

475 KINGSTON STREET

Rezoning & Development Permit Application

January 6th, 2023



VIEW FROM MENZIES STREET LOOKING WEST DOWN KINGSTON STREET

PROJECT TEAM

Owner / Developer	Architect	Landscape Architect	Structural Engineer	Civil Engineer	Geotechnical Engineer	Mechanical Engineer	Electrical Engineer	Code Consultant
Alpha Project Developments Ltd.	Merrick Architecture	Small & Rossell	RJC Engineers	JE Anderson & Associates	Ryzuk Geotechnical	Avalon Mechanical	AES Engineering	GHL Consultants
301-2250 Oak Bay Avenue Victoria, BC V8R 1G5 T.(250) 360-1944	510 Yates St #200 Victoria, BC V8W 1K9 T.(250) 480-7811	3012 Manzer Rd Sooke, BC V9Z 0C9 T. (250) 642-6967	645 Tyee Rd #220 Victoria, BC V9A 6X5 T.(250) 386-7794	4212 Glanford Ave Victoria, BC V8Z 4B7 T.(250) 727-2214	40 Cadillac Ave #6 Victoria, BC V8Z 1TC T.(250) 475-3131	300-1245 Esquimalt Road Victoria, BC V9A 3P2 T.(250) 384-2128	500-3795 Carey Road Victoria, BC V8Z 6T8 T.(250) 590-9980	800 - 700 West Pender Street Vancouver, BC V6C 1G8 T.(604) 689-4449
Contact: Bijan Neyestani bneyestani@alphadevelopments.com Fred Rohani alphadevelopments@shaw.ca	Contact: Shaun McIntyre mcintyre@merrickarch.com	Contact: Carole Rossell carole@smallandrossell.com	Contact: Leon Plett lplett@rjc.ca	Contact: Ross Tuck rtuck@jeanderson.com	Contact: Christian J. Flanagan christian@ryzuk.com	Contact: Mirek Demidow mirek@avalonmechanical.com	Contact: Pelle Björner pelle.bjornert@aesengr.com	Contact: Frankie Victor fv@ghl.ca

MERRICK
ARCHITECTURE

BOROWSKI SAKUMOTO MCINTYRE WEBB LTD.

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan



Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Cover Sheet

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-000

PROJECT INFORMATION TABLE	
Zone (existing)	CD-2 Legislative Precinct Comprehensive District
Zone (proposed)	New Zone
Development Permit Area	DPA-12 (HC) Legislative Precinct
Heritage Status	None
Site Area (m²)	1974.5 m²
Total Floor Area (m²)	6555 m²
Floor Space Ratio	3.32:1
Site Coverage (%)	54%
Open Site Space (%)	40%
Height of Building (m)	21.90m
Number of Storeys	7
Parking Stalls (number) on site	73 Residential & 6 Visitor
Bicycle Parking number (storage and rack)	68 Storage & 6 Rack
Building Setbacks (m)	
Front Yard	1.5 m
Rear Yard	7.5 m
Internal Side Yard (west)	6.3 m
Side yard (east)	4.6 m
Combined Side Yards	10.9 m
Residential Use Details	
Total Number of Units	60
Unit Types, e.g., 1 bedroom	1 Bdrm, 1Bdrm+Den, 2 Bdrm, 2 Bdrm+Den, 3 Bdrm
Ground-Oriented Units	9
Minimum Unit Floor Area (m²)	60 m²
Total Residential Floor Area (m²)	6832 m²

PID: 029-274-443
Legal Description: Lot 1 of Lot 1892, 1893, 1894 and 1895 Victoria, EPP38870
Civic Description: 475 Kingston Street

CODE SUMMARY		
Applicable Code	BC Building Code 2018	
Project Description	Seven Storey residential building of noncombustible construction, over a three level basement storage garage, containing 60 dwelling units. Storage garage contains vehicle parking, bicycle storage, storage lockers, garbage and service rooms.	
Occupancy Classification (Major Classifications)	Group C, Residential & Group F, Division 3, Low Hazard Industrial (storage garage)	
Construction Requirements		
Occupancy	Group C	Group F-3
Building Area (m ²)	1112m ²	1963m ²
Building Height (storeys)	7	2
Streets Faced	2	N/A
Sprinklered	Yes	Yes
Construction Article	3.2.2.47.	3.2.2.80.
Maximum Building Area Permitted (m ²)	Unlimited	Unlimited
Type of Construction Permitted	Noncombustible	Noncombustible
Floor Assembly Fire Rating (h)	2	2
Mezzanine Fire Rating (h)	2	2
Structural Supports for Rated Assemblies	Same as supported assembly	Same as supported assembly
Roof Fire Rating	2 (occupied) N/A (non-occupied)	N/A

REGULAR PARKING STALLS			
Level	Type Mark	Count	EV Ready
Parking Mezzanine	END STALL	9	Yes
Parking Mezzanine: 9		9	
Parking Level 1	ACCESSIBLE STALL	1	Yes
Parking Level 1	END STALL	50	Yes
Parking Level 1	REGULAR STALL	1	Yes
Parking Level 1: 52		52	
Parking Level 2	END STALL	17	Yes
Parking Level 2	REGULAR STALL	1	Yes
Parking Level 2: 18		18	
Grand total		79	



SITE LOCATION: PROPERTIES

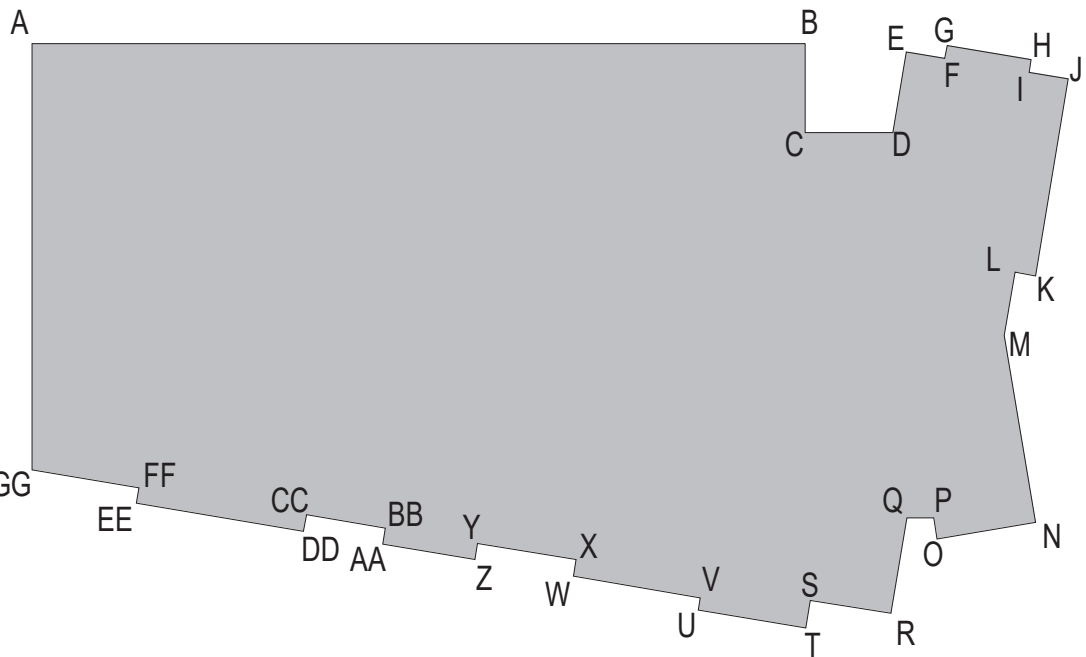


SITE LOCATION: AERIAL

AVERAGE GRADE CALCULATIONS

GRADE POINTS		i.e. ((A+B)÷2)	
A:	6.70	A-B:	6.75 x 35.80 = 241.47
B:	6.79	B-C:	6.75 x 4.10 = 27.65
C:	6.70	C-D:	6.63 x 4.00 = 26.50
D:	6.55	D-E:	6.68 x 3.80 = 25.37
E:	6.80	E-F:	6.80 x 1.80 = 12.24
F:	6.80	F-G:	6.80 x 0.60 = 4.08
G:	6.80	G-H:	6.78 x 4.00 = 27.10
H:	6.75	H-I:	6.75 x 0.60 = 4.05
I:	6.74	I-J:	6.72 x 1.80 = 12.10
J:	6.70	J-K:	6.48 x 9.20 = 59.62
K:	6.26	K-L:	6.26 x 1.00 = 6.26
L:	6.26	L-M:	6.24 x 3.00 = 18.71
M:	6.21	M-N:	6.12 x 8.80 = 53.81
N:	6.02	N-O:	6.03 x 4.60 = 27.72
O:	6.03	O-P:	6.03 x 1.00 = 6.03
P:	6.03	P-Q:	6.04 x 1.20 = 7.24
Q:	6.04	Q-R:	6.07 x 4.50 = 27.29
R:	6.09	R-S:	5.99 x 3.80 = 22.76
S:	5.89	S-T:	5.89 x 1.30 = 7.66
T:	5.89	T-U:	5.80 x 5.00 = 28.98
U:	5.70	U-V:	5.70 x 0.60 = 3.42
V:	5.70	V-W:	5.69 x 6.00 = 34.11
W:	5.67	W-X:	5.67 x 0.80 = 4.54
X:	5.67	X-Y:	5.66 x 4.60 = 26.04
Y:	5.65	Y-Z:	5.65 x 0.80 = 4.52
Z:	5.65	Z-AA:	5.61 x 4.30 = 24.10
AA:	5.56	AA-BB:	5.56 x 0.80 = 4.45
BB:	5.56	BB-CC:	5.52 x 3.70 = 20.41
CC:	5.47	CC-DD:	5.47 x 0.80 = 4.38
DD:	5.47	DD-EE:	5.44 x 7.90 = 42.94
EE:	5.40	EE-FF:	5.40 x 0.80 = 4.32
FF:	5.40	FF-GG:	5.39 x 5.00 = 26.95
GG:	5.38	GG-A	5.39 x 19.80 = 106.72

	155.80	953.50
AVERAGE GRADE =	953.5015 ÷	155.80 = 6.12



① Average Grade Diagram
1 : 350

ROOM SCHEDULE			
Level	Unit Type	Unit Number	Area
Level 1	1BR + DEN	UNIT 104	75 m²
Level 1	1BR + DEN	UNIT 107	61 m²
Level 1	2 BR	UNIT 105	95 m²
Level 1	2BR + DEN	UNIT 102	118 m²
Level 1	2BR + DEN	UNIT 103	129 m²
Level 1	2BR + DEN	UNIT 108	93 m²
Level 1	2BR + DEN	UNIT 109	99 m²
Level 1	3BR + DEN	UNIT 101	149 m²
Level 1	AMENITY	UNIT 106	82 m²
Level 1	CORRIDOR	100	63 m²
Level 1	ELEC.	100	2 m²
Level 1	MAIL	100	5 m²
Level 1: 12			971 m²

Level 2	1 BR + DEN	UNIT 208	61 m²
Level 2	1BR + DEN	UNIT 204	75 m²
Level 2	1BR + DEN	UNIT 207	61 m²
Level 2	1BR + DEN	UNIT 209	63 m²
Level 2	2BR	UNIT 205	96 m²
Level 2	2BR	UNIT 206	89 m²
Level 2	2BR	UNIT 210	76 m²
Level 2	2BR + DEN	UNIT 202	120 m²
Level 2	2BR + DEN	UNIT 203	130 m²
Level 2	3BR	UNIT 201	149 m²
Level 2	ELEC.	200	2 m²
Level 2	Room	P10	53 m²
Level 2: 12			973 m²

Level 3	1 BR	UNIT 307	60 m²
Level 3	1 BR	UNIT 308	60 m²
Level 3	1 BR	UNIT 309	62 m²
Level 3	1 BR + DEN	UNIT 304	75 m²
Level 3	1 BR + DEN	UNIT 310	75 m²
Level 3	2 BR + DEN	UNIT 303	129 m²
Level 3	2 BR + DEN	UNIT 305	95 m²
Level 3	2 BR + DEN	UNIT 306	88 m²
Level 3	2BR + DEN	UNIT 302	119 m²
Level 3	3 BR	UNIT 301	149 m²
Level 3	ELEC.	300	2 m²
Level 3	Room	UNIT 714	54 m²
Level 3: 12			967 m²

ROOM SCHEDULE			
Level	Unit Type	Unit Number	Area
Level 4	1 BR + Den	UNIT 404	75 m²
Level 4	1 BR + Den	UNIT 407	60 m²
Level 4	1 BR + Den	UNIT 408	60 m²
Level 4	1 BR + Den	UNIT 409	62 m²
Level 4	2 BR	UNIT 405	96 m²
Level 4	2 BR	UNIT 406	88 m²
Level 4	2 BR	UNIT 410	75 m²
Level 4	2 BR + Den	UNIT 402	120 m²
Level 4	2 BR + Den	UNIT 403	129 m²
Level 4	3 BR	UNIT 401	149 m²
Level 4	CORRIDOR	400	54 m²
Level 4	ELEC.	300	2 m²
Level 4: 12			970 m²

Level 5	1 BR	UNIT 507	60 m²
Level 5	1 BR	UNIT 508	60 m²
Level 5	1 BR	UNIT 509	62 m²
Level 5	1 BR + DEN	UNIT 504	75 m²
Level 5	1 BR + Den	UNIT 510	75 m²
Level 5	2 Bed + Den	UNIT 502	119 m²
Level 5	2 BR	UNIT 505	95 m²
Level 5	2 BR	UNIT 506	88 m²
Level 5	2 BR + DEN	UNIT 503	128 m²
Level 5	3 BR	UNIT 501	150 m²
Level 5	CORRIDOR	400	55 m²
Level 5	ELEC.	400	2 m²
Level 5: 12			969 m²

Level 6	1 BR	UNIT 605	69 m²
Level 6	1 BR	UNIT 606	57 m²
Level 6	1 BR + DEN	UNIT 607	96 m²
Level 6	2 BR	UNIT 603	106 m²
Level 6	2 BR	UNIT 604	156 m²
Level 6	2 BR + DEN	UNIT 602	134 m²
Level 6	3 BR	UNIT 601	105 m²
Level 6	CORRIDOR	P9	48 m²
Level 6	ELEC.	UNIT 713	2 m²
Level 6: 9			773 m²

Level 7	1 BR	UNIT 701	81 m²
Level 7	1 BR	UNIT 704	62 m²
Level 7	2 BR	UNIT 702	135 m²
Level 7	2 BR	UNIT 703	75 m²
Level 7	2 BR + Den	UNIT 701	159 m²
Level 7	Balcony	UNIT 601	2 m²
Level 7	ELEC.	P7	2 m²
Level 7	Room	P11	48 m²
Level 7	Room	UNIT 707	6 m²
Level 7	Room	UNIT 708	1 m²
Level 7	Room	UNIT 710	1 m²
Level 7: 11			574 m²
Grand total: 80			6197 m²

DRAWING LIST	
Drawing Number	Drawing Title

A-000	Cover Sheet
A-001	Project Data
A-002	Site Survey
A-003	Legislative Precinct Diagrams
A-004	Aerial Views
A-005	Aerial Views
A-006	Perspective Renderings
A-007	Perspective Renderings
A-008	Shadow Studies - Equinox
A-009	Shadow Studies - Summer
A-010	Shadow Studies - Winter
A-101	Site Plan
A-201	Parking Level 2 Plan
A-202	Parking Level 1 Plan
A-203	Parking Mezzanine Plan
A-204	Level 1 Plan
A-205	Level 2 Plan
A-206	Level 3 Plan
A-207	Level 4 Plan
A-208	Level 5 Plan
A-209	Level 6 Plan
A-210	Level 7 Plan
A-211	Roof Plan
A-301	Elevations - Context
A-302	North Elevation
A-303	East Elevation
A-304	South Elevation
A-305	West Elevation
A-401	Sections - Building
A-402	Sections - Building
A-403	Sections - Building
A-404	Sections - Building
A-405	Sections - Building
A-406	Sections - Building
A-407	Sections - Building
A-501	Materials - Exterior
C-1	Preliminary Site Servicing Plan
L-1	Landscape Plan
L-2	Landscape Renderings
L-3	Landscape Renderings
L-4	Landscape Details
L-5	Tree Retention & Replacement Plan

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision	Description	Date
No.		

Issue	Issue Date
-------	------------

CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Project Data

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-001

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Site Survey

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-002

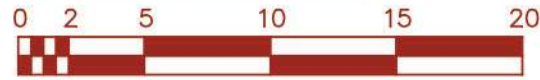
BC LAND SURVEYORS SITE PLAN OF:

Civic: 475 Kingston Street

Legal Lot 1 of Lot 1892, 1893, 1894 and 1895,
Victoria City, Plan EPP38870

Parcel Identifier: 029-274-443 in the City of Victoria

Scale - 1 : 300 Distances are in metres.



The intended plot size is 609.60mm x 457.20mm (Arch C size).

LEGEND

Elevations are to geodetic datum.

- ## - denotes - existing elevation
- CB - denotes - catch basin
- Rh - denotes - fire hydrant
- MH - denotes - manhole (unmarked)
- MHD - denotes - manhole drain
- MW - denotes - monitoring well
- UP - denotes - utility pole
- UPL - denotes - utility pole with light

Tree diameters are in centimetres.

Lot Area = 1974.5 m2

The following non-financial charges are shown on the current title and may affect the property.

