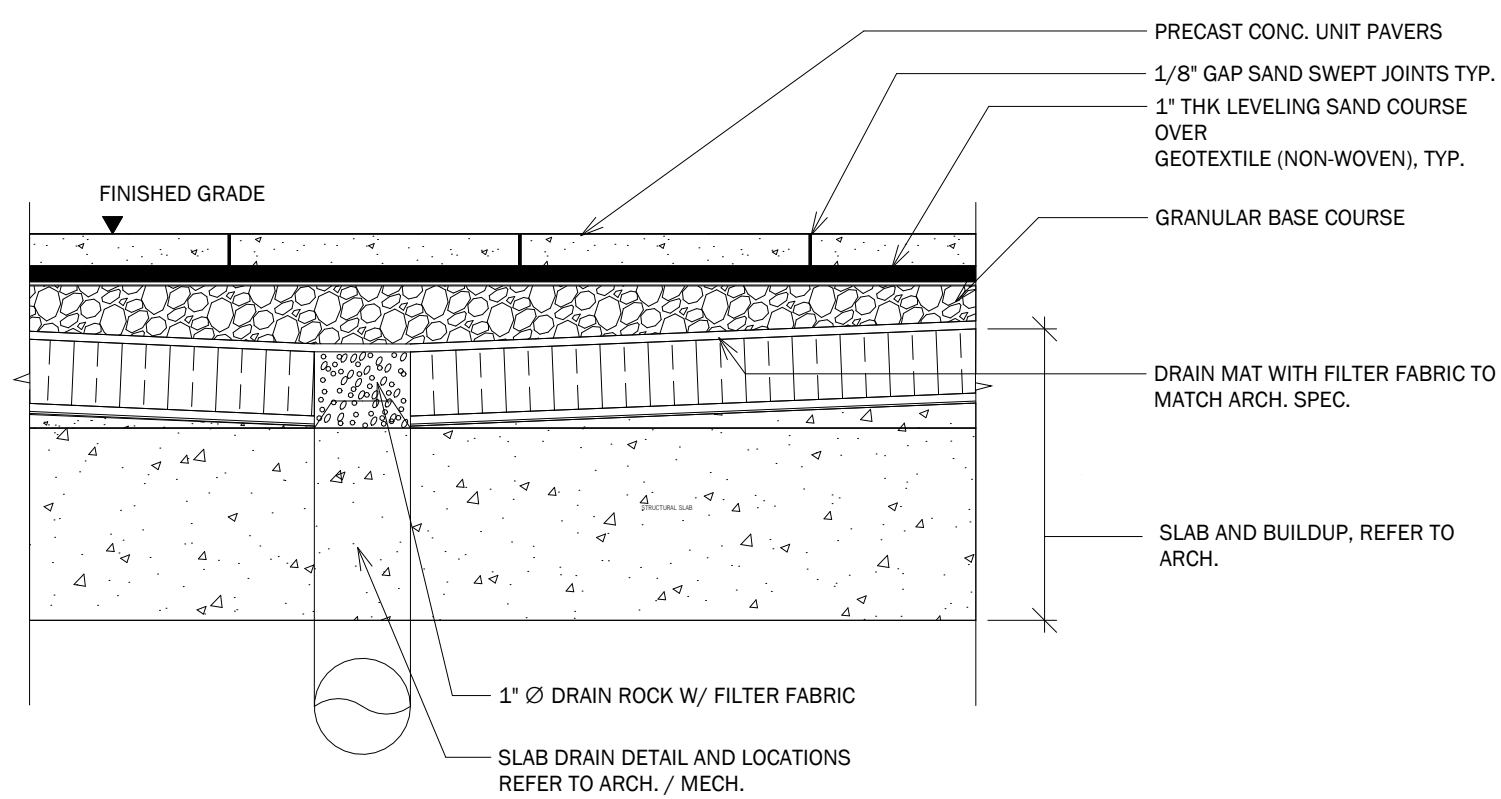


6 PRECAST CONCRETE UNIT PAVING
L4.11 1" = 1' 0"

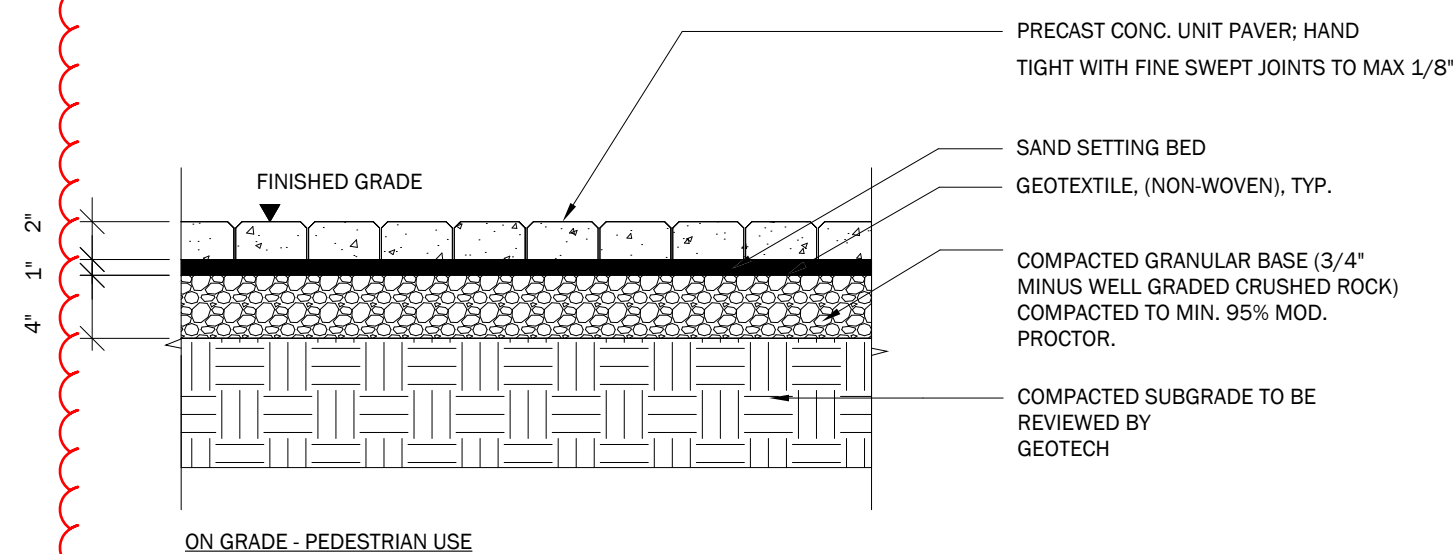


NOTES:

1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
2. REFER TO LAYOUT PLAN FOR LOCATIONS



ON STRUCTURAL SLAB - PEDESTRIAN



5	PRECAST CONCRETE UNIT PAVING
L4.11	1" = 1' 0"

HAPA COLLABORATIVE

403 - 375 West Fifth
Avenue
Vancouver BC, V5Y 1J6

Landscape Architecture
Urban Design

604 909 4150
hapacb.com

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No.	Description	Date
1	Rezoning/DP	2025/05/05

