

ISSUED FOR: Rezoning

ISSUE DATE: July 31, 2023

Project Address:

Civic Address  
50 Government St  
Victoria, BC

Legal Address Description:  
Property ID: 007-326-122  
Legal Amended Lot 9, Beckley Farm, Victoria  
District, Plan 229

Owner

NAME: Oeza Developments  
1558 Beach Dr  
Victoria, BC

Email:   mike.jones@oezadevelopments.ca

Phone:   250 588 1960



Architect

Waymark Architecture  
1826 Government Street  
Victoria BC V8T 4N5

Contact: Will King  
Phone: 778 977 0660  
Email: will@waymarkarchitecture.com

Structural Engineer

RJC Engineers  
#330, 1515 Douglas St  
Victoria BC V8W 2G4

Contact: Leon Plett  
Phone: 250 386 7794  
Email: lplett@rjc.ca

Landscape

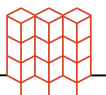
G | ALA Gauthier + Associates Lar  
308 877 Hastings St  
Vancouver, BC

Contact: Bryce Gauthier  
Phone: 604 317 9682  
Email: bryce@gauthierla.com

Code Consultant

Celerity Engineering Limited  
102-5166 Cordova Bay Road  
Victoria, BC V8Y 2K6

Contact: Corie Lubben  
Phone: 250 410 2021 extension 205  
Email: clubben@celerity.ca



CODE ANALYSIS	
	BCBC REFERENCE
2018 BC building code, data matrix part 3	References are to division B unless noted [A] for division A or [C] for division C.
Project Description: New	
Major Occupancy: Residential group C	3.1.2.1
Building area: 114.3 m2	1.4.1.2 [A]
Number of stories: 5 (4 story + loft)	3.2.1.1
Number of streets/fire fighter access: 1	3.2.2.10
Principal building is classified as following: 3.2.2.50. Group C, up to 6 Storeys, Sprinklered	
The building is permitted to be of combustible construction or noncombustible construction used singly or in combination	3.2.2.50
Floor assemblies shall be fire separations with a fire-resistance rating not less than 1 h	3.2.2.50
Roof assemblies shall have a fire-resistance rating not less than 1 h	3.2.2.50
Adjacent Occupancies: C	
Sprinklered : Yes	3.2.2.50
Fire alarm: Yes	3.2.4.
Standpipe required: Yes	3.2.9.
Water service/supply is adequate: Yes	3.2.5.7
Mezzanine area : N/A	
Occupant load based on: m²/person and design of building The occupant load for residential suites is two persons per sleeping room.	
1st floor = 6 persons (1 units 3 bedrooms) 2ndfloor = 10 persons (1 units 2 bedroom , 3 unit 1 bedroom) 3rd floor = 10 persons (1 units 2 bedroom , 3 unit 1 bedroom) 4th floor & loft = 12 persons (2 units -3bedrooms). For storage garage occupant load = garage area/ 46 (sm/ person) (Car + bike) parking :16+53 m2 / 46 m2 = 1.5 (2 persons) Total occupancy = 40 persons	3.1.17.1
Minimum number of exits required: 2	3.4.2.1-2 (b)

Spatial separation - construction of exterior walls - Table 3.2.3.1.d.									
Wall	Area of EBF (m2)	L.D (m)	L/H	Permitted max % of openings	Proposed max % of openings	FRR (hours)	Combustible construction	Non-combustible construction	Combustible construction non-combustible cladding
North	378	1.36	-	14	11.7			X	
South	380	1.36	-	14	12.9			X	
East- Street Front	203	4.79	-	-	39.8			X	
West - Rear	203	2.89	-	25	19.6			X	

Required fire resistance rating (FRR):		Discription	BCBC Required	Provided	BCBC References
Horizontal assemblies	Floors		1H	1H	3.2.2.50.
	Roof (if combustable)		1H	1H	3.2.2.50.
	Mezzanine		1H	N/A	3.2.2.50.
Sup. floor assemblies	Loadbearing wall		1H	1H	3.2.2.50.
	Column protection		1H	1H	3.2.2.50.
	Beam protection		1H	1H	3.2.2.50.
Sup. roof assemblies	Loadbearing wall		1H	1H	3.2.2.50.
	Column protection		1H	1H	3.2.2.50.
	Beam protection		1H	1H	3.2.2.50.
Sup mezzanine assemblies	Loadbearing wall		1H	N/A	3.2.2.50.
	Column protection		1H	N/A	3.2.2.50.
	Beam protection		1H	N/A	3.2.2.50.

DATA SHEET/ZONING ANALYSIS

LEGAL DESCRIPTION: Property ID 007-326-122, Lot 9, Beckley Farm, Victoria District, Plan 229  
STREET ADDRESS: 50 Government St

CURRENT ZONING: R3-2 MULTIPLE DWELLING DISTRICT  
PROPOSED ZONING: SITE SPECIFIC

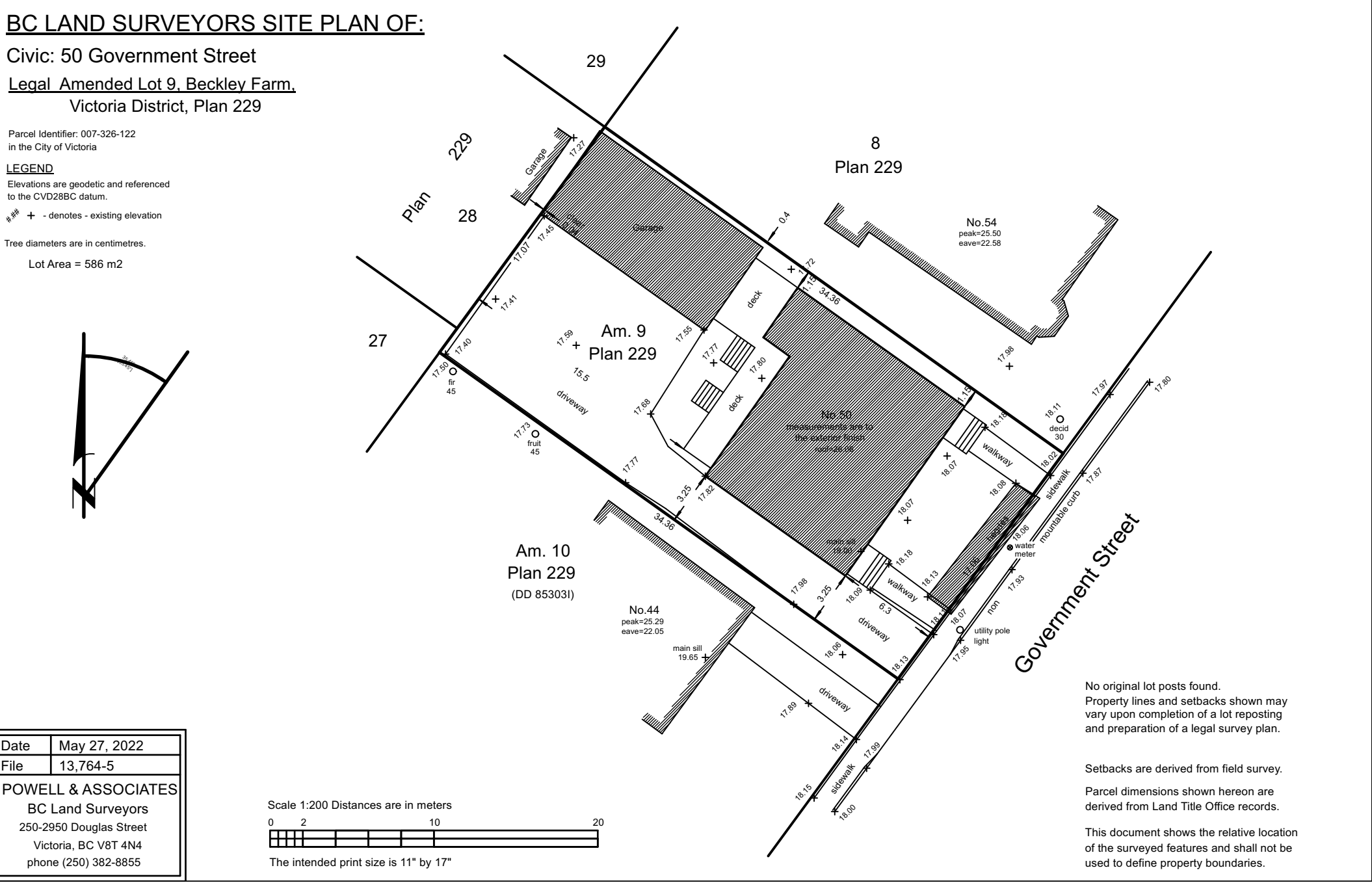
SITE AREA: 586 M2  
BUILDING FOOTPRINT: 319 m2

		Existing	Allowed by current zoning	Envisoned by OCP Land Use designation (Urban Residential)	Proposed
	Use	Mult-unit Residential (4 units)	Multi-unit Residential*	Low to mid-rise multi-unit residential.	Multi-unit Residential (19 Units, 100% affordable)
	Parcel Size	586 m2	920 m2 *	-	586 m2
	Building Height	8 m	18.5 m	Low-rise and mid-rise	14.97 m
	Stories	2	6	Buildings up to approximately six storeys.	4 storeys + Loft
	Lot Coverage	37%	30%	-	59%
	Floor Space Ratio	0.61	1:2 to 1	1.2:1 generally, up to 2:1 in strategic locations for the advancement of plan objectives	1.90
Setbacks					
	Front Setback - building exterior	6.3 m	10.5 m for, 4 story building	-	47.90 m
	North Side Setback	1.15 m to main building, 0.4 m to garage	3 m		1.36 m
	South Side Setback	3.25 m	3 m		1.36 m
	Total Side Setback	4.4 for main building (excluding garage)	N/A		2.72 m
	Rear Setback	Garage is over the property line. 15.3 to main building.	3 m		2.89 m
Off Street Parking					
	Car Parking	4 stalls, 1:1 ratio	0.85 spaces per dwelling unit that is less than 45m2, 1.00 space per dwelling unit that is 45m2 or more, but equal to or less han 70m2. 1.45 spaces per dwelling unit that is more than 70m2	-	13 required, 2 provided. (1x8) + (1.45 x 3) =12.3
	Long Term Bicycle parking		long term: 1.25 spaces per dwelling unit that is 45 m2 or more.		Long term: 14 required, 32 proposed. 1.25 x 11 =13.75
	Short Term Bicycle parking	none	The greater of 6 spaces per building or 0.1 spaces per dwelling unit		6 required,6 proposed

\*This lot is smaller than the minimum site area of 920m2, which does not permit a multiple dwelling.

UNIT TYPES

1 Bedroom - 57 to 62 m2	6
2 Bedroom - 67 m2	2
3 Bedroom - 125 m2	1
3 Bedroom - 2 Bedroom + Loft 112	2
TOTAL:	11



Parking required for 50 government:

0.85spaces per unit <45m2  
1.00 space per unit 45<70m2 - 8 units (all L2 & L3 units)  
1.45spaces per unit >70m2 - 3 units (ground floor unit, plus both penthouse units)

= (1x8) +(1.45x3)  
=12.35  
=13 car parking spaces

visitor parking = 0.1 per unit = 0.1x11

= 2 visitor spaces

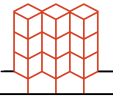
required bikes:  
1.25 per unit >45m2  
= 1.25x11 = 13.75  
= 14 bike parking stalls

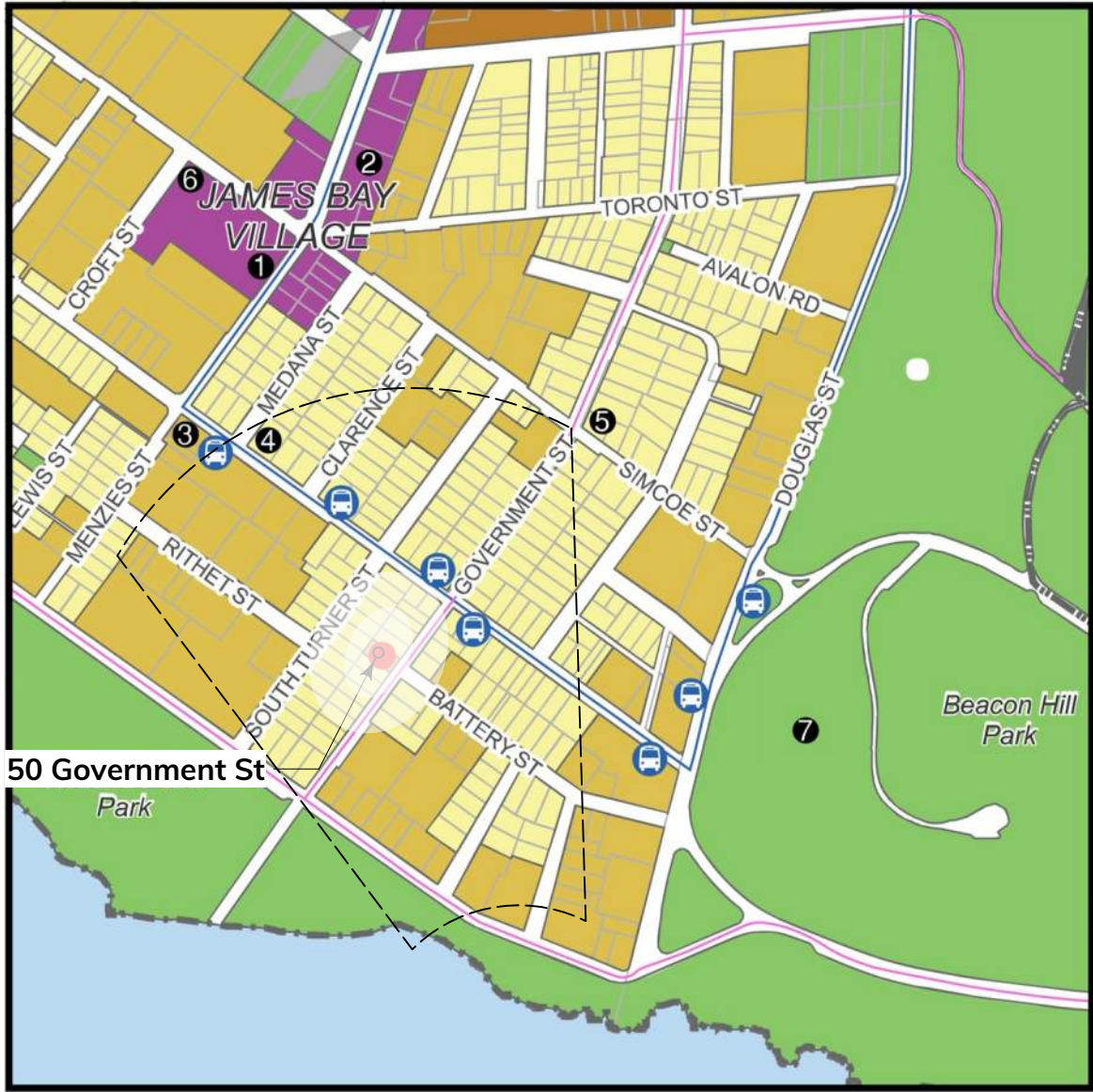
visitor bikes required 6

PROPOSED:

1 car share for residents  
1 visitor parking space (also sized for accessible use)

35 bike parking  
= 2.0 per unit for 1 bed units = 12 stalls  
+ 4.0 per unit for 2 bed = 8 stalls  
+ 5.0 per unit for 3bed units = 15 stalls





- James Bay Strategic Directions**
- Urban Place Designations\***
- Core Inner Harbour/Legislative
  - General Employment
  - Marine Industrial
  - Large Urban Village
  - Urban Residential
  - Traditional Residential
  - Public Facilities, Institutions, Park and Open Space
  - Working Harbour
  - Marine
  - Bus Stop
  - Bus route
  - Bike lane
- James Bay Village (0.6 km)
  - Restaurant (0.5 km)
  - Groceries (0.3 km)
  - Schools (0.6 km)
  - Entertainment (0.4 km)
  - Bank (0.5 km)
  - Park (0.5 km)

\*OCP policy objectives advanced by this proposal:

6 (a) "...housing growth...within close walking distance of Town Centres and Large Urban Villages"

6 (g) "That all 13 city neighbourhoods contain a range of housing types suitable to people with a mix of incomes, living in a variety of household types, throughout their lives.

6.1.6 "Urban Residential consists primarily of multi-unit residential ... including...mid-rise apartments"

6.9 "Give consideration to site-specific amendments to this plan that are consistent with the intent of the Urban Place Designations and that further the broad objectives and policies of the plan, as appropriate to the site context"

6.32.1 "Victoria accommodates a minimum of 20,000 additional residents from 2011 to 2041"

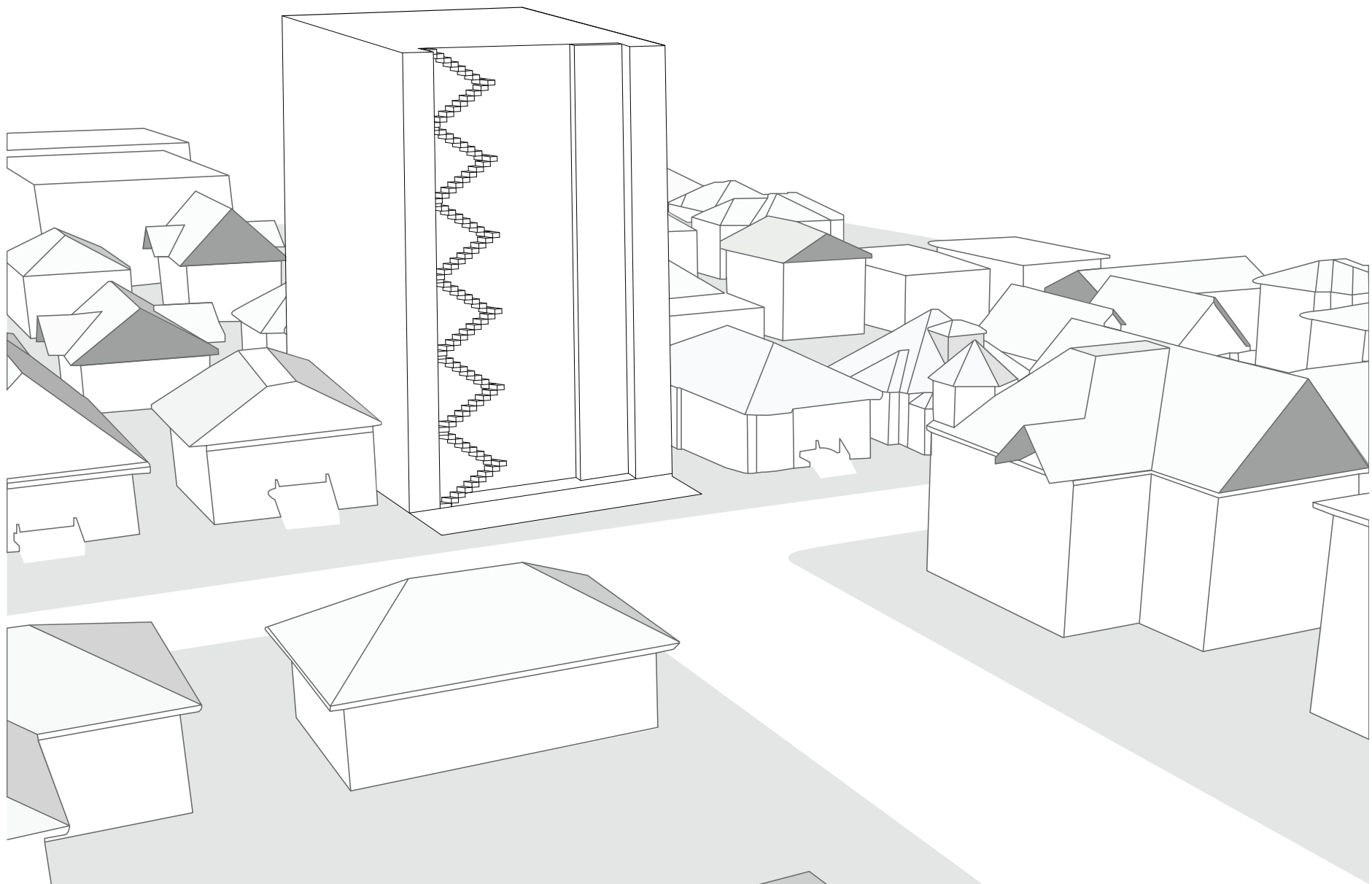
6.32.3 "Victoria accommodates a minimum of 20% of the region's cumulative new dwelling units to 2041"

6.32.5 "A minimum 90% of all dwelling units are within 400 metres either of the Urban Core, a Town Centre or an Urban Village by 2041"

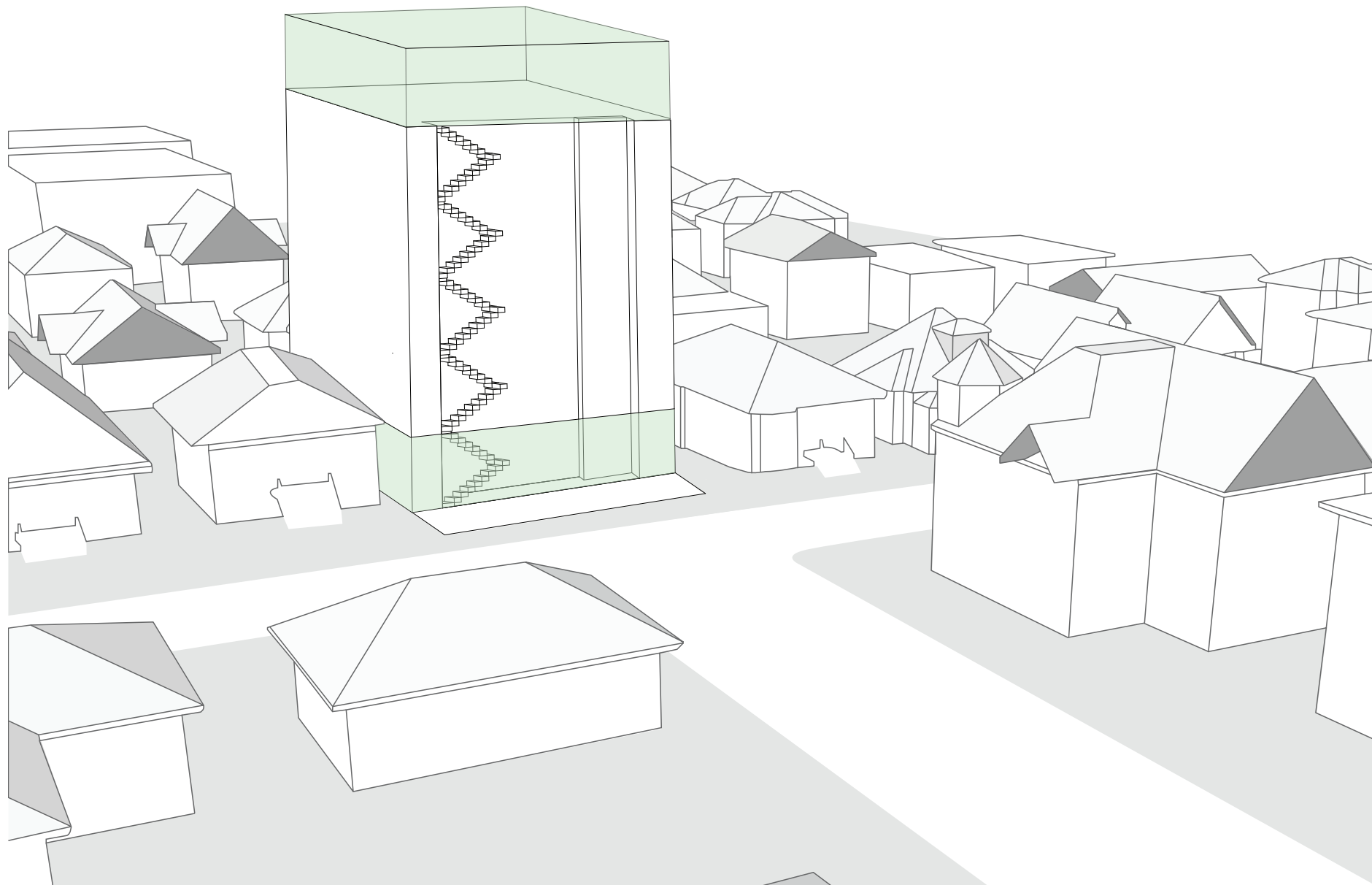


- Apartment style 3 to 6 storeys
- Multi-family over 6 storeys

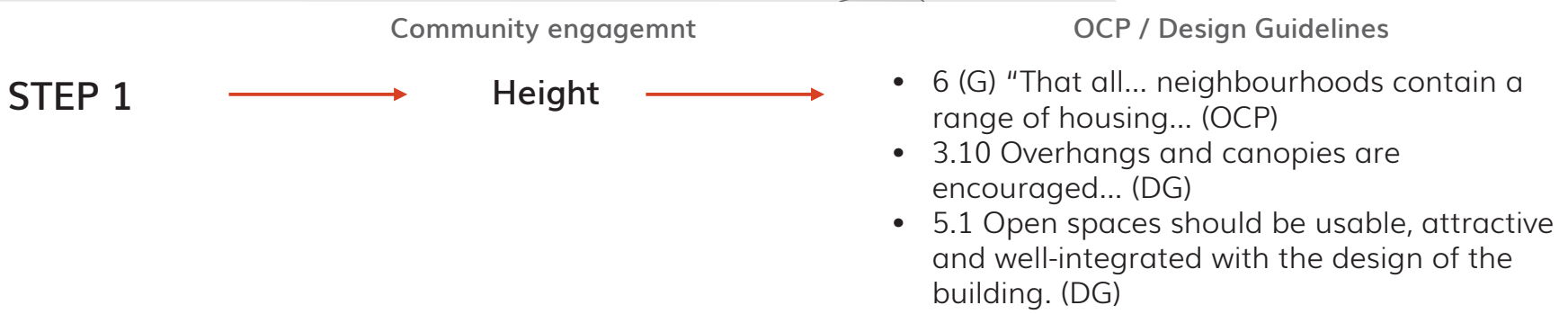
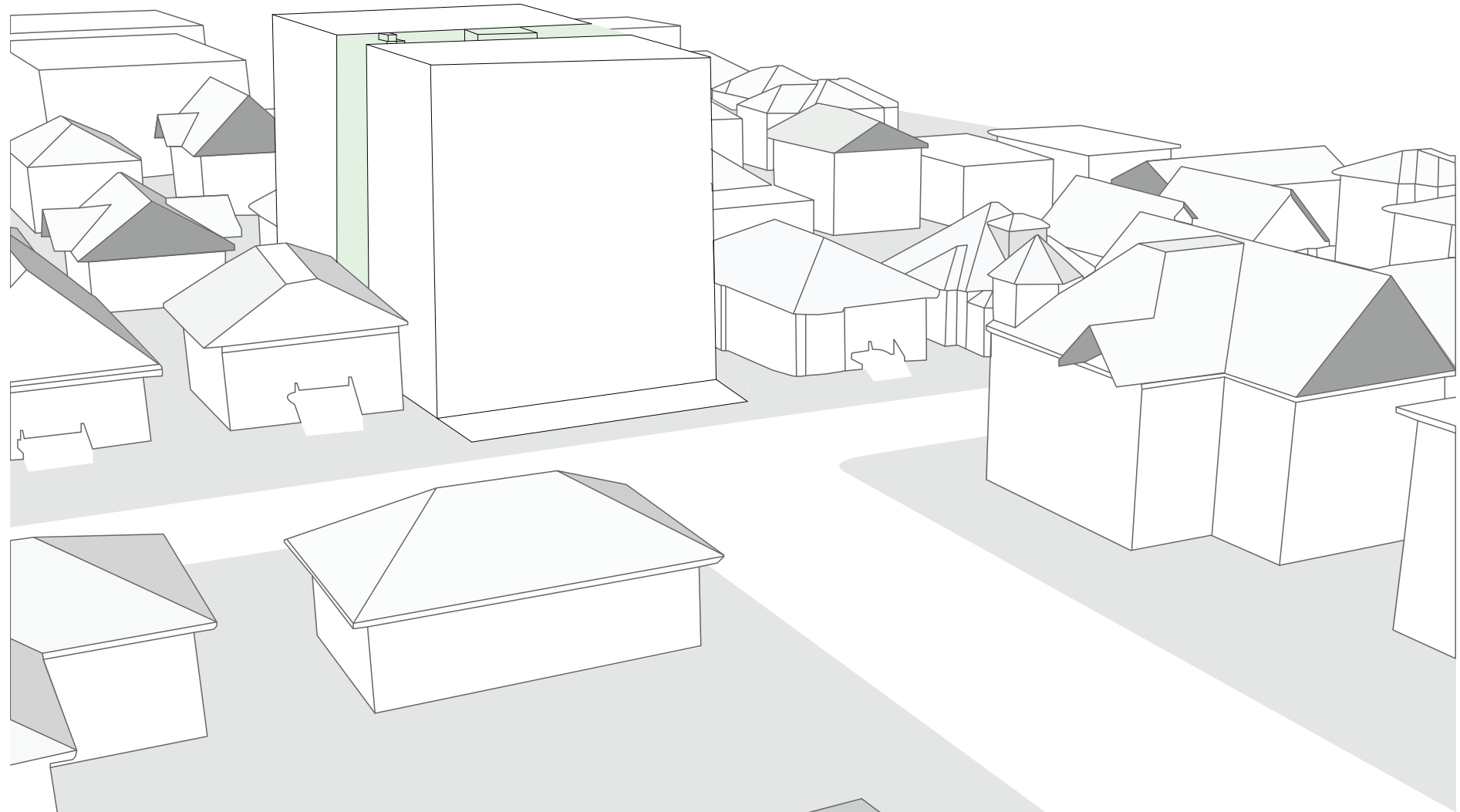
PREVIOUS PROPOSED DESIGN



