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Architectural

A0.1	Survey
A0.2	Zoning Area Diagrams & Average Grade
A0.3	Shadow Analysis
A0.4	Context Elevations
A0.5	Rendered Views
A0.10	Building Code Information
A1.0	Site Plan
A2.0	P1 Plan
A2.1	Level 1
A2.2	Levels 2 to 4
A2.3	Level 5
A2.4	Level 6
A2.5	Roof
A4.0	East Wing • East and West Elevations
A4.1	North and South Elevations
A4.2	West Wing • East and West Elevations
A5.0	Building Sections

Landscape

L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Replacement
L0.03	Stormwater Management
L1.01	Landscape Materials L1
L1.03	Landscape Materials L5 & L6
L2.01	Landscape Grading & Drainage
L3.01	Planting

Civil

C1.0	Existing Site Plan and Demolition Plan
C1.1	Site Servicing Plan
C1.2	Surface Works
C1.3	Civil Details

DAUSTUDIO
architecture + urbanism

CITY OF VICTORIA
Revisions
Received Date:
March 3, 2026

Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

DDP Resubmission
26/02/06

2026-02-06 5:17:53 PM

DETAIL OF PROPOSED LOT A, BEING PART OF PROPOSED SUBDIVISION OF LOT C, SECTION 4, VICTORIA DISTRICT, PLAN 25164.

BCGS MAP SHEET 92B.044

0 2 4 6 8 10 12

The intended plot size of this plan is 864mm in width by 610mm in height (D-Size) when plotted at a scale of 1:300.

All distances and elevations are in metres and decimals thereof, unless otherwise noted.

Elevations are referred to the CGVD28 Datum and are derived from Control Monument 7120010 with an elevation of 19.714 metres.

Contours are at 0.5 metre intervals.

The field survey represented by this plan was completed on the 1st day of April, 2022.

The following non-financial charges are shown on the current Certificate of Title and may affect the property:

M76301 - Underground Rights
172619G - Right of Way
193235 - Right of Way
A16213 - Right of Way
CA7215497 - Statutory Right of Way
CA7215637 - Statutory Right of Way
CA7215405 - Covenant

LEGEND

- denotes Control Monument found
- denotes Land Plug found
- denotes Standard Iron Post found
- denotes Catch Basin
- denotes Hydrant
- denotes Manhole
- denotes Sign Post
- denotes Lamp Post
- 100 denotes Building Corner Elevation
- 100 denotes Sill Elevation
- denotes Tree - Coniferous
- denotes Tree - Deciduous
- 101 denotes Tree Tag Number
- denotes Utility Pole
- denotes Structure
- denotes Right of Way
- denotes Eaves
- denotes Roof
- denotes Fence
- denotes Baseline
- denotes Dripline
- denotes Curb
- denotes Gutter
- denotes Retaining Wall
- denotes Edge of Concrete

NOTE: SRW Plan EPP145259 is unregistered

This document shows the relative location of the surveyed buildings and features with regard to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Feature labels are descriptive. The user is encouraged to refer to the appropriate land use bylaw for specific feature definitions.

Polaris Land Surveying 2024 Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

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Toll Free: (877) 900 7260
Telephone: (250) 412 3613
info@plsi.ca
www.plsi.ca

This site plan is Certified Correct in accordance with the Practice of Land Surveying as of the 1st day of April, 2025.

Jordan Lillie
N4UKQ9
2025.12.30 16:07:38
-08'00'

Jordan Elliot Lillie, BCLS 996
This document is not valid unless digitally signed.

Date: 2024-07-19
File: 3000-01
Drawing: 3000-03-PRSUB-LOT_A.dwg
Layout: Lot A

DAU

REGISTERED ARCHITECT
JOE BAIRSTOW
BRITISH COLUMBIA

2026/02/26

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General Notes

1. General information, dimensions & specifications on these drawings are subject to confirmation and are not to be used as part of construction concept documentation.
2. Refer to landscape architectural drawings for paving and plant materials information.
3. Refer to civil/engineering c/s servicing drawing for utilities and footings design information.
4. For typofy parking pad dimensions refer to drawing A2.1 + Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made to this revision issued for the above revision date. For a full list of revisions made to this revision, please refer to the Revision Letter and TRG Comment Response document provided with this resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

rev no.	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/11

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project name
Evergreen DA-D
(Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Survey

project no.	2442
scale	As indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A0.1

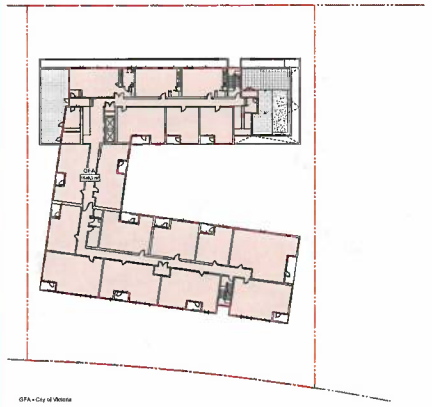
DAU

GFA = City of Victoria

1 Level 1 - Floor Area Plan
1 : 400

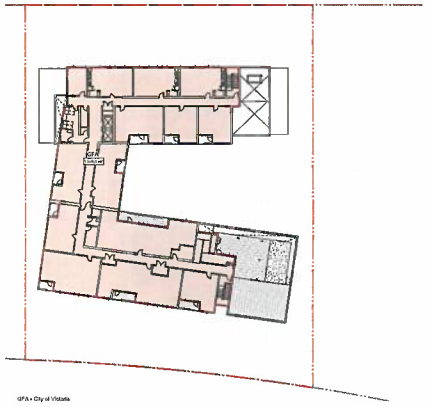
GFA = City of Victoria

2 Level 2 to 4 - Floor Area Plan
1 : 400



GFA = City of Victoria

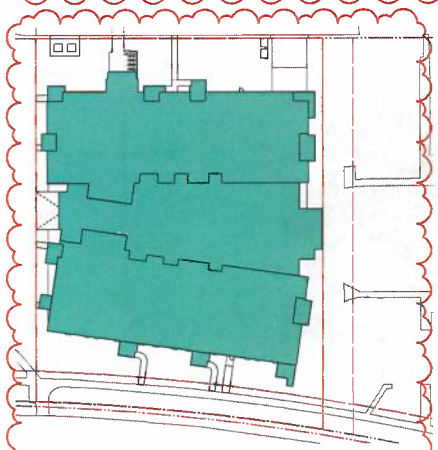
3 Level 5 - Floor Area Plan
1 : 400



GFA = City of Victoria

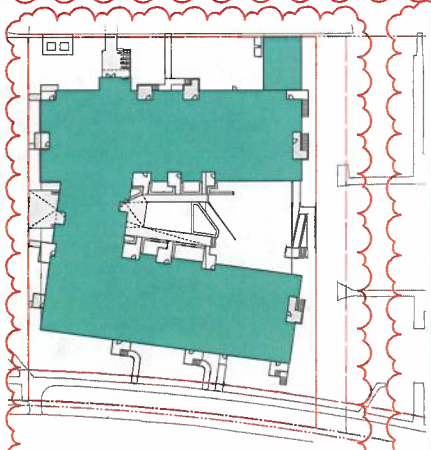
4 Level 6 - Floor Area Plan
1 : 400

GFA (City of Victoria)	
Roof Plaza	0,0 m²
Level 1	1166,8 m²
Level 2	1112,8 m²
Level 3	1112,8 m²
Level 4	1112,8 m²
Level 5	1329,2 m²
Level 6	0,0 m²
Grand total	5833,3 m²



6 Level 1 - Site Coverage
1 : 400

Site Coverage = Area of Structure / Site Area = 3737,2m² / 4336,93m² = 85,72%

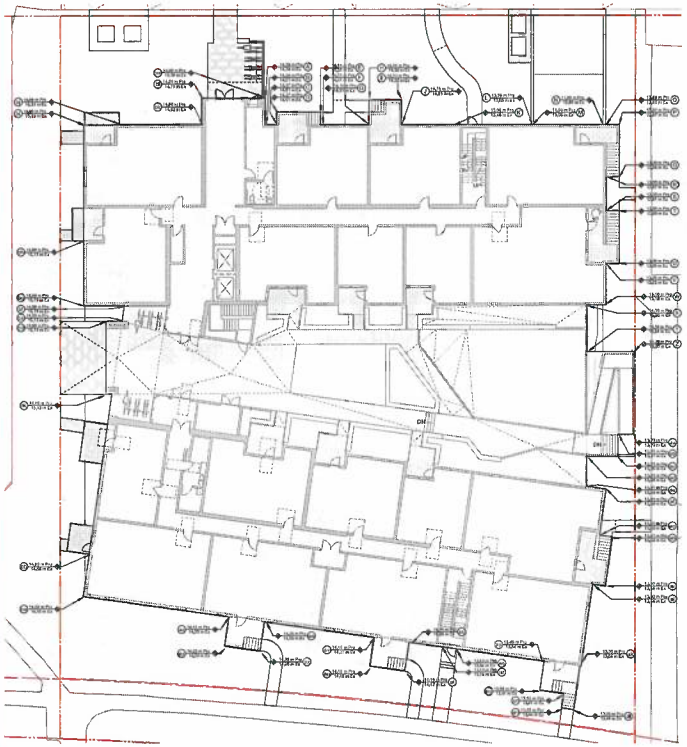


5 Level 1 - Open Space
1 : 400

Open Space Calculation
As Built: 1870,00m² +
Parking (Ramp): 83,36m² +
TOTAL: 2953,36m²

Lot Area: 4336,90m² -
Bldg + Parking: 2083,36m²
OPEN SITE SPACE: 2253,14m²

Open Site Space: 2253,14m² /
Lot Area: 4336,90m²
OPEN SITE SPACE: 52,0%



GF	Grade Line	Internal	Average Grade	Distance (m)	Subtotal
A	58,14	A-1	58,14	7,62	443,03
B	58,08	B-C	58,08	1,22	71,15
C	58,07	C-D	58,07	3,05	177,21
D	58,07	D-E	58,06	6,40	371,58
E	58,05	E-F	58,05	1,22	70,86
F	58,05	F-G	58,05	4,87	282,64
G	58,05	G-H	58,05	1,82	105,75
H	58,05	H-I	58,05	3,65	211,92
I	58,05	I-J	58,05	1,82	105,77
J	58,05	J-K	58,05	1,82	105,76
K	58,05	K-L	58,05	3,05	177,08
L	58,05	L-M	58,05	3,65	211,92
M	58,06	M-N	58,06	7,62	442,48
N	58,08	N-O	58,08	6,40	371,84
O	58,09	O-P	58,09	3,05	177,27
P	58,07	P-Q	58,08	1,22	70,89
Q	58,08	Q-R	58,08	1,82	105,74
R	58,07	R-S	58,08	1,22	70,89
S	58,08	S-T	58,08	1,22	70,89
T	58,08	T-U	58,08	1,22	70,89
U	58,08	U-V	58,08	1,22	70,89
V	58,08	V-W	58,08	1,82	105,74
W	58,08	W-X	58,10	1,82	105,78
X	58,09	X-Y	58,17	4,87	283,18
Y	58,24	Y-Z	58,17	4,87	283,18
Z	58,30	Z-aa	58,30	0,61	35,58
aa	58,30	aa-ab	58,30	1,82	106,05
ab	58,29	ab-ac	58,30	2,92	170,25
ac	58,28	ac-ad	58,28	3,65	212,72
ad	58,28	ad-ae	58,28	3,65	212,72
ae	58,28	ae-af	58,28	1,22	71,14
af	58,28	af-ag	58,27	4,87	283,71
ag	58,26	ag-ah	58,26	1,22	71,08
ah	58,26	ah-ai	58,26	4,87	283,69
ai	58,25	ai-aj	58,25	1,22	71,06
aj	58,25	aj-ak	58,25	4,87	283,67
ak	58,24	ak-al	58,24	1,22	71,05
al	58,24	al-am	58,24	4,87	283,65
am	58,23	am-an	58,23	1,22	71,03
an	58,23	an-ao	58,23	4,87	283,63
ao	58,22	ao-ap	58,22	1,22	71,02
ap	58,22	ap-aq	58,22	4,87	283,61
aq	58,21	aq-ar	58,21	1,22	71,00
ar	58,21	ar-as	58,21	4,87	283,59
as	58,20	as-at	58,20	1,22	70,99
at	58,20	at-au	58,20	4,87	283,57
au	58,19	au-av	58,19	1,22	70,97
av	58,19	av-aw	58,19	4,87	283,55
aw	58,18	aw-ax	58,18	1,22	70,96
ax	58,18	ax-ay	58,18	4,87	283,53
ay	58,17	ay-az	58,17	1,22	70,94
az	58,17	az-ba	58,17	4,87	283,51
ba	58,16	ba-bb	58,16	1,22	70,93
bb	58,16	bb-bc	58,17	4,87	283,49
bc	58,17	bc-bd	58,20	7,62	443,53
bd	58,19	bd-be	58,20	1,22	71,07
be	58,19	be-bf	58,20	1,22	71,07
bf	58,19	bf-bg	58,20	1,22	71,07
bg	58,19	bg-bh	58,20	1,22	71,07
bh	58,19	bh-bi	58,20	1,22	71,07
bi	58,19	bi-bj	58,20	1,22	71,07
bj	58,19	bj-bk	58,20	1,22	71,07
bk	58,19	bk-bl	58,20	1,22	71,07
bl	58,19	bl-bm	58,20	1,22	71,07
bm	58,19	bm-bn	58,20	1,22	71,07
bn	58,19	bn-a	58,20	0,61	35,53

7 Average Grade Calculation
1 : 200

REGISTERED ARCHITECT
MICHAEL JOE BLANSHARD
BRITISH COLUMBIA
2026/02/06

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2. Refer to landscape architectural drawings for paving and plant materials information.
3. Refer to civil engineering are servicing drawing for utilities and drainage design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 + Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full more comprehensive and references related to these revisions, please refer to the Revision Letter and TRG Comment Responses matrix provided with the resubmission.

A. Program Change from Dayspa to Residential
B. Enhanced Connectivity for Grounds/Ground Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

N

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/11

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project name
Evergreen DA-D
(Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Zoning Area Diagrams & Average Grade

project no.	2442
scale	As Indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A0.2

SUMMER SOLSTICE • 9AM

SUMMER SOLSTICE • 12PM

SUMMER SOLSTICE • 5PM

EQUINOX • 10AM

EQUINOX • 12PM

EQUINOX • 4PM

WINTER SOLSTICE • 10AM

WINTER SOLSTICE • 12PM

WINTER SOLSTICE • 3PM

DAU

REGISTERED ARCHITECT
JOS BANKS
BRITISH COLUMBIA

2026/02/06

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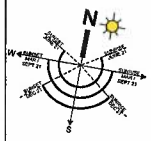
3. Refer to civil engineering plan servicing drawing for utilities and frontage design information.
4. For specific building setbacks dimensions refer to drawing A0.1 (Level 1).

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full some commentary and references related to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with this resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking



rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/18

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project name
Evergreen DA-D
(Phase 1)

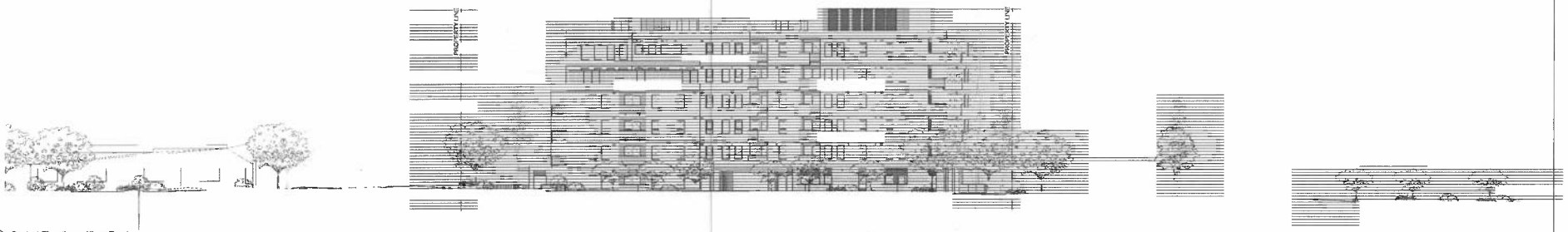
2501 Blanshard Street, Victoria, BC

sheet title
Shadow Analysis

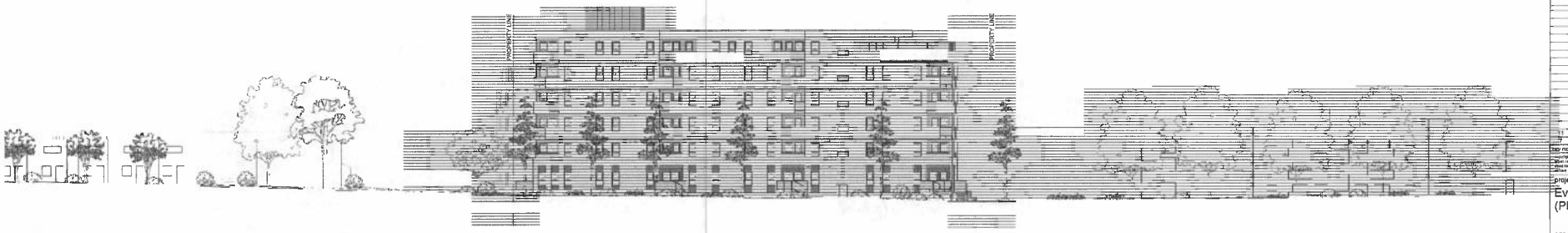
project no.	2442
scale	As Indicated
drawn by	GK
date issued	26/02/06
sheet no.	A0.3

DAU

3 Context Elevations - Dowler Place
1 : 200



2 Context Elevations - Kings Road
1 : 200



1 Context Elevations - Blanshard Street
1 : 200

REGISTERED ARCHITECT
JOE BAIRD
BRITISH COLUMBIA

2026/02/05

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2. Refer to landscape architectural drawings for paving and plant materials information.
3. Refer to civil/engineering site servicing drawing for utilities and hydrogeo design information.
4. For bicycle parking stall dimensions refer to drawing A0.1 + Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full or incremental and referencing refer to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with the resubmission.