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BC

Paving Details

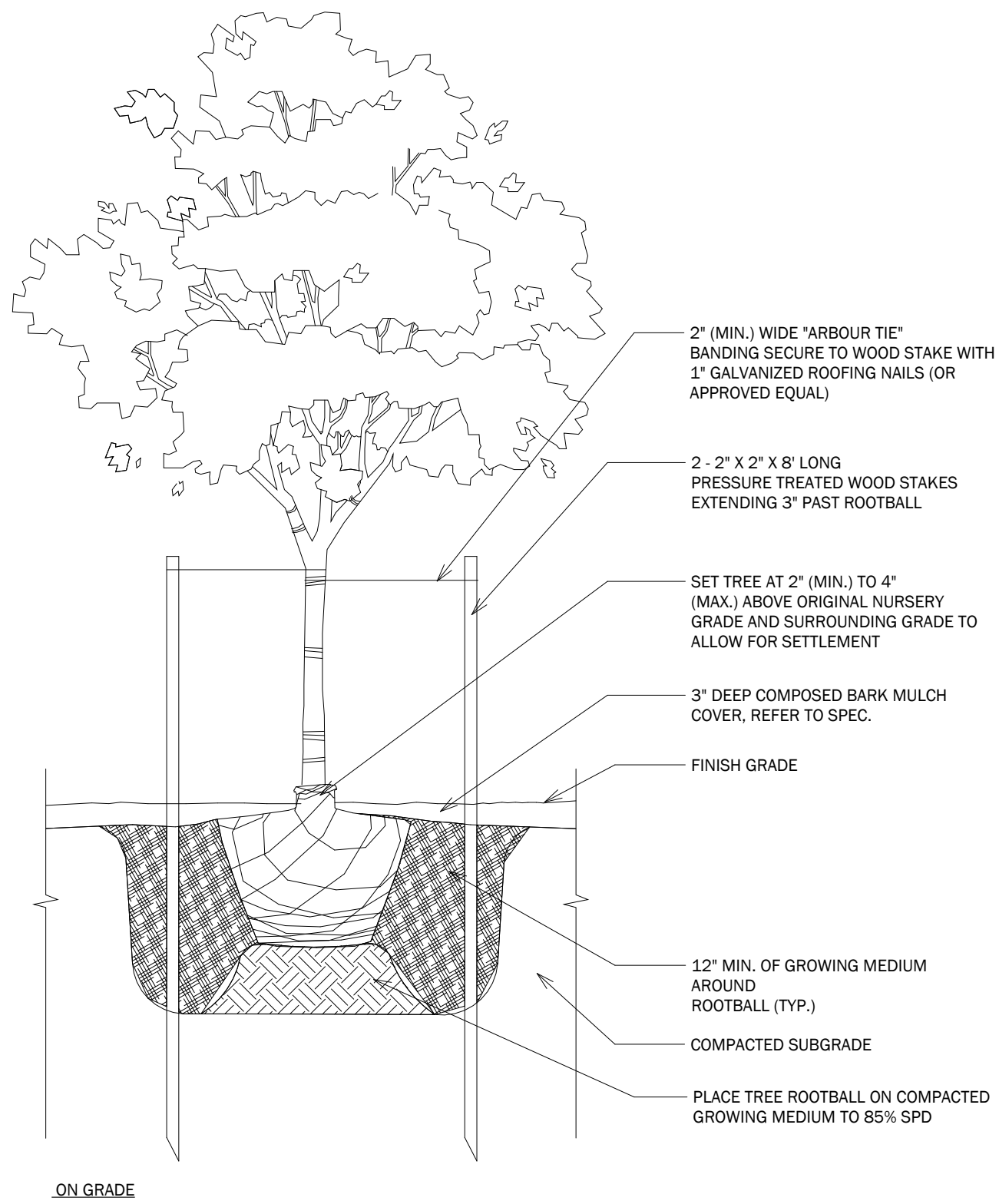