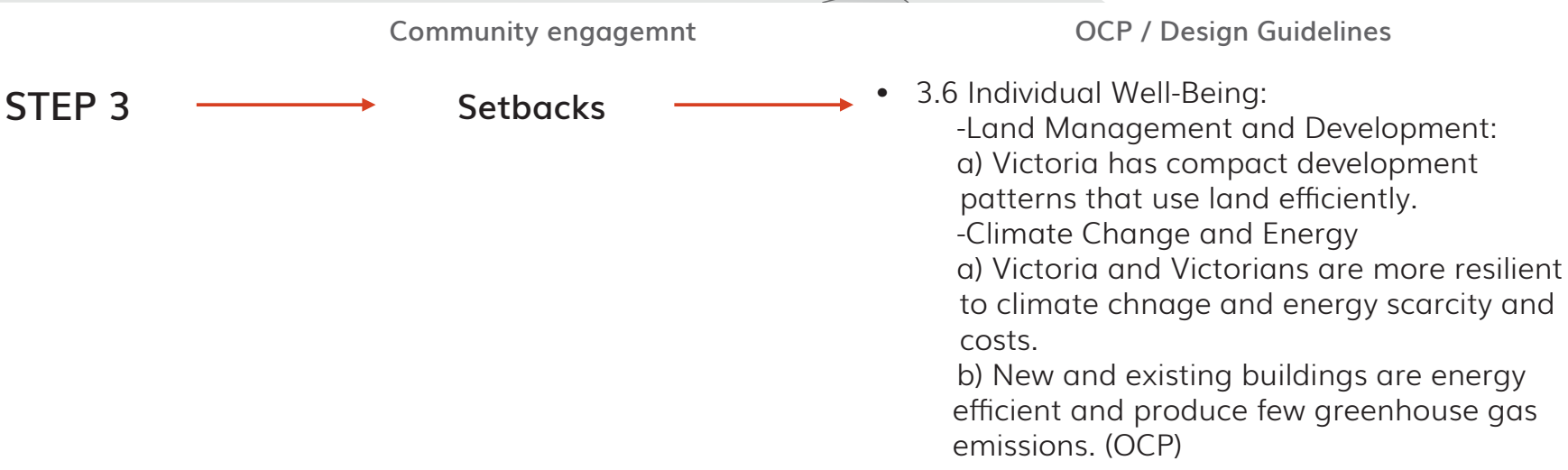
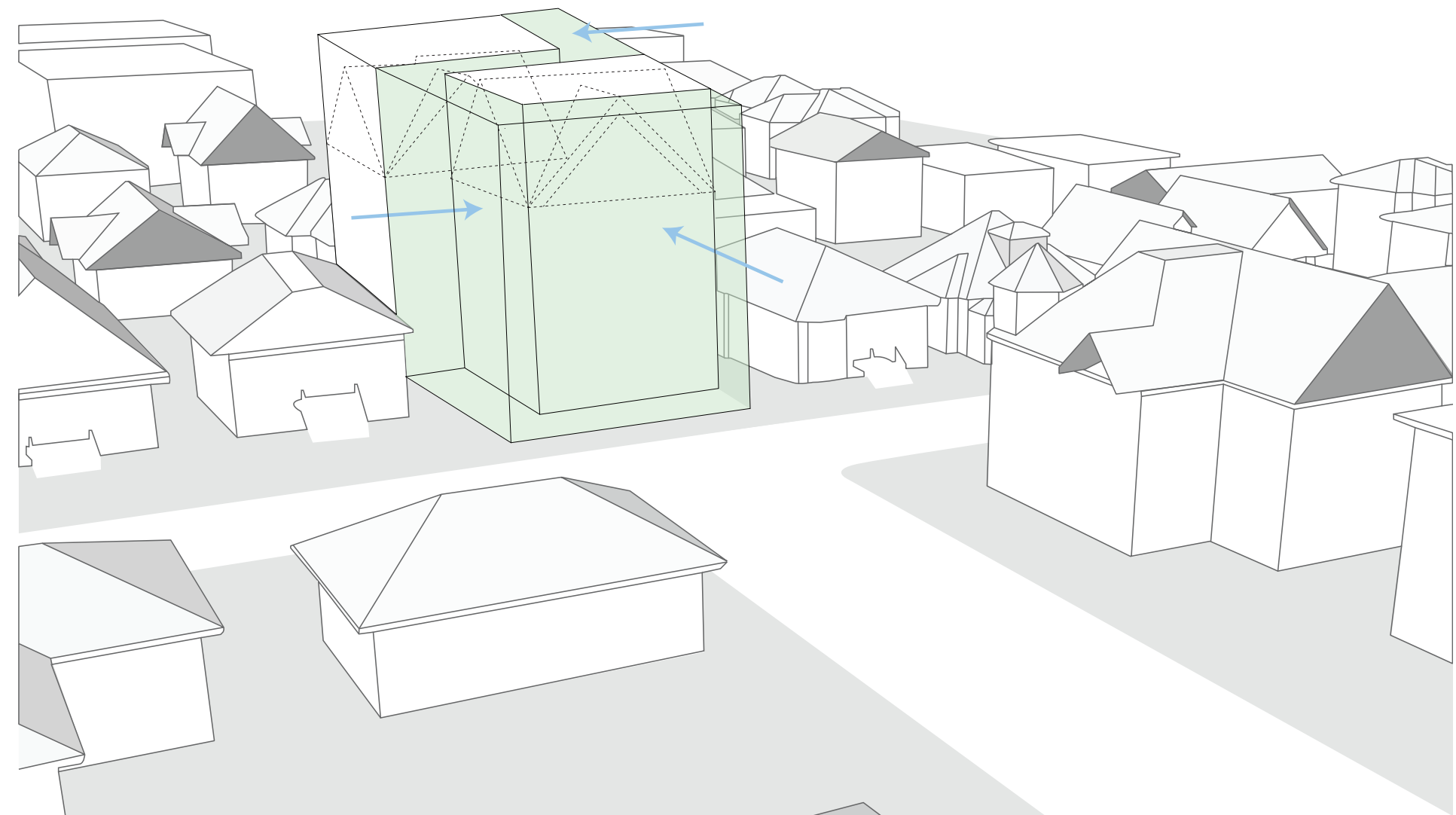
REDUCTION TO A 4-STORY BUILDING



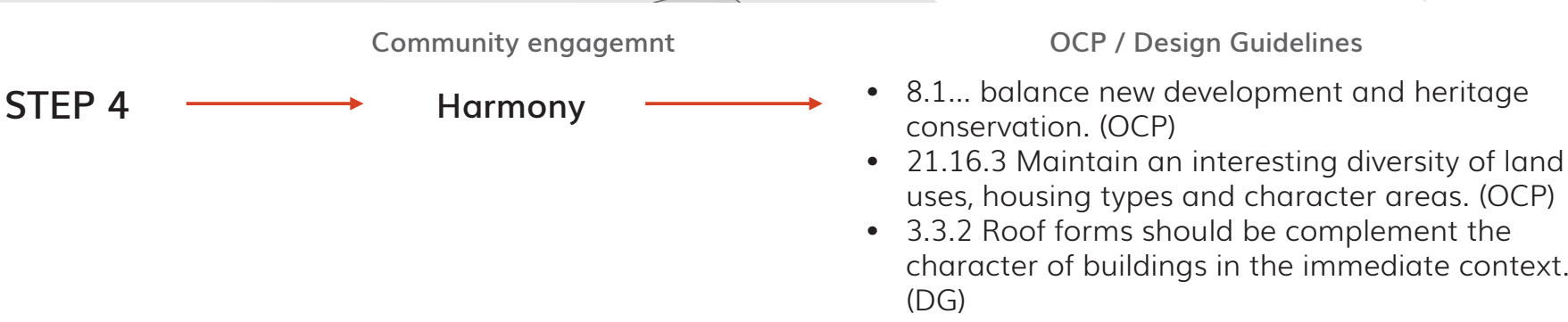
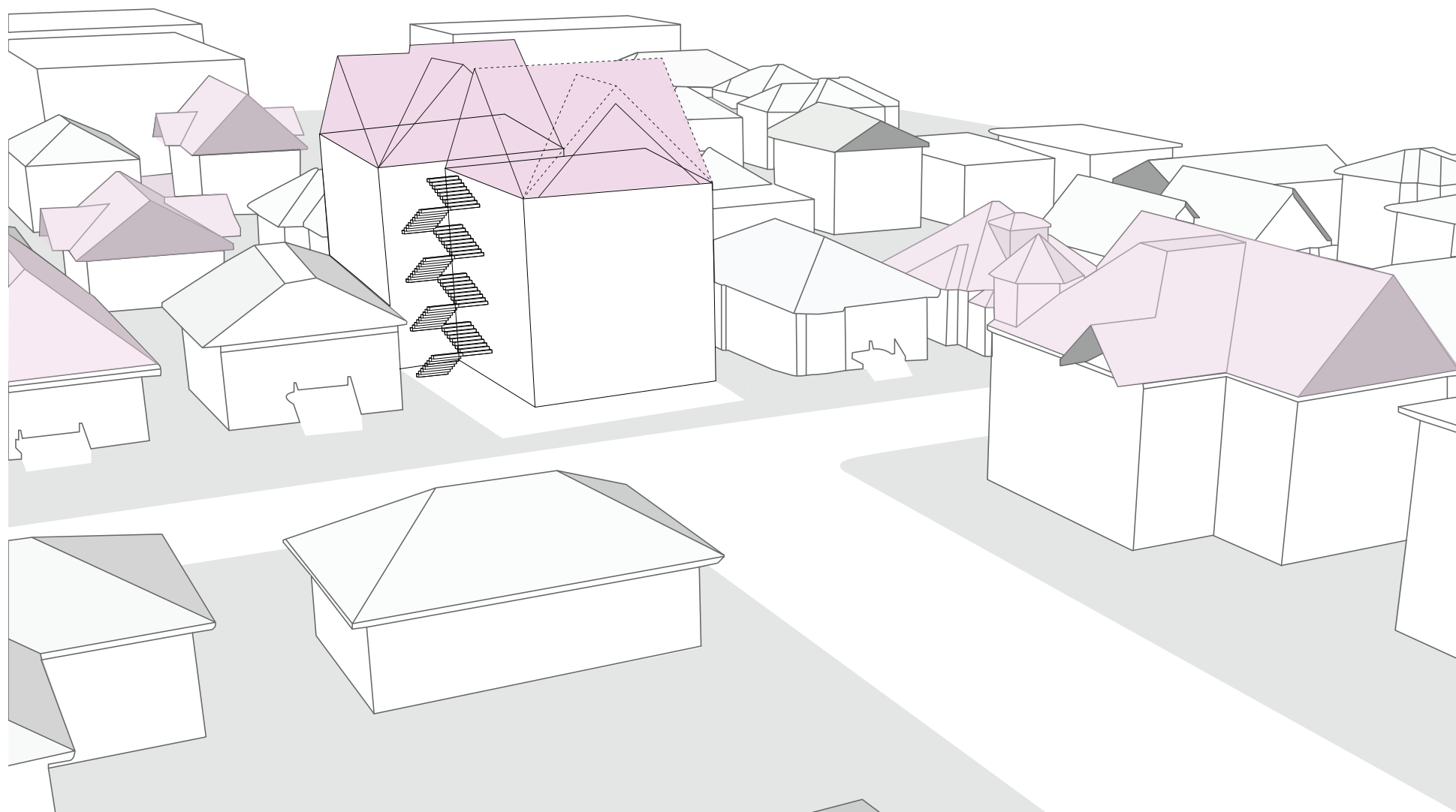
DIVIDED INTO TWO FOCUSING ON CENTRAL AXIS



SHIFTED ACCORDING TO SURROUNDINGS

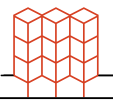


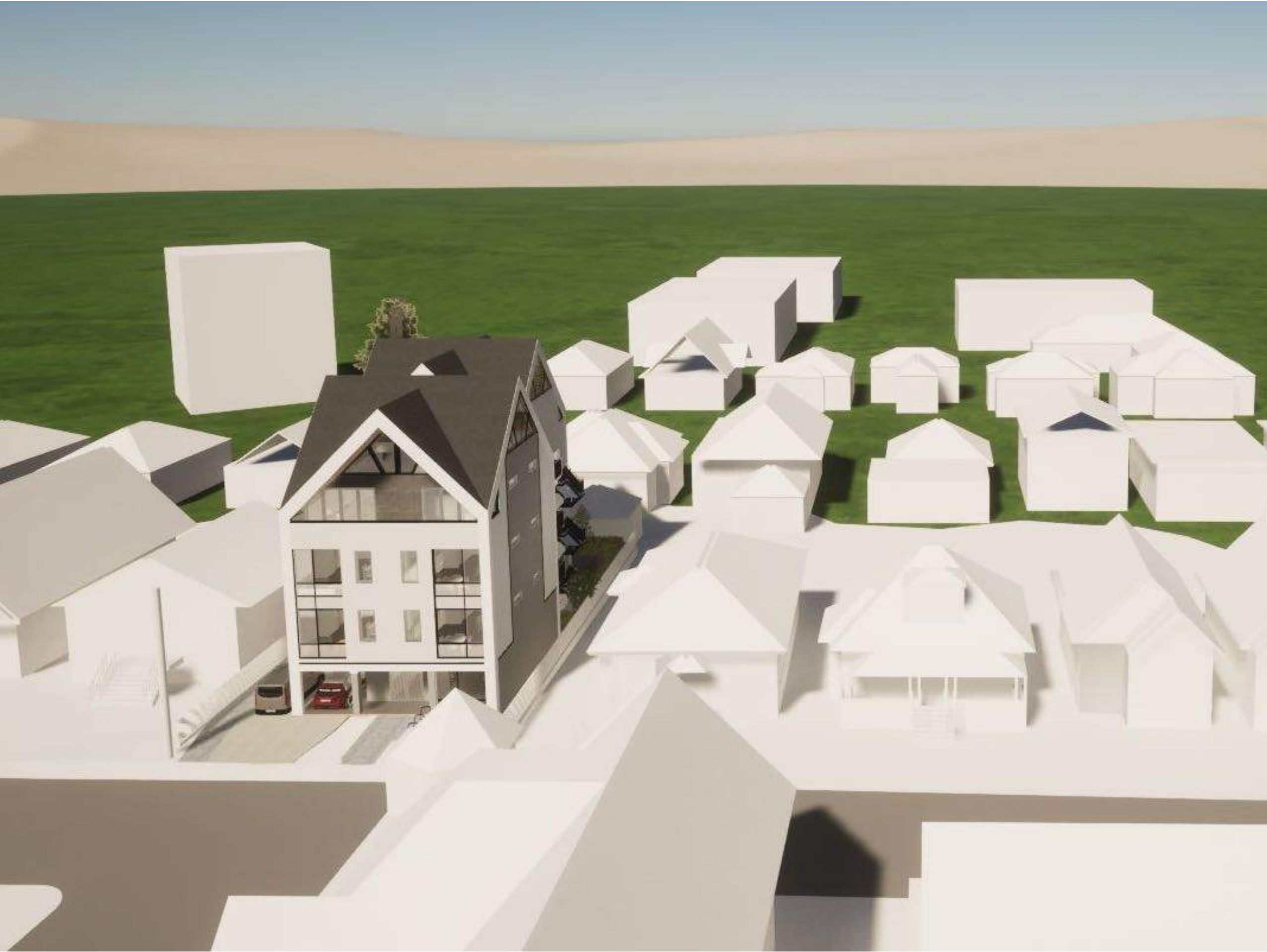
RESIDENTIAL FORM AND CHARACTER

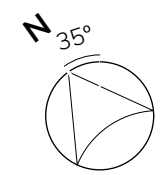
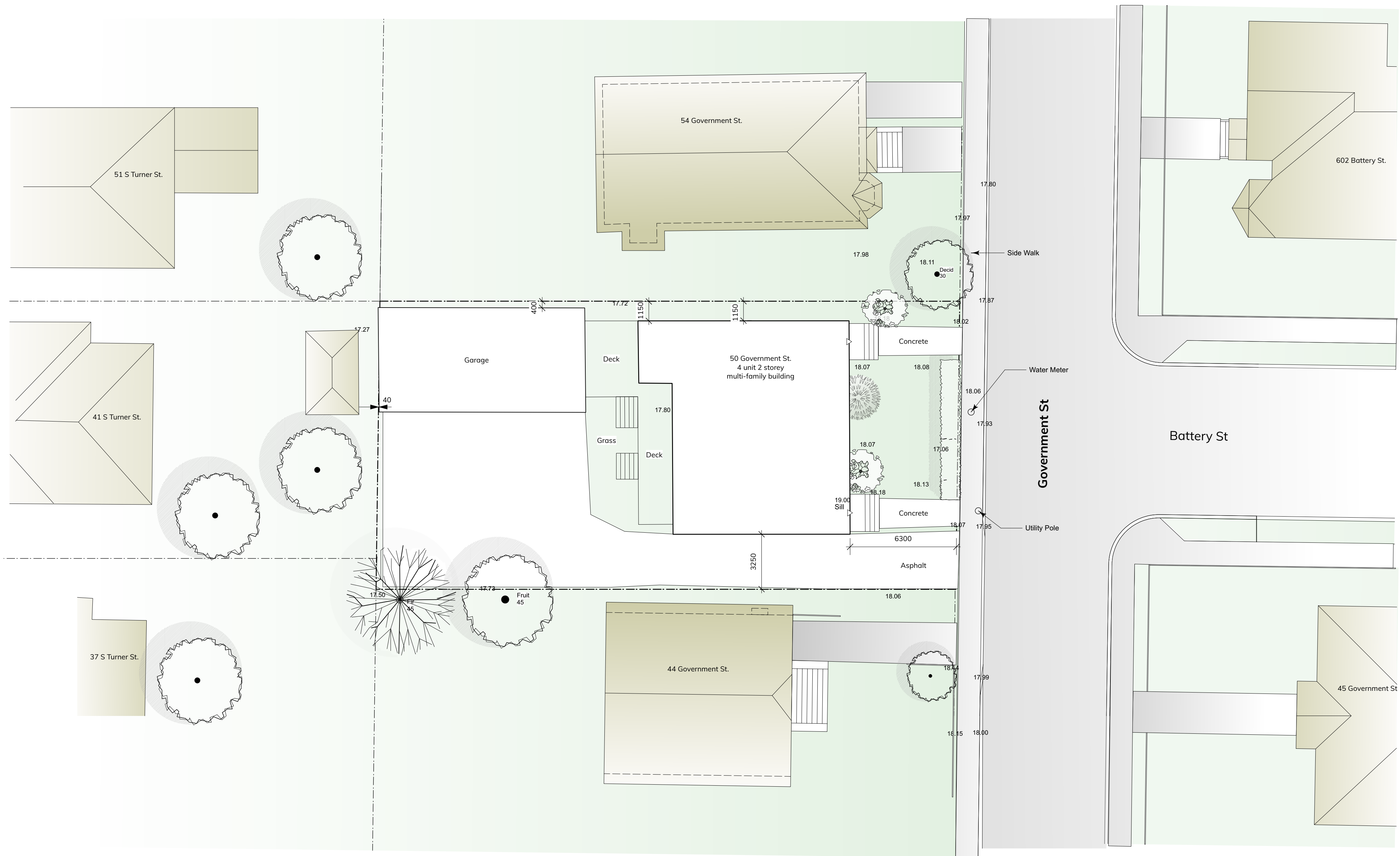


PLACE HOLDER FOR 3D



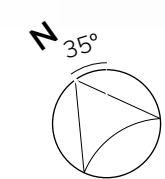
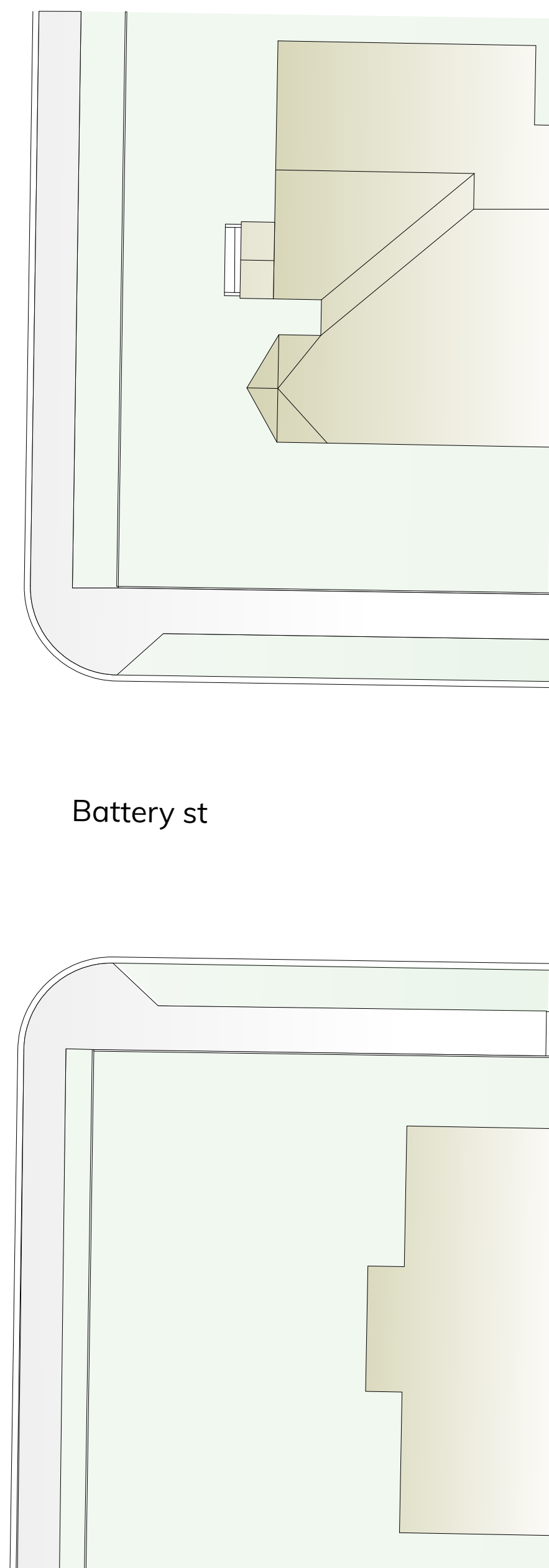
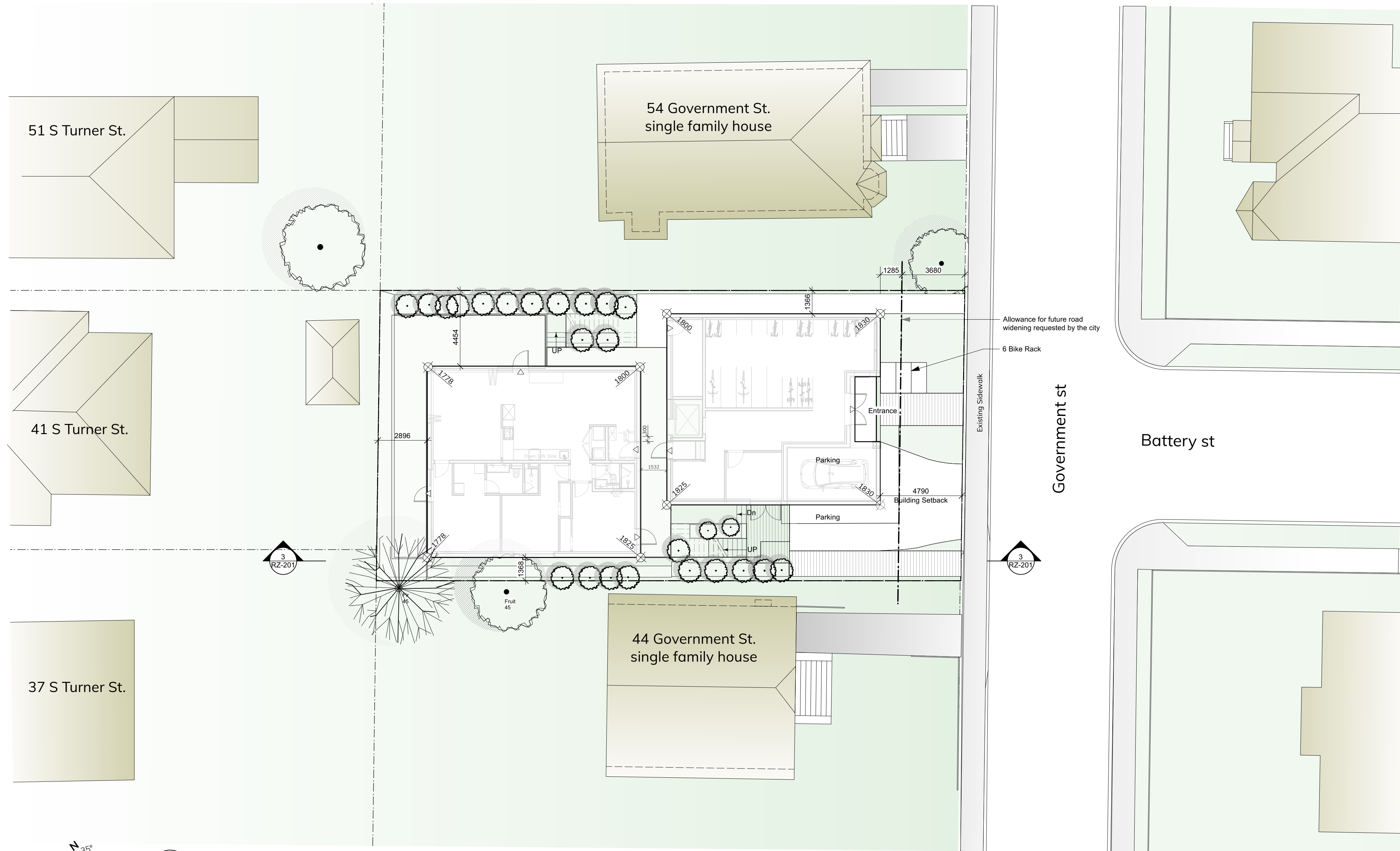