- CA3641379 - Covenant
- CA5414957 - Easement
- CA5414958 - Covenant
- CA5414966 - Easement
- CA5414967 - Covenant
- CA5414975 - Covenant
- CA5414976 - Covenant

1 Site Survey Plan
1 : 150



Legislative Precinct

Volume Two

Built Form Guidelines

prepared
on behalf of
The British Columbia Buildings
Corporation
by
Paul Merrick Architects Limited

June 2, 1994



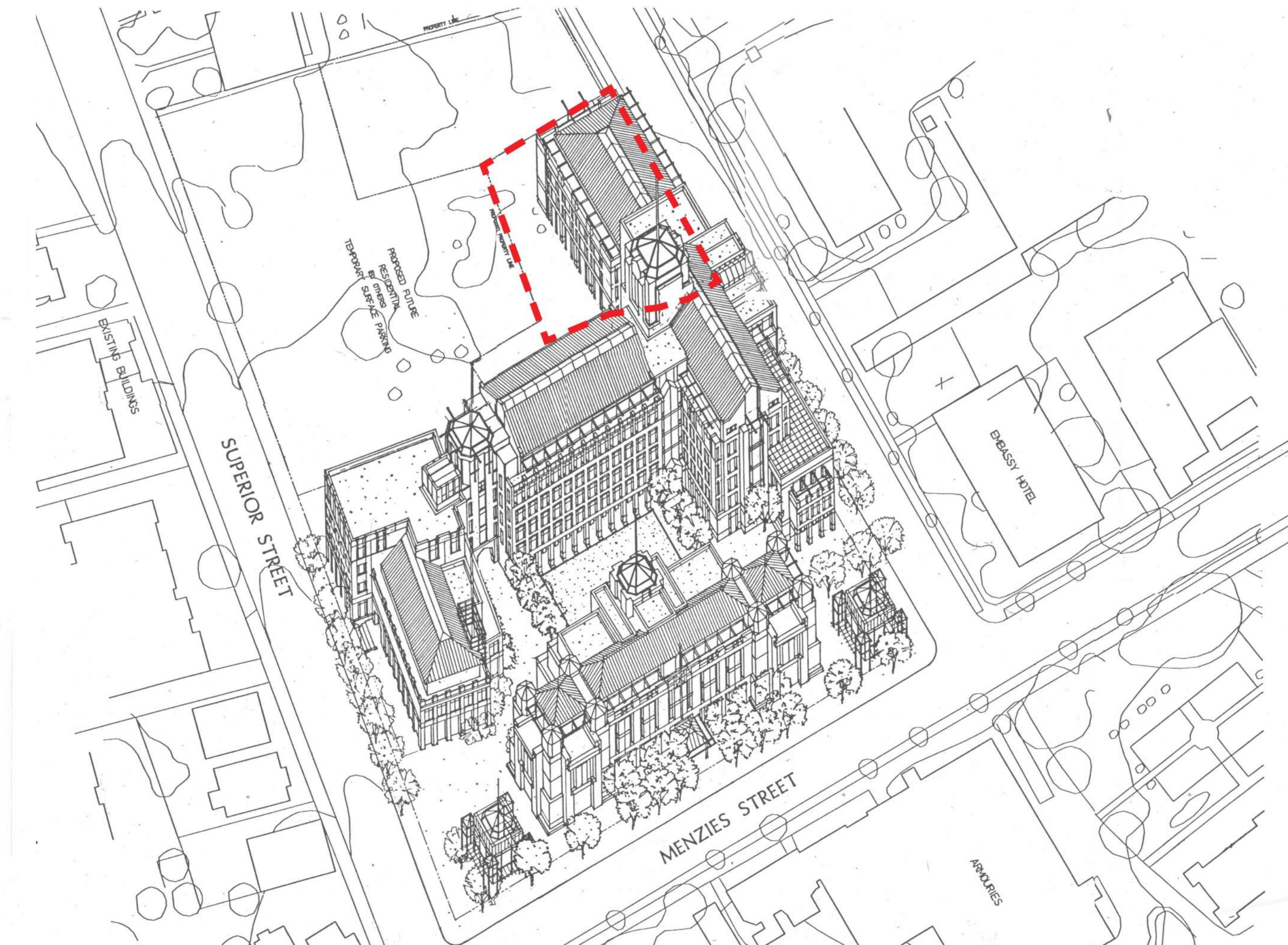
Traffic management techniques, including 'traffic calming', should be considered for roads in and around the Precinct.
--Guideline 4.1, Project Review Group Report

Planning development in the Precinct should be integrated with planning for the Downtown Streetcars and other transit initiatives which evolve.
--Guideline 4.2, Project Review Group Report

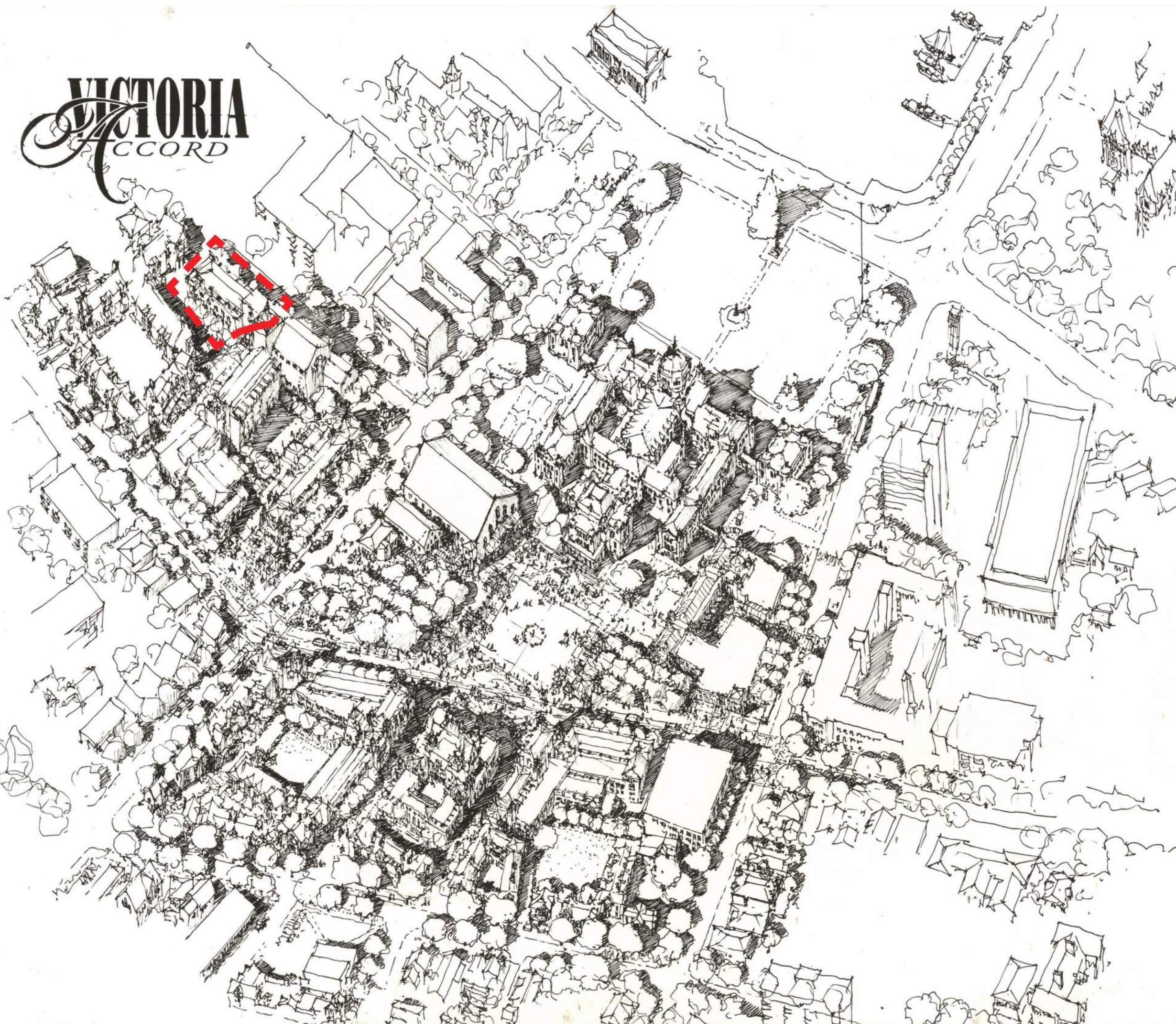
- Secondary Arterial Road
- Collector
- Secondary Collector
- Bus Zone
- Bicycle Route
- Line of Future Road Widening
- Intersection Crosswalk (existing)
- Crosswalk (proposed)

1-23

LEGISLATIVE PRECINCT GUIDELINES: PREPARED BY MERRICK ARCHITECTURE LTD. (FORMERLY PAUL MERRICK ARCHITECTS LTD.) FOR BCBC



LOCATION OF THE 475 KINGSTON STREET SITE IN RELATION TO THE PREVIOUS VICTORIA ACCORD DEVELOPMENT BY MERRICK ARCHITECTURE (FORMERLY PAUL MERRICK ARCHITECTS LTD.)



PREVIOUSLY PROPOSED MASSING ON THE 475 KINGSTON SITE AS PART OF THE VICTORIA ACCORD, COMPLYING WITH THE LEGISLATIVE PRECINCT BUILT FORM GUIDELINES

VICTORIA ACCORD MASTERPLAN CONCEPT BY MERRICK ARCHITECTURE LTD. (FORMELY PAUL MERRICK ARCHITECTS LTD.)



AN ILLUSTRATIVE 1996 VICTORIA ACCORD PROPOSAL (APPROVED FOR BUILDING PERMIT) FOR A 6 STOREY 22M HIGH COMMERCIAL/OFFICE PROJECT IN COMPLIANCE WITH THE 1994 LEGISLATIVE PRECINCT BUILT FORM GUIDELINES

ILLUSTRATIVE PROJECT BY HEMINGWAY NELSON ARCHITECTS LTD, 1996



THE PROJECT PROPOSES 7 RESIDENTIAL FLOORS WITHIN THE ALLOWABLE 22M GUIDELINE HEIGHT, AS COMPARED TO THE PREVIOUS 6 COMMERCIAL/OFFICE FLOORS

MERRICK
ARCHITECTURE

BOROWSKI SAKUMOTO MCINTYRE WEBB LTD.

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
-------	------------

CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

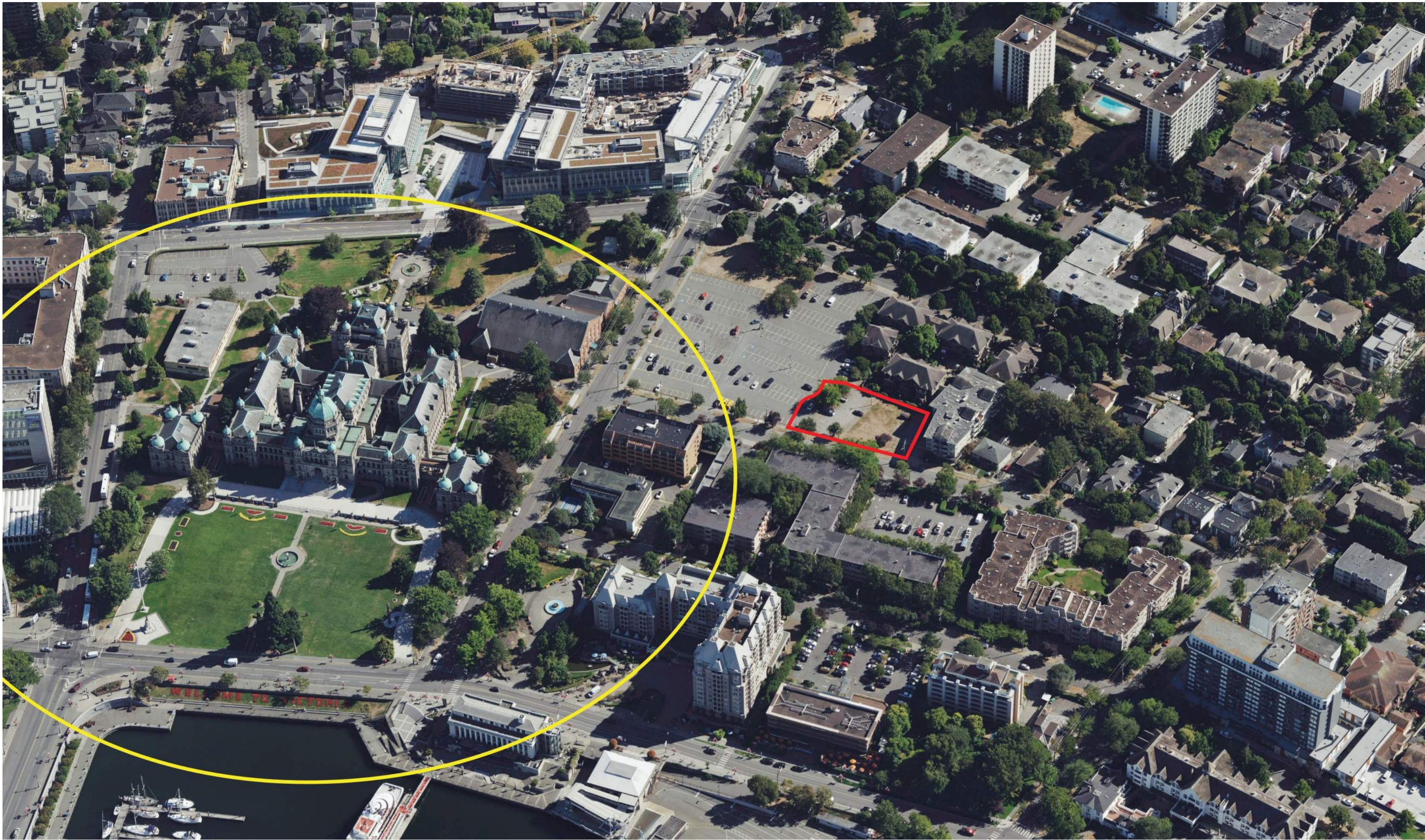
For
Alpha Project Developments Ltd.

Sheet Title

Legislative Precinct
Diagrams

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

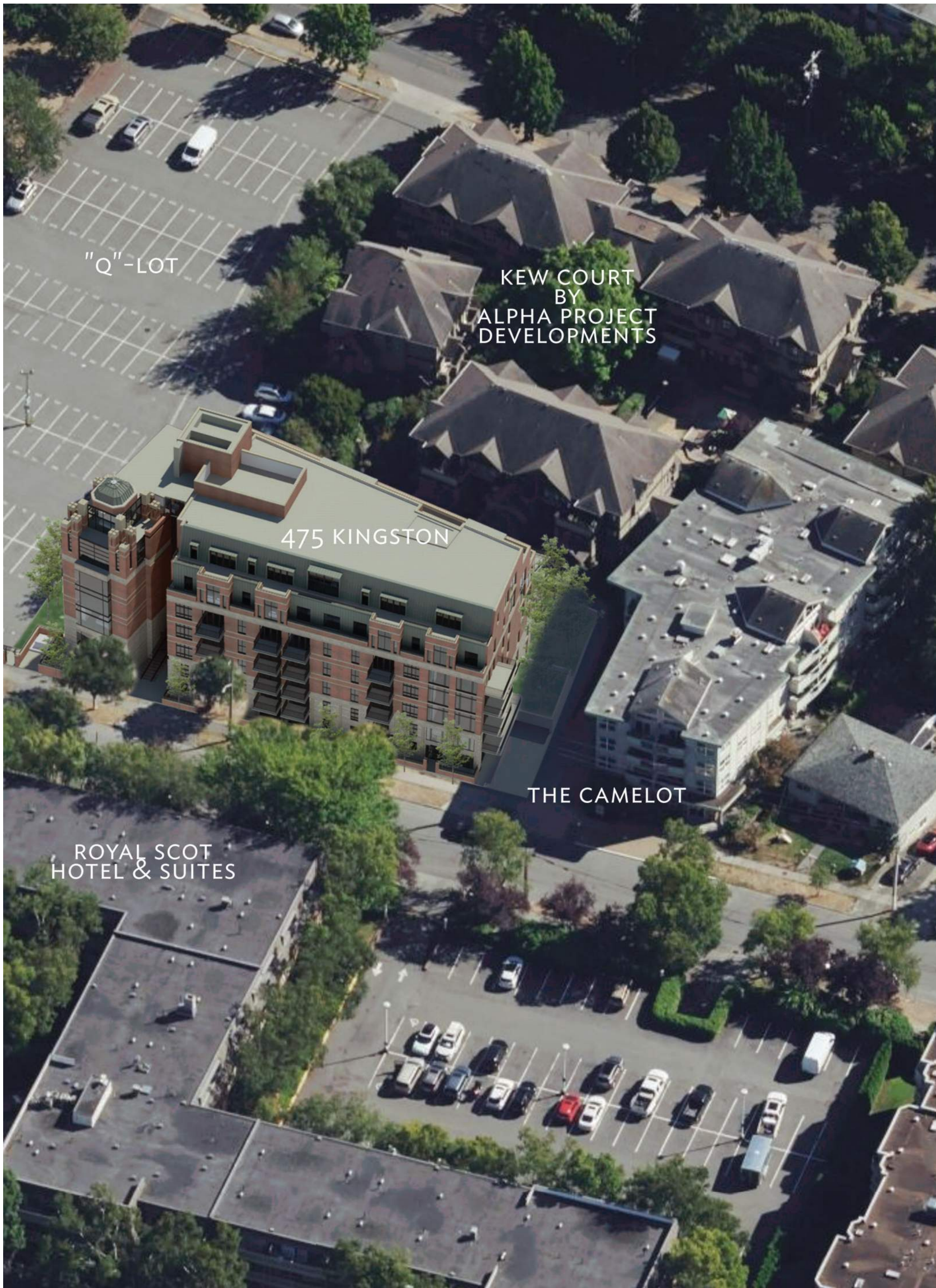
A-003



BIRDSEYE VIEW LOOKING SOUTHEAST: EXISTING SITE LOCATED BEYOND THE 180M LEGISLATIVE DOME RADIUS



BIRDSEYE VIEW LOOKING SOUTHEAST AT PROPOSED PROJECT WITHIN NEIGHBOURHOOD CONTEXT



BIRDSEYE VIEW LOOKING SOUTHEAST AT PROPOSED PROJECT WITHIN IMMEDIATE CONTEXT

VANCOUVER
#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA
#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

