

# 475 KINGSTON STREET

## Rezoning & Development Permit Application

January 6th, 2023

MERRICK  
ARCHITECTURE

BOROWSKI SAKUMOTO MCINTYRE WEBB LTD.

### VANCOUVER

#300-839 Cambie Street  
Vancouver BC V6B 2P4  
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F: 604.683.9313

### VICTORIA

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Victoria BC V8W 1K8  
T: 250.480.7811

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Key Plan



VIEW FROM MENZIES STREET LOOKING WEST DOWN KINGSTON STREET

### PROJECT TEAM

Owner / Developer	Architect	Landscape Architect	Structural Engineer	Civil Engineer	Geotechnical Engineer	Mechanical Engineer	Electrical Engineer	Code Consultant
Alpha Project Developments Ltd.	Merrick Architecture	Small & Rossell	RJC Engineers	JE Anderson & Associates	Ryzuk Geotechnical	Avalon Mechanical	AES Engineering	GHL Consultants
301-2250 Oak Bay Avenue Victoria, BC V8R 1G5 T: (250) 360-1944	510 Yates St #200 Victoria, BC V8W 1K9 T: (250) 480-7811	3012 Manzer Rd Sooke, BC V9Z 0C9 T: (250) 642-6967	645 Tyee Rd #220 Victoria, BC V9A 6X5 T: (250) 386-7794	4212 Ganford Ave Victoria, BC V8Z 4B7 T: (250) 727-2214	40 Cadillac Ave #6 Victoria, BC V8Z 1TC T: (250) 384-2128	300-1245 Esquimalt Road Victoria, BC V8Z 3P2 T: (250) 590-9980	500-3795 Carey Road Victoria, BC V8Z 6T8 T: (250) 689-4449	800 - 700 West Pender Street Vancouver, BC V6C 1G8 T: (604) 689-4449
Contact: Bijan Neyestani bneyestani@alphadevelopments.com Fred Rohani alphadevelopments@shaw.ca	Contact: Shaun McIntyre mcintyre@merrickarch.com	Contact: Carole Rossell carole@smallandrossell.com	Contact: Leon Plett lplett@rjc.ca	Contact: Ross Tuck rtuck@jeanderson.com	Contact: Christian J. Flanagan christian@ryzuk.com	Contact: Mirek Demidow mirek@avalonmechanical.com	Contact: Pelle Björnert pelle.björnert@aesengr.com	Contact: Frankie Victor fv@ghi.ca

Revision No.	Description	Date

Issue	Issue Date
CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

Consultant

Project  
475 Kingston  
475 Kingston Street

For	Alpha Project Developments Ltd.
Sheet Title	Cover Sheet
Drawn By	Checked
JP	SM
Project Number	Scale
202165	AS NOTED
Revision	Sheet Number

A-000



BC LAND SURVEYORS SITE PLAN OF:

Civic: 475 Kingston Street

Legal Lot 1 of Lot 1892, 1893, 1894 and 1895,

Victoria City, Plan EPP38870

Parcel Identifier: 029-274-443 in the City of Victoria

Scale 1 : 300 Distances are in metres.  
0 2 5 10 15 20

The intended plot size is 609.60mm x 457.20mm (Arch C size).

File : 12,839 - 8  
POWELL & ASSOCIATES  
B C Land Surveyors  
250-2950 Douglas Street  
Victoria, BC V8T 4N4  
phone (250) 382-8855

July 30, 2018



① Site Survey Plan  
1 : 150

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CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

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**475 Kingston**  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
Site Survey

Drawn By	Checked
JP	SM

Project Number	Scale
202165	AS NOTED

Revision	Sheet Number
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## Legislative Precinct

Volume Two

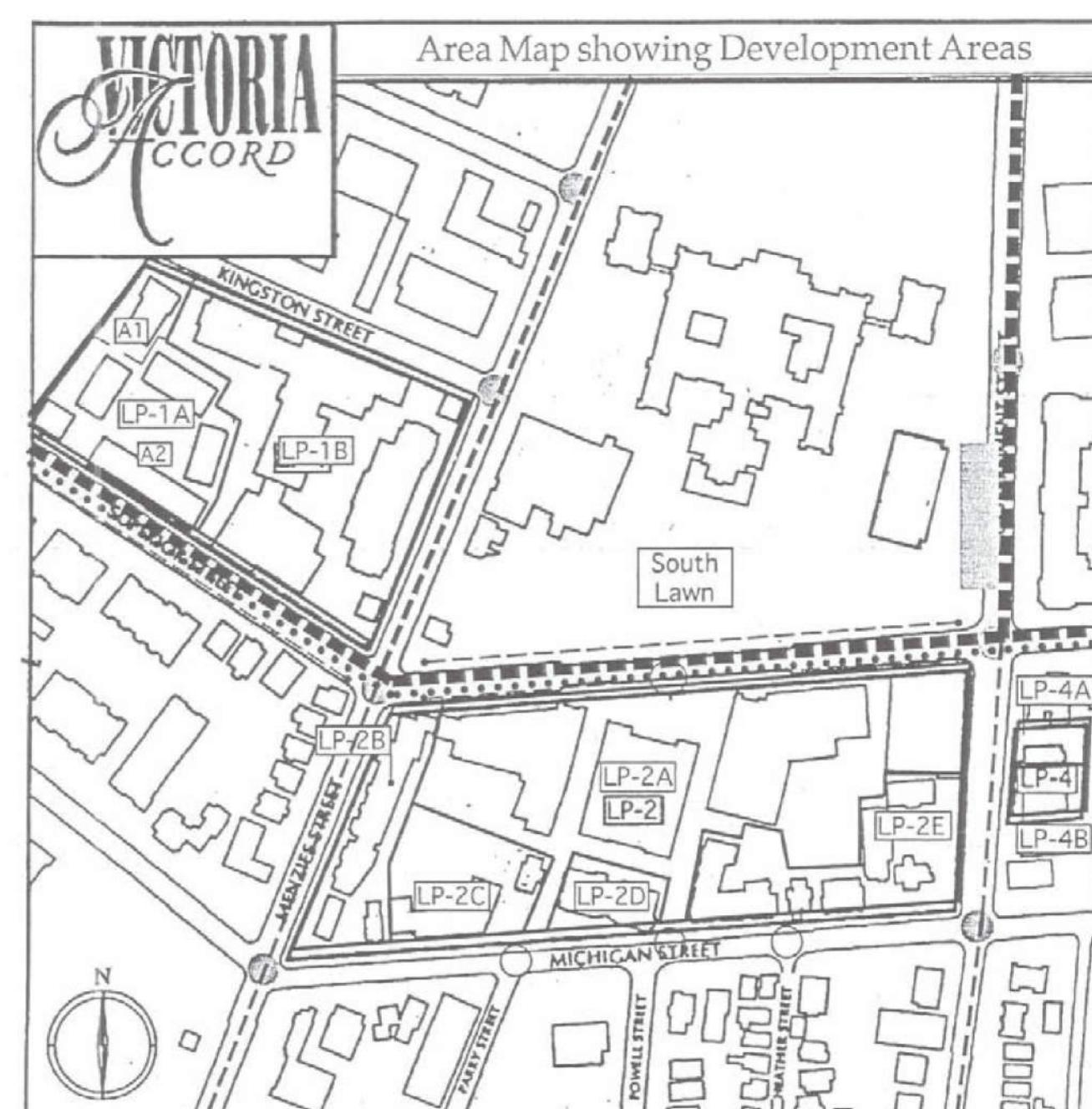
### Built Form Guidelines

prepared  
on behalf of  
The British Columbia Buildings  
Corporation  
by  
Paul Merrick Architects Limited

June 2, 1994

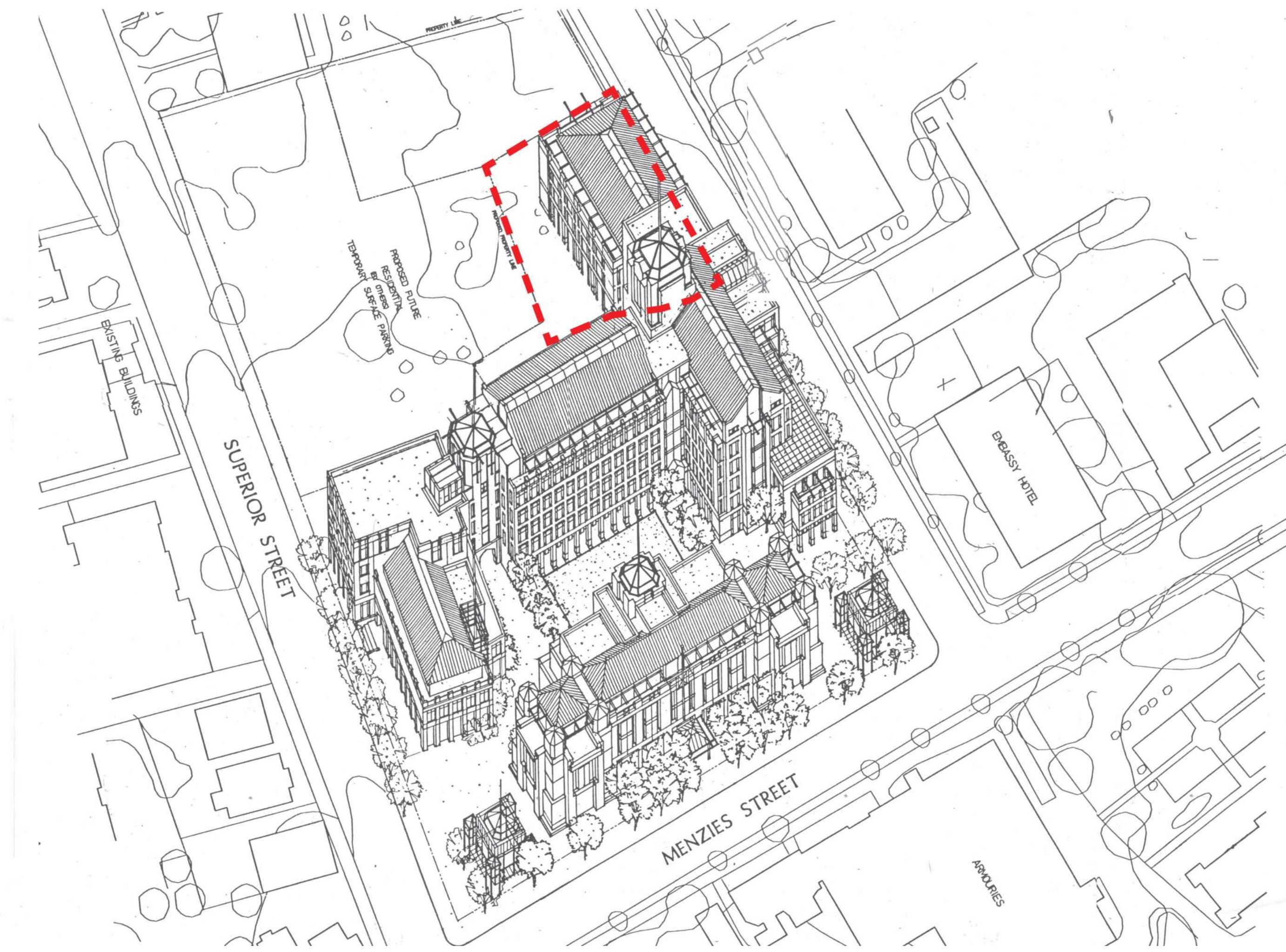
LEGISLATIVE PRECINCT GUIDELINES: PREPARED BY MERRICK ARCHITECTURE LTD. (FORMERLY PAUL MERRICK ARCHITECTS LTD.) FOR BCBC

1-23

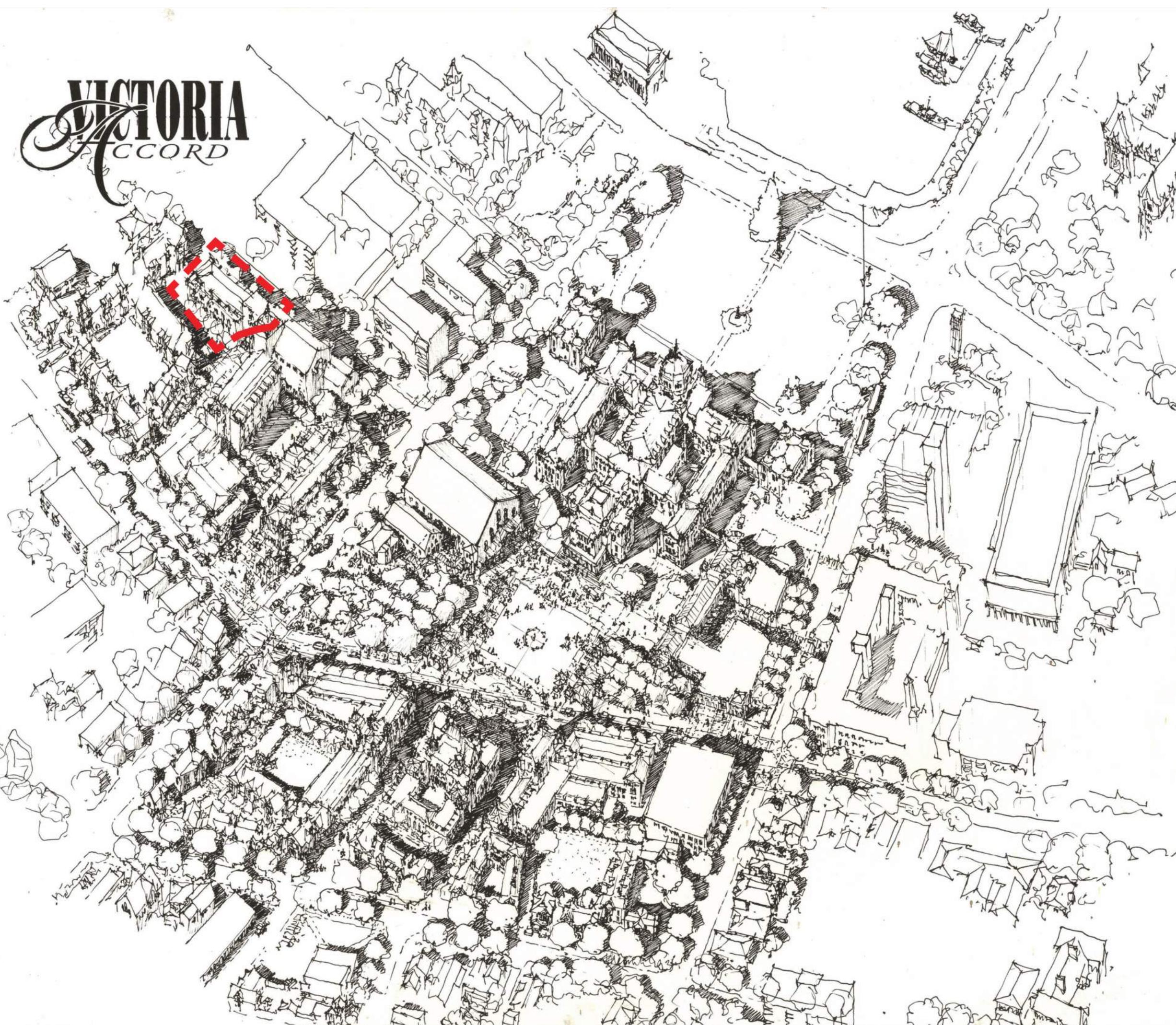


Traffic management techniques, including 'traffic calming', should be considered for roads in and around the Precinct.  
--Guideline 4.1, Project Review Group Report

