




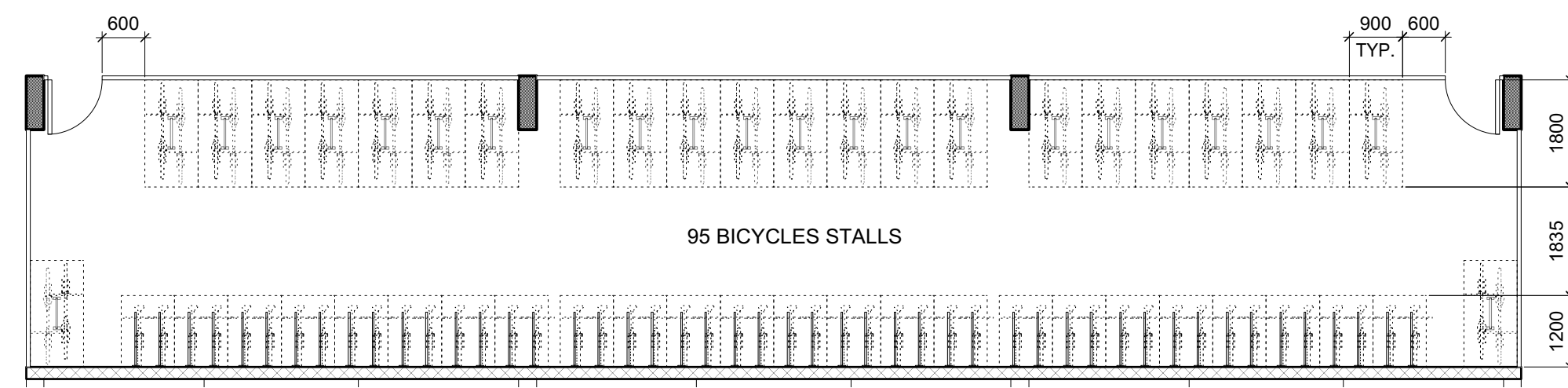



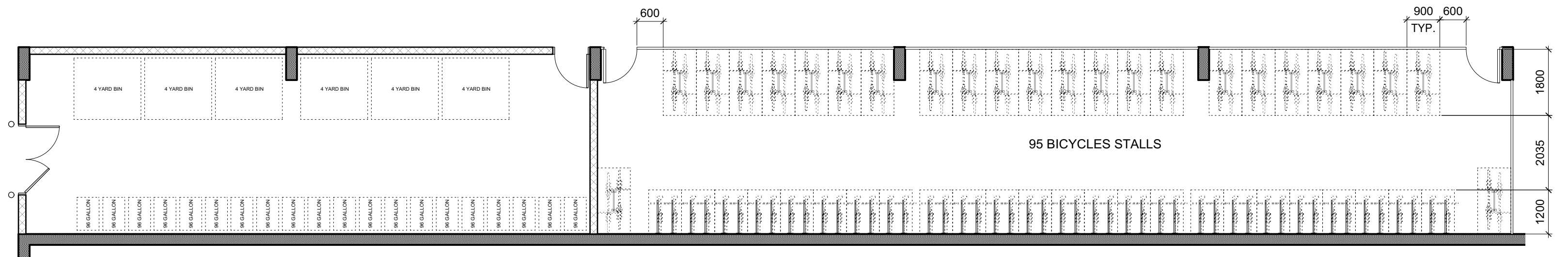
- GRAPHIC LEGEND:**
- | | |
|---|------------|
|  | STUDIO |
|  | 1 BEDROOM |
|  | 2 BEDROOM |
|  | 3 BEDROOM |
|  | 4 BEDROOM |
|  | ACCESSIBLE |



3 Bike Room Plan
A101 Scale: 1:250

0 2000 4000 mm
1: 100





2
A101

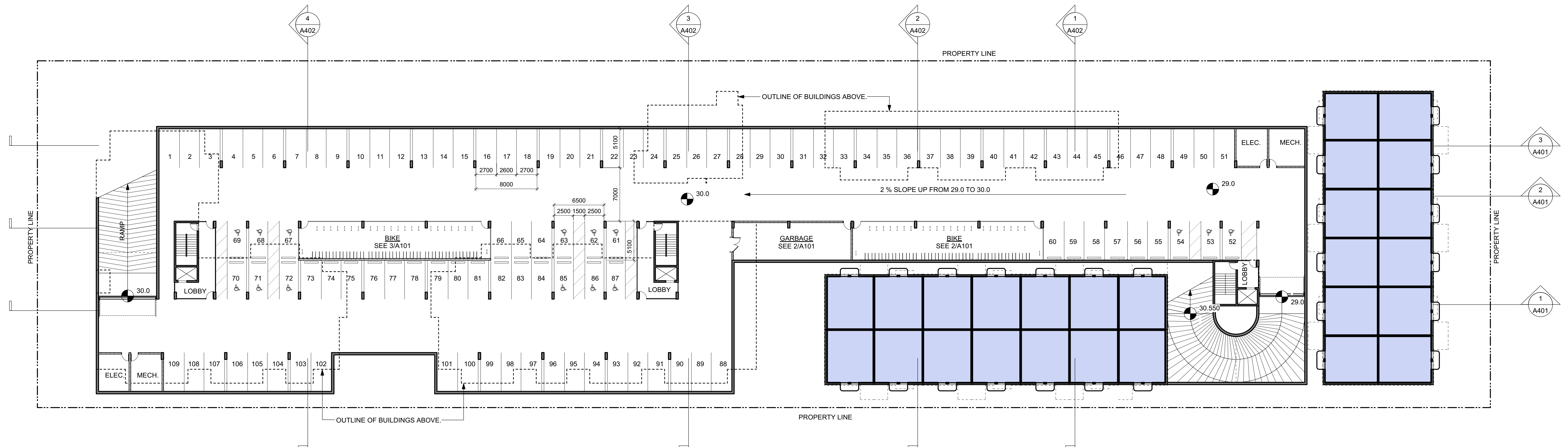
Garbage & Bike Room Plan

Scale: 1:250

0 2000 4000 mm

1 : 100

2



1 Parkade & LO Plan
A101 Scale: 1:250

0 5000 10000 mm
1: 250

North arrow pointing right.

<u>VEHICLE PARKING CALCULATION</u>	
UNITS < 45 SM	$11 \times 2 = 2.2$
UNITS 45-70 SM	$61 \times 5 = 30.5$
UNITS > 70 SM	<u>$82 \times 75 = 61.5$</u>
SUBTOTAL	94.2 (94)
VISITOR	<u>$154 \times 1 = 15.4 (15)$</u>
TOTAL REQUIRED	109
PROVIDED	109

<u>LONG TERM BIKE PARKING CALCULATION</u>	
UNITS < 45 SM	$11 \times 1 = 11$
UNITS > 45 SM	<u>$143 \times 1.25 = 178.75 (179)$</u>
TOTAL REQUIRED	189.75 (190)
PROVIDED	190

Year	Date	Description
year code	SEPTEMBER 1918	(drawing file) 1907 A200 Plans-xxx
drawn by	PWP	RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP
& REZONING

H K Architects

VICTORIA OFFICE	NANAIMO OFFICE
977 Fort Street	102-5190 Dublin Way
Victoria BC V8V 3K3	Nanaimo BC V9T 2K8
T 1-250-658-3367	T 1-250-585-5810

project name

Caledonia

Victoria BC

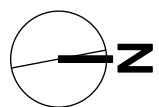
Parkade & LO Plan

drawing no. **A 101**

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101

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|------------|----------------|----------------------------------|
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| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| Rev | Date | Description |
| print date | SEPTEMBER 2019 | drawing file 1907 A200 Plans.vwx |
| drawn by | PWP | checked by RAW |
| scale | AS SHOWN | project number 1907 |

The logo for dHkArchitects features the text "dHkArchitects" in a bold, sans-serif font, with the "d" and "H" in a larger, more prominent size. Below the logo, the contact information is presented in a clean, sans-serif font, organized into two columns. The left column lists the office location as "VICTORIA OFFICE" followed by the address "537 F STREET WEST" and "VICTORIA BC V8W 3K3", and the phone number "T 1-250-686-3367". The right column lists the Nanaimo office as "NANAIMO OFFICE" followed by the address "152-5180 DUBIN WAY" and "NANAIMO BC V9T 2K6", and the phone number "T 1-250-585-5810". At the bottom of the logo area, the text "© 2012 dHk Architects" is written in a small font.



Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vaux
drawn by	FWP	checked by RAW
scaled	AS SHOWN	project number 1907.

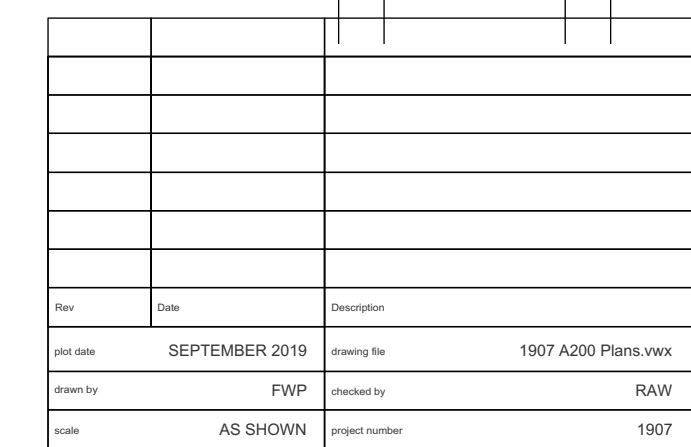
NOTE: All dimensions are shown in millimeters.

<h1 style="text-align: center;">dHKarchitects</h1>	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T +1-250-684-3167	NANAIMO OFFICE 102-8180 Dublin Way Nanaimo BC V8T 2K8 T +1-250-688-8110
project name <h2 style="text-align: center;">Caledonia</h2>	
Victoria BC	
drawing title <h2 style="text-align: center;">L2 Plan</h2>	
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drawing no. <h1 style="text-align: center;">A203</h1>	revision no. -

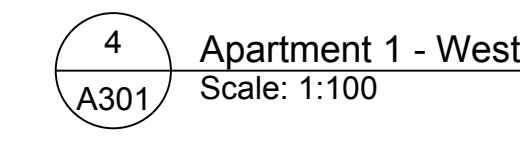
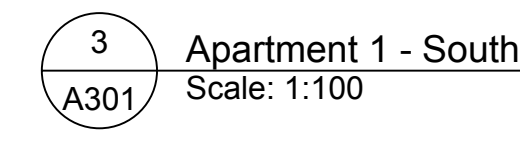
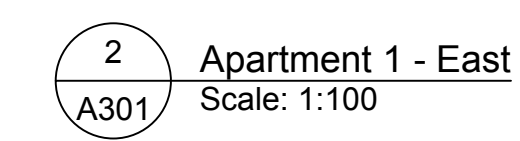
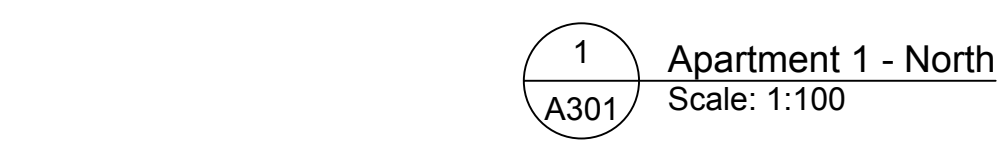
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drawing no.
A203

11



- 1 HARDIE SIDING
- 2 HARDIE PANEL
- 3 HARDIE SIDING - Wood toned
- 4 CONCEALED FASTENER PREFINISHED METAL PANEL
- 5 BRICK VENEER
- 6 ALUMINUM SOFFIT - Wood toned
- 7 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS
- 8 PREFINISHED ALUMINUM GUARD & FRAME - With decorative panel inset
- 9 PREFINISHED ALUMINUM GUARD & FRAME - With non-climbable mesh
- 10 PREFINISHED ALUMINUM GUARD & FRAME - With clear glass panel
- 11 ASPHALT SHINGLES
- 12 VINYL WINDOWS
- 13 TRELLIS - Refer to LANDSCAPE
- 14 PREFINISHED METAL PANEL
- 15 PAINTED CONCRETE



Draw	Date	Description
print date	SEPT 09	drawing file 1907 A300 Elevations.vaxx
drawn by	NLC	checked by RAW/CWK
scale	1:100	project number 1907

NOTE: All dimensions are shown in millimeters.

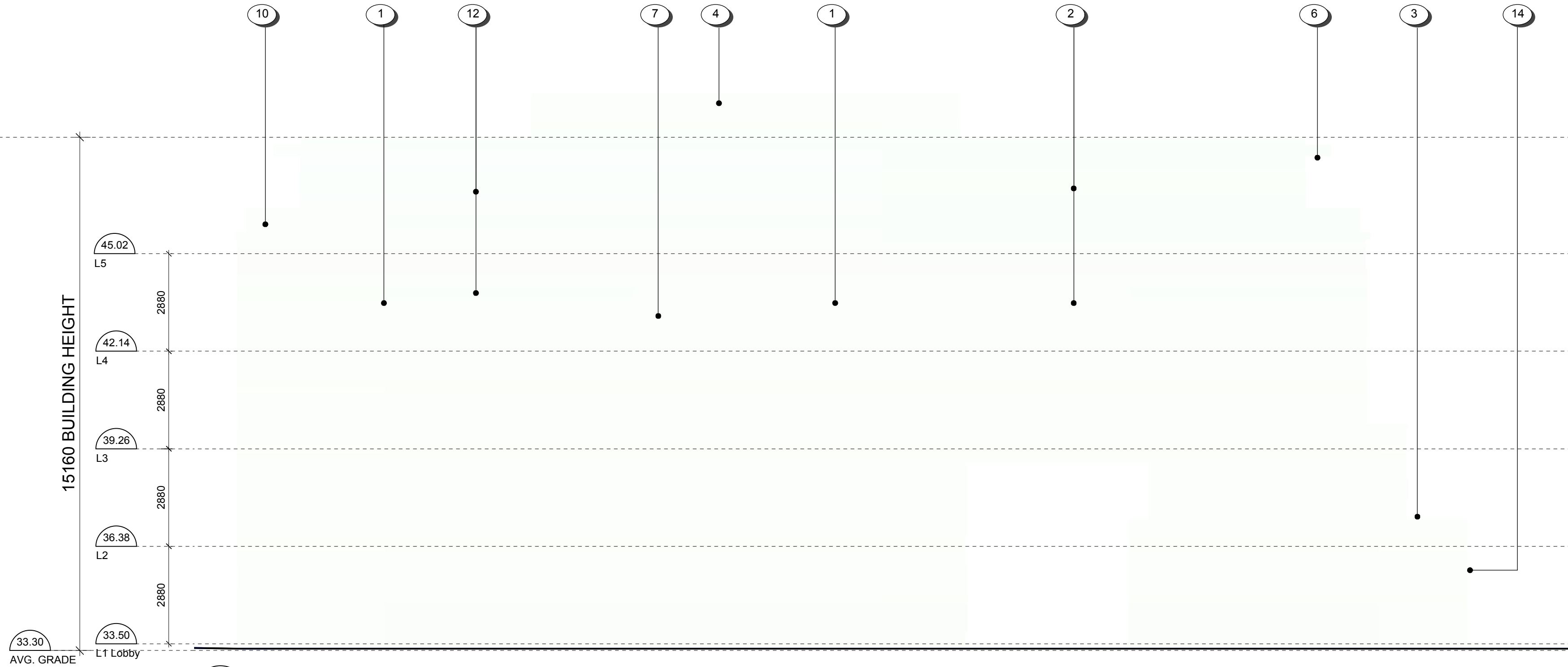
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<p>Victoria Office</p> <p>977 Fort Street Victoria BC V8V 3X7 T 1-250-658-3367</p>	<p>Nanaimo Office</p> <p>102-5190 Dublin Way Nanaimo BC V9T 2K5 T 1-250-658-5810</p>
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MATERIALS SCHEDULE

- 1
- HARDIE SIDING
- 2
- HARDIE PANEL
- 3
- HARDIE SIDING - Wood toned
- 4
- CONCEALED FASTENER PREFINISHED METAL PANEL
- 5
- BRICK VENEER
- 6
- ALUMINUM SOFFIT - Wood toned
- 7
- PREFINISHED ALUMINUM GUARD, FRAME & PICKETS
- 8
- PREFINISHED ALUMINUM GUARD & FRAME - With decorative panel inset
- 9
- PREFINISHED ALUMINUM GUARD & FRAME - With non-climbable mesh
- 10
- PREFINISHED ALUMINUM GUARD & FRAME - With clear glass panel
- 11
- ASPHALT SHINGLES
- 12
- VINYL WINDOWS
- 13
- TRELLIS - Refer to LANDSCAPE
- 14
- PREFINISHED METAL PANEL
- 15
- PAINTED CONCRETE

