



DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & RZ RESUBMISSION 02

#### REVISIONS

1 Updated for consultant contact change.

2 Civil Drawing set updated with additional sheets to address most recent staff comments.

# 780 BLANSHARD - REHABILITATION + ADDITION

VICTORIA, BC

HAV00034 CONCURRENT WITH REZ00825

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 35B

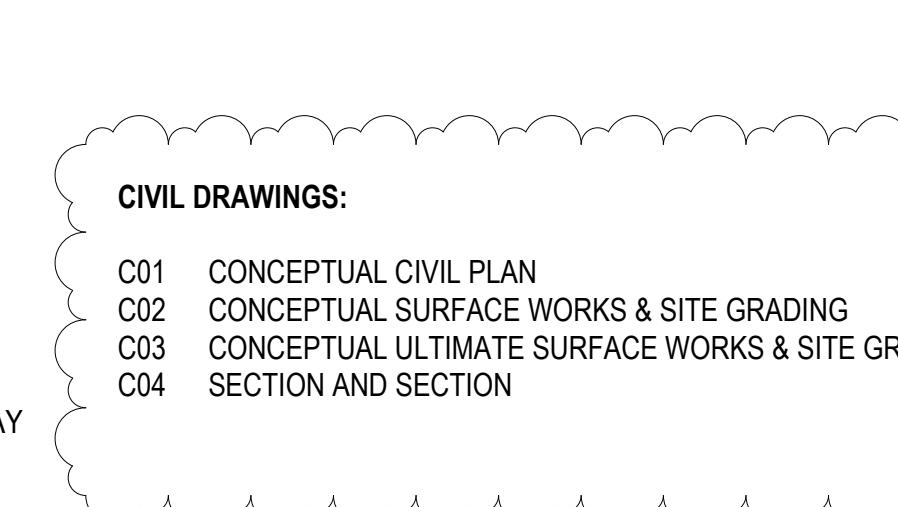
#### PROJECT TEAM

OWNER	ARCHITECTURAL	LANDSCAPE	STRUCTURAL	TRANSPORTATION
Reliance Properties	office of mcfarlane biggar architects + designers	Gauthier + Associates Landscape Architects	Read Jones Christoffersen Ltd.	WATT Consulting Group
305-111 Water St Vancouver, BC V6B 1A7 604.683.2404	301 - 1825 Quebec St Vancouver, BC V5B 2Z3 604.558.6344	629 Atlantic St Vancouver, BC V6A 2J9 604.317.9682	Suite 220-645 Tyee Road, Victoria, BC V9A 6X5 778.746.1125	302 - 740 Hillside Avenue Victoria, BC V8T 1Z4 250.208.3874
Contact Juan Pereira juanp@relianceproperties.ca	Contact Steve McFarlane smcfarlane@officemb.ca	Contact Bryce Gauthier bryce@gauthierfa.com	Contact Clint Plett cplett@rjc.ca	Contact Tania Wegwitz twegwitz@wattconsultinggroup.com
GEOTECHNICAL	MECHANICAL	ELECTRICAL	ARBORIST	CIVIL
Ryzuk Geotechnical Ltd.	Introba Group	e2 Engineering Inc.	D. Clark Arboriculture	WSP
#6-40 Cadillac Avenue Victoria, BC V8Z 1T2 250.475.3131	1515 Douglas Street, Suite 210 Victoria, BC V8W 2G4 250.418.1288	549 Herald Street Victoria, BC V8W 1S5 778.402.3060	2741 The Rise Victoria, BC V8T 3T4 250.208.1568	760 Enterprise Crescent Victoria, BC V8Z 6R4 250.475.1000
Contact Cameron Schellenberg cschellenberg@ryzuk.com	Contact Andy Chong achong@integralgroup.com	Contact Jay Singh jay.singh@e2eng.ca	Contact Daryl Clark dclarkarbor@gmail.com	Contact Jeff Somerville Jeff.Somerville@wsp.com

#### DRAWING LIST

LANDSCAPE DRAWINGS:	
A000	COVER SHEET
A001	3D VIEWS
A002	GENERAL NOTES + ABBREVIATIONS
A010	CONTEXT PLAN
A011	PROJECT INFO
A012	PUBLIC EXTERNAL VIEWS
A013	CONTEXT STREETSCAPES
A014	SHADOW ANALYSIS - EQUINOX
A015	BUILDING FORM - ZONING ENVELOPE
A016	CONTEXT SCHEMATIC VIEWS AND SECTION
A020	BUILDING CODE AND AVERAGE GRADE
A021	CODE ANALYSIS - PLANS
A022	CODE ANALYSIS - ELEVATIONS
A030	SITE PLAN EXISTING
A031	LEVEL 1 DEMOLITION/RETENTION PLAN
A032	LEVEL 2 DEMOLITION/RETENTION PLAN
A033	LEVEL 3 DEMOLITION/RETENTION PLAN
A034	LEVEL 4 DEMOLITION/RETENTION PLAN
A035	LEVEL 5 ROOF DEMOLITION/RETENTION PLAN
A036	DEMOLITION/RETENTION ELEVATIONS
A041	FSR OVERLAYS EXISTING
A042	FSR OVERLAYS PROPOSED
A100	SITE PLAN PROPOSED
A101	LEVEL 1 FLOOR PLAN
A102	LEVEL 2 FLOOR PLAN
A103	LEVEL 3 FLOOR PLAN
A104	LEVEL 4 FLOOR PLAN
A105	LEVEL 5 FLOOR PLAN
A106	LEVEL 6 FLOOR PLAN
A107	LEVEL 7-17 FLOOR PLAN
A108	LEVEL 18-20 FLOOR PLAN
A110	ROOF PLAN
A121	SLAB PLANS
A200	ELEVATION NORTH
A201	ELEVATION SOUTH
A202	EAST ELEVATION
A203	WEST ELEVATION
A300	BUILDING SECTION EAST-WEST
A301	BUILDING SECTION NORTH-SOUTH

CIVIL DRAWINGS:	
C01	CONCEPTUAL CIVIL PLAN
C02	CONCEPTUAL SURFACE WORKS & SITE GRADING
C03	CONCEPTUAL ULTIMATE SURFACE WORKS & SITE GRADING
C04	SECTION AND SECTION



**SURVEY:**  
TOPOGRAPHIC SURVEY

780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

COVER SHEET

As indicated  
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**A000**



1 AERIAL VIEW



2 BLANSHARD STREET ENTRY PLAZA



3 PENWILL GREEN PARK

omb  
office of mcfarlane biggar  
architects + designers

408D-535 Yates Street Victoria BC  
T 604 558 6344 E info@officemb.ca

RELIANCE  
PROPERTIES

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#### REVISIONS

12 Park design updated per Comment #P15. See also Landscape.

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2019-039

#### 3D VIEWS

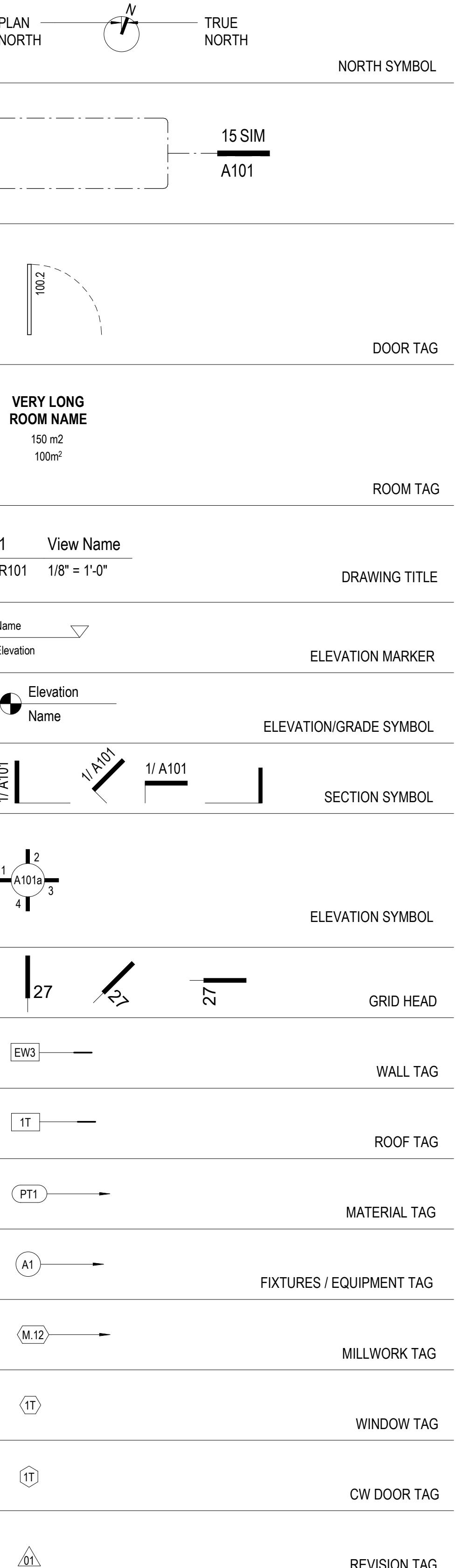
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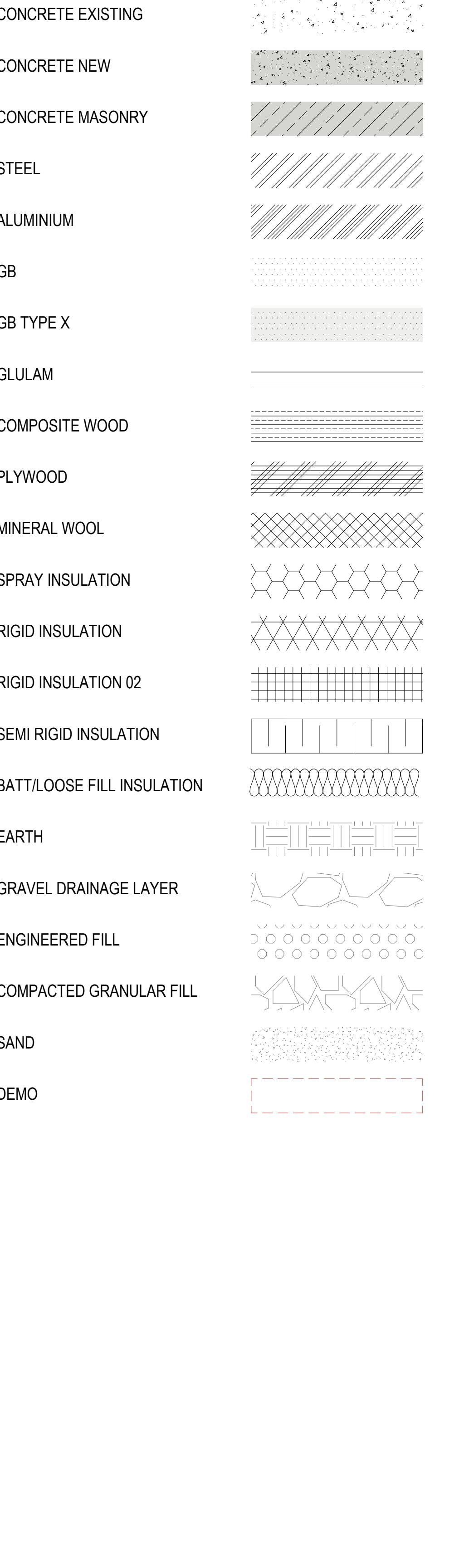
## GENERAL NOTES

- THESE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING NOTES.
- ALL SITE RELATED ELEVATIONS AND DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTOR. ELEVATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE FOR DESIGN INTENT ONLY.
- ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE BUILDING CODES.
- ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION, UNLESS OTHERWISE STATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEASURES REQUIRED BY "SAFETY AT CONSTRUCTION AND DEMOLITION SITES."
- ALL MECHANICAL & ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ETC INSTALLED ON THIS PROJECT SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. SEISMIC RESTRAINT OF LIGHTING AND MILLWORK TO BE PROVIDED. CONTRACTOR TO REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL MECHANICAL & ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
- CONTRACTOR TO ENSURE FIRE SEPARATIONS AND FIRE STOPPING ARE LOCATED AND CONSTRUCTED AS PER CODE REQUIREMENTS.
- PROVIDE GUARDS WHERE SHOWN ON THE DRAWINGS AND WHERE ADJACENT GRADE OR FLOOR LEVEL IS LOWER BY 600mm OR MORE. UNLESS OTHERWISE NOTED GUARDS TO BE 1070mm. UNLESS OTHERWISE NOTED GUARDS TO BE NON-CLIMBABLE AND TO NOT ALLOW PASSAGE OF A 100mm DIAM. SPHERE. GUARDS TO BE DESIGNED TO RESIST LOADS LISTED IN NBC 2015. REFER TO STRUCTURAL INFORMATION FOR MORE INFORMATION.
- GLAZING IN DOORS, SIDELIGHTS, AND WALLS REACHING THE FLOOR SHALL BE SAFETY GLASS AS PER BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
- GLAZING IN HANDRAILS AND GUARDRAILS NOT DETAILED BY STRUCTURAL TO BE ENGINEERED BY CONTRACTOR AND SHALL BE LAMINATED AND TEMPERED GLASS.
- ALL PRODUCTS AND SYSTEMS RELATED TO LIFE SAFETY, ALL PRODUCTS RELATED TO BUILDING ENVELOPE, AND THOSE VISIBLE WHEN CONSTRUCTION IS COMPLETE MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- DOORS IN THEIR SWING SHALL NOT REDUCE THE EFFECTIVE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750mm, MEASURED FROM THE EDGE OF THE DOOR TO THE HANDRAIL.
- PLAN DETAILS SUPERCEDE WALL TYPE DEFINITION.
- ALL DIMENSIONS ARE TO GRIDLINE, FACE OF CONCRETE, FACE OF NEW STUD WALL, FACE OF FINISHED STUD WALL, OUTSIDE FACE OF EXTERIOR WALL, UNO.
- UNLESS OTHERWISE NOTED, ALL WALL ASSEMBLIES SHALL EXTEND UP TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND BE SEALED CONTINUOUSLY FOR THE FULL LENGTH. PROVIDE FOR STRUCTURAL DEFLECTION WHERE REQUIRED.
- ALL DIMENSIONS FOR PARTITION LAYOUT, DOORS, MILLWORK, ETC. ARE TO BE SITE VERIFIED BEFORE ANY WORK BEING EXECUTED. REPORT ANY ERRORS / DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.
- ALL PARTITIONS TO BE CONTINUOUS ABOVE DOORWAYS AND WINDOW OPENINGS UNLESS DETAILED OR NOTED OTHERWISE.
- PROVIDE ALL SOLID BLOCKING REQUIRED FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND MILLWORK INCLUDING OWNER SUPPLIED EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO WALL AND CEILING FINISH INSTALLATION.
- CONTRACTOR TO PROVIDE AND COORDINATE ALL CONCEALED BLOCKING IN WALLS AND CEILING REQUIRED TO MOUNT FIXTURES, HARDWARE AND EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS AND BUILDING CODES.
- THE EXISTING BUILDING HAS BEEN CONSTRUCTED OVER EXISTING ELECTRICAL AND MECHANICAL SERVICES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SERVICES THROUGHOUT CONSTRUCTION AND TAKING ALL MEASURES NECESSARY INCLUDING HAND EXCAVATING TO ENSURE THEIR INTEGRITY IS MAINTAINED.
- THE ROUTING AND LAYOUT OF ALL SERVICES, DUCTWORK, PIPING ETC IS DIAGRAMMATIC UNO. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING ALL MATERIAL PRIOR TO INSTALLATION AND TO OFFSET AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL, ARCHITECTURAL, OR OTHER TRADES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING FINAL DRYWALL AND MILLWORK DETAILING PRIOR TO FRAMING TO ENSURE ANY REVEALS INDICATED IN DRAWINGS ARE ACHIEVABLE.

## SYMBOLS LEGEND



## HATCHES



## ABBREVIATIONS

& / + AND	OC ON CENTRE
@ AT	OD OUTSIDE DIMENSION
# NUMBER	OH OVER HEAD
± PLUS/MINUS	OP OPERABLE PARTITION
	OPP OPPOSITE
	OV OVEN
AFF ABOVE FINISHED FLOOR	PA PUBLIC ADDRESS SPEAKER
AL/ALUM ALUMINUM	PLY PLYWOOD
APPROX/APPROMIXATE(LY)	PL PROPERTY LINE
ARCH ARCHITECTURAL	PT PAINT
BCBC BRITISH COLUMBIA BUILDING CODE	PTD PAINTED
BLDG BUILDING	PTN PARTITION
BO BOTTOM OF	
BOH BACK OF HOUSE	
C/W COMPLETE WITH	RD ROOF DRAIN
CB CATCH BASIN	REQ'D REQUIRED
CIP CAST IN PLACE	REV REVISION OR REVERSE
CJ CONTROL JOINT	RM ROOM
CL CENTRE LINE	RO ROUGH OPENING
CO CLEAN OUT	RVL REVEAL
COMM COMMUNICATION	RWL RAIN WATER LEADER
CON CONCRETE	SC SIAMESE CONNECTION
CONT CONTINUOUS	SCHED SCHEDULE
CPT CARPET	SCWD SOLID CORE WOOD DOOR
CTR CENTRE	SECT SECTION
DBL DOUBLE	SH SHELF
DET DETAIL	SP SPRINKLER
DEMO DEMOLITION	SPEC SPECIFICATION
DF DRINKING FOUNTAIN	SQ SQUARE
DIA DIAMETER	SQ FT SQUARE FEET
DIM DIMENSION	SQ M SQUARE METRES
DN DOWN	SS STAINLESS STEEL
DWG DRAWING	SSG STRUCTURALSILICONE GLASS
DR DOOR	ST STAIR
DRW DRAWER	STD STANDARD
DW DISHWASHER	STL STEEL
	STOR STORAGE
	STRU STRUCTURAL
	SUSP SUSPENDED
EA EACH	TBC TO BE CONFIRMED
EJ EXPANSION JOINT	TBD TO BE DETERMINED
EL ELEVATION	TD TRENCH DRAIN
ELEC ELECTRICAL	T&G TONGUE AND GROOVE
EMER EMERGENCY	TL TILE
ELEV ELEVATOR	TO TOP OF
ENCL ENCLOSURE	TOC TOP OF CURB/CONCRETE
EQ EQUAL	TOF TOP OF FINISH
EQUIP EQUIPMENT	TOFF TOP OF FINISHED FLOOR
EXIST EXISTING	TOS TOP OF STRUCTURE
EXP EXPOSED	TOW TOP OF WALL
EXT EXTERIOR	TYP TYPICAL
FA FIRE ALARM	UNO UNLESS NOTED OTHERWISE
FD FLOOR DRAIN	U/S UNDERSIDE
FF FINISHED FLOOR	UH UTILITY HOLE
FHC FIRE HOSE CABINET	VBBL VANCOUVER BUILDING BYLAW
FIN FINISHED(ED)	VERT VERTICAL
FLR FLOOR	VEST VESTIBULE
FND FOUNDATION	VIF VERIFY IN FIELD
FO FACE OF	WC WATER CLOSET
FP FALL PROTECTION	WD WOOD
FR FRIDGE	WRHS WAREHOUSE
FRR FIRE RESISTANCE RATING	WH WAREHOUSE
FT FOOT or FEET	WV WOOD VENEER
	W/ WITH
	W/O WITHOUT
G/L GRIDLINE	
G1S GOOD ONE SIDE	
G2S GOOD TWO SIDES	
GA GAUGE	
GALV GALVANIZED	
GL GLASS or GLAZED	
GR GRADE	
GRND GROUND	
GB GYPSUM BOARD	
HB HOSE BIB	
HCWD HOLLOW CORE WOOD DOOR	
HDWR HARDWARE	
HPDL HIGH PRESSURE DECORATIVE LAMINATE	
HORIZ HORIZONTAL	
HT HEIGHT	
INSUL INSULATION	
INT INTERIOR	
JC JANITOR CLOSET	
JT JOINT	
LAM LAMINATE / LAMINATED	
LS LAMP STANDARD	
LT LIGHT	
MAT MATERIAL	
MAX MAXIMUM	
MC METAL CLADDING	
MECH MECHANICAL	
MET METAL	
MFR MANUFACTURER	
MIN MINIMUM	
MIR MIRROR	
MISC MISCELLANEOUS	
MTD MOUNTED	
MUL MULLION	
MW MICROWAVE	
N/A NOT APPLICABLE	
NBC NATIONAL BUILDING CODE	
NIC NOT IN CONTRACT	
NOM NOMINAL	
NTS NOT TO SCALE	



DATE	REV	DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION
2024-02-21	2	HAP & RZ RESUBMISSION 02

## REVISIONS

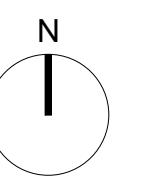
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780 Blanshard Street, Victoria, BC  
2019-039

GENERAL NOTES +  
ABBREVIATIONS



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## REVISIONS



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
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## CONTEXT PLAN

1:1000

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## PROJECT INFORMATION TABLE

	Existing	Permitted / Required	Proposed	Notes
<b>Zone</b>	CBD-1	-	New Zone	
<b>Site Area</b>	2,272 m <sup>2</sup> / 24,460 ft <sup>2</sup>	-	-	
<b>Site Coverage</b>	46%	-	45%	
<b>Open Site Space</b>	43%	-	51%	
<b>Height of building</b>	15.01 m	43 m	64.18 m	
<b>Number of Storeys</b>	4	-	20 (4 Existing + 16 Addition)	
<b>Parking Stalls</b>	6	 99 stalls 111	2 on-site + 25 off-site stalls	See detail tables and Parking & TDM Study and Traffic Impact Assessment from WATT Consulting Group for details on traffic impacts, vehicle parking demand management, transit improvements, and active transportation measures.
<b>Bicycle parking number (class 1)</b>	0		161	
<b>Bicycle parking number (class 2)</b>	8	14	29	

#### **VEHICLE PARKING**

FOR MORE DETAILED INFORMATION ON VEHICLE PARKING AND TRANSPORTATION DEMAND MANAGEMENT MEASURES, SEE PARKING & TDM STUDY FROM WATT CONSULTING GROUP

## BICYCLE PARKING

FOR MORE DETAILED INFORMATION ON BICYCLE PARKING AND TRANSPORTATION DEMAND MANAGEMENT MEASURES, SEE PARKING & TDM STUDY FROM WATT CONSULTING GROUP

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2024-02-2

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## FLOOR AREA + UNITS SUMMARY

- RESIDENTIAL USE
  - Horizontal Stall (Standard Size)
  - Horizontal Stall (Cargo Size)
  - Vertical Stall
  - Stacked Stall (Lower Tier)

Stacked Stall (Upper Tier)
<b>Total Residential</b>
<b>HOTEL + CAFÉ USE</b>
Horizontal Stall (Standard Size)
Horizontal Stall (Cargo Size)
<b>Total Hotel + Café</b>
<b>SHARED USE</b>
Building Ebikes
Horizontal Stall (Standard Size)‡
Horizontal Stall (Cargo Size)‡
<b>Total Shared</b>

**NOTES**

- \* From Victoria Zoning Bylaw 2018, Part 5 Requirements for Motor Vehicle and Bicycle Parking
- † Rounded to nearest full stall
- ¤ All long-term stalls to have access to outlets for ebike charging
- ‡ Some stalls electrified for ebike charging; see A100 for details

## REVISIONS

3 Hotel planning updated to reflect design aligned with needs of operating partner. Space planning updated on Level 01 to Level 05 show new room, common spaces, food and beverage, and service space layouts, including some adjustment to residential support space on those levels.

- 4 Count updated to align with commitment letter from eBike operator and TDM Study.
- 5 Minor change to reflect new bicycle parking design base on revised interior layout.
- 6 These values were reversed in the previous submission and have been corrected.
- 7 Short term bicycle parking revised based on updated hotel program.

and revised frontage and park designs. Refer to Landscape and A10 for additional information.

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2019-039

## PROJECT INFO



The proposal as seen from View 1: Laurel Point to Downtown Core Area.

In View 1 from Laurel Point, the proposal helps to establish the anticipated CBD backdrop articulated in the DCAP at the boundary between the Historic Commercial District and the Inner Harbour Causeway area, creating a multilayered and tiered urban profile. It contributes to this backdrop with a reserved material palette and regular fenestration pattern, allowing the richly detailed facades of the historic building stock to maintain prominence. The slim massing of the tower maximizes the sky view and preserves the legibility of the Empress Hotel's roofline. By preserving the scale and character of the existing BC Power Commission Building as a podium, the proposal also helps maintain a massing and proportion that is compatible with the surrounding context at street level.

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#### REVISIONS



The proposal as seen from View 2: Inner Harbour from Songhees Point.

In View 2 from Songhees Point, the proposal is visible at the northern extent of this view as a backdrop to the Empress Hotel and the Customs House in a cluster of other tall contemporary buildings. It contributes to the anticipated stepped urban backdrop that helps frame the historic buildings along the Inner Harbour Causeway. The profile of the proposal is simple and quiet, allowing the variegated roofline of the Empress Hotel to remain legible and prominent. The facade is crafted from high quality materials that complement the surrounding context while remaining distinguishable and contemporary. The slim massing creates a unique fixture in the skyline, while the refined fenestration and balcony pattern does not detract from the prominence of the many important landmarks along the Inner Harbour Causeway.

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#### PUBLIC EXTERNAL VIEWS

#### Public External Views

The proposed addition appears in two of the public external views of downtown identified in DCAP Appendix 2. Visualizations of the proposal from the View 1: Laurel Point to Downtown Core Area and View 2: Inner Harbour from Songhees Point are shown below.

Additional visualizations and analysis of shadowing, near and distant perspective views, and the impact of the proposed addition on the existing views from two nearby high rise residential developments are included in the Large Project Supplementary Information Booklet.



1 STREETSCAPE ALONG BLANSHARD STREET

A013 N.T.S.

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## REVISIONS



2 STREETSCAPE ALONG FAIRFIELD ROAD

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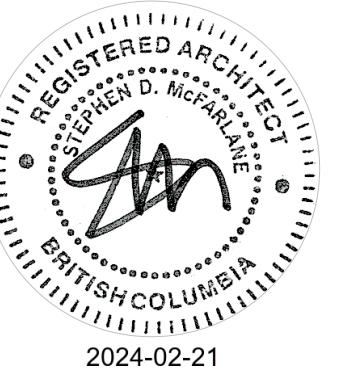
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## CONTEXT STREETSCAPES

N.T.S.

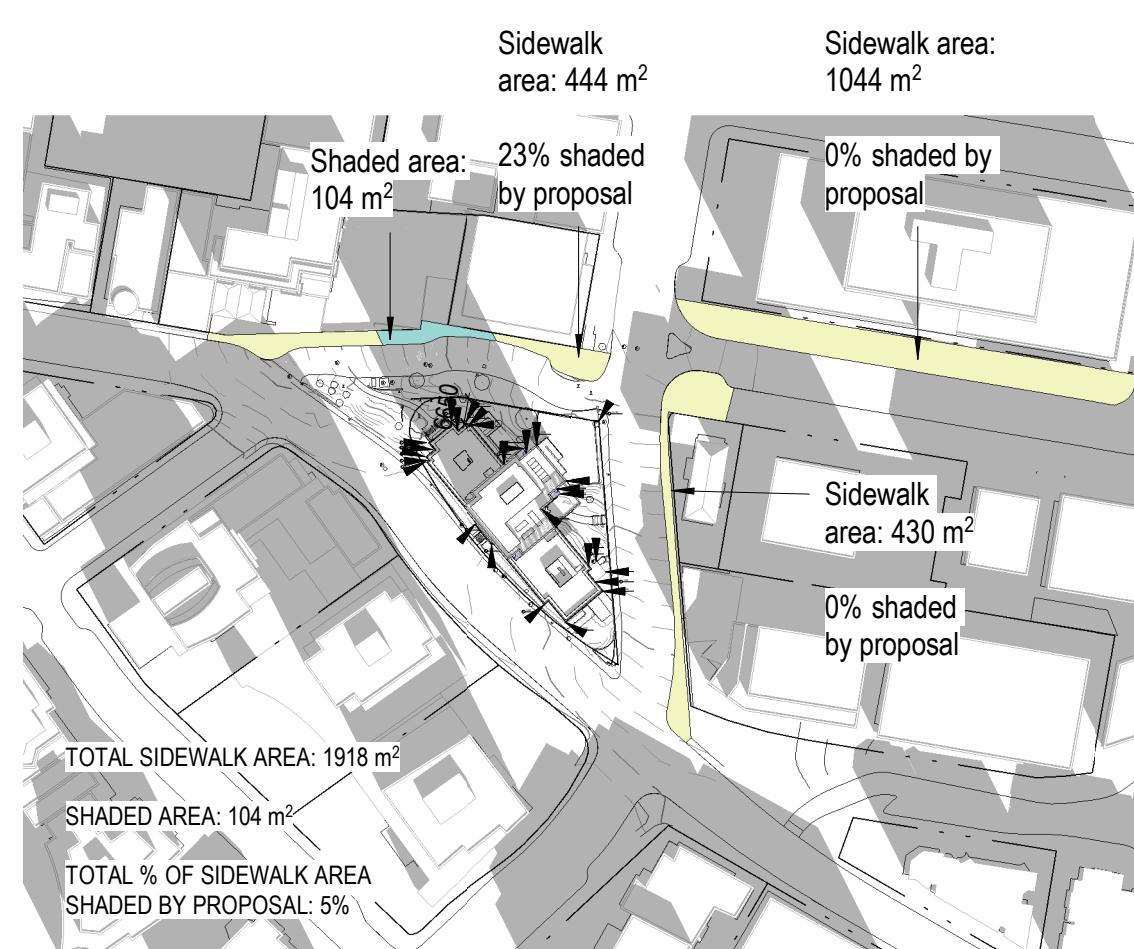
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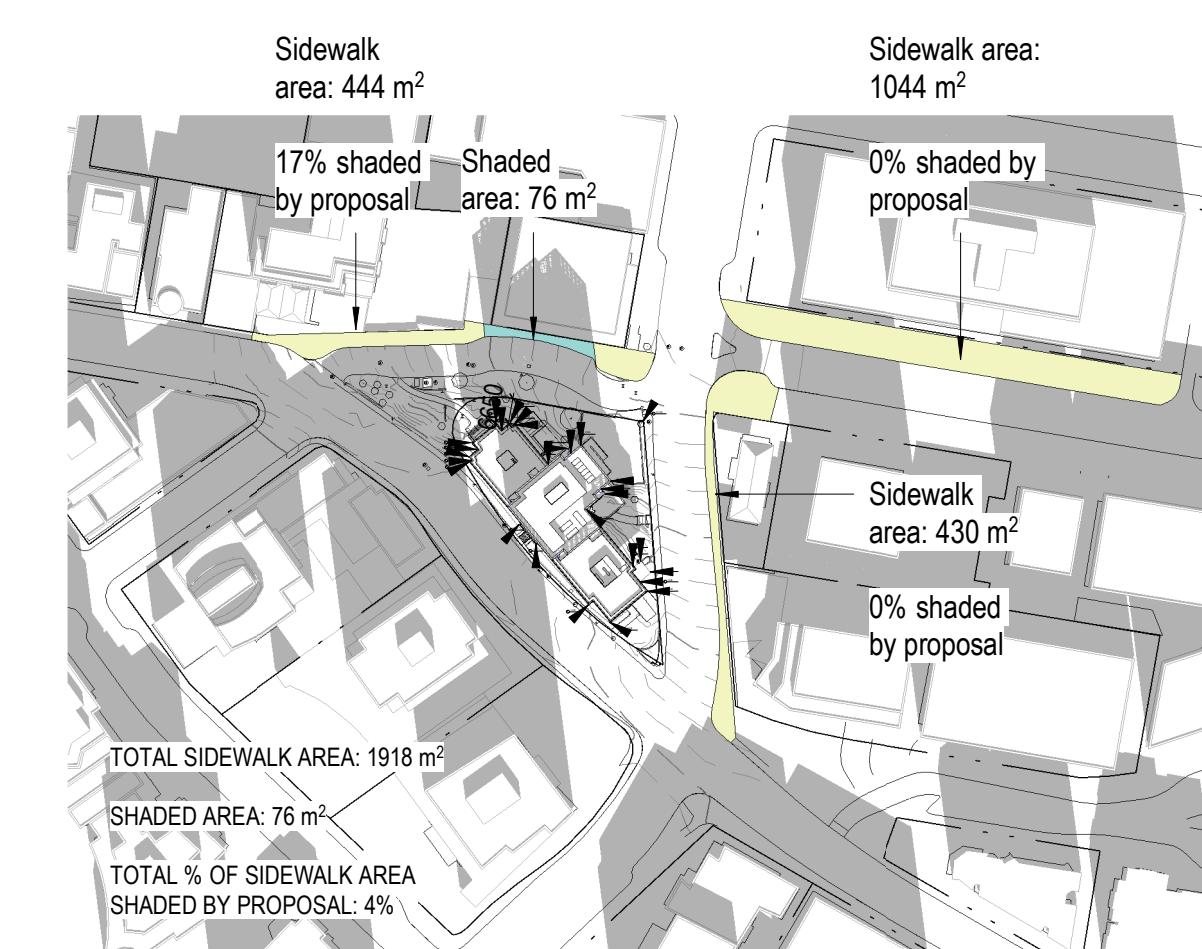
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2 Shadow Analysis - Proposed - Equinox 11am



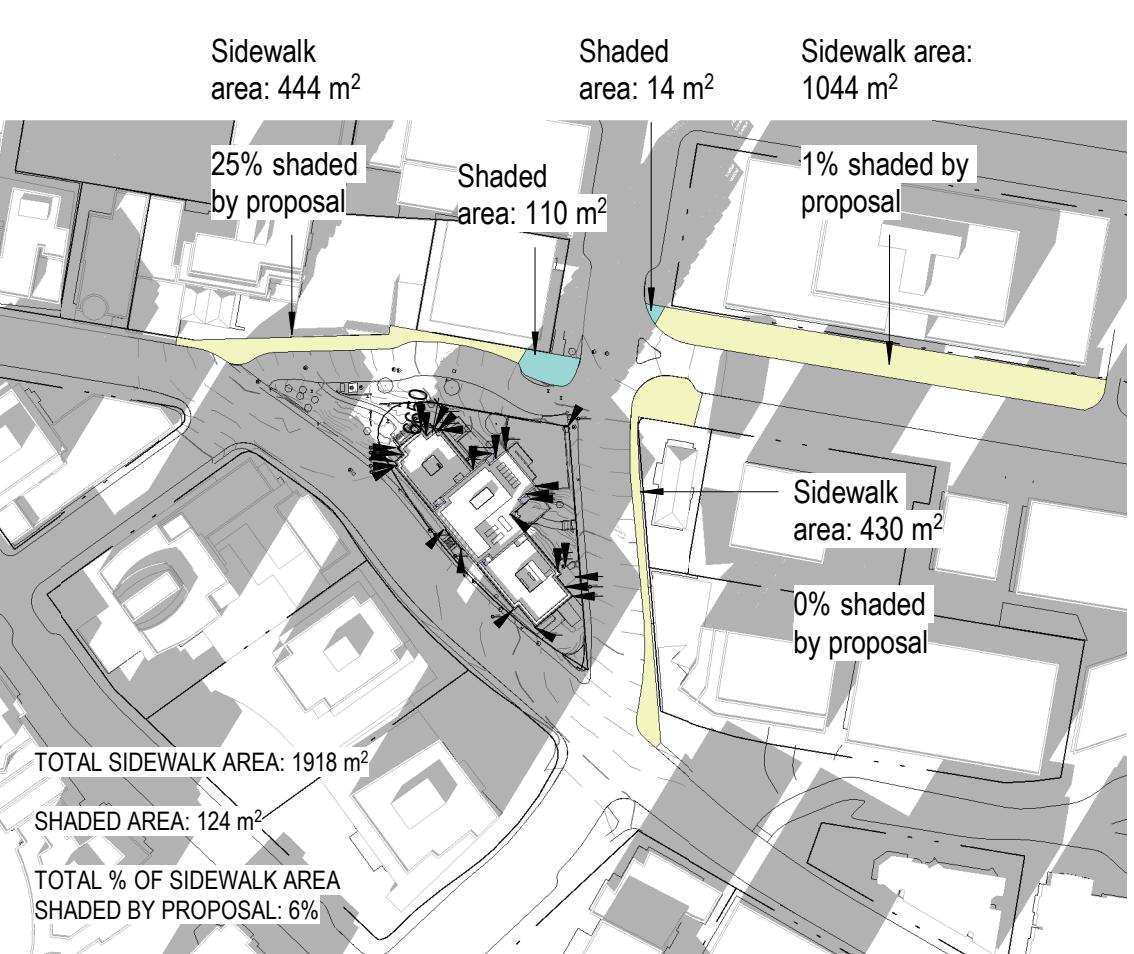
3 Shadow Analysis - Proposed - Equinox 12pm