Planning development in the Precinct should be integrated with planning for the Downtown Streetcars and other transit initiatives which evolve.  
--Guideline 4.2, Project Review Group Report

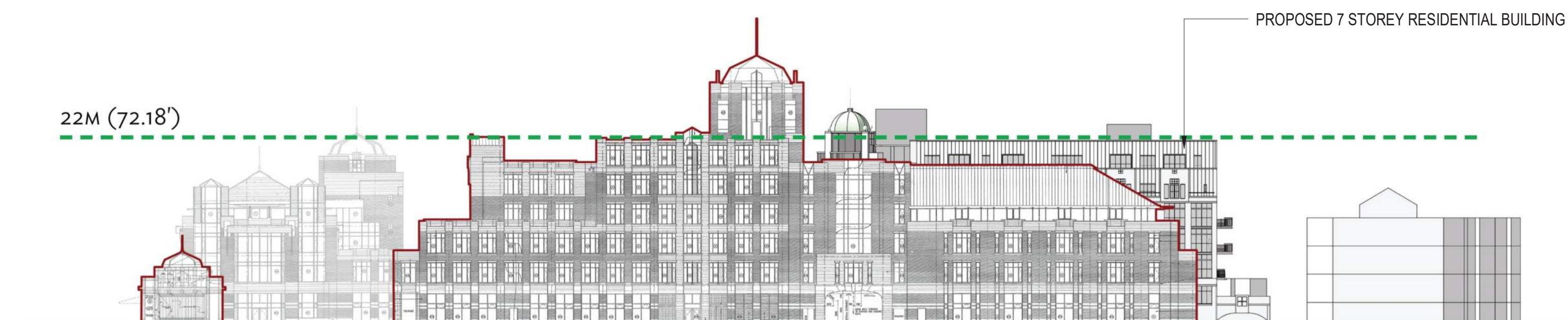


LOCATION OF THE 475 KINGSTON STREET SITE IN RELATION TO THE PREVIOUS VICTORIA ACCORD DEVELOPMENT BY MERRICK ARCHITECTURE (FORMERLY PAUL MERRICK ARCHITECTS LTD.)



AN ILLUSTRATIVE 1996 VICTORIA ACCORD PROPOSAL (APPROVED FOR BUILDING PERMIT) FOR A 6 STOREY 22M HIGH COMMERCIAL/OFFICE PROJECT IN COMPLIANCE WITH THE 1994 LEGISLATIVE PRECINCT BUILT FORM GUIDELINES

ILLUSTRATIVE PROJECT BY HEMINGWAY NELSON ARCHITECTS LTD, 1996



THE PROJECT PROPOSES 7 RESIDENTIAL FLOORS WITHIN THE ALLOWABLE 22M GUIDELINE HEIGHT, AS COMPARED TO THE PREVIOUS 6 COMMERCIAL/OFFICE FLOORS

PREVIOUSLY PROPOSED MASSING ON THE 475 KINGSTON SITE AS PART OF THE VICTORIA ACCORD, COMPLYING WITH THE LEGISLATIVE PRECINCT BUILT FORM GUIDELINES

VICTORIA ACCORD MASTERPLAN CONCEPT BY MERRICK ARCHITECTURE LTD. (FORMERLY PAUL MERRICK ARCHITECTS LTD.)

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CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

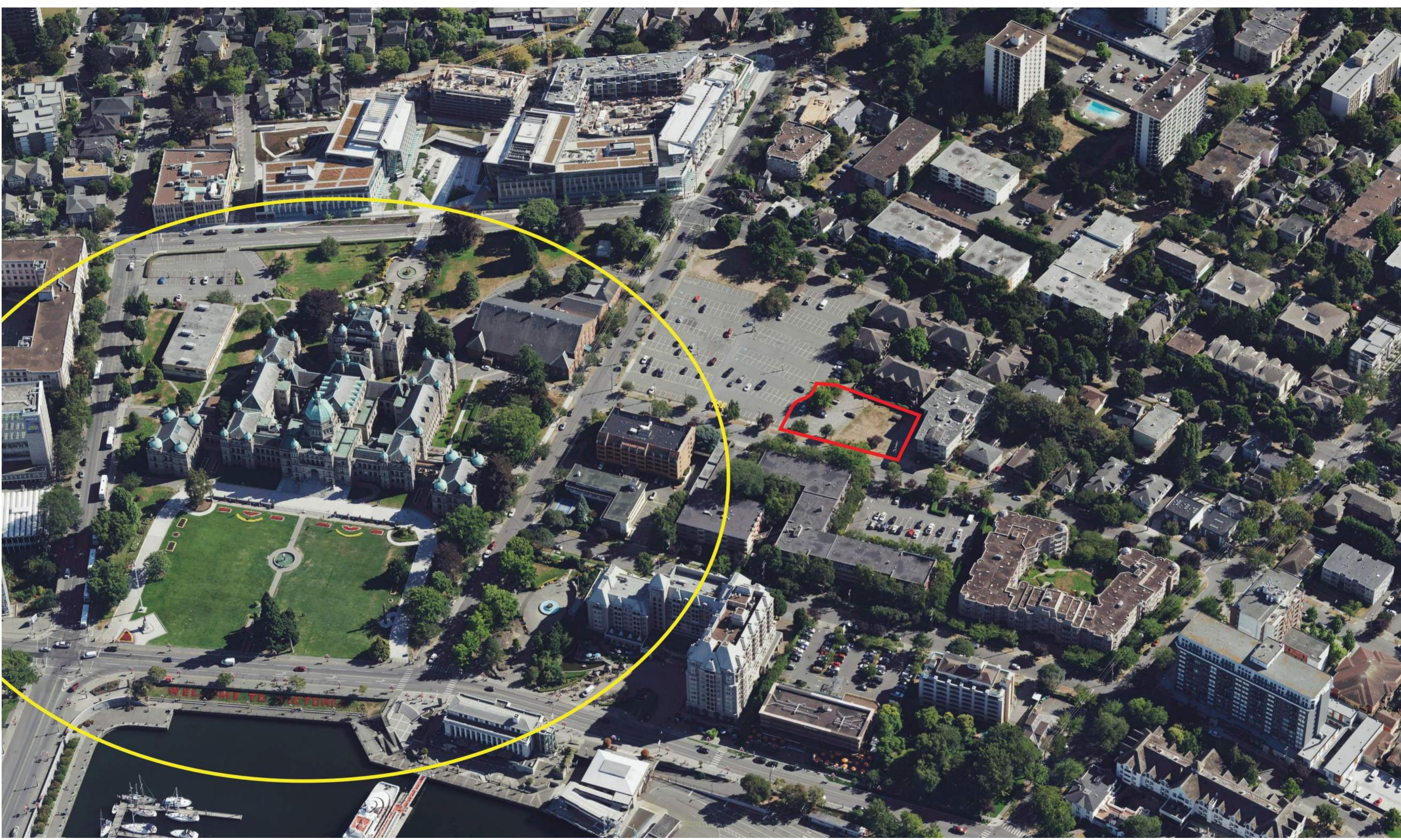
Consultant

Project  
475 Kingston  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
Legislative Precinct  
Diagrams

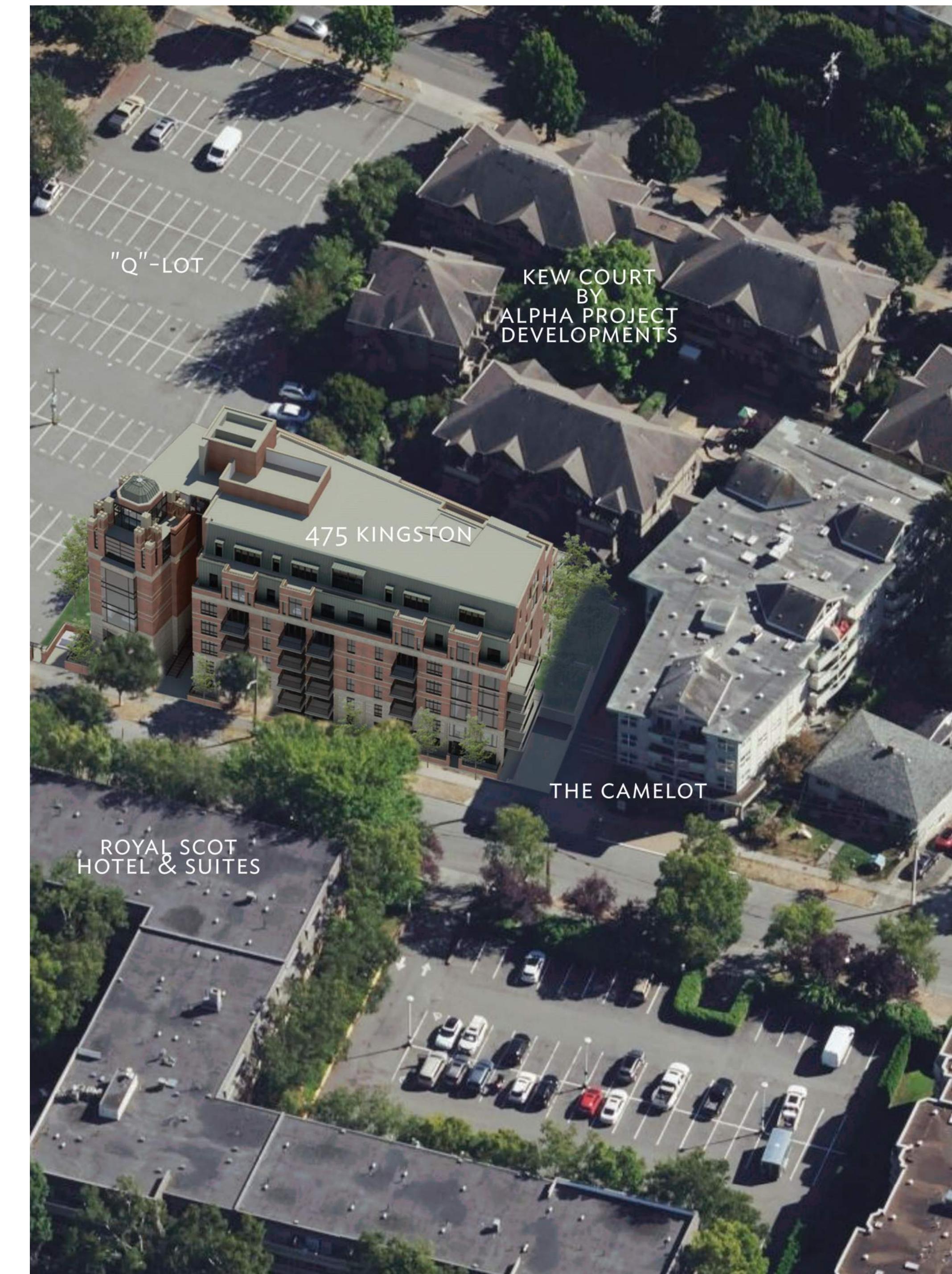
Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision Sheet Number	



BIRDSEYE VIEW LOOKING SOUTHEAST: EXISTING SITE LOCATED BEYOND THE 180M LEGISLATIVE DOME RADIUS



BIRDSEYE VIEW LOOKING SOUTHEAST AT PROPOSED PROJECT WITHIN NEIGHBOURHOOD CONTEXT



BIRDSEYE VIEW LOOKING SOUTHEAST AT PROPOSED PROJECT WITHIN IMMEDIATE CONTEXT

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CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

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**Project**  
**475 Kingston**  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
**Aerial Views**

