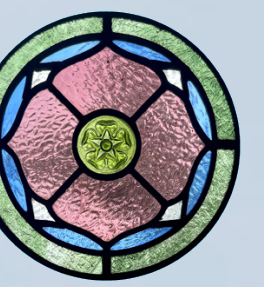




**932 BALMORAL
ROAD & 1701
QUADRA STREET**



**REZONING & DEVELOPMENT
PERMIT APPLICATION
TRG COMMENT RESPONSE 2**

DECEMBER 19, 2025

ZONING SUMMARY

CIVIC ADDRESS:
932 BALMORAL ROAD & 1701 QUADRA STREET
VICTORIA, BRITISH COLUMBIA V8T 1A8

LEGAL DESCRIPTION:
A0.03
REFER TO SURVEY

ZONING:
CBD-1

DRAWING LIST

	COVER SHEET
A0.01	DEVELOPMENT DATA
A0.02	SURVEY
A0.03	SITE CONTEXT
A0.04	SITE COVERAGE + AVERAGE GRADE
A1.00	DECONSTRUCTION SITE PLAN
A1.01	DECONSTRUCTION PLAN LOWER FLOOR - HERITAGE BLDG
A1.02	DECONSTRUCTION PLAN FIRST FLOOR - HERITAGE BLDG
A1.03	DECONSTRUCTION PLAN MEZZANINE - HERITAGE BLDG
A1.04	DECONSTRUCTION PLAN ROOF - HERITAGE BLDG
A1.10	SITE PLAN AT LEVEL 1
A1.11	SITE PLAN AT ROOF
A2.04	LOWER FLOOR PLAN - HERITAGE BLDG
A2.05	FIRST FLOOR PLAN - HERITAGE BLDG
A2.06	MEZZANINE PLAN - HERITAGE BLDG
A2.07	ROOF PLAN - HERITAGE BLDG
A2.10	LEVEL P1 PLAN - RESIDENTIAL BLDG
A2.11	LEVEL 01 PLAN - RESIDENTIAL BLDG
A2.12	MEZZANINE PLAN - RESIDENTIAL BLDG
A2.13	LEVEL 02 PLAN - RESIDENTIAL BLDG
A2.14	LEVEL 03 PLAN - RESIDENTIAL BLDG
A2.15	LEVEL 04 PLAN - RESIDENTIAL BLDG
A2.16	LEVEL 05 PLAN - RESIDENTIAL BLDG
A2.17	LEVEL 06 PLAN - RESIDENTIAL BLDG
A2.18	ROOF PLAN - RESIDENTIAL BLDG
A3.00	BALMORAL ROAD ELEVATION
A3.01	QUADRA STREET ELEVATION
A3.02	NORTH SITE ELEVATION
A3.03	EAST SITE ELEVATION
A3.04	CENTRAL MEWS WEST SITE ELEVATION
A3.05	CENTRAL MEWS EAST SITE ELEVATION
A3.10	HERITAGE ELEVATION - BALMORAL ROAD
A3.11	HERITAGE ELEVATION - QUADRA STREET
A3.12	HERITAGE ELEVATION - NORTH SITE
A3.13	HERITAGE ELEVATION - CENTRAL MEWS EAST
A4.00	SITE SECTIONS
A4.01	SITE SECTIONS
A4.10	TYP FOUNDATION WALL DETAILS
A4.11	INTERIOR HERITAGE ELEVATION
A5.00	SHADOW STUDIES
FSR 1.00	FLOOR SPACE RATIO PLANS
FSR 1.01	FLOOR SPACE RATIO PLANS
FSR 1.02	FLOOR SPACE RATIO PLANS
FSR 1.03	FLOOR SPACE RATIO PLANS

PROJECT TEAM

OWNER: ARYZE DEVELOPMENTS 200-398 HARBOUR ROAD VICTORIA BC V9A 0B7 250-940-3588	ENERGY COMPLIANCE ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA BC V8W 0E4 250-418-1288
ARCHITECT: MARIANNE AMODIO + HARLEY GRUSKO ARCHITECTS 201-877 EAST HASTINGS ST. VANCOUVER BC V6A 3Y1 778-379-9276	LANDSCAPE ARCHITECT: HAPA COLLABORATIVE 403-375 W 5th AVE. VANCOUVER BC V5Y 1J6 604.909.4150
STRUCTURAL ENGINEER: RJC ENGINEERS 303-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-386-7794	ARBORIST: D CLARK ARBORICULTURE 2741 THE RISE VICTORIA, BC V8T 3T4 250-208-1568
CODE CONSULTANT: GHL CONSULTANTS LTD. 700 PENDER ST. VANCOUVER, BC V6C 1X6 604-689-4449	CIVIL ENGINEER: MCELHANNEY 500-3960 QUADRA ST. VICTORIA, BC V8X 4A3 250-370-9221
MECHANICAL ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	GEOTECHNICAL ENGINEER: RYZUK GEOTECHNICAL 100-771 VERNON AVE. VICTORIA, BC V8X 5A7
ELECTRICAL ENGINEER: INTROBA 210-1515 DOUGLAS ST. VICTORIA, BC V8W 0E4 250-418-1288	SURVEYOR: J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVE. VICTORIA, BC V8Z 4B7 250-727-2214
BUILDING ENVELOPE: EVOKE 102-814 BROUGHTON ST. VICTORIA, BC V8W 1E4 250-800-5655	TRANSPORTATION ENGINEER: BJUNT & ASSOCIATES 530-645 FORT ST. VICTORIA, BC V8W 1G2 250-592-6122

DEVELOPMENT DATA SUMMARY

SITE DIMENSIONS:	42.76m x 104.80 x 40.35m x 104.73m / 140.29' x 343.83' x 132.38' x 343.60'
TOTAL SITE AREA:	4,442.3 m ² / 47,817 ft ²
TOTAL FLOOR AREA:	REQUIRED / PERMITTED 10,076.7 m ² / 108,465 ft ²
RESIDENTIAL FLOOR AREA:	8,350.3m ² / 86,882 ft ²
COMMERCIAL FLOOR AREA:	275.6 m ² / 2,966 ft ²
HERITAGE FLOOR AREA TO BE RETAINED:	1,242 m ² / 13,370 ft ²
NEW ADDITIONS TO HERITAGE BLDG FLOOR AREA:	484 m ² / 5,213 ft ²
FLOOR SPACE RATIO:	3.00
SITE COVERAGE:	69%
OPEN SITE SPACE (%):	28%
MAX. HEIGHT:	43.00m
RESIDENTIAL BUILDING:	21.56m / 70'-9"
HERITAGE BUILDING:	31.27m / 102'-7"
CHURCH NORTH ADDITION:	6.82m / 22'-4"
CHURCH EAST ADDITION:	9.01m / 29'-7"
RESIDENTIAL BUILDING:	6
HERITAGE BUILDING:	3
CHURCH NORTH ADDITION:	2
CHURCH EAST ADDITION:	3
NUMBER OF STOREYS:	
BUILDING SETBACKS	
FRONT YARD (WEST): (WEST QUADRA ST)	NA
SIDE YARD (SOUTH): (SOUTH BALMORAL RD)	6m
SIDE YARD (NORTH):	0m
REAR YARD (EAST):	10m
2.95m / 9'-8"	AT CHURCH NORTH ADDITION
1.7m / 5'-7"	AT HERITAGE BUILDING
3.64m / 11'-11"	AT RESIDENTIAL BLDG
1.37m / 4'-6"	AT HERITAGE BUILDING
5.16m / 16'-11"	AT RESIDENTIAL BLDG
5.65m / 18'-7"	AT CHURCH NORTH ADDITION
6.39m / 21'-0"	

DEVELOPMENT DATA SUMMARY FOR FUTURE SUBDIVISION

HERITAGE BUILDING	
SITE AREA:	1,847.1 m ² / 19,882 ft ²
HERITAGE FLOOR AREA TO BE RETAINED:	1,242.1 m ² / 13,370 ft ²
NEW ADDITIONS TO HERITAGE BLDG FLOOR AREA:	484.3 m ² / 5,213 ft ²
TOTAL FLOOR AREA:	1,726.4 m ² / 18,583 ft ²
FLOOR SPACE RATIO:	0.93
FRONT YARD SETBACK (WEST): (QUADRA ST)	NA
SIDE YARD SETBACK (SOUTH): (BALMORAL RD)	6m
SIDE YARD SETBACK (NORTH):	0m
REAR YARD SETBACK (EAST):	10m
SITE COVERAGE:	74%
2.95m / 9'-8"	AT NORTH ADDITION
1.7m / 5'-7"	AT HERITAGE BUILDING
1.37m / 4'-6"	AT HERITAGE BUILDING
5.65m / 18'-7"	AT NORTH ADDITION
7.77m / 25'-6"	AT NORTH ADDITION
3.37m / 11'-1"	AT HERITAGE BUILDING
RESIDENTIAL BUILDING	
SITE AREA:	2,595.2 m ² / 27,935 ft ²
RESIDENTIAL FLOOR AREA:	8,074.7m ² / 86,916 ft ²
COMMERCIAL FLOOR AREA:	275.6 m ² / 2,966 ft ²
TOTAL FLOOR AREA:	8,350.3 m ² / 89,882 ft ²
FLOOR SPACE RATIO:	3.22
FRONT YARD SETBACK (SOUTH):	NA
SIDE YARD SETBACK (EAST):	0m
SIDE YARD SETBACK (WEST):	0m
REAR YARD SETBACK (NORTH):	8m
SITE COVERAGE:	66%
3.76m / 12'-4"	AT SOUTHEAST CORNER
3.64m / 11'-11"	AT SOUTHWEST CORNER
6.65m / 21'-10"	AT NORTHEAST CORNER
6.39m / 21'-0"	AT SOUTHEAST CORNER
4.24m / 13'-11"	
5.16m / 16'-11"	

RESIDENTIAL UNIT SUMMARY

UNIT TYPE	COUNT	AREA (sf)	AREA (sm)
1 BED + DEN	5	557 ft ²	51.8 m ²
1 BED A	18	525 ft ²	48.8 m ²
1 BED B	15	533 ft ²	49.6 m ²
2 BED A	14	720 ft ²	66.9 m ²
2 BED B	10	729 ft ²	67.7 m ²
3 BED A	8	938 ft ²	87.1 m ²
STUDIO A	40	403 ft ²	37.4 m ²
LOFT A	10	530 ft ²	49.3 m ²
LOFT B	2	529 ft ²	49.2 m ²
LIVE/WORK A	3	498 ft ²	46.3 m ²
LIVE/WORK B	3	440 ft ²	40.9 m ²
LIVE/WORK C	1	678 ft ²	63.0 m ²
TOTAL:	129		
UNIT TYPE TOTALS:			
LOFTS: 12 (GROUND-ORIENTED)			
LIVE/WORKS: 7 (GROUND-ORIENTED)			
STUDIO: 40			
1 BED: 38			
2 BED: 24	(19%)		
3 BED: 8	(6%)		
	= (25% FAMILY UNITS)		
MINIMUM UNIT FLOOR AREA:		37 m ² / 403 ft ²	

MAH+G

MARIANNE AMODIO AND HARLEY GRUSKO ARCHITECTS INC.
201-877 EAST HASTINGS STREET
VANCOUVER, BC, CANADA, V6A 3Y1
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932 BALMORAL RD
& 1701 QUADRA ST

ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2

DECEMBER 19, 2025

VEHICULAR PARKING REQUIREMENTS FOR ENTIRE SITE

BUILDING USE	REQUIRED PARKING	ACCESSIBLE USE + VAN ACCESSIBLE	REQUIRED PARKING	PROPOSED VEHICLE PARKING
TABLE 1: MINIMUM NUMBER OF REQUIRED VEHICLE PARKING SPACES				
APARTMENT (SECURED RENTAL) 0.50 SPACE PER UNIT < 45 m ² (484 ft ²) 0.60 SPACE PER UNIT > 45 m ² but < 70 m ² 1.00 SPACE PER UNIT > 70 m ² (753 ft ²)	43 x 0.5 = 22 54 x 0.6 = 32 32 x 1.0 = 32	TOTAL PARKING SPACES REQUIRED: 139 ACCESSIBLE: 101 SPACES OR MORE = 1 PER 25 PARKING SPACES = 6 VAN ACCESSIBLE: WHERE 2-6 ACCESSIBLE PARKING SPACES ARE REQUIRED, MIN 1 OF THESE SPACES MUST BE A VAN ACCESSIBLE SPACE		
VISITOR SPACES 0.10 SPACE PER UNIT	TOTAL = 86 (RESIDENTIAL) 129 x 0.10 = 13	ACCESSIBLE = 5 VAN ACCESSIBLE = 1		
ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m² x.4 = 1,121 m² 1 SPACE PER 80 m ²	1,121 m ² / 80 m ² = 14	VISITOR SPACES = 13 ACCESSIBLE: 0 PER 6-25 SPACES VAN ACCESSIBLE: 1 PER 6-25 PACES VAN ACCESSIBLE = 1		
ASSEMBLY (60% OF CHURCH + NEW ADDITION) = 2,802 m ² x.6 = 1,681 m ² 1 SPACE PER 80 m ²	1,681 m ² / 80 m ² = 21	TOTAL REGULAR ACCESSIBLE = 5 TOTAL VAN ACCESSIBLE = 2		
RESTAURANT 1 SPACE PER 40 m ² (72 m ² + 35 m ² OUTDOOR SEATING) / 40 m ² = 3				
OFFICE 1 SPACE PER 70 m ²	155 m ² / 70 m ² = 2			
TOTAL = 5 (COMMERCIAL)				
TOTAL = 139				
USE	TYPE	COUNT		
CAR SHARE	REG	1		
		1		
COMMERCIAL	ACC	2		
COMMERCIAL	REG	1		
		2		
INSTITUTIONAL	ACC	2		
INSTITUTIONAL	REG	2		
		4		
RESIDENTIAL	ACC	2		
RESIDENTIAL	REG	37		
RESIDENTIAL	VAN	1		
		40		
VISITOR	REG	7		
VISITOR	VAN	1		
		8		
TOTAL VEHICLE PARKING:		55		
LOADING SPACES:				
INSTITUTIONAL		1		
RESIDENTIAL		1 (AT STREET)		

BIKE PARKING REQUIREMENTS FOR ENTIRE SITE

CLASS 1 - LONG-TERM USE	REQUIRED PARKING	CLASS 2 - SHORT-TERM USE	REQUIRED PARKING	PROPOSED BIKE PARKING
TABLE 2: MINIMUM NUMBER OF REQUIRED BIKE PARKING SPACES				
MULTIPLE DWELLING 1.00 SPACE PER UNIT < 45 m ² (484 ft ²) 1.25 SPACE PER UNIT > 45 m ² (484 ft ²)	43 x 1.00 = 43 88 x 1.25 = 108	MULTIPLE DWELLING GREATER OF 6 SPACES OR 0.10 SPACES PER UNIT	129 X 0.10 = 13	
TOTAL = 151 (RESIDENTIAL)		TOTAL = 13 (RESIDENTIAL)		
ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m² x.4 = 1,121 m² 1.00 SPACE PER 450 m ² (4844 ft ²)	1,121 m ² / 450 m ² = 3	ARTS AND CULTURE (40% OF CHURCH + NEW ADDITIONS) = 2,802 m² x.4 = 1,121 m² 1.00 SPACE PER 130 m ²	1,121m ² / 130 m ² = 9	
ASSEMBLY (60% OF CHURCH + NEW ADDITION) = 2,802 m ² x.6 = 1,681 m ² N/A	1,681 m ² / N/A = 0	ASSEMBLY (60% OF CHURCH + NEW ADDITION) = 2,802 m ² x.6 = 1,681 m ² 1.00 SPACE PER 200 m ²	1,681 m ² / 200 m ² = 9	
TOTAL = 3 (INSTITUTIONAL)		TOTAL = 18 (INSTITUTIONAL)		
RESTAURANT 1.00 SPACE PER 400 m ² (4306 ft ²)	72 m ² / 400 m ² = 1	RESTAURANT 1.00 SPACE PER 100 m ²	107 m ² / 100 m ² = 2	
OFFICE 1.00 SPACE PER 150 m ² (1615 ft ²)	155 m ² / 150 m ² = 3	OFFICE 1.00 SPACE PER 400 m ² (4306 ft ²)	155 m ² / 400 m ² = 1	
TOTAL = 4 (COMMERCIAL)		TOTAL = 3 (COMMERCIAL)		
TOTAL = 158		TOTAL = 34		
PROGRAM	USE	TYPE	COUNT	
COMMERCIAL	LONG-TERM	H	2	
COMMERCIAL	LONG-TERM	V	2	
			4	
INSTITUTIONAL	LONG-TERM	H	4	
RESIDENTIAL	LONG-TERM	C	13	
RESIDENTIAL	LONG-TERM	H	90	
RESIDENTIAL	LONG-TERM	V	51	
			154	
			162	
CLASS 2 - SHORT-TERM USE				
PROGRAM	USE	TYPE	COUNT	
COMMERCIAL	SHORT-TERM	H	3	
			3	
INSTITUTIONAL	SHORT-TERM	H	21	
			21	
RESIDENTIAL	SHORT-TERM	H	13	
			13	
			37	
NOTE: ALL BICYCLE STALLS WITHIN THE PARKADE ARE LONG-TERM RESIDENTIAL				



DEVELOPMENT DATA

SCALE
12" = 1'-0"

A0.01

ARYZE

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932 BALMORAL RD & 1701 QUADRA ST

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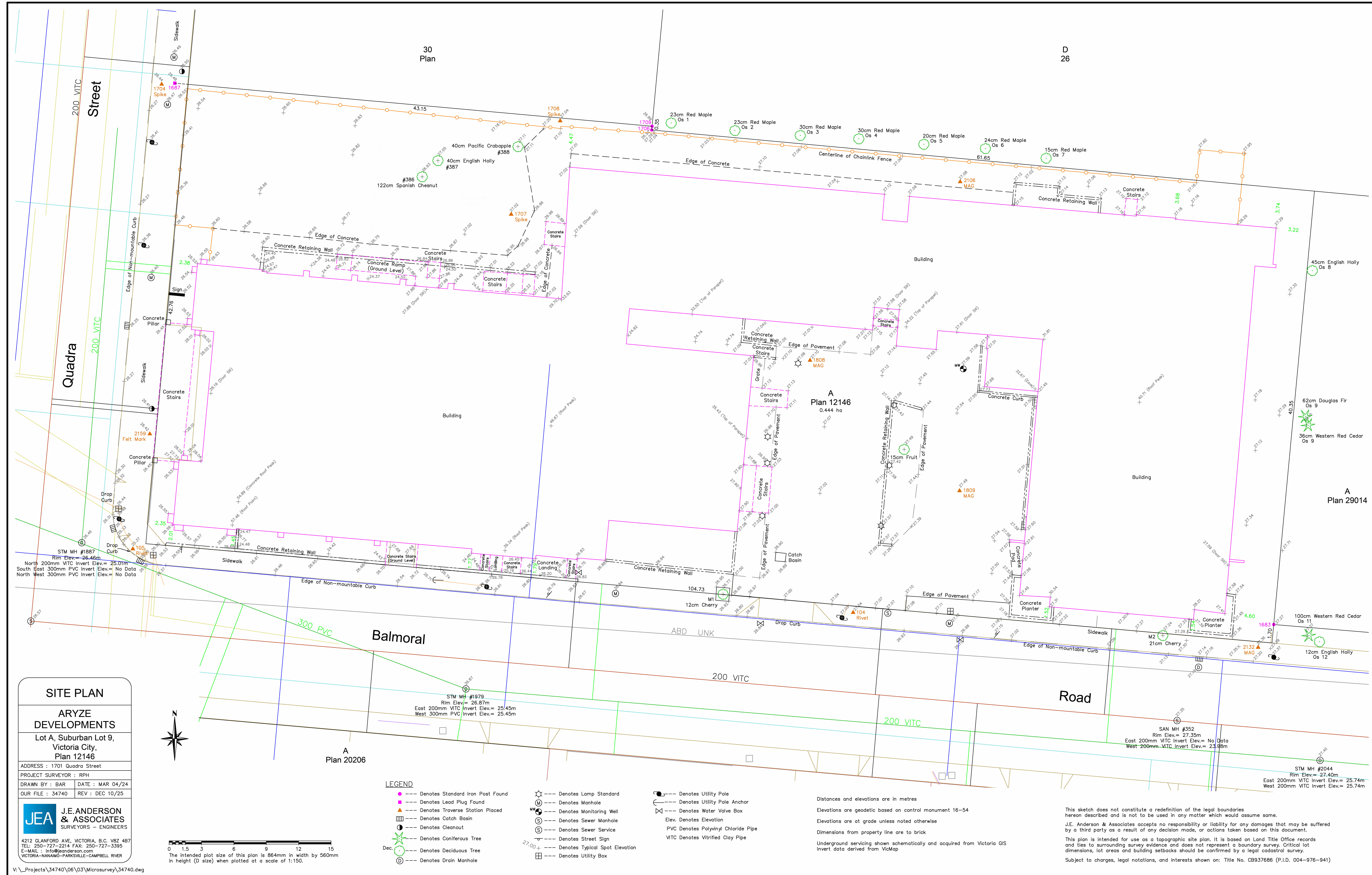
DECEMBER 19, 2025



2025-12-19

SURVEY

SCALE



SITE PLAN

ARYZE DEVELOPMENTS

Lot A, Suburban Lot 9,
Victoria City,
Plan 12146

ADDRESS : 1701 Quadra Street

PROJECT SURVEYOR : RPH

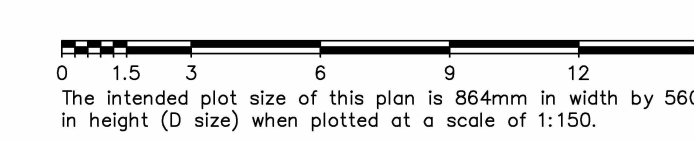
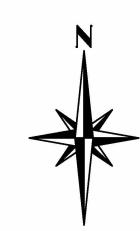
DRAWN BY : BAR DATE : MAR 04/24

OUR FILE : 34740 REV : DEC 10/25

JEA J.E. ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS

4212 CLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeaanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

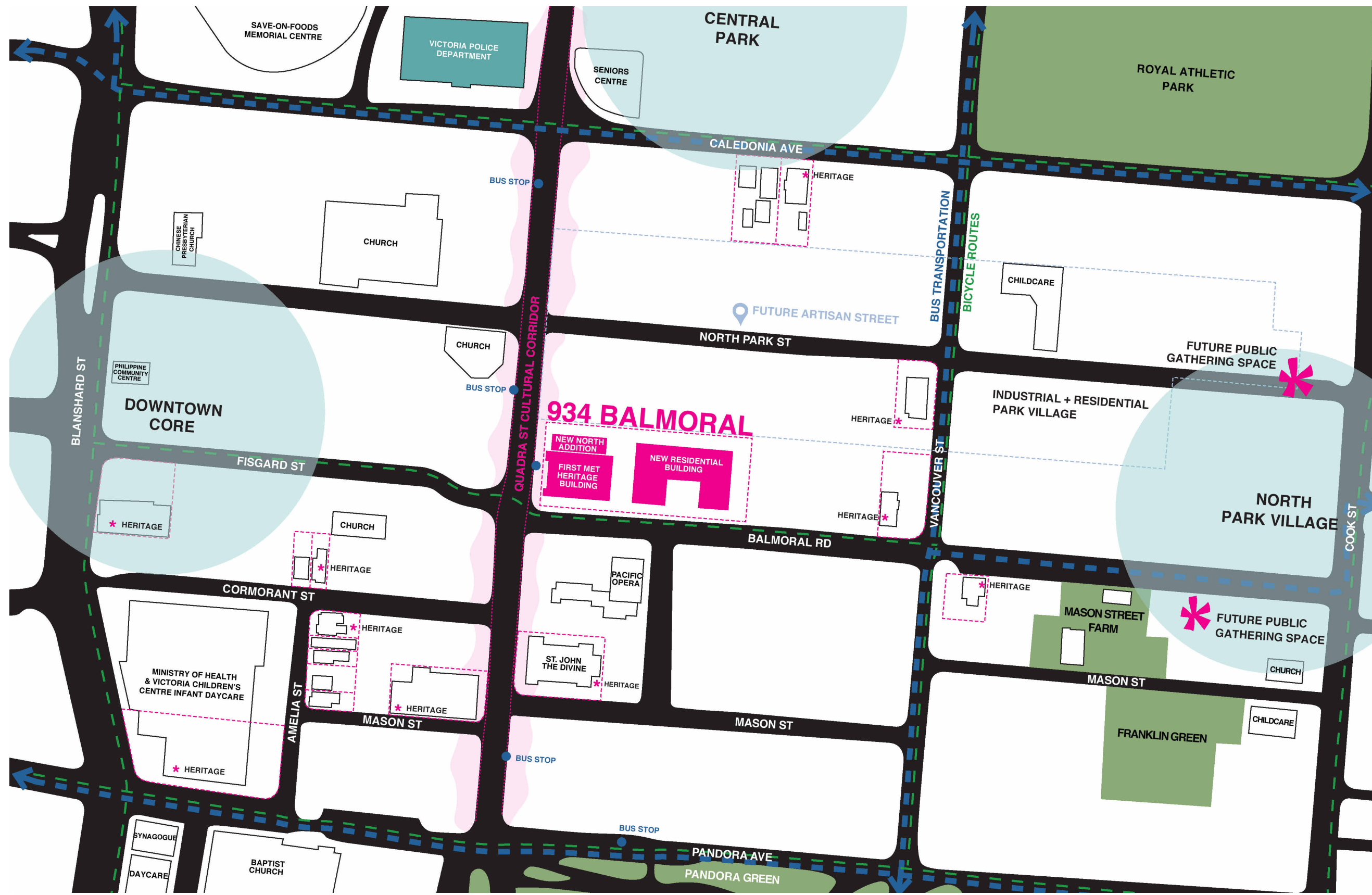
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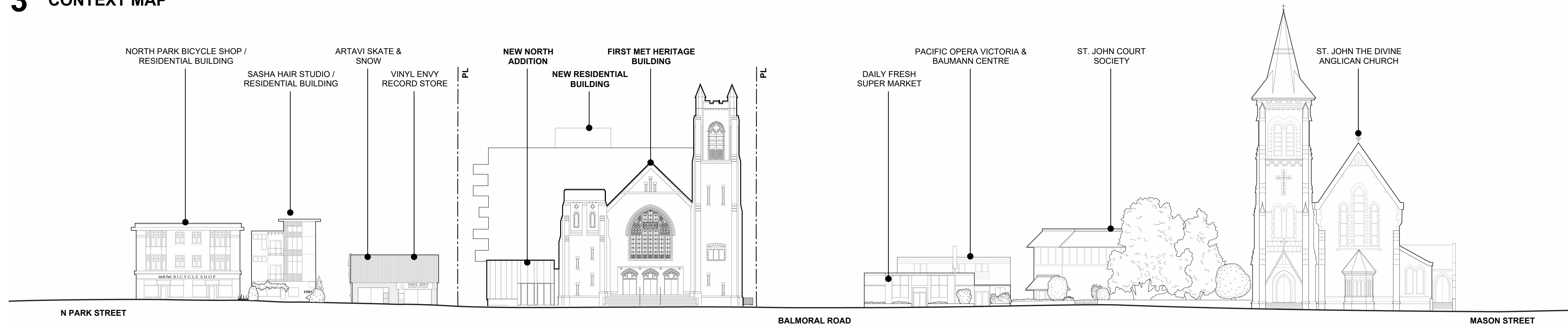
- LEGEND**
- Denotes Standard Iron Post Found
 - Denotes Lead Plug Found
 - Denotes Traverse Station Placed
 - Denotes Catch Basin
 - ▨ Denotes Cleanout
 - Dec Denotes Coniferous Tree
 - Dec Denotes Deciduous Tree
 - Denotes Drain Manhole
 - ⊙ Denotes Lamp Standard
 - ⊙ Denotes Manhole
 - ⊙ Denotes Monitoring Well
 - ⊙ Denotes Sewer Manhole
 - ⊙ Denotes Sewer Service
 - ⊙ Denotes Street Sign
 - ⊙ Denotes Typical Spot Elevation
 - ⊙ Denotes Utility Box
 - ⊙ Denotes Utility Pole
 - ⊙ Denotes Utility Pole Anchor
 - ⊙ Denotes Water Valve Box
 - Elev. Denotes Elevation
 - PVC Denotes Polyvinyl Chloride Pipe
 - VTC Denotes Vitrified Clay Pipe

Distances and elevations are in metres
Elevations are geodetic based on control monument 16-54
Elevations are at grade unless noted otherwise
Dimensions from property line are in brick
Underground servicing shown schematically and acquired from Victoria GIS
Invert data derived from VicMap

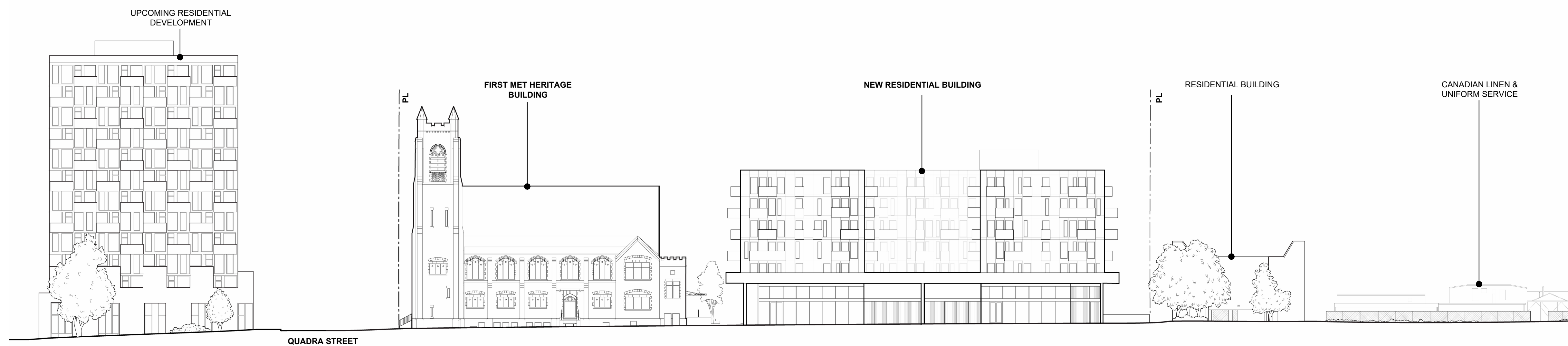
This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.
This plan is intended for use as a topographic site plan. It is based on Land Title Office records and ties to surrounding survey evidence and does not represent a boundary survey. Critical lot dimensions, lot areas and building setbacks should be confirmed by a legal cadastral survey.
Subject to charges, legal notations, and interests shown on: Title No. C8937686 (P.I.D. 004-976-941)



3 CONTEXT MAP



2 STREETScape: BALMORAL ROAD



1 STREETScape: QUADRA STREET

932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

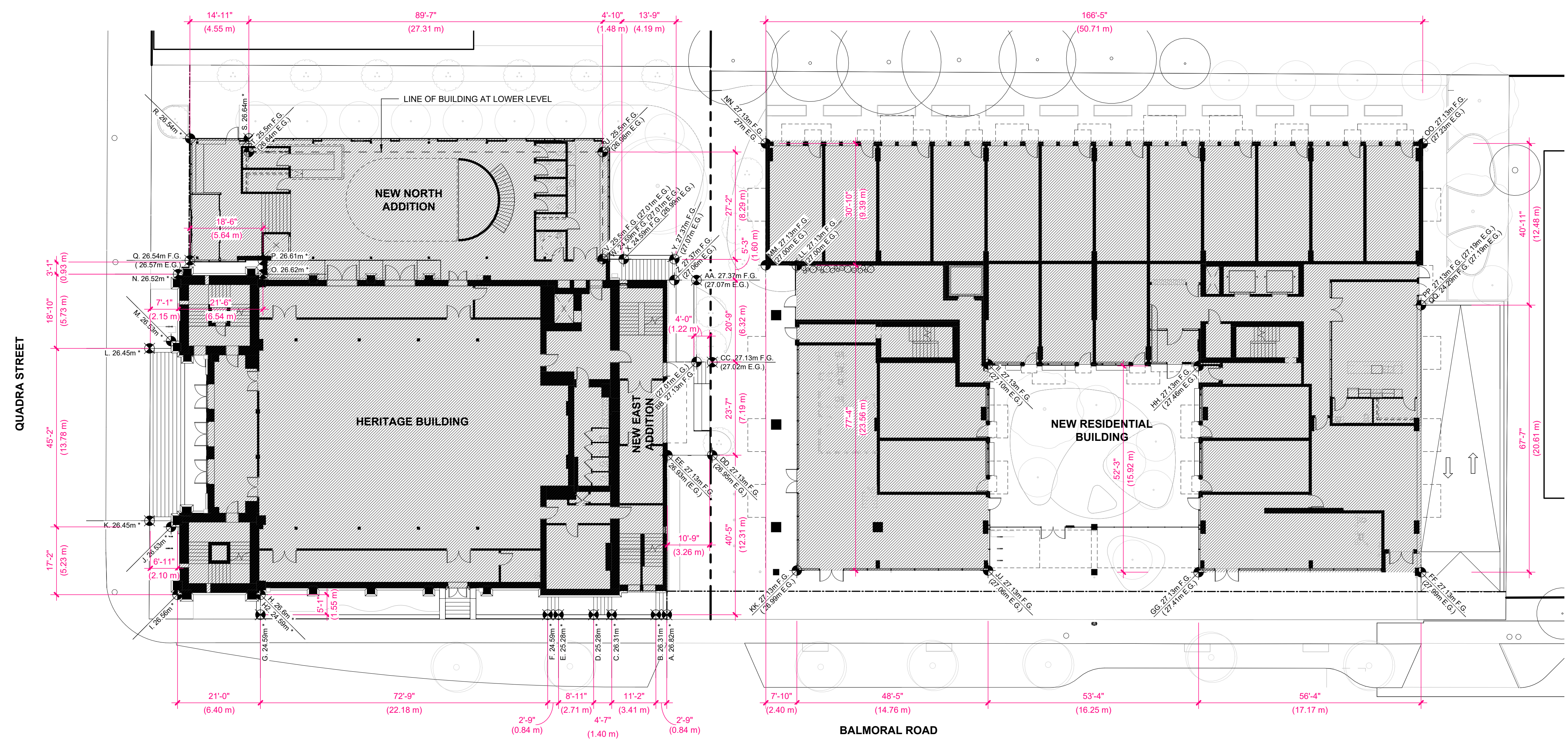
DECEMBER 19, 2025



SITE CONTEXT

SCALE





AVERAGE GRADE CALCULATIONS

FIRST MET HERITAGE BUILDING			
GRADE POINTS	AVERAGE OF POINTS (m)	DISTANCE IN PLAN (m)	TOTALS
SOUTH			
A TO B	26.57	0.84	22.31
B TO C	26.31	3.41	89.72
C TO D	25.80	1.40	36.11
D TO E	25.28	2.71	68.51
E TO F	24.94	0.84	20.95
F TO G	24.59	22.18	545.41
G TO H	25.60	1.55	39.67
H TO I	26.58	6.40	170.11
I TO J	26.55	5.23	138.83
J TO K	26.49	2.16	57.75
WEST			
K TO L	26.45	13.78	364.46
L TO M	26.49	2.15	56.95
M TO N	26.53	5.73	151.99
N TO O	26.57	6.54	173.77
O TO P	26.62	0.93	24.75
P TO Q	26.58	5.64	149.86
Q TO R	26.54	9.56	253.72
R TO S	26.59	4.55	120.89
S TO T	26.07	1.04	27.11
T TO U	25.50	2.21	56.41
U TO V	25.50	8.26	210.63
V TO X	24.50	1.63	40.08
X TO Y	25.83	3.91	101.00
Y TO Z	27.07	1.62	43.85
Z TO AA	27.07	1.69	45.74
AA TO BB	27.04	7.80	210.91
BB TO CC	27.02	1.22	32.96
CC TO DD	26.99	6.13	171.39
DD TO EE	26.94	3.47	93.46
EE TO A	26.88	0.91	23.33
SUM	171.61	4473.78	
AVERAGE GRADE:	26.07 m (85.53')		

RESIDENTIAL BUILDING			
GRADE POINTS	AVERAGE OF POINTS (m)	DISTANCE IN PLAN (m)	TOTALS
SOUTH			
FF TO GG	27.13	17.17	465.82
GG TO HH	27.13	15.92	431.91
HH TO II	27.12	16.25	440.62
II TO JJ	27.08	15.92	431.11
JJ TO KK	27.03	14.76	396.89
KK TO LL	27.00	23.56	636.00
LL TO MM	27.00	2.40	64.80
MM TO NN	27.00	9.39	253.33
NN TO OO	27.07	50.71	1372.47
OO TO FF	27.13	33.06	897.73
SUM	186.17	5392.88	
AVERAGE GRADE:	27.08 m (88.85')		

AVERAGE GRADE NOTES:

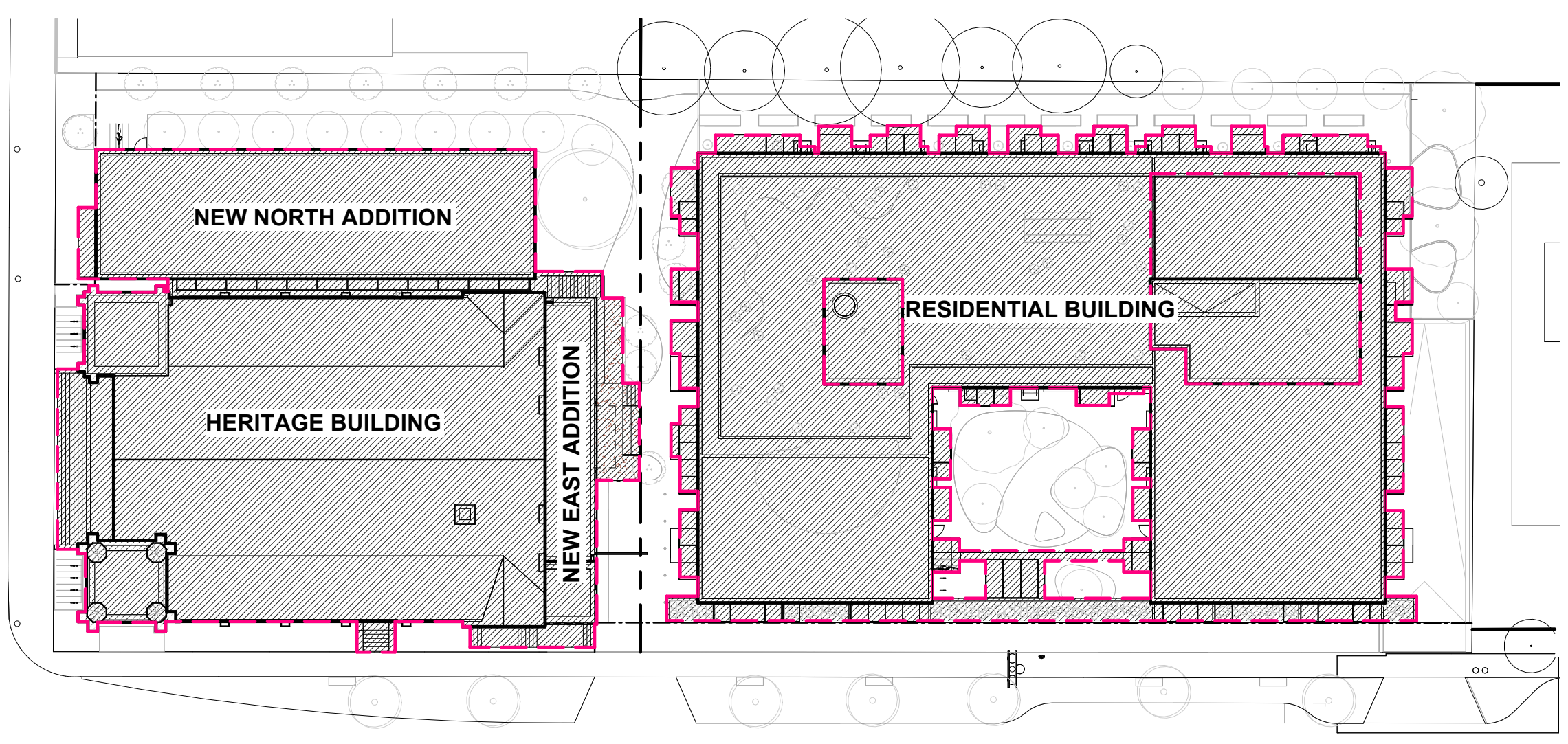
F.G.: FINISH GRADE
E.G.: EXISTING GRADE
* INDICATES WHERE FINISH GRADE AND EXISTING GRADE ARE EQUAL

932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025

2 AVERAGE GRADE KEYPLAN
A0.04 SCALE: 1/16" = 1'-0"



1 SITE COVERAGE DIAGRAM
A0.04 SCALE: 1/32" = 1'-0"

SITE COVERAGE CALCULATIONS:

SITE AREA: 47,790 ft² / 4,439.8 m²
HERITAGE BUILDING + ADDITIONS: 14,635 SF (1,360 m²)
RESIDENTIAL BUILDING: 18,444 SF (1,714 m²)
TOTAL: 33,079 SF (3,074 m²)
SITE COVERAGE: 69%

HERITAGE BUILDING
BUILDING FOOTPRINT: 1,360 m²
SITE AREA: 1,847.1 m²
SITE COVERAGE: 74%

RESIDENTIAL BUILDING
BUILDING FOOTPRINT: 1,714 m²
SITE AREA: 2,595.2 m²
SITE COVERAGE: 66%

ROOFTOP STRUCTURE CALCULATIONS

RESIDENTIAL BUILDING
TOTAL ROOF AREA: 15,392 SF (1,430 m²)
ROOFTOP STRUCTURE AREA: 2,937 SF (276 m²)
ROOF COVERAGE: 19.5%



SITE COVERAGE + AVERAGE GRADE

SCALE
As indicated



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VANCOUVER, BC, CANADA, V6A 3Y1
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- NOTES:**
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 - REFER TO PLANS (A2.04-A2.07) AND HERITAGE ELEVATIONS (A3.10-A3.13) FOR FURTHER INFORMATION ON PROPOSED RESTORATION AND INTEGRATION WITH NEW CONSTRUCTION.