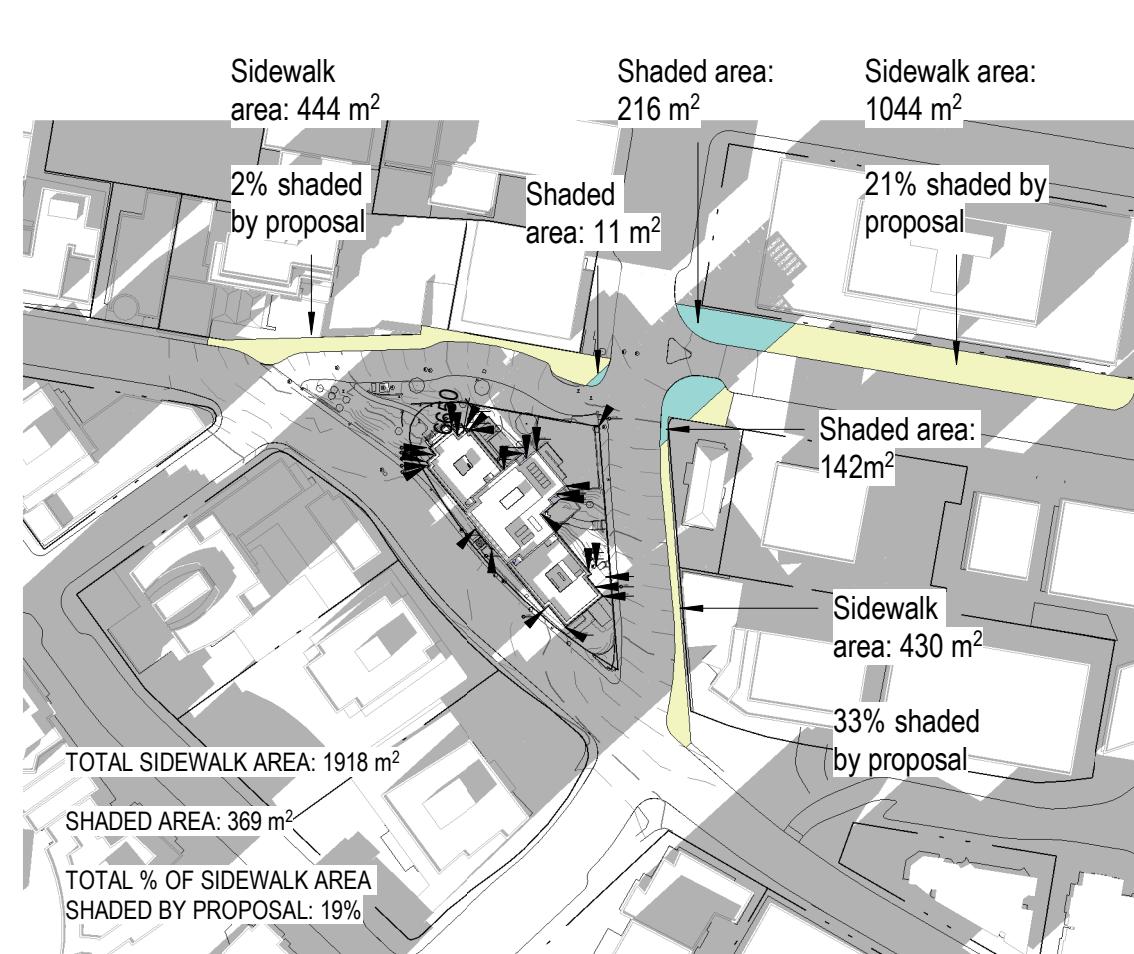
4 Shadow Analysis - Proposed - Equinox 1pm



5 Shadow Analysis - Proposed - Equinox 2pm



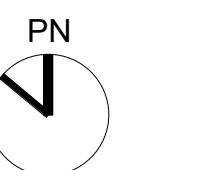
6 Shadow Analysis - Proposed - Equinox 3pm



7 Shadow Analysis - Proposed - Equinox 4pm

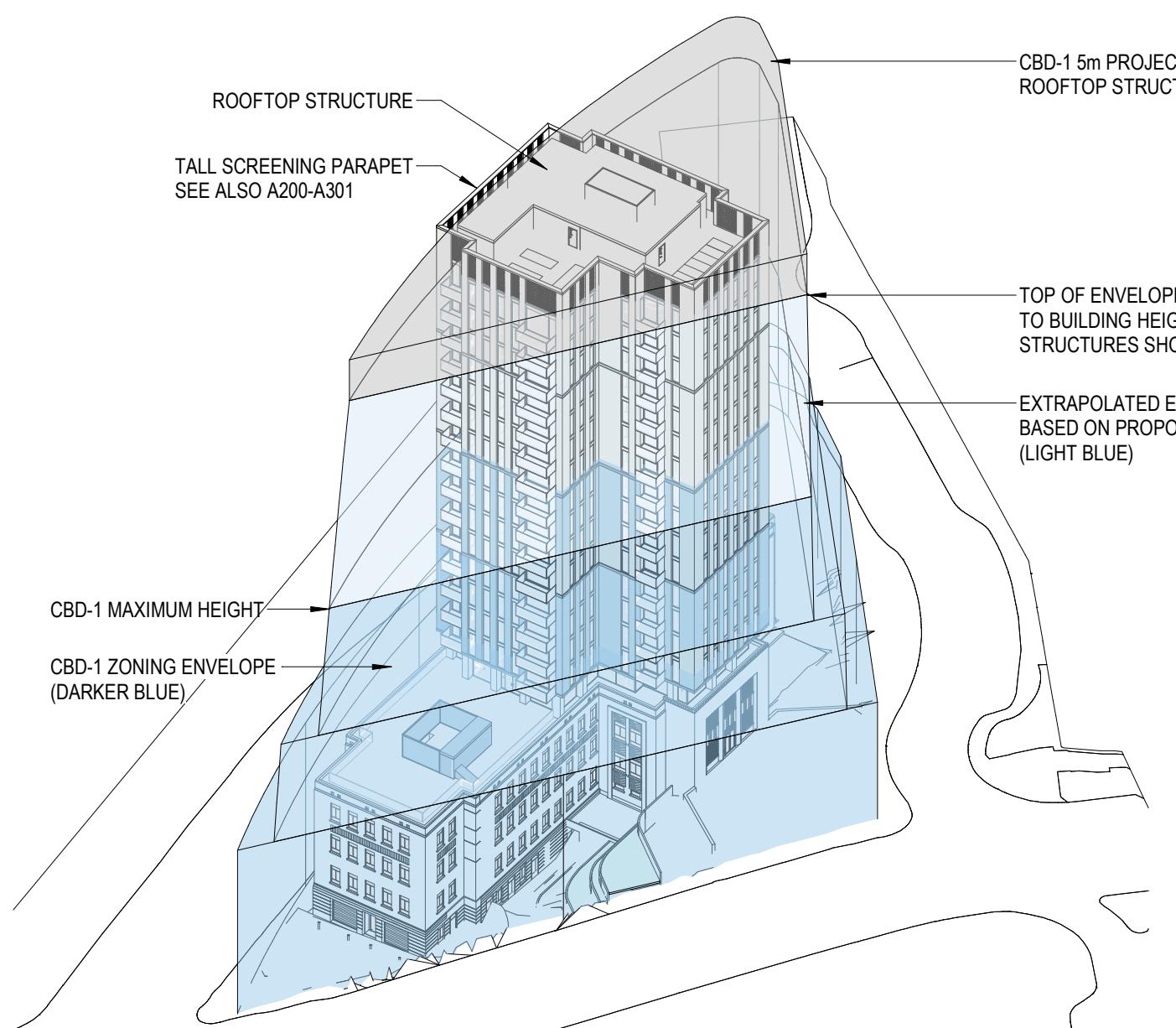
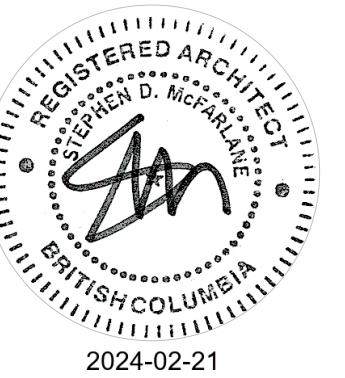
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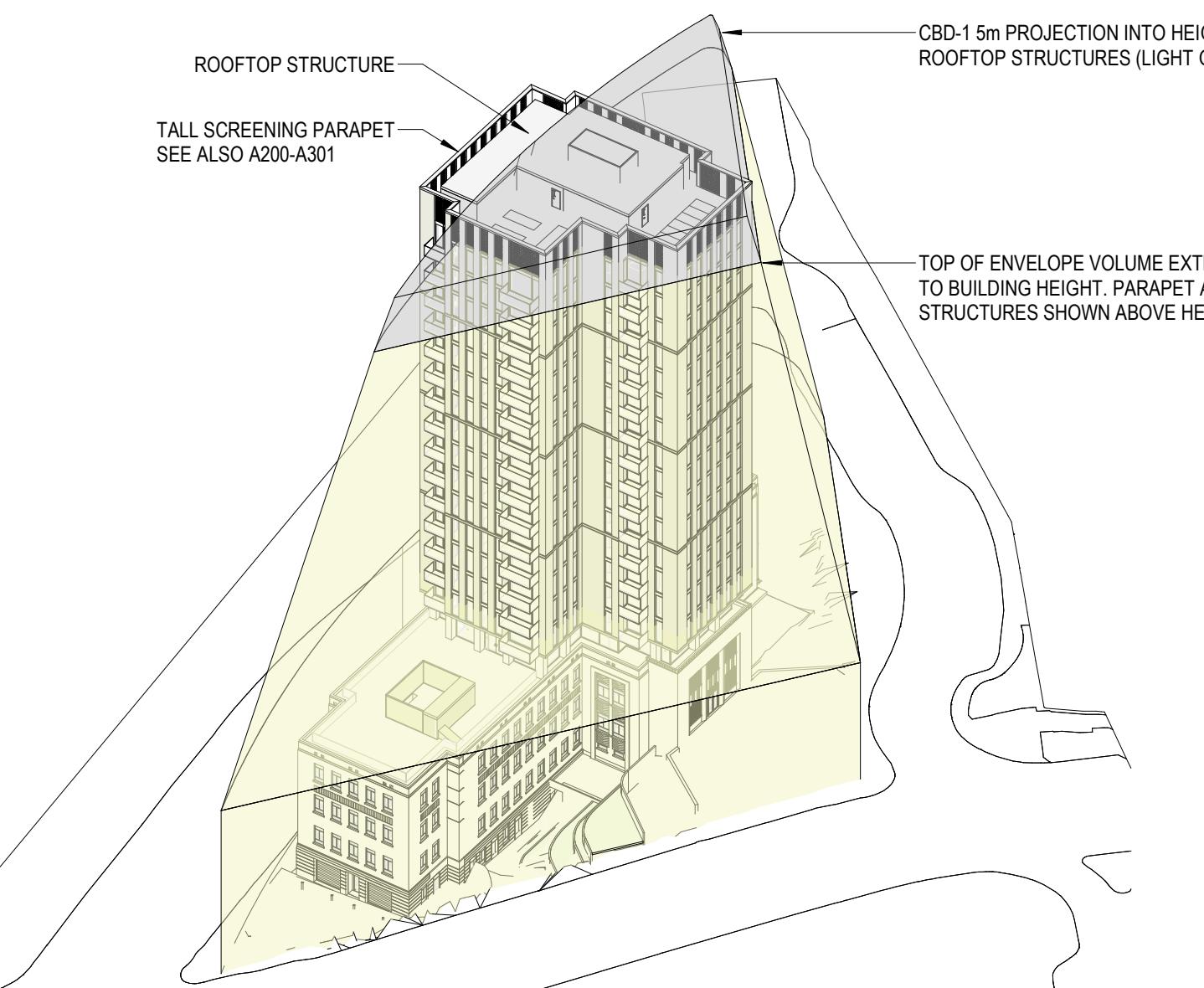
SHADOW ANALYSIS - EQUINOX

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A014



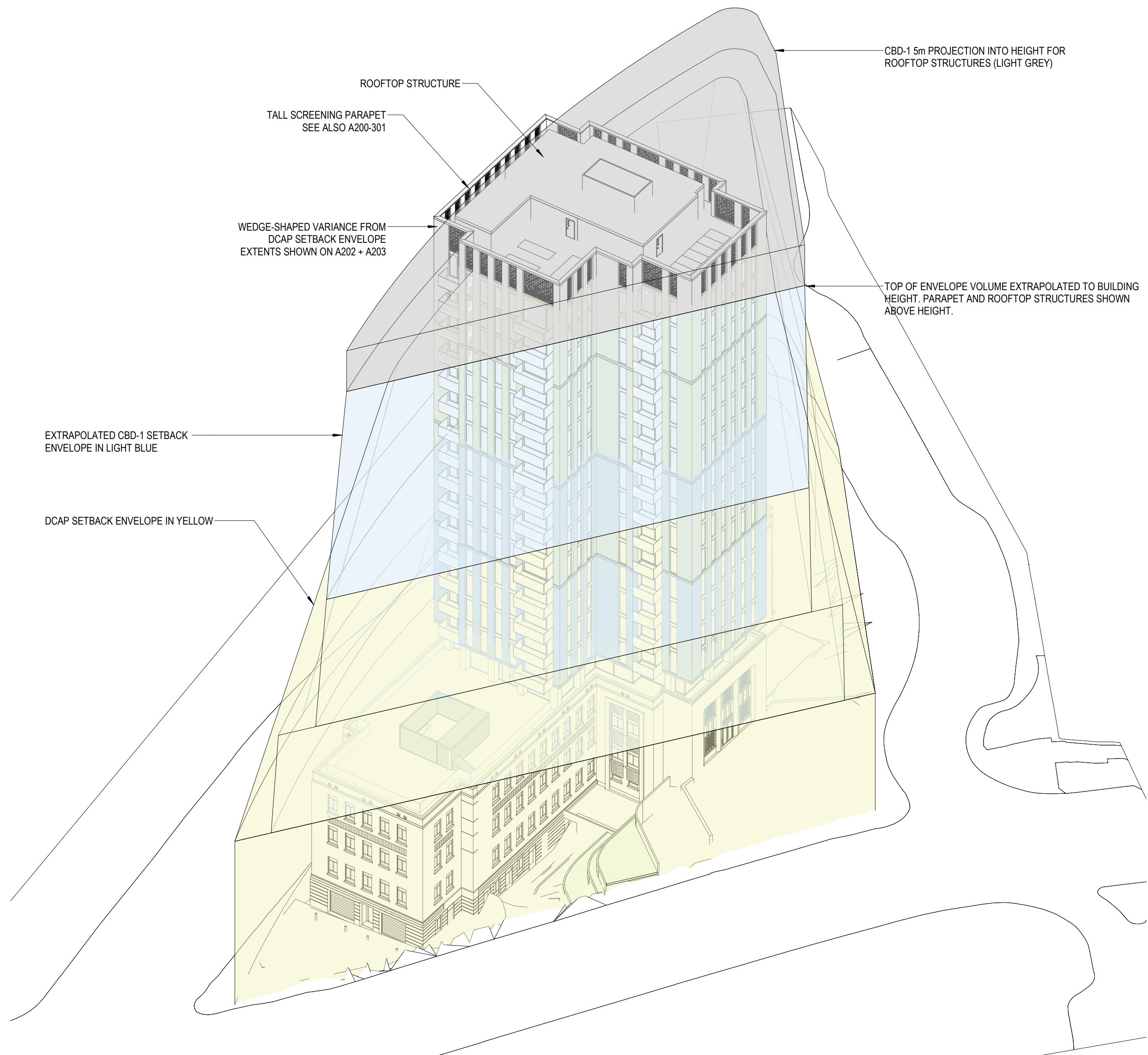
3 Axonometric View of CBD-1 Setback Envelope

A015



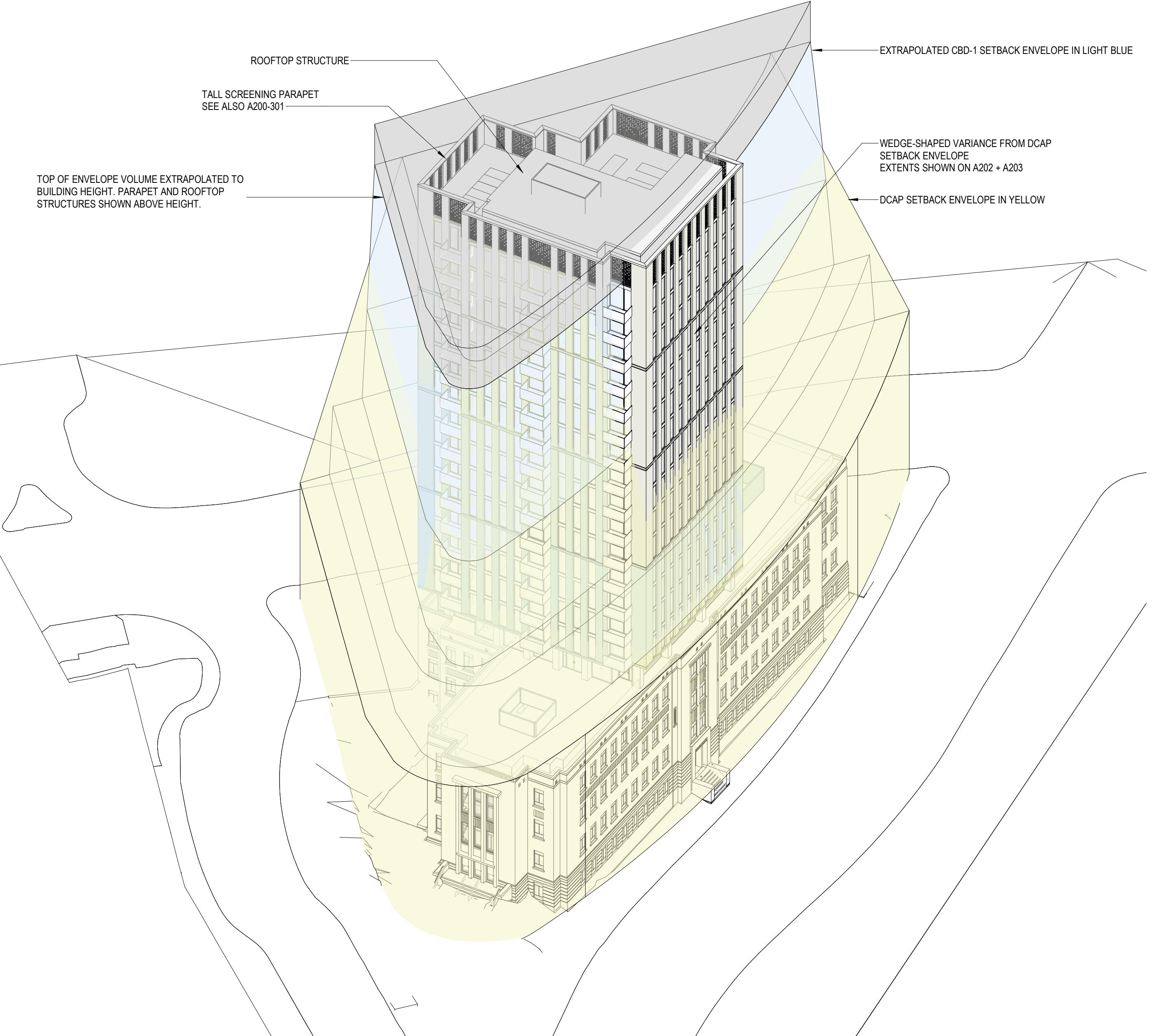
4 Axonometric View of DCAP Setback Envelope

A015



1 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (East)

A015



2 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (West)

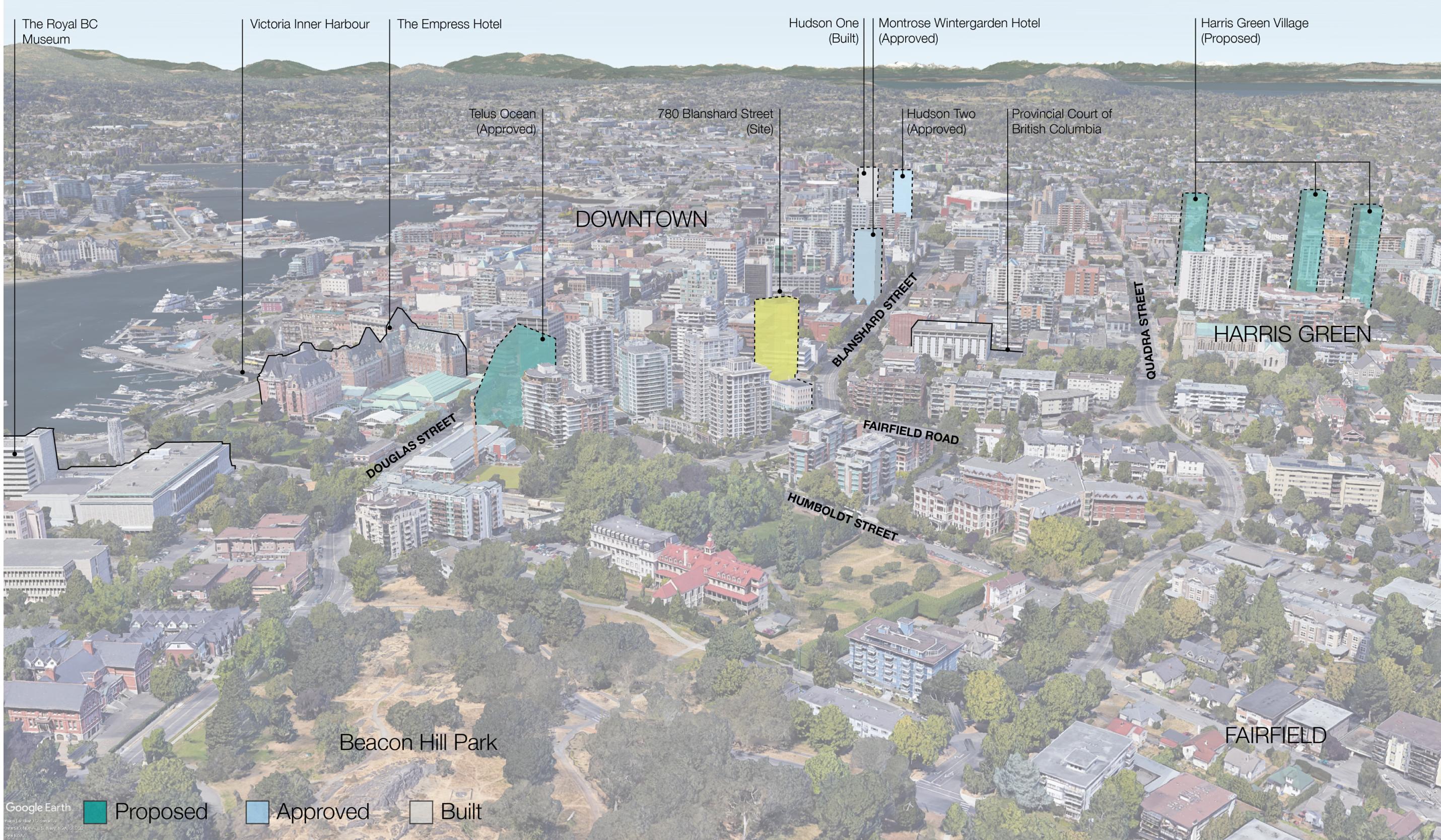
A015

DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
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2024-02-21	5	HAP & R2 RESUBMISSION 02

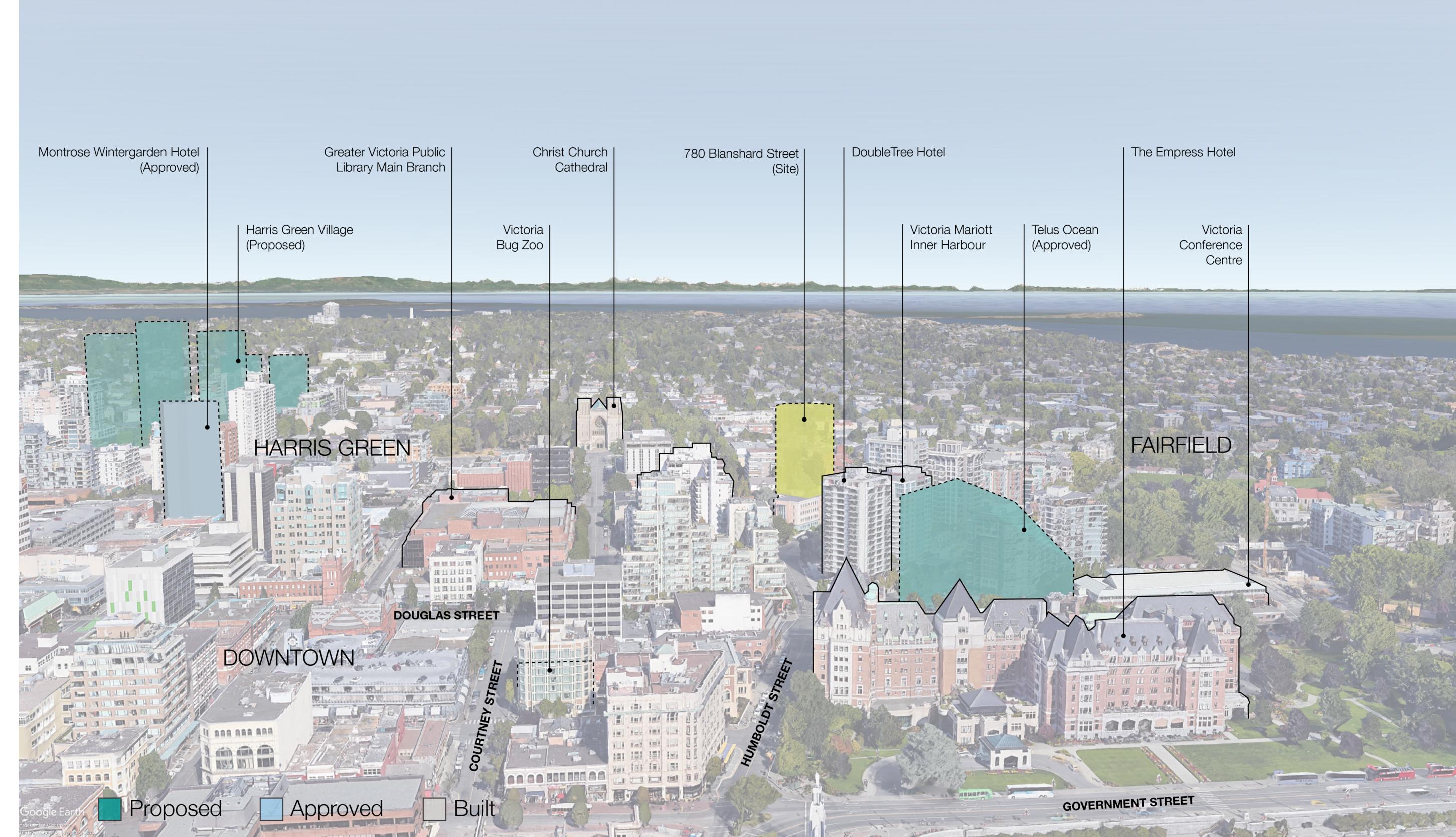
## REVISIONS

780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

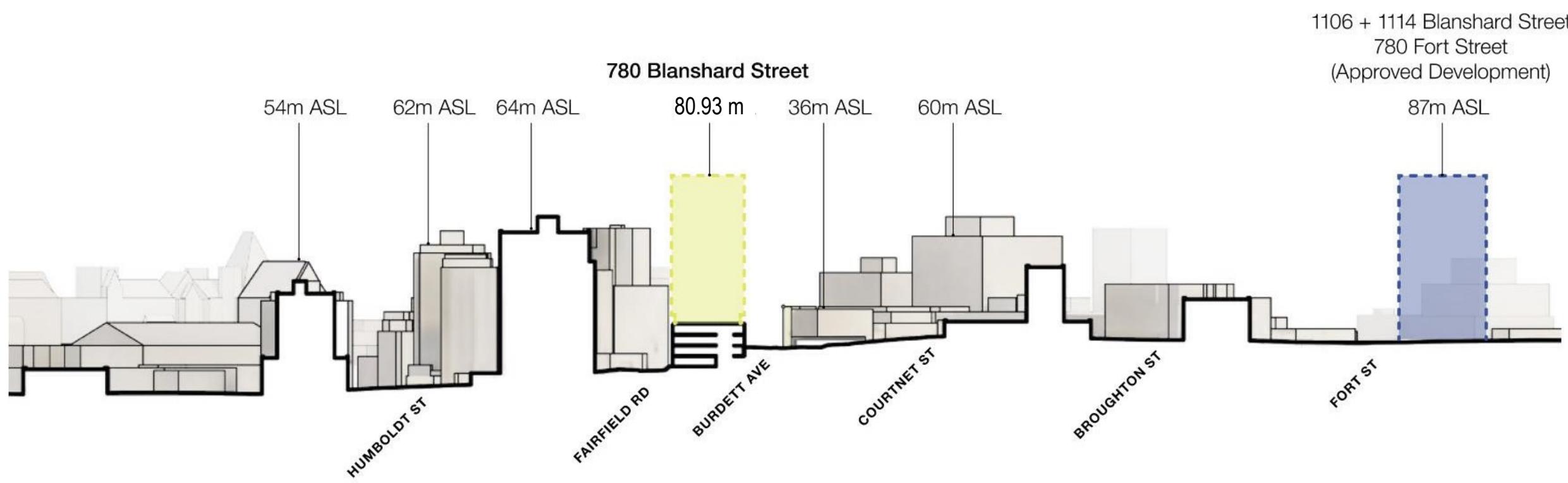
BUILDING FORM - ZONING  
ENVELOPE



1 VIEW TO SITE ABOVE BEACON HILL



2 VIEW TO SITE LOOKING EAST ABOVE HARBOUR



3 CONTEXT SECTION - SOUTH TO NORTH FACING WEST

omb

office of mcfarlane biggar  
architects + designers

408D-535 Yates Street Victoria BC  
T 604 558 6344 E info@officemb.ca

RELIANCE  
PROPERTIES

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REVISIONS

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

CONTEXT SCHEMATIC VIEWS  
AND SECTION

As indicated

2024-02-21 14:45:52 PM  
A016

## BUILDING CODE ANALYSIS

SEE ALSO OUTLINE CODE REPORT BY GHL CONSULTANTS

### PROJECT INFORMATION

	Renovation and Addition	BCBC Reference	Notes
Project Type	Renovation and Addition		
Governing Building Code	BC Building Code 2018		
Major Occupancies	Group C	3.1.2.1	Hotel and residential tower share a major occupancy. Dining, fitness centre, and amenity spaces are subsidiary occupancies which are integral to the principal occupancy.
Building Area	1038 m <sup>2</sup>	1.4.1.2	Outside face of exterior walls (existing heritage building)
Grade	14.86 m	1.4.1.2	BCBC Grade differs from City of Victoria Average Grade. BCBC Grade is the average along the lowest building face (along Fairfield Road). (14.88 m + 14.84 m) / 2 = 14.86 m
Building Height	20 storeys	1.4.1.2	
High Building	Yes	3.2.6.1	

### BUILDING FIRE SAFETY + CONSTRUCTION CLASSIFICATION

Classification	Group C, Any Height, Any Area, Sprinklered	3.2.2.47	
Maximum Building Area	Unlimited	3.2.2.47	
Number of Streets Facing	3	3.2.2.10	
Construction Types Permitted	Noncombustible	3.2.2.47	
Interconnected Floor Space	Yes	3.2.8	

### EXITS FROM FLOOR AREAS

Number of Exits Required	2	3.4.2.1	
Separation of Exits (Min.)	One half of diagonal floor area, but need not be more than 9 m	3.4.2.3	All floor areas served by public corridors
Maximum Travel Distance Allowed	45 m	3.4.2.5	Measured from suite egress door into public corridor (3.4.2.4)

### FIRE RESISTANCE RATINGS

Floor Assemblies	2 h	3.2.2.47	
Roofs	N/A	3.2.2.47	
Occupied Roofs	2 h	3.2.2.13	
Mezzanines	1 h	3.2.2.47	
Exits	2 h	3.4.4.1	
Between Suites	1 h	3.3.1.1, 3.3.4.2	
Between Suites and Public Corridors	1 h	3.3.4.2, 3.2.6.5	Elevator access directly to corridor
Elevator Hoistways	2 h	3.5.3.1	
Service Spaces Containing Emergency Equipment	1 h	3.2.7.10	
Rooms Containing Fire Alarm Equipment	1 h	3.2.7.10	
Generator Room and Fuel Tank	2 h	3.6.2.8	
Electrical Equipment Room (sprinklered)	1 h	3.6.2.1	
Electrical Equipment Vault (unsprinklered)	2 h	NFPA 13	
Vertical Service Spaces	1 h	3.6.3.1	

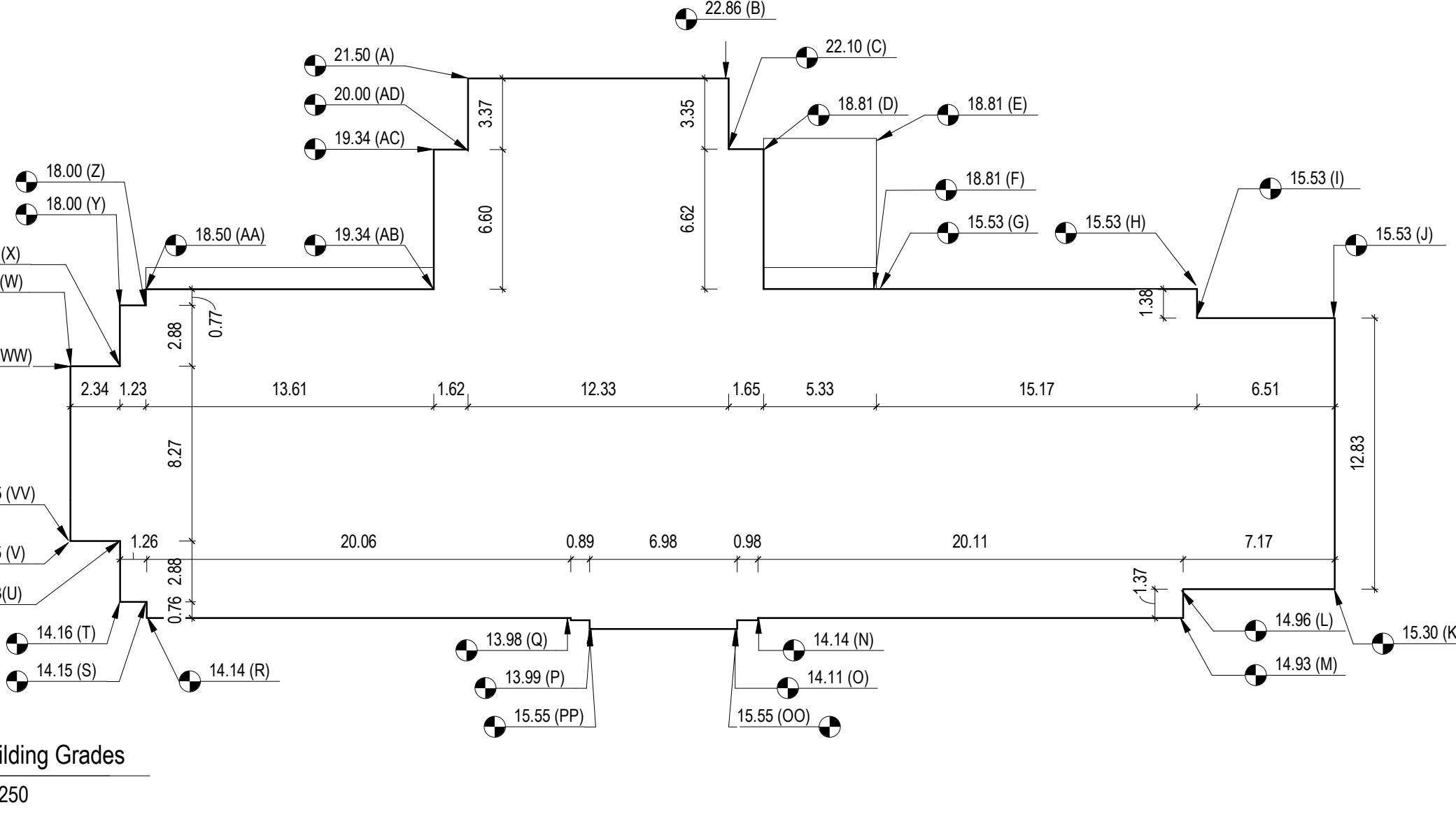
### SPATIAL SEPARATION

Table 3.2.3.1-D  
Unprotected Opening Limits for a Building or Fire Compartment that Is Sprinklered Throughout  
Forming Part of Article 3.2.3.1.