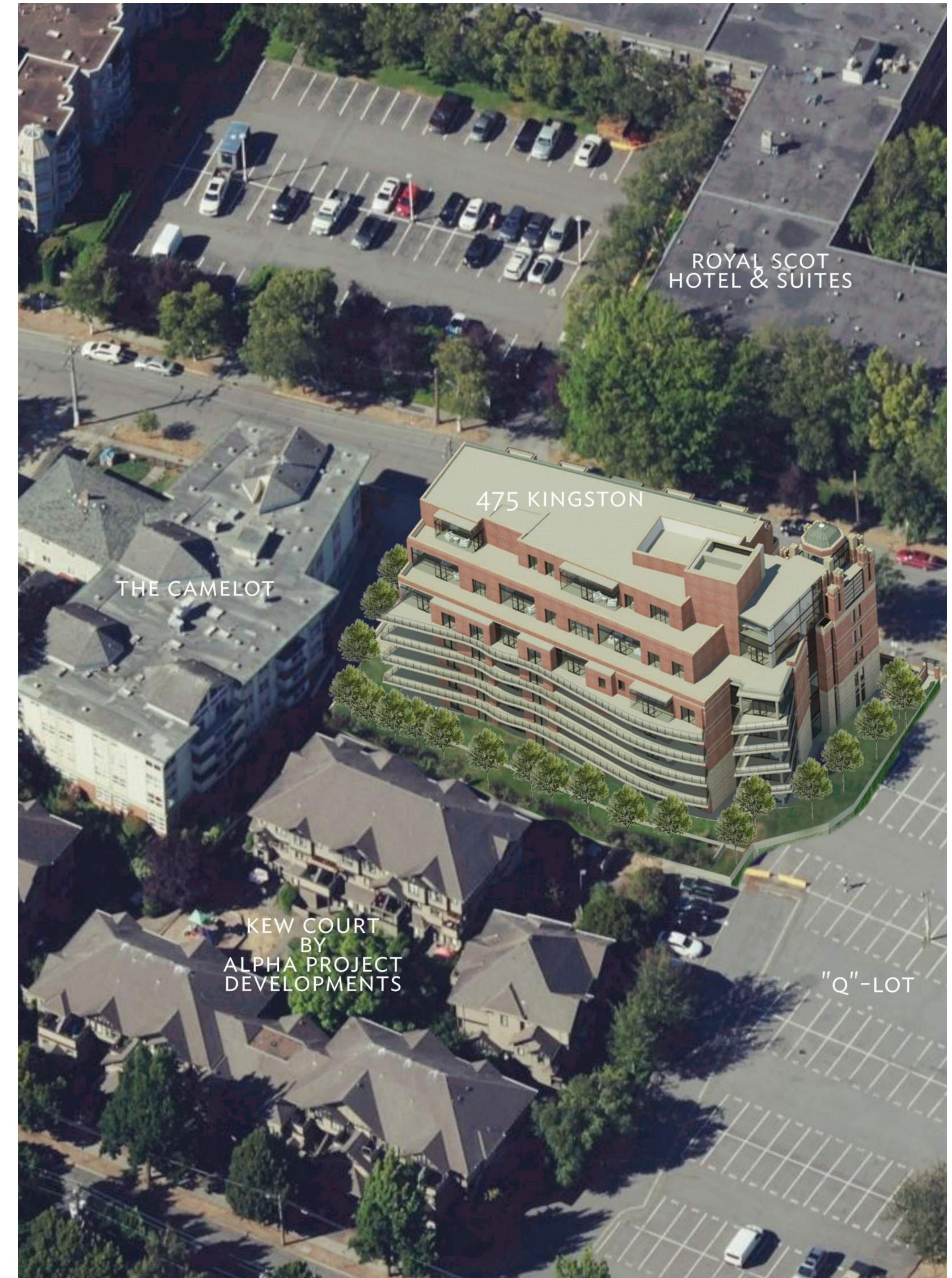
Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision	Sheet Number



BIRDSEYE VIEW LOOKING NORTHWEST AT EXISTING SITE



BIRDSEYE VIEW LOOKING NORTHWEST AT PROPOSED PROJECT WITHIN NEIGHBOURHOOD CONTEXT



BIRDSEYE VIEW LOOKING NORTHWEST AT PROPOSED PROJECT WITHIN IMMEDIATE CONTEXT

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**Project**  
**475 Kingston**  
475 Kingston Street

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Sheet Title  
**Aerial Views**

Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
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**475 Kingston**  
475 Kingston Street

For  
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Sheet Title  
**Perspective Renderings**

Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision	Sheet Number



EXISTING VIEW LOOKING WEST DOWN KINGSTON STREET



PROPOSED VIEW LOOKING WEST DOWN KINGSTON STREET

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Project  
**475 Kingston**  
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For  
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Sheet Title  
**Perspective Renderings**

Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision	Sheet Number



EXISTING VIEW LOOKING EAST DOWN KINGSTON STREET



PROPOSED VIEW LOOKING EAST DOWN KINGSTON STREET

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CALUC Review 12/10/2022  
Development Permit / Rezoning 01/06/2023

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Project  
475 Kingston  
475 Kingston Street

For  
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Sheet Title  
Shadow Studies - Equinox

Drawn By Checked  
JP SM  
Project Number Scale  
202165 AS NOTED  
Revision Sheet Number

A-008



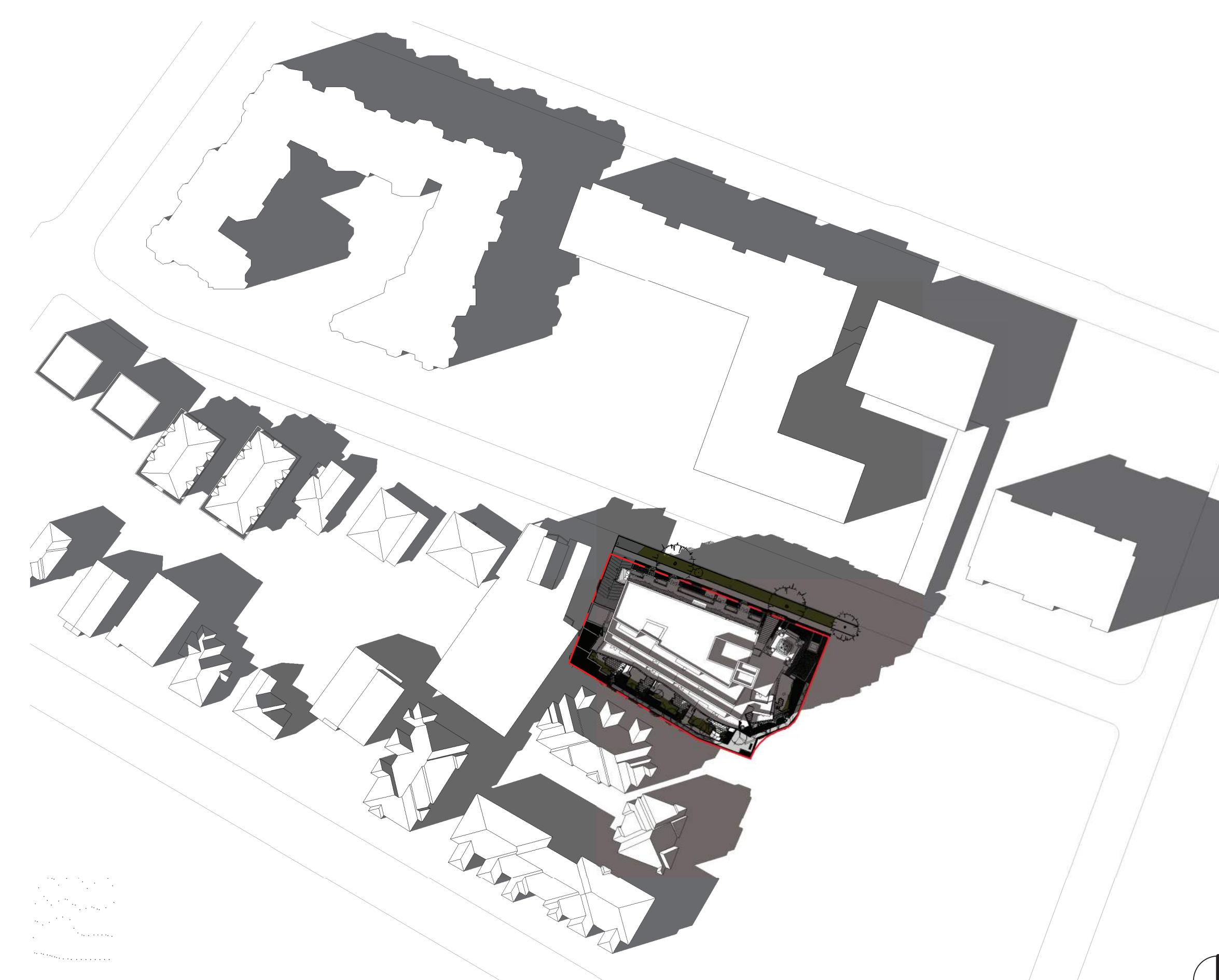
① Shadow - Equinox - 10 AM  
1 : 1000



② Shadow - Equinox - 12 PM  
1 : 1000



③ Shadow - Equinox - 2 PM  
1 : 1000



④ Shadow - Equinox - 4 PM  
1 : 1000

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**Project**  
**475 Kingston**  
475 Kingston Street

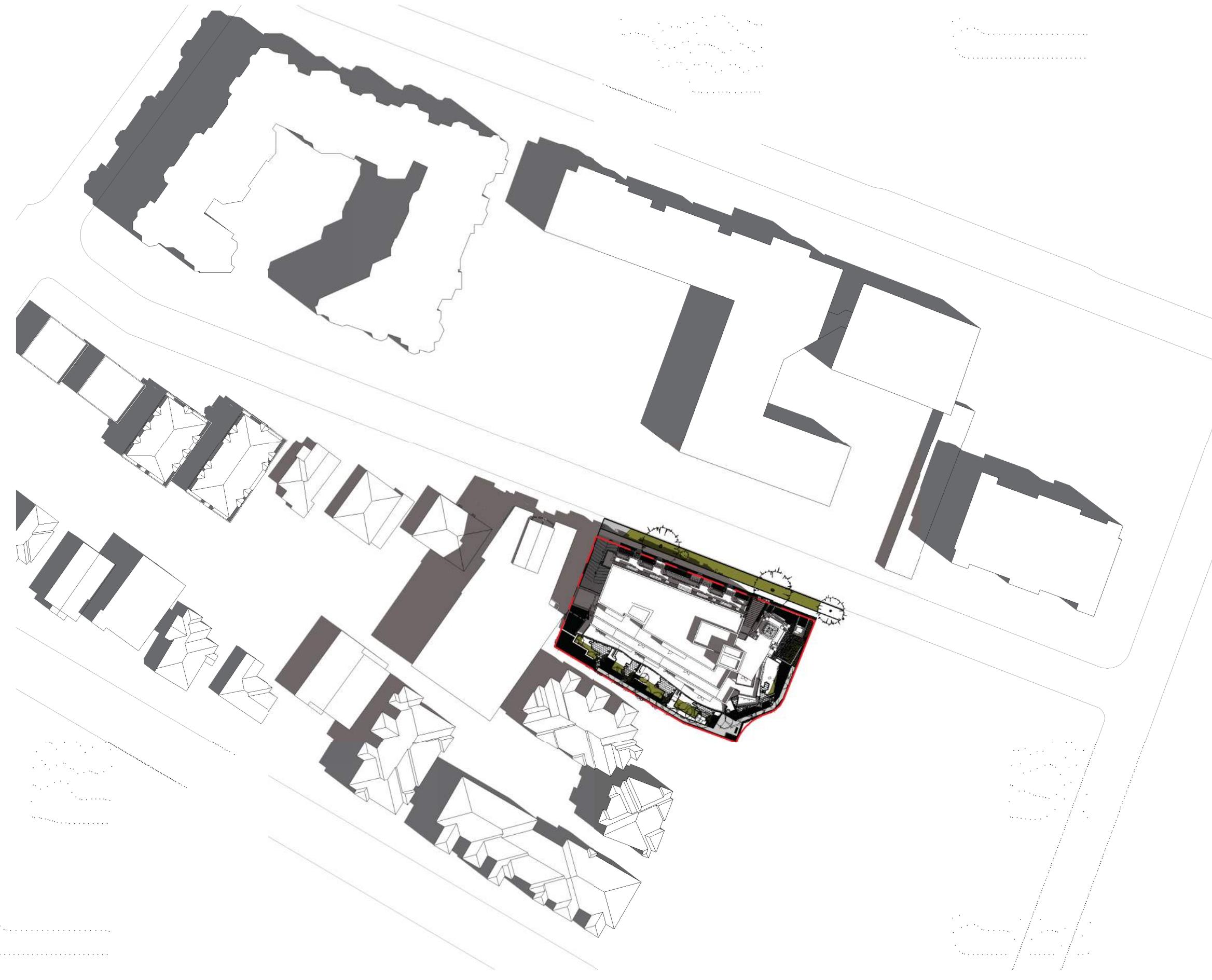
For  
Alpha Project Developments Ltd.