— PORTION TO BE RETAINED
 - - - PORTION TO BE DEMOLISHED.

○ EXISTING TREES TO BE REMOVED.
 ○ REFER TO ARBORIST REPORT FOR SCOPE OF REMOVAL AND RETENTION.

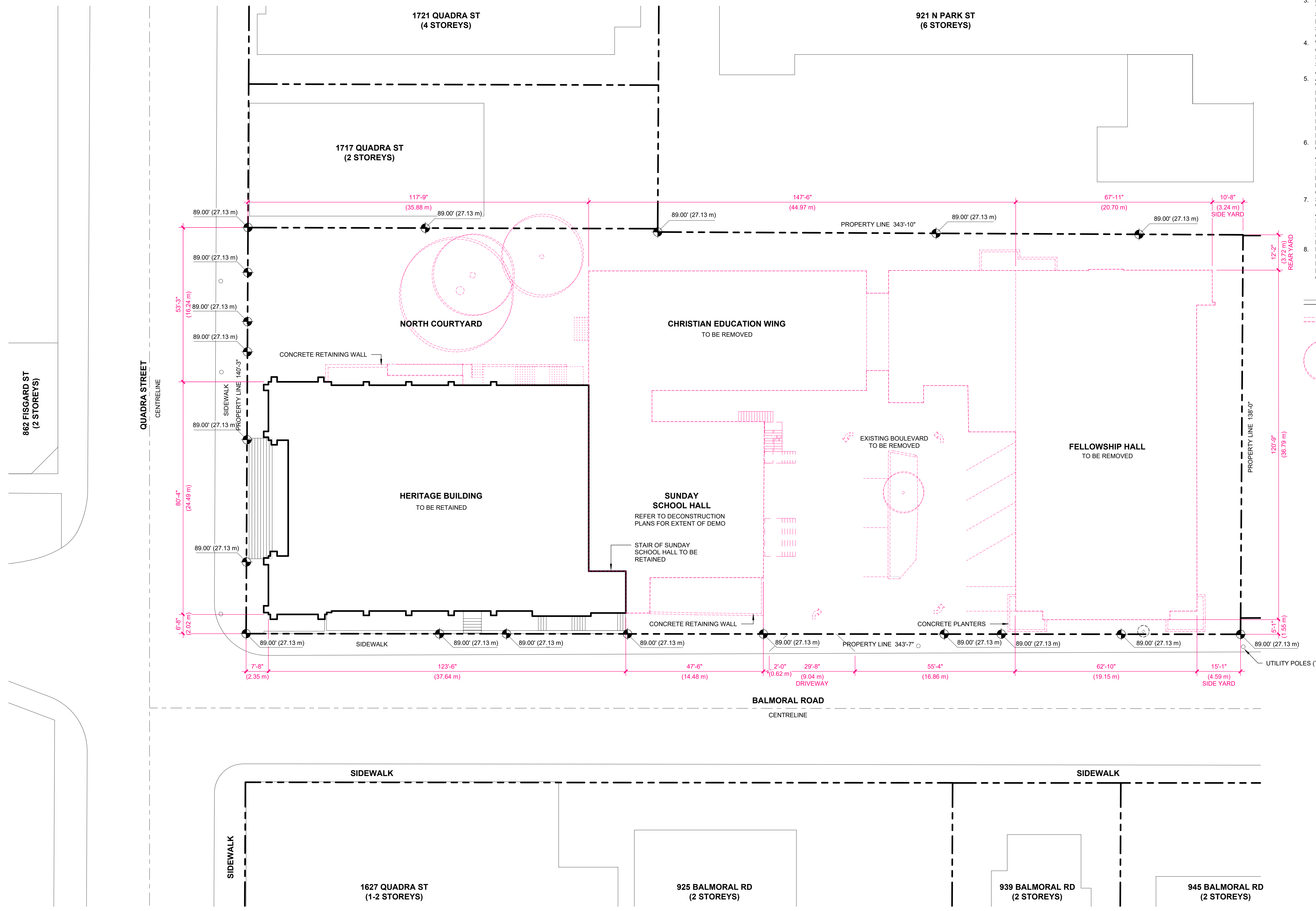
932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2
DECEMBER 19, 2025



DECONSTRUCTION SITE PLAN

SCALE 1/16" = 1'-0"





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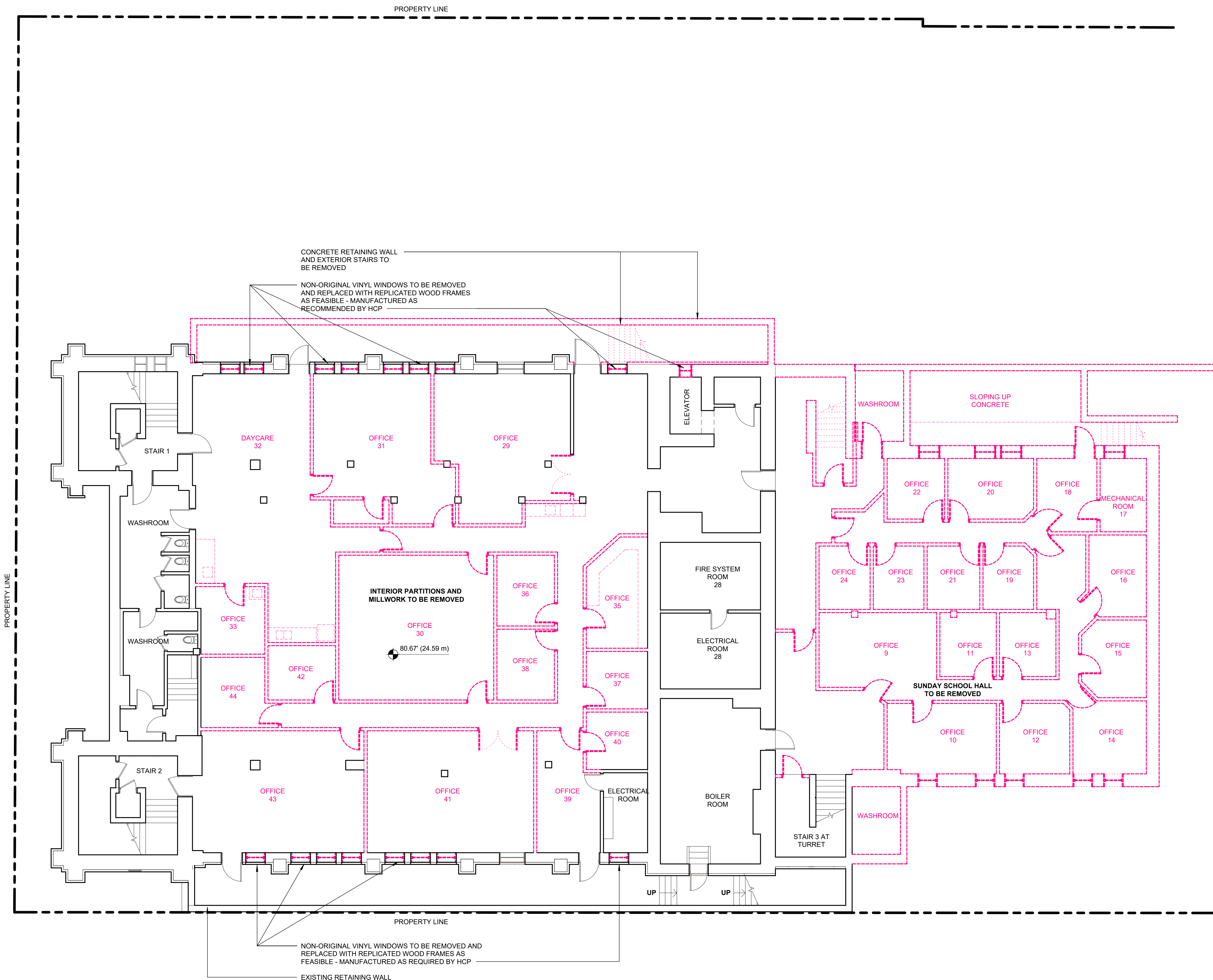
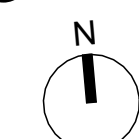
932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2
DECEMBER 19, 2025



DECONSTRUCTION PLAN LOWER FLOOR - HERITAGE BLDG

SCALE
1/8" = 1'-0"





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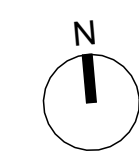
932 BALMORAL RD
& 1701 QUADRA ST

ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2
DECEMBER 19, 2025



DECONSTRUCTION PLAN FIRST FLOOR - HERITAGE BLDG

SCALE
1/8" = 1'-0"

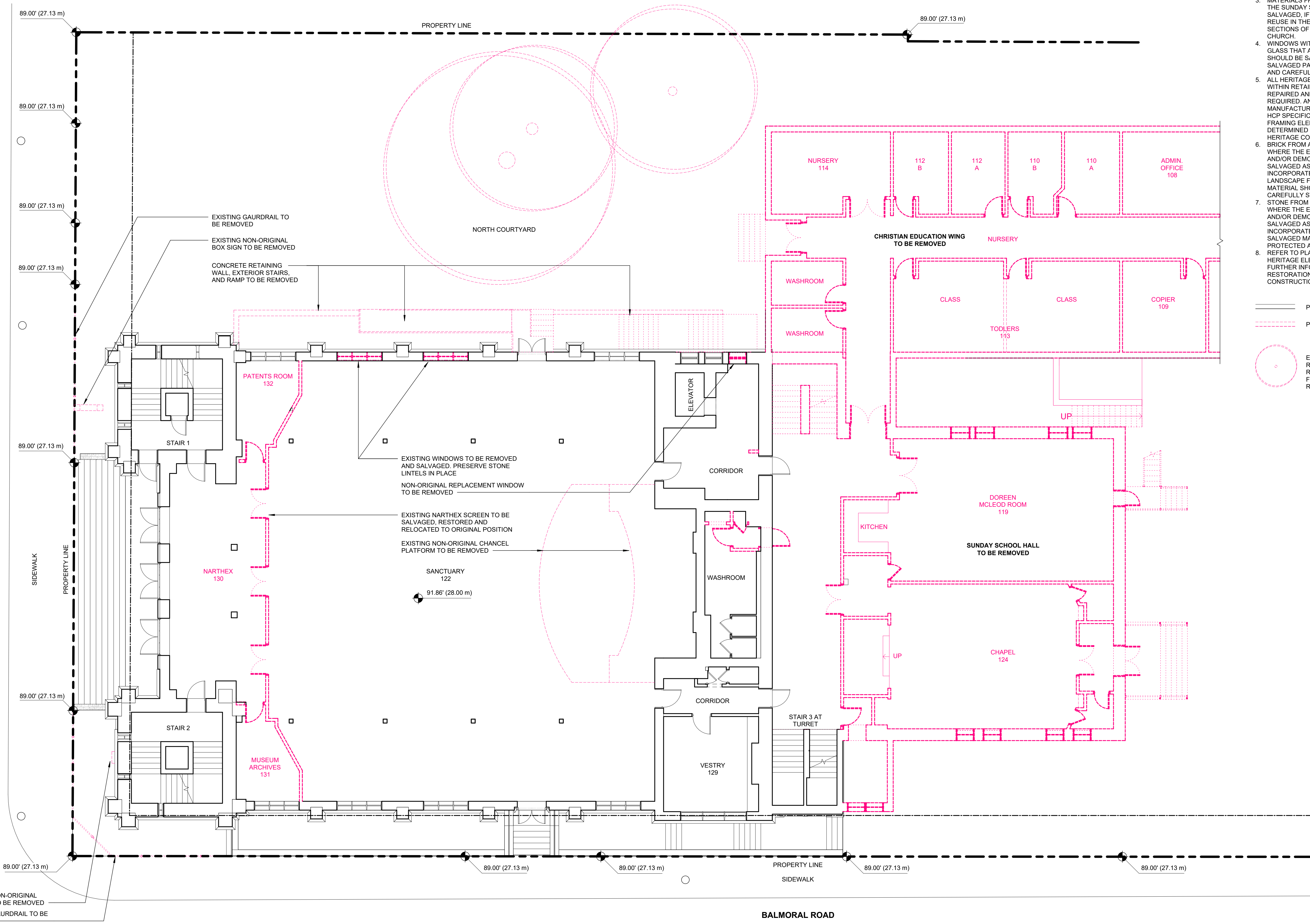


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932 BALMORAL RD & 1701 QUADRA ST

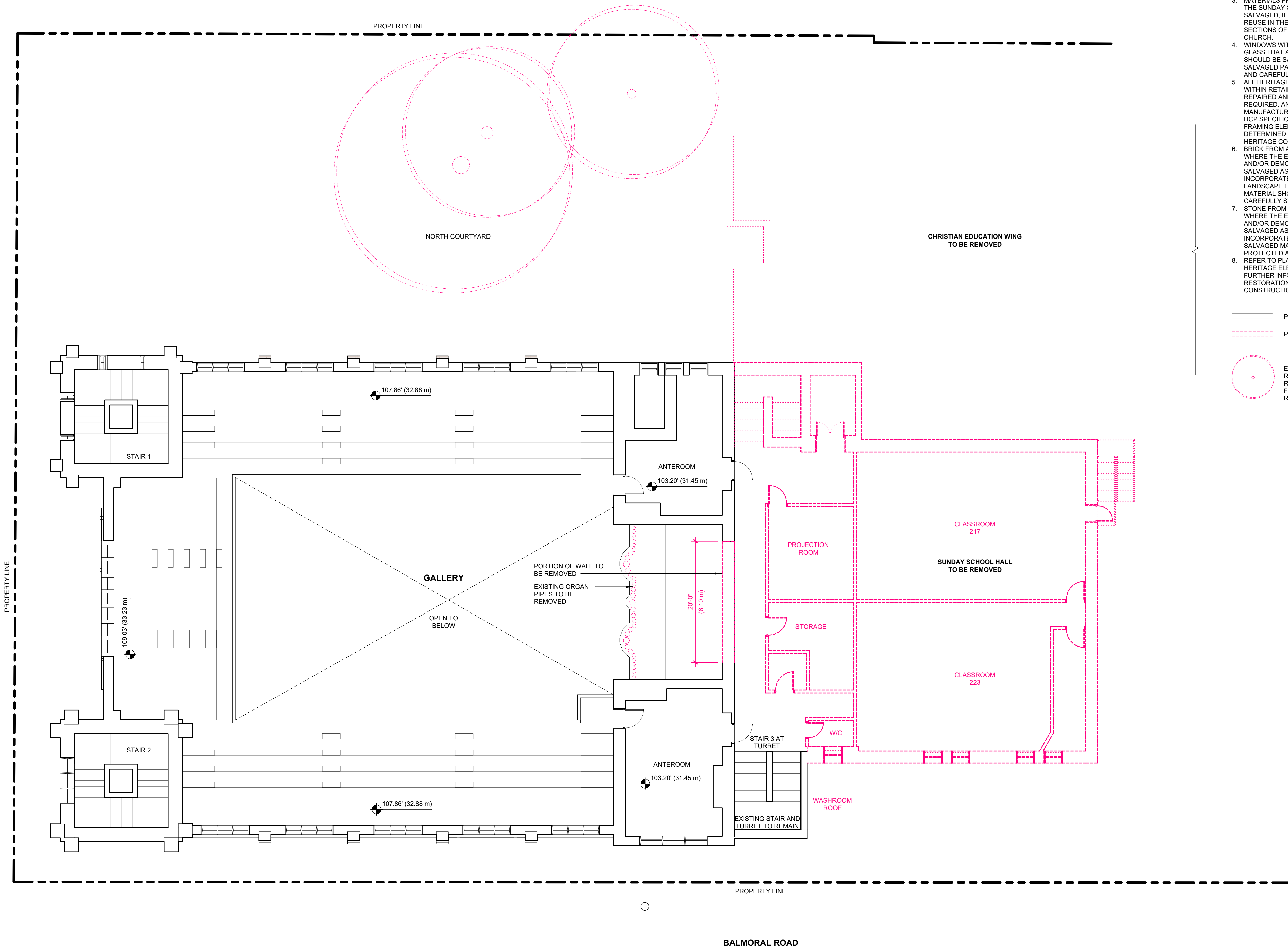
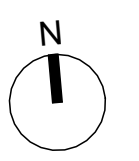
ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



DECONSTRUCTION PLAN MEZZANINE - HERITAGE BLDG

SCALE
1/8" = 1'-0"





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932 BALMORAL RD
& 1701 QUADRA ST

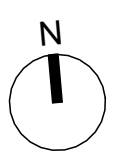
ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2

DECEMBER 19, 2025



DECONSTRUCTION PLAN ROOF - HERITAGE BLDG

SCALE
1/8" = 1'-0"

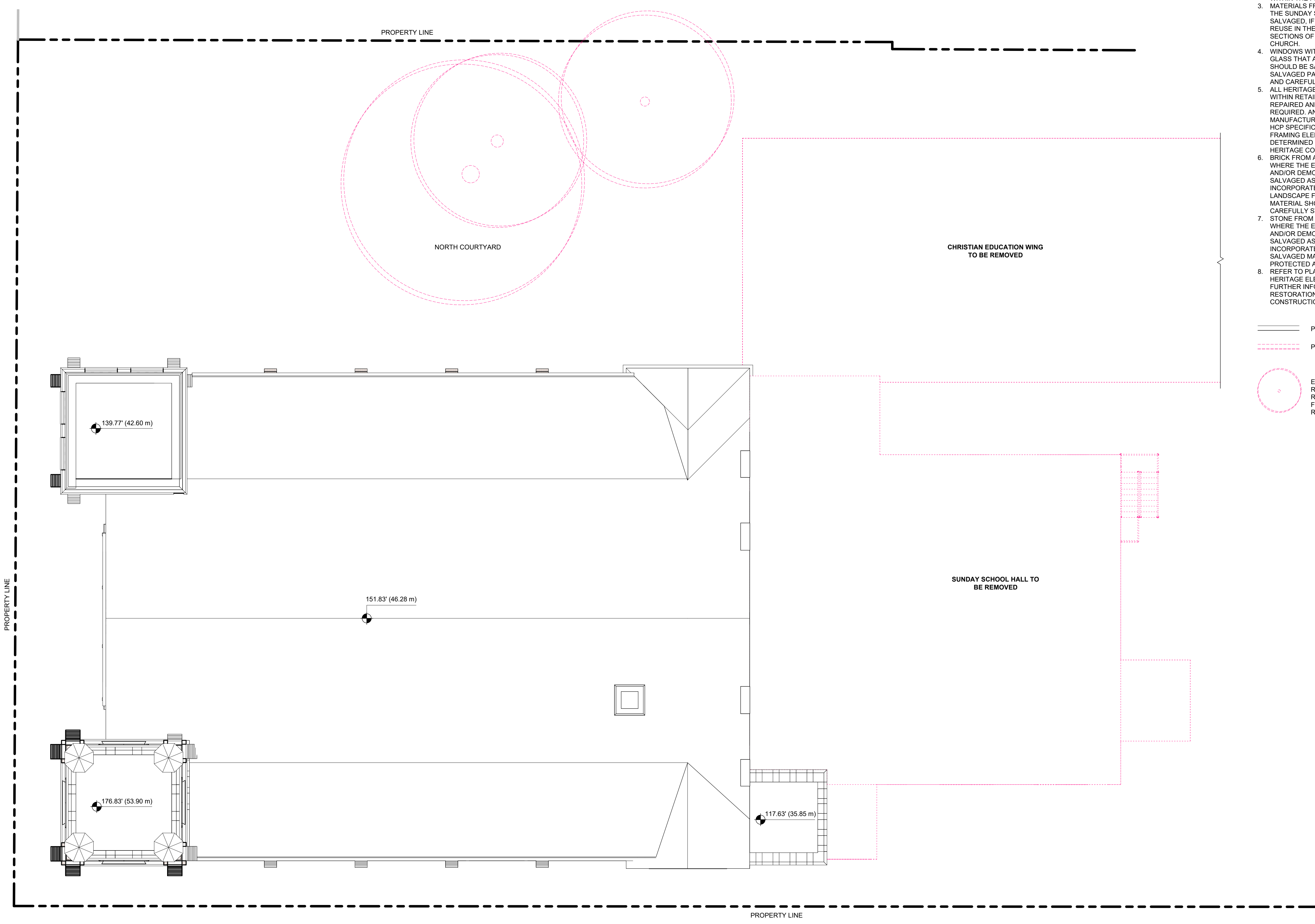


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QUADRA STREET

PROPERTY LINE

PROPERTY LINE

NORTH COURTYARD

CHRISTIAN EDUCATION WING
TO BE REMOVED

SUNDAY SCHOOL HALL
TO BE REMOVED

PROPERTY LINE

BALMORAL ROAD



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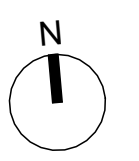
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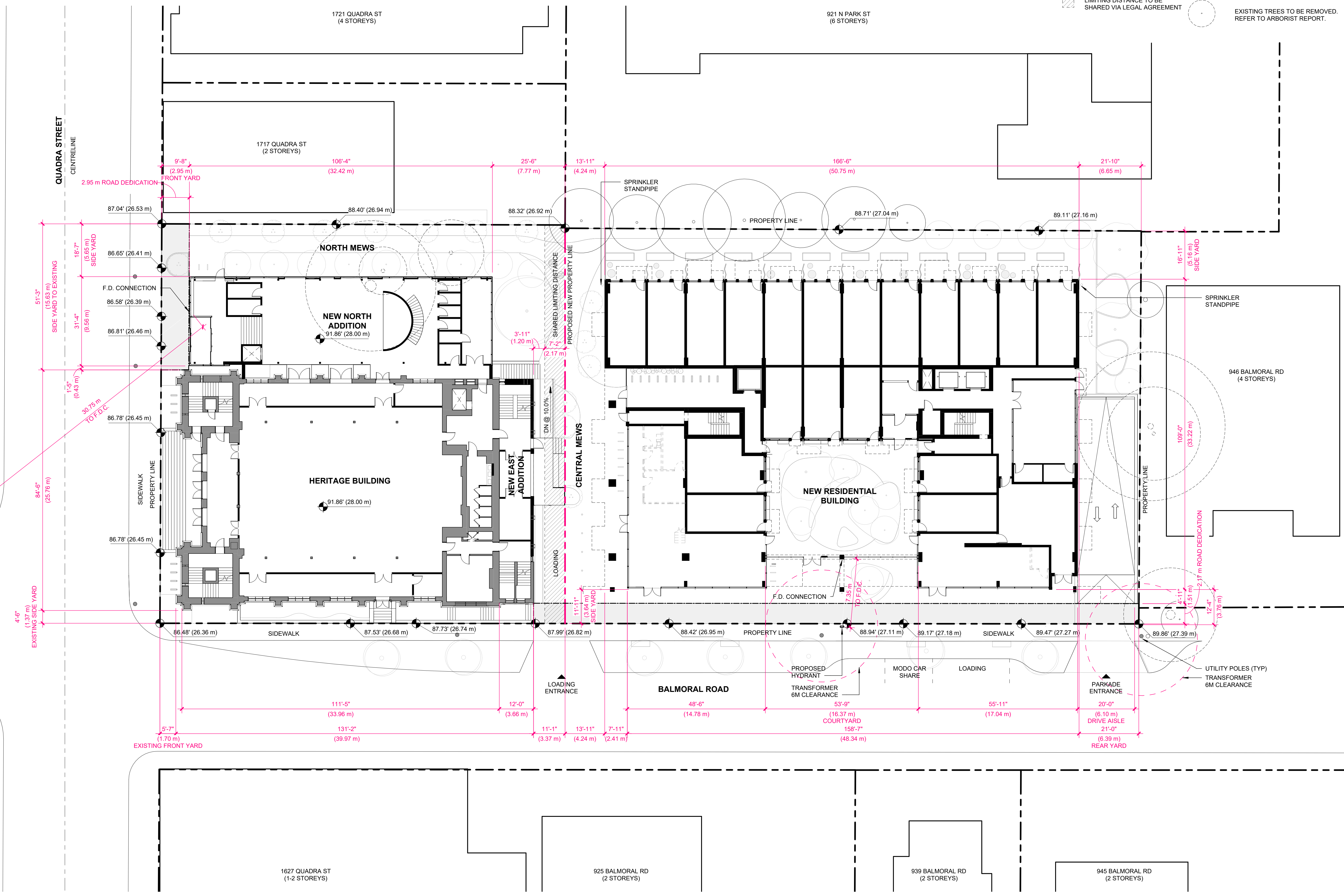
SITE PLAN AT LEVEL 1

SCALE
As indicated



PLAN LEGEND:

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION
- ROAD DEDICATION
- LIMITING DISTANCE TO BE SHARED VIA LEGAL AGREEMENT
- NEW TREES. REFER TO LANDSCAPE DRAWINGS FOR ALL SPECIES AND SIZES.
- EXISTING OFF-SITE TREES TO BE RETAINED. REFER TO ARBORIST REPORT.
- EXISTING TREES TO BE REMOVED. REFER TO ARBORIST REPORT.



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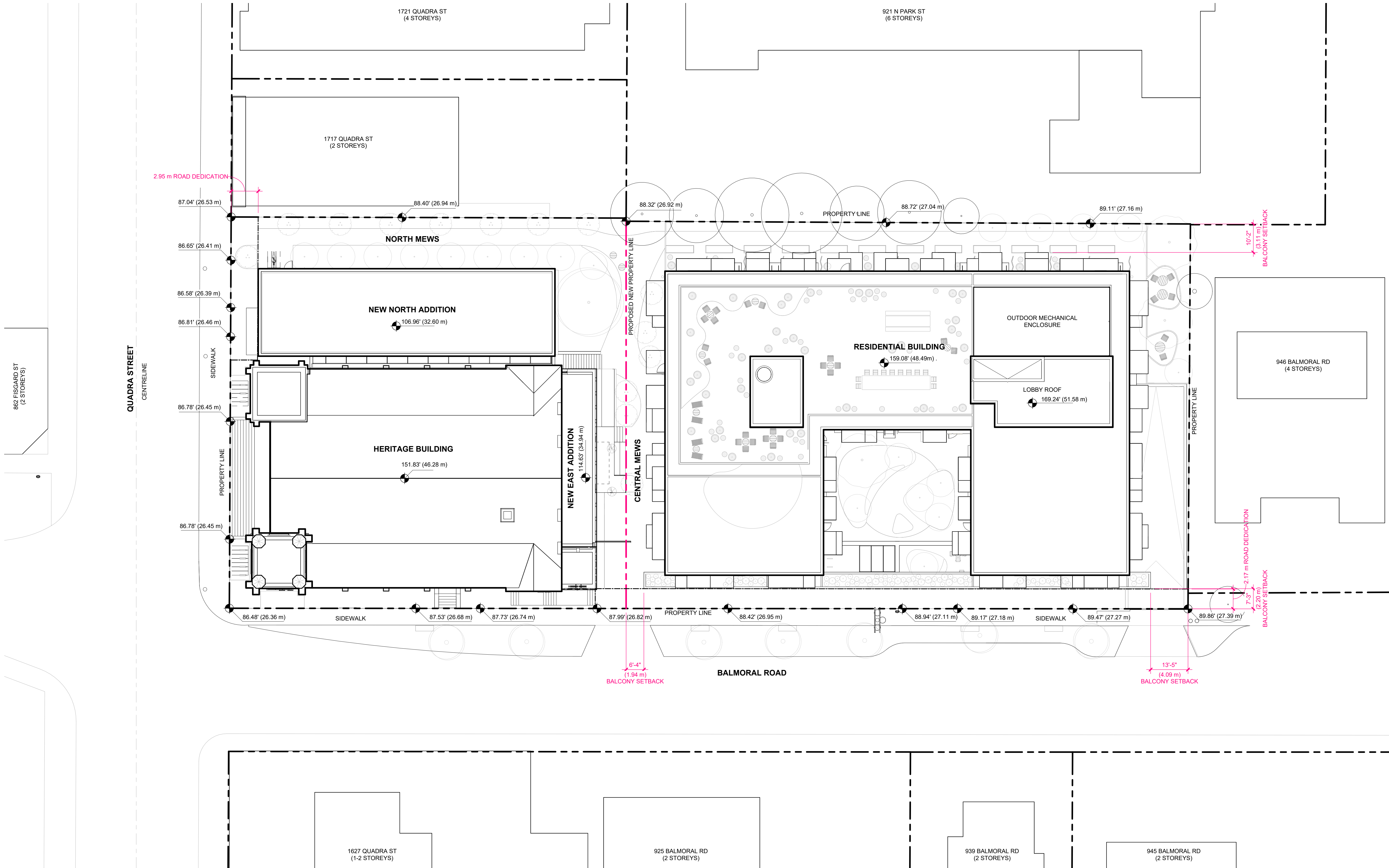
DECEMBER 19, 2025



2025-12-19

SITE PLAN AT ROOF

SCALE
1/16" = 1'-0"





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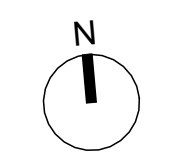
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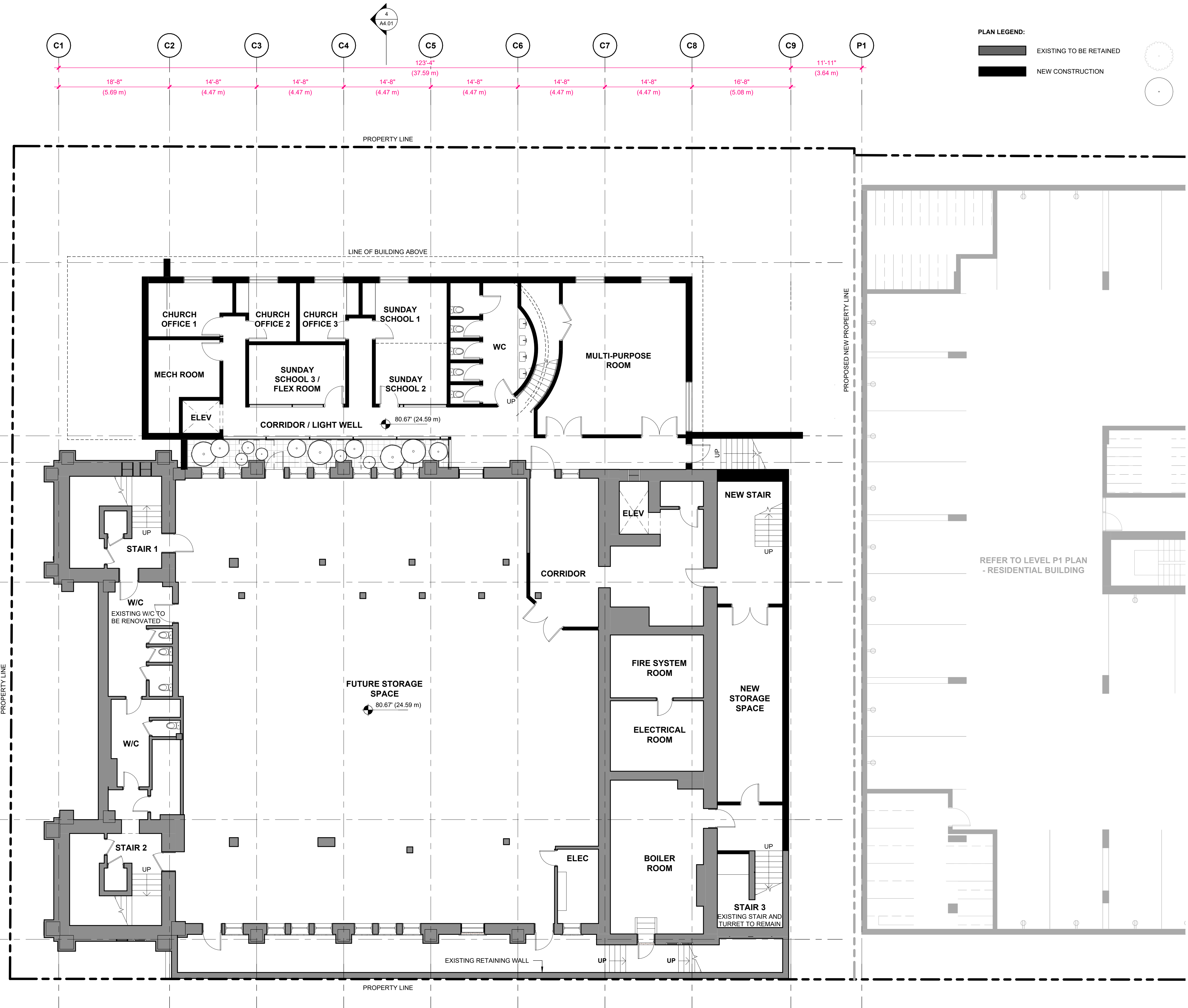
LOWER FLOOR PLAN -
HERITAGE BLDG

SCALE
1/8" = 1'-0"



PLAN LEGEND:
EXISTING TO BE RETAINED
NEW CONSTRUCTION

NEW TREES. REFER TO
LANDSCAPE DRAWINGS FOR
ALL SPECIES AND SIZES.
EXISTING OFF-SITE TREES TO BE
RETAINED. REFER TO ARBORIST
REPORT.





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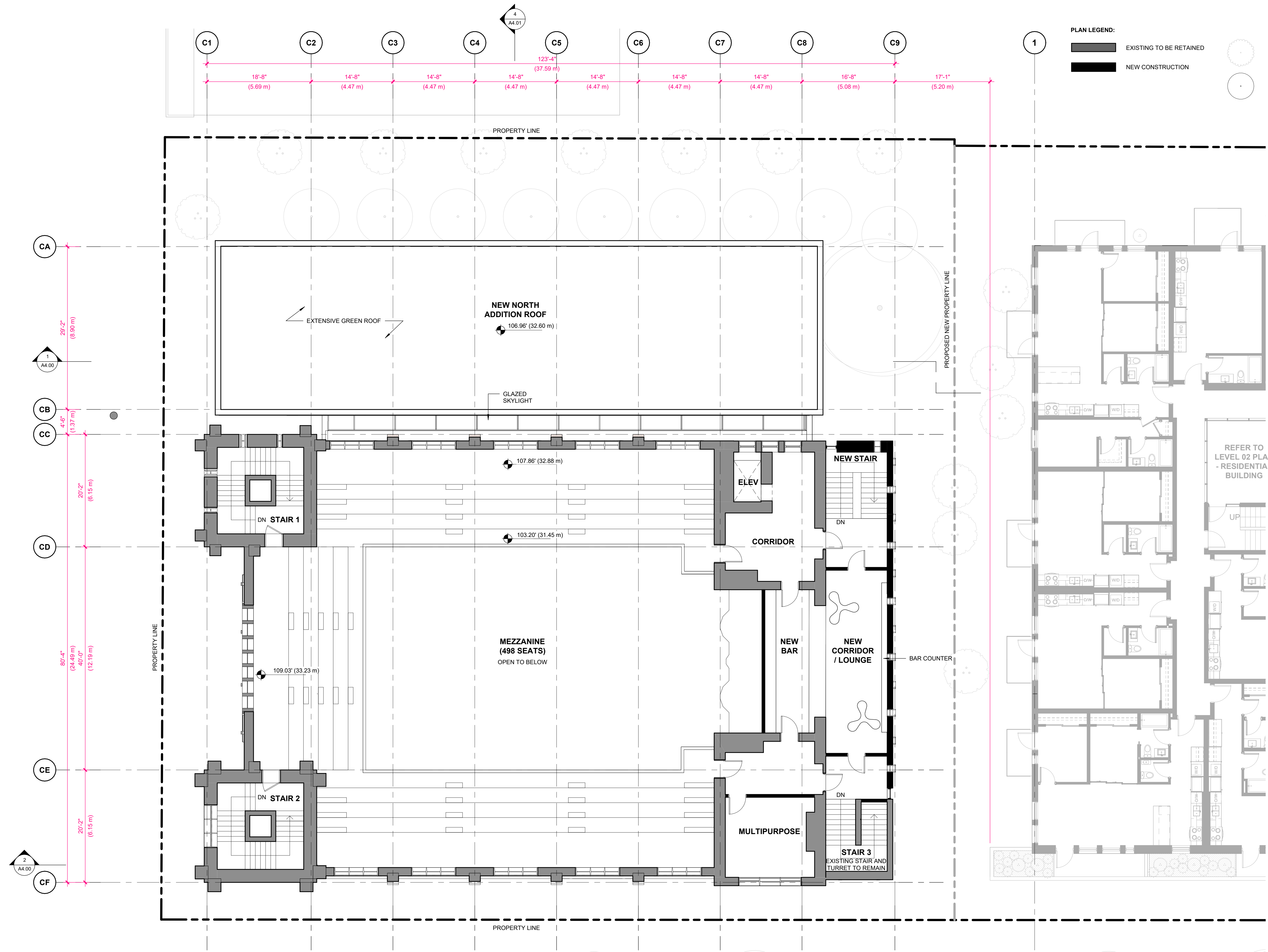
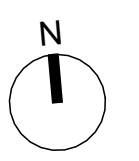
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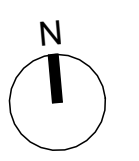
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MEZZANINE PLAN - HERITAGE BLDG

SCALE
1/8" = 1'-0"

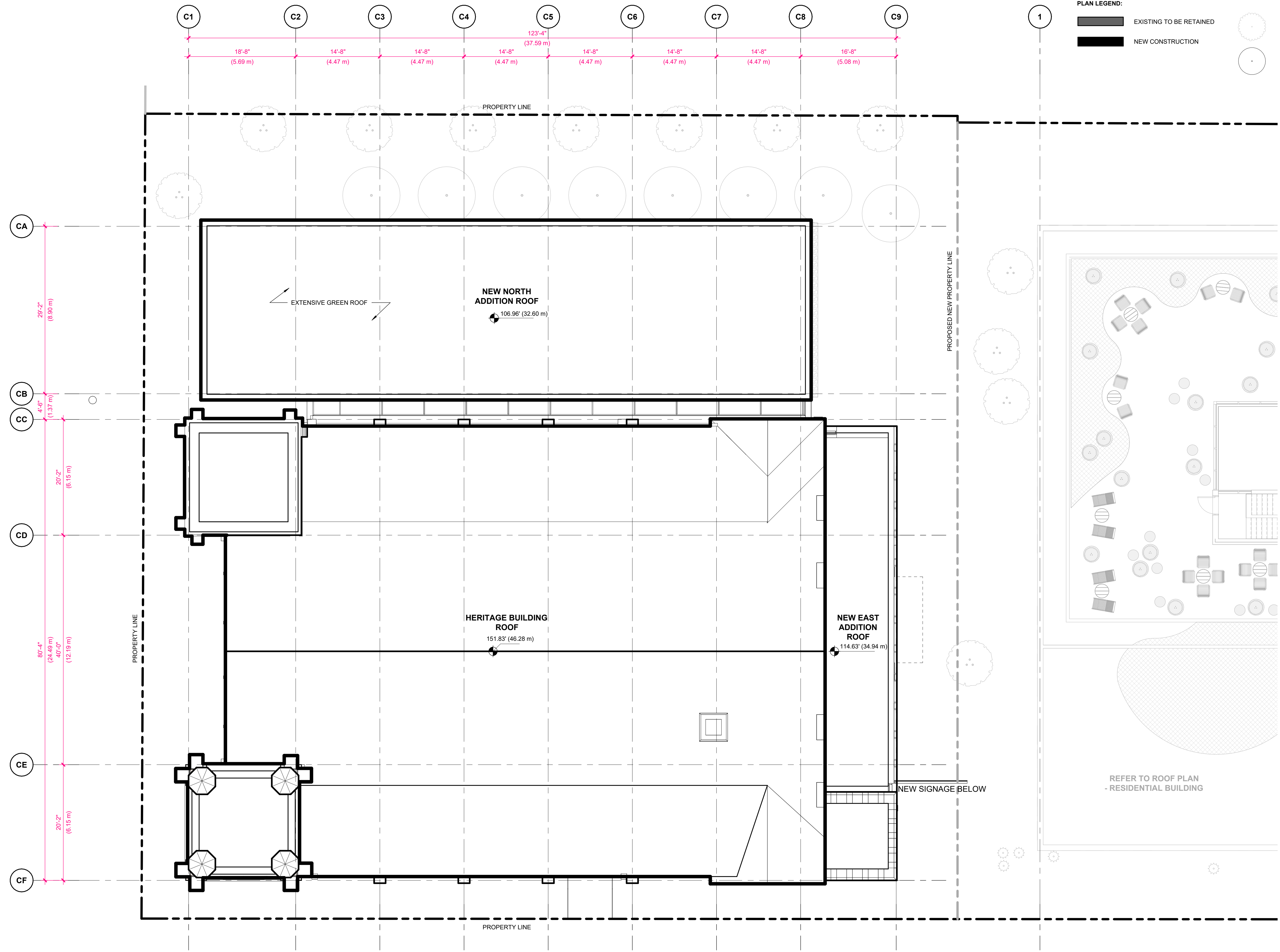




PLAN LEGEND:

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION

- NEW TREES. REFER TO LANDSCAPE DRAWINGS FOR ALL SPECIES AND SIZES.
- EXISTING OFF-SITE TREES TO BE RETAINED. REFER TO ARBORIST REPORT.