Exposing Face	Area of Unprotected Opening for Groups A, B, C, D and F, Division 3 Occupancies, %											
	Limiting Distance, m											
Max. Area, m <sup>2</sup>	0	1.2	1.5	2.0	2.5	3	4	5	6	7	8	9
10	0	16	24	42	66	100						
15	0	16	20	34	50	74	100					
20	0	16	20	30	42	60	100					
25	0	16	18	26	38	52	90	100				
30	0	14	18	24	34	46	78	100				
40	0	14	16	22	30	40	64	96	100			
50	0	14	16	20	28	36	56	82	100			
60	0	14	16	20	26	32	50	72	98	100		
80	0	14	16	18	22	28	42	58	80	100		
100	0	14	16	18	22	26	36	50	68	88	100	
150 or more	0	14	14	16	20	22	30	40	52	66	82	100

### NOTE:

THE EXISTING BUILDING AND PROPOSED ADDITION WILL CONTAIN GROUP A AND C OCCUPANCIES AND WILL BE SPRINKLERED THROUGHOUT. AS SUCH, SPATIAL SEPARATION REQUIREMENTS WILL BE GOVERNED BY BCBC 2018 TABLE 3.2.3.1-D UNPROTECTED OPENING LIMITS FOR A BUILDING OR FIRE COMPARTMENT THAT IS SPRINKLERED THROUGHOUT. ACCORDING TO THE TABLE, AT A LIMITING DISTANCE OF 9 M OR GREATER, THE AREA OF UNPROTECTED OPENINGS IS PERMITTED TO BE 100%. THIS UNIQUE SITE FACES THREE STREETS AND IN ALL CASES HAS LIMITING DISTANCES THAT ARE AT LEAST 9 M. THEREFORE, ALL ELEVATIONS OF THE BUILDING WILL BE PERMITTED TO HAVE AN AREA OF UNPROTECTED OPENINGS OF 100%. THE ACTUAL PERCENTAGE OF UNPROTECTED OPENINGS AT THE EXISTING BUILDING AND THE PROPOSED ADDITION ARE SUBSTANTIALLY LOWER AND WILL BE IN COMPLIANCE WITH SPATIAL SEPARATION REQUIREMENTS.

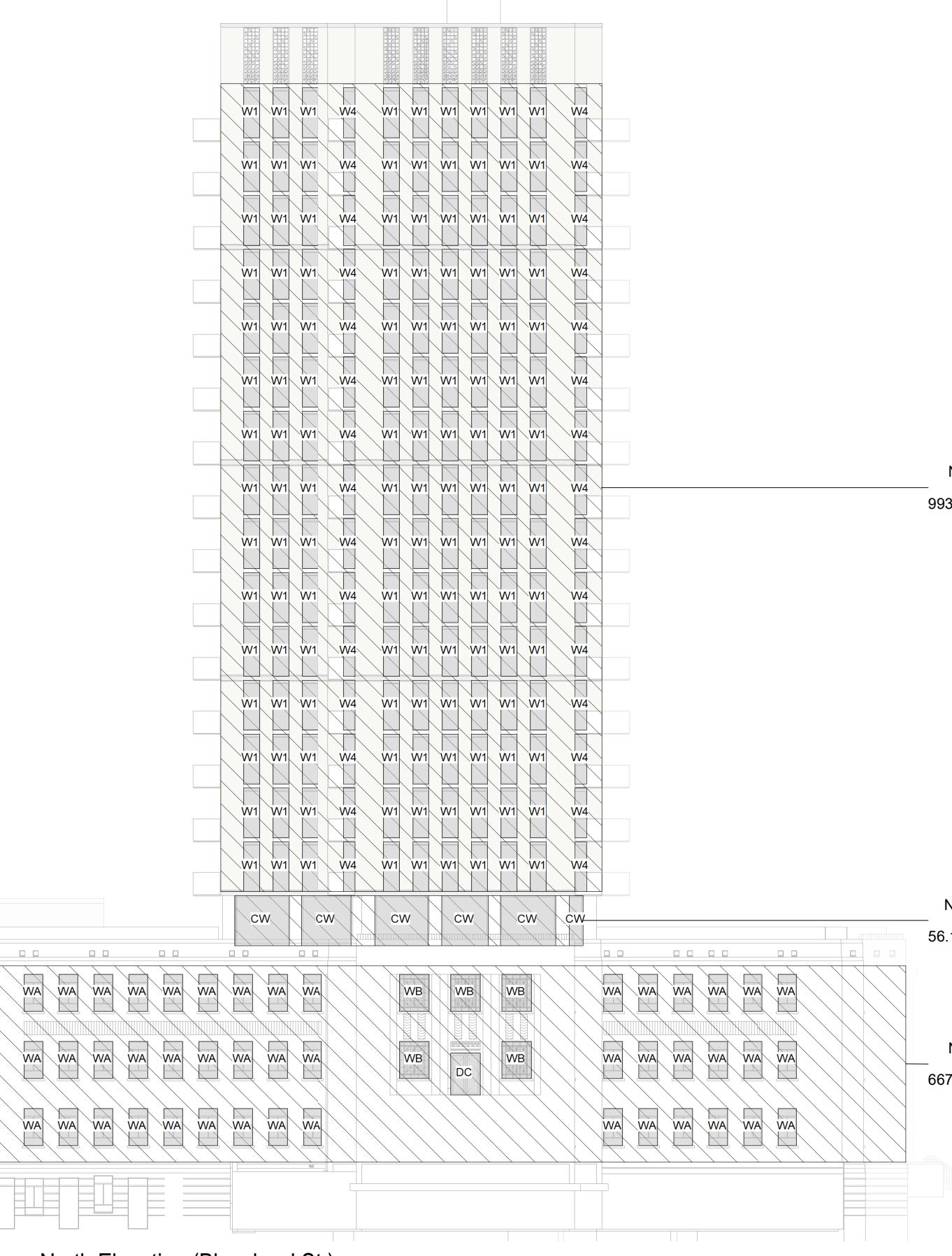


### AVERAGE GRADE CALCULATION

Grade Points	Elev (m)	Point Pair	Distance Btw Points (m)	Average Grade Calculation					
				Point Pair	Point 1	Point 2	Average	Distance	Total
A	21.50	A & B	12.33	A & B	21.50	22.86	22.18	12.33	273.48
B	22.86	B & C	3.35	B & C	22.86	22.10	22.48	3.35	75.31
C	22.10	C & D	1.65	C & D	22.10	18.81	20.46	1.65	33.75
D	18.81	D & E	5.33	D & E	18.81	18.81	18.81	5.33	100.26
E	18.81	E & F	6.62	E & F	18.81	18.81	18.81	6.62	124.52
F	18.81	F & G	0.00	F & G	18.81	15.53	17.17	0.00	0.00
G	15.53	G & H	15.17	G & H	15.53	15.53	15.53	15.17	235.59
H	15.53	H & I	1.38	H & I	15.53	15.53	15.53	1.38	21.43
I	15.53	I & J	6.51	I & J	15.53	15.53	15.53	6.51	101.10
J	15.53	J & K	12.83	J & K	15.53	15.30	15.42	12.83	197.77
K	15.30	K & L	7.17	K & L	15.30	14.96	15.13	7.17	108.48
L	14.96	L & M	1.37	L & M	14.96	14.93	14.95	1.37	20.47
M	14.93	M & N	20.11	M & N	14.93	14.14	14.54	20.11	292.30
N	14.14	N & O	0.98	N & O	14.14	14.11	14.13	0.98	13.84
O	14.11	O & OO	1.44	O & OO	14.11	15.55	14.83	1.44	21.36
OO	15.55	OO & PP	7.98	OO & PP	15.55	15.55	15.55	7.98	124.09
PP	15.55	PP & P	1.56	PP & P	15.55	13.99	14.77	1.56	23.04
P	13.99	P & Q	0.89	P & Q	13.99	13.98	13.99	0.89	12.45
Q	13.98	Q & R	20.06	Q & R	13.98	14.14	14.06	20.06	282.04
R	14.14	R & S	0.76	R & S	14.14	14.15	14.15	0.76	10.75
S	14.15	S & T	1.26	S & T	14.15	14.16	14.16	1.26	17.84
T	14.16	T & U	2.88	T & U	14.16	15.53	14.85	2.88	42.75
U	15.53	U & V	2.34	U & V	15.53	15.25	15.39	2.34	36.01
V	15.25	V & VV	3.40	V & VV	15.25	18.65	16.95	3.40	57.63
VV	18.65	VV & WW	8.27	VV & WW	18.65	18.65	18.65	8.27	154.24
WW	18.65								



▽ T.O. Elevator  
 Overrun  
 ▽ T.O. R<sub>85.85</sub>  
 Structure  
 83.68  
 ▽ Mechanical Level  
 80.62  
 ▽ Level 20  
 77.56  
 ▽ Level 19  
 74.50  
 ▽ Level 18  
 71.44  
 ▽ Level 17  
 68.38  
 ▽ Level 16  
 65.32  
 ▽ Level 15  
 62.26  
 ▽ Level 14  
 59.20  
 ▽ Level 13  
 56.14  
 ▽ Level 12  
 53.08  
 ▽ Level 11  
 50.02  
 ▽ Level 10  
 46.96  
 ▽ Level 09  
 43.90  
 ▽ Level 08  
 40.84  
 ▽ Level 07  
 37.78  
 ▽ Level 06  
 34.72  
 ▽ Level 05  
 31.66  
 ▽ Level 04  
 26.98  
 ▽ Level 03  
 23.17  
 ▽ Level 02  
 19.36  
 ▽ Level 01  
 15.55



1 Spatial Separation - North Elevation (Blanshard St.)

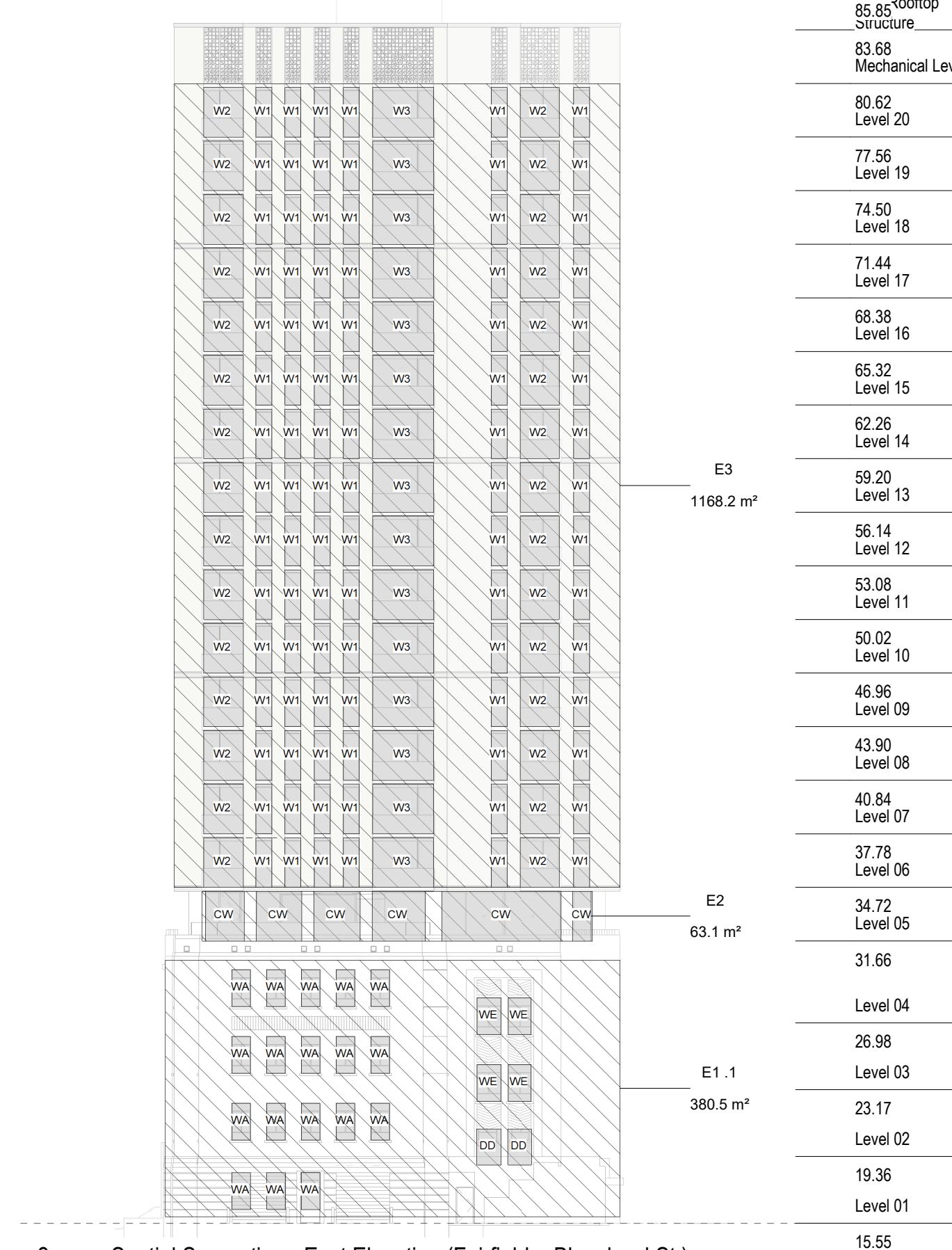
A022 1 : 300

NORTH - BUILDING FACE

N1	11.16 m	59.79 m	667.2 m <sup>2</sup>
N2	2.84 m	19.76 m	56.1 m <sup>2</sup>
N3	45.90 m	21.65 m	993.9 m <sup>2</sup>
			1717.3 m <sup>2</sup>

NORTH - UNPROTECTED OPENINGS

N1	13.64 m <sup>2</sup>
N2	44.4 m <sup>2</sup>
N3	407.0 m <sup>2</sup>
	587.8 m <sup>2</sup>



3 Spatial Separation - East Elevation (Fairfield + Blanshard St.)

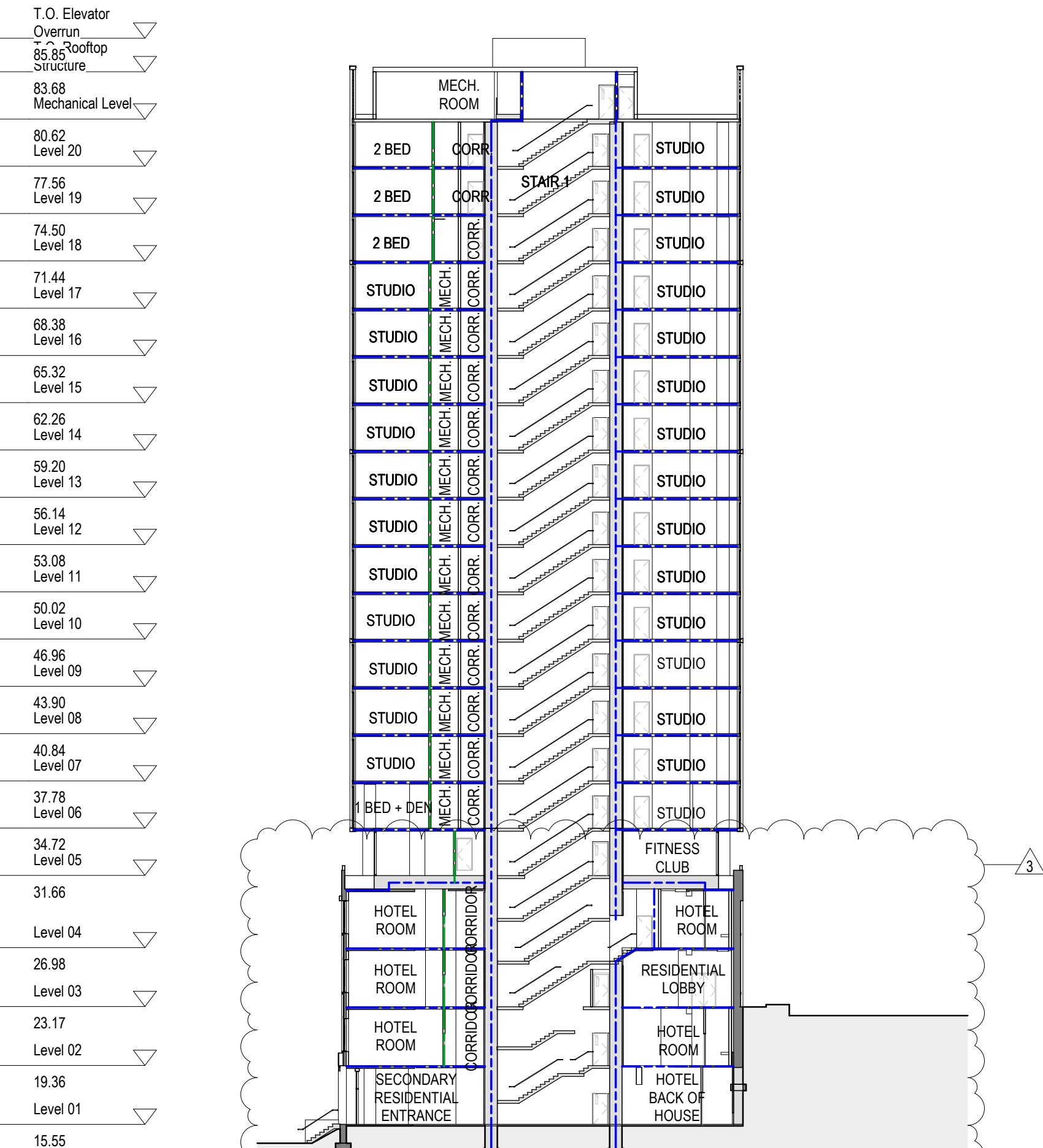
A022 1 : 300

EAST - BUILDING FACE

E1	14.65 m	25.98 m	380.5 m <sup>2</sup>
E2	2.84 m	22.22 m	63.1 m <sup>2</sup>
E3	45.90 m	25.45 m	1168.2 m <sup>2</sup>
			1611.8 m <sup>2</sup>

EAST - UNPROTECTED OPENINGS

E1	57.8 m <sup>2</sup>
E2	52.4 m <sup>2</sup>
E3	575.4 m <sup>2</sup>
	685.7 m <sup>2</sup>



5 Fire Compartment - Cross Section @ Stair

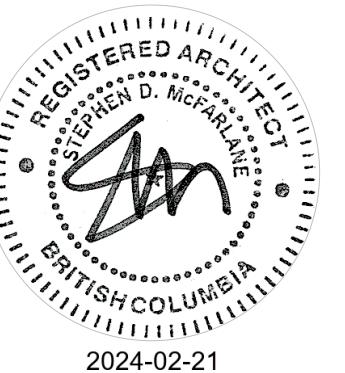
A022 1 : 300

LEGEND

- 0 MINUTES F.R.R. (Yellow line)
- 45 MINUTE F.R.R. (Orange dashed line)
- 60 MINUTE F.R.R. (Green dashed line)
- 90 MINUTE F.R.R. (Pink dashed line)
- 120 MINUTE F.R.R. (Blue dashed line)

NOTE:  
 1. DRAWING TO BE READ IN COLOUR.  
 2. DRAWING TO BE READ IN CONJUNCTION WITH  
 OUTLINE CODE COMPLIANCE REPORT PROVIDED  
 BY GHL CONSULTANTS.

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DATE REV DESCRIPTION  
 2023-03-23 1 HAP & REZONING RESUBMISSION  
 2024-02-21 2 HAP & RZ RESUBMISSION 02

REVISIONS

3. Hotel planning updated to reflect design aligned with needs of operating partner. Space planning updated on Level 01 to Level 05 to show new room, common spaces, food and beverage, and service space layouts, including some adjustment to residential support spaces on those levels.

780 Blanshard - Rehabilitation + Addition

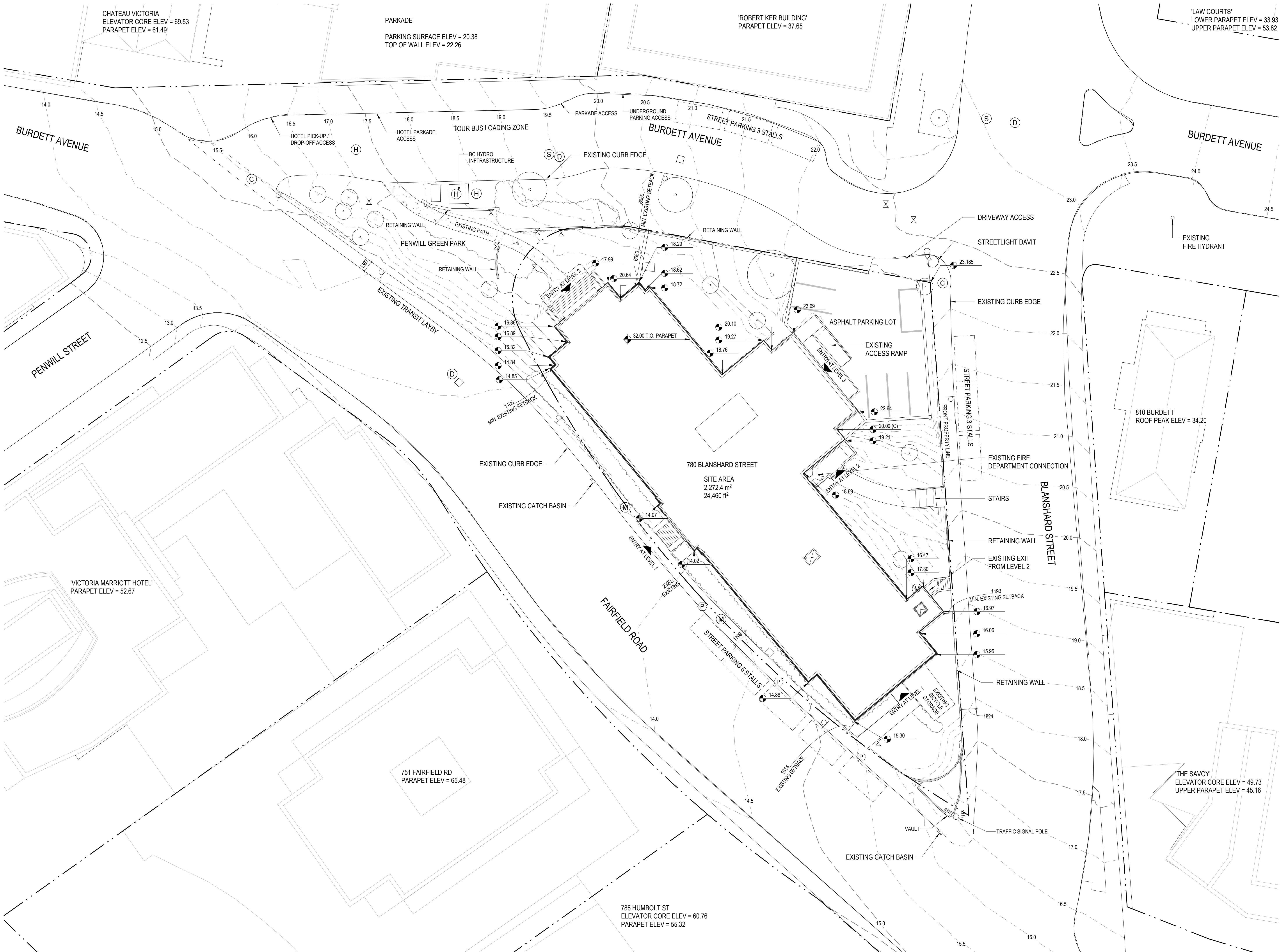
780 Blanshard Street, Victoria, BC  
 2019-039

CODE ANALYSIS - ELEVATIONS

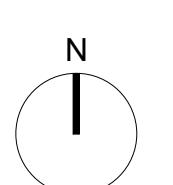
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REVISIONS



780 Blanshard - Rehabilitation + Addition

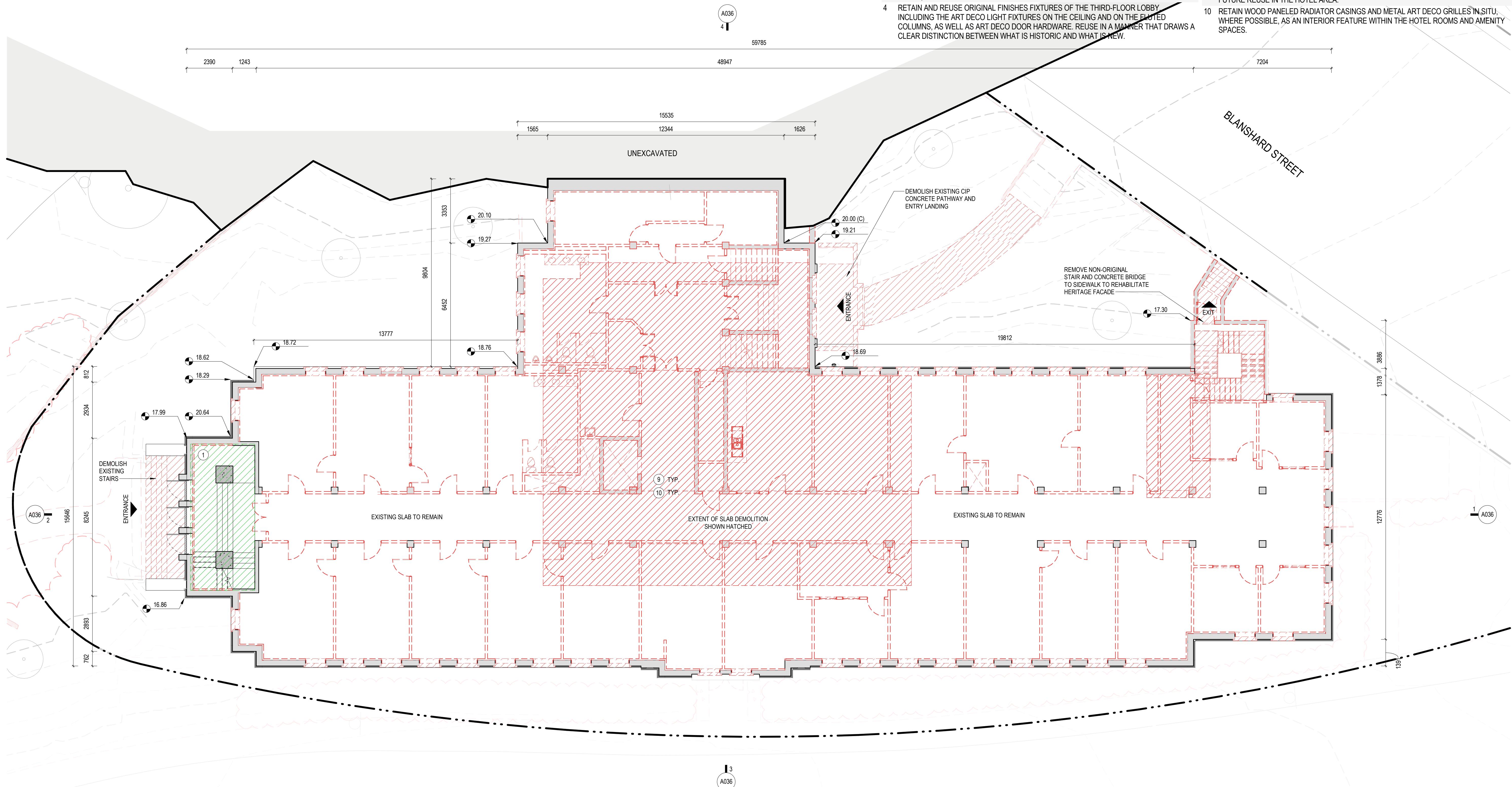
780 Blanshard Street, Victoria, BC  
2019-039

SITE PLAN EXISTING



HERITAGE CONSERVATION NOTES  
REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

- 1 PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- 2 EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLING RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS. THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- 4 RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
- 5 RETAIN AND POTENTIALLY REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.
- 6 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
- 7 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
- 8 RETAIN AND RE-USE WOOD PANELED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS. THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 9 RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- 10 RETAIN WOOD PANELED RADIATOR CABINETS AND METAL ART DECO GRILLES IN-SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.



## DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS.

ANY UNFORESEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURE ELEMENTS.

ALL UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

## GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

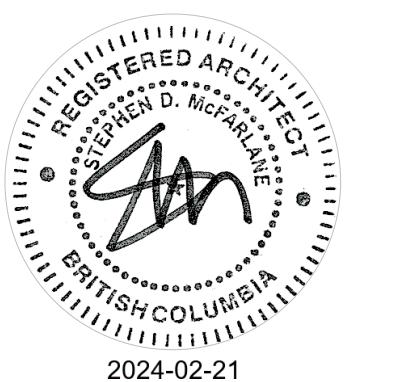
RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK, ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING.

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

## DEMOLITION LEGEND

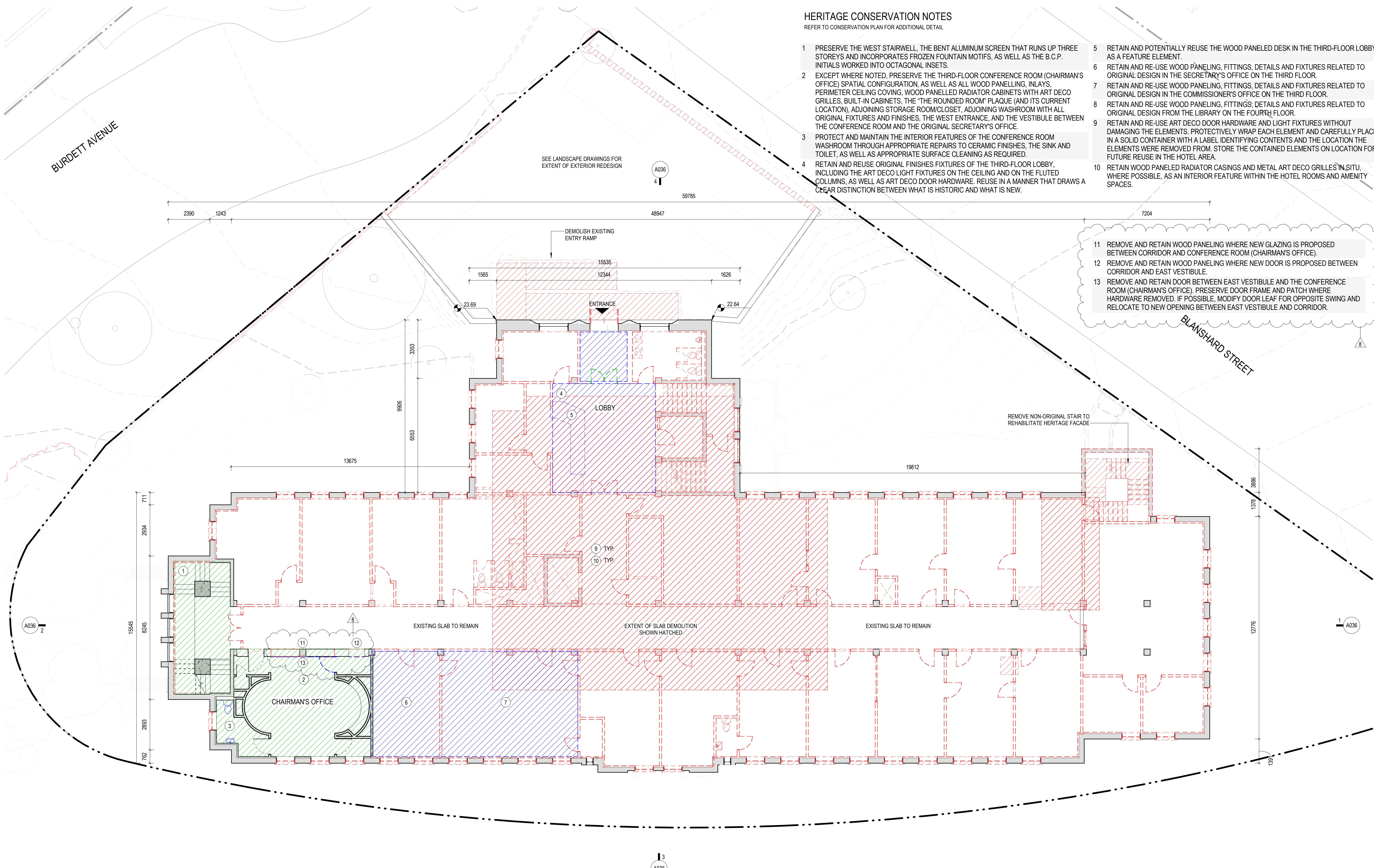
- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED



DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2023-10-26	5	PRE-COTW REVISIONS
2024-02-21	6	HAP & R2 RESUBMISSION 02

## REVISIONS

8 Update to scope of work related to historic Chairman's Office based on updated hotel program and to achieve better physical and visual connection between the spaces.



## DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS.

ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURE ELEMENTS.

ALL UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT.

ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

## GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

## DEMOLITION LEGEND

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED

780 Blanshard Street, Victoria, BC  
2019-039

LEVEL 3  
DEMOLITION/RETENTION PLAN

1 : 100

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A033

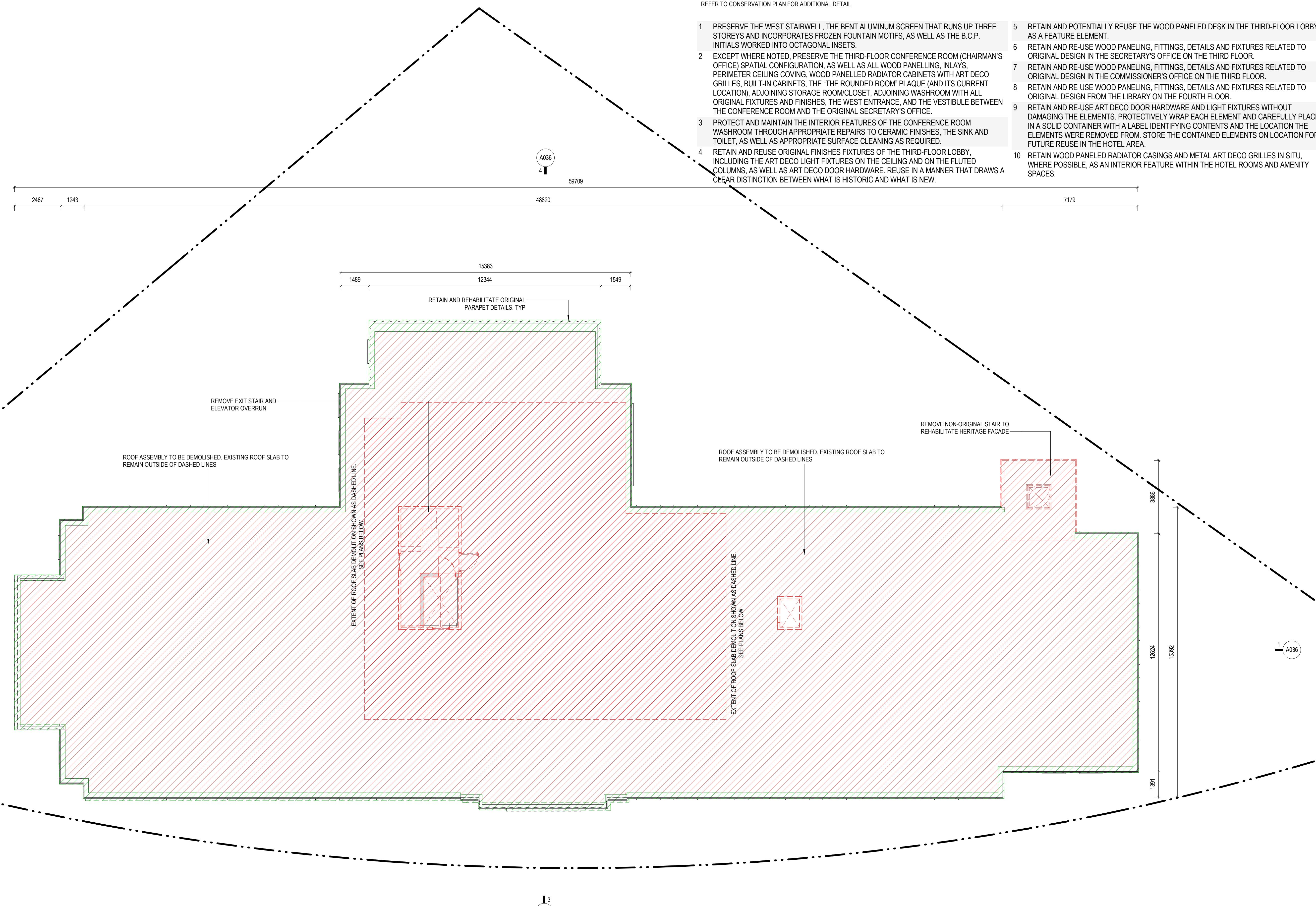




## HERITAGE CONSERVATION NOTES

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

- 1 PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- 2 EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLING RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- 4 RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
- 5 RETAIN AND POTENTIALLY REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.
- 6 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
- 7 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
- 8 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE LIBRARY ON THE FOURTH FLOOR.
- 9 RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- 10 RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.