Sheet Title  
**Shadow Studies - Summer**

Drawn By  
JP  
Project Number  
202165  
Revision

Checked  
SM  
Scale  
AS NOTED  
Sheet Number

**A-009**



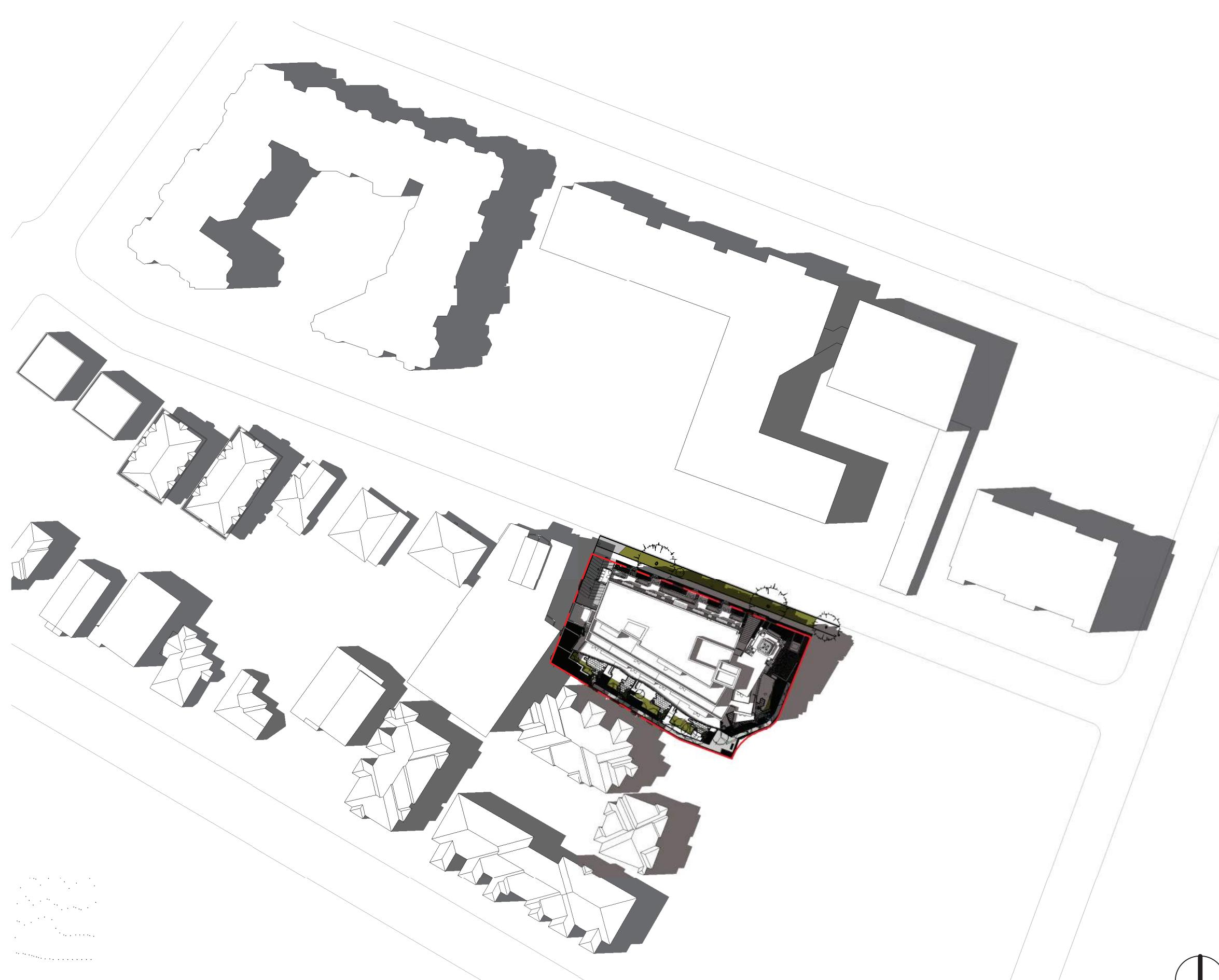
① Shadow - Summer - 10 AM  
1:1000



② Shadow - Summer - 12 PM  
1:1000



③ Shadow - Summer - 2 PM  
1:1000



④ Shadow - Summer - 4 PM  
1:1000

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Revision No.	Description	Date

Issue	Issue Date
CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

Consultant

Project  
**475 Kingston**  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
**Shadow Studies - Winter**

Drawn By	Checked
Author	Checker
Project Number 202165	Scale AS NOTED
Revision	Sheet Number

**A-010**

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Revision  
No. Description Date

Issue Issue Date  
CALUC Review 12/10/2022  
Development Permit / Rezoning 01/06/2023

Consultant

Project  
**475 Kingston**  
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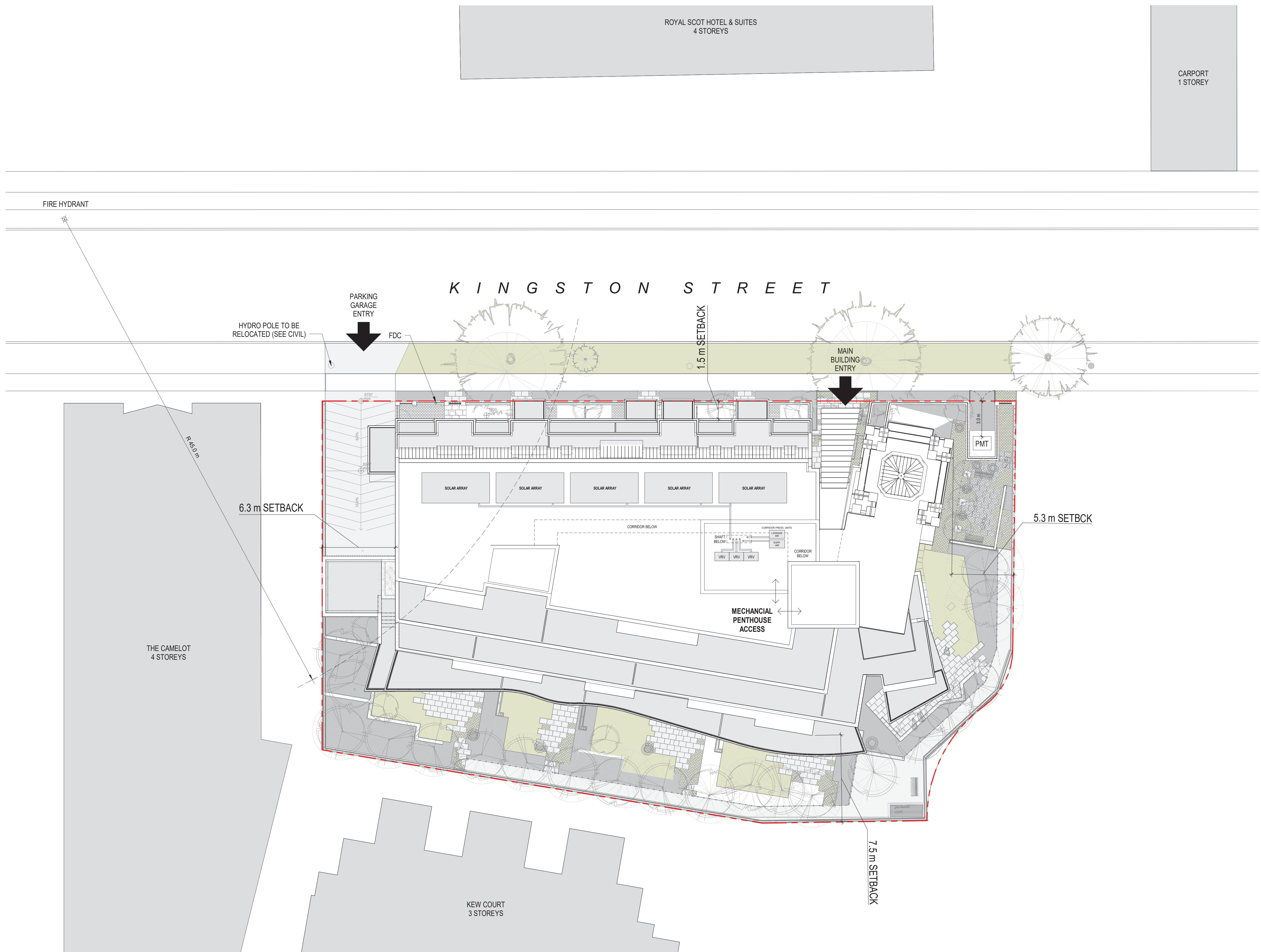
For  
Alpha Project Developments Ltd.

Sheet Title  
**Site Plan**

Drawn By Checked  
JP SM  
Project Number Scale  
202165 AS NOTED  
Revision Sheet Number

Site Plan  
1:150

**A-101**



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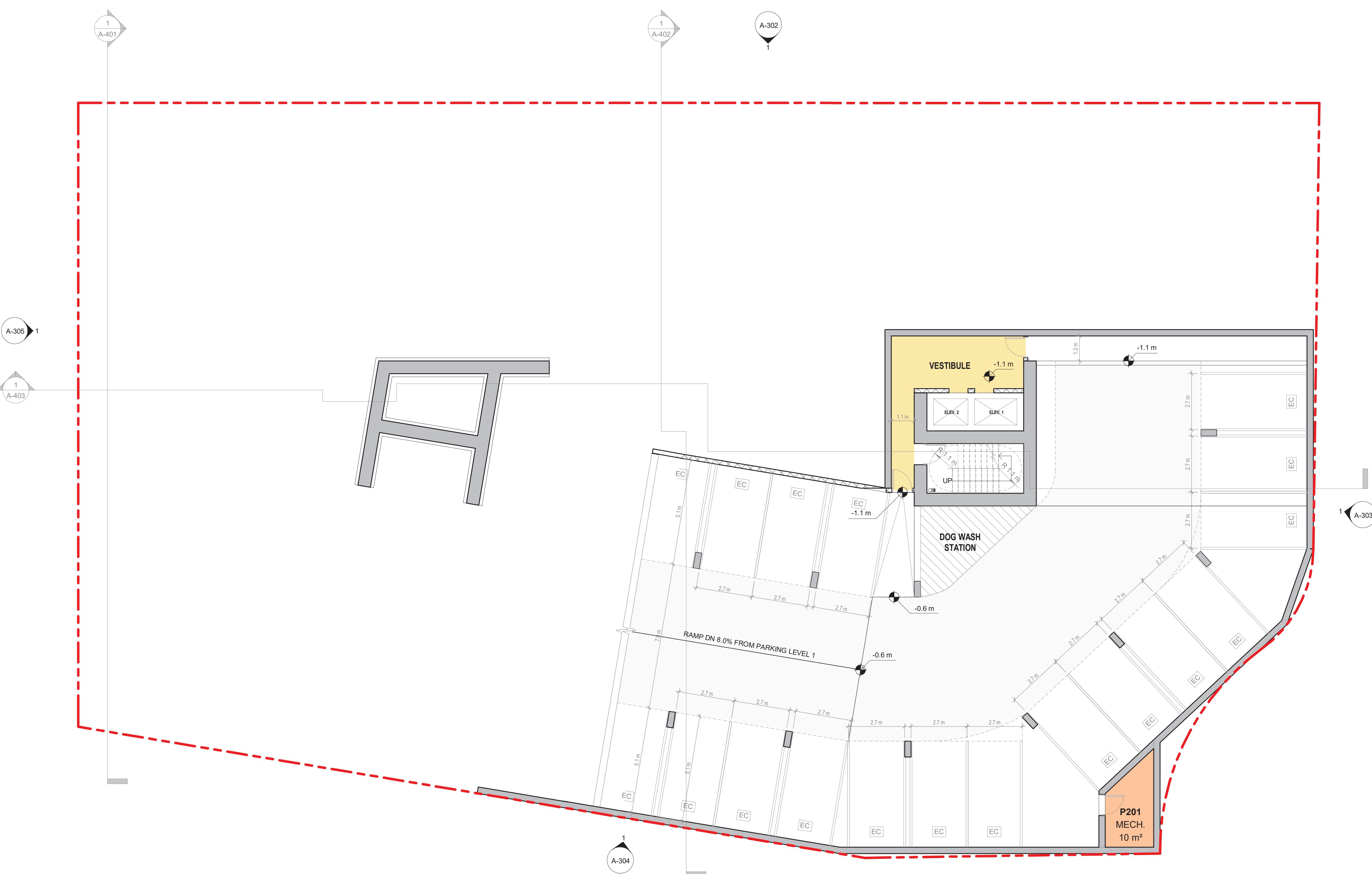
Issue	Issue Date
CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