Date **03/06/25** Drawing Number

Project No. **2429**

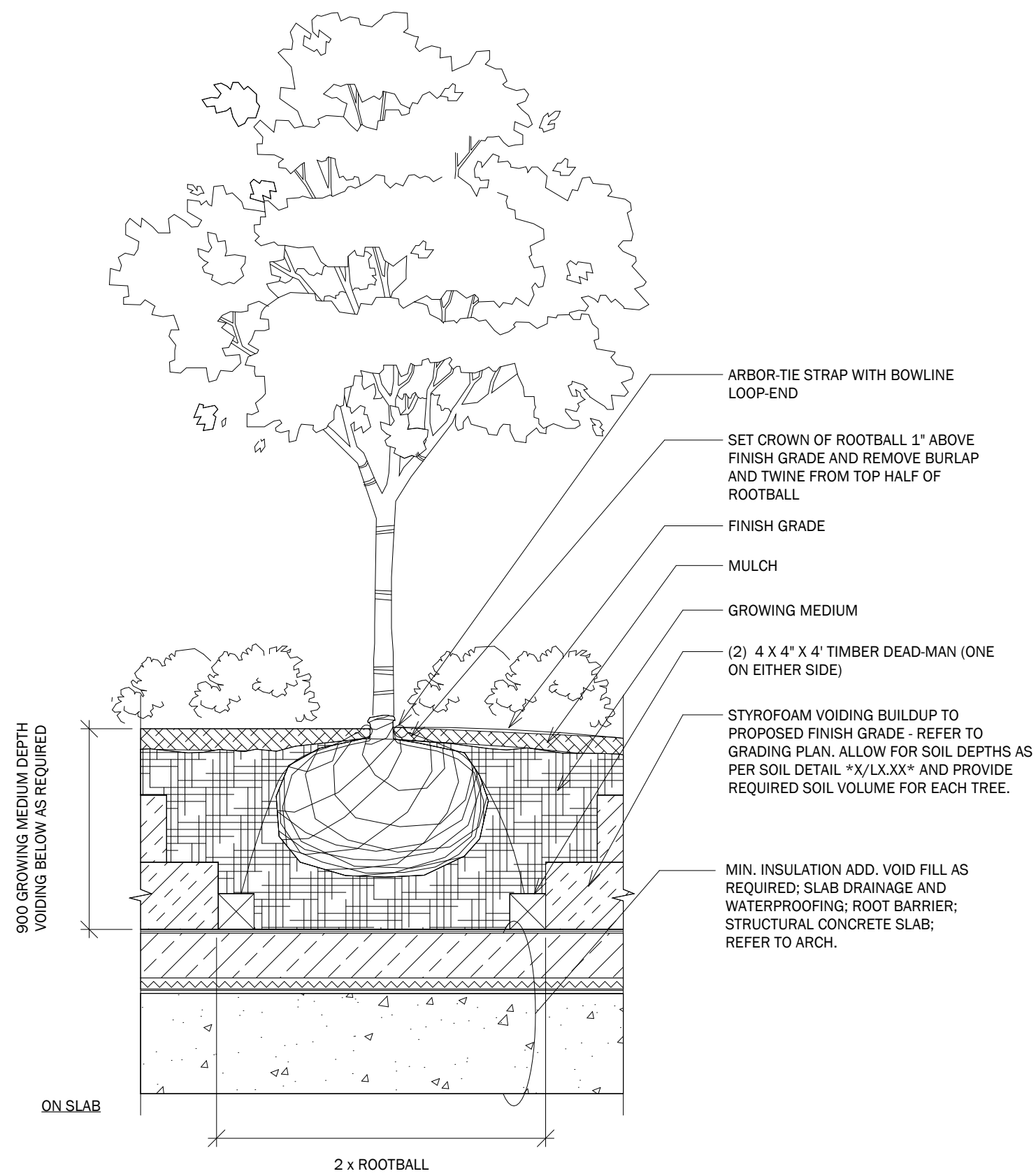
Scale **1" = 1'-0"**