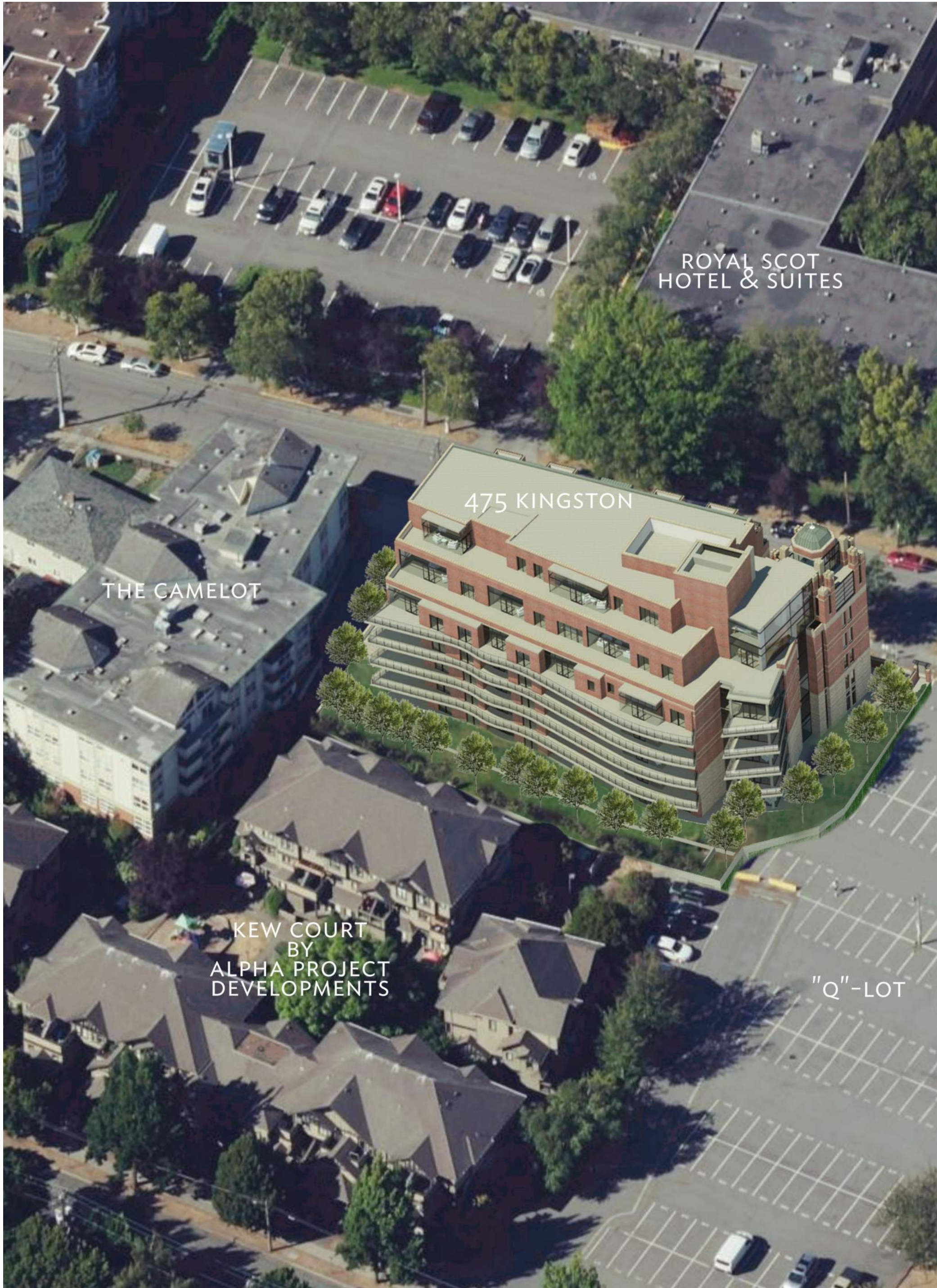
Aerial Views

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-004



BIRDSEYE VIEW LOOKING NORTHWEST AT EXISTING SITE



BIRDSEYE VIEW LOOKING NORTHWEST AT PROPOSED PROJECT WITHIN IMMEDIATE CONTEXT



BIRDSEYE VIEW LOOKING NORTHWEST AT PROPOSED PROJECT WITHIN NEIGHBOURHOOD CONTEXT

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Aerial Views

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-005



EXISTING VIEW LOOKING WEST DOWN KINGSTON STREET



PROPOSED VIEW LOOKING WEST DOWN KINGSTON STREET

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Perspective Renderings

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-006



EXISTING VIEW LOOKING EAST DOWN KINGSTON STREET



PROPOSED VIEW LOOKING EAST DOWN KINGSTON STREET

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Perspective Renderings

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project
475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
Shadow Studies - Equinox

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-008



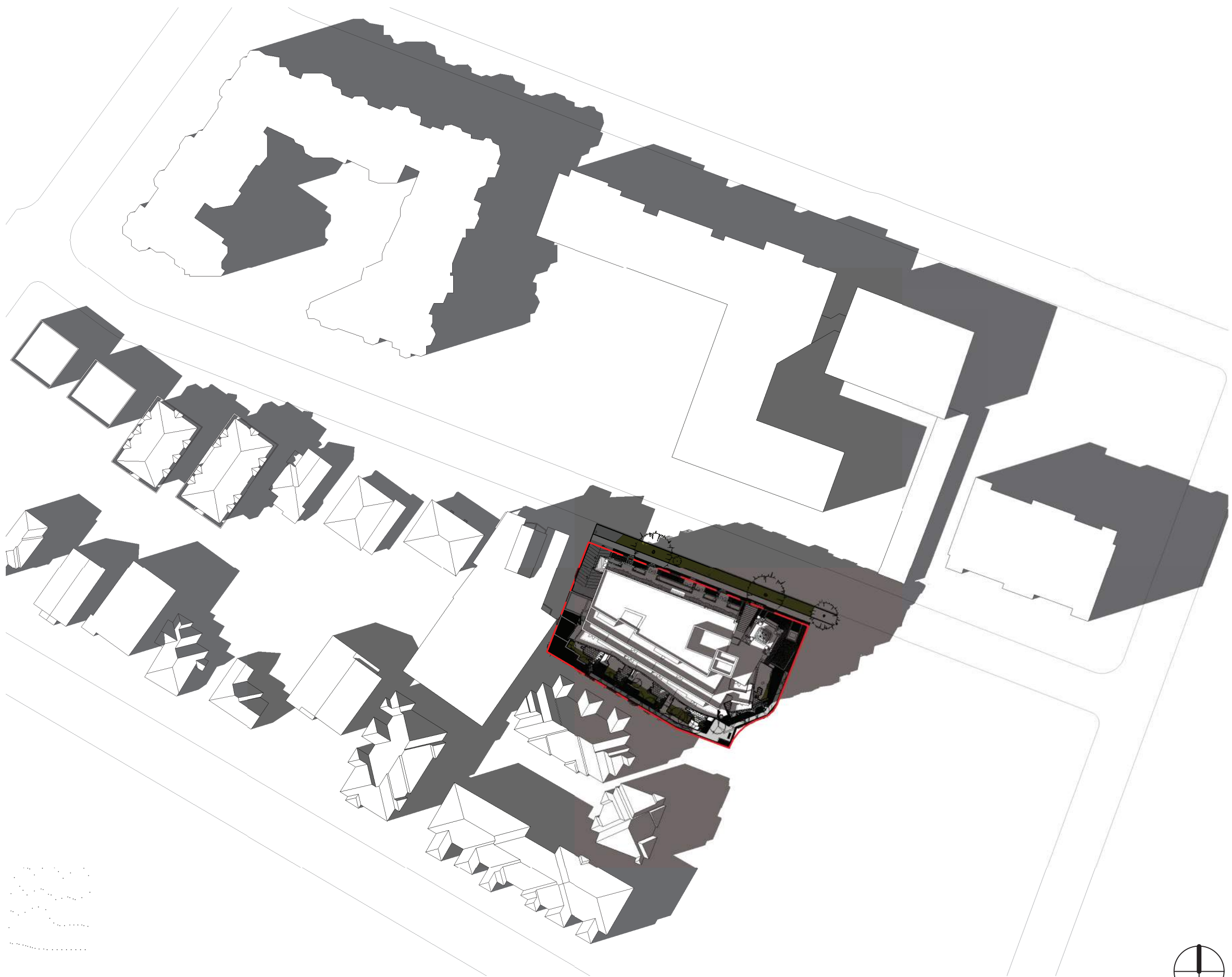
① Shadow - Equinox - 10 AM
1 : 1000



② Shadow - Equinox - 12 PM
1 : 1000



③ Shadow - Equinox - 2 PM
1 : 1000



④ Shadow - Equinox - 4 PM
1 : 1000



VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project
475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
Shadow Studies - Summer