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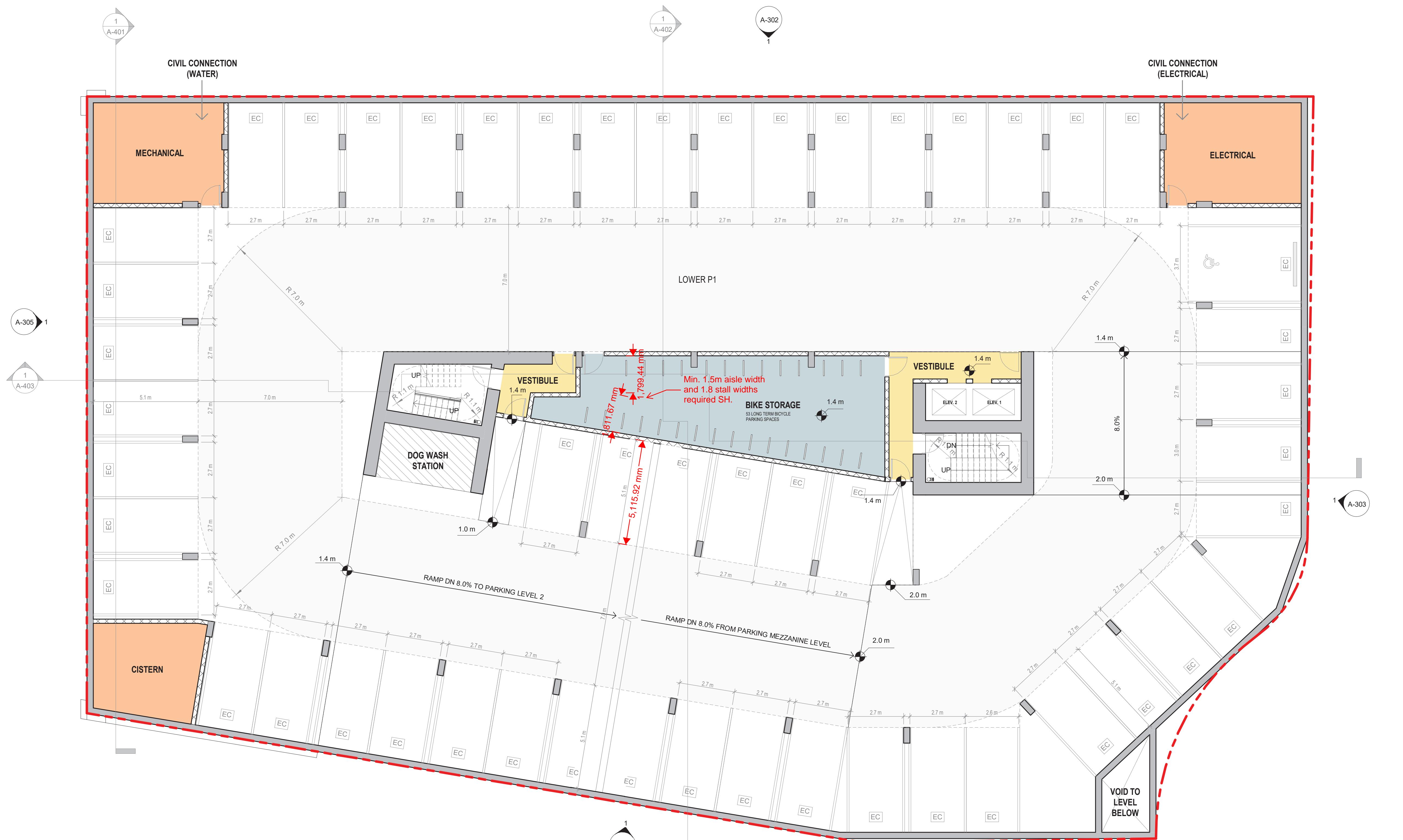
475 Kingston  
475 Kingston StreetFor  
Alpha Project Developments Ltd.Sheet Title  
Parking Level 2 Plan

Drawn By	Checked
Author	Checker
202165	AS NOTED
Revision	Sheet Number

A-201



PARKING LEVEL 2 - REGULAR PARKING STALLS			
Level	Type Mark	Count	EV Ready
Parking Level 2	END STALL	17	Yes
Parking Level 2	REGULAR STALL	1	Yes
Parking Level 2: 18		18	
Grand total		18	



# 475 Kingston

475 Kingston Street

et Title

PARKING LEVEL 1 - REGULAR PARKING STALLS			
Level	Type Mark	Count	EV Ready
Parking Level 1	ACCESSIBLE STALL	1	Yes
Parking Level 1	END STALL	50	Yes
Parking Level 1	REGULAR STALL	1	Yes
Parking Level 1: 52		52	
Grand total		52	

### Area Legend

## Area Legend

- Corridor
- Staircase

## ■ Storage Systems

## ■ Systems

## Parking Level 1

1 : 100

wings. Blotted 03/16/22

Wings. Flotted 35. 3. 22

## Parking Level 1

Λ 202

A-202

A decorative horizontal bar consisting of a thin black line with several black, angular shapes (triangles and trapezoids) of varying sizes placed along it.



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Revision  
No. Description Date

Issue Issue Date  
CALUC Review 12/10/2022  
Development Permit / Rezoning 01/06/2023

Consultant

Project  
475 Kingston  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
Level 1 Plan

Drawn By Checked  
JP SM  
Project Number Scale  
202165 AS NOTED  
Revision Sheet Number

A-204



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Project  
475 Kingston  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
Level 2 Plan

Drawn By Checked  
JP SM  
Project Number Scale  
202165 AS NOTED  
Revision Sheet Number

A-205



Suite Count Level 2

Level	Unit Number	Unit Type	Area
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Level 2	UNIT 208	1 BR + DEN	61 m <sup>2</sup>
Level 2	UNIT 207	1BR + DEN	61 m <sup>2</sup>
Level 2	UNIT 209	1BR + DEN	63 m <sup>2</sup>
Level 2	UNIT 204	1BR + DEN	75 m <sup>2</sup>
Level 2	UNIT 210	2BR	76 m <sup>2</sup>
Level 2	UNIT 206	2BR	89 m <sup>2</sup>
Level 2	UNIT 205	2BR	96 m <sup>2</sup>
Level 2	UNIT 202	2BR + DEN	120 m <sup>2</sup>
Level 2	UNIT 203	2BR + DEN	130 m <sup>2</sup>
Level 2	UNIT 201	3BR	149 m <sup>2</sup>
Grand total: 10			

Area Legend

- Corridor
- Studio
- Systems

LEVEL 2 PLAN  
1 : 100

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	CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

Issue Issue Date

CALUC Review  
Development Permit / Rezoning 12/10/2022  
01/06/2023

Consultant

Project  
**475 Kingston**  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
**Level 3 Plan**

Drawn By Checked  
JP SM  
Project Number Scale  
202165 AS NOTED  
Revision Sheet Number

**A-206**



Suite Count Level 3

Level	Unit Number	Unit Type	Area
Level 3	UNIT 309	1 BR	62 m <sup>2</sup>
Level 3	UNIT 308	1 BR	60 m <sup>2</sup>
Level 3	UNIT 307	1 BR	60 m <sup>2</sup>
Level 3	UNIT 310	1 BR + DEN	75 m <sup>2</sup>
Level 3	UNIT 304	1 BR + DEN	75 m <sup>2</sup>
Level 3	UNIT 306	2 BR + DEN	88 m <sup>2</sup>
Level 3	UNIT 303	2 BR + DEN	129 m <sup>2</sup>
Level 3	UNIT 305	2 BR + DEN	95 m <sup>2</sup>
Level 3	UNIT 302	2BR + DEN	119 m <sup>2</sup>
Level 3	UNIT 301	3 BR	149 m <sup>2</sup>

Grand total: 10
-----------------

Area Legend

- Corridor
- Studio
- Systems

LEVEL 3 PLAN  
1 : 100

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Revision  
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CALUC Review 12/10/2022  
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Project  
475 Kingston  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
Level 4 Plan

Drawn By Checked  
JP SM  
Project Number Scale  
202165 AS NOTED  
Revision Sheet Number

A-207



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	CALUC Review Development Permit / Rezoning

Consultant

Project  
475 Kingston  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
Level 5 Plan

Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision	Sheet Number

Area Legend  
Corridor  
Studio  
Systems

1  
Area Legend  
Corridor  
Studio  
Systems  
1  
Level 5  
1 : 100

A-208

Suite Count Level 5			
Level	Unit Number	Unit Type	Area
Level 3	UNIT 309	1 BR	62 m <sup>2</sup>
Level 3	UNIT 308	1 BR	60 m <sup>2</sup>
Level 3	UNIT 307	1 BR	60 m <sup>2</sup>
Level 3	UNIT 310	1 BR + DEN	75 m <sup>2</sup>
Level 3	UNIT 304	1 BR + DEN	75 m <sup>2</sup>
Level 3	UNIT 306	2 BR + DEN	88 m <sup>2</sup>
Level 3	UNIT 303	2 BR + DEN	129 m <sup>2</sup>
Level 3	UNIT 305	2 BR + DEN	95 m <sup>2</sup>
Level 3	UNIT 302	2BR + DEN	119 m <sup>2</sup>
Level 3	UNIT 301	3 BR	149 m <sup>2</sup>
Grand total: 10			

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	CALUC Review Development Permit / Rezoning

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Project  
475 Kingston  
475 Kingston StreetFor  
Alpha Project Developments Ltd.Sheet Title  
Level 6 PlanDrawn By  
JP  
Project Number  
202165  
RevisionChecked  
SM  
Scale  
AS NOTED

Sheet Number

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Key Plan

Revision No.	Description	Date
	CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

Issue Issue Date

CALUC Review  
Development Permit / Rezoning 12/10/2022  
01/06/2023

Consultant

Project  
475 Kingston

475 Kingston Street

For  
Alpha Project Developments Ltd.

Area Legend  
Sheet Title  
Level 7 Plan

Drawn By  
JP  
Project Number  
202165  
Revision

Checked  
SM  
Scale  
AS NOTED  
Sheet Number

1 : 100

A-210



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	CALUC Review Development Permit / Rezoning

Consultant

Project  
475 Kingston

475 Kingston Street

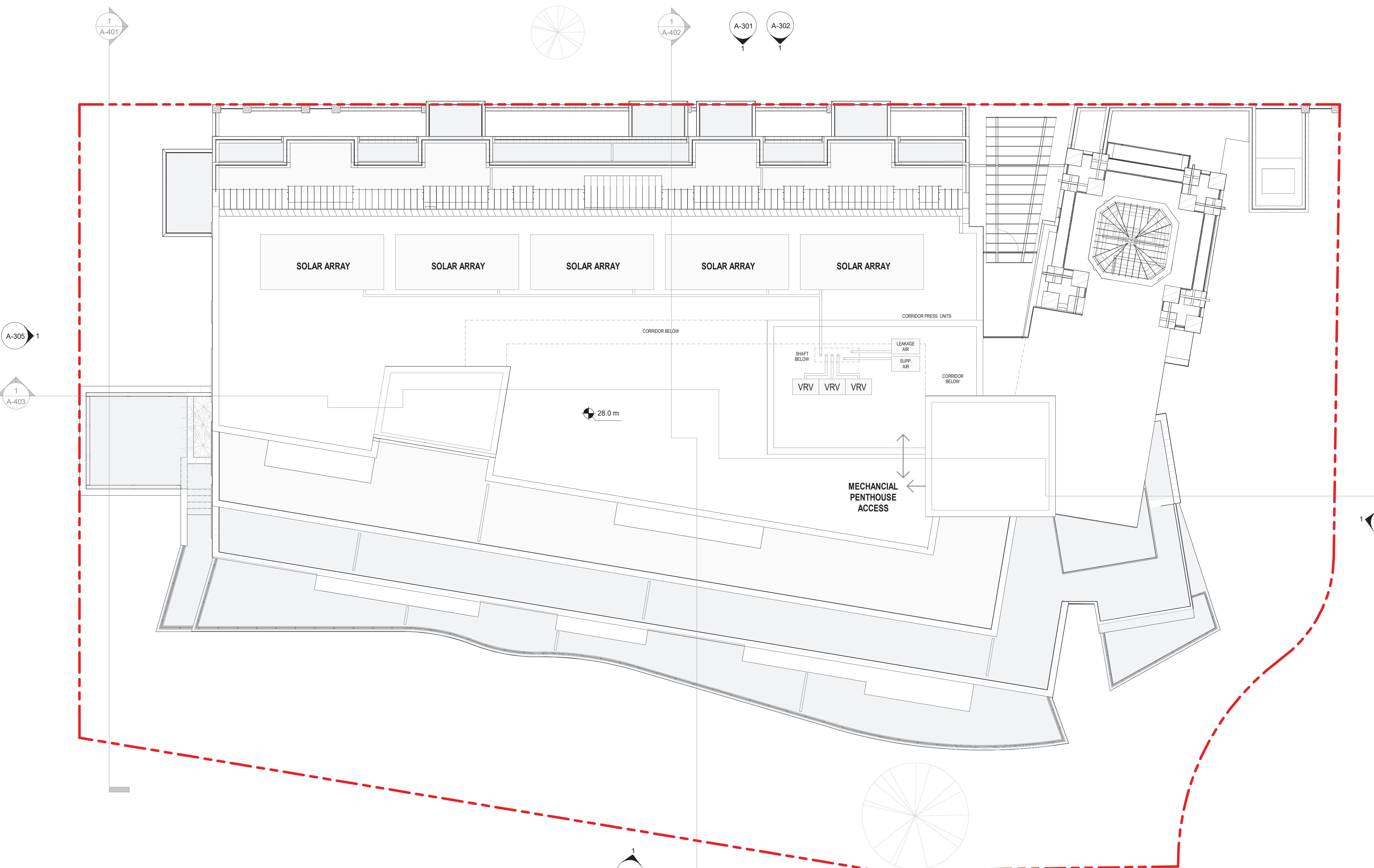
For  
Alpha Project Developments Ltd.

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Roof Plan

Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision	Sheet Number

Roof Level  
1 : 100



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Key Plan



PROPOSED ELEVATIONAL PERSPECTIVE LOOKING SOUTH ON KINGSTON STREET



**475 Kingston**  
475 Kingston Street

For

Alpha Project Developments Ltd.