Drawn/Checked **ZF | SS**

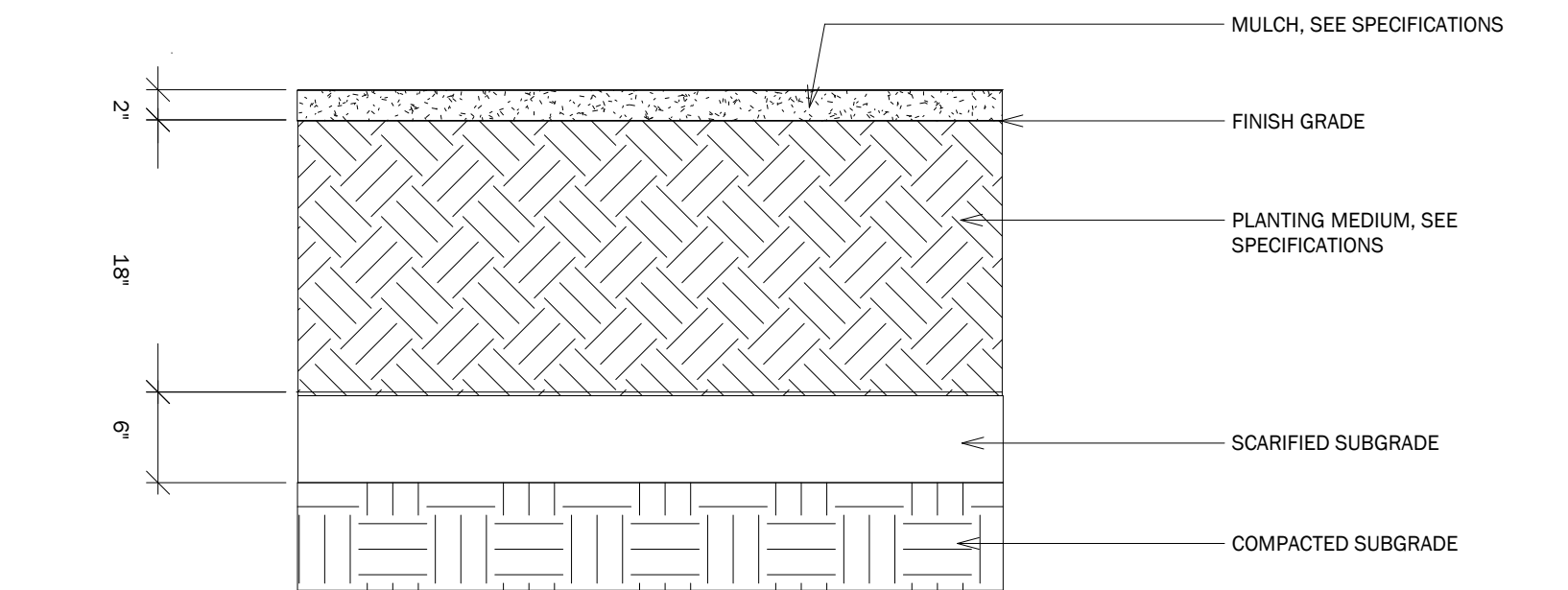
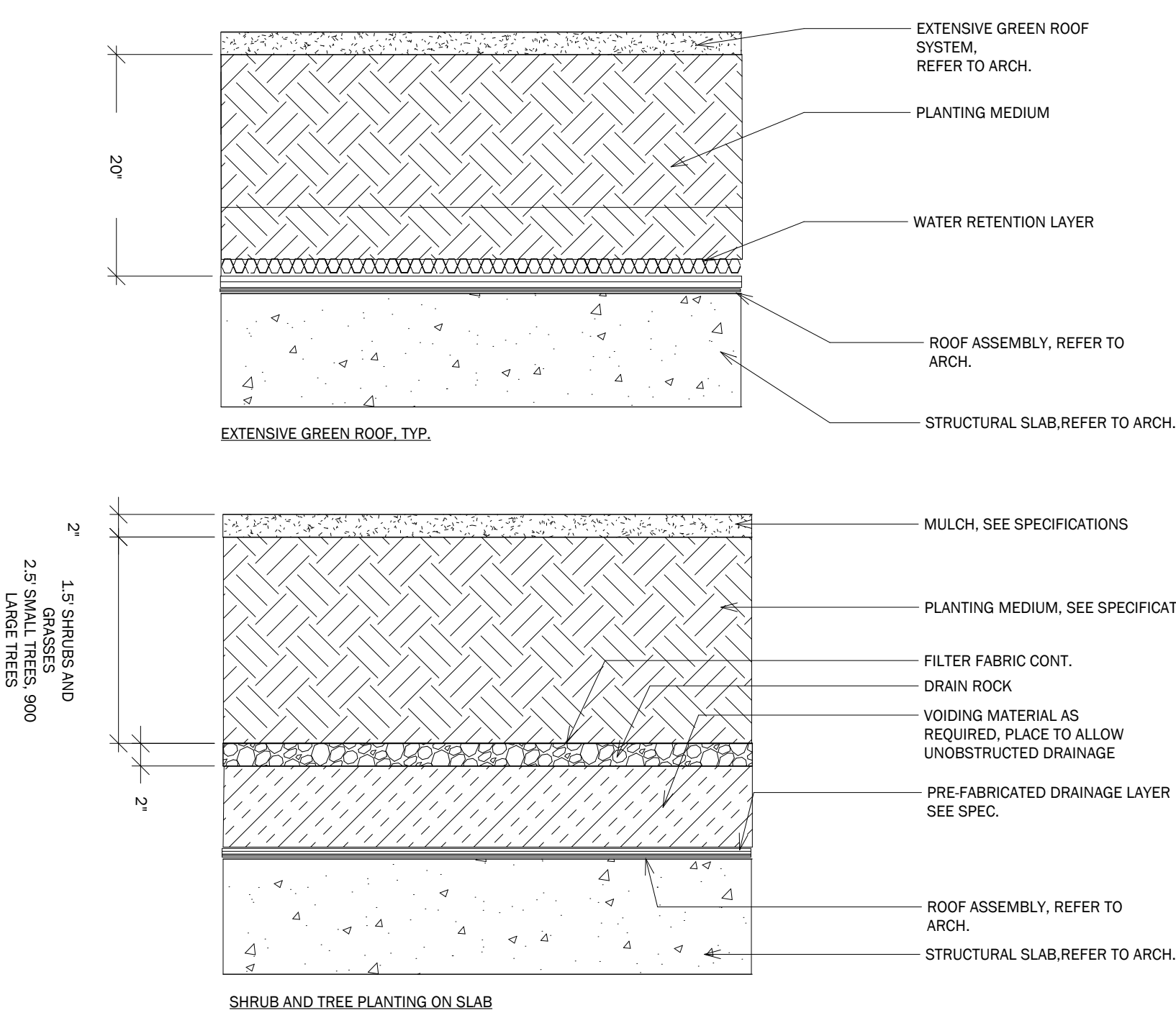
L4.11