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

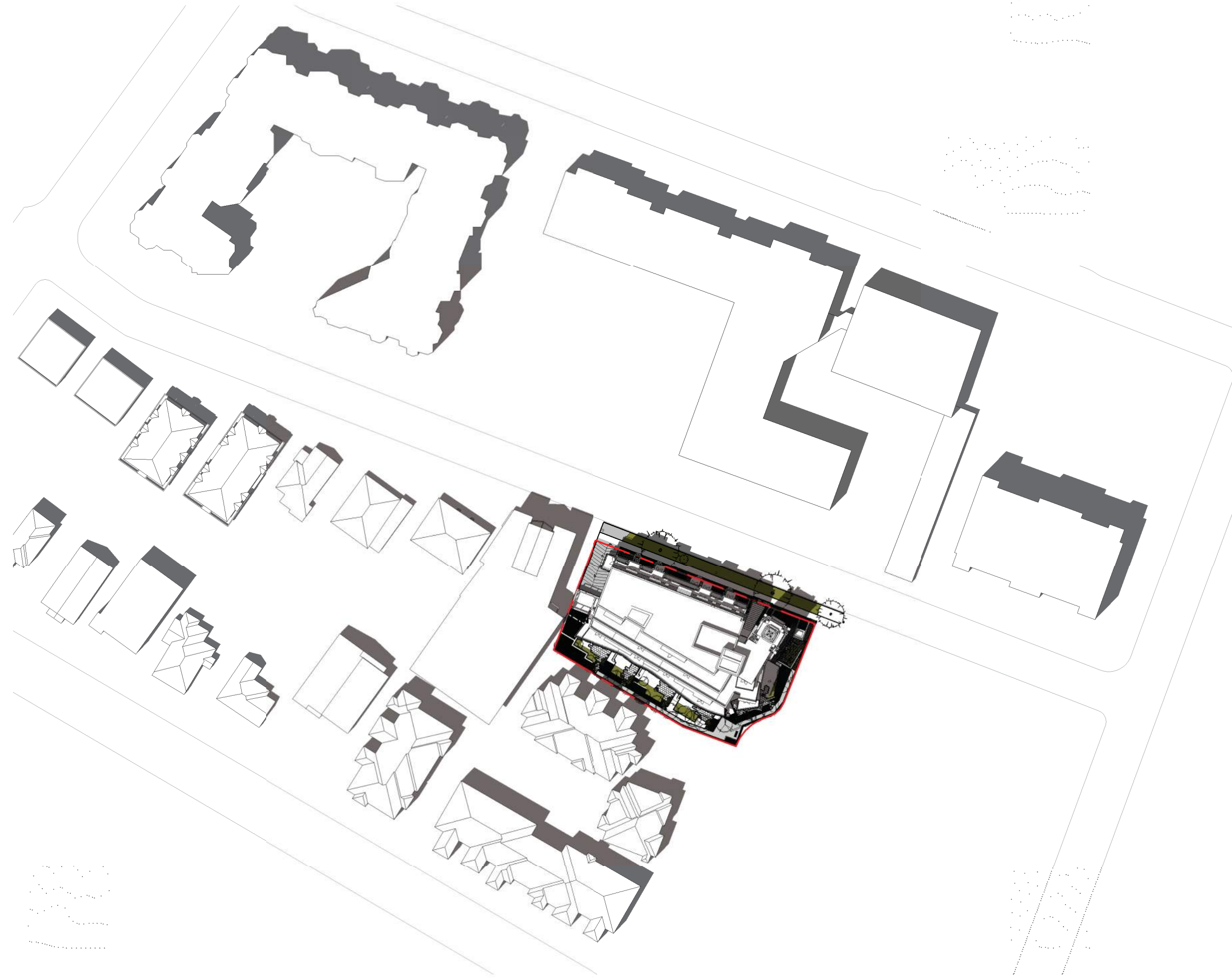
A-009



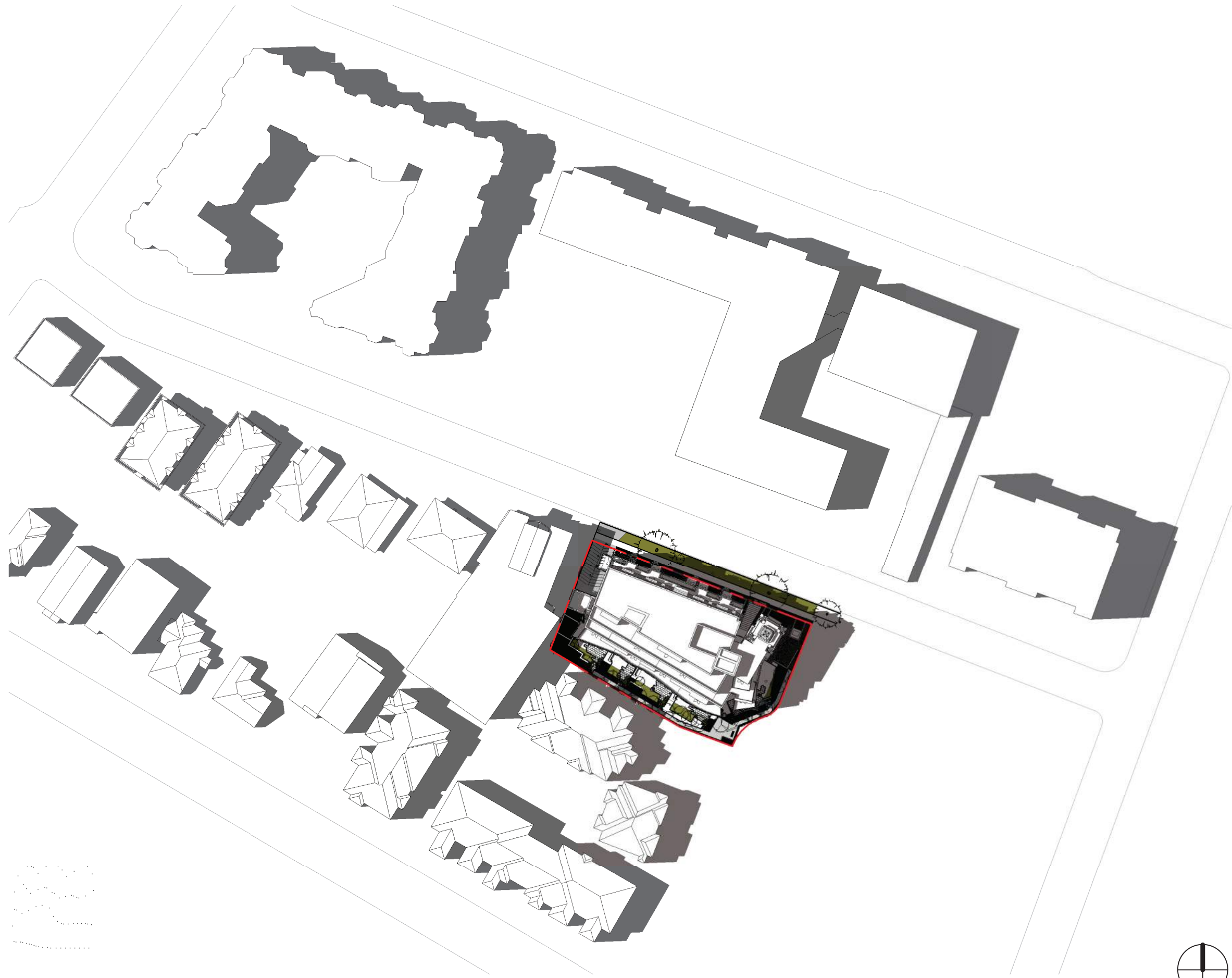
① Shadow - Summer - 10 AM
1 : 1000



② Shadow - Summer - 12 PM
1 : 1000

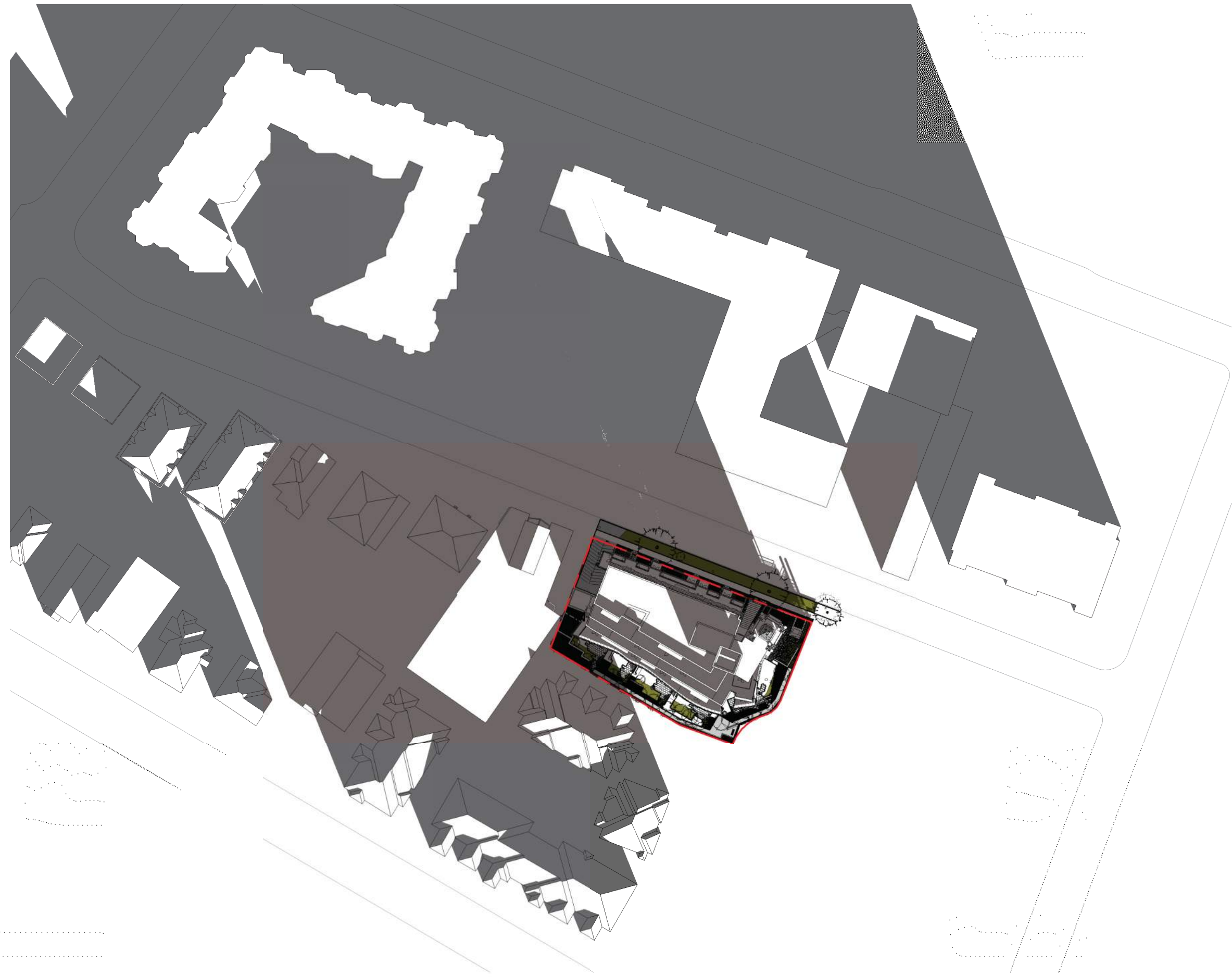


③ Shadow - Summer - 2 PM
1 : 1000

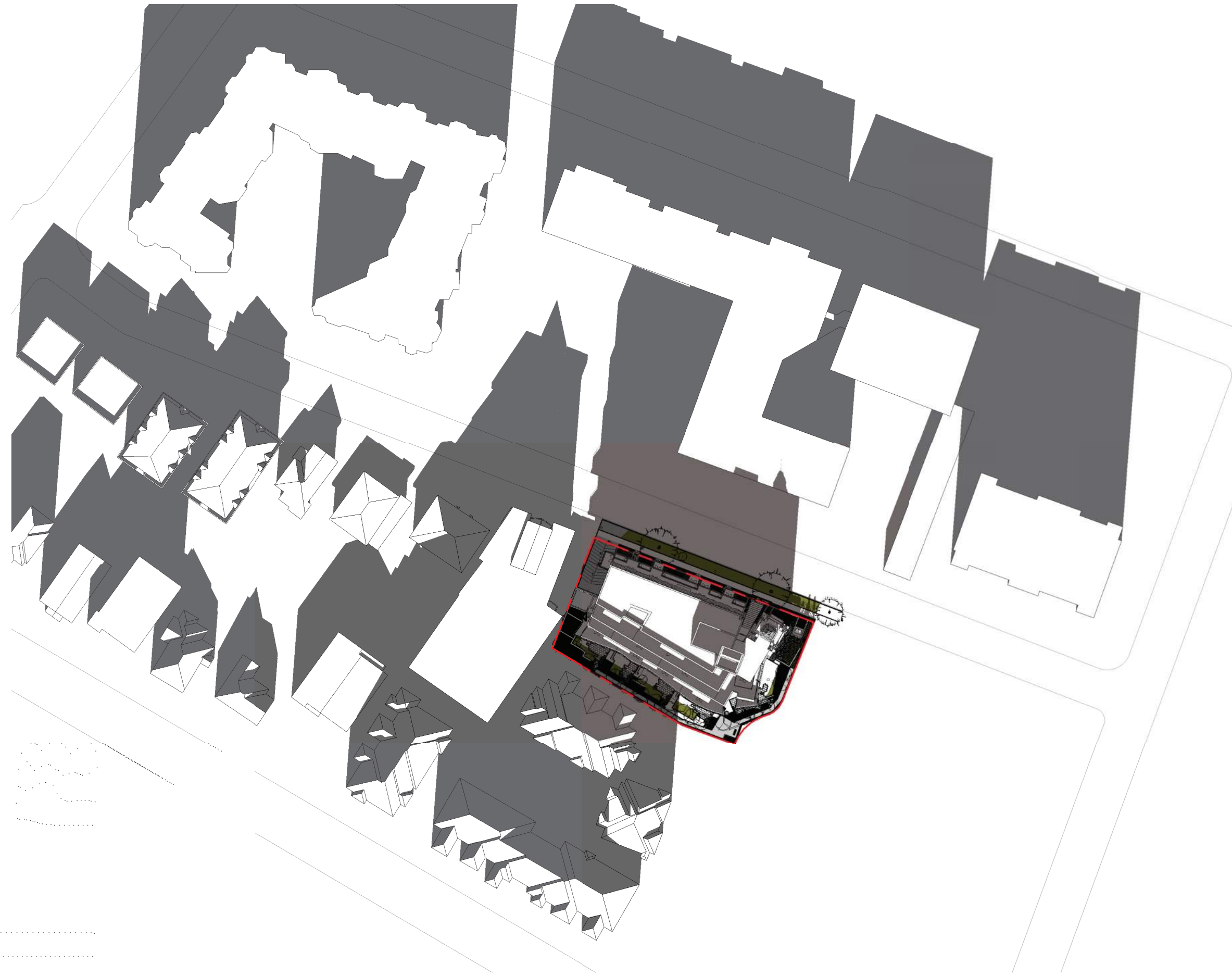


④ Shadow - Summer - 4 PM
1 : 1000

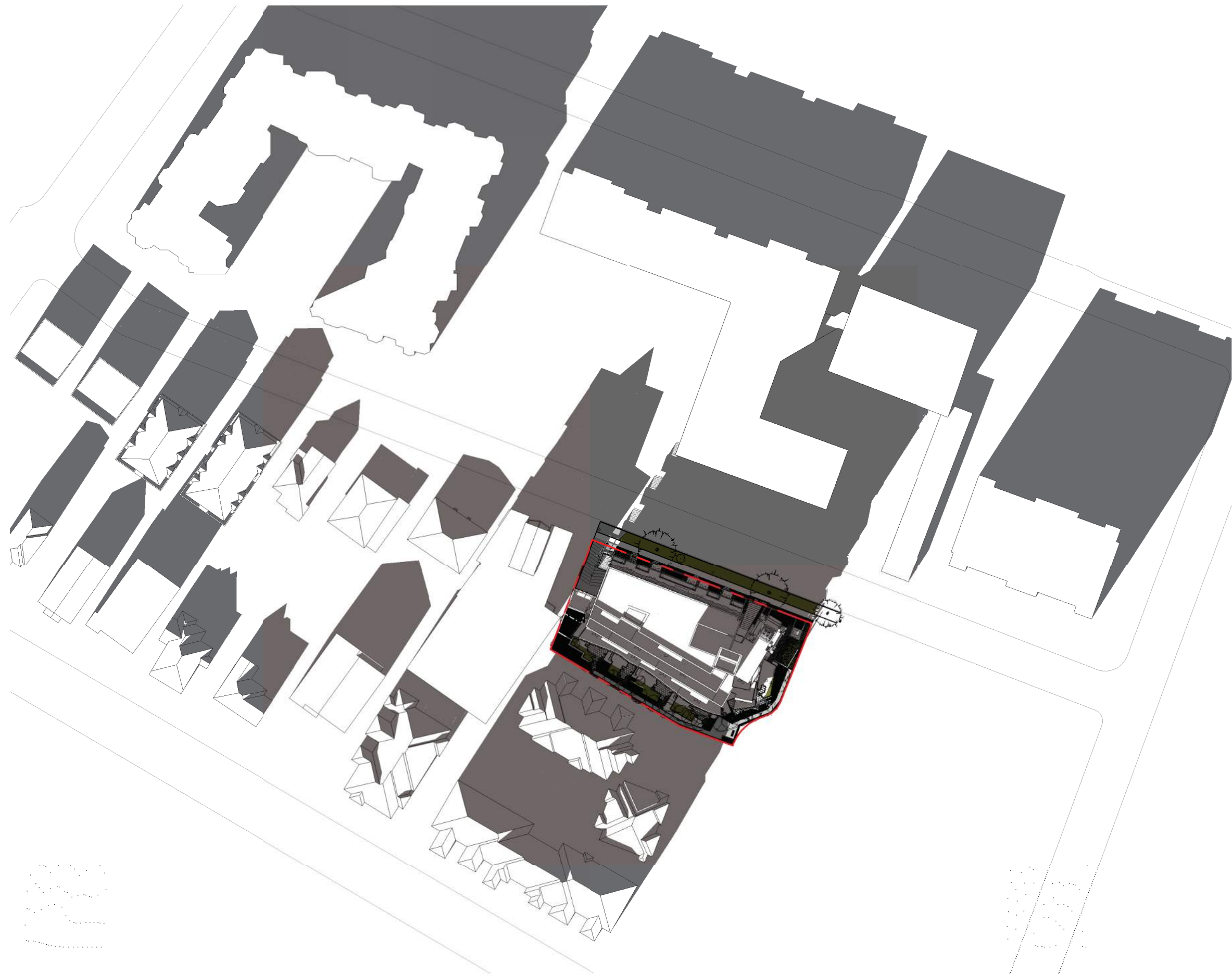




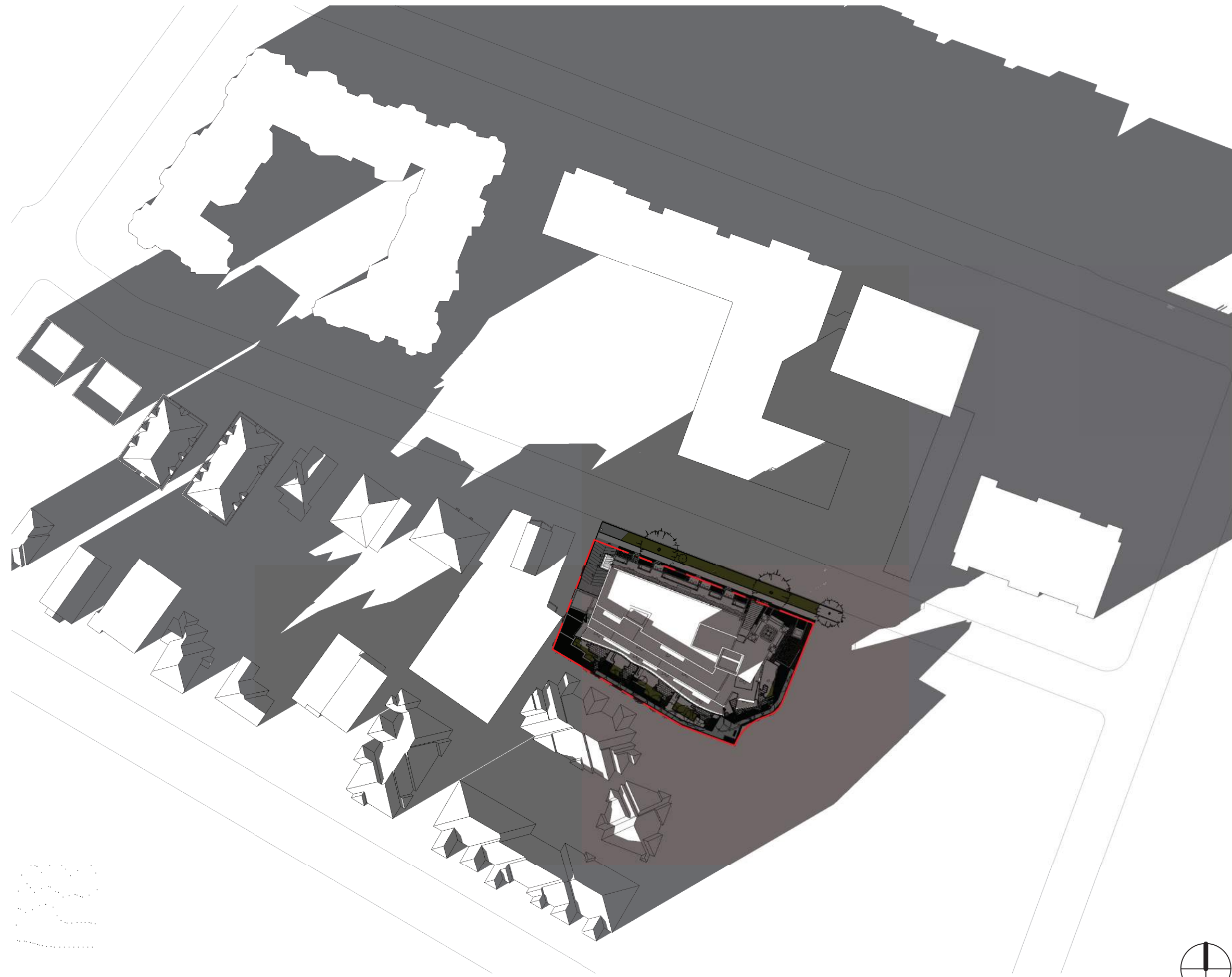
① Shadow - Winter - 10 AM
1 : 1000



② Shadow - Winter - 12 PM
1 : 1000



③ Shadow - Winter - 2 PM
1 : 1000



④ Shadow - Winter - 4 PM
1 : 1000



VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston

475 Kingston Street

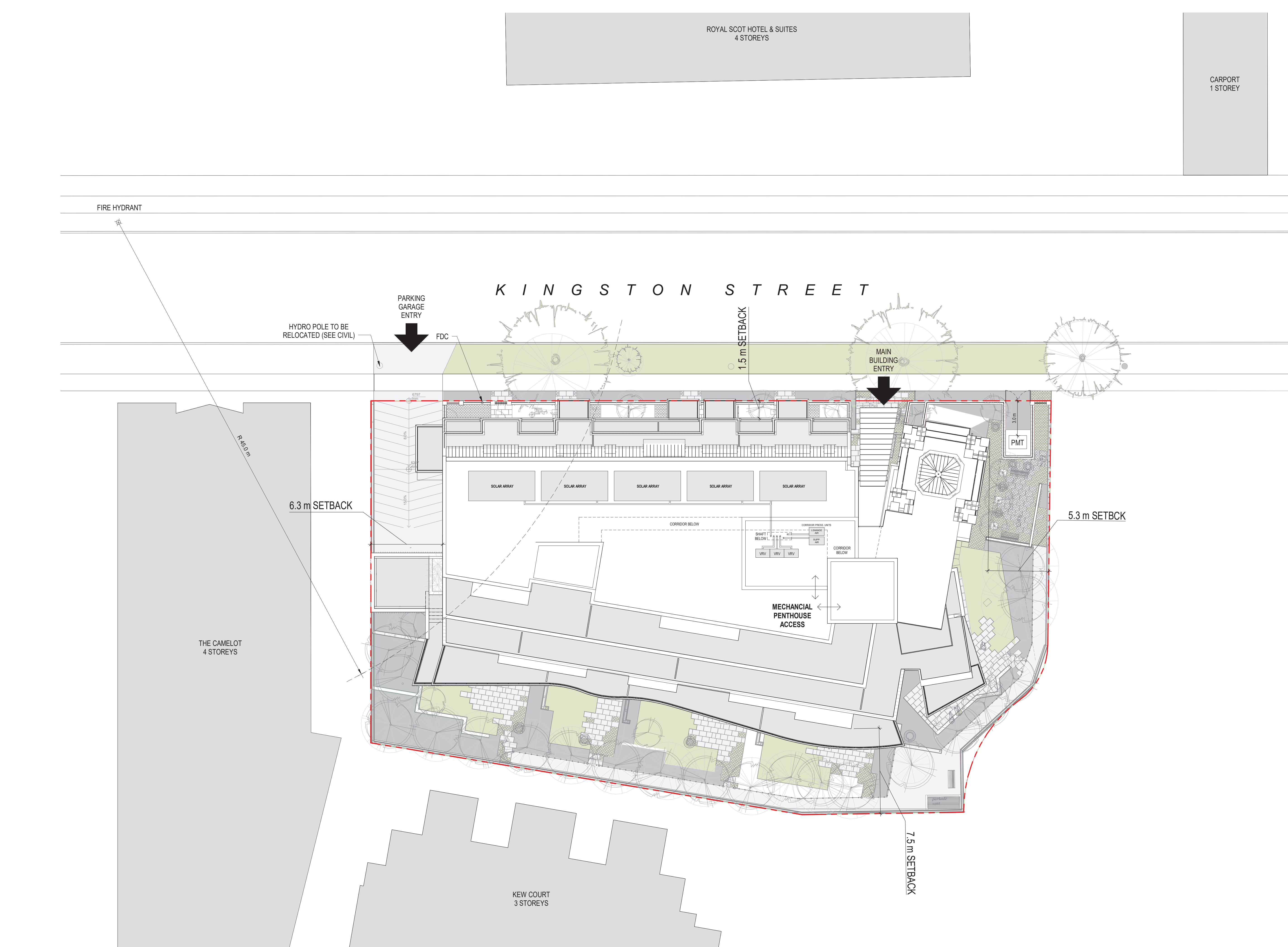
For
Alpha Project Developments Ltd.

Sheet Title

Shadow Studies - Winter

Drawn By	Checked
Author	Checker
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-010



VANCOUVER
#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA
#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project
475 Kingston
475 Kingston Street
For
Alpha Project Developments Ltd.

Sheet Title
Site Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project
475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
Parking Level 2 Plan

Drawn By	Checked
Author	Checker
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-201



PARKING LEVEL 2 - REGULAR PARKING STALLS			
Level	Type Mark	Count	EV Ready
Parking Level 2	END STALL	17	Yes
Parking Level 2	REGULAR STALL	1	Yes
Parking Level 2: 18		18	
Grand total		18	

Area Legend
Corridor
Systems



1 Parking Level 2
1 : 100

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

Consultant

Project

475 Kingston

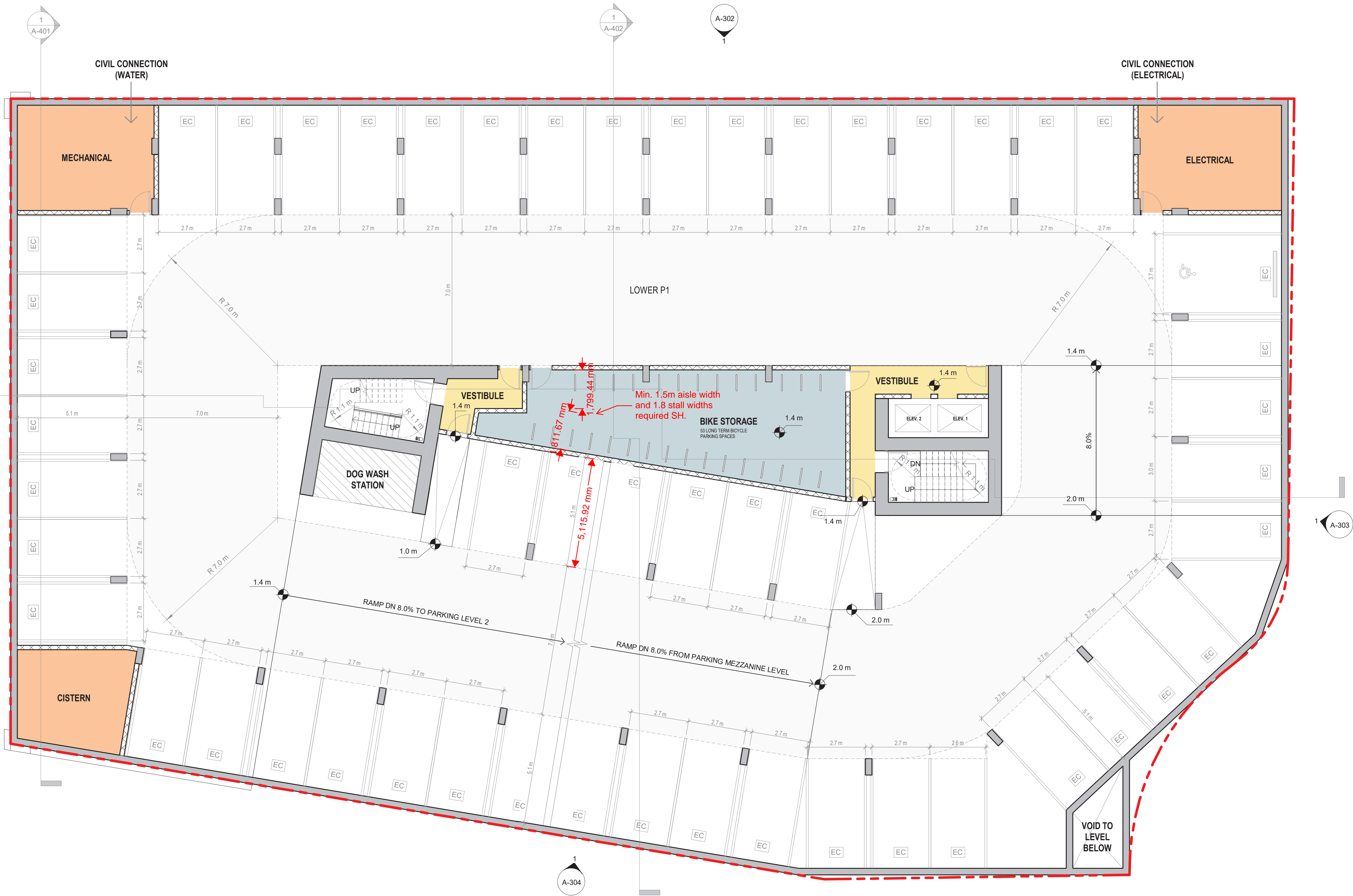
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
Parking Level 1 Plan

Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision	Sheet Number

A-202



PARKING LEVEL 1 - REGULAR PARKING STALLS			
Level	Type Mark	Count	EV Ready
Parking Level 1	ACCESSIBLE STALL	1	Yes
Parking Level 1	END STALL	50	Yes
Parking Level 1	REGULAR STALL	1	Yes
Parking Level 1: 52		52	
Grand total		52	

Area Legend
Corridor
Storage
Systems

1 Parking Level 1
1 : 100

VANCOUVER
#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA
#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

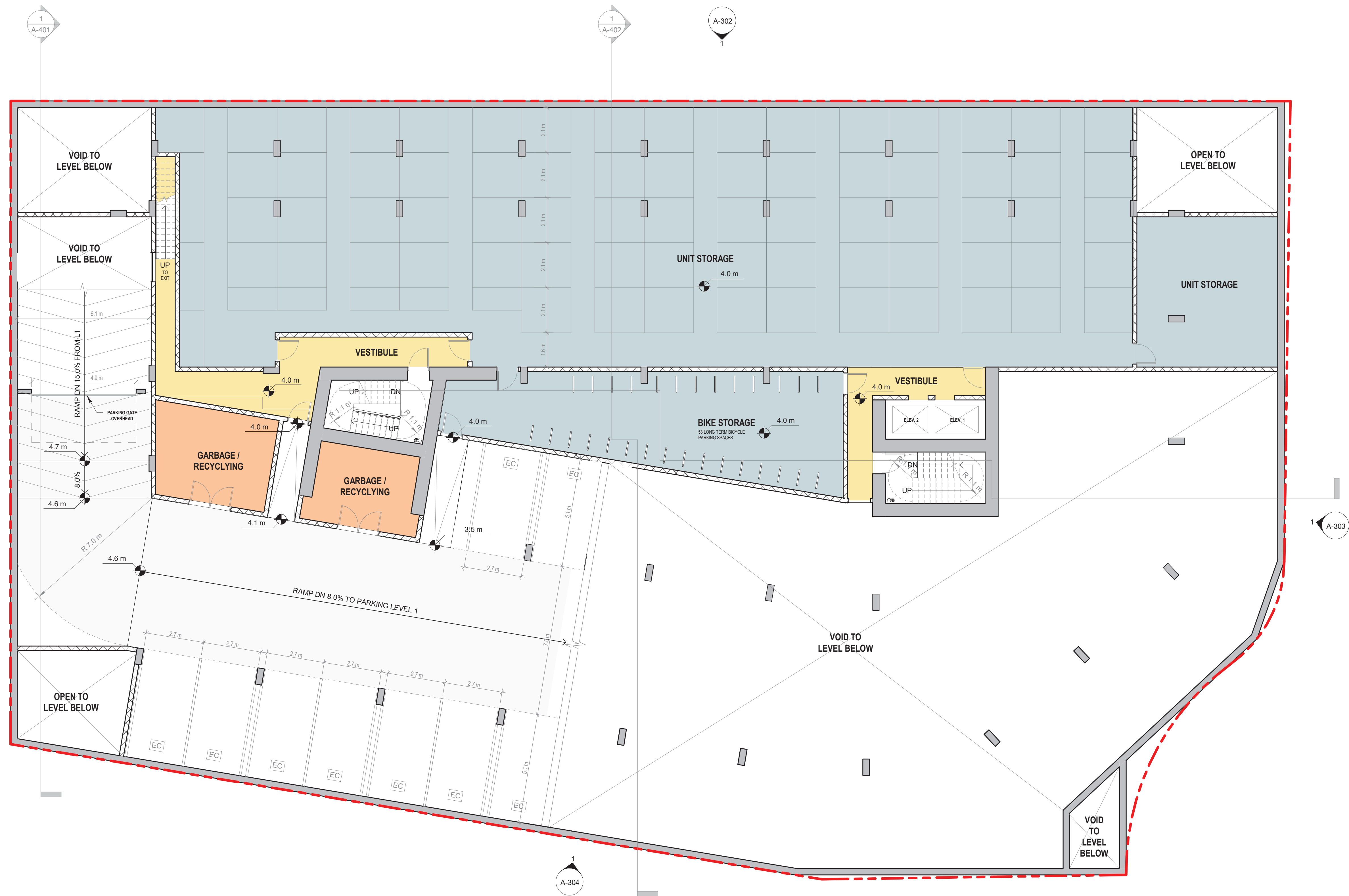
Consultant

Project
475 Kingston
475 Kingston Street
For
Alpha Project Developments Ltd.

Sheet Title
Parking Mezzanine Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-203



VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston

475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Level 1 Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-204



VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Level 2 Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-205



Suite Count Level 2			
Level	Unit Number	Unit Type	Area
Level 2	UNIT 208	1 BR + DEN	61 m ²
Level 2	UNIT 207	1BR + DEN	61 m ²
Level 2	UNIT 209	1BR + DEN	63 m ²
Level 2	UNIT 204	1BR + DEN	75 m ²
Level 2	UNIT 210	2BR	76 m ²
Level 2	UNIT 206	2BR	89 m ²
Level 2	UNIT 205	2BR	96 m ²
Level 2	UNIT 202	2BR + DEN	120 m ²
Level 2	UNIT 203	2BR + DEN	130 m ²
Level 2	UNIT 201	3BR	149 m ²
Grand total: 10			

Area Legend
Corridor
Studio
Systems

1 LEVEL 2 PLAN
1 : 100

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston

475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Level 3 Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-206



Suite Count Level 3			
Level	Unit Number	Unit Type	Area
Level 3	UNIT 309	1 BR	62 m ²
Level 3	UNIT 308	1 BR	60 m ²
Level 3	UNIT 307	1 BR	60 m ²
Level 3	UNIT 310	1 BR + DEN	75 m ²
Level 3	UNIT 304	1 BR + DEN	75 m ²
Level 3	UNIT 306	2 BR + DEN	88 m ²
Level 3	UNIT 303	2 BR + DEN	129 m ²
Level 3	UNIT 305	2 BR + DEN	95 m ²
Level 3	UNIT 302	2BR + DEN	119 m ²
Level 3	UNIT 301	3 BR	149 m ²
Grand total: 10			

Area Legend	
	Corridor
	Studio
	Systems

1 LEVEL 3 PLAN
1 : 100

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Level 4 Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-207



Suite Count Level 4			
Level	Unit Number	Unit Type	Area
Level 3	UNIT 309	1 BR	62 m ²
Level 3	UNIT 308	1 BR	60 m ²
Level 3	UNIT 307	1 BR	60 m ²
Level 3	UNIT 310	1 BR + DEN	75 m ²
Level 3	UNIT 304	1 BR + DEN	75 m ²
Level 3	UNIT 306	2 BR + DEN	88 m ²
Level 3	UNIT 303	2 BR + DEN	129 m ²
Level 3	UNIT 305	2 BR + DEN	95 m ²
Level 3	UNIT 302	2BR + DEN	119 m ²
Level 3	UNIT 301	3 BR	149 m ²
Grand total: 10			

Area Legend
Corridor
Studio
Systems

1 LEVEL 4 PLAN
1 : 100

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston

475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Level 5 Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number



Suite Count Level 5			
Level	Unit Number	Unit Type	Area
Level 3	UNIT 309	1 BR	62 m²
Level 3	UNIT 308	1 BR	60 m²
Level 3	UNIT 307	1 BR	60 m²
Level 3	UNIT 310	1 BR + DEN	75 m²
Level 3	UNIT 304	1 BR + DEN	75 m²
Level 3	UNIT 306	2 BR + DEN	88 m²
Level 3	UNIT 303	2 BR + DEN	129 m²
Level 3	UNIT 305	2 BR + DEN	95 m²
Level 3	UNIT 302	2BR + DEN	119 m²
Level 3	UNIT 301	3 BR	149 m²
Grand total: 10			

Area Legend	
Corridor	Studio
Systems	

1 Level 5
1 : 100

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston

475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Level 6 Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-209



Suite Count Level 6			
Level	Unit Type	Unit Number	Area
Level 6	1 BR	UNIT 606	57 m ²
Level 6	1 BR	UNIT 605	69 m ²
Level 6	1 BR + DEN	UNIT 607	96 m ²
Level 6	2 BR	UNIT 603	106 m ²
Level 6	2 BR	UNIT 604	156 m ²
Level 6	2 BR + DEN	UNIT 602	134 m ²
Level 6	3 BR	UNIT 601	105 m ²
Grand total: 7			

Area Legend	
Corridor	Studio
Systems	

1 Level 6
1 : 100

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston

475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

Level 7 Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-210



Suite Count Level 7			
Level	Unit Type	Unit Number	Area
Level 7	1 BR	UNIT 701	81 m²
Level 7	1 BR	UNIT 704	62 m²
Level 7	2 BR	UNIT 703	75 m²
Level 7	2 BR	UNIT 702	135 m²
Level 7	2 BR + Den	UNIT 701	159 m²
Grand total: 5			

Area Legend
Balcony
Corridor
Studio
Systems

Level 7
1 : 100

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

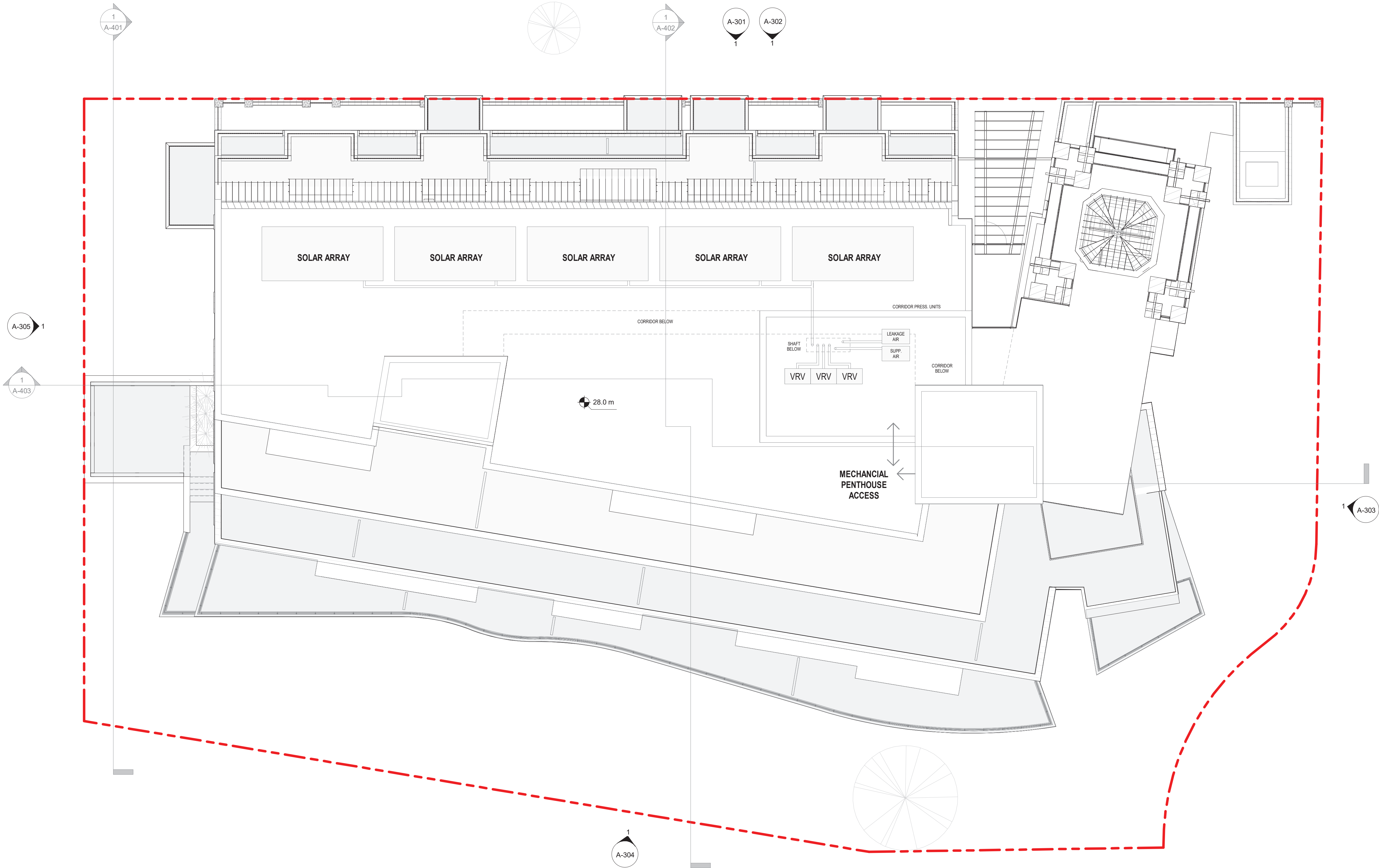
For
Alpha Project Developments Ltd.

Sheet Title

Roof Plan

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-211



1 Roof Level
1 : 100



PROPOSED ELEVATIONAL PERSPECTIVE LOOKING SOUTH ON KINGSTON STREET



VANCOUVER
#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA
#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project
475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
Elevations - Context

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-301

MATERIAL LEGEND	
MTL TAG	MATERIAL
01	BRICK
02	LIMESTONE
03	CAST-IN-PLACE CONCRETE
04	PRECAST CONCRETE
05	ALUMINUM WINDOW FRAME
06	METAL RAILING
07	METAL ROOF
08	METAL FLASHING
09	ALUMINUM FRAMED GL. DOOR
10	GLAZING PANEL
11	SPANDREL PANEL
12	GLAZED GUARD



VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project
475 Kingston
475 Kingston Street

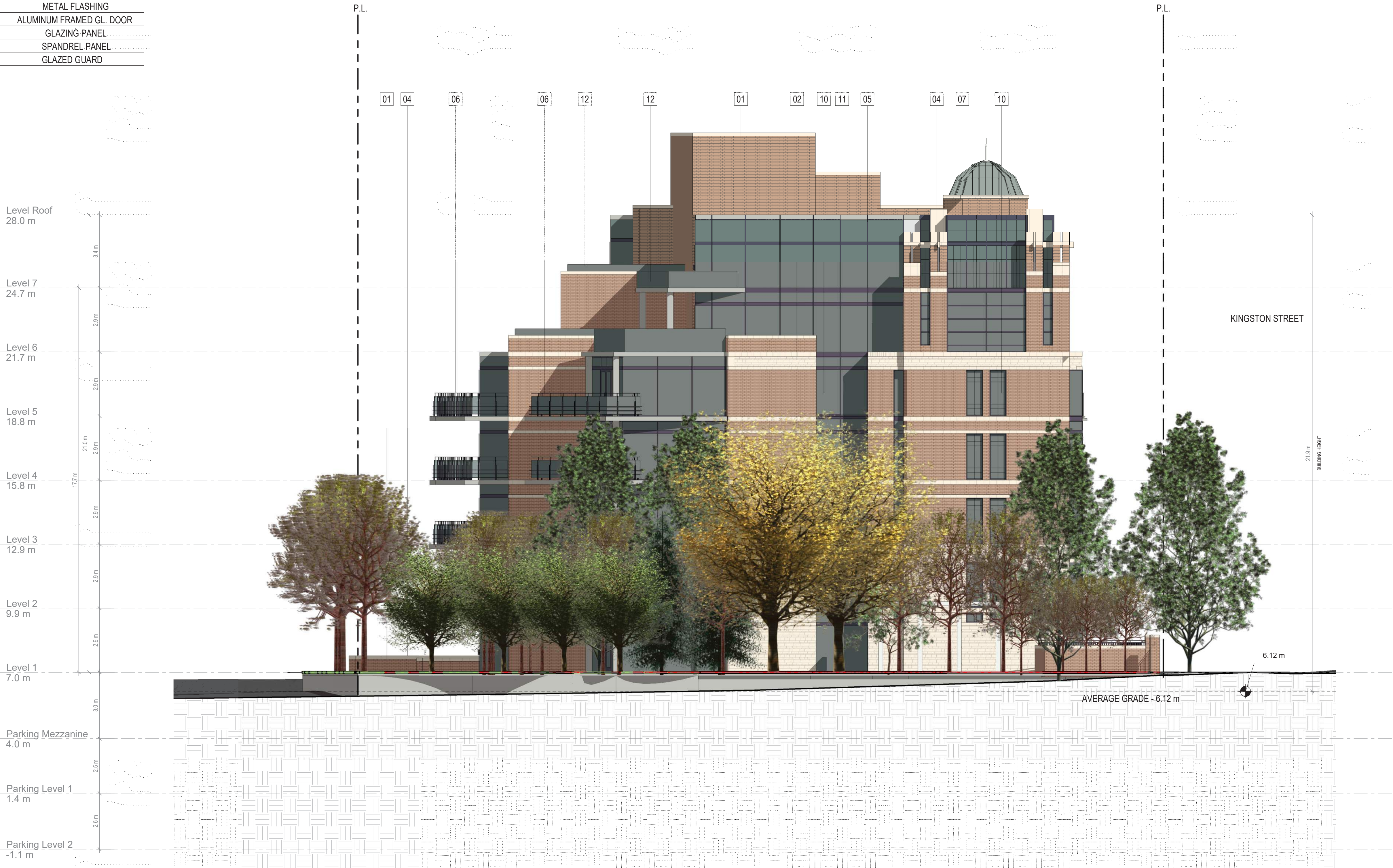
For
Alpha Project Developments Ltd.

Sheet Title
North Elevation

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-302

MATERIAL LEGEND	
MTL TAG	MATERIAL
01	BRICK
02	LIMESTONE
03	CAST-IN-PLACE CONCRETE
04	PRECAST CONCRETE
05	ALUMINUM WINDOW FRAME
06	METAL RAILING
07	METAL ROOF
08	METAL FLASHING
09	ALUMINUM FRAMED GL. DOOR
10	GLAZING PANEL
11	SPANDREL PANEL
12	GLAZED GUARD



1 EAST ELEVATION
1 : 100

MERRICK
ARCHITECTURE

BOROWSKI SAKUMOTO MCINTYRE WEBB LTD.