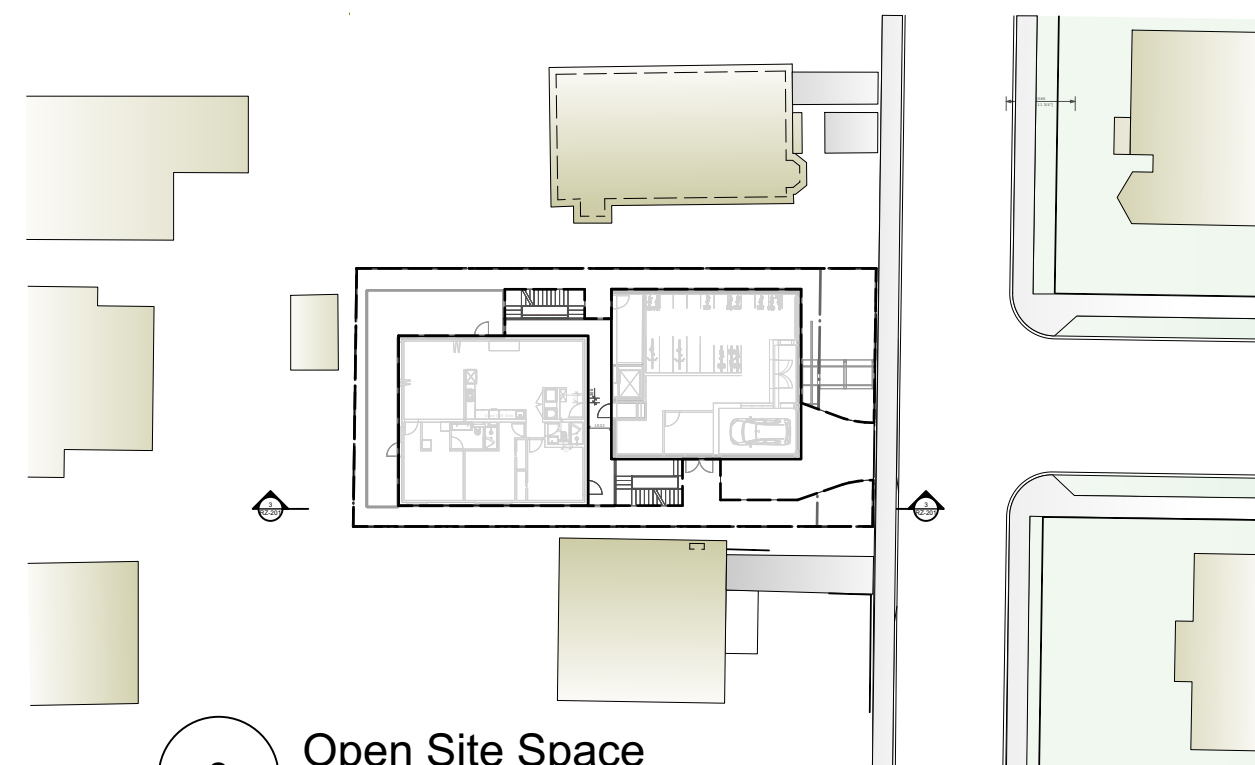


1 Existing Site Plan With Survey Information  
Scale: 1:150



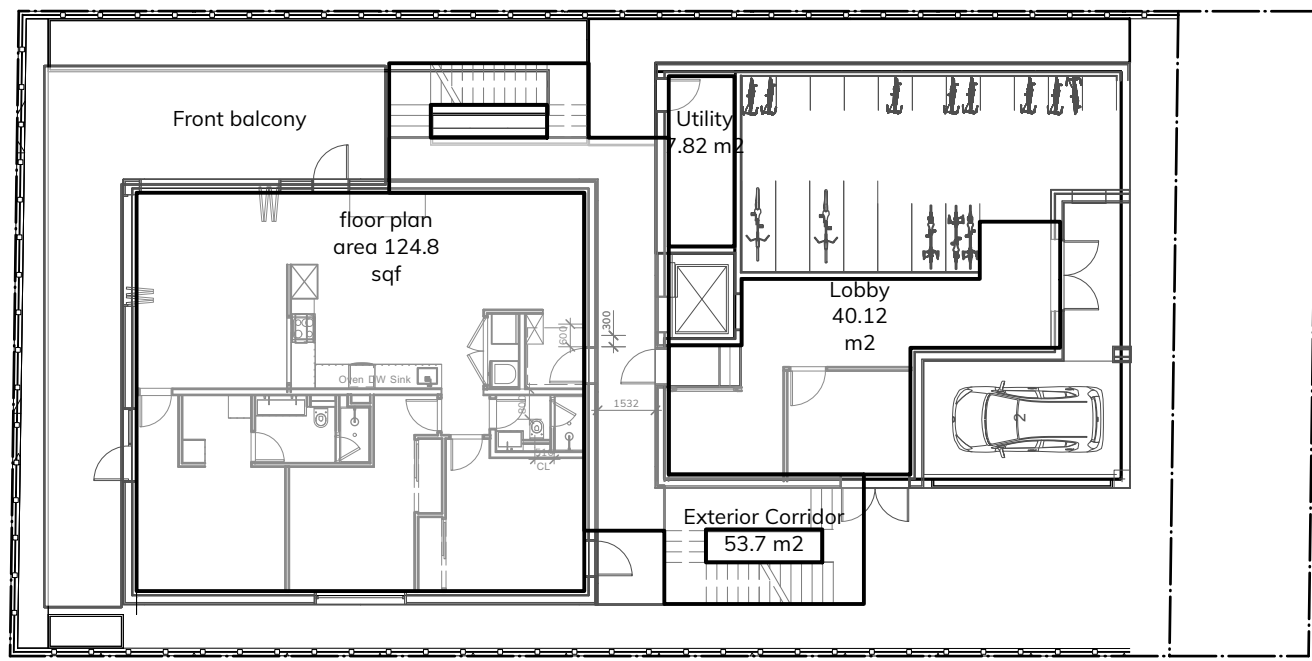


1 Site Plan  
Scale: 1:150

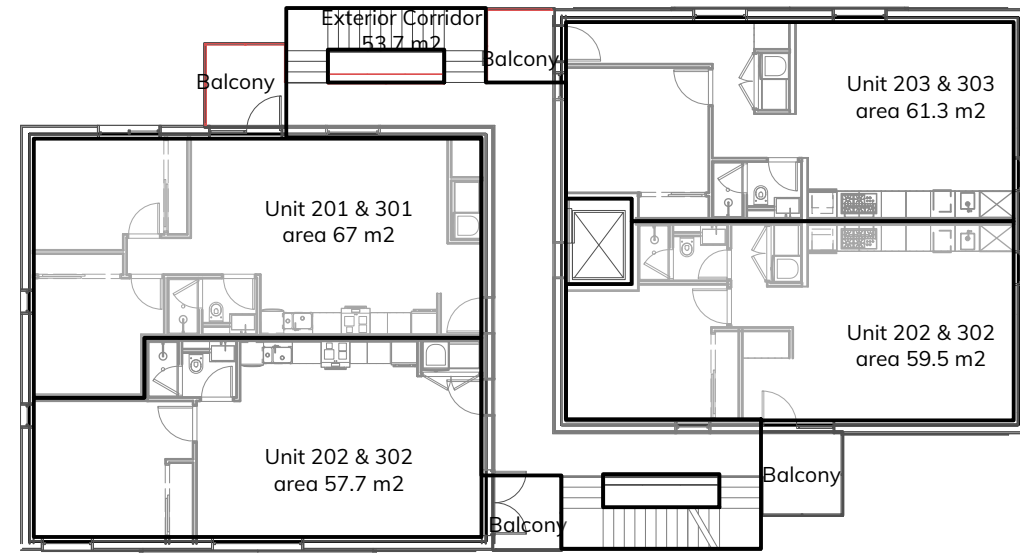


2 Open Site Space  
Scale: 1:500

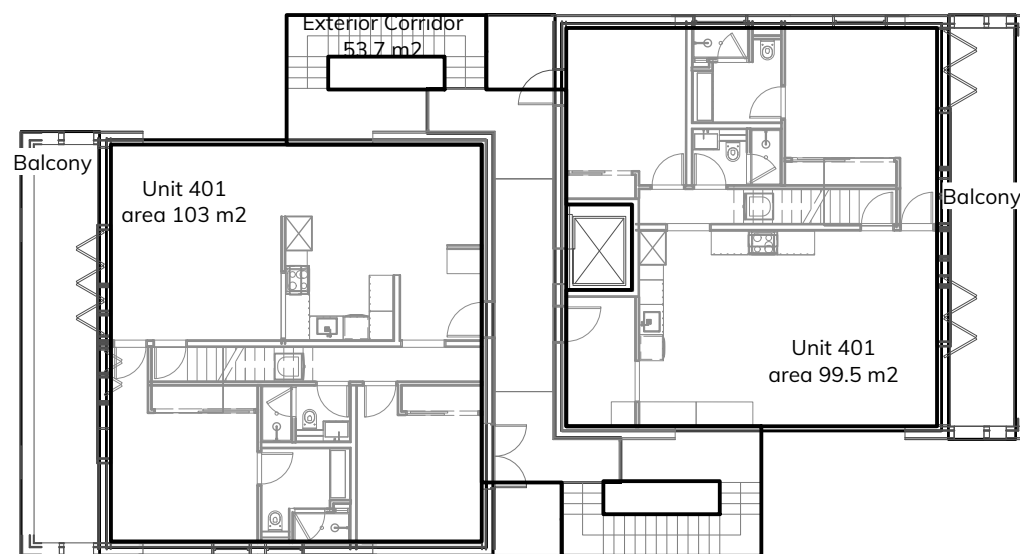




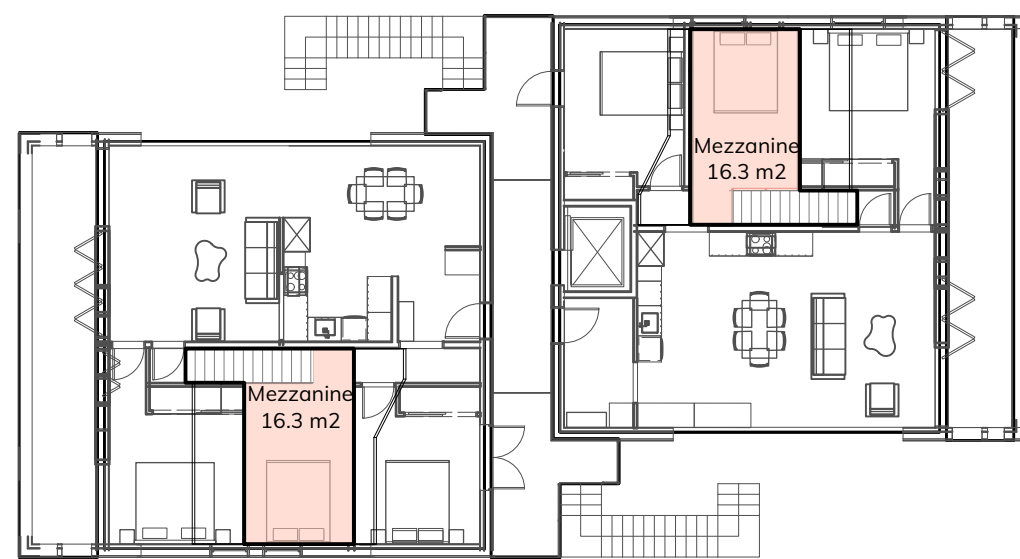
1 **Level 1 Floor Area**  
Scale: 1:200  
Area 226.5 m2



2 **Level 2 & 3 Floor Area**  
Scale: 1:200  
Area 299.5 m2



3 **Level 4 Floor Area**  
Scale: 1:200  
Area 256.2 m2



4 **Level 4 / Loft**  
Scale: 1:200  
Area 32.6 m2

**Lot Area:** 586.276 sqm

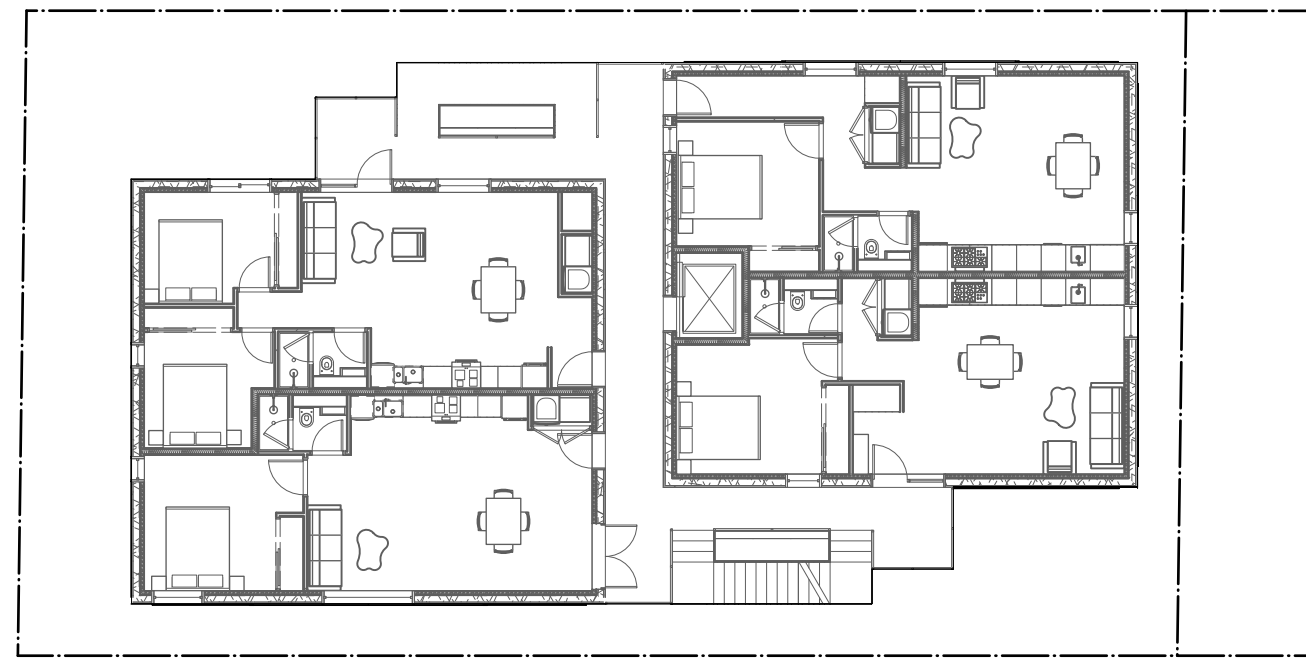
**Floor Areas:**  
Level 1: 226.5 m2  
Level 2: 299.5 m2  
Level 3: 299.5 m2  
Level 4: 256.2 m2  
Loft: 32.6 m2  
**Total Floor Area 1114.3 m2**

**Floor Space Ratio 1.9:1**

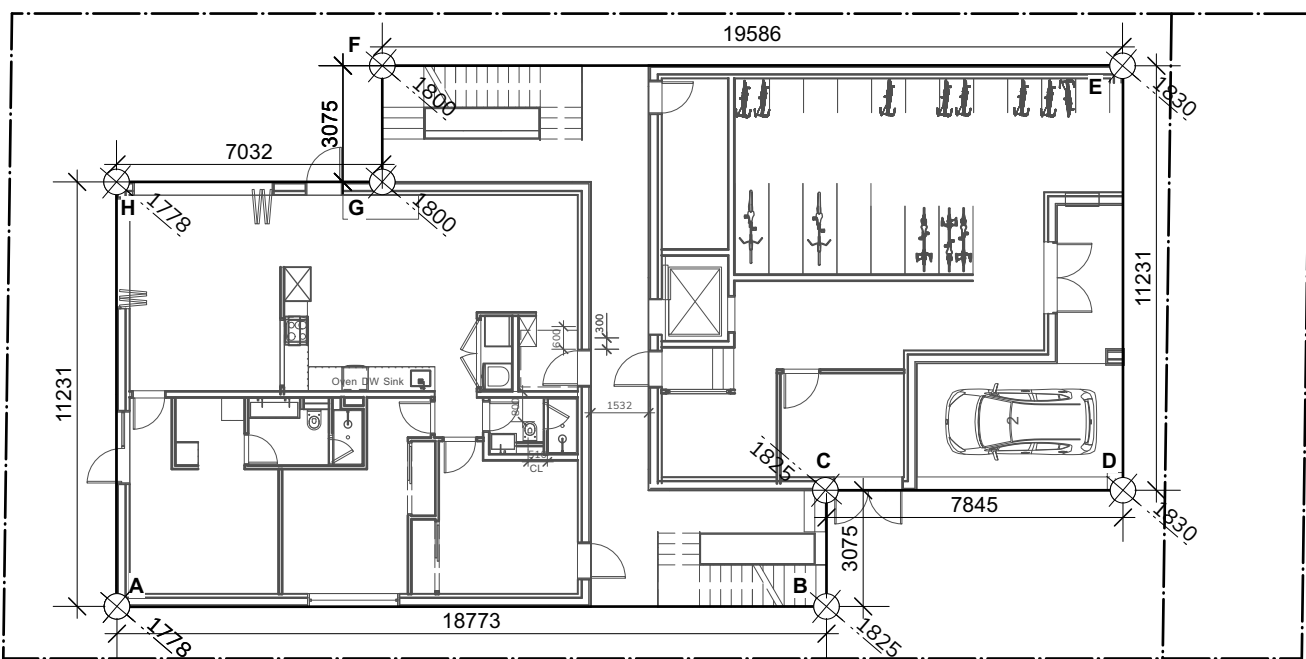
**Required Parking:**  
0.85 spaces per dwelling unit that is less than 45m2,  
1.00 space per dwelling unit that is 45m2 or more, but equal to or less than 70m2.  
1.45 spaces per dwelling unit that is more than 70m2

**(1x8) + (1.45 x 3) = 12.34 = 13**  
**Proposed Parking : 2**  
**1 handicap, 1 care shared**

**Bike parking: 14 required, 32 proposed**  
**22 Wall mounted**  
**6 Standard**  
**4 Cargo bike**



6 **Site Coverage**  
Scale: 1:200  
Building Area 347 m2  
Site Area 586.27 m2  
Site Coverage 59%

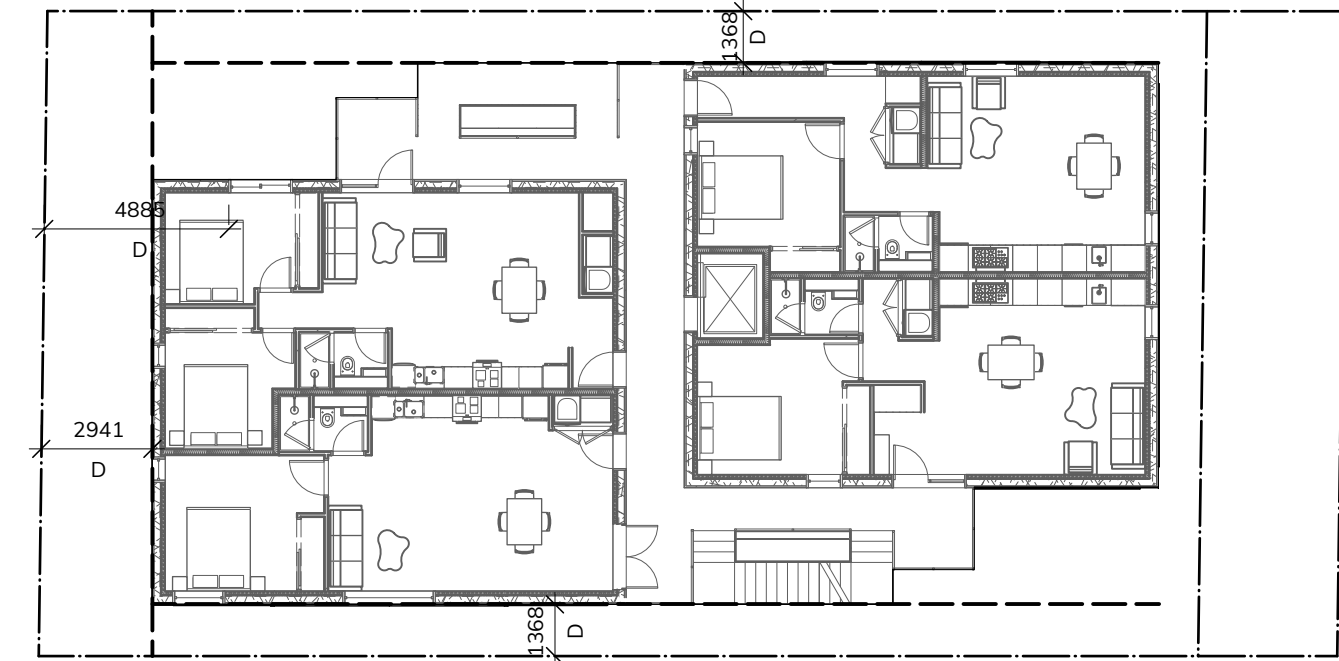


12 **Average Grade Calculation**  
Scale: 1:200

**Average grade calculation:**  
A & B (17.78 + 18.25) / 2 x 18.77 = 338.14  
B & C (18.25 + 18.25) / 2 x 3.07 = 56.02  
C & D (18.25 + 18.3) / 2 x 7.84 = 143.2  
D & E (18.3 + 18.3) / 2 x 11.23 = 205.50  
E & F (18.3 + 18.0) / 2 x 19.58 = 355.37  
F & G (18.0 + 18.0) / 2 x 3.07 = 55.26  
G & H (18.0 + 17.78) / 2 x 7.03 = 125.76  
H & A (17.78 + 17.78) / 2 x 11.23 = 199.66

Total = 1,478.91, Perimeter = 81.89  
1,478.91 / 81.89 = 18.06

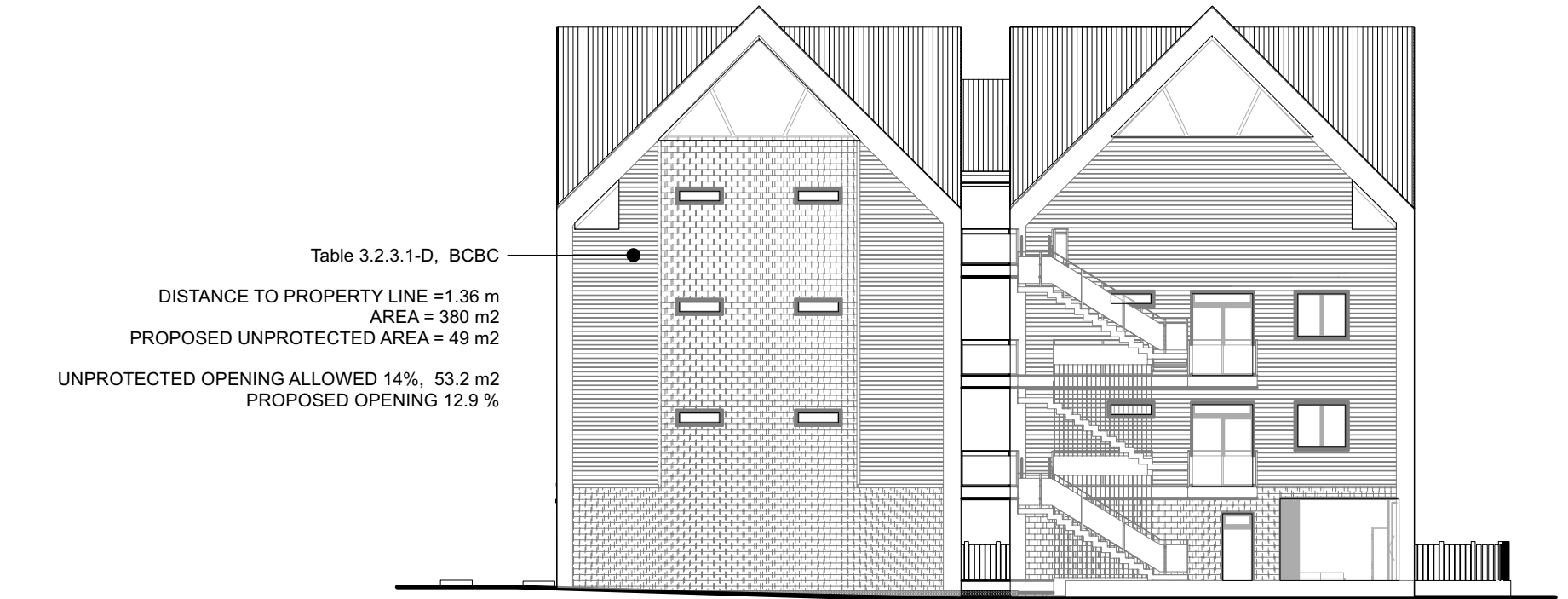
Average grade: 18.06



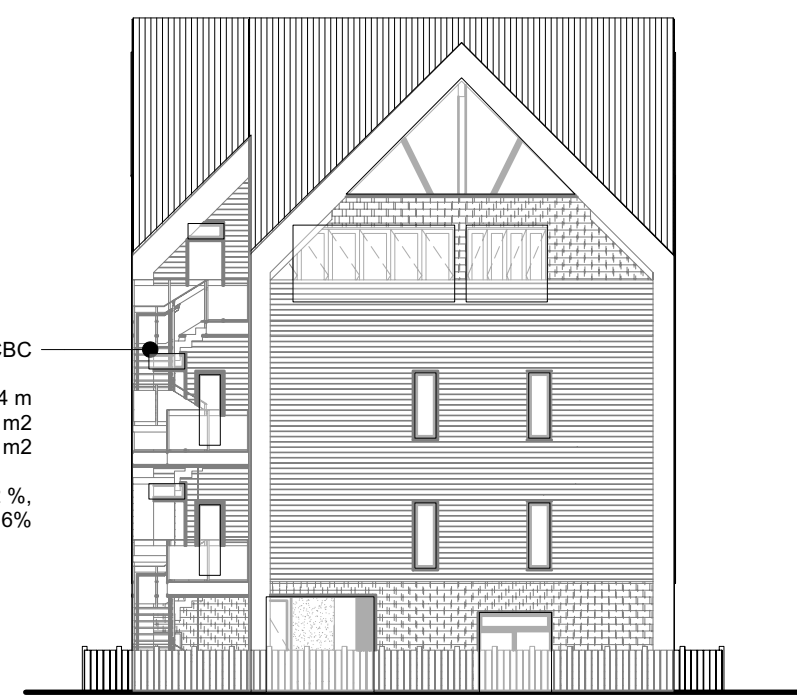
11 **Unlimited Opening Calculation**  
Scale: 1:200  
Building Area 347 m2



10 **South Elevation**  
Scale: 1:200



7 **North Elevation**  
Scale: 1:200



8 **Rear/ West Elevation**  
Scale: 1:200



9 **Front /East Elevation**  
Scale: 1:200

Oeza Developments

James Bay Rental



WAYMARK

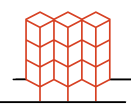
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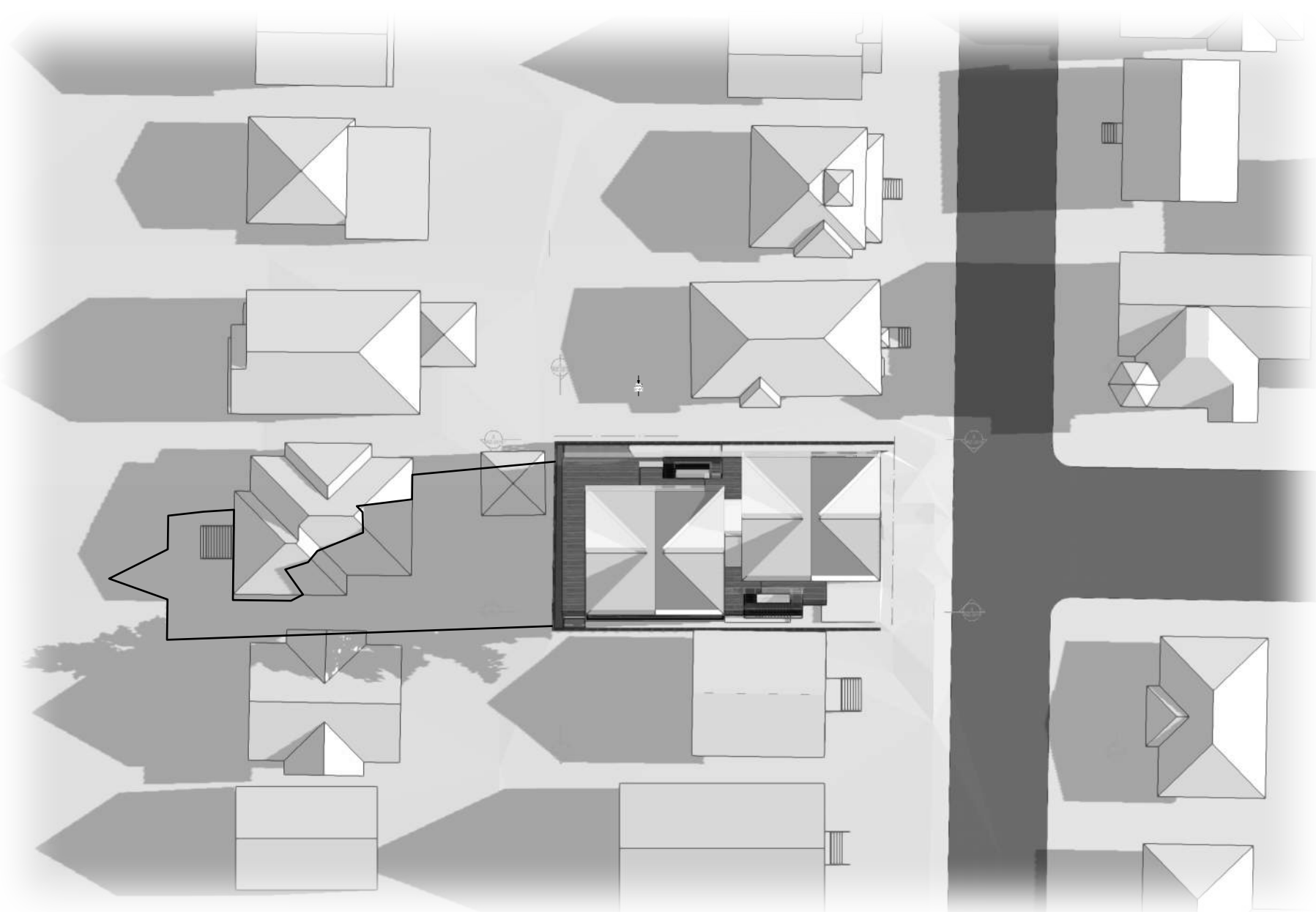