PARKING STALL LEGEND

- R RESIDENTIAL
- V VISITOR
- C COMMERCIAL
- I INSTITUTIONAL

⊕ ELECTRIC VEHICLE OUTLET. (RECESSED RECEPTICAL SO AS TO NOT PROJECT INTO PARKING SPACE DIMENSION)

— VERTICAL SIGN MOUNTED IN FRONT OF EACH ACCESSIBLE STALL (LOCATE 2.1M ABOVE FINISH GRADE PER ZONING BYLAW 2018 PART 5 SECTION 7.2.1)



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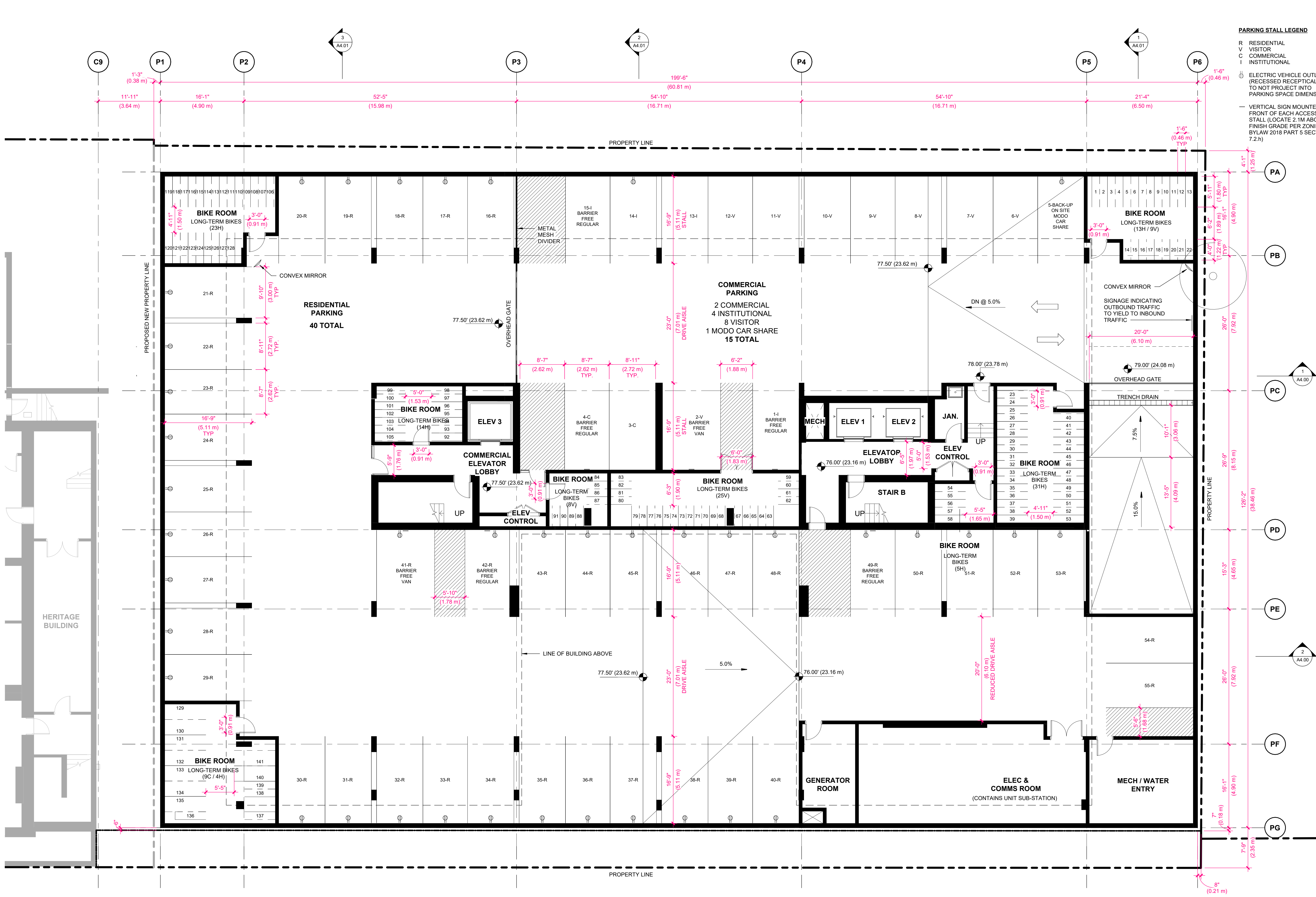
932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2
DECEMBER 19, 2025



LEVEL P1 PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



HERITAGE BUILDING

PA

PB

PC

PD

PE

PF

PG

PROPERTY LINE

1'-6" (0.46 m)

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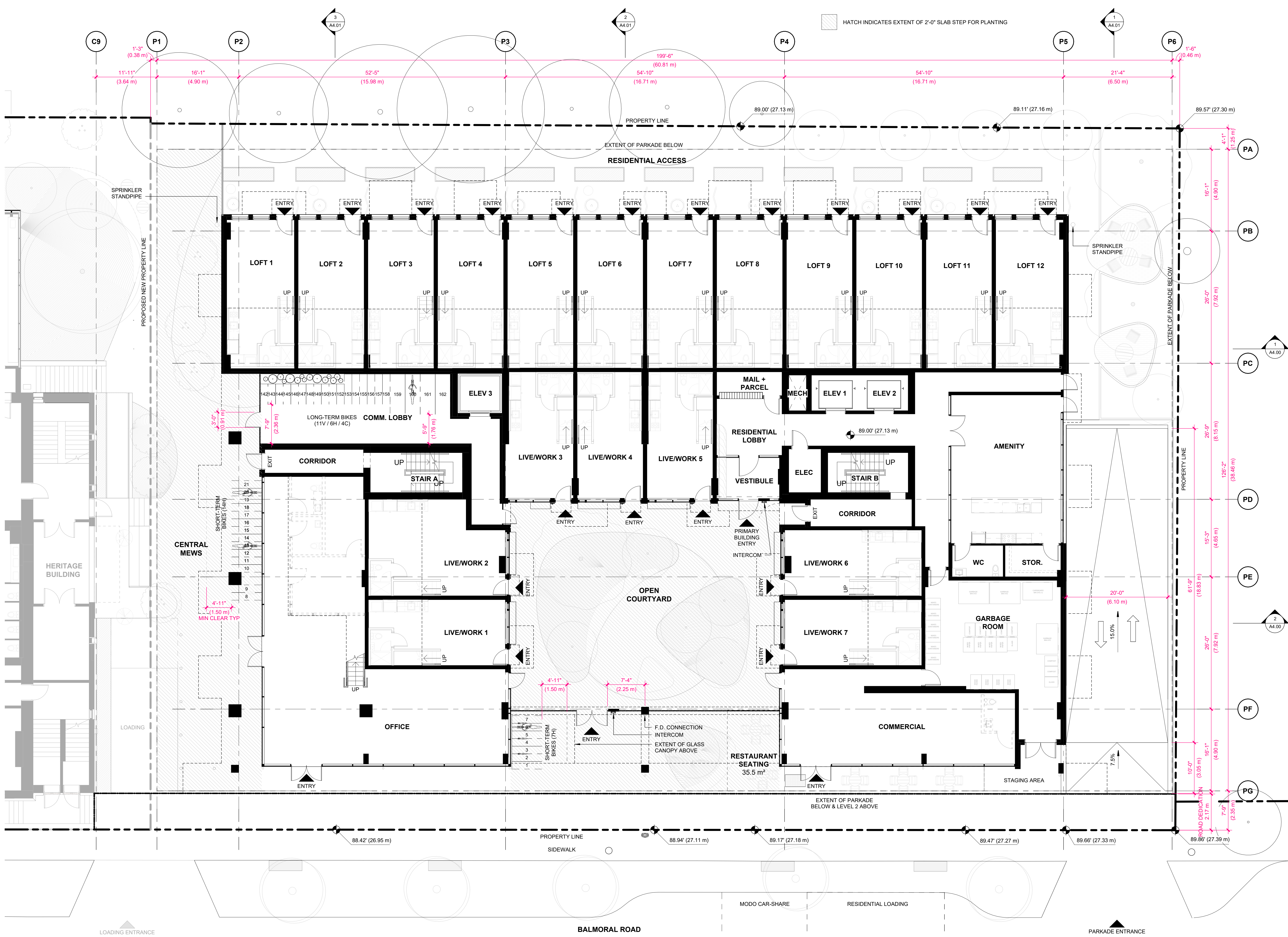
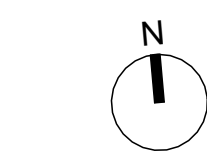
932 BALMORAL RD
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RESPONSE 2
DECEMBER 19, 2025



LEVEL 01 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



HATCH INDICATES EXTENT OF 2'-0" SLAB STEP FOR PLANTING

PA

PB

PC

PD

PE

PF

PG

C9

P1

P2

P3

P4

P5

P6

3
A4.01

2
A4.01

1
A4.01

1
A4.00

2
A4.00

BALMORAL ROAD

PARKADE ENTRANCE

MODO CAR-SHARE RESIDENTIAL LOADING

LOADING ENTRANCE

SPRINKLER STANDPIPE

SPRINKLER STANDPIPE

HERITAGE BUILDING

LOADING

CENTRAL MEWS

PROPOSED NEW PROPERTY LINE

EXTENT OF PARKADE BELOW
RESIDENTIAL ACCESS

EXTENT OF PARKADE BELOW

EXTENT OF PARKADE BELOW & LEVEL 2 ABOVE

PROPERTY LINE
SIDEWALK

PROPERTY LINE

LONG-TERM BIKES (11V / 6H / 4C)

SHORT-TERM BIKES (14H)

SHORT-TERM BIKES (7H)

OFFICE

LIVE/WORK 1

LIVE/WORK 2

LIVE/WORK 3

LIVE/WORK 4

LIVE/WORK 5

LIVE/WORK 6

LIVE/WORK 7

RESTAURANT SEATING 35.5 m²

COMMERCIAL

GARBAGE ROOM

WC STOR.

AMENITY

RESIDENTIAL LOBBY

VESTIBULE

ELEC

MECH

MAIL + PARCEL

ELEV 3

ELEV 1

ELEV 2

STAIR A

STAIR B

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CORRIDOR

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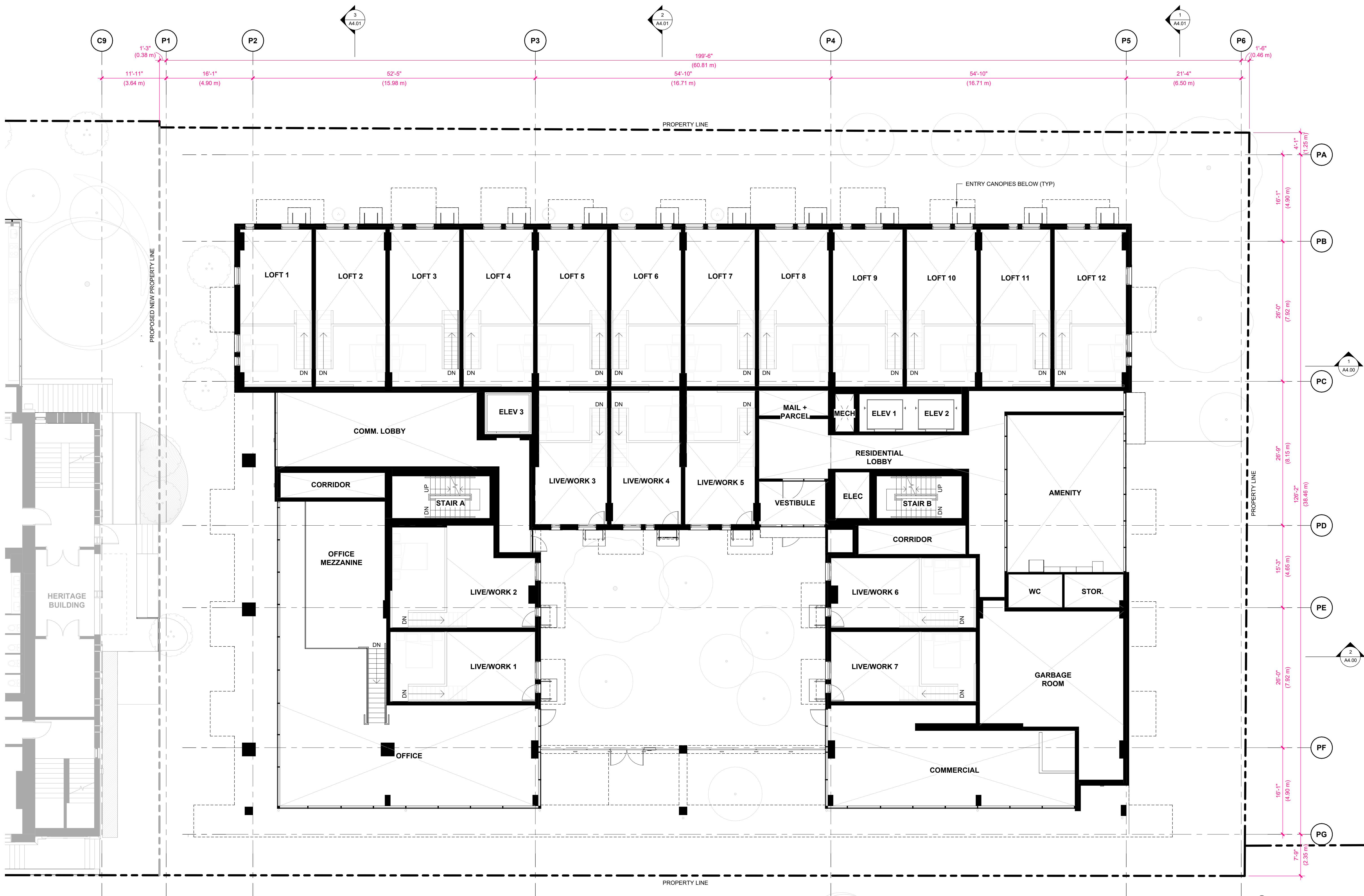
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RESPONSE 2
DECEMBER 19, 2025



2025-12-19

MEZZANINE PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



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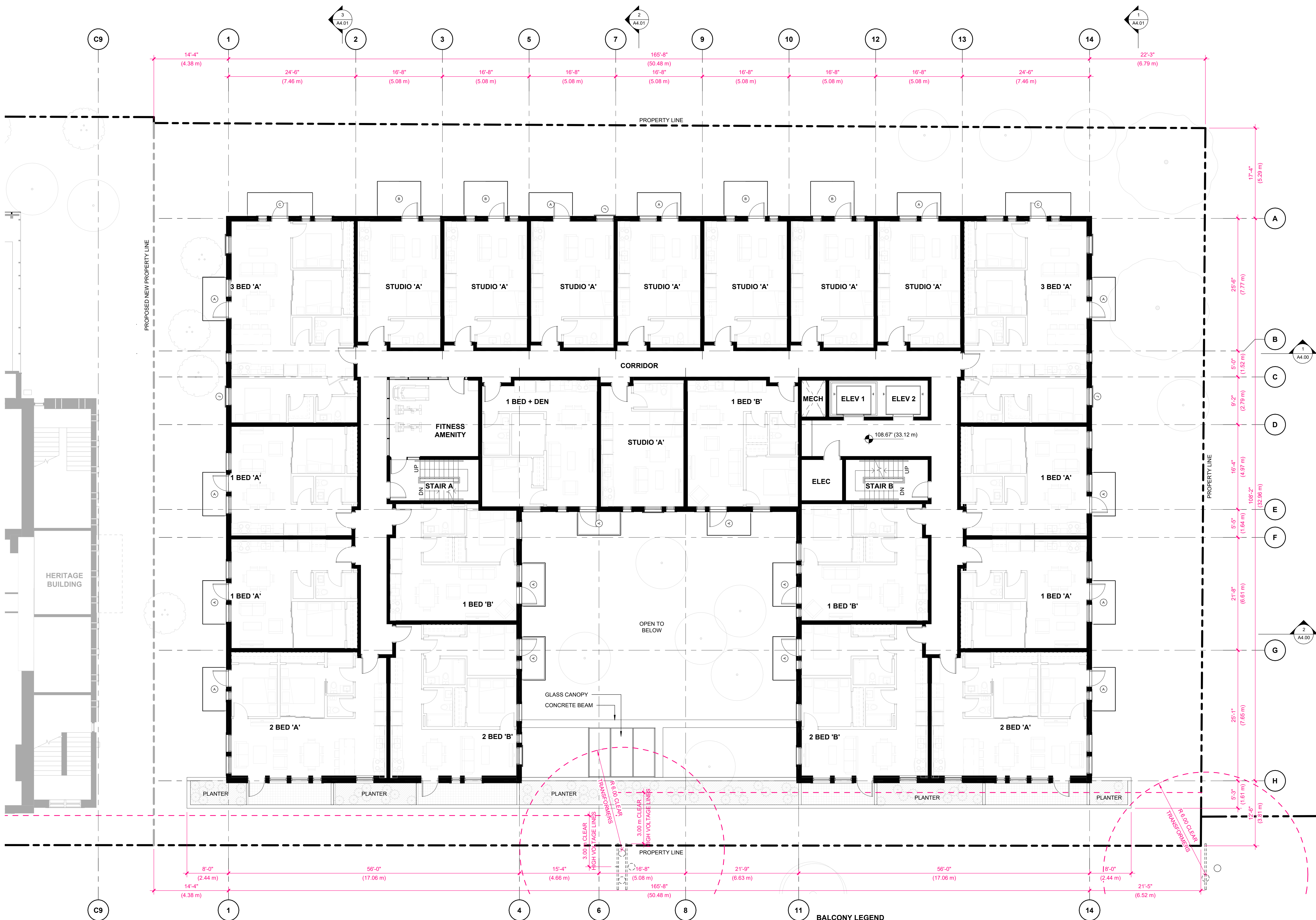
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RESPONSE 2

DECEMBER 19, 2025



LEVEL 02 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
 - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
 - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
 - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
 - E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
 - J JULIETTE BALCONY: 4'-2" (1.3m)

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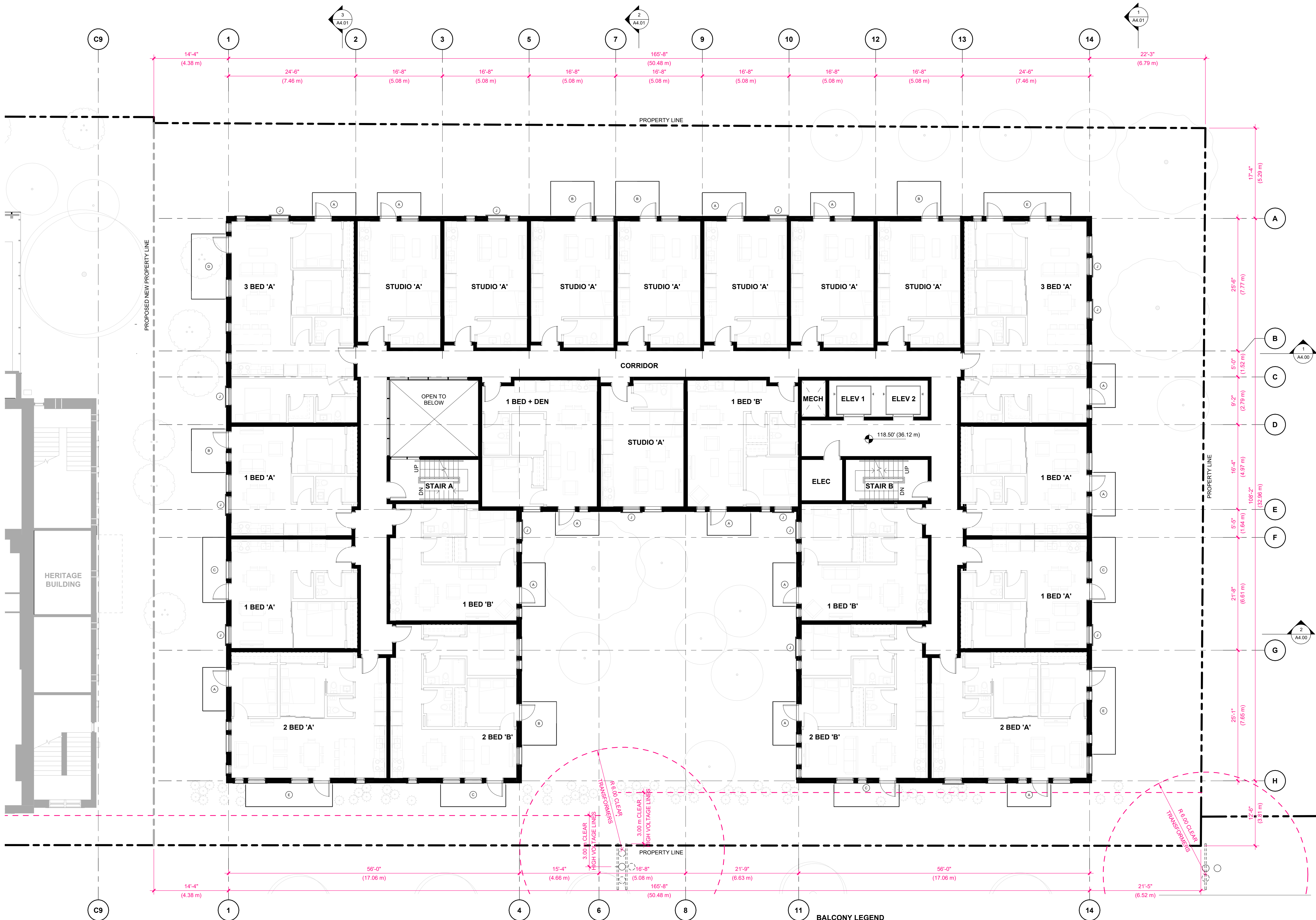
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LEVEL 03 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
 - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
 - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
 - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
 - E BALCONY TYPE E: 16'-8" x 4'-6" (5.1m x 1.4m)
 - J JULIETTE BALCONY: 4'-2" (1.3m)

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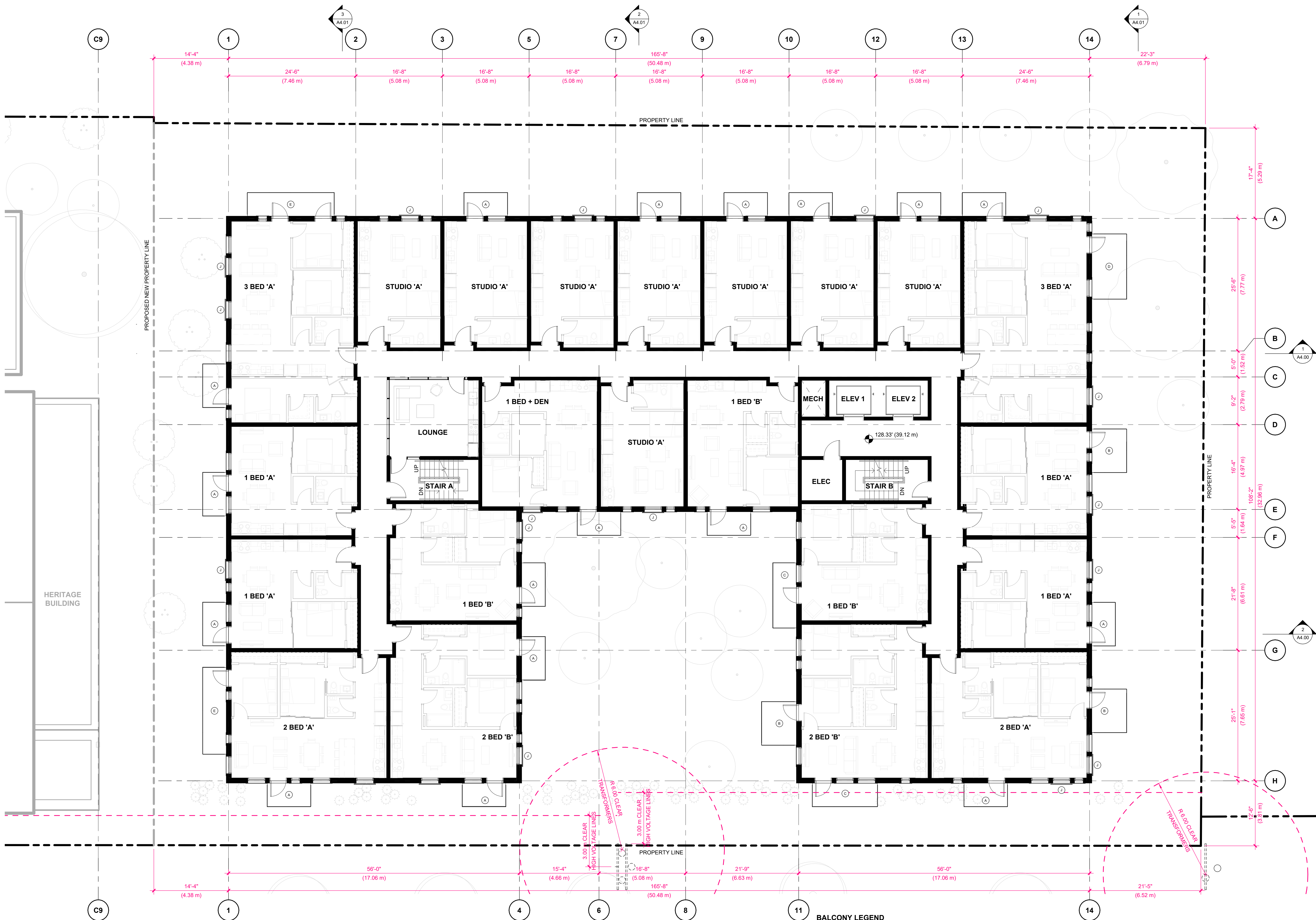
DECEMBER 19, 2025



2025-12-19

LEVEL 04 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
 - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
 - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
 - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
 - E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
 - J JULIETTE BALCONY: 4'-2" (1.3m)

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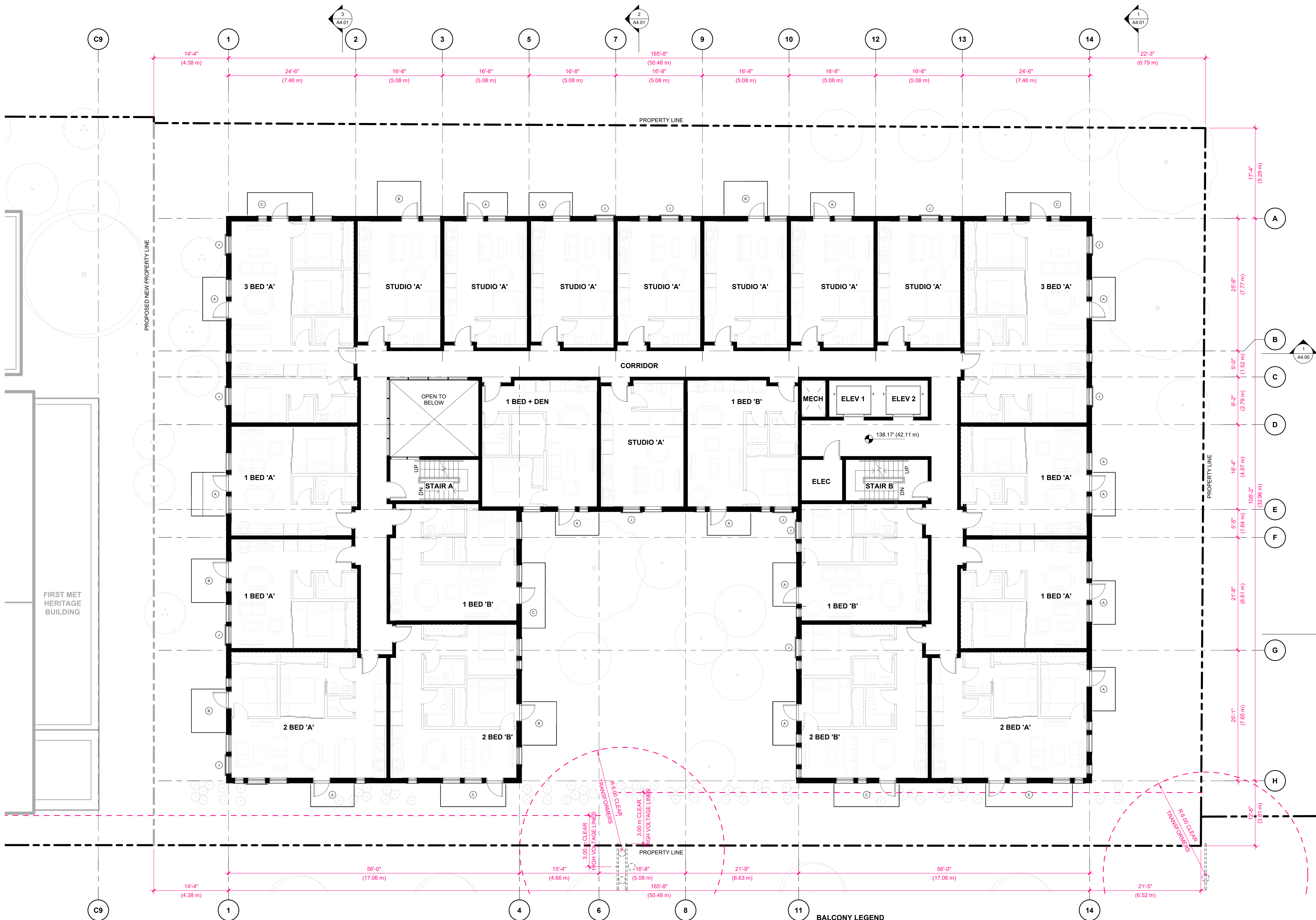
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2025-12-19

LEVEL 05 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
 - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
 - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
 - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
 - E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
 - J JULIETTE BALCONY: 4'-2" (1.3m)

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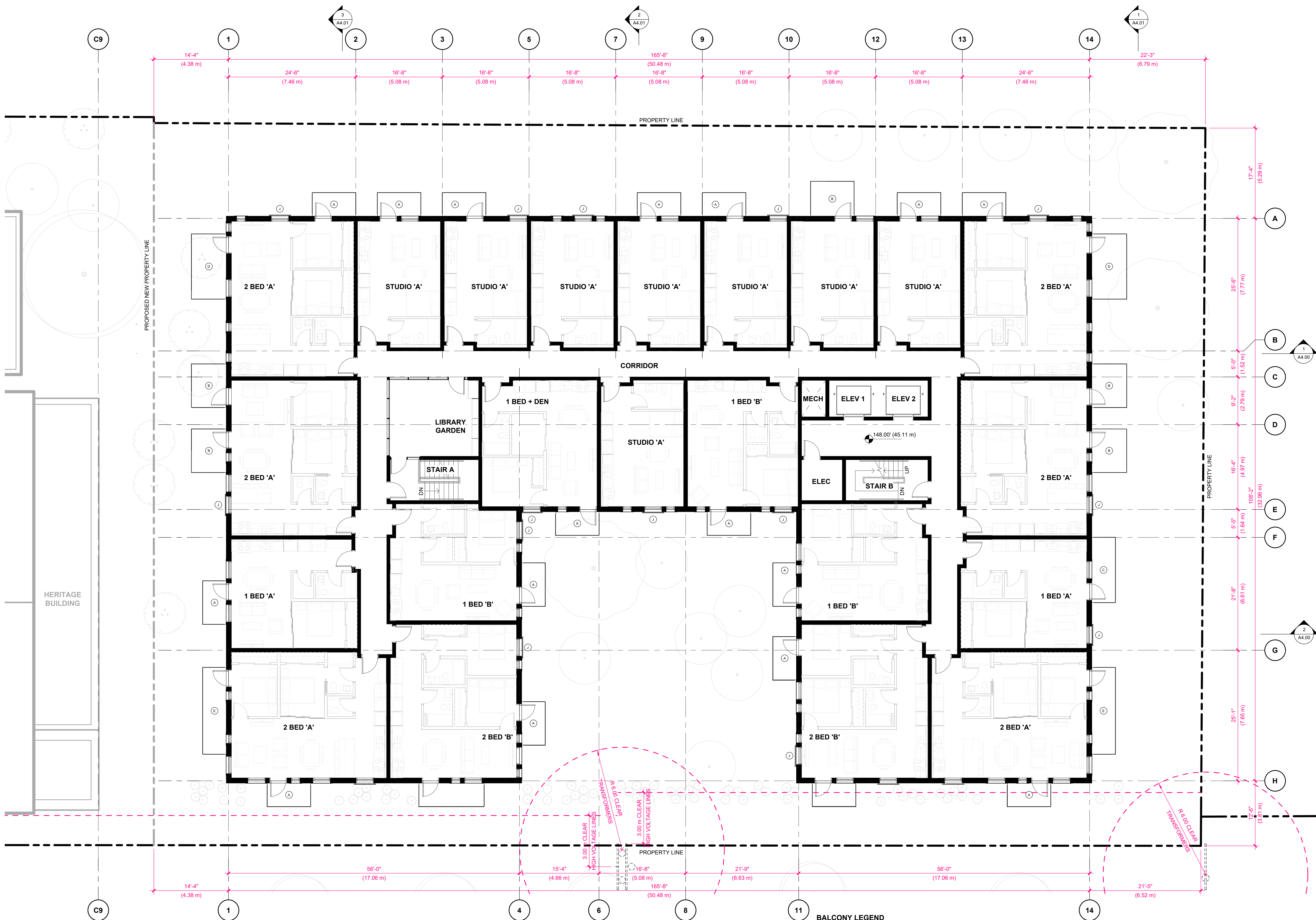
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RESPONSE 2

DECEMBER 19, 2025



LEVEL 06 PLAN -
RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"



- BALCONY LEGEND**
- A BALCONY TYPE A - 8'-4" x 4'-6" (2.5m x 1.4m)
 - B BALCONY TYPE B - 8'-4" x 6'-8" (2.5m x 2.0m)
 - C BALCONY TYPE C - 12'-6" x 4'-8" (3.8m x 1.4m)
 - D BALCONY TYPE D - 12'-6" x 6'-8" (3.8m x 2.0m)
 - E BALCONY TYPE E - 16'-8" x 4'-6" (5.1m x 1.4m)
 - J JULIETTE BALCONY: 4'-2" (1.3m)



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932 BALMORAL RD
& 1701 QUADRA ST

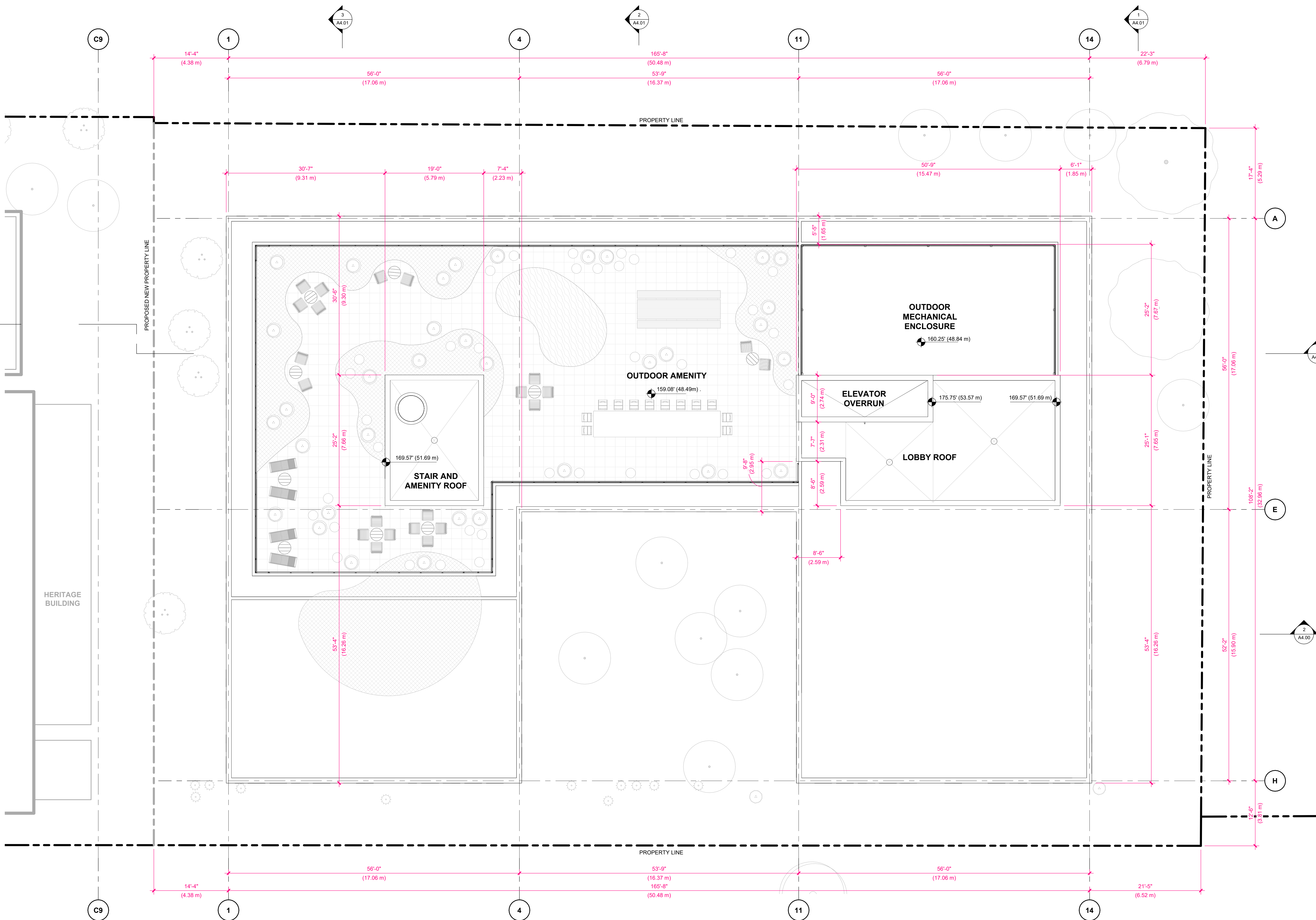
ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2
DECEMBER 19, 2025