A. Program Change from Daycare to Townhouse
B. Enhanced Connectivity for Ground-Oriented Units
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

0 1 2 5 10
1:200 scale in metres

rev no	description	date
11	DEP Resubmission	26/02/05
7	Based for DDP Application	25/07/1

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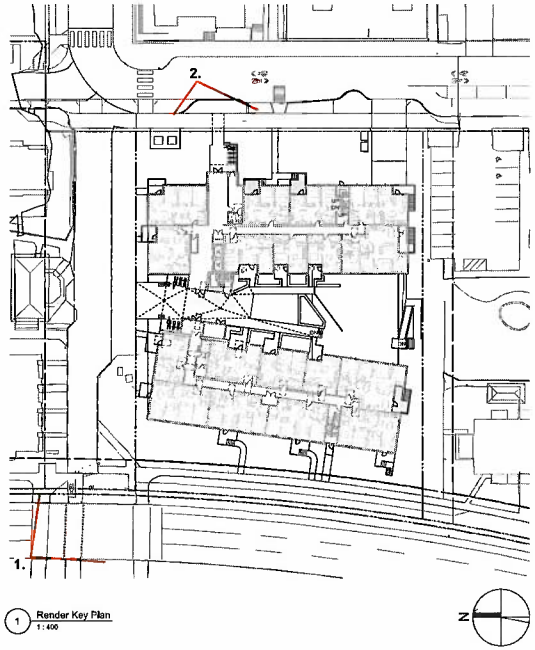
project name
Evergreen DA-D
(Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Context Elevations

project no.	2442
scale	As indicated
drawn by	GK
date issued	26/02/05
sheet no.	A0.4



1 Render Key Plan
1 : 400

1. View to Southeast from Blanshard Street

2. View to Main Entrance from Dowler Street

DAU

REGISTERED ARCHITECT MICHAEL JOE BUSSIERE BRITISH COLUMBIA

2026/02/06

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General Notes

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2. Refer to landscape architectural drawings for paving and plant materials information.
3. Refer to civil engineering site servicing drawing for utilities and frontage design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 + Level 1.

Drawing Revision List

The following revision list is a summary of the changes made to the revised drawing set. For more information on the revisions contained in the revision sections, please refer to the Revision Letter and TRG Comment Response document provided with the resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/11

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project name
Evergreen DA-D
(Phase 1)

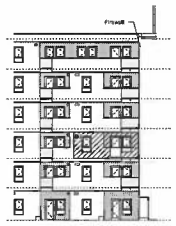
2501 Blanshard Street, Victoria, BC

sheet title
Rendered Views

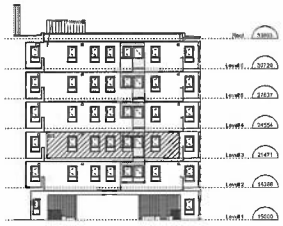
project no.	2442
scale	As indicated
drawn by	GK
date issued	26/02/06
sheet no.	A0.5

1 West Wing West Elevation - Diagram
1 : 200

2 East Wing East Elevation - Diagram
1 : 200



4 Courtyard - Firewall West Elevation
1 : 200



5 Courtyard - Firewall South Elevation
1 : 200

6 North Elevation - Diagram
1 : 200

7 South Elevation - Diagram
1 : 200

SPACIAL SEPARATION AND EXPOSURE CALCULATIONS

Building Level / Space or Suite	Face	Occupancy	Height (m)	Width (m)	LD (m)	Area (m2)	Unprotected Openings (m2)	Sprinklered (Y/N)	Actual Openings (%)	Permitted Openings (%)	Cladding Requirements	Construction Requirements	Notes:
Level 1													
Entrance Lobby	E	C	2.96	3.80	8.37	17.2	8.2	Y	48%	100%	NC		
Unit D2	S	C	2.96	9.48	3.00	28.1	8.5	Y	30%	48%	NC		
Unit C1	N	C	2.96	7.70	2.39	22.8	3.2	Y	14%	28%*	NC		* Table 3.2.3.1-D max area of 30% and average developed for 2.39m LD
Unit A6	N	C	2.96	9.20	4.63	27.2	6.7	Y	25%	60%	NC		
Level 2													
Unit B6	N	C	2.72	9.65	2.39	26.0	6.7	Y	26%	38.6%*	NC		* Table 3.2.3.1-D max area of 30% and average developed for 2.39m LD
Unit C1	N	C	2.72	7.70	2.39	20.9	3.2	Y	15%	28%*	NC		
Level 3													
Unit B4	N	C	2.72	11.30	5.89*	30.7	8.3	Y	27%	100%	NC		
Unit B2	C-E	C	2.72	6.50	5.50*	17.7	5.48	Y	31%	60%	NC		*Refer to BCBC 3.1.10.6
Unit B5	C-S	C	2.72	13.30	2.50*	36.2	10.31	Y	28%	40%	NC		*Refer to BCBC 3.1.10.6
Unit D1	S	C	2.72	7.70	3.00	20.9	3.2	Y	15%	52%	NC		
Level 4													
Unit D1	S	C	2.72	9.50	3.00	25.8	8.3	Y	33%	48%	NC		
Unit A5	N	C	2.72	9.45	4.63	25.7	6.48	Y	25%	60%	NC		
Level 5													
Level 6													
Multipurpose	N	C	2.72	7.85	6.9	20.8	7.05	Y	34%	100%	NC		

Notes on spacial separation and exposure calculations

As permitted by sentence 3.2.3.2(2), the exposing building face is calculated for each fire compartment with fire separations having a fire resistance rating of 45min or more.
1. Only the most restrictive fire compartment conditions are represented for each building level and exposure direction.

PROJECT DESCRIPTION

This project is a multi-family residential rental building that contains 110 dwelling units. The units consist of 1-bedroom, 2-bedroom, 3-bedroom and 4-bedroom suites. The building provides 30% adaptable suites ranging from 1 to 4 bedroom suites and 6% accessible suites, ranging from 1 and 2 bedroom suites. The project qualifies for the BCBC extension on adaptable suite and seismic building requirements posted September 20, 2024 and confirmed with city staff October 7, 2024.

The building is six (6) storeys and includes private and shared roof decks on Levels 5 and 6.

GOVERNING CODE

BCBC 2024 unless noted otherwise.

Project qualifies for the BCBC extension on adaptable suites and seismic building requirements posted September 20, 2024 and confirmed with city staff October 7, 2024.

GOVERNING CODE PART

Division B, Part 3 (1.3.3.2.(1)(d))
(Six storeys and greater than 600m² in building area).

Building Size and Construction Relative to Occupancy
3.2.2.51 Group C, Up to 6 storeys, Sprinklered, A firewall will limit building area to not more than 1500Mto permit construction under Article 3.2.2.51.

MAJOR OCCUPANCY

Group C (Residential)

BUILDING AREA

Building A 6 560.8m²
Building B 4 935.5m²
Total Area 11 496.4m²

BUILDING HEIGHT (by BCBC)

Six (6) Storeys over one (1) level underground parking.
18m max, height from level of first storey to top storey (3.2.2.51)
25m max, height from level of the first storey to the top of the highest roof assembly (3.2.2.51)

MEANS OF EGRESS & EXIT

Two (2) Means of Egress with Two (2) separate exits and One (1) horizontal exit required per 3.3.1.3, Travel distance to be not more than 45m per 3.4.2.4.
Horizontal exits to conform with 3.4.8.10
Three (3) Means of Egress and Three (3) separate exits required for parking level per 3.3.1.3, Travel distance to be not more than 45m per 3.4.2.4.
One (1) Means of Egress provided for rooftop occupancies with occupant load limited to less than 60 persons and less than 200hpor 3.3.1.3(8) and 3.3.1.3(9).

CONSTRUCTION

Combustible and Non-Combustible.

SPRINKLERS

Sprinklers required per 3.2.2.18(1), 3.2.2.51 and 3.3.2.18(1)

FIRE ALARM

Fire alarm required per 3.2.4.1(1)
Smoke detectors required per: 3.3.2.18(3)

FIRE RESISTENANCE RATINGS

Residential Suite to Suite	1hr (3.3.4.2.(1)
Residential Suite to Corridor	1hr (3.3.1.4)
Roof Assemblies	1hr (3.2.2.51.2)b)
Exit Stair	1hr (3.4.4.1
Public Corridor	1hr (3.3.4.2)
Elevator	1hr (3.6.3.1)
Electrical Room	1hr (3.6.2.1)
Elevator Opening	0hr
Mechanical Room (Fire safety systems)	1hr (3.6.2.1)
Janitor's Room	0hr (3.3.1.2)(3)
Parking to other occupancies (storage)	1.5hr (3.3.5.8)

Loadbearing walls, columns and beams are to have the same fire resistance rating as the assembly they support.

Where loadbearing columns are located within a wall assembly, the entire length of wall is to have a fire resistance rating equal to that required for the column.

Non-loadbearing exterior walls require a fire resistance rating where they are exposing building face. Refer to exposing building face calculations, plans and section.

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MICHAEL JOHN BURTON
BRITISH COLUMBIA
2026/02/06

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2. Refer to landscape architectural drawings for paving and plant materials information.
3. Refer to civil/engineering site servicing drawing for utilities and hydrogy design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 - Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For detailed documentary and references related to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with this resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/1

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project name
Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Building Code Information

project no.	2442
scale	As indicated
drawn by	Author
date issued	26/02/06
sheet no.	A0.10

Project Information Table	
Zone (existing)	R3-2
Proposed zone or site specific zone	Site Specific
Site area (m2)	4,336.50
Total floor area (m2)	10,001.90
Floor space ratio	2.31
Site Coverage (%)	63.12%
Open site space (%)	52.80%
Height of building (m)	20.32m
Number of storeys	6
Parking stalls (number) on site	61
Bicycle parking number (Class 1 & 2)	Class 1 = 160 | Class 2 = 20
Building Setbacks (m)	
Front yard	12.23
Rear yard	8.4
Side yard (north)	2.45
Side yard (south)	3.02
Combined side yards	5.47
Residential Use Details	
Total number of units	110
Unit type, e.g., 1 bedroom	1, 2, 3 and 4-Bdrm
Ground-oriented units	16
Minimum unit floor area (m2)	49
Total residential floor area (m2)	10,001.90

	sq.m. (min.)	sq.m. (max.)	Qty
One-bedroom	48.8	49.0	16
One-bedroom Adapt.	50.5	54.5	10
One-bedroom Access.	56.7	57.9	6
Two-bedroom	67.8	69.2	17
Two-bedroom Adapt.	69.8	76.3	20
Two-bedroom Access.	78.0	78.0	1
Three-bedroom	88.3	89.4	25
Three-bedroom Adapt.	91.7	94.0	4
Four-bedroom	111.4	122.6	9
Four-bedroom Adapt.	112.4	112.5	2
			110

*All Areas taken to inside face of exterior walls: Partl walls between units

** Site area subject to subdivision

*** Project meets BC Housing requirements for Adaptability: project qualifies for BCBC 2024 extension

Provisions 1 Schedule Text Amendment
January 29, 2026

	Schedule Rezoning Requirements		DA-D		Remaining Units (Area Bldg. 1 & 2)	Schedule Total (Building 1 & Building 2)
Density	FSR	2.6:1 (max)	2.31:1		as always per underlying agreement	0.32:1
Housing			DA-D Total	Operator		
	Replacement Low-Income Units	175	110	BC Housing	as always per underlying agreement	110
	Replacement Supportive Housing Units	21	0	n/a	as always per underlying agreement	0
	Non-Profit Operated Units	245	0	n/a	as always per underlying agreement	0
	Other Rental Units	n/a	0	n/a	as always per underlying agreement	0
Units	Units sec. zone 2 bedrooms		52		as always per underlying agreement	
	2 bedrooms or larger units	34% (min)	78		as always per underlying agreement	71%
	3 bedroom or larger units	11.9% (min)	40		as always per underlying agreement	36%
	Total		110		as always per underlying agreement	
	Units with a private patio or balcony	70% (min)	139		as always per underlying agreement	95%

Schedule F Vehicle Parking Requirements (Affordable Rental)

Unit Area	Ptg Rate	Qty	Long Term	Visitor
Less than 45 sq.m.	0.2	0	0	0
Between 45 sq.m and 70 sq.m.	0.5	50	25	5
Greater than 70 sq.m.	0.75	60	45	6
Totals		110	70	11

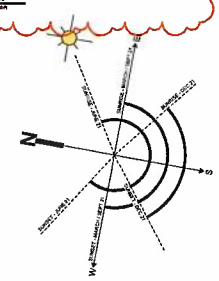
Proposed On-Site Stalls*	Long Term	Visitor	Total
Accessible	2		2
Van Accessible	1	1	2
Standard	55	2	57
Proposed Totals	58	3	61

*Refer to Parking Study included in this rezoning for proposed parking rationale and TDM measures

Schedule C Bicycle Parking Requirements (Multiple Dwellings)

Unit Area	Ptg Rate	Qty	Long Term	Visitor
Less than 45 sq.m.	1	0	0	0
Greater than 45 sq.m.	1.25	110	137.5	11
Totals		110	137.5	11

Proposed Stalls	Long Term	Short Term	Total
Horizontal Cargo	11	3	14
Horizontal Standard	86	17	103
Vertical Standard	63		63
Proposed Totals	160	20	180



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BOB SYSLO ARCHITECT
BRITISH COLUMBIA
2026/02/26

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3. Refer to civil engineering site servicing drawing for utilities and frontage design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 - Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full-scale commentary and references related to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with this resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

0 2 10
1:200 scale in metres

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/16
3	Preapplication Review	25/03/06

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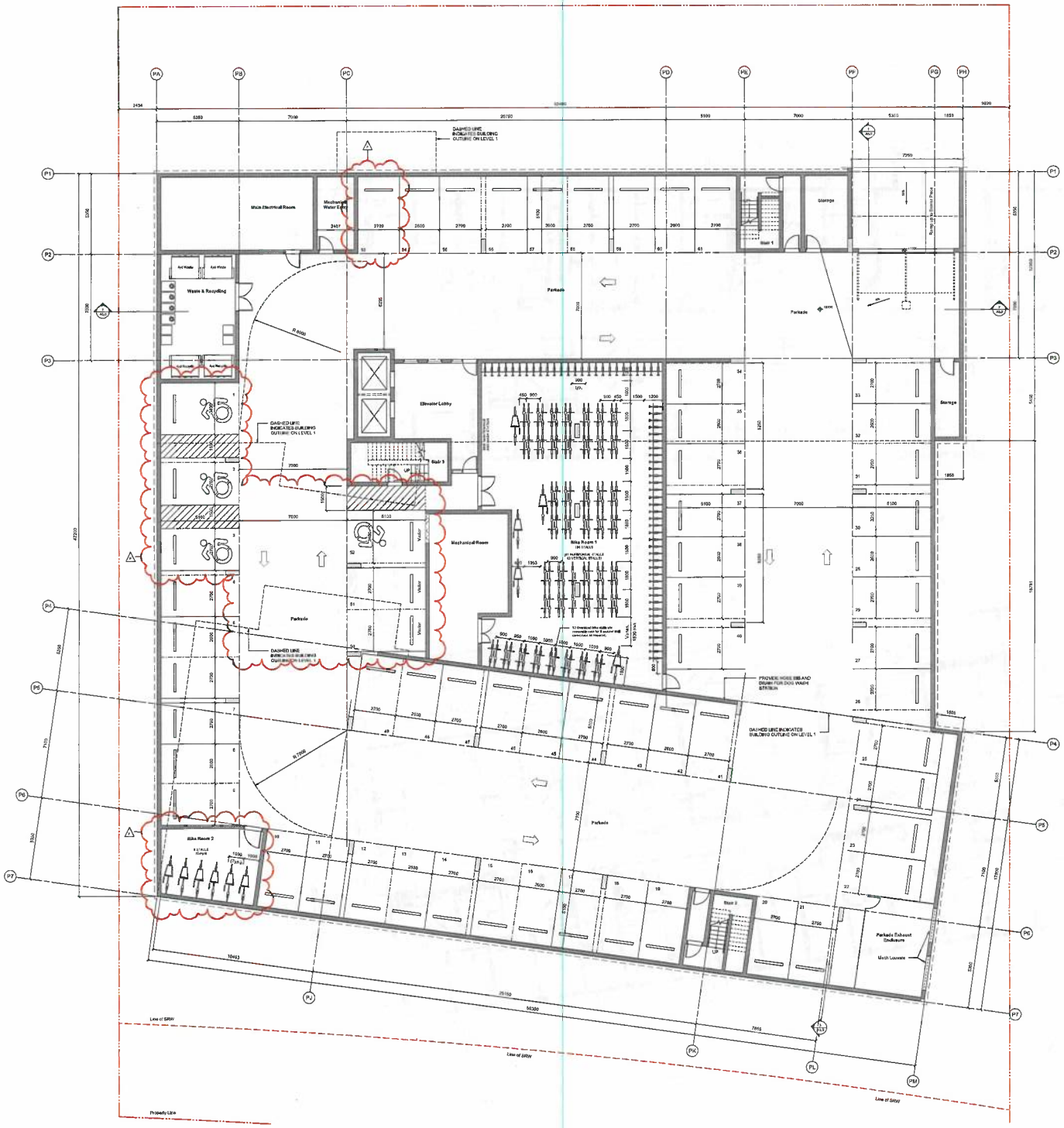
project name
Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Site Plan

project no.	2442
scale	As Indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A1.0



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MICHAEL JOE BARGEN
BRITISH COLUMBIA

202402/06

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3. Refer to civil engineering site servicing drawing for utilities and frontage design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 (Level 1).