## DEMOLITION NOTES:

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RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK, ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING.

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

## DEMOLITION LEGEND

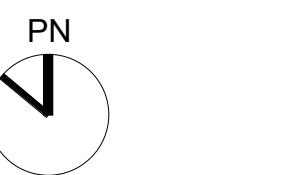
- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED



2024-02-21

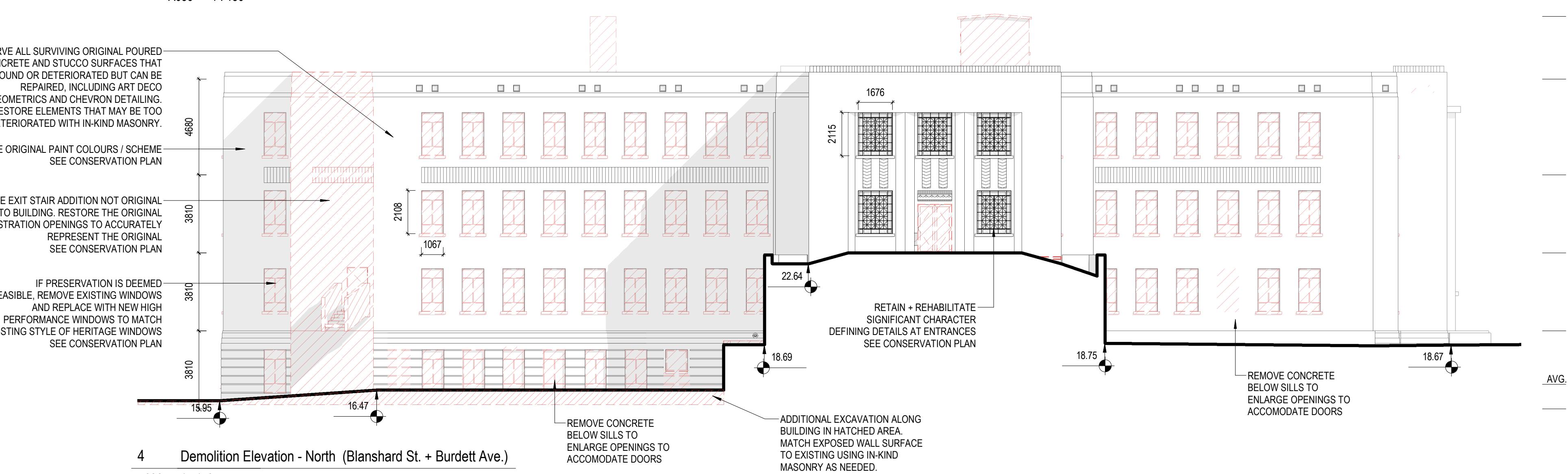
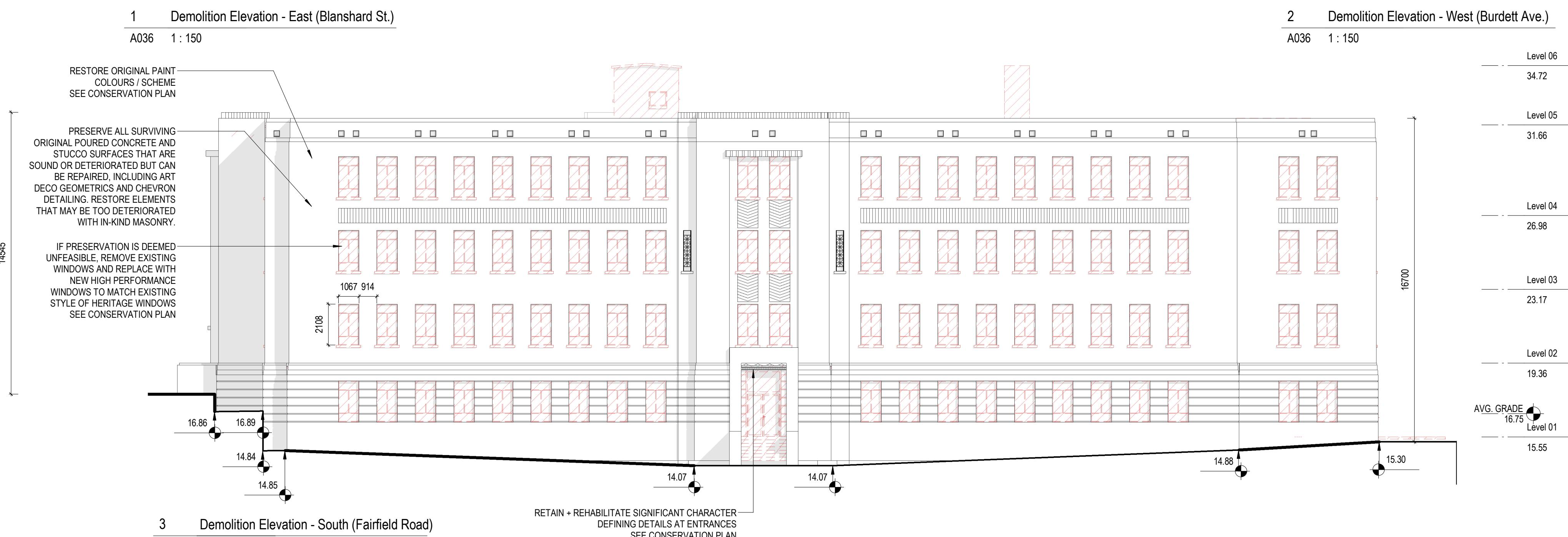
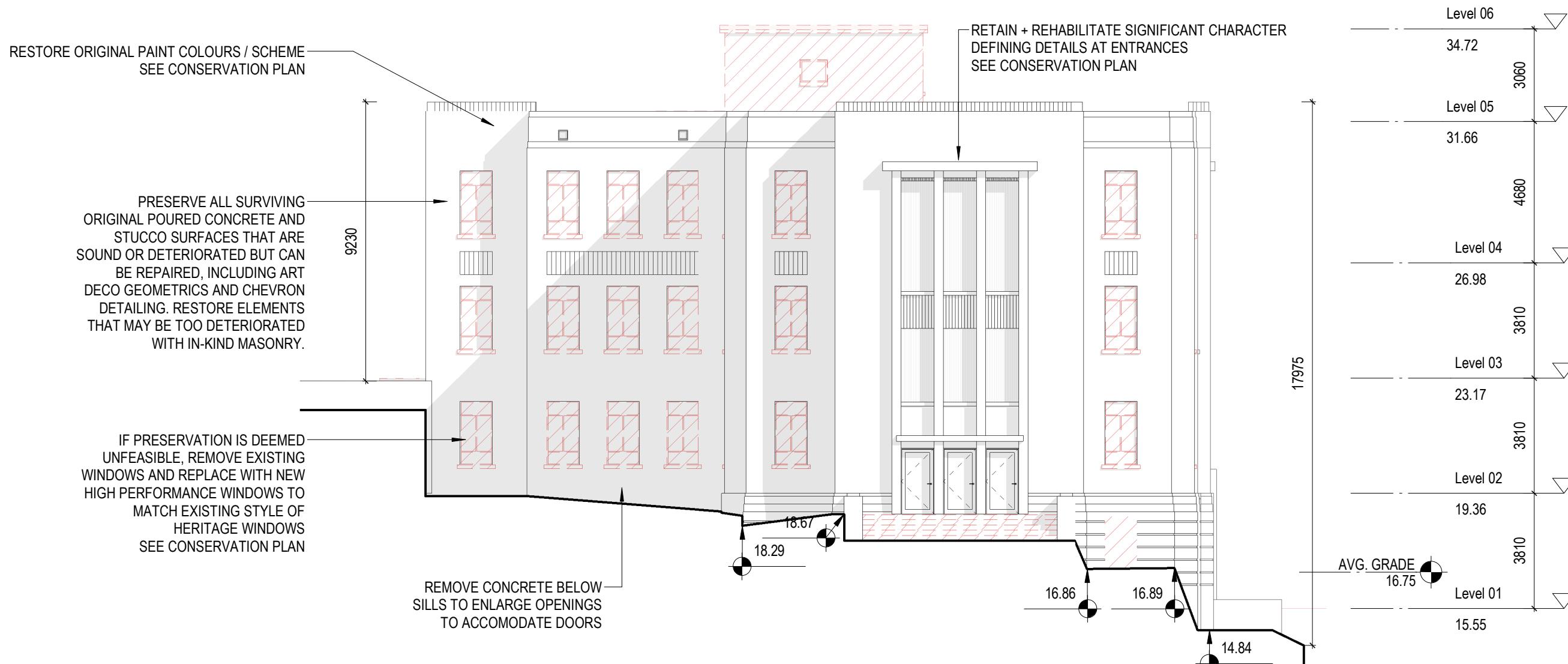
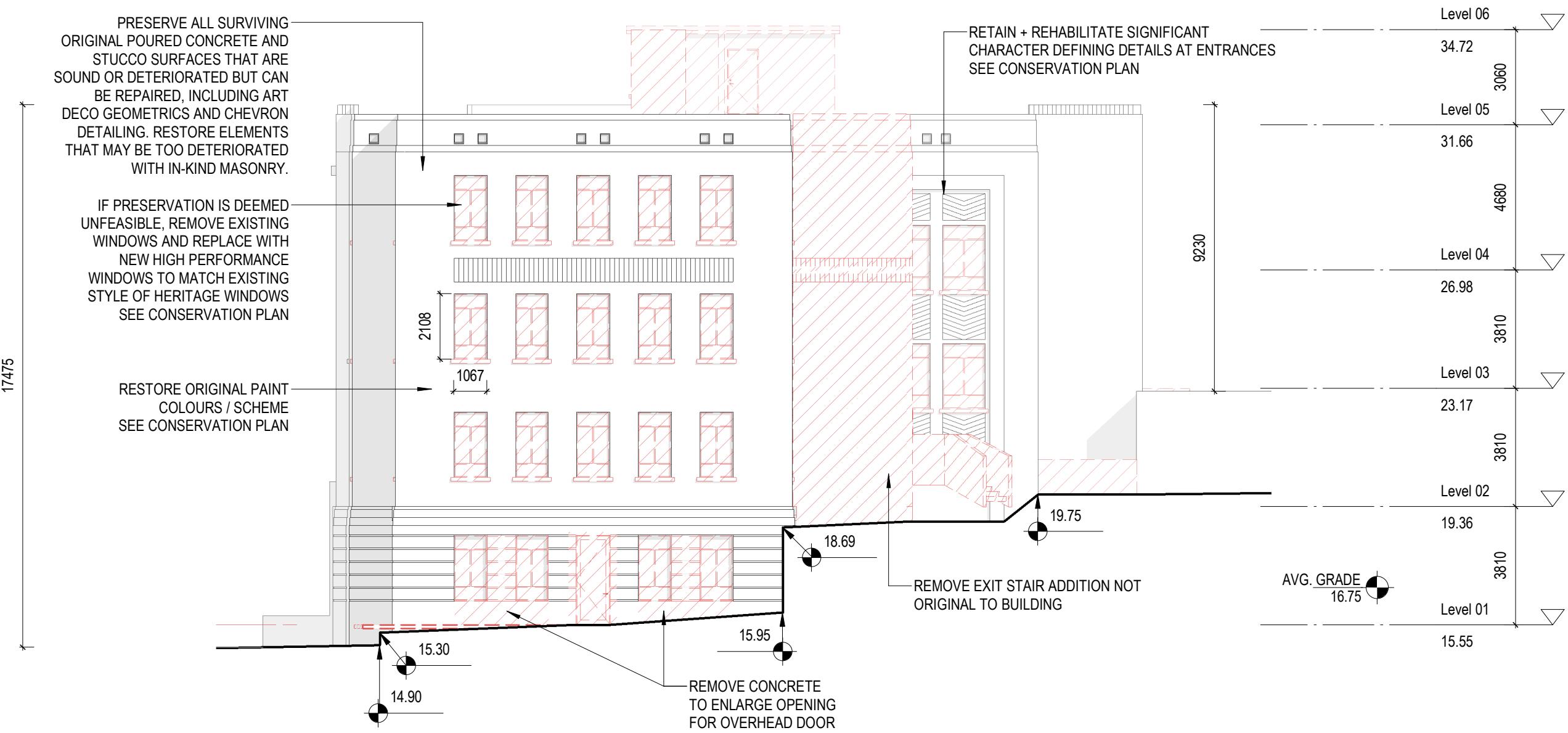
DATE	REV	DESCRIPTION
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2024-02-21	5	HAP & RZ RESUBMISSION 02

## REVISIONS


 780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

## DEMOLITION/RETENTION ELEVATIONS

As indicated

 2024-02-21 14:55:07 PM  
A036


## DEMOLITION NOTES:

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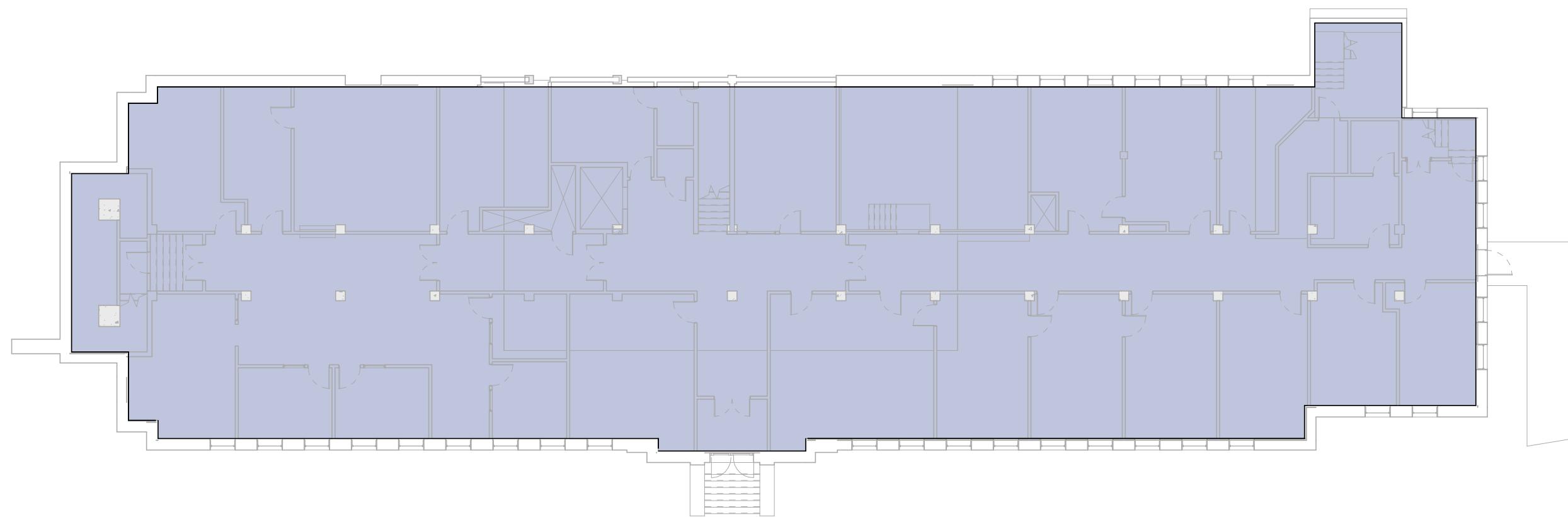
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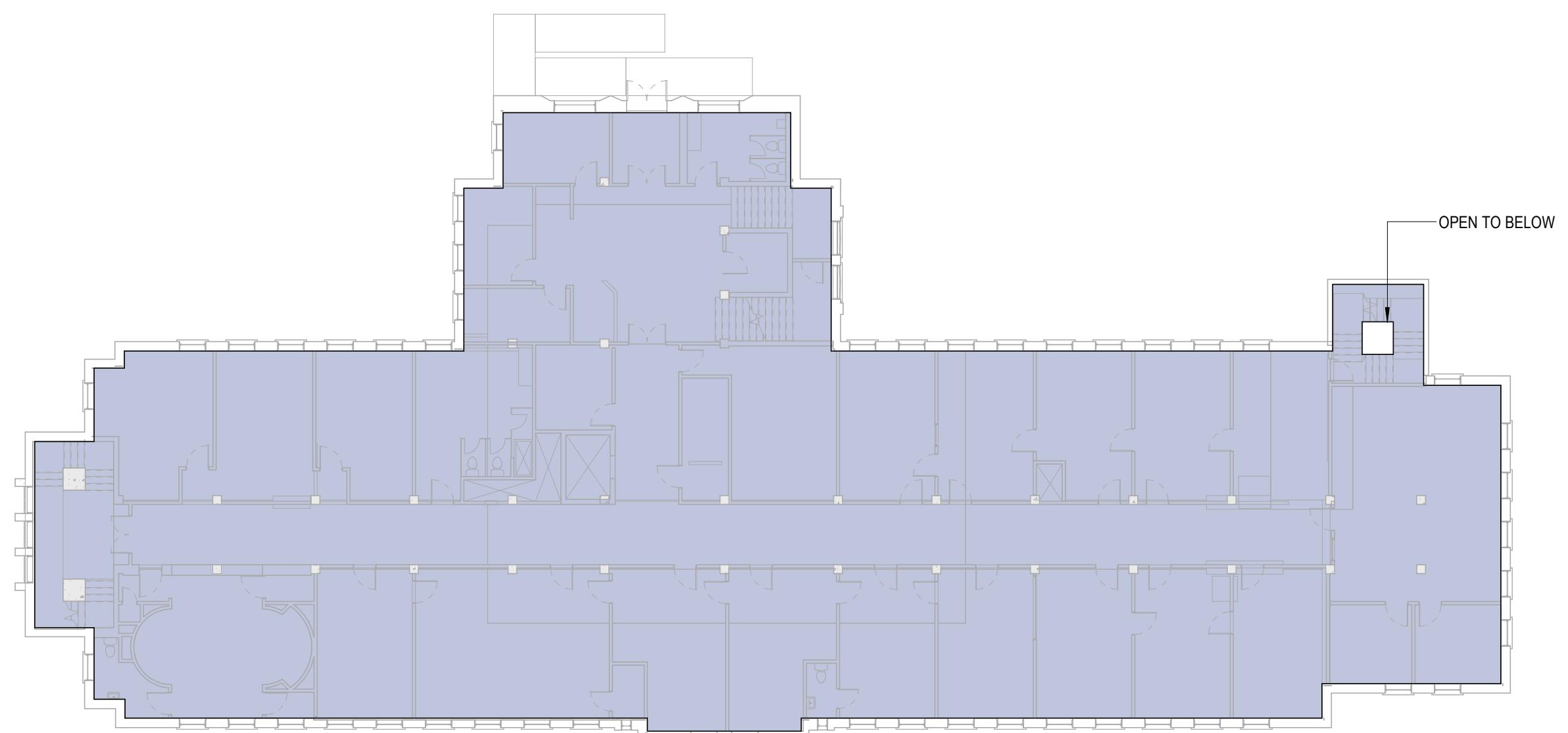
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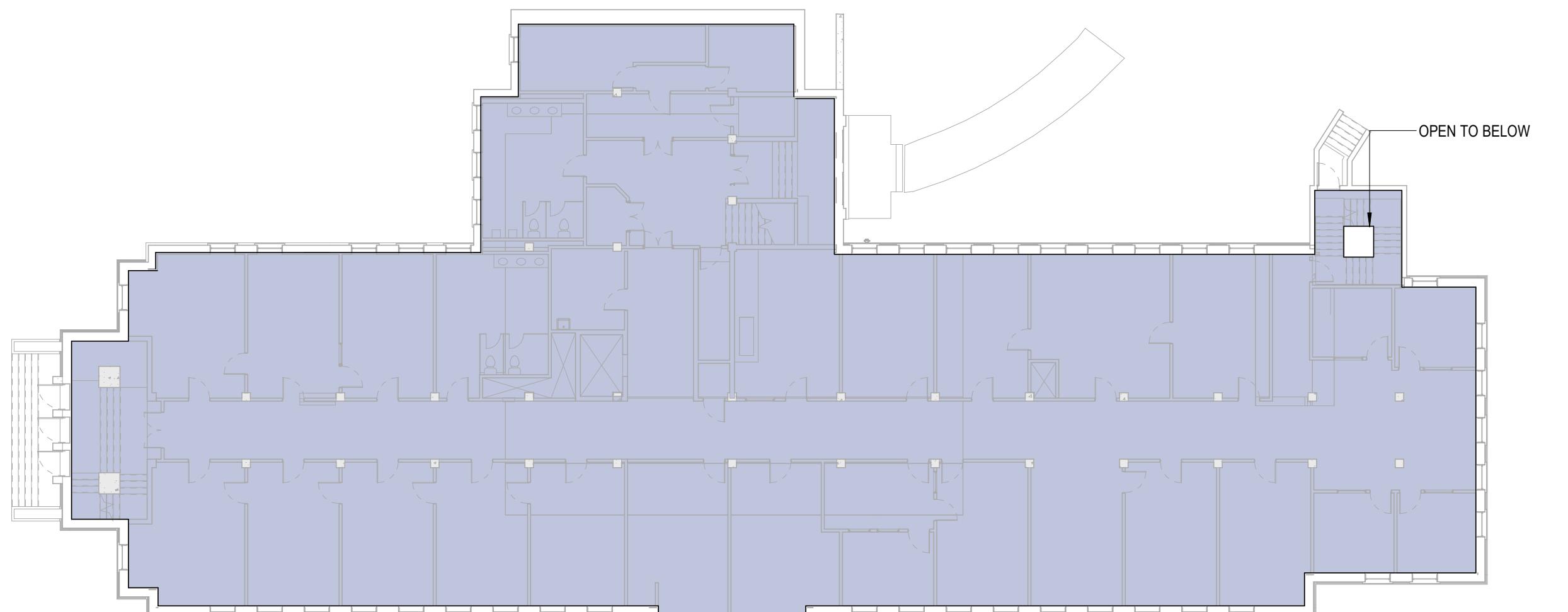


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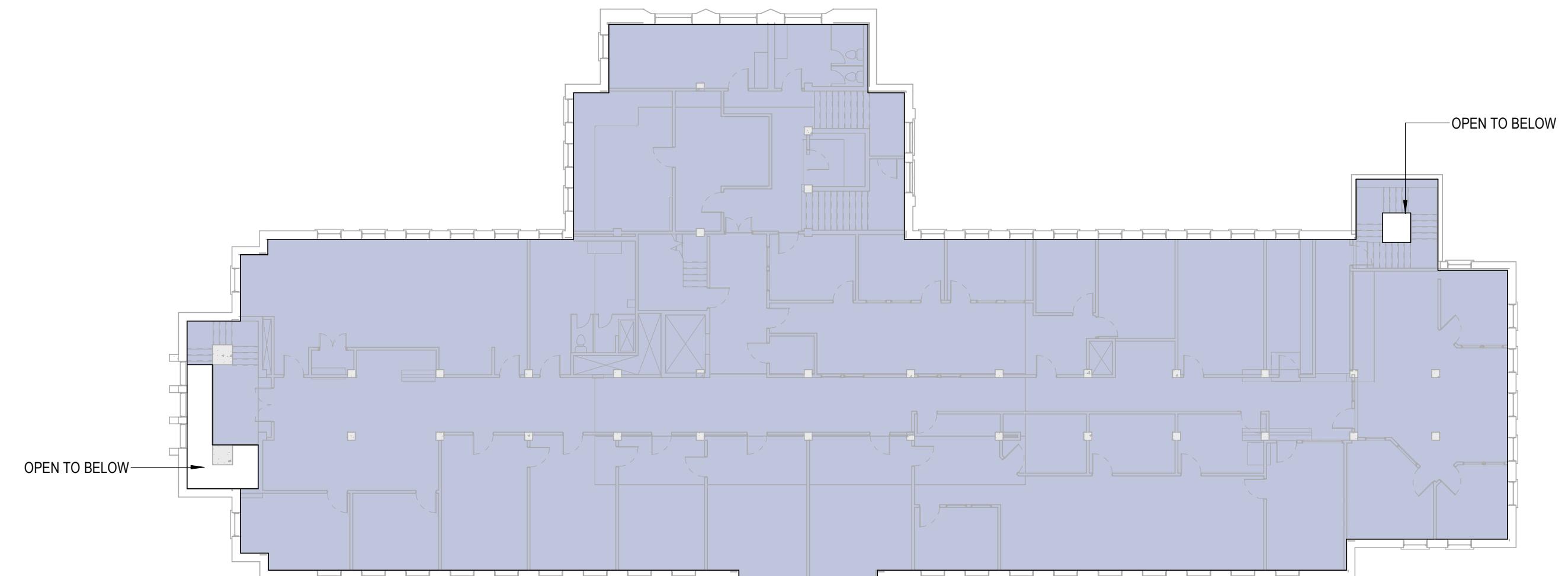


3 Level 3  
A041 1:200

DATE REV DESCRIPTION  
2023-03-23 1 HAP & REZONING RESUBMISSION  
2024-02-21 2 HAP & RZ RESUBMISSION 02



2 Level 2  
A041 1:200



4 Level 4  
A041 1:200

#### REVISIONS



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

#### FSR OVERLAYS EXISTING

EXISTING FLOOR AREA	
Level 01	852.3 m <sup>2</sup>
Level 02	985.2 m <sup>2</sup>
Level 03	982.6 m <sup>2</sup>
Level 04	972.3 m <sup>2</sup>
	3792.5 m <sup>2</sup>

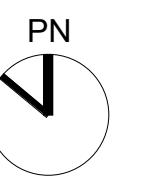
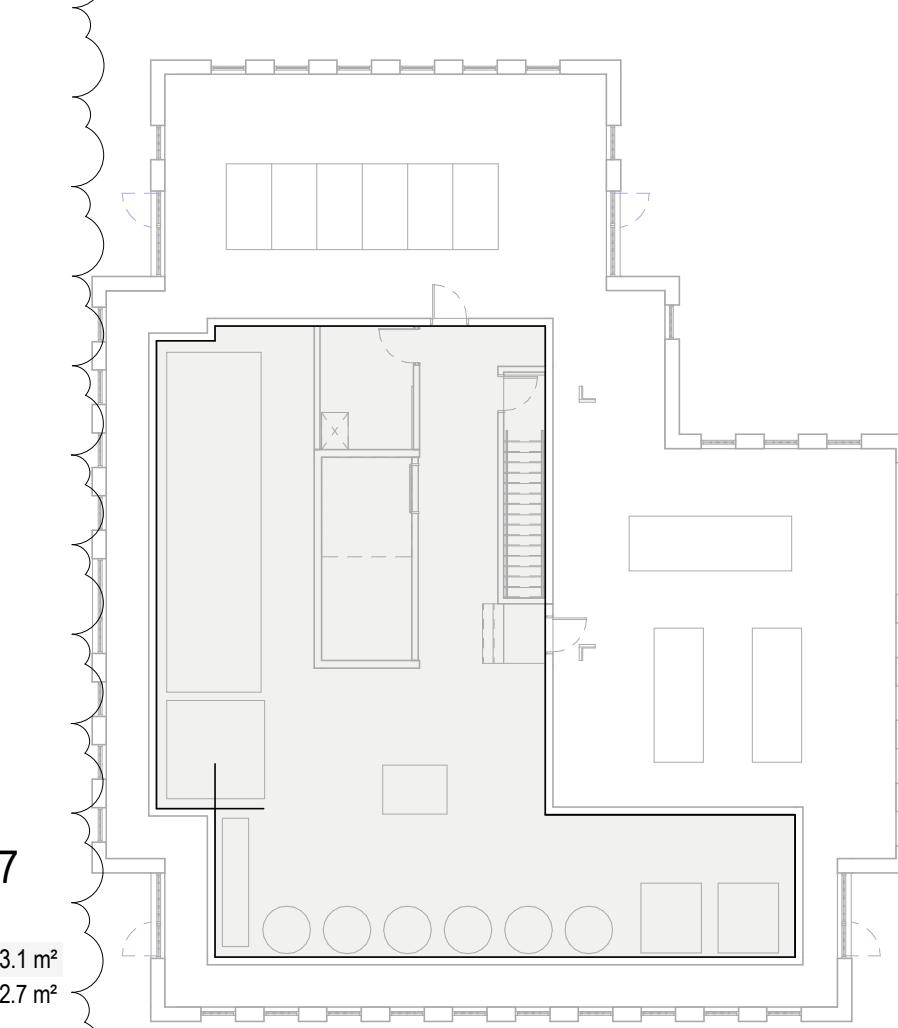
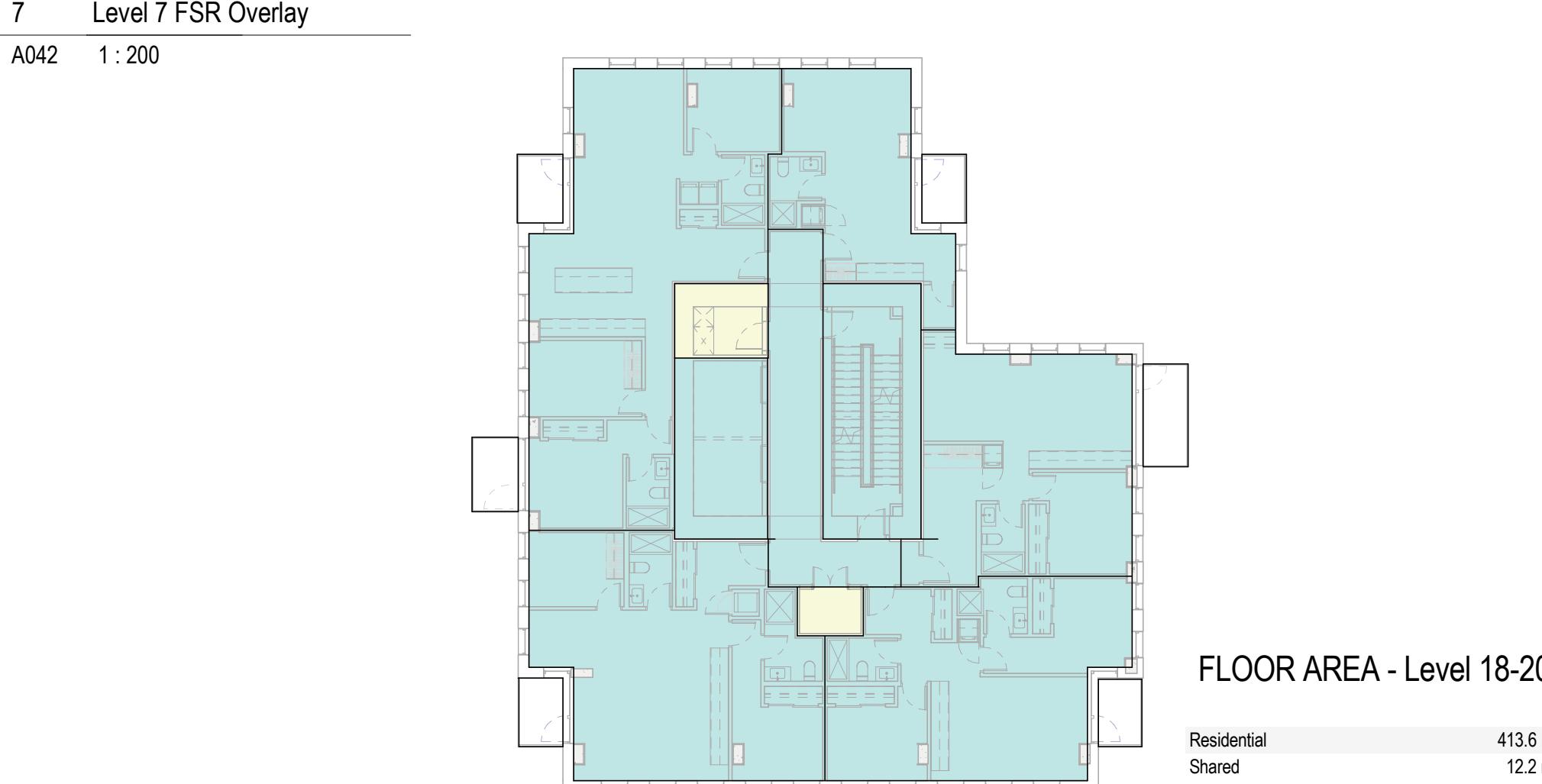
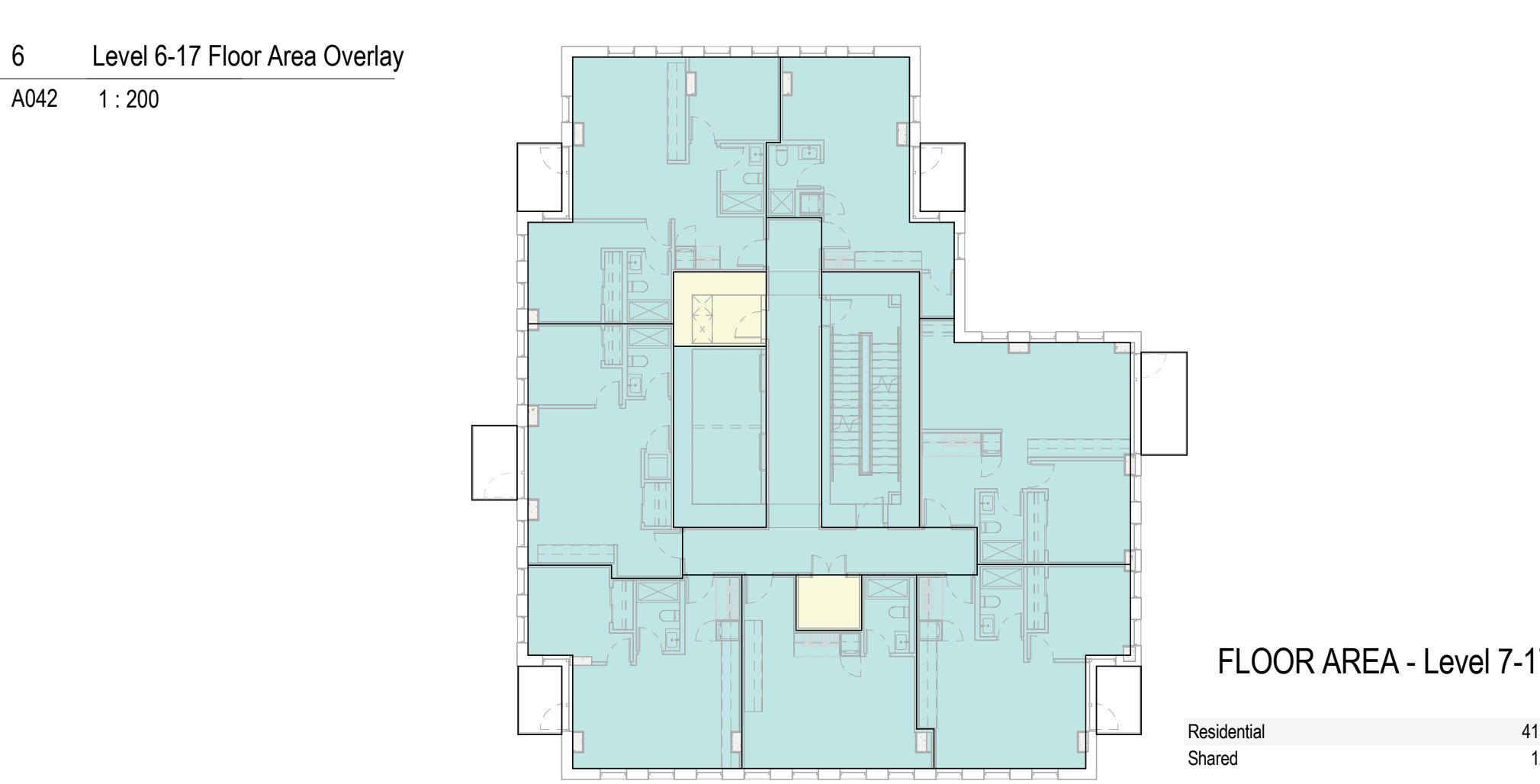
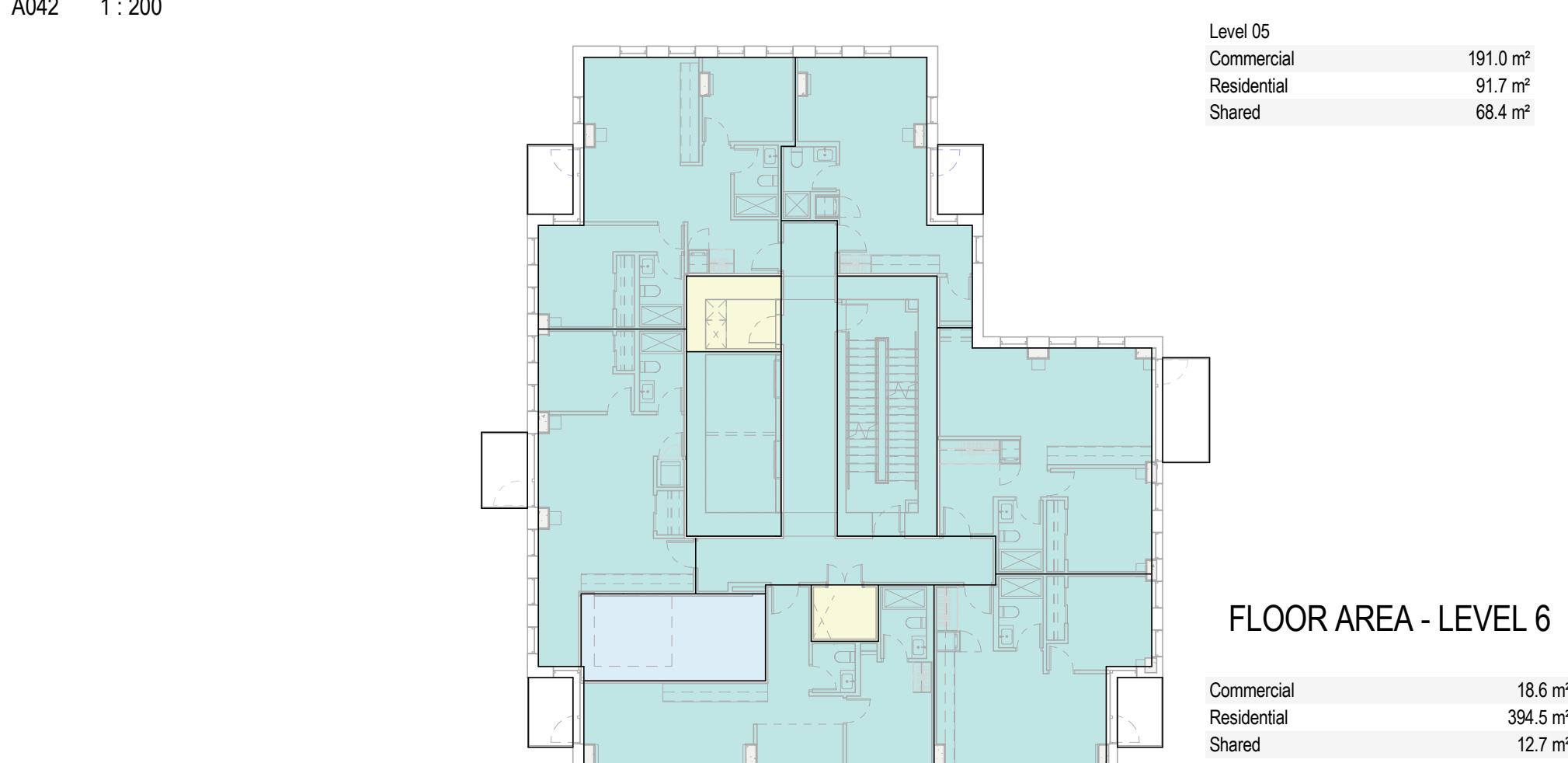
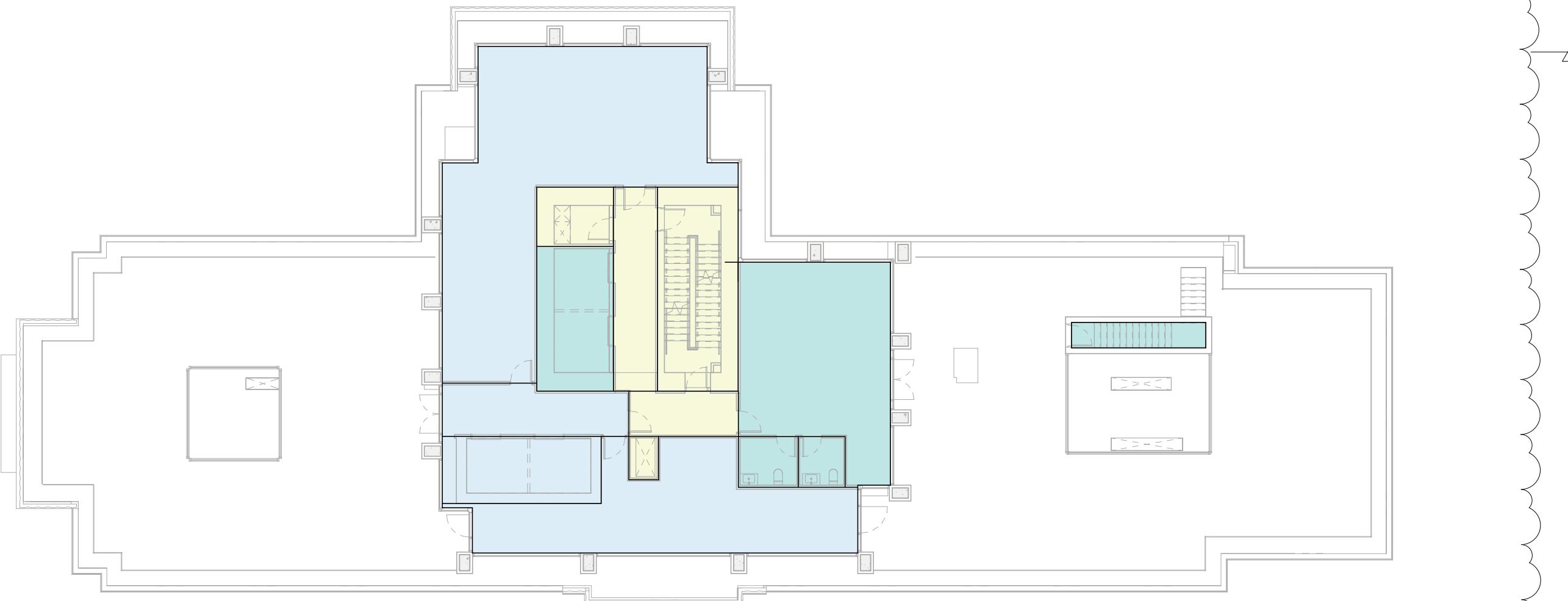
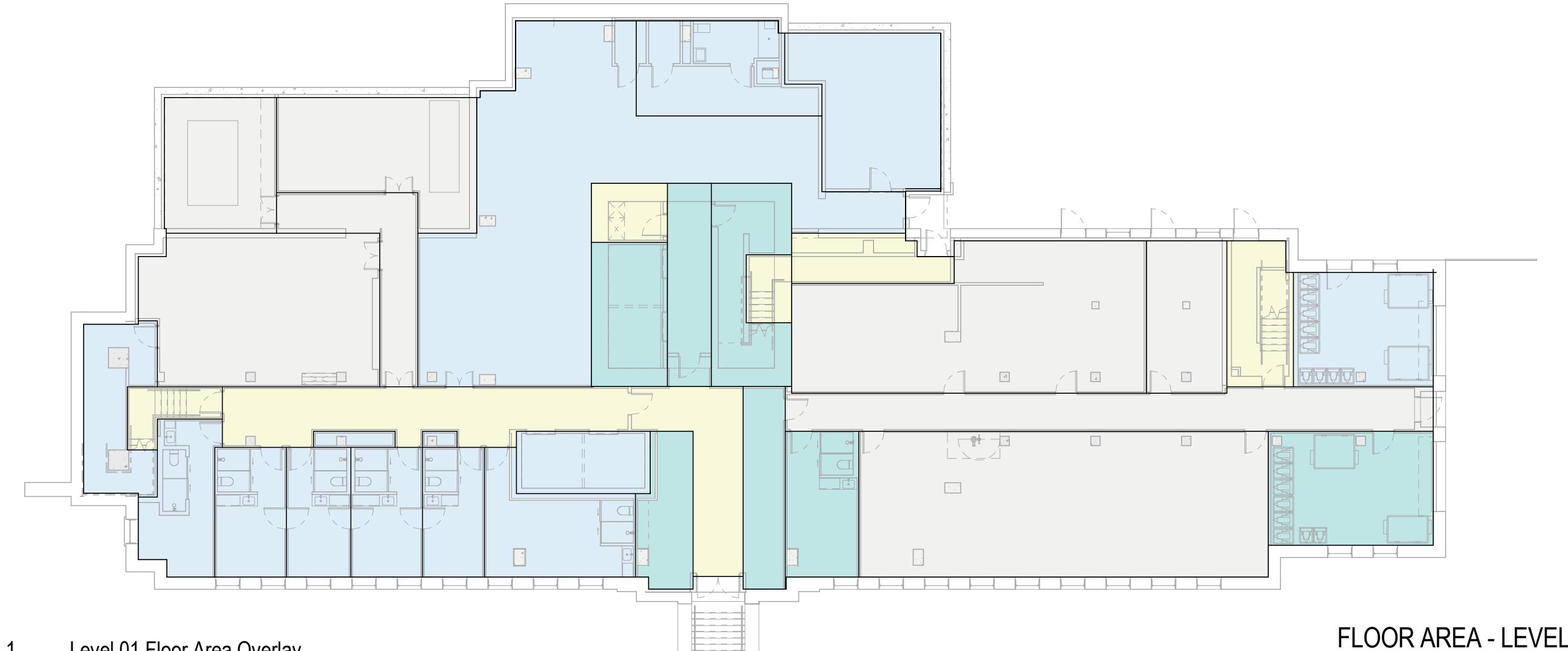
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DATE REV DESCRIPTION  
2023-03-23 1 HAP & REZONING RESUBMISSION  
2024-02-21 2 HAP & RZ RESUBMISSION 02