1 Existing Street Elevation  
Scale: 1:200

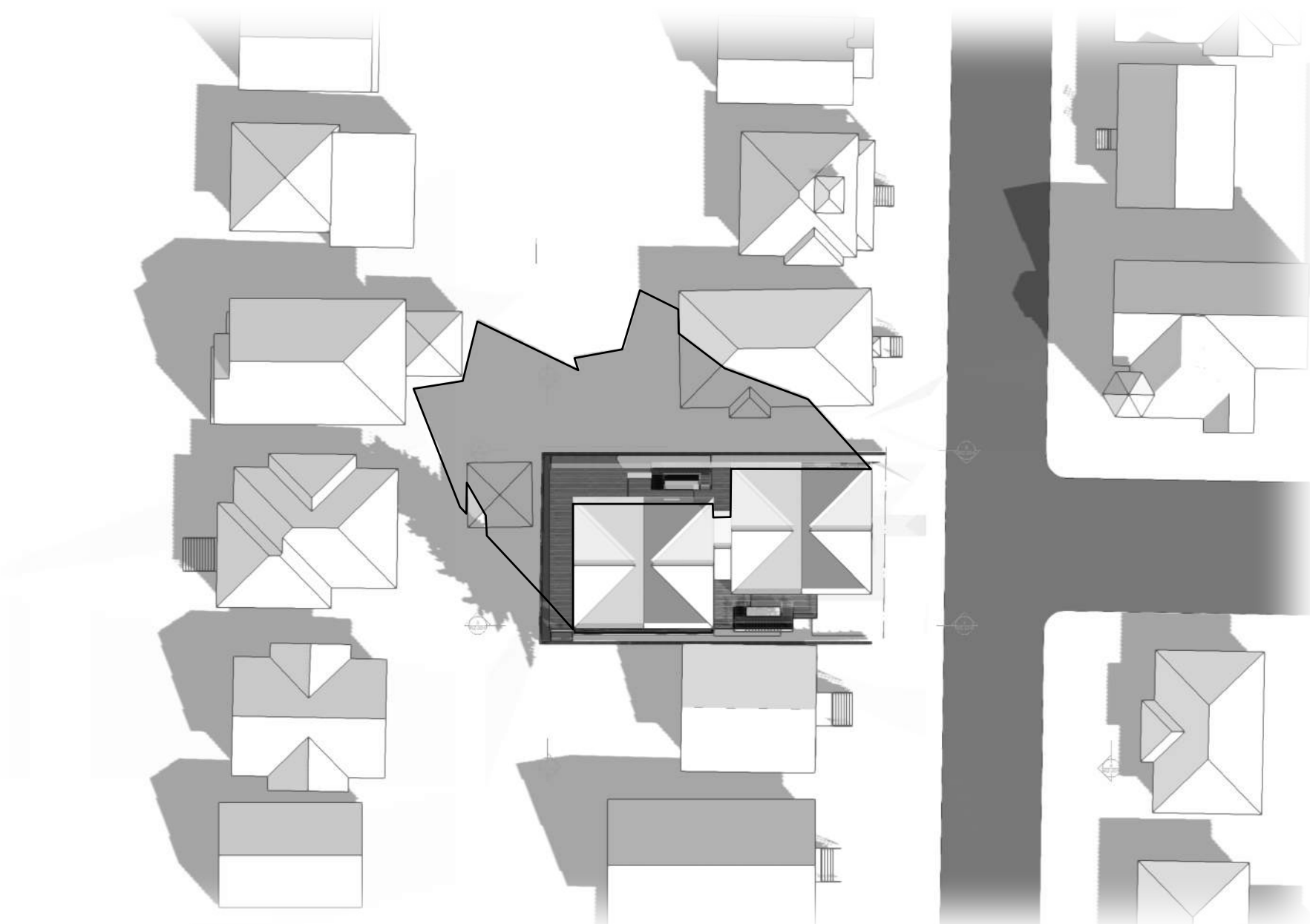


2 Proposed Street Elevation  
Scale: 1:200

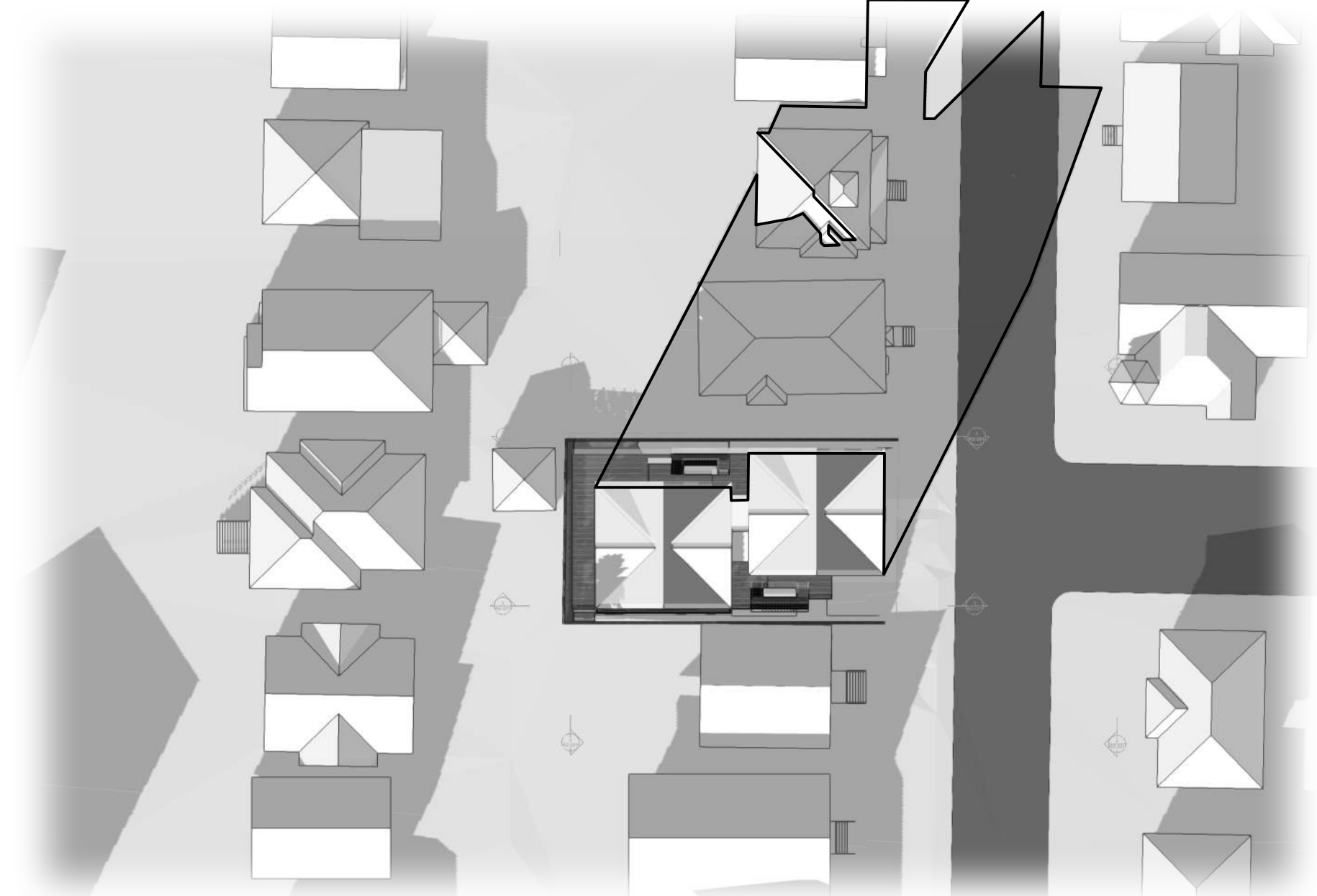




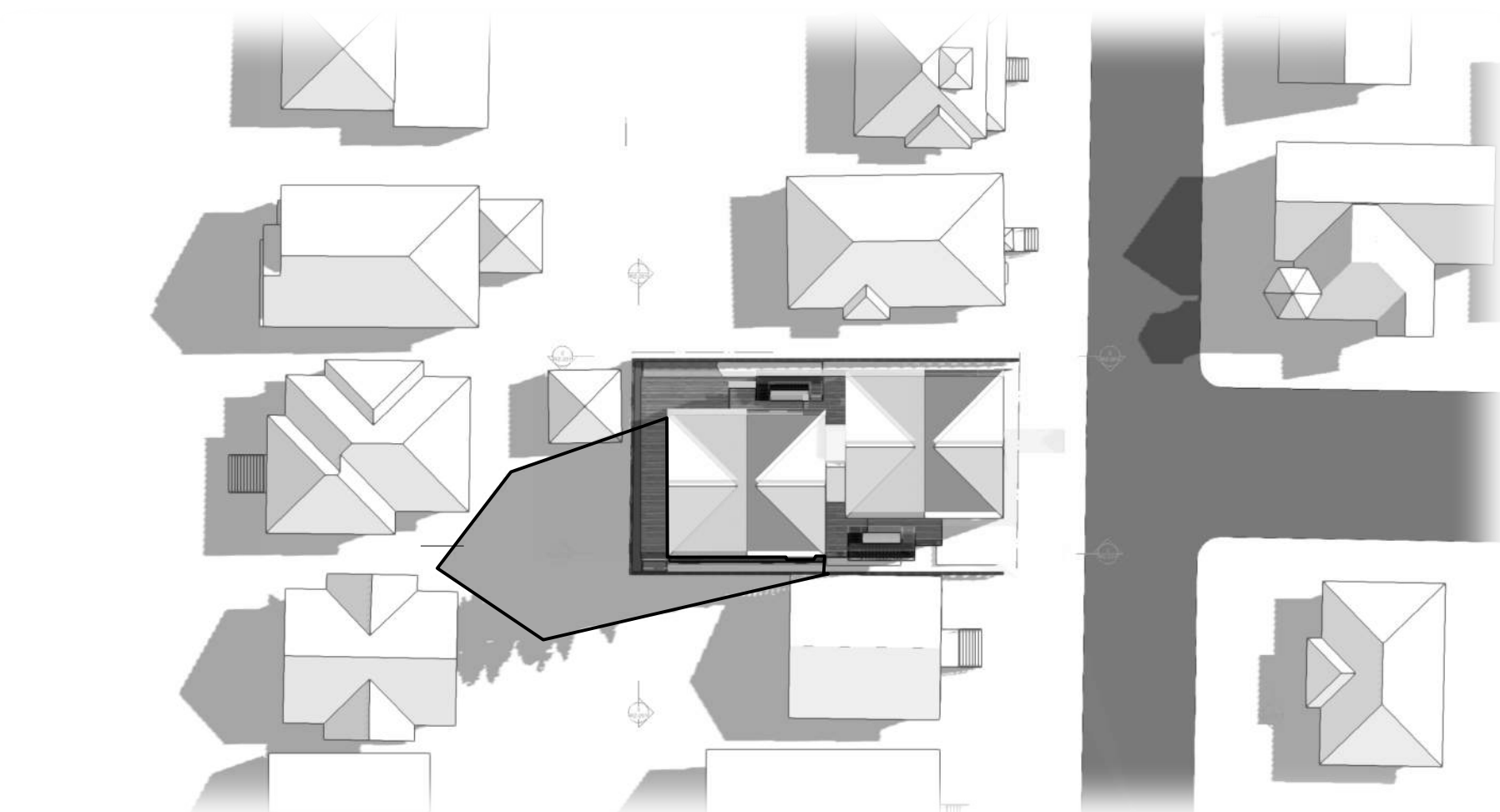
1 Equinox @ 9:00am



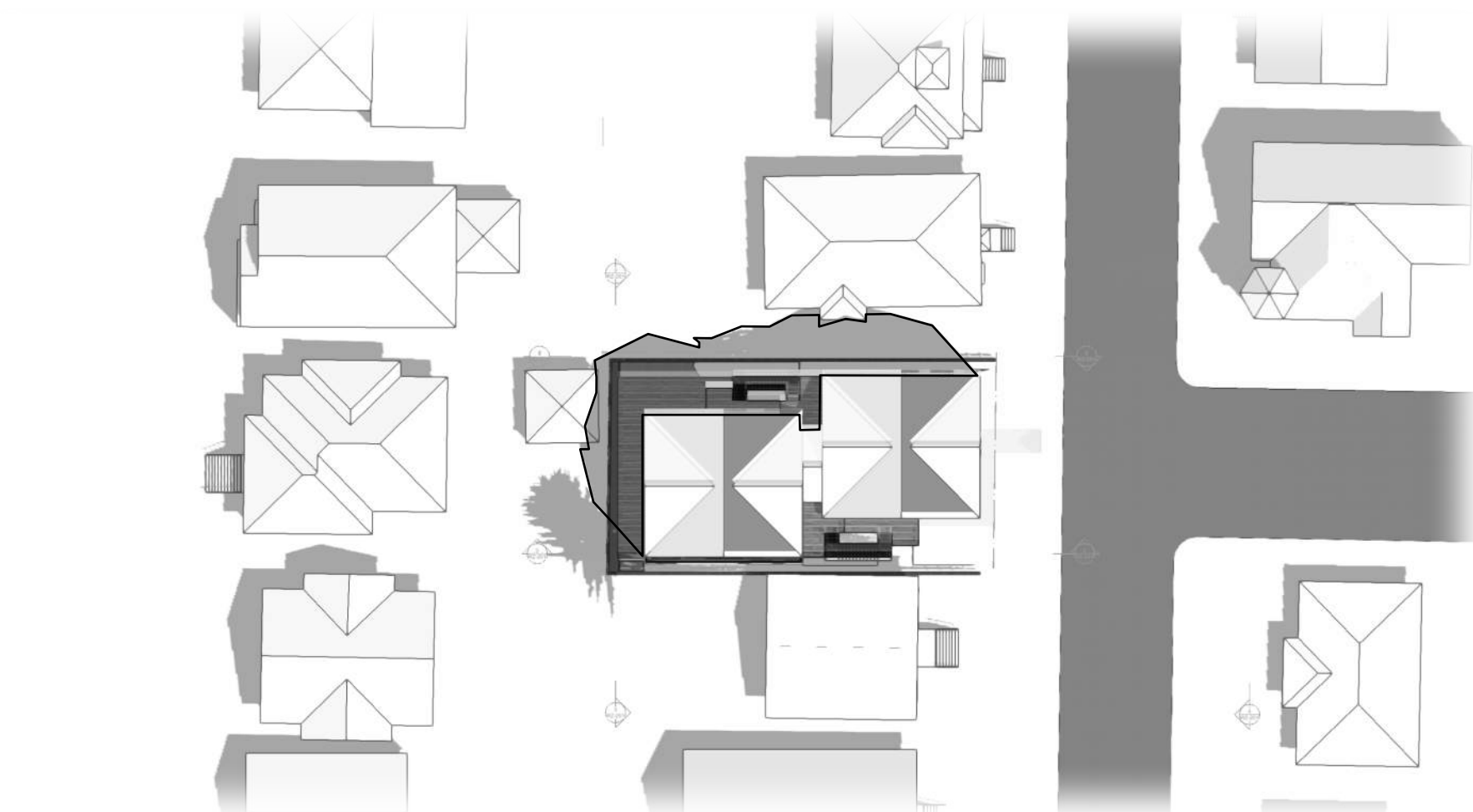
2 Equinox @ 12:00pm



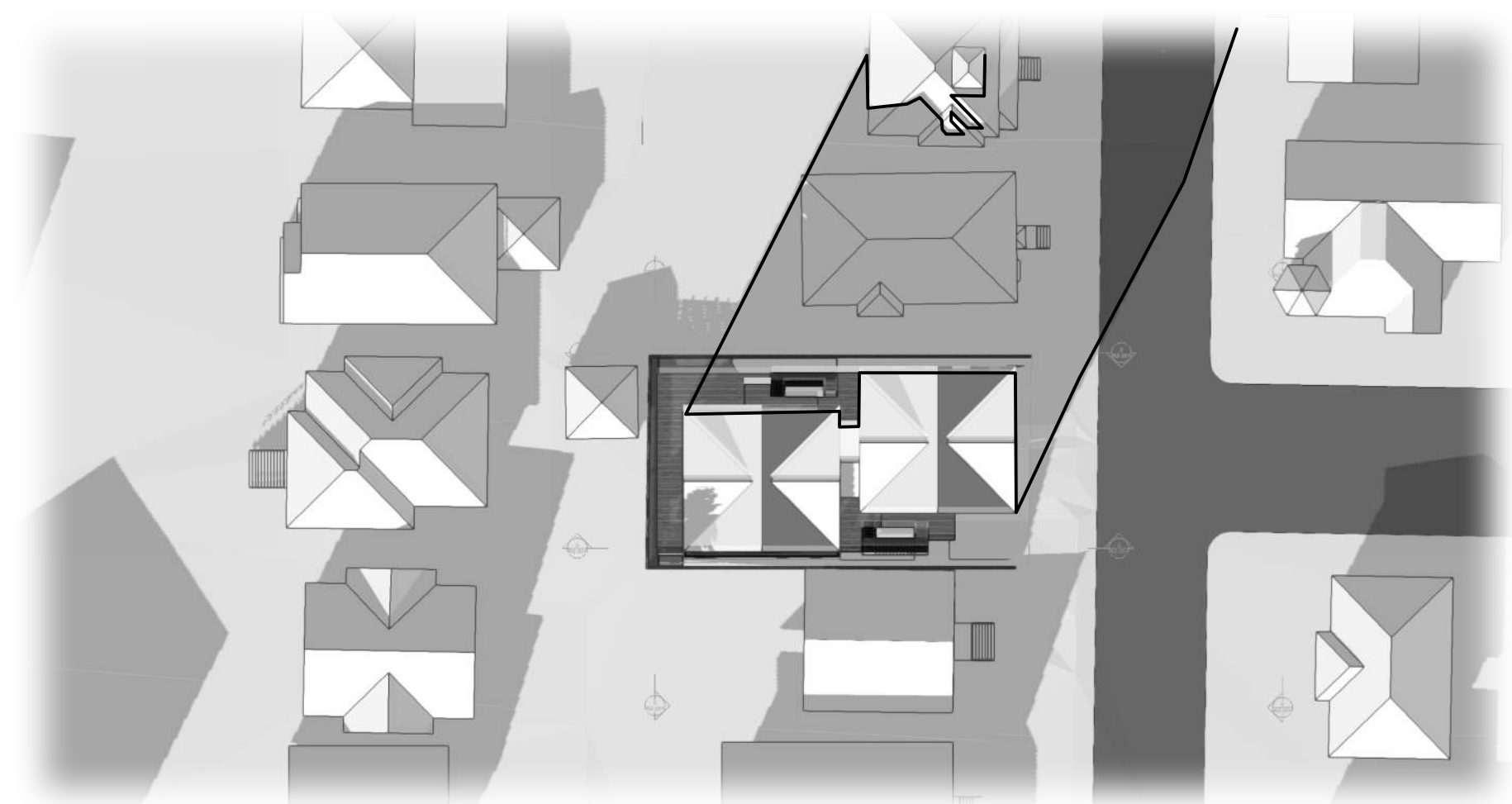
3 Equinox @ 4:00pm



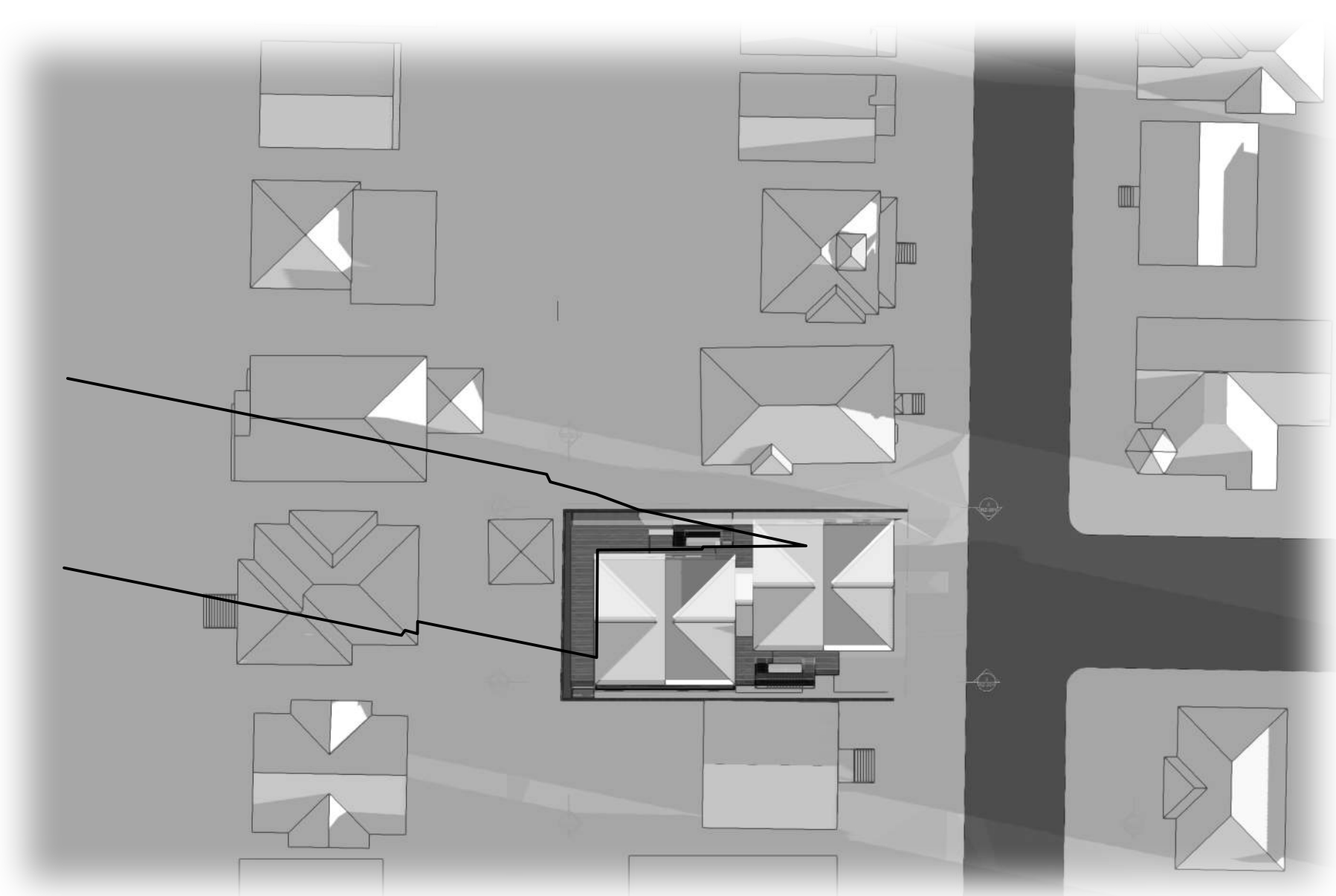
4 Summer Solstice @ 9:00am



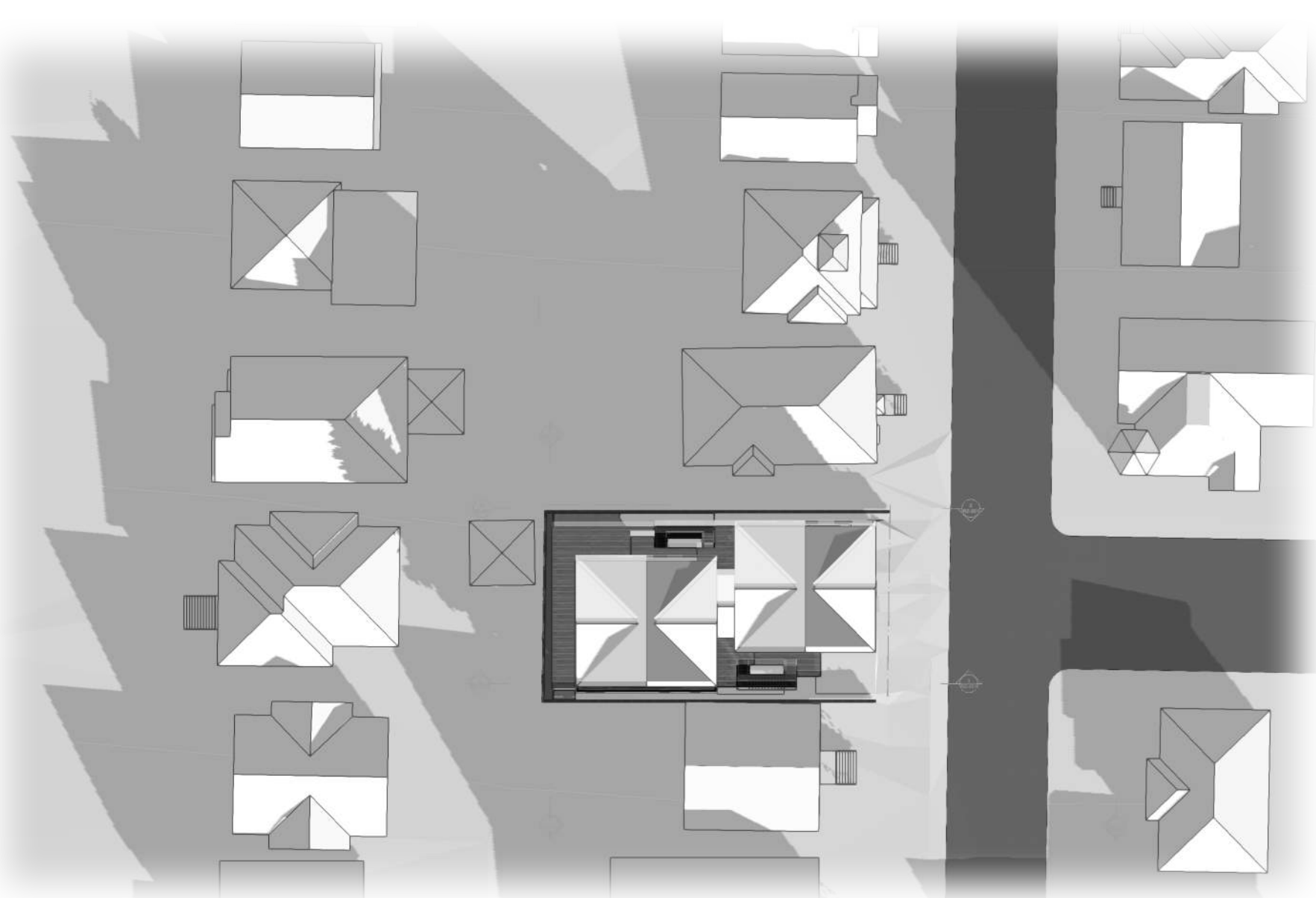
5 Summer Solstice @ 12:00pm



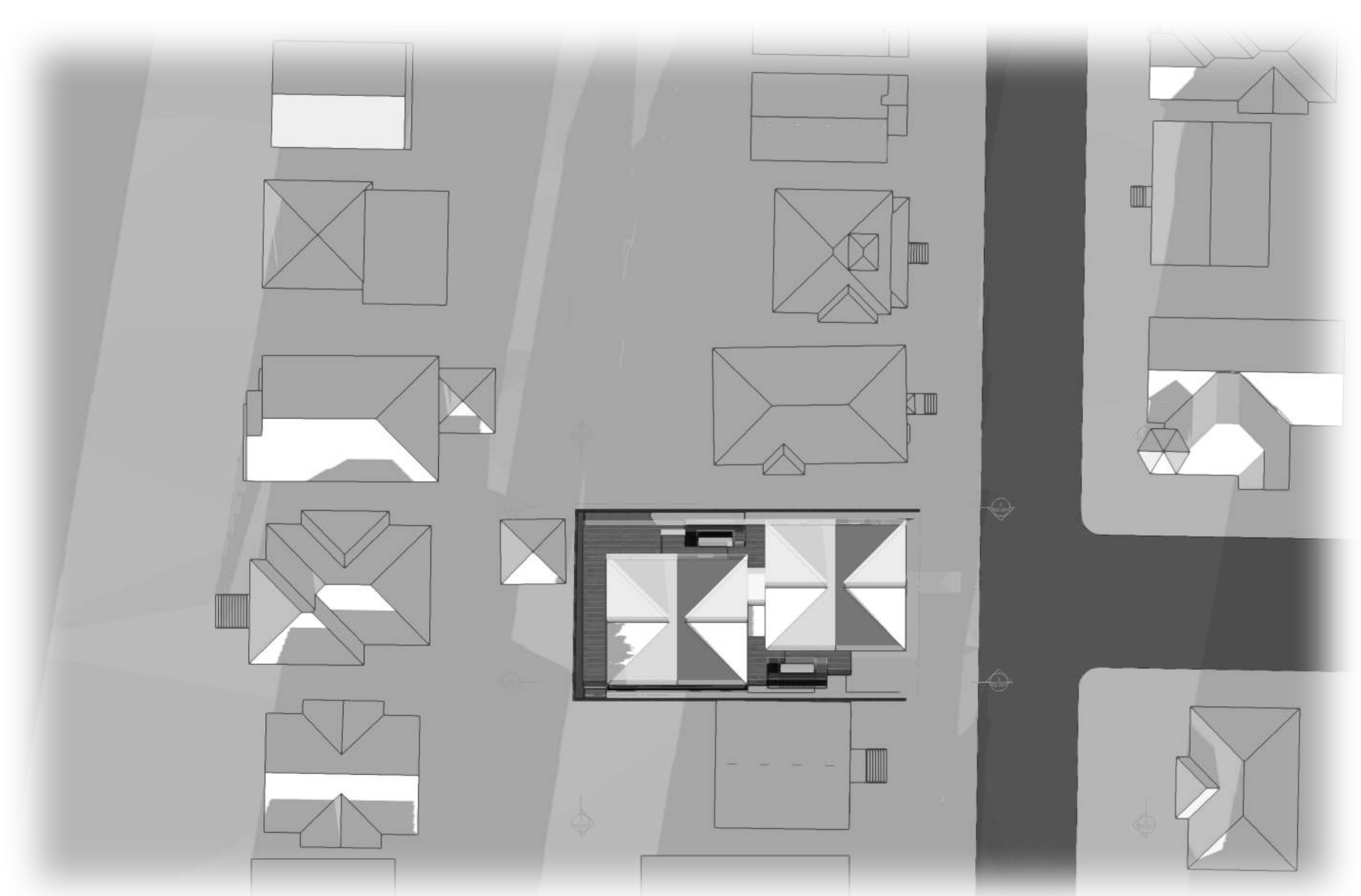
6 Summer Solstice @ 4:00pm



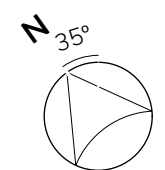