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
East Elevation

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-303

MATERIAL LEGEND	
MTL TAG	MATERIAL
01	BRICK
02	LIMESTONE
03	CAST-IN-PLACE CONCRETE
04	PRECAST CONCRETE
05	ALUMINUM WINDOW FRAME
06	METAL RAILING
07	METAL ROOF
08	METAL FLASHING
09	ALUMINUM FRAMED GL. DOOR
10	GLAZING PANEL
11	SPANDREL PANEL
12	GLAZED GUARD



1 South Elevation
1 : 100

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
-------	------------

CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston

475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

South Elevation

Drawn By	Checked
JP	SM

Project Number	Scale
202165	AS NOTED

Revision	Sheet Number
----------	--------------

A-304

MATERIAL LEGEND	
MTL TAG	MATERIAL
01	BRICK
02	LIMESTONE
03	CAST-IN-PLACE CONCRETE
04	PRECAST CONCRETE
05	ALUMINUM WINDOW FRAME
06	METAL RAILING
07	METAL ROOF
08	METAL FLASHING
09	ALUMINUM FRAMED GL. DOOR
10	GLAZING PANEL
11	SPANDREL PANEL
12	GLAZED GUARD



1 WEST ELEVATION
1 : 100

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title

West Elevation

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-305

VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project
475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
Sections - Building

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-401



VANCOUVER

#300-839 Cambie Street

Vancouver BC V6B 2P4

T: 604.683.4131

F: 604.683.9313

VICTORIA

#200-510 Yates Street

Victoria BC V8W 1K8

T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

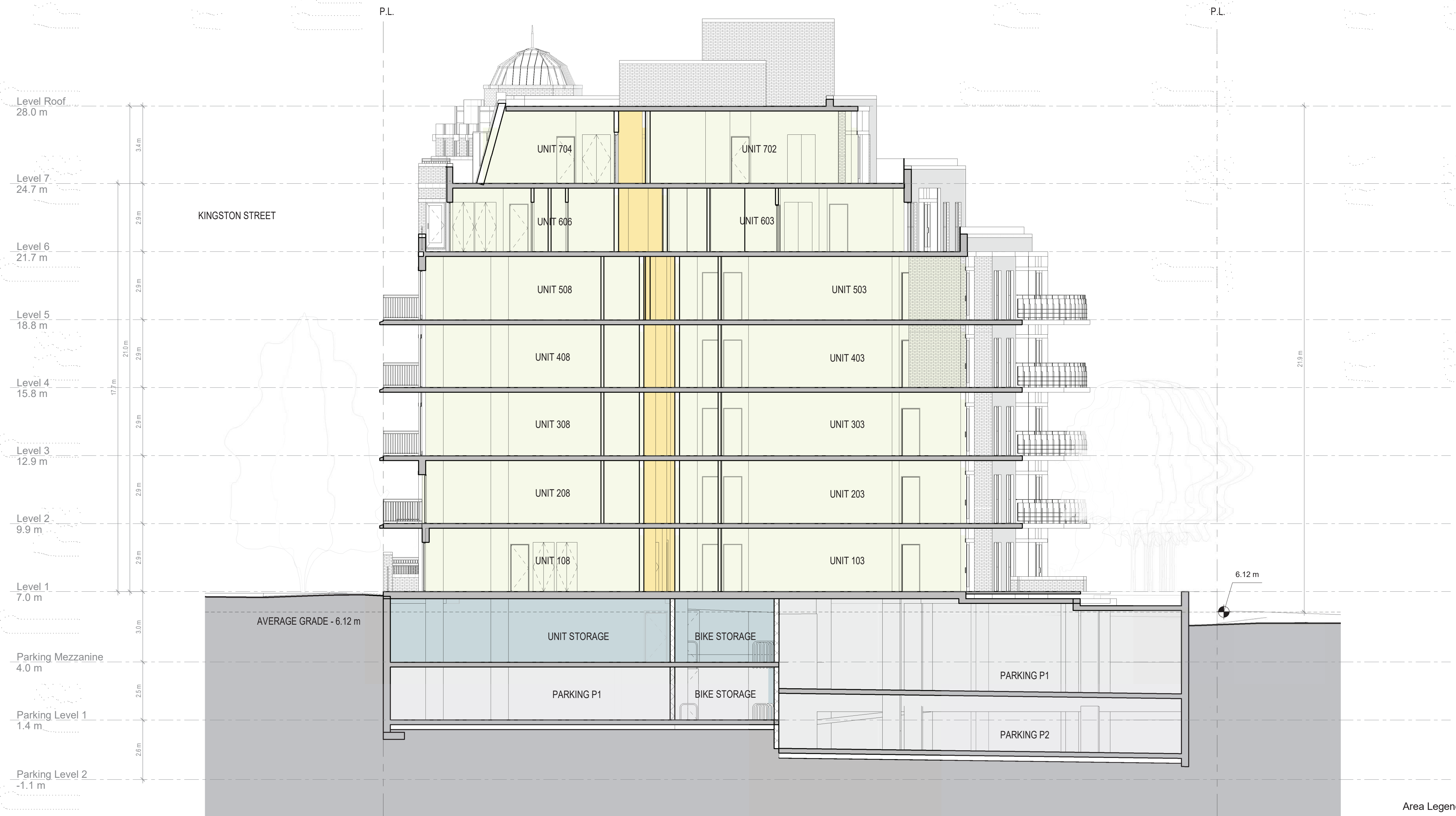
Project
475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

Sheet Title
Sections - Building

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-402



Area Legend
Corridor
Storage
Studio

1 Section 2
1 : 100

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

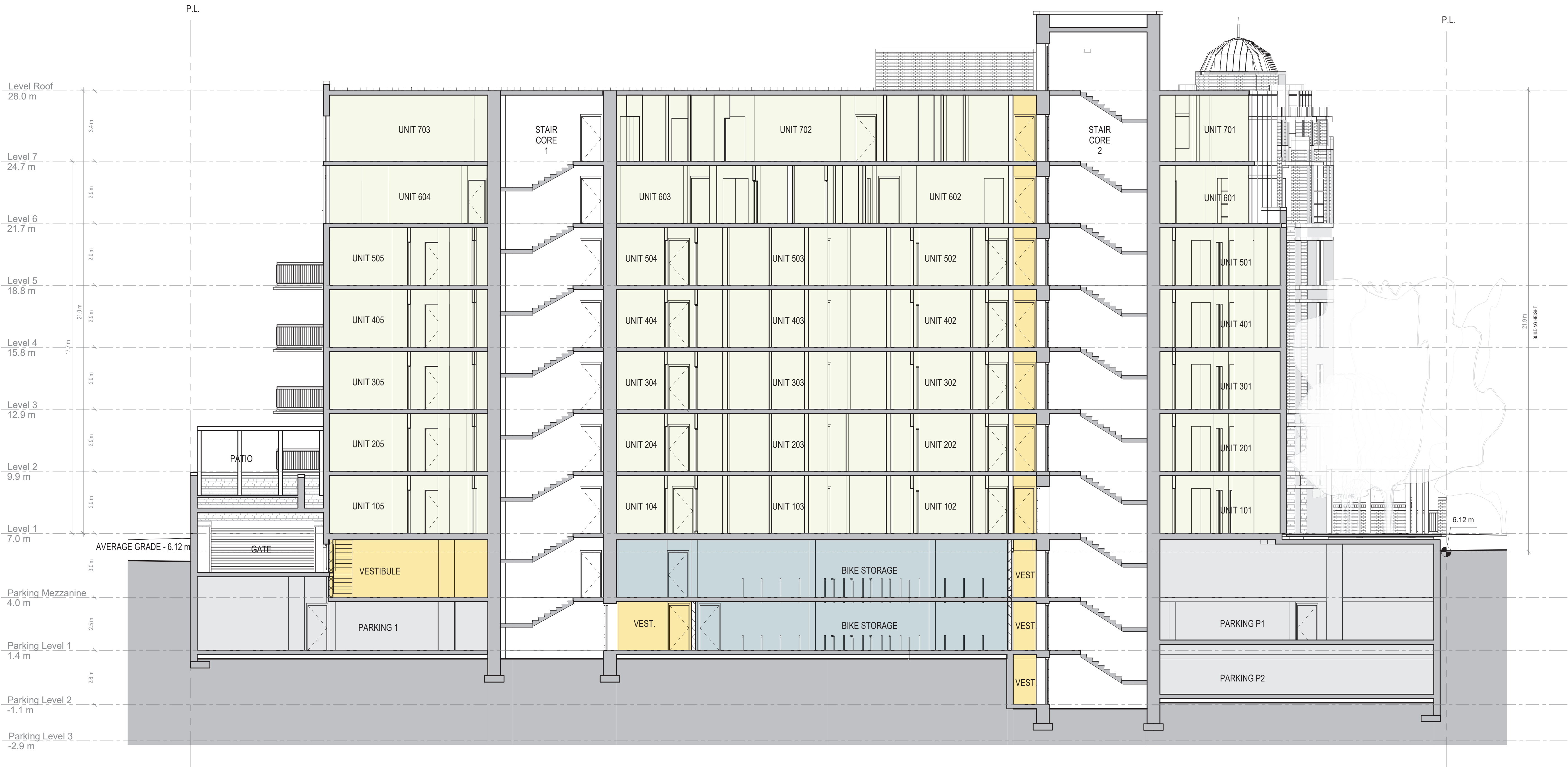
475 Kingston
475 Kingston Street

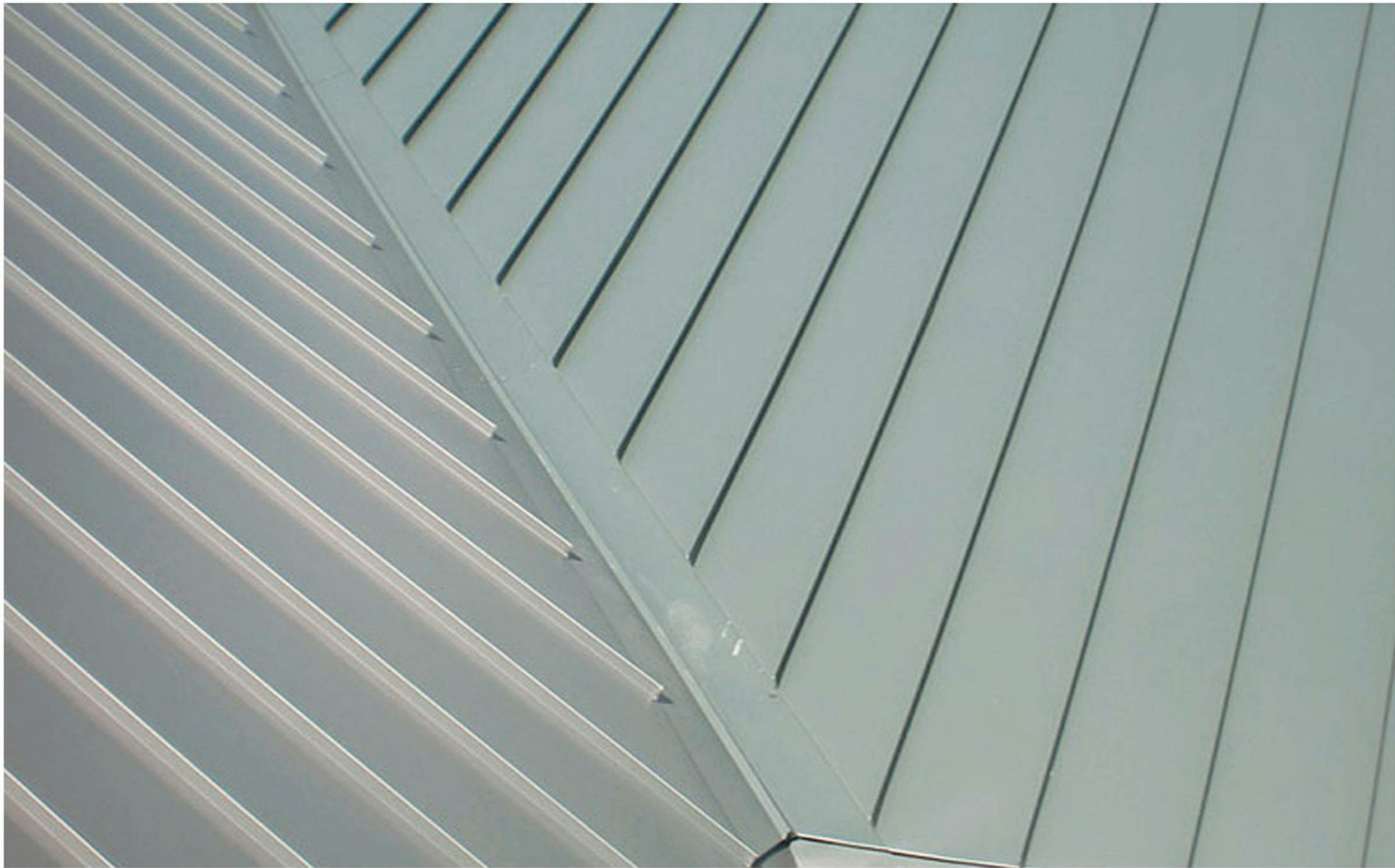
For
Alpha Project Developments Ltd.

Sheet Title
Sections - Building

Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-403

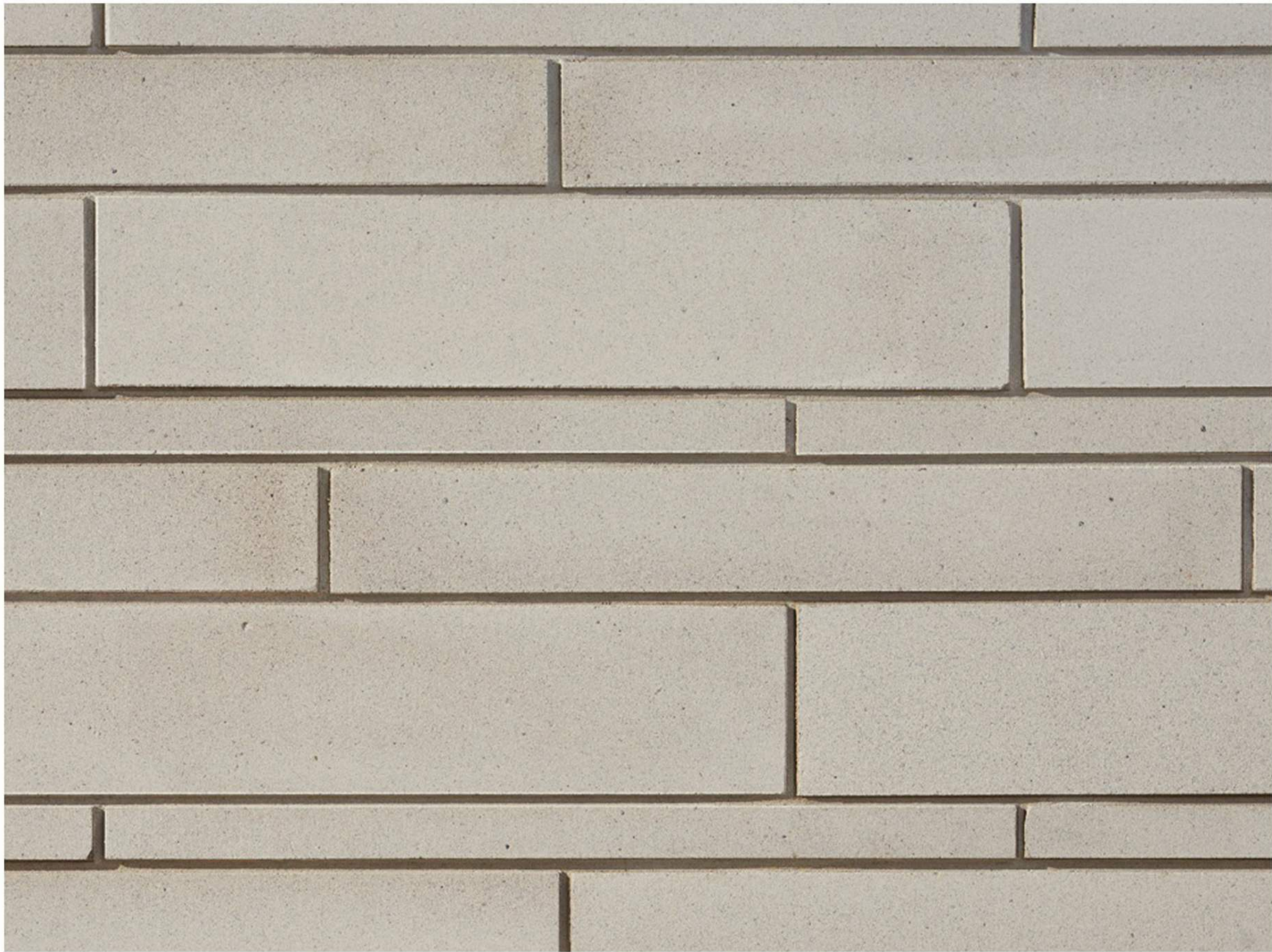




ROOFING: STANDING SEAM METAL ROOF - PATINA GREEN



EXTERIOR CLADDING PERSPECTIVE AT BASE: NATURAL STONE - METROPOLITAN WHITE



EXTERIOR CLADDING AT BASE: NATURAL STONE - METROPOLITAN WHITE



EXTERIOR BRICK VENEER: MIXED PATTERNED CANYON ROSE

VANCOUVER

#300-839 Cambie Street
Vancouver BC V6B 2P4
T: 604.683.4131
F: 604.683.9313

VICTORIA

#200-510 Yates Street
Victoria BC V8W 1K8
T: 250.480.7811

www.merrickarch.com

Key Plan

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
CALUC Review	12/10/2022
Development Permit / Rezoning	01/06/2023

Consultant

Project

475 Kingston
475 Kingston Street

For
Alpha Project Developments Ltd.