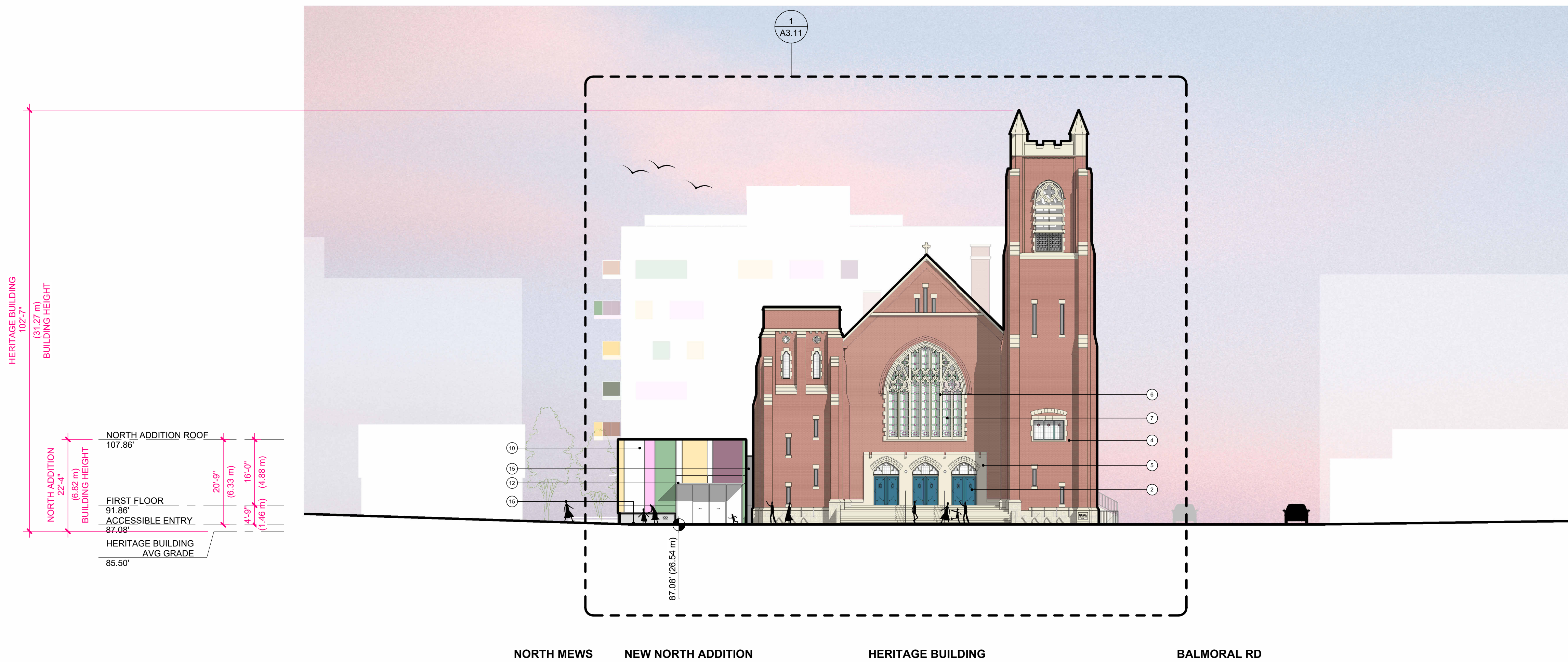


2025-12-19

ROOF PLAN - RESIDENTIAL BLDG

SCALE
1/8" = 1'-0"





HERITAGE MATERIAL LEGEND

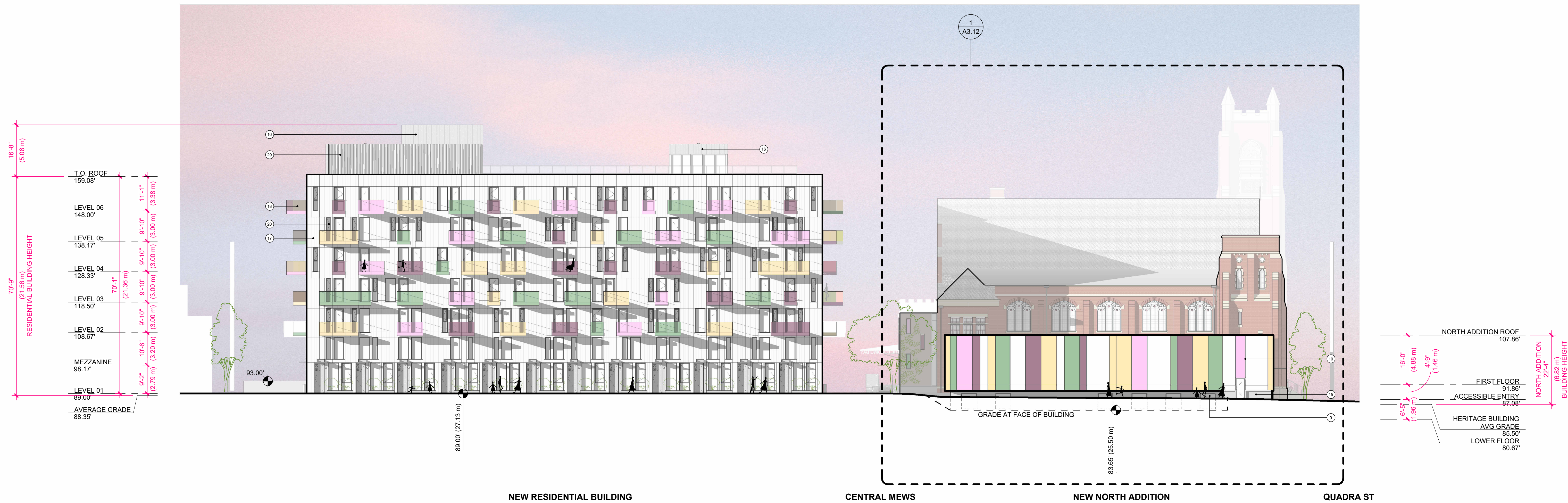
- ② ENTRY DOORS TO BE RESTORED AS REQUIRED
- ④ BRICK TO BE RESTORED AS REQUIRED
- ⑤ SANDSTONE TO BE RESTORED AS REQUIRED
- ⑥ CAST STONE TRACERY TO BE RESTORED AS REQUIRED
- ⑦ STAINED GLASS PANELS TO BE RESTORED AS REQUIRED

NEW NORTH ADDITION MATERIAL LEGEND

- ⑩ THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- ⑫ POWDER COATED METAL CANOPY
- ⑮ ARCHITECTURAL CONCRETE

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932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



NORTH SITE ELEVATION

SCALE
1/16" = 1'-0"

NEW RESIDENTIAL MATERIAL LEGEND

- 16 METAL PANEL, GALVANIZED
- 17 METAL PANEL, WHITE
- 18 GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
- 19 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
- 29 MECHANICAL METAL SCREEN ENCLOSURE

NEW NORTH ADDITION MATERIAL LEGEND

- 9 THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- 10 THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 15 ARCHITECTURAL CONCRETE

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932 BALMORAL RD & 1701 QUADRA ST

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DECEMBER 19, 2025



EAST SITE ELEVATION

SCALE
1/16" = 1'-0"

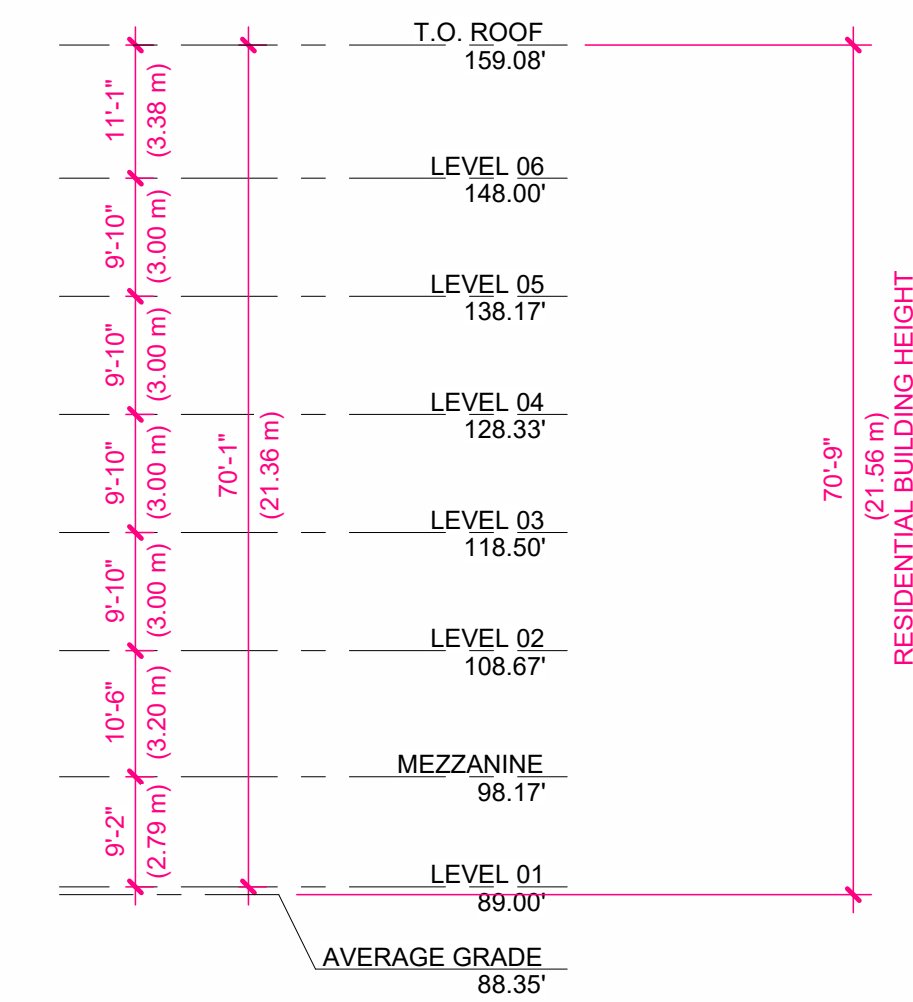
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NEW RESIDENTIAL BUILDING

BALMORAL RD



932 BALMORAL RD & 1701 QUADRA ST

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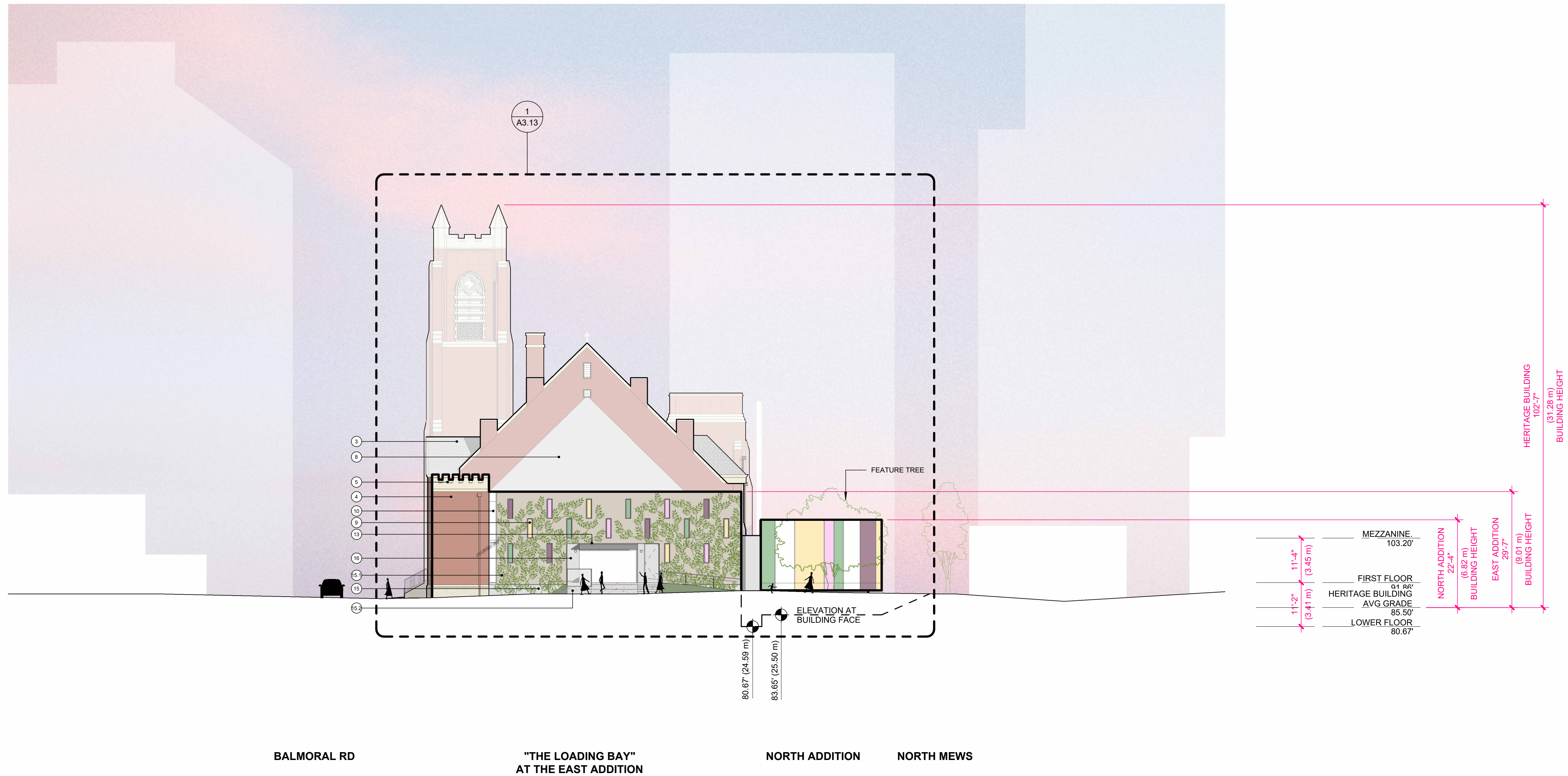


CENTRAL MEWS WEST SITE ELEVATION

SCALE
 1/16" = 1'-0"

NEW RESIDENTIAL MATERIAL LEGEND

- 15 ARCHITECTURAL CONCRETE
- 16 METAL PANEL, GALVANIZED
- 17 METAL PANEL, WHITE
- 18 GLASS GUARDRAIL, COLOURED GLASS VANCEVA VCV 01HI, VCV 08CD, VCV 0146, VCV 0818 (OR SIM)
- 20 THERMALLY BROKEN WINDOWS, BLACK FRAMES WITH CLEAR GLASS
- 21 WOVEN WIRE MESH, 1 1/2" x 1 1/2" OPENINGS, PAINTED RAL 090 90 50
- 24 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, 2 SSG



HERITAGE MATERIAL LEGEND

- ③ ROOFING MATERIAL TO BE REPAIRED AND REPLACED AS REQUIRED
- ④ BRICK TO BE RESTORED AS REQUIRED
- ⑤ SANDSTONE TO BE RESTORED AS REQUIRED
- ⑧ ORIGINAL GABLE ROOF FORM OF SUNDAY SCHOOL HALL TO REMAIN

NEW EAST ADDITION MATERIAL LEGEND

- ⑨ THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- ⑩ THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- ⑬ BIFOLD GARAGE DOOR, FINISH TBD
- ⑮ ARCHITECTURAL CONCRETE
- ⑮.1 ARCHITECTURAL CONCRETE WITH CLIMBING VINES, REFER TO LANDSCAPE, CONCRETE COLOUR TBD
- ⑮.2 ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
- ⑯ METAL PANEL, GALVANIZED



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NOTES:

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- MATERIALS FROM DEMOLISHED PORTION OF THE SUNDAY SCHOOL HALL TO BE SALVAGED, IF FEASIBLE, FOR POSSIBLE REUSE IN THE REPAIR OF THE RETAINED SECTIONS OF THE HALL AND/OR THE CHURCH.
- WINDOWS WITH STAINED AND LEADED GLASS THAT ARE NOTED FOR REMOVAL SHOULD BE SALVAGED. SALVAGED PANELS SHOULD BE PROTECTED AND CAREFULLY STORED.
- ALL HERITAGE DOORS AND WINDOWS WITHIN RETAINED AREAS ARE TO BE REPAIRED AND/OR REPLACED AS REQUIRED. ANY REPLICAS SHALL BE MANUFACTURED IN ACCORDANCE WITH HCP SPECIFICATIONS. PAINT COLOURS FOR FRAMING ELEMENTS ARE TO BE DETERMINED IN COORDINATION WITH THE HERITAGE CONSULTANT.
- SALVAGE BRICK FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.
- SALVAGE STONE FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.

PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- (H1) PRESERVED RUSTICATED STONE FOUNDATION - REPAIR ANY MISSING MORTAR AND PARGING IF DAMAGED
- (H3) REHABILITATED STONE FOUNDATION
- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H11) REPLACE NON-ORIGINAL WINDOWS WITH REPLICATED WOOD FRAME WINDOW AS FEASIBLE - MANUFACTURED AS RECOMMENDED BY HCP
- (H13) PRESERVED TRI-DIVIDED LANCET WINDOWS WITH CUSPED STONE ARCHES AND STAINED GLASS - REPAIR AS REQUIRED
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- (H16) PRESERVED TRIPLE-LITE WOOD SASH WINDOW WITH STAINED GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H17) PRESERVED DOUBLE-LITE WOOD SASH WINDOW WITH STAINED GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H18) PRESERVED SINGLE-LITE WOOD SASH WINDOW WITH CLEAR GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H19) PRESERVED WOOD SASH TRANSOM WINDOW, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H20) PRESERVED WOOD DOOR, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H21) PRESERVED DOUBLE-DOOR ENTRY WITH POINTED-ARCH TRACERY TRANSOMS - REPAIR AS REQUIRED
- (H23) PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- (H25) PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H28) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED

932 BALMORAL RD & 1701 QUADRA ST

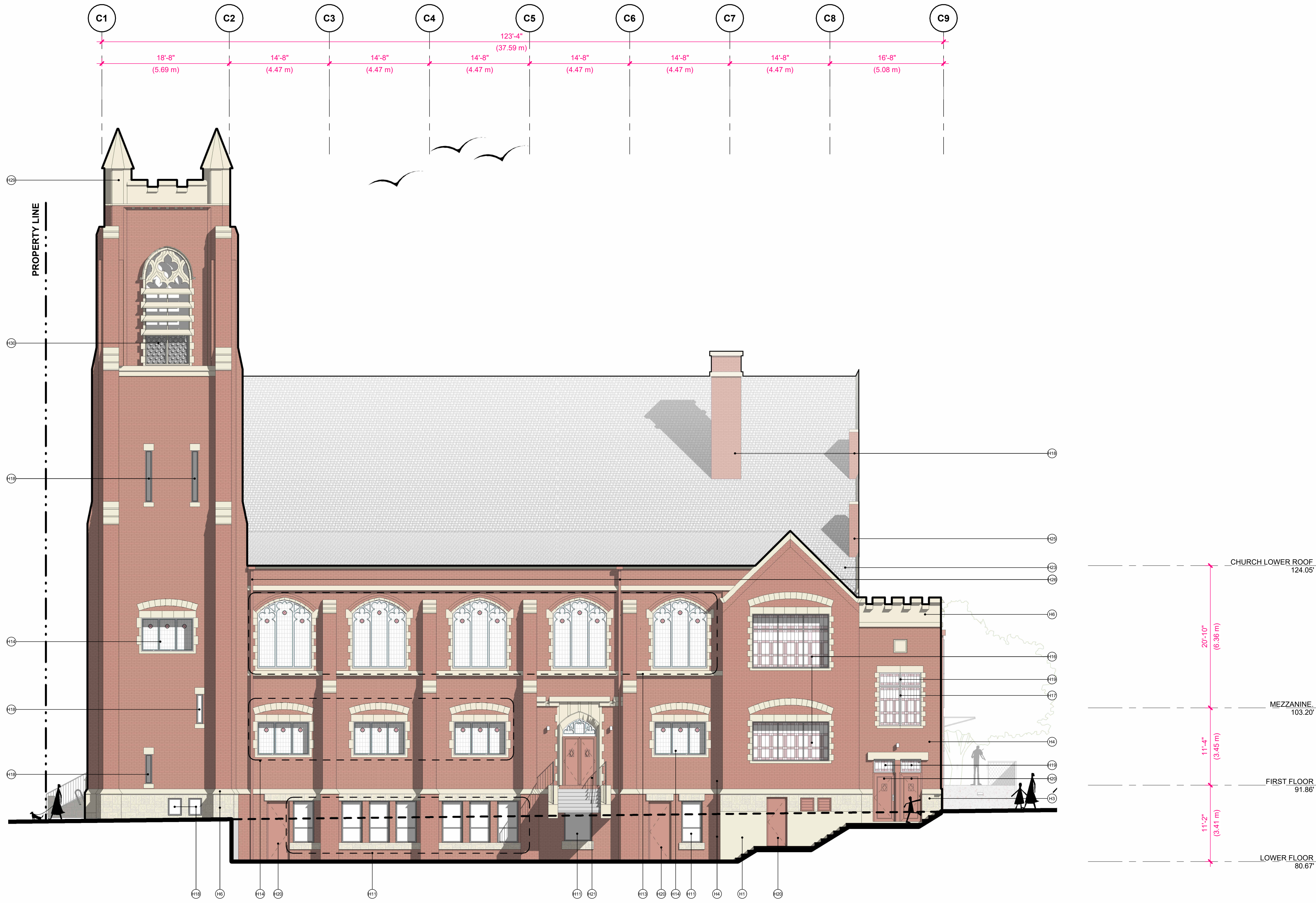
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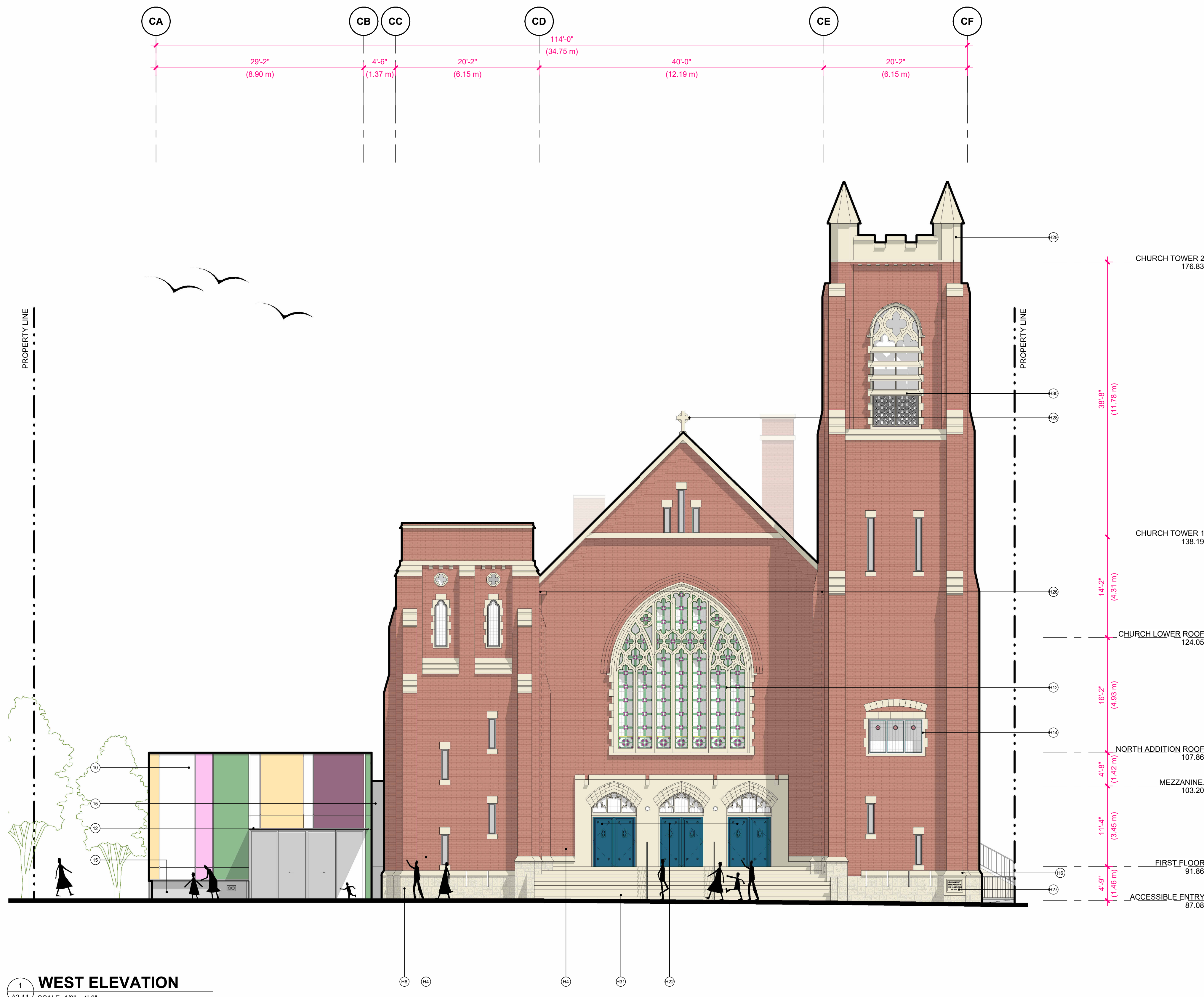


HERITAGE ELEVATION - BALMORAL ROAD

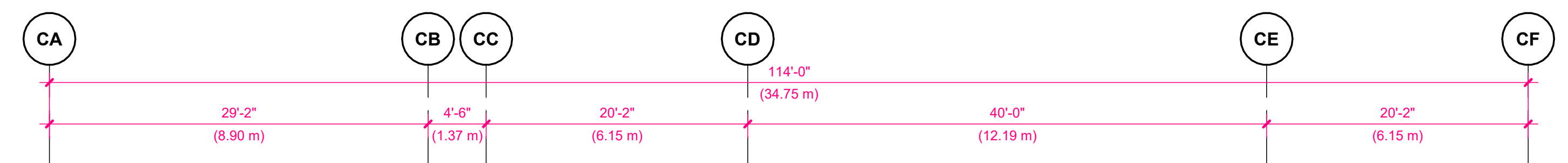
SCALE
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
 A3.11 SCALE: 1/8" = 1'-0"



NOTES:

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3. WINDOWS WITH STAINED AND LEADED GLASS THAT ARE NOTED FOR REMOVAL SHOULD BE SALVAGED. SALVAGED PANELS SHOULD BE PROTECTED AND CAREFULLY STORED.
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5. SALVAGE BRICK FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.
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7. SALVAGE STONE FROM AREAS OF THE STRUCTURES WHERE THE EXTERIOR IS BEING ALTERED AND/OR DEMOLISHED. SALVAGED MATERIAL SHOULD BE PROTECTED AND CAREFULLY STORED.

 PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H12) PRESERVED ARCHED MULTI-LANCET WINDOW WITH CAST STONE TRACERY AND STAINED GLASS - REPAIR AS REQUIRED
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- (H22) MAIN ENTRY DOOR - RESTORE TO ORIGINAL AND REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H27) PRESERVED CORNERSTONE - REPAIR AS REQUIRED
- (H28) PRESERVED CELTIC CROSS FINIAL - REPAIR AS REQUIRED
- (H29) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED
- (H31) PRESERVED STONE ENTRY STAIRCASE - REPAIR AS REQUIRED

NEW ADDITIONS MATERIAL LEGEND

- (10) THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- (12) POWDER COATED METAL CANOPY
- (15) ARCHITECTURAL CONCRETE



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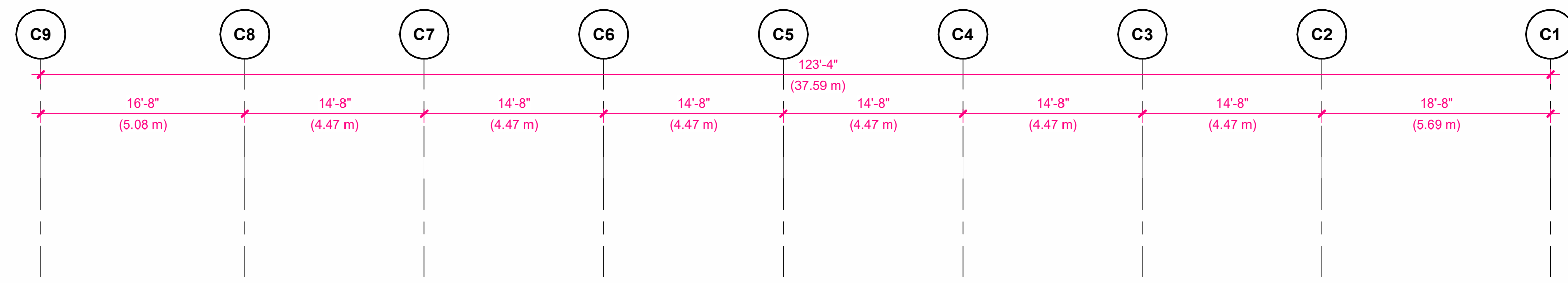
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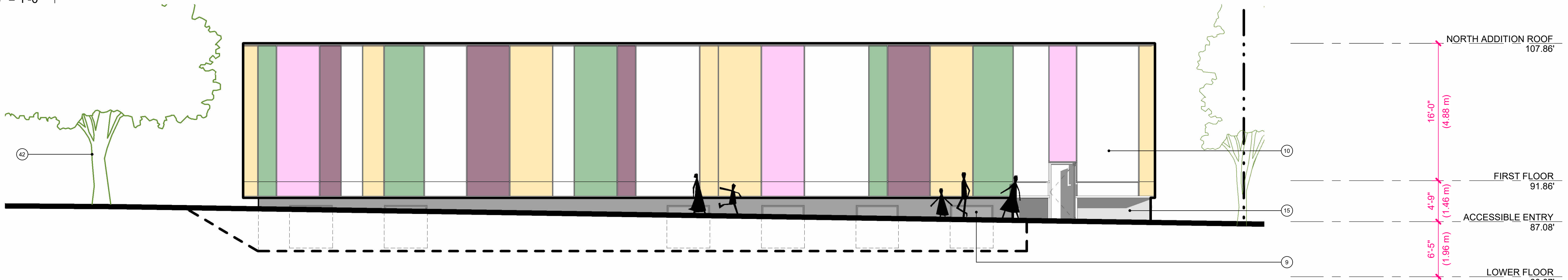


HERITAGE ELEVATION -
 QUADRA STREET

SCALE
 1/8" = 1'-0"



1 NORTH ELEVATION AT CHURCH
1/8" = 1'-0"



2 NORTH ELEVATION AT ADDITION
1/8" = 1'-0"

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PORTION TO BE DEMOLISHED.

HERITAGE MATERIAL LEGEND

- (H4) PRESERVED BRICK - REPAIR ANY MISSING MORTAR JOINT
- (H6) PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- (H8) ORIGINAL SALVAGED STONE SET WINDOW
- (H11) REPLACE NON-ORIGINAL WINDOWS WITH REPLICATED WOOD FRAME WINDOW AS FEASIBLE - MANUFACTURED AS RECOMMENDED BY HCP
- (H14) PRESERVED TRIPLE-LITE STONE SET WINDOWS WITH STAINED GLASS - REPAIR AS REQUIRED
- (H18) PRESERVED SINGLE-LITE WOOD SASH WINDOW WITH CLEAR GLASS, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H19) PRESERVED WOOD SASH TRANSOM WINDOW, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H20) PRESERVED WOOD DOOR, PAINTED FINISH - REPAIR AS REQUIRED, COLOUR TBD
- (H21) PRESERVED DOUBLE-DOOR ENTRY WITH POINTED-ARCH TRACERY TRANSOMS - REPAIR AS REQUIRED
- (H23) PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- (H25) PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- (H26) PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- (H29) PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- (H30) PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED

NEW ADDITIONS MATERIAL LEGEND

- (9) THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- (10) THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- (15) ARCHITECTURAL CONCRETE
- (15.1) ARCHITECTURAL CONCRETE WITH CLIMBING VINES. REFER TO LANDSCAPE. CONCRETE COLOUR TBD
- (15.2) ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
- (38) NEW CUSTOM DOOR, C/W HERITAGE MOTIF - MATCH EXISTING WINDOW WIDTH, REHABILITATE EXISTING OPENING
- (39) NEW GLAZED BRIDGE - BETWEEN EXISTING HERITAGE CHURCH AND NEW NORTH ADDITION OVER EXISTING FLOOR OPENING
- (41) NEW PLANTING, REFER TO LANDSCAPE
- (42) REPLACEMENT HERITAGE FEATURE TREE, REFER TO LANDSCAPE
- (43) THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, BETWEEN EXISTING BRICK WALL AND NEW CONSTRUCTION - REPAIR AND REPLACE ADJACENT EXISTING BRICK WITH SALVAGED BRICK AS REQUIRED
- (44) NEW SKYLIGHT BETWEEN EXISTING HERITAGE CHURCH AND NEW CONSTRUCTION

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DECEMBER 19, 2025



HERITAGE ELEVATION - NORTH SITE

SCALE
1/8" = 1'-0"



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DECEMBER 19, 2025



HERITAGE ELEVATION CENTRAL MEWS EAST

SCALE
1/8" = 1'-0"

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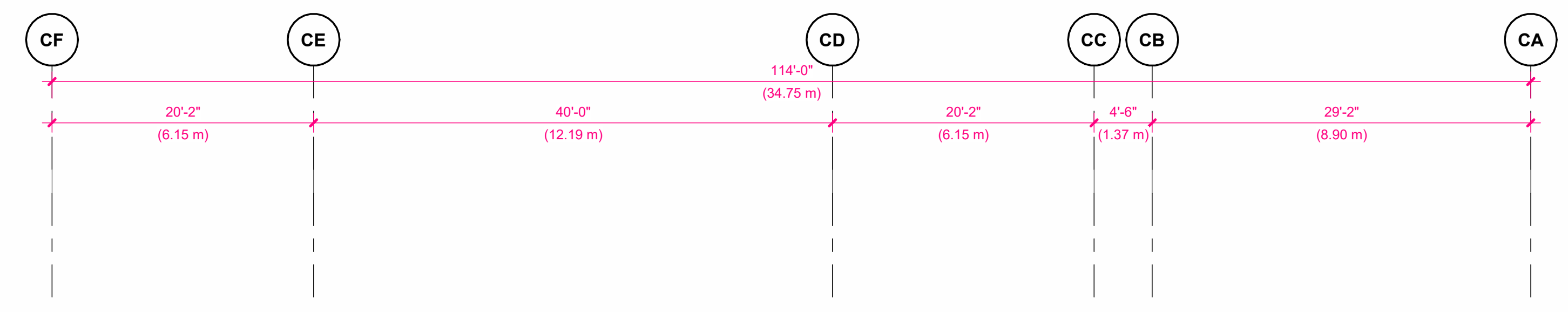
 PORTION TO BE DEMOLISHED.

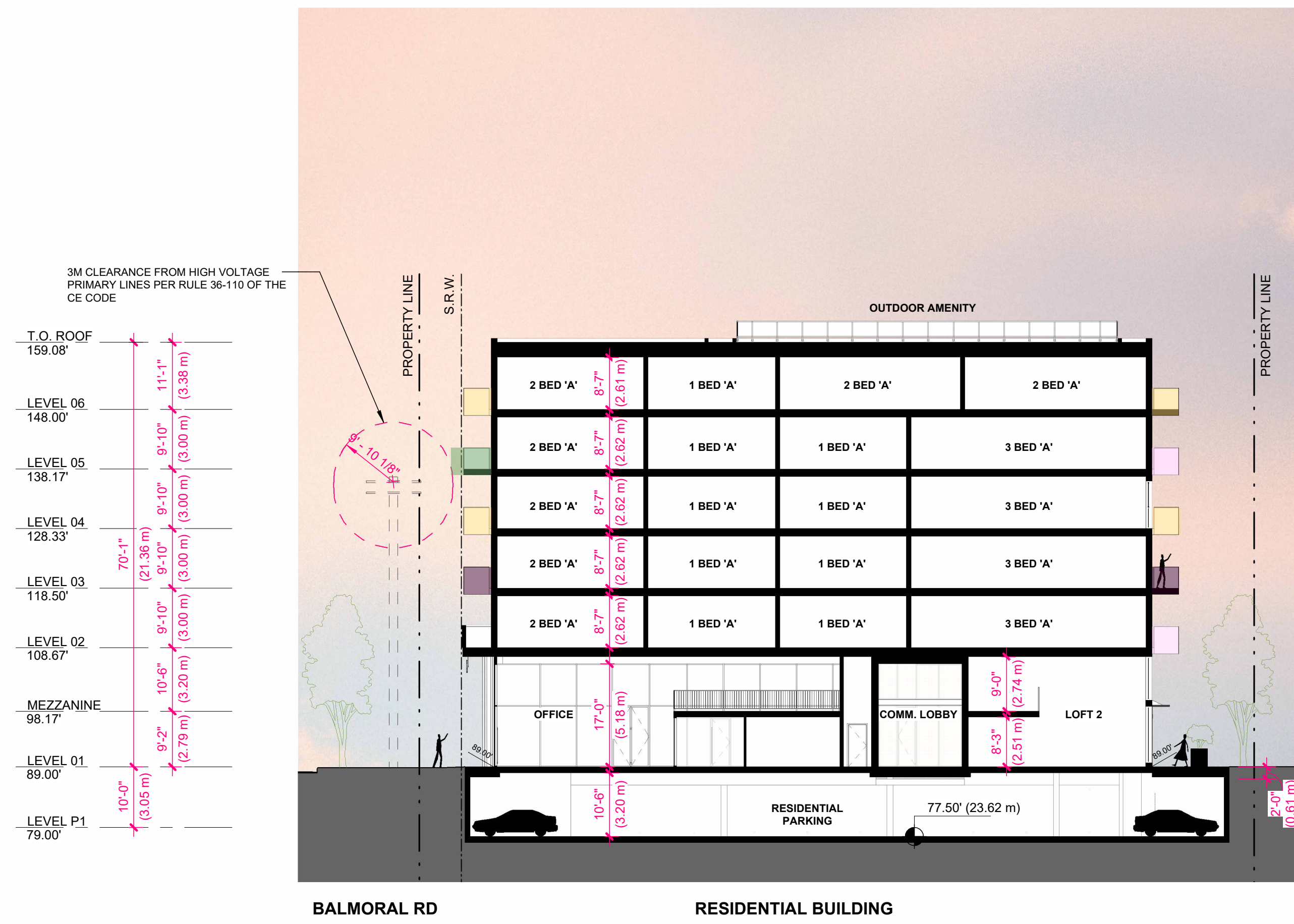
HERITAGE MATERIAL LEGEND

- H3 REHABILITATED STONE FOUNDATION
- H5 PRESERVED BRICK, INFILL WITH ORIGINAL SALVAGED BRICK AS REQUIRED
- H6 PRESERVED SANDSTONE TRIM AND DETAILING - REPAIR ANY MISSING MORTAR JOINT
- H23 PRESERVED GABLE ROOF ASSEMBLY - REPAIR AS REQUIRED
- H25 PRESERVED BRICK CHIMNEY - REPAIR AS REQUIRED
- H29 PRESERVED GUTTERS AND RWL - REPAIR AS REQUIRED AND MODIFY IN COORDINATION WITH NEW ADDITIONS
- H29 PRESERVED CRENNELLATED BELL TOWER WITH STONE CORNER PINNACLES - REPAIR AS REQUIRED
- H30 PRESERVED BELFRY WITH LOUVRES IN POINTED-ARCH TRACERY WINDOWS - REPAIR AS REQUIRED

NEW ADDITIONS MATERIAL LEGEND

- 9 THERMALLY BROKEN WINDOW, COLOURED GLASS TO BE MATCH EXISTING HERITAGE STAINED GLASS
- 10 THERMALLY BROKEN CURTAIN WALL, COLOURED GLASS TO MATCH EXISTING HERITAGE STAINED GLASS
- 15 ARCHITECTURAL CONCRETE
- 15.1 ARCHITECTURAL CONCRETE WITH CLIMBING VINES. REFER TO LANDSCAPE. CONCRETE COLOUR TBD
- 15.2 ARCHITECTURAL CONCRETE WITH HERITAGE BRICK AGGREGATE
- 16 METAL PANEL, GALVANIZED
- 43 THERMALLY BROKEN CURTAIN WALL, CLEAR GLASS, BETWEEN EXISTING BRICK WALL AND NEW CONSTRUCTION - REPAIR AND REPLACE ADJACENT EXISTING BRICK WITH SALVAGED BRICK AS REQUIRED