7 Winter Solstice @ 9:00am



8 Winter Solstice @ 12:00pm

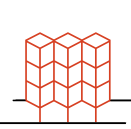


9 Winter Solstice @ 3:30pm



Oeza Developments

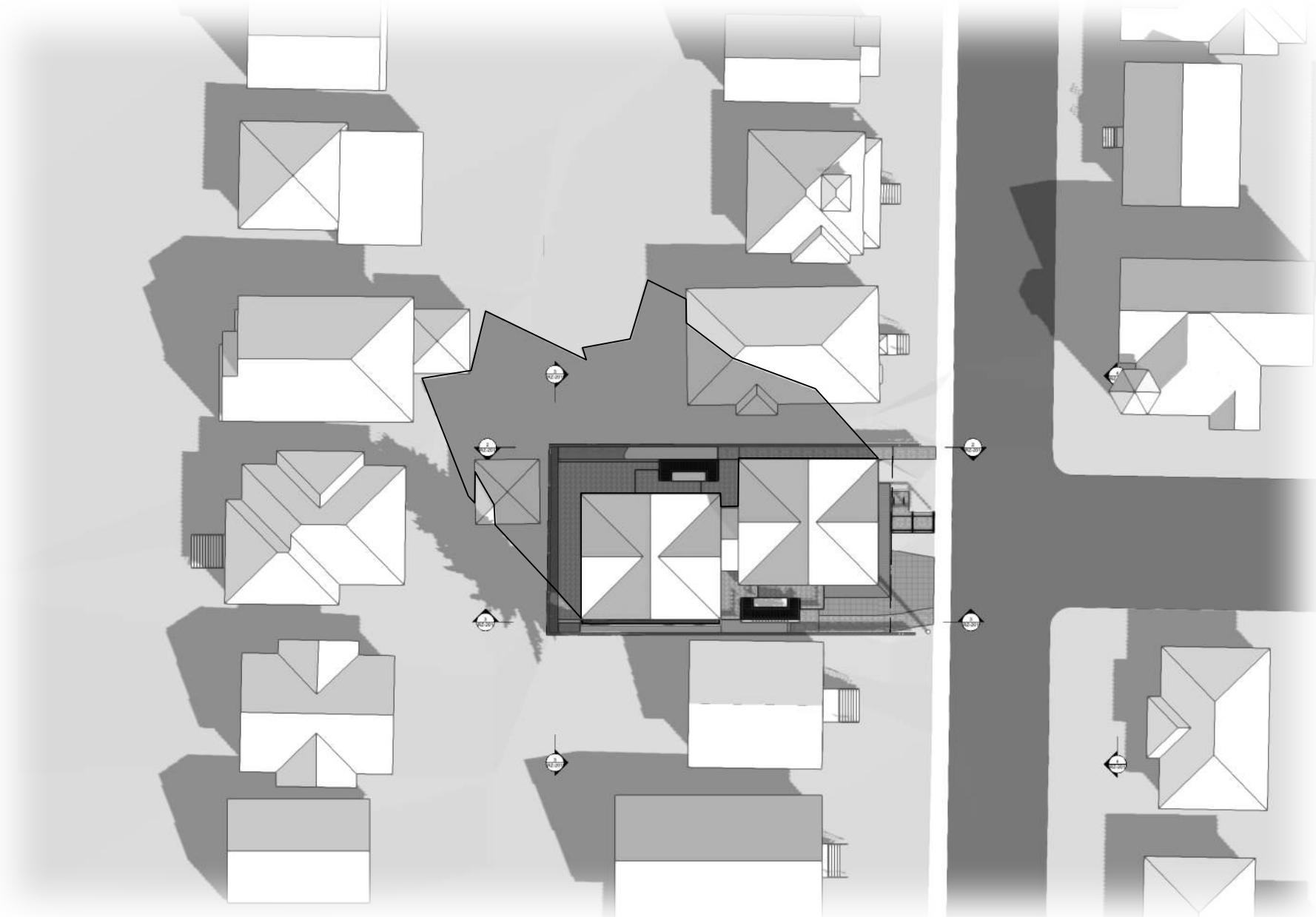
James Bay Rental



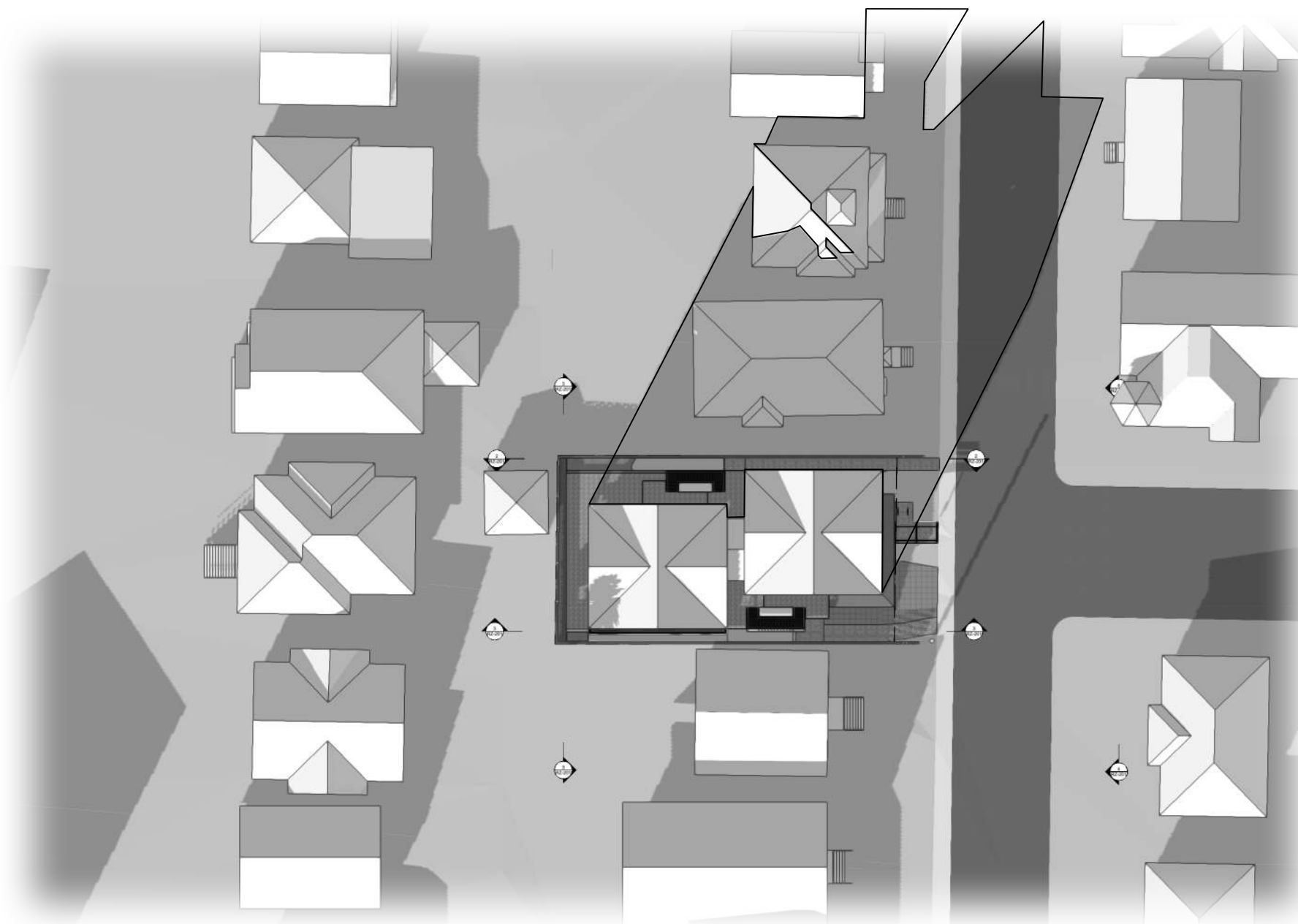
New proposal shadow study



10 Equinox @ 9:00am

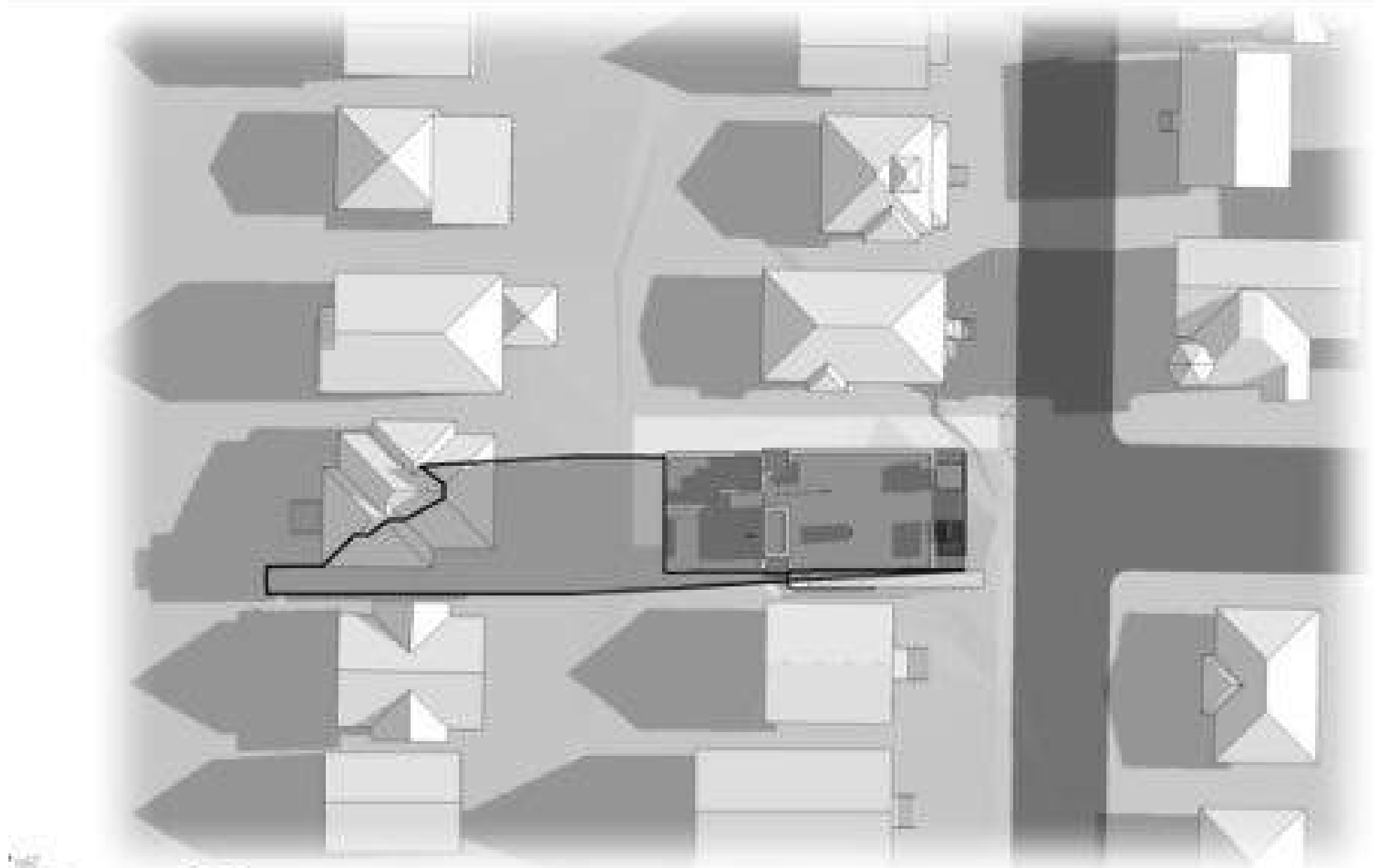


12 Equinox @ 12:00pm



13 Equinox @ 4:00pm

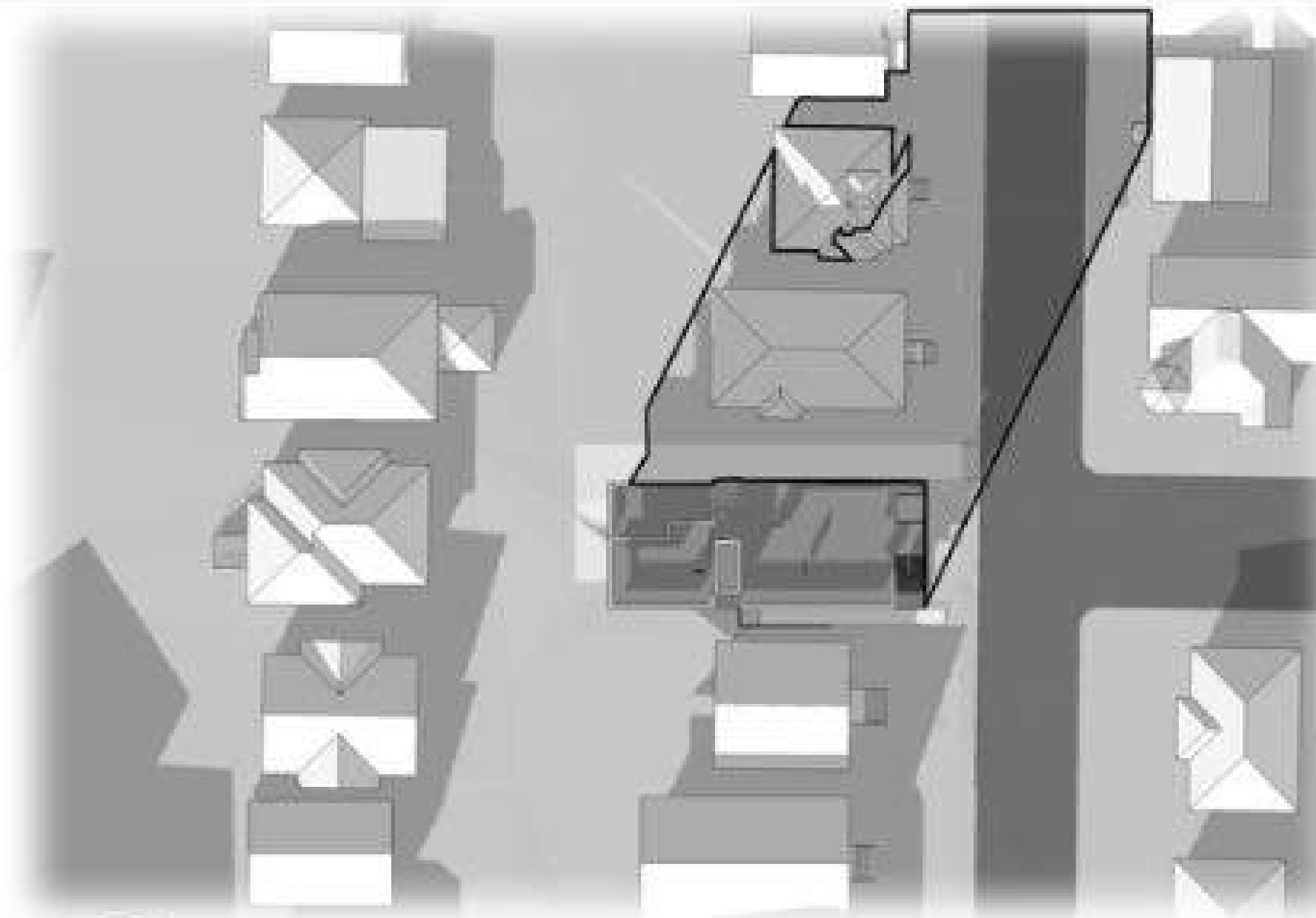
Previous proposal shadow study



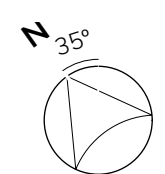
1 Equinox @ 9:00am

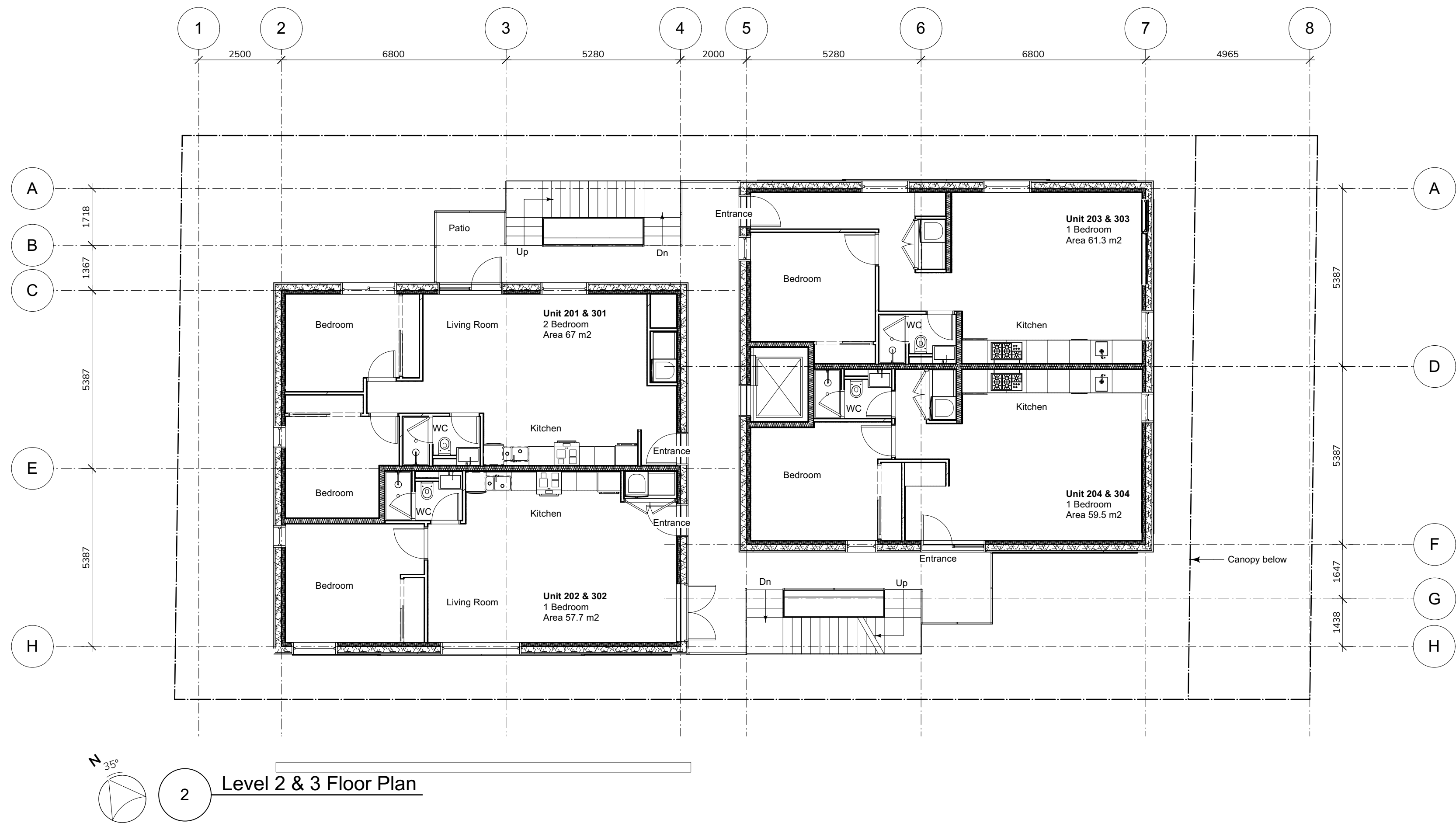
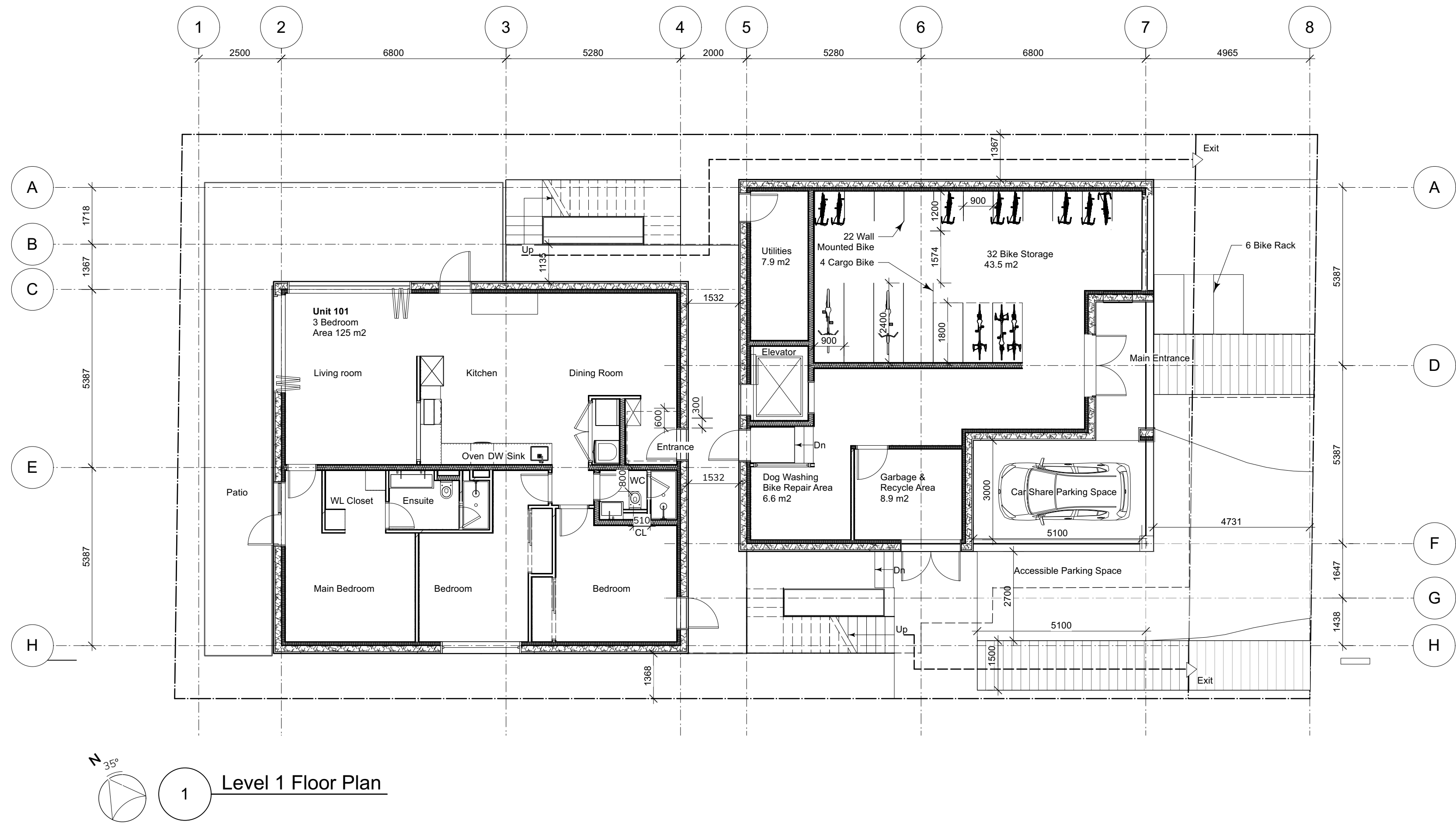