## REVISIONS

3 Hotel planning updated to reflect design aligned with needs of operating partner. Space planning updated on Level 0 to Level 05 to show new room, common spaces, food and beverage, and service space layouts, including some adjustment to residential support spaces on these levels.



780 Blanshard - Rehabilitation + Addition

FSR by Use

Commercial	Blue
Excluded	Grey
Residential	Teal
Shared	Yellow

FSR OVERLAYS PROPOSED

1 : 200

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A042

CHATEAU VICTORIA  
ELEVATOR CORE ELEV = 69.53  
PARAPET ELEV = 61.49

PARKADE  
PARKING SURFACE ELEV = 20.38  
TOP OF WALL ELEV = 22.26

'ROBERT KER BUILDING'  
PARAPET ELEV = 37.65

'LAW COURTS'  
LOWER PARAPET ELEV = 33.93  
UPPER PARAPET ELEV = 53.82

**omb**  
office of mcfarlane biggar  
architects + designers

408D-535 Yates Street Victoria BC  
T 604 558 6344 E info@officemb.ca

**RELIANCE**  
PROPERTIES

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REGISTERED ARCHITECT  
SARAH D. NEARSHAWER  
BRITISH COLUMBIA  
2024-02-21

DATE REV DESCRIPTION  
2022-02-24 1 REZONING PRE-APPLICATION  
2022-06-01 2 OPEN HOUSE PROGRESS SET  
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2023-03-23 4 HAP & REZONING RESUBMISSION  
2024-02-21 5 HAP & R2 RESUBMISSION 02

#### REVISIONS

9. In response to City Comment #5 and #29, curb and frontage design updated based on BC Transit feedback. Bus bay expanded and reconfigured, passenger loading zone updated, and existing street parking removed.

10. On-street curbside parking uses, updated per Comment #26. Three parking stalls at this location are still proposed, and a third car share space is proposed on Fairfield Road.

11. In response to Comment #P08, underground domestic water and fire water service route changed to be outside of PZ2 of retained trees. See also Landscape and Civil.

12. Park design updated per Comment #P15. See also Landscape.

13. Landscape design on subject site updated to reflect programmatic needs of new hotel design for L01-L04 and in response to Comment #P05.

14. Proposed SRW along Blanshard Street frontage in response to Comments #8 and #16 to accommodate additional street cross-section. See additional discussion in response letter and Transportation Engineering Memo from WATT Consulting Group.

15. Proposed SRW along Blanshard Street retaining wall to accommodate maintenance of wall retaining the street ROW. See additional discussion in response to Comment #16 and retaining wall engineering memo prepared by Ryuzik Geotechnical and RJC Engineers.

16. Street trees in grates provided per City Concept Drawing. Proprietary team suggests a variance from DCAP street design in this location by switching the placement of the pedestrian zone and the furnishing zone to better accommodate current and future transit use along this frontage. SRW's proposed where tree grates cross property line. See also response to Comment #8.

17. Short-term bicycle parking adjusted along with hotel planning update and frontage and park design revisions.

18. Proposed SRW in ally space for potential future transit charging infrastructure coordinated with BC Transit per Comments #3, #5, and #29. See also Landscape and Civil.

19. Potential future crosswalk placement as noted in response to Comment #21. See also TRG Response Memo from Transportation.

20. Service connections noted on plans per Comment #P08.

22. See response to Comment #18, memos from Transportation, and updated Civil drawings for rationale for proposed design and sequence of upgraded works.

780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

#### SITE PLAN PROPOSED

1:200  
2024-02-21 14:52 PM  
A100





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## REVISIONS

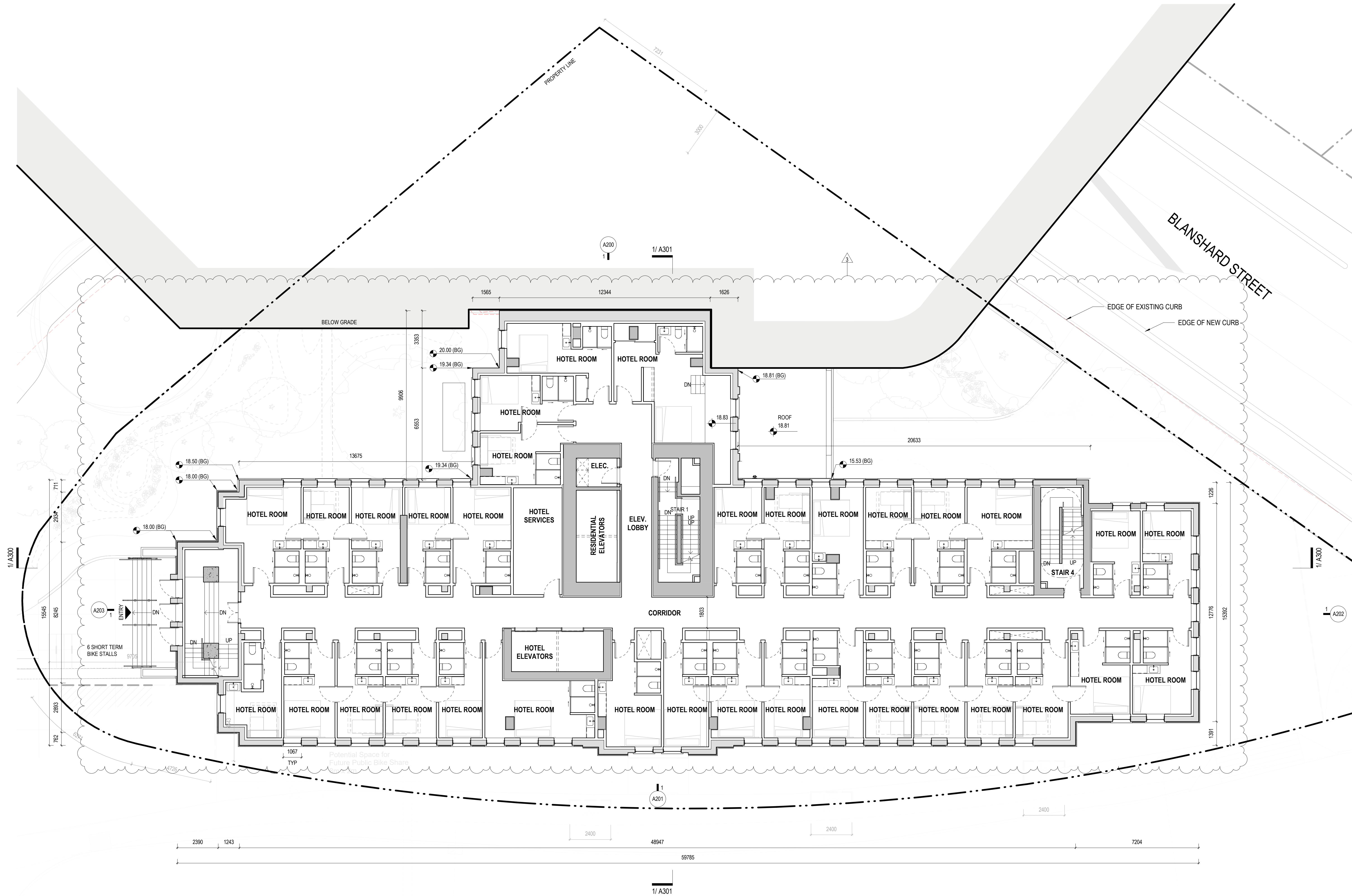
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780 Blanshard Street, Victoria, BC  
2019-039

## LEVEL 2 FLOOR PLAN

1 : 100

A102



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2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2023-10-26	5	PRE-COTW REVISIONS
2024-02-21	6	HAP & R2 RESUBMISSION 02

## REVISIONS

3. Hotel planning updated to reflect design aligned with needs of operating partner. Space planning updated on Level 0 to Level 15 to show new room, common spaces, food and beverage, and service space layouts, including some adjustment to residential support spaces on those levels.

8. Update to scope of work related to historic Chairman's Office based on updated hotel programming and to achieve better physical and visual connection between the spaces.

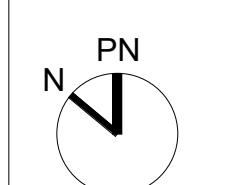
17. Short-term bicycle parking adjusted along with hotel planning update and frontage and park design revisions.



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780 Blanshard - Rehabilitation + Addition

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2019-039

LEVEL 4 FLOOR PLAN

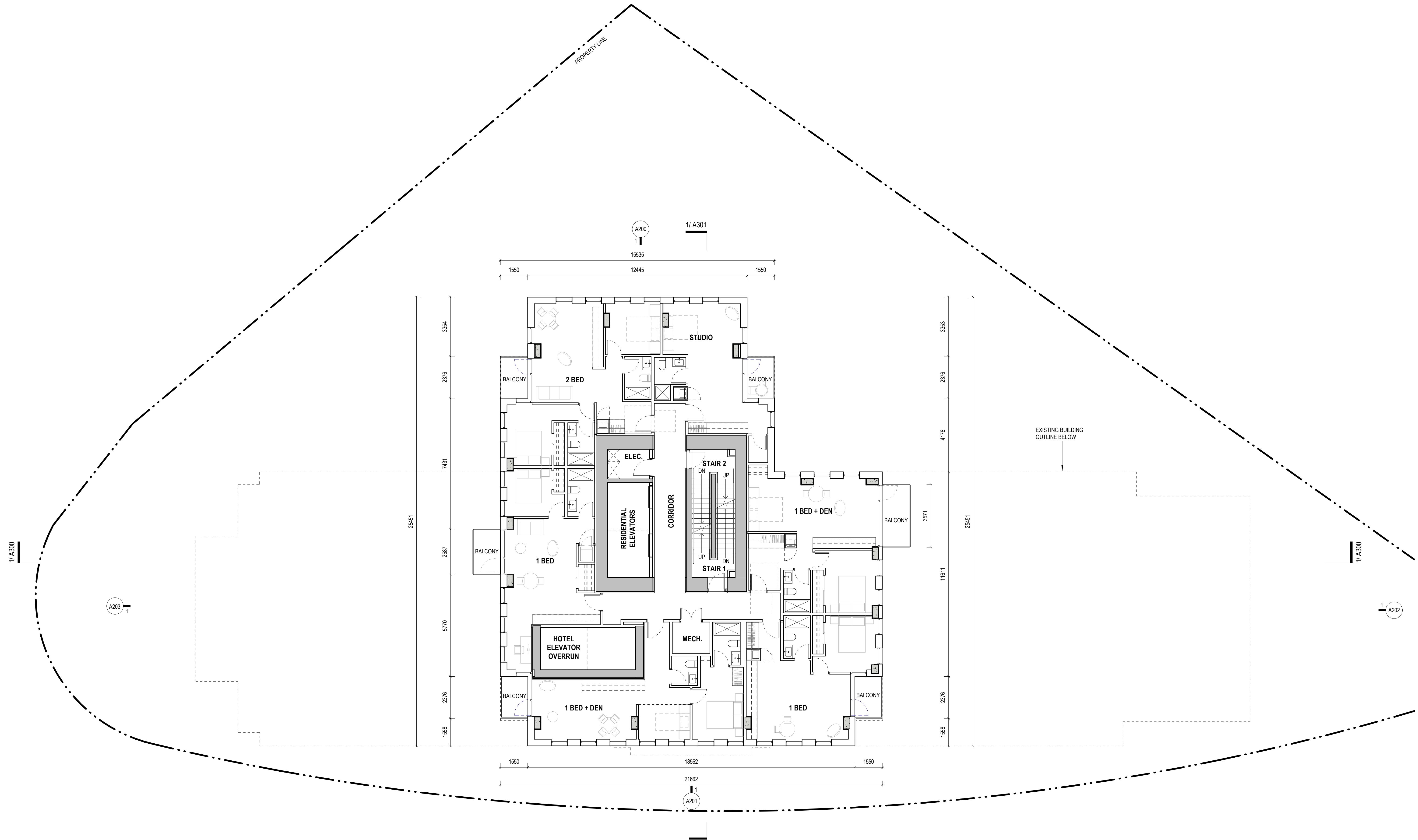


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DATE	REV	DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION
2024-02-21	2	HAP & RZ RESUBMISSION 02

## REVISIONS



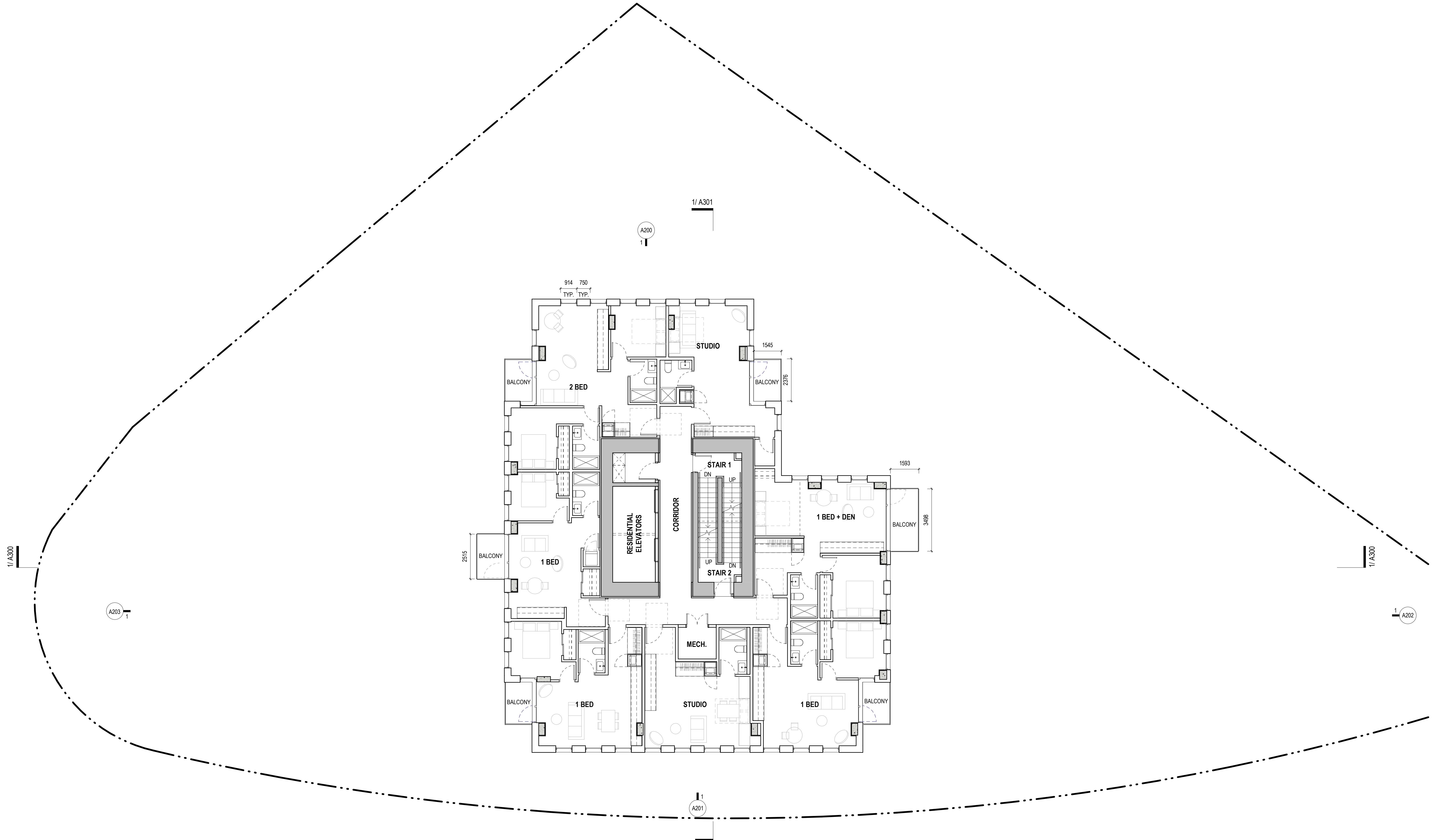
80 Blanshard Street, Victoria, BC

## LEVEL 6 FLOOR PLAN



DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & R2 RESUBMISSION 02

## REVISIONS



780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

LEVEL 7-17 FLOOR PLAN



DATE REV DESCRIPTION  
2023-03-23 1 HAP & REZONING RESUBMISSION  
2024-02-21 2 HAP & RZ RESUBMISSION 02

## REVISIONS

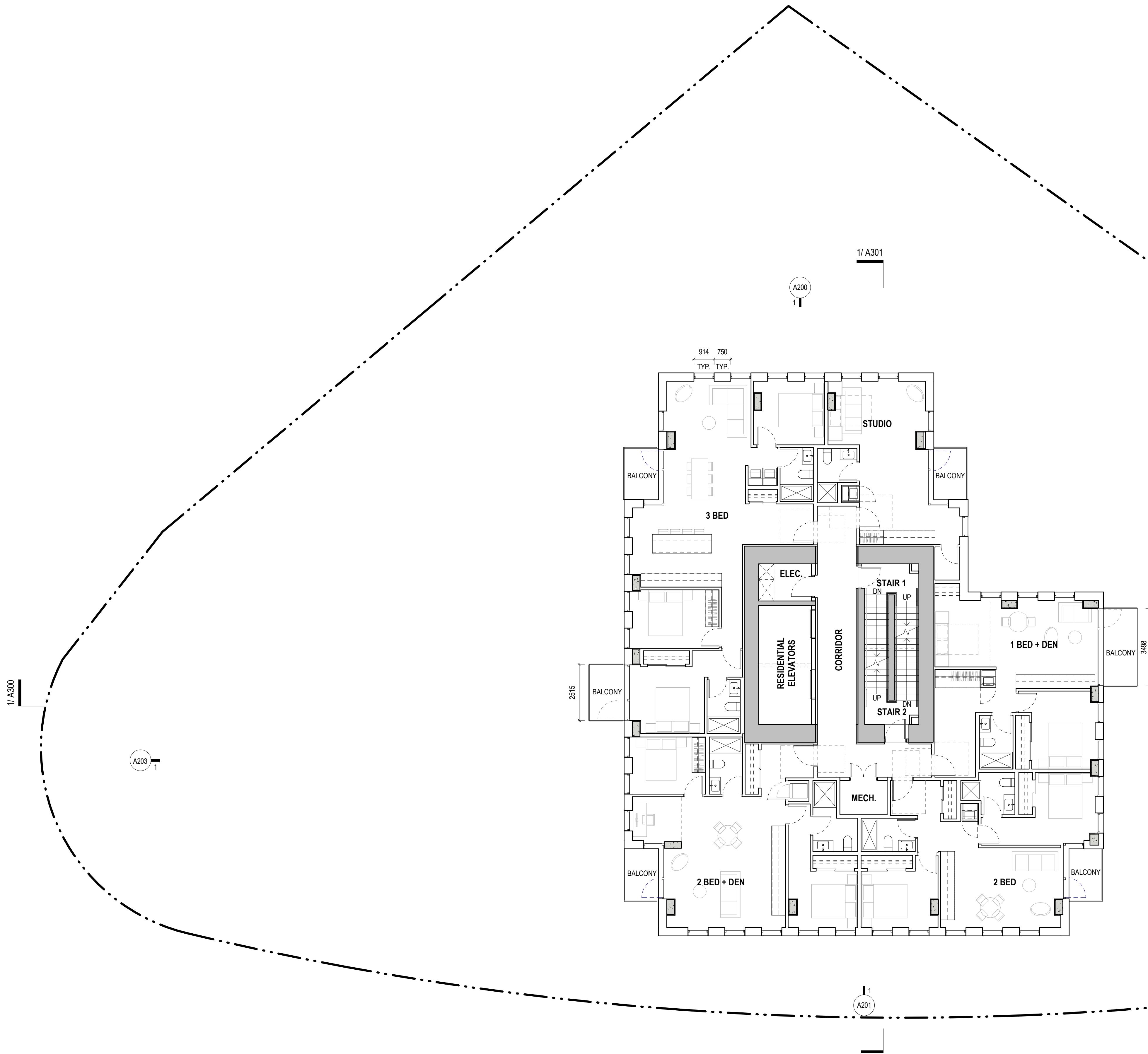
N PN  
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

LEVEL 18-20 FLOOR PLAN

1 : 100

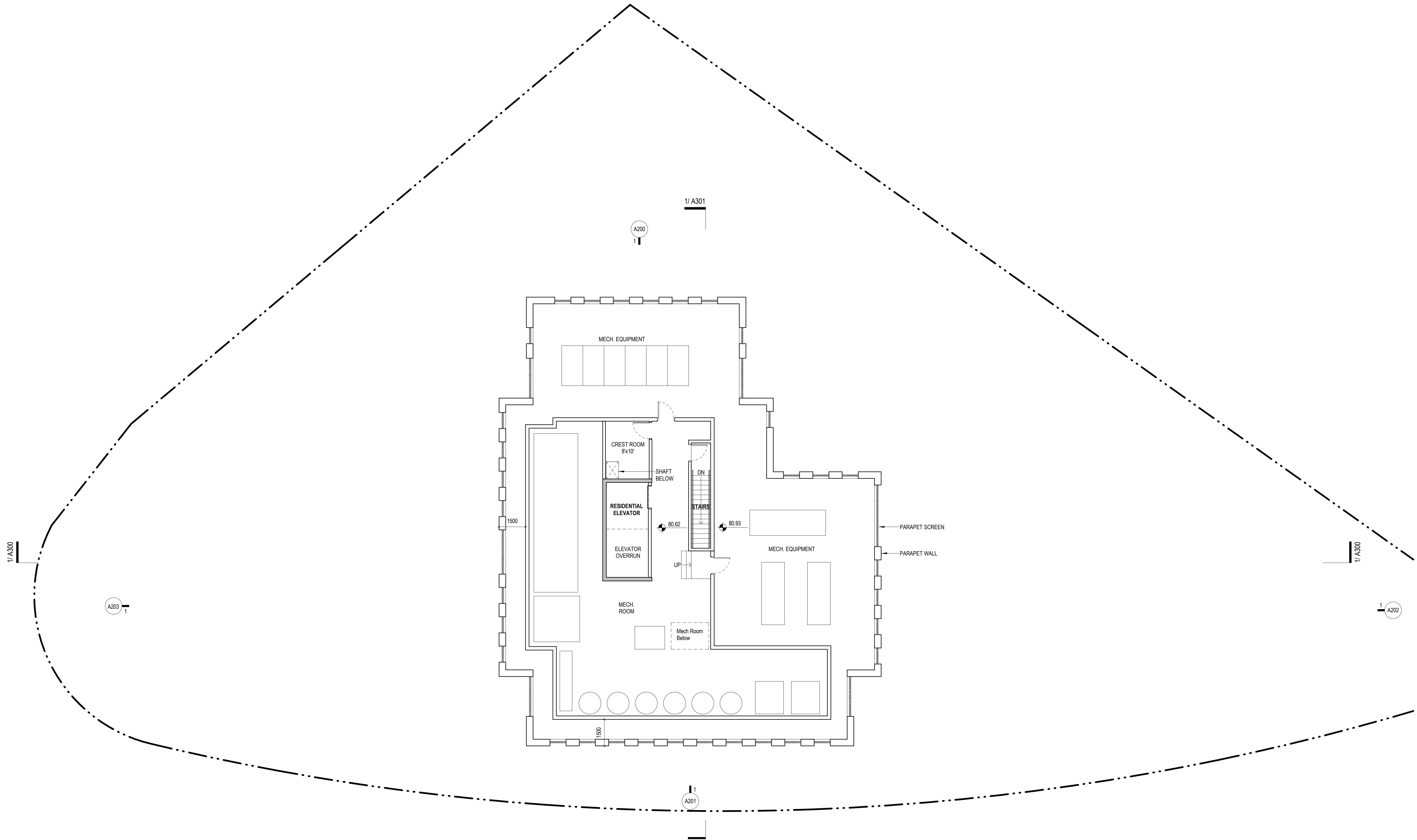
A108





DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
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## REVISIONS