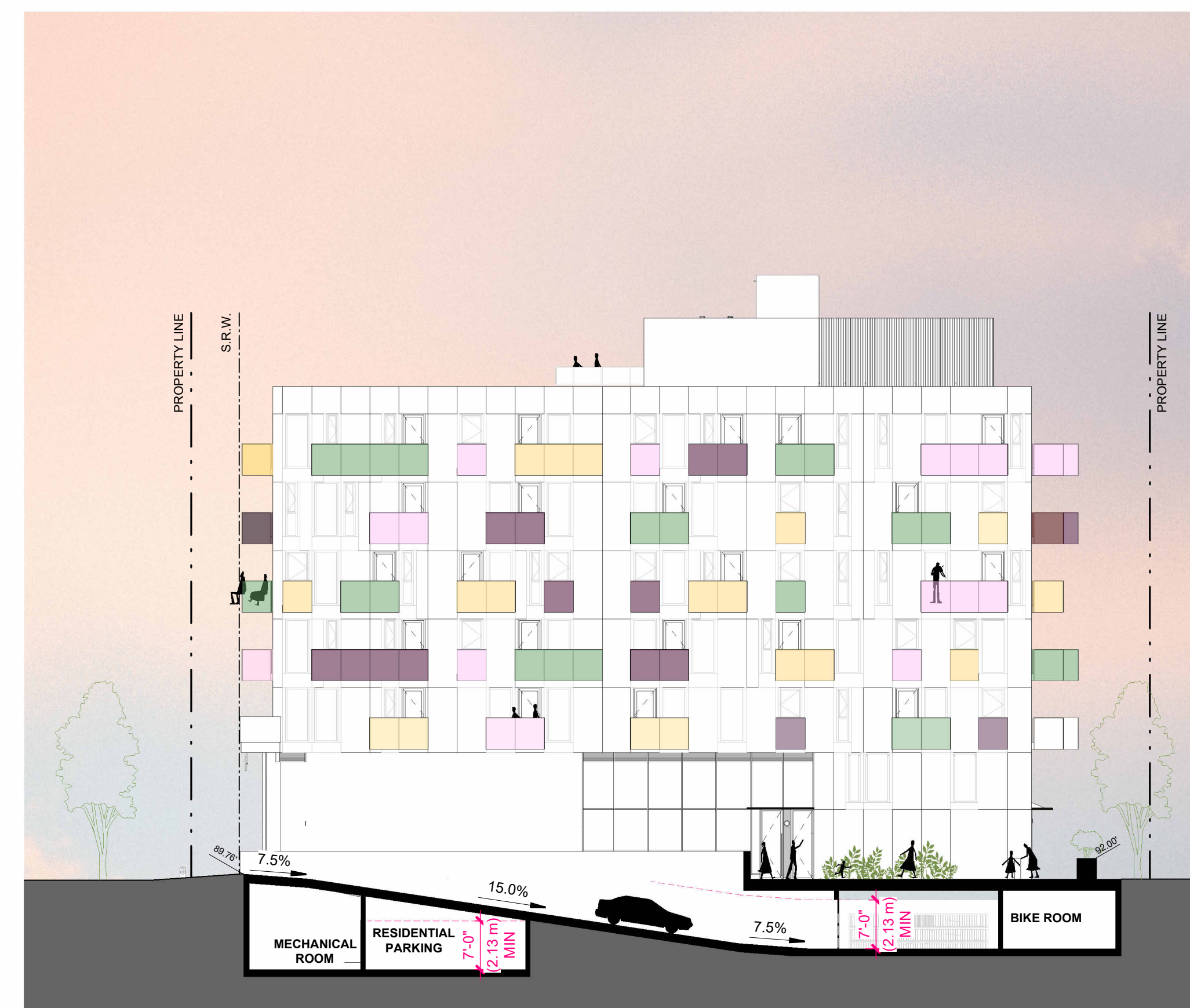
3 SITE SECTION THROUGH RESIDENTIAL BLDG LOOKING WEST



4 SITE SECTION THROUGH HERITAGE BUILDING LOOKING WEST



2 SITE SECTION THROUGH RESIDENTIAL COURTYARD LOOKING WEST



1 SITE SECTION THROUGH PARKING ENTRY RAMP LOOKING WEST

MAH+HG

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932 BALMORAL RD & 1701 QUADRA ST

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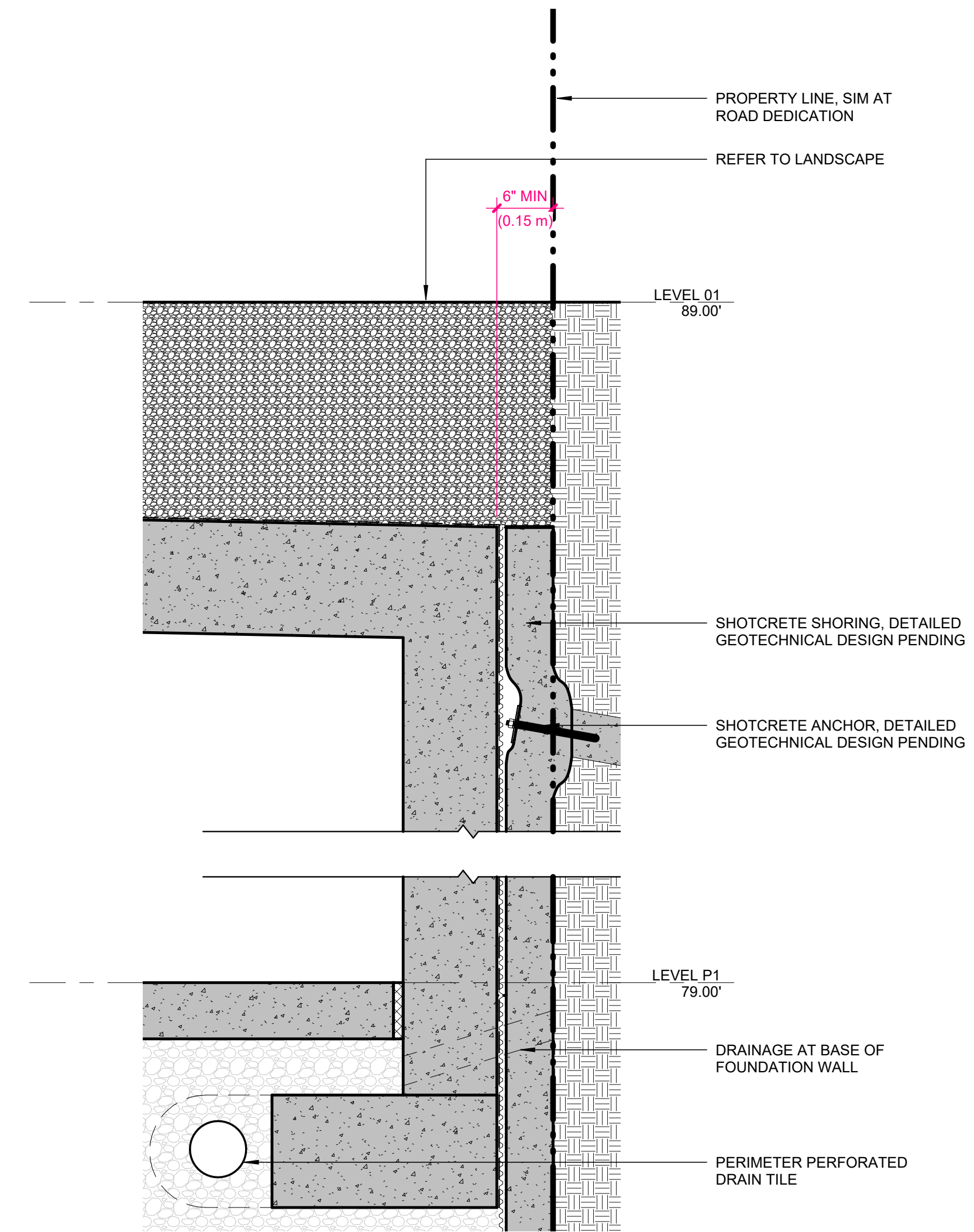
DECEMBER 19, 2025



2025-12-19

SITE SECTIONS

SCALE
1/16" = 1'-0"



**TYP FOUNDATION WALL
DETAILS**

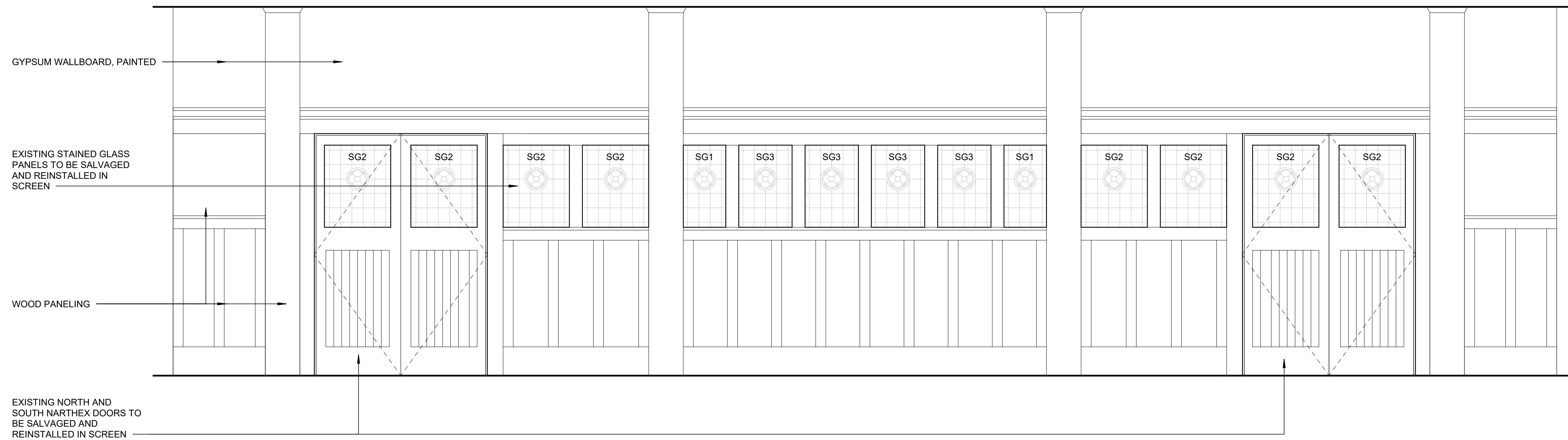
SCALE
1" = 1'-0"

1 FOUNDATION WALL AT EAST PROPERTY LINE AND SOUTH SRW
A4.10 SCALE: 1" = 1'-0"

NARTHEX SCREEN STAINED GLASS SIZES

TYPE	DESCRIPTION	SIZE	EXISTING COUNT	PROPOSED COUNT
SG1	3 LITE X 5 LITE	375mm x 724mm	6*	2
SG2	5 LITE X 5 LITE	581mm x 724mm	10*	8
SG3	4 LITE X 5 LITE	470mm x 724mm	4	4
SG4	7 LITE X 5 LITE	683mm x 660mm	2*	0

*NOTE: WHERE THE EXISTING COUNT OF STAINED GLASS PANELS EXCEEDS THOSE USED IN THE RESTORED SCREEN, THE REMAINDER ARE TO BE SALVAGED AND STORED FOR FUTURE USE



1 RESTORED NARTHEX SCREEN ELEVATION
 A4.11 SCALE: 1/2" = 1'-0"

**932 BALMORAL RD
 & 1701 QUADRA ST**

**ISSUED FOR REZONING &
 DEVELOPMENT PERMIT TRG
 RESPONSE 2**

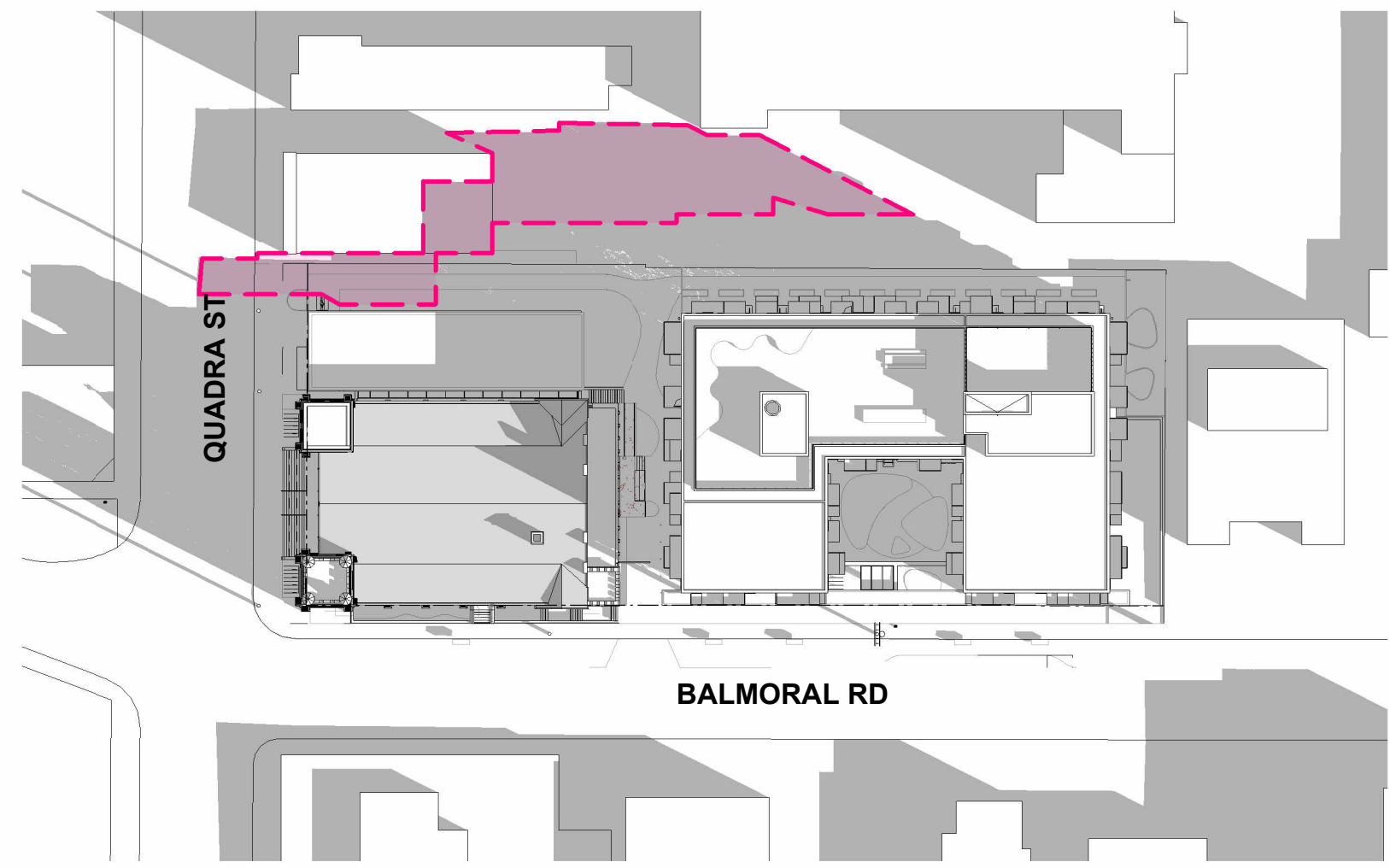
DECEMBER 19, 2025



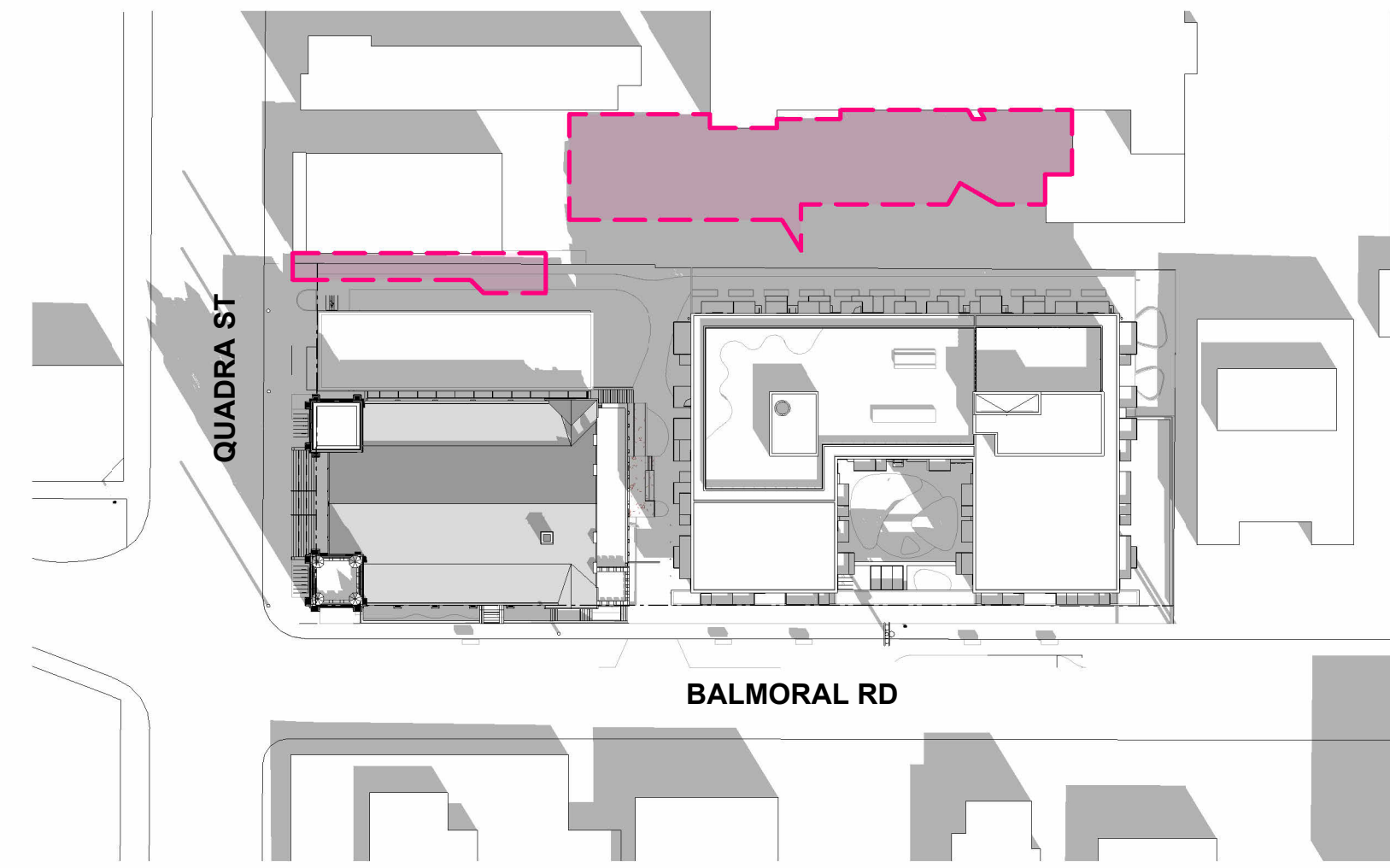
**INTERIOR HERITAGE
 ELEVATION**

SCALE
 1/2" = 1'-0"

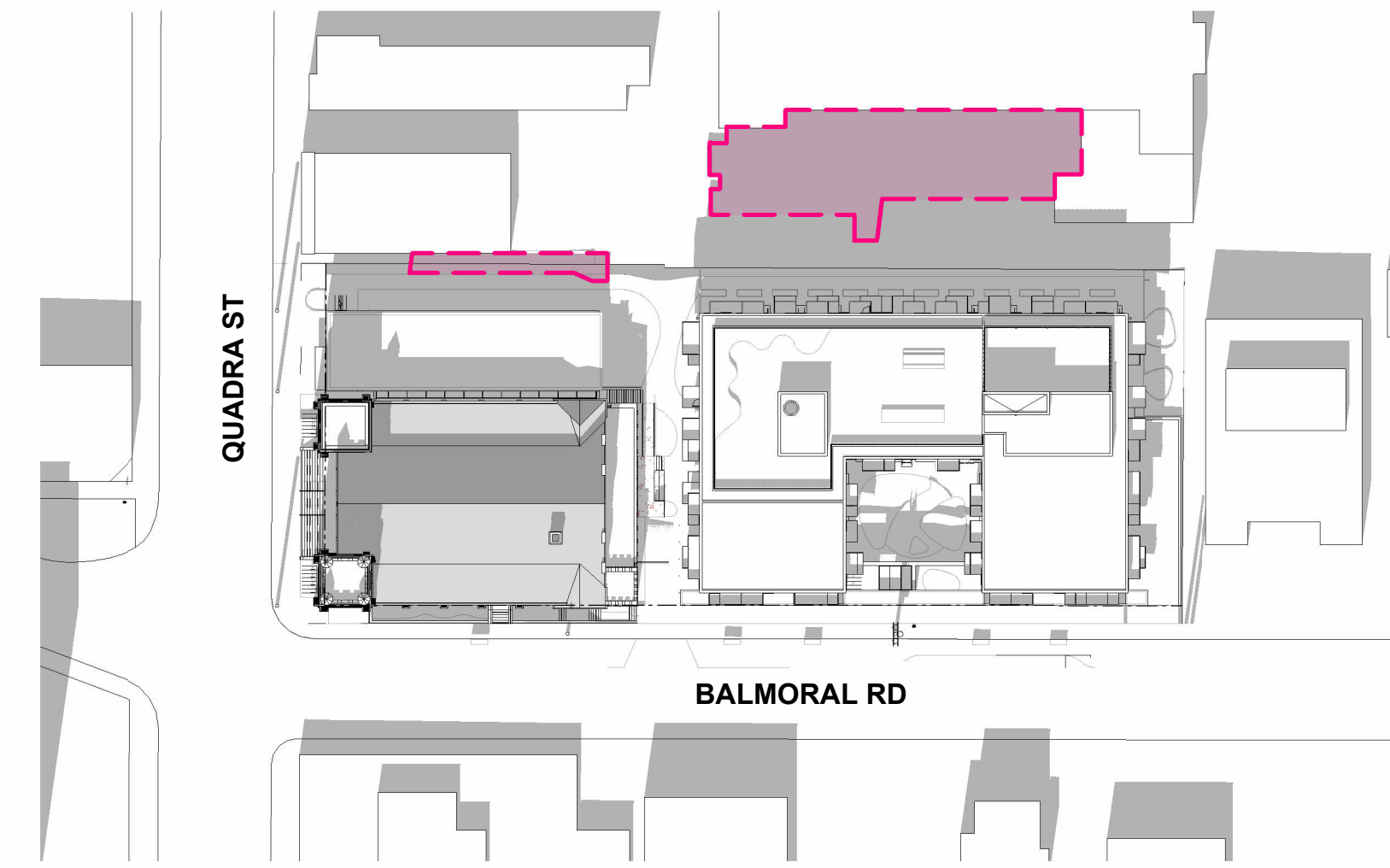
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10:00AM

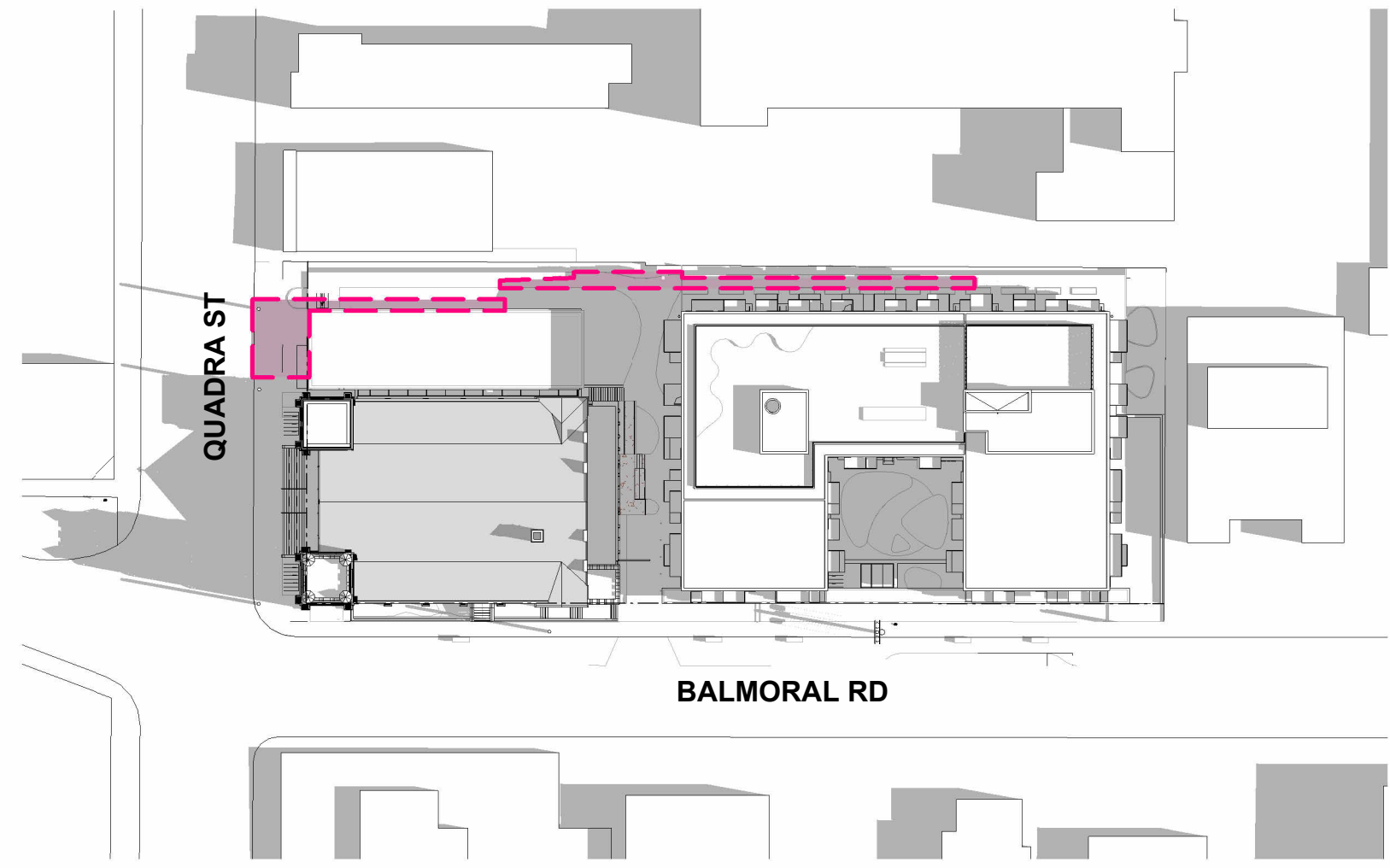


12:00PM

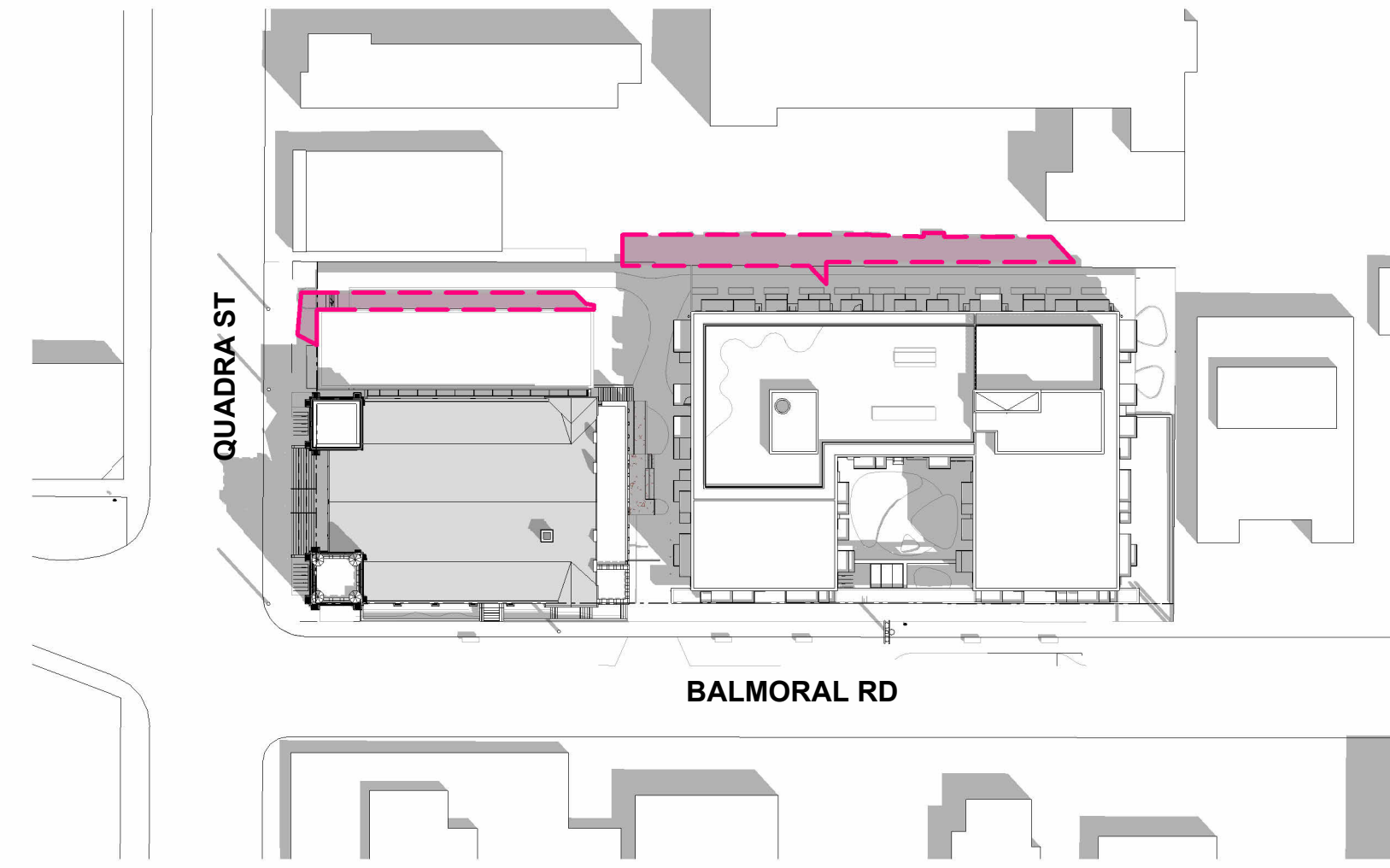


2:00PM

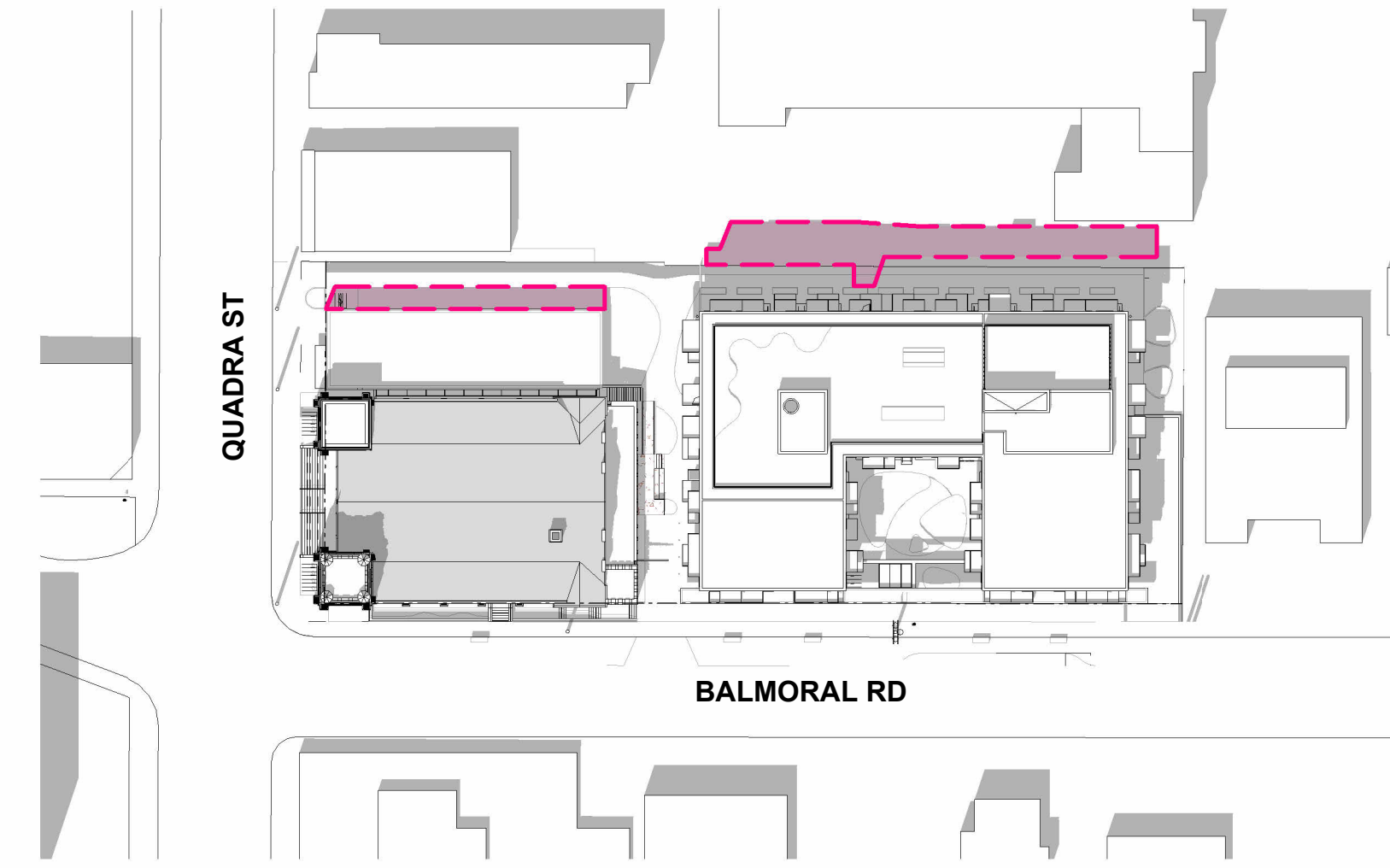
3 SPRING EQUINOX



10:00AM

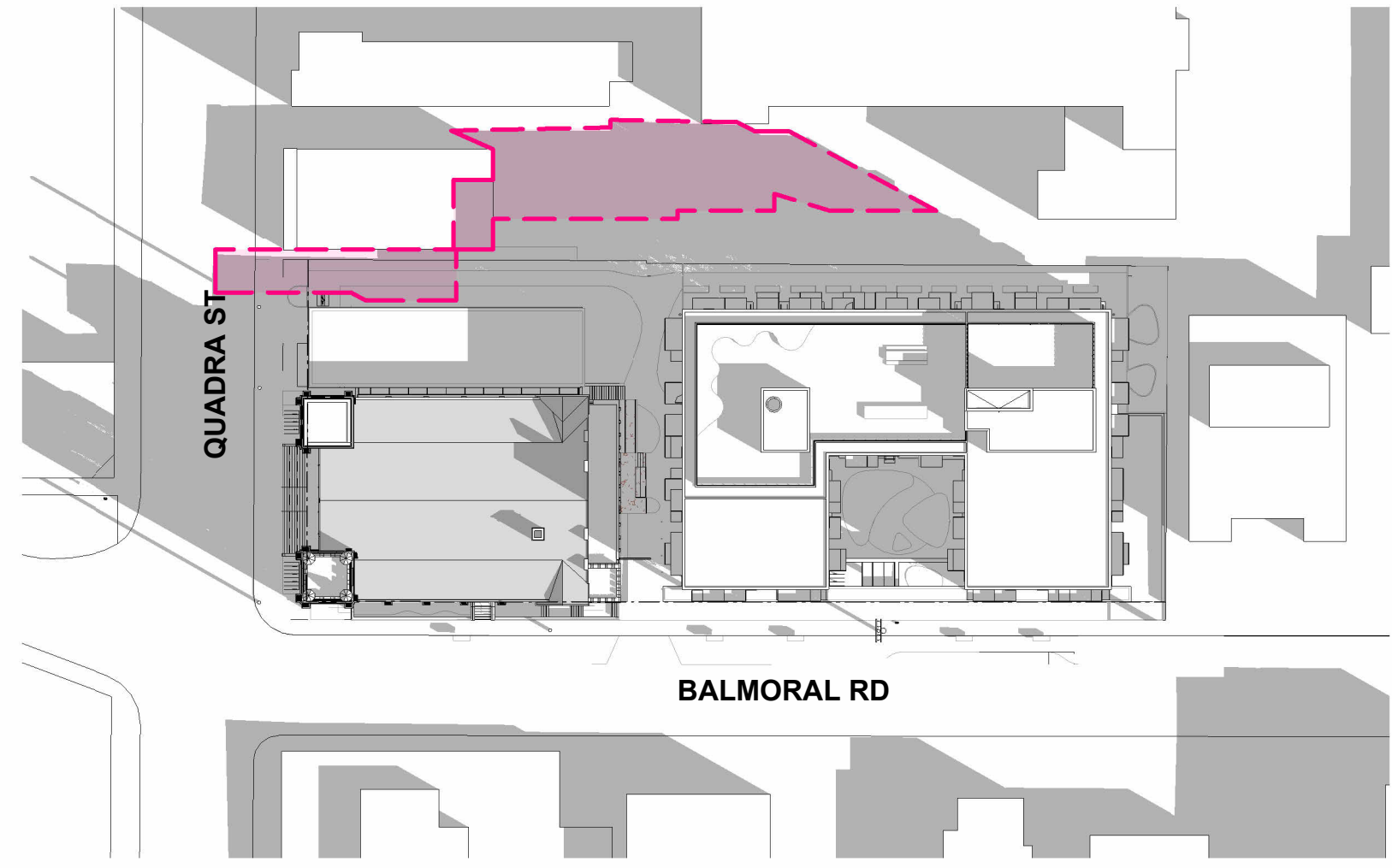


12:00PM

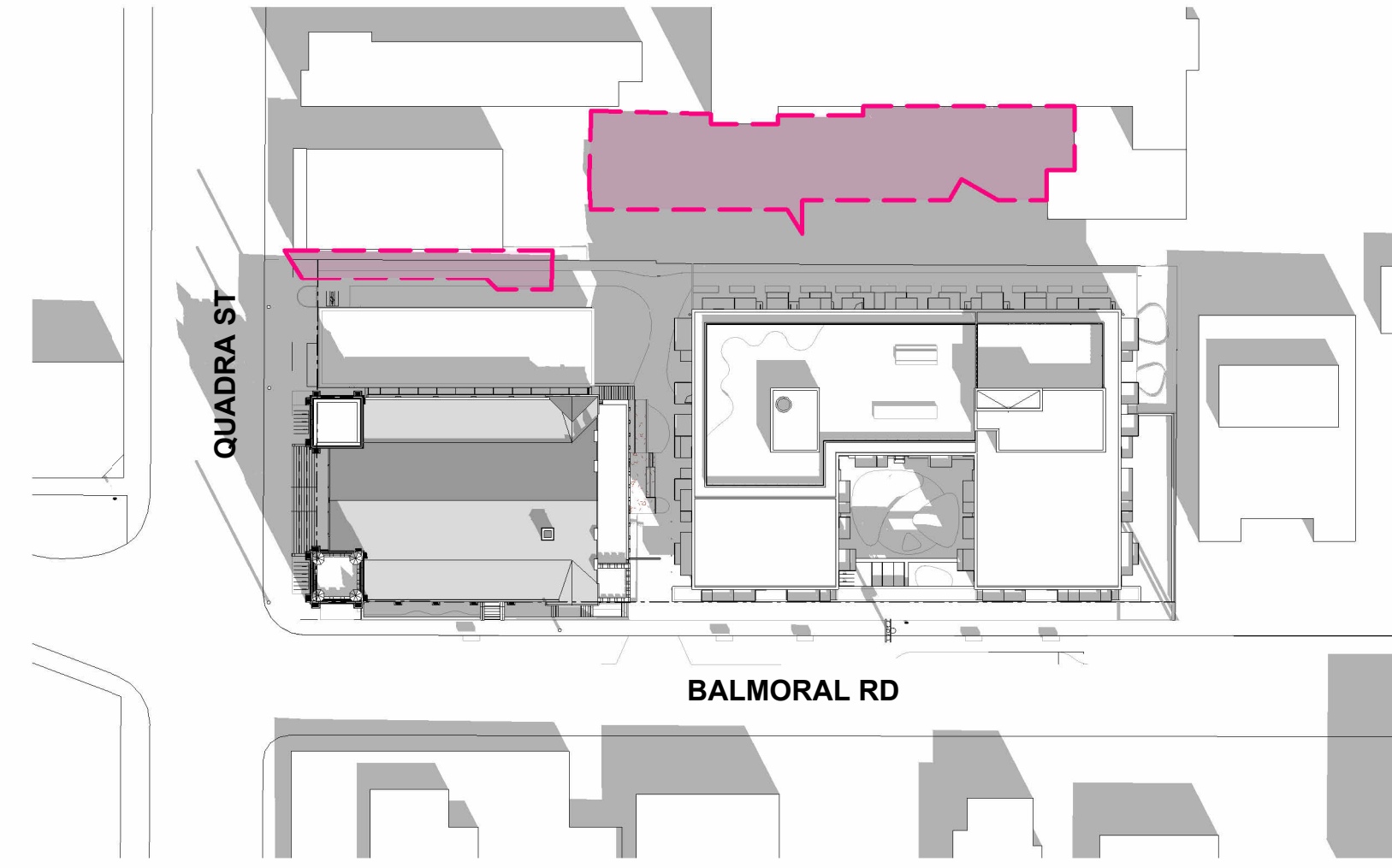


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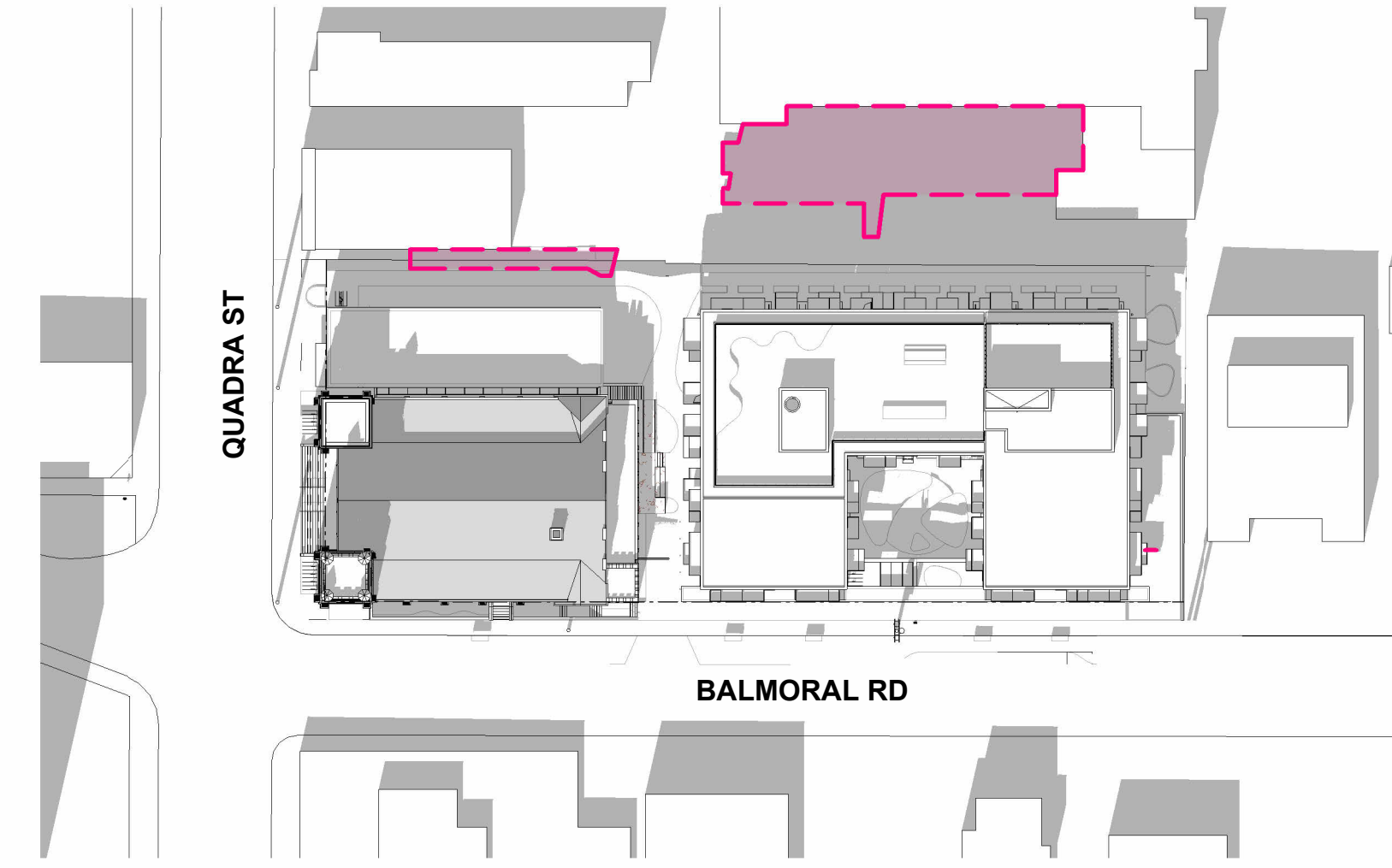
2 SUMMER SOLTICE