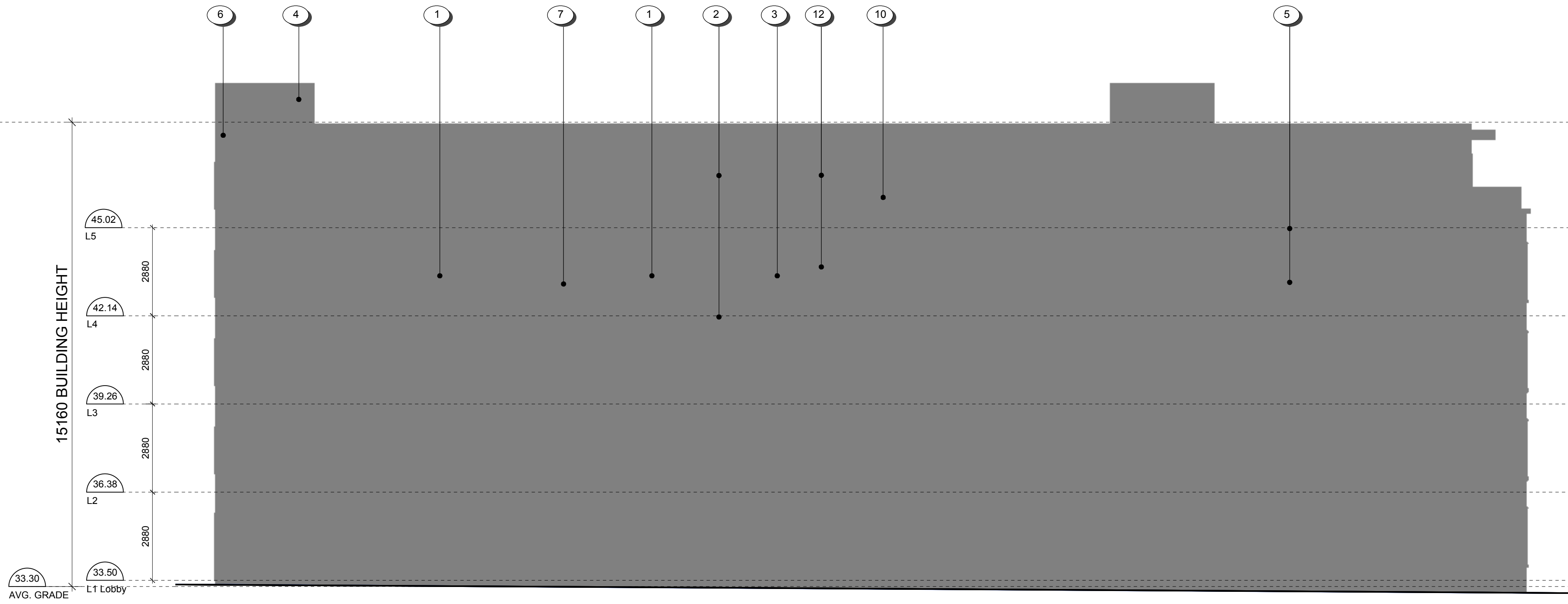


1

A302

Apartment 2 - North

Scale: 1:100



2

A302

Apartment 2 - East

Scale: 1:100

Rev	Date	Description
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2	2019-09-01	1907 A300 Elevations.mxd
3	2019-09-01	1907 A300 Elevations.mxd
4	2019-09-01	1907 A300 Elevations.mxd
5	2019-09-01	1907 A300 Elevations.mxd
6	2019-09-01	1907 A300 Elevations.mxd
7	2019-09-01	1907 A300 Elevations.mxd
8	2019-09-01	1907 A300 Elevations.mxd
9	2019-09-01	1907 A300 Elevations.mxd
10	2019-09-01	1907 A300 Elevations.mxd
11	2019-09-01	1907 A300 Elevations.mxd
12	2019-09-01	1907 A300 Elevations.mxd
13	2019-09-01	1907 A300 Elevations.mxd
14	2019-09-01	1907 A300 Elevations.mxd
15	2019-09-01	1907 A300 Elevations.mxd

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP
& REZONING

dhKa

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-668-3367

dhKarchitects

WANAMMO OFFICE
102-5190 Duxton Way
Nanaimo BC V9T 3K6
T 1-250-585-5810

project name

Caledonia

Victoria BC

project name

Elevations - Apartment 2

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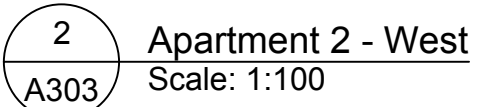
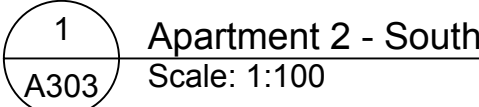
sheet no.

A302

revision no.

-

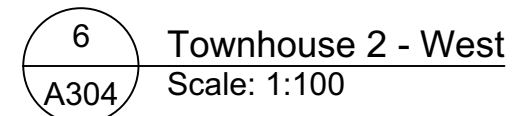
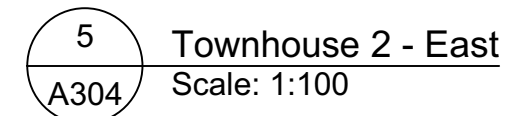
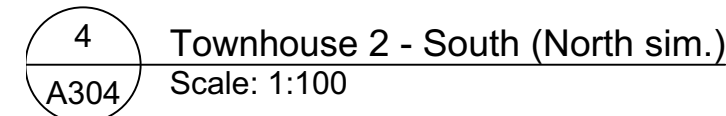
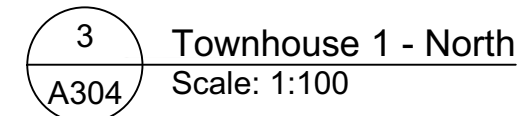
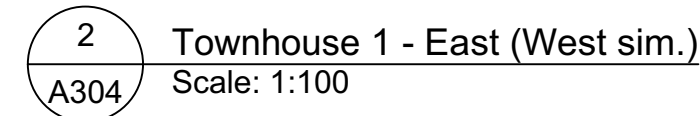
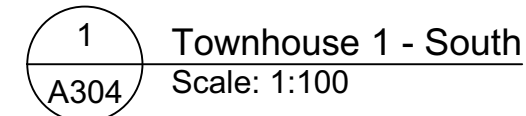
- 1 HARDIE SIDING
- 2 HARDIE PANEL
- 3 HARDIE SIDING - Wood toned
- 4 CONCEALED FASTENER PREFINISHED METAL PANEL
- 5 BRICK VENEER
- 6 ALUMINUM SOFFIT - Wood toned
- 7 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS
- 8 PREFINISHED ALUMINUM GUARD & FRAME - With decorative panel inset
- 9 PREFINISHED ALUMINUM GUARD & FRAME - With non-climbable mesh
- 10 PREFINISHED ALUMINUM GUARD & FRAME - With clear glass panel
- 11 ASPHALT SHINGLES
- 12 VINYL WINDOWS
- 13 TRELLIS - Refer to LANDSCAPE
- 14 PREFINISHED METAL PANEL
- 15 PAINTED CONCRETE




NOTE: All dimensions are shown in millimeters.

 <p>dHKA</p> <p>VICTORIA OFFICE 9/7 Fort Street Melbourne VIC 3006 T 1-250-669-3367</p> <p>project name</p> <p>Calcedonia</p> <p>Victoria BC</p>	<p>dHKAarchitects</p> <p>5500 HIGHWAY 102-5190 Esplan Wwy Vancouver BC V6B T 1-250-685-5610</p>
<p>Elevations - Apartment 2</p> <p><small>CONCEPT RENDERED. THESE PLANS AND DESIGN ARE NOT TO BE USED FOR THE PROJECT SHOWN AND NO PART BE REPRODUCED OR REWRITTEN WITHOUT PERMISSION.</small></p> <div>  <div> <p>PROJECT NO.</p> <p>A303</p> <p>DATE</p> <p>-</p> </div> </div>	

- 1 HARDIE SIDING
- 2 HARDIE PANEL
- 3 HARDIE SIDING - Wood toned
- 4 CONCEALED FASTENER PREFINISHED METAL PANEL
- 5 BRICK VENEER
- 6 ALUMINUM SOFFIT - Wood toned
- 7 PREFINISHED ALUMINUM GUARD, FRAME & PICKETS
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- 11 ASPHALT SHINGLES
- 12 VINYL WINDOWS
- 13 TRELLIS - Refer to LANDSCAPE
- 14 PREFINISHED METAL PANEL
- 15 PAINTED CONCRETE

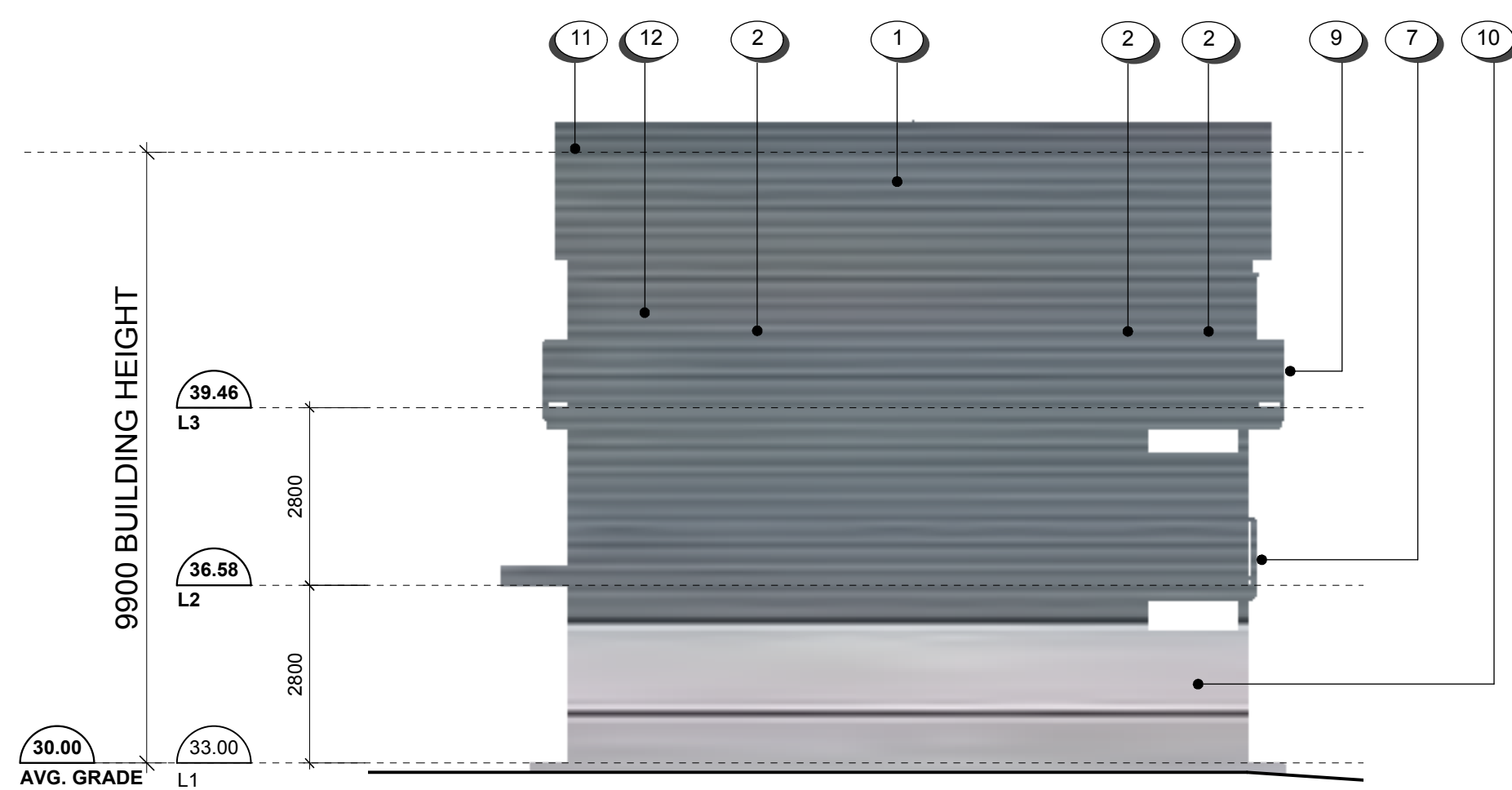


NOTE: All dimensions are shown in millimetres.

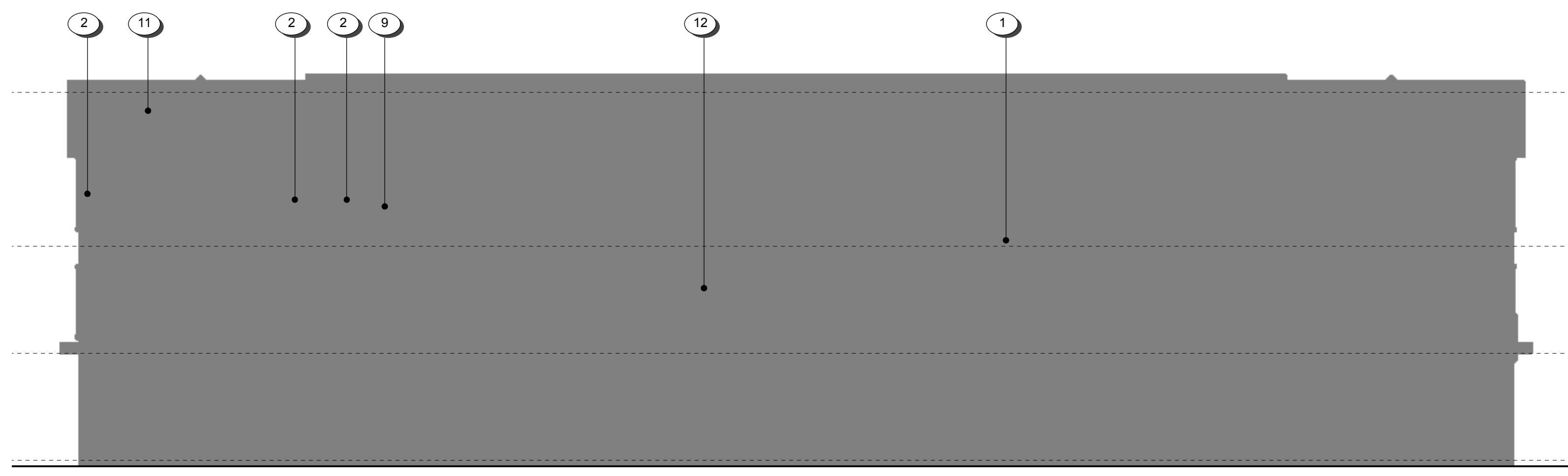
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 <p>VICTORIA OFFICE 977 Fort Street Victoria BC V5W 3K3 T 1-250-686-3587</p> <p>enquiries@dhk.ca</p>	<p>dhKarchitects</p> <p>NANAIMO OFFICE 132-5190 Dublin Way Nanaimo BC V9T 2K5 T 1-250-686-5810</p>
<p>Caledonia</p> <p>Victoria BC</p>	
<p>Planning Name</p> <p>Elevations - Townhouse 1 & 2</p>	
<p>COMPASS DRAWINGS: THESE PLANS AND DESIGN ARE FOR THE PROJECT SHOWN AND AS ALL THIS DESIGN IS THE PROPERTY OF DHK ARCHITECTS. NO PART OF THIS DESIGN IS TO BE REPRODUCED OR USED WITHOUT CONSENT BY THE PROJECT SHOWN AND MAY NOT BE REPRODUCED OR USED WITHOUT CONSENT BY ANY OTHER PROJECT.</p>	<p>PROJECT NO.</p> <p>A304</p> <p>REVISIONS</p> <p>-</p>

MATERIALS SCHEDULE

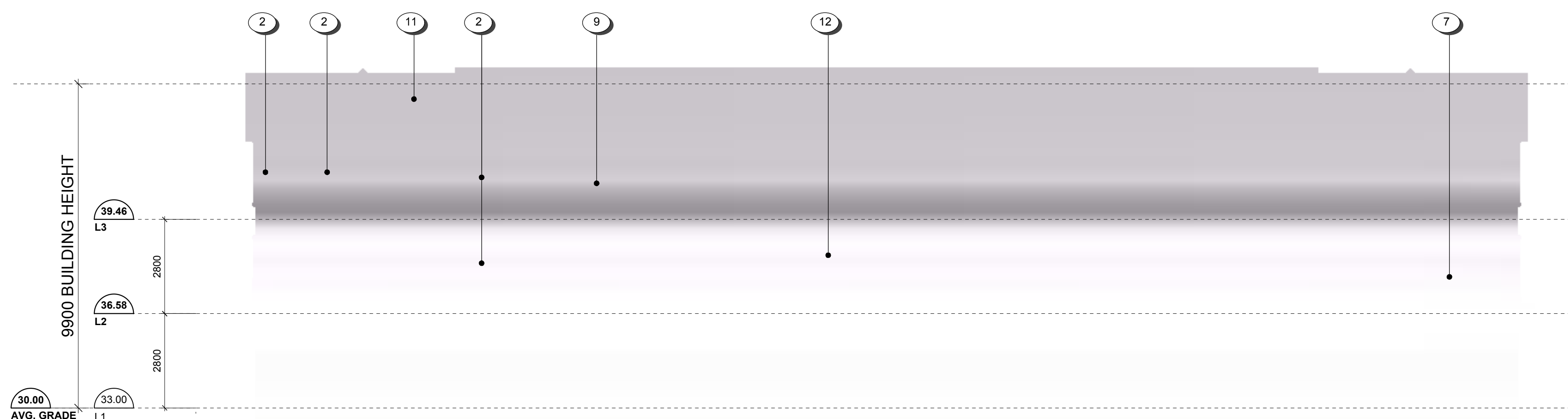
- 1 HARDIE SIDING
- 2 HARDIE PANEL
- 3 HARDIE SIDING - Wood toned
- 4 CONCEALED FASTENER PREFINISHED METAL PANEL
- 5 BRICK VENEER
- 6 ALUMINUM SOFFIT - Wood toned
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- 11 ASPHALT SHINGLES
- 12 VINYL WINDOWS
- 13 TRELLIS - Refer to LANDSCAPE
- 14 PREFINISHED METAL PANEL
- 15 PAINTED CONCRETE