780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

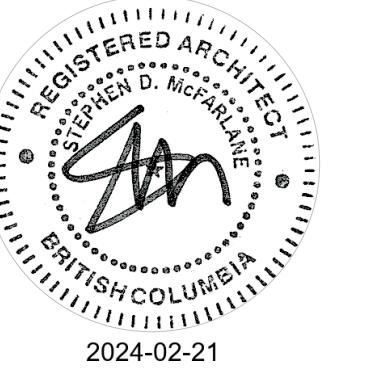
MECHANICAL ROOFTOP PLAN

1 : 100

2024-02-21 14:59 PM

A109

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## REVISIONS

80 Blanshard Street, Victoria, BC  
019-039

## ROOF PLAN

1 : 100

A110

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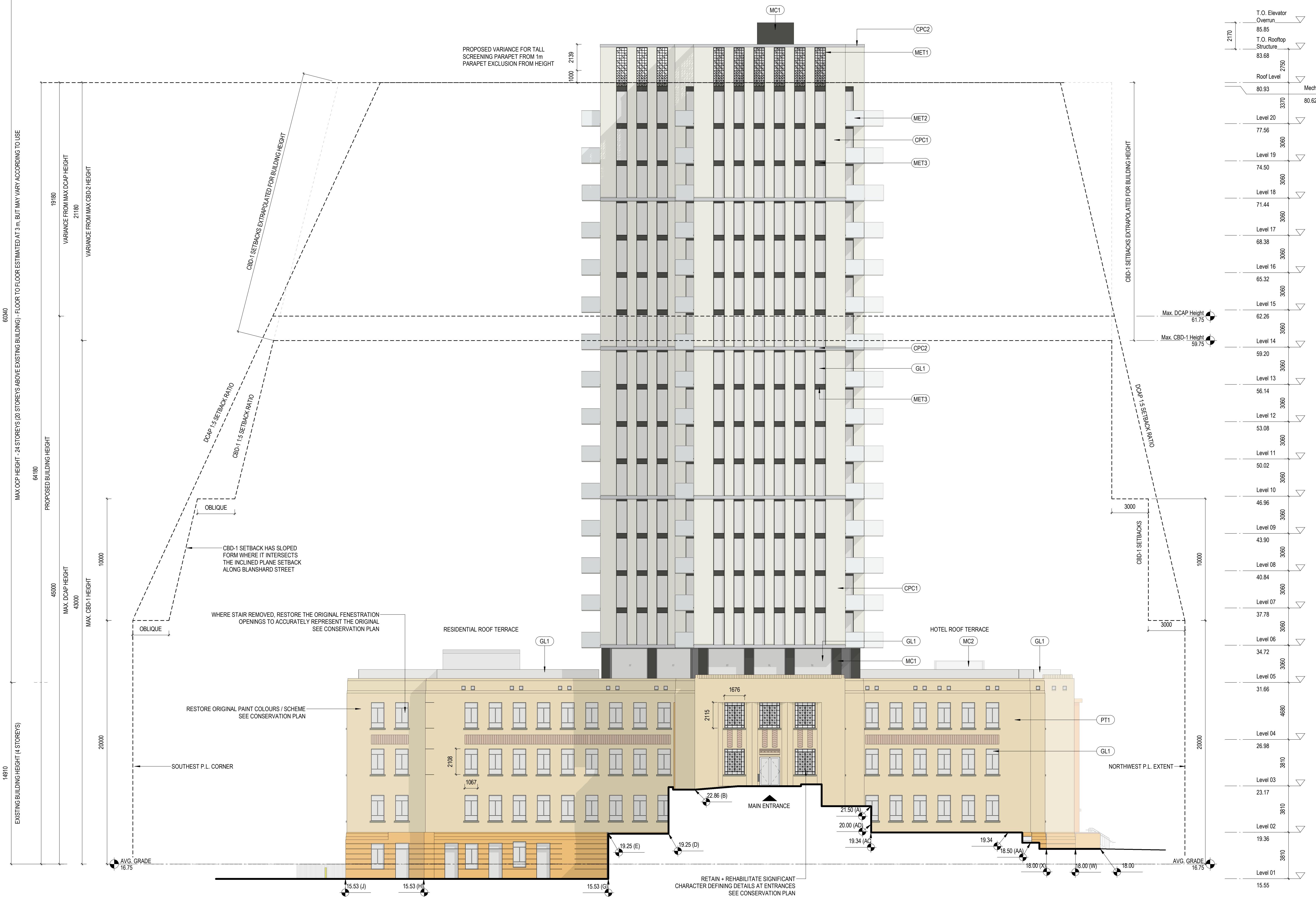
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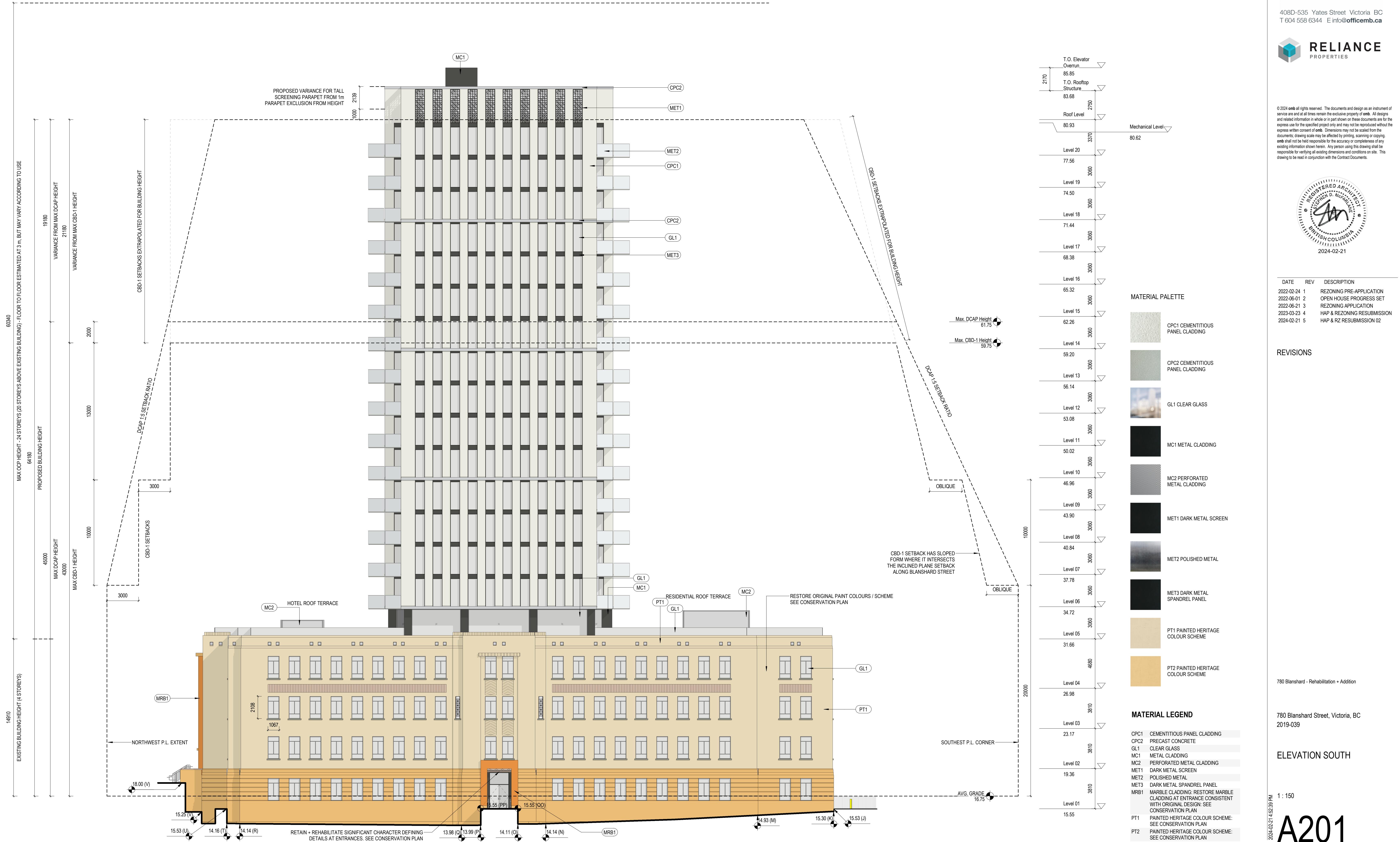
## REVISIONS

## 80 Blanshard - Rehabilitation + Addition

EL E V A T I O N N O R T H

A200





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## ITEM PALETTE



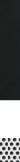
CPC1 CEMENTITIOUS  
PANEL CLADDING



CPC2 CEMENTITIOUS  
PANEL CLADDING



GL1 CLEAR GLASS



MC1 METAL CLADDING



MC2 PERFORATED  
METAL CLADDING



MET1 DARK METAL SCREEN



MET2 POLISHED METAL



MET3 DARK METAL  
SPANDREL PANEL



PT1 PAINTED HERITAGE  
COLOUR SCHEME



PT2 PAINTED HERITAGE  
COLOUR SCHEME

## REVISIONS

780 Blanshard - Rehabilitation + Addition

## MATERIAL LEGEND

CEMENTITIOUS PANEL CLADDING  
PRECAST CONCRETE  
CLEAR GLASS  
METAL CLADDING  
PERFORATED METAL CLADDING  
DARK METAL SCREEN  
POLISHED METAL  
DARK METAL SPANDREL PANEL  
MARBLE CLADDING: RESTORE MARBLE  
CLADDING AT ENTRANCE CONSISTENT  
WITH ORIGINAL DESIGN: SEE  
CONSERVATION PLAN  
PAINTED HERITAGE COLOUR SCHEME:  
SEE CONSERVATION PLAN  
PAINTED HERITAGE COLOUR SCHEME:  
SEE CONSERVATION PLAN

## FAST ELEVATION

1 : 150

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## REVISIONS

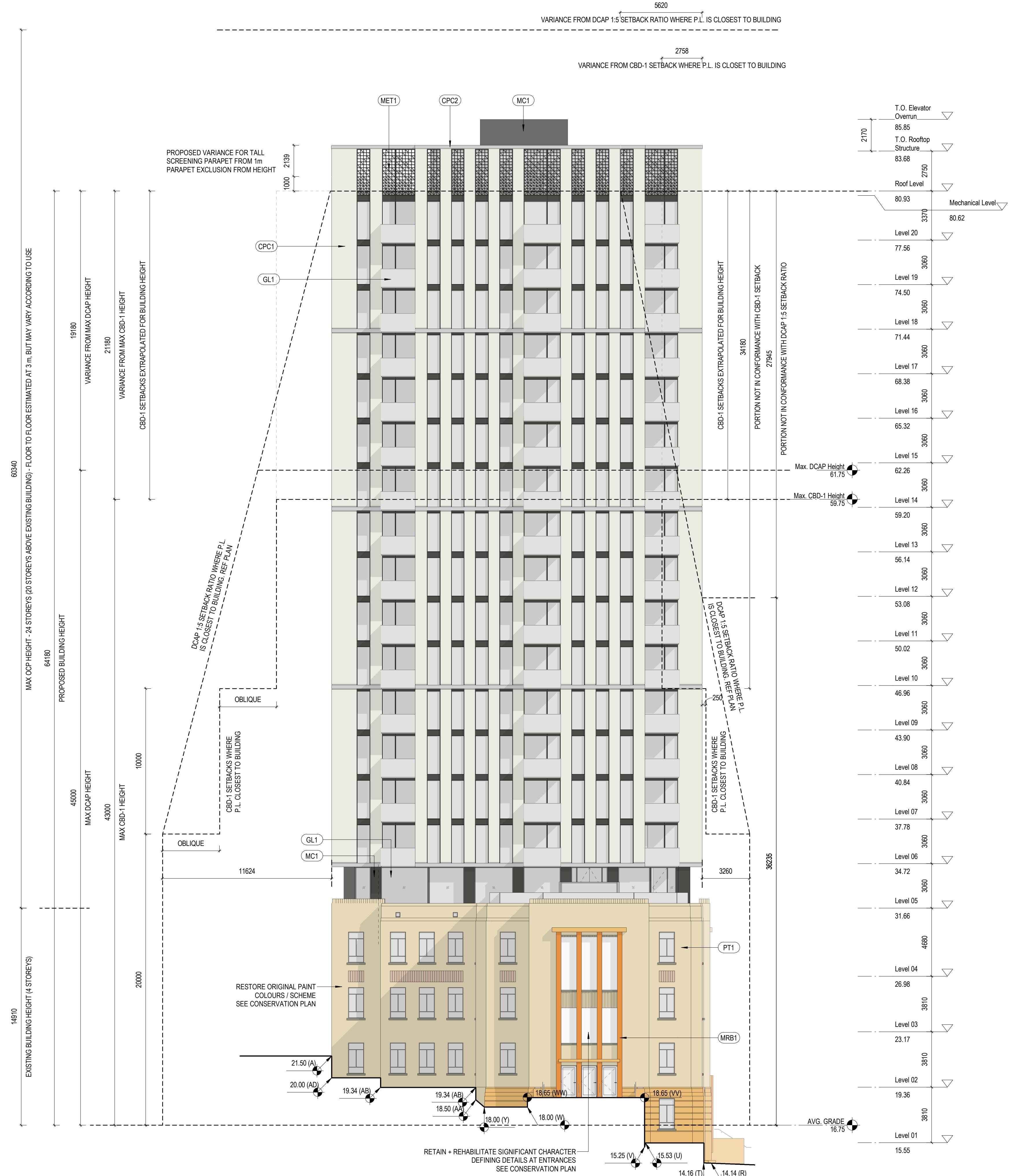
## 780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

## WEST ELEVATION

W 1 : 150

A203



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## REVISIONS

3 Hotel planning updated to reflect design aligned with needs of operating partner. Space planning updated on Level 01 to Level 05 to show new room, common spaces, food and beverage, and service space layouts, including some adjustment to residential support spaces on those levels.

## 780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, B  
2019-039

# BUILDING SECTION EAST-WEST

1 : 150

# A300

408D-535 Yates Street Victoria BC  
T 604 558 6344 E [info@officemb.ca](mailto:info@officemb.ca)

408D-535 Yates Street Victoria BC  
T 604 558 6344 E [info@officemb.ca](mailto:info@officemb.ca)



**RELIANCE**  
PROPERTIES

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drawing to be read in conjunction with the Contract Documents.

A circular registration stamp. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "BRITISH COLUMBIA" at the bottom, separated by a dotted line. The inner circle contains "STEPHEN D. MCFARLANE" above a large, stylized signature. At the bottom of the inner circle is the date "2024-02-21".

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## REVISIONS

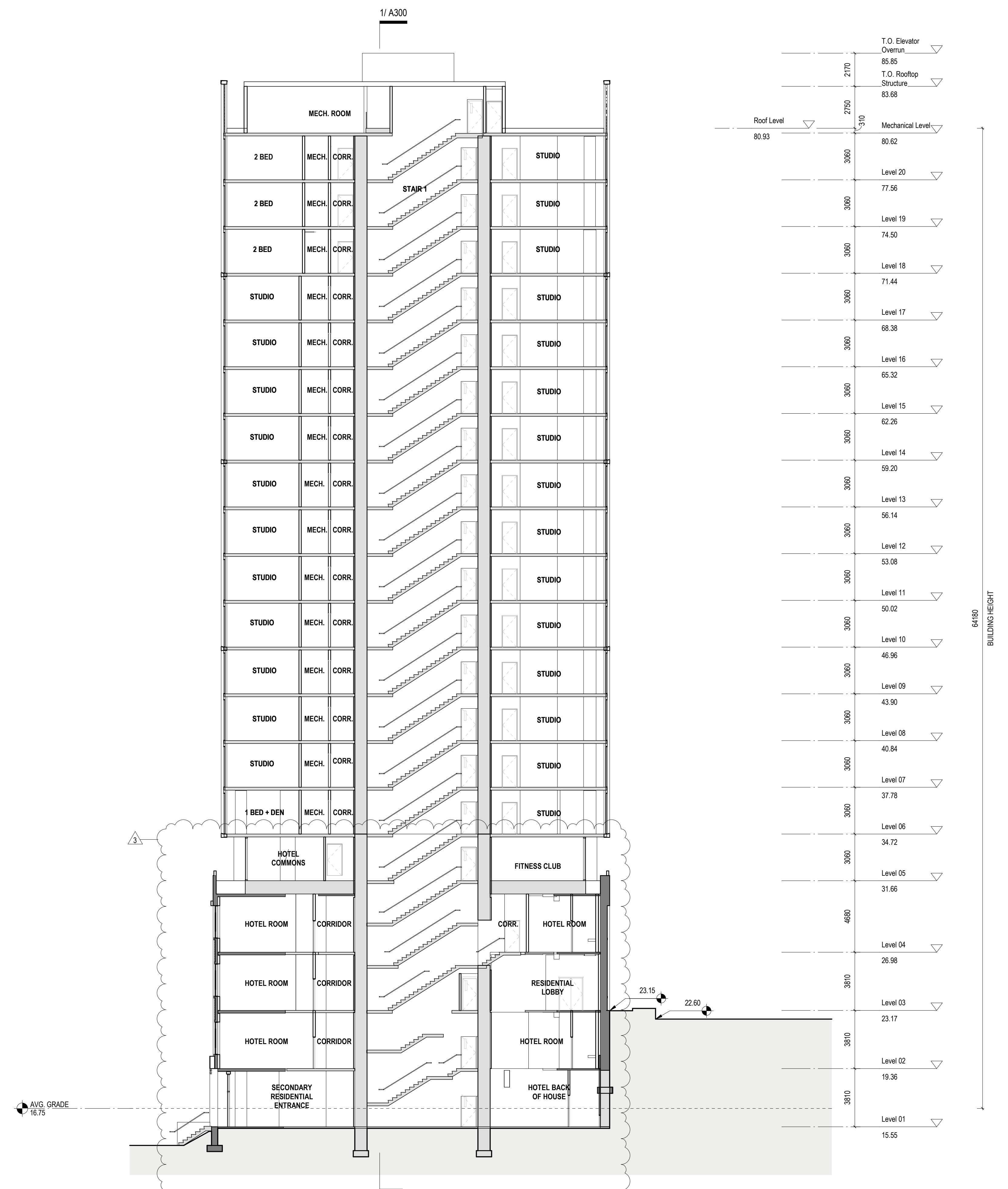
Hotel planning updated to reflect design aligned with needs of operating partner. Space planning updated on Level 01 to Level 0, now new room, common spaces, food and beverage, and service space layouts, including some adjustment to residential support spaces on those levels.

80 Blanshard - Rehabilitation + Addition

80 Blanshard Street, Victoria, BC  
019-039

# BUILDING SECTION NORTH-SOUTH

: 150



# 780 BLANSHARD STREET

ISSUED FOR REZONING AND HERITAGE ALTERATION PERMIT

**CLIENT:**

**RELIANCE PROPERTIES LTD.**

JUAN PEREIRA  
juanp@reliancproperties.ca  
604.694.8680

**ARCHITECTS:**

**OFFICE OF MCFARLANE BIGGAR ARCHITECTS +  
DESIGNERS INC.**

MATTHEW BEALL  
MBeall@officemb.ca  
604.558.6371

**LANDSCAPE ARCHITECT:**

**GJALA GAUTHIER + ASSOCIATES LANDSCAPE  
ARCHITECTS INC.**

BRYCE GAUTHIER  
bryce@gauthierla.com  
604.317.9682

RODRIGO RODRIGUES  
rodrigo@gauthierla.com  
778.714.0123

**LANDSCAPE DRAWING INDEX PERMIT**

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE SURVEY
L0.2	TREE MANAGEMENT PLAN
L0.3	DEMOLITION PLAN
L0.4	OVERALL IMPERMEABLE SURFACES OVERLAY
L1.0	OVERALL SITE PLAN
L1.1	WEST ENLARGEMENT PLAN
L1.2	NORTH ENLARGEMENT PLAN
L1.3	SOUTH ENLARGEMENT PLAN
L1.4	PENWILL GREEN PARK ENLARGEMENT PLAN
L1.5	OVERALL PLANTING PLAN
L1.6	OVERALL IRRIGATION PLAN
L1.7	PRECEDENT IMAGES
L2.0	LEVEL 5: MATERIALS AND LAYOUT PLAN
L3.0	PRECEDENT IMAGES
L4.0	SECTIONS
L4.1	SECTIONS

**G | ALA**

Gauthier + Associates Landscape Architects Inc.

 **RELIANCE**  
PROPERTIES

 **omb** office of mcfarlane biggar  
architects + designers

N Issued for Rezoning & Heritage Alteration Permit

24-02-21

780 Blanshard Street  
Victoria, BC

Reliance Properties  
2148

**L0.0**  
COVER SHEET

## TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPARATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BYLAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT; PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
18. A SIGNIFICANT TREE;
19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
20. A TREE ON A STEEP SLOPE;
21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):
23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

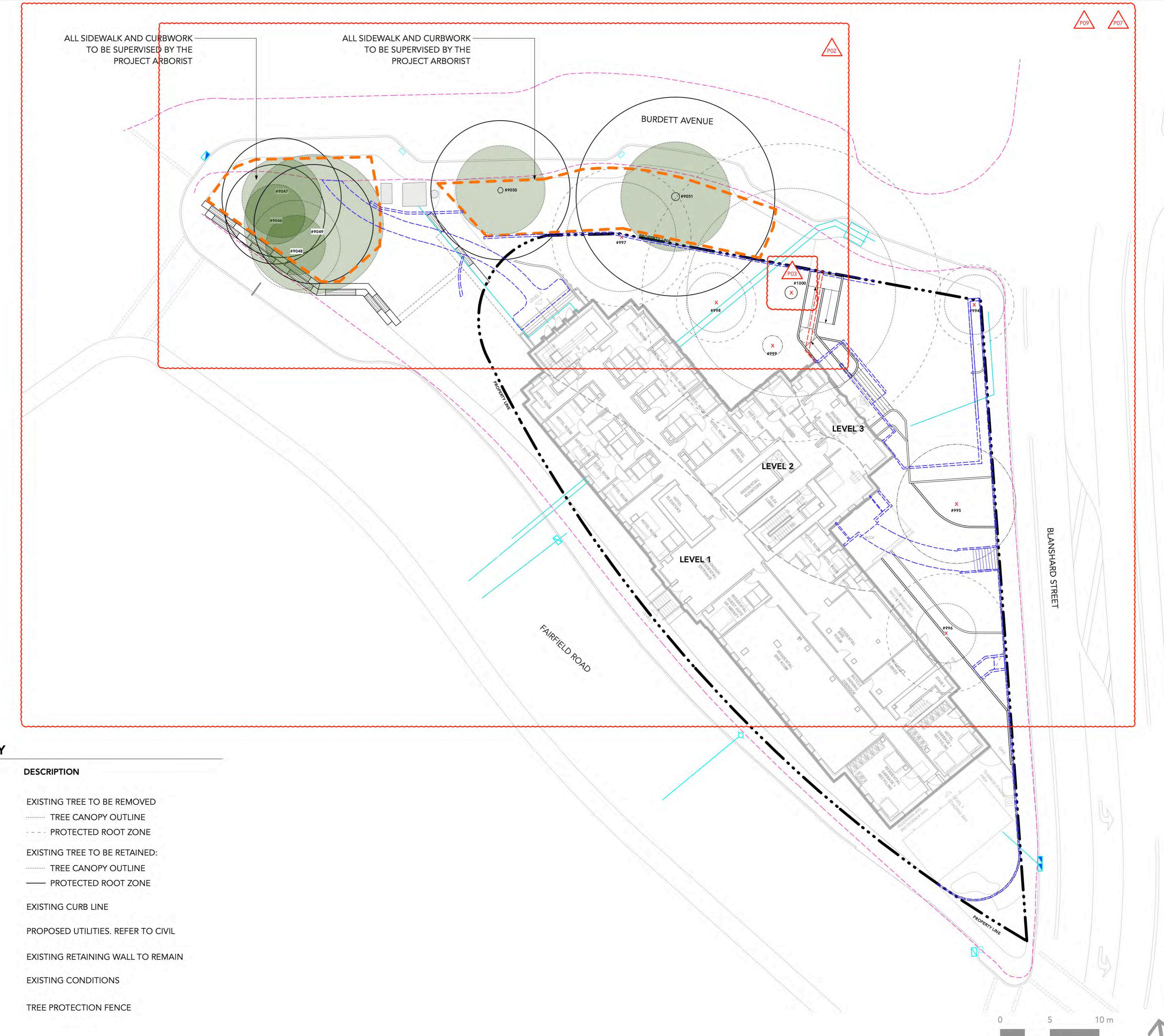


## TREE SURVEY

SYMBOL	DESCRIPTION
Red 'X'	EXISTING TREE TO BE REMOVED
Green circle	EXISTING TREE TO BE RETAINED:
Blue line	EXISTING CURB LINE
Red dashed line	PROPOSED UTILITIES. REFER TO CIVIL
Blue dashed line	EXISTING RETAINING WALL TO REMAIN
Orange dashed line	EXISTING CONDITIONS

## TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPARATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
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13. BYLAW APPLIES TO ALL LANDS IN CITY.
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26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.



## GENERAL DEMOLITION NOTES:

1. VEHICLES SHALL NOT BE PARKED OR PARKED TEMPORARILY STANDING IDLE WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE SAVED. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE SAVED.
2. THE CONTRACTOR SHALL SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
3. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
4. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
5. INITIATE BC ONE CALL PRIOR TO EXCAVATION; IDENTIFY AND PROTECT ALL EXISTING UTILITIES.
6. INSTALL TREE PROTECTION FENCING PRIOR TO EXCAVATION; PROTECT AND PRESERVE DRIP LINES OF TREES TO REMAIN AT ALL TIMES.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
8. EXISTING PLANTS MAY BE REMOVED, PROTECTED AND REPLANTED AT THE LANDSCAPE ARCHITECT'S DESCRETION.
9. ALL NEW CONCRETE MUST DRAIN TO EXISTING CATCH BASINS.
10. REFER TO CITY OF VICTORIA TREE PROTECTION GUIDELINE FOR TREE PROTECTION FENCING.
11. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
12. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
13. THE LAYOUT OF ALL PROPOSED HARDCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
15. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
16. REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.
17. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY CONTRACTOR. PROVIDE DUST CONTROL, AS APPROVED BY LANDSCAPE ARCHITECT.
18. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
19. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS THAT ARE DUE TO CONTRACTOR OPERATIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS AND TURF DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD.

## DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXTENT OF DEMOLITION
	PARTLY DEMOLISHED/PROTECTED



## IMPERMEABLE X ABSORBENT SURFACES LEGEND

TOTAL AREA: 2272.36 m<sup>2</sup>



IMPERMEABLE SURFACES AND BUILDINGS  
1661.36 m<sup>2</sup> (73.11%)



ABSORBENT SURFACES  
611 m<sup>2</sup> (26.89%)



## LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
●		SITE FURNISHING Bollard as per New Town Public Realm design.
●		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48" x 48"
		SITE FURNISHING Bike Repair Station
		EXISTING RETAINING WALL TO REMAIN
		PROPOSED RETAINING WALL, BY OTHERS
		PROPOSED LANDSCAPE WALL
		CIP CONCRETE SEAT WALL WITH WOOD TOP
		STAIRS





#### LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
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		PROPOSED LANDSCAPE WALL
		CIP CONCRETE SEAT WALL WITH WOOD TOP
		STAIRS

#### GRADING LEGEND

SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
EL 0.00	EXISTING ELEVATION
TW 0.00	TOP OF WALL ELEVATION
BW 0.00	BOTTOM OF WALL ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
TB 0.00	TOP OF BENCH ELEVATION
TR 0.00	TOP OF RAMP ELEVATION
BR 0.00	BOTTOM OF RAMP ELEVATION
BG 0.00	BUILDING GRADE ELEVATION
TF 0.00	TOP OF FENCE ELEVATION
TC 0.00	TOP OF CURB ELEVATION
1%	SLOPE AND DIRECTION





#### LEGEND

SYMBOL	QTY	DESCRIPTION
- - -		EXISTING CURB LINE
■		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
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●		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
■		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48" x48"
■		SITE FURNISHING Bike Repair Station
- - -		EXISTING RETAINING WALL TO REMAIN
- - -		PROPOSED RETAINING WALL, BY OTHERS
■		PROPOSED LANDSCAPE WALL
■		CIP CONCRETE SEAT WALL WITH WOOD TOP
■		STAIRS

#### GRADING LEGEND

SYMBOL	DESCRIPTION
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BG 0.00	BUILDING GRADE ELEVATION
TF 0.00	TOP OF FENCE ELEVATION
TC 0.00	TOP OF CURB ELEVATION
1% →	SLOPE AND DIRECTION





#### LEGEND

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- - -		EXISTING RETAINING WALL TO REMAIN
- - -		PROPOSED RETAINING WALL, BY OTHERS
- - -		PROPOSED LANDSCAPE WALL
- - -		CIP CONCRETE SEAT WALL WITH WOOD TOP
---		STAIRS

#### GRADING LEGEND

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BR 0.00	BOTTOM OF RAMP ELEVATION
BG 0.00	BUILDING GRADE ELEVATION
TF 0.00	TOP OF FENCE ELEVATION
TC 0.00	TOP OF CURB ELEVATION
1% →	SLOPE AND DIRECTION





#### LEGEND

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		EXISTING CURB LINE
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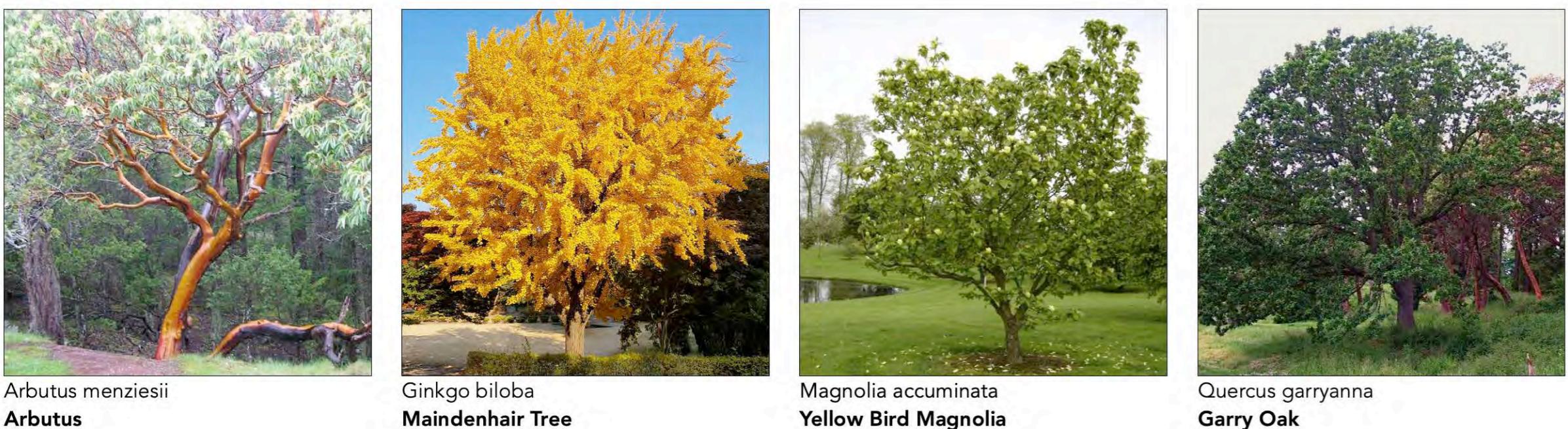
#### GRADING LEGEND

SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
EL 0.00	EXISTING ELEVATION
TW 0.00	TOP OF WALL ELEVATION
BW 0.00	BOTTOM OF WALL ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
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BG 0.00	BUILDING GRADE ELEVATION
TF 0.00	TOP OF FENCE ELEVATION
TC 0.00	TOP OF CURB ELEVATION
1%	SLOPE AND DIRECTION



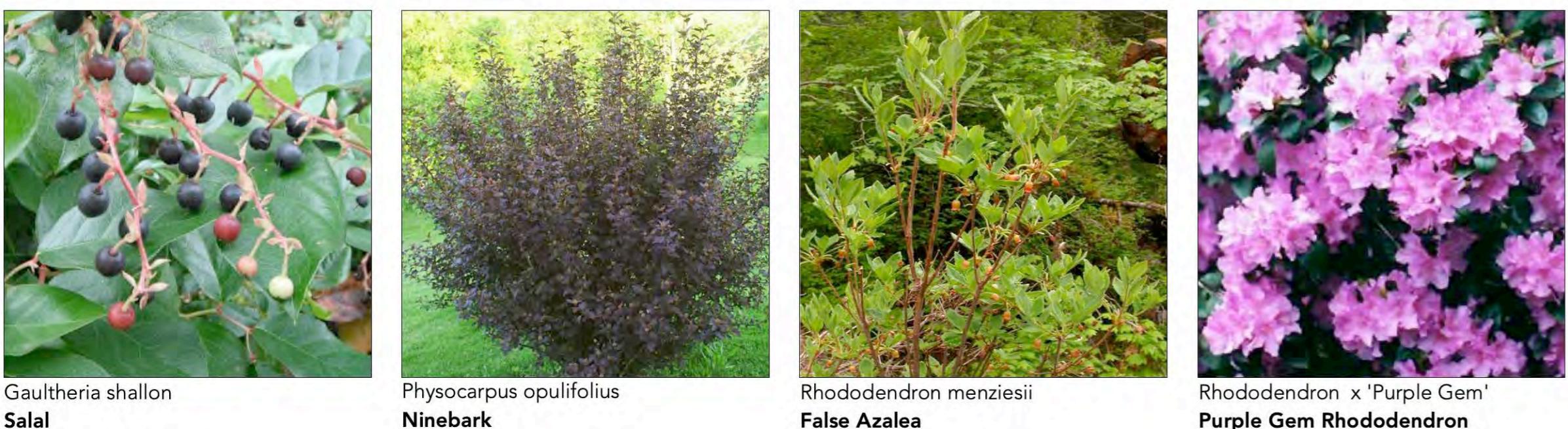
# PLANT IMAGES

## TREES



P11

## SHRUBS



P10

P11

## PERENNIALS, GRASSES, GROUNDCOVER



P12

NOTE: 30% OF PLANTS TO BE COMPOSED OF NATIVE PLANTS.