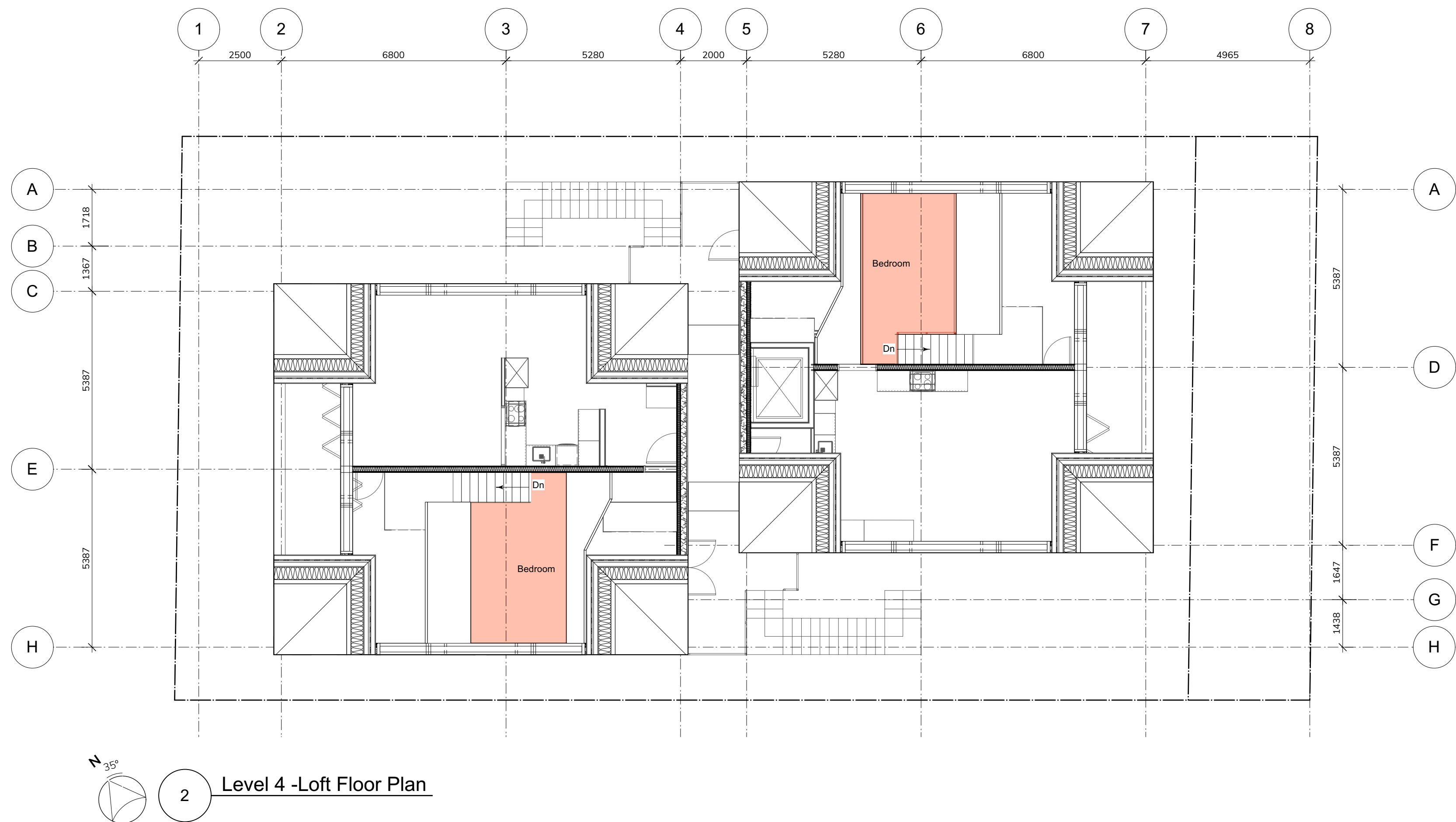
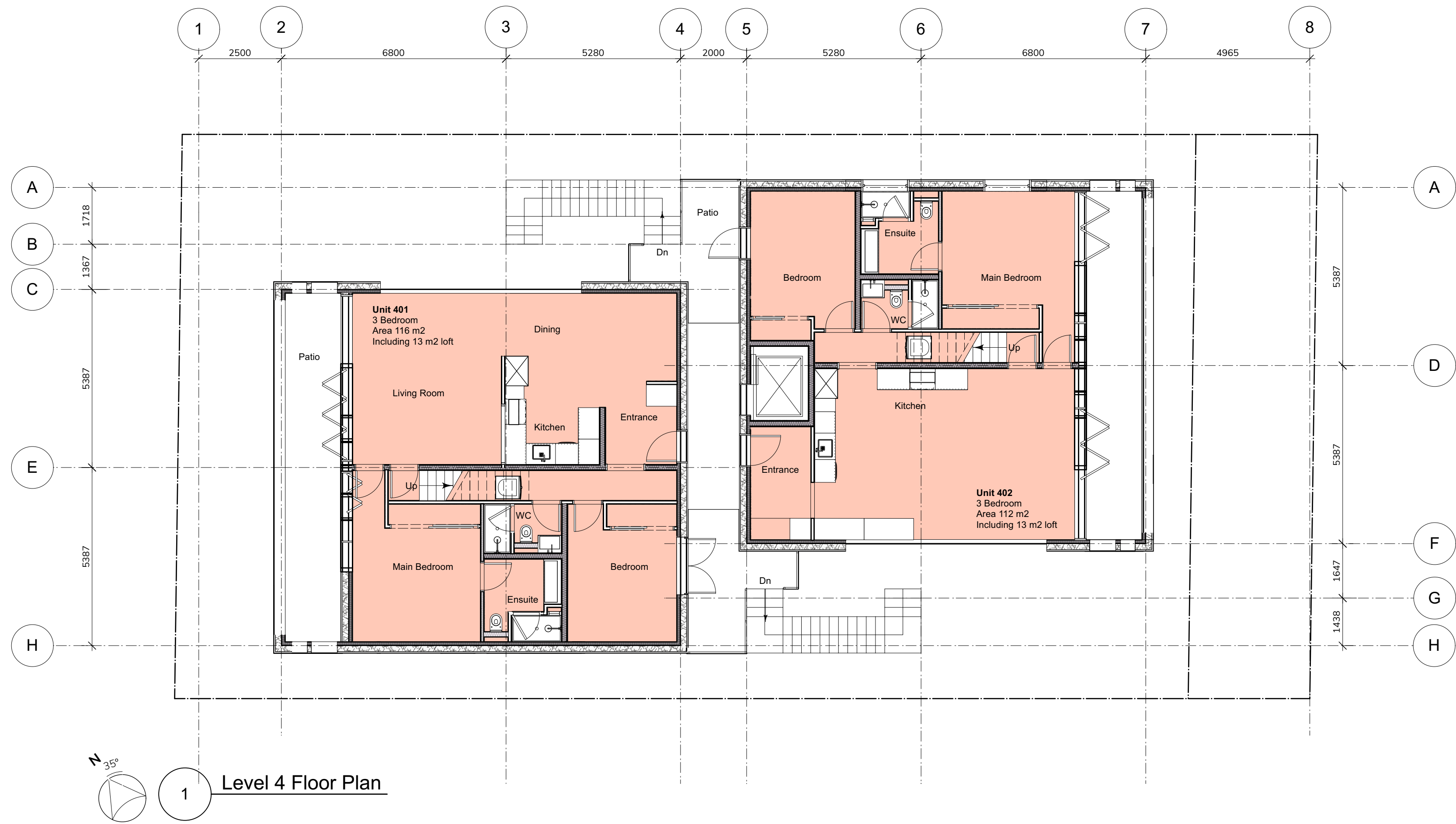
2 Equinox @ 12:00pm

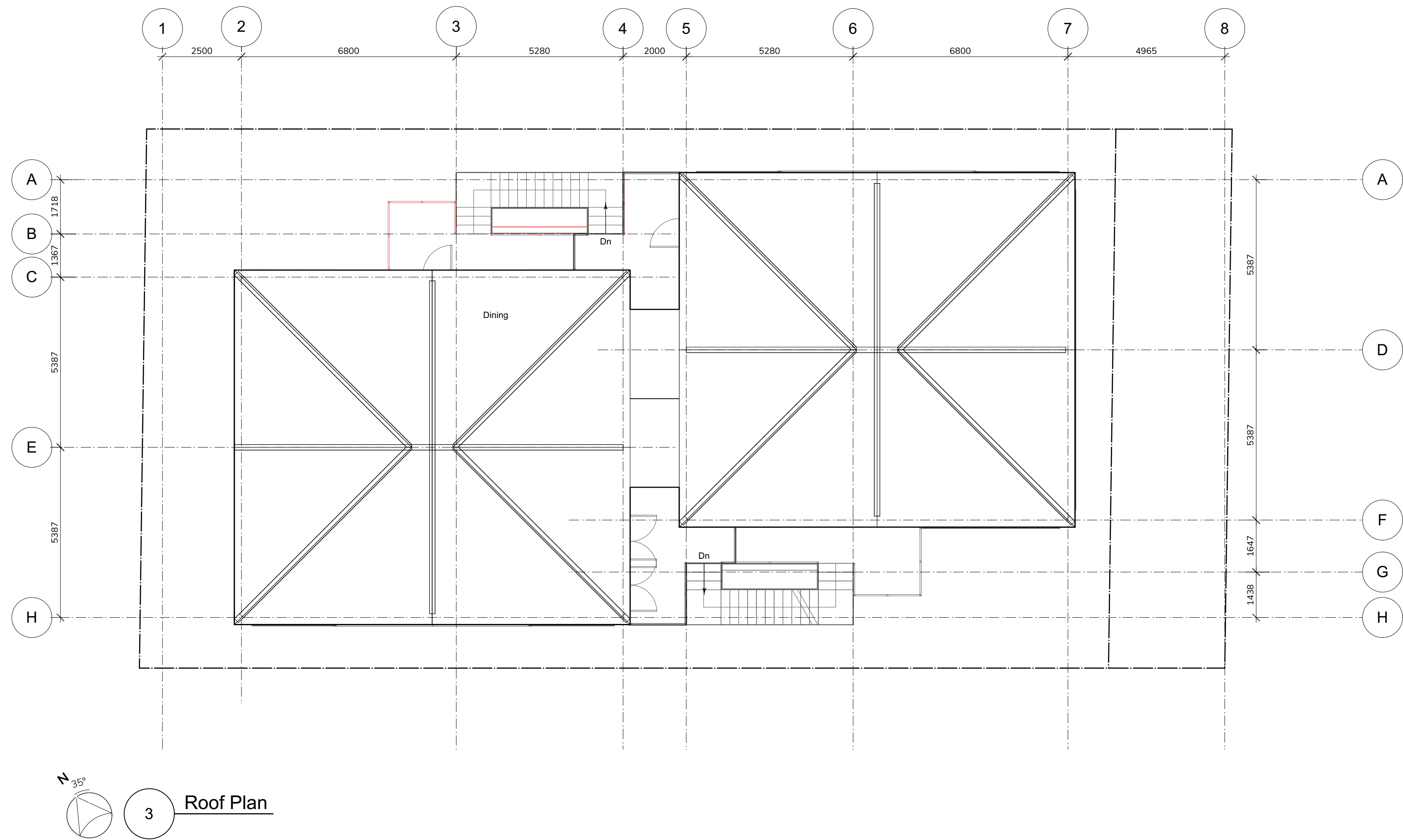


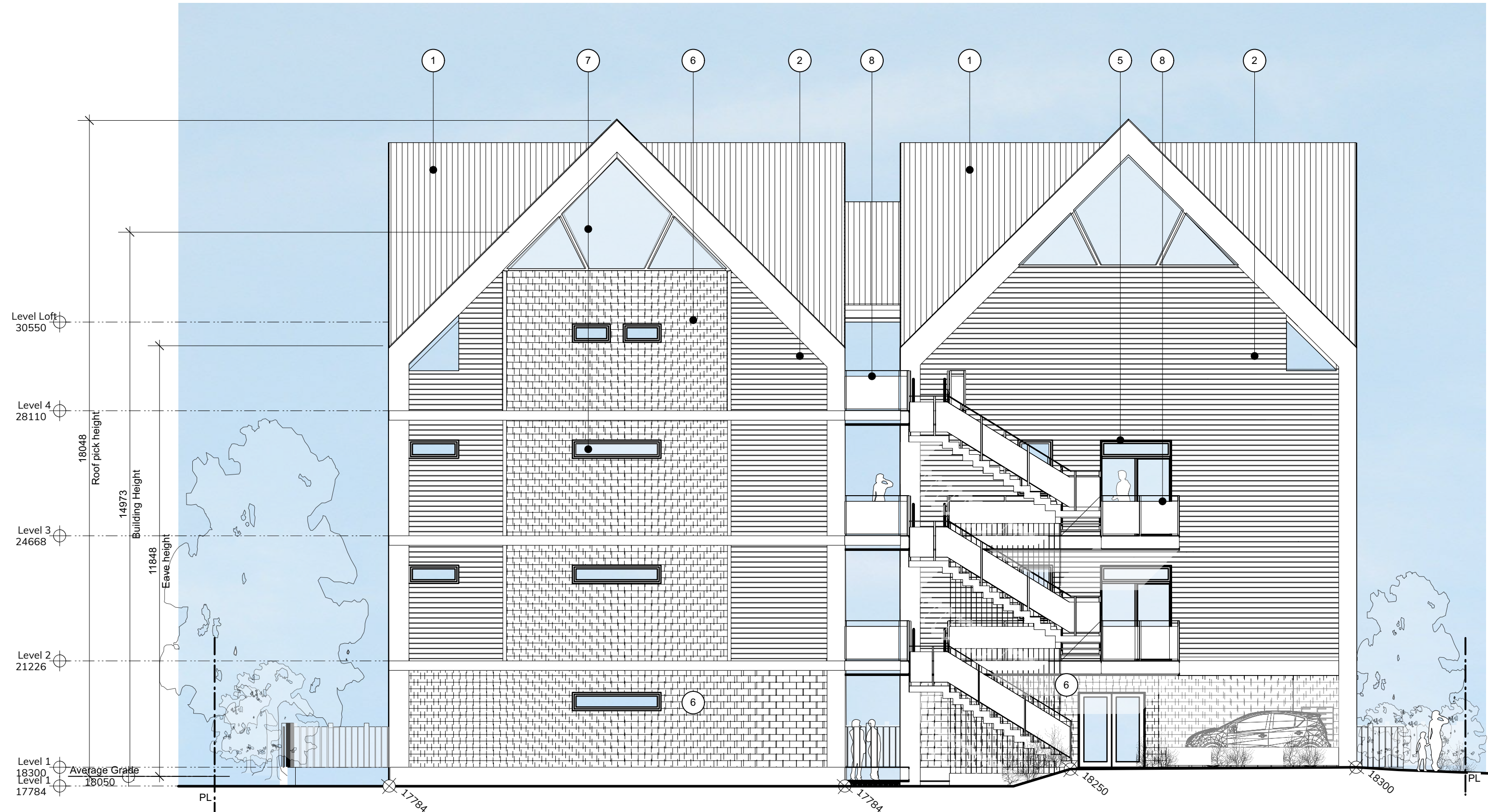
3 Equinox @ 4:00pm



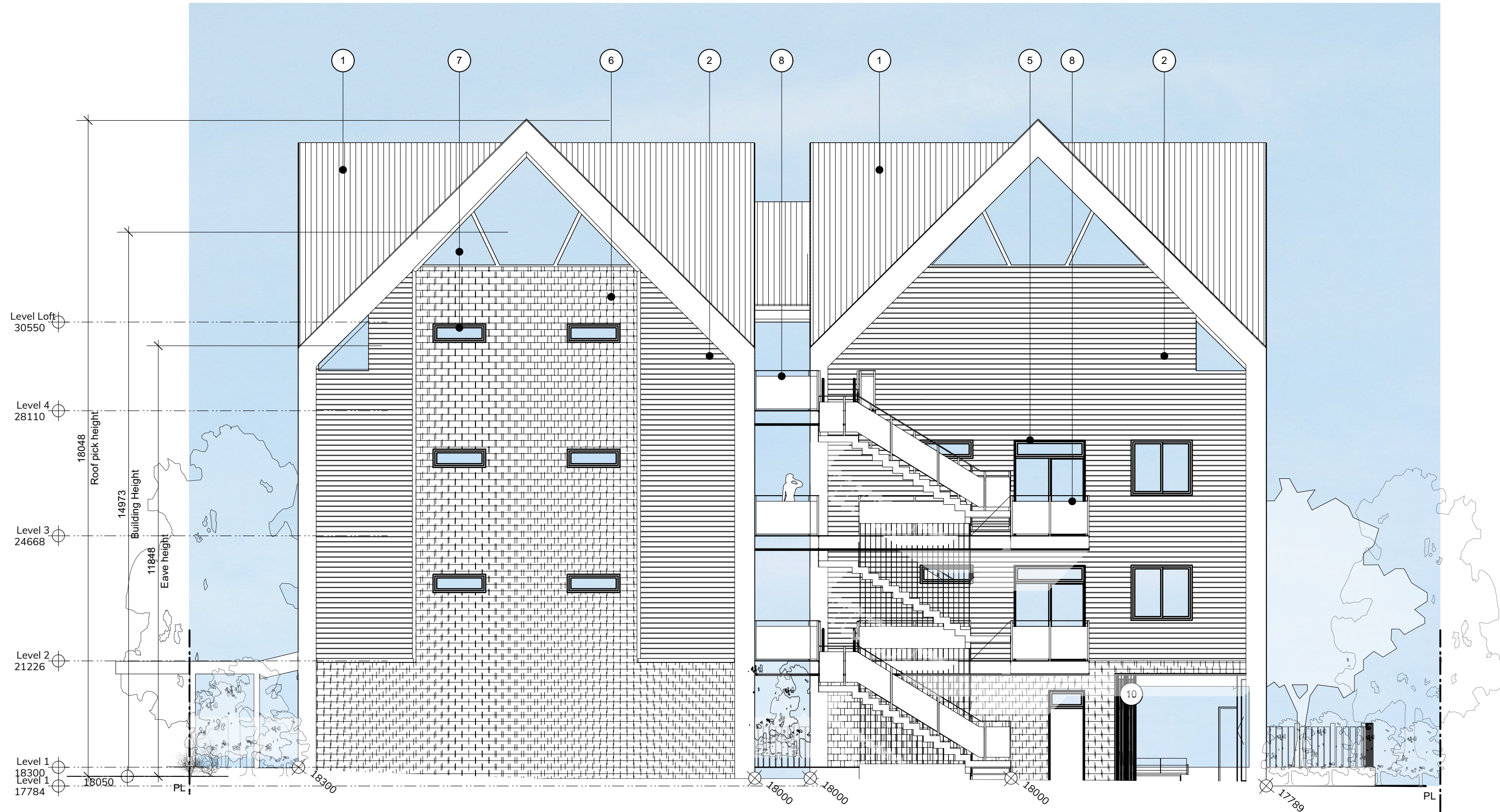




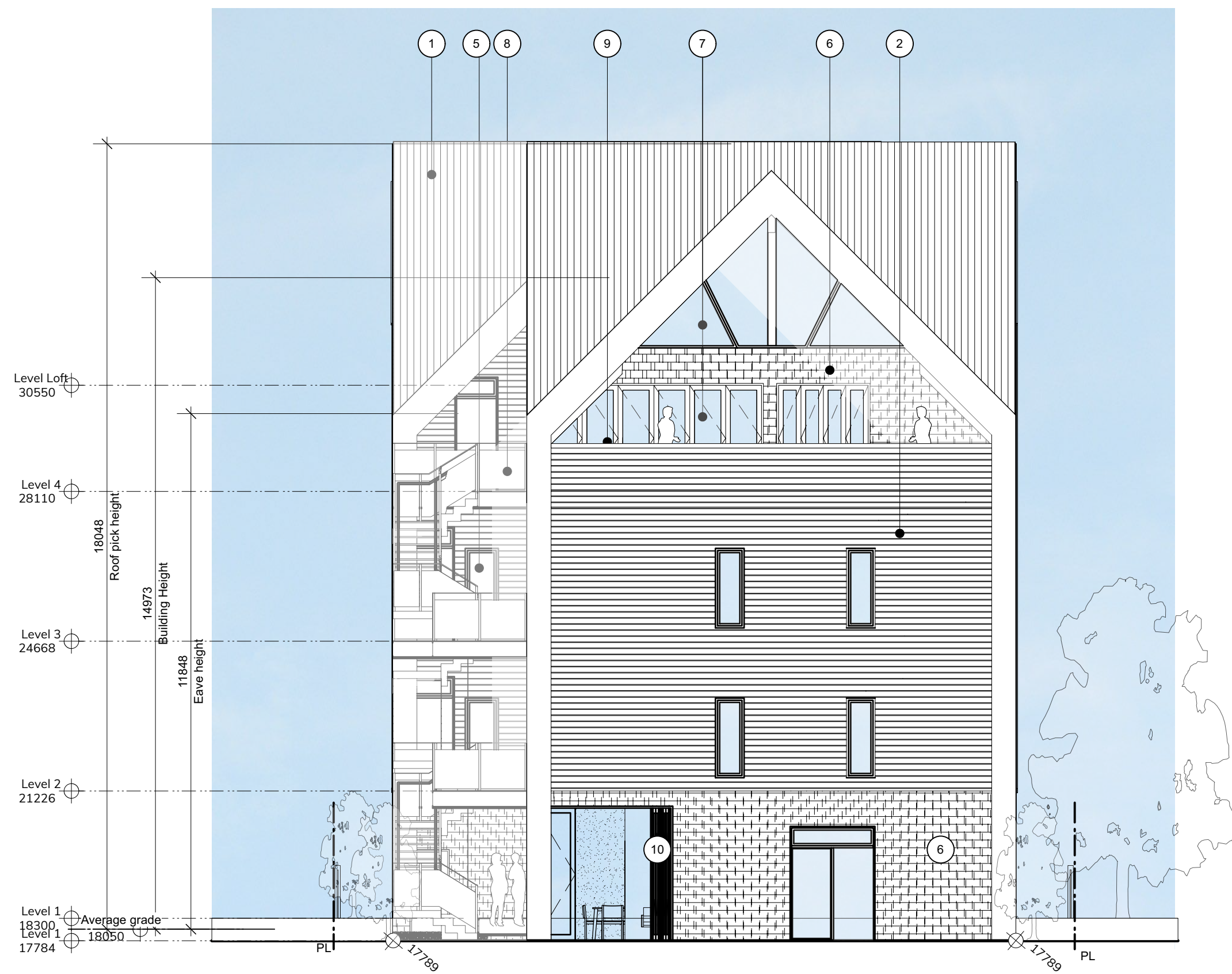




3 South Elevation  
Scale: 1:100



2 North Elevation  
Scale: 1:100



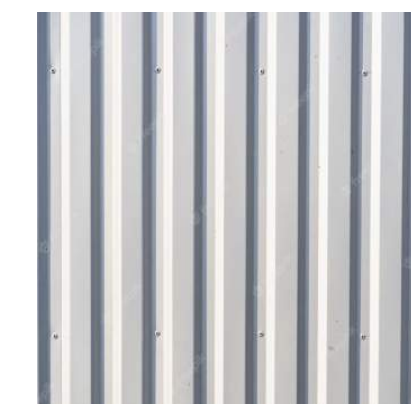
3 Rear Elevation  
Scale: 1:100



4 Street Front Elevation  
Scale: 1:100

FINISH SCHEDULE:

- 1 METAL CORRUGATED ROOFING
- 2 FIBERGLASS HORIZONTAL SIDING
- 3 STUCCO
- 4 VERTICAL BOARD
- 5 PATIO DOOR
- 6 FIBERGLASS SHINGLE
- 7 WHITE VINYL WINDOW FRAME
- 8 HANDRAIL & GAIRD WITH PERFORATED METAL PANEL
- 9 METAL FLASH CAP
- 10 FOLDING DOOR
- 11