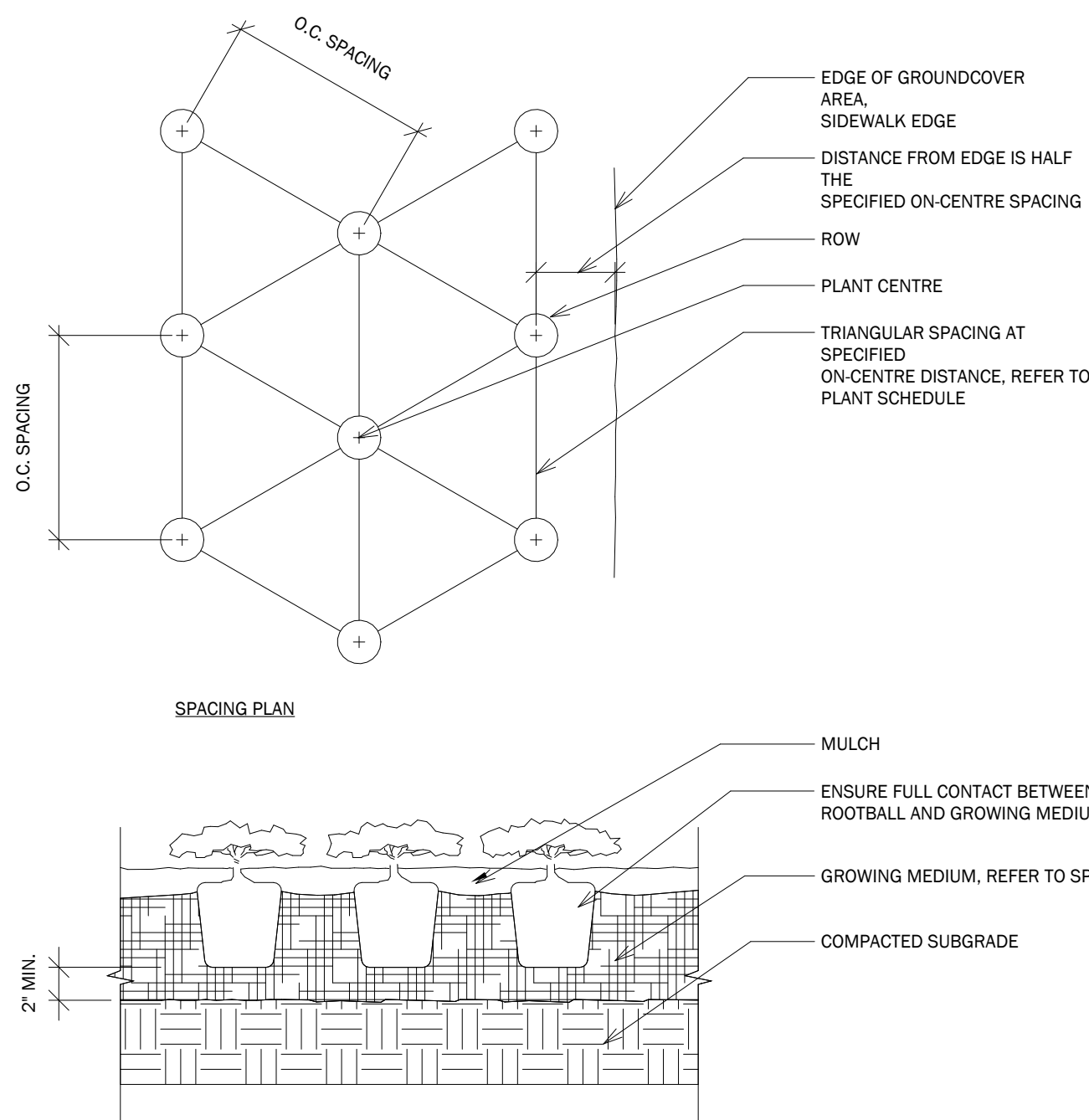
1 TREE PLANTING
1" = 1' 0"