Sheet Title

Elevations - Context

Drawn By  Checked

JP  SM

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202165  AS NOTED

Revision  Sheet Number

## MATERIAL LEGEND

MTL TAG	MATERIAL
01	BRICK
02	LIMESTONE
03	CAST-IN-PLACE CONCRETE
04	PRECAST CONCRETE
05	ALUMINUM WINDOW FRAME
06	METAL RAILING
07	METAL ROOF
08	METAL FLASHING
09	ALUMINUM FRAMED GL. DOOR
10	GLAZING PANEL
11	SPANDREL PANEL
12	GLAZED GUARD



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## Plan

## MATERIAL LEGEND

MTL TAG	MATERIAL
01	BRICK
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03	CAST-IN-PLACE CONCRETE
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10	GLAZING PANEL
11	SPANDREL PANEL
12	GLAZED GUARD



1 South Elevation  
1 : 100

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West Elevation

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Project Number 202165	Scale AS NOTED
Revision Sheet Number	



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Revision No.	Description	Date

Issue	Issue Date
CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

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Project  
**475 Kingston**  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
**Sections - Building**

Drawn By  
JP  
Project Number  
202165  
Revision

Checked  
SM  
Scale  
AS NOTED  
Sheet Number

① Section 1  
1 : 100

**A-401**

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Key Plan

Revision No.	Description	Date
	CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

Issue	Issue Date

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Project  
**475 Kingston**  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
**Sections - Building**

Drawn By JP	Checked SM
Project Number 202165	Scale AS NOTED
Revision	Sheet Number

① Section 2  
1 : 100

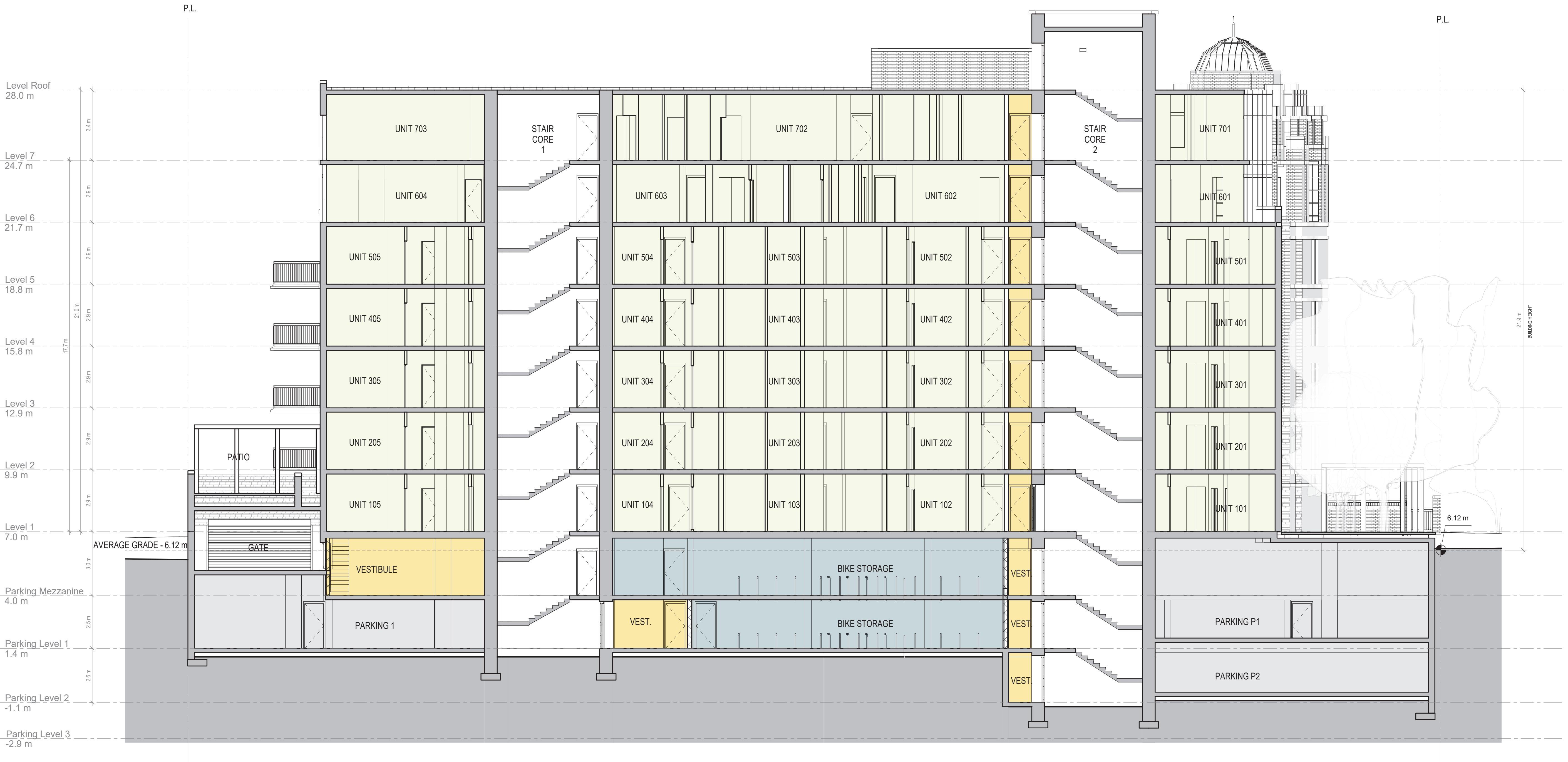
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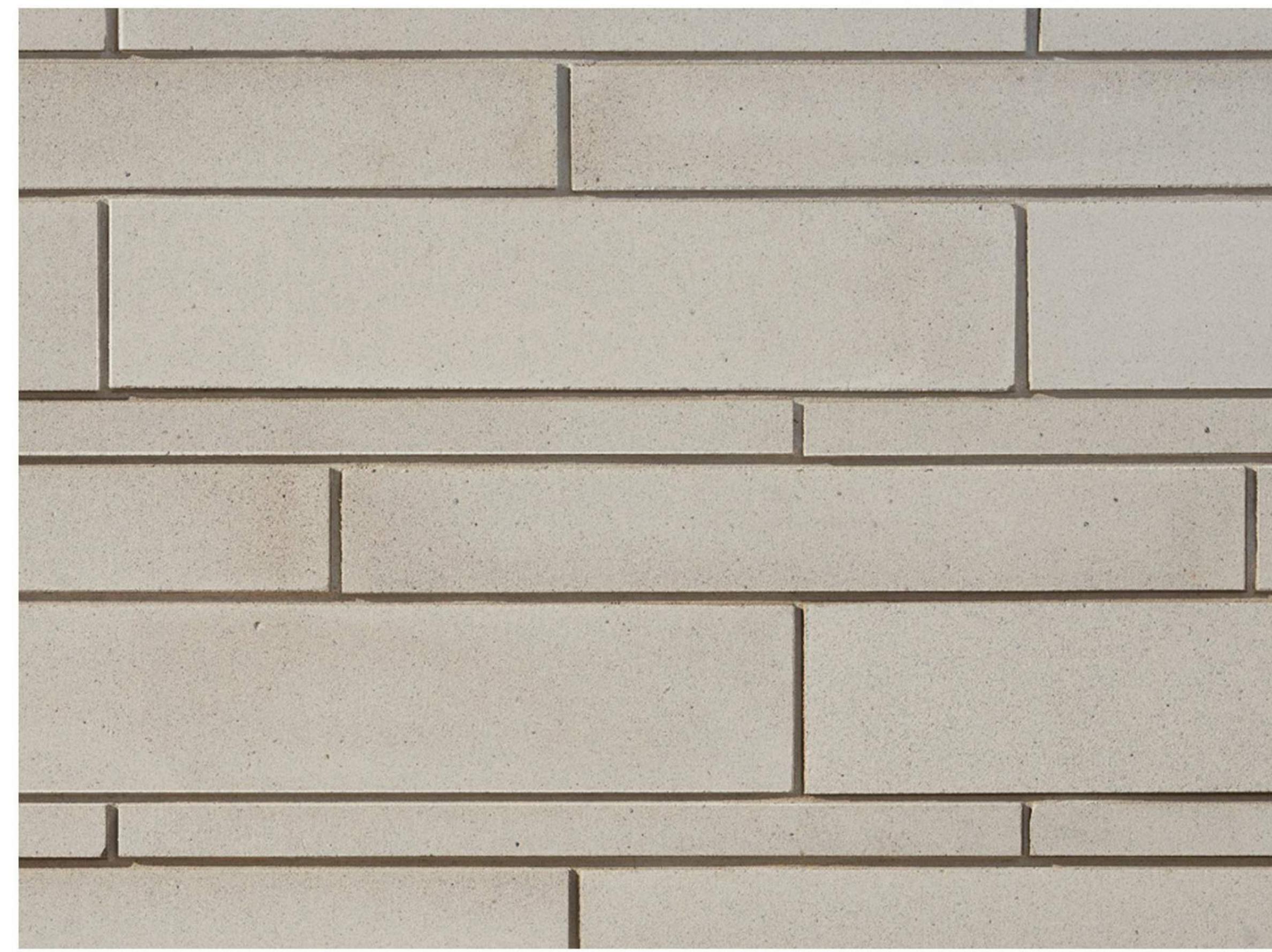
## Key Plan



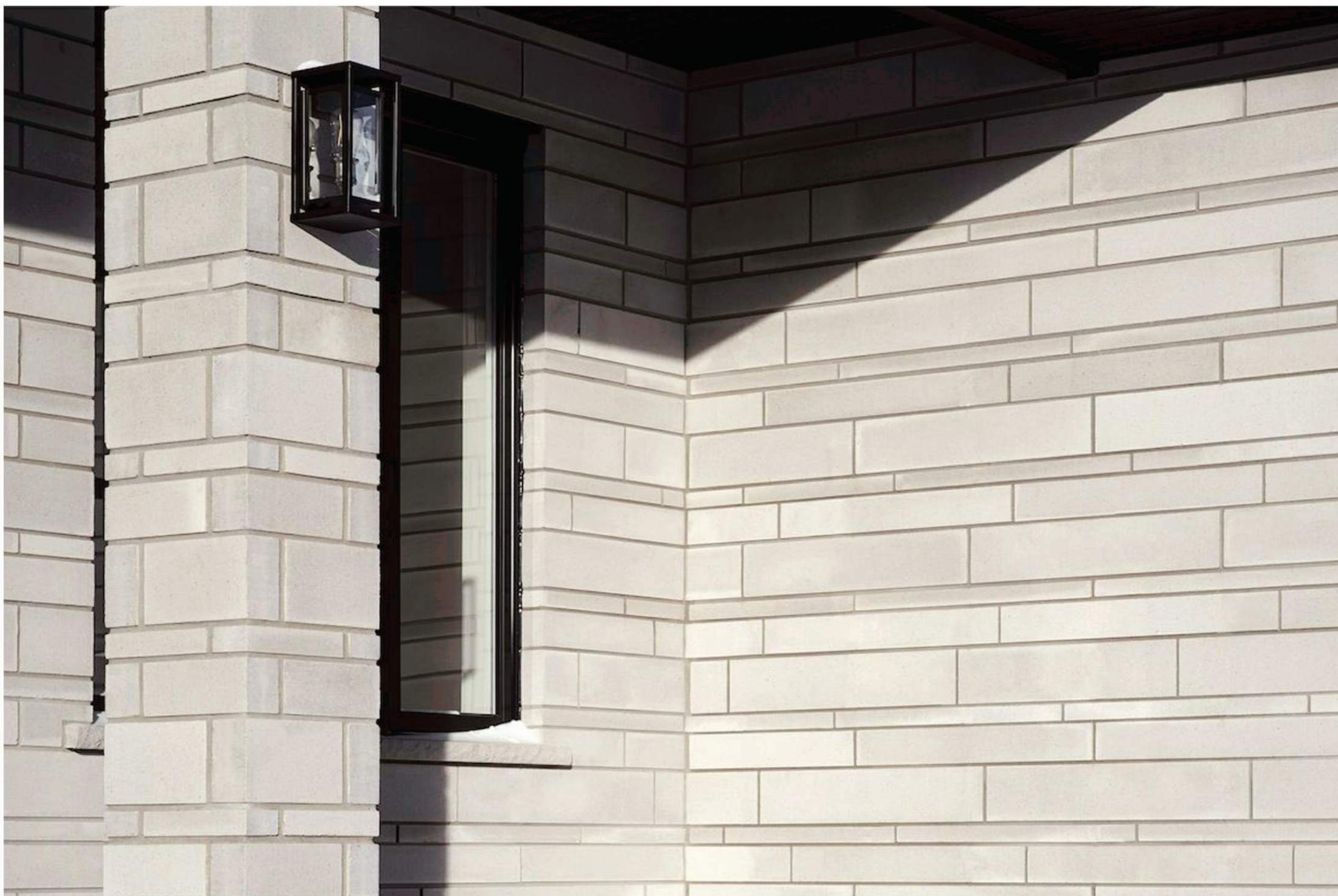
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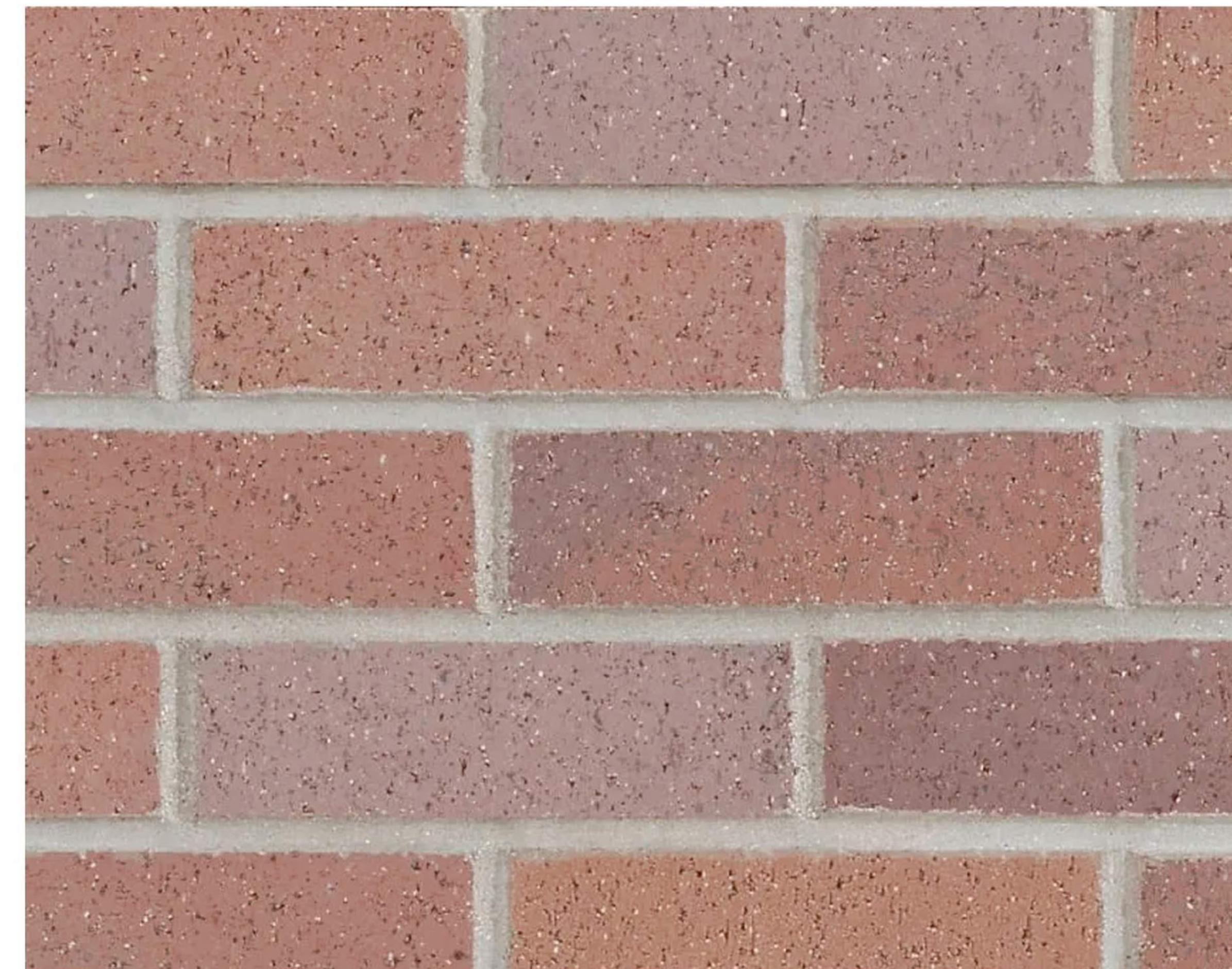
ROOFING: STANDING SEAM METAL ROOF - PATINA GREEN