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full revisions chronology and references related to these revisions, please refer to the Revision Letter and TRG Comment Responses document provided with the resubmission.

A. Program Change from Duplexes to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

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1:100 Metric Scale

rev no.	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/14
3	Pre-application Review	25/03/26

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project name
Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
P1 Plan

project no.	2442
scale	As indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A2.0

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JOHN SCHMIDT
BRITISH COLUMBIA

2026/02/06

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3. Refer to civil engineering site servicing drawing for utilities and drainage design information.
4. For bicycle parking stall dimensions refer to drawing A2.4 Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For a more comprehensive and references related to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with this resubmission.

A. Program Change from Dayroom to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

N

1:100 scale in meters

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/16
3	Preapplication Review	25/03/06

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project name
Evergreen DA-D
(Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Level 1

project no.	2442
scale	As indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A2.1

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BRITISH COLUMBIA

2026-02-06

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3. Refer to civil engineering site servicing drawing for utilities and roadway design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 (Level 1).

Drawing Revision List

The following revision list is a summary of the revisions made to this construction. For a further documentary and references related to these revisions, please refer to the Revision Letter and TGS Comment Response document provided with the resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

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1:100 scale in meters

rev no.	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/11
3	Preapplication Review	25/03/24

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project name
Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Levels 2 to 4

project no.	2442
scale	As indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A2.2

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2026/02/06

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3. Refer to civil engineering site servicing drawing for utilities and frontage design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 - Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for the resubmission. For a more commentary and references related to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with the resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

N

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1:100 scale in metres

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/01
3	Preapplication Review	25/03/05

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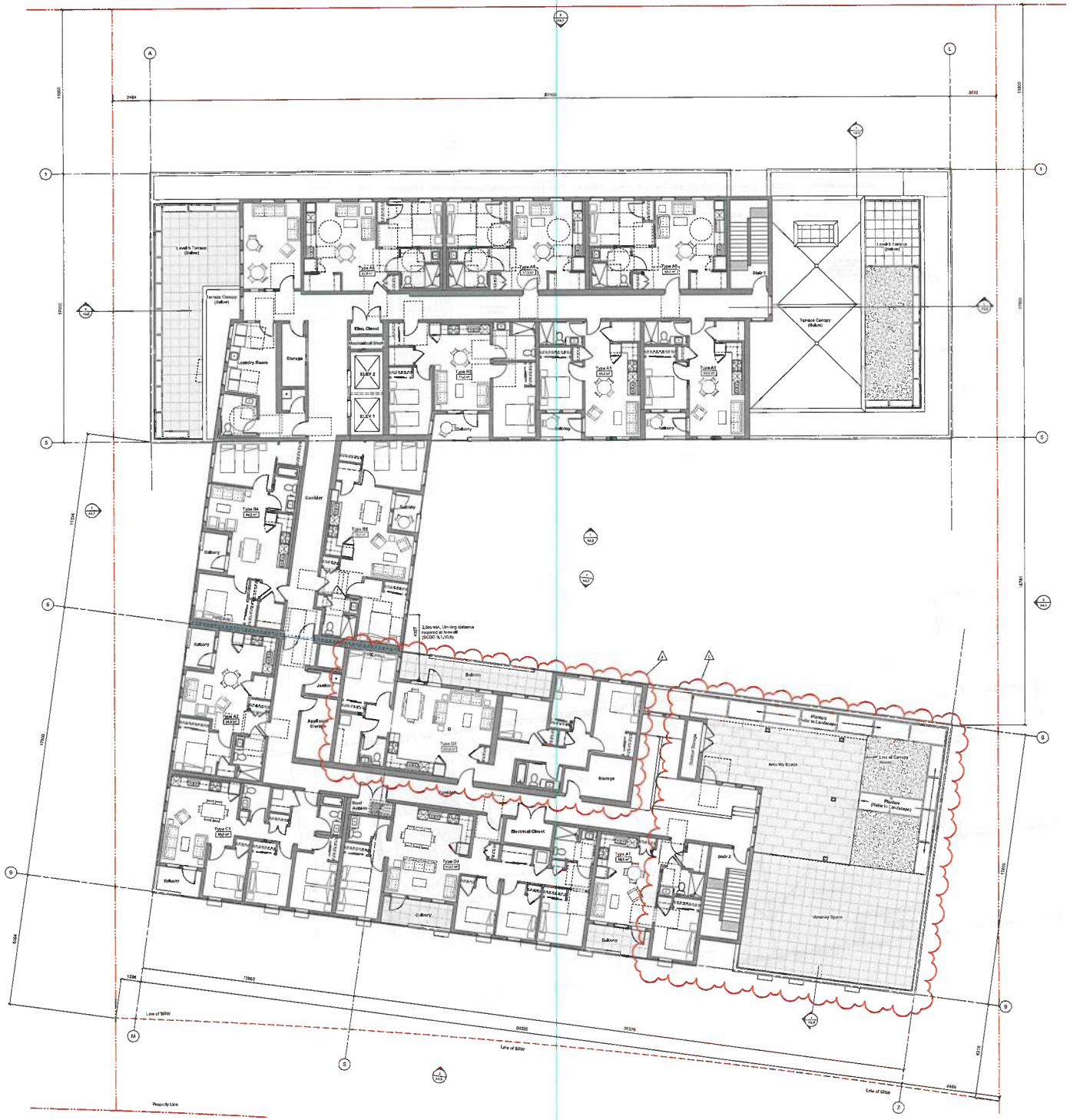
project name
Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Level 5

project no.	2442
scale	As indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A2.3



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2020/10/06

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3. Refer to civil/engineering site servicing drawing for utilities and drainage design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 + Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full come commentary and references related to these revisions, please refer to the Revision Letter and TRD Comment Response document provided with the resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

N

1:100 scale in meters

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/10
3	Preapplication Review	25/03/0

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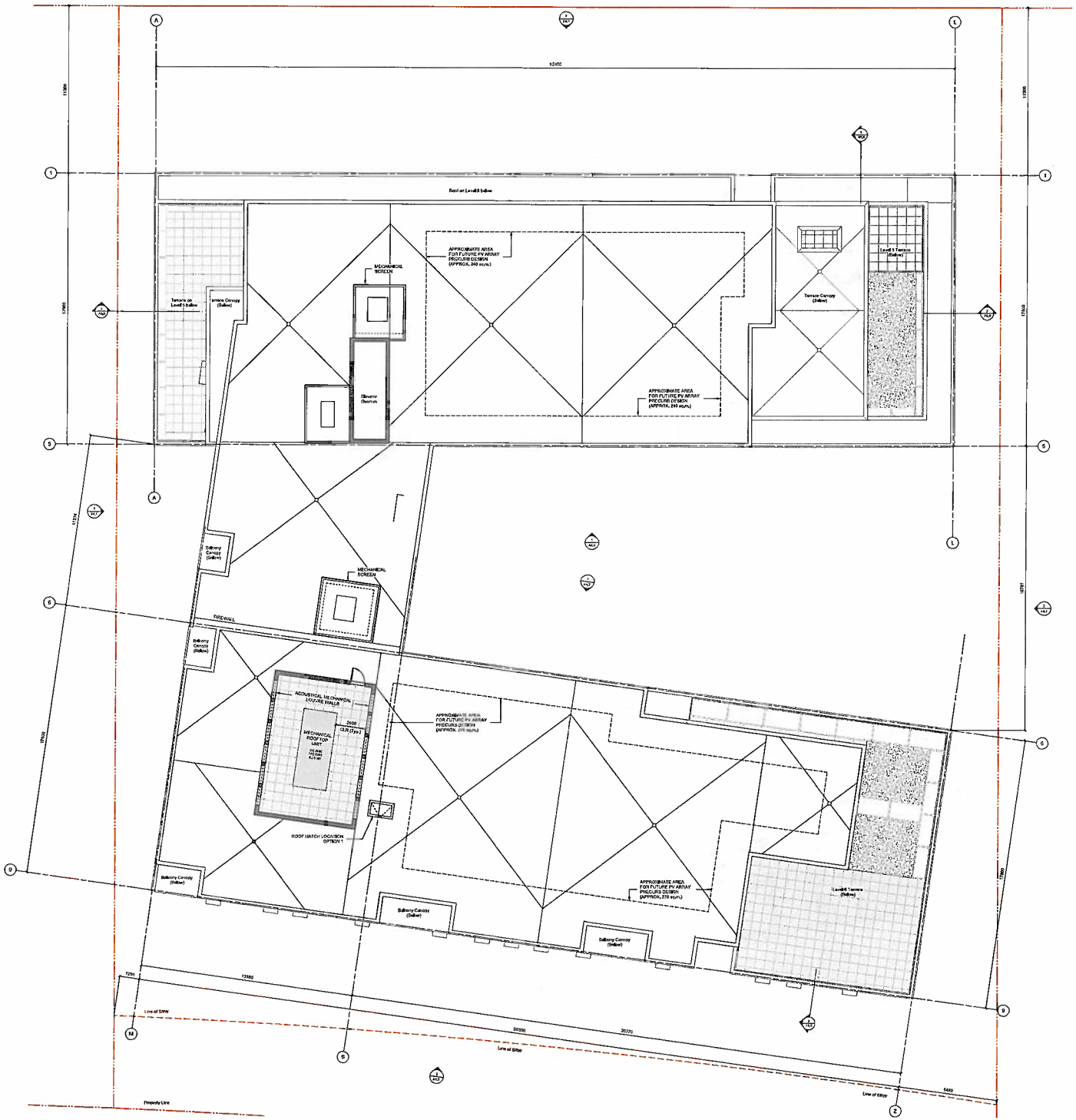
project name
Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Level 6

project no.	2442
scale	As Indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A2.4



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3. Refer to civil engineering site servicing drawing for utilities and footprint design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 (Level 1).

Drawing Revision List

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A. Program Change from Daycare to Residential

B. Enhanced Connectivity for Grounds/Oriented Suites

C. Massing Refinement and Building Expression

D. Frontage Improvements

E. Project Data & Survey

F. Vehicle and Bicycle Parking

N

0 1 5
1:100 scale in meters

rev no	description	date
11	DDP Resubmission	[illegible]
7	Issued for DDP Application	[illegible]
3	Prescription Re-issue	25/03/06

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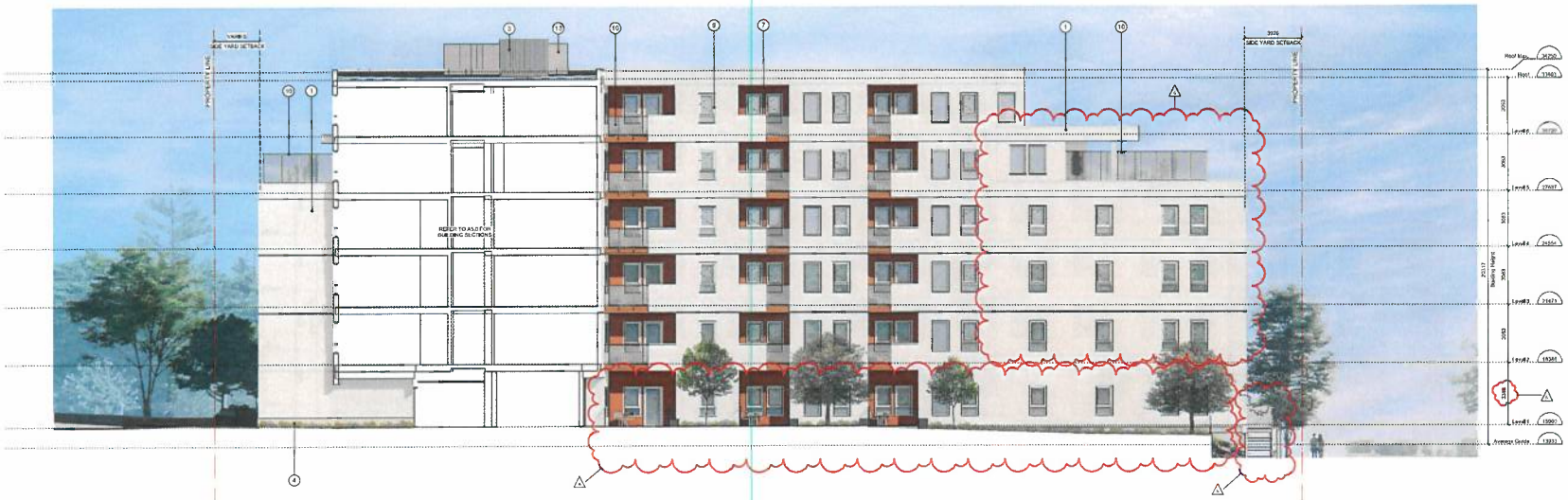
project name
Evergreen DA-D
(Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Roof

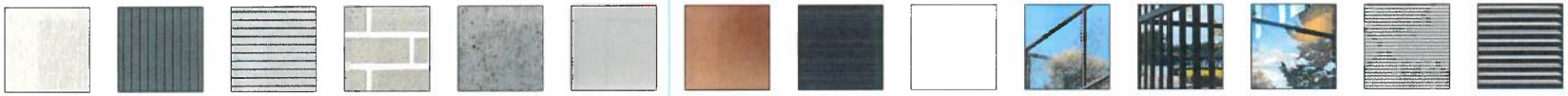
project no.	2442
scale	As indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A2.5



1 East Wing West Elevation
1 : 100

2 East Wing East Elevation
1 : 100

MATERIAL PALETTE



MATERIAL LEGEND

1. Fibre Cement Panels 'Fusto - Cream'
2. Fibre Cement Panels 'S Reveal - Charcoal'
3. Fibre Cement Panels 'S Reveal - Silver Grey'
4. Brick Veneer Nemian Running Bond 'Castle Grey'
5. Exposed Architectural Concrete Parkade + Retaining Walls
6. Prefinished Metal (Flashings)
7. Prefinished Metal 'Copper Penny' (Balcony Soffits, Walls, & Solar Shades)
8. Vinyl Doors and Windows Charcoal Grey
9. Vinyl Doors and Windows White
10. Aluminum Frame Glass Guard (Balconies)
11. Metal Picket Guard 'Charcoal Grey' (Patios and Amenity)
12. Glazing
13. Perforated Metal Guards and Mechanical Screens 'Silver Grey'
14. Aluminum Mechanical Louvers (Mill Finish/Silver)

DAU

REGISTERED ARCHITECT JOE BERNARDO BRITISH COLUMBIA
2025/02/06

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General Notes

1. General notes, dimensions & specifications on these drawings are subject to confirmation and are not to be used as part of construction contract documentation.
2. Refer to landscape architectural drawings for paving tool jointing materials information.
3. Refer to grading/paving/ grading/ drainage for utilities and footings design information.
4. For bicycle parking stall dimensions refer to drawing A2.1 + Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full revision history and referencing refer to these revisions please refer to the Revision Letter and Revision Response document provided with the resubmission.