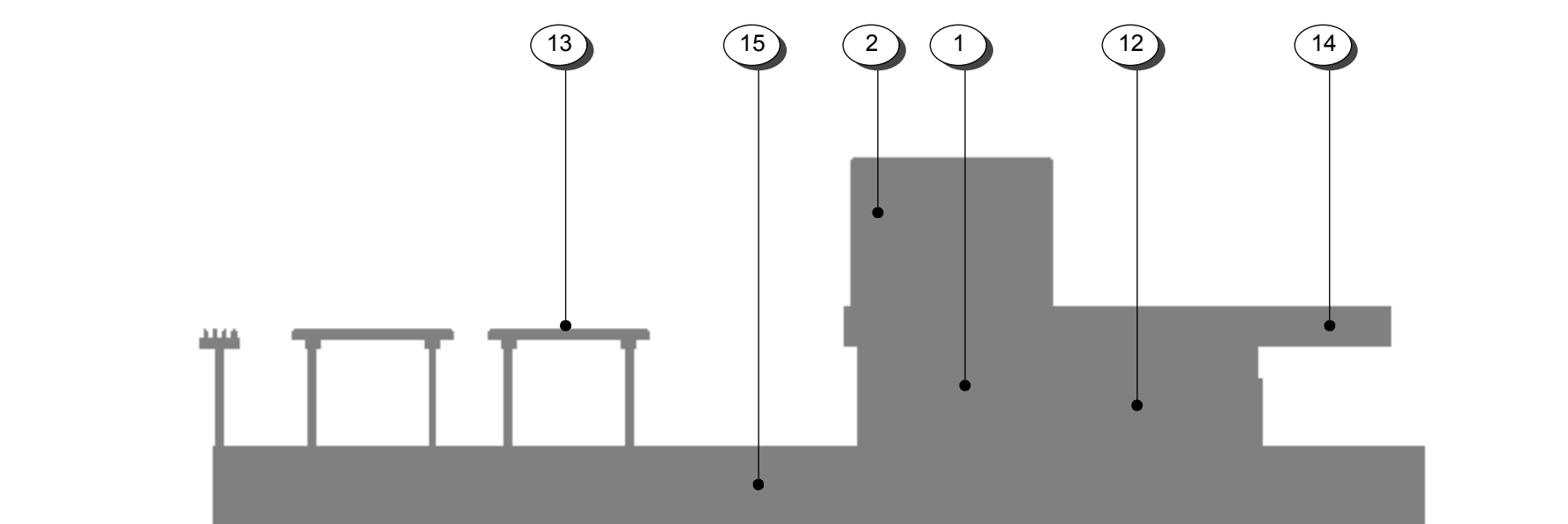
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A305 Scale: 1:100



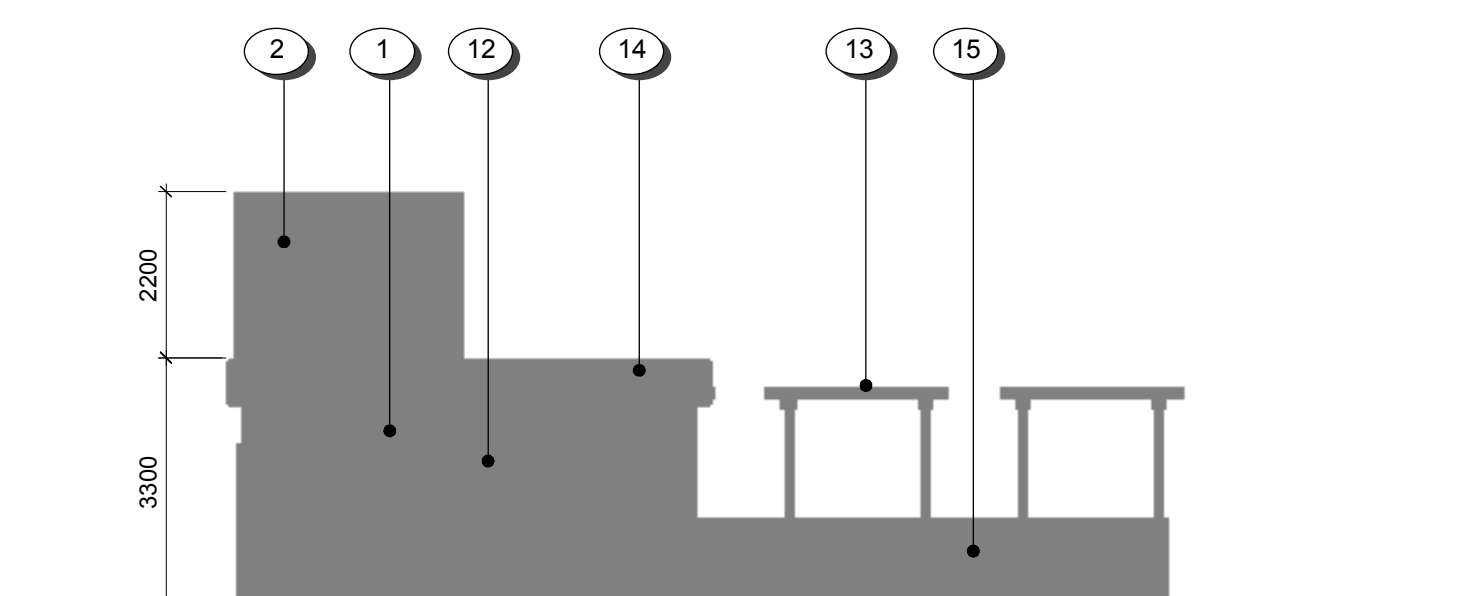
2 Townhouse 3 - East
A305 Scale: 1:100



3 Townhouse 3 - West
A305 Scale: 1:100



4 Parkade Entry - North
A305 Scale: 1:100



5 Parkade Entry - West
A305 Scale: 1:100

Date	Description	
job date SEPT 2019		drawing file 1907 A300 Elevations vxx
drawn by NLC	checked by RAW/CWK	
scale 1:100	project number 1907	

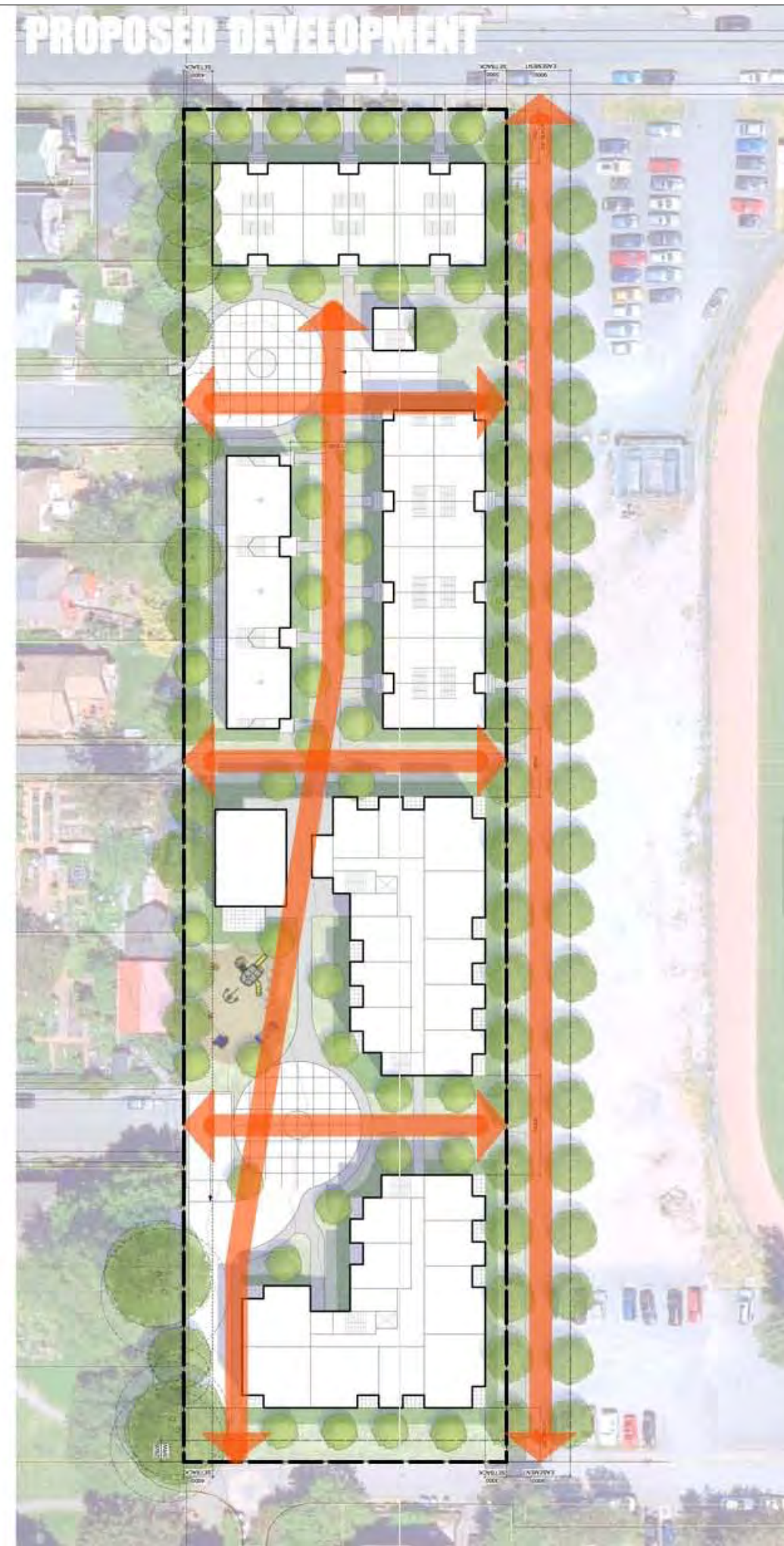
NOTE: All dimensions are shown in millimeters

ISSUED FOR DP & REZONING

HISTORICALLY THE SITE WAS
LARGELY OBSTRUCTED BY
THE FAIREY TECH BUILDING.

THE PROPOSED PLAN REESTABLISHES A NETWORK OF PUBLIC PATHS ACROSS THE SITE, RUNNING BOTH NORTH-SOUTH AND EAST-WEST.

A NEW CITY GREENWAY IS PLANNED NEXT TO THE SCHOOL TRACK THAT RUNS FROM GLADSTONE TO GRANT.



PREVIOUS AND EXISTING
BUILDINGS BLOCK STREET
RIGHT OF WAYS.

THE PROPOSED PLAN
SITUATES BUILDING
FOOTPRINTS OUTSIDE OF
STREET ALIGNMENTS TO
EXTEND THE VIEWS AND
PUBLIC PATHWAYS OF THE
LARGER CITY GRID
THROUGH THE SITE AND
BEYOND.

IMPROVED POROSITY AND
FREEDOM OF MOVEMENT IS
ESPECIALLY IMPORTANT
CLOSE TO SCHOOLS.



PREVIOUS DEVELOPMENT

- Approx. 41% Site Coverage **vs.** - 41% Site Coverage
- 32% was paved or gravel - 12% paved (parking underground)

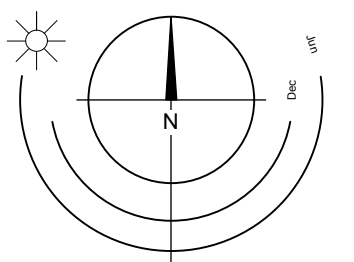
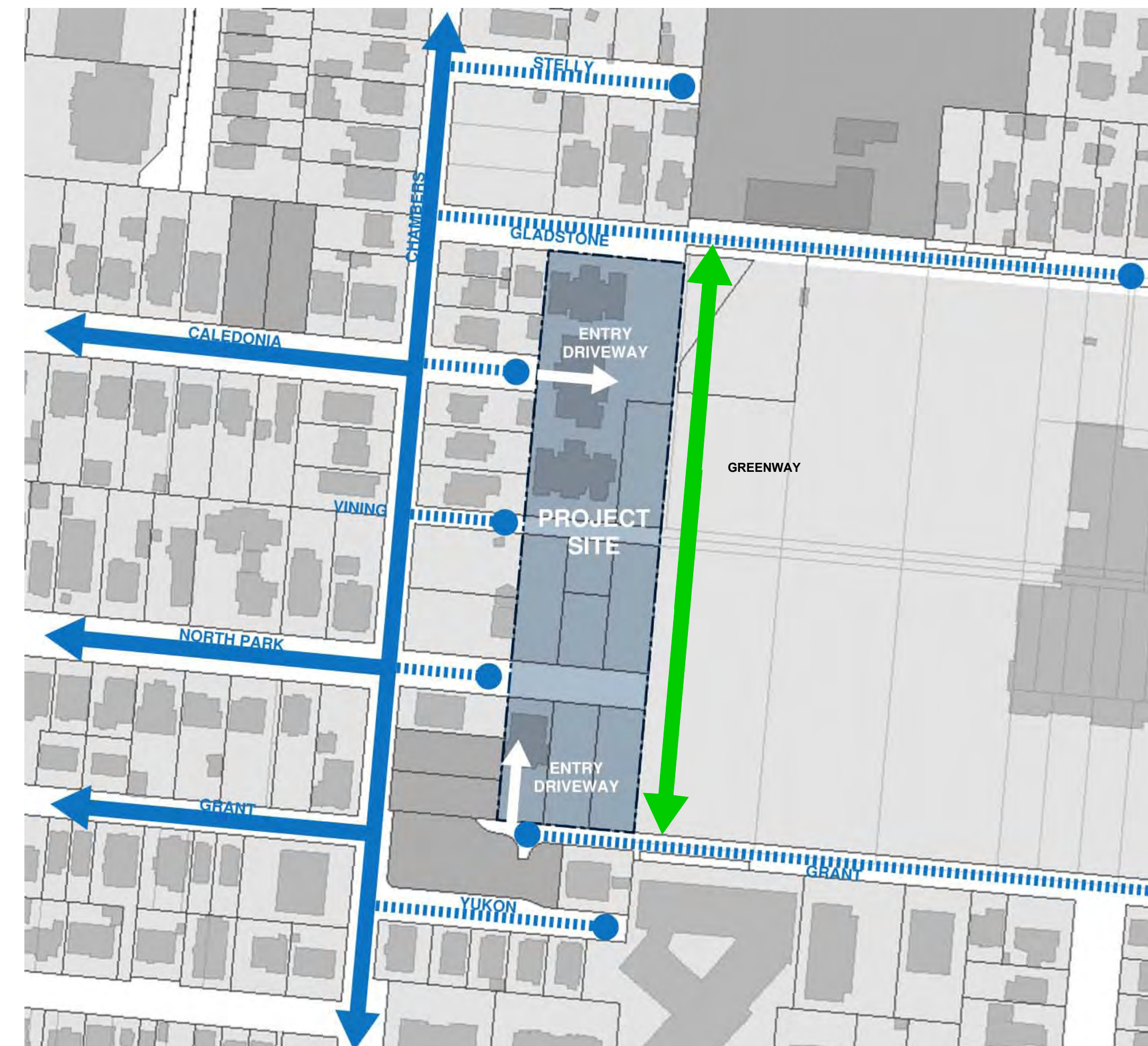


PROPOSED DEVELOPMENT

Therefore, with similar amounts of site coverage, the difference is approximately a 20% increase in outdoor useable space

2
A306

Figure/Ground Study
n.t.s.



Rev	Date	Description
plot date	SEPTEMBER 2019	Planning file 1907 Caledonia Large Project.vixx
drawn by		checked by RAW/CWRK
scales	AS SHOWN	project number 1907

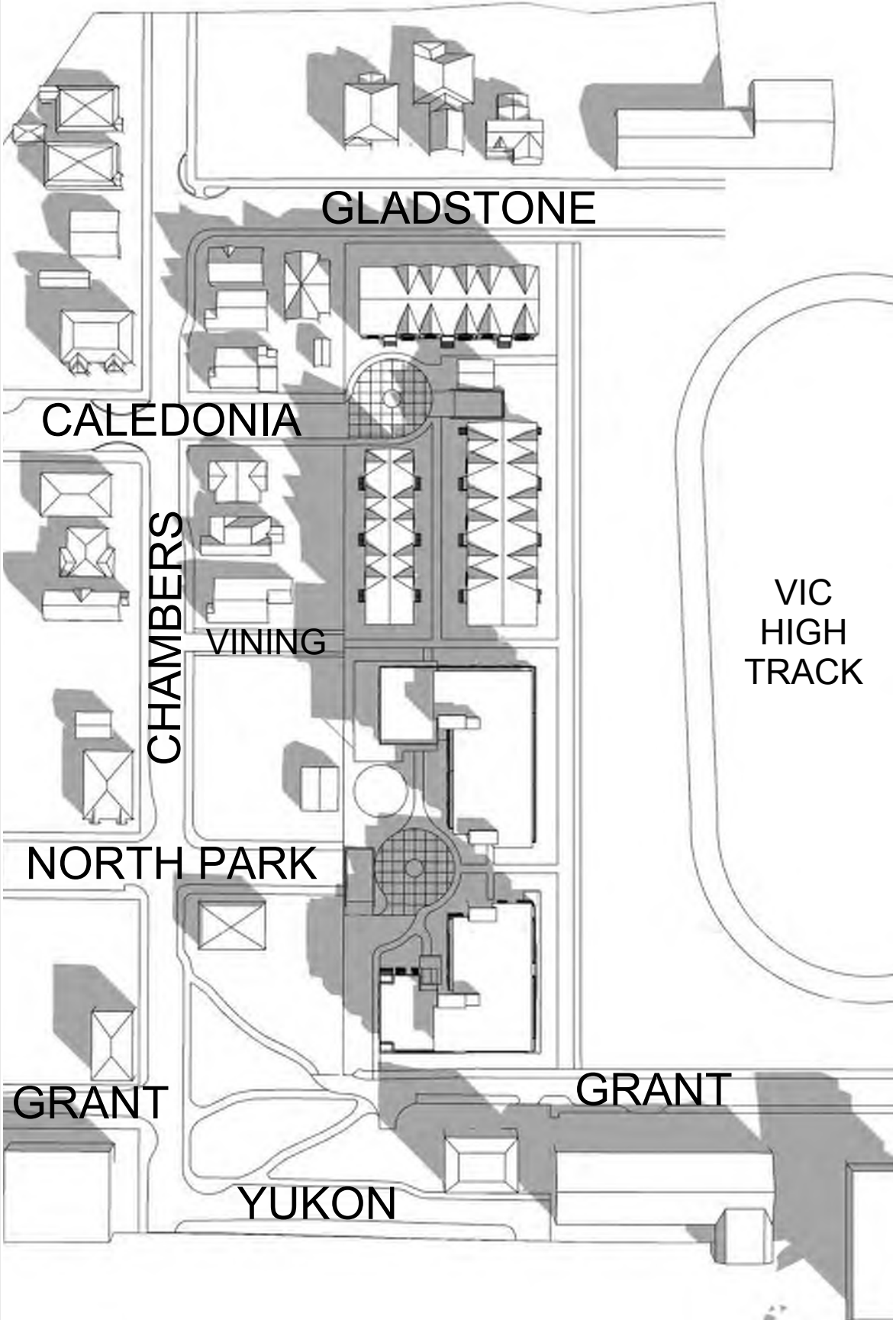
NOTE: All dimensions are shown in millimeters.