EXTERIOR CLADDING AT BASE: NATURAL STONE - METROPOLITAN WHITE



EXTERIOR CLADDING PERSPECTIVE AT BASE: NATURAL STONE - METROPOLITAN WHITE



EXTERIOR BRICK VENEER: MIXED PATTERNED CANYON ROSE

Revision	No.	Description	Date
		CALUC Review Development Permit / Rezoning	12/10/2022 01/06/2023

Issue	Issue Date

Consultant

Project

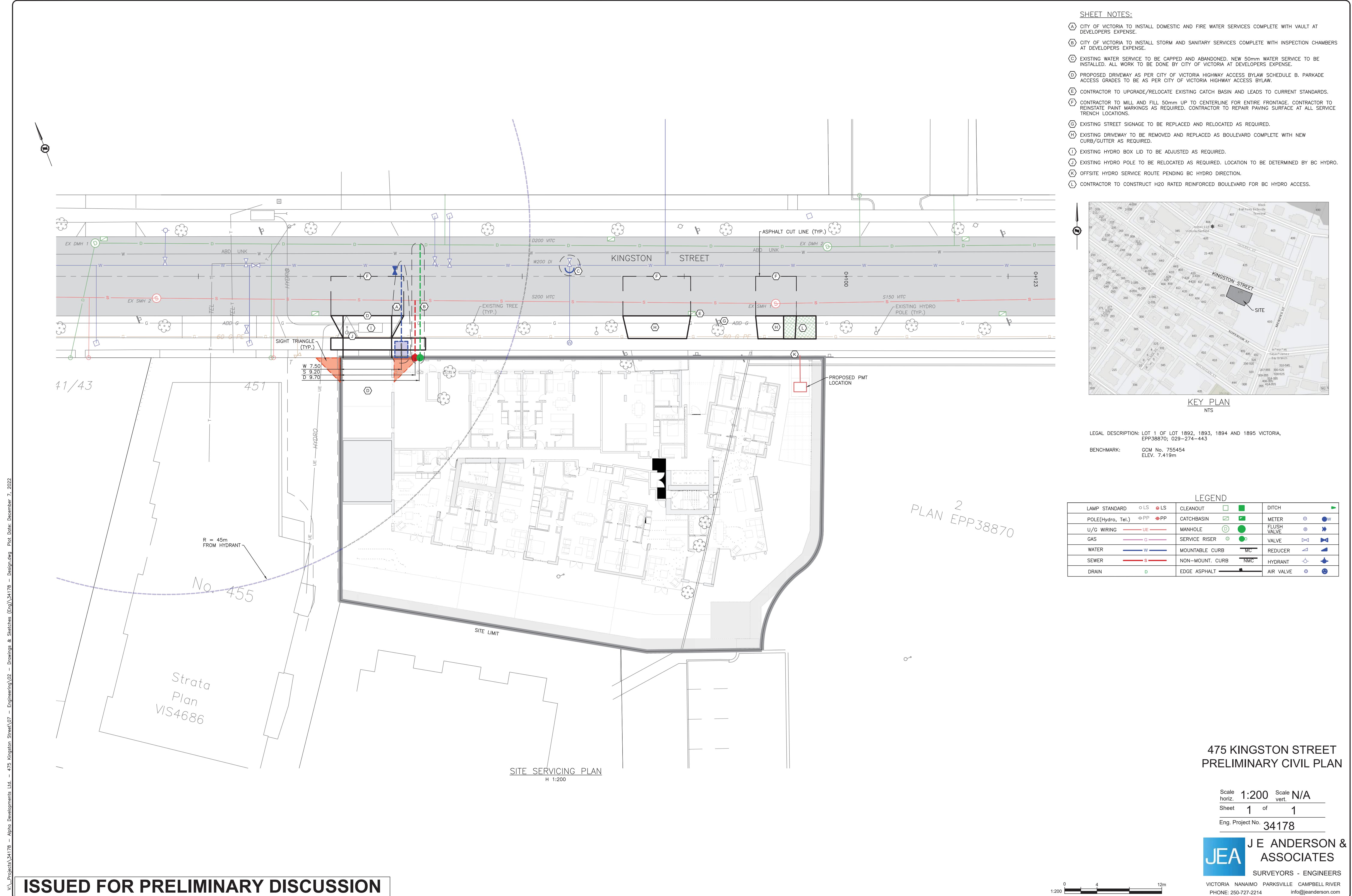
**475 Kingston**  
475 Kingston Street

For  
Alpha Project Developments Ltd.

Sheet Title  
**Materials - Exterior**

Drawn By	Checked
Author	Checker
Project Number	Scale
202165	AS NOTED

Revision  
Sheet Number





# SMALL & ROSELL LANDSCAPE ARCHITECTS

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Revision		
No.	Description	Date

Issue Date: 16 Dec 2022



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## Project

Sheet Title

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Drawn By	Checked
AJS	CAR
Project Number	Scale
	1:100
Revision	Sheet Number

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## GENERAL PROVISIONS

***Landscape works shall be installed in accordance with the provisions of the latest edition of the Canadian Landscape Standard & Canadian Nursery Stock Standard.***

*Boulevard trees shall be irrigated with a dedicated water service with meter and controller.*

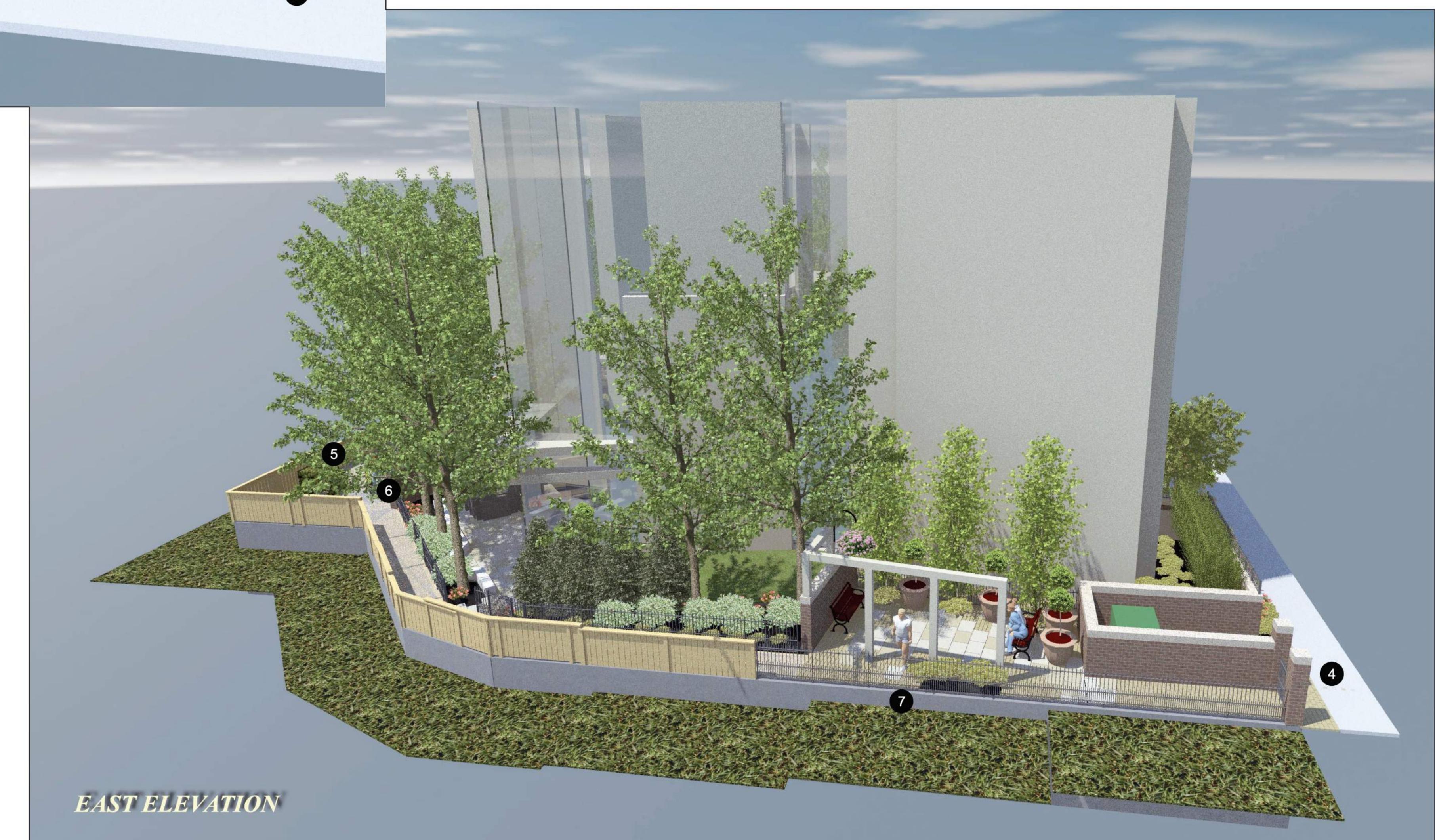
*All on site planted and grass areas shall be provided with fully automated underground irrigation and suitable for tree watering, in accordance with the provisions of the Irrigation Industry Association of BC (IIABC).*

L1



BUILDING ENTRANCE COURT

- 1 STONE BLOCK SEATS
- 2 STONE PAVING
- 3 OFF-SITE PLANTING

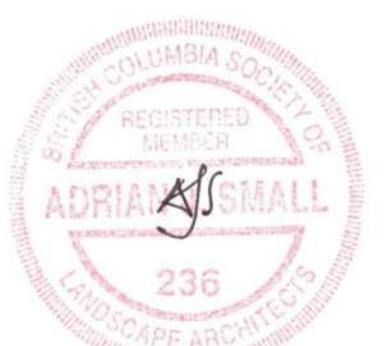


EAST ELEVATION

- 4 GATED ACCESS TO COMMON GARDEN & FOR GARDEN MAINTENANCE
- 5 COMMON GARDEN/SEATING SPACE
- 6 FENCED DOG RUN - MAINTENANCE ACCESS PATHWAY
- 7 COMMUNITY GARDEN SPACE

Revision No.	Description	Date

Issue Issue Date  
Development Permit 16 Dec 2022



Project ALPHA DEVELOPMENTS LTD  
**475 KINGSTON**

Sheet Title LANDSCAPE 3D  
RENDERINGS  
NORTH & EAST AREAS

Drawn By AJS Checked CAR  
Project Number Scale

Revision Sheet Number

L2

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No. Description Date

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Development Permit 16 Dec 2022