METAL CORRUGATED ROOFING



FIBERGLASS SHINGLE



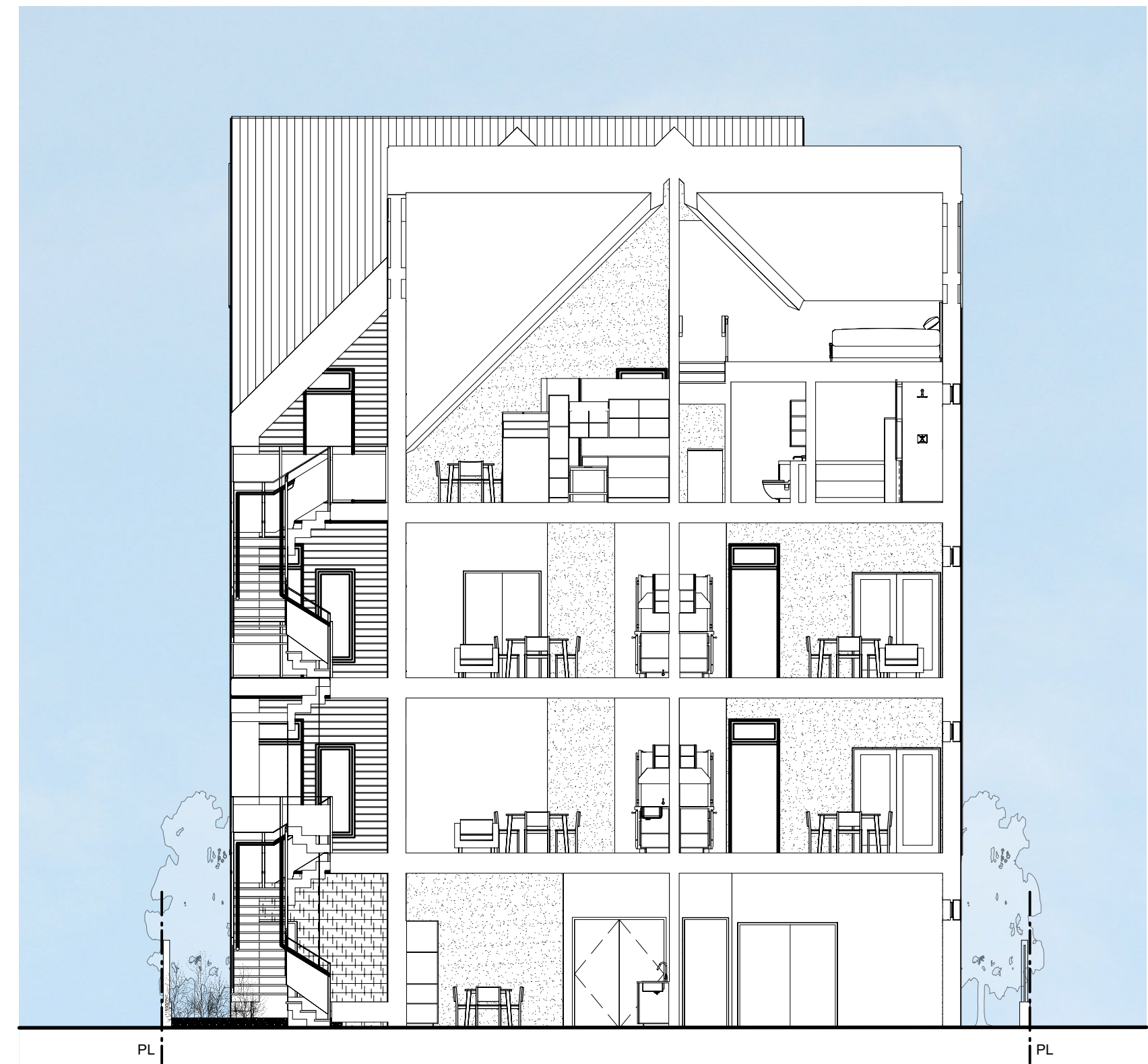
FIBERGLASS HORIZONTAL SIDING



HANDRAIL & GAURD WITH PERFORATED METAL PANEL



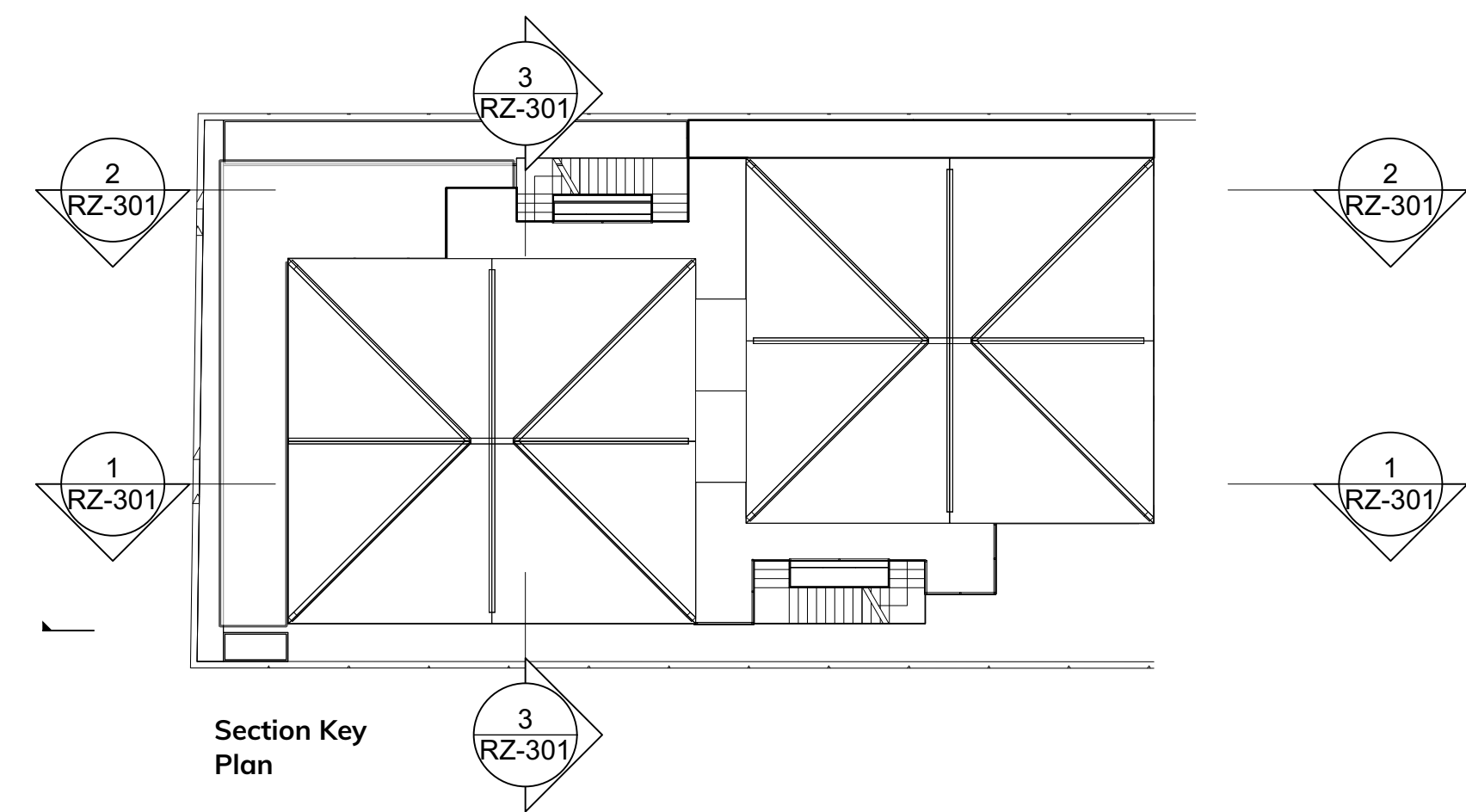
1 Section  
Scale: 1:100



3 [Drawing Title]  
Scale: 1:100



2 Section  
Scale: 1:100



Section Key  
Plan

# 50 GOVERNMENT ST

## CONCEPT DESIGN

**ARCHITECTS:**  
**WAYMARK ARCHITECTURE, INC.**

WILL KING  
will@waymarkarchitecture.com  
778.977.0660

GEORGIA MCGRAW  
georgia@waymarkarchitecture.com

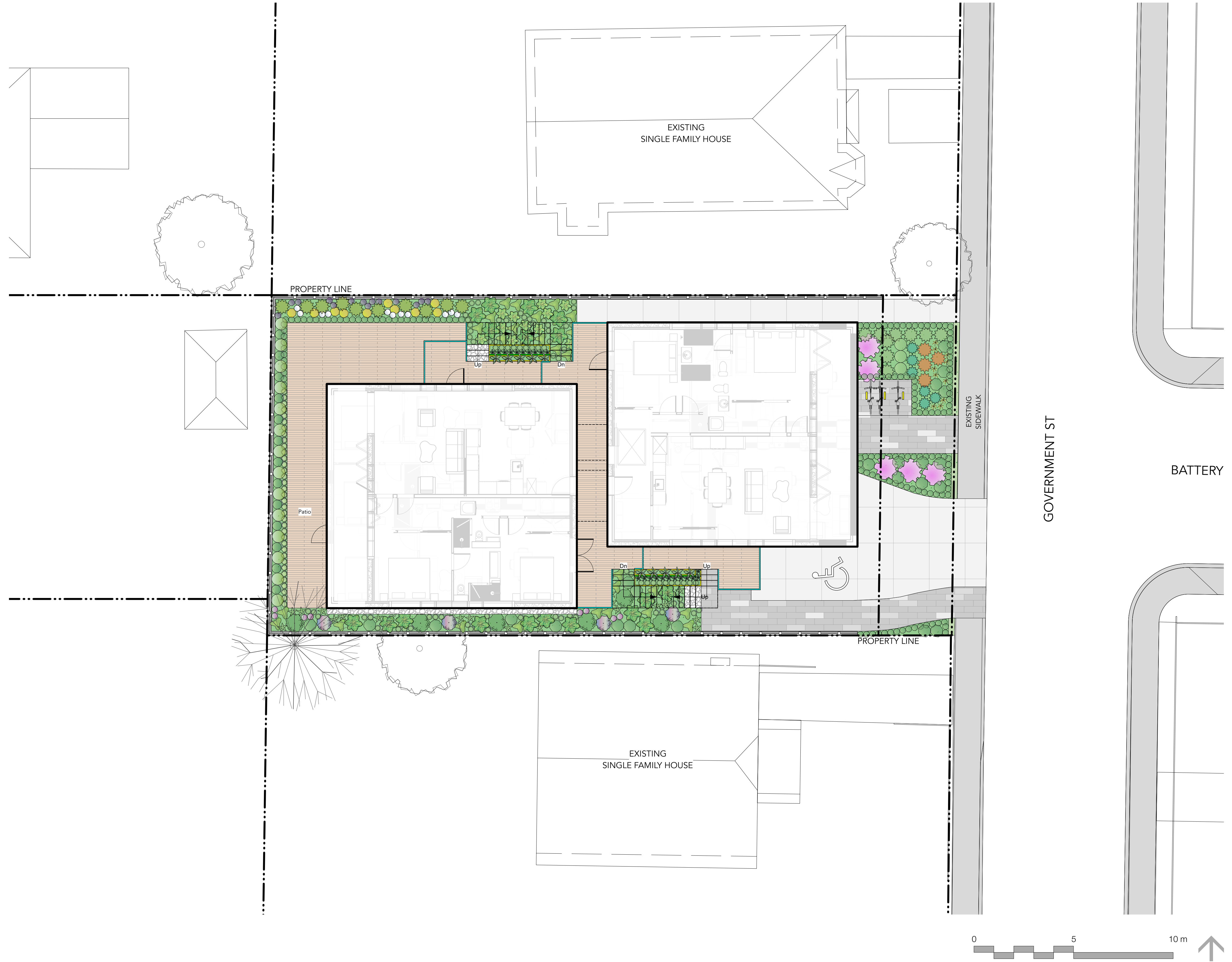
**LANDSCAPE ARCHITECT:**  
**G | ALA GAUTHIER + ASSOCIATES LANDSCAPE**  
**ARCHITECTS INC.**

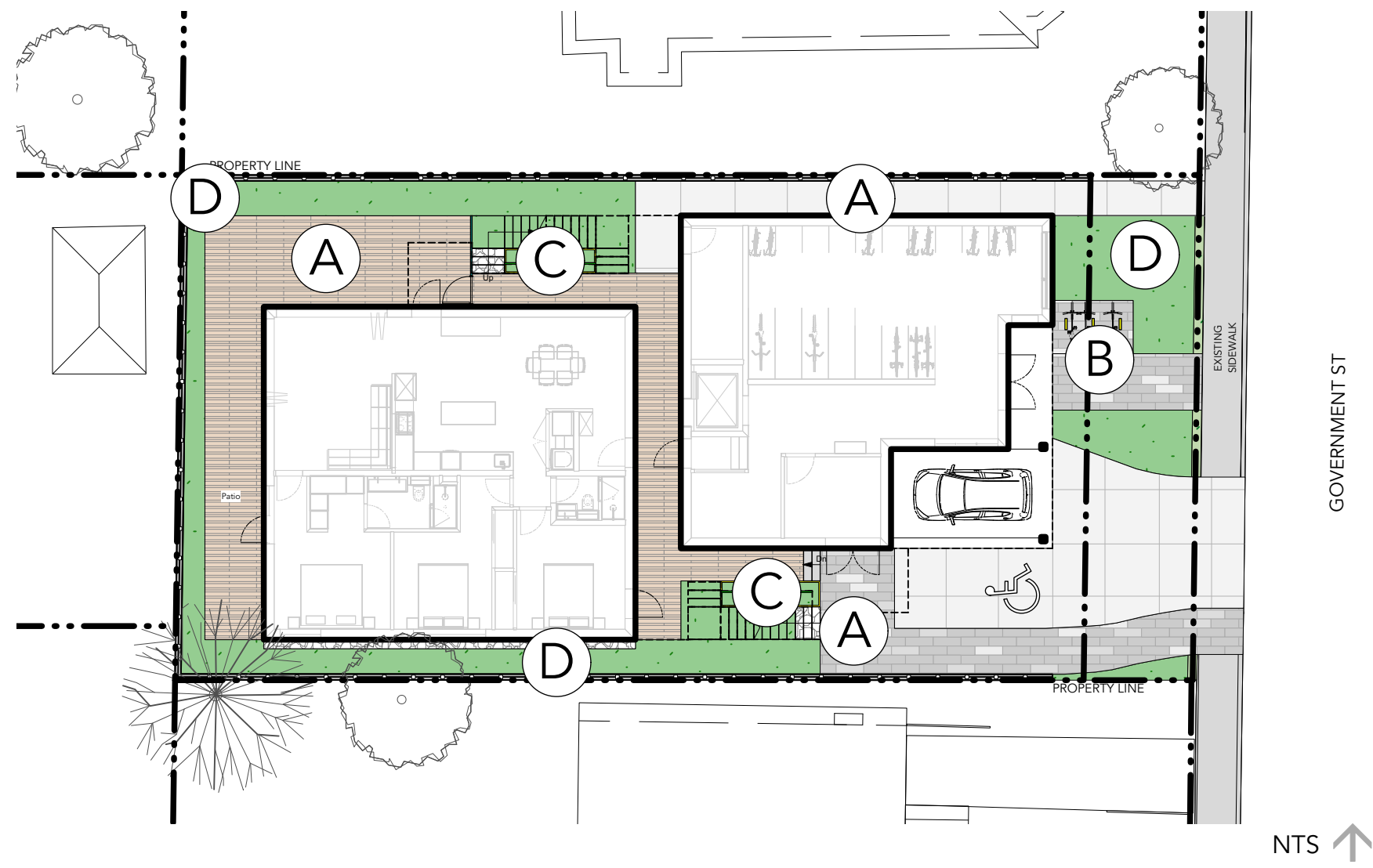
BRYCE GAUTHIER  
bryce@gauthierla.com  
604.317.9682

JIAHUI HUANG  
jiahui@gauthierla.com  
778.681.8766

**LANDSCAPE DRAWING INDEX PERMIT**

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	OVERALL SITE PLAN
L0.2	CONCEPT - PRECEDENTS
L1.0	LAYOUT + MATERIALS PLAN - LEVEL 1
L1.1	PLANTING PLAN - LEVEL 1
L2.0	LAYOUT + MATERIALS PLAN - LEVEL 2
L2.1	PLANTING PLAN - LEVEL 2
L3.0	LAYOUT + MATERIALS PLAN - LEVEL 3
L3.1	PLANTING PLAN - LEVEL 3
L4.0	LAYOUT + MATERIALS PLAN - LEVEL 4
L5.0	PLANT LIST + IMAGES
L6.0	SECTIONS
L6.1	SECTIONS





## A PAVING



CIP CONCRETE PAVING



MAIN ENTRANCE PAVING



THERMALLY TREATED WOOD DECKING

## B BIKE RACK



Metal Bike Rack

## C PLANTING BESIDE STAIRS



Cable For Vine Climbing



Rail Planter

## D PLANTING

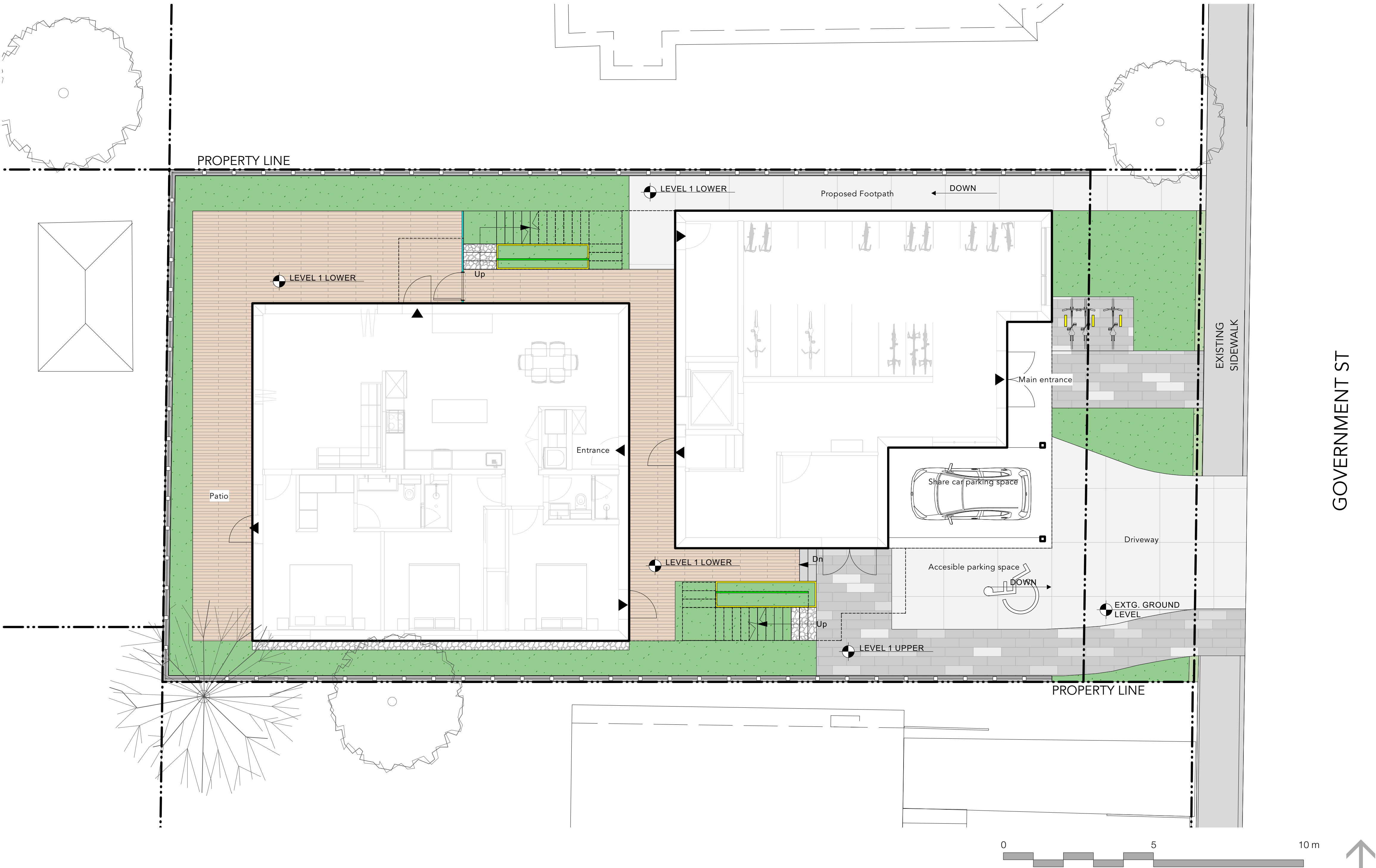


GENERAL LAYOUT + MATERIALS NOTES:

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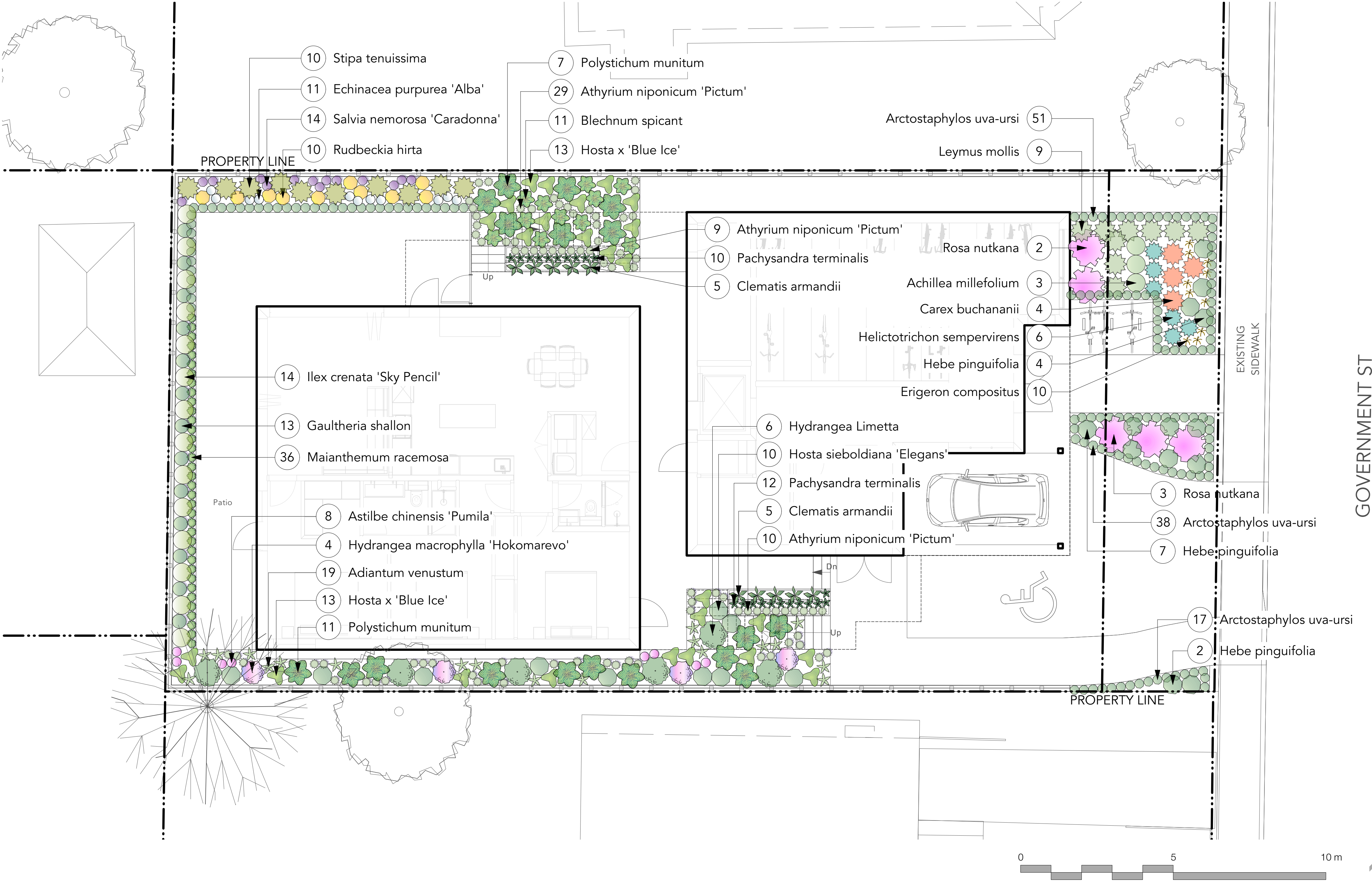
MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 1 CIP Concrete Paving
	PAVING TYPE 2 Wood Deck
	PAVING TYPE 3 Feature Concrete Pavers
	PAVING TYPE 4 River Rock Strip
	PLANTING TYPE 1 Lawn Area
	PLANTING TYPE 2 Shrub Area
	PLANTER TYPE 2 Metal Planter 2' High
	CIP CONCRETE STAIRS
	METAL STAIRS See Arch for Details
	FENCE ON TOP OF CONCRETE WALL Fence 4.3' High, Wall 1.7' High
	GUARDRAIL WITH GATE 3.5' High
	BIKE RACK
	METAL TRELLIS FOR VINE CLIMBING
	FLOOR ABOVE



GENERAL PLANTING NOTES:

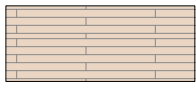


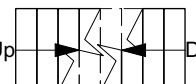

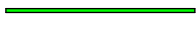

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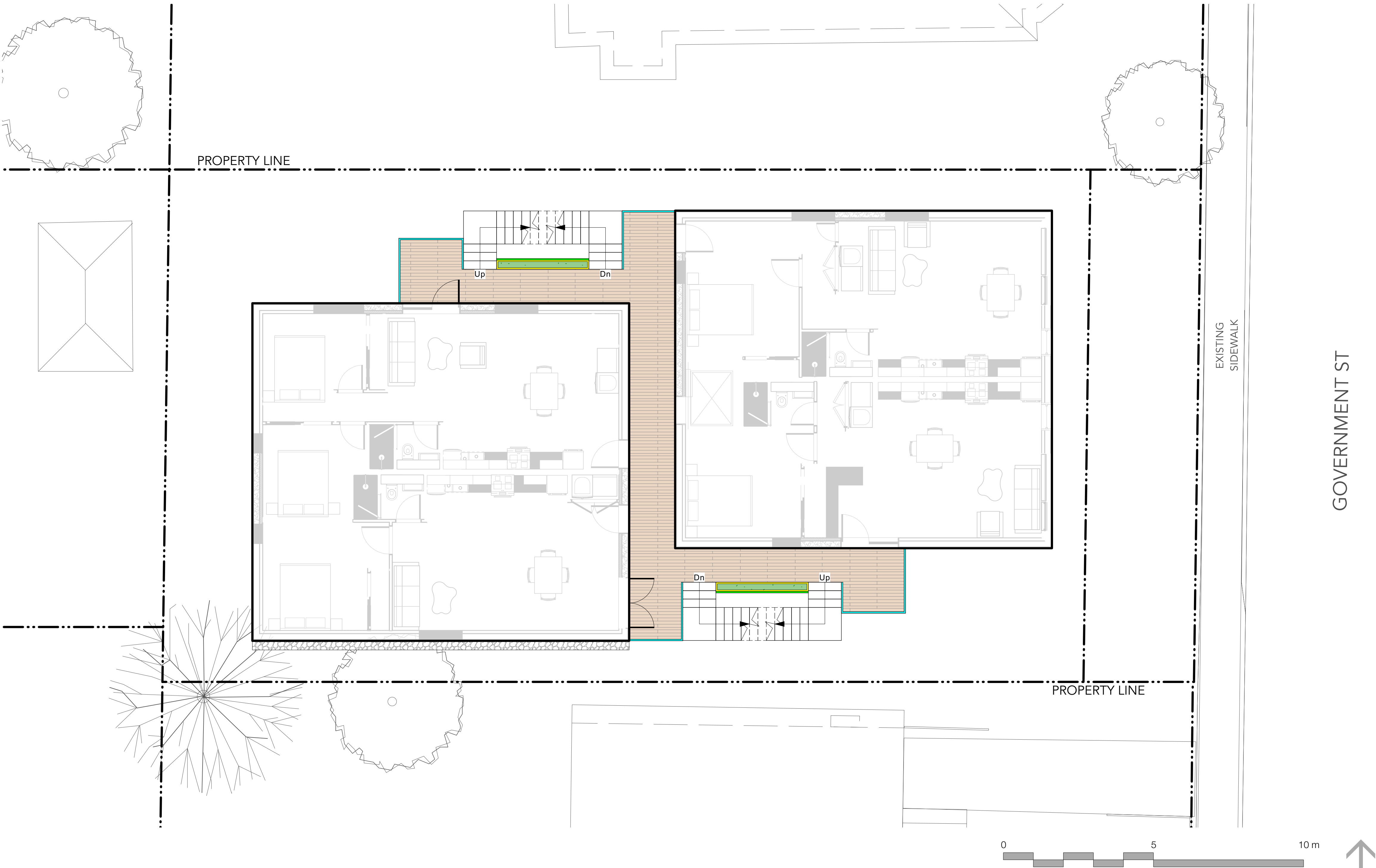


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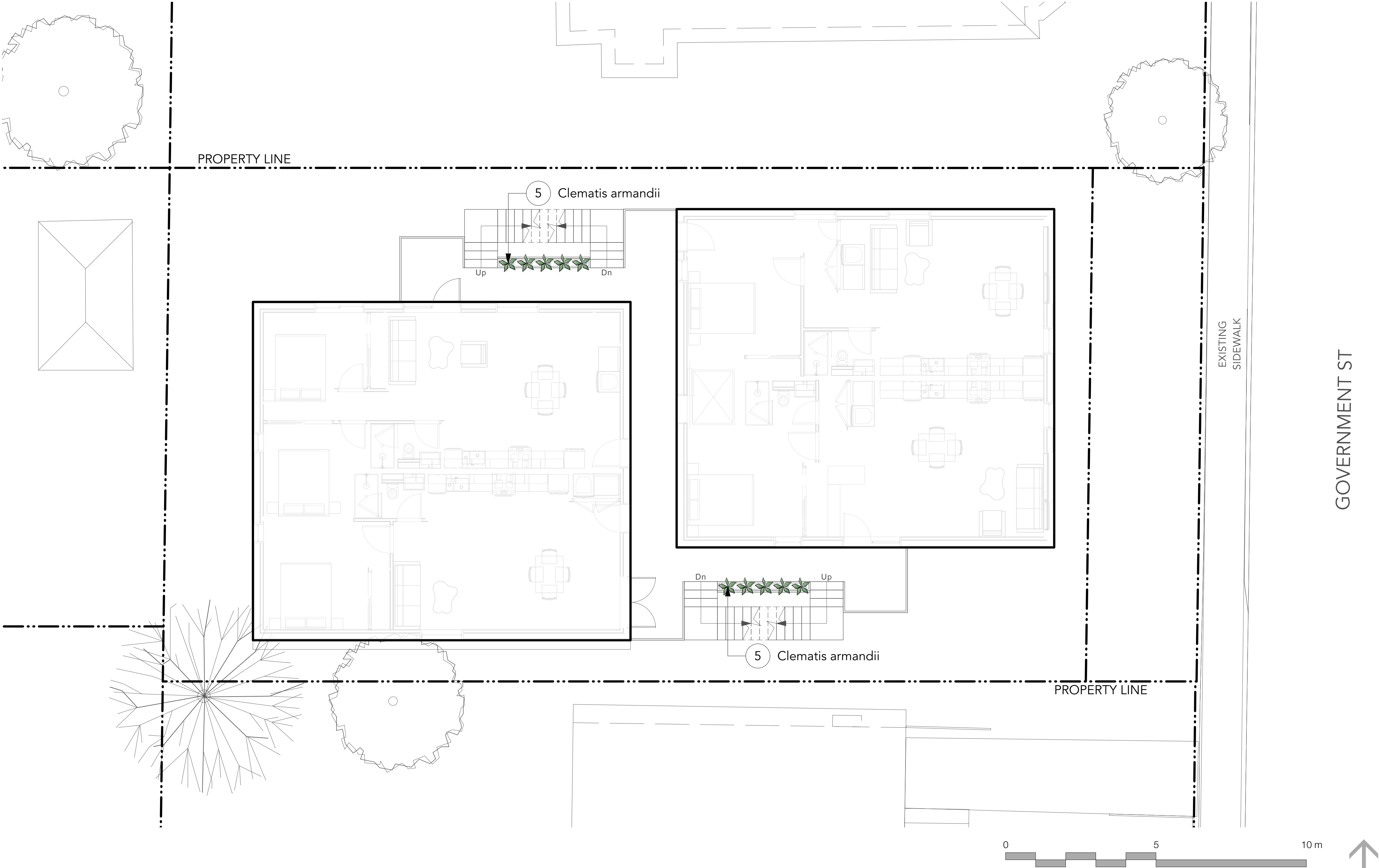
MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 2 Wood Deck
	PLANTING TYPE 2 Shrub Area
	PLANTER TYPE 1 Metal Railing Planter 12" Deep, 13" High
	METAL STAIRS See Arch for Details
	GUARDRAIL 3.5' High
	METAL TRELLIS FOR VINE CLIMBING
	FLOOR ABOVE



GENERAL PLANTING NOTES:

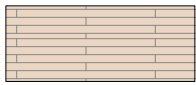


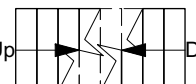

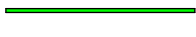

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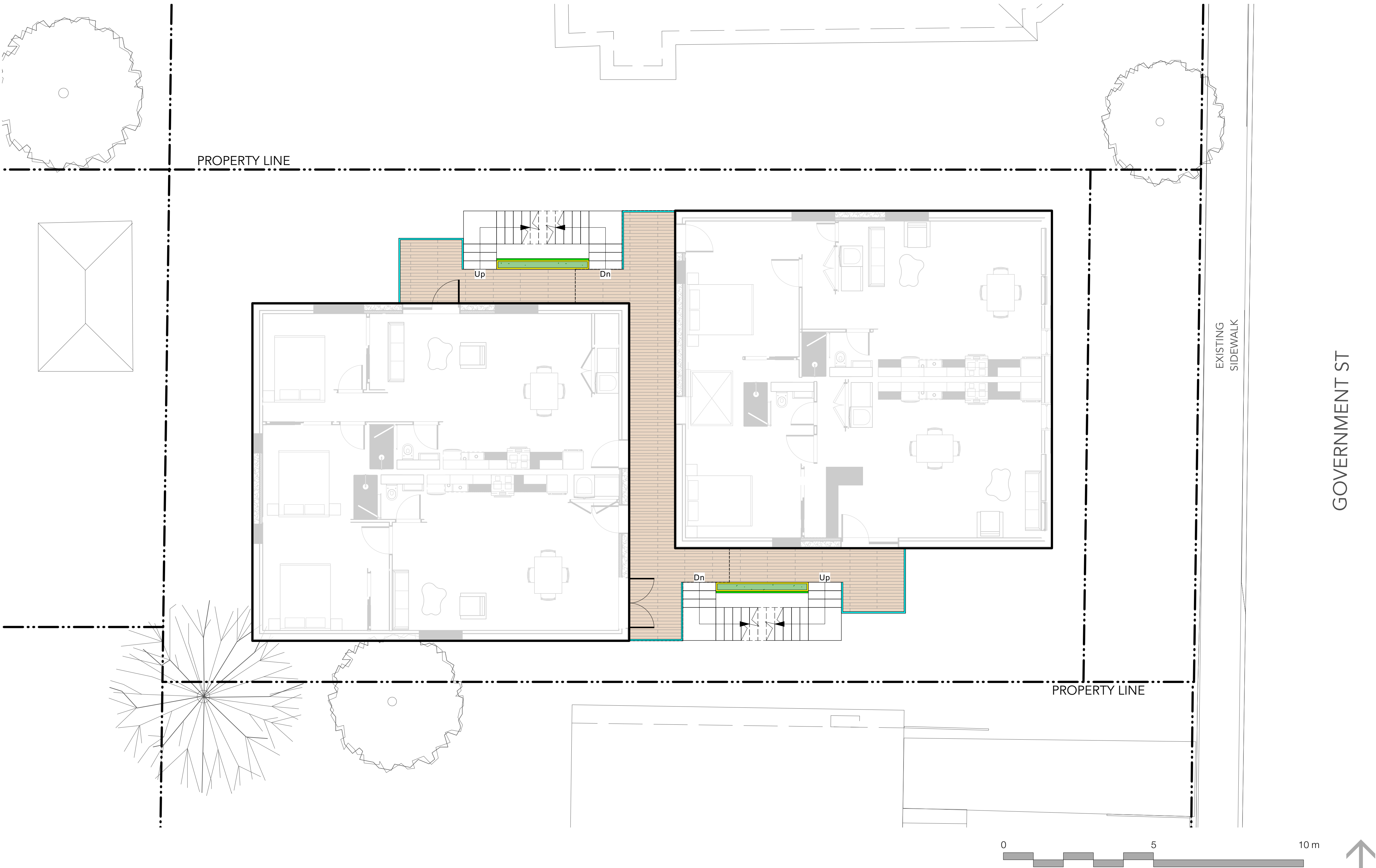