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& REZONING

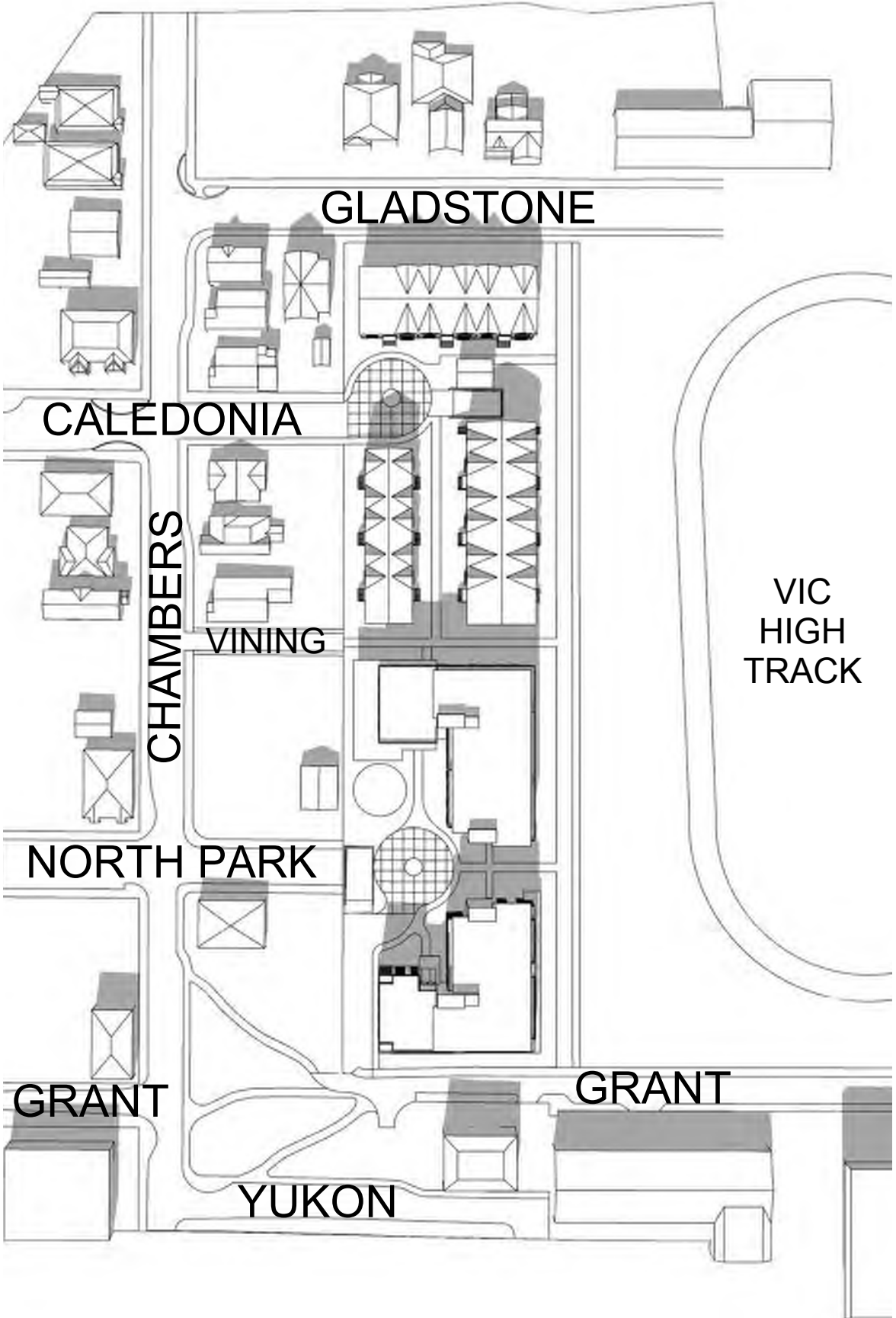
1	Pedestrian Access
A306	n.t.s.

3	Vehicle Access
A306	n.t.s.

PROPOSED



PROPOSED



GLADSTONE

CALEDONIA

CHAMBERS

VINING

NORTH PARK

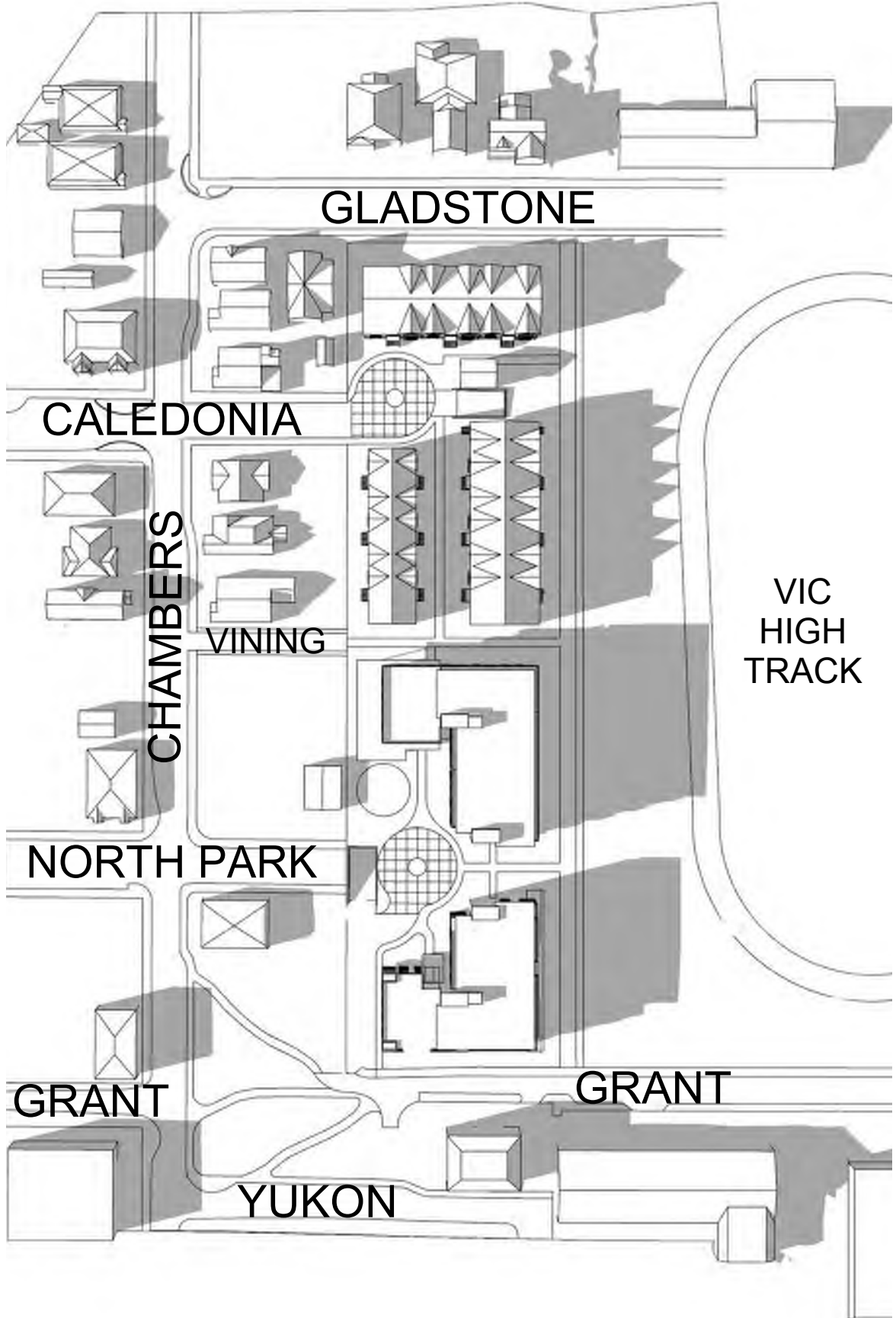
GRANT

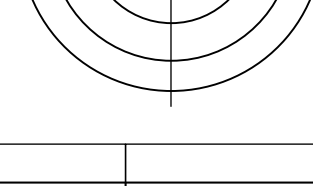

GRANT

YUKON

VIC HIGH TRACK

PROPOSED



		
<div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> </div>		
Site	Description	
Drawn by	<div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> </div>	
Date	Issued by	Project number
Scale	<div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> </div>	
<p>NOTE: All dimensions are shown in millimeters.</p> <h1>ISSUED FOR DP & REZONING</h1>		
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VICTORIA OFFICE 977 Fort Street Victoria B.C. V8V 3K3 T 1-250-688-3387		NANAIMO OFFICE 102-1900 Dublin Way Nanaimo B.C. V9T 2K8 T 1-250-688-8810
<p>project name</p> <h2>Caledonia</h2> <p>Victoria BC</p>		
<p>Working title</p> <h2>Shadow Studies</h2>		
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		<p>revision no.</p> <p>-</p>

[illegible]

NOTE: All dimensions are shown in millimeters


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& REZONING



Rev	Date	Description
plot date	SEPTEMBER 1979	drawing file 1907 Caledonia Large Project vxx RAW/CRK
shown by	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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 <p>dHkA</p> <p>VIKTORIA OFFICE 0777 Fori Street Victoria BC V8T 2K3 T 1-250-686-3367</p> <p>product name</p> <p>Caledonia</p> <p>Victoria BC</p>	<p>dHKarchitects</p> <p>MANITOBA OFFICE 102-5190 Dublin Way Neudwin BC V8T 2K6 T 1-250-685-5810</p>
<p>shipping info</p> <p>Skylene Analysis</p> <p>Copyright © 2008. All Rights Reserved. No part of this publication may be reproduced without written consent of the publisher.</p> <p>PRINTED IN CANADA</p> <p>A309</p> <p>quantity 1</p> <p>-</p>	



LOOKING EAST - GLADSTONE AVENUE



LOOKING EAST - VINING STREET



LOOKING EAST - NORTH PARK STREET



LOOKING NORTH - YUKON AT CHAMBERS STREETS



LOOKING WEST - GRANT STREET



LOOKING WEST - IN FRONT OF VIC HIGH - ON GRANT STREET




INTERIOR COURTYARD - LOOKING SOUTH

Rev	Date	Description
print date	SEPTEMBER 2019	drawing title 1907 Caledonia Large Project view
drawn by		checked by RAW/COR/K
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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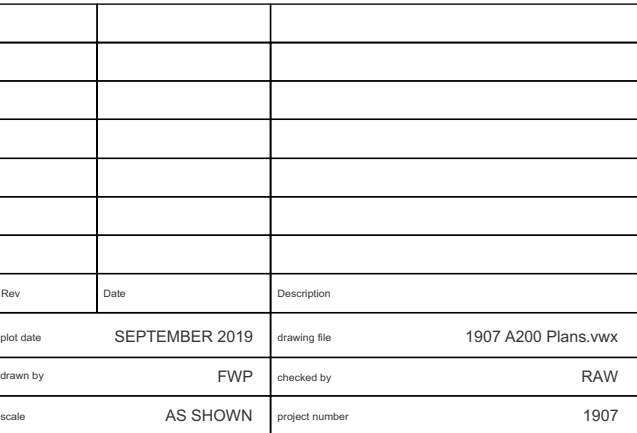
	dHKarchitects	
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project name Caledonia Victoria BC	drawing no. A310	revision no. -
View Analysis		
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Day	Date	Description
plot date	SEPTEMBER 2019	drawing file 1907 Caledonia Large Project.vwx
drawn by		RAWICRK
scales	AS SHOWN	project number 1907

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project name

Caledonia

Victoria BC

drawing title

Building Sections

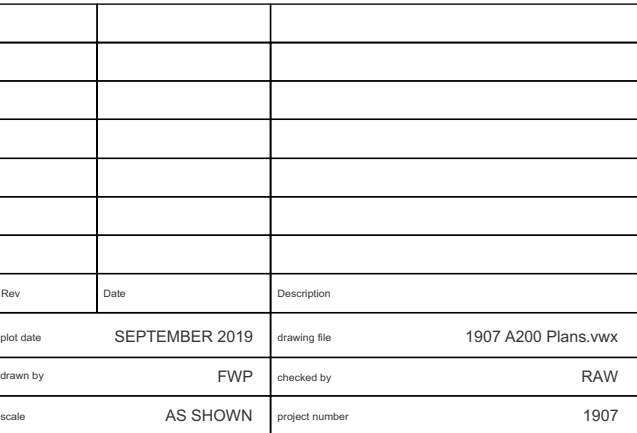
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A401

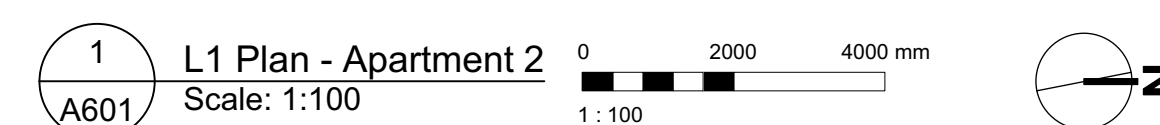
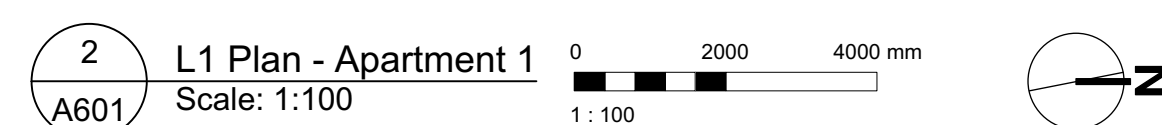
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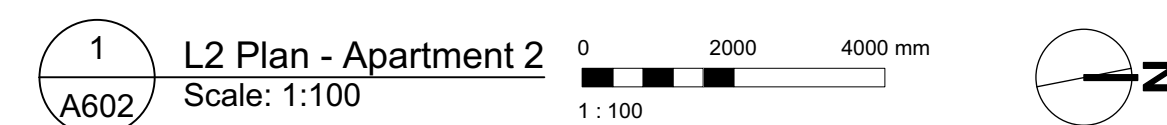
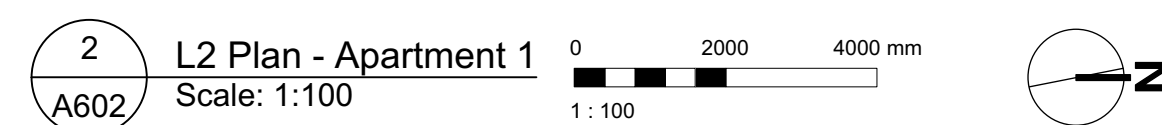


Date	Description	
print date	SEPTEMBER 2019	printing fee
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PROJECT NAME <h3 style="text-align: center;">Caledonia</h3> Victoria BC	
DRAWING TITLE <h2 style="text-align: center;">L2 Plan - Apartments</h2>	
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DRAWING NO. <h1 style="text-align: center;">A602</h1>	SHEET NO. <h1 style="text-align: center;">-</h1>

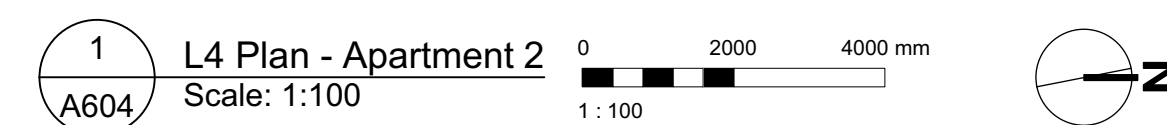
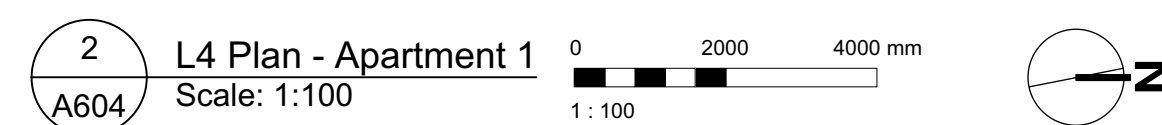
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-  1 BEDROOM
-  2 BEDROOM
-  3 BEDROOM
-  4 BEDROOM
-  ACCESSIBLE



Day	Date	Description
plot date	SEPTEMBER 1919	showing for 1907 A200 Plants.vwx
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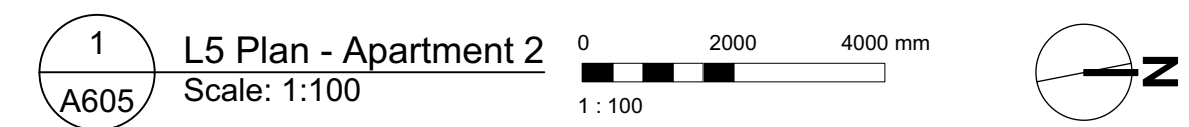
drawing title
L4 Plan - Apartments

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A604

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- GRAPHIC LEGEND:**
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-  1 BEDROOM
-  2 BEDROOM
-  3 BEDROOM
-  4 BEDROOM
-  ACCESSIBLE



NOTE: All dimensions are shown in millimeters.