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ALPHA DEVELOPMENTS LTD

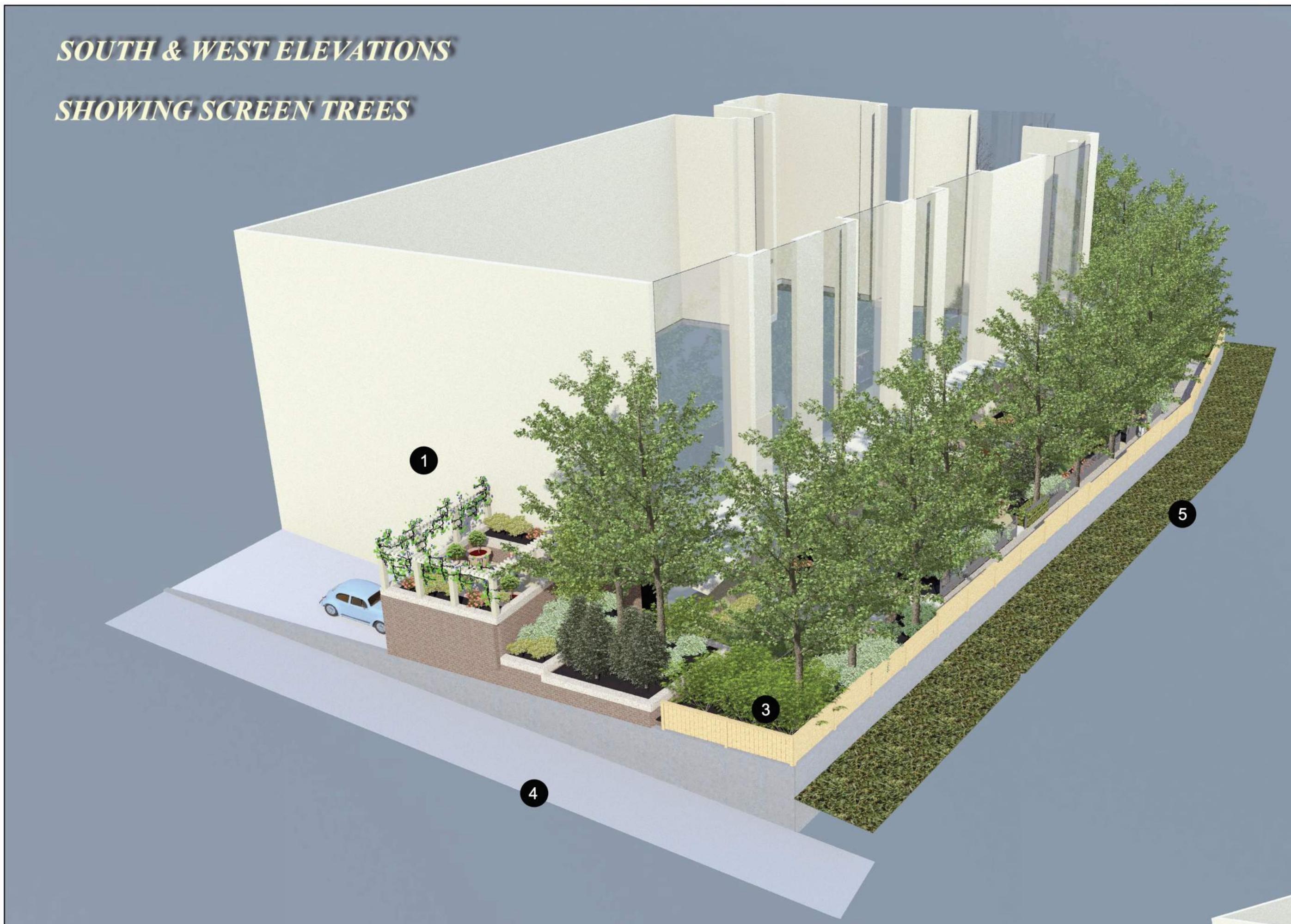
**475 KINGSTON**

Sheet Title  
**LANDSCAPE 3D  
RENDERINGS  
SOUTH & WEST AREAS**

Drawn By AJS Checked CAR

Project Number Scale

Revision Sheet Number



- 6 TRELLAGE
- 7 BRICK FACADE
- 8 SANDBLAST FINISH CONCRETE CAP
- 9 PARKADE EXTERIOR WALL
- 10 PARKADE ACCESS RAMP

- 1 "SECRET GARDEN"
- 2 PRIVATE GROUND LEVEL GARDENS/PATIOS
- 3 WOOD SCREEN FENCE
- 4 NEIGHBOUR'S PARKADE RAMP
- 5 GRADE ON NEIGHBOURING PROPERTY

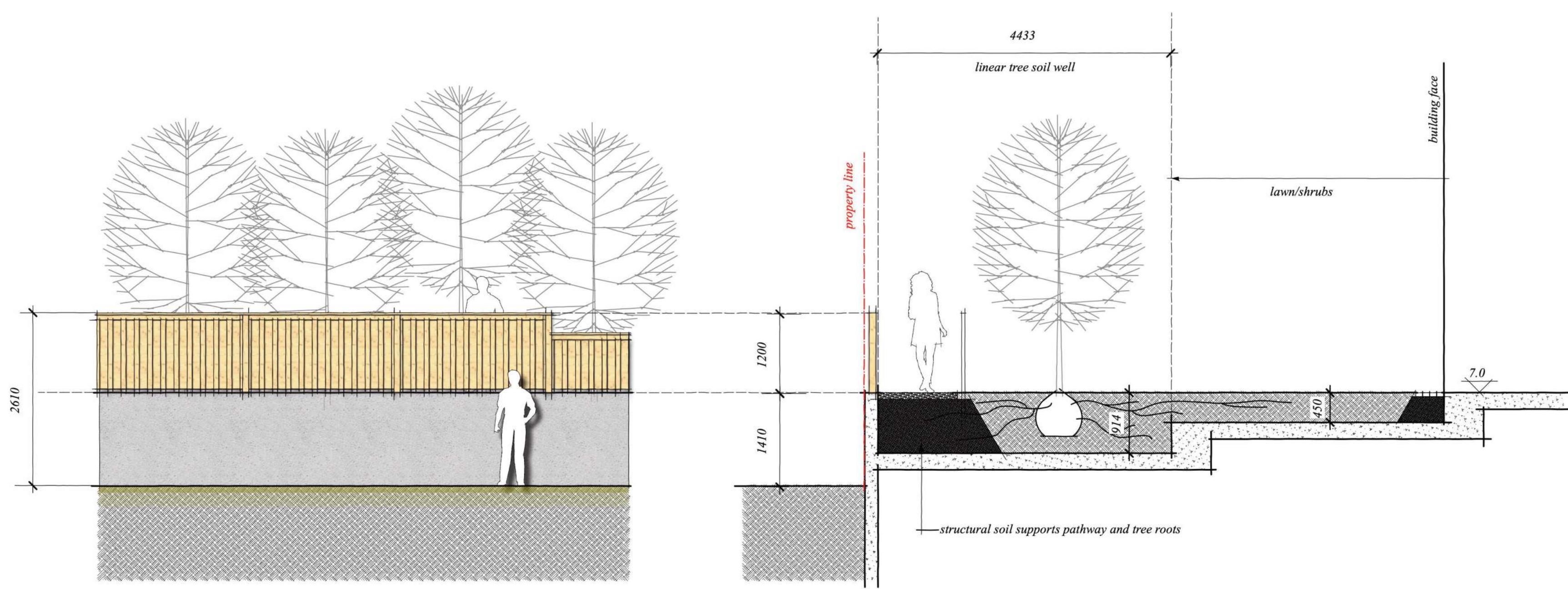


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No. Description Date



SOUTH PROPERTY LINE ELEVATION AT LOCATION OF CROSS SECTION A

CROSS SECTION A

DESCRIBES TYPICAL SOIL VOLUME ALLOWANCES ON-SLAB FOR PROPOSED TREES

**KINGSTON STREET PLANT SCHEDULE**

BOTANICAL NAME	COMMON NAME	CALIPER	QUANTITY	NATIVE/FOOD BEARING SHADE CANOPY
ALL PLANT MATERIAL SHALL BE #1 QUALITY				
I. TREES				
a. ACER PALMATUM 'OZAKI'	OZAKI GINGKO JAPANESE MAPLE	B6.2M-4CM CAL	2	PROVIDES SHADE
b. PRUNUS JAPONICA 'JAPONICUM'	KATSURA TREE	B6.2M-4CM CAL	1	PROVIDES SHADE
c. CORNUS KOUSSA 'SATSUMI'	PINK FL. DOGWOOD	B6.2M-4CM CAL	2	POLLINATOR PLANT
d. LIQUIDAMBAR STYRACIFLIA 'SLENDER SILHOUETTE'	COLUMNAR SWEETGUM	5 CM CAL. WIRE BASKET	3	DROUGHT TOLERANT
e. PRUNUS X YEDOENSIS 'AKEBO NO'	RUBY VASE PERSIAN IRONWOOD	6 CM CAL. WIRE BASKET	2	DROUGHT TOLERANT
g. GINKGO BILOBA 'PRINCETON SENTRY'	YOSHINO CHERRY	5 CM CAL. WIRE BASKET	2	ATTRACTS BIRDS
h. MAGNOLIA 'GALAXY' (REPLACEMENT TREES)	MADELEINE TREE - COLUMNAR	5 CM CAL. WIRE BASKET	6	DROUGHT TOLERANT
i. MAGNOLIA 'GALAXY'	MAGNOLIA PINK FLS	6 CM CAL. WIRE BASKET	2	POLLINATOR PLANT
j. MAGNOLIA 'GALAXY'	MAGNOLIA PINK FLS	8 CM CAL. WIRE BASKET	7	POLLINATOR PLANT
				TOTAL: 37
HEDGES & SPECIMEN SHRUBS				
BUXUS SEMPERVIRENS	BOX	#3 POT	56	PROVIDES SHADE
TAXUS B. 'MIDNIGHT'	COLUMNA YEW	#7 POT	14	PROVIDES SHADE
RIBES 'KING EDWARD'	FLOWERING RED CURRANT	#5 POT	4	NATIVE, POLLINATOR
				APPROX.TOTAL: 104
SHRUB PLANTING BACK OF SIDEWALK, TYP. 32 m <sup>2</sup> @ 2 plant per m <sup>2</sup>				
ZALYA AUTUMN FIRE	EVERGREEN ALALIA	#1 POT		HUMMINGBIRDS
ZALYA AUTUMN FIRE	WINTER SWEET BOX	#2 POT		FRAGRANT/POLLINATOR
				APPROX.TOTAL: 64
SHRUB PLANTINGS, TYP. 134 m <sup>2</sup> @ 1 plant per m <sup>2</sup>				
CORNUS STOLONIFERA 'KELSEY'	DWARF RED STEM DOGWOOD	#1 POT		NATIVE, WINTER INTEREST
CORYLUS AVELLANA 'RED MAGESTIC'	CONTORTED RED LEAF HAZEL	#5 POT		YEAR ROUND INTEREST
FOTHERGILLA 'INTERMEDIA 'MOUNT AIRY'	FOTHERGILLA, WHITE FLS	#5 POT		POLLINATOR PLANT
PRUNUS 'ROSA'	HAMMEL FUCHSIA	#2 POT		HUMMINGBIRDS
HYDRANGEA 'BLUBERRY'	BLUEBERRY LACECAP HYDRANGEA	#2 POT		HUMMINGBIRDS
PHILADELPHUS 'BELLE ETOILE'	MOCK ORANGE BLOSSOM	#5 POT		FRAGRANT/POLLINATOR
ROSA 'MUNDI'	SHRUB ROSE, STRIPED PINK FLS.	#5 POT		FRAGRANT/POLLINATOR
ROSA 'GERTRUDE Jekyll'	CLIMBING ROSE, PINK FLS.	#5 POT		FRAGRANT/POLLINATOR
VACCINIUM CORYMBOSUM 'DUKE'	HIGH BUSH BLUEBERRY (EDIBLE FRUIT)	#2 POT		FOOD BEARING/POLLINATOR
VACCINIUM PARVIFOLIUM	RED HUCKLEBERRY	#2 POT		NATIVE/POLLINATOR PLANT
VIBURNUM CARLESI	KOREAN SPICE VIBURNUM	#5 POT		FRAGRANT
				APPROX.TOTAL: 134
GROUNDCOVER PLANTS, TYP. 96.4 m <sup>2</sup> @ 3 plants per m <sup>2</sup>				
ARCTOSTAPHYLOS UVA URSI	KINNIKINNIK	#1 POT		NATIVE/POLLINATOR PLANT
GERANIUM 'RUBRUM', 'REGALIS', 'CAMBRIDGE'	RED BARRENWORT	#1 POT		POLLINATOR PLANT
HOSTA 'SHERIDANA ELEGANS'	RED LEAF GERANIUM	#1 POT		POLLINATOR PLANT
PLANTAGINUM	PLANTAGINUM	#1 POT		HUMMINGBIRDS
HELLERIA FOETIDISSIMA	HELLERORE	#1 POT		WINTER INTEREST
HEMEROCALLIS STELLATA 'DORO'	DAY LILY YELLOW FLS.	#1 POT		HUMMINGBIRDS
LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER	#1 POT		POLLINATOR PLANT
MAHONIA NEVADENSIS	LOW OREGON GRAPE	#1 POT		NATIVE/POLLINATOR PLANT
PAEONIA LACTIIFLORA	PAEONY	#1 POT		HUMMINGBIRDS
				APPROX.TOTAL: 290
VINES:				
LONICERA JAPONICA 'HALLIANA'	HALLIANA JAPANESE HONEYSUCKLE	#5 POT	6	HUMMINGBIRDS/POLLINATOR
				TOTALS PERCENTAGE
POLLINATOR/FOOD / NATIVE ESTIMATED SUMMARY				
TREES				40% POLLINATOR / BIRDS
SHRUBS & VINES				50% POLLINATOR/FOOD/NATIVE
GROUNDCOVERS				50% NATIVE/POLLINATOR
LAWN - ON-SITE				122 sq.m.

THE PLANT SPECIES, SIZES AND NUMBERS PROVIDED IN THE PLANT SCHEDULE ARE A GUIDE AND ARE SUBJECT TO ADJUSTMENT THROUGH THE DETAIL DESIGN/ BUILDING PERMIT APPLICATION STAGES.

**RAINFALL HARVESTING SCHEMATIC**



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475 KINGSTON

Sheet Title  
TREE RETENTION & REPLACEMENT PLAN  
Drawn By AJS Checked CAR  
Project Number Scale 1:100  
Revision Sheet Number