10:00AM



12:00PM



2:00PM

1 FALL EQUINOX

932 BALMORAL RD & 1701 QUADRA ST

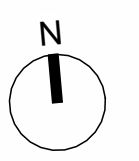
ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2

DECEMBER 19, 2025



SHADOW STUDIES

SCALE
1/64" = 1'-0"



--- EXTENT OF NEW SHADOWS ONLY



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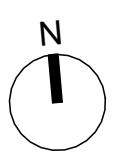
932 BALMORAL RD & 1701 QUADRA ST

ISSUED FOR REZONING & DEVELOPMENT PERMIT TRG RESPONSE 2
DECEMBER 19, 2025



FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"



FSR 1.00

FSR CALCULATIONS

*FSR CALCULATIONS ARE TAKEN FROM INSIDE FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS AS PER CITY OF VICTORIA REQUIREMENTS

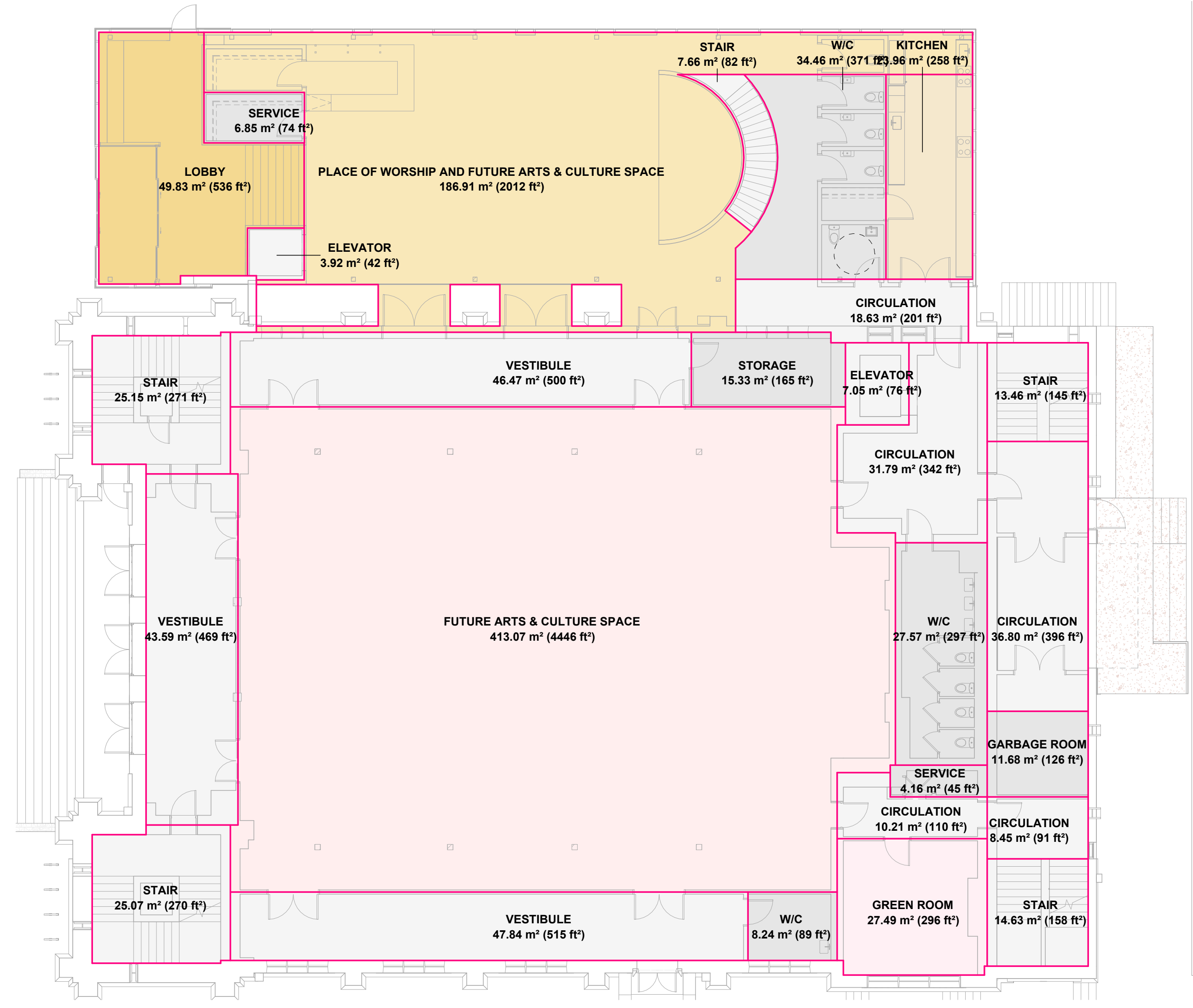
ALLOWABLE FSR:			
SITE AREA:	47,817 ft ² (4,442.3m ²)		
MAX FSR:	2.5	/	119,475 ft ²
TOTAL PROPOSED GFA:	120,044 ft ²	11,152.5 m ²	
TOTAL PROPOSED FSR:	2.27	108,465 ft ²	10,076.7 m ²

FSR BREAKDOWN

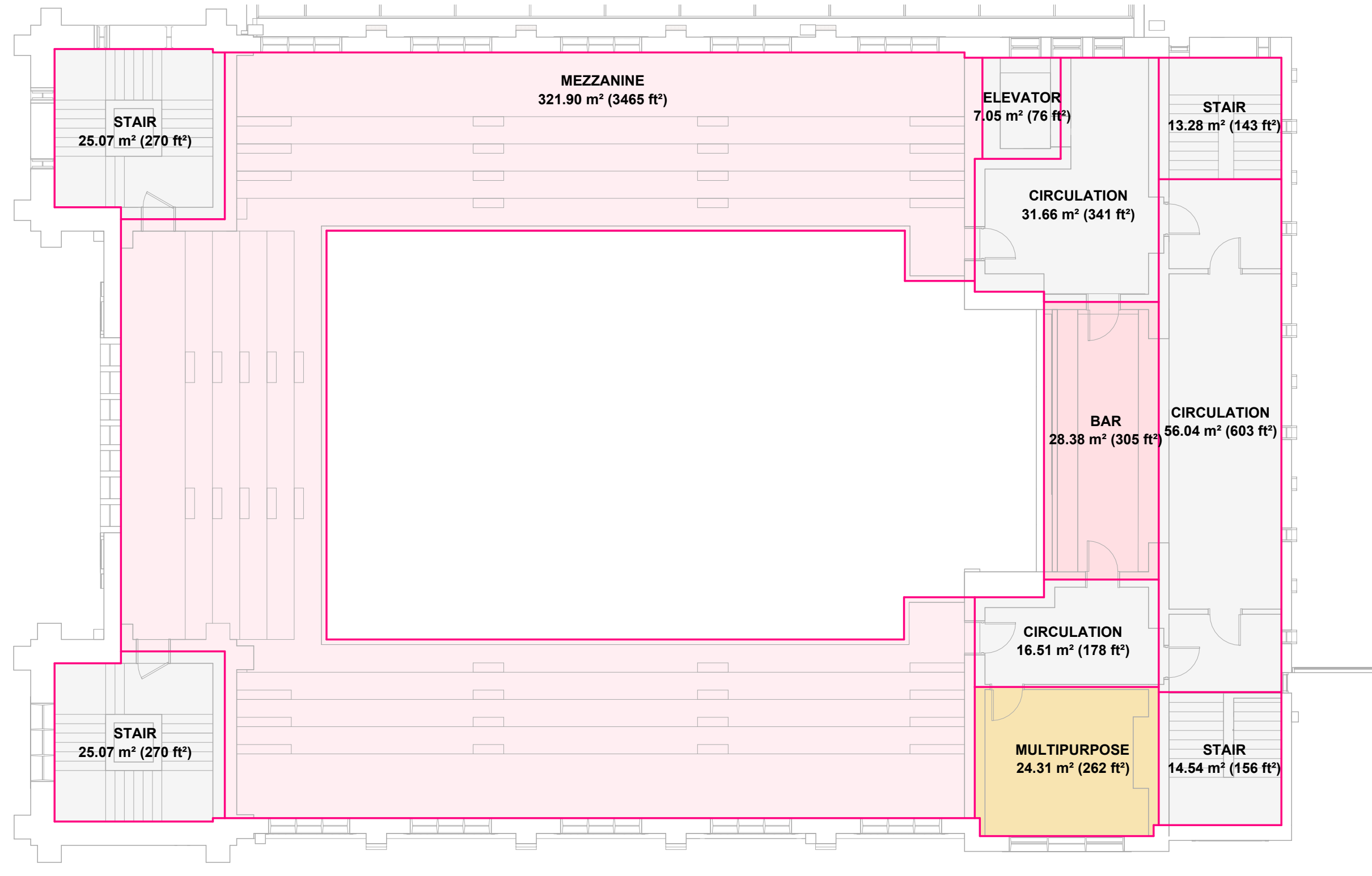
RESIDENTIAL BUILDING			
TOTAL GFA RESIDENTIAL BLDG:	89,882 ft ²		8,350.3 m ²
EXCLUSIONS NONE			
RESULTING FSR AREAS	AREA (sf)		AREA (sm)
COMMERCIAL	2,966 ft ²		275.6 m ²
RESIDENTIAL	86,916 ft ²		8,074.7 m ²
TOTAL FSR AREA:	89,882 ft ²		8,350.3 m ²

HERITAGE BUILDING			
TOTAL GFA HERITAGE BLDG:	21,423 ft ²		1,990 m ²
EXCLUSIONS			
HERITAGE BUILDING	BASEMENT	8,053 ft ²	748 m ²
RESULTING FSR AREA	AREA (sf)		AREA (sm)
HERITAGE BUILDING	13,370 ft ²		1,242 m ²
TOTAL FSR AREA:	13,370 ft ²		1,242 m ²

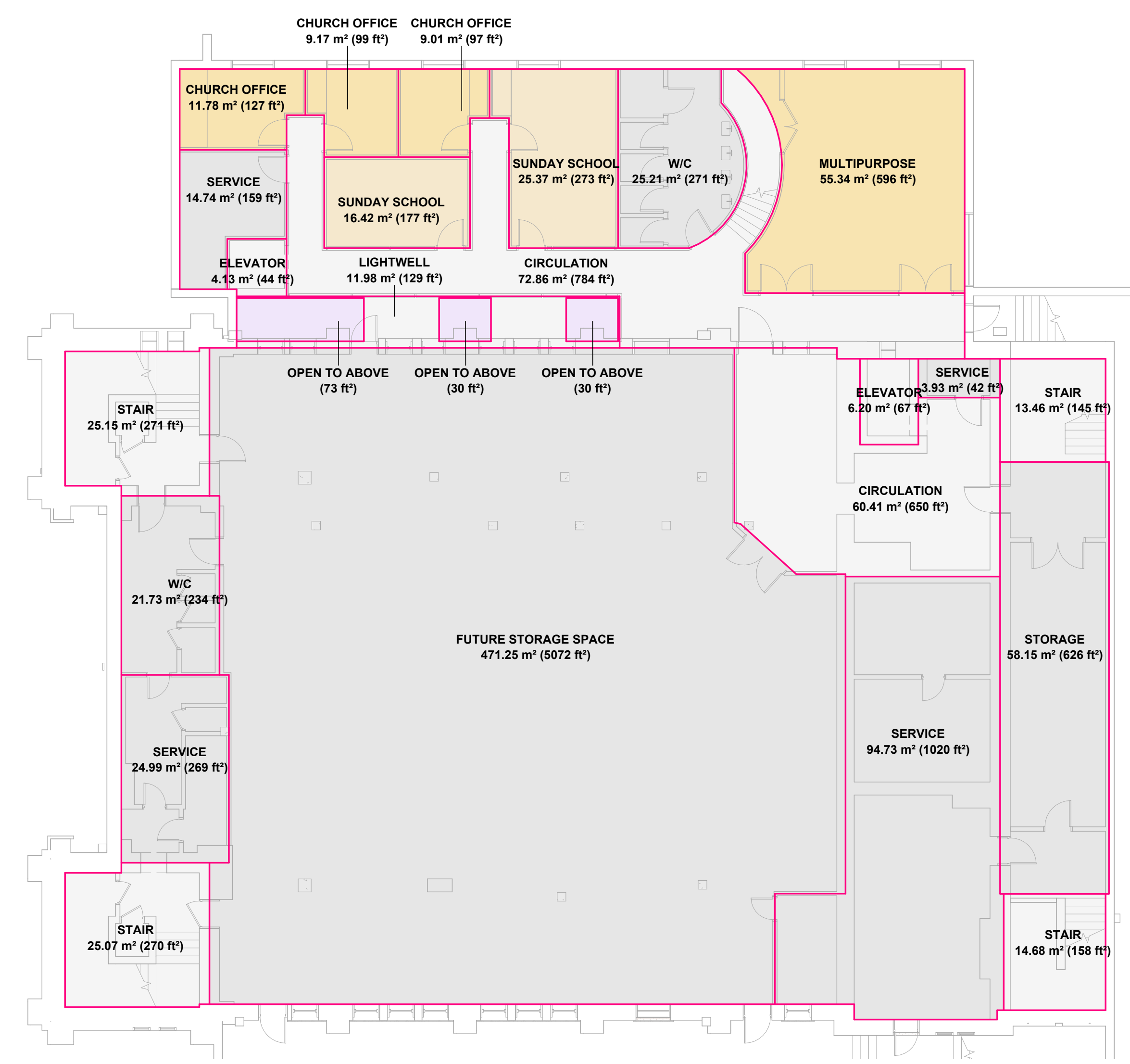
NEW ADDITIONS			
TOTAL GFA NEW ADDITIONS:	8,740 ft ²		812 m ²
EXCLUSIONS			
NEW ADDITIONS	BASEMENT	3,527 ft ²	328 m ²
RESULTING FSR AREA	AREA (sf)		AREA (sm)
NEW ADDITIONS	5,213 ft ²		484 m ²
TOTAL FSR AREA:	5,213 ft ²		484 m ²



3 FIRST FLOOR PLAN



2 MEZZANINE PLAN

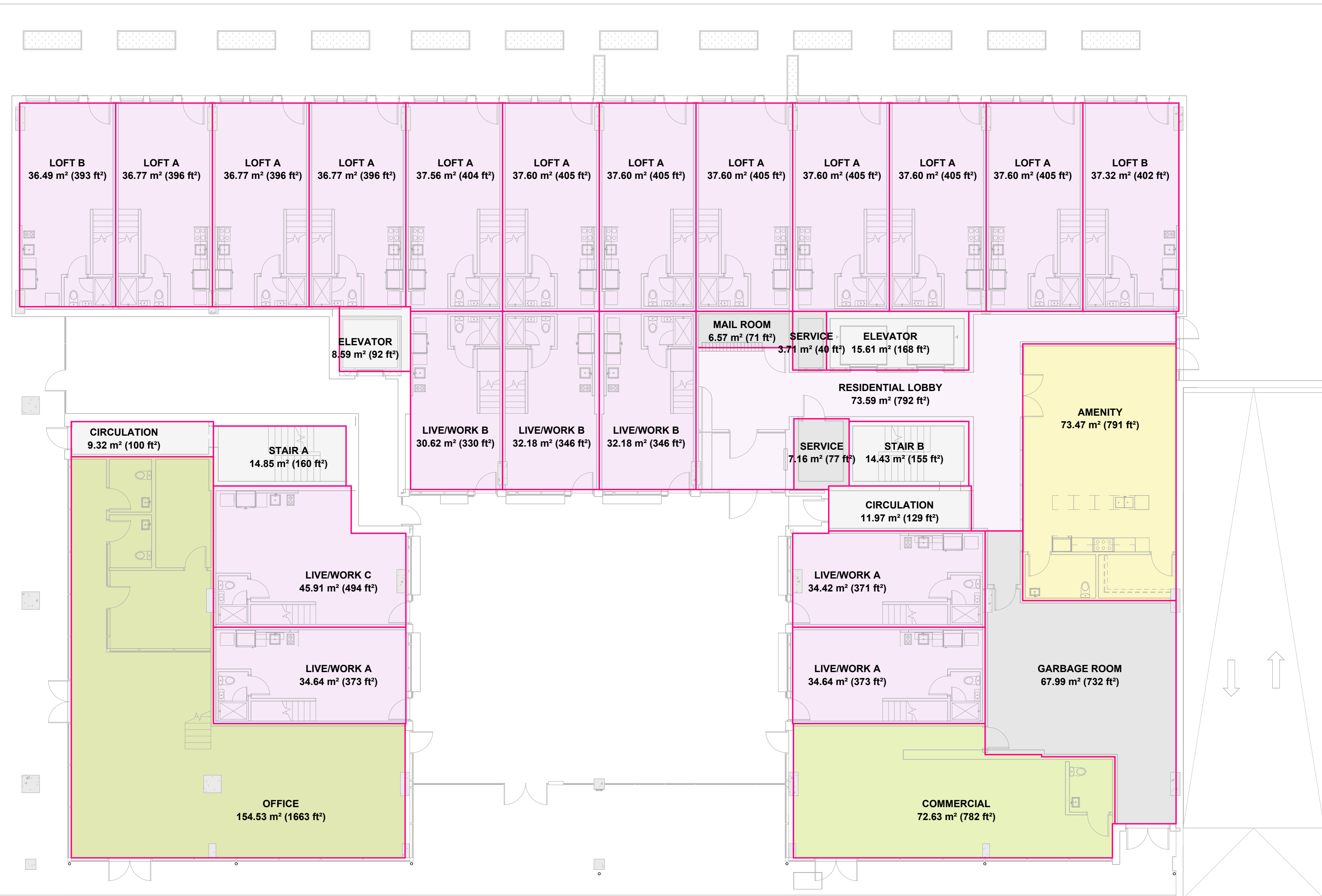


1 LOWER FLOOR PLAN

2 LEVEL 01 MEZZANINE



1 LEVEL 01



932 BALMORAL RD & 1701 QUADRA ST

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DECEMBER 19, 2025



FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"





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932 BALMORAL RD
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ISSUED FOR REZONING &
DEVELOPMENT PERMIT TRG
RESPONSE 2

DECEMBER 19, 2025



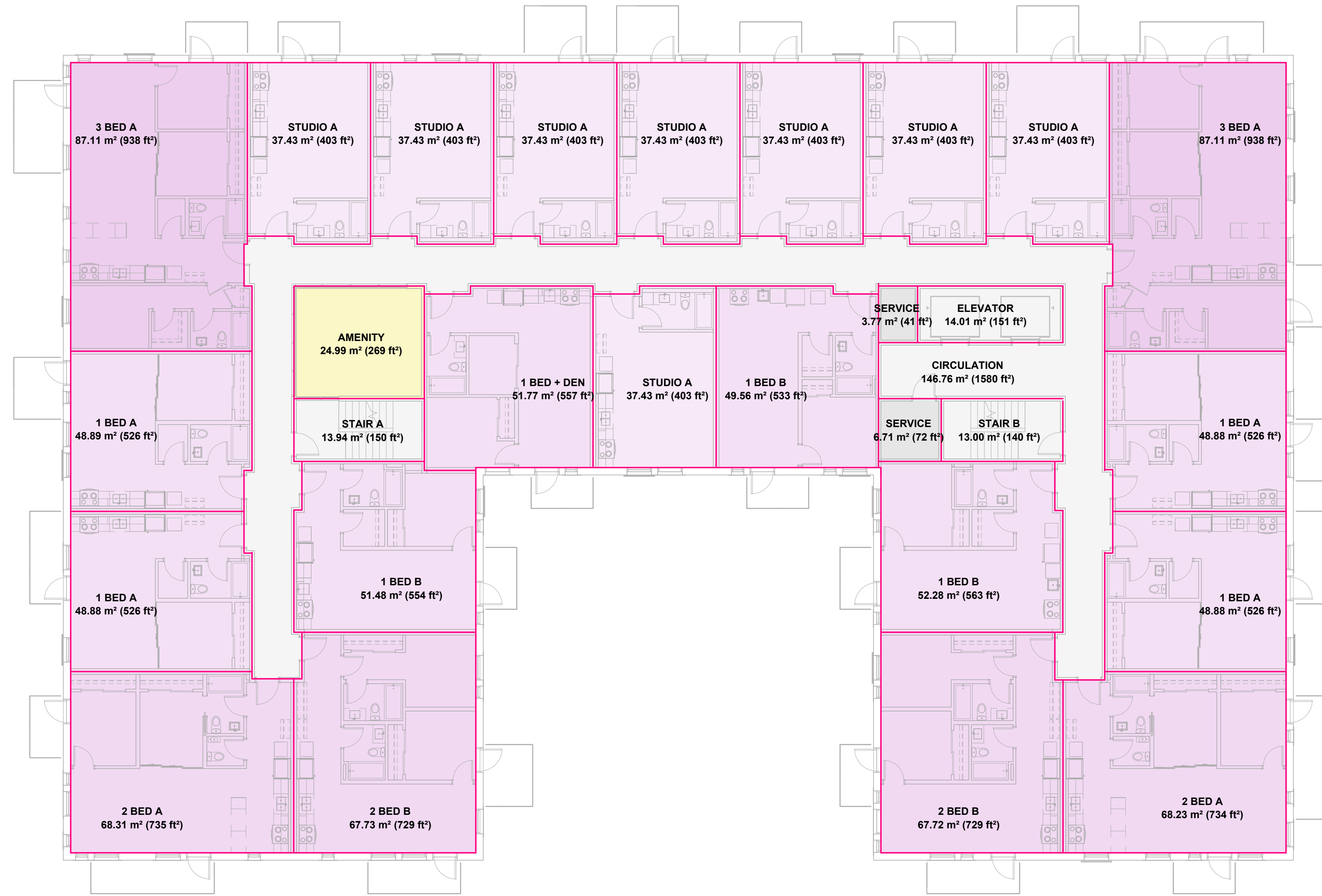
FLOOR SPACE RATIO PLANS

SCALE
3/32" = 1'-0"

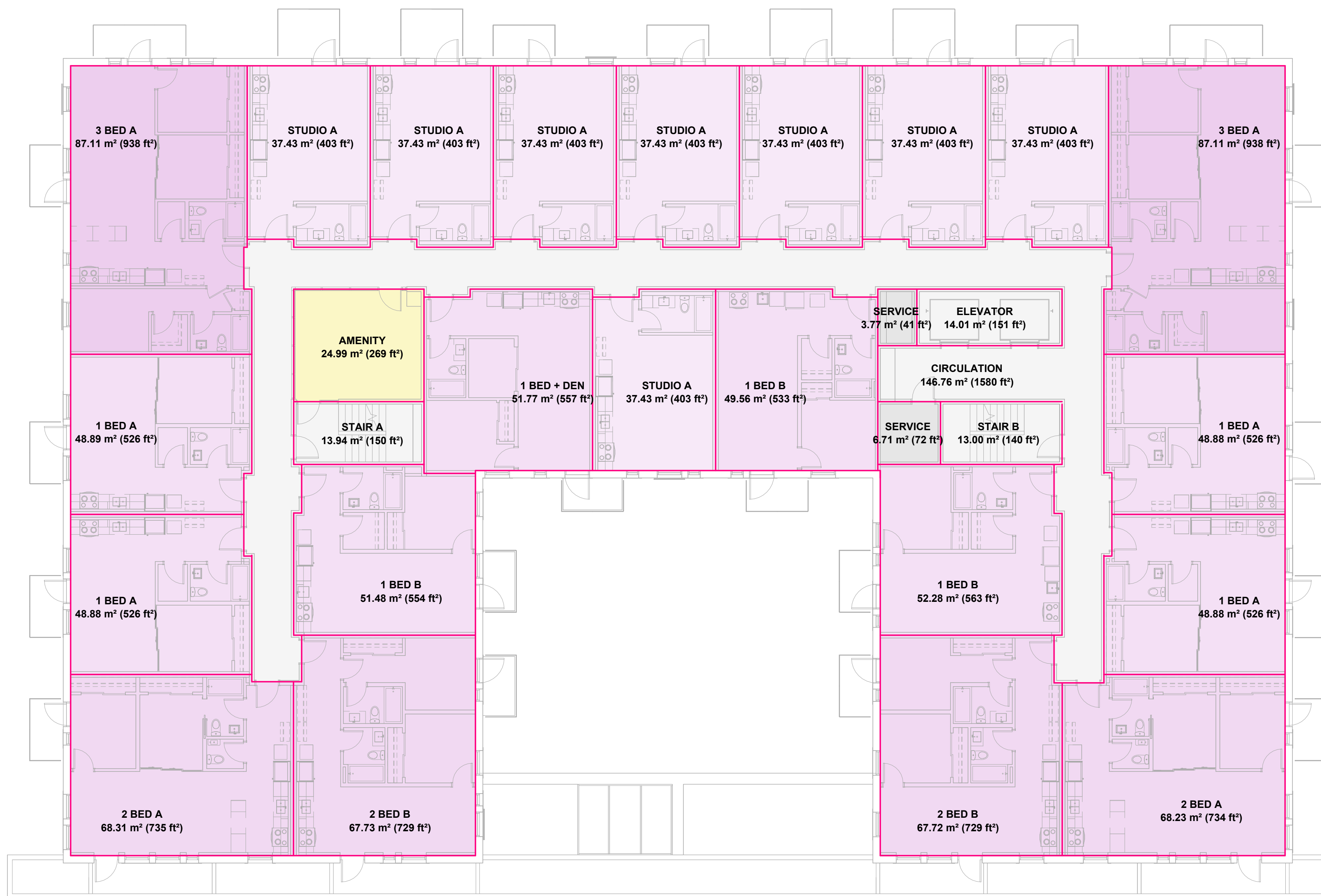


FSR 1.02

2 LEVELS 03 TO 05



1 LEVEL 02





1 LEVEL 06



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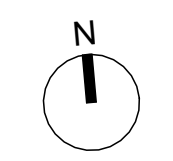
**932 BALMORAL RD
 & 1701 QUADRA ST**

ISSUED FOR REZONING &
 DEVELOPMENT PERMIT TRG
 RESPONSE 2
 DECEMBER 19, 2025



FLOOR SPACE RATIO PLANS

SCALE
 3/32" = 1'-0"



FIRST MET - 934 BALMORAL RD & 1701 QUADRA ST

Victoria, BC

Re-Issued for Rezoning / DP - December 19, 2025

LANDSCAPE DRAWING LIST

L0.00 - Cover Sheet

Landscape Plans

- L1.01 - Site Concept Plan
- L1.02 - Level 2 Concept Plan
- L1.03 - Roof Terrace Concept Plan
- L1.04 - Rainwater Management Plan
- L1.05 - Landscape Lighting Plan

Planting Plan

- L4.01 - Site Planting Plan
- L4.02 - Tree Replacement and Soil Volume Plan

Details

- L4.11 - Paving
- L4.41 - Planting

4	Re-Issued for Rezoning/DP	2025-12-19
3	Re-Issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

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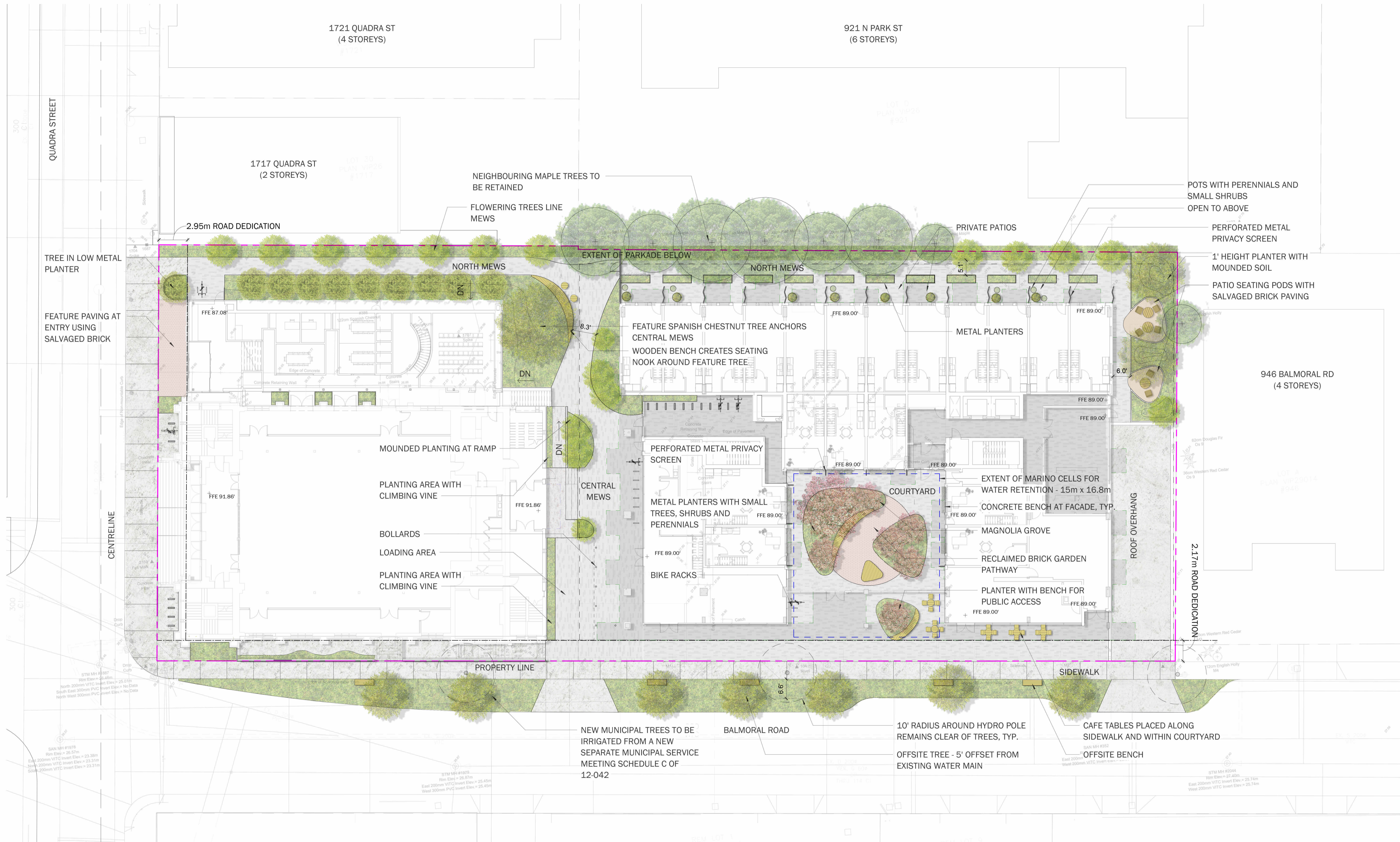
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First Met

**1701 Quadra St. Victoria,
BC**

Cover Sheet

Date **02/08/24** Drawing Number
Project No. **2429**
Scale **L0.00**
Drawn/Checked/Author | Checker



4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/03/05
1	CALUC Issue	2025/03/21
No.	Description	Date

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1701 Quadra St. Victoria, BC

**Concept Plan
Ground Floor**

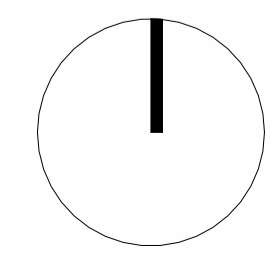
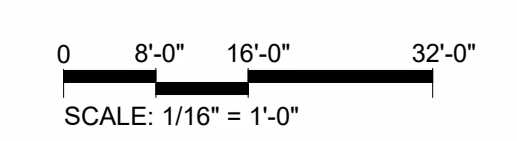
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Project No.	2429		
Scale	1/16" = 1' 0"		L1.01
Drawn/Checked	ZF SS		

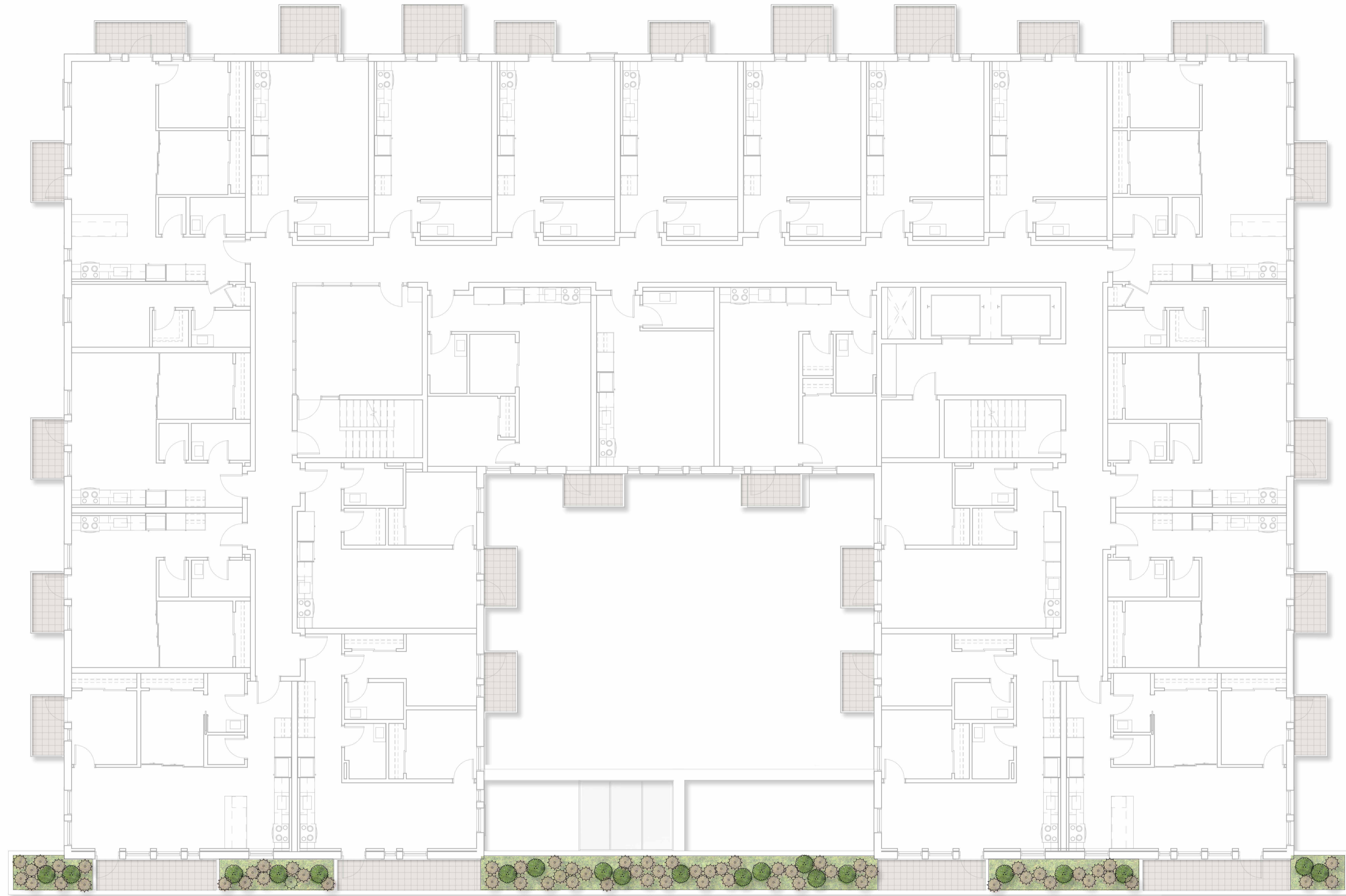
MATERIAL LEGEND

- CONCRETE UNIT PAVERS
- CIP CONCRETE
- MOVEABLE TABLE AND CHAIRS
- BIKE RACKS (46 PUBLIC SPACES)
- EXISTING TREE TO BE RETAINED
- PLANTING AREA
- PLANTER WITH METAL EDGE
- METAL POTS - 36" OR 24" DIAMETER PLANTED WITH SMALL TREES, SHRUBS AND PERENNIALS
- PROPOSED OFFSITE BENCH

GENERAL LEGEND

- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION





No.	Description	Date
4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21

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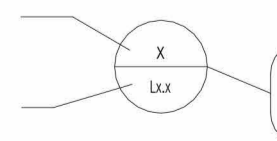

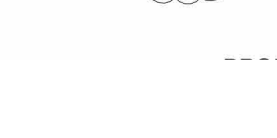
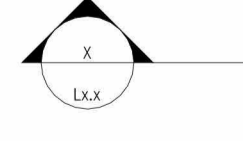
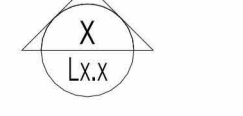
**Concept Plan
Level 2**

Date	03/21/25	Drawing Number	
Project No.	2429		
Scale	1/8" = 1' 0"		L1.02
Drawn/Checked	ZF SS		