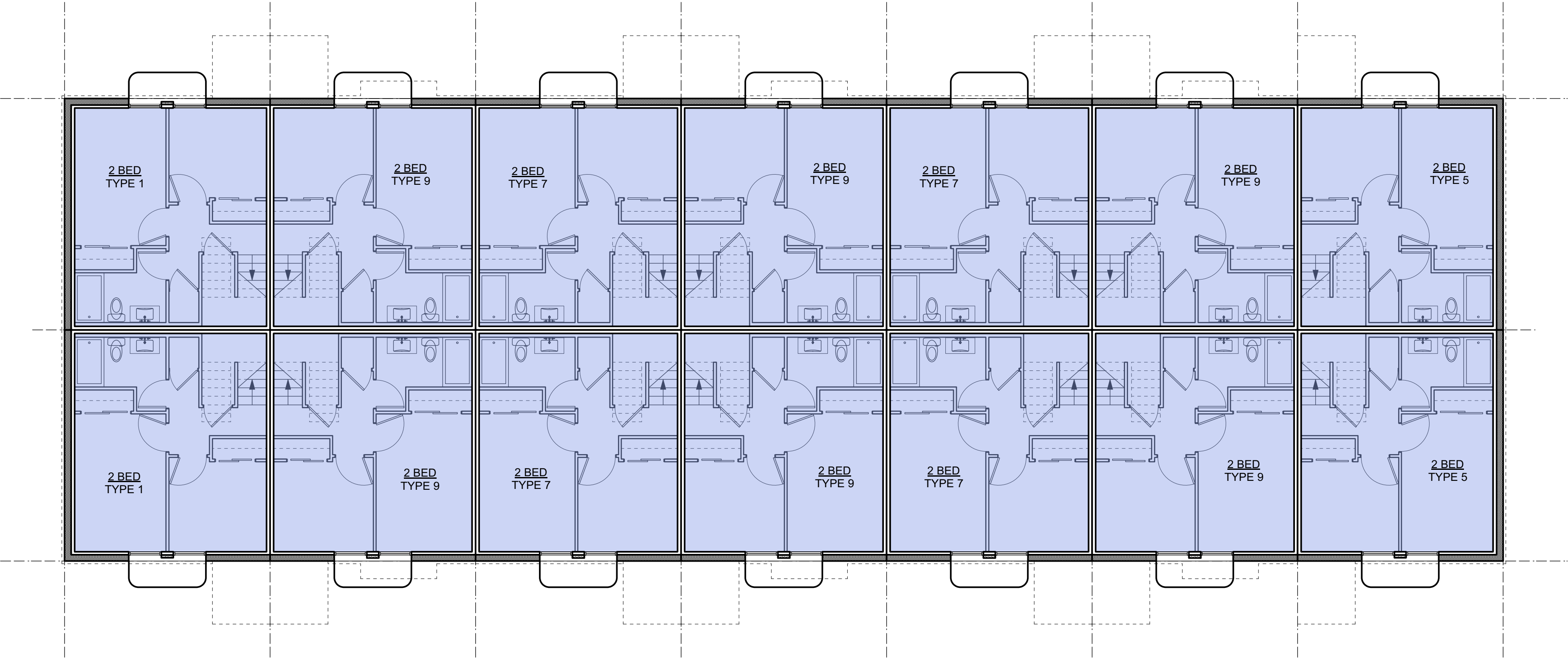
GRAPHIC LEGEND:

-  STUDIO
 1 BEDROOM
 2 BEDROOM
 3 BEDROOM
 4 BEDROOM
 ACCESSIBLE

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L5 Plan - Apartments	
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-
- The second floor plan shows a symmetrical arrangement of 12 two-bedroom units. The units are organized into two rows of six. The top row units are labeled 2 BED TYPE 1, 2 BED TYPE 9, 2 BED TYPE 7, 2 BED TYPE 9, 2 BED TYPE 7, and 2 BED TYPE 5 from left to right. The bottom row units are labeled 2 BED TYPE 1, 2 BED TYPE 9, 2 BED TYPE 7, 2 BED TYPE 9, 2 BED TYPE 7, and 2 BED TYPE 5 from left to right. Each unit includes a living area, a kitchen, a dining area, a bedroom, and a bathroom. Staircases are located at the ends of the unit rows, and a central corridor provides access to each unit.

A diagram of a circle with a horizontal radius line extending from the center to the right edge, labeled with the letter 'r'.


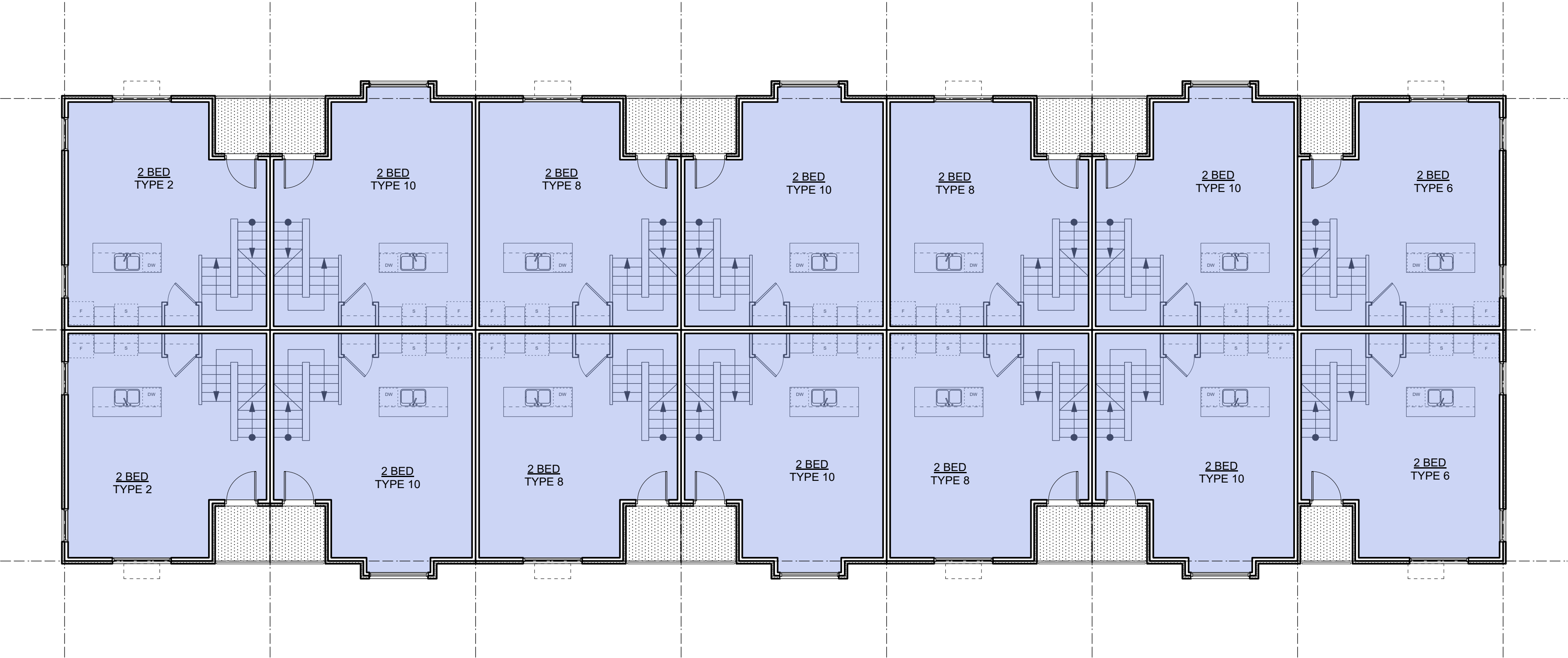



A diagram of a circle with a horizontal radius line extending from the center to the right edge, labeled with the letter 'r'.

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<p>project name</p> <h2 style="text-align: center;">Caledonia</h2> <p style="text-align: center;">Victoria BC</p>	
<p>drawing title</p> <h1 style="text-align: center;">Townhouse 1</h1>	
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<p>drawing no.</p> <h1 style="text-align: center;">A606</h1>	<p>revision no.</p> <p style="text-align: center;">-</p>

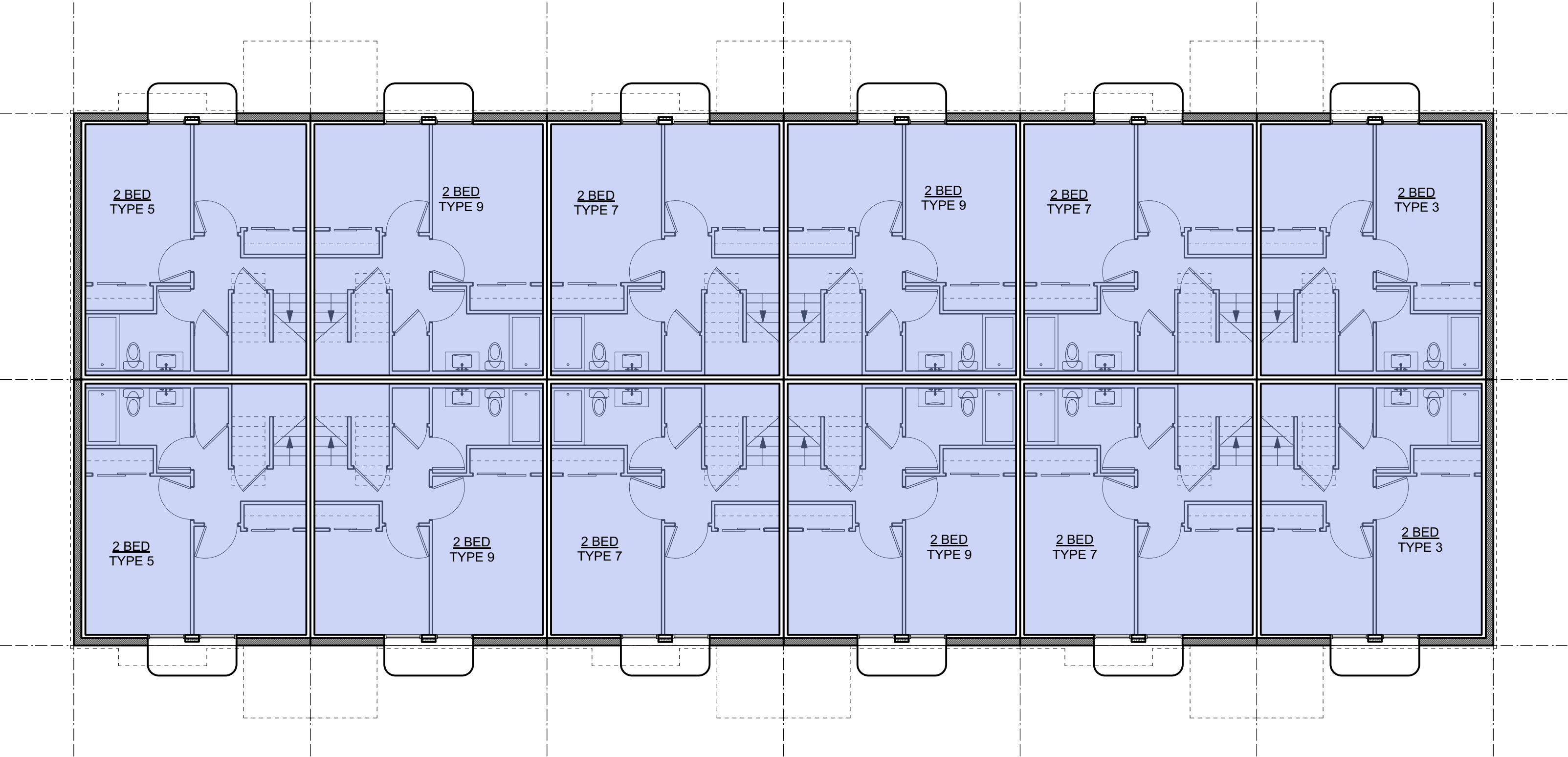
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sheet no.	-

-
- The floor plan shows a symmetrical arrangement of 12 two-bedroom units. The top row contains units labeled '2 BED TYPE 5', '2 BED TYPE 9', '2 BED TYPE 7', '2 BED TYPE 9', '2 BED TYPE 7', and '2 BED TYPE 3' from left to right. The bottom row contains units labeled '2 BED TYPE 5', '2 BED TYPE 9', '2 BED TYPE 7', '2 BED TYPE 9', '2 BED TYPE 7', and '2 BED TYPE 3' from left to right. Each unit includes a living area, a kitchen, a bathroom, and two bedrooms. Staircases are located at the ends of the unit rows, and a central corridor provides access to each unit.



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project name

Caledonia

Victoria BC

drawing title

Townhouse 2

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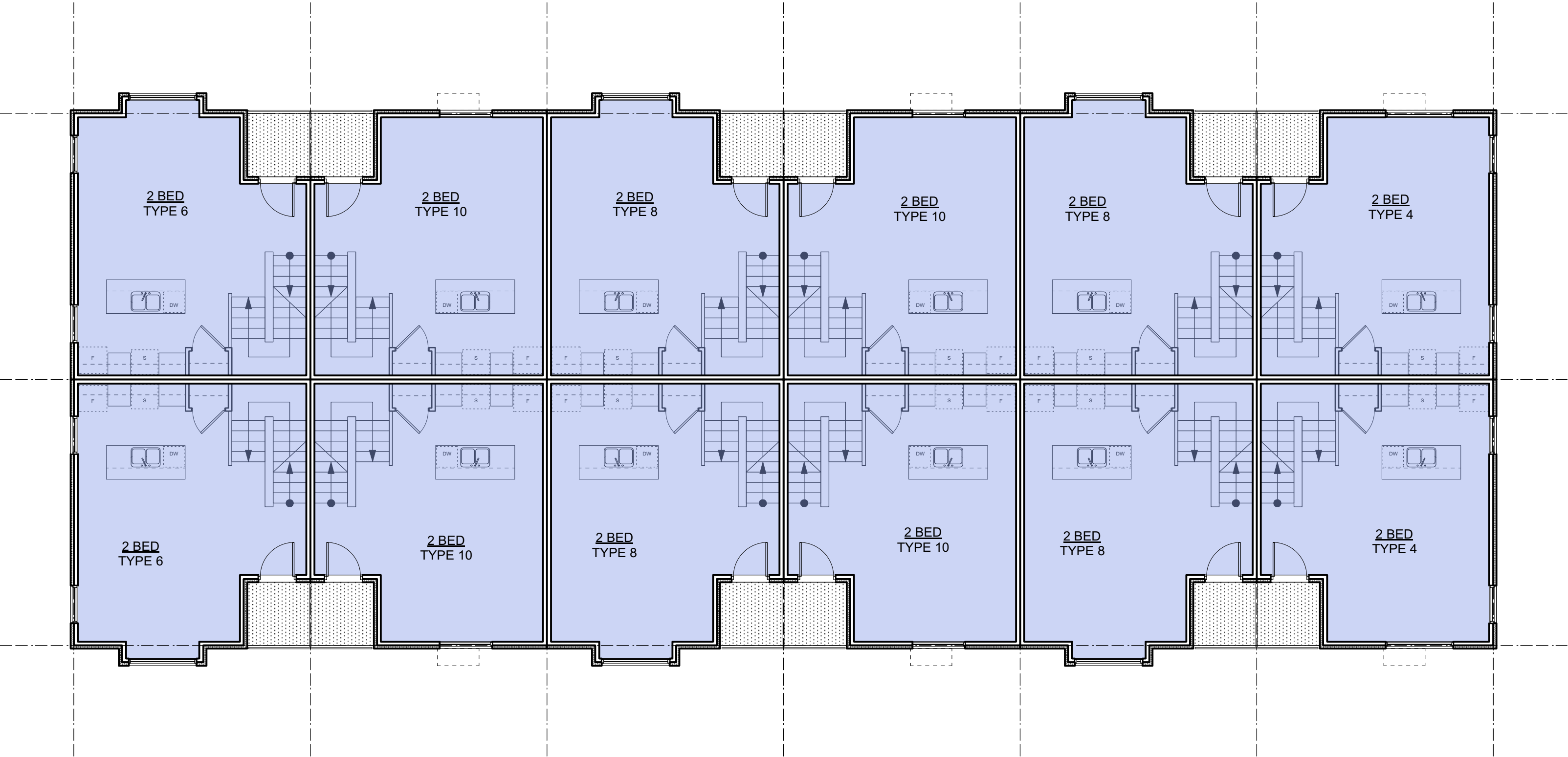
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A608

revision no.

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Project name

Caledonia

Victoria BC

Working title

Townhouse 2

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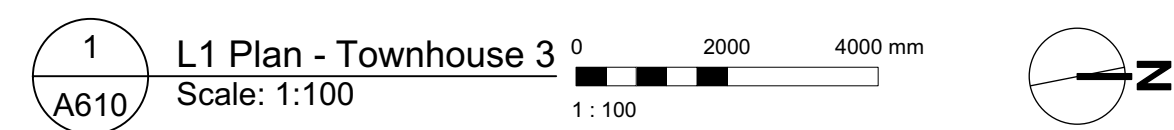
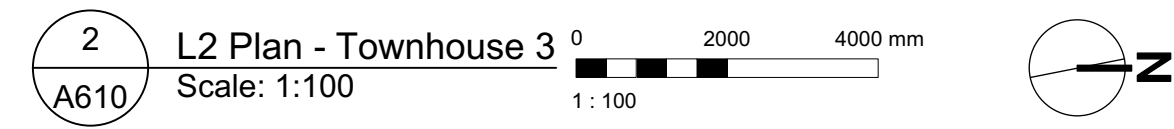
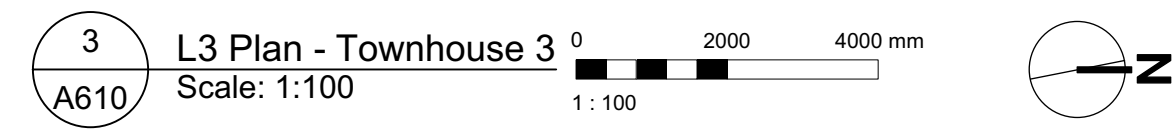
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revision no.