A. Program Change from Dwelling to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

0 1 5
1:100 scale in meters

rev no	description	date
11	DCP Resubmission	25/02/06
7	Issued for DCP Application	25/07/16

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project name
Evergreen DA-D (Phase 1)

2501 Blanshard Street, Victoria, BC

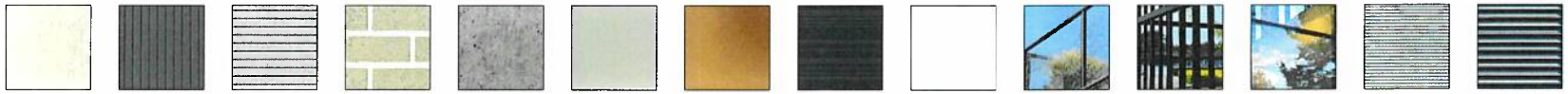
sheet title
East Wing - East and West Elevations

project no.	2442
scale	As Indicated
drawn by	DG/MZ/GB
date issued	26/02/06
sheet no.	A4.0

1 North Elevation
1 : 100

2 South Elevation
1 : 100

MATERIAL PALETTE



MATERIAL LEGEND

1. Fibre Cement Panels 'Pietra • Cream'
2. Fibre Cement Panels 'A Revoxil • Charcoal'
3. Fibre Cement Panels 'A Revoxil • Silver Gray'
4. Brick Veneer Norman Running Bond 'Castle Gray'
5. Exposed Architectural Concrete Parkade + Retaining Walls
6. Prefinished Metal (Flashings)
7. Prefinished Metal 'Copper Penny' (Balcony Soffits, Walls, & Solar Shades)
8. Vinyl Doors and Windows Charcoal Gray
9. Vinyl Doors and Windows White
10. Aluminum Frame Glass Guard (Balconies)
11. Metal Picket Guard 'Charcoal Gray' (Patios and Amenity)
12. Glazing
13. Perforated Metal Guards and Mechanical Screens 'Silver Gray'
14. Aluminum Mechanical Louvers (Mill Finish/Silver)

DAU TUR

REGISTERED ARCHITECT
MICHAEL JOE MATSUBARA
BRITISH COLUMBIA

2020/02/26

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General Notes

1. General dimensions, dimensions & open tolerances on these drawings are subject to confirmation and are not to be used as part of construction contract documentation.
2. Refer to landscape architectural drawings for paving and plant material information.
3. Refer to civil engineering site servicing drawing for utilities and drainage design information.
4. For bicycle parking & path dimensions refer to drawing A2.1 + (Level 1).

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full comments and references related to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with this resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Ground-Oriented Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

1 : 100 scale in metres

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/11

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project name
Evergreen DA-D
(Phase 1)

2501 Blanshard Street, Victoria, BC

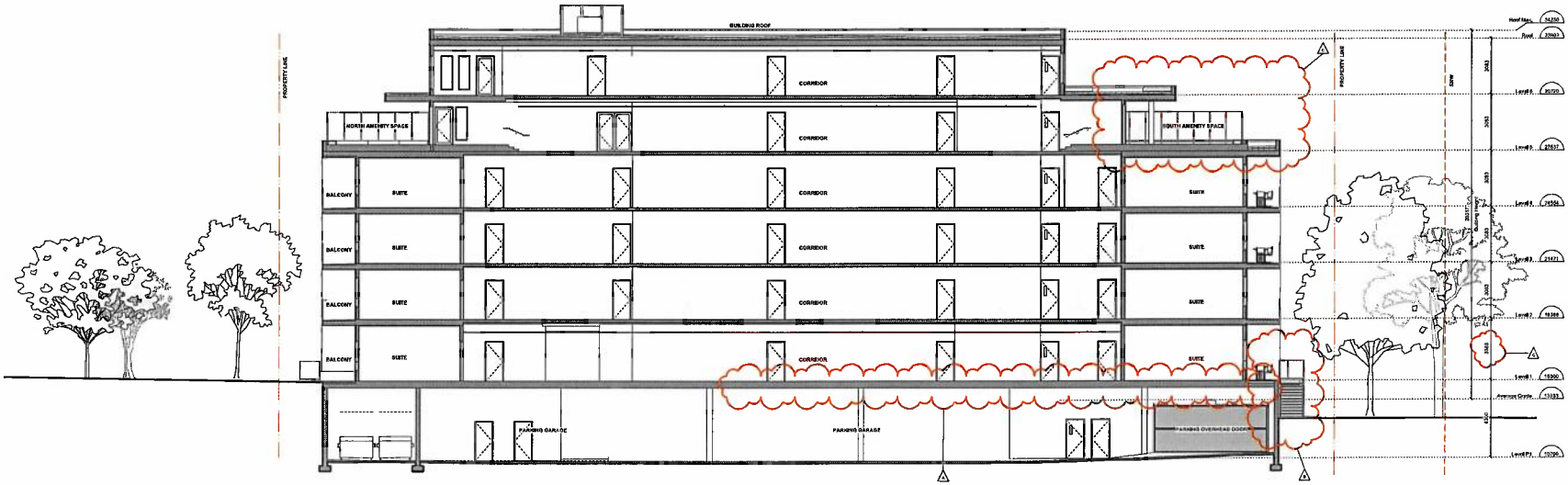
sheet title
North and South Elevations

project no.	2442
scale	As Indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A4.1

PROPERTY LINE
VARIES
SIDE YARD SETBACK
REFER TO AREA FOR BUILDING SECTIONS
Roof Mech. 34150
Roof 33883
Level5 30720
Level4 27637
Level3 24554
Level2 21471
Level1 18387
15000
Average Grade 13010
3083
3083
3083

DAU

1 East West Section
1 : 100



2 North South Section
1 : 100

REGISTERED ARCHITECT
MICHEL JOS BAUMANN
BRITISH COLUMBIA

2026/02/06

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General Notes

1. General information, dimensions & specifications on these drawings are subject to confirmation and are not to be used as part of construction contract documentation.
2. Refer to landscape architectural drawings for paving and plant material information.
3. Refer to civil engineering site servicing drawing for utilities and frontage design information.
4. For legible parking stall dimensions refer to drawing A2.1 Level 1.

Drawing Revision List

The following revision list is a summary of the revisions made for this resubmission. For full revision commentary and references referred to these revisions, please refer to the Revision Letter and TRG Comment Response document provided with the resubmission.

A. Program Change from Daycare to Residential
B. Enhanced Connectivity for Grounds/Covered Suites
C. Massing Refinement and Building Expression
D. Frontage Improvements
E. Project Data & Survey
F. Vehicle and Bicycle Parking

0 1 5
1:100 scale in meters

rev no	description	date
11	DDP Resubmission	26/02/06
7	Issued for DDP Application	25/07/11

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project name
Evergreen DA-D
(Phase 1)

2501 Blanshard Street, Victoria, BC

sheet title
Building Sections

project no.	2442
scale	As Indicated
drawn by	DS/MZ/GB
date issued	26/02/06
sheet no.	A5.0

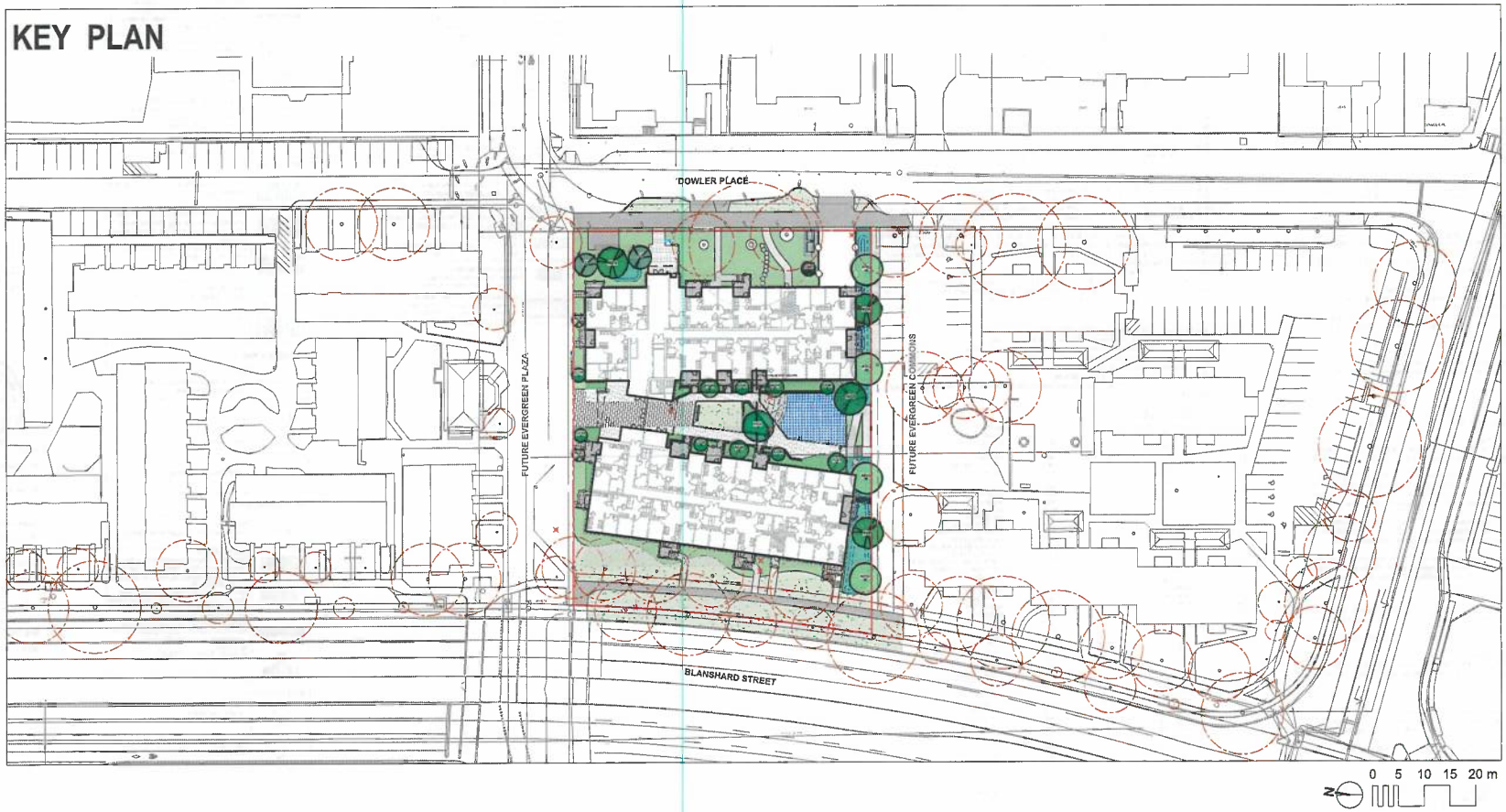
BC Housing

Evergreen DA-D (PHASE 1)

Victoria, BC

Landscape Sheets	
Sheet No.	**Sheet Title**
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Replacement
L0.03	Stormwater Management
L1.01	Landscape Materials L1
L1.02	Landscape Materials L5 & L6
L2.01	Landscape Grading & Drainage
L3.01	Planting

KEY PLAN



MDI LANDSCAPE ARCHITECTS

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
8	DDP Resubmission	2026-02-20
7	95% BP Review	2025-12-19
6	50% CD	2025-11-13
5	Issued for DDP	2025-07-03
4	DD Progress Set	2025-05-06
3	BP 50% Review	2025-05-07
2	BC Hydro Review	2025-03-27
1	DDP Progress Set	2025-02-28

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS REGISTERED MEMBER Scott Murdoch 341

2026-02-20

client
BC Housing
1701 - 4555 Kingsway
Burnaby, BC V5H 4V8
250-317-0337

Lauren Antifeau
Lantifeau@bchousing.org

project
EVERGREEN DA-D (PHASE 1)
Victoria, BC

sheet title
Cover

project no.	125.02
scale	1: 400 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	L0.00

GENERAL NOTES

1. Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
5. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
9. The Victoria Subdivision and Development Servicing Bylaw No.12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

TREE RETENTION AND REMOVAL NOTES

1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
2. Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

1. All elevations are in meters.
2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
4. Confirm all existing grades prior to contruction. Report any discrepancies to consultant for review and response.
5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

1. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
2. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
5. Refer to electrical drawings for electrical service.
6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
7. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
9. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
12. Trees within shrub or rain garden areas to be irrigated with spray heads.
13. Trees in Plaza in hard pavement (soil cells below) to recieve temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

1. Refer to Landscape Specifications for growing medium properties by soil type.
2. Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9, p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
6. Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.
7. A soil test for the growing medium, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing medium must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

SITE LAYOUT NOTES

1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
3. Written dimensions take precedence over scale. Do not scale drawings.
4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

1. Plant quantities on Plans shall take precedence over plant list quantities.
2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

1. For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a)where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

PAVING NOTES

1. Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
2. Cast in place concrete areas that are subject to vechicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

WARRANTY AND MAINTENANCE NOTES

1. Contractor is responsible for Maintenance from Installation to Acceptance of the work by the Contract Administrator.
2. Refer to Landscape Specifications for Maintenance Period following Acceptance.
3. Landscape Installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
4. Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
5. Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

OFF SITE IRRIGATION NOTES

1. All boulevard irrigation work, including required inspections, shall comply to "City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw".
2. The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042, Irrigation Inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0500 min. 2 days in advance to arrange for irrigation inspections.
3. Design/build drawings for boulevard irrigation drawings must be submitted to Parks Division and Landscape Architect for review and approval minimum 30 days prior to installation work
4. Boulevard irrigation point of connection to be 25 mm service from existing water connection on, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
5. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
6. Boulevard irrigation electric zone valves to be RainBird PGA, except tree drip valves: Rainbird Low Flow Control Zone Kit w/ PR Filter; XCZLF+100-PRF 1.
7. 100mm diameter PVC Sleeving is required for all irrigation piping installed under hard surfaces. Extend sleeve 300mm beyond edge of hard surface into soft landscape areas.

OFF-SITE IRRIGATION INSPECTIONS REQUIRED

1. The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
   (1) Irrigation sleeving prior to backfilling
   (2) Open trench main line and pressure test
   (3) Open trench lateral line
   (4) Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly is to have an inspection tag completed and attached.

BOULEVARD PLANTING NOTES

1. The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
2. The finished grade for boulevards must be firm against footprints, loose textured, free of all stones, roots, and branches. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
3. A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
4. Parks require inspection of excavated and scarified subgrade prior to backfill.
5. Parks require inspection of installed, rolled and prepared growing media prior to sodding.
6. Parks require inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.

OFF-SITE HORTICULTURE INSPECTIONS REQUIRED

1. The following inspections are required for all off-site horticulture areas:
   (1) Excavated and scarified subgrade prior to placement of growing media.
   (2) Installed and prepared growing media prior to planting.
   (3) Plant material on-site prior to planting.
   (4) Planted landscape prior to mulch installation.
   (5) At time that planted and mulched landscape meets the conditions for Total Performance as required by MMCD.