P13

## GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED. INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.

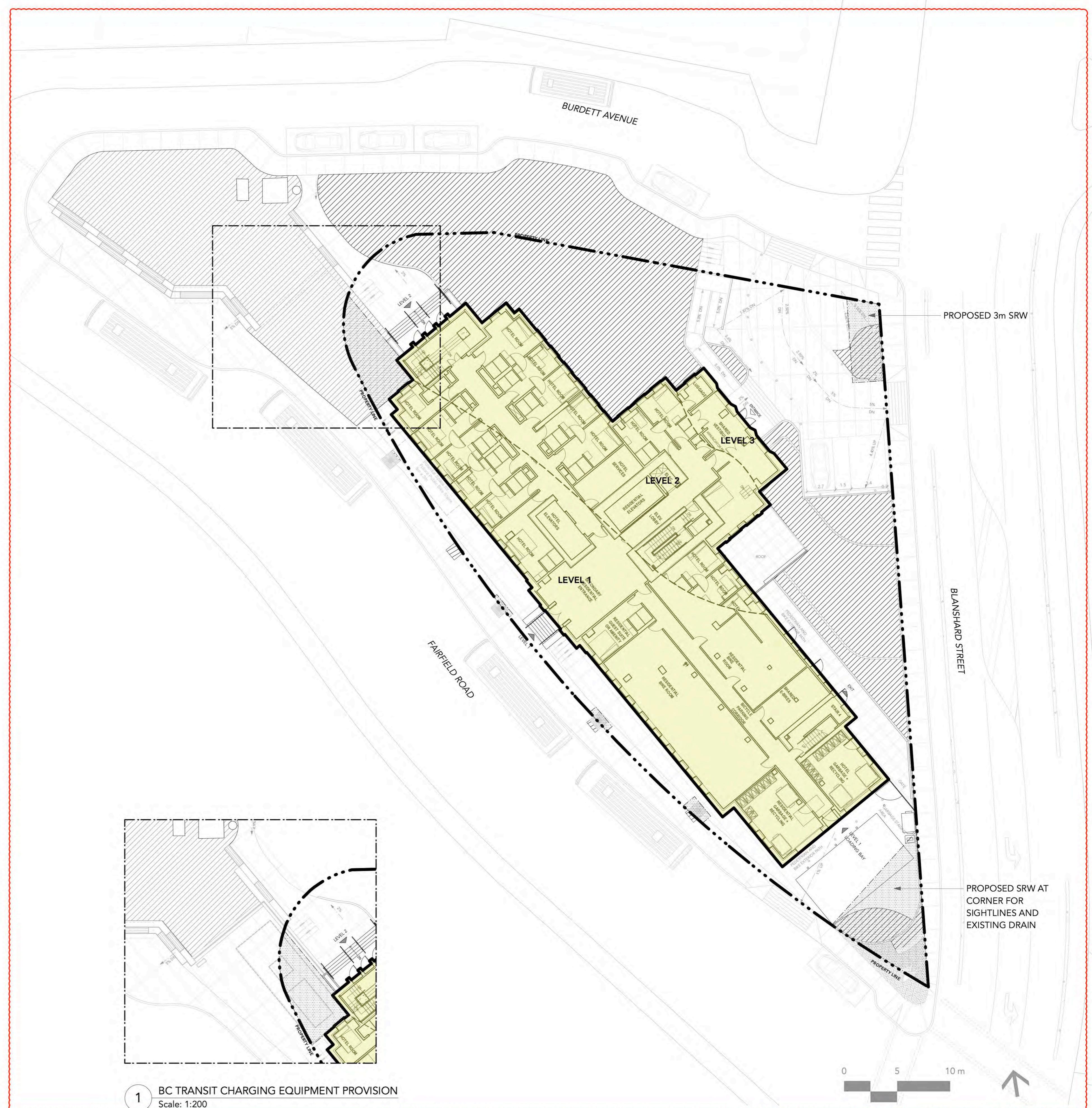


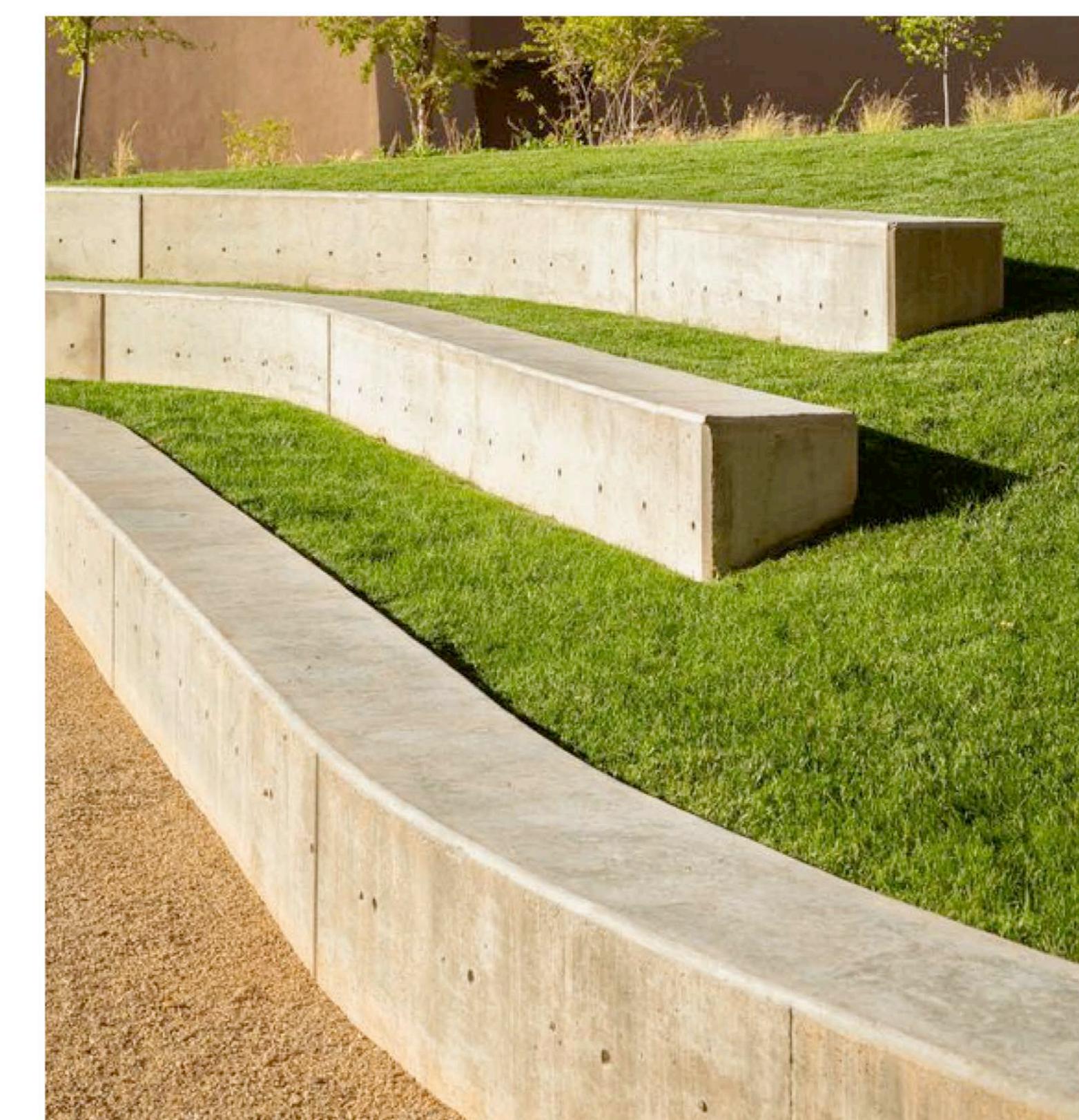
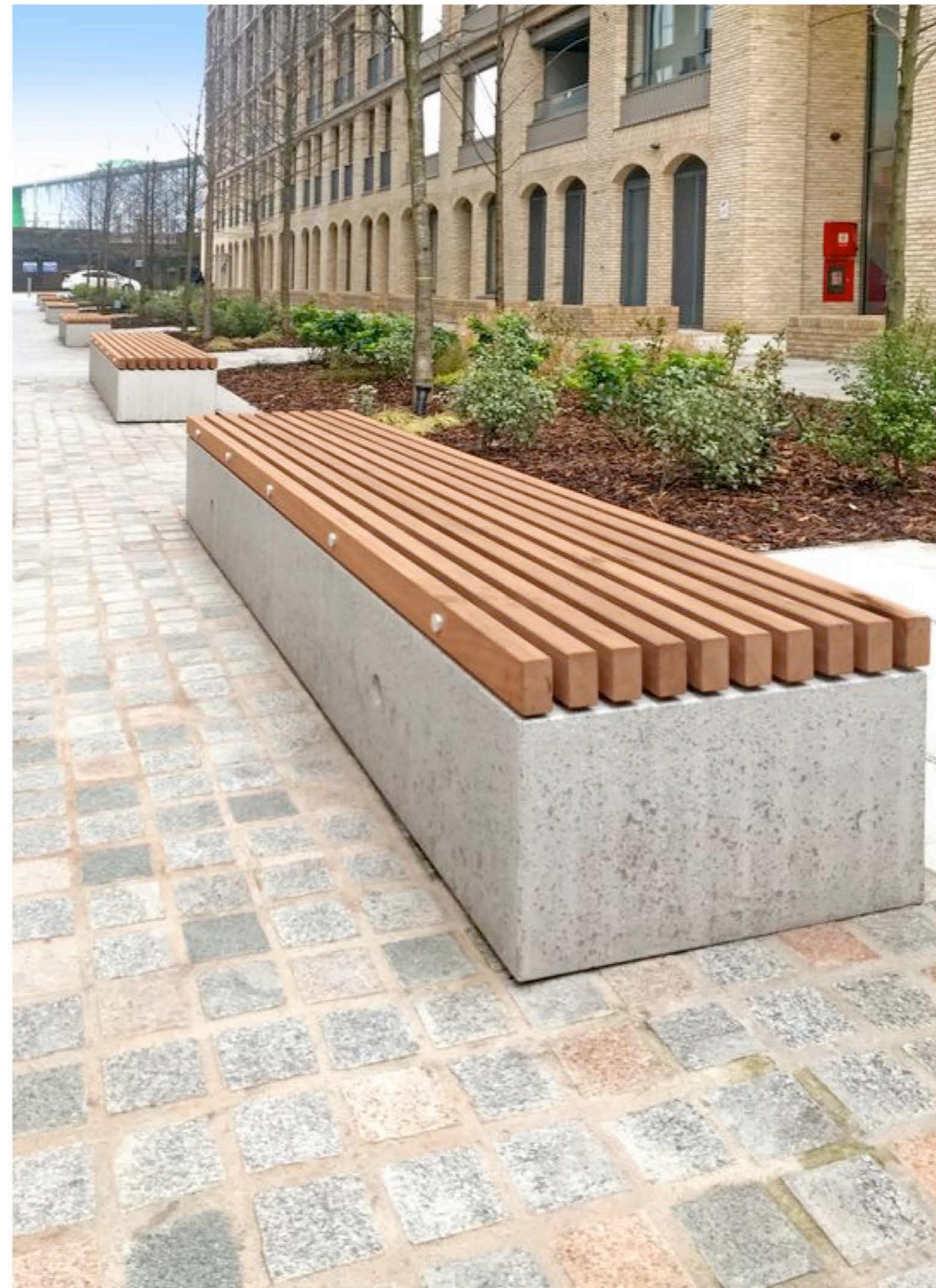
## GENERAL IRRIGATION NOTES:

1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
3. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
4. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
7. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
8. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
9. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
10. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
11. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET. THE IRRIGATION DESIGN SHALL BE DONE BY A LICENSED IRRIGATION CONTRACTOR AND BE FULLY COMPLIANT WITH THE CONSULTANT'S SPECIFICATIONS. THE LANDSCAPE OR GENERAL CONTRACTOR SHALL SUBMIT THE IRRIGATION DESIGN AS A SHOP DRAWING FOR REVIEW BY THE LANDSCAPE ARCHITECT AT LEAST TWO MONTHS PRIOR TO INSTALLATION. NO WORK SHALL BEGIN UNTIL THE SHOP DRAWING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE SHOP DRAWINGS MUST BE COMPLIANT WITH ALL MUNICIPAL BYLAWS AND PROVINCIAL HEALTH AND BUILDING CODES.
12. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
14. ALL PIPE TO BE SCHEDULE 40.
15. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
16. INSTALL PRECISION SOIL SENSOR ON SYSTEM
17. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.
18. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE IRRIGATION SYSTEM SHALL BE DESIGNED AT 65PSI AND 18GPM.
19. THE SYSTEM SHALL INCLUDE A RAIN SENSOR.
20. THE SYSTEM SHALL BE A HIGH EFFICIENCY SYSTEM WITH A BUILT-IN RAIN SENSOR.
21. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
22. IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT).
23. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.

## IRRIGATION LEGEND

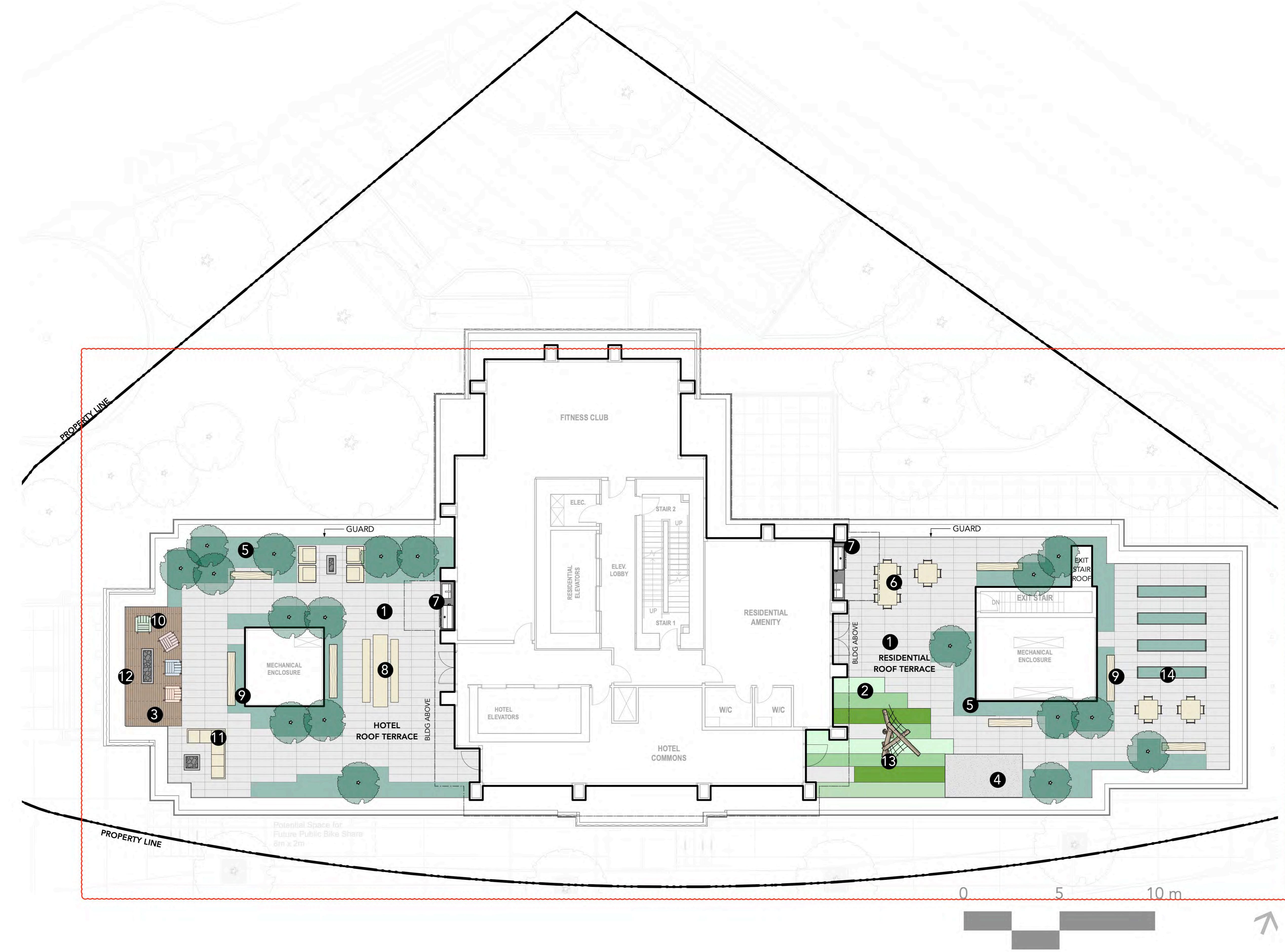
SYMBOL	DESCRIPTION
—	IRRIGATION SLEEVE FOR IRRIGATION CONDUIT
▨	RAISED / RECESSED PLANTER AREA TO BE IRRIGATED





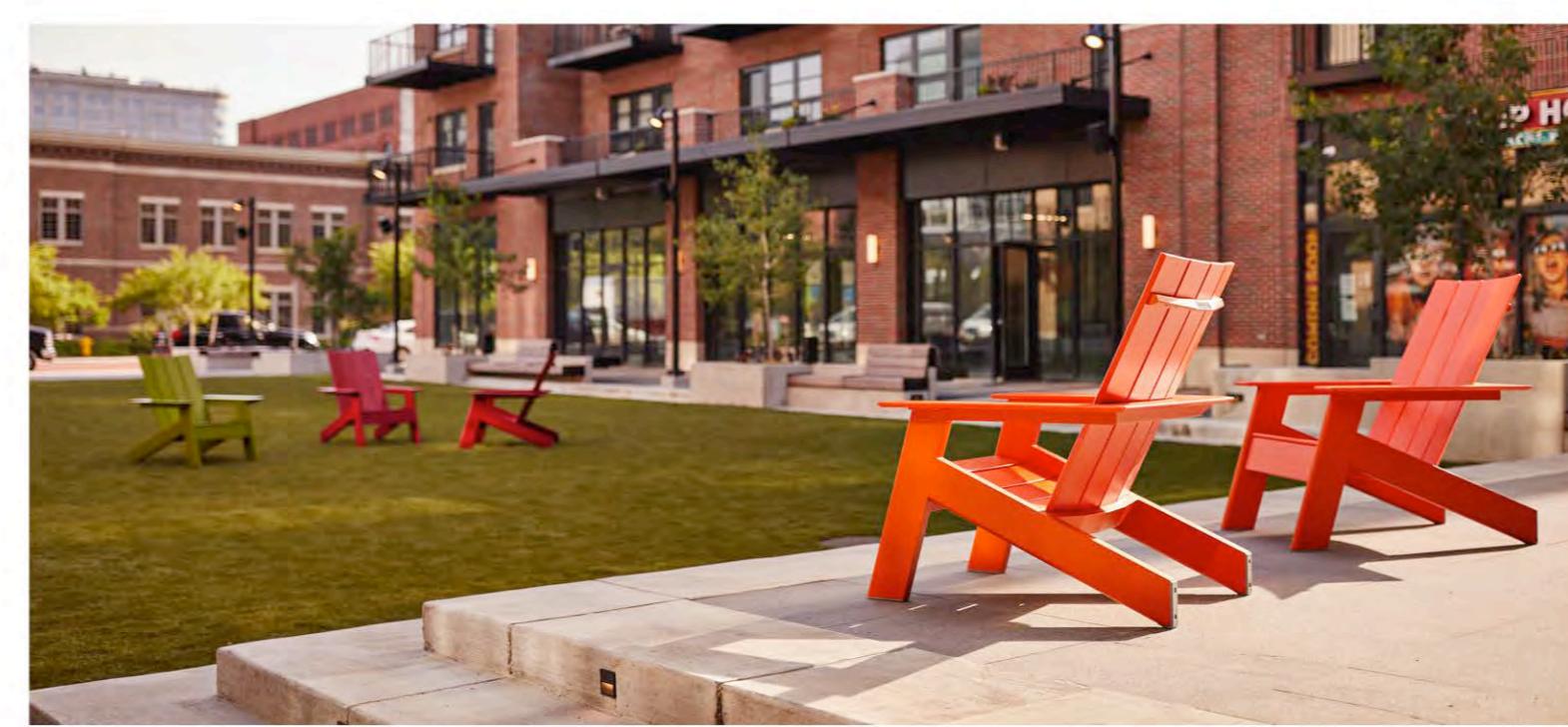
## LEGEND

SYMBOL	DESCRIPTION
1	PAVING TYPE 3 Unit Pavers
2	PAVING TYPE 4 PIP Rubber Surface
3	PAVING TYPE 5 Thermally Modified Wood Decking
4	PAVING TYPE 6 Play Sand
5	PLANTING TYPE 1 Garry Oak Ecosystem
6	MOVEABLE FURNITURE
7	BBQ AND OUTDOOR FOOD SERVICE COUNTER
8	HARVEST TABLE
9	SEATING TYPE 1 Timber Bench
10	SEATING TYPE 2 Coloured Americana Outdoor Chair
11	SEATING TYPE 3 Outdoor Patio Furniture
12	FIRE PIT Product TBD
13	PLAY STRUCTURE
14	URBAN AGRICULTURE PLOTS Product TBD

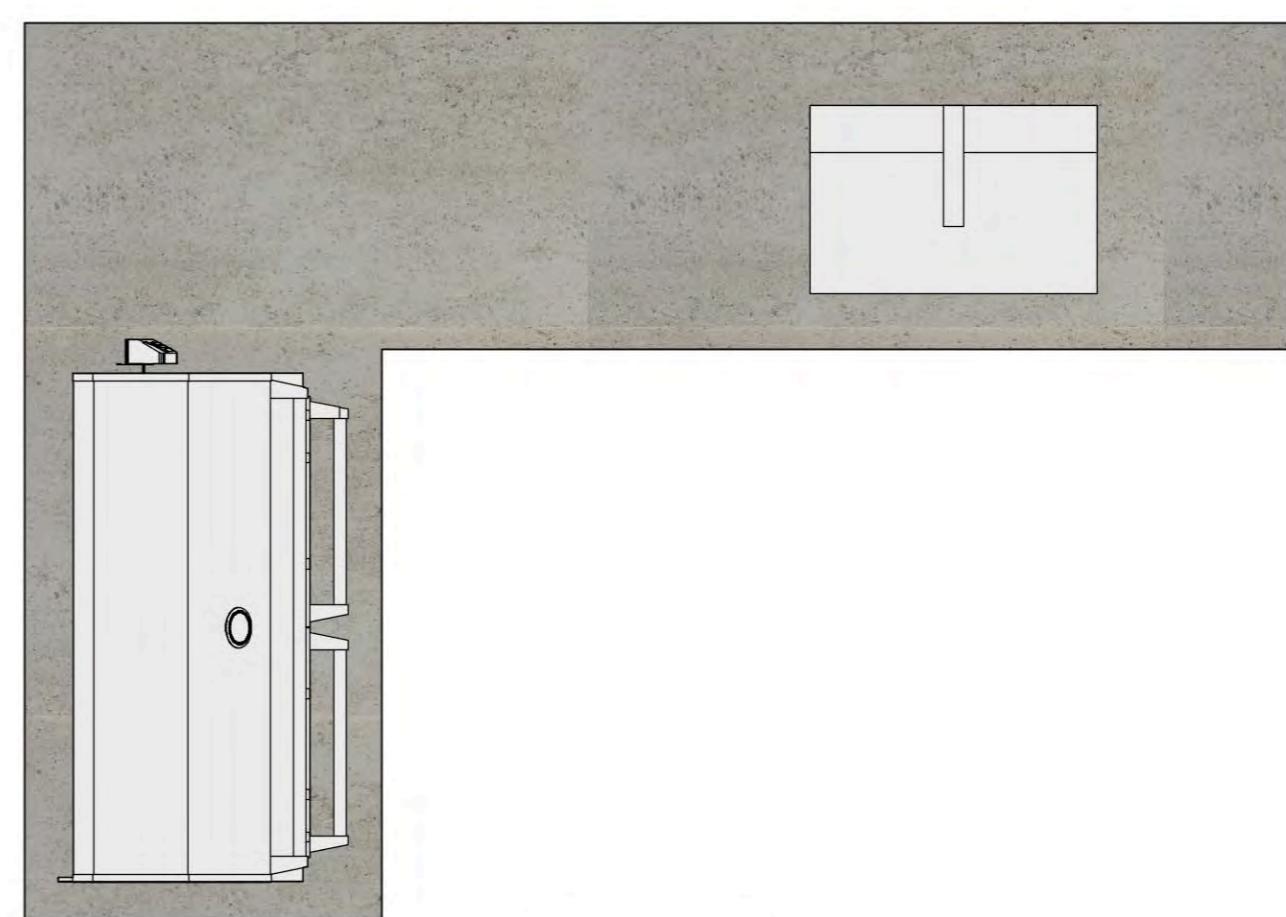




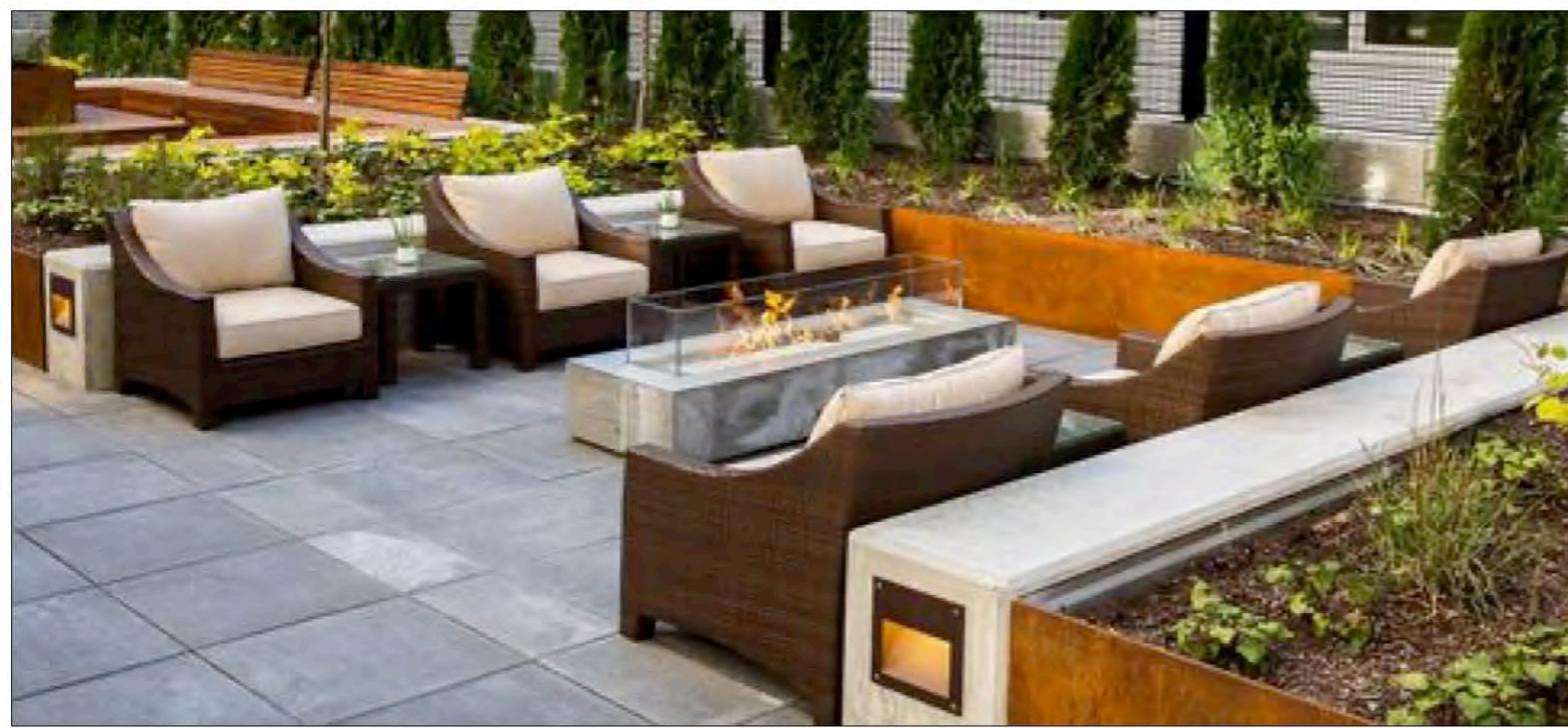
1) PRE-CAST CONCRETE PAVERS INTEGRATED WITH PLANTING