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 STUDIO
 1 BEDROOM
 2 BEDROOM
 3 BEDROOM
 4 BEDROOM
 ACCESSIBLE

[illegible]

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project name

Caledonia

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Victoria BC

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Townhouse 3

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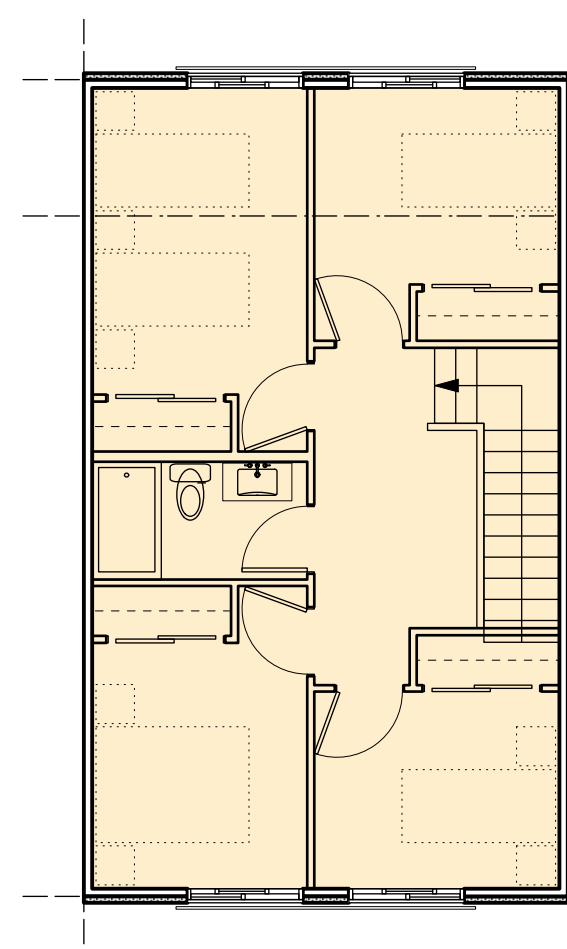
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<p>VICTORIA OFFICE 877 Furr Street Victoria BC V8T 3K3 T: 1-250-658-3367</p> <p>project name</p> <p>Caledonia</p> <p>Victoria BC</p>	<p>dHKarchitects</p> <p>NANAIMO OFFICE 212-5100 Bustin Way Nanaimo BC V9T 2K8 T: 1-250-585-5910</p>
<p>Project Name: Apartment Unit Plans</p> <p>PROJECT REQUESTED: THESE PLANS AND RESPONSES ARE AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS AND ARE NOT TO BE REPRODUCED OR COPIED FOR ANY OTHER PROJECTS AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS.</p>	
<p>A701</p>	<p>Project No: -</p>

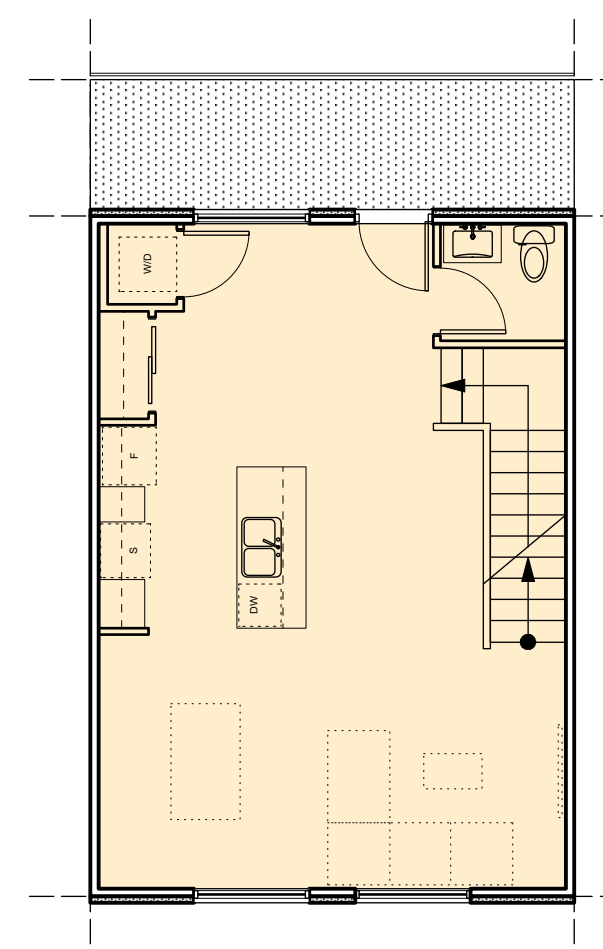
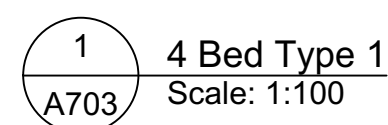
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-  STUDIO
 1 BEDROOM
 2 BEDROOM
 3 BEDROOM
 4 BEDROOM
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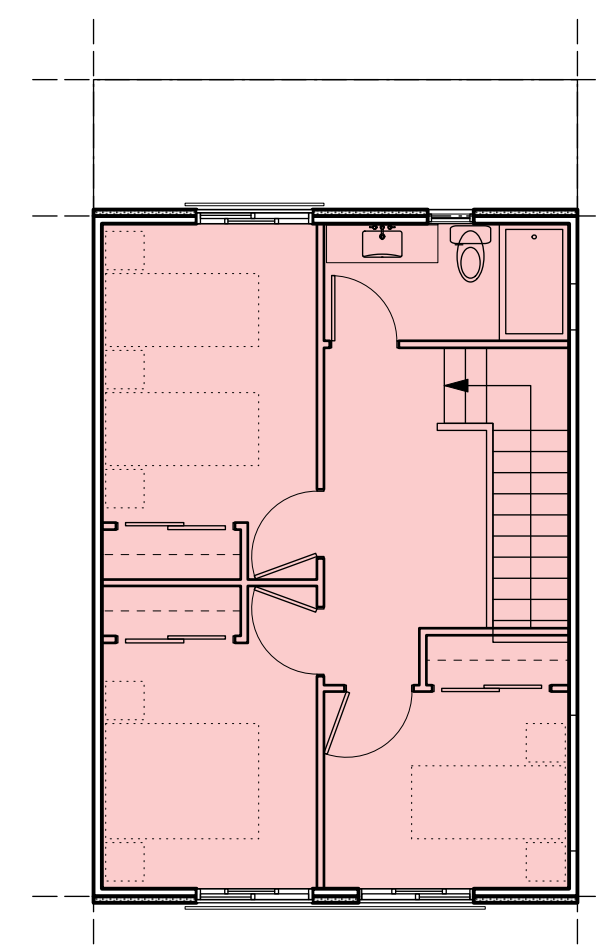


L1 - SECOND FLOOR

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QUANTITY	2

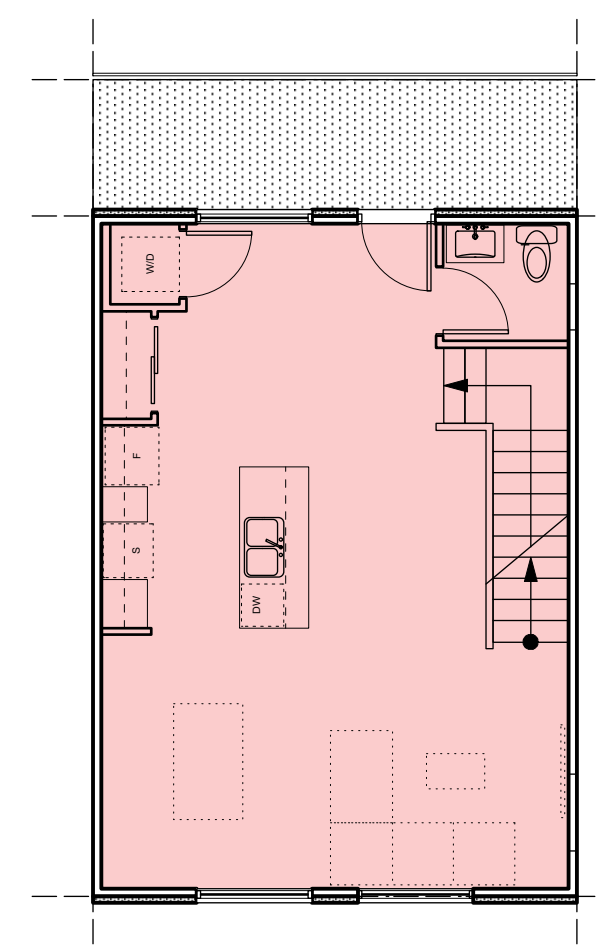
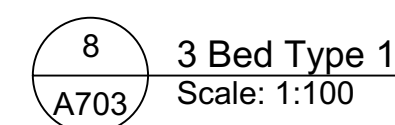


L0 - FIRST FLOOR

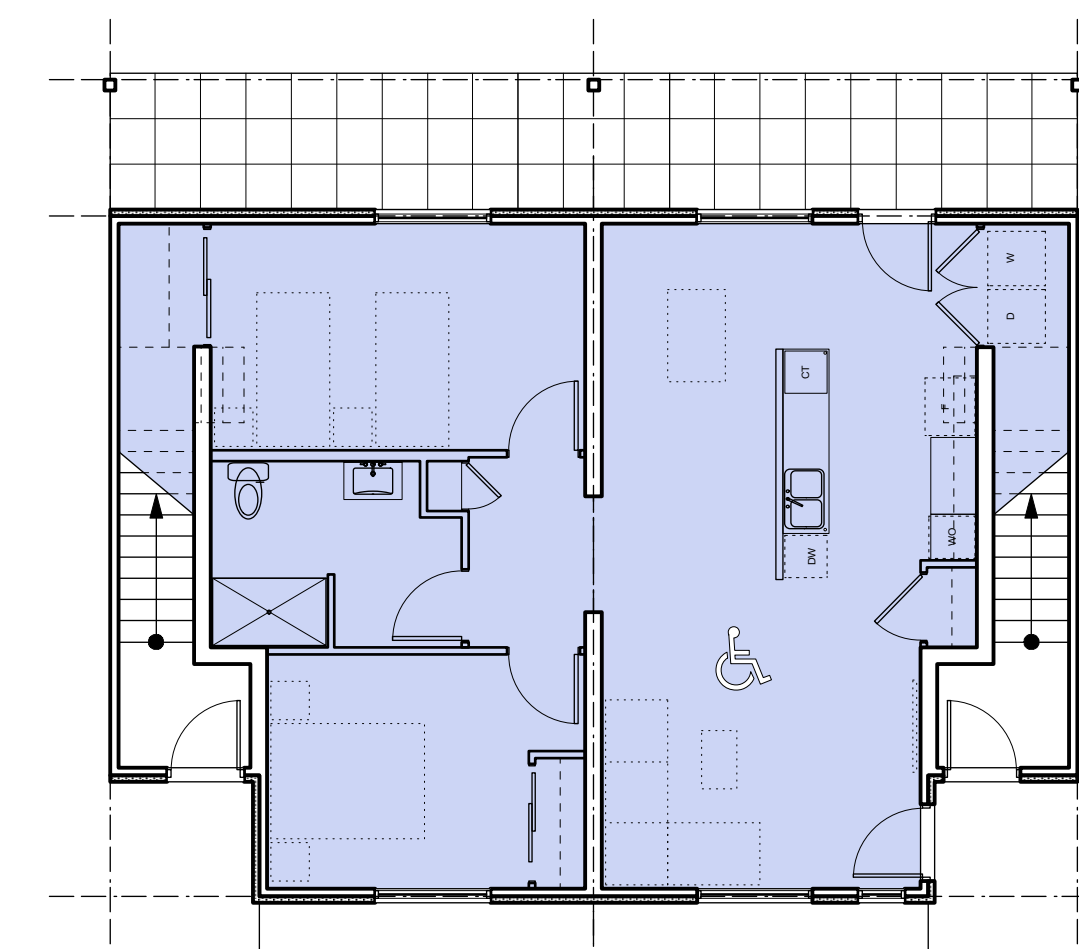


L1 - SECOND FLOOR

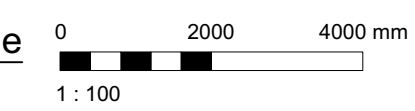
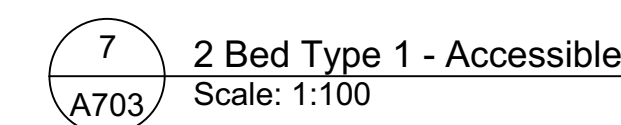
AREA 115 SM
QUANTITY 2



L0 - FIRST FLOOR



AREA 97 SM
QUANTITY 3



Day	Date	Description
print date	SEPTEMBER 09	Invoicing file 1907 A200 Plans.vox
drawn by	FWP	checked by RAW
order	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP
& REZONING

HKAarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

ANAIMO OFFICE
02-5190 Dublin Way
anaimo BC V9T 2K8
1-250-585-5810

project name

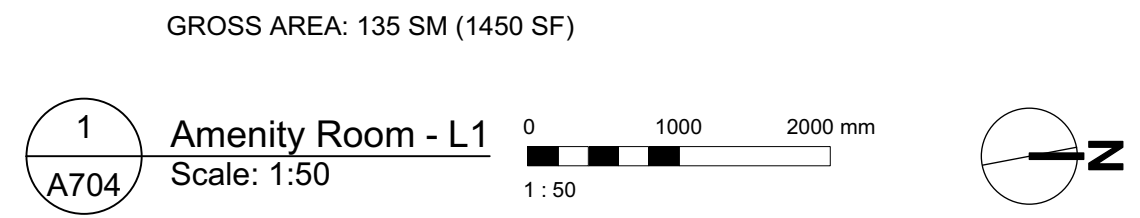
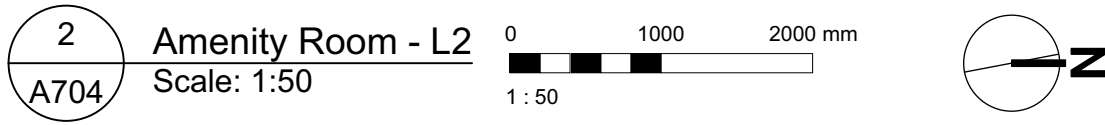
Caledonia

Victoria BC

Townhouse 3 Unit Plans

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10



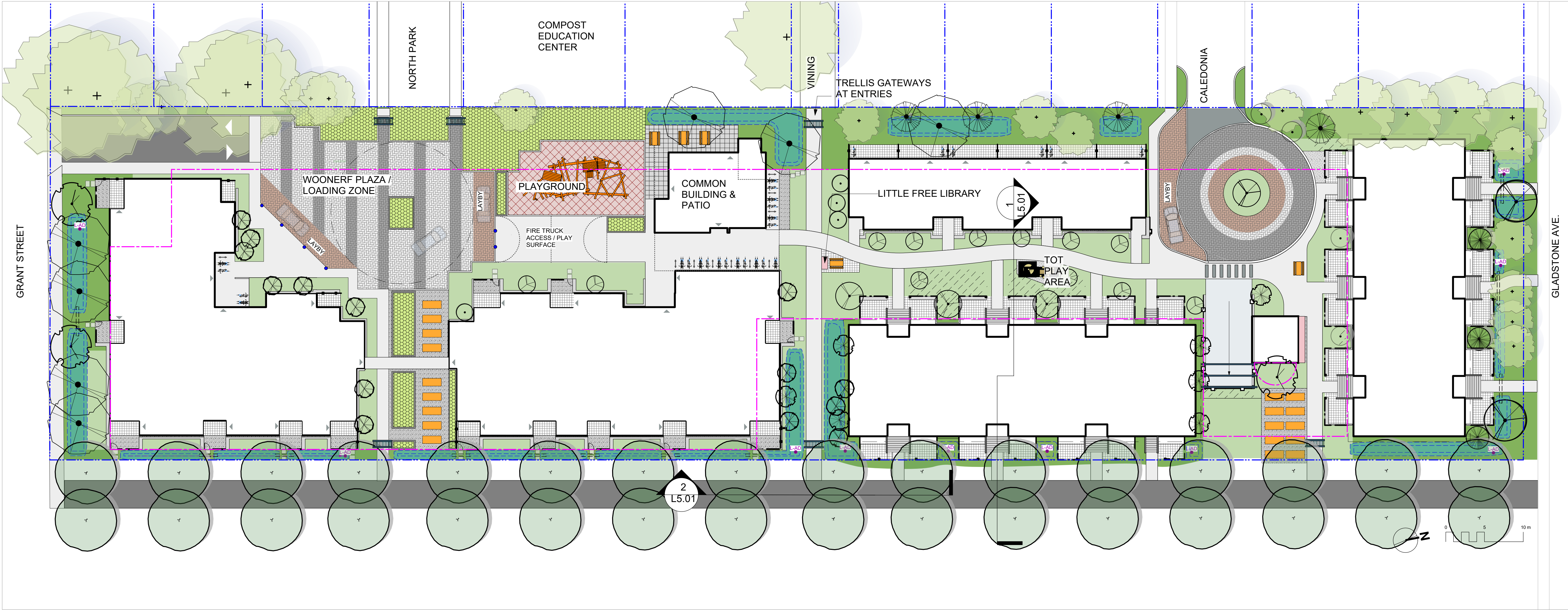
Rev	Date	Description
glst date SEPTEMBER 2019		drawing file 1907 A200 Plans.vex
FWP		RAW
shown by	checked by	
scale AS SHOWN	project number	1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP
& REZONING

<h1 style="text-align: center;">dHKharchitects</h1>	
VICTORIA OFFICE 977 Fort Street Victoria BC V8T 2K8 T 1-250-685-3367	NANAIMO OFFICE 102-5188 Dublin Way Nanaimo BC V9T 2X8 T 1-250-685-0810
project name <h2 style="text-align: center;">Caledonia</h2>	
Victoria BC	
drawing No. <h2 style="text-align: center;">Amenity Room</h2>	
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drawing No. <h1 style="text-align: center;">A704</h1>	revision No. <h1 style="text-align: center;">-</h1>

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Murdoch
de Greeff

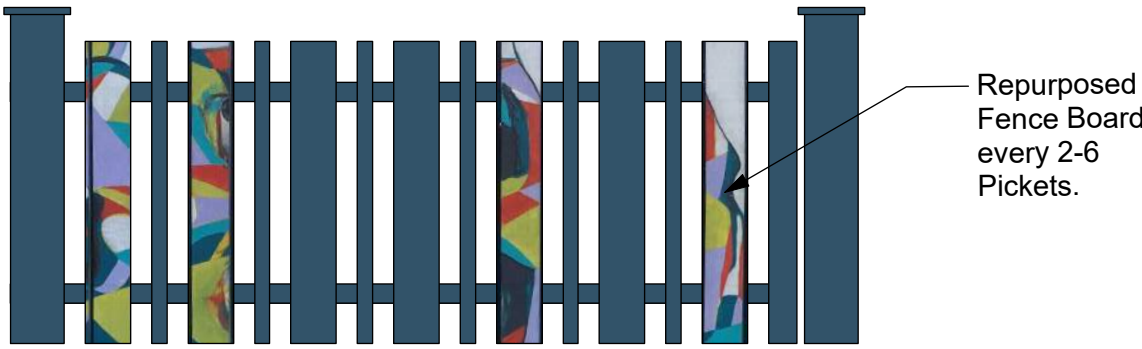
INC

Landscape Planning & Design

200 - 554 Cuthbert Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

LANDSCAPE TYPOLOGIES



Proposed Picket Fence Detail



PLAY PLACES that foster fun and creativity.