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
BC	BOTTOM OF CURB	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCHMARK	MM	MILLIMETRE
BC	BOTTOM OF CURB	N	NORTH
BR	BOTTOM OF RAMP	NIC	NOT IN CONTRACT
BS	BOTTOM OF STEP	NO	NUMBER
BW	BOTTOM OF WALL	NOM	NOMINAL
CAL	CALIPER	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CF	CUBIC FEET	OD	OUTSIDE DIAMETER
CIP	CAST IN PLACE	PC	POINT OF CURVATURE
CL	CENTER LINE	PE	POLYURETHANE
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CLEAN OUT	PT	POINT, POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CU M	CUBIC METRE	QTY	QUANTITY
DEG	DEGREE	R	RADIUS
DEMO	DEMOLISH, DEMOLITION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCE(D)
DIM	DIMENSION	REQ'D	REQUIRE(D)
DTL	DETAIL	REV	REVISION
DWG	DRAWING	ROW	RIGHT OF WAY
E	EAST	S	SOUTH
EA	EACH	SAN	SANITARY
EL	ELEVATION	SD	STORM DRAIN
ENG	ENGINEER	SF	SQUARE FOOT (FEET)
EQ	EQUAL	SHT	SHEET
EST	ESTIMATE	SIM	SIMILAR
E.W.	EACH WAY	SPECS	SPECIFICATIONS
EXIST	EXISTING	SQ M	SQUARE METRE
EXP	EXPANSION, EXPOSED	ST	STORM SEWER
FFE	FINISHED FLOOR ELEVATION	STA	STATION
FG	FINISHED GRADE	STD	STANDARD
FL	FLOW LINE	SYM	SYMMETRICAL
FOC	FACE OF CURB	T&B	TOP AND BOTTOM
FT	FOOT (FEET)	TC	TOP OF CURB
FTG	FOOTING	TF	TOP OF FOOTING
GA	GAUGE	TH	THICK
GEN	GENERAL	TOPO	TOPOGRAPHY
GR	GRADE ELEVATION	TR	TOP OF RAMP
HORIZ	HORIZONTAL	TS	TOP OF STEP
HP	HIGH POINT	TW	TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
ID	INSIDE DIAMETER	VAR	VARIES
INV	INVERT ELEVATION	VOL	VOLUME
IN	INCH(ES)	W	WITH
INCL	INCLUDE(D)	W/O	WITHOUT
JT	JOINT	WT	WEIGHT
LF	LINEAR FEET	WL	WATER LEVEL
LP	LOW POINT	WWF	WELDED WIRE FRAME
		YD	YARD
		@	AT

GRADING LEGEND

25.25; 25.25 38.7% 24.25	Proposed Landscape Grade TOW Top of Wall, BW Bottom of Wall, TOC Top of Curb, BC Bottom of Curb, TP Top of Pool, BP Bottom of Pool, TS Top of Stairs, BS Bottom of Stairs, HP High Point, LP Low Point
25.25	Existing Grade
25.25	Architectural grade, for reference only
25.25	Proposed Landscape Grade
25.25	Civil Grade, for reference only
(8.00)	Proposed Landscape Contour

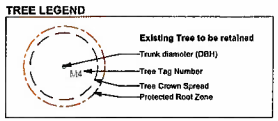
LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain	44.4.04
	Sched 40 PVC	
C/O	Clean Out	84.4.04
L-AD	Landscape Area Drain 8" Square Drain with ADA Steel Lockable Grate,	84.4.01
L-OD	Landscape Overflow Drain	24.4.04
	Trench Drain Aco K100 Trench Drain, Load Class 'A'	
	Culvert 300mm dia. pipe c/w headwall	
	Root Barrier	

LINE TYPE LEGEND

- Property line
- SRW
- Building Footprint
- Extent of Roof / Canopy, above
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL

TREE LEGEND



MATERIALS L5 & L6

	Tiles on Pedestal 20 mm x 610 mm x 610 mm porcellan tile on pedestal system. Eirtech - project silver
	Rubber Surfacing with decorative patterning
	Decorative Porcelain Tiles 5mm+ - project cemento, 24" x 48" x 20m thick plank style porcellan tile on pedestal system.
	Artificial Turf SynLawn or approved equivalent

SITE FURNISHINGS L5 & L6

	Movable Chair Wabash Green Valley Dining Chair, Colour: Cedar/Textured Black + or approved equivalent.
	Movable Dining Table & Chair Wabash Yorktown Rectangular Slat Table + Colour: Silver or approved equivalent.
	Adirondack Chair Wishbone JEM Lounge Chair, Plastic Lumber + Grey, Powder Coat Traffic Yellow + or approved equivalent, or approved equivalent.
	JEM Chaise Lounger Wishbone JEM Lounge Chair, Plastic Lumber + Grey, Powder Coat Yellow Green + or approved equivalent, or approved equivalent.
	Metal Planter Green Theory Rectangle, length and width varies, 1.2m ht + or approved equivalent.
	Vegetable Planter Green Theory Wide Rectangle 1200mm L x 600mm W x 450mm H
	Accessible Vegetable Planter Wishbone Rutherford Accessible Planter: 2444mm L x 927mm W x 857mm H + or approved equivalent.

MATERIALS LEGEND

	Municipal Sidewalk (for reference only)
	Asphalt Paving - Road / Drive Aisle / Parking (for reference only, by others)

HARDSCAPE SURFACES

	Pedestrian Pavement CIP Concrete c/w broom finish and sawcut control joints
	Concrete Unit Pavers Type 1 Newstone Double Standard - Charcoal Colour, 225 mm x 225 mm x 60 mm. Sand and gravel build up
	Concrete Unit Pavers Type 2 Newstone Standard - Nantham Shadow Colour, 225 mm x 112.5 mm x 60 mm. Sand and gravel build up
	Unit Paver - Permeable - Vehicular Newstone 'EcoPro' - Natural Colour 200 mm x 100 mm x 70 mm
	Rubber Safety Surfacing c/w decorative patterning & design
	Gravel Maintenance Edge Clear crush aggregate with wood edge

STEPS, RAMPS, CURBS, WALLS

	Retaining Wall - Concrete Smooth-rubbed exposed faces
	Retaining Wall - Precast Modular Barkman 'Keystone Linear' modular concrete wall system in charcoal colour + or approved equivalent
	Stairs with Handrail To meet BCBC requirements
	Ramp with Handrail To meet BCBC requirements
	Boulder Slope Retention/Weir 600 - 1200 mm diameter minimum, ex sharp edges. Key 1/3 of base into grade.
	Concrete Band - Flush

SOFTSCAPE

	Tree & Shrub Planting Area - on Grade 450mm depth.
	Tree & Shrub Planting Area - on Slab 300-900mm depth, avg. 500mm depth Berm to maximize depth to 750mm where possible.
	Rain Garden Area 600mm depth.
	Lawn Area 150mm depth unless otherwise noted.
	Artificial Turf

FENCING & RAILS

	Fence 1200 mm height, Metal picket, colour to compliment architecture.
	Gate Metal picket.
	Wood Fence 1.8m height
	Fall Protection Railing

SITE FURNISHINGS

	Bike Rack Dero 'Hoop Rack' + or approved equivalent.
	Backed Bench Wishbone Rutherford Backless Bench, Sand Plastic Lumber + Sand, Powder Coat Gun Metal+ or approved equivalent, or approved equivalent.
	Backless Bench Wishbone Rutherford Backless Bench, Sand Plastic Lumber + Sand, Powder Coat Gun Metal+ or approved equivalent, or approved equivalent.
	Wood Topper on Seat Wall Wishbone Beckt Backless Wall Top Bench, Sand Plastic Lumber + Sand, Powder Coat Gun Metal+ or approved equivalent, or approved equivalent.
	Movable Table and Chairs

SITE LIGHTING

	Landscape Bollard Product TBD
	Inset Light Product TBD

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.

MDS LANDSCAPE ARCHITECTS
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Victoria, BC V8T 2C1
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E. admin@mdslandarch.ca

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
8	DDP Resubmission	2026-02-20
7	95% BP Review	2025-12.19
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2	BC Hydro Review	2025-03-27
1	DDP Progress Set	2025-02-28

BRITISH COLUMBIA INSTITUTE OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
Scott Murdoch
341
2026-02-20

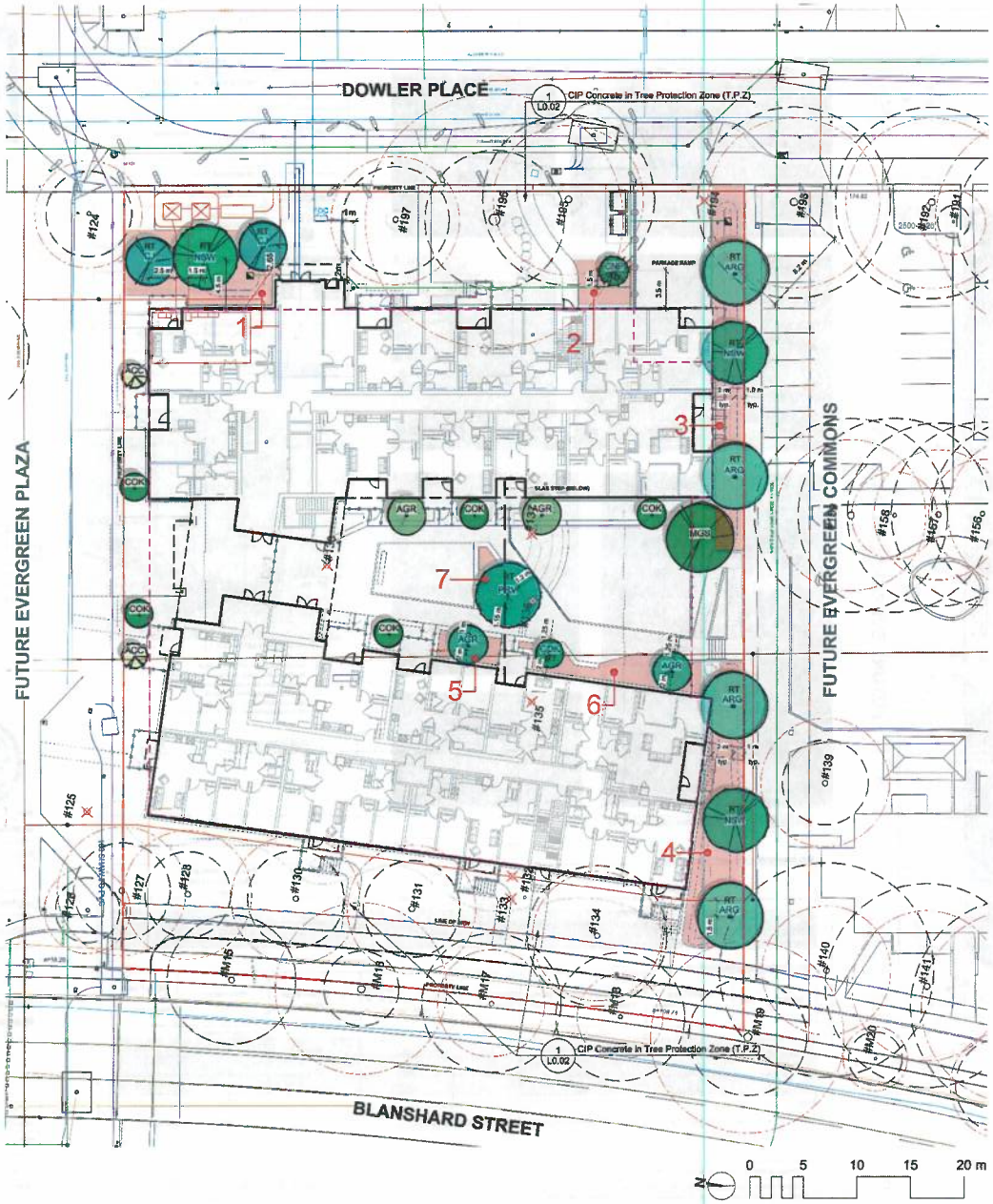
client
BC Housing
1701 - 4555 Kingsway
Burnaby, BC V5H 4V8
250-317-0337

Lauren Antifeau
Lantifeau@bchousing.org

project
EVERGREEN DA-D (PHASE 1)
Victoria, BC

sheet title
General Information Sheet

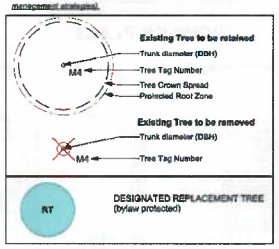
project no.	125.02
scale	AS SHOWN @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	L0.01



NOTES:
1. Confirm post-dedication lot area, per survey.
2. Confirm Tree Minimum per the tree bylaw Schedule F.

EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies).



PLANT LIST

Sym	Qty	Botanical Name	Common Name	Sehd. Size / Plant Spacing
TREES:				
ACC	2	*Acer circinatum*	Vine Maple	multistem, 1.5 m ht, b&b
AGR	4	*Acer grosseum*	Paperbark Maple	4.5cm cal, b&b
ARG	4	*Acer rubrum 'Autumn Glory'*	Autumn Glory Red Maple	6.5cm cal, b&b
CJ	2	*Cercidiphyllum japonicum*	Katsura Tree	6.5cm cal, b&b
CHP	1	*Chamaecyparis nootkatensis 'Pendula'*	Nootka False Cypress	2.5 m ht
COK	6	*Cornus kousa 'Milky Way'*	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b
MGS	1	*Magnolia x soulangeana*	Saucer Magnolia	4cm cal, b&b
NSW	3	*Nyssa sylvatica 'Wildfire'*	Tupelo	6.5cm cal, b&b
PRV	1	*Parrotia persica 'Ruby Vase'*	Ruby Vase Persian Ironwood	6.5cm cal, b&b

REPLACEMENT TREE SOIL VOLUME TABLE

Planting Area (*= on slab)	Area (m2)	Soil Volume Multiplier	A. Estimated Soil Volume (m3)	REPLACEMENT TREES PROPOSED B. Small	C. Medium	D. Large	SOIL VOLUME REQUIRED (m3) E. Small	F. Medium	G. Large	Total
UNIT TF										
1	96.2	0.6	57.1		3		0	45	0	45
2	22.9	1	22.9		1		0	20	0	20
3	97.8	0.6	58.7		3		0	45	0	45
4	112.0	0.6	67.2		3		0	60	0	60
5*	14.5	0.6	8.7	1			8	0	0	8
6*	37.6	0.75	28.4	2			12	0	0	12
7*	16.2	0.6	9.7	1			8	0	0	8
Total				4	10	0				

REPLACEMENT TREE SUMMARY

Refer to Arborist's Report & Rezoning Application for further details.

NOTE: Tree minimums not achieved in this phase will be addressed in subsequent phases. Refer to the Arborist Report for additional details.

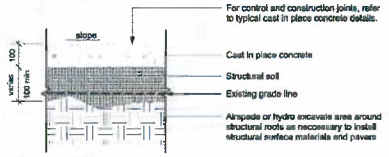
Lot Area: 4,336.5 sq.m

Minimum # of Trees for Lot Area: 22

ONSITE Minimum replacement tree requirement

	Count	Multiplier	Total
1:1 Replacement Trees - Schedule E Part 1	10	1	10
2:1 Replacement Trees - Schedule E Part 2	4	0.5	2
Total Replacement Trees Proposed			12

NOTE: Refer to Arborist's Report for retained existing tree classification and count. Retained onsite trees count towards total number of replacement trees.



GENERAL NOTES:
1. Construction strategies within Tree Protection Zone (T.P.Z) to be approved by Project Arborist prior to construction.
2. Excavation within T.P.Z to be coordinated and supervised by the Project Arborist.
3. All reasonable efforts to minimize native topsoil disturbance and compaction are to be made.
4. Base material depth may be reduced below 150 mm by installing Combigrid® geowaffle (or approved equivalent) over native topsoil. Final detail to be confirmed in consultation with Landscape Architect and Project Arborist.