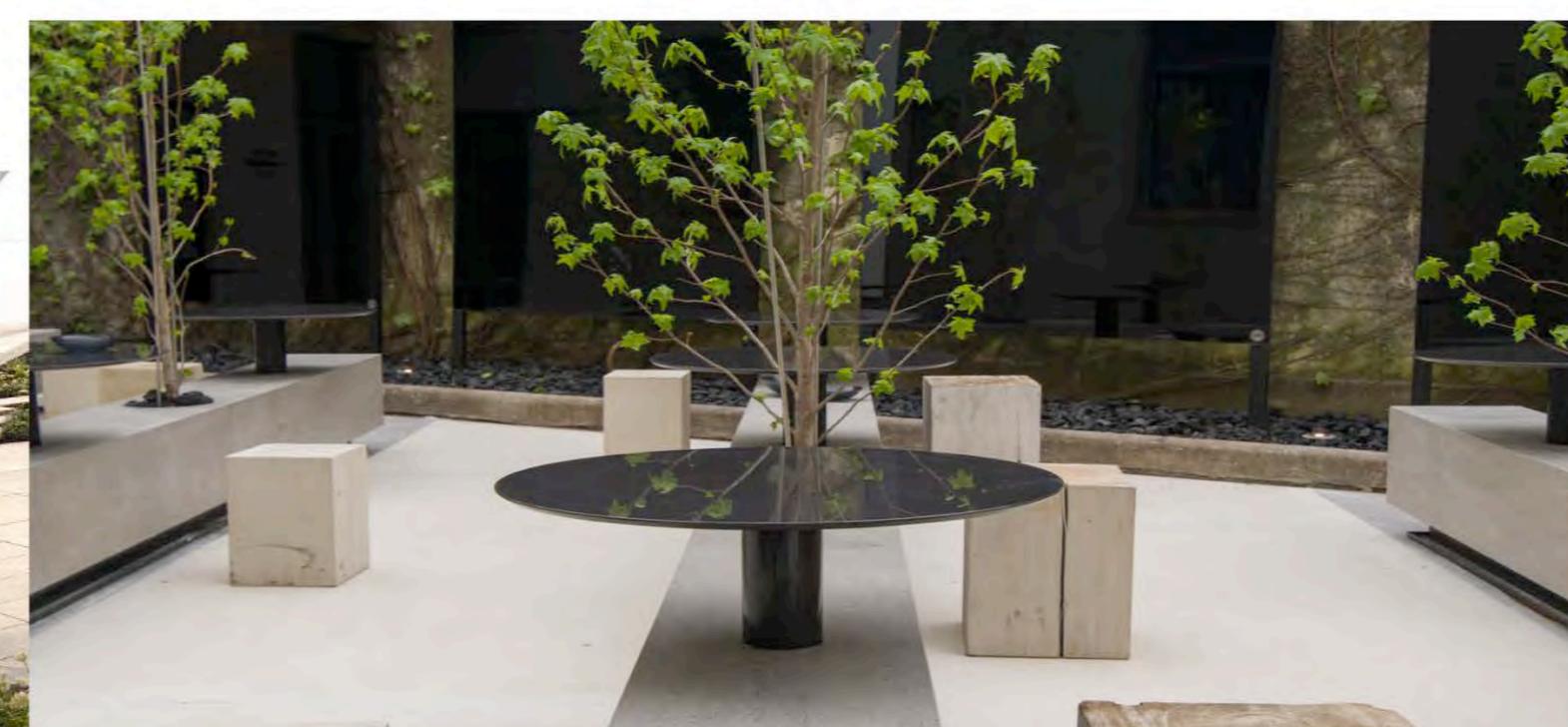
7) MOVEABLE OUTDOOR CHAIRS



4) BBQ AND OUTDOOR FOOD SERVICE COUNTER



8) OUTDOOR PATIO FURNITURE



KEON - TECH COLLECTION BY DEKTON  
USED AS COUNTER TOP FOR OUTDOOR KITCHEN



2) PIP RUBBER SURFACE / SANDPLAY AREA



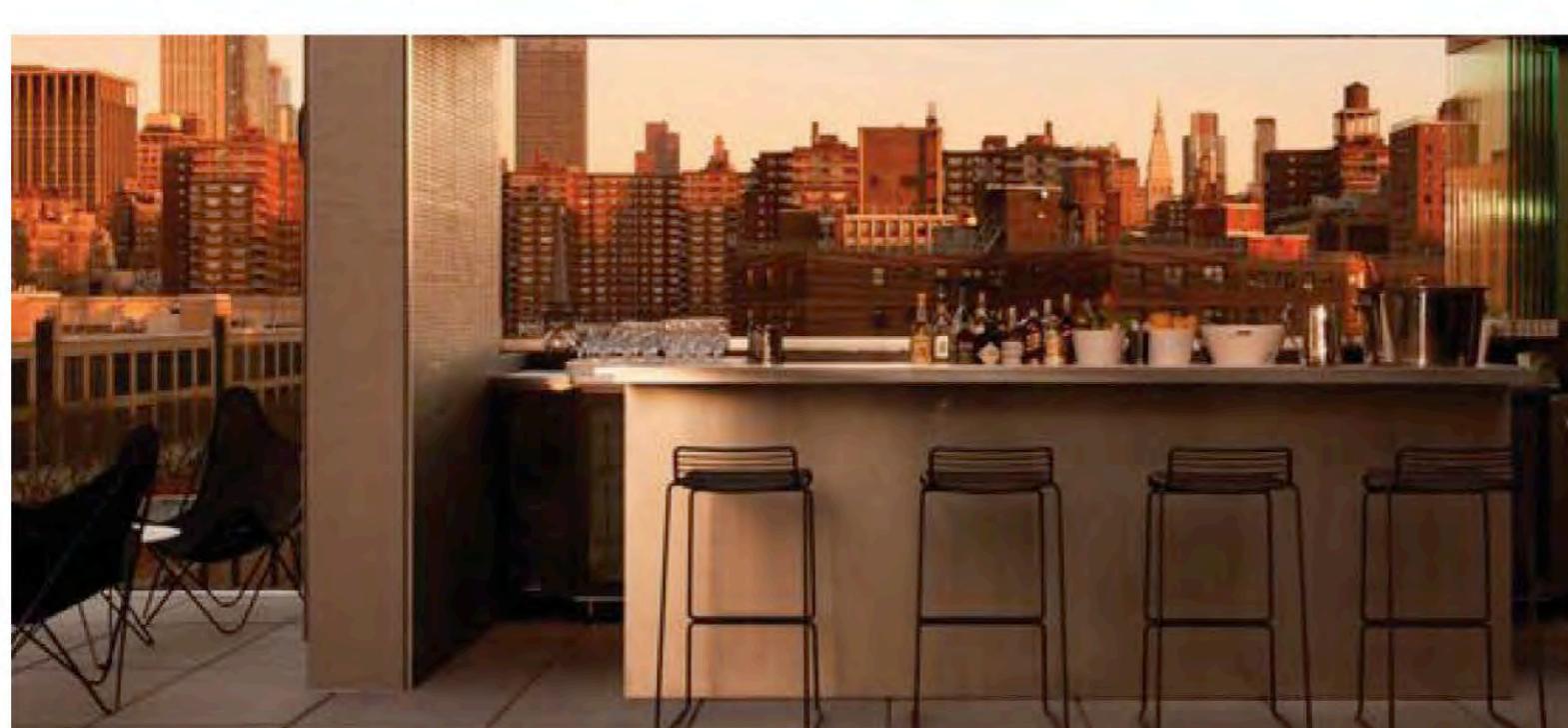
5) HARVEST TABLE



DOMOOS - SOLID COLLECTION BY DEKTON  
USED UNDER THE COUNTER TO HIDE  
MECHANICS FROM BARBECUE AND SINK +  
SEATING AREA



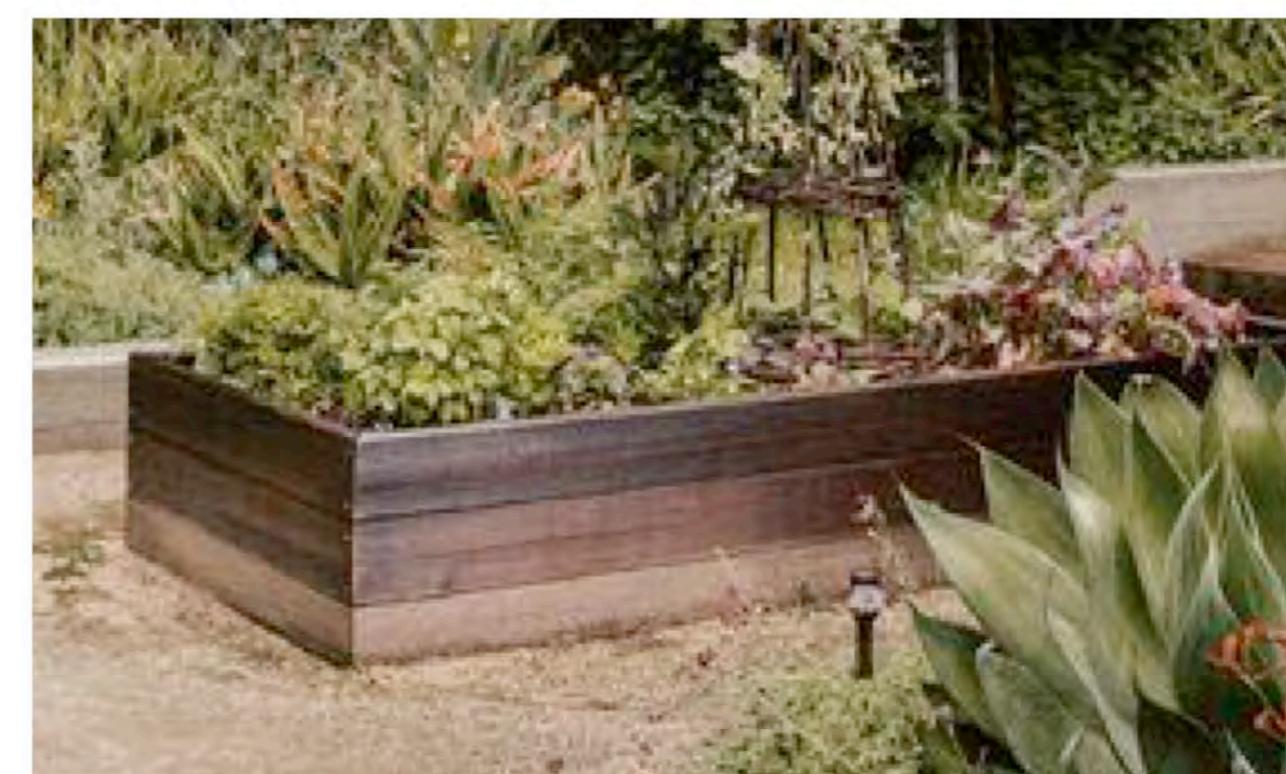
3) WOOD DECKING



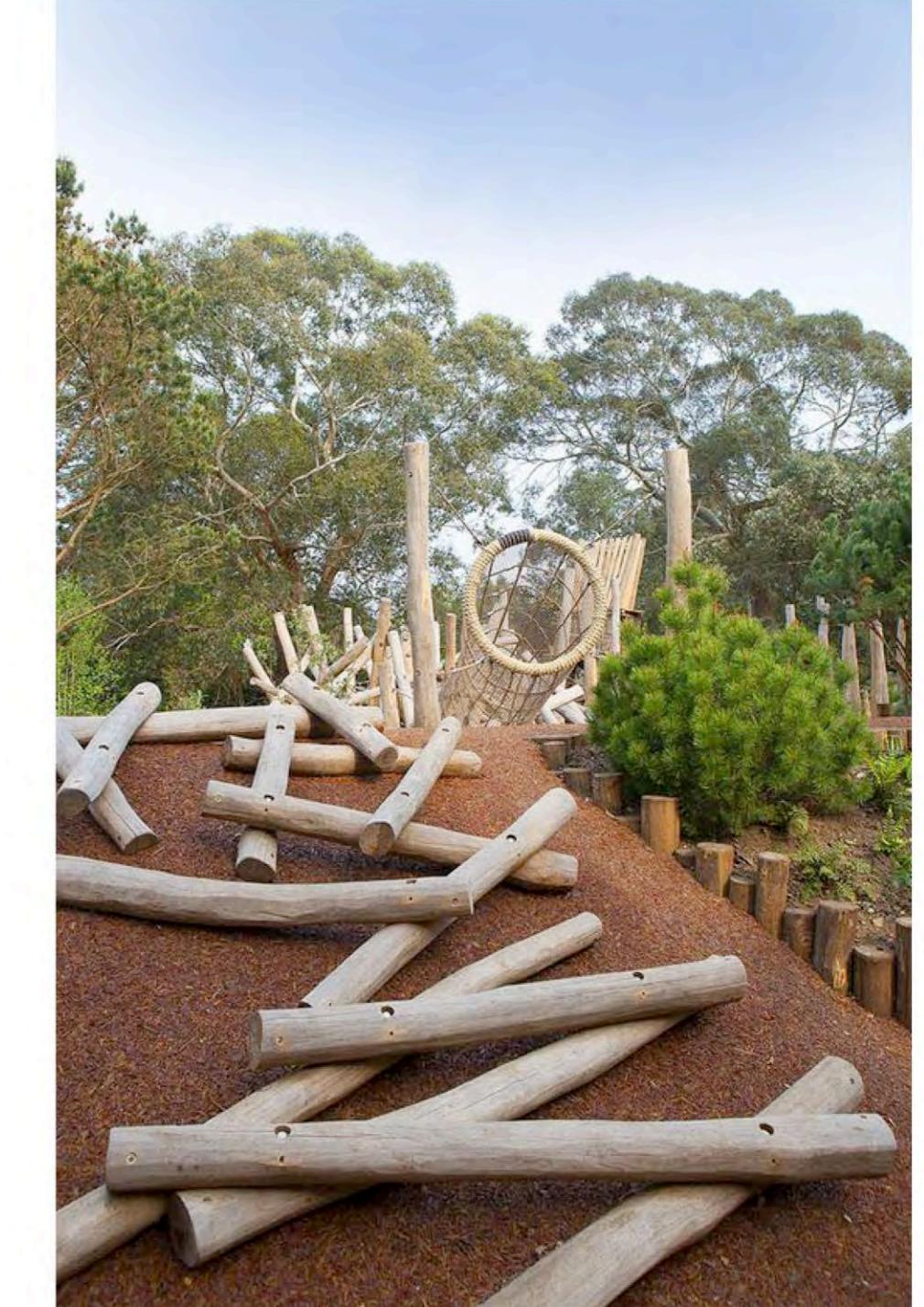
4) OUTDOOR BBQ + BAR STOOL SEATING



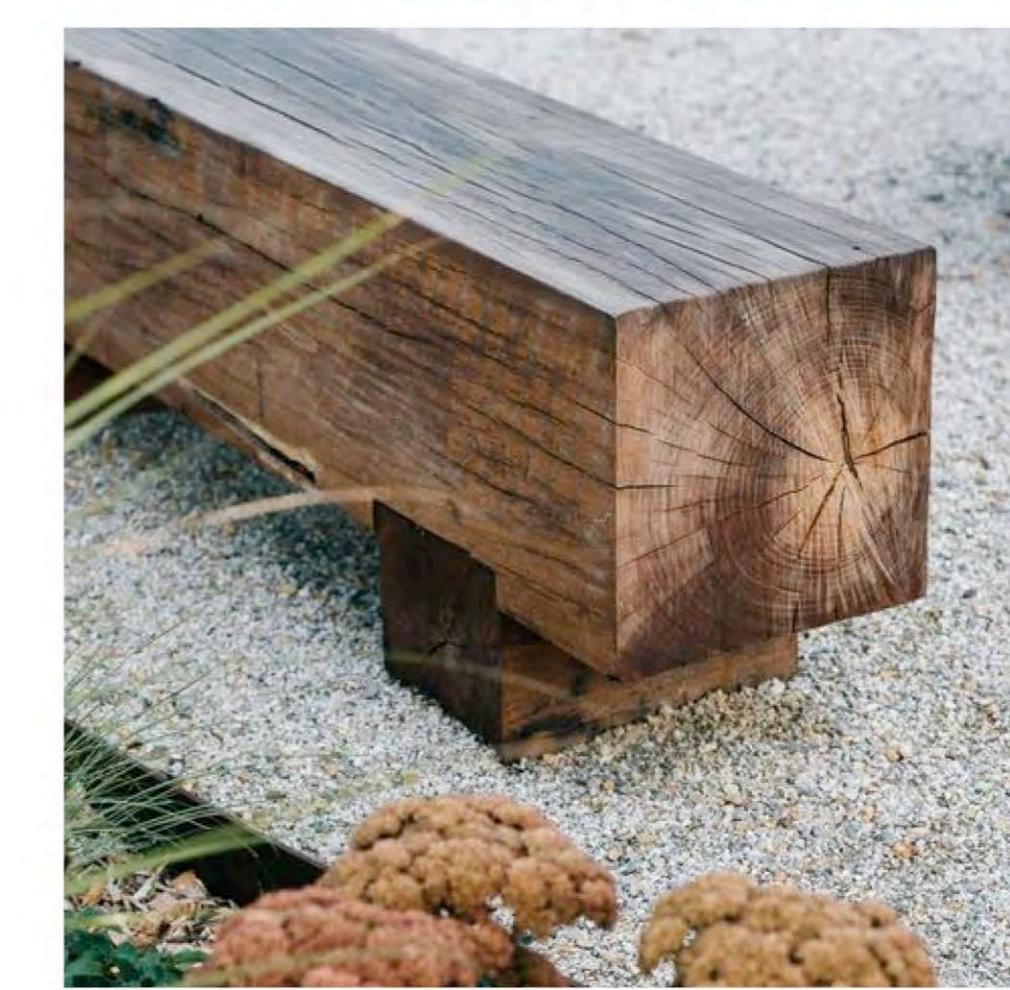
9) FIRE PIT



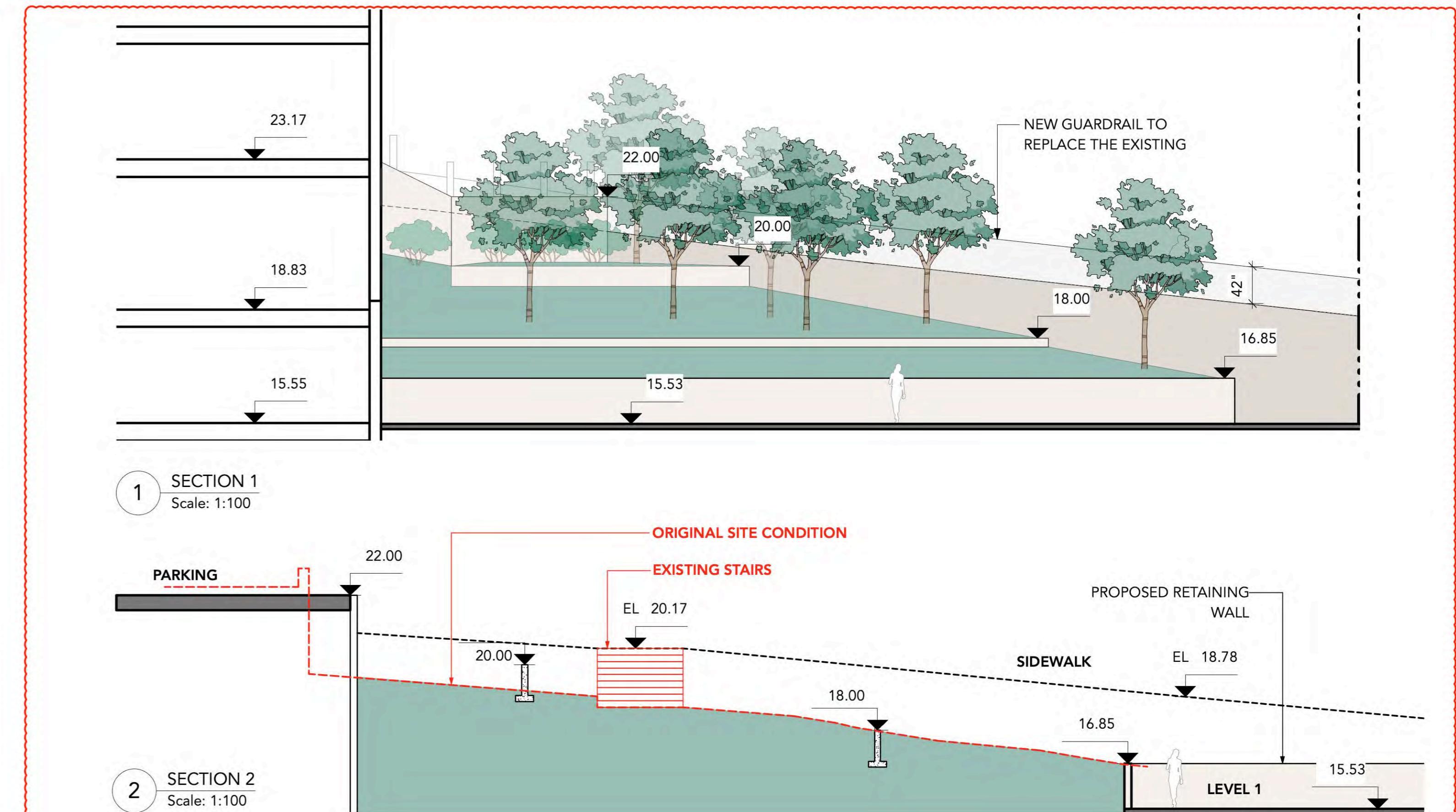
10) URBAN AGRICULTURE



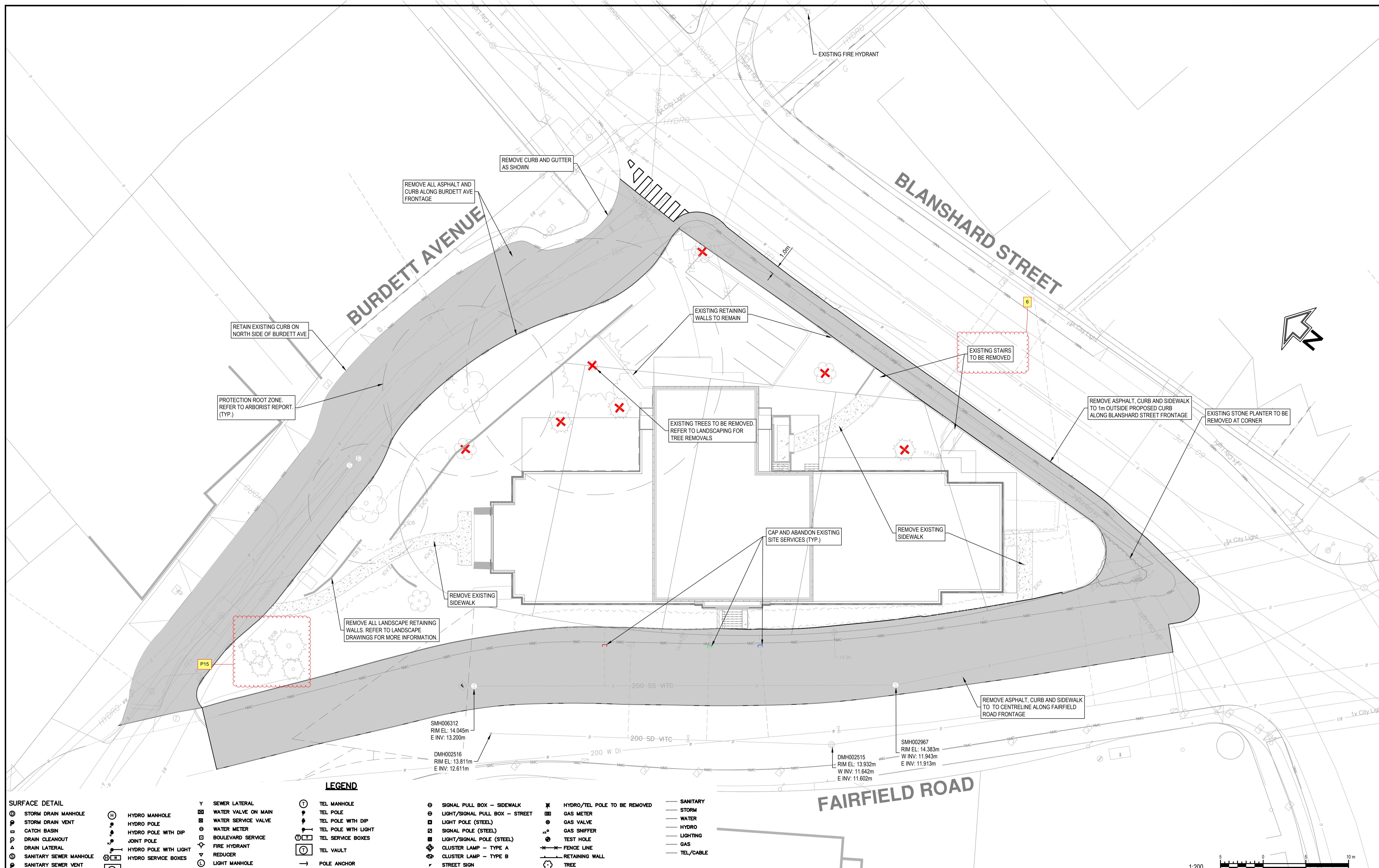
10) PLAYGROUND WOOD CLIMBING STRUCTURE



6) TIMBER BENCH







#### SURFACE DETAIL

① STORM DRAIN MANHOLE	Y SEWER LATERAL	TEL MANHOLE	TEL POLE	HYDRO/TEL POLE TO BE REMOVED	SANITARY
② STORM DRAIN VENT	HYDRO MANHOLE	HYDRO POLE	TEL POLE WITH DIP	HYDRO METER	STORM
③ CATCH BASIN	HYDRO POLE WITH DIP	HYDRO POLE WITH DIP	TEL POLE WITH LIGHT	WATER VALVE	WATER
④ DRAIN CLEANOUT	JOINT POLE	JOINT POLE	BOULEVARD SERVICE	GAS VALVE	HYDRO
⑤ DRAIN LATERAL	HYDRO POLE WITH LIGHT	HYDRO POLE WITH LIGHT	REDUCER	GAS SNIFFER	LIGHTING
⑥ SANITARY SEWER MANHOLE	HYDRO SERVICE BOXES	HYDRO SERVICE BOXES	CLUSTER LAMP - TYPE A	TEST HOLE	GAS
⑦ SANITARY SEWER VENT	HYDRO VAULT	HYDRO VAULT	CLUSTER LAMP - TYPE B	FENCE LINE	TEL/CABLE
⑧ SEWER CLEANOUT			POLE ANCHOR	RETAINING WALL	
				STREET SIGN	
				PARKING METER	

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#### DISCLAIMER:

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. THIS DRAWING IS NOT TO BE SCALED.

ISS/REV: YYYY-MM-DD DESCRIPTION DES DRN CHK PM

#### LEGEND

① HYDRO MANHOLE	Y SEWER LATERAL	TEL MANHOLE	TEL POLE	HYDRO/TEL POLE TO BE REMOVED	SANITARY
② HYDRO POLE	HYDRO POLE	HYDRO POLE	TEL POLE WITH DIP	HYDRO METER	STORM
③ CATCH BASIN	HYDRO POLE WITH DIP	HYDRO POLE WITH DIP	TEL POLE WITH LIGHT	WATER VALVE	WATER
④ DRAIN CLEANOUT	JOINT POLE	JOINT POLE	BOULEVARD SERVICE	GAS VALVE	HYDRO
⑤ DRAIN LATERAL	HYDRO POLE WITH LIGHT	HYDRO POLE WITH LIGHT	REDUCER	GAS SNIFFER	LIGHTING
⑥ SANITARY SEWER MANHOLE	HYDRO SERVICE BOXES	HYDRO SERVICE BOXES	CLUSTER LAMP - TYPE A	TEST HOLE	GAS
⑦ SANITARY SEWER VENT	HYDRO VAULT	HYDRO VAULT	CLUSTER LAMP - TYPE B	FENCE LINE	TEL/CABLE
⑧ SEWER CLEANOUT			POLE ANCHOR	RETAINING WALL	
				STREET SIGN	
				PARKING METER	



2024-02-21

Engineers and Geoscientists BC  
Permit to Practice #1000200

SEAL:

CLIENT:

RELIANCE PROPERTIES



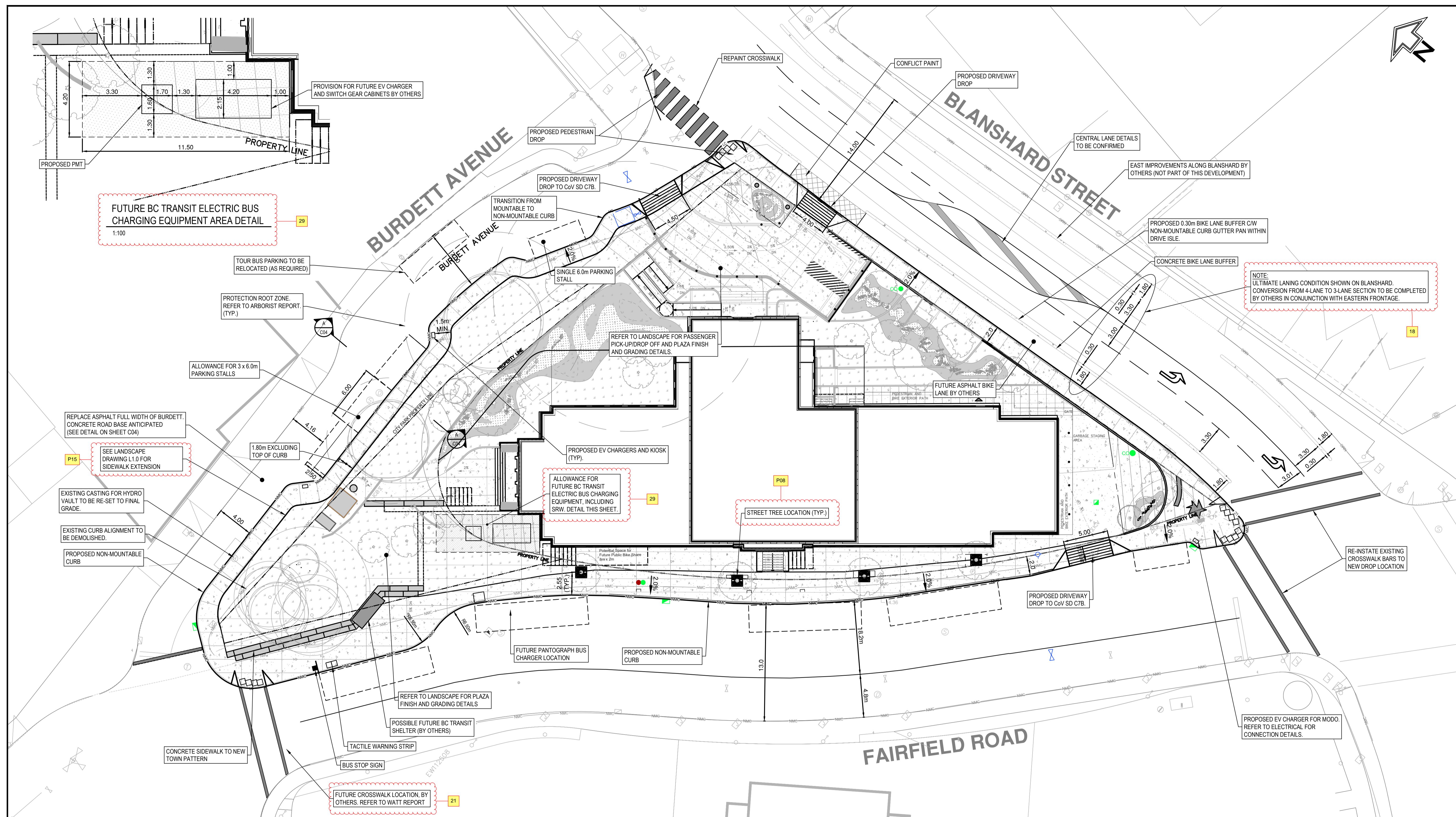
301-3600 Uptown Blvd  
Victoria BC, Canada  
V8C 0B9  
T+1 250-384-5500  
F+1 250-386-2944  
wsp.com

PROJECT:  
780 BLANSHARD STREET  
VICTORIA, BC

TITLE:  
SITE AND DEMOLITION PLAN  
DRAWING NO.:  
C01  
SHEET NO.: 1 OF 4  
ISSUE: FOR RE-ZONING/DEVELOPMENT PERMIT  
DISCIPLINE: CIVIL  
ISS/REV: 2024/02/20

PROJECT NO.:  
221-0333-00  
SCALE: 1:200  
DISCIPLINE: CIVIL  
ISS/REV: 2024/02/20





**SURFACE DETAIL**

① STORM DRAIN MANHOLE	Y SEWER LATERAL
② STORM DRAIN VENT	② WATER VALVE ON MAIN
③ CATCH BASIN	③ WATER SERVICE VALVE
④ DRAIN CLEANOUT	④ WATER METER
△ DRAIN LATERAL	⑤ BOULEVARD SERVICE
⑤ SANITARY SEWER MANHOLE	⑥ FIRE HYDRANT
⑥ SANITARY SEWER VENT	⑦ TEL SERVICE BOXES
⑦ SEWER CLEANOUT	⑧ TEL VAULT
⑧ HYDRO VAULT	⑨ LIGHT MANHOLE
⑨ HYDRO SERVICE BOXES	⑩ LIGHT PULL BOX - SIDEWALK
⑩ HYDRO POLE	⑪ REDUCER
⑪ HYDRO POLE WITH DIP	⑫ LIGHT POLE
⑫ HYDRO POLE WITH LIGHT	⑬ TEL POLE WITH DIP
⑬ JOINT POLE	⑭ TEL POLE WITH LIGHT
⑭ DRAIN LATERAL	⑮ FIRE HYDRANT
⑮ SANITARY SEWER MANHOLE	⑯ TEL POLE
⑯ SANITARY SEWER VENT	⑰ SIGNAL POLE (STEEL)
⑰ SEWER CLEANOUT	⑱ CLUSTER LAMP - TYPE A

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ISS/REV YYYY-MM-DD

DESCRIPTION

DES DRN CHK PM

#### LEGEND

① HYDRO MANHOLE	② WATER VALVE ON MAIN	③ WATER SERVICE VALVE	④ WATER METER	⑤ BOULEVARD SERVICE	⑥ FIRE HYDRANT	⑦ TEL SERVICE BOXES	⑧ TEL VAULT	⑨ LIGHT MANHOLE	⑩ LIGHT PULL BOX - SIDEWALK	⑪ REDUCER	⑫ LIGHT POLE	⑬ TEL POLE WITH DIP	⑭ TEL POLE WITH LIGHT	⑮ FIRE HYDRANT	⑯ TEL POLE	⑰ SIGNAL POLE (STEEL)	⑱ CLUSTER LAMP - TYPE A
② STORM DRAIN VENT	③ CATCH BASIN	④ DRAIN CLEANOUT	⑤ SANITARY SEWER MANHOLE	⑥ SANITARY SEWER VENT	⑦ SANITARY SEWER MANHOLE	⑧ SANITARY SEWER VENT	⑨ SEWER CLEANOUT	⑩ HYDRO VAULT	⑪ HYDRO SERVICE BOXES	⑫ HYDRO POLE	⑬ HYDRO POLE WITH DIP	⑭ HYDRO POLE WITH LIGHT	⑮ HYDRO POLE	⑯ HYDRO VAULT	⑰ HYDRO SERVICE BOXES	⑱ HYDRO POLE	⑲ HYDRO POLE
③ CATCH BASIN	④ DRAIN CLEANOUT	⑤ SANITARY SEWER MANHOLE	⑥ SANITARY SEWER VENT	⑦ SANITARY SEWER MANHOLE	⑧ SANITARY SEWER VENT	⑨ SEWER CLEANOUT	⑩ HYDRO VAULT	⑪ HYDRO SERVICE BOXES	⑫ HYDRO POLE	⑬ HYDRO POLE WITH DIP	⑭ HYDRO POLE WITH LIGHT	⑮ HYDRO POLE	⑯ HYDRO VAULT	⑰ HYDRO SERVICE BOXES	⑱ HYDRO POLE	⑲ HYDRO POLE	⑳ HYDRO POLE
④ DRAIN CLEANOUT	⑤ SANITARY SEWER MANHOLE	⑥ SANITARY SEWER VENT	⑦ SANITARY SEWER MANHOLE	⑧ SANITARY SEWER VENT	⑨ SEWER CLEANOUT	⑩ HYDRO VAULT	⑪ HYDRO SERVICE BOXES	⑫ HYDRO POLE	⑬ HYDRO POLE WITH DIP	⑭ HYDRO POLE WITH LIGHT	⑮ HYDRO POLE	⑯ HYDRO VAULT	⑰ HYDRO SERVICE BOXES	⑱ HYDRO POLE	⑲ HYDRO POLE	⑳ HYDRO POLE	⑳ HYDRO POLE
⑤ SANITARY SEWER MANHOLE	⑥ SANITARY SEWER VENT	⑦ SANITARY SEWER MANHOLE	⑧ SANITARY SEWER VENT	⑨ SEWER CLEANOUT	⑩ HYDRO VAULT	⑪ HYDRO SERVICE BOXES	⑫ HYDRO POLE	⑬ HYDRO POLE WITH DIP	⑭ HYDRO POLE WITH LIGHT	⑮ HYDRO POLE	⑯ HYDRO VAULT	⑰ HYDRO SERVICE BOXES	⑱ HYDRO POLE	⑲ HYDRO POLE	⑳ HYDRO POLE	⑳ HYDRO POLE	⑳ HYDRO POLE

SEAL:



2024-02-21

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PROJECT:  
780 BLANSHARD STREET  
VICTORIA, BC

TITLE:  
CONCEPTUAL ULTIMATE SURFACE WORKS & SITE GRADING

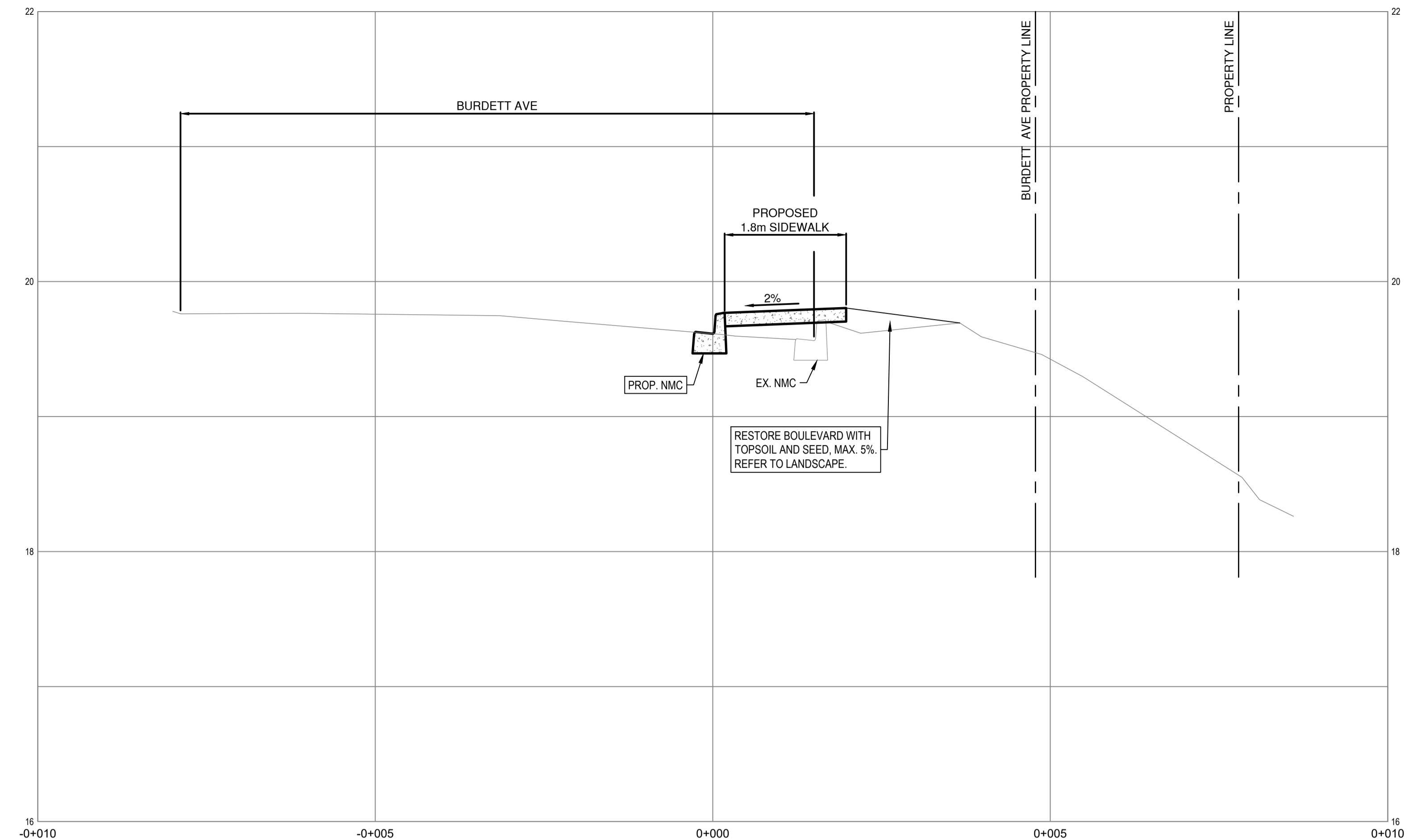
DRAWING NO.: C03

SCALE: 1:200

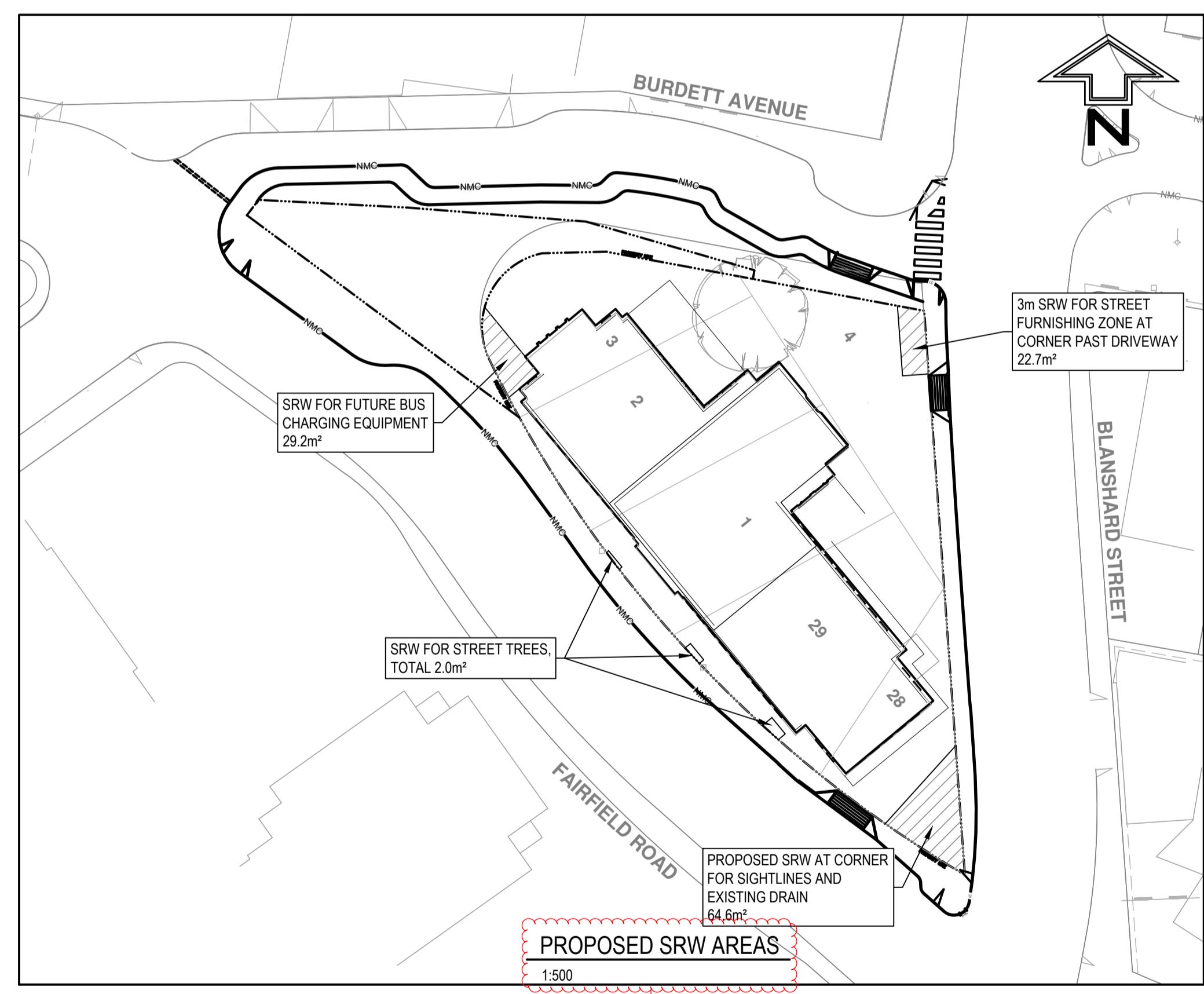
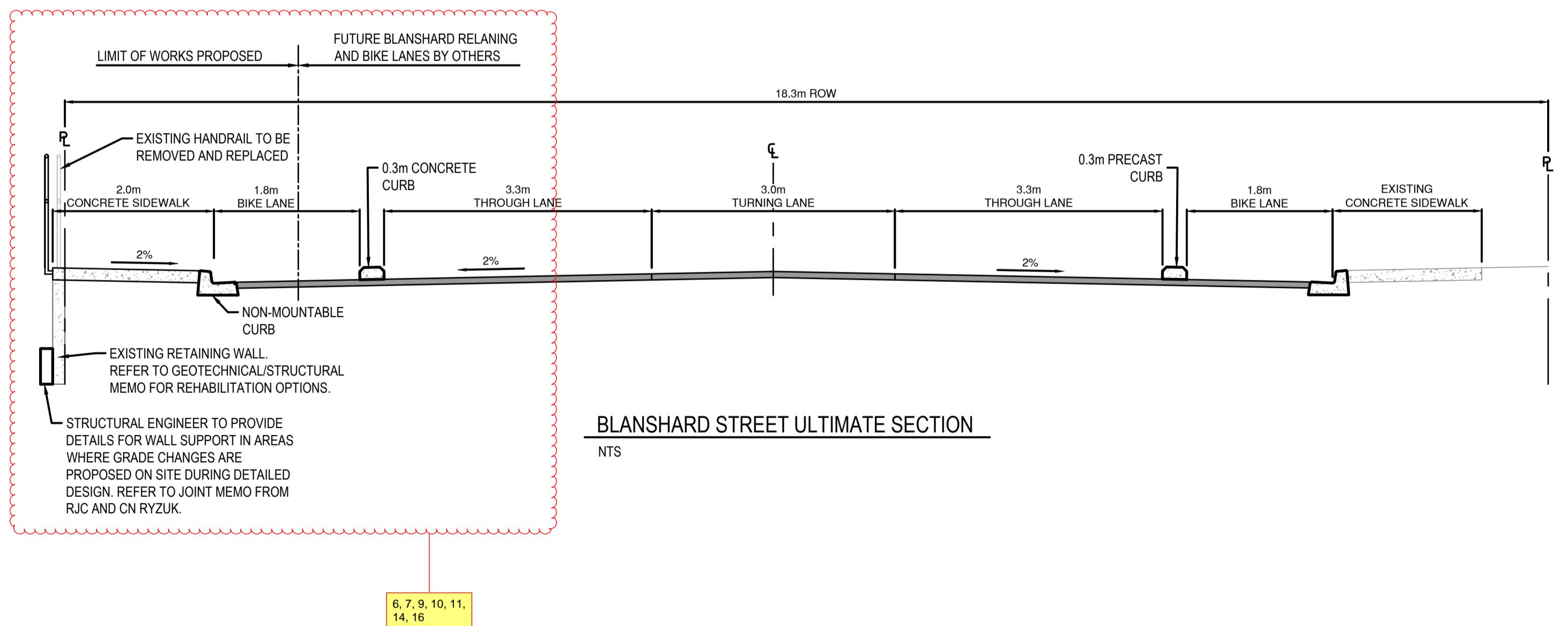
ISSUE: 3 OF 4

DISCIPLINE: CIVIL

ISS/REV: 2



A EXISTING BURDETT AVE SECTION  
C03 H 1:50 V 1:25



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ISS/REV	YYYY-MM-DD	DESCRIPTION	DES	DRN	CHK	PM
2	2024/02/20	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT	JCS	SG	JCS	JCS
1	2023/03/15	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT	BH	SG	JCS	BH
0	2022/05/20	FOR RE-ZONING/DEVELOPMENT PERMIT	BH	SG	JCS	BH



2024-02-21

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PROJECT:  
780 BLANSHARD STREET  
VICTORIA, BC

TITLE:  
SECTIONS AND DETAILS  
DRAWING NO.  
C04  
SHEET NO.  
4 OF 4  
SCALE:  
AS NOTED  
DISCIPLINE:  
CIVIL

PROJECT NO.  
221-03333-00  
SCALE:  
AS NOTED  
DISCIPLINE:  
CIVIL

ISSUE:  
FOR RE-ZONING/DEVELOPMENT PERMIT  
2024/02/20  
ISS/REV:  
2