RAIN GARDENS that slow & cleanse rainwater.



PERSONAL OUTDOOR AREAS that can be modified, beautified and funkified.



GATHERING PLACES that help neighbours get to know each other and support each other.



BICYCLE FACILITIES that make it easy for people of all ages to hop on their bikes.



PLANTINGS that provide food for birds, bees and butterflies.



OUTDOOR SOCIAL SPACES for gathering and sharing food.



PLANTINGS that provide beauty and food for people.



ACTIVE PLAY SPACES that support community sports.



PUBLIC ART that celebrates Fernwood's artistic spirit.



COMMUNITY GARDEN PLOTS that boost local food security.

client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

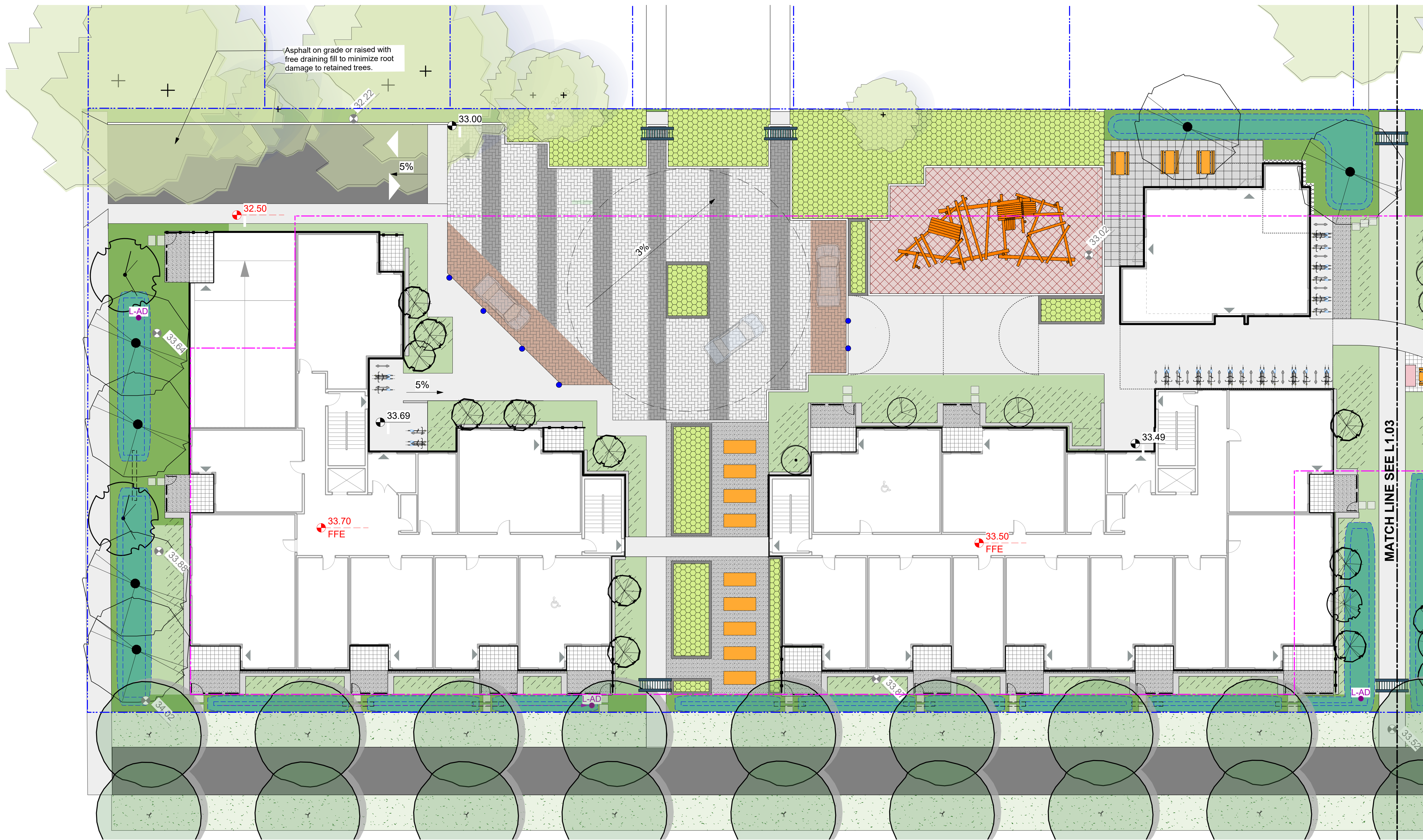
project
Caledonia
Caledonia Ave.
Victoria, BC

sheet title
**Landscape
Overview Plan**

project no. 119.18
scale 1: 250 @ 24"x36"
drawn by MDI
checked by SMPdG
revision no. sheet no.

1

L1.01



LEGEND

	Property line		Cast in Place Concrete Paving		Proposed Urban Agriculture Plantings		Trellis Gateway at Entries
	Extent of Parkade, below		Concrete Unit Paving, Type 1		Lawn Area		Picnic Table
	Rain garden - TOP OF POOL		Concrete Unit Paving, Type 2		Native Plant & Pollinator Planting Area: On Grade		Allotment Garden Box
	Rain garden - BOTTOM OF POOL		Gravel Surfacing		Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.		Raised Planter for Common Urban Agriculture
	Existing Landscape Grade		Vehicular Concrete Unit Paving		Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.		Bike Rack (2 Stalls)
	Architectural grade, provided for reference only		Asphalt Paving		Rain Garden Area		Gravel Maintenance Edge, 300mm wide.
	Proposed Landscape Grade		Rubber Playground Surfacing		Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).		
	TW Top of Wall				Critical Root Zone		
	BW Bottom of Wall				Tree Tag		
	TOC Top of Curb						
	BC Bottom of Curb						
	TP Top of Pool						
	BP Bottom of Pool						
	TS Top of Stairs						
	BS Bottom of Stairs						
	Retaining/Planter Wall						
	Retaining/Planter Seating Wall						
	Landscape Screen, 1800 mm height.						
	Wood Picket Fence, 1000 mm height.						

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

1	Rezoning/DP	19.09.26
rev no	description	date

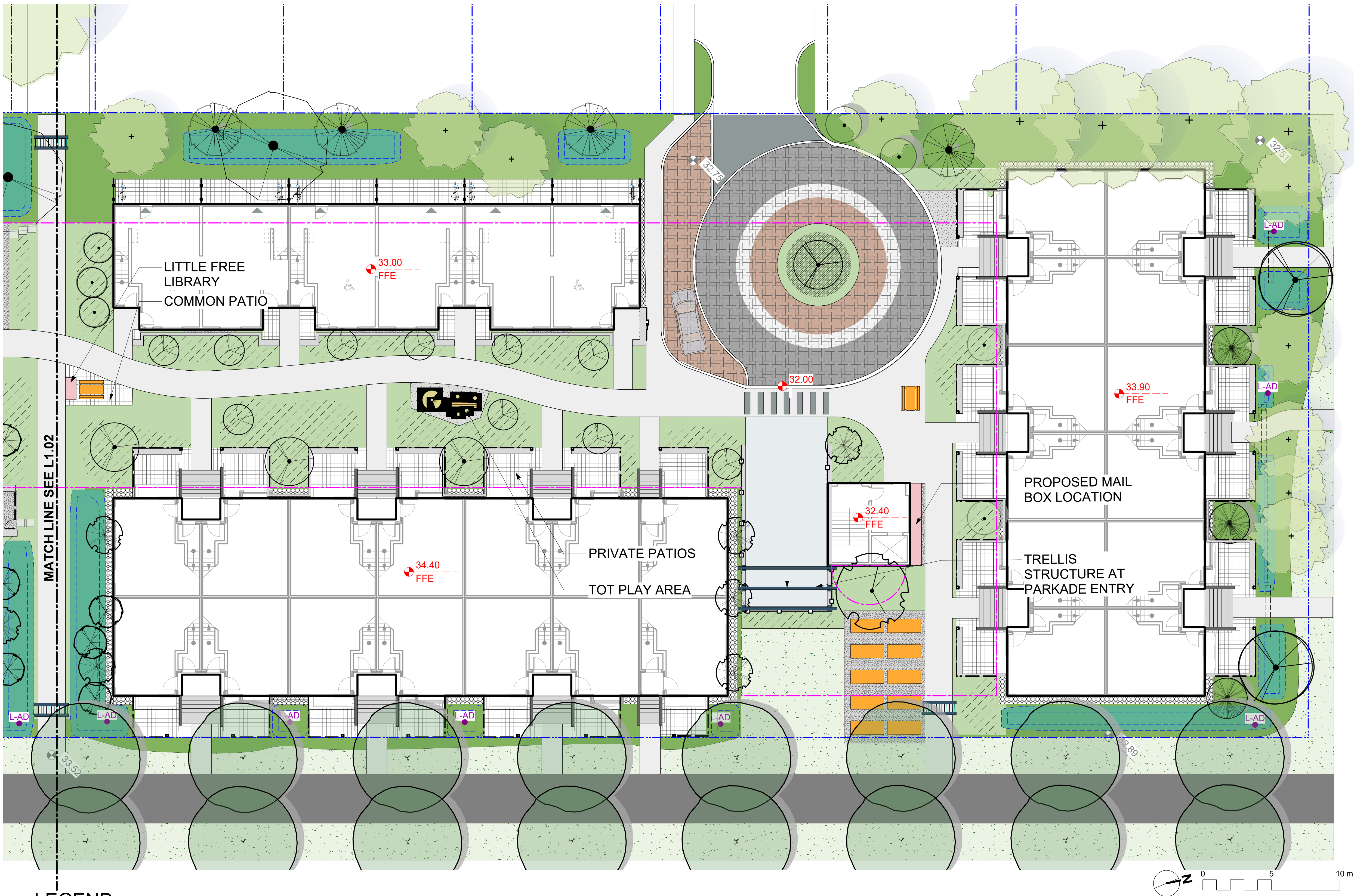
Murdoch de Greeff INC
Landscape Planning & Design
200 - 554 Cuthbert Road
Victoria, BC V8Z 1G1
Phone: 250.412-2891
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client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia
Caledonia Ave.
Victoria, BC

sheet title
Landscape Materials South

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	MDI
checked by	SM/PdG
revision no.	sheet no.
1	L1.02



LEGEND

	Property line		Cast in Place Concrete Paving		Proposed Urban Agriculture Plantings		Trellis Gateway at Entries
	Extent of Parkade, below		Concrete Unit Paving, Type 1		Lawn Area		Picnic Table
	Rain garden - TOP OF POOL		Concrete Unit Paving, Type 2		Native Plant & Pollinator Planting Area: On Grade		Allotment Garden Box
	Rain garden - BOTTOM OF POOL		Gravel Surfacing		Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.		Raised Planter for Common Urban Agriculture
	Existing Landscape Grade		Vehicular Concrete Unit Paving		Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.		Bike Rack (2 Stalls)
	Architectural grade, provided for reference only		Asphalt Paving		Rain Garden Area		Gravel Maintenance Edge, 300mm wide.
	Proposed Landscape Grade		Rubber Playground Surfacing		Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).		
	TW Top of Wall BW Bottom of Wall TOC Top of Curb BC Bottom of Curb		TP Top of Pool BP Bottom of Pool TS Top of Stairs BS Bottom of Stairs		Critical Root Zone		
	Retaining/Planter Wall				Tree Tag		
	Retaining/Planter Seating Wall						
	Landscape Screen, 1800 mm height.						
	Wood Picket Fence, 1000 mm height.						

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

1	Rezoning/DP	19.09.26
rev no	description	date

Murdoch de Greeff INC
Landscape Planning & Design
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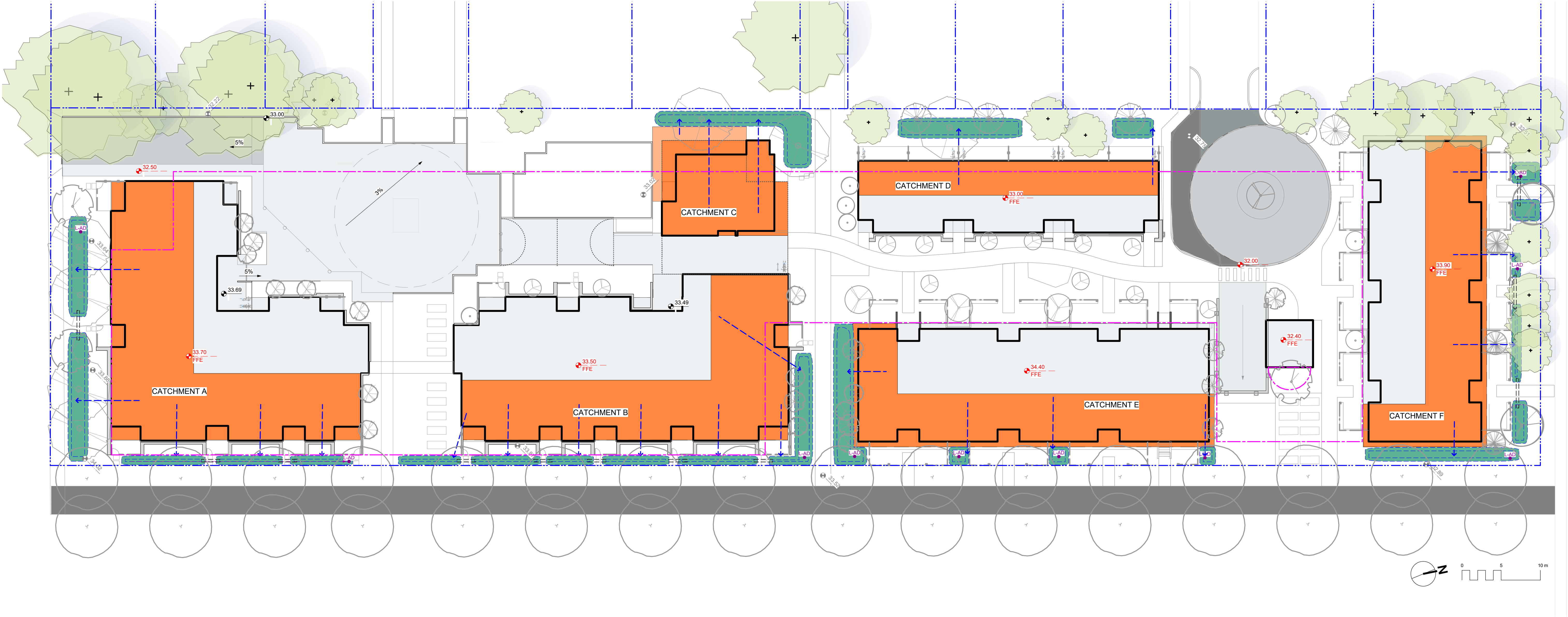
client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia
Caledonia Ave.
Victoria, BC

sheet title

Landscape Materials North

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	MDI
checked by	SM/PdG
revision no.	sheet no.



Rain Garden Capacity Calculations

Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Area	Rain Garden Capacity	Excess (+) or Deficient (-) Capacity	Soil Volume
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(cu. m./day)	(cu.m./day)	(cu.m.)
Catchment A	528.0	26.4	0.60	0.8	50.0	37.5	11.1	30.0
Catchment B	450.0	22.5	0.60	0.8	30.0	22.5	0.0	18.0
Catchment C	215.0	10.8	0.60	0.8	34.0	25.5	14.8	20.4
Catchment D	170.0	8.5	0.60	0.8	33.0	24.8	16.3	19.8
Catchment E	365.0	18.3	0.60	0.8	36.0	18.5	0.3	21.6
Catchment F	355.0	17.8	0.60	0.8	33.0	24.8	7.0	19.8
total	2083.0	104.2			216.0	153.5	49.4	129.6

Assumptions

- Design storm is a 2 year storm event which equals 5 cm of water, in a 24 hr period.
- Rain Garden design based on 150 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2 cm/hour (or 48 cm per day), via perforated underdrain.

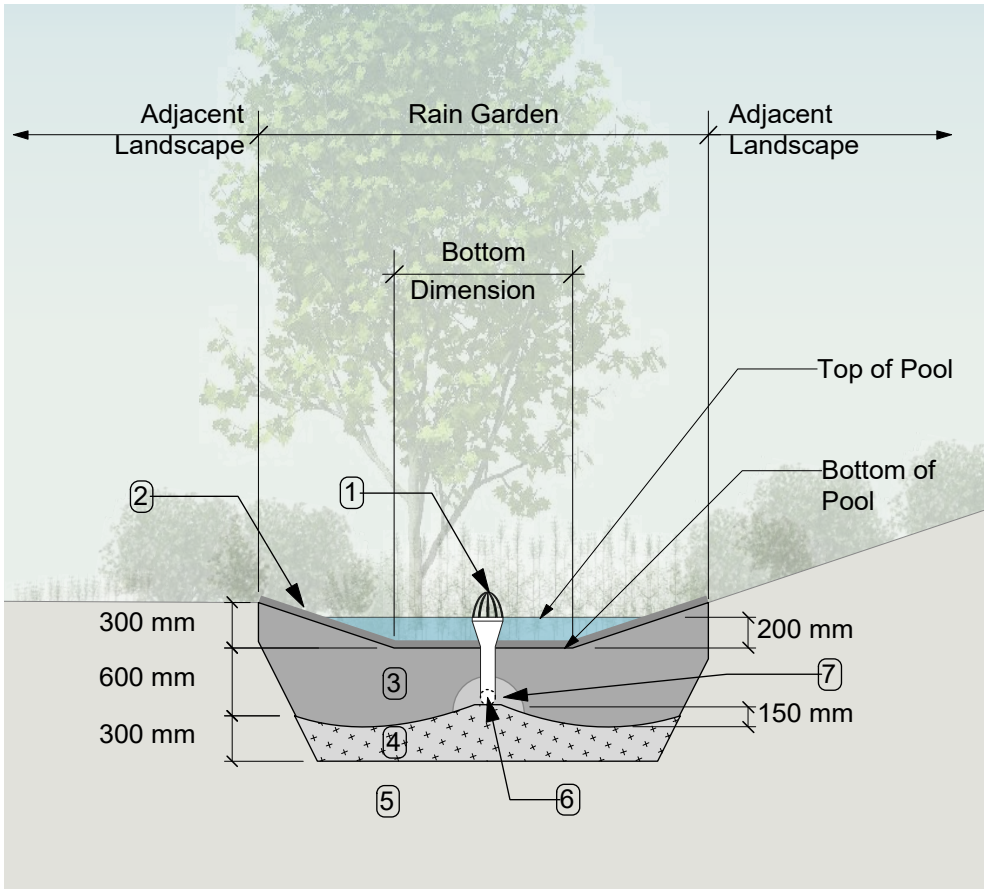
RAIN WATER MANAGEMENT NOTES

Water collected from portions of the building roofs flow to the rain gardens located throughout the site. Rain gardens have been situated on-grade.