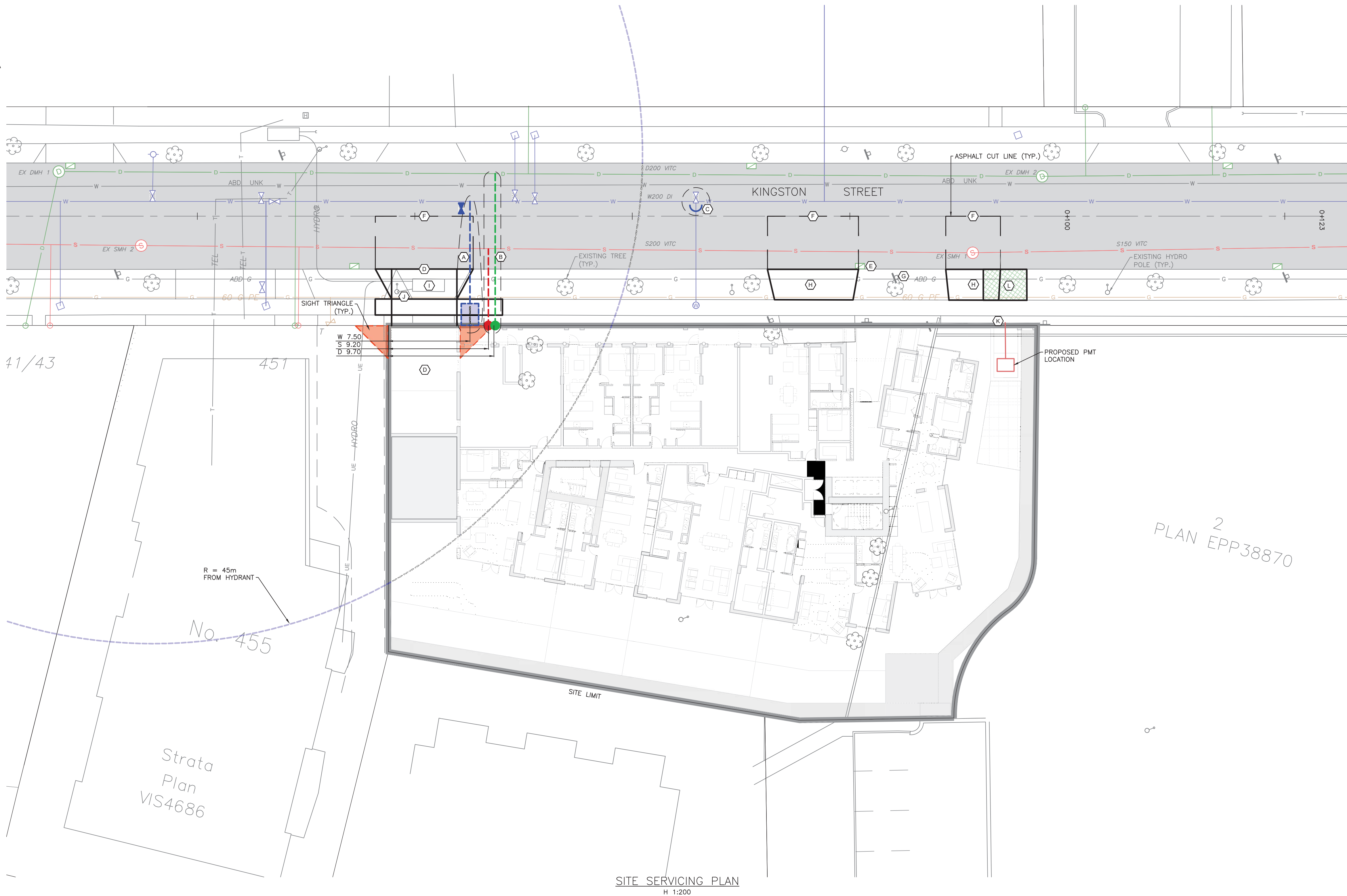
Sheet Title

Materials - Exterior

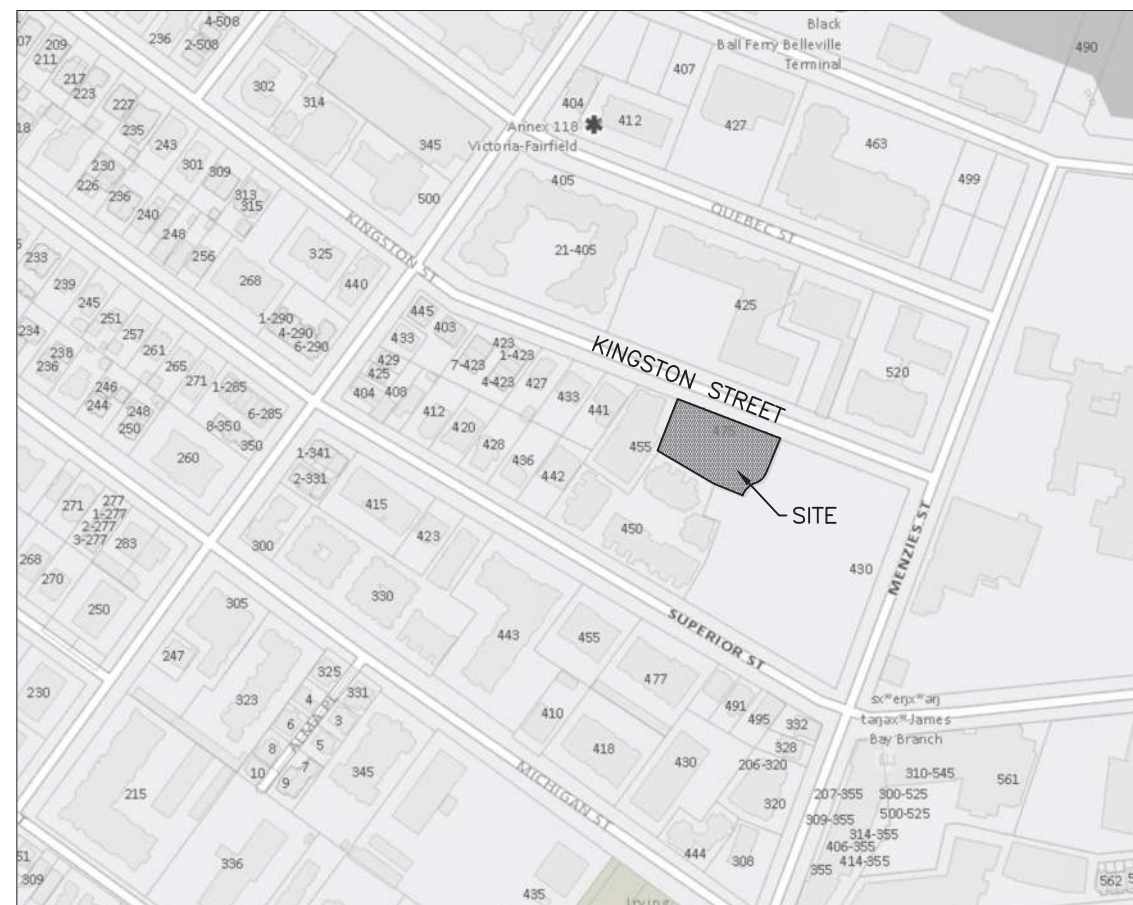
Drawn By	Checked
Author	Checker
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-501

V:\Projects\34178 - Alpha Developments Ltd. - 475 Kingston Street\02 - Engineering\02 - Drawings & Sketches (Eng)\34178 - Design.dwg Plot Date: December 7, 2022



- SHEET NOTES:**
- (A) CITY OF VICTORIA TO INSTALL DOMESTIC AND FIRE WATER SERVICES COMPLETE WITH VAULT AT DEVELOPERS' EXPENSE.
 - (B) CITY OF VICTORIA TO INSTALL STORM AND SANITARY SERVICES COMPLETE WITH INSPECTION CHAMBERS AT DEVELOPERS' EXPENSE.
 - (C) EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED. NEW 50mm WATER SERVICE TO BE INSTALLED. ALL WORK TO BE DONE BY CITY OF VICTORIA AT DEVELOPERS' EXPENSE.
 - (D) PROPOSED DRIVEWAY AS PER CITY OF VICTORIA HIGHWAY ACCESS BYLAW SCHEDULE B. PARKADE ACCESS GRADES TO BE AS PER CITY OF VICTORIA HIGHWAY ACCESS BYLAW.
 - (E) CONTRACTOR TO UPGRADE/RELOCATE EXISTING CATCH BASIN AND LEADS TO CURRENT STANDARDS.
 - (F) CONTRACTOR TO MILL AND FILL 50mm UP TO CENTERLINE FOR ENTIRE FRONTAGE. CONTRACTOR TO REINSTATE PAINT MARKINGS AS REQUIRED. CONTRACTOR TO REPAIR PAVING SURFACE AT ALL SERVICE TRENCH LOCATIONS.
 - (G) EXISTING STREET SIGNAGE TO BE REPLACED AND RELOCATED AS REQUIRED.
 - (H) EXISTING DRIVEWAY TO BE REMOVED AND REPLACED AS BOULEVARD COMPLETE WITH NEW CURB/GUTTER AS REQUIRED.
 - (I) EXISTING HYDRO BOX LID TO BE ADJUSTED AS REQUIRED.
 - (J) EXISTING HYDRO POLE TO BE RELOCATED AS REQUIRED. LOCATION TO BE DETERMINED BY BC HYDRO.
 - (K) OFFSITE HYDRO SERVICE ROUTE PENDING BC HYDRO DIRECTION.
 - (L) CONTRACTOR TO CONSTRUCT H20 RATED REINFORCED BOULEVARD FOR BC HYDRO ACCESS.



KEY PLAN
NTS

LEGAL DESCRIPTION: LOT 1 OF LOT 1892, 1893, 1894 AND 1895 VICTORIA,
EPP38870; 029-274-443

BENCHMARK: CCM No. 755454
ELEV. 7.419m

LEGEND

LAMP STANDARD	LS	LS	CLEANOUT		DITCH	
POLE(Hydro, Tel.)	PP	PP	CATCHBASIN		METER	
U/G WIRING	UE		MANHOLE		FLUSH VALVE	
GAS	G		SERVICE RISER		VALVE	
WATER	W		MOUNTABLE CURB	MC	REDUCER	
SEWER	S		NON-MOUNT. CURB	NMC	HYDRANT	
DRAIN	D		EDGE ASPHALT		AIR VALVE	

**475 KINGSTON STREET
PRELIMINARY CIVIL PLAN**

Scale
horiz. 1:200 Scale N/A
Sheet 1 of 1
Eng. Project No. 34178

JEA J E ANDERSON &
ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

ISSUED FOR PRELIMINARY DISCUSSION



SMALL & ROSSELL
LANDSCAPE ARCHITECTS

3012 manzer road, sooke, b.c., v9z 0c9
t: 250-642-6967

design@smallandrossell.com
www.smallandrossell.com

all drawings, designs, specifications used in connection with this project remain the property of Small & Rossell Landscape Architects Inc. whether the work is executed or not, and they shall not be used for any other work or project.
this drawing is a copyright drawing and shall not be reproduced or revised without the written permission of Small & Rossell Landscape Architects Inc.
The drawing shall not be used for construction purposes unless marked "Issued for construction"

Revision No.	Description	Date
--------------	-------------	------

Issue	Development Permit	Issue Date
		16 Dec 2022



Project
ALPHA DEVELOPMENTS LTD
475 KINGSTON

Sheet Title
LANDSCAPE PLAN

Drawn By	AJS	Checked	CAR
Project Number		Scale	1:100
Revision		Sheet Number	

L1

PROPOSED TREE PLANTING
refer to plant list L4

TALL EVERGREEN HEDGE
refer to plant list L4

CLIPPED BOX HEDGE
refer to plant list L4

GARDEN SHRUBS & PERENNIALS
refer to plant list L4

PRIVATE GARDEN ENTRY

COMMON BUILDING ENTRY POINTS

UNIT PAVING

LINE OF SLAB STEP EDGING TREE ROOT WELL

purple plum under o/h lines

pole with street light

(6.86)

COMMUNITY GARDEN

- 1 BRICK GARDEN WALLS
- 2 WOOD COLONNADE
- 3 WOOD TREILLAGE
- 4 ALUMINUM RAILINGS - SEE L4
- 5 BRICK SEPARATION WALL & WOOD SCREEN
- 6 OFF-SITE PLANTING & PAVING

(6.21)

EXISTING PARKING LOT

(6.07)

COMMON SEATING SPACE

GENERAL PROVISIONS:

Landscape works shall be installed in accordance with the provisions of the latest edition of the Canadian Landscape Standard & Canadian Nursery Stock Standard.

Boulevard trees shall be irrigated with a dedicated water service with meter and controller.

All on site planted and grass areas shall be provided with fully automated underground irrigation and suitable for tree watering, in accordance with the provisions of the Irrigation Industry Association of BC (IIABC).

KINGSTON STREET

ARBOUR ENTRY

See architectural for perimeter wall, railings and arbor entries.

birch under o/h lines

BOULEVARD

SIDEWALK

UNIT 109

LOBBY

main floor elevation 7.00m

UNIT 101

UNIT 102

UNIT 103

UNIT 104

UNIT 105

UNIT 107

UNIT 106
AMENITY SPACE

SECRET GARDEN
(unit 205)

DOG RUN & MAINTENANCE ACCESS

#450

#455

WALL-TOP WOOD FENCE

PARK-IDE RAMPED ENTRANCE

pole with street light

(tow 6.89)

(6.57)

(tow 6.54)

(5.47)

(tow 6.19)

(tow 5.84)

(4.29)

(tow 5.78)

(3.98)

(5.49)

(5.59)

(6.15)

(5.88)

all drawings, designs, specifications used in connection with this project remain the property of Small & Rossell Landscape Architects Inc. whether the work is executed or not, and they shall not be used for any other work or project.
this drawing is a copyright drawing and shall not be reproduced or revised without the written permission of Small & Rossell Landscape Architects Inc.
The drawing shall not be used for construction purposes unless marked "issued for construction"

Revision		
No.	Description	Date

Issue		Issue Date
Development Permit		16 Dec 2022



Project
ALPHA DEVELOPMENTS LTD
475 KINGSTON

Sheet Title
**LANDSCAPE 3D
RENDERINGS
NORTH & EAST AREAS**

Drawn By	Checked
AJS	CAR
Project Number	Scale

Revision	Sheet Number
----------	--------------



- 4 GATED ACCESS TO COMMON GARDEN & FOR GARDEN MAINTENANCE
- 5 COMMON GARDEN/SEATING SPACE
- 6 FENCED DOG RUN - MAINTENANCE ACCESS PATHWAY
- 7 COMMUNITY GARDEN SPACE

- 1 STONE BLOCK SEATS
- 2 STONE PAVING
- 3 OFF-SITE PLANTING



all drawings, designs, specifications used in connection with this project remain the property of Small & Rossell Landscape Architects Inc. whether the work is executed or not, and they shall not be used for any other work or project.
this drawing is a copyright drawing and shall not be reproduced or revised without the written permission of Small & Rossell Landscape Architects Inc.
The drawing shall not be used for construction purposes unless marked "Issued for construction"

Revision		
No.	Description	Date

Issue		Issue Date
Development Permit		16 Dec 2022



Project
ALPHA DEVELOPMENTS LTD

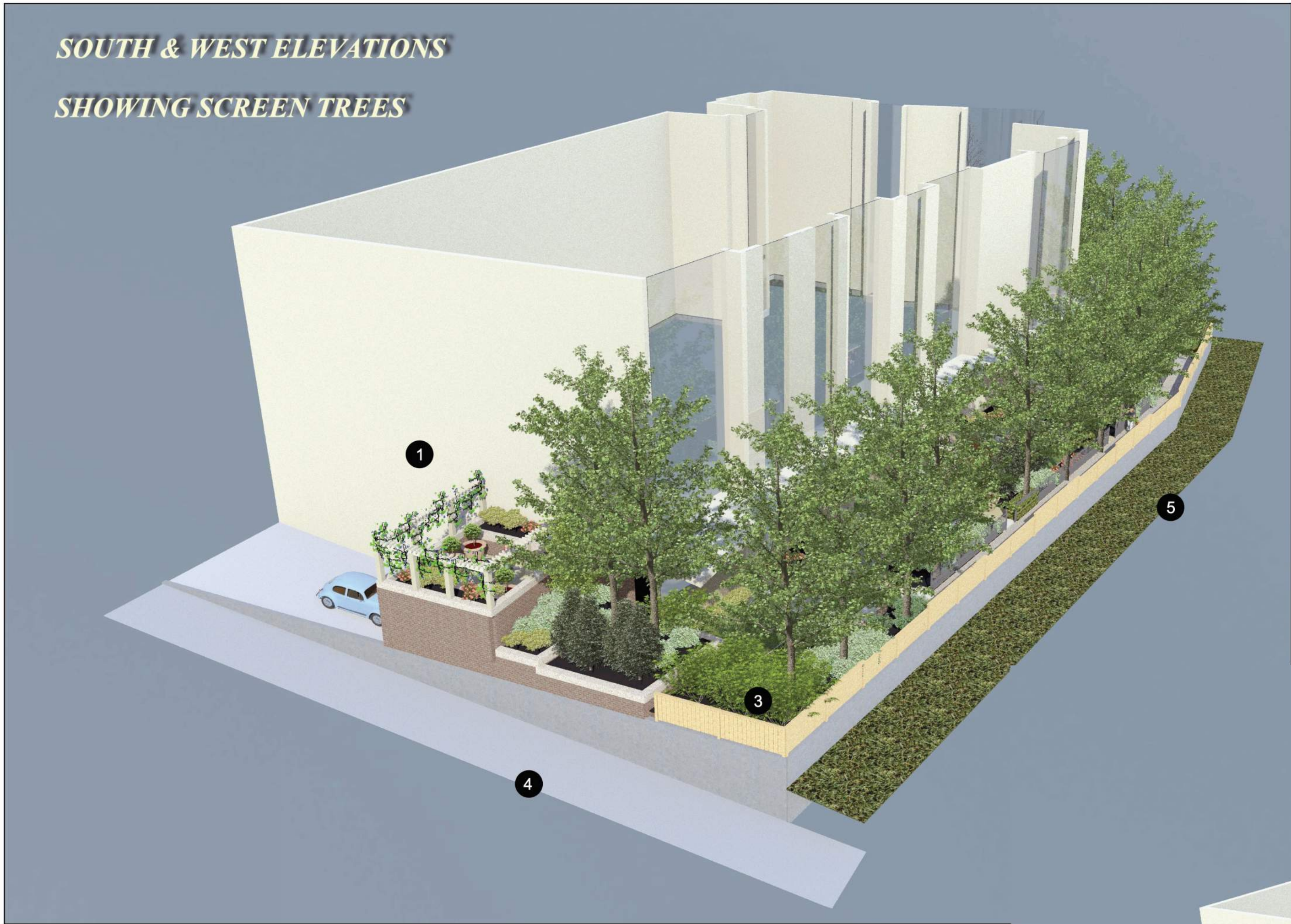
475 KINGSTON

Sheet Title
LANDSCAPE 3D
RENDERINGS
SOUTH & WEST AREAS

Drawn By	Checked
AJS	CAR
Project Number	Scale

Revision	Sheet Number
----------	--------------

SOUTH & WEST ELEVATIONS
SHOWING SCREEN TREES

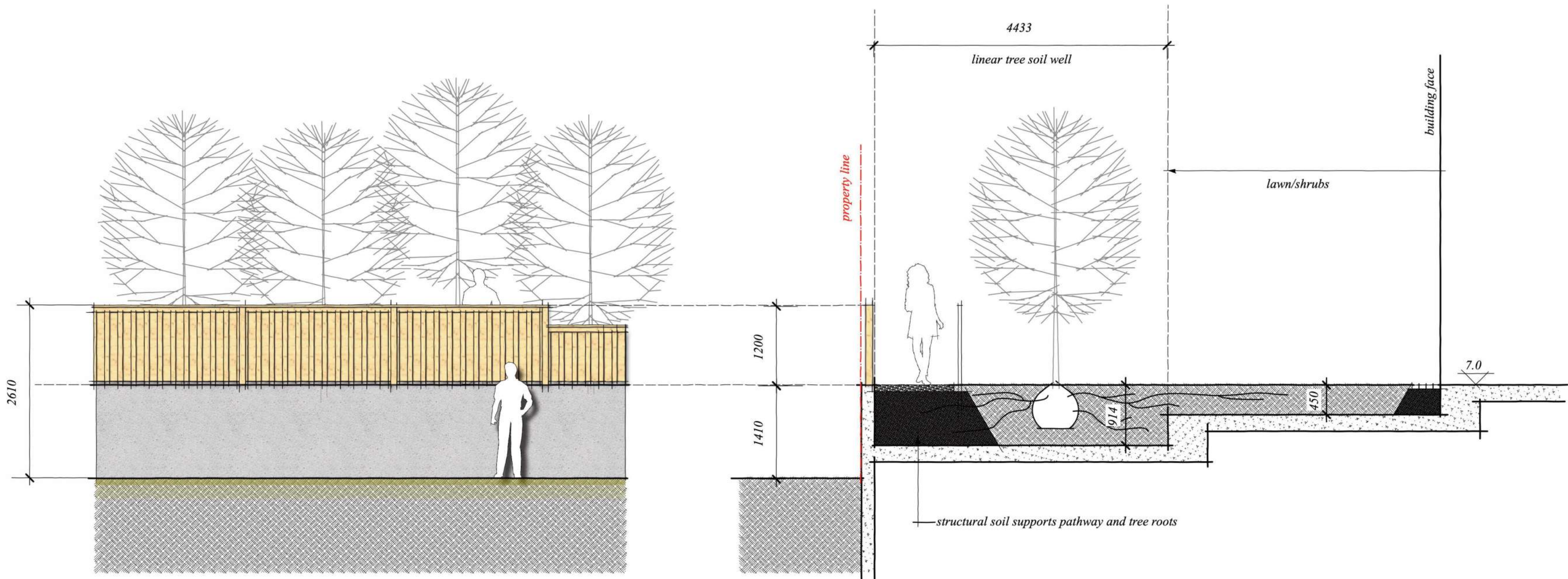


- 6 TREILLAGE
- 7 BRICK FACADE
- 8 SANDBLAST FINISH CONCRETE CAP
- 9 PARKADE EXTERIOR WALL
- 10 PARKADE ACCESS RAMP

- 1 "SECRET GARDEN"
- 2 PRIVATE GROUND LEVEL GARDENS/PATIOS
- 3 WOOD SCREEN FENCE
- 4 NEIGHBOUR'S PARKADE RAMP
- 5 GRADE ON NEIGHBOURING PROPERTY