MATERIAL LEGEND

-  PRIVATE PATIOS
-  INTEGRATED PLANTING BOXES WITH MIXED SHRUBS

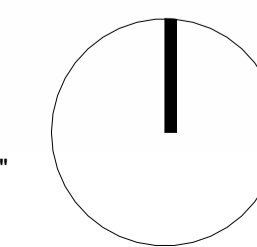
GENERAL LEGEND

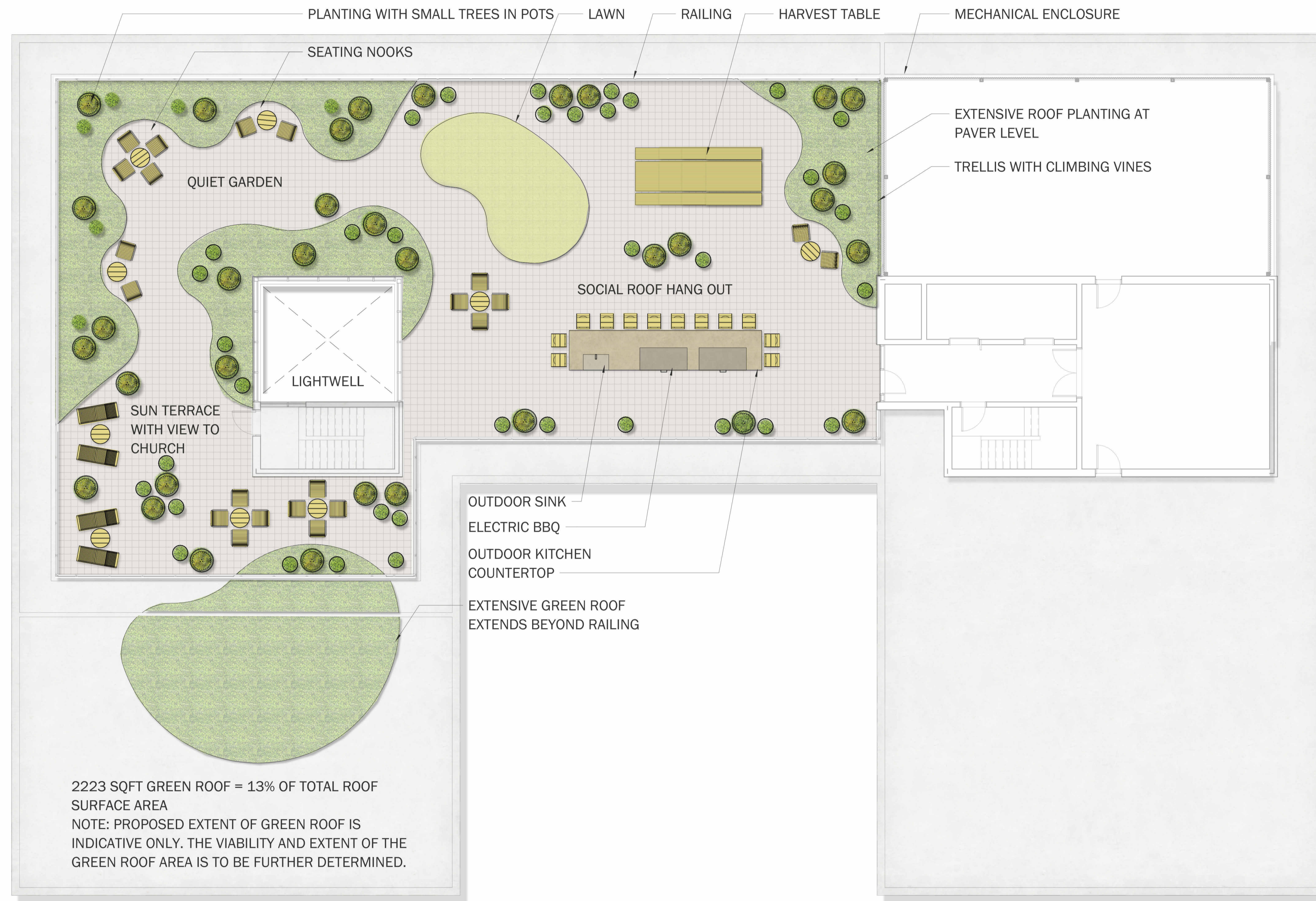
- DETAIL NUMBER: 
- SHEET ON WHICH DETAIL IS SHOWN: 
- REVISION: 
- SECTION: 
- ELEVATION: 

PLANT CONCEPT SCHEDULE

PLANT	QUANTITY	TOTAL SF
 LEVEL 2 PART SUN	478	478 sf
Ceanothus thyrsiflorus repens / Creeping Blueblossom	6	
Cotoneaster adpressus / Creeping Cotoneaster	6	
Jasminum nudiflorum / Winter Jasmine	6	
Rosa nutkana / Nootka Rose	6	
Rubus parviflorus / Thimbleberry	6	

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"





PLANTING CONCEPT SCHEDULE

SMALL POTS - ROOF TERRACE	114 sf
Artemisia frigida / Fringed Wormwood	18 962
Aster laevis / Smooth Aster	18 962
Camassia leichtlinii / Great Camas	9 462
Polystichum munitum / Western Sword Fern	38
LARGE POTS - ROOF TERRACE	248 sf
Armeria maritima / Sea Thrift	41 239
Fragaria vesca / Woodland Strawberry	41 239
ROOF TERRACE EXTENSIVE ROOF	1 892 sf
Sedum mats with mixed species	
LAWN	255 sf

PLANTING SCHEDULE

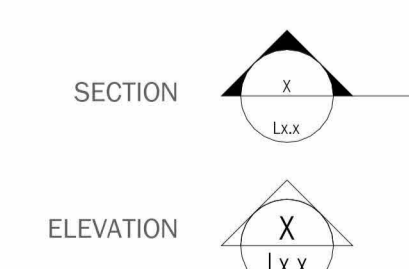
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS
	A12	9	Amelanchier laevis / Allegheny Serviceberry	#3 Pot	As Shown	Full, Well Established, Specimen Quality
	Cc2	11	Ceanothus x 'Concha' / Concha Wild Lilac	#3 Pot	As Shown	Full, Well Established, Specimen Quality
	Ps	8	Pinus contorta 'Spaan's Dwarf' / Spaan's Dwarf Shore Pine	#3 Pot	As Shown	Full, Well Established, Specimen Quality
	Rt2	7	Rhus typhina / Staghorn Sumac	#3 Pot	As Shown	Full, Well Established, Specimen Quality

MATERIAL LEGEND

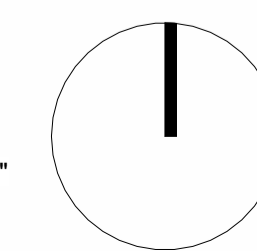
	CONCRETE UNIT PAVERS ON PEDESTALS
	METAL POTS - 36" OR 24" DIAMETER PLANTED WITH SMALL TREES, SHRUBS AND PERENNIALS

GENERAL LEGEND

	DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
	REVISION
	PROPERTY LINE
	BUILDING OVERHANG



0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"



4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date

NOT FOR CONSTRUCTION

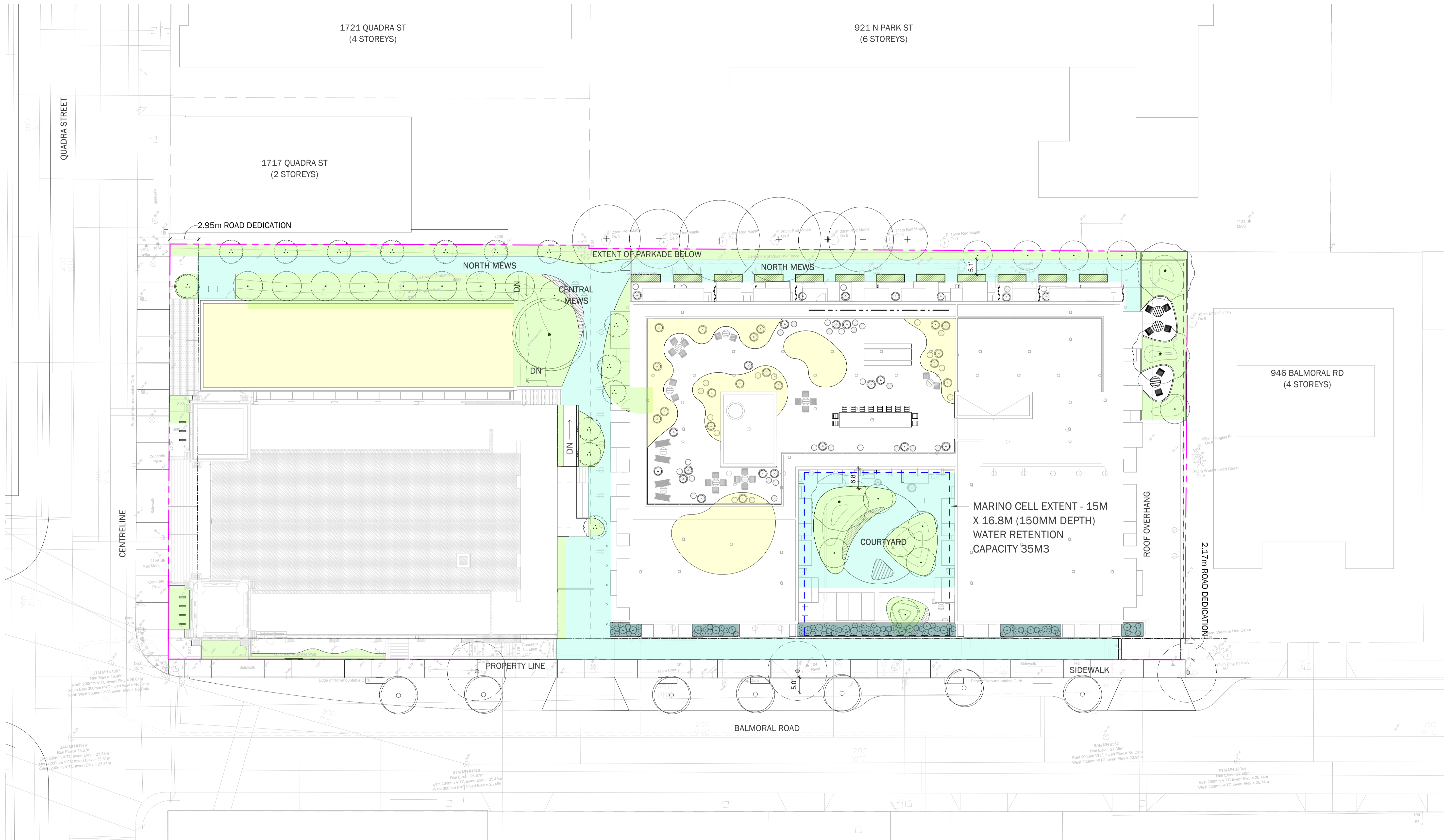
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First Met

1701 Quadra St. Victoria, BC

Concept Plan Roof

Date	03/21/25	Drawing Number
Project No.	2429	
Scale	1/8" = 1'-0"	L1.03
Drawn/Checked	ZF SS	



3	Re-issued for Rezoning/DP	2025/09/09
No.	Description	Date

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First Met

1701 Quadra St. Victoria, BC

Rainwater Management Plan

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1:192	L1.04
Drawn/Checked	ZF SS	

SURFACE TREATMENT LEGEND

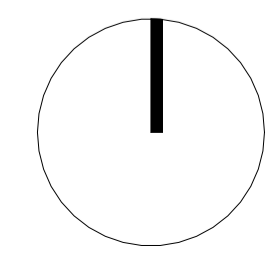
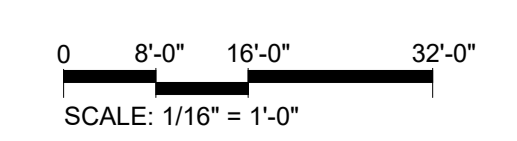
- PLANTING AREA - 5804 SQFT / 539 SQM
- EXTENSIVE GREEN ROOF - 5040 SQFT / 468 SQM
- INTENSIVE GREEN ROOF - 477 SQFT / 44 SQM
- PERMEABLE PAVERS - 5005 SQFT / 465 SQM
- MARINO CELL EXTENTS - WATER RETENTION CAPACITY 35M3 TO MEET PREVIOUSLY SUBMITTED PLAN

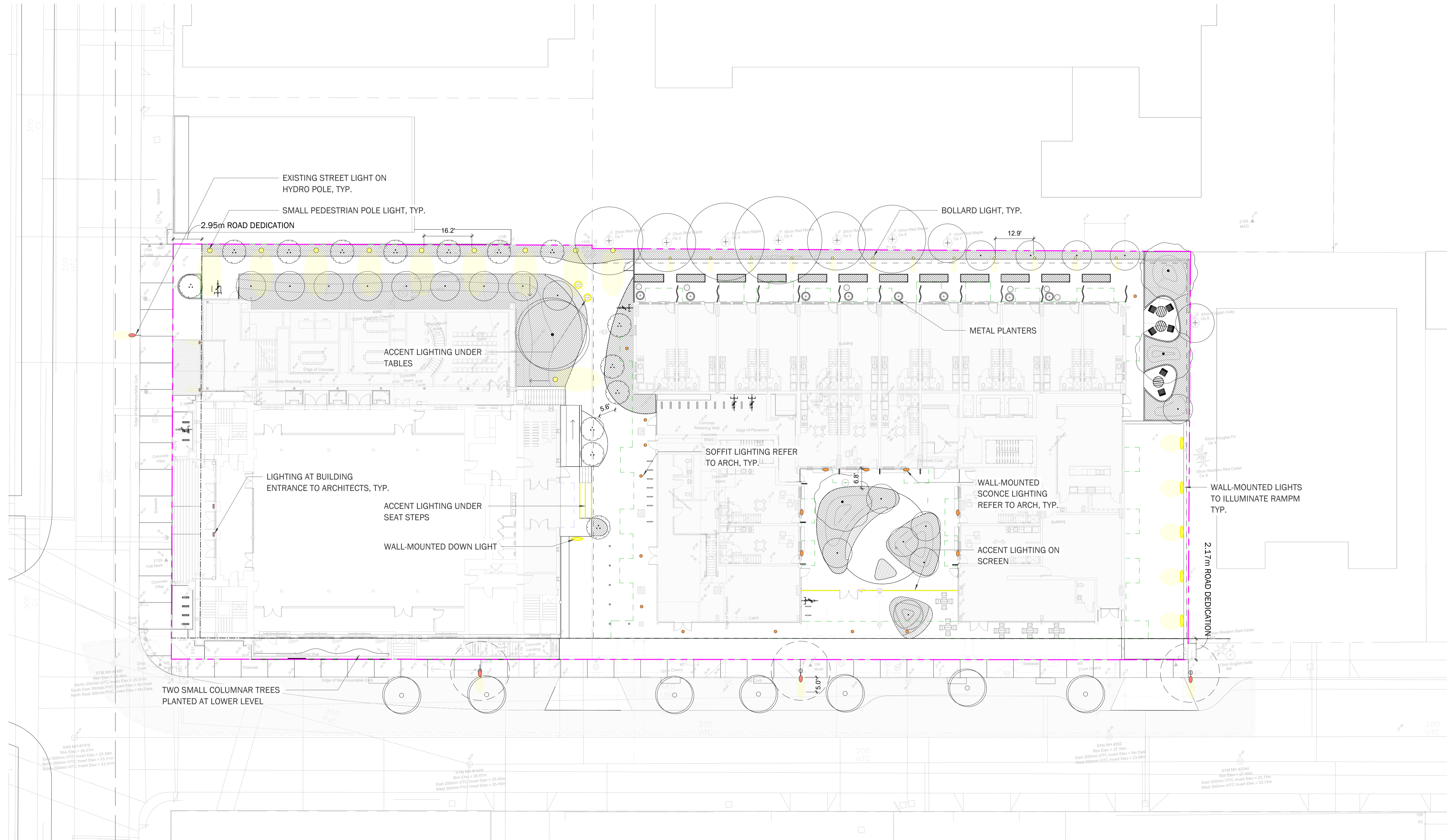
TOTAL PERVIOUS: - 16318 SQFT / 1516 SQM
 TOTAL IMPERVIOUS: 31506 SQFT / 2927 SQM
 TOTAL REQUIRED RAINWATER STORAGE: 93M3

TOTALS NOT INCLUDING EXISTING CHURCH FOOTPRINT:
 TOTAL PERVIOUS: - 16318 SQFT / 1516 SQM
 TOTAL IMPERVIOUS: 20472 SQFT / 1927 SQM
 TOTAL REQUIRED RAINWATER STORAGE: 61M3

GENERAL LEGEND

- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION





3	Re-issued for Rezoning/DP	2025/09/09
No.	Description	Date

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First Met

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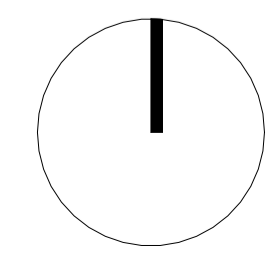
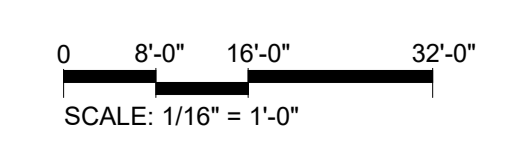
Lighting Plan - Ground Floor

LIGHTING LEGEND

- SMALL PEDESTRIAN POLE LIGHT
- WALL-MOUNTED DOWN LIGHT
- BOLLARD LIGHT
- ACCENT LIGHT

GENERAL LEGEND

- DETAIL NUMBER SHEET ON WHICH DETAIL IS SHOWN
- REVISION
- PROPERTY LINE
- BUILDING OVERHANG
- SECTION
- ELEVATION



Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 192	L1.05
Drawn/Checked	ZF SS	

CONCEPT PLANT SCHEDULE

GROUND FLOOR - SHADE GROUNDCOVER		4 755 sf
Adiantum Pedantum / Northern Maidenhair Fern	395 323	
Asarum caudatum / Wild Ginger	790 646	
Athyrium filix-femina / Common Lady-Fern	197 663	
Blechnum spicant / Deer Fern	351 398	
Oxalis oregana / Redwood Sorrel	1 185 968	
Polystichum munitum / Sword Fern	790 647	
Tiarella cordifolia / Foamflower	790 647	

LARGE POTS - GROUND FLOOR		56 sf
Asarum caudatum / Wild Ginger	9 312	
Blechnum spicant / Deer Fern	4 136	

SMALL POTS - GROUND FLOOR		18 sf
Adiantum Pedantum / Northern Maidenhair Fern	1 494	
Oxalis oregana / Redwood Sorrel	4 488	
Polystichum munitum / Western Sword Fern		
Tiarella cordifolia / Foamflower	2 994	

BOULEVARD LAWN		2 503 sf
Cerastium arvense / Field Chickweed		
Festuca roemerii / Roemer's Fescue		
Trifolium tridentatum / Tomcat Clover		

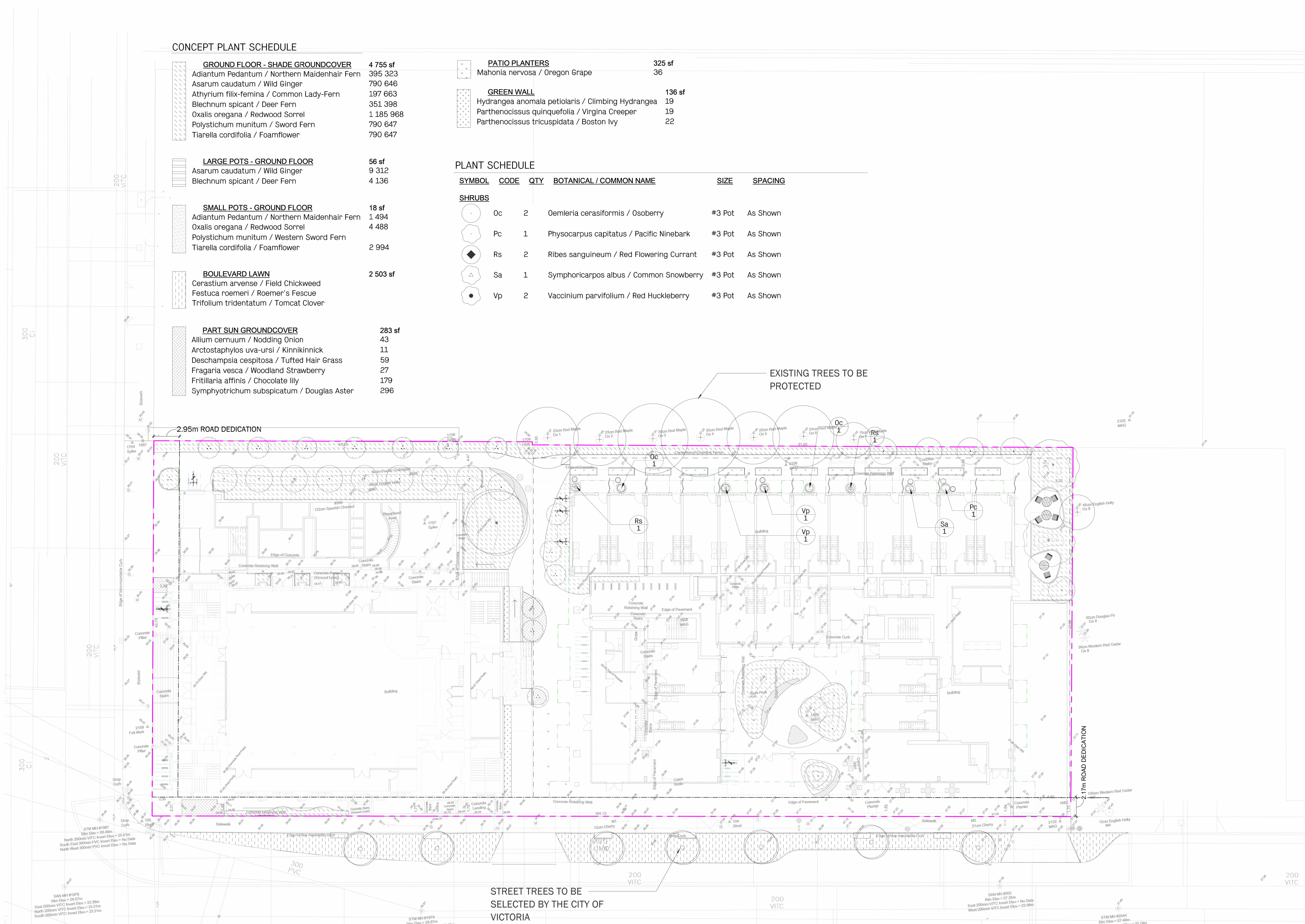
PART SUN GROUNDCOVER		283 sf
Allium cernuum / Nodding Onion	43	
Arctostaphylos uva-ursi / Kinnikinnick	11	
Deschampsia cespitosa / Tufted Hair Grass	59	
Fragaria vesca / Woodland Strawberry	27	
Fritillaria affinis / Chocolate lily	179	
Symphytichum subspicatum / Douglas Aster	296	

PATIO PLANTERS		325 sf
Mahonia nervosa / Oregon Grape	36	

GREEN WALL		136 sf
Hydrangea anomala petiolaris / Climbing Hydrangea	19	
Parthenocissus quinquefolia / Virginia Creeper	19	
Parthenocissus tricuspidata / Boston Ivy	22	

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
SHRUBS					
	Oc	2	Oemleria cerasiformis / Osoberry	#3 Pot	As Shown
	Pc	1	Physocarpus capitatus / Pacific Ninebark	#3 Pot	As Shown
	Rs	2	Ribes sanguineum / Red Flowering Currant	#3 Pot	As Shown
	Sa	1	Symphoricarpos albus / Common Snowberry	#3 Pot	As Shown
	Vp	2	Vaccinium parvifolium / Red Huckleberry	#3 Pot	As Shown



STREET TREES TO BE
SELECTED BY THE CITY OF
VICTORIA

EXISTING TREES TO BE
PROTECTED

3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALUC Issue	2025/03/21
No.	Description	Date
1	Rezoning/DP	2025/05/05

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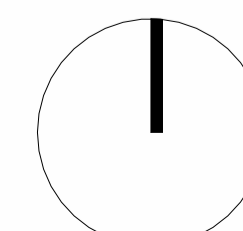
First Met

1701 Quadra St. Victoria, BC

Planting Plan - Ground Floor

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 192	L4.01
Drawn/Checked	ZF SS	

0 8'-0" 16'-0" 32'-0"
SCALE: 1/16" = 1'-0"



PLANT SCHEDULE

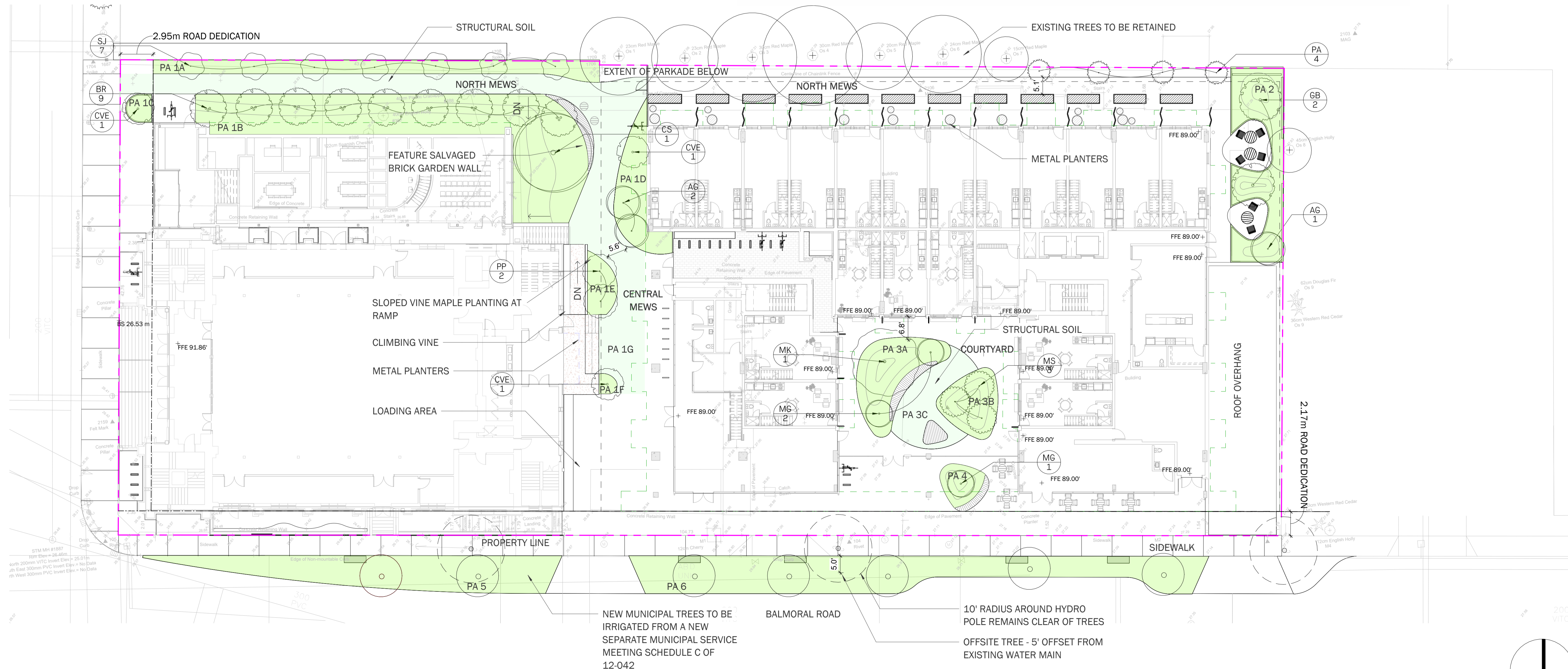
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS
1:1 - 13 TOTAL						
	BR	9	Betula nigra / River Birch	6cm cal.	As Shown	B&B
	CS	1	Castanea sativa / Spanish Chestnut	6cm cal.	As Shown	B&B
	GB	2	Ginkgo biloba / Maidenhair Tree	6cm cal.	As Shown	B&B
	MK	1	Magnolia kobus / Kobus Magnolia	3.0m ht.	As Shown	B&B
2:1 - 21 Total = 10 REPLACEMENT TREES						
	AG	3	Acer griseum / Paperbark Maple	6cm cal.	As Shown	B&B
	CVE	3	Cornus x 'KN30-8' / Venus® Dogwood	1.8m ht.	As Shown	B&B
	MG	3	Magnolia grandiflora / Southern Magnolia	2.0m ht.	As Shown	B&B
	MS	3	Magnolia stellata / Star Magnolia	2.0m ht.	As Shown	B&B
	PP	2	Parrotia persica / Persian Parrotia	6cm cal.	As Shown	B&B
	SJ	7	Styrax japonicus / Japanese Snowbell	6cm cal.	As Shown	B&B

ADDITIONAL TREES

	PA	4	Prunus serrulata 'Amanogawa' / Japanese Flowering Cherry	2.0m ht.	As Shown	B&B
--	----	---	--	----------	----------	-----

REPLACEMENT TREE CHART

Planting Area ID	Area (m2)	Soil volume multiplier	Replacement Trees proposed				Soil volume required (m3)				
			A. Estimate soil volume	B. #Small	C. # Medium	D. #Large	E. Small	F. Medium	G. Large	Total	
Onsite											
1	54.53	0.9	49.10m3	8			48m3			48m3	
2	167	0.9	150m3		10			150m3		150m3	
3	9.00	0.9	8.1m3	1			8m3			8m3	
4	5.75	0.9	5.2m3	1			8m3			8m3	
5	9.00	0.9	8.1m3	1			8m3			8m3	
6	9.00	0.9	8.1m3	1			8m3			8m3	
7	18.20	0.9	16.38m3	2			12m3			12m3	
8	27.6	0.9	24.94m3	4			24m3			24m3	
9	58.6	0.6	35.16m3		2			30m3		30m3	
10	34.6	0.9	31.14m3		1			20m3		20m3	
11	8.92	0.9	8.02m3	1			8m3			8m3	
12	9.75	0.9	8.78m3	1			8m3			8m3	
13	9.65	0.9	8.69m3	1			8			8m3	
Offsite											
14	90.0	0.9	81m3		2			30m3		30m3	
15	148.64	0.9	133.78m3		4			120m3		120m3	
Calculation Instructions							E	F	G		
							If B=1, Bx8 If B>1, Bx6	If C=1, Cx20 If C>1, Cx15	If D=1, Dx35 If D>1, Dx30	E+F+G	



4 Re-issued for Rezoning/DP 2025-12-19
 3 Re-issued for Rezoning/DP 2025/09/09
 No. Description Date

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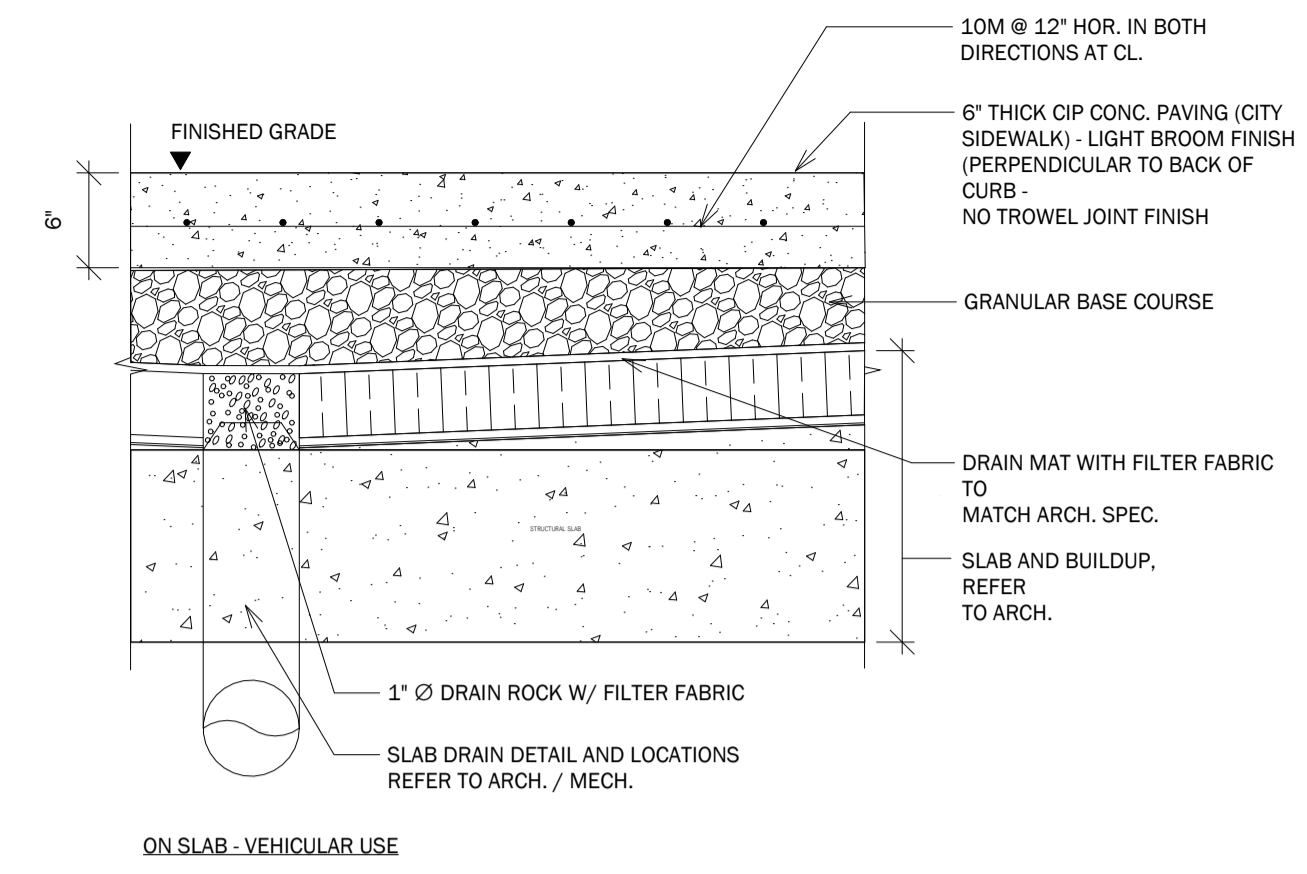
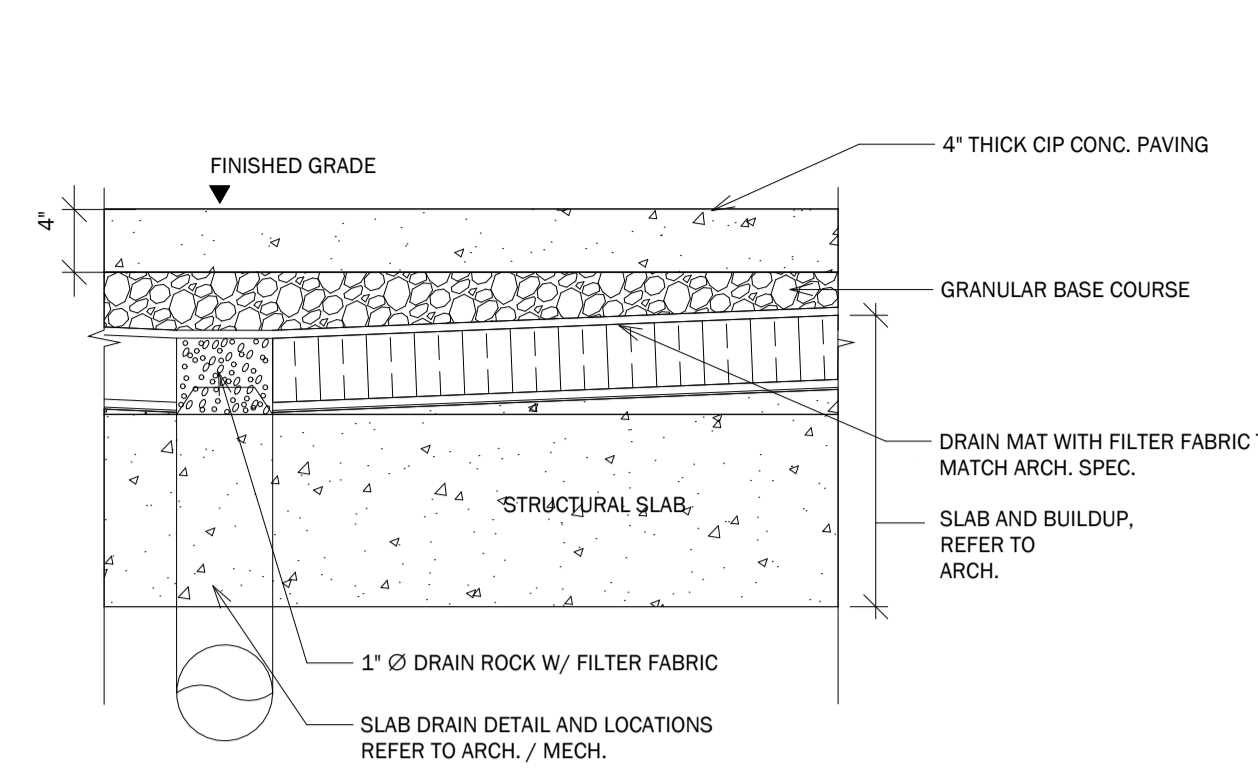
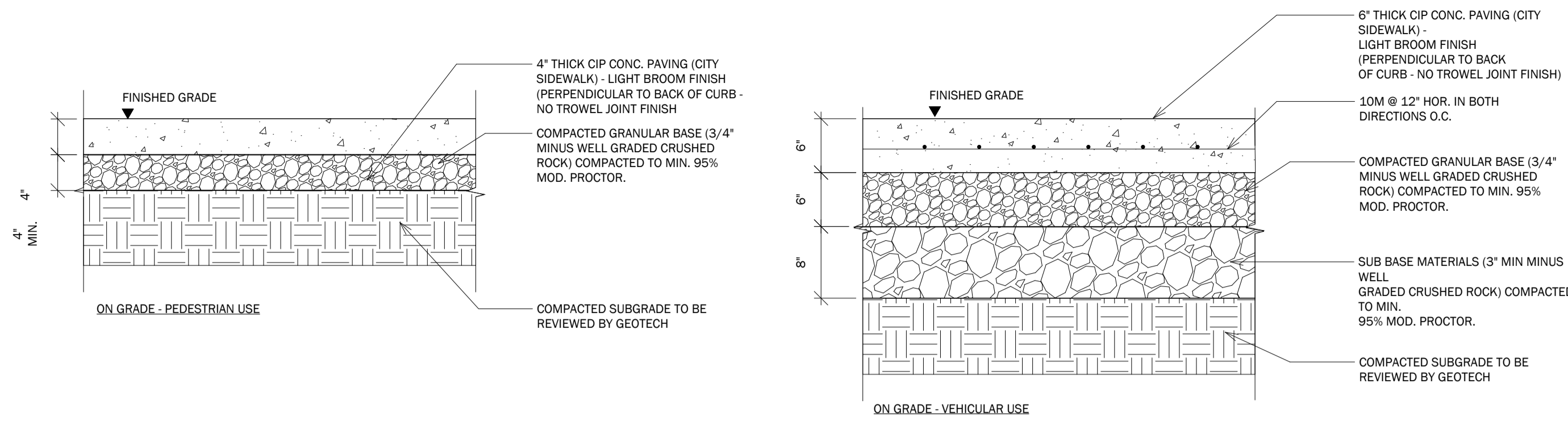
First Met

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Tree Replacement and Soil Volume Plan

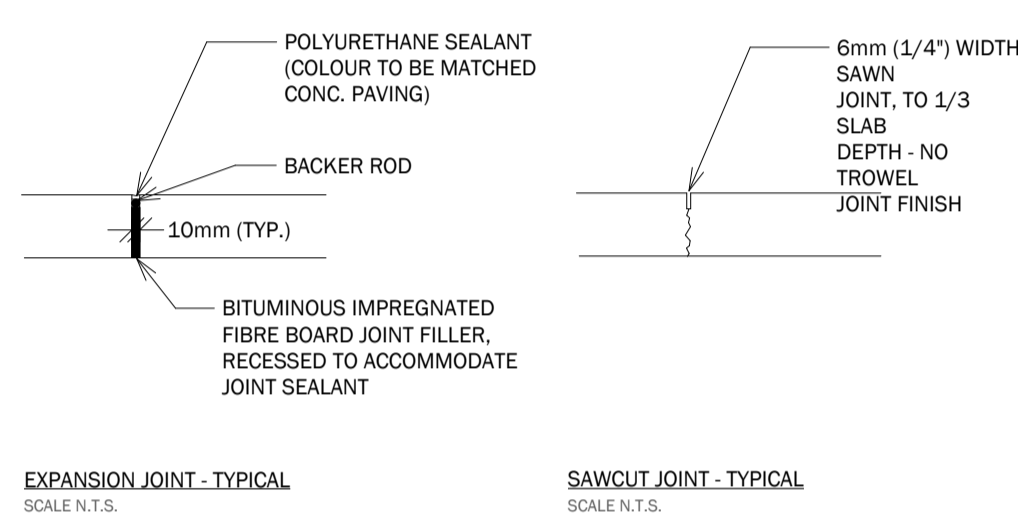
Date **03/06/25** Drawing Number
 Project No. **2429**
 Scale **1:192** **L4.02**
 Drawn/Checked **ZF | SS**