Rain gardens are designed to capture, slow flows, and treat runoff. Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system. The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area.

Walkways will be sloped to drain to adjacent absorbant landscape. Larger paved areas such as driveways and turnarounds will be drained directly to the storm system.

Portions of the roof which cannot be easily connected to rain gardens will be drained directly to the storm system. The roof catchments are shown schematically and will be refined during detailed design.



RAIN GARDEN MATERIALS

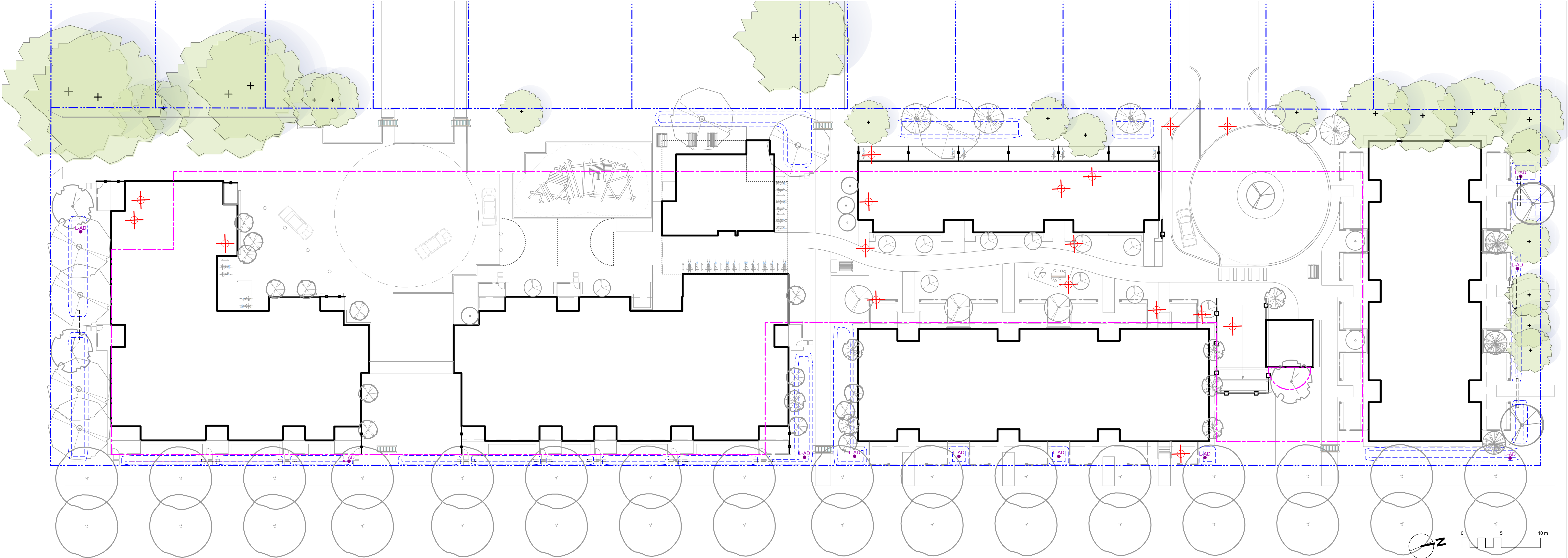
- Overflow drain, 200 mm domed grate + adapter
- Composted mulch, 50-70 mm depth
- Bio-retention growing medium, 600 mm depth
- Scarified/tilled subgrade, 300 mm depth
- Existing subgrade/native material
- 100 mm diameter (min) perforated pipe
- 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50

LEGEND

- Property line
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Existing Landscape Grade
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- TW Top of Wall TP Top of Pool
- BW Bottom of Wall BP Bottom of Pool
- TOC Top of Curb TS Top of Stairs
- BC Bottom of Curb BS Bottom of Stairs
- Rain Garden on Grade
- Roof Drains to Rain Garden
- Roof / Road / Hardscape Drains Directly to Storm System
- Flow Path (Schematic)
- Rain Garden Overflow Drain
- Culvert Rain Garden Connection

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- DRAWING NOTES**
1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 2. All plan dimensions in metres and all detail dimensions in millimetres.
 3. Plant quantities on Plans shall take precedence over plant list quantities.
 4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 7. Landscape installation to carry a 1 year warranty from date of acceptance.
 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

LEGEND

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- Existing Tree for Retention
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).
- Existing Tree to be Removed
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).

TREE REPLACEMENT SUMMARY

See Arborist's Report for retained / removed tree inventory, protected root zones and tree conditions.

BYLAW-PROTECTED TREES TO BE REMOVED: 0

PROPOSED TREES (SEE PLANTING PLAN): 97

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Murdoch de Greeff INC
Landscape Planning & Design

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client
CRD Housing Corporation
631 Fisgard Ave.
Victoria, BC

project
Caledonia
Caledonia Ave.
Victoria, BC

sheet title
Tree Retention & Removal Plan

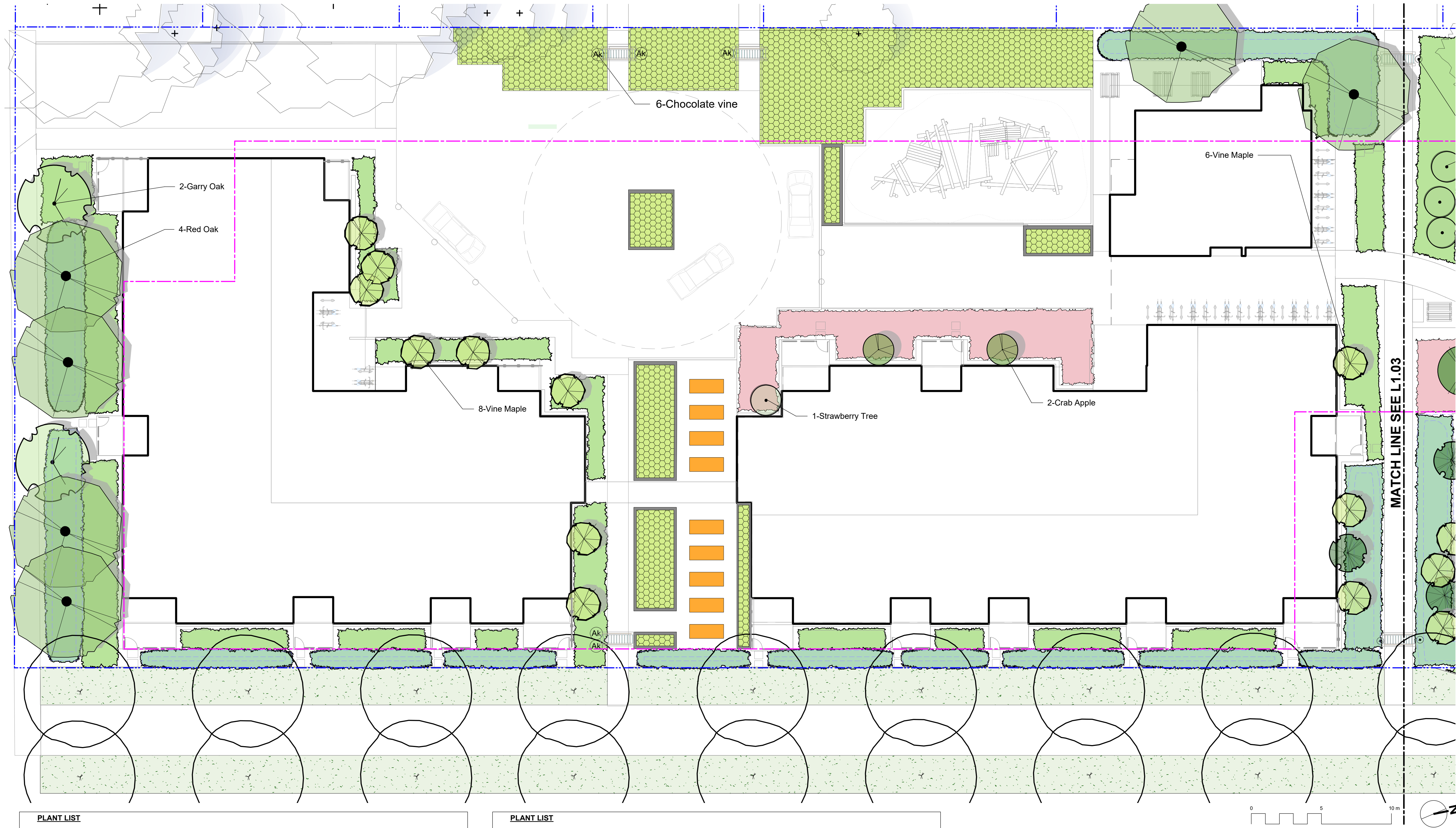
project no. 119.18

scale 1: 250 @ 24"x36"

drawn by MDI

checked by SM/PdG

revision no. sheet no.



- BOULEVARD PLANTING NOTES**
1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
 2. Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
 3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
 4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
 5. Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
 6. Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
 7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

- GENERAL PLANTING NOTE**
1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

- ON-SLAB TREE PLANTING NOTES**
1. For on-slab landscape and rain planter installations, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier in most applications.
 2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
 3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas:
a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES:			
14	Acer circinatum	Vine Maple	1.5 m ht.
4	Arbutus unedo	Strawberry Tree	1.2 m ht, b&b
3	Calocedrus decurrens	Incense Cedar	1.5 m ht,b&b
2	Cercidiphyllum japonicum	Katsura Tree	5.0cm cal, b&b
2	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.2 m ht, b&b
3	Cornus mas 'Golden Glory'	Cornelian Cherry Dogwood	4.0 cm cal, b&b
2	Ficus carica 'Mission'	Black Mission Fig	#10 pot
12	Malus 'Sugar tyme'	Crab Apple	#10 pot, Min 1.2m ht
2	Oxydendrum arboreum	Sourwood Tree	multistem, 1.5m ht, b&b
7	Picea omorika	Serbian Spruce	1.5m ht, b&b
32	Platanus acerifolia	London Planetree	4.0 cm cal, b&b
4	Pseudotsuga menziesii	Douglas Fir	1.5m ht, b&b
3	Quercus garryana	Garry Oak	4.0cm cal, b&b
7	Quercus rubra	Red Oak	5.0cm cal, b&b
HERB & POLLINATOR PLANTINGS			
Ana	263	Aster novae-angliae	New England Aster
Cx	25	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
Ep	299	Echinacea purpurea	Purple Coneflower
Lws	241	Lavandula x intermedia 'White Spike'	White Spike Lavandin
Oi	25	Origanum laevigatum 'Herrenhausen'	Garden Oregano
Rrs	299	Rosa rugosa 'Schneekoppe'	Snow Pavement Rose
Rof	59	Rosmarinus officinalis	Rosemary
Rf	299	Rudbeckia fulgida	Black-Eyed Susan
Sam	263	Salvia ' sylvestris 'Mainacht'	May Night Salvia
Sio	25	Salvia officinalis	Culinary Sage
St	324	Stipa tenuissima	Mexican Feathergrass
Vsb	25	Vaccinium 'Sunshine Blue'	Blueberry
VINES			
Ws	4	Wisteria sinensis	Wisteria Vine
Ak	6	Akebia quinata	Chocolate vine
Jn	4	Jasminum nudiflorum	Winter Jasmine
Pac	2	Passiflora caerulea	Blue Passionflower

PLANT LIST			
Sym	Qty	Botanical Name	Common Name
RAIN GARDEN PLANTS:			
Co	845	Carex obnupta	Slough Sedge
Csc	92	Cornus sericea	Red-twig Dogwood
Csk	376	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood
Jcg	845	Juncus 'Carmen's Grey'	Soft Common Rush
Spn	23	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow
Sd	23	Spiraea douglasii	Hardhack
NATIVE & EDIBLE SHRUB PLANTINGS			
Fve	208	Fragaria vesca	Woodland Strawberry
Gsh	462	Gaultheria shallon	Salal
Mn	132	Mahonia nervosa	Oregon Grape Holly
Myc	110	Myrica californica	Pacific Wax Myrtle
Oo	321	Oxalis oregana	Redwood Sorrel
Phi	50	Philadelphus lewisii	Mock Orange
Pm	625	Polystichum munitum	Sword Fern
Ruc	208	Ribes uva-crispa	Gooseberry
Rn	163	Rosa nutkana	Nootka Rose
Sd	50	Spiraea douglasii	Hardhack
Sa	163	Symphoricarpos alba	Snowberry
Vo	114	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry
Vh	321	Vancouveriana hexandra	Inside-out Flower

PLANTING LEGEND

NATIVE SHRUB PLANTINGS

- Sword Fern
- White Spike Lavandin
- Evergreen Huckleberry
- Salal

RAIN GARDEN PLANTINGS

- Soft Common Rush
- Hardhack
- Slough Sedge
- Dwarf Arctic Blue Leaf Willow
- Red-twig Dogwood
- Dwarf Red-twigged Dogwood

URBAN AGRICULTURE ZONE

- Plantings to be designed & managed by Community Partner, Volunteers and Residents.

ALLEOTMENT GARDEN BOX

-

HERBS & POLLINATOR PLANTINGS

- Purple Coneflower
- Black-Eyed Susan
- New England Aster
- May Night Salvia
- Snow Pavement Rose
- Mexican Feathergrass
- Feather Reed Grass
- Blueberry
- Rosemary
- Culinary Sage
- Garden Oregano

SHADY NATIVE & EDIBLE PLANTINGS

- Salal
- Oregon Grape Holly
- Gooseberry
- Sword Fern
- Hardhack
- Woodland Strawberry
- Mock Orange
- Evergreen Huckleberry
- Redwood Sorrel
- Inside-out Flower

LAWN AREA

-

SCREENING HEDGE

- Pacific Wax Myrtle

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1	Rezoning/DP	19.09.26
rev no	description	date



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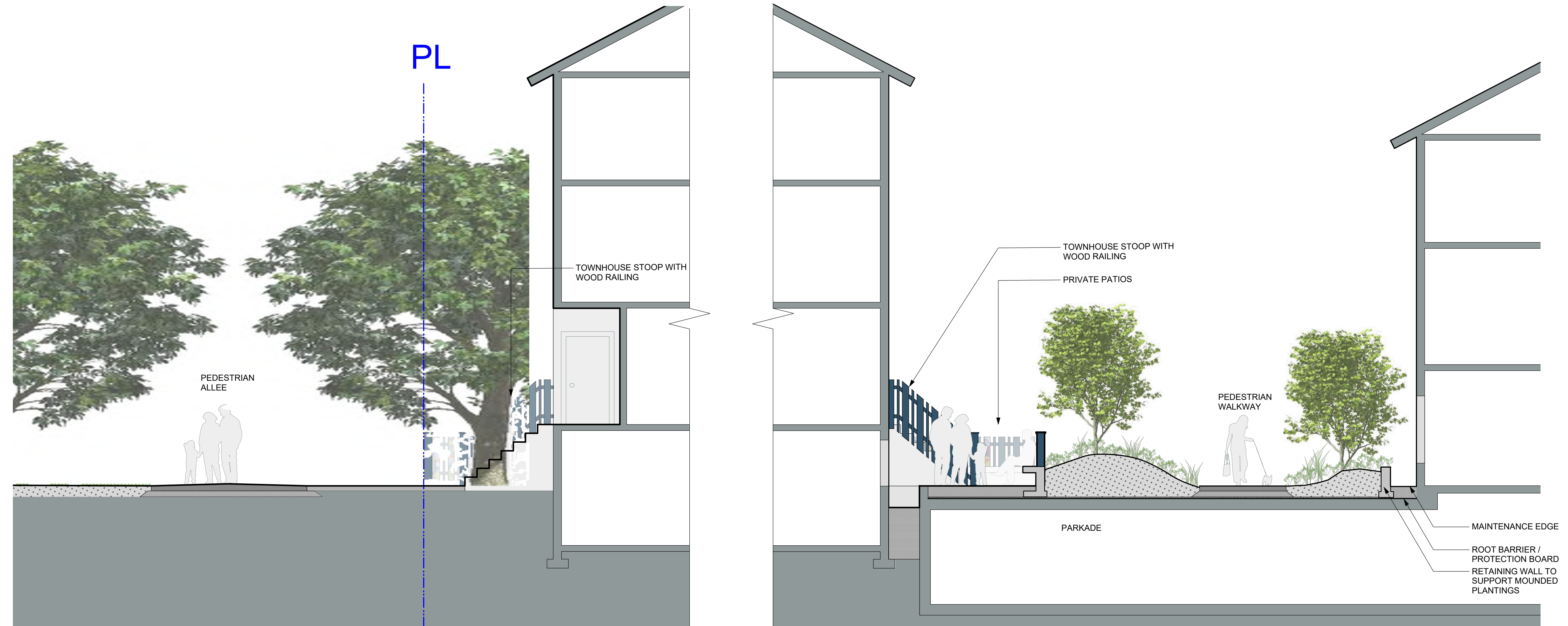
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project
Caledonia
Caledonia Ave.
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sheet title
Planting Plan South

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	MDI
checked by	SM/PdG
revision no.	sheet no.



1 Section at Pedestrian Allee and Townhouses
Scale: 1:50



2 Section at Pedestrian Walkway
Scale: 1:50

NOT FOR CONSTRUCTION

rev no	description	date
1	Rezoning/DP	19.09.26



client
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project
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sheet title
Landscape Sections

project no.	119.18
scale	1: 250 @ 24"x36"
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revision no.	sheet no.

1 **L5.01**