SCREEN TREES REMOVED FOR CLARITY





SOUTH PROPERTY LINE ELEVATION AT LOCATION OF CROSS SECTION A

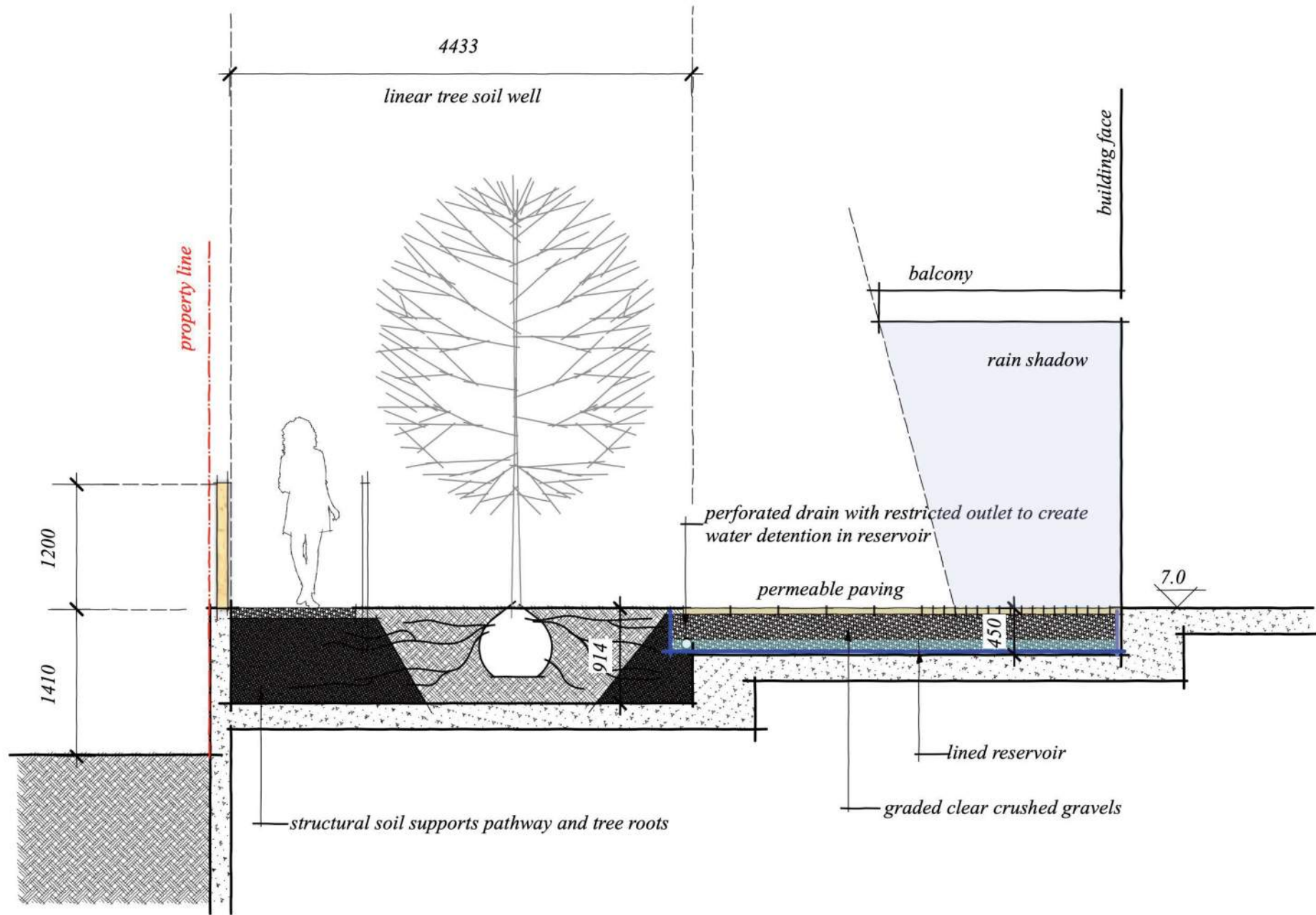
CROSS SECTION A

DESCRIBES TYPICAL SOIL VOLUME ALLOWANCES ON-SLAB FOR PROPOSED TREES

RAINWATER HARVESTING SCHEMATIC

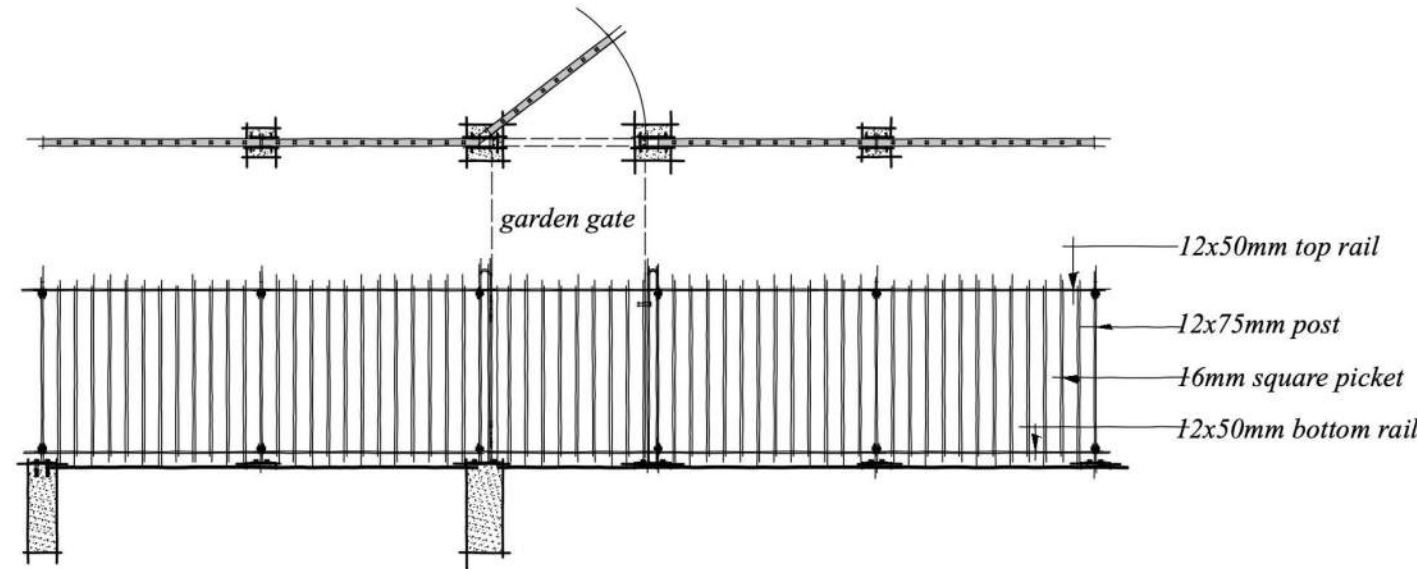


RAINWATER COLLECTED IN SUB SURFACE RESERVOIRS BENEATH PERMEABLE PATIO SURFACES THEN PIPED TO CISTERN IN PARKADE. FILTERED AND PUMPED TO SUPPLEMENT IRRIGATION SYSTEM. LOCATION OF CISTERN TBD



CROSS SECTION B

DESCRIBES TYPICAL SUBSURFACE RAINWATER RESERVOIR COMPONENTS



ALUMINUM RAILINGS (DOG WALK BARRIER)

KINGSTON STREET PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	CALIPER	QUANTITY	NATIVE/FOOD BEARING SHADE CANOPY
ALL PLANT MATERIAL SHALL BE #1 QUALITY				
TREES:				
a. ACER PALMATUM "OZAKAZUKI"	OZAKAZUKI JAPANESE MAPLE	B+B 2M, 4CM CAL.	2	PROVIDES SHADE
b. CERIDIPHYLLUM "JAPONICUM"	KATSURA TREE	B+B 3M, 4CM CAL.	1	PROVIDES SHADE
c. CORNUS KOUSA "SATOMI"	PINK FL. DOGWOOD	B+B 2M, 4CM CAL.	2	POLLINATOR PLANT
d. LIQUIDAMBAR STYRACIUA "SLENDER SILHOUETTE"	COLUMNAR SWETGUM	5 CM CAL. WIRE BASKET	3	DROUGHT TOLERANT
e. PARROTIA PERSICA "RUBY VASE" (REPLACEMENT TREES)	RUBY VASE PERSIAN IRONWOOD	6 CM CAL. WIRE BASKET	2	DROUGHT TOLERANT
f. PRUNUS x YEDOENSIS "AKEBONO"	YOSHINO CHERRY	5 CM CAL. WIRE BASKET	2	ATTRACTS BIRDS
g. GINKGO BILOBA "PRINCETON SENTRY"	MAIDENHAIR TREE - COLUMNAR	5 CM CAL. WIRE BASKET	6	DROUGHT TOLERANT
h. MAGNOLIA "GALAXY" (REPLACEMENT TREES)	MAGNOLIA, PINK FL.	6 CM CAL. WIRE BASKET	2	POLLINATOR PLANT
i. MAGNOLIA "GALAXY"	MAGNOLIA, PINK FL.	5 CM CAL. WIRE BASKET	7	POLLINATOR PLANT
TOTAL			27	
HEDGES & SPECIMEN SHRUBS				
j. BOX	BOX	#3 POT	56	DROUGHT TOLERANT
k. TAXUS x MEDIA "HICKSI"	COLUMNAR YEW	#7 POT	44	DROUGHT TOLERANT
l. RIBES "XING EDWARD"	FLOWERING RED CURRIANT	#5 POT	4	NATIVE, POLLINATOR
APPROX. TOTAL			104	
SHRUB PLANTING BACK OF SIDEWALK, TYP. 32 m2 @ 2 plant per m2				
m. AZALEA "AUTUMN FIRE"	EVERGREEN AZALEA	#1 POT		HUMMINGBIRDS
n. SARGOLLOCA "DOCKERIANA" "VAR HUMILIS"	WINTER SWEET BOX	#2 POT		FRAGRANT POLLINATOR
APPROX. TOTAL			64	
SHRUB PLANTINGS, TYP. 134 m2 @ 1 plant per m2				
o. CORNUS STOLONIFERA "KELSEY"	DWARF RED STEM DOGWOOD	#1 POT		NATIVE, WINTER INTEREST
p. CORYLUS AVELLANA "RED MAGESTIC"	CONTORTED RED LEAF HAZEL	#5 POT		YEAR ROUND INTEREST
q. FOTHERGILLA x INTERMEDIA "MOUNT AIRY"	FOTHERGILLA, WHITE FL.	#5 POT		POLLINATOR PLANT
r. FUCHSIA RUCCATONII	HARDY FUCHSIA	#2 POT		HUMMINGBIRDS
s. HYDRANGEA "BLUEBIRD"	BLUEBIRD LACECAP HYDRANGEA	#2 POT		HUMMINGBIRDS
t. PHILADELPHUS "BELLE ETOILE"	MOCK ORANGE BLOSSOM	#5 POT		FRAGRANT POLLINATOR
u. ROSA "MUNDI"	SHRUB ROSE, STRIPED PINK FL.	#5 POT		FRAGRANT POLLINATOR
v. ROSA "GERTRUDE JEXILL"	CLIMBING ROSE, PINK FL.	#5 POT		FRAGRANT POLLINATOR
w. VACCINIUM CORTYMBOSUM "DUKE"	HIGH BUSH BLUEBERRY (EDIBLE FRUIT)	#2 POT		FOOD BEARING POLLINATOR
x. VIBURNUM PARVIFOLIUM	RED HUCKLEBERRY	#2 POT		NATIVE POLLINATOR PLANT
y. VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	#5 POT		FRAGRANT
APPROX. TOTAL			134	
GROUNDCOVER PLANTS, TYP. 96.4m2 @ 3 plants per m2				
z. ARCTOSTAPHYLOS UVA URSI	KINKKINK	#1 POT		NATIVE POLLINATOR PLANT
aa. EPIMEDIUM RUBRUM	RED BARRENWORT	#1 POT		POLLINATOR PLANT
ab. GERANIUM x CANTABRIGIENSIS "CAMBRIDGE"	HARDY GERANIUM	#1 POT		POLLINATOR PLANT
ac. HOSTA SERRA "DIANA ELEGANS"	PLANTAIN LILY	#1 POT		HUMMINGBIRDS
ad. HELLBORUS FOETIDISSIMA	HELLBORUS	#1 POT		WINTER INTEREST
ae. HEMEROCALLIS "STELLA D'ORO"	DAY LILY YELLOW FL.	#1 POT		HUMMINGBIRDS
af. LAVANDULA ANGUSTIFOLIA "HIDCOTE"	ENGLISH LAVENDER	#1 POT		POLLINATOR PLANT
ag. MANCHOWA NEROSA	LOW OREGON GRAPE	#1 POT		NATIVE POLLINATOR PLANT
ah. PAEONY LACTIFLORA	PAEONY	#1 POT		HUMMINGBIRDS
APPROX. TOTAL			290	
VINES:				
ai. LONICERA JAPONICA "HALLIANA"	HALLIANA JAPANESE HONEYSUCKLE	#5 POT	8	HUMMINGBIRDS POLLINATOR
TOTALS				PERCENTAGE
TREES				40% POLLINATOR / BIRDS
SHRUBS & VINES				50% POLLINATOR/FOOD/NATIVE
GROUNDCOVERS				50% NATIVE/POLLINATOR
LAWN - ON SITE			122 sq.m.	

THE PLANT SPECIES, SIZES AND NUMBERS PROVIDED IN THE PLANT SCHEDULE ARE A GUIDE AND ARE SUBJECT TO ADJUSTMENT THROUGH THE DETAIL DESIGN/ BUILDING PERMIT APPLICATION STAGES.

SMALL & ROSSELL
LANDSCAPE ARCHITECTS

3012 manzer road, sooke, b.c., v9z 0c9
t: 250-642-6967

design@smallandrossell.com
www.smallandrossell.com

all drawings, designs, specifications used in connection with this project remain the property of Small & Rossell Landscape Architects Inc. whether the work is executed or not, and they shall not be used for any other work or project.
this drawing is a copyright drawing and shall not be reproduced or revised without the written permission of Small & Rossell Landscape Architects Inc.
The drawing shall not be used for construction purposes unless marked "Issued for construction"

Revision No.	Description	Date
--------------	-------------	------

Issue	Issue Date
Development Permit	16 Dec 2022



Project
ALPHA DEVELOPMENTS LTD

475 KINGSTON

Sheet Title
LANDSCAPE
DETAILS

Drawn By
AJS

Checked
CAR

Project Number
Scale
1:50

Revision
Sheet Number

L4

Existing trees to be preserved

Existing trees to be removed

Proposed on site Tree Planting
refer to plant schedule

Tree protection fence to
Arborist specifications

				REPLACEMENT PROPOSED TREES			SOIL VOLUME REQUIRED (m3)			
PLANTING AREA I.D.	AREA (M2)	SOIL VOLUME MULTIPLIER	A. ESTIMATED SOIL VOLUME	B. # SMALL	C. # MEDIUM	D. # LARGE	E. SMALL	F. MEDIUM	G. LARGE	TOTAL
ONSITE										
PLANTING AREA 1	19	0.9	17.1	2	-	-	12	-	-	24
PLANTING AREA 2	18	0.9	16.2	2	-	-	12	-	-	

SMALL & ROSSELL
LANDSCAPE ARCHITECTS

3012 manzer road, sooke, b.c., v9z 0c9
t: 250-642-6967

design@smallandrossell.com
www.smallandrossell.com

all drawings, designs, specifications used in connection with this project remain the property of Small & Rossell Landscape Architects Inc. whether the work is executed or not, and they shall not be used for any other work or project.
this drawing is a copyright drawing and shall not be reproduced or revised without the written permission of Small & Rossell Landscape Architects Inc.
The drawing shall not be used for construction purposes unless marked "Issued for construction"

Revision	No.	Description	Date

Issue	Development Permit	Issue Date	16 Dec 2022
-------	--------------------	------------	-------------

Project
ALPHA DEVELOPMENTS LTD

475 KINGSTON

Sheet Title
TREE RETENTION
& REPLACEMENT PLAN

Drawn By	AJS	Checked	CAR
Project Number		Scale	1:100
Revision		Sheet Number	

L5