2 TREE PLANTING
1" = 1' 0"



3 TREE PLANTING
1" = 1' 0"



5 GROUND COVER PLANTING
1" = 1' 0"

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First Met

1701 Quadra St. Victoria, BC

Planting Details

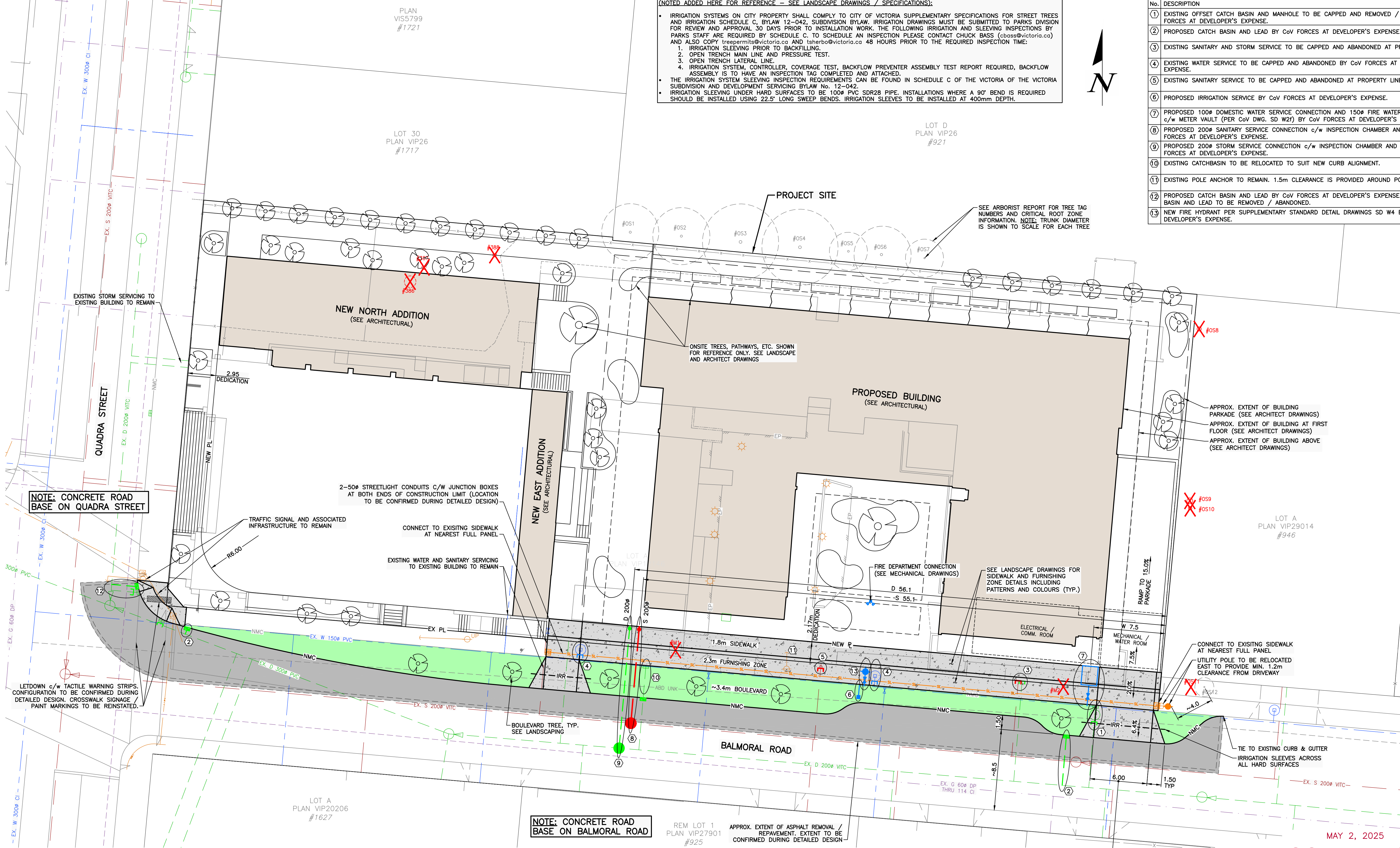
Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1" = 1'-0"	
Drawn/Checked	ZF SS	

L4.41

IRRIGATION SPECIFIC NOTES
(NOTED ADDED HERE FOR REFERENCE - SEE LANDSCAPE DRAWINGS / SPECIFICATIONS):

- IRRIGATION SYSTEMS ON CITY PROPERTY SHALL COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO PARKS DIVISION FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT CHUCK BASS (cbass@victoria.ca) AND ALSO COPY treepermits@victoria.ca AND tsherbo@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME:
- 1. IRRIGATION SLEEVING PRIOR TO BACKFILLING.
- 2. OPEN TRENCH MAIN LINE AND PRESSURE TEST.
- 3. OPEN TRENCH LATERAL LINE.
- 4. IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY IS TO HAVE AN INSPECTION TAG COMPLETED AND ATTACHED.
- 5. THE IRRIGATION SYSTEM SLEEVING INSPECTION REQUIREMENTS CAN BE FOUND IN SCHEDULE C OF THE VICTORIA OF THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW No. 12-042.
- 6. IRRIGATION SLEEVING UNDER HARD SURFACES TO BE 100# PVC SDR28 PIPE. INSTALLATIONS WHERE A 90° BEND IS REQUIRED SHOULD BE INSTALLED USING 22.5° LONG SWEEP BENDS. IRRIGATION SLEEVES TO BE INSTALLED AT 400mm DEPTH.