1 CIP Concrete in Tree Protection Zone (T.P.Z)
Scale: 1:10

HDI LANDSCAPE ARCHITECTS

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REGISTERED MEMBER
Scott Murdoch
341
2026-02-20

client
BC Housing
1701 - 4555 Kingsway
Burnaby, BC V5H 4V6
250-317-0337

Lauren Antifeau
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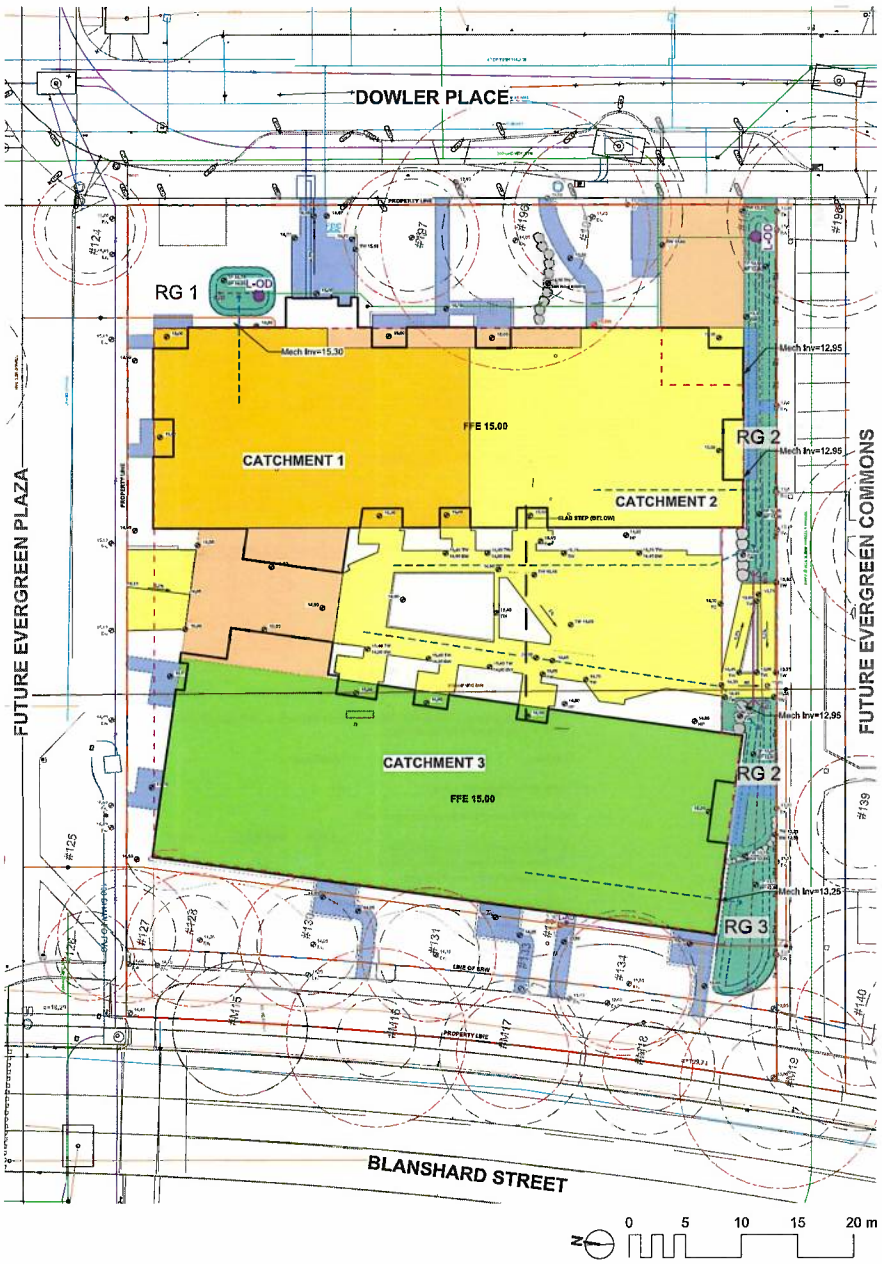
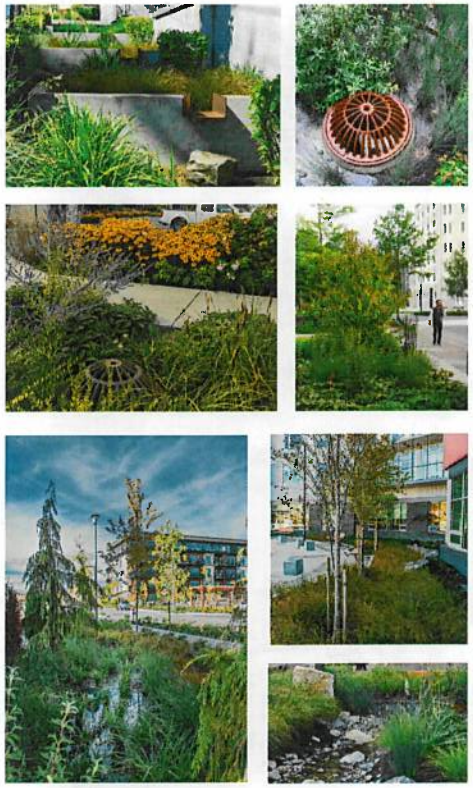
project
EVERGREEN DA-D (PHASE 1)
Victoria, BC

sheet title
Tree Replacement

project no.	125.02
scale	1:200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	**L0.02**



RAIN GARDEN PRECEDENTS

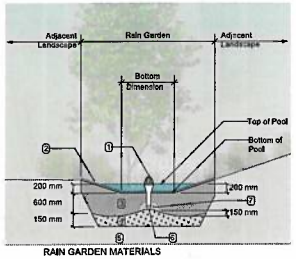


STORMWATER MANAGEMENT LEGEND

	Property Line
	Building Footprint
	Extent of Roof / Canopy, ABOVE
	Extent of Parkade, BELOW
	Rain Garden Top of Pool (TP)
	Rain Garden Bottom of Pool (BP)
17.72	Existing Grade
17.70	Proposed Landscape Grade
17.70	Proposed Civil Grade
	Direction of Flow
	Rain Garden Area
L-OD	Overflow Drain *See civil drawings*

IMPERMEABLE SURFACE AREAS

	Impervious Area Roof & Paving Areas Draining to Rain Gardens
	Impervious Area Draining Directly to Storm System
	Impervious Area Draining to Absorbent Landscape



RAIN GARDEN MATERIALS

1. Overflow drain
2. Composted mulch, 50-70 mm depth
3. Bioretention growing medium, 600 mm depth
4. Scarified subgrade, 150 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50

CITY OF VICTORIA STORMWATER CALCULATIONS

Site Stormwater Storage Requirements

	Area (sq. m.)	Required Storage Volume for Design Storm* (cu. m./day)	
Impervious Area Managed by Rain Gardens	2236	72	
Impervious Area Draining to Absorbent Landscape	219		
Impervious Area Draining to City Storm Drain	292		

Rain Garden Sizing Calculations

Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden*	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Base Area	Rain Garden Capacity***	Sizing Factor (Water Quality Methodology)
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(cu. m./day)	
Catchment 1	481.0	15.4	0.60	0.86	18.0	15.6	3.7%
Catchment 2	848.5	27.2	0.60	0.86	50.1	51.7	7.1%
Catchment 3	906.0	29.0	0.60	0.86	33.6	28.9	3.7%
total						96.1	
Excess (+) or Deficient (-) Storage Volume required to be managed by Green Stormwater Infrastructure						24.5	

Assumptions

* Design storm is 32mm of water, in a 24 hr period.

*** Rain Garden capacity based on 200 mm live ponding plus 30% of the sand/ compost growing medium volume (assuming growing medium has 30% void space) with a minimum infiltration rate of 2 cm/hour (or 48 cm per day), via perforated underdrain.

****Landscaped areas require minimum 600mm depth of growing medium in order to manage 32mm rainfall / 24 hours (assuming 30% void space). Engineered green roof systems that are shown to meet the minimum requirements may also be included.

MDÉ LANDSCAPE ARCHITECTS

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REGISTERED MEMBER Scott Murdoch 341 LANDSCAPE ARCHITECT
2026-02-20

client
BC Housing
1701 - 4555 Kingsway
Burnaby, BC V5H 4V8
250-317-0337

Lauren Antifeau
Lantifeau@bchousing.org

project
EVERGREEN DA-D (PHASE 1)
Victoria, BC

sheet title
Stormwater Management

project no.	125.02
scale	1: 200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	L0.03

LANDSCAPE PRECEDENTS

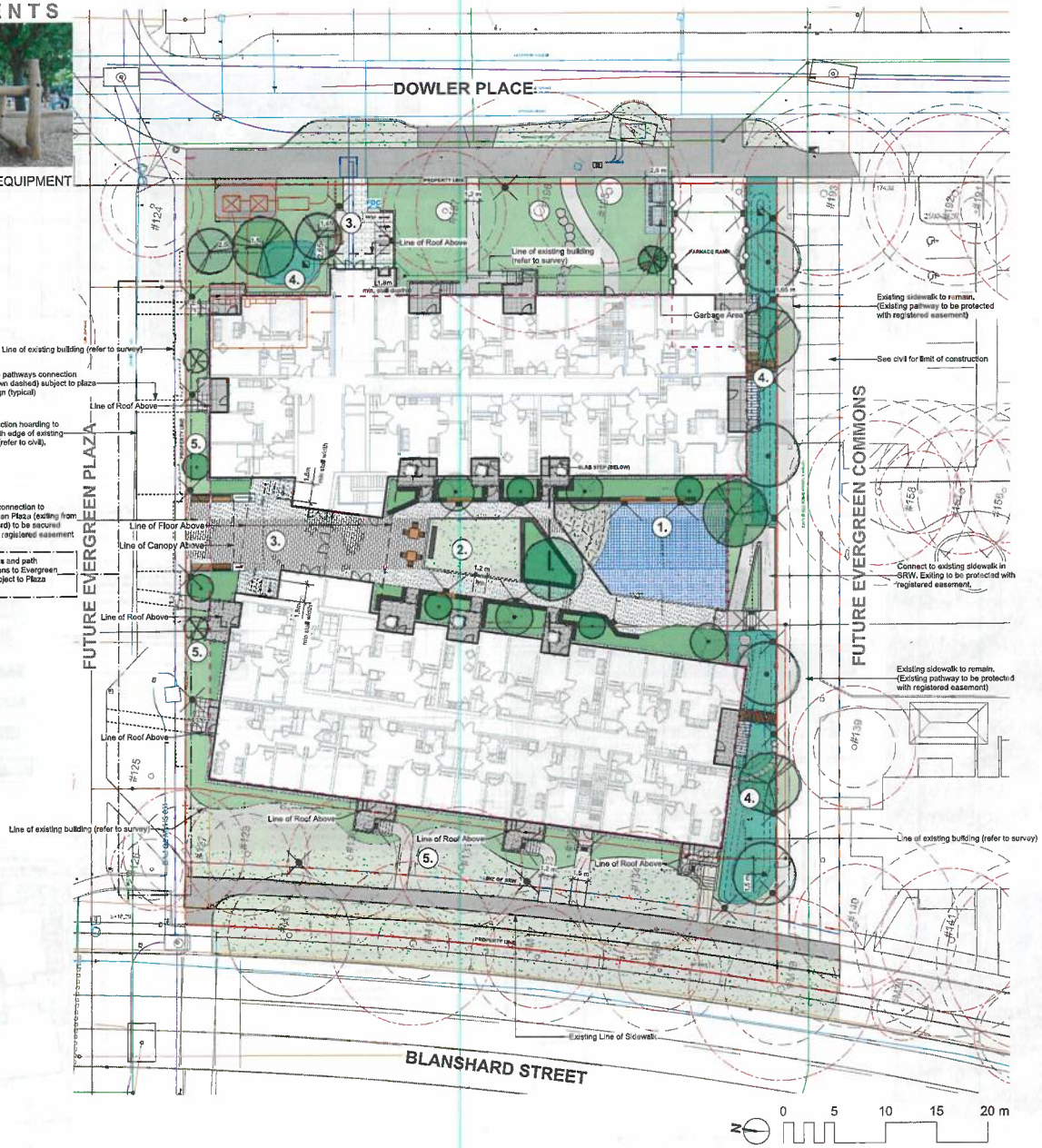
1. CENTRAL SHARED PLAY SPACE WITH PLAY EQUIPMENT AGES 5-12

2. HIGH QUALITY, GREEN, SAFE SPACES

3. INTEGRATED FURNISHINGS IN LANDSCAPE

4. CELEBRATING RAINWATER MANAGEMENT

5. DEFINED PRIVATE VS PUBLIC SPACES WITH OPEN SIGHTLINES



MATERIALS LEGEND

	Municipal Sidewalk *(for reference only)*
	Asphalt Paving • Road / Drive Aisle / Parking *(for reference only, by others)*

HARDSCAPE SURFACES

	Pedestrian Pavement CIP Concrete c/w broom finish and sawcut control joints
	Concrete Unit Pavers Type 1 Newstone Double Standard • Charcoal Colour, 225 mm x 225 mm x 60 mm. Sand and gravel build up
	Concrete Unit Pavers Type 2 Newstone Standard • Northern Shadow Colour, 225 mm x 112.5 mm x 60 mm. Sand and gravel build up
	Unit Paver • Permeable • Vehicular Newstone 'Eco-Pro' • Natural Colour 200 mm x 100 mm x 70 mm
	Rubber Safety Surfacing c/w decorative patterning & design
	Gravel Maintenance Edge Clear crush aggregate with wood edge

STEPS, RAMPS, CURBS, WALLS

	Retaining Wall • Concrete Smooth-rubbed exposed faces
	Retaining Wall • Precast Modular Barkman 'Keystone Linear' modular concrete wall system in charcoal colour • or approved equivalent
	Stairs with Handrail To meet BCBC requirements
	Ramp with Handrail To meet BCBC requirements
	Boulder Slope Retention/Weir 600 • 1200 mm diameter minimum, no sharp edges. Key 1/3 of base into grade.
	Concrete Band • Flush

SOFTSCAPE

	Tree & Shrub Planting Area • on Grade 450mm depth.
	Tree & Shrub Planting Area • on Slab 300•900mm depth, avg. 800mm depth Berm to maximize depth to 750mm where possible.
	Rain Garden Area 600mm depth.
	Lawn Area 150mm depth unless otherwise noted.
	Artificial Turf

FENCING & RAILS

	Fence 1200 mm height. Metal picket, colour to compliment architecture.
	Gate Metal picket.
	Wood Fence 1.8m height
	Fall Protection Railing

SITE FURNISHINGS

	Bike Rack Dero 'Hoop Rack' • or approved equivalent.
	Backed Bench Wishbone Rutherford Backless Bench, Sand Plastic Lumber • Sand, Powder Coat Gun Metal• or approved equivalent, or approved equivalent.
	Backless Bench Wishbone Rutherford Backless Bench, Sand Plastic Lumber • Sand, Powder Coat Gun Metal• or approved equivalent, or approved equivalent.
	Wood Topper on Seat Wall Wishbone Beasit Backless Wall Top Bench, Sand Plastic Lumber • Sand, Powder Coat Gun Metal• or approved equivalent, or approved equivalent.
	Movable Table and Chairs

SITE LIGHTING

	Landscape Bollard Product TBD
	Inset Light Product TBD

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2026-02-20

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Lauren Antifeau
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project
EVERGREEN DA•D (PHASE 1)
Victoria, BC

sheet title
Landscape Materials L1

project no.	125.02
scale	1: 200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	L1.01

LANDSCAPE PRECEDENTS

1. MOVABLE FURNISHINGS FOR FLEXIBLE AMENITY SPACE THAT CONNECTS WITH MULTI-PURPOSE ROOM

2. ADAPTABLE MULTI-FUNCTIONAL AMENITY SPACE INTEGRATED WITH TOT PLAY SPACE

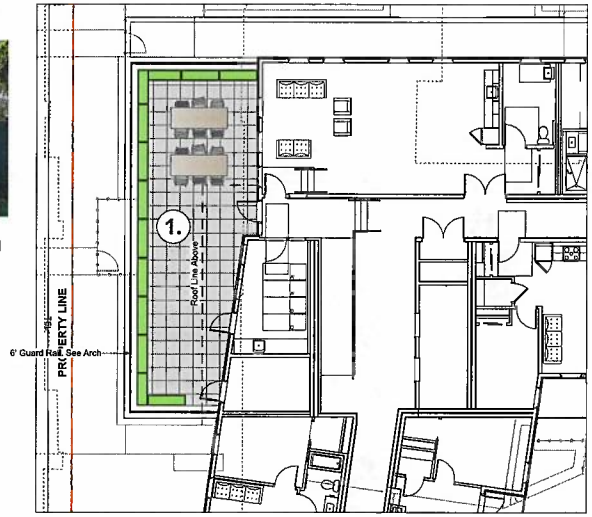
3. TOT PLAY SPACE ON SAME LEVEL AS MULTI-PURPOSE ROOM

4. SHADE AND SHELTER FOR WEATHER PROTECTION (L5 & L6 SOUTH FACING OUTDOOR SPACES)

5. RAISED BEDS FOR GARDENING & FOOD PRODUCTION OPPORTUNITIES

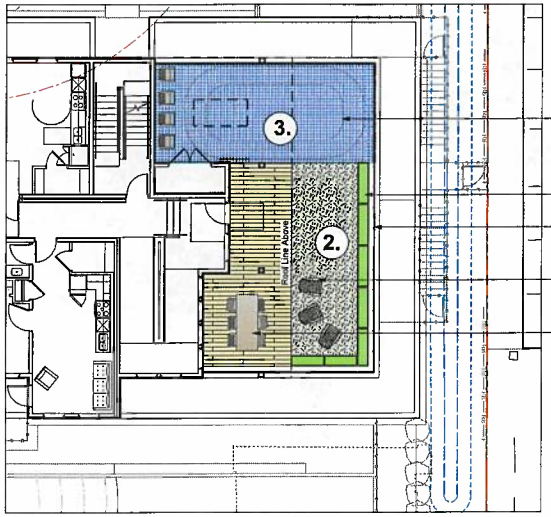
6. FLEXIBLE SOCIAL SPACE INTEGRATED WITH RAISED BEDS

7. PASSIVE RECREATION & HANG OUT SPACE



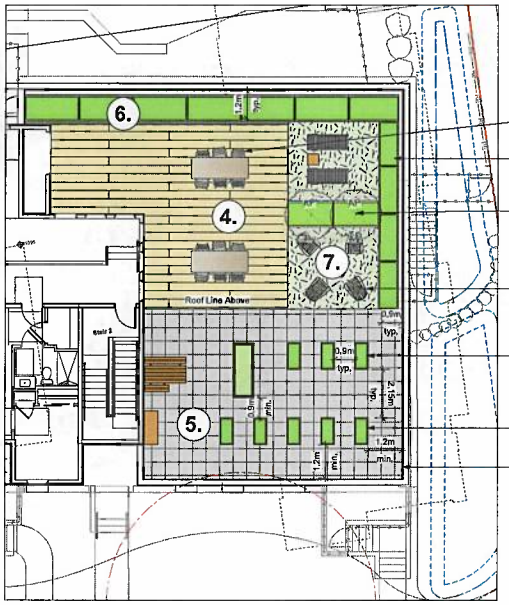
1 Level 5 - Northeast Amenity Space
Scale: 1:100

0 5 10 m



2 Level 5 - Southeast Amenity Space
Scale: 1:100

0 5 10 m



3 Level 6: Southwest Amenity Space
Scale: 1:100

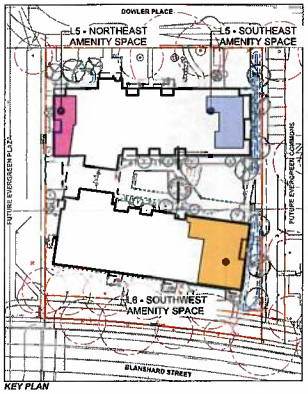
0 5 10 m

MATERIALS L5 & L6

Tiles on Pedestal	20 mm x 610 mm x 610 mm porcelain tile on pedestal system, Ennon + project silver
Rubber Surfacing with decorative patterning	
Decorative Porcelain Tiles	Ennon + project cements, 24" x 48" x 2cm thick plank style porcelain tile on pedestal system.
Artificial Turf	Syn-Lawn or approved equivalent

SITE FURNISHINGS L5 & L6

Movable Chair	Wabash Green Valley Dining Chair, Colour: Cedar/Textured Black + or approved equivalent.
Movable Dining Table & Chair	Wabash Yorktown Rectangular Slat Table + Colour: Silver or approved equivalent.
Adirondack Chair	Wishbone JEM Lounge Chair, Plastic Lumber + Grey, Powder Coat Traffic Yellow + or approved equivalent, or approved equivalent.
JEM Chaise Lounger	Wishbone JEM Lounge Chair, Plastic Lumber + Grey, Powder Coat Yellow Green + or approved equivalent, or approved equivalent.
Metal Planter	Green Theory Rectangle, length and width varies, 1.2m Ht + or approved equivalent.
Vegetable Planter	Green Theory Wide Rectangle 1200mm L x 600mm W x 450mm H
Accessible Vegetable Planter	Wishbone Rubwoord Accessible Planter: 2444mm L x 827mm W x 857mm H + or approved equivalent.