0 8'-0" 16'-0" 32'-0"
 SCALE: 1/16" = 1'-0"



1 CIP CONCRETE PAVING ON GRADE
L4.11 1" = 1' 0"

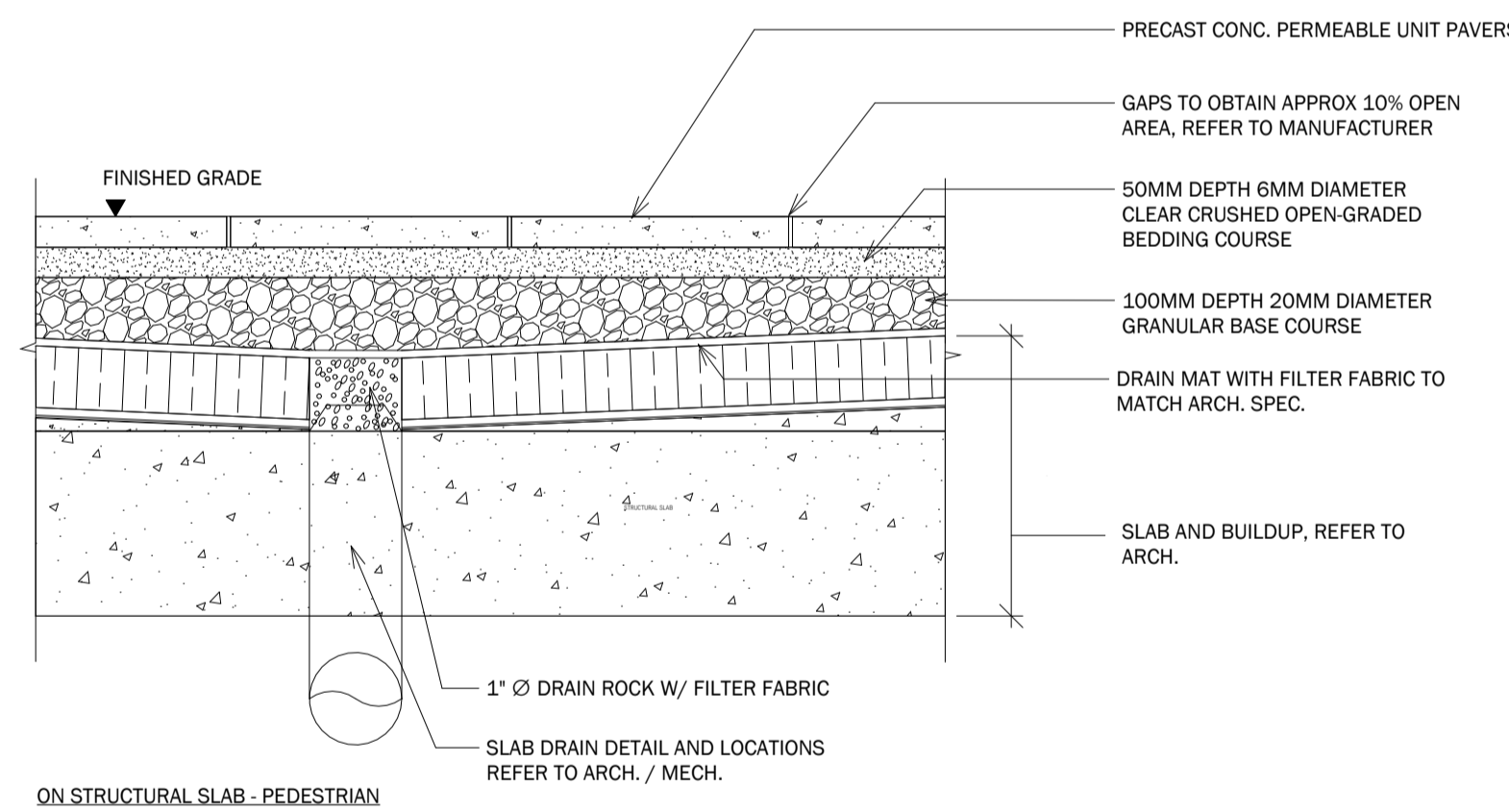
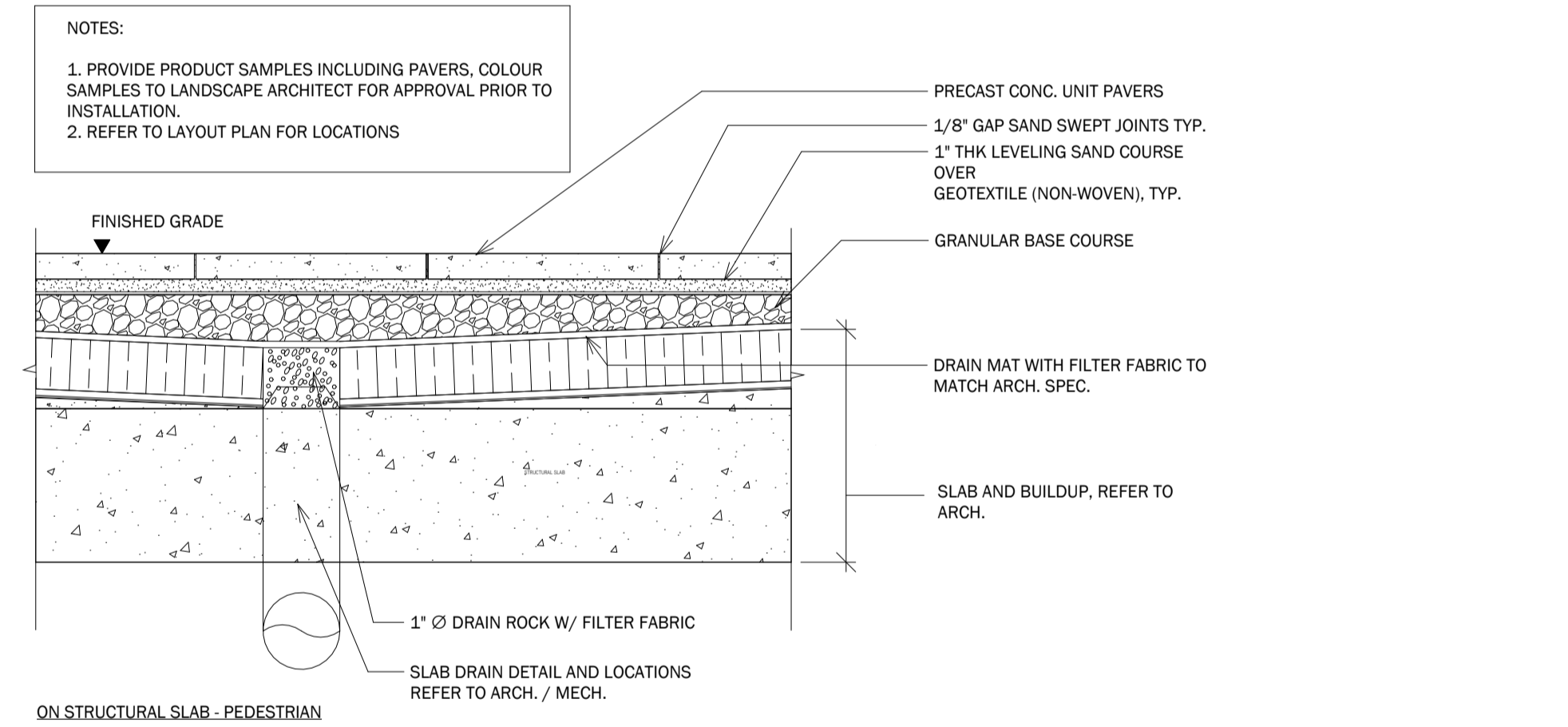
2 CIP CONCRETE PAVING ON SLAB
L4.11 1" = 1' 0"



NOTES:
 1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH.
 2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS.
 3. C-2 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS REFER TO LAYOUT PLAN.
 4. PROVIDE ISOLATION JOINTS, AS SHOWN ON PLAN, BETWEEN POURS; AT CHANGE IN MATERIALS; AT EDGES ABUTTING STRUCTURES AND OTHER FIXED ELEMENTS; AT MAX. 6.0M O.C.
 5. SAW CUT JOINTS TO BE LOCATED AT 9' 0" (3.0m) MAX. INTERVALS. REFER TO PLAN.
 6. EXPANSION JOINTS TO BE LOCATED AT 30' 0" (9.0m) MAX. INTERVALS AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS. INSTALL EXPANSION JOINTS (MAXIMUM 9m), WHEN SIDEWALK IS ADJACENT TO CURB, MAKE JOINTS OF CURB, GUTTERS AND SIDEWALK COINCIDE.
 7. ENSURE CLEAN CUT EDGE OF EXISTING PAVING ALONG PROPERTY LINE.
 8. REFER LANDSCAPE SPECIFICATION 32 13 13 - CONCRETE FOR EXTERIOR IMPROVEMENTS

3 CIP CONCRETE PAVING JOINTS
L4.11 1" = 1' 0"

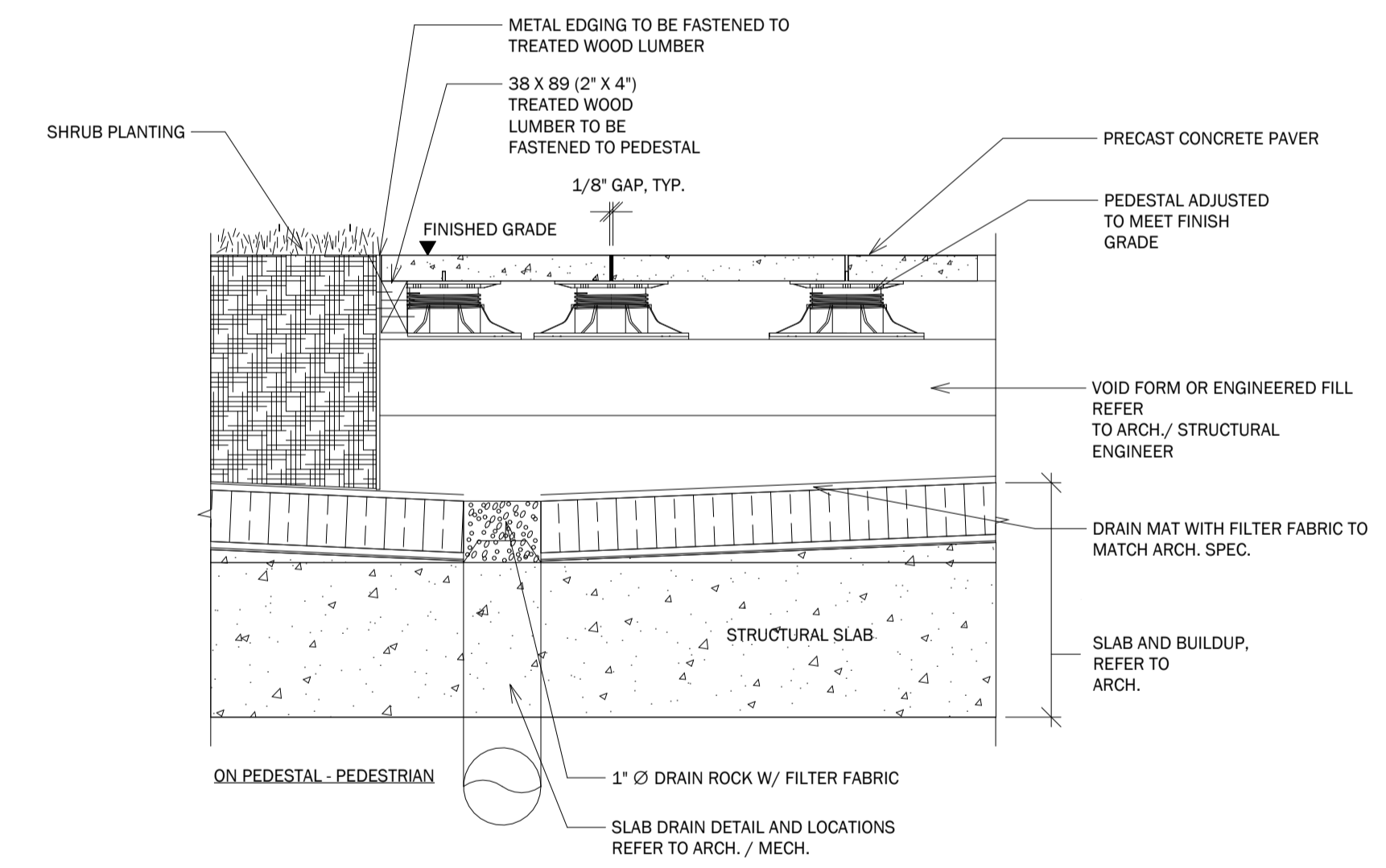
NOTES:
 1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 2. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR JOINT WIDTHS.
 3. REFER TO LAYOUT PLAN FOR LOCATIONS



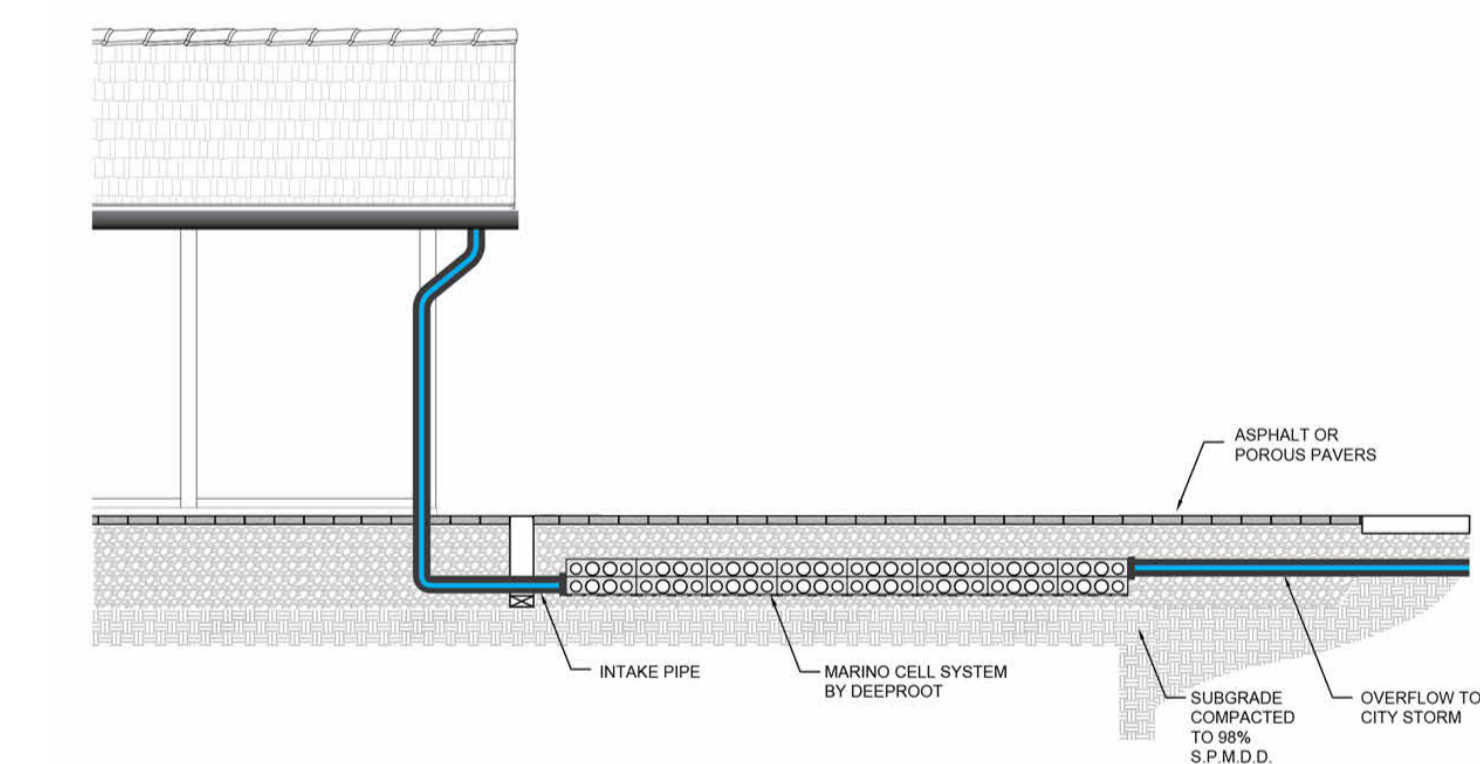
4 PRECAST CONCRETE UNIT PAVING
L4.11 1" = 1' 0"

5 PRECAST CONCRETE UNIT PAVING - PERMEABLE
L4.11 1" = 1' 0"

NOTES:
 1. PROVIDE PRODUCT SAMPLES INCLUDING PAVERS, COLOUR SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 2. ALL PEDESTALS MUST BE INSTALLED OVER A MINIMUM 60 PSI RIGID INSULATION WITH PROTECTION BOARD TO SPREAD THE LOAD. REFER TO PEDESTAL MANUFACTURER'S RECOMMENDATIONS.
 3. REFER TO LAYOUT PLAN FOR LOCATIONS



6 PRECAST CONCRETE UNIT PAVING
L4.11 1" = 1' 0"



7 MARINO CELLS - TYPICAL INTERFACE WITH PAVING
L4.11 NTS



No.	Description	Date
4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
2	Rezoning/DP	2025/05/05
1	CALLUC Issue	2025/03/21
1	Rezoning/DP	2025/05/05

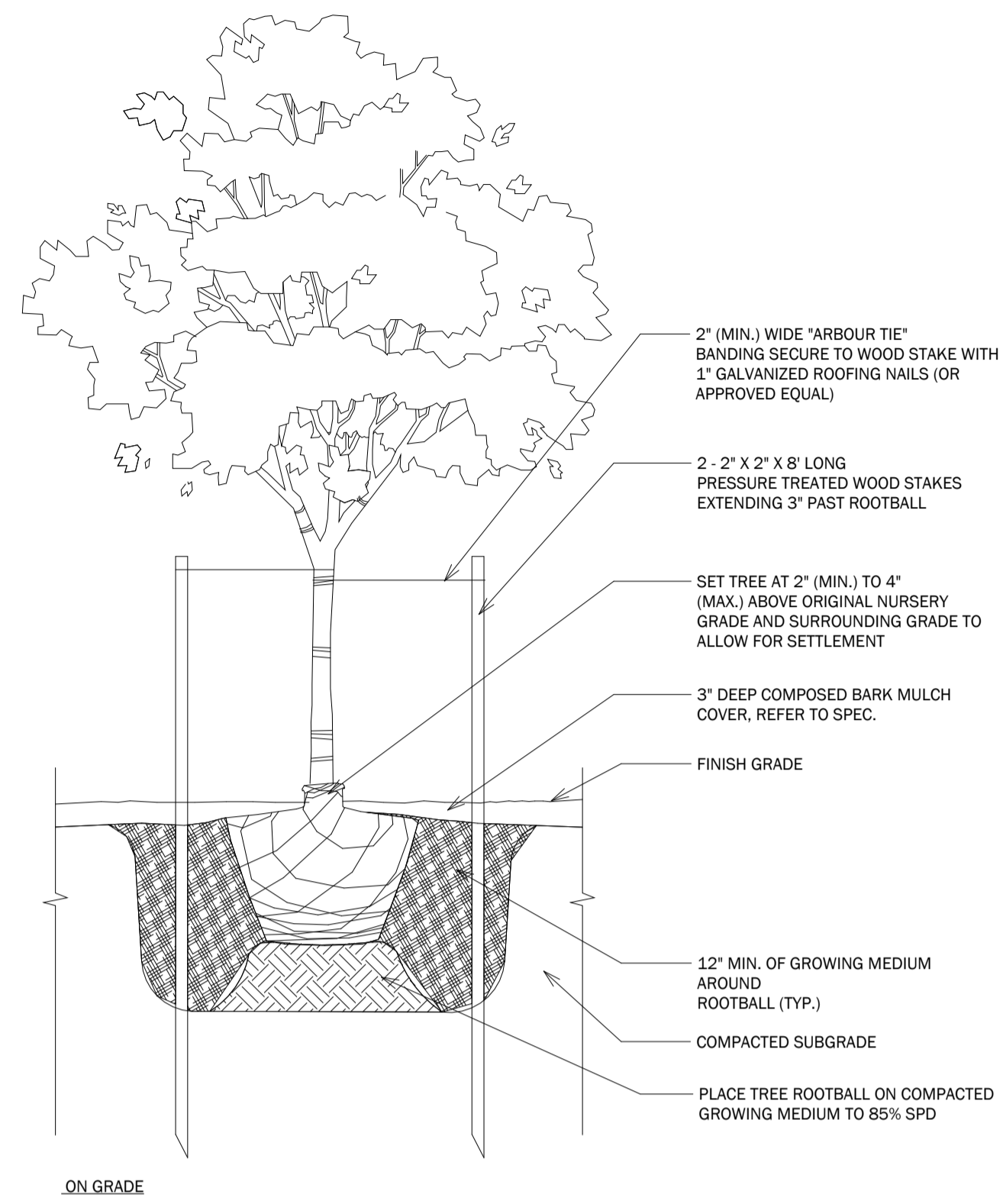
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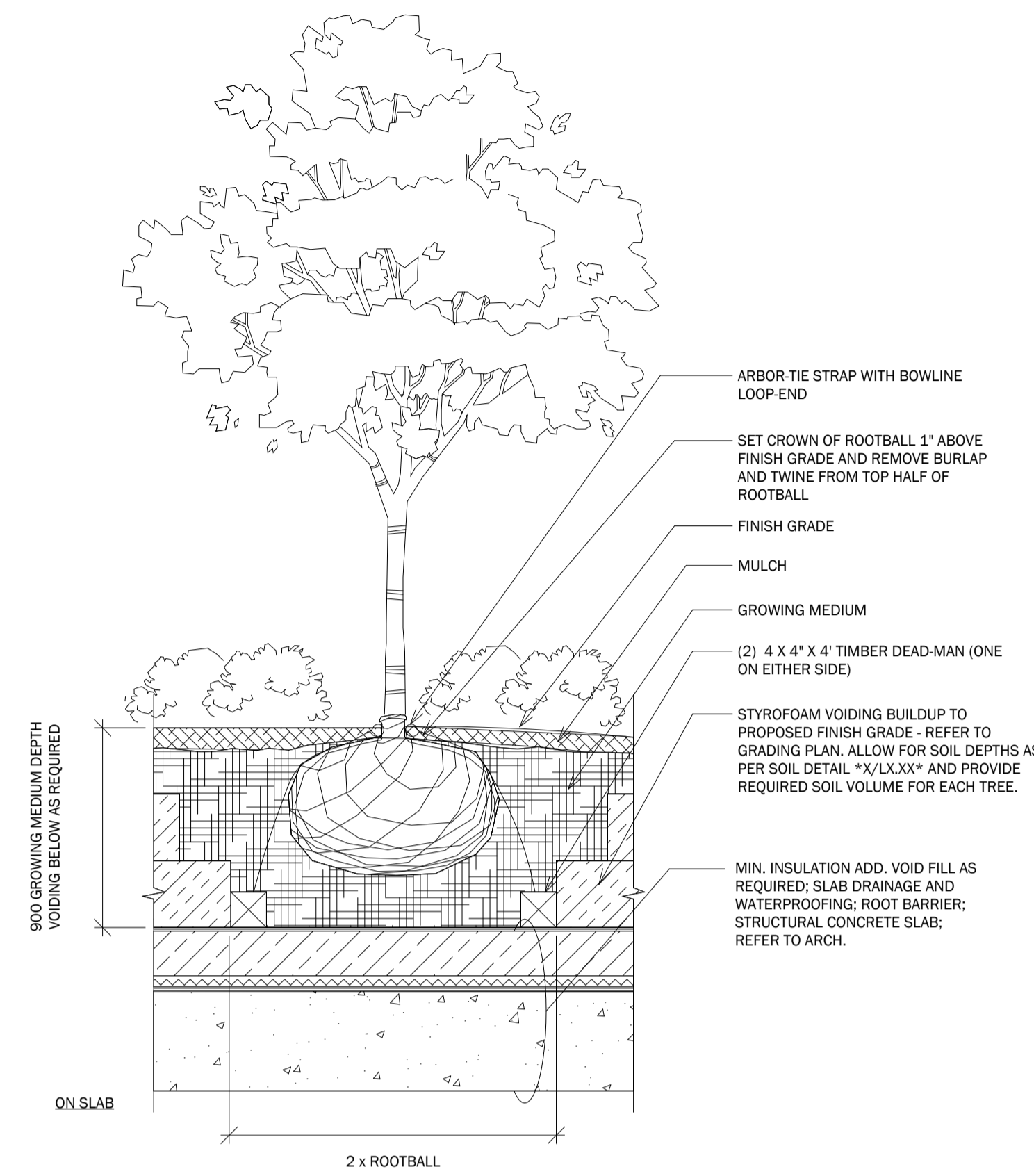
First Met

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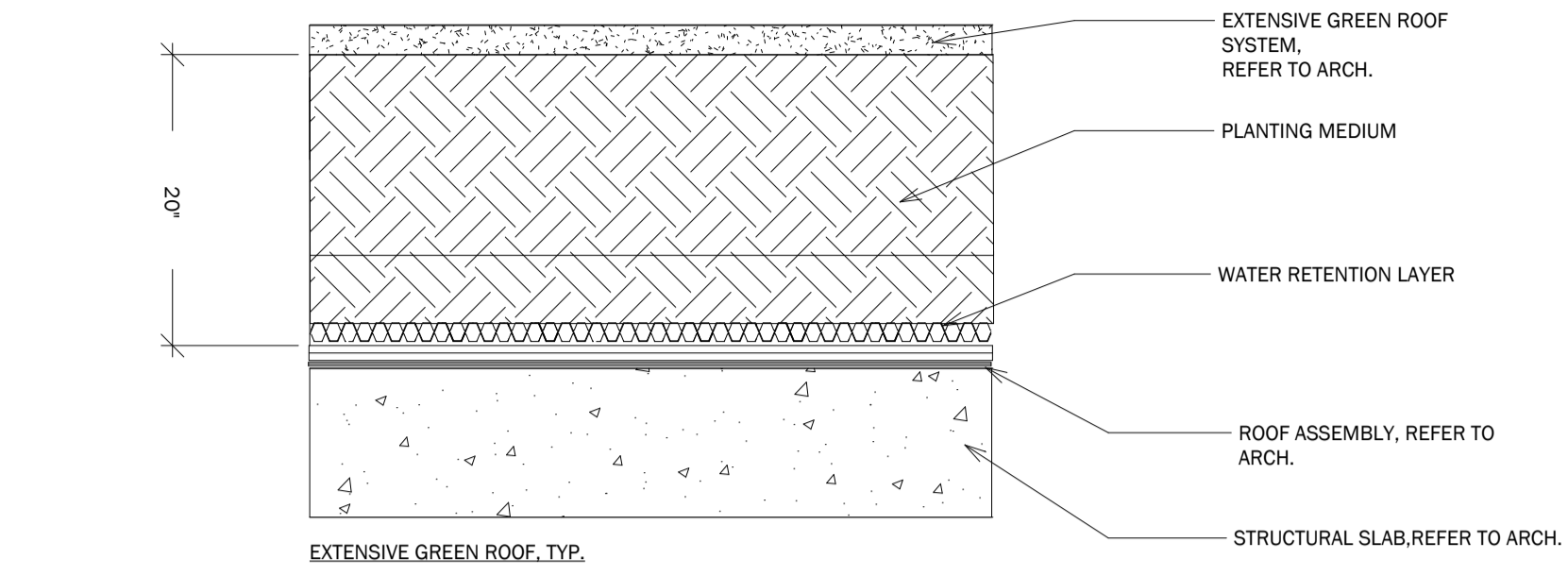
Paving Details



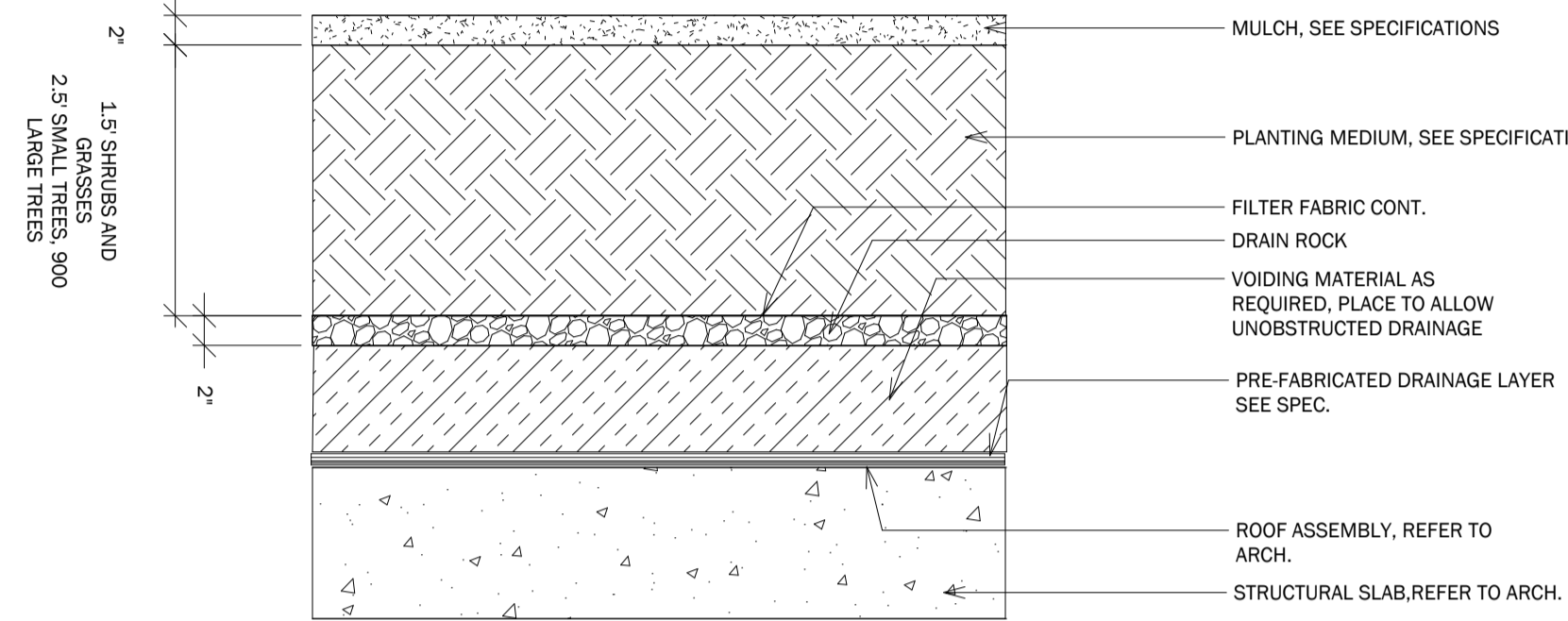
1 TREE PLANTING
L4.41 1" = 1' 0"



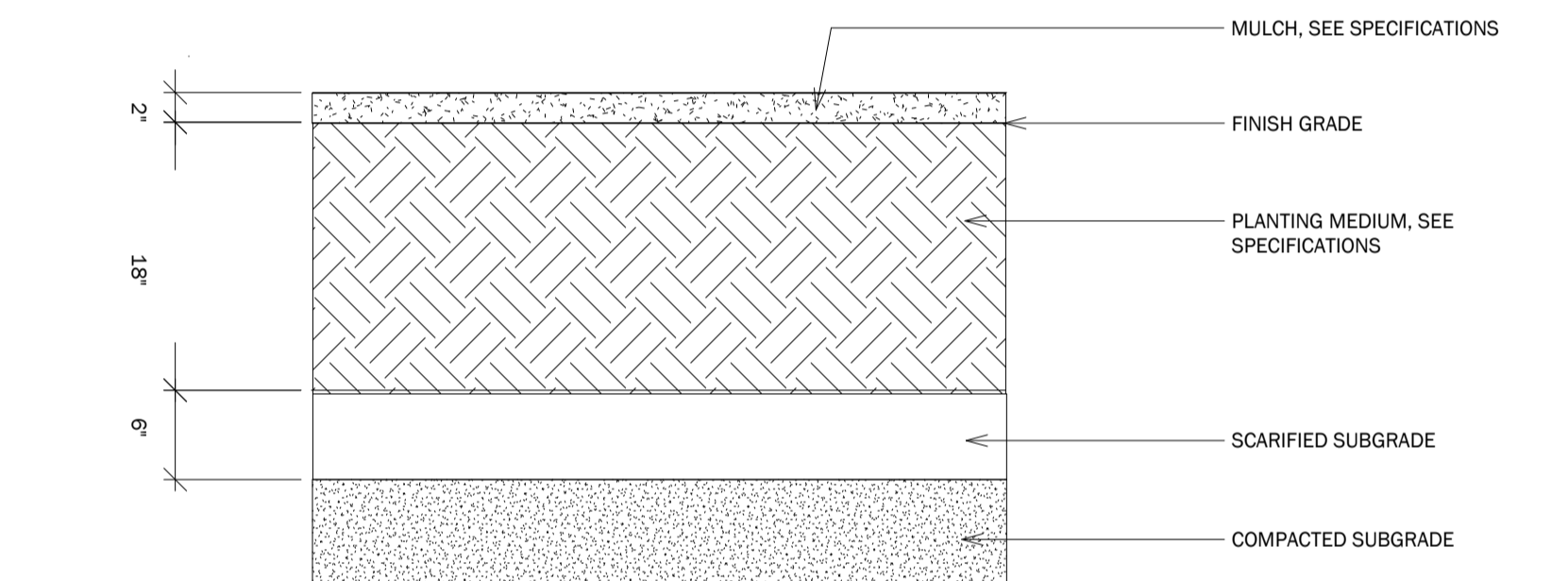
2 TREE PLANTING
L4.41 1" = 1' 0"



EXTENSIVE GREEN ROOF, TYP.

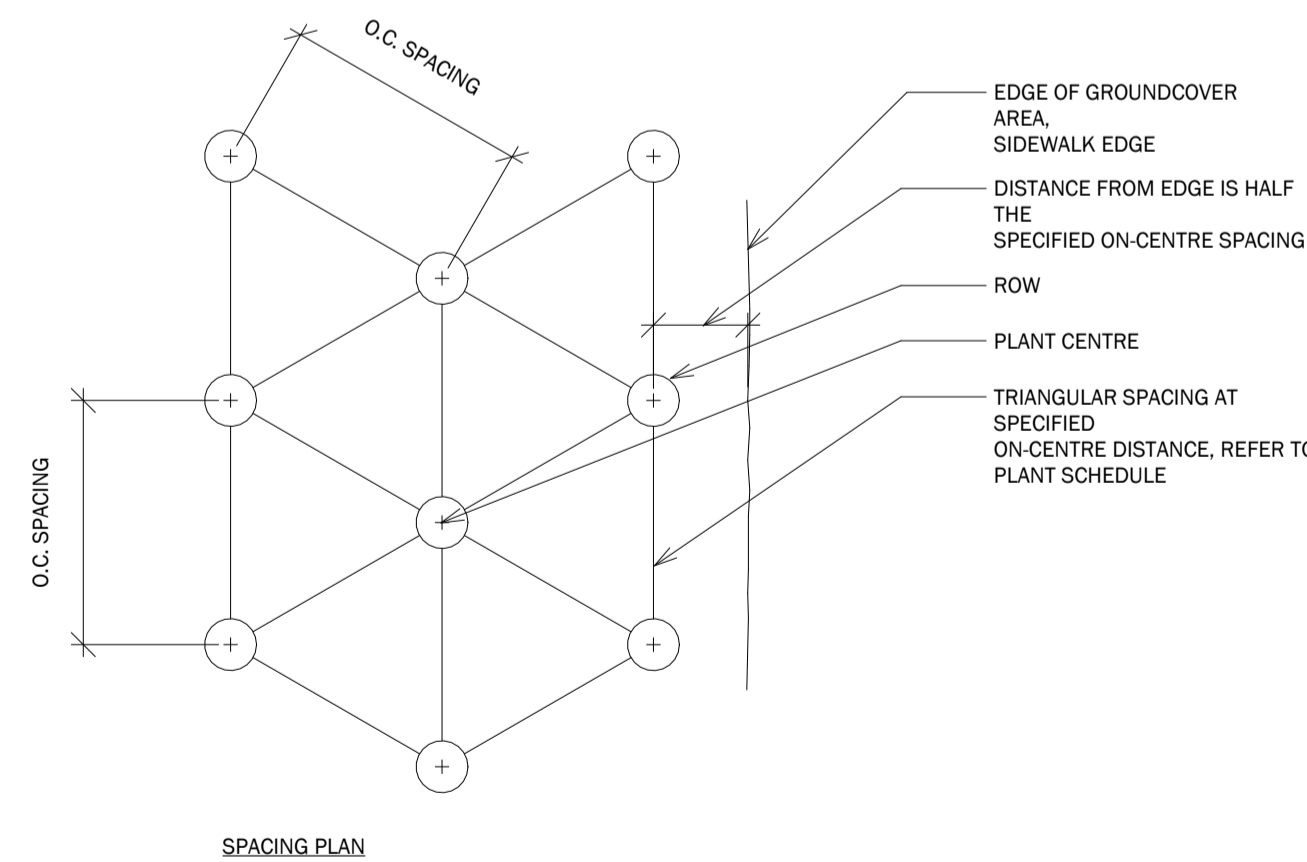


SHRUB AND TREE PLANTING ON SLAB

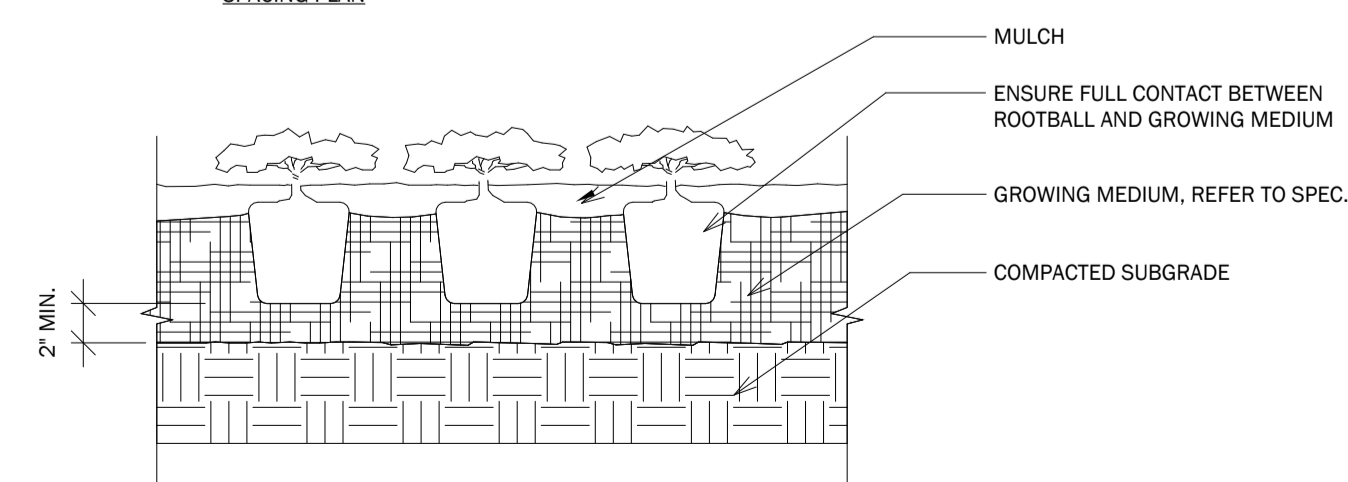


SHRUB PLANTING AREAS

3 TREE PLANTING
L4.41 1" = 1' 0"



SPACING PLAN



5 GROUND COVER PLANTING
L4.41 1" = 1' 0"

HAPA COLLABORATIVE

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hapactb.com

403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6

Landscape Architecture
Urban Design

4	Re-issued for Rezoning/DP	2025-12-19
3	Re-issued for Rezoning/DP	2025/09/09
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Planting Details

Date	03/06/25	Drawing Number
Project No.	2429	
Scale	1 : 12	L4.41
Drawn/Checked	ZF SS	