SHEET NOTES	
No.	DESCRIPTION
①	EXISTING OFFSET CATCH BASIN AND MANHOLE TO BE CAPPED AND REMOVED / ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
②	PROPOSED CATCH BASIN AND LEAD BY CoV FORCES AT DEVELOPER'S EXPENSE.
③	EXISTING SANITARY AND STORM SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
④	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑤	EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
⑥	PROPOSED IRRIGATION SERVICE BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑦	PROPOSED 100# DOMESTIC WATER SERVICE CONNECTION AND 150# FIRE WATER SERVICE CONNECTION c/w METER VAULT (PER CoV DWG. SD W2f) BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑧	PROPOSED 200# SANITARY SERVICE CONNECTION c/w INSPECTION CHAMBER AND MANHOLE BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑨	PROPOSED 200# STORM SERVICE CONNECTION c/w INSPECTION CHAMBER AND MANHOLE BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑩	EXISTING CATCHBASIN TO BE RELOCATED TO SUIT NEW CURB ALIGNMENT.
⑪	EXISTING POLE ANCHOR TO REMAIN. 1.5m CLEARANCE IS PROVIDED AROUND POLE (ONSITE).
⑫	PROPOSED CATCH BASIN AND LEAD BY CoV FORCES AT DEVELOPER'S EXPENSE. EXISTING CATCH BASIN AND LEAD TO BE REMOVED / ABANDONED.
⑬	NEW FIRE HYDRANT PER SUPPLEMENTARY STANDARD DETAIL DRAWINGS SD W4 BY CoV FORCES AT DEVELOPER'S EXPENSE.



- NOTES:**
- FOR BUILDING INFORMATION, SEE DRAWINGS BY MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.
 - FOR LANDSCAPING, SEE DRAWINGS BY HAPA COLLABORATIVE.
 - FOR TREE INFORMATION INCLUDING DIAPHRANES AND TREE REMOVAL/RETAIN, SEE REPORT/DRAWINGS BY D. CLARK ARBORICULTURE.
 - FOR LEGAL INFORMATION, SEE DRAWINGS BY J.E. ANDERSON & ASSOCIATES.
 - UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT).
 - ALL EXISTING DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE (NOT SHOWN FOR CLARITY).
 - ALL EXISTING VALVE BOXES, UTILITY BOXES, MANHOLES, ETC. TO BE ADJUSTED AS REQUIRED TO MEET FINAL GRADES.
 - BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
 - ONSITE BIKE PARKING, ETC. NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).
 - ANY DISTURBED SURVEY MONUMENT TO BE REPLACED BY REGISTERED PROFESSIONAL SURVEY AT DEVELOPER'S EXPENSE.

LEGEND

- EXISTING TREE AND TAG # REFER TO ARBORIST REPORT BY D. CLARK ARBORICULTURE.
- EXISTING TREE AND TAG # TO BE REMOVED REFER TO ARBORIST REPORT BY D. CLARK ARBORICULTURE.

LEGAL PLAN & TOPOGRAPHIC SURVEY PROVIDED BY J.E. ANDERSON & ASSOCIATES

SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

SITE PLAN
1:200

PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC

ISSUED FOR REZONING / DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION



\\3241\PROJECTS\24-054\03 BALMORAL\0301\DRAWINGS\01-SHEETS\24-054-CSP.DWG 5/1/2025 9:44 AM CSP

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NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
1	APR 30/25	NCD	ISSUED FOR REZONING / DEVELOPMENT PERMIT				

McElhanney

500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3

PH (250) 370-9221

PROFESSIONAL ENGINEER
No. 43315
2025-05-02

PROJECT:
934 BALMORAL ROAD, VICTORIA, BC

TITLE:
PRELIMINARY CIVIL PLAN

SCALE
HORIZ: 1:200
VERT: -

PROJECT NO.
24-054

ISSUED/REVISION
-

APPROVING AUTHORITY FILE NO.

DRAWING NO.
24-054-CSP