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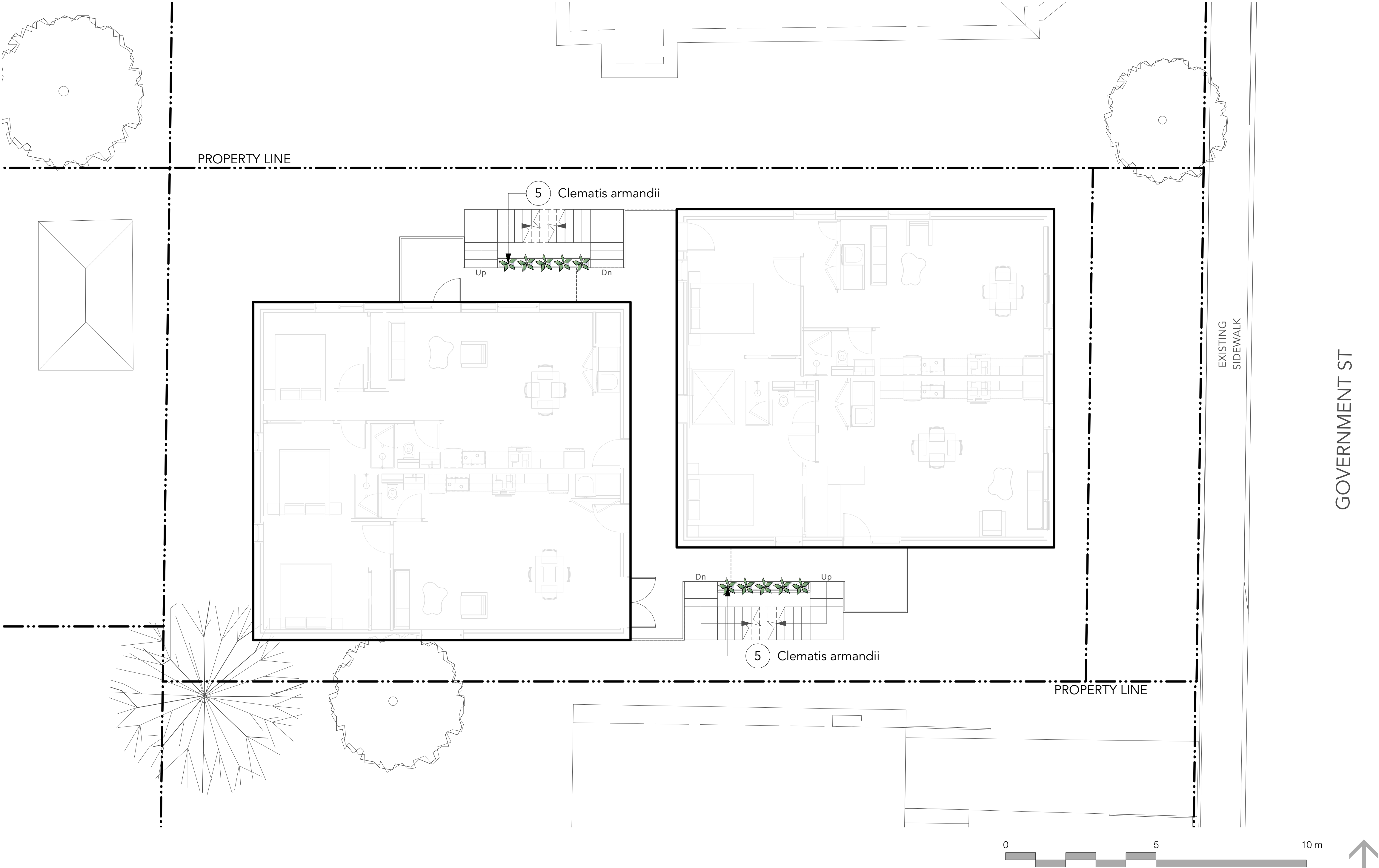
MATERIALS LEGEND

SYMBOL	DESCRIPTION
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	PLANTING TYPE 2 Shrub Area
	PLANTER TYPE 1 Metal Railing Planter 12" Deep, 13" High
	METAL STAIRS See Arch for Details
	GUARDRAIL 3.5' High
	METAL TRELLIS FOR VINE CLIMBING
	FLOOR ABOVE



GENERAL PLANTING NOTES:

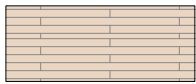
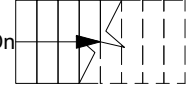

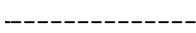
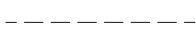
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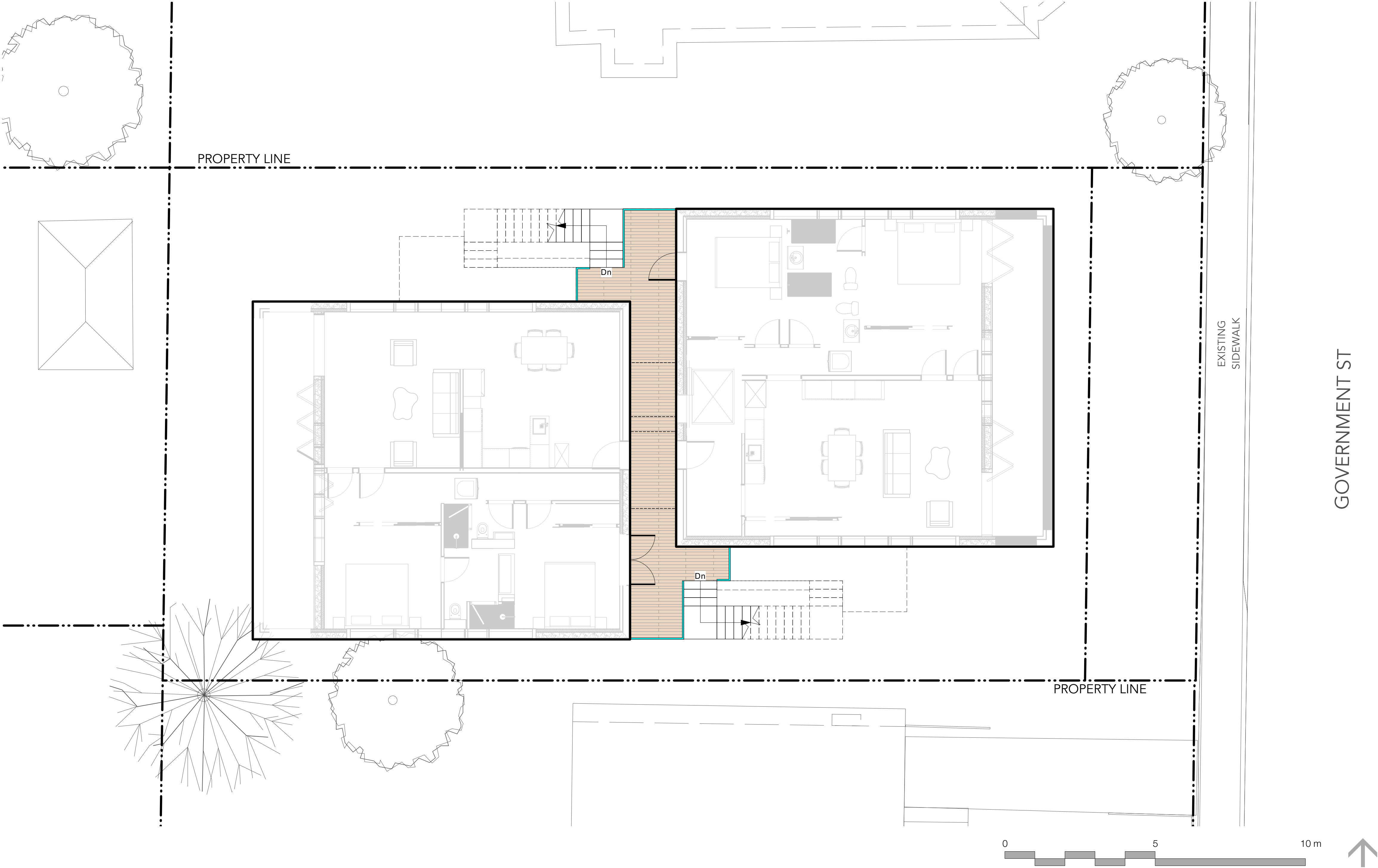


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MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 2 Wood Deck
	METAL STAIRS See Arch for Details
	GUARDRAIL 3.5' High
	ROOF ABOVE
	FLOOR BELOW



OVERALL PLANT LIST

Symbol	Quantity	Latin Name	Common Name	Scheduled Size	Spacing	Notes
SHRUBS:						
	13	Gaultheria shallon	Salal	#1 Pot	3'6" o.c.	
	13	Hebe pinguifolia	Sutherland Hebe	#2 Pot	2'0" o.c.	
	6	Hydrangea Limetta	Limetta Hydrangea	#3 Pot	2'0" o.c.	
	4	Hydrangea macrophylla 'Hokomarevo'	Everlasting Revolution Hydrangea	#3 Pot	2'6" o.c.	Specimen
	14	Ilex crenata 'Sky Pencil'	Japanese Holly	#2 Pot	3'6" o.c.	
	36	Maianthemum racemosa	False Solomon's Seal	#1 Pot	1'0" o.c.	
	5	Rosa nutkana	Nootka Rose	#5 Pot	4'0" o.c.	
PERENNIALS, GRASSES, GROUNDCOVER:						
	3	Achillea millefolium	Yarrow	#1 Pot	2'0" o.c.	
	19	Adiantum venustum	Himalayan Maidenhair	#2 Pot	1'6" o.c.	
	147	Arctostaphylos uva-ursi	Bearberry, Kinnikinnick	#1 Pot	1'0" o.c.	
	8	Astilbe chinensis 'Pumila'	Chinese Astilbe	#1 Pot	1'0" o.c.	
	82	Athyrium niponicum 'Pictum'	Japanese Painted Fern	#1 pot	1'0" o.c.	
	11	Blechnum spicant	Deer Fern	#2 Pot	2'0" o.c.	
	4	Carex buchananii	Fox Red Curly Sedge	#2 pot	2'6" o.c.	
	30	Clematis armandii	Evergreen Clematis	#1 Pot	2'0" o.c.	
	11	Echinacea purpurea 'Alba'	White Coneflower	#1 Pot	1'0" o.c.	
	10	Erigeron compositus	Cutleaf Daisy	#2 Pot	1'0" o.c.	
	6	Helictotrichon sempervirens	Blue Oat Grass	#2 pot	2'0" o.c.	
	10	Hosta sieboldiana 'Elegans'	Blue Leaf Hosta	#1 Pot	2'0" o.c.	
	26	Hosta x 'Blue Ice'	Blue Ice Plantain Lily	#2 Pot	2'0" o.c.	
	9	Leymus mollis	Dune Grass	#3 Pot	2'6" o.c.	
	22	Pachysandra terminalis	Japanese Spurge	#1 Pot	1'0" o.c.	
	18	Polystichum munitum	Western sword fern	#3 Pot	3'0" o.c.	
	10	Rudbeckia hirta	Black-Eyed Susan	#2 Pot	1'6" o.c.	
	14	Salvia nemorosa 'Caradonna'	Caradonna Meadow Sage	#1 Pot	1'0" o.c.	
	10	Stipa tenuissima	Mexican Feather Grass	#3 pot	2'6" o.c.	

- NOTES:
1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCLNA NURSERY STANDARD.
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  3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
  4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
  5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
  6. FINAL LOCATION, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING.
  7. NEW TREE MUST BE OF GOOD STANDARD, MINIMUM 4 CM CALLIPER AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL.
  8. ROOT BARRIERS SHALL BE 8'-0" (2.4M) LONG AND 18" (0.46M) DEEP. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. NEW STREET TREES TO BE CONFIRMED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

PLANT IMAGES

SHRUBS



Gaultheria shallon  
Salal



Hebe pinguifolia  
Pagei Hebe



Hydrangea limetta  
Limetta Hydrangea



Hydrangea macrophylla 'Hokomarevo'  
Everlasting Revolution Hydrangea



Ilex crenata 'Sky Pencil'  
Japanese Holly



Maianthemum racemosa  
False Solomon's seal

GROUNDCOVERS, GRASSES, FERNS, VINES, PERENNIALS



Rosa nutkatana  
Nootka Rose



Achillea millefolium  
Yarrow



Adiantum venustum  
Himalayan Maidenhair



Arctostaphylos uva-ursi  
Bearberry, Kinnikinnick



Astilbe chinensis 'Pumila'  
Dwarf Chinese Astilbe



Athyrium nipponicum 'Pictum'  
Japanese Painted fern



Blechnum spicant  
Deer Fern



Carex buchananii  
Fox Red Curly Sedge



Clematis armandii  
Evergreen Clematis



Echinacea Purpurea 'Alba'  
White Coneflower



Erigeron compositus  
Cutleaf Daisy



Helictotrichon sempervirens  
Blue Oat Grass



Hosta sieboldiana 'Elegans'  
Blue Leaf Hosta



Hosta x 'Blue Ice'  
Blue Ice Plantain Lily



Leymus mollis  
Dune Grass



Pachysandra terminalis  
Japanese Spurge



Polystichum munitum  
Western Sword Fern



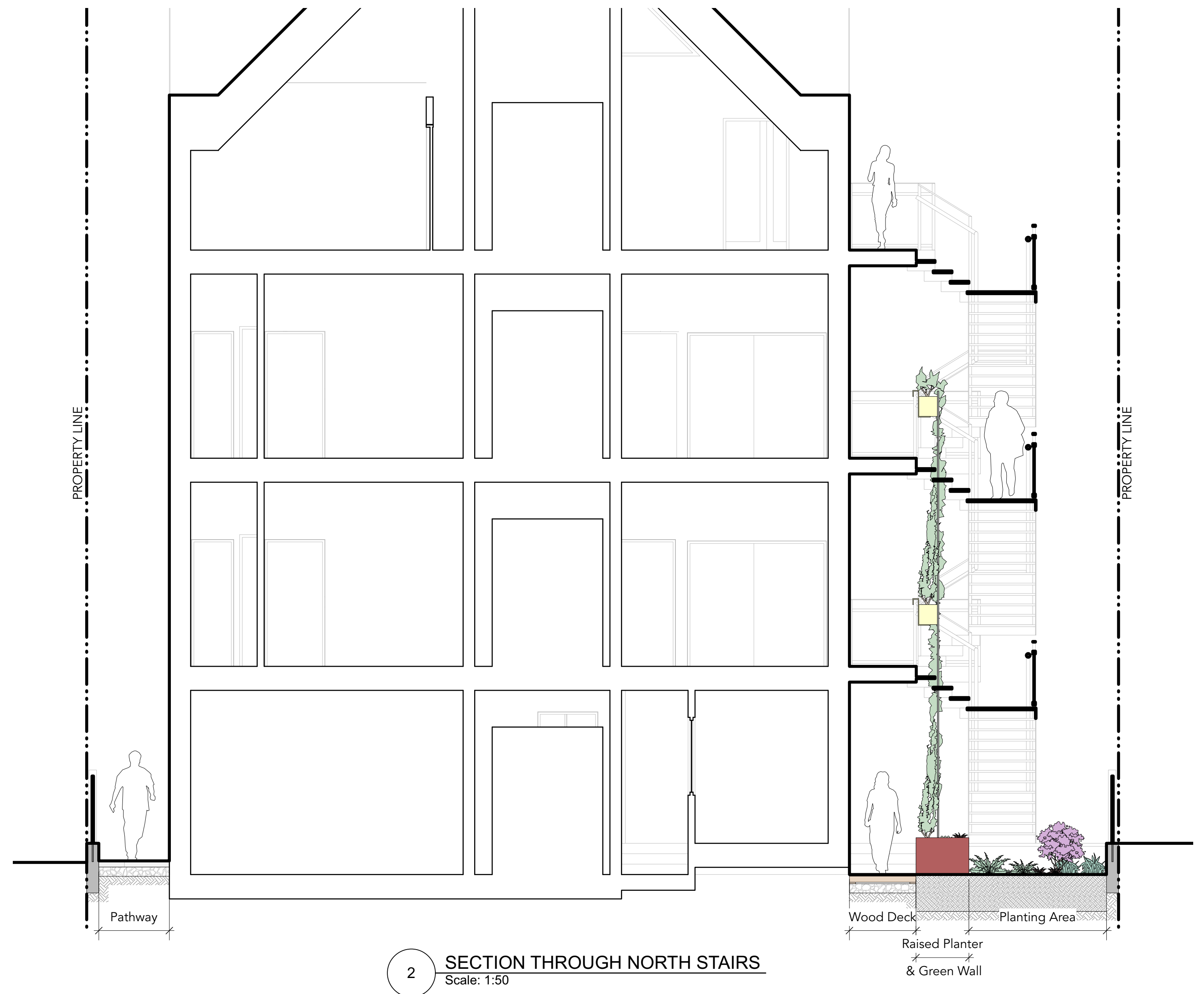
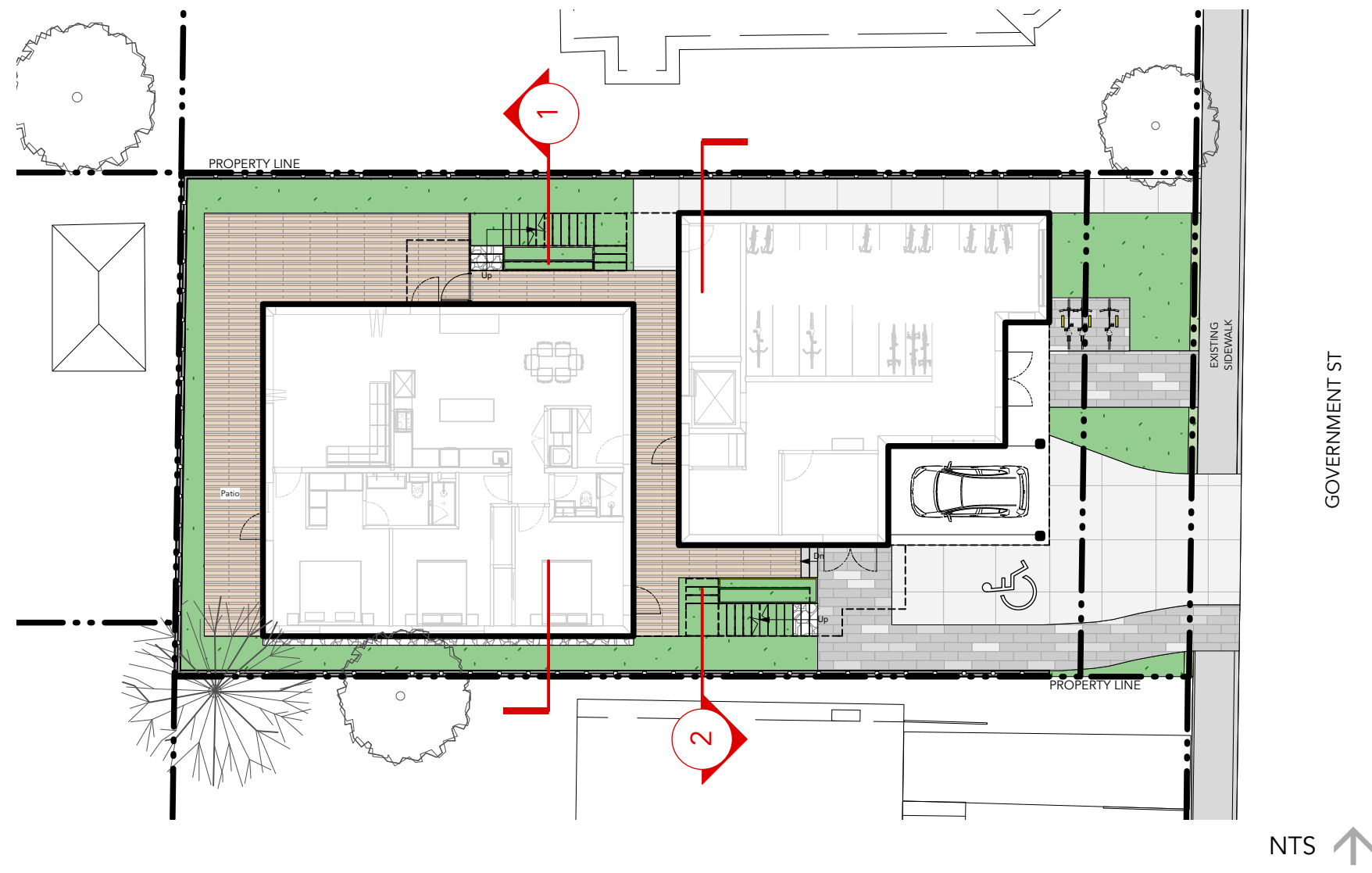
Rubeckia hirta  
Black-eyed Susan

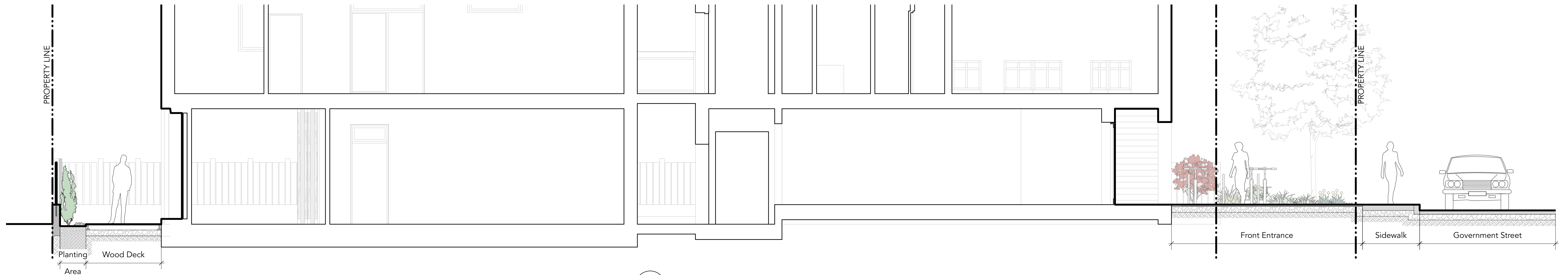
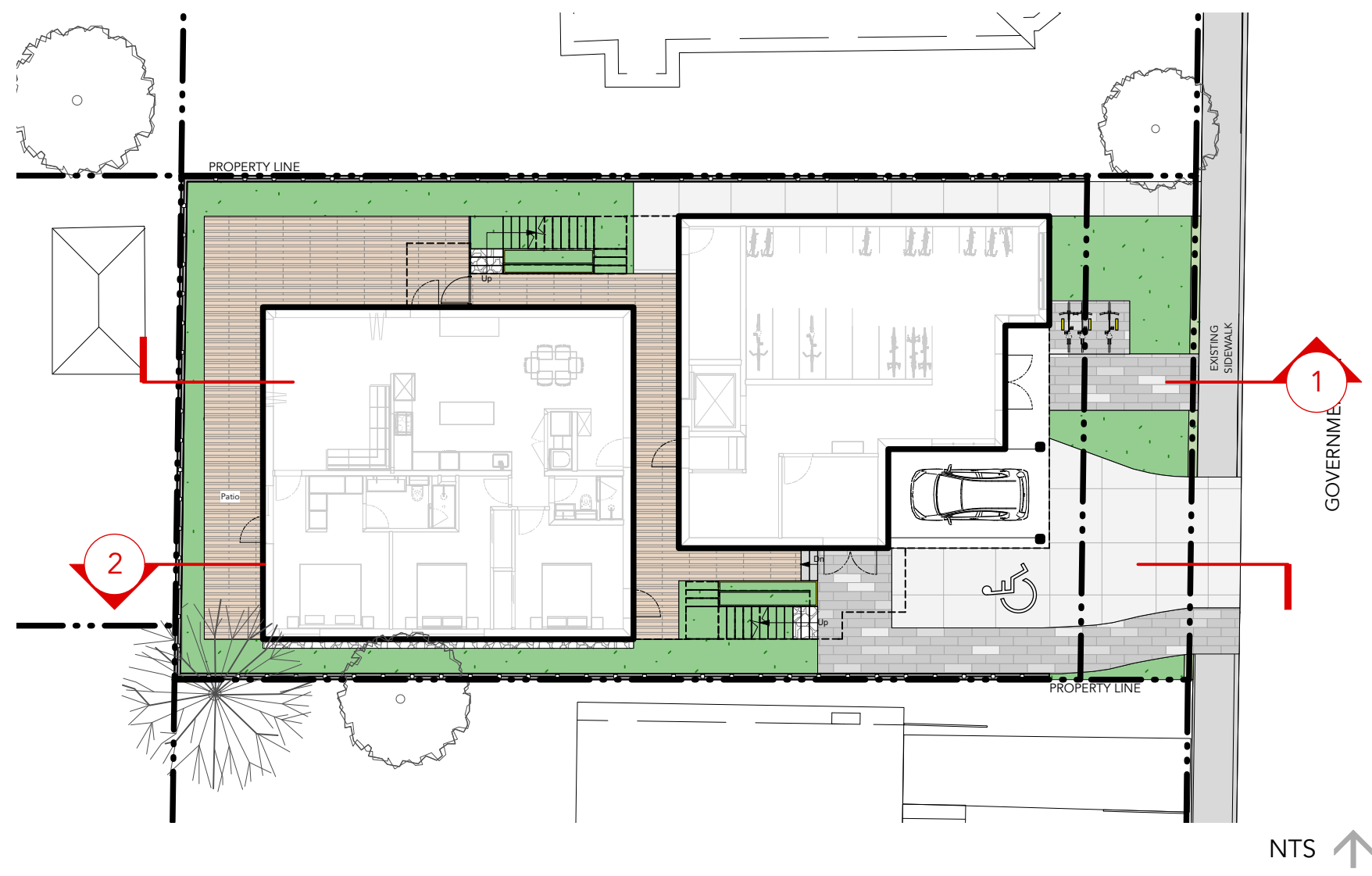


Salvia nemorosa 'Caradonna'  
Caradonna Meadow Sage

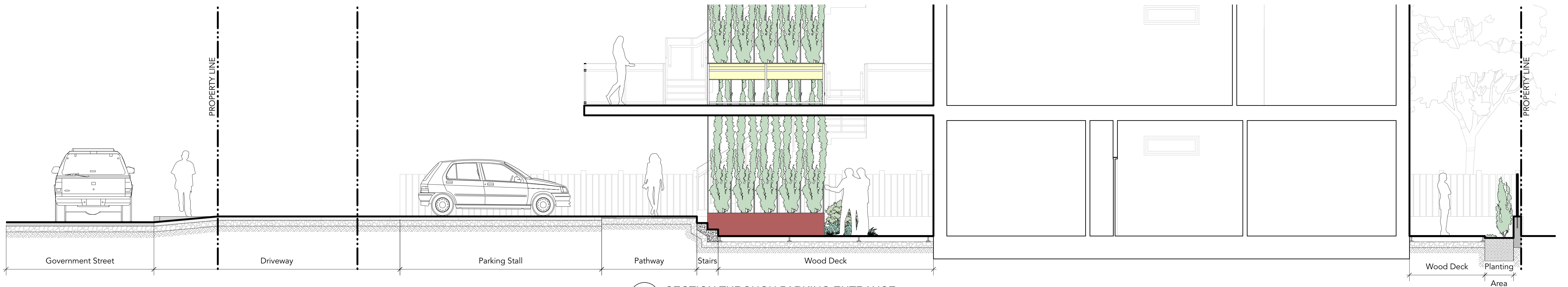


Stipa tenuissima  
Mexican Feather Grass





1 SECTION THROUGH FRONT ENTRANCE  
Scale: 1:50



2 SECTION THROUGH PARKING ENTRANCE  
Scale: 1:50