KEY PLAN

MDI LANDSCAPE ARCHITECTS

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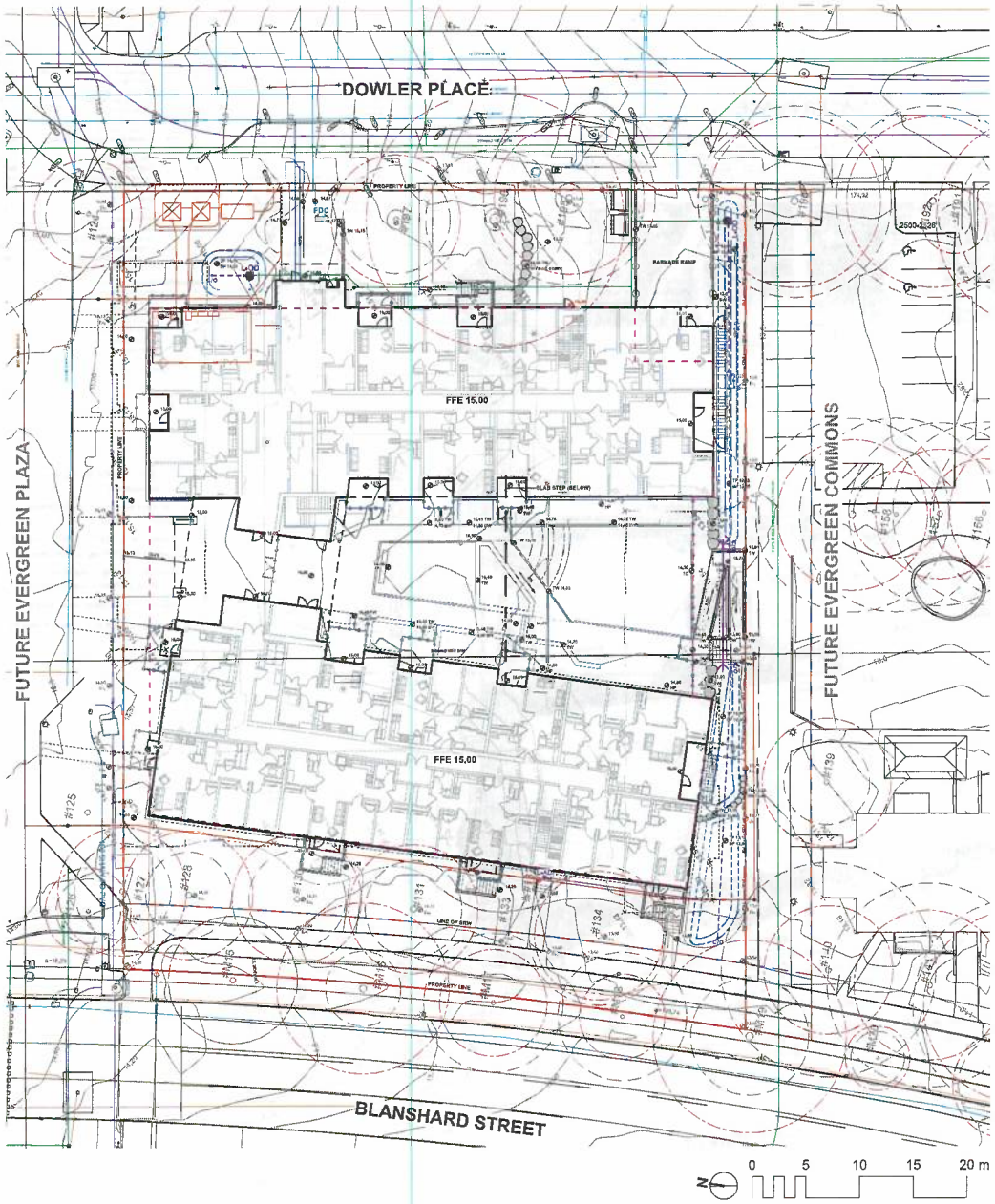


GRADING LEGEND

25.25 / 25.25 36.7% 24.25	Proposed Landscape Grade TOW Top of Wall; BW Bottom of Wall; TOC Top of Curb; BC Bottom of Curb; TP Top of Pad; BP Bottom of Pad; TS Top of Stairs; BS Bottom of Stairs; HP High Point; LP Low Point
25.25	Existing Grade
25.25	Architectural grade, for reference only
25.25	Proposed Landscape Grade
25.25	Civil Grade, for reference only
(8.00)	Proposed Landscape Contour

LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain
	Sched 40 PVC
C/O	Clean Out
L-AD	Landscape Area Drain 8" Square Drain with ADA Steel Lockable Grate.
L-OD	Landscape Overflow Drain
	Trench Drain Aco K100 Trench Drain, Load Class 'A'
	Culvert 300mm dia. pipe c/w headwall
	Root Barrier

NOTES:

1. Construction strategies within Tree Protection Zone (T.P.Z) to be approved by Project Arborist prior to construction.
2. Excavation within T.P.Z to be coordinated and supervised by the Project Arborist.
3. Elevation along property line to tie into existing surface unless otherwise noted.

MDB LANDSCAPE ARCHITECTS

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
8	DDP Resubmission	2026-02-20
7	95% BP Review	2025-12-19
6	50% CD	2025-11-13
5	Issued for DDP	2025-07-08
4	DD Progress Set	2025-06-06
3	BP 50% Review	2025-05-07
2	BC Hydro Review	2025-03-27
1	DDP Progress Set	2025-02-28

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS REGISTERED MEMBER Scott Murdoch 341

2026-02-20

client

BC Housing
1701 - 4555 Kingsway
Burnaby, BC V5H 4V8
250-317-0337

Lauren Antifeau
Lantifeau@bchousing.org

project

EVERGREEN DA-D (PHASE 1)
Victoria, BC

sheet title

Landscape Grading & Drainage

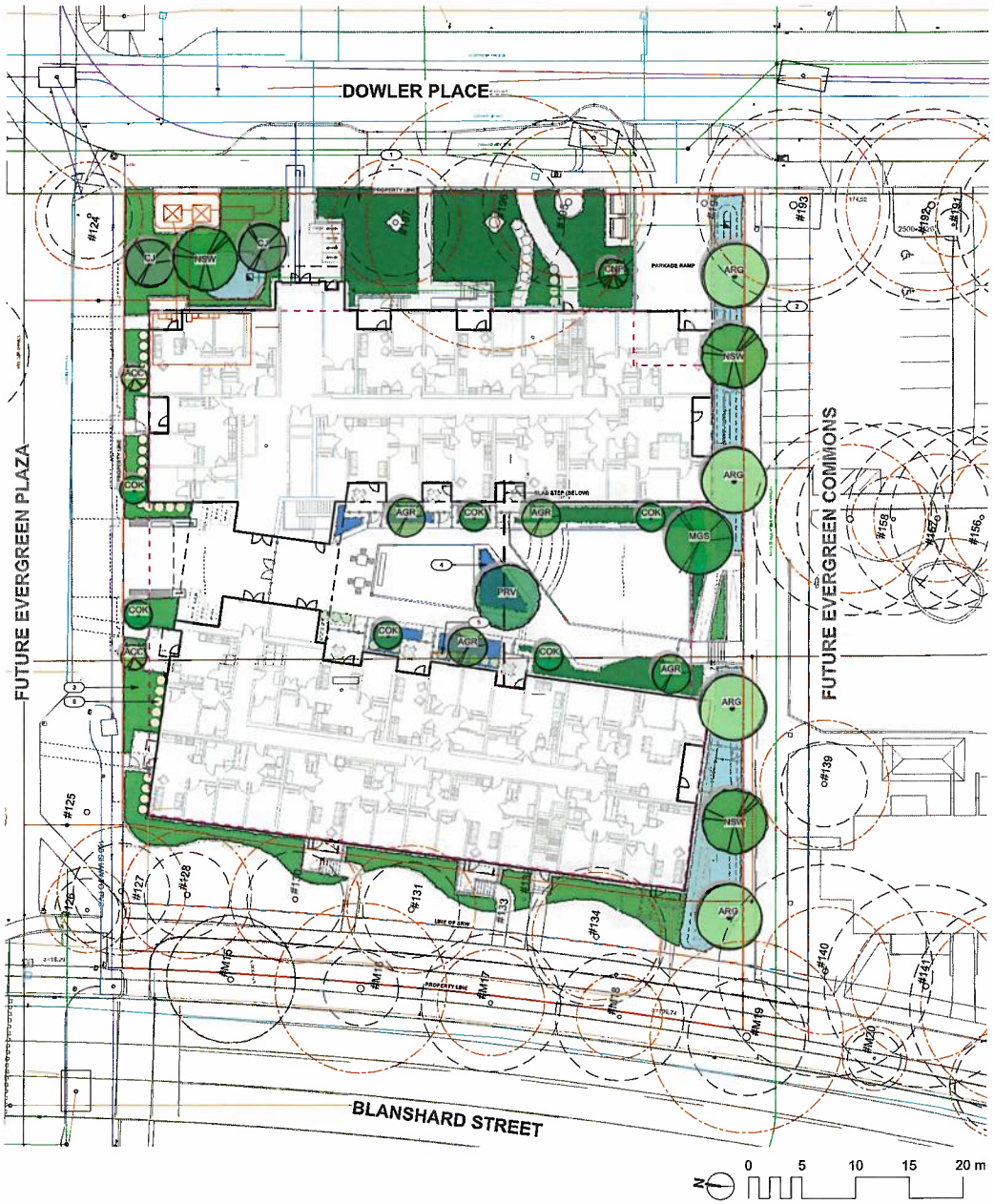
project no.	125.02
scale	1: 200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	**L2.01**

PLANTING PRECEDENTS

RAIN GARDEN

SHRUBS / GROUNDCOVER / PERENNIALS

PRIVACY HEDGING



PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing	N/P/E
TREES:					
ACC	2	Acer circinatum	Vine Maple	multistem, 1.5 m ht, b&b	N
AGR	4	Acer grisseum	Paperbark Maple	4.0cm cal, b&b	
ARG	4	Acer rubrum 'Autumn Glory'	Autumn Glory Red Maple	6.0cm cal, b&b	
CJ	2	Cercidiphyllum japonicum	Katsura Tree	5.0cm cal, b&b	
CNP	1	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	3.5 m ht	
COK	6	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b	P
MGS	1	Magnolia x soulangeana	Saucer Magnolia	4cm cal, b&b	
NSW	3	Nyssa sylvatica 'Wildfire'	Tupelo	5.0cm cal, b&b	
PRV	1	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Ironwood	5.0cm cal, b&b	
SHRUBS/FERNS/GRASSES/VINES:					
Arc	42	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	N/P
Afl	690	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot	N
Chi	26	Choisya ternata	Mexican Orange	#1 pot	
Epr	446	Epimedium x rubrum	Barrenwort	#1 pot	
Geh	307	Gaultheria shallon	Salal	#1 pot	N
La	42	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#1 pot	N/P
Lim	42	Liriope muscari	Lily turf	#1 pot	
Lp	17	Lonicera pileata	Privet Honeysuckle	#2 pot	
Mah	59	Mahonia aquifolium	Oregon Grape	#2 pot	N
Os	846	Oxalis oregana	Redwood Sorrell	#1 pot	N
Pm	290	Polystichum munitum	Sword Fern	#1 pot	N
Rhs	2	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	#3 pot	
Rs	11	Ribes sanguineum	Red Flowering Currant	#3 pot	N/P
Tbr	22	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot	
Vo	17	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot	
RAIN GARDEN PLANTS:					
Ant	107	Anemanthele lessoniana	Pheasant's Tail Grass	#1 pot	
Co	107	Carex obnupta	Slough Sedge	#1 pot	N
Cam	31	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot	
Crc	13	Cornus sericea	Redosier Dogwood	#2 pot	
Jcg	253	Juncus 'Carmen's Grey'	Soft Common Rush	#1 pot	
Lp	31	Lonicera pileata	Privet Honeysuckle	#2 pot	
Rs	7	Ribes sanguineum	Red Flowering Currant	#3 pot	N/P

*DENOTES NATIVE/POLLINATOR/EDIBLE PLANTS

1. Low Native Planting Alloing Dowler Place Frontage: Sword Fern, Lady Fern, Sorrel, Barrenwort, Salal
2. Rain Garden: Slough Sedge, Red-twig Dogwood, Red Flowering Currant, Soft Common Rush, Midwinter Fire Dogwood, Pheasant's Tail Grass, Honeysuckle
3. Shade Tollerant Native Planting Along Blanshard & Future PLaza: Salal, Oregon Grape, Red Flowering Currant. Sword Fern, Lady Fern
4. Courtyard Planting: Kinnikinnick, Oregon Grape, Salal, Honeysuckle, Lily Turf, Huckleberry, Rhododendron, Lavender
5. Hedging for Courtyard Patios: Yew spp.
6. Hedging for North Patios Along Future Plaza: Choisya spp.

MDI LANDSCAPE ARCHITECTS

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
8	DDP Resubmission	2026-02-20
7	95% BP Review	2025-12.19
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BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS REGISTERED MEMBER Scott Murdoch 341

2026-02-20

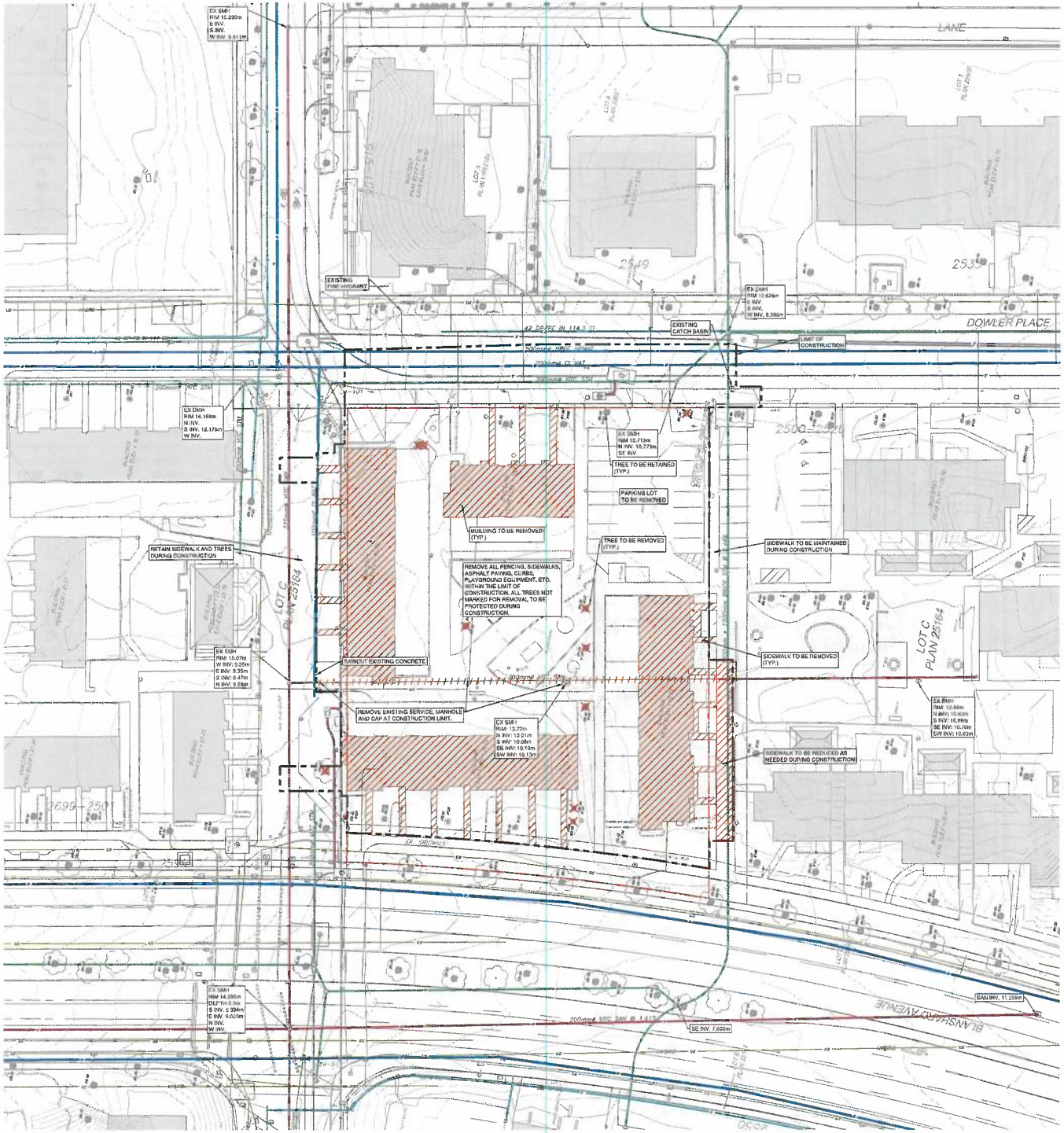
client
BC Housing
1701 - 4555 Kingsway
Burnaby, BC V5H 4V8
250-317-0337

Lauren Antifeau
Lantifeau@bchousing.org

project
EVERGREEN DA-D (PHASE 1)
Victoria, BC

sheet title
Planting

project no.	125.02
scale	1: 200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	L3.01



EXISTING FEATURES

- MANHOLE
- COMBINED SEWER
- COMBINED SEWER SERVICE LINE
- STORM SEWER
- CATCH BASIN
- SANITARY SEWER
- SEWER CLEANOUT
- WATER MAIN
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- WATER SERVICE
- GAS MAIN
- GAS VALVE
- TELUS CONDUIT
- ELECTRICAL CONDUIT
- STREET LIGHTING CONDUIT
- JUNCTION BOX
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- CURB AND GUTTER
- TBD – SPACEHOLDER
- TREE
- TBD – SPACEHOLDER
- SIGN
- FENCE

PROPOSED

- STORM SEWER
- SANITARY SEWER
- MANHOLE
- CATCH BASIN
- WATER MAIN
- WATER VALVE
- FIRE HYDRANT
- CROSS
- TEE
- BEND
- CAP
- REDUCER
- IRRIGATION CONTROL BOX
- IRRIGATION VALVE

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Engineers & Geoscientists BC
Permit #1000200

rev no.	description	date
D	RE-ISSUED TO GP FOR DDP	2025/07/04
C	ISSUED FOR 50% CD	2025/11/17
B	ISSUED FOR DDP	2025/07/04
A	50% DESIGN DEV.	2025/06/27

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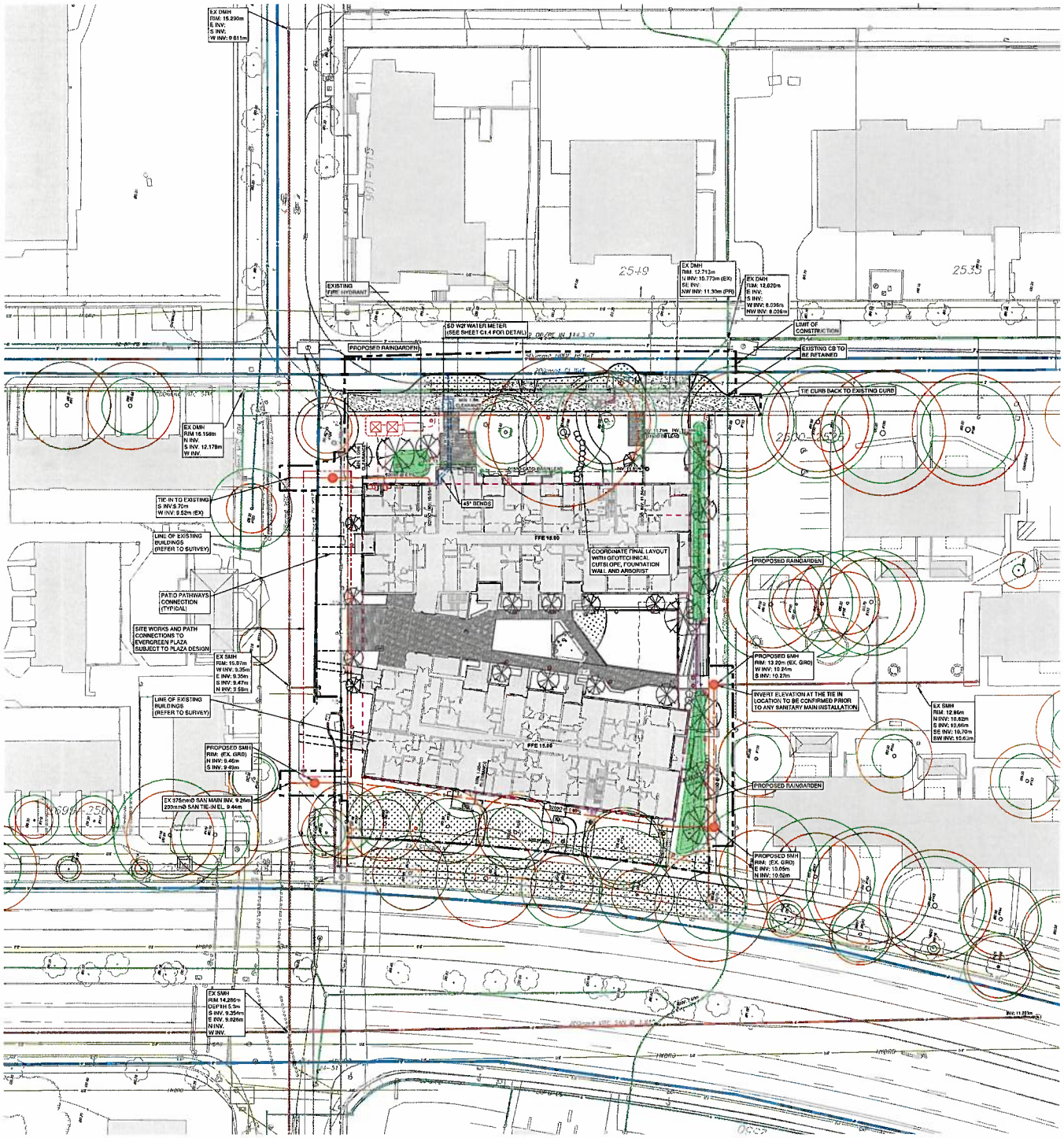
project name
Evergreen Phase 1

Victoria, BC

sheet title
Existing Site Plan And Demolition Plan

project no.	CA0038198.523
scale	1:250
drawn by	SG
date issued	2025/07/04
sheet no.	C1.0



EXISTING FEATURES

- MANHOLE
- COMBINED SEWER — C —
- COMBINED SEWER SERVICE LINE
- STORM SEWER — D —
- CATCH BASIN
- SANITARY SEWER
- SEWER CLEANOUT — S —
- WATER MAIN — W —
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- WATER SERVICE
- GAS MAIN — G —
- GAS VALVE
- TELUS CONDUIT — T —
- ELECTRICAL CONDUIT — UE —
- STREET LIGHTING CONDUIT — UE —
- JUNCTION BOX
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- CURB AND GUTTER
- TBD – SPACEHOLDER
- TREE
- TBD – SPACEHOLDER
- SIGN
- FENCE

PROPOSED

- STORM SEWER — D —
- SANITARY SEWER — S —
- MANHOLE — D1 — S1
- CATCH BASIN
- WATER MAIN — W —
- WATER VALVE
- FIRE HYDRANT
- CROSS
- TEE
- BEND
- CAP
- REDUCER
- IRRIGATION CONTROL BOX
- IRRIGATION VALVE
- ELECTRICAL WORK

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rev no	description	date
D	REVISED ISSUE FOR DP	2025/03/21
C	ISSUED FOR 60% CP	2025/11/21
B	ISSUED FOR DP	2025/07/04
A	50% DESIGN DEV.	2025/06/20

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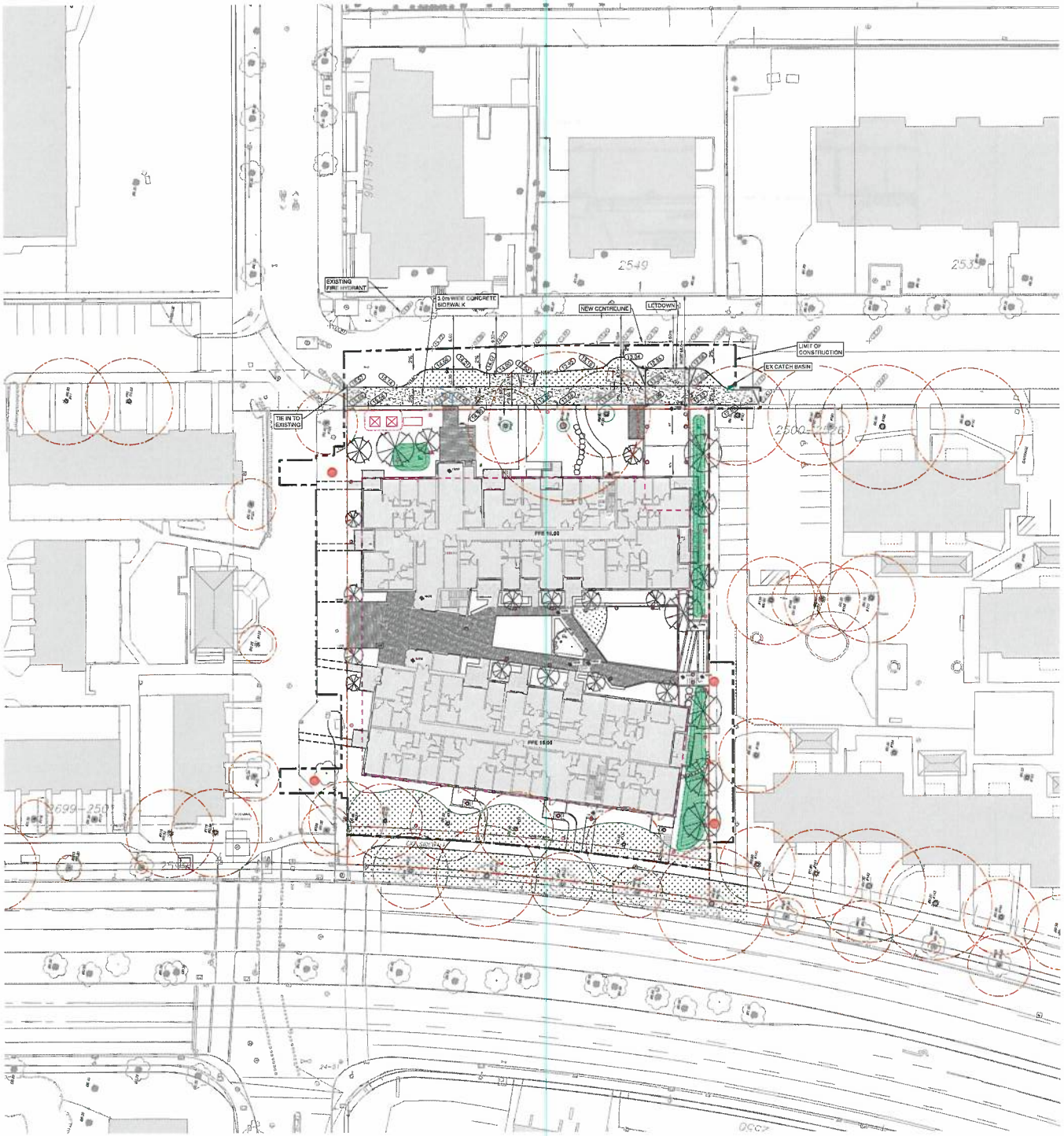
project name
Evergreen Phase 1

Victoria, BC

sheet title
Site Servicing Plan

project no.	CA0036188.523
scale	1:250
drawn by	SG/BJP
date issued	2025/07/04
sheet no.	C1.1



EXISTING FEATURES

- MANHOLE
- COMBINED SEWER — C —
- COMBINED SEWER SERVICE LINE
- STORM SEWER — D —
- CATCH BASIN
- SANITARY SEWER
- SEWER CLEANOUT — S —
- WATER MAIN — W —
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- WATER SERVICE
- GAS MAIN — G —
- GAS VALVE
- TELUS CONDUIT — T —
- ELECTRICAL CONDUIT — UE —
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- UTILITY POLE
- CURB AND GUTTER
- TBD – SPACEHOLDER
- TREE
- TBD – SPACEHOLDER
- SIGN
- FENCE

PROPOSED

- STORM SEWER — D —
- SANITARY SEWER — S —
- MANHOLE — D1 S1
- CATCH BASIN
- WATER MAIN — W —
- WATER VALVE
- FIRE HYDRANT
- CROSS
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E. R. JACKSON PURP

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N

rev no	description	date
D	RE-ISSUED TO DAI FOR DDP	2025/02/05
C	ISSUED FOR 50% CD	2025/11/1
B	ISSUED FOR DDP	2025/07/0
A	50% DESIGN DEV.	2025/05/0

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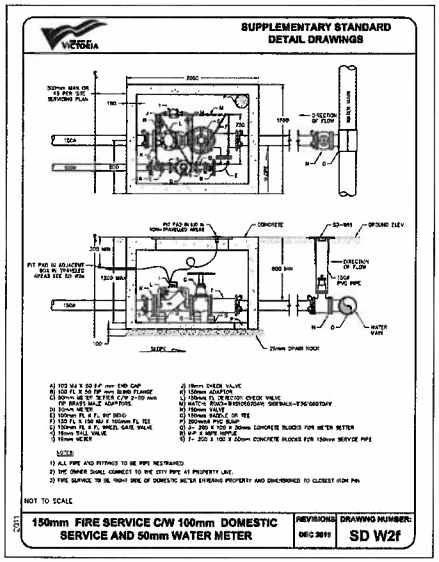
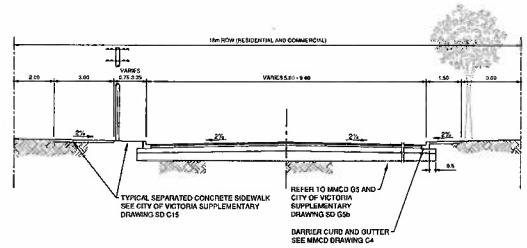
project name
Evergreen Phase 1

Victoria, BC

sheet title
Surface Works

project no.	CA0036158.523
scale	1:250
drawn by	SG/BJP
date issued	2025/07/04
sheet no.	C1.2





NOTES:

1. ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE.
2. OVERALL DIMENSIONS AND ROW MAY VARY AT INTERSECTIONS.
3. PAVEMENT WIDTHS:
   - SINGLE FAMILY TO LOW DENSITY TOWNHOUSE 9m
   - HIGH DENSITY TOWNHOUSE TO LOW RISE APARTMENTS AND NEIGHBOURHOOD COMMERCIAL CENTRES 10m

TYPICAL LOCAL STREET

NTS

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Permit #1000200

N

rev no	description	date
D	IN REVIEW FOR DP	[illegible]
C	ISSUED FOR 50% I.D.	2025/01/1[illegible]
B	ISSUED FOR DDP	2024/07/0[illegible]
A	50% DESIGN DEV.	[illegible]

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project name
Evergreen Phase 1

Victoria, BC

sheet title
Civil Details

project no.	CA0036198.523
scale	1:50
drawn by	SG/BJP
date issued	2025/07/04
sheet no.